

Exist. 0.0280 Ac. Public Roadway & Drainage Easement.
 Filed: February 19, 2001
 Bk. A15, Pg. 5454
 Document No. 2001016932
 Dedicated as public street right-of-way to the city of Albuquerque.
 Filed: April 23, 2002
 Bk. 2002C, Pg. 132
 Document No. 2002051752

Existing public water, sanitary sewer and access easement and private drainage easement.
 Filed: January 29, 2001
 (2001C-39)

551'43'32" W
 829'12" TYP.

UNSER BOULEVARD
 (156' R/W)
 ONLY

Summer Ridge Road
 (60' R/W)

SITE DATA:
 LEGAL DESCRIPTION: TRACTS A-1 & C VILLAGE CENTER NORTH

SITE AREA: 2.6 AC.

PROPOSED LAND USE: 3-STORY BUILDING FOR STORAGE AND RETAIL USES AS PERMITTED IN THE SU-1 FOR MIXED USES FOR C-1, O-1 AND INDOOR STORAGE USES WHICH ALLOWS PERMISSIVE AND CONDITIONAL USES. STORAGE FACILITY TO PROHIBIT THE IMPROPER STORAGE OF HAZARDOUS, EXPLOSIVE OR ILLEGAL MATERIALS.

BUILDING AREA: 88,200 SF

MAXIMUM BUILDING HEIGHT: 38 FEET.

PARKING REQUIREMENTS:
 STORAGE BUILDING: PARKING HAS BEEN DETERMINED BY NEEDS OF THIS FACILITY. ONE EMPLOYEE AND NO PERMANENT OCCUPANTS CONSTITUTES THE NEED FOR ONLY 4 REGULAR SPACES.

RETAIL: 1 SPACE PER 200 SQUARE FEET

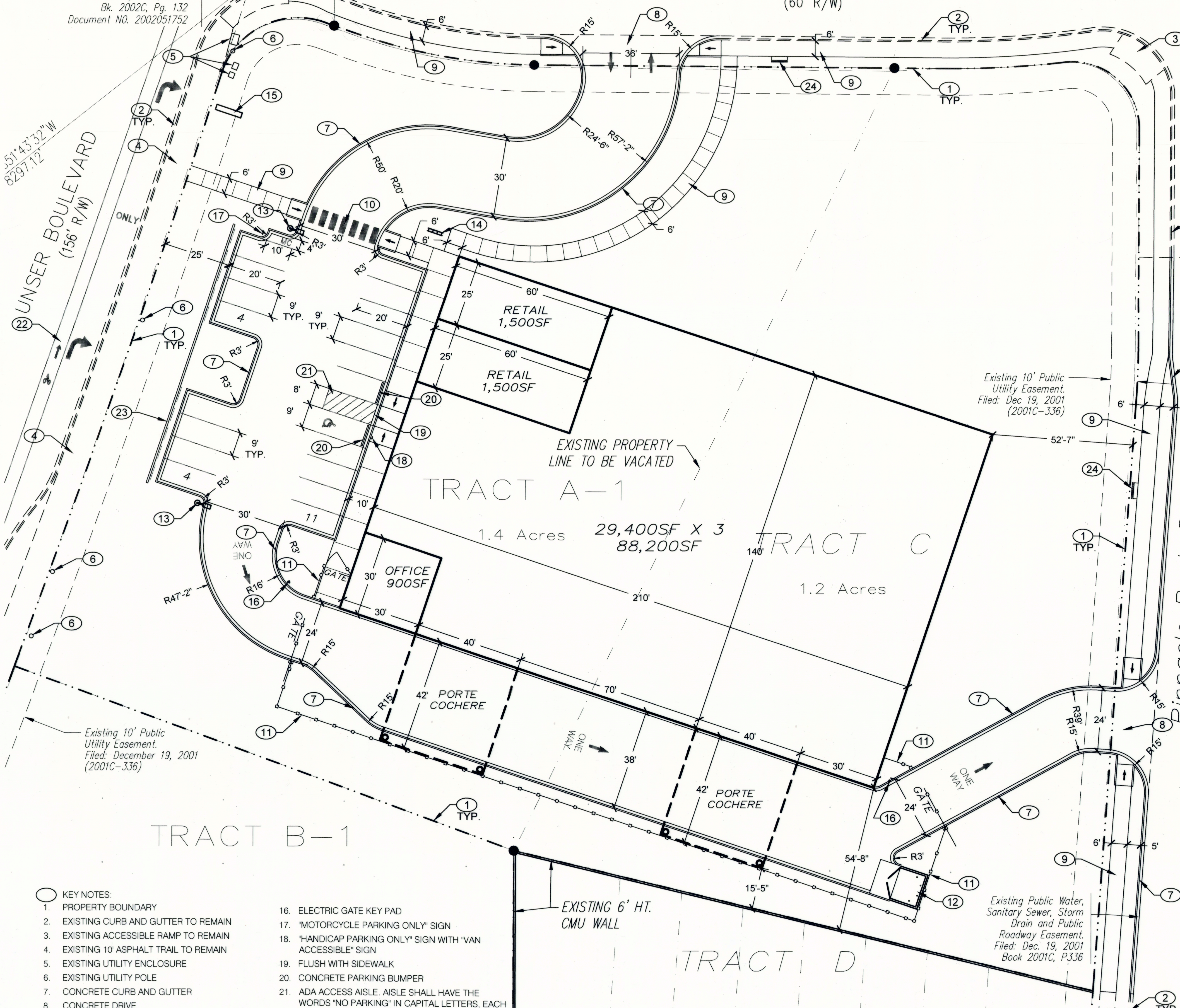
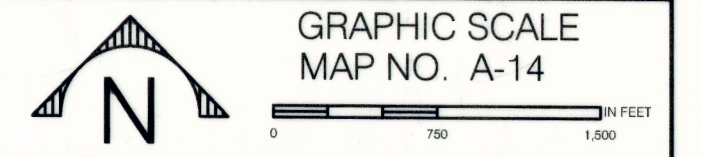
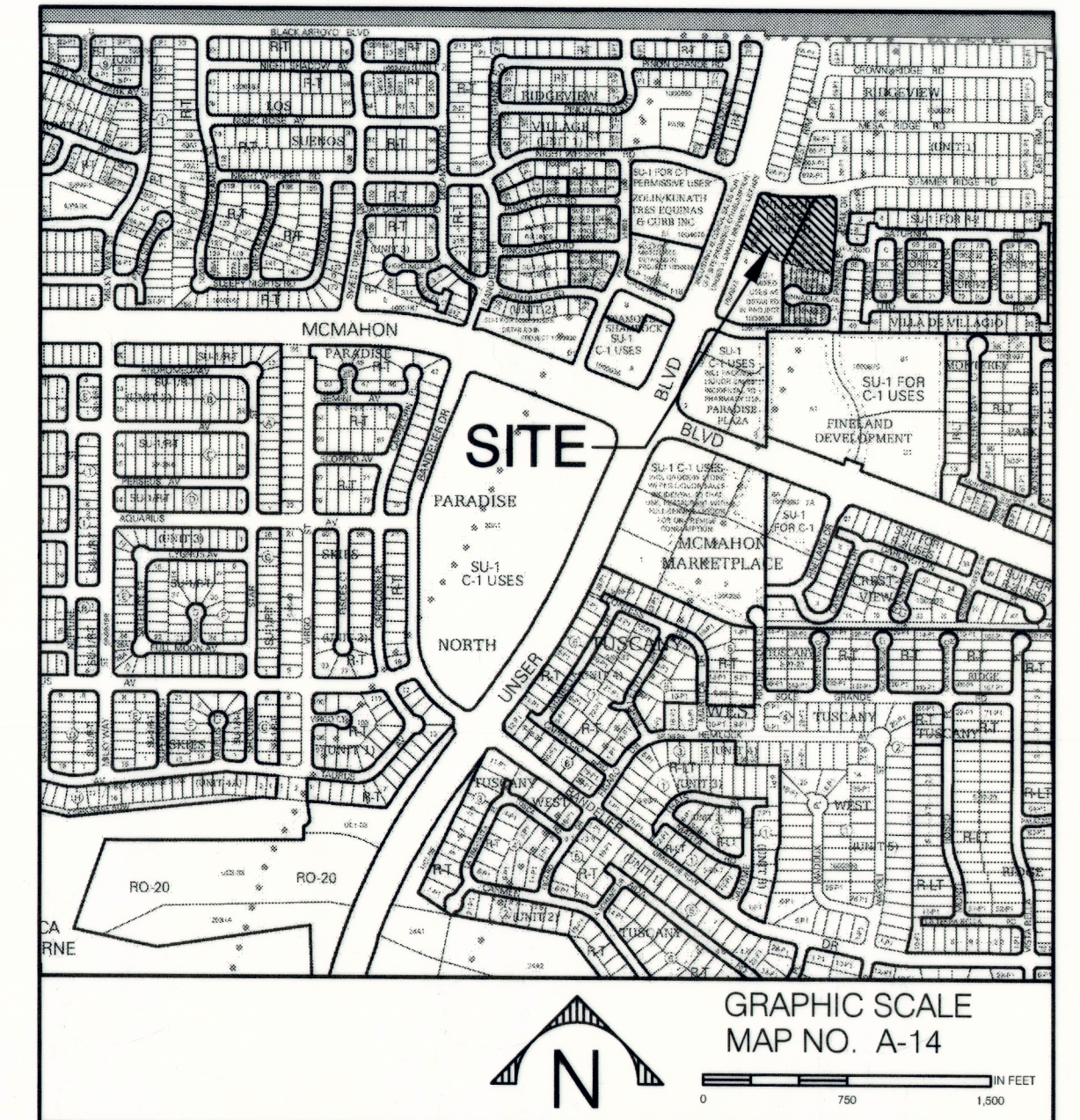
TOTAL PARKING REQUIRED:	19
TOTAL PROVIDED PARKING:	19
HANDICAPPED REQUIRED:	1
HANDICAPPED PROVIDED:	1
MOTORCYCLE PARKING REQUIRED:	1
MOTORCYCLE PARKING PROVIDED:	1
BICYCLE REQUIRED:	1
BICYCLE PROVIDED:	4

TRANSIT: BUS ROUTE 155 (COORS). THE BUS STOPS ARE LOCATED DIRECTLY ACROSS UNSER BLVD AND APPROXIMATELY 200' TO THE NORTH FROM THE SITE.

GENERAL NOTES:

- ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA REGULATIONS. PARKING LOT SITE LIGHTING SHALL BE A MAXIMUM 20 FEET AND COMPLY WITH THE UNSER/MCMAHON VILLAGE CENTER NORTH SITE PLAN FOR SUBDIVISION.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
- RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
- CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).

VICINITY MAP



Existing 10' Public Utility Easement.
 Filed: Dec 19, 2001
 (2001C-336)

Existing 10' Public Utility Easement.
 Filed: December 19, 2001
 (2001C-336)

Existing Public Water, Sanitary Sewer, Storm Drain and Public Roadway Easement.
 Filed: Dec. 19, 2001
 Book 2001C, P336

EXISTING 6' HT. CMU WALL

- KEY NOTES:
- PROPERTY BOUNDARY
 - EXISTING CURB AND GUTTER TO REMAIN
 - EXISTING ACCESSIBLE RAMP TO REMAIN
 - EXISTING 10' ASPHALT TRAIL TO REMAIN
 - EXISTING UTILITY ENCLOSURE
 - EXISTING UTILITY POLE
 - CONCRETE CURB AND GUTTER
 - CONCRETE DRIVE
 - CONCRETE SIDEWALK
 - STRIPED CROSSWALK
 - 8' HEIGHT WROUGHT IRON FENCE, COLOR: BLACK
 - REFUSE ENCLOSURE
 - SITE LIGHTING
 - BICYCLE RACK
 - MONUMENT SIGN
 - ELECTRIC GATE KEY PAD
 - "MOTORCYCLE PARKING ONLY" SIGN
 - "HANDICAP PARKING ONLY" SIGN WITH "VAN ACCESSIBLE" SIGN
 - FLUSH WITH SIDEWALK
 - CONCRETE PARKING BUMPER
 - ADA ACCESS AISLE. AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-2.1.B NMSA 1978)
 - EXISTING ON-STREET BIKE LANE
 - 3' HEIGHT TAN SPLIT FACE CMU SCREENING WALL WITH 4" STONE CAP
 - 6' LENGTH STEEL BENCH, COLOR: BLACK

PROJECT NUMBER:
 Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

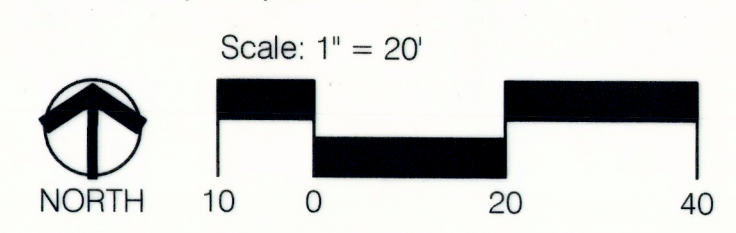
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
<i>Colin Wilkins</i>	4-20-16
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

GUARDIAN STORAGE - Unser & McMahon

SITE PLAN

Prepared For:
 Guardian Storage
 9221 Eagle Ranch Rd. NW
 Albuquerque, NM 87114

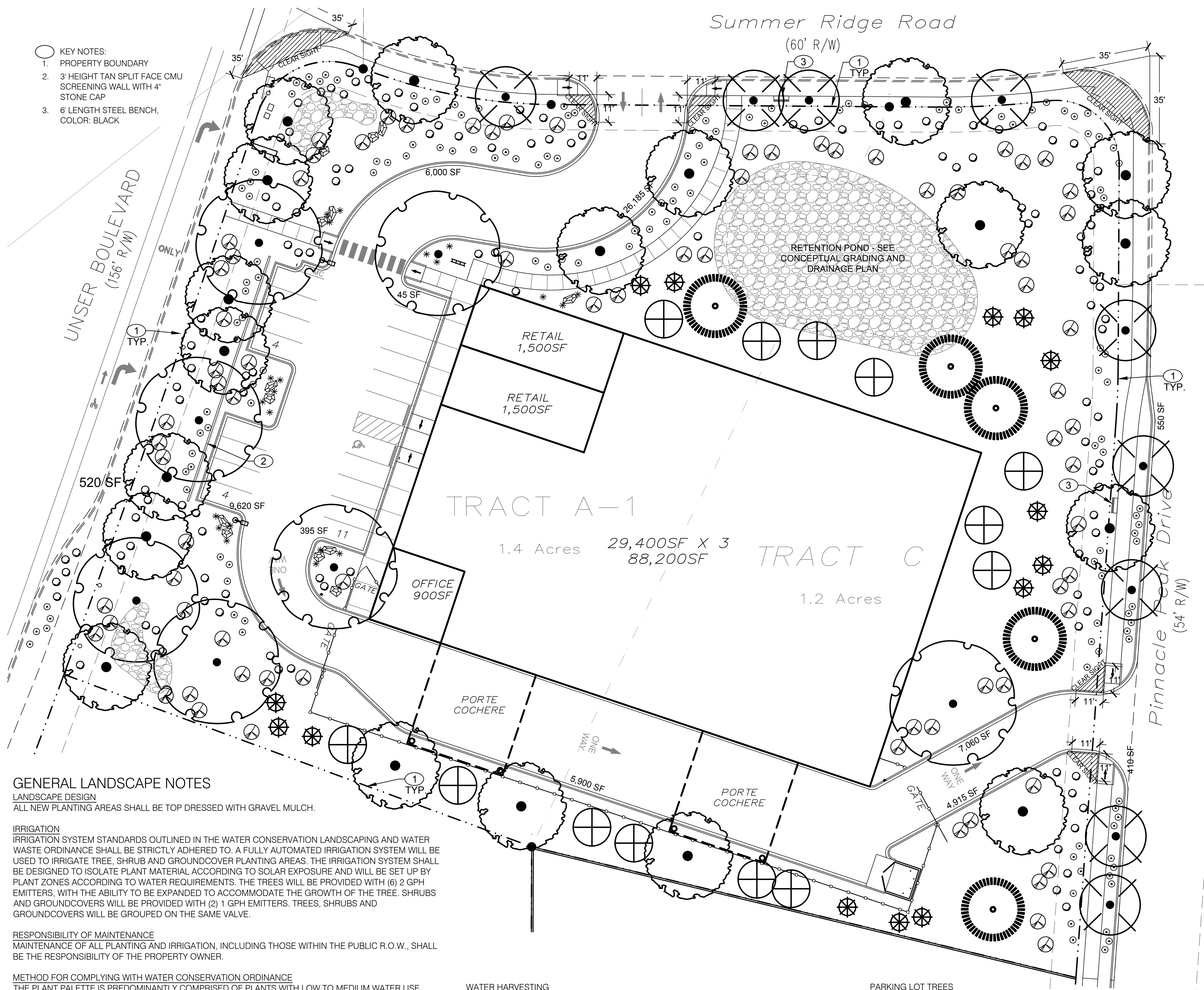
Prepared By:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102



Huit-Zollars
 333 Rio Rancho Blvd., Suite 101
 Rio Rancho, NM 87124

March 21, 2016

SHEET 1 OF 6



- KEY NOTES:**
1. PROPERTY BOUNDARY
 2. 3' HEIGHT TAN SPLIT FACE CMU SCREENING WALL WITH 4" STONE CAP
 3. 6' LENGTH STEEL BENCH, COLOR: BLACK

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL NEW PLANTING AREAS SHALL BE TOP DRESSED WITH GRAVEL MULCH.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

WATER HARVESTING
SEE GRADING AND DRAINAGE PLAN FOR STRATEGY TO CAPTURE THE FIRST .44" OF FIRST FLUSH RAINFALL.

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA (2.6 AC.):	113,256 SF
BUILDING AREA:	- 29,400 SF
NET AREA	83,856 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	12,578 SF
PROVIDED LANDSCAPE AREA	61,600 SF (73%)
LANDSCAPE LIVE VEGETATIVE COVERAGE	
LANDSCAPE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 75% OF THE REQUIRED LANDSCAPE AREA.	
REQUIRED LIVE VEGETATIVE COVERAGE AREA:	9,434 SF (75%)
PROVIDED LIVE VEGETATIVE COVERAGE AREA:	9,725 SF (77%)

PARKING LOT TREES
19 PARKING SPACES ARE PROVIDED. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 2
PARKING LOT TREES PROVIDED: 2

STREET TREES
STREET TREES SHALL BE PROVIDED ALONG UNSER BOULEVARD AT 1 TREE PER 25' TO COMPLY WITH THE UNSER/MCMAHON VILLAGE CENTER NORTH SITE PLAN FOR SUBDIVISION. UNSER BOULEVARD FRONTAGE IS 235'.
STREET TREES REQUIRED: 10 TREES
STREET TREES PROVIDED: 10 TREES

SUMMER RIDGE ROAD AND PINNACLE PEAK DRIVE ARE LOCAL ROADS AND DO NOT REQUIRE STREET TREES

NOTE: THE STREET TREES ALONG UNSER BOULEVARD HAVE BEEN ADJUSTED TO RESPOND TO THE EXISTING POWER LINES AND PNM COMMENTS.

PLANT LEGEND

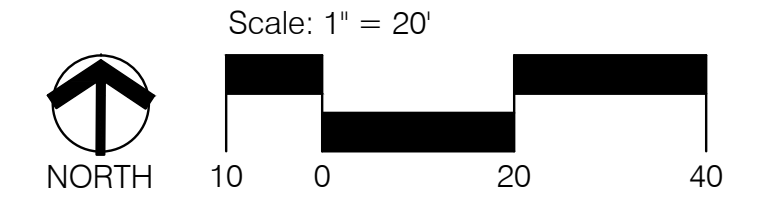
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
9		ACER TARTARICUM 'HOT WINGS' HOT WINGS MAPLE	2" B&B.	10' HT. X 4' SPR. 20' HT. X 24' SPR.	MED
19		FRAXINUS PENNSYLVANICA 'URBANITE' URBANITE ASH	2.5" B&B	10' HT. X 6' SPR. 35' HT. X 35' SPR.	LOW
7		GLEDITSIA TRIANCANTHOS HONEY LOCUST	2" B&B.	10' HT. X 6' SPR. 60' HT. X 50' SPR.	MED
15		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET ROCKY MTN. JUNIPER	B&B.	10' MIN HT. 20' HT. X 5' SPR.	MED
13		QUERCUS ROBUR X Q. ALBA 'CRIMSCHMIDT' CRIMSON SPIRE OAK	2" B&B.	10' HT. X 4' SPR. 45' HT. X 15' SPR.	MED
5		PINUS NIGRA AUSTRIAN PINE	B&B.	6' MIN HT. 35' HT. X 25' SPR.	MED
LARGE SHRUBS					
		BACCHARIS SAROTHOIDES DESERT BROOM	5-GAL.	6" O.C. 6' HT. X 6' SPR.	LOW
		ELAEAGNUS PUNGENS SILVERBERRY	5-GAL.	8" O.C. 6' HT. X 10' SPR.	MED.
		PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5-GAL.	6" O.C. 4' HT. X 5' SPR.	LOW
		SYRINGA SPP. LILAC	5-GAL.	6" O.C. 6' HT. X 5' SPR.	MED
MEDIUM SHRUBS					
		LAVANDULA ANGUSTIFOLIA ENGLISH LAVENDER	1-GAL.	3" O.C. 3' HT. X 3' SPR.	MED
		CALAMAGROSTIS A. 'KARL FOERSTER' KARL FOERSTER REED GRASS	1-GAL.	2" O.C. 4' HT. X 2' SPR.	MED
		MULHENBERGIA CAPILLARIS REGAL MIST	1-GAL.	3" O.C. 3' HT. X 3' SPR.	MED
		POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3" O.C. 3' HT. X 3' SPR.	LOW+
		RHAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5" O.C. 3' HT. X 3' SPR.	MED
SMALL SHRUBS & GROUNDCOVERS					
		VINCA MAJOR GIANT PERIWINKLE	1-GAL.	4" O.C. 2' HT. X 4' SPR.	MED
		NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA	1-GAL.	2" O.C. 2' HT. X 2' SPR.	MED
		RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC	1-GAL.	4" O.C. 2' HT. X 4' SPR.	LOW+
		ZAUSCHNERIA CALIFORNICA HUMMINGBIRD PLANT	1-GAL.	3" O.C. 2' HT. X 3' SPR.	LOW
DESERT ACCENTS					
		DASYLIRION WHEELERI SOTOL	5-GAL.	4" O.C. 4' HT. X 4' SPR.	LOW
BOULDERS, MULCHES, AND TURF					
		MOSS ROCK BOULDERS (3X3' MIN)			
		3/8" - 1 1/4" GRAVEL MULCH, COLOR: AMARETTO BROWN OR EQUIVALENT (3" DEPTH OVER WEED CONTROL FABRIC)			
		1"-4" COBBLE STONE, COLOR: BLUE SAIS OR EQUIVALENT (6" DEPTH OVER WEED CONTROL FABRIC)			

GUARDIAN STORAGE - Unser & McMahon

LANDSCAPE PLAN

Prepared For:
Guardian Storage
9221 Eagle Ranch Rd. NW
Albuquerque, NM 87114

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



March 21, 2016

SHEET 2 OF 6

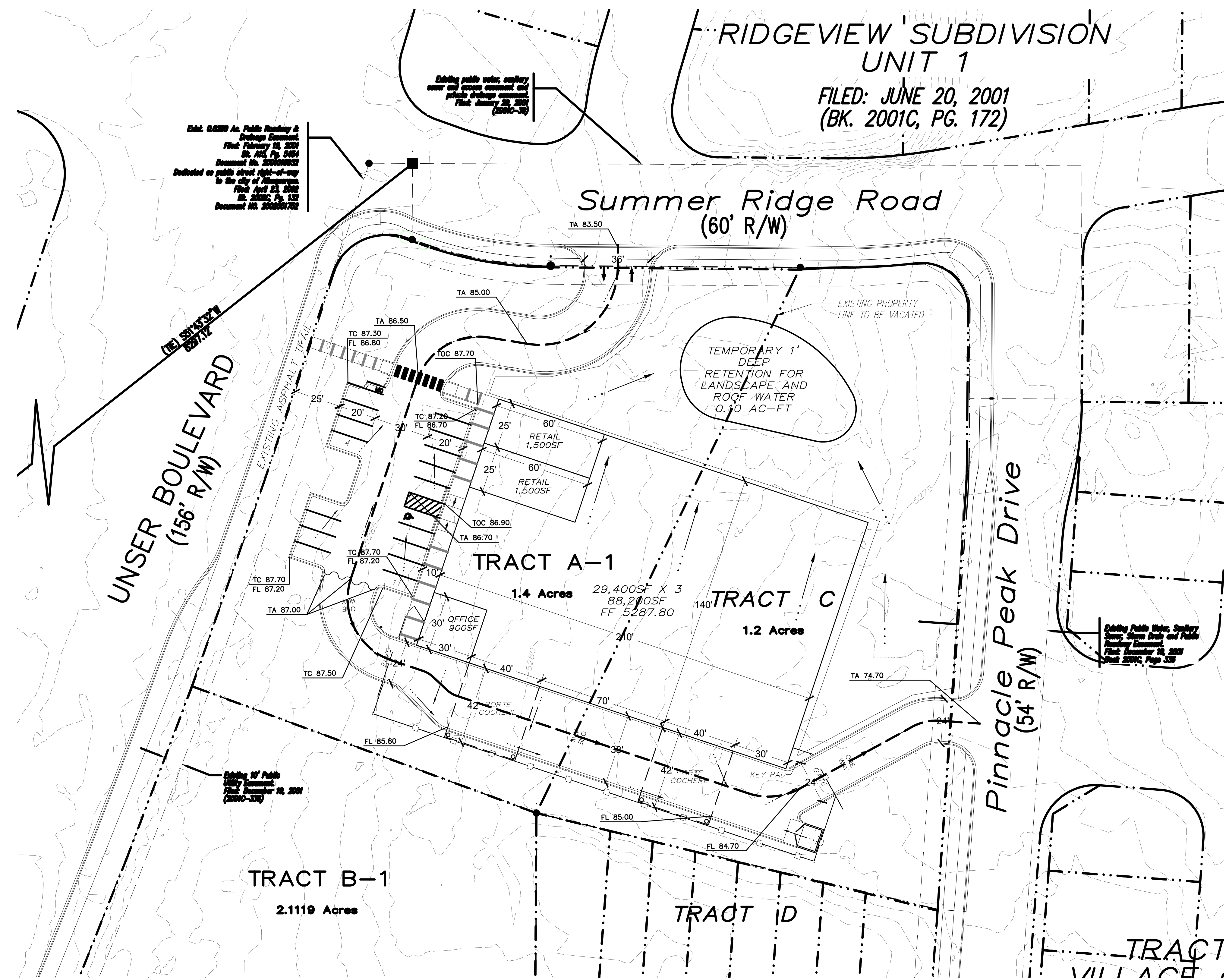
RIDGEVIEW SUBDIVISION UNIT 1

FILED: JUNE 20, 2001
(BK. 2001C, PG. 172)

Summer Ridge Road
(60' R/W)

UNSER BOULEVARD
(156' R/W)

Pinnacle Peak Drive
(54' R/W)



Edict 04880 An. Public Hearing & Drainage Consent.
Filed February 13, 2001
By: A.C.E. PG. 0004
Document No. 2001000022
Dedicated as public street right-of-way to the City of Albuquerque.
Filed April 23, 2001
By: A.C.E. PG. 0005
Document No. 2001000702

Edicting Public Water, Sanitary Sewer, Storm Sewer, and Public Utility Consent.
Filed June 20, 2001
By: A.C.E. PG. 0001

Edicting of Public Utility Consent.
Filed December 16, 2001
By: A.C.E. PG. 0001

SITE DATA:
LEGAL DESCRIPTION: TRACTS A-1 & C VILLAGE CENTER NORTH

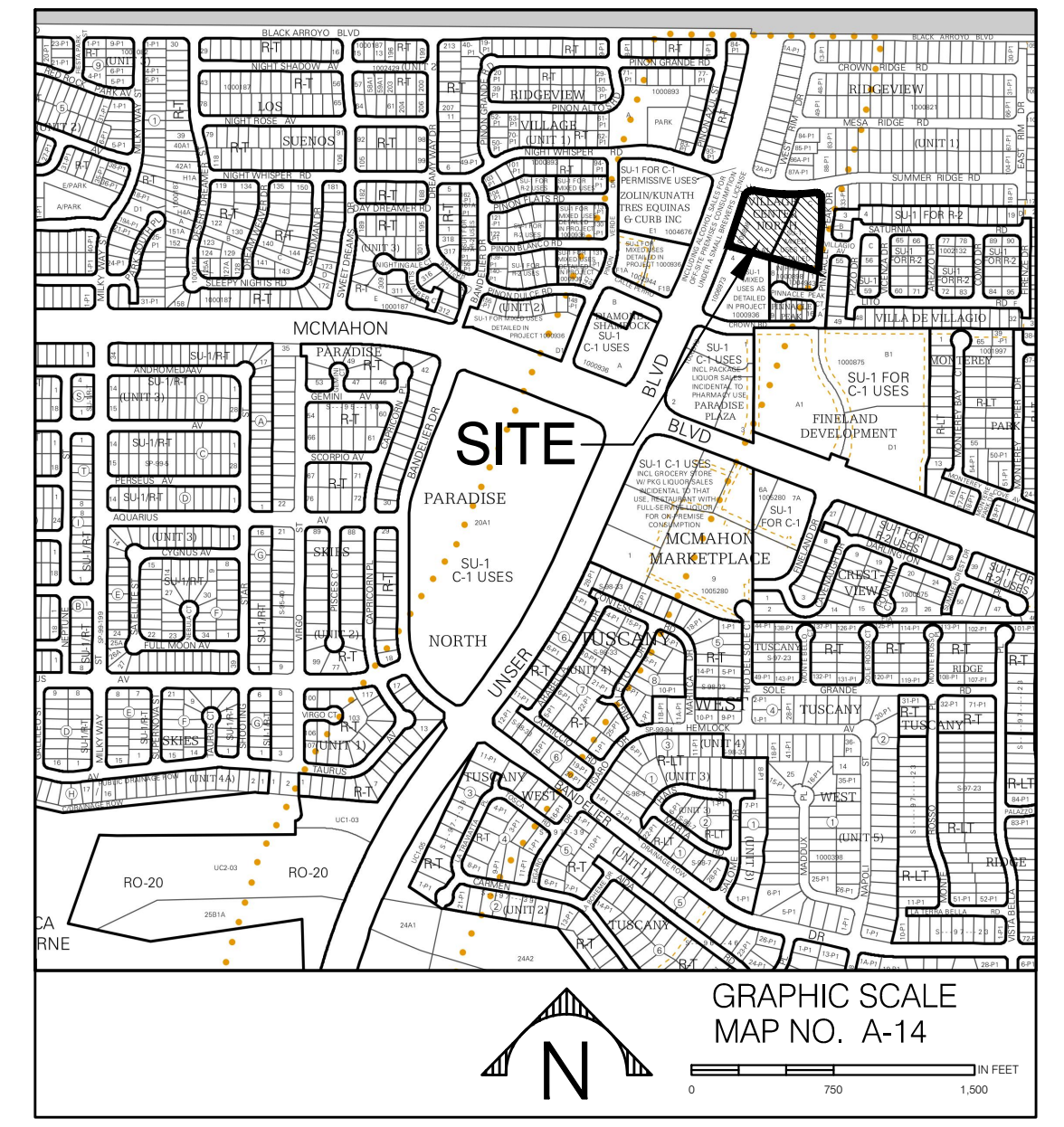
SITE AREA: 2.6 AC.

PROPOSED LAND USE: 3-STORY BUILDING FOR STORAGE AND RETAIL USES AS PERMITTED IN THE SU-1 FOR C-1 USES WHICH ALLOWS PERMISSIVE AND CONDITIONAL USES. STORAGE FACILITY TO PROHIBIT THE IMPROPER STORAGE OF HAZARDOUS, EXPLOSIVE OR ILLEGAL MATERIALS.

EXISTING CONDITIONS: THE 2.6 ACRE SITE CURRENTLY HAS NATIVE GRASSES AND SHRUBS ACROSS THE ENTIRE PROPERTY. STORM WATER SHEET FLOWS ACROSS THE SITE FROM WEST TO EAST AND ONTO SUMMER RIDGE AND PINNACLE PEAK. THE SITE CURRENTLY PRODUCES 3.30 CFS.

PROPOSED CONDITIONS: THE CURRENT SITE IS GOVERNED BY THE MASTER DRAINAGE STUDY FOR UNSER/MCMAHON AREA; THE REPORT ALLOWS FREE DISCHARGE FROM THE SITE WITH AN IMPERVIOUS AREA OF 90% D'. THE PROPOSED SITE PLAN WILL HAVE AN IMPERVIOUS AREA OF 50% D' OR 1.3 ACRES WITH AN ALLOWABLE DISCHARGE OF 8.31 CFS AND A TOTAL VOLUME OF 0.28 AC-FT. STORM WATER FROM THE BUILDING WILL BE CAPTURED WITHIN A DEPRESSED AREA IN THE NORTHEAST CORNER OF THE SITE. THE DEPRESSION WILL BE 1' DEEP WITH AN RETENTION CAPACITY OF 0.10 AC-FT. PARKING AREAS AND DRIVE ISLES WILL SHEET FLOW FROM THE SITE AND ONTO SUMMER RIDGE AND PINNACLE PEAK RESPECTIVELY.

VICINITY MAP



GENERAL LEGEND

- EXISTING CONTOUR — 5040
- PROPOSED SPOT ELEVATION ADD 5200 TO SPOT ELEVATIONS — 36.3
- TOP OF ASPHALT TA
- TOP BACK OF CURB TC
- FLOWLINE ELEVATION FL
- TOP OF SIDEWALK TOC

S.O. 19 REQUIREMENTS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK IN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE SAME TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

ENGINEER'S CERTIFICATION

I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

FLOOD ZONE

PER THE FEMA MAP NUMBER 35001C0104H DATED AUGUST 16, 2012 THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE AREA.

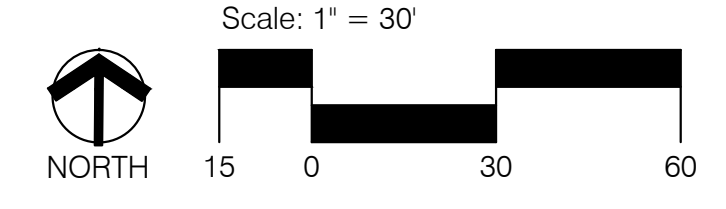
APPROVALS	NAME	DATE
A.C.E. DESIGN		
INSPECTOR		
A.C.E. FIELD		

GUARDIAN STORAGE Unser & McMahon

CONCEPTUAL GRADING AND DRAINAGE PLAN

Prepared For:
Guardian Storage
9221 Eagle Ranch Rd. NW
Albuquerque, NM 87114

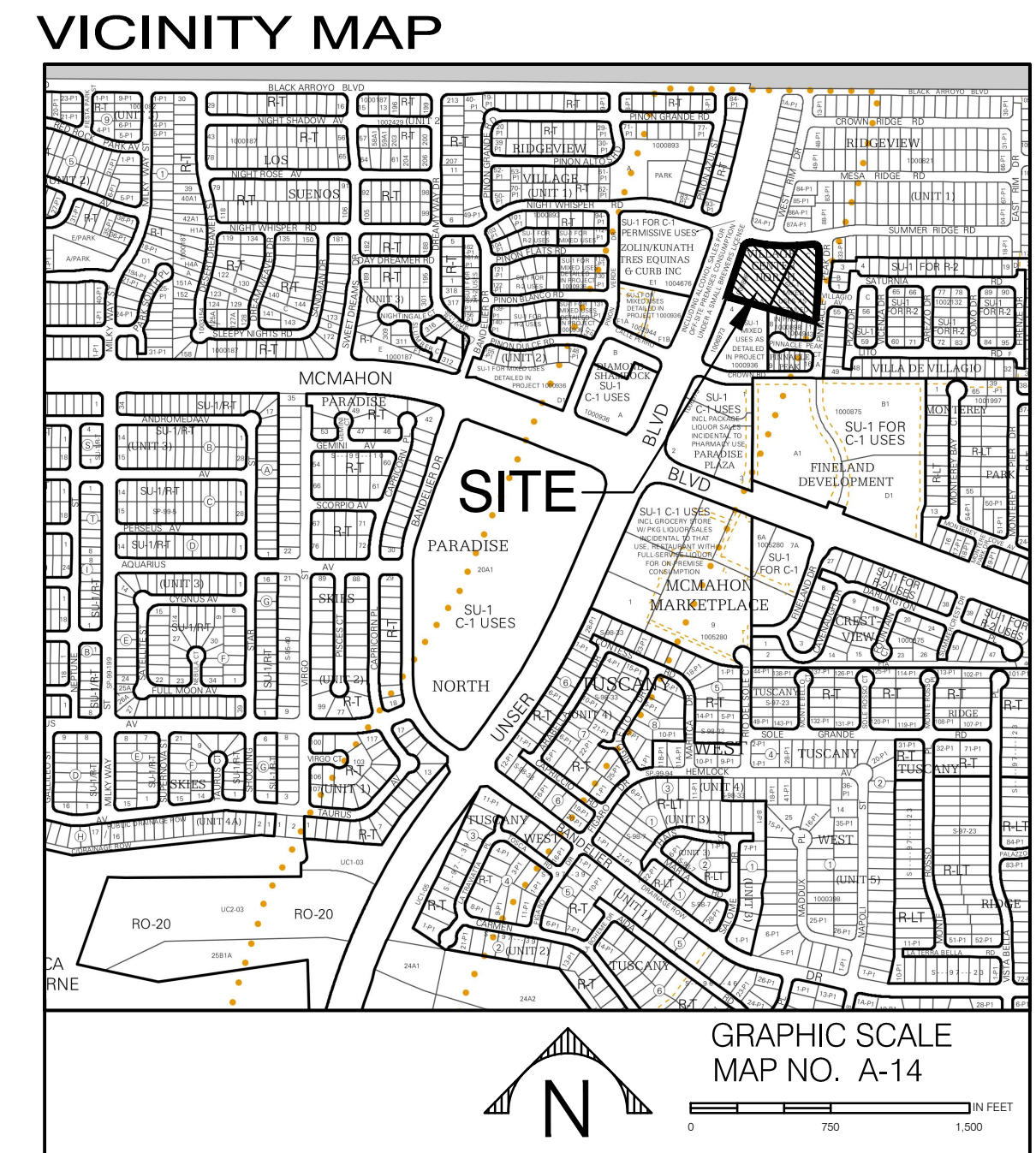
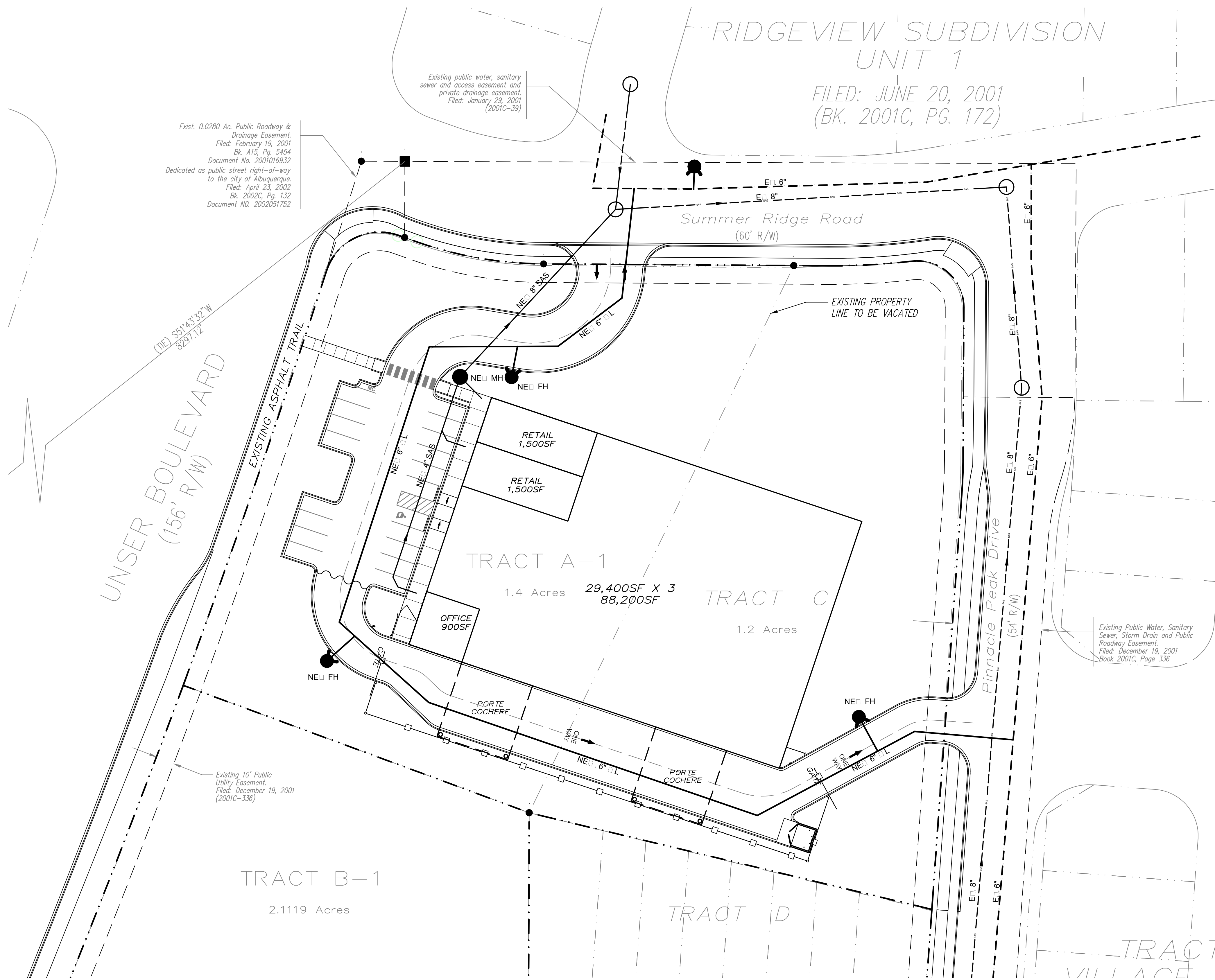
Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



January 28, 2016

Designed By:
HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

Huitt-Zollars
333 Rio Rancho Blvd., Suite 101
Rio Rancho, NM 87124



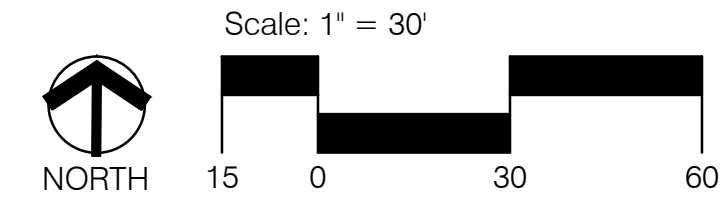
GUARDIAN STORAGE Unser & McMahon

CONCEPTUAL UTILITY PLAN

Prepared For:
Guardian Storage
9221 Eagle Ranch Rd. NW
Albuquerque, NM 87114

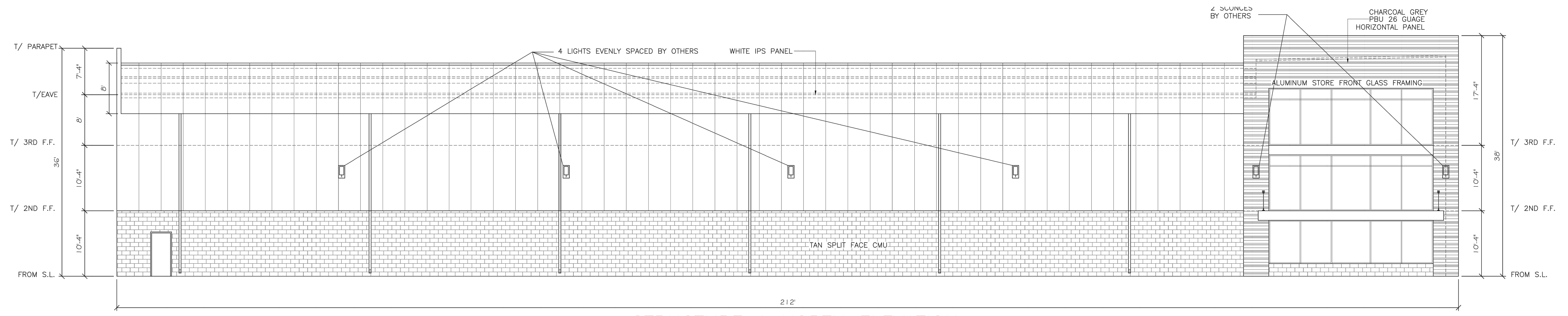
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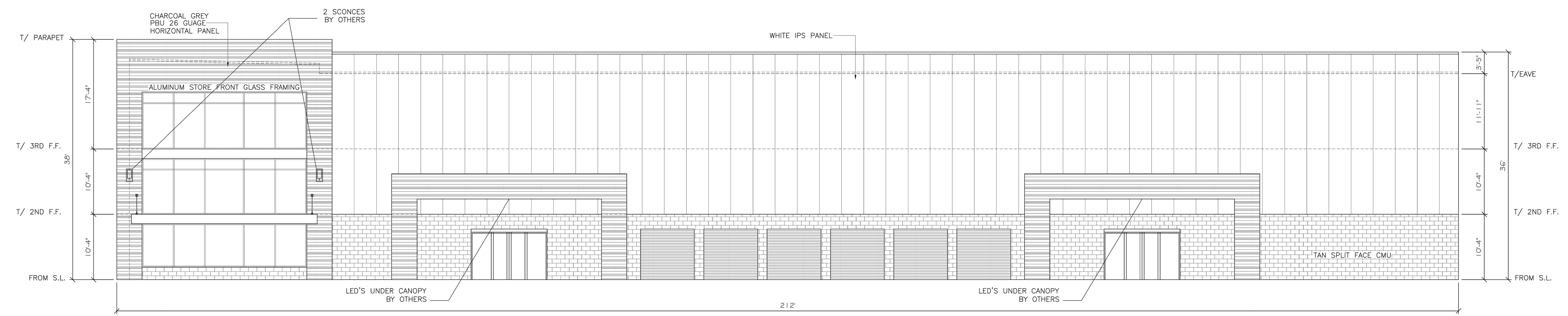


January 28, 2016

Sheet 4 of 6



STRUCTURE A NORTH ELEVATION
SCALE: 1/8" = 1'

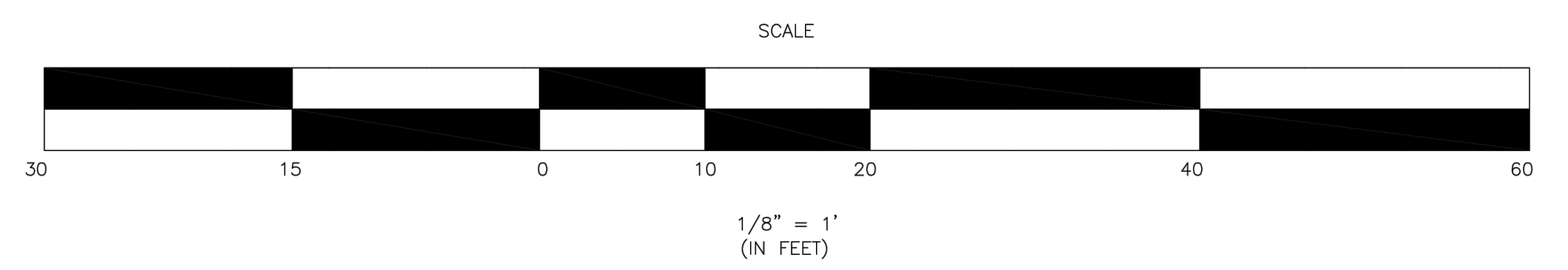


STRUCTURE A SOUTH ELEVATION
SCALE: 1/8" = 1'

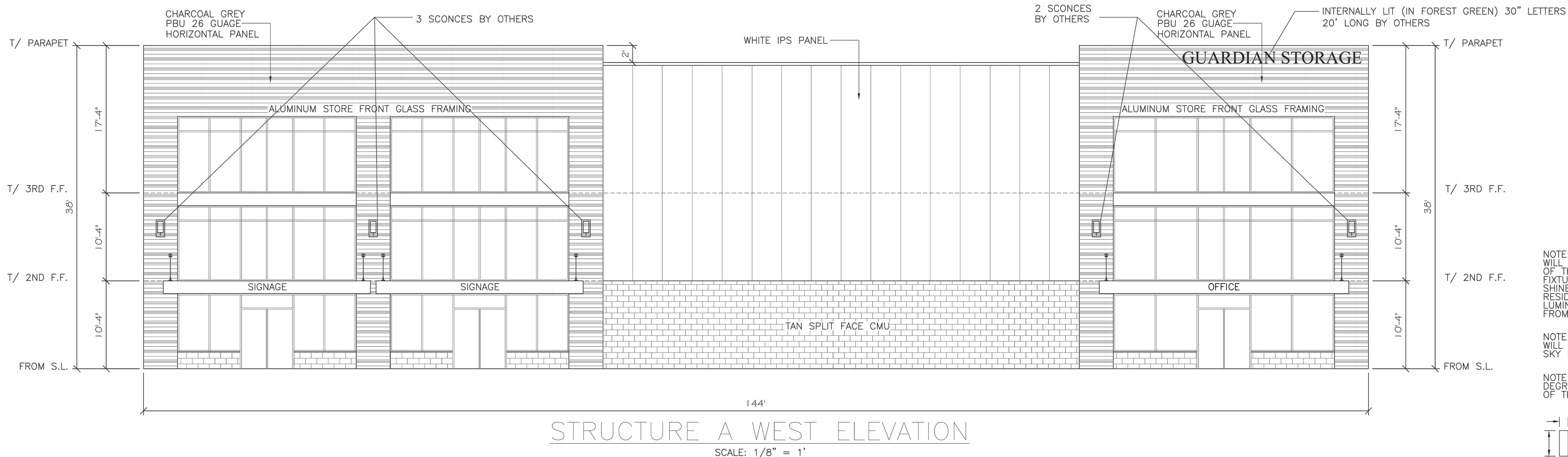
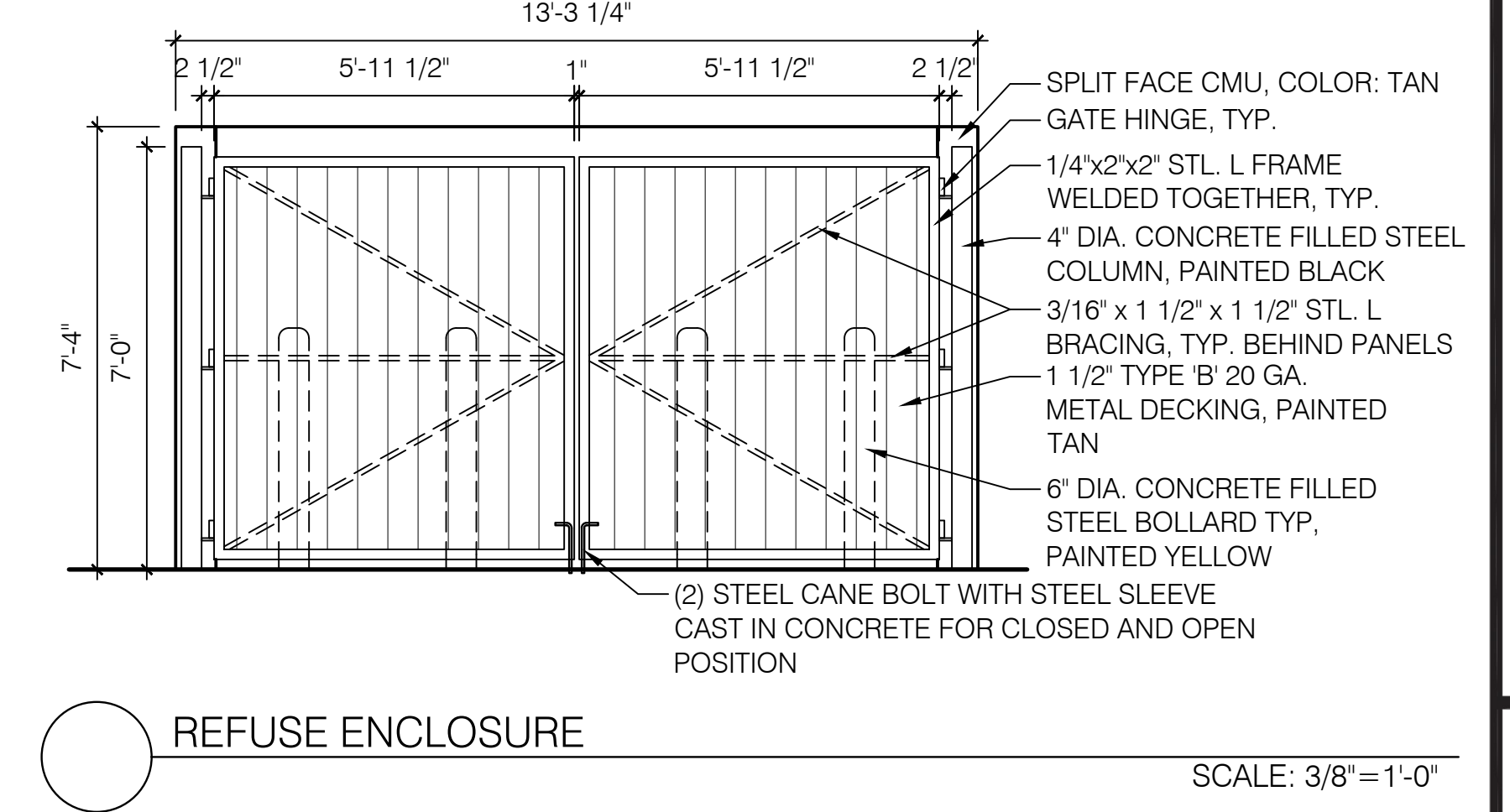
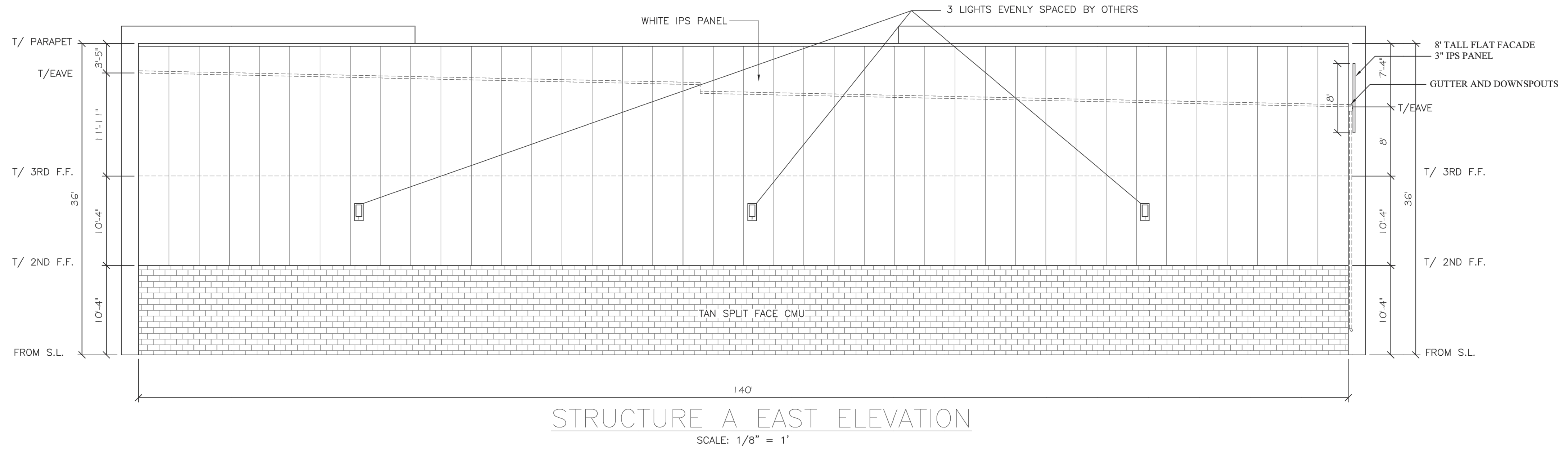
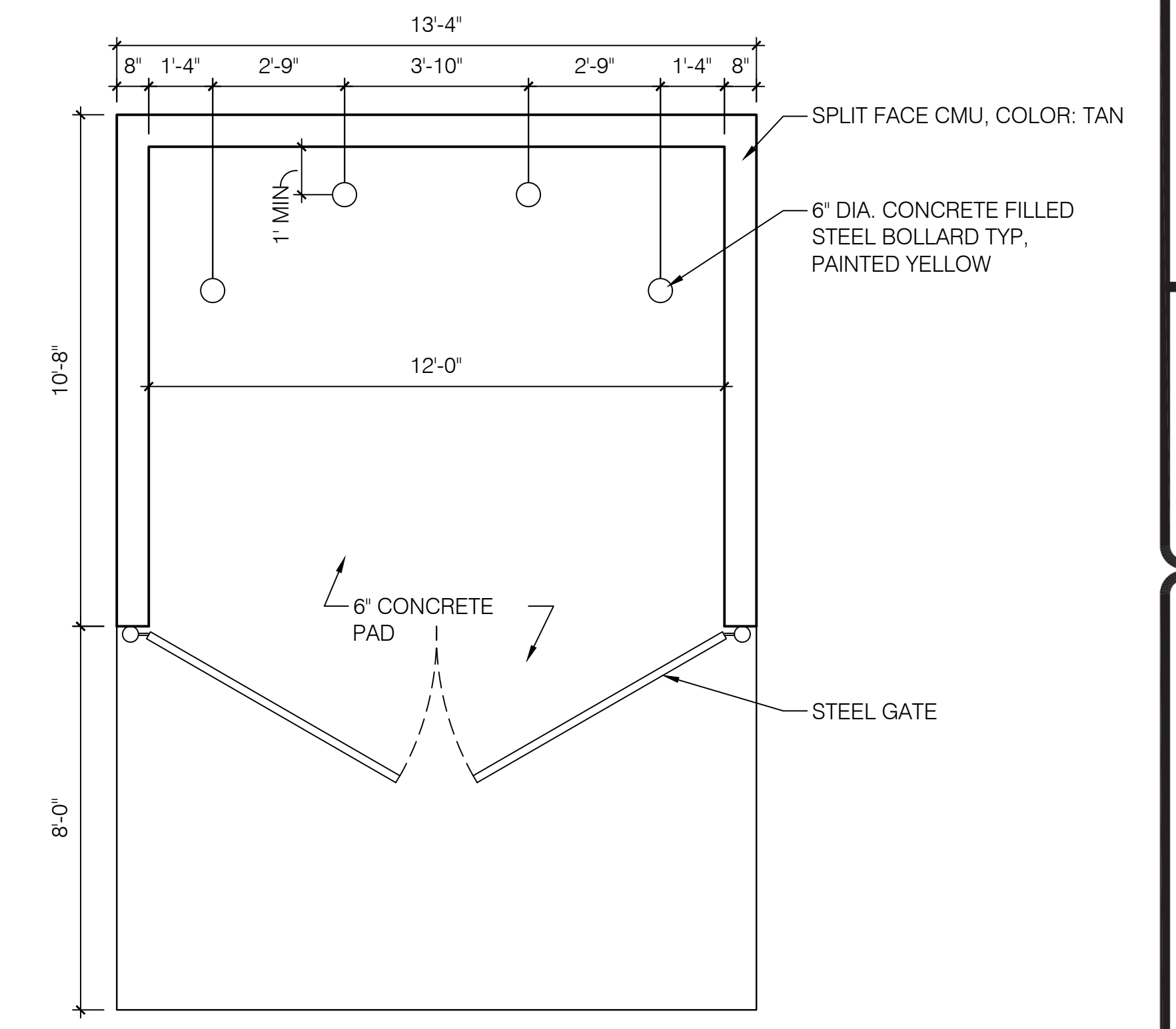
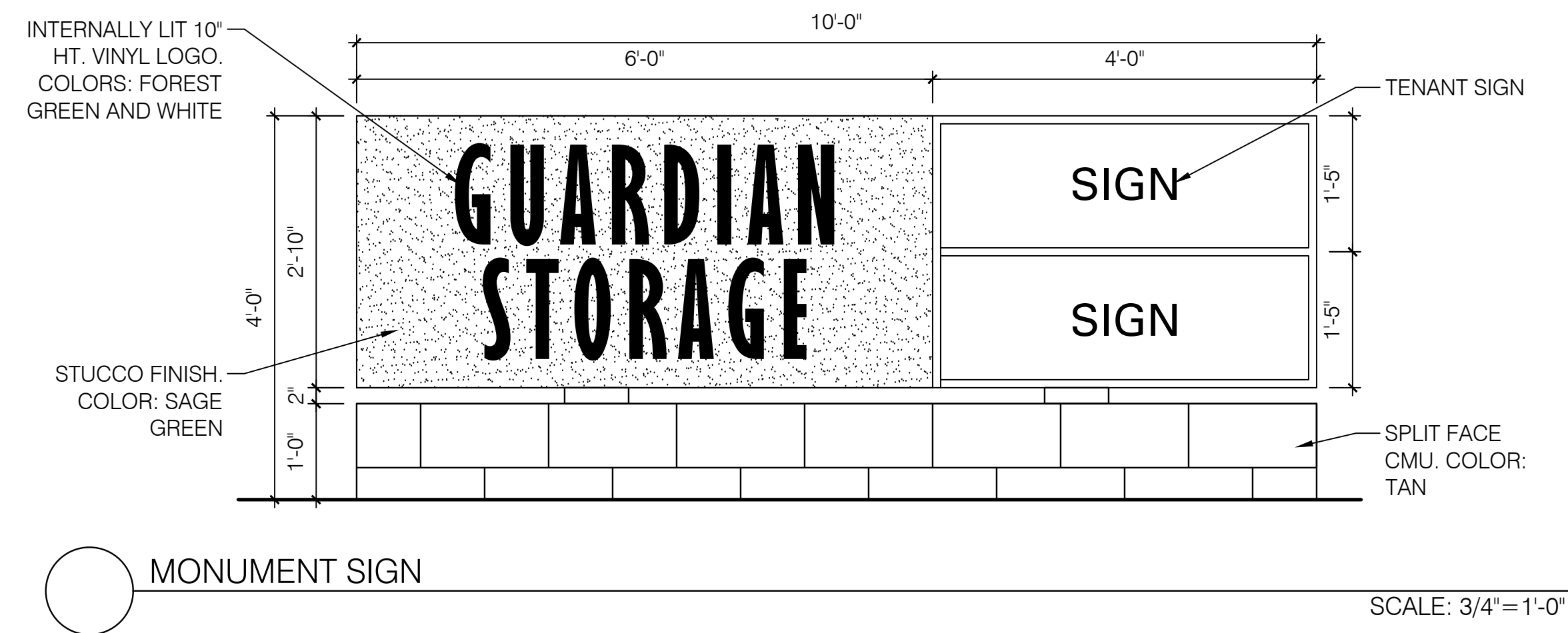
NOTE: THE LIGHTING PLAN FOR THE SUBJECT SITE WILL CONFORM TO THE AREA LIGHTING REGULATIONS OF THE ZONING CODE (14-16-3-9) AND THAT LIGHTING FIXTURES MUST INCLUDE A CUT-OFF ANGLE, NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ANY OTHER RESIDENTIAL PREMISES AND SHALL NOT HAVE AN OFF SITE LUMINANCE GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

NOTE: THE LIGHTING PLAN FOR THE SUBJECT SITE WILL CONFORM TO THE STATE OF NEW MEXICO NIGHT SKY PROTECTION ACT (74-12-1 TO 74-12-10 NMSA).

NOTE: THE PROPOSED BUILDING WILL CONFORM TO THE 45 DEGREE ANGLE PLANE DESIGN PARAMETER REQUIREMENTS OF THE UNSER/MCAHON VILLAGE CENTER NORTH SITE DEVELOPMENT PLAN.



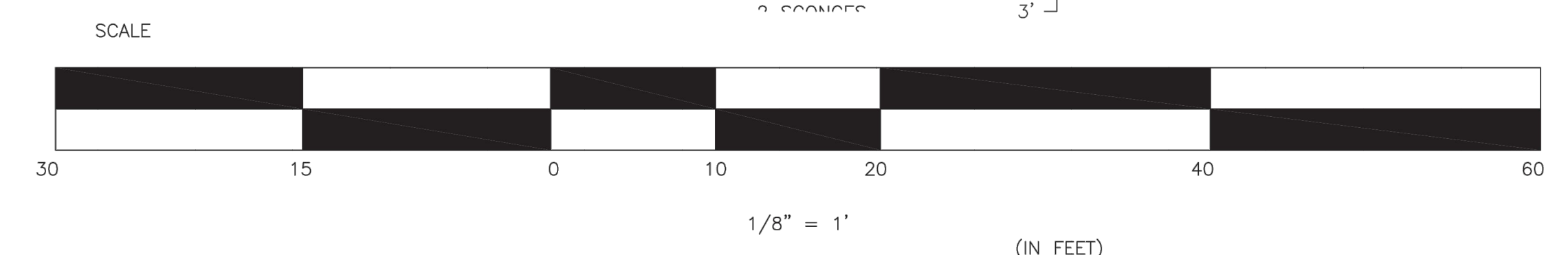
NOTE:
ALL DIMENSIONS MUST BE VERIFIED
BY CERTIFIED CIVIL ENGINEER



NOTE: THE LIGHTING PLAN FOR THE SUBJECT SITE WILL CONFORM TO THE AREA LIGHTING REGULATIONS OF THE ZONING CODE (14-16-3-9), AND THAT LIGHTING FIXTURES MUST INCLUDE A CUT-OFF ANGLE, NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ANY OTHER RESIDENTIAL PREMISES AND SHALL NOT HAVE AN OFF SITE LUMINANCE GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

NOTE: THE LIGHTING PLAN FOR THE SUBJECT SITE WILL CONFORM TO THE STATE OF NEW MEXICO NIGHT SKY PROTECTION ACT (74-12-1 TO 74-12-10 NMSA).

NOTE: THE PROPOSED BUILDING WILL CONFORM TO THE 45 DEGREE ANGLE PLANE DESIGN PARAMETER REQUIREMENTS OF THE UNSER/MCMAHON VILLAGE CENTER NORTH SITE DEVELOPMENT PLAN.



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DATE	03-29-16
DRAWN BY:	DJM
GUARDIAN S.S. ALBUQUERQUE, NM.	
THE RABCO CORPORATION	1061 CROWN PARK CIRCLE • WINTER GARDEN, FL 32787 800/989-0220 • CB C04783 • FAX: 407/877-9065
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