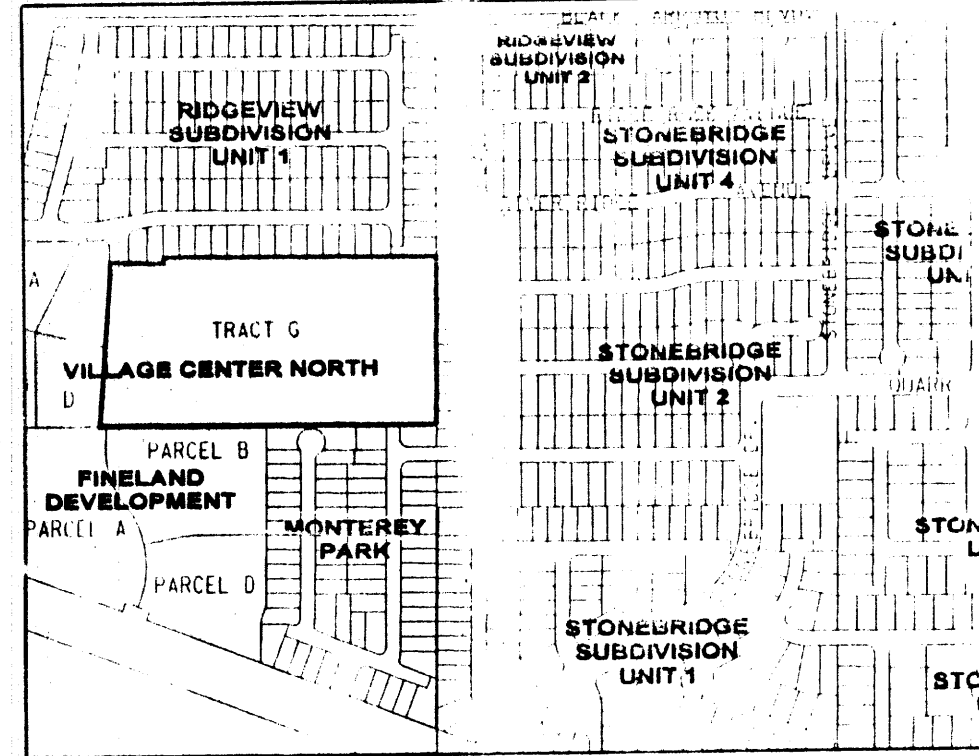


HYDROLOGY SECTION  
FEB 05 2004

SP-2003421641



LOCATION MAP  
ZONE ATLAS INDEX MAP NO. A-II-Z  
NOT TO SCALE

**SUBDIVISION DATA**

1. DWS PROJECT No. 1002132
2. ZONE ATLAS INDEX No. A-II-Z
3. GROSS SUBDIVISION ACREAGE: 13.0225 ACRES.
4. TOTAL NUMBER OF LOTS/TRACTS CREATED: NINETY-FIVE (95) LOTS AND SIX (6) TRACTS.
5. TOTAL MILEAGE OF FULL WIDTH PUBLIC STREETS CREATED: 0.772 MILE.
6. DATE OF SURVEY: SEPTEMBER, 2003
7. PLAT IS LOCATED WITHIN SECTION 2, T11N, R2E, NMP1

**DISCLOSURE STATEMENT**

THE PURPOSE OF THE FILING OF THIS PLAT IS TO SUBDIVIDE ALL OF TRACT G OF THE BLK. LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN B.L.C. 2001C, PAGE 336, AS DOCUMENT NO. 2001151262 INTO 95 LOTS AND 6 TRACTS, TO GRANT EASEMENTS, TO VACATE EASEMENTS AND TO DEDICATE PUBLIC STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:

- PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- NEW MEXICO UTILITIES, INC. FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND WATER AND SANITARY SEWER LINES ACROSS THE EASEMENT.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SWIM POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMERS/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

**DESCRIPTION**

A CERTAIN TRACT OF LAND, TO-WIT: SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, BEING AND CONTAINING ALL OF TRACT G OF THE BLK. LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN B.L.C. 2001C, PAGE 336, AS DOCUMENT NO. 2001151262, AND NOW BEING REDEVELOPED AND REDESCRIBED BY NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE) AS FOLLOWS:

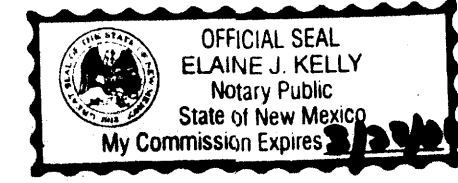
BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT G, WHENCE THE CENTERLINE OF ALBUQUERQUE SURVEY MONUMENT NO. 1977, HAVING NEW MEXICO STATE PLANE GRID COORDINATES FOR THE CENTER POINT: X=372,920.43; Y=10,50,241.52, BEARING S56°12'21"E A DISTANCE OF 105.54 FEET; THENCE ALONG THE SOUTHERLY BOUNDARY LINE OF SAID TRACT G, N89°49'03"W A DISTANCE OF 660.72 FEET; THENCE, N89°48'25"W A DISTANCE OF 392.36 FEET TO THE SOUTHWEST CORNER OF SAID TRACT G; THENCE ALONG THE WESTERLY BOUNDARY LINE OF SAID TRACT G, 21.50 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 354.00 FEET AND A CHORD BEARING N02°13'18"E A DISTANCE OF 21.49 FEET TO A POINT OF TANGENCY; THENCE, N04°07'22"E A DISTANCE OF 401.09 FEET TO A POINT OF CURVATURE; THENCE, 18.42 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 276.00 FEET AND A CHORD BEARING N02°12'37"E A DISTANCE OF 18.42 FEET TO A POINT OF TANGENCY; THENCE, N00°17'53"E A DISTANCE OF 34.11 FEET TO THE NORTHEAST CORNER OF SAID TRACT G; THENCE ALONG THE NORTHERLY BOUNDARY LINE OF SAID TRACT G, S89°42'07"E A DISTANCE OF 107.52 FEET; THENCE, N00°22'53"E A DISTANCE OF 17.30 FEET; THENCE, S89°37'07"E A DISTANCE OF 853.44 FEET TO THE NORTHEAST CORNER OF SAID TRACT G; THENCE ALONG THE EASTERLY BOUNDARY LINE OF SAID TRACT G, S00°18'18"W A DISTANCE OF 190.00 FEET; THENCE, S00°08'42"W A DISTANCE OF 28.08 FEET; THENCE, S00°18'39"W A DISTANCE OF 24.91 FEET; THENCE, S00°19'45"W A DISTANCE OF 80.01 FEET TO THE POINT OF BEGINNING.

TRACT G CONTAINS 13.0225 ACRES, MORE OR LESS.

**FREE CONSENT AND DEDICATION**

THE UNDERSIGNED HEREBY GRANT CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING AND CONTAINING ALL OF TRACT G OF THE BLK. LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN B.L.C. 2001C, PAGE 336, AS DOCUMENT NO. 2001151262, IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE PUBLIC RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT EASEMENTS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO INSPECT, OPERATE, MAINTAIN, REPAIR, MODIFY OR REMOVE ("WORK") IT DEEMS APPROPRIATE WITHOUT LIABILITY TO THE CITY, IF THE WORK EFFECTS ANY IMPROVEMENTS OR ENCROACHMENTS MADE BY THE GRANTEE, THE CITY WILL NOT BE FINANCIALLY OR OTHERWISE RESPONSIBLE FOR REBUILDING OR REPAIRING OF IMPROVEMENTS OR ENCROACHMENTS. IF IN THE OPINION OF THE CITY, THE WORK TO BE PERFORMED BY THE CITY COULD ENDANGER THE STRUCTURAL INTEGRITY OR OTHERWISE DAMAGE THE IMPROVEMENTS OR ENCROACHMENTS, THE GRANTEE SHALL, AT HIS OWN EXPENSE, TAKE WHATEVER PROTECTIVE MEASURES ARE REQUIRED TO SAFEGUARD THE IMPROVEMENTS OR ENCROACHMENTS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

ENTRADA DEVELOPMENT, LLC  
BY: *John Phayand*  
STATE OF NEW MEXICO  
COUNTY OF BERNALILLO  
THIS INSTRUMENT WAS FORWARDED TO ME ON 28<sup>th</sup> October 2003, BY SKR KARSGARD MANAGING MEMBER OF ENTRADA DEVELOPMENT, LLC.  
MY COMMISSION EXPIRES: 3/27/06 *Elaine J. Kelly*  
NOTARY PUBLIC



**NOTES**

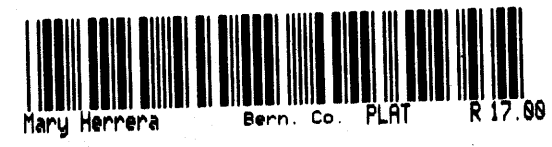
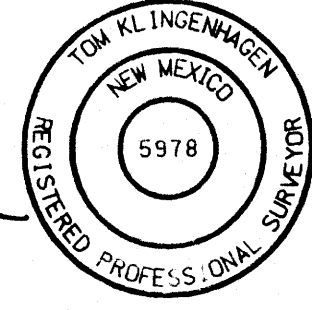
1. BASIS OF BEARINGS: NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE) HAD 1927.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. THESE PROPERTIES ARE WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC.) FRANCHISE AREA. WATER AND SANITARY SEWER SYSTEMS CAPABILITY ARE BASED ON NMU, INC. FACILITIES, NOT THE CITY OF ALBUQUERQUE.
5. CENTERLINE (IN LIEU OF R/W) (MENTIONED) TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND SHALL CONSIST OF A STANDARD FOUNDING OF (4") ALUMINUM ALLOY CUP STAMPED "CITY OF ALBUQUERQUE", CENTERLINE MONUMENT "CON", "SURVEY MARKER", "DO NOT DISTURB", "PLS#5978".
6. TRACTS A, B, C, D, E AND F ARE OPEN SPACE TRACTS TO BE OWNED AND MAINTAINED BY THE VILLA DE VILLAGIO HOMEOWNERS ASSOCIATION.
7. TRACT D IS SUBJECT TO A PUBLIC SANITARY SEWER, STORM DRAIN AND WATERLINE EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT.
8. TRACTS E AND F ARE SUBJECT TO A NON-VEHICULAR PEDESTRIAN ACCESS EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT.
9. TRACT C IS A PARK SITE TO BE OWNED AND MAINTAINED BY THE VILLA DE VILLAGIO HOMEOWNERS ASSOCIATION.
10. THE FRONT (ADJACENT TO STREET RIGHT-OF-WAY) LOT CORNER WILL NOT BE STAKED. A WITNESS CORNER PROJECTED ALONG THE PROPERTY LINE (10' OFFSET OR ADJUSTED AS REQUIRED), BEING A CHISELED MARK ON THE CURB AND GUTTER WILL BE SET UPON COMPLETION OF ALL STREET IMPROVEMENTS.

**SURVEYOR'S CERTIFICATION**

I, THOMAS G. KLINGENHAGEN, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGULATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BOHANNAN-HUSTON, INC.  
COURTYARD I  
7500 JEFFERSON STREET, N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
(505)823-1000

*Tom Klingenhagen*  
THOMAS G. KLINGENHAGEN  
NEW MEXICO PROFESSIONAL SURVEYOR 5978  
DATE: 10-15-03



2004015214  
Page 1 of 3  
62-94/2894 62-27P  
BX-2894 Pg-41

**PLAT OF  
VILLA DE VILLAGIO SUBDIVISION  
(A REPLAT OF TRACT G, VILLAGE CENTER NORTH SUBDIVISION)  
ALBUQUERQUE, NEW MEXICO  
OCTOBER, 2003**

PROJECT NUMBER: 1002132  
APPLICATION: 03DRB-01963  
**PLAT APPROVAL**

UTILITY APPROVAL	<i>Dawn D.R. Muller</i>	10-20-03
QUEST TELEPHONE	<i>Rita Erickson</i>	10-21-03
CURB & CABLE	<i>Leah G. Muntz</i>	10-21-03
PNM GAS SERVICE	<i>Leah G. Muntz</i>	10-21-03
NEW MEXICO UTILITIES, INC.	<i>[Signature]</i>	11-3-03

CITY APPLICANT	<i>[Signature]</i>	10-27-03
CITY SURVEYOR	<i>[Signature]</i>	10-26-03
TRACING ENGINEER - PLANNING DIVISION	<i>[Signature]</i>	11-26-03
UTILITIES DEPARTMENT	<i>[Signature]</i>	12/8/03
PARKS & RECREATION DEPARTMENT	<i>[Signature]</i>	12-08-03
A.E.A.P.C.A.	<i>[Signature]</i>	11/26/03
CITY ENGINEER	<i>[Signature]</i>	11/26/03
DRE CHAIRPERSON - PLANNING DEPARTMENT	<i>[Signature]</i>	11/26/03
NRA	<i>[Signature]</i>	
REAL PROPERTY DIVISION	<i>[Signature]</i>	

**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #  
101106648442310125  
PROPERTY OWNER OF RECORD: *Smith Richard*  
*[Signature]*  
BERNALILLO COUNTY TREASURER'S OFFICE DATE: 11/14/04

**PNM STAMP**  
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon Huston**  
Court yard I 7500 Jefferson St NE Albuquerque, NM 87109-4335  
ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES

**LEGEND**

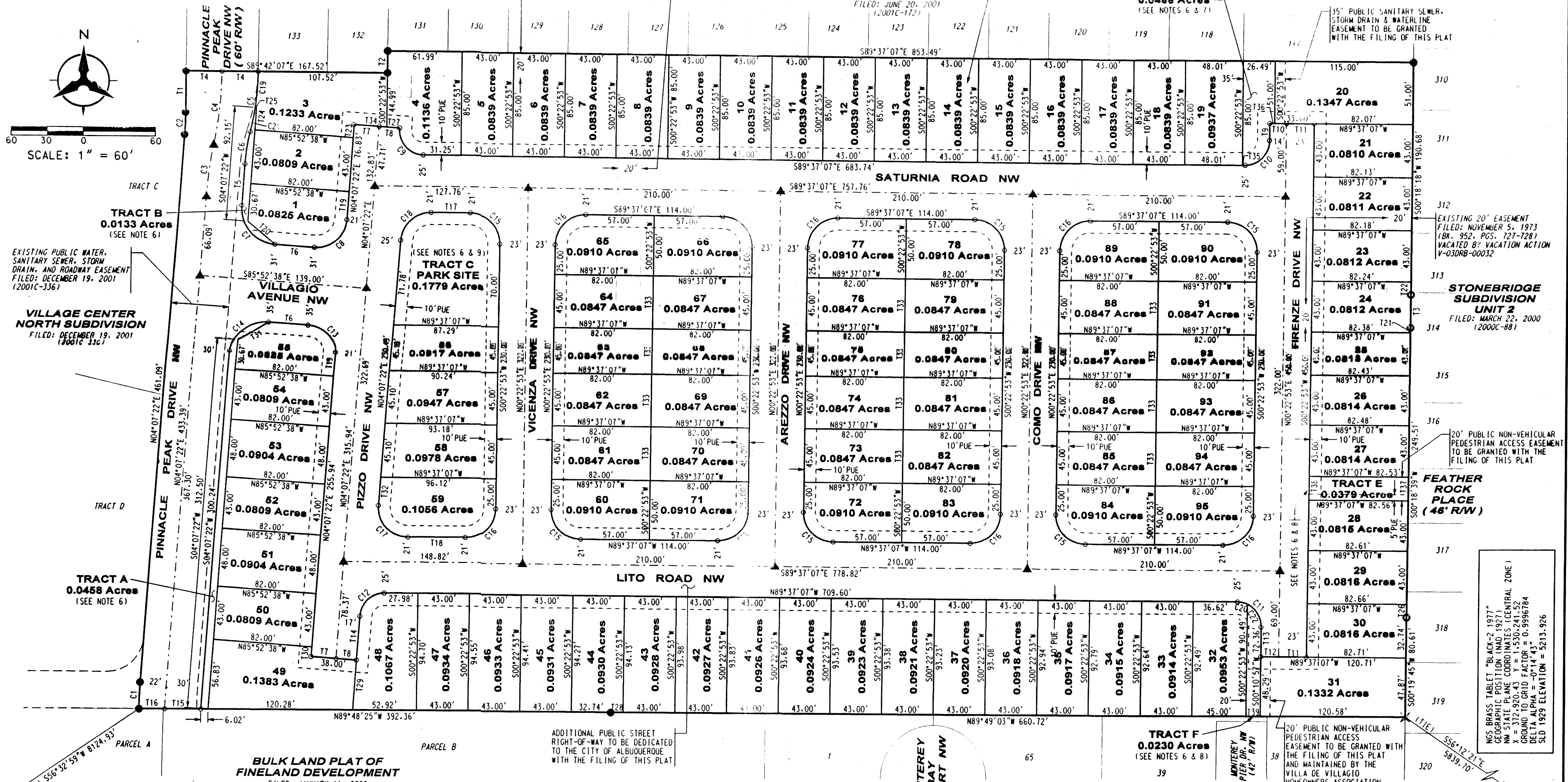
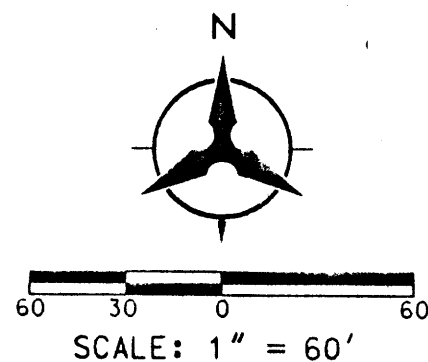
- SUBDIVISION BOUNDARY LINE
  - NEW LOT LINE
  - CENTERLINE
  - - - PROPOSED EASEMENT LINE
  - - - EXISTING EASEMENT LINE
  - - - ADJOINING PROPERTY LINE
  - - - RIGHT OF WAY
- PUE PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
  - ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
  - ▲ CENTERLINE MONUMENT TO BE INSTALLED
  - 5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "LS 5978"
  - ⊗ 5/8" REBAR WITH SURVEY WASHER STAMPED "LS 7719"
  - 5/8" REBAR WITH SURVEY CAP STAMPED "GREINER 3517"

NOTE: SEE SHEET 3 FOR CURVE & TANGENT DATA



2694815214  
 6226696  
 Page: 2 of 3  
 02/04/2004 02:27P  
 Bk-2004C Pg-41

**PLAT OF  
 VILLA DE VILLAGIO SUBDIVISION  
 (A REPLAT OF TRACT G, VILLAGE CENTER  
 NORTH SUBDIVISION)  
 ALBUQUERQUE, NEW MEXICO  
 OCTOBER, 2003**



ACS BRASS TABLET "3-B10 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 360,239.42 Y = 1,529,014.85  
 GROUND TO GRID FACTOR = 0.9996639  
 DELTA ALPHA = -0°16'11"  
 SLD 1929 ELEVATION = 5404.40

NOTE: TRACT G, VILLAGE CENTER NORTH SUBDIVISION, IS SUBJECT TO AN EXISTING CROSS-LOT DRAINAGE EASEMENT FOR THE USE AND BENEFIT OF TRACTS A, B, C, D, E, & F FILED: DECEMBER 19, 2001 (2001C-336) VACATED BY VACATION ACTION V-03DRB-00032

**CORRECTION PLAT OF  
 MONTEREY PARK SUBDIVISION**  
 FILED: SEPTEMBER 9, 2003  
 (2003C-276)

**Bohannon Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES



PLAT OF  
**VILLA DE VILLAGIO SUBDIVISION**  
 (A REPLAT OF TRACT G, VILLAGE CENTER  
 NORTH SUBDIVISION)  
 ALBUQUERQUE, NEW MEXICO  
 OCTOBER, 2003

CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	03°48'06"	10.75'	21.50'	324.00'	21.49'	N02°17'53"E
C2	03°49'28"	9.22'	18.42'	276.00'	18.42'	N02°17'53"E
C3	07°53'53"	20.71'	41.36'	300.00'	41.33'	N08°04'20"E
C4	11°43'26"	30.80'	61.39'	300.00'	61.28'	N06°09'26"E
C5	13°47'06"	25.38'	50.52'	210.00'	50.40'	S07°11'26"W
C6	09°57'37"	13.07'	26.08'	150.00'	26.04'	S09°06'10"W
C7	90°00'00"	30.00'	47.12'	30.00'	42.43'	S40°52'38"E
C8	90°00'00"	25.00'	39.27'	25.00'	35.36'	N49°00'22"E
C9	94°18'11"	21.56'	32.92'	20.00'	29.33'	S42°26'01"E
C10	90°00'00"	20.00'	31.42'	20.00'	28.28'	N45°22'53"E
C11	89°48'04"	19.93'	31.35'	20.00'	28.24'	N44°43'05"W
C12	86°15'32"	18.73'	30.11'	20.00'	27.35'	S47°01'02"W
C13	90°00'00"	25.00'	39.27'	25.00'	35.36'	N40°00'22"E
C14	90°00'00"	30.00'	47.12'	30.00'	42.43'	S49°00'22"E
C15	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°00'22"E
C16	90°00'00"	25.00'	39.27'	25.00'	35.36'	S45°00'22"W
C17	93°44'28"	26.69'	40.90'	25.00'	36.49'	N42°18'33"W
C18	88°15'32"	23.42'	31.64'	25.00'	34.18'	N47°15'07"E
C19	08°09'56"	14.98'	29.93'	210.00'	29.90'	N04°11'22"E
C20	24°46'32"	4.39'	8.60'	20.00'	8.48'	N77°13'11"W
C21	05°37'08"	10.31'	20.59'	210.00'	20.59'	N11°05'25"E
C22	65°01'32"	12.75'	22.70'	20.00'	21.50'	S32°10'49"E

TANGENT DATA		
ID	BEARING	DISTANCE
T1	N00°17'53"E	34.41'
T2	N00°22'53"E	17.80'
T3	S00°08'42"W	28.08'
T4	S89°42'07"E	30.00'
T5	S04°07'22"W	33.28'
T6	S85°52'38"E	33.00'
T7	S85°52'38"E	21.00'
T8	S85°52'38"E	17.00'
T9	N00°22'53"E	14.00'
T10	S89°37'07"E	14.00'
T11	S89°37'07"E	23.00'
T12	N89°37'07"W	15.00'
T13	N00°10'57"E	24.07'
T14	S04°07'22"W	35.69'
T15	N89°48'25"W	30.07'
T16	N89°48'25"W	21.34'
T17	S89°37'07"E	36.66'
T18	N89°37'07"W	41.70'
T19	S04°07'22"W	23.00'
T20	N90°02'37"W	29.80'
T21	S00°18'39"W	4.25'
T22	S00°18'18"W	10.68'
T23	S04°07'22"W	10.83'
T24	S04°07'22"W	18.48'
T25	N77°38'35"W	1.19'
T26	S00°18'39"W	10.26'
T27	N85°52'38"W	10.82'
T28	N89°49'03"W	10.26'
T29	S04°07'22"W	40.64'
T30	S04°07'22"W	7.94'
T31	S58°17'20"W	29.60'
T32	S04°07'22"W	23.42'
T33	S00°22'53"W	45.00'
T34	S85°52'38"E	23.18'
T35	N89°37'07"W	2.49'
T36	N89°37'07"W	4.00'
T37	S00°18'39"W	20.00'
T38	S00°22'53"W	20.00'
T39	N89°49'03"W	11.87'

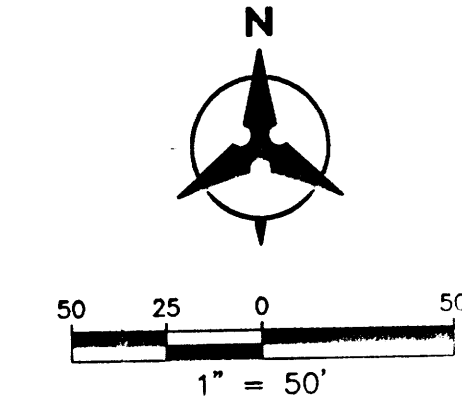


**Bohannon - Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES

SHEET 3 OF 3

PRELIMINARY PLAT FOR  
**VILLA DE VILLAGIO SUBDIVISION**  
 CURRENTLY TRACT 'G'  
 VILLAGE CENTER NORTH SUBDIVISION  
 DECEMBER 2002



**GENERAL NOTES**

- EXISTING/PROPOSED ZONING: SU-1 FOR R-2  
 PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
- PROPOSED NET ACREAGE: 13.02 ACRES  
 NUMBER OF LOTS: 95 D.U.  
 PROPOSED DENSITY: 7.30 D.U./ACRE
- MIN. LOT DIMENSIONS: 43'x82' MIN.  
 MINIMUM LOT AREA: 3,526 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS:  
 FRONT YARD: 15'  
 SIDE YARDS: 5' (10' ON CORNER LOTS)  
 BACK YARD: 15'
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO PINNACLE PEAK DRIVE.
- ALL LOTS SHOWN WITH THE P1 DESIGNATION SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA ITEM #1.
- EXISTING CROSS LOT DRAINAGE EASEMENT FOR THE USE AND BENEFIT OF TRACT A-F, VILLAGE CENTER NORTH, TO BE VACATED BY THIS PLAT.

**SITE DATA**

ZONE ATLAS NO.	A-11-2
ZONING	SU-1 FOR R-2
MILES OF FULL WIDTH STREETS CREATED	0.86 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	95
NO. OF TRACTS CREATED	6
DENSITY	7.3

**SURVEY NOTES**

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND PER AS SHOWN.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.S. ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARK 'D, DO NOT DISTURB PLS 6544'".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

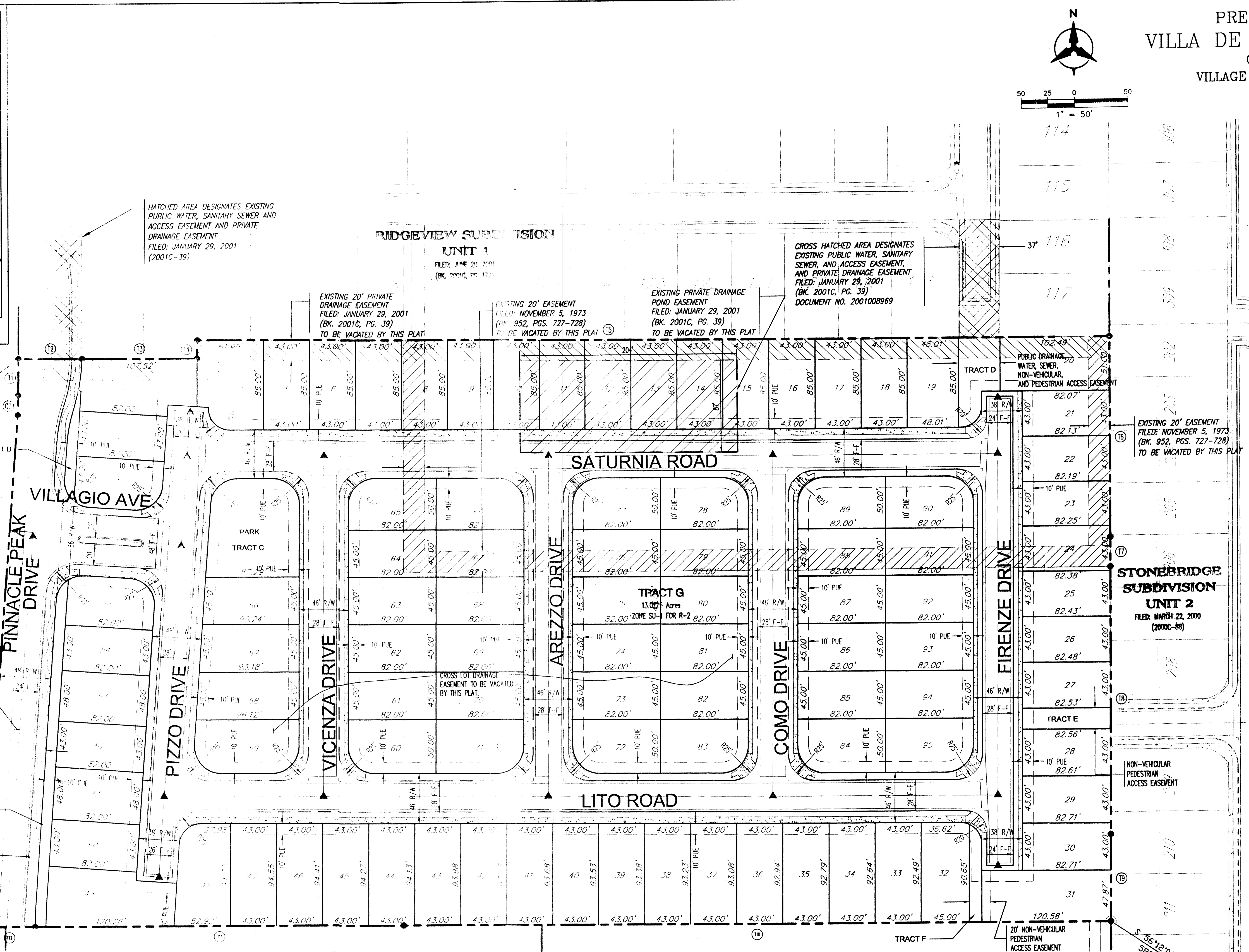
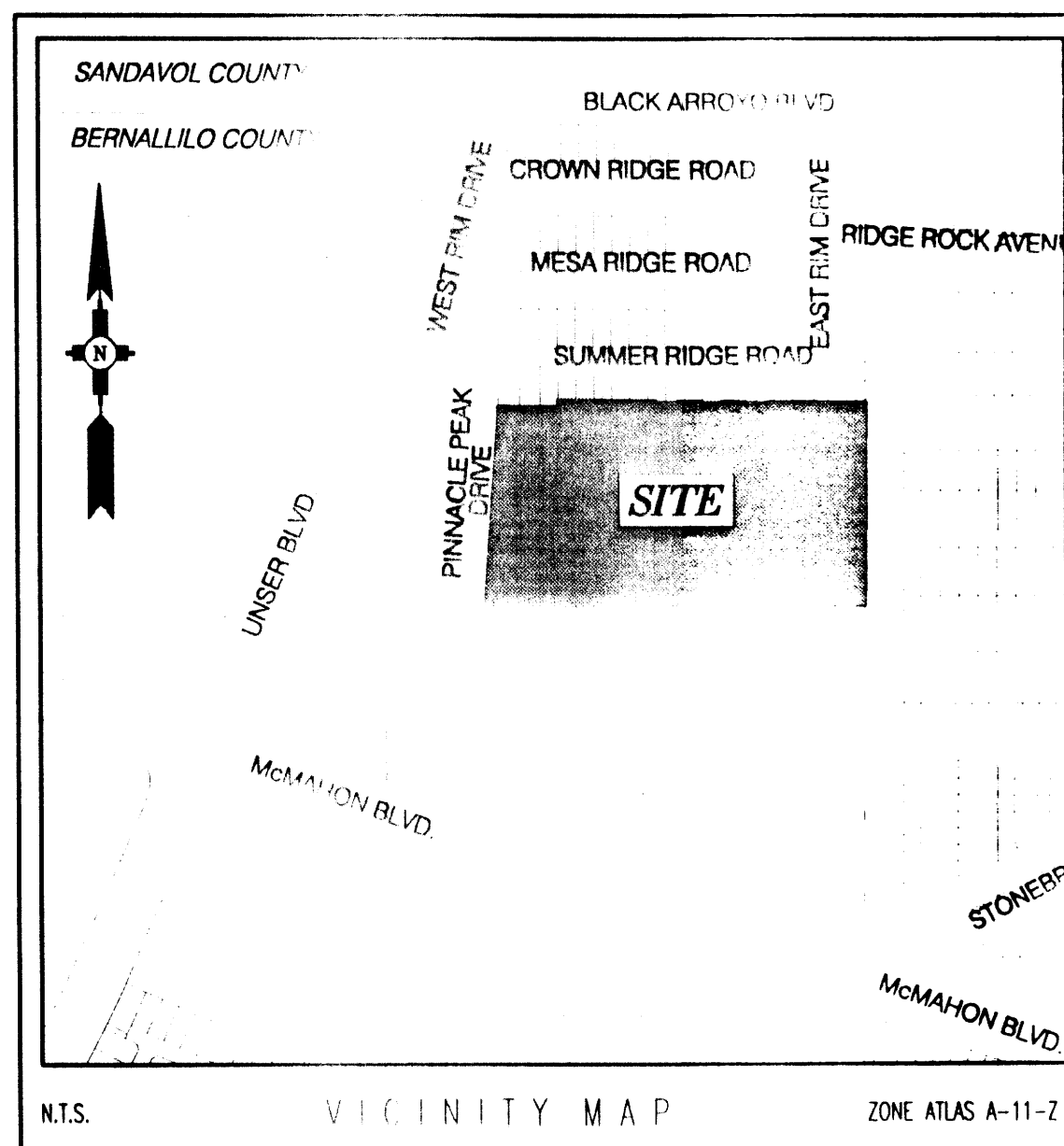
**LEGEND**

- SUBDIVISION BOUNDARY LINE
- - - EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- - - ADJOINING PROPERTY LINE
- - - PUBLIC UTILITY EASEMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- ▲ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

APPROVED FOR MONUMENTATION AND STREET NAMES  
  
 CITY SURVEYOR 1/8/03  
 DATE

TIMOTHY S. MCNANEY 1/8/03  
 DATE

**Bohannon & Huston**  
 Engineering & Spatial Data & Advanced Technologies  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4336



**Tract A**  
 1.44 Acres  
 SU-1 FOR MIXED USES  
 C-1  
 FILED: JANUARY 29, 2001  
 BK. 2001C, PG. 336

**Tract C**  
 1.291 Acres  
 SU-1 FOR MIXED USES  
 C-1  
 FILED: DECEMBER 19, 2001  
 BK. 2001C, PG. 336

**Tract D**  
 1.3816 Acres  
 SU-1 FOR MIXED USES  
 R-2  
 FILED: DECEMBER 19, 2001  
 BK. 2001C, PG. 336

**Tract F-1**  
 2.11 Acres  
 SU-1 FOR MIXED USES  
 C-1  
 EXISTING PUBLIC WATER, SANITARY SEWER, STORM DRAIN AND PUBLIC ROADWAY EASEMENT

**LANDS OF SIMON GLUCKMAN & HELEN FINE**  
 FILED: MAY 12, 1991  
 (0142A, 547-548)

**Parcel A**  
 1.99723.70 SF  
 4.3325 ACRES

**Parcel B**  
 1.65719.66 SF  
 3.8044 ACRES

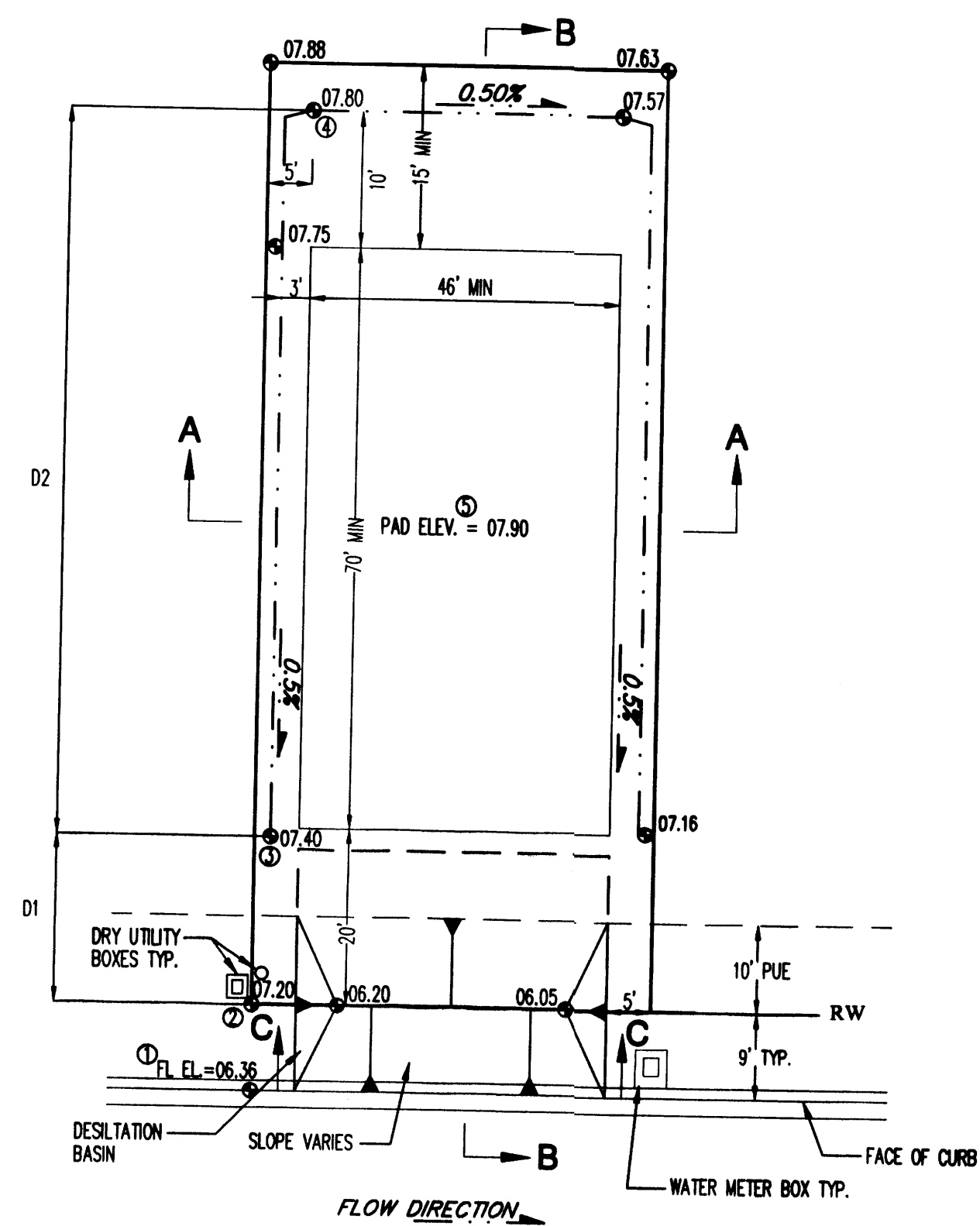
**Tangent Table**

ID	BEARING	LENGTH
T0	N00175.57°E	34.41'
T1	S8942.07°E	60.00'
T2	S8942.07°E	107.52'
T3	N0022.53°E	17.80'
T4	S8937.07°E	853.49'
T5	S0018.18°W	190.68'
T6	S0008.42°W	28.08'
T7	S0018.39°W	249.51'
T8	S0019.45°W	80.61'
T9	N8949.03°W	650.72'
T10	N8948.25°W	344.36'
T11	N8948.25°W	48.00'
T12	N0407.22°E	237.67'
T13	N0407.22°E	223.42'

**Curve Table**

ID	ARC	RADIUS	DELTA	TANGENT
C1	21.50°	324.00'	03°48'06"	10.75'
C2	18.42°	276.00'	03°49'28"	9.22'

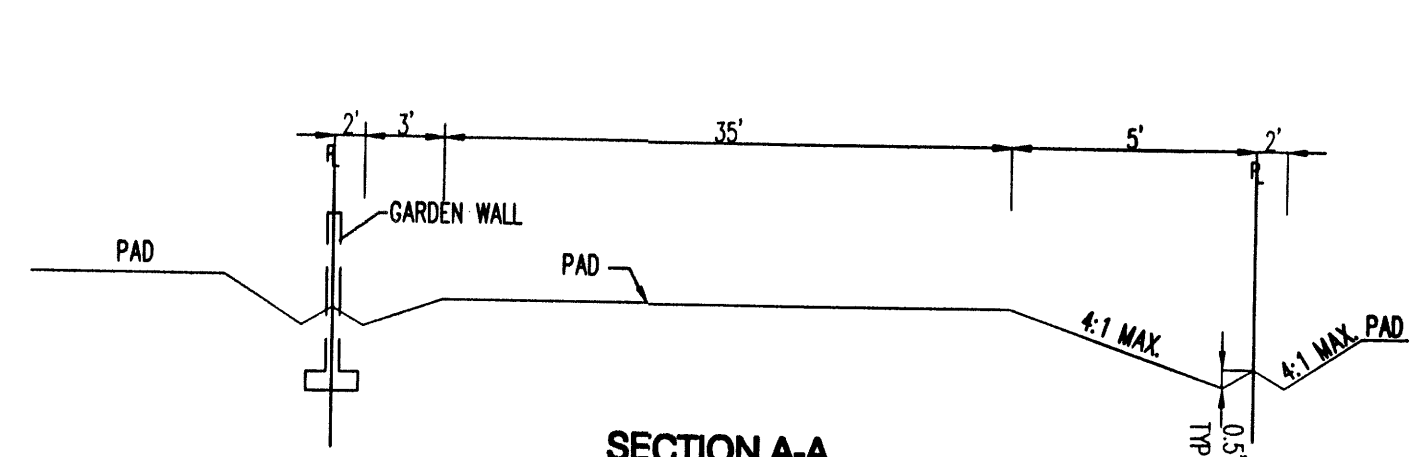




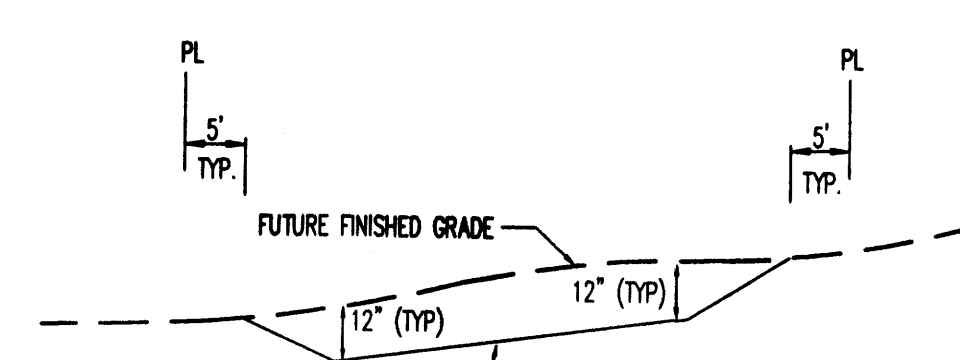
**TYPICAL LOT GRADE DETAIL WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL**  
NOT TO SCALE

TO SET SPOT ① - ADD 0.84' TO SPOT ①  
TO SET SPOT ② - MULTIPLY D1 BY 1.0% AND ADD TO SPOT ②  
TO SET SPOT ③ - MULTIPLY D2 BY 0.5% AND ADD TO SPOT ③  
TO SET SPOT ④ - ADD 0.1' TO SPOT ④

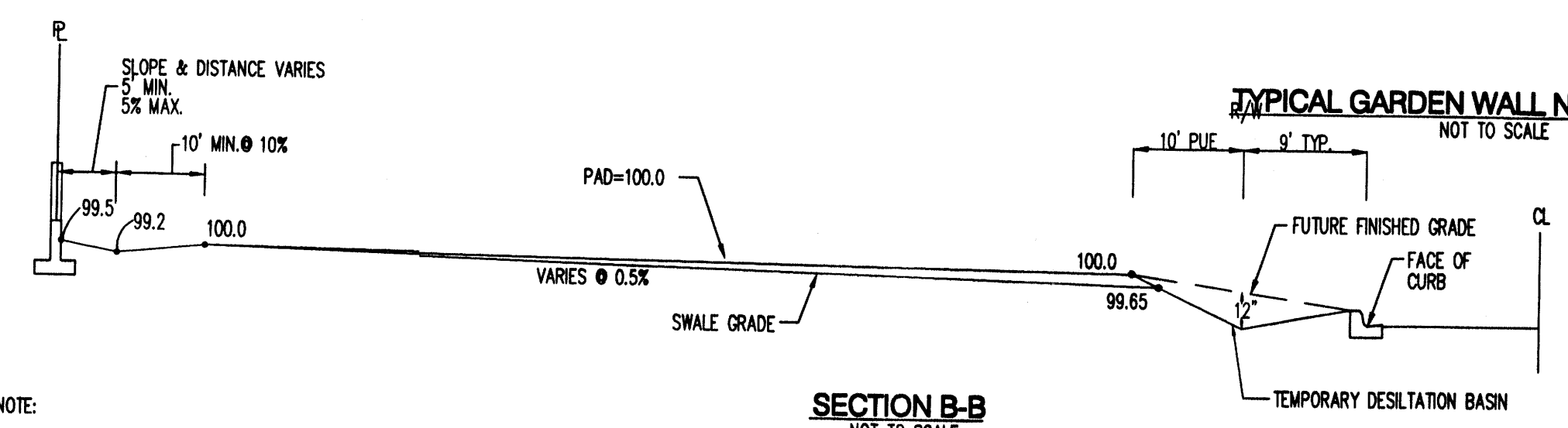
BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.  
SEE GRADING PLANS FOR EXACT ELEVATIONS.  
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.



**SECTION A-A TYPICAL SIDE YARD SWALE**  
NOT TO SCALE



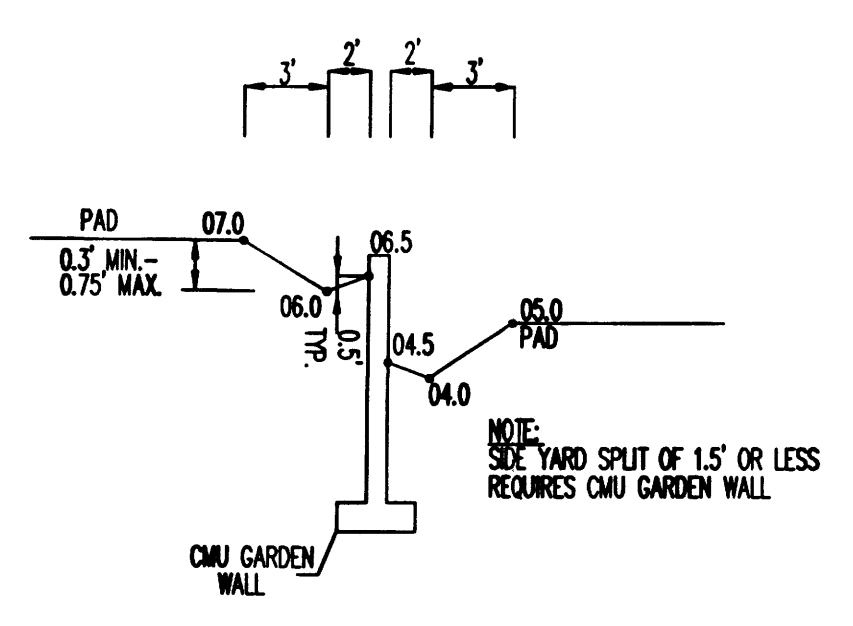
**SECTION C-C TYPICAL GARDEN WALL NOMENCLATURE**  
NOT TO SCALE



**SECTION B-B TYPICAL GARDEN WALL NOMENCLATURE**  
NOT TO SCALE

NOTE:

- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
- FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
- HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

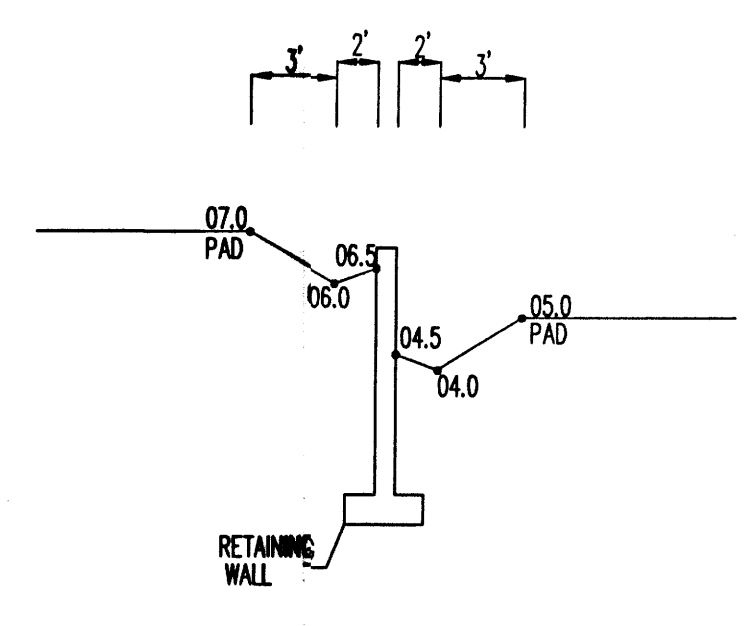


**SIDE YARD GARDEN WALL DETAIL**  
NOT TO SCALE

TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL  
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL

**TYPICAL GARDEN WALL NOMENCLATURE**  
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL)

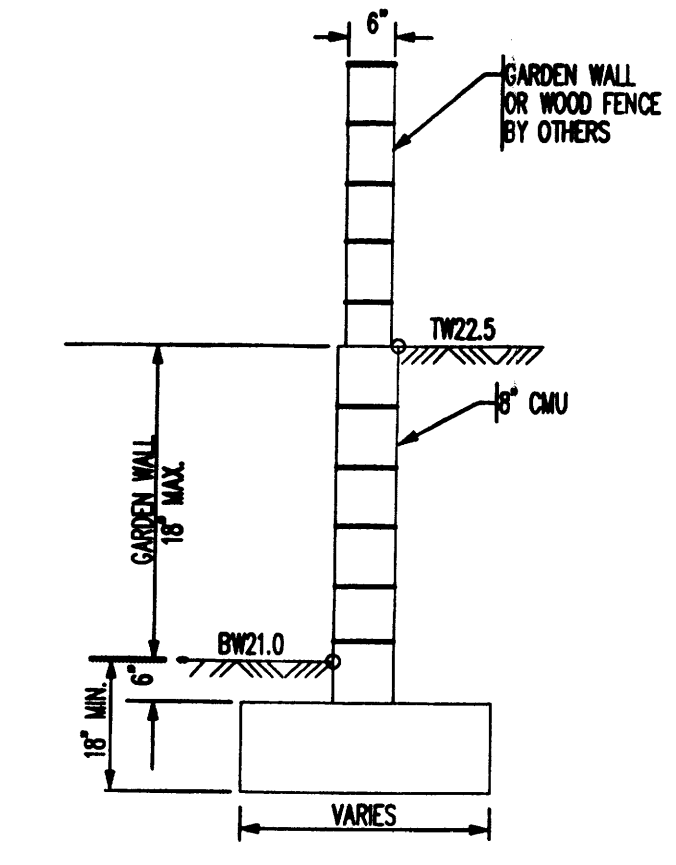


**SIDE YARD RETAINING WALL DETAIL**  
NOT TO SCALE

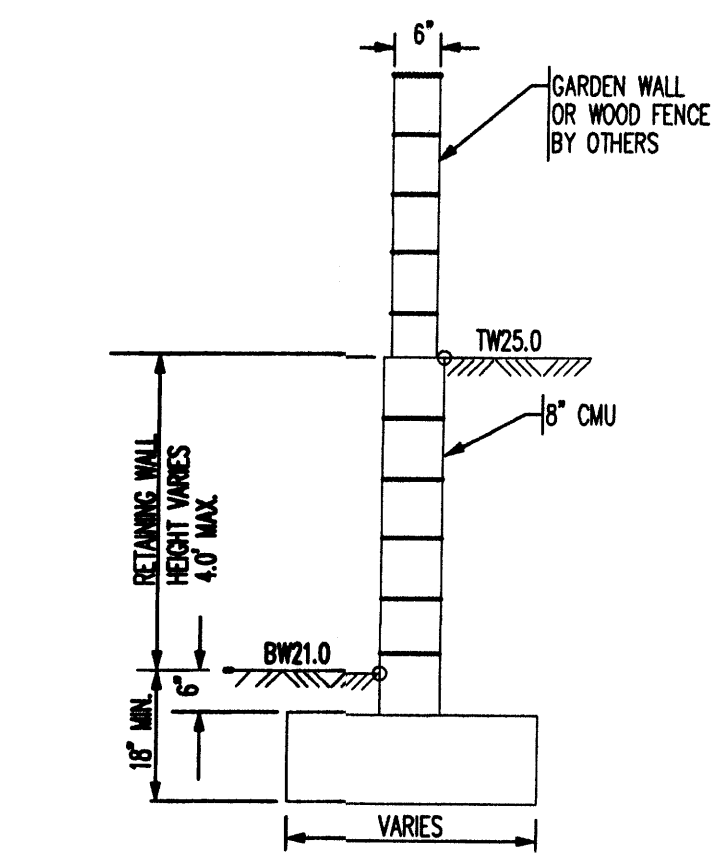
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL  
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL

**TYPICAL RETAINING WALL NOMENCLATURE**  
NOT TO SCALE

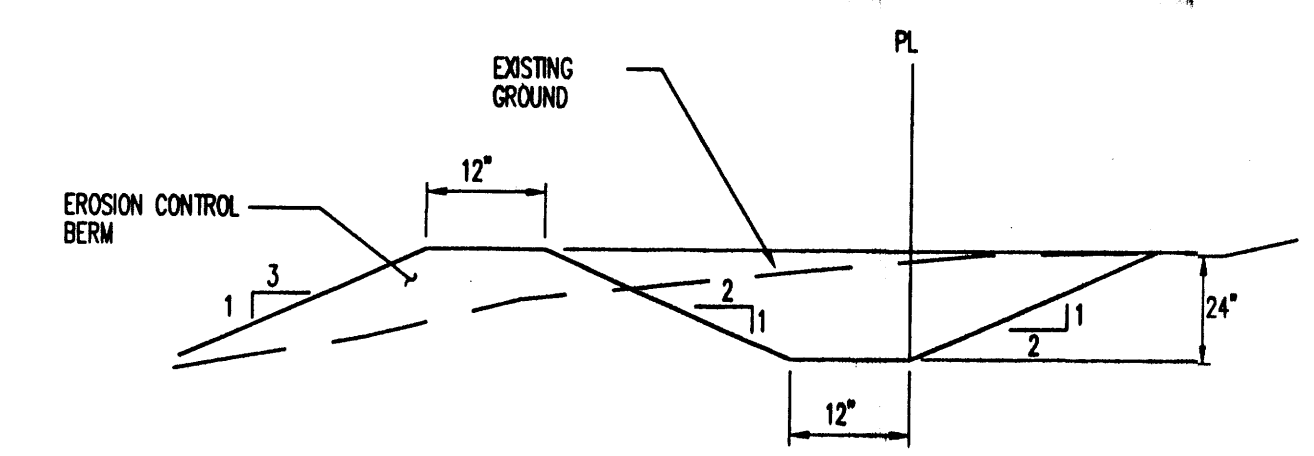
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL)



**TYPICAL GARDEN WALL NOMENCLATURE**  
NOT TO SCALE



**TYPICAL RETAINING WALL NOMENCLATURE**  
NOT TO SCALE



**EROSION CONTROL BERM**

- TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
- WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
- AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
- CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION

**EROSION CONTROL PLAN**  
NOT TO SCALE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
MARKED BY	DATE
ACCEPTANCE BY	DATE
FIELD LAYOUT BY	DATE
DRAWINGS CHECKED BY	DATE
DESIGNED BY	DATE
RECORDED BY	DATE
NO.	NO.

BENCH MARKS	
CONTRACTOR	DATE
MARKED BY	DATE
ACCEPTANCE BY	DATE
FIELD LAYOUT BY	DATE
DRAWINGS CHECKED BY	DATE
DESIGNED BY	DATE
RECORDED BY	DATE
NO.	NO.

SURVEY INFORMATION	
NO.	DATE
BY	DATE

ENGINEER'S SEAL	
NO.	DATE
BY	DATE

REVISIONS	
No.	Date
By	By

DESIGNED BY: SJS	DATE: 12-20-02
DRAWN BY: DTH	DATE: 12-20-02
CHECKED BY: SJS	DATE: 12-20-02

**Bohannon & Huston**  
 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

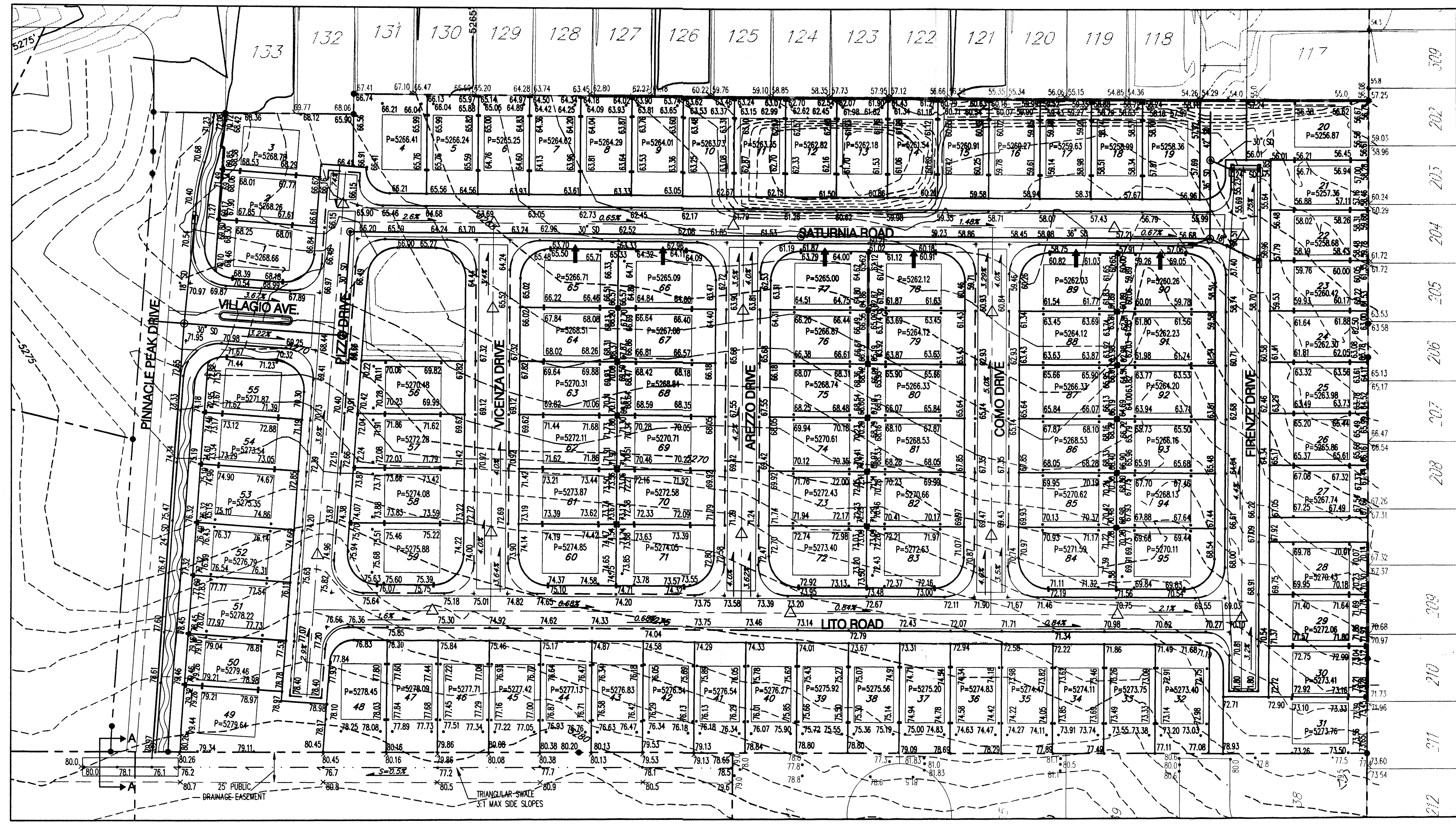
**CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT**

**VILLA DE VILLAGIO SUBDIVISION GRADING AND EROSION CONTROL PLAN GRADING DETAILS**

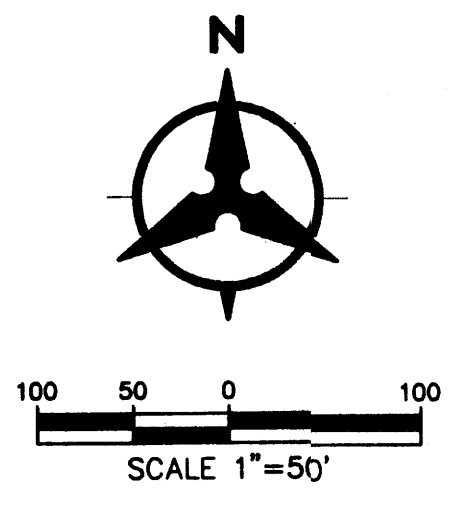
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. **A-11-Z** Sheet **2** Of **2**

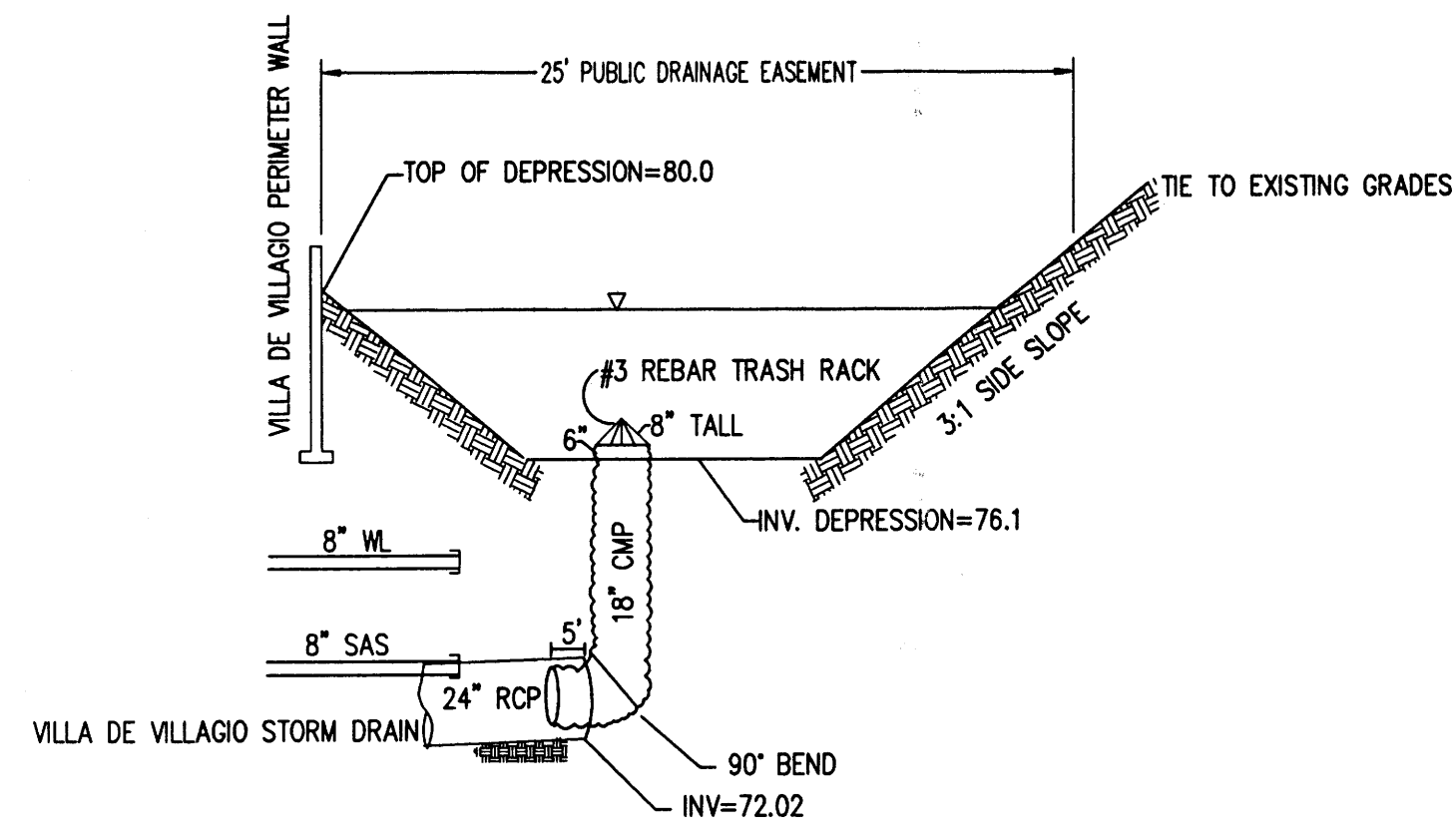




- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT. /
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 2, AND LETTING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
  - 91.62 PROPOSED SPOT ELEVATION
  - × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
  - ==== EXISTING CURB & GUTTER
  - ==== PROPOSED MOUNTABLE CURB & GUTTER
  - ==== PROPOSED STANDARD CURB & GUTTER
  - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
  - PROPOSED SLOPE
  - ⊙ PROPOSED STORM DRAIN
  - ⊙ PROPOSED STORM DRAIN MANHOLE
  - ⊙ PROPOSED STORM DRAIN INLET
  - ↑ WALL DRAIN



ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NGS BRASS TABLET "BLACK-2 1977"	DATE	NO.	BY		No. Date REVISIONS DESIGN
DRAWN BY	DATE	GEOGRAPHIC POSITION (NAD 1927)	DATE				
FIELD ACCEPTANCE BY	DATE	NM STATE PLANE COORDINATES (CENTRAL ZONE)	DATE				
MICRO-FILM INFORMATION	DATE	X = 372,920.43	Y = 1,550,241.52			DATE: SJS	DESIGNED BY: X
RECORDED BY	DATE	GROUND TO GRID FACTOR = 0.9996784	DELTA ALPHA = -0.1443"			DATE: 12/10/02	DRAWN BY: BC/DH
		SID 1929 ELEVATION = 5213.926				DATE: XX/XX/XX	CHECKED BY: SJS

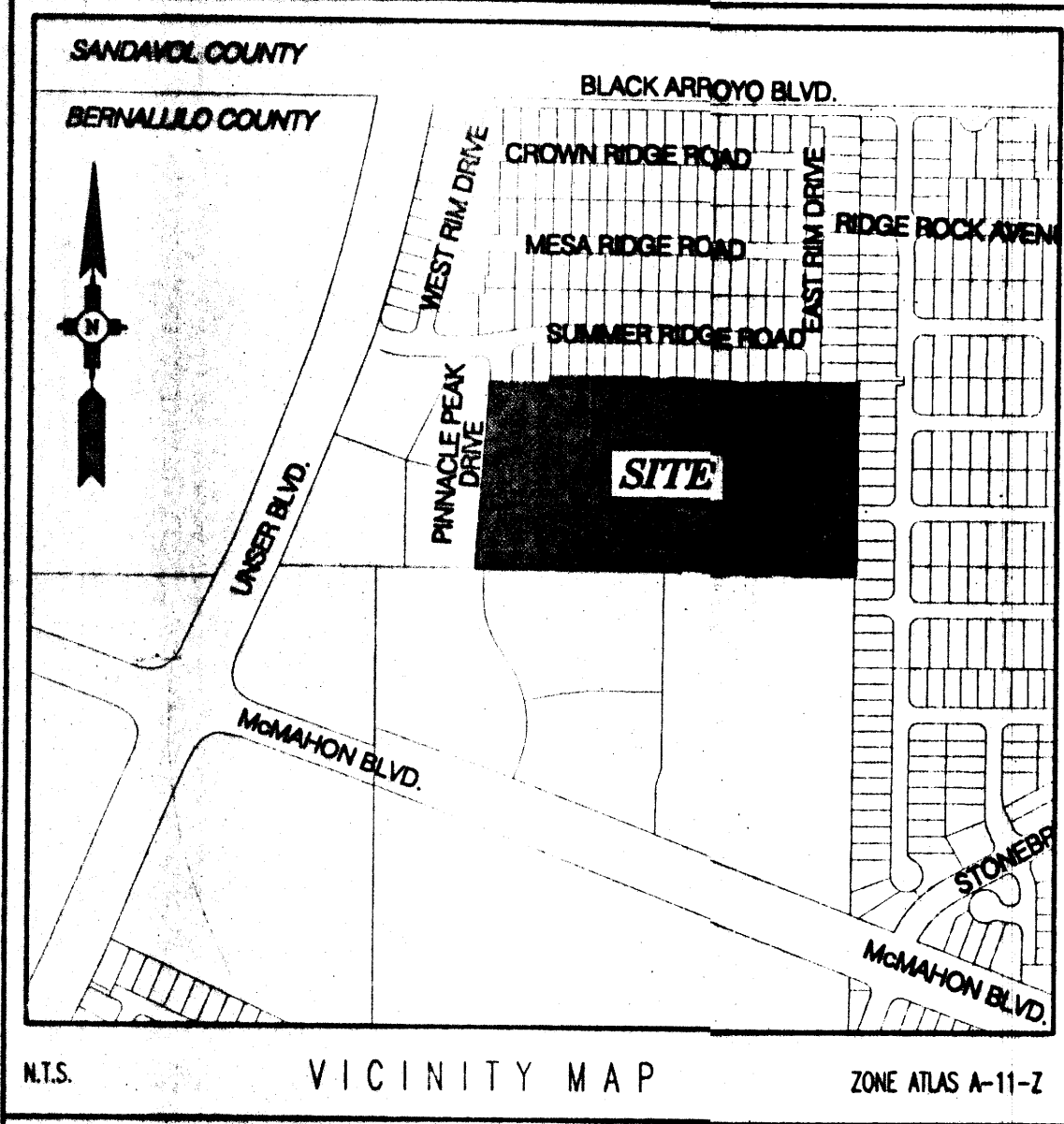
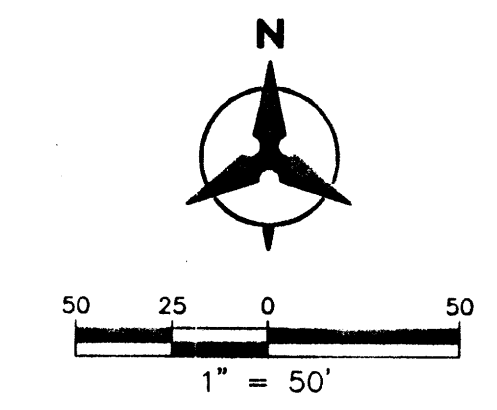
**Bohannon & Huston**  
 Courtyard I 7800 Jefferson St NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**VILLA DE VILLAGIO SUBDIVISION**  
**EROSION CONTROL AND GRADING PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	A-11-Z	1	2



PRELIMINARY PLAT FOR  
**VILLA DE VILLAGIO SUBDIVISION**  
 CURRENTLY TRACT 'G'  
 VILLAGE CENTER NORTH SUBDIVISION  
 DECEMBER 2002

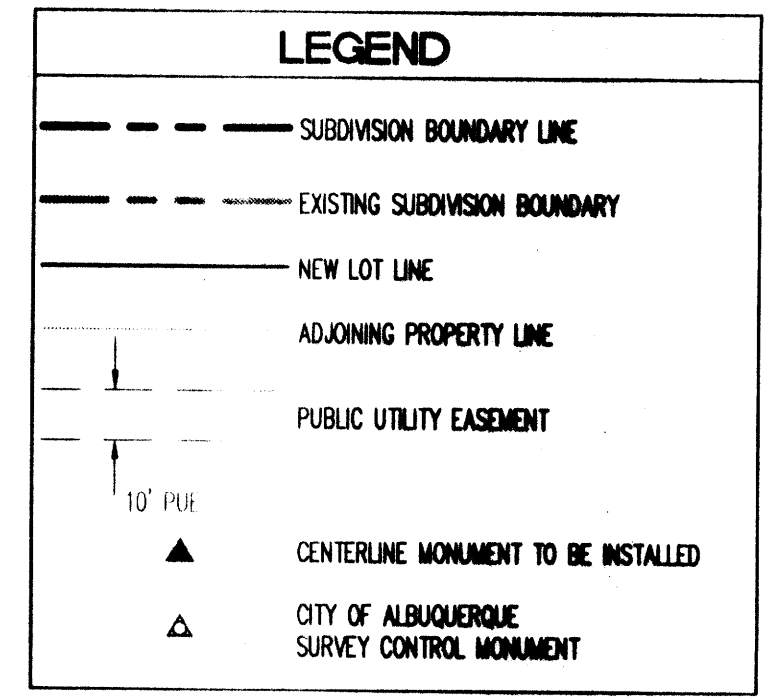


- GENERAL NOTES**
- EXISTING/PROPOSED ZONING: SU-1 FOR R-2  
 PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
  - PROPOSED NET ACREAGE: 13.02 ACRES  
 NUMBER OF LOTS: 95 D.U.  
 PROPOSED DENSITY: 7.30 D.U./ACRE
  - MIN. LOT DIMENSIONS: 43'-82" MIN.  
 MINIMUM LOT AREA: 3,526 SQ. FT.
  - ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
  - LOT SETBACKS:  
 FRONT YARD: 15'  
 SIDE YARDS: 5' (10' ON CORNER LOTS)  
 BACK YARD: 15'
  - NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO PINNACLE PEAK DRIVE.
  - ALL LOTS SHOWN WITH THE P1 DESIGNATION SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA ITEM #1.
  - EXISTING GROSS LOT DRAINAGE EASEMENT FOR THE USE AND BENEFIT OF TRACT A-F, VILLAGE CENTER NORTH, TO BE VACATED BY THIS PLAT.

**SITE DATA**

ZONE ATLAS NO.	A-11-Z
ZONING	SU-1 FOR R-2
MILES OF FULL WIDTH STREETS CREATED	0.86 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	95
NO. OF TRACTS CREATED	6
DENSITY	7.3

- SURVEY NOTES:**
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
  - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (\*) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 6544".
  - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
  - DISTANCES SHALL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.



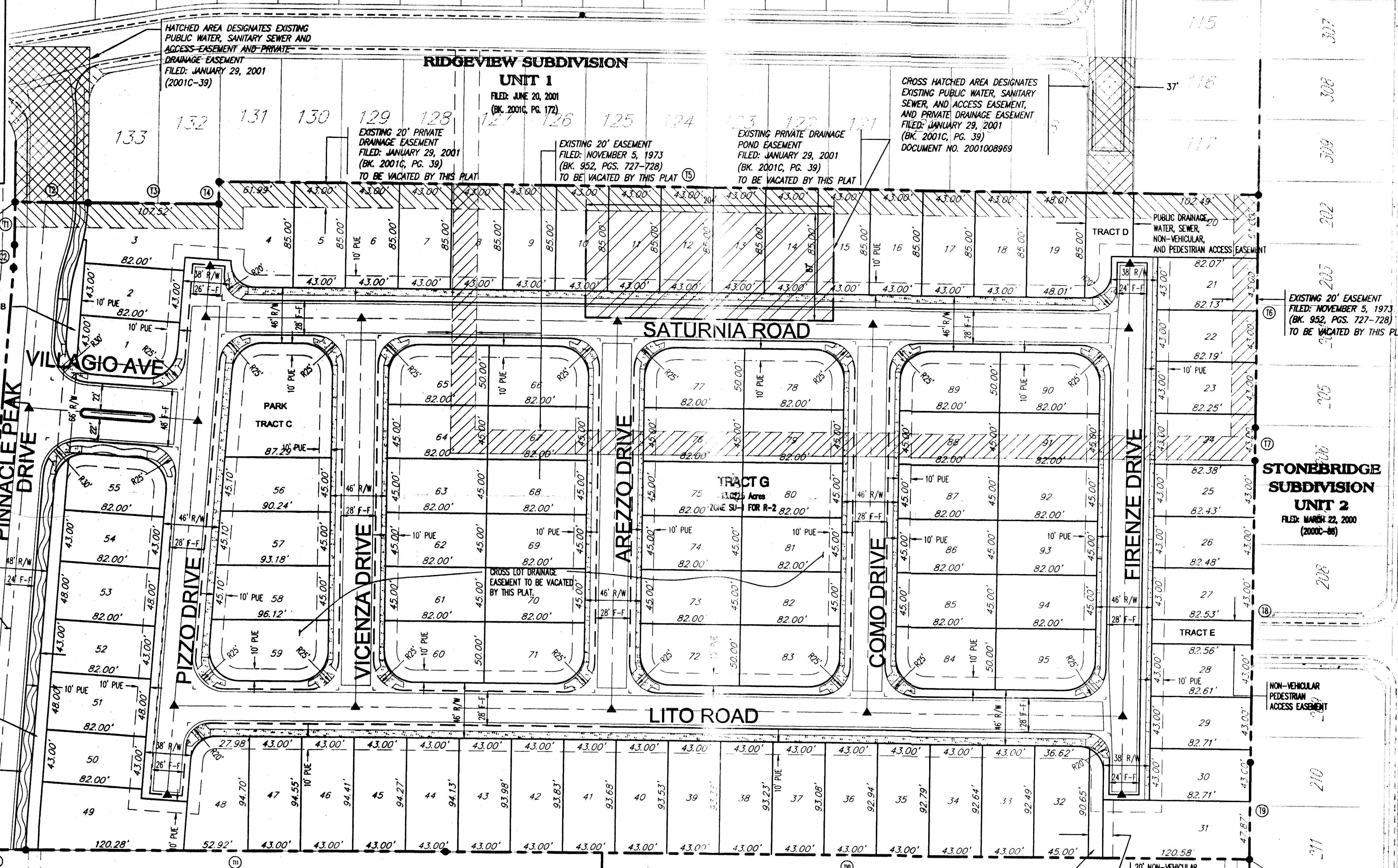
**GENERAL NOTES CONT'D**

9. THIS SUBDIVISION WILL HAVE A HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION WILL TRACTS A-F, AND BE RESPONSIBLE FOR MAINTENANCE.

APPROVED FOR MONUMENTATION AND STREET NAMES  
  
 CITY SURVEYOR  
 1/8/03  
 DATE

TIMOTHY S. MCNEANEY  
 1/10/03  
 DATE

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



**Tract A-1**  
 1.44 Acres  
 SU-1 FOR MIXED USES  
 C-1

**Tract C**  
 1.200 Acres  
 SU-1 FOR MIXED USES  
 C-1  
 FILED: DECEMBER 19, 2001  
 BK 2001C, PG. 336

EXISTING 10' PUBLIC UTILITY EASEMENT.

ACS BRASS TABLE "3-B10 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 360,239.42 Y = 1,529,014.85  
 GROUND TO GRID FACTOR = 0.9996639  
 DELTA ALPHA = -0°16'11"  
 SLD 1929 ELEVATION = 5404.40

EXISTING PUBLIC WATER, SANITARY SEWER, STORM DRAIN AND PUBLIC ROADWAY EASEMENT  
 GRANTED TO THE CITY OF ALBUQUERQUE  
 FILED: DECEMBER 19, 2001  
 (BK. 2001C, PG. 336)  
 DOCUMENT NO. 2001151282

**Tract D**  
 1.3616 Acres  
 SU-1 FOR MIXED USES  
 R-2  
 FILED: DECEMBER 19, 2001  
 BK 2001C PG. 336

46' DEDICATED PUBLIC RIGHT-OF-WAY

**Tract F-1**  
 2.11 Acres  
 SU-1 FOR MIXED USES  
 C-1

EXISTING PUBLIC WATER, SANITARY SEWER, STORM DRAIN AND PUBLIC ROADWAY EASEMENT

4' MEANDERING PATH

EXISTING 30' PUBLIC ROADWAY, UTILITY & PEDESTRIAN ACCESS EASEMENT.

**PARCEL A**  
 188723.70 SF  
 4.3325 ACRES

EXISTING 25' PUBLIC DRAINAGE, UTILITY & PEDESTRIAN ACCESS EASEMENT.

EXISTING 10' PNM EASEMENT.

EXISTING 25' PUBLIC DRAINAGE, UTILITY & PEDESTRIAN ACCESS EASEMENT.

EXISTING 10' PNM EASEMENT.

EXISTING 60' PUBLIC ROADWAY EASEMENT.

EXISTING 25' UTILITY & PEDESTRIAN ACCESS EASEMENT.

**PARCEL B**  
 165719.66 SF  
 3.8044 ACRES

**Tangent Table**

ID	BEARING	LENGTH
T1	N00°17'53"E	34.41
T2	S89°42'07"E	60.00
T3	S89°42'07"E	107.52
T4	N00°22'53"E	12.80
T5	S89°37'07"E	853.49
T6	S00°18'18"W	190.68
T7	S00°08'42"W	28.08
T8	S00°18'39"W	249.51
T9	S00°19'45"W	80.61
T10	N89°49'03"W	660.72
T11	N89°48'25"W	344.36
T12	N89°48'25"W	48.00
T13	N04°07'22"E	237.67
T14	N04°07'22"E	223.42

**Curve Table**

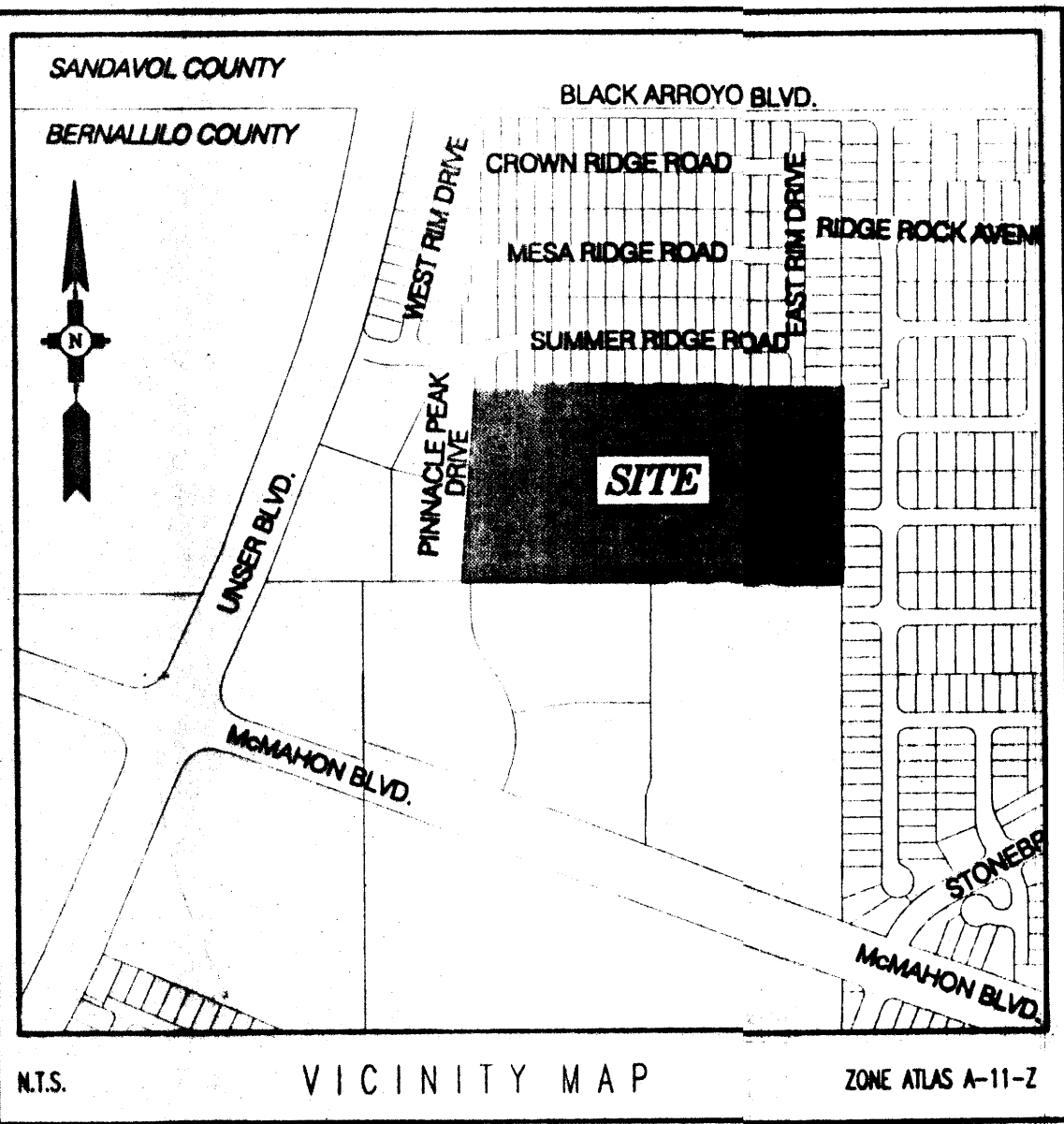
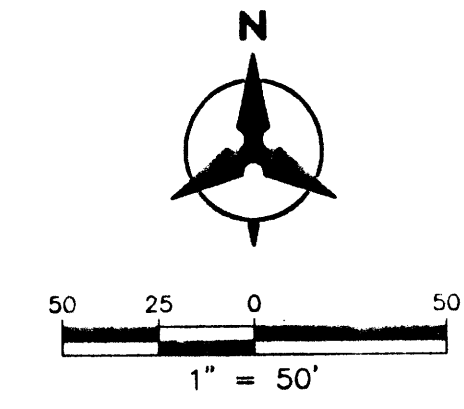
ID	ARC	RADIUS	DELTA	TANGENT
C1	21.50'	324.00'	03°48'06"	10.75'
C2	18.42'	276.00'	03°49'28"	9.22'

**LANDS OF SIMON GLUCKMAN & HELEN FINE**  
**TRACT C**  
 FILED: MAY 12, 1981  
 (D142A, 547-549)

NGS BRASS TABLE "BLACK-2 1977"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 372,920.43 Y = 1,530,241.52  
 GROUND TO GRID FACTOR = 0.9996784  
 DELTA ALPHA = -0°14'43"  
 SLD 1929 ELEVATION = 5213.926



PRELIMINARY PLAT FOR  
**VILLA DE VILLAGIO SUBDIVISION**  
 CURRENTLY TRACT 'G'  
 VILLAGE CENTER NORTH SUBDIVISION  
 DECEMBER 2002



- GENERAL NOTES**
- EXISTING/PROPOSED ZONING: SU-1 FOR R-2  
 PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
  - PROPOSED NET ACREAGE: 13.02 ACRES  
 NUMBER OF LOTS: 95 D.U.  
 PROPOSED DENSITY: 7.30 D.U./ACRE
  - MIN. LOT DIMENSIONS:  
 MINIMUM LOT AREA: 43'x82' MIN.  
 3,526 SQ. FT.
  - ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
  - LOT SETBACKS:  
 FRONT YARD: 15'  
 SIDE YARDS: 5' (10' ON CORNER LOTS)  
 BACK YARD: 15'
  - NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO PINNACLE PEAK DRIVE.
  - ALL LOTS SHOWN WITH THE P1 DESIGNATION SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA ITEM #1.
  - EXISTING CROSS LOT DRAINAGE EASEMENT FOR THE USE AND BENEFIT OF TRACT A-F, VILLAGE CENTER NORTH, TO BE VACATED BY THIS PLAT.

**SITE DATA**

ZONE ATLAS NO.	A-11-2
ZONING	SU-1 FOR R-2
MILES OF FULL WIDTH STREETS CREATED	0.06 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	95
NO. OF TRACTS CREATED	8
DENSITY	7.3

- SURVEY NOTES**
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/ CAP.
  - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (▲) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 6544".
  - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
  - DISTANCES SHALL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 10' PUE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

GENERAL NOTES CONT'D  
 9. THIS SUBDIVISION WILL HAVE A HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION WILL OWN TRACTS A-F AND BE RESPONSIBLE FOR MAINTENANCE.

APPROVED FOR MONUMENTATION AND STREET NAMES  
  
 CITY SURVEYOR  
 APPROVED BY  
  
 TIMOTHY S. MCNANEY  
 DATE 1/8/03

**Bohannon & Huston**  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES  
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ON 2/12/03

**Tract A-1**  
 1.44 Acres  
 SU-1 FOR MIXED USES  
 C-1

**Tract C**  
 1.200 Acres  
 SU-1 FOR MIXED USES  
 C-1  
 FILED: DECEMBER 19, 2001  
 BK 2001C PG. 336

ACS BRASS TABLE "3-B10 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 360,239.42 Y = 1,529,014.85  
 GROUND TO GRID FACTOR = 0.9996639  
 DELTA ALPHA = -0°16'11"  
 SLD 1929 ELEVATION = 5404.40

EXISTING PUBLIC WATER, SANITARY SEWER, STORM DRAIN AND PUBLIC ROADWAY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE  
 FILED: DECEMBER 19, 2001  
 (BK. 2001C, PG. 336)  
 DOCUMENT NO. 2001151262

**Tract D**  
 1.3616 Acres  
 SU-1 FOR MIXED USES  
 R-2  
 FILED: DECEMBER 19, 2001  
 BK 2001C PG. 336

**Tract F-1**  
 2.11 Acres  
 SU-1 FOR MIXED USES  
 C-1

EXISTING 30' PUBLIC ROADWAY, UTILITY & PEDESTRIAN ACCESS EASEMENT.  
**PARCEL A**  
 188723.70 SF  
 4.3325 ACRES

**LANDS OF SIMON GLUCKMAN & HELEN FINE**  
 FILED: MAY 12, 1981  
 (D142A, 547-548)

EXISTING 10' PNM EASEMENT.

**PARCEL B**  
 165719.66 SF  
 3.8044 ACRES

EXISTING 25' PUBLIC DRAINAGE, UTILITY & PEDESTRIAN ACCESS EASEMENT.

EXISTING 25' UTILITY & PEDESTRIAN ACCESS EASEMENT.

**Tangent Table**

ID	BEARING	LENGTH
T1	N00°17'53"E	34.41'
T2	S89°42'07"W	60.00'
T3	S89°42'07"W	107.52'
T4	N00°22'53"E	17.80'
T5	S89°37'07"E	853.49'
T6	S00°18'18"W	190.68'
T7	S00°08'42"W	28.08'
T8	S00°18'39"W	249.51'
T9	S00°19'45"W	80.61'
T10	N89°49'03"W	680.72'
T11	N89°48'25"W	344.36'
T12	N89°48'25"W	48.00'
T13	N04°07'22"E	237.67'
T14	N04°07'22"E	223.42'

**Curve Table**

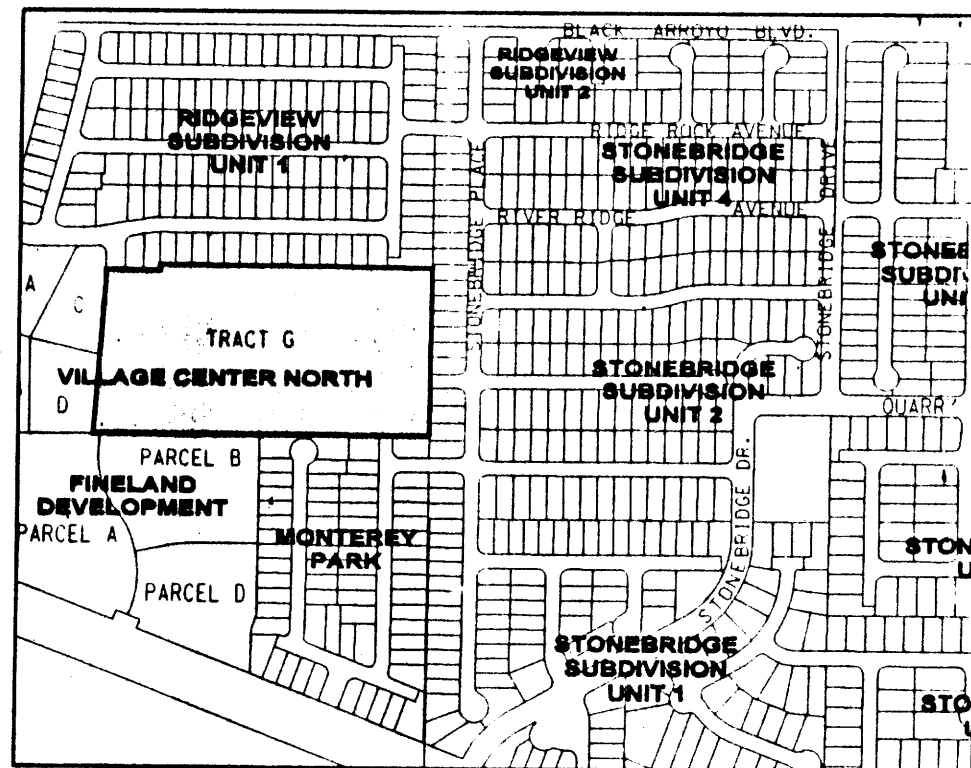
ID	ARC	RADIUS	DELTA	TANGENT
C1	21.50'	324.00'	03°48'06"	10.75'
C2	18.42'	276.00'	03°49'28"	9.22'

**LANDS OF SIMON GLUCKMAN & HELEN FINE**  
**TRACT C**  
 FILED: MAY 12, 1981  
 (D142A, 547-548)

NGS BRASS TABLE "BLACK-2 1977"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 372,920.43 Y = 1,530,241.52  
 GROUND TO GRID FACTOR = 0.9996784  
 DELTA ALPHA = -0°14'43"  
 SLD 1929 ELEVATION = 5213.926



SP-2003421641



LOCATION MAP  
ZONE ATLAS INDEX MAP No. A-II-Z  
NOT TO SCALE

**SUBDIVISION DATA**

- 1. DRB PROJECT No. 1002132
2. ZONE ATLAS INDEX No. A-II-Z
3. GROSS SUBDIVISION ACREAGE: 13.0225 ACRES.
4. TOTAL NUMBER OF LOTS/TRACTS CREATED: NINETY-FIVE (95) LOTS AND SIX (6) TRACTS.
5. TOTAL MILEAGE OF FULL WIDTH PUBLIC STREETS CREATED: 0.772 MILE.
6. DATE OF SURVEY: SEPTEMBER, 2003
7. PLAT IS LOCATED WITHIN SECTION 2, T11N, R2E, N10PM.

**DISCLOSURE STATEMENT**

THE PURPOSE OF THE FILING OF THIS PLAT IS TO SUBDIVIDE ALL OF TRACT G OF THE BULK LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336, AS DOCUMENT NO. 2001151262 INTO 95 LOTS AND 6 TRACTS, TO GRANT EASEMENTS, TO VACATE EASEMENTS AND TO DEDICATE PUBLIC STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:

- A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
E. NEW MEXICO UTILITIES, INC. FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND WATER AND SANITARY SEWER LINES ACROSS THE EASEMENT.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMERS/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

**DESCRIPTION**

A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING ALL OF TRACT G OF THE BULK LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336, AS DOCUMENT NO. 2001151262, AND NOW BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE, NAD 27) AND GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT G, WHENCE THE CITY OF ALBUQUERQUE SURVEY MONUMENT "BLACK-2 1977", HAVING NEW MEXICO STATE PLANE GRID COORDINATES FOR THE CENTRAL ZONE: X=372,920.43; Y=1,530,241.52, BEARS S56°12'21"E A DISTANCE OF 3839.70 FEET; THENCE ALONG THE SOUTHERLY BOUNDARY LINE OF SAID TRACT G, N89°49'03"W A DISTANCE OF 660.72 FEET; THENCE, N89°48'25"W A DISTANCE OF 392.36 FEET TO THE SOUTHWEST CORNER OF SAID TRACT G; THENCE ALONG THE WESTERLY BOUNDARY LINE OF SAID TRACT G, 21.50 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 324.00 FEET AND A CHORD BEARING N02°13'18"E A DISTANCE OF 21.49 FEET TO A POINT OF TANGENCY; THENCE, N04°07'22"E A DISTANCE OF 461.09 FEET TO A POINT OF CURVATURE; THENCE, 18.42 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 276.00 FEET AND A CHORD BEARING N02°12'37"E A DISTANCE OF 18.42 FEET TO A POINT OF TANGENCY; THENCE, N00°17'53"E A DISTANCE OF 34.41 FEET TO THE NORTHWEST CORNER OF SAID TRACT G; THENCE ALONG THE NORTHERLY BOUNDARY LINE OF SAID TRACT G, S89°42'07"E A DISTANCE OF 167.52 FEET; THENCE, N00°22'53"E A DISTANCE OF 17.90 FEET; THENCE, S89°37'07"E A DISTANCE OF 853.49 FEET TO THE NORTHEAST CORNER OF SAID TRACT G; THENCE ALONG THE EASTERLY BOUNDARY LINE OF SAID TRACT G, S00°18'18"W A DISTANCE OF 190.68 FEET; THENCE, S00°08'42"W A DISTANCE OF 28.08 FEET; THENCE, S00°18'39"W A DISTANCE OF 249.51 FEET; THENCE, S00°19'45"W A DISTANCE OF 80.61 FEET TO THE POINT AND PLACE OF BEGINNING.

TRACT G CONTAINS 13.0225 ACRES, MORE OR LESS.

**FREE CONSENT AND DEDICATION**

THE FOREGOING PLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING ALL OF TRACT G OF THE BULK LAND PLAT OF VILLAGE CENTER NORTH SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 2001 IN BOOK 2001C, PAGE 336, AS DOCUMENT NO. 2001151262, IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE PUBLIC RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER, AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE CITY HAS THE RIGHT TO ENTER UPON THE GRANTEE PROPERTY AT ANY TIME AND PERFORM WHATEVER INSPECTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION OR REMOVAL ("WORK") IT DEEMS APPROPRIATE WITHOUT LIABILITY TO THE CITY. IF THE WORK EFFECTS ANY IMPROVEMENTS OR ENCROACHMENTS MADE BY THE GRANTEE, THE CITY WILL NOT BE FINANCIALLY OR OTHERWISE RESPONSIBLE FOR REBUILDING OR REPAIRING OF IMPROVEMENTS OR ENCROACHMENTS. IF IN THE OPINION OF THE CITY, THE WORK TO BE PERFORMED BY THE CITY COULD ENDANGER THE STRUCTURAL INTEGRITY OR OTHERWISE DAMAGE THE IMPROVEMENTS OR ENCROACHMENTS, THE GRANTEE SHALL, AT ITS OWN EXPENSE, TAKE WHATEVER PROTECTIVE MEASURES ARE REQUIRED TO SAFEGUARD THE IMPROVEMENTS OR ENCROACHMENTS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

ENTRADA DEVELOPMENT, LLC
BY: [Signature]
STATE OF NEW MEXICO )
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 28th October 2003, BY SKIP SKARSGARD MANAGING MEMBER OF ENTRADA DEVELOPMENT, LLC.

MY COMMISSION EXPIRES: 3/27/06 Elaine J. Kelly NOTARY PUBLIC



PLAT OF
VILLA DE VILLAGIO SUBDIVISION
(A REPLAT OF TRACT G, VILLAGE CENTER NORTH SUBDIVISION)
ALBUQUERQUE, NEW MEXICO
OCTOBER, 2003

Table with columns for Agency, Date, and Signature. Includes entries for QWEST, Comcast Cable, PNM Electric Services, PNM Gas Services, New Mexico Utilities, Inc., City Surveyor, Traffic Engineering, Transportation Division, Utilities Development, Parks & Recreation Department, A.M.A.F.C.A., City Engineer, DRB Chairperson, Planning Department, Real Property Division.

**NOTES**

- 1. BASIS OF BEARINGS: NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE) NAD 1927.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. THESE PROPERTIES ARE WITHIN THE NEW MEXICO UTILITIES, INC. (NMIU, INC.) FRANCHISE AREA. WATER AND SANITARY SEWER SYSTEMS CAPABILITY ARE BASED ON NMIU, INC. FACILITIES, NOT THE CITY OF ALBUQUERQUE.
5. CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND SHALL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS#5978".
6. TRACTS A,B,C,D,E AND F ARE OPEN SPACE TRACTS TO BE OWNED AND MAINTAINED BY THE VILLA DE VILLAGIO HOMEOWNERS ASSOCIATION.
7. TRACT D IS SUBJECT TO A PUBLIC SANITARY SEWER, STORM DRAIN AND WATERLINE EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT.
8. TRACTS E AND F ARE SUBJECT TO A NON-VEHICULAR PEDESTRIAN ACCESS EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT.
9. TRACT C IS A PARK SITE TO BE OWNED AND MAINTAINED BY THE VILLA DE VILLAGIO HOMEOWNERS ASSOCIATION.
10. THE FRONT (ADJACENT TO STREET RIGHT-OF-WAY) LOT CORNER WILL NOT BE STAKED. A WITNESS CORNER PROJECTED ALONG THE PROPERTY LINE (10' OFFSET OR ADJUSTED AS REQUIRED), BEING A CHISELED "4" IN THE CURB AND GUTTER WILL BE SET UPON COMPLETION OF ALL STREET IMPROVEMENTS.

**SURVEYOR'S CERTIFICATION**

I, THOMAS G. KLINGENHAGEN, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BOHANNAN-HUSTON, INC.
COURTYARD I
7500 JEFFERSON STREET, N.E.
ALBUQUERQUE, NEW MEXICO 87109
(505)823-1000

[Signature]
THOMAS G. KLINGENHAGEN
NEW MEXICO PROFESSIONAL SURVEYOR 5978
DATE: 10-15-03



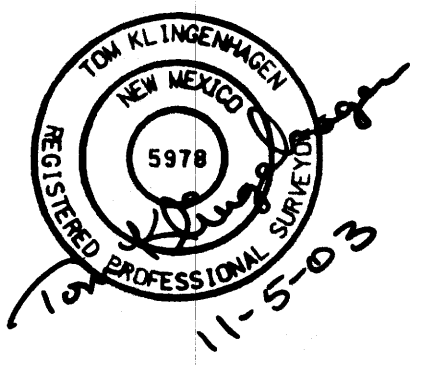
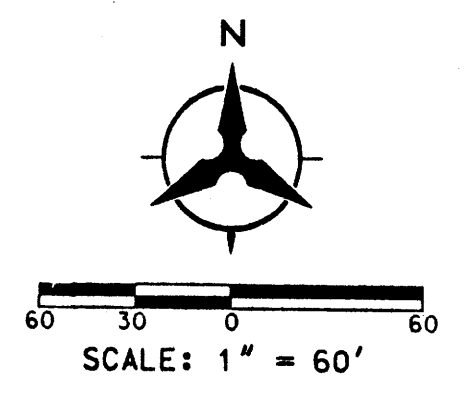
**TAX CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
PROPERTY OWNER OF RECORD
BERNALILLO COUNTY TREASURER'S OFFICE DATE

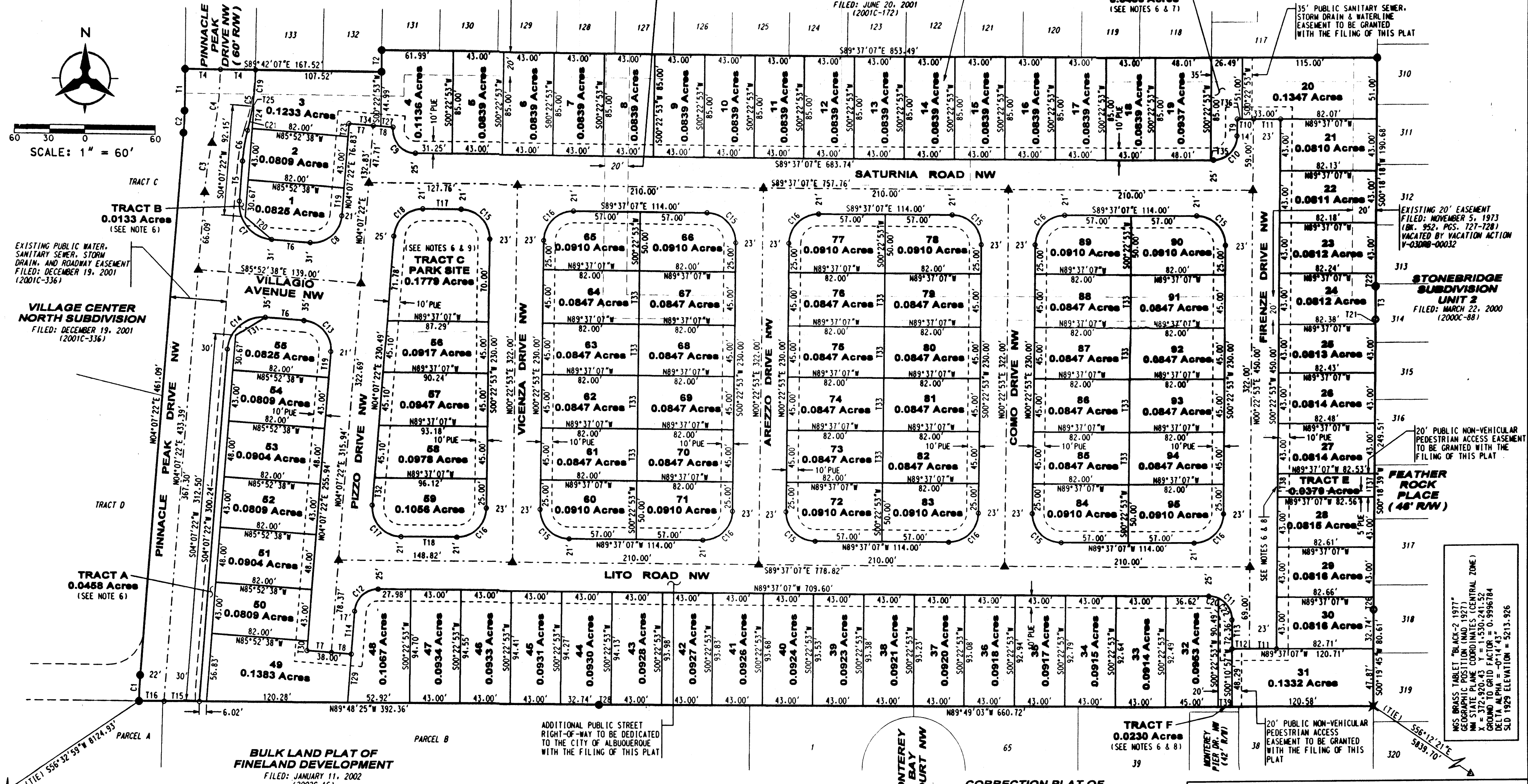
PNM STAMP
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston
Engineering Spatial Data Advanced Technologies
Court yard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8\" REBAR WITH 1 1/4\" RED PLASTIC SURVEY CAP STAMPED \"LS 5978\"
	5/8\" REBAR WITH SURVEY WASHER STAMPED \"LS 7719\"
	5/8\" REBAR WITH SURVEY CAP STAMPED \"GREINER 3517\"



**PLAT OF  
VILLA DE VILLAGIO SUBDIVISION  
(A REPLAT OF TRACT G, VILLAGE CENTER  
NORTH SUBDIVISION)  
ALBUQUERQUE, NEW MEXICO  
OCTOBER, 2003**



ACS BRASS TABLET "3-810 1980"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 360,239.42 Y = 1,529,014.85  
GROUND TO GRID FACTOR = 0.9996639  
DELTA ALPHA = -0°16'11"  
SLD 1929 ELEVATION = 5404.40

**BULK LAND PLAT OF  
FINLAND DEVELOPMENT**  
FILED: JANUARY 11, 2002  
(2002C-16)

ADDITIONAL PUBLIC STREET  
RIGHT-OF-WAY TO BE DEDICATED  
TO THE CITY OF ALBUQUERQUE  
WITH THE FILING OF THIS PLAT

NOTE: SEE SHEET 3 FOR CURVE & TANGENT DATA

**CORRECTION PLAT OF  
MONTEREY PARK SUBDIVISION**  
FILED: SEPTEMBER 9, 2003  
(2003C-276)

**Bohannon & Huston**

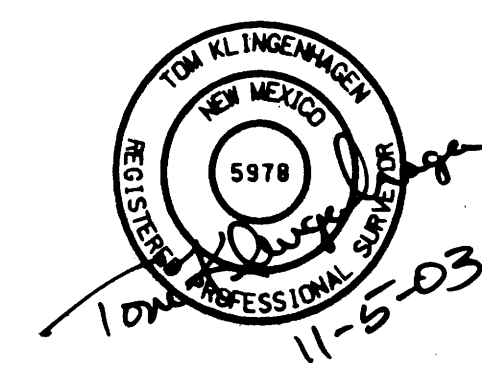
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



**PLAT OF  
VILLA DE VILLAGIO SUBDIVISION**  
(A REPLAT OF TRACT G, VILLAGE CENTER  
NORTH SUBDIVISION)  
ALBUQUERQUE, NEW MEXICO  
OCTOBER, 2003

CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	03°48'06"	10.75'	21.50'	324.00'	21.49'	N02°13'18"E
C2	03°49'28"	9.22'	18.42'	276.00'	18.42'	N02°12'37"E
C3	07°53'57"	20.71'	41.36'	300.00'	41.33'	N08°04'20"E
C4	11°43'26"	30.80'	61.39'	300.00'	61.28'	N06°09'36"E
C5	13°47'06"	25.38'	50.52'	210.00'	50.40'	S07°11'26"W
C6	09°57'37"	13.07'	26.08'	150.00'	26.04'	S09°06'10"W
C7	90°00'00"	30.00'	47.12'	30.00'	42.43'	S40°52'33"E
C8	90°00'00"	25.00'	39.27'	25.00'	35.36'	N49°07'32"E
C9	94°18'11"	21.56'	32.92'	20.00'	29.33'	S42°28'01"E
C10	90°00'00"	20.00'	31.42'	20.00'	28.28'	N45°22'53"E
C11	89°48'04"	19.93'	31.35'	20.00'	28.24'	N44°43'05"W
C12	86°15'32"	18.73'	30.11'	20.00'	27.35'	S47°15'07"W
C13	90°00'00"	25.00'	39.27'	25.00'	35.36'	N40°52'38"W
C14	90°00'00"	30.00'	47.12'	30.00'	42.43'	S49°07'22"W
C15	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°37'07"E
C16	90°00'00"	25.00'	39.27'	25.00'	35.36'	S45°22'53"W
C17	83°44'38"	28.89'	40.80'	28.00'	38.49'	N42°44'53"W
C18	86°15'32"	23.42'	37.64'	25.00'	34.18'	N47°15'07"E
C19	08°09'58"	14.99'	29.93'	210.00'	29.90'	N04°22'52"E
C20	24°46'32"	4.39'	8.65'	20.00'	8.58'	N77°13'51"W
C21	05°37'08"	10.31'	20.59'	210.00'	20.59'	N11°16'25"E
C22	65°01'32"	12.75'	22.70'	20.00'	21.50'	S32°19'49"E

TANGENT DATA		
ID	BEARING	DISTANCE
T1	N00°17'53"E	34.41'
T2	N00°22'53"E	17.80'
T3	S00°08'42"W	28.08'
T4	S89°42'07"E	30.00'
T5	S04°07'22"W	33.28'
T6	S85°52'38"E	33.00'
T7	S85°52'38"E	21.00'
T8	S85°52'38"E	17.00'
T9	N00°22'53"E	14.00'
T10	S89°37'07"E	14.00'
T11	S89°37'07"E	23.00'
T12	N89°37'07"W	15.00'
T13	N00°10'57"E	24.07'
T14	S04°07'22"W	35.69'
T15	N89°48'25"W	30.07'
T16	N89°48'25"W	21.34'
T17	S89°37'07"E	32.66'
T18	N89°37'07"W	47.70'
T19	S04°07'22"W	23.00'
T20	N50°02'37"W	29.60'
T21	S00°18'39"W	4.25'
T22	S00°18'18"W	10.68'
T23	S04°07'22"W	10.83'
T24	S04°07'22"W	18.48'
T25	N77°38'35"W	1.19'
T26	S00°18'39"W	10.26'
T27	N85°52'38"W	10.82'
T28	N89°49'03"W	10.26'
T29	S04°07'22"W	40.64'
T30	S04°07'22"W	7.94'
T31	S58°17'20"W	29.60'
T32	S04°07'22"W	23.42'
T33	S00°22'53"W	45.00'
T34	S85°52'38"E	27.18'
T35	N89°37'07"W	2.49'
T36	N89°37'07"W	4.00'
T37	S00°18'39"W	20.00'
T38	S00°22'53"W	20.00'
T39	N89°49'03"W	11.87'



**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



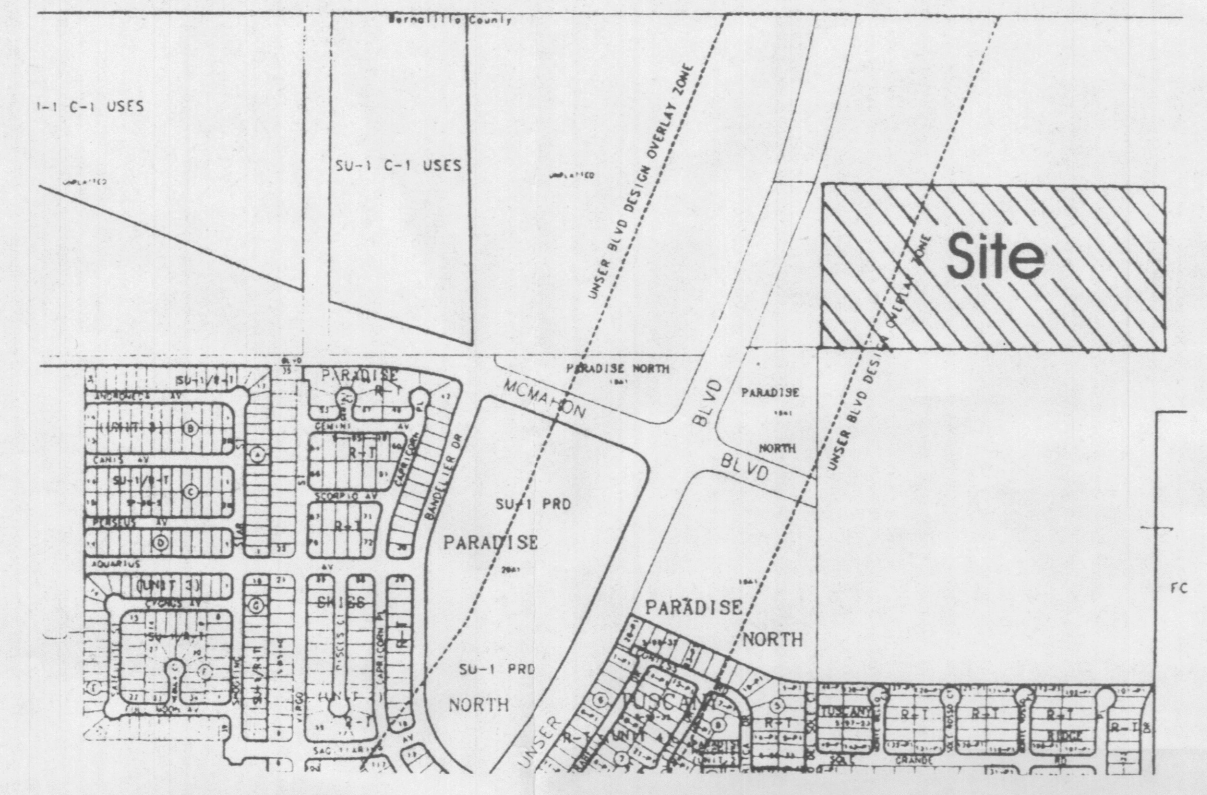


Project # 1000898  
EPC # 02EPC-01347  
DRB #

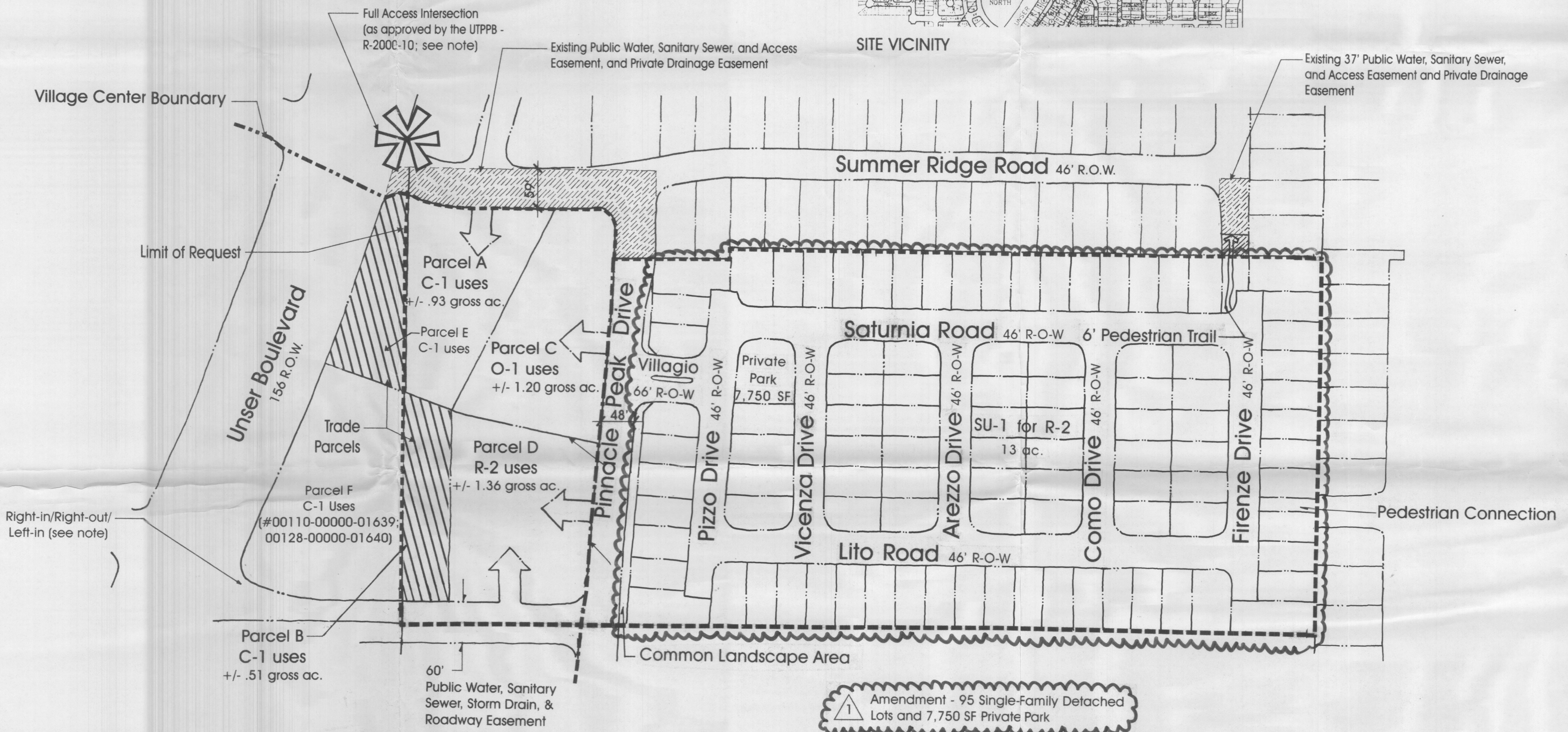
Planning Department	Date
Transportation Development	Date
City Engineer	Date
Utility Development	Date
Parks and Recreation Department	Date

PROPERTY COVERED BY THIS SITE PLAN FOR SUBDIVISION  
TOTAL ACREAGE:  
17.0 GROSS ACRES

← 30' ACCESS POINTS



SITE VICINITY



Amendment - 95 Single-Family Detached Lots and 7,750 SF Private Park

Note: In order to achieve the goals of this site plan, a plat shall be required that implements the proposed land trades between this property and the property to the west. The purpose of this trade is to provide each landowner with a developable parcel with reasonable access.

Parcel	Land Use	Gross Acres
A	C-1	.93
B*	C-1	.51
C	O-1	1.20
D	R-2	1.36
TOTAL VILLAGE CENTER		4.00

\*Parcel B is proposed to be traded with an equal size parcel in #00110-00000-01639; 00128-00000-01640.

Parcels A and E, and Parcels B and F will be replatted in order to be combined prior to development of these parcels.

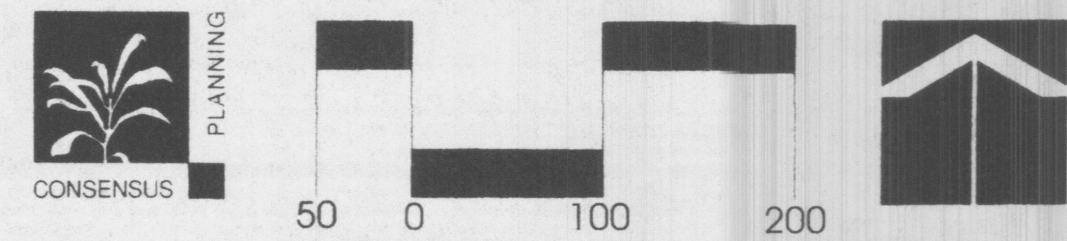
In order to provide access to all tracts, the plat shall establish cross-lot blanket access and public utility easements for all tracts. There will be no direct access to Unser Boulevard (see note regarding UTPPB Resolution 2000-10).

**APPROVAL**

Project # 1000898; EPC 00128-00000-01514; DRB 01450-00000-01599  
THIS SITE PLAN FOR SUBDIVISION IS CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 18, 2001 AND CONDITIONS OF APPROVAL HAVE BEEN MET.

<i>Paul D. Davis</i> Planning Department	12/20/01
<i>Bradley D. Bingham</i> Transportation Department	12-14-01
<i>Roger A. Shuen</i> City Engineer	11/14/01
<i>Miriam E. Carls</i> Utility Development	11-14-01
Parks and Recreation Department	Date

Scale: 1" = 100'



**SITE PLAN FOR SUBDIVISION**

**REQUIRED INFORMATION:**

The Site: The site consists of 4.0 acres within the Unser/McMahon Village Center, zoned SU-1 for Mixed Use, and 13 acres outside the Village Center, zoned SU-1 for R-2.

Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on January 18, 2001 (00110-00000-01623) as follows:

- SU-1 for Mixed Use Development: 4.0 acres
- C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 1.4 acres);
- O-1 Permissive and Conditional Uses; and
- R-2 Permissive and Conditional Uses (minimum of 35% of the gross property area).

SU-1 for R-2: 13.0 acres

**Pedestrian and Vehicular Ingress and Egress:**

**Trails:** There is a proposed trail along Unser Boulevard per the Trails and Bikeways Master Plan.

**Vehicular Access:** In accordance with the Transportation and Land Use Guide for the Westside/McMahon Corridor, the Site Plan identifies an internal circulation system of collector and local roads. Conceptual access points have been identified; final locations, width, and configuration shall be determined with future Site Plans for Building Purposes.

**Pedestrian Access:** Pedestrians shall access the Village Center from several points around the perimeter of the site. Pedestrian access shall also be provided into the R-2 neighborhood east of the Village Center to ensure easy connections from the R-2 uses to the Village Center.

**Bicycle Access:** A bicycle trail is planned along Unser Boulevard west of the subject property. Also, pursuant to the West Side Strategic Plan, the internal collector streets will have on-street bicycle lanes.

**Transit:** A major transit stop is proposed at the eastern edge of the Village Center per Westside/McMahon Land Use and Transportation Guide. This location will have excellent access to the Village Center and the R-2 neighborhood to the east.

**Landscape Plan:** The Design Guidelines (see Sheets 2 and 3) outline the landscape requirements for the Village Center. A minimum of 15 percent of the site shall be landscaped.

Note: The access policy for Unser Boulevard was amended by the UTPPB Resolution 2000-10 to allow a full access intersection on Unser Boulevard approximately 1,200 feet north of McMahon Boulevard, and two additional limited access points (right-in/right-out/left-in) on Unser Boulevard approximately 700 feet north and south of the Unser/McMahon intersection. This policy has been implemented through the full access intersection at Unser Boulevard and Summer Ridge Road and the limited access point south of Parcel F, east of Unser Boulevard.

**SITE PLAN FOR SUBDIVISION**

**Unser/McMahon Village Center North**

Prepared For:

Unser/McMahon Group  
PO Box 372  
Cedar Crest, NM 87008

Prepared By:

Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

October, 2001

Sheet 1 of 3





## DESIGN PARAMETERS

The purpose of these Design Parameters is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Unser McMahon Village Center. Additional guidelines are also provided for the adjacent R-2 areas outside of the Village Center. These standards address the issues of landscaping, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the conditions of approval set by the Environmental Planning Commission on September 18, 1998 (Z-97-119; Z-97-120); the Westside/McMahon Corridor Transportation and Land Use Guide, April, 1999; and the West Side Strategic Plan.

Each category is organized in terms of Standards (items which are required) and Guidelines (items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.

### SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines apply to commercial, office, and apartment developments, and were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

#### General

**Standards:**  
Cluster buildings on the site. A concentrated density of buildings will offer a greater sense of Village Center than a one-building per lot configuration.

A public plaza or courtyard space around which buildings can be clustered and linked to one another shall be created. The plaza should be attractive, lively, and a useful asset to the community. Plaza areas are appropriate for outdoor dining.

Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

Entrways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

Parking located adjacent to Unser Boulevard, McMahon Boulevard, and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berms. Screening shall be compatible with edge treatments at adjacent properties.

Buildings and structures erected within the site shall comply with all applicable City of Albuquerque Zoning and Building Codes, as well as other local codes and ordinances.

The adopted wall design guidelines by the City shall apply.

All loading docks shall be screened and enclosed within a minimum 6 foot height.

Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.

The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1000 square feet.

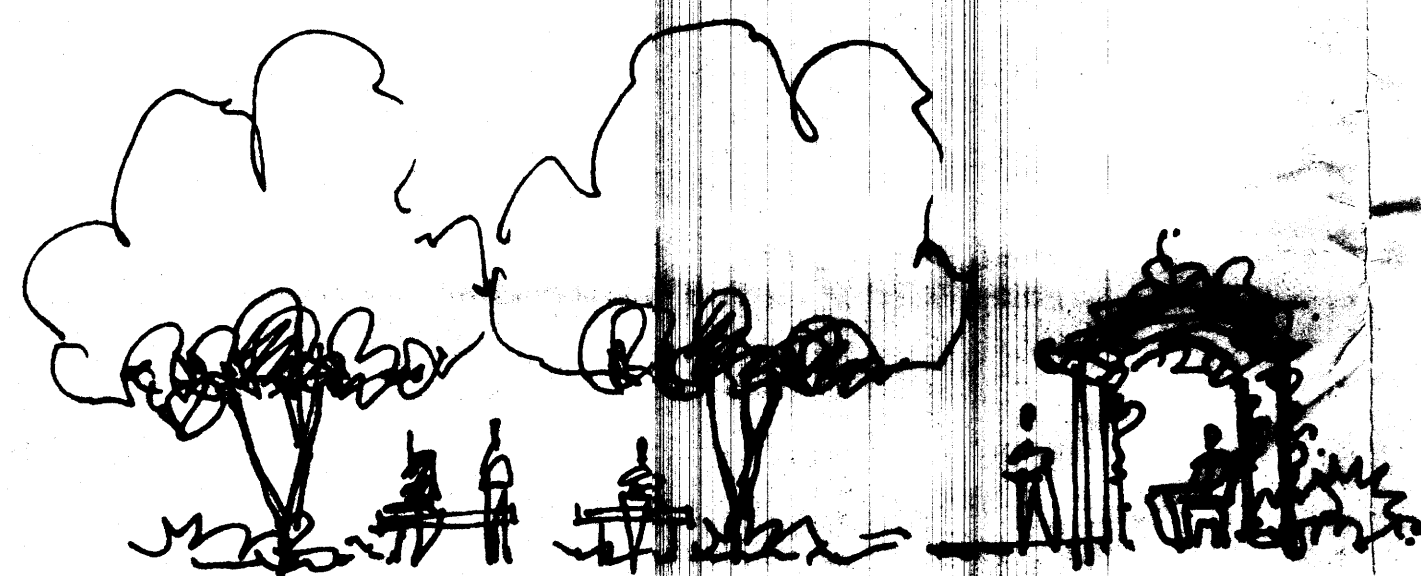
Public areas shall be defined by building edges, a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks) should also be used to enhance public areas.

Buildings shall be oriented to front on internal streets to reinforce the street edge.

#### Guidelines:

Open courtyard designs shall be used to form transitions between parking areas and building facades.

Open courtyards should include pedestrian activity areas, bicycle storage, ATM kiosks, and/or support for other activities to encourage multi-modal transportation and a community friendly environment.



SHADED PEDESTRIAN AREAS

Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.

- Public entries to the project shall be designed to:
  - be compatible with one another
  - create a sense of arrival
  - provide strong visual impact
  - provide a unified project identification

- The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating in the commercial area shall face the interior roads, plaza, courtyard, or the focal areas.

#### Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

#### Standards:

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be consulted.

Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

Entrances and exits to buildings shall be flush.

A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

Interior public areas shall have visual access to exterior activity areas for additional surveillance.

#### Guidelines:

Exterior children's play areas shall be located where surveillance can occur from multiple directions.

#### Circulation

##### Standards:

Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.

All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.

All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with 5x5 planters.

Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 30 feet for two-lane streets, or 20 feet for one-way traffic.

Bicycle parking shall be provided to promote alternative vehicle use as follows:

- Office & commercial: for employees, one bicycle slot space per 20 parking spaces
- Multi-Family residential: for residents, 1 space per 2 dwelling units

Six foot sidewalks shall be provided along all roadways. All other sidewalks shall be a minimum of 4 feet in width.

Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

Trail connections shall be provided within the interior roadway to the City-planned trail along Unser Boulevard.

Pedestrian connections shall be provided to the major transit stop along the new, eastern-most, north-south roadway (see Sheet 1).

A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and tactically for safe pedestrian crossing.

Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area. The minimum off-street parking requirement for apartments is 1 parking space per unit, but no less than 1.5 spaces per unit. Parking for single family or townhouse developments shall be per the R-T zoning requirements.

There shall be no parking requirement applied to any second floor housing above retail.

The parking requirements shall be the minimum is the maximum.

Landscaped islands shall be distributed throughout parking areas.

There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.

#### Guidelines:

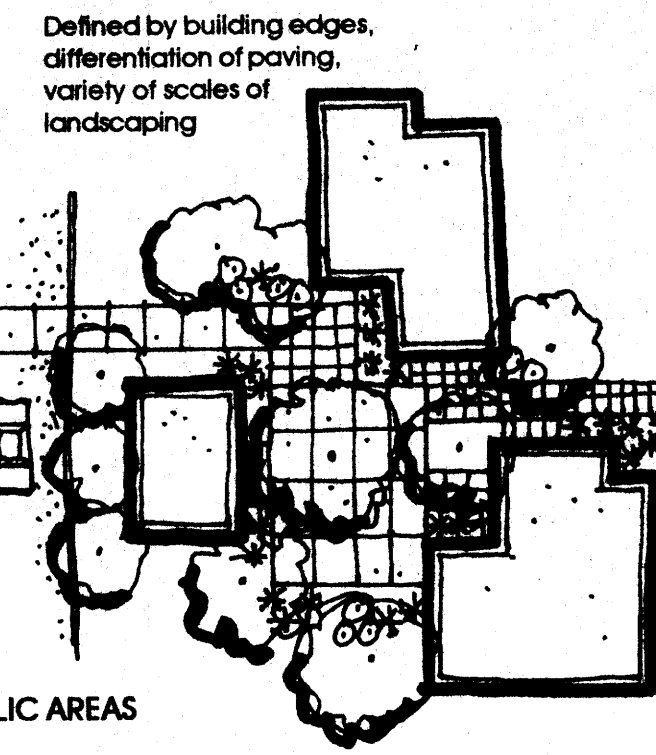
Parking shall be broken into smaller areas rather than one large parking lot where practicable. Long stretches of parking facilities adjacent to the streets should be avoided whenever possible. Screening may include earth berms, perimeter or retaining walls, and landscaping, with a maximum height of 3 feet.

#### Transportation Demand Management (TDM)

Future employees that locate within the Unser McMahon Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute to work. The following elements will be part of a TDM effort at Unser McMahon Village Center:

On parcels with businesses that have more than 50 employees, lockers, showers, and bicycle racks must be available on each parcel for those employees who wish to walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Unser McMahon Village Center.

Businesses with more than 50 employees should consider appointing a Commuter Program Coordinator (CMC) for the purpose of facilitating carpools and providing premium parking space for those employees who participate.



PUBLIC AREAS

Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "Information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

As a part of the TDM Program, City Transit should:

Provide bus routes off of McMahon Boulevard and into the interior of the project once McMahon and Unser Boulevards are constructed.

Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to the Unser McMahon Village Center that address their specific needs.

#### Setbacks

##### Standards:

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.

All building setbacks shall be landscaped according to the landscape guidelines (see Landscape section).

Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.

Drive aisles and parking shall not be permitted in the 40 foot setback between the front entry and the building and sidewalk along internal streets.

Buildings in commercial and office zones shall have minimum setbacks as follow:

- 20 feet from the R.O.W. line of Unser and McMahon Boulevards.

15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and/or property line of a residential zone.

10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Unser and McMahon Boulevards.
- 15 feet from the R.O.W. of interior roads.

#### Perimeter Walls, Screening Walls & Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/ residential development. The site location of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

#### Standards:

Perimeter walls shall be provided for multi-family residential development. They shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

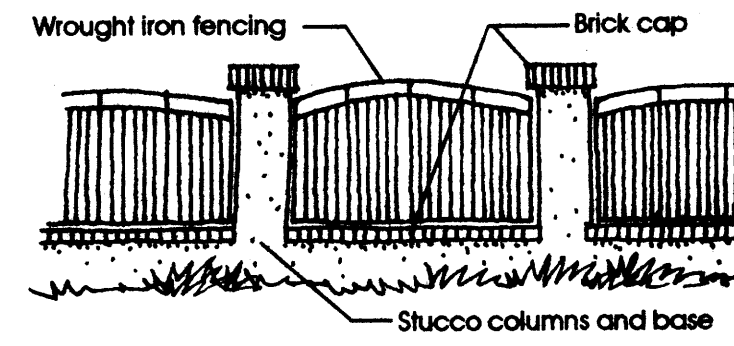
Pedestrian openings shall be provided for access at key locations within single family residential developments.

Visual openings shall be provided in perimeter walls every 100 feet at commercial, office, and apartment properties for visual relief.

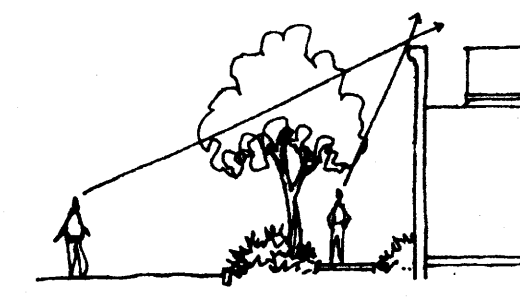
All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.

Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.

Mechanical equipment for commercial, office, and apartment properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.



PERIMETER WALL DESIGN



MECHANICAL SCREENING

#### SIGNAGE & GRAPHICS

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

#### Standards:

The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

No on-premise signs.

#### Signage SHALL:

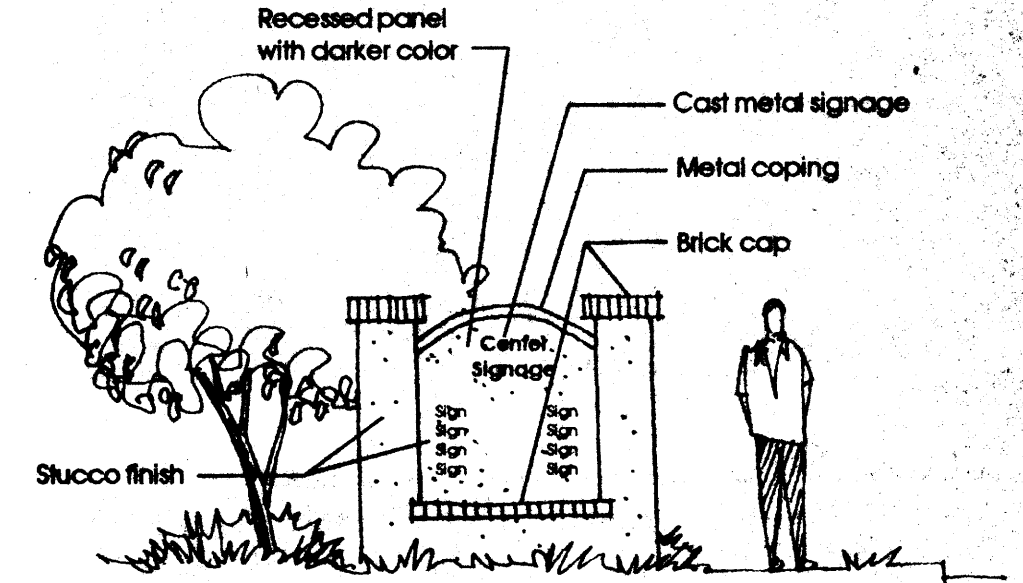
be designed to be consistent with and complement the materials, color, and architectural style of the building or site location

be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spotlighted may be used provided there is non-glare on the street or upon adjacent property or that the light does not distract motorists

#### Signage SHALL NOT:

- use moving parts, make audible sounds, or have blinking or flashing lights
- overhang into the public right-of-way, property line, or extend above the building roof line
- intrude upon any architectural features, including windows, columns, moldings or any decorative features

Two monument village signs are allowed on both sides of Unser and one monument sign is allowed on McMahon as a "landmark" identifying the Center and shall be of similar design and materials as the buildings, i.e. sculpture, lower, etc. The monument village signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.



MONUMENT SIGN DESIGN

All freestanding signs shall be monument signs only.

Monument signs are allowed for individual projects within the Village Center. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.

Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.

Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.

Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

No backlit plastic/vinyl signage shall be permitted except for logo designs.

#### Guidelines:

The following guidelines were developed to assist designers in understanding the signage program.

#### Signs SHOULD:

identify only the name and business of the occupant or of those offering the premises for sale or lease;

be used at areas of public activity to enhance the visual character of the environment and create a festive atmosphere;

be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable;

not have too many different colors (too many colors can be confusing and usually fails to communicate the intended message);

have a significant contrast between the background and the text (if the colors are too close in value or hue the sign will be difficult to read);

have a minimum of words (a brief message is easier to read and is usually more attractive);

avoid unusual shapes (the viewers' attention will tend to focus on the shape instead of the message the sign was intended to convey);

have letters that do not appear to occupy more than 75 percent of the sign area (the sign is harder to read if the type takes up too much of the sign area); and

should be sized so that pedestrian-oriented signs are smaller than vehicle-oriented signs (a pedestrian-oriented sign is usually read from a distance of 15-20 feet).

# SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group  
92 Mark Drive  
Hawthorn Woods, IL 60047

Prepared By:

Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

June 26, 2001

Sheet 2 of 3



## LIGHTING, OUTDOOR FURNITURE & MATERIALS

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

### Standards:

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.
- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

The maximum height for lighting fixtures shall be:

- 16 feet high for walkways and entry plazas
- 20 feet for street lights and parking area lights (restricted to 16 feet within 70 feet of residential; except residential located above retail shops)

- Sodium lighting is prohibited.

- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.

- Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

- At primary activity areas (such as at the Unser McMahon intersection), paving shall have some attractive features beyond standard asphaltic or concrete slabs, such as changes in material, texture, pattern, and/or color. Where concrete slabs are used, they should be patterned, stained, integrally colored, and/or inlaid with tile.

- Asphalt shall be avoided in all areas except parking areas and bicycle trails. Use of alternative materials for these areas is encouraged.

- The major transit stops shall include shelter facilities, benches, lighting, and bicycle storage (see sheet 2).

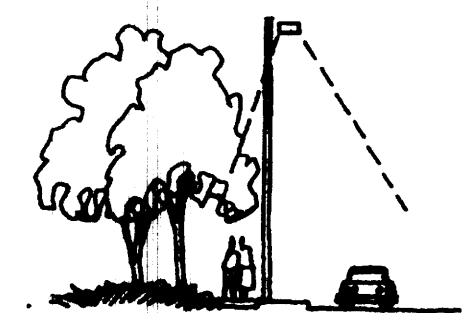
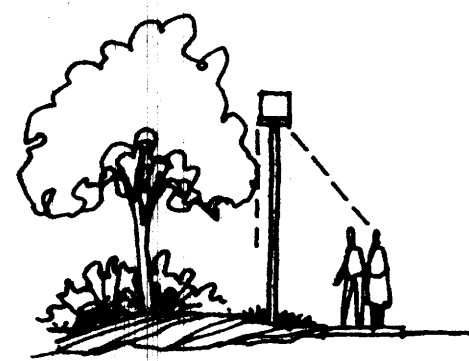
### Guidelines:

- Spread lighting fixtures shall be used to accent landscape and walkways as is the use of uplighting fixtures to highlight trees, walls and architectural features.

- Outdoor furniture shall be colorful. Where appropriate, glazed tile, integrally colored concrete, and stained concrete surfaces should be used to offset furniture at focal areas.

- Outdoor materials shall be chosen for their durability and resistance to weathering.

- Exterior elevations of any building fronting a street shall be feature lighted to enhance the identity of the building and the appealing ambience of the Village Center.



LIGHTING

## Facades

### Standards:

- No plastic or vinyl building panels or awnings shall be permitted.
- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

### Facades SHALL:

- vary in height, depth and articulation to create a pedestrian-scaled environment
- be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into perceptually manageable pieces
- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures
- be treated with a consistent level of detail at all sides of all buildings and structures
- have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.

### Guidelines:

- Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

## Roofs & Parapets

### Guidelines:

- Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.
- Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-traveled.
- The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.
- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.
- The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

## Entryways

### Standards:

- Entries shall be clearly defined and connect to pedestrian linkages.
- Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.
- Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

### Guidelines:

- Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.
- Entryways shall be accented with lighting to enhance the perception of surface variety.

## Fenestration & Shading

### Guidelines:

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.
- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.
- Buildings shall not obstruct solar access to neighboring residential structures.

## Building Materials & Colors

### Standards:

- Materials prohibited as the main architectural feature include the following:
- exposed, untreated precision block or wood walls
  - highly reflective surfaces
  - chain link fence or barbed wire
  - metal paneling
  - materials with high maintenance requirements

### Guidelines:

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.
- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.
- Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with colors used for streetscape and perimeter walls.
- Color shall be used to highlight important features or details of buildings and color should be an integral design consideration to all building, paving and landscape elements.
- Color can unify or differentiate buildings. The use of color to unify or differentiate buildings or building components should coincide with the relative relationships of interior functions or the differing functions of buildings.

## UTILITIES

### Standards:

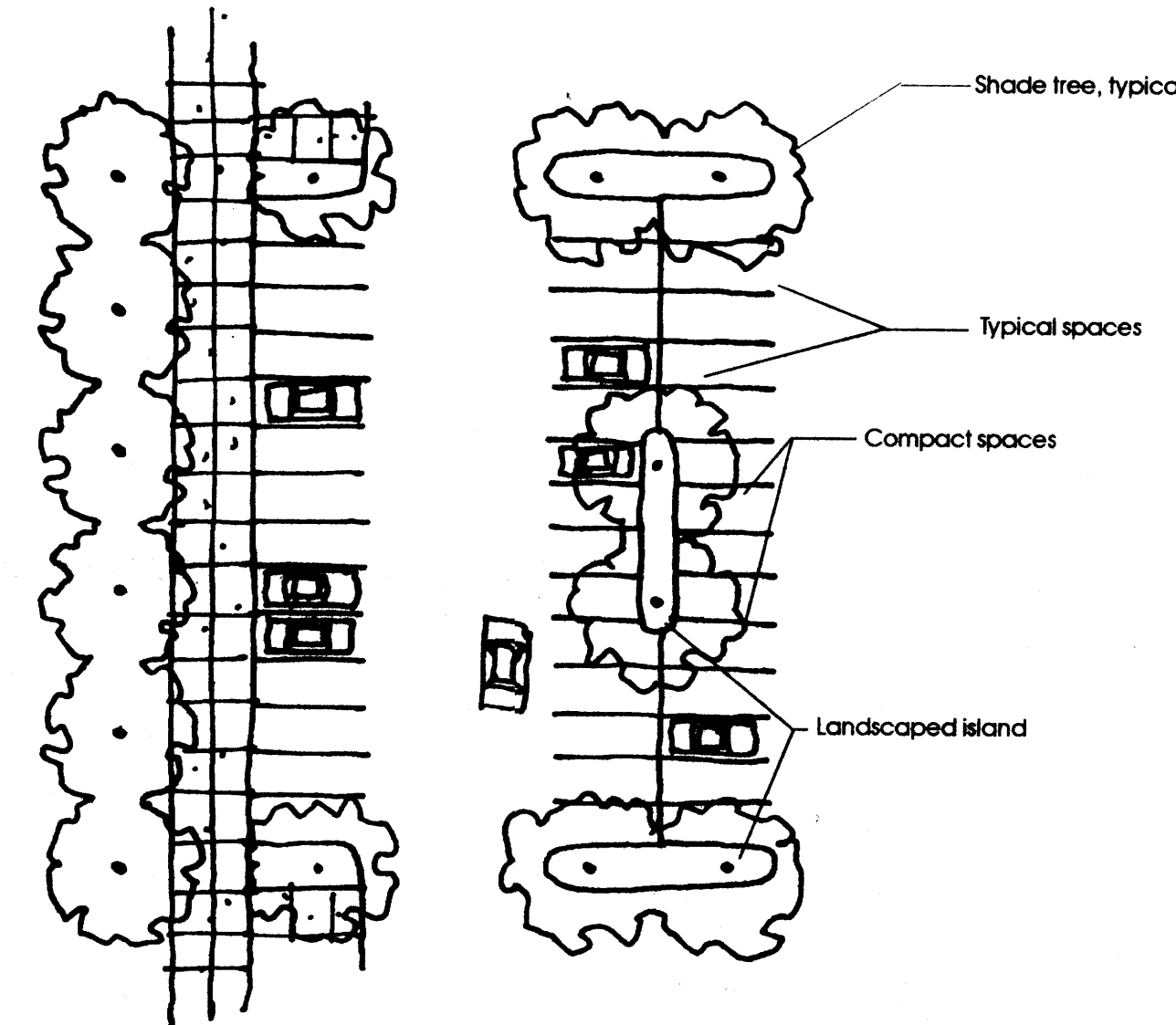
- All electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- Refuse enclosures shall be located in areas of low visual and olfactory impact, where practicable. No refuse collection areas shall be allowed along streets and building fronts.
- Any cell towers shall be concealed and architecturally integrated.

## LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

### Standards:

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.
- Street trees shall be provided along Unser and McMahon Boulevards, and new interior roads at a rate of one tree per 25 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single family or townhouse developments, there shall be one tree per lot.
- Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- The shading of pedestrian ways and the use of pedestrian-scaled lighting along the roads are critical.
- All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.
- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, however, these materials shall not be used as a focal landscape element.
- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.
- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 8 parking spaces with no space being more than 80 feet from a tree.



TYPICAL PARKING LOT LANDSCAPING

- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of previous filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

Minimum plant sizes at time of installation shall be as follows:

- Trees: 2 inch caliper, or 10 to 12 feet in height
- Shrubs & Groundcovers: 1 gallon
- Turf Grasses: provide complete ground coverage within one growing season after installation

The following street trees shall be used at the respective locations:

- Unser & McMahon Boulevard: Ash sp., Honey Locust sp.
- Internal Streets: Golden Rain tree, Chinese Pistache

## R-2 PORTIONS OUTSIDE VILLAGE CENTER

The following exceptions to the previous guidelines and standards apply to those residential parcels outside the Village Center, but which are still covered by this Site Plan for Subdivision.

## Circulation

### Standards:

- Direct pedestrian connections shall be provided between R-2 development and the Village Center. Connections may be gated and secured for use by apartment residents only.

## Setbacks

### Standards:

- Buildings shall have a maximum setback of 70 feet.

## Perimeter Walls, Screening & Fences

### Standards:

- Design of perimeter walls, where used, shall be compatible with the architectural theme of the site.
- Visual openings shall be provided in perimeter walls every 100 feet at residential areas for visual relief.
- Unfinished block walls, chain link, barbed or concertina wire, or wood fencing is prohibited.
- The adopted wall design guidelines by the City shall apply.

### Guidelines:

- Perimeter walls shall be used at multi-family residential development. They shall have a maximum height of 6 feet and, where used, are encouraged to meander within the landscape setback.

## Signage & Graphics

### Standards:

- One monument sign shall be permitted per each roadway frontage for each development. Such signs shall be of similar design and materials as the buildings and shall not exceed an area of 40 square feet.

## Architectural Design

### Standards:

- The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainage right-of-way centerline.

## Landscape

### Guidelines:

- Street tree types are not restricted to those required within the Village Center.

# SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group  
92 Mark Drive  
Hawthorn Woods, IL 60047

Prepared By:

Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

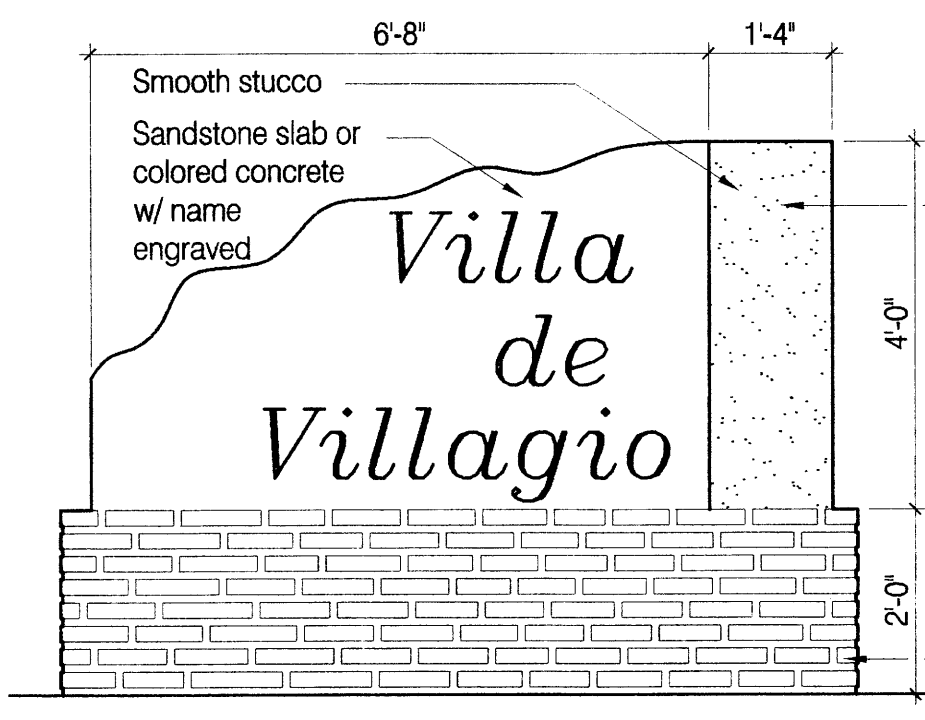
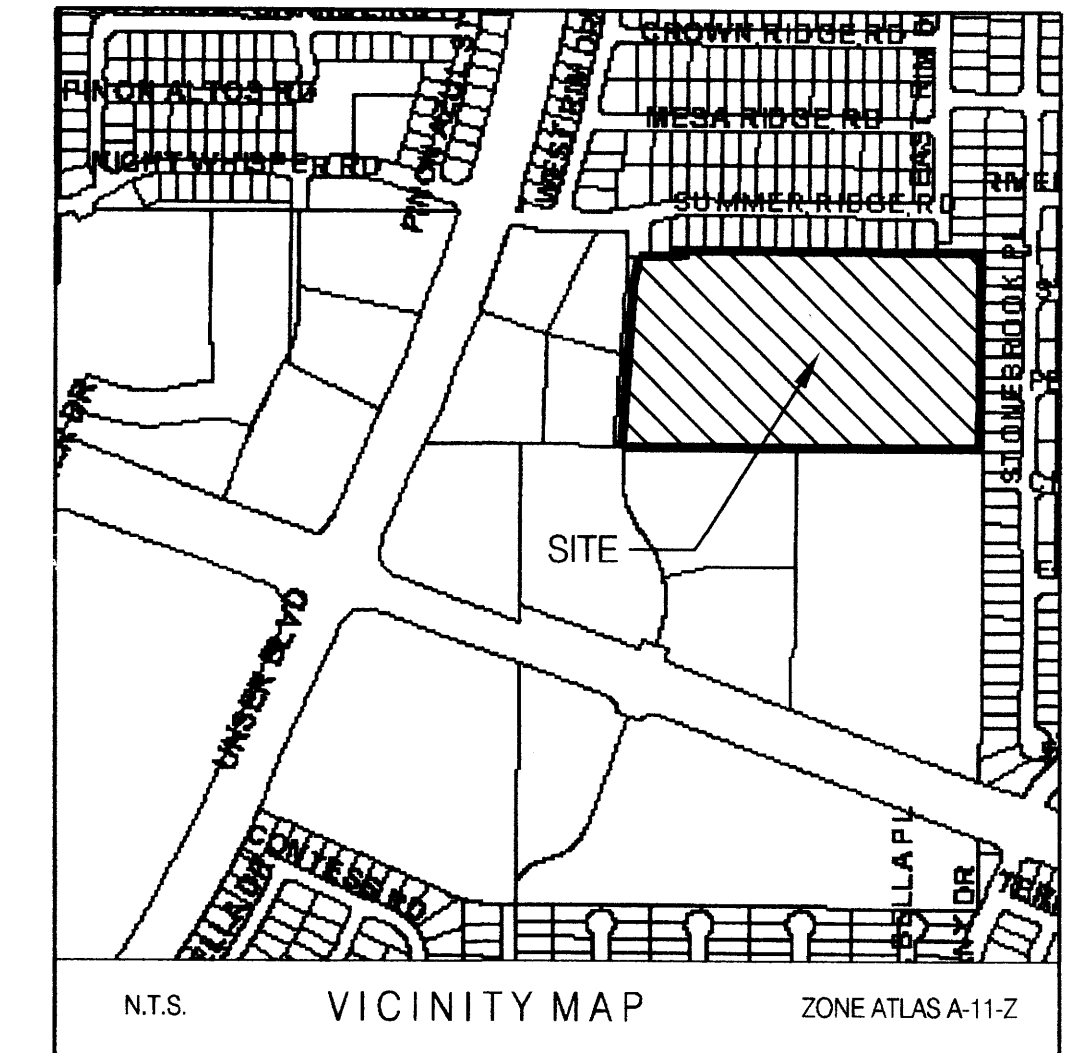
June 26, 2001

Sheet 3 of 3



**SITE DATA**

Zoning: SU-1 for R-2 Permissive and Conditional Uses  
 Site Area: 13.0 acres  
 Dwelling Units: 95 Single Family Homes  
 Private Park: 7,750 s.f. (To be maintained by Home Owner's Association)



ENTRY WALL SIGN  
 N.T.S.



**APPROVALS**  
 PROJECT: #100898;02EPC-1348

Planning Director	Date
Transportation Development	Date
City Engineer/AMAFCA	Date
Utility Development	Date
Parks and Recreation Department	Date
<i>will comply with all city specs. 1-28-03</i>	
<b>SOLID WASTE</b>	<b>DATE</b>

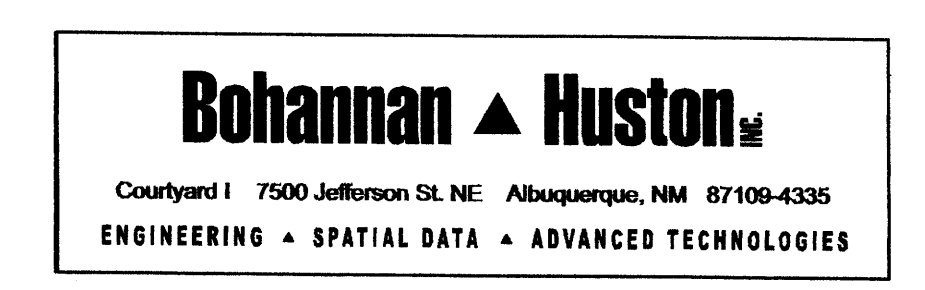
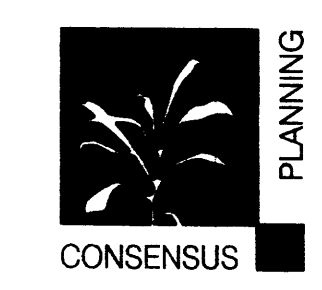
Site Plan for Building Permit

# Villa de Villagio

Prepared for:  
 T.S. McNaney and Associates  
 400 Gold SW  
 Suite #700  
 Albuquerque, NM 87102

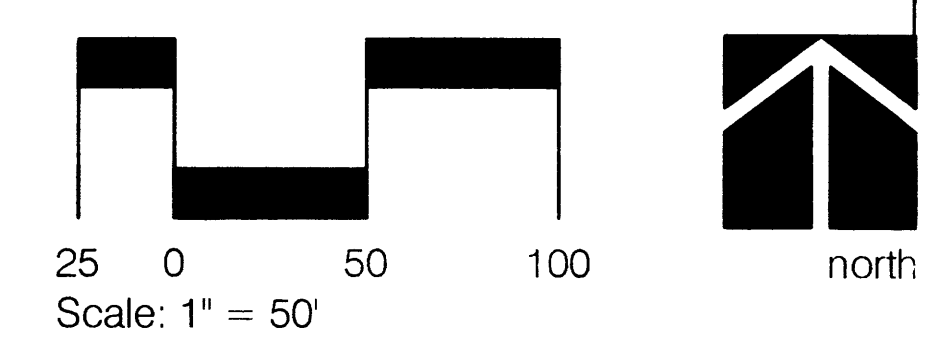
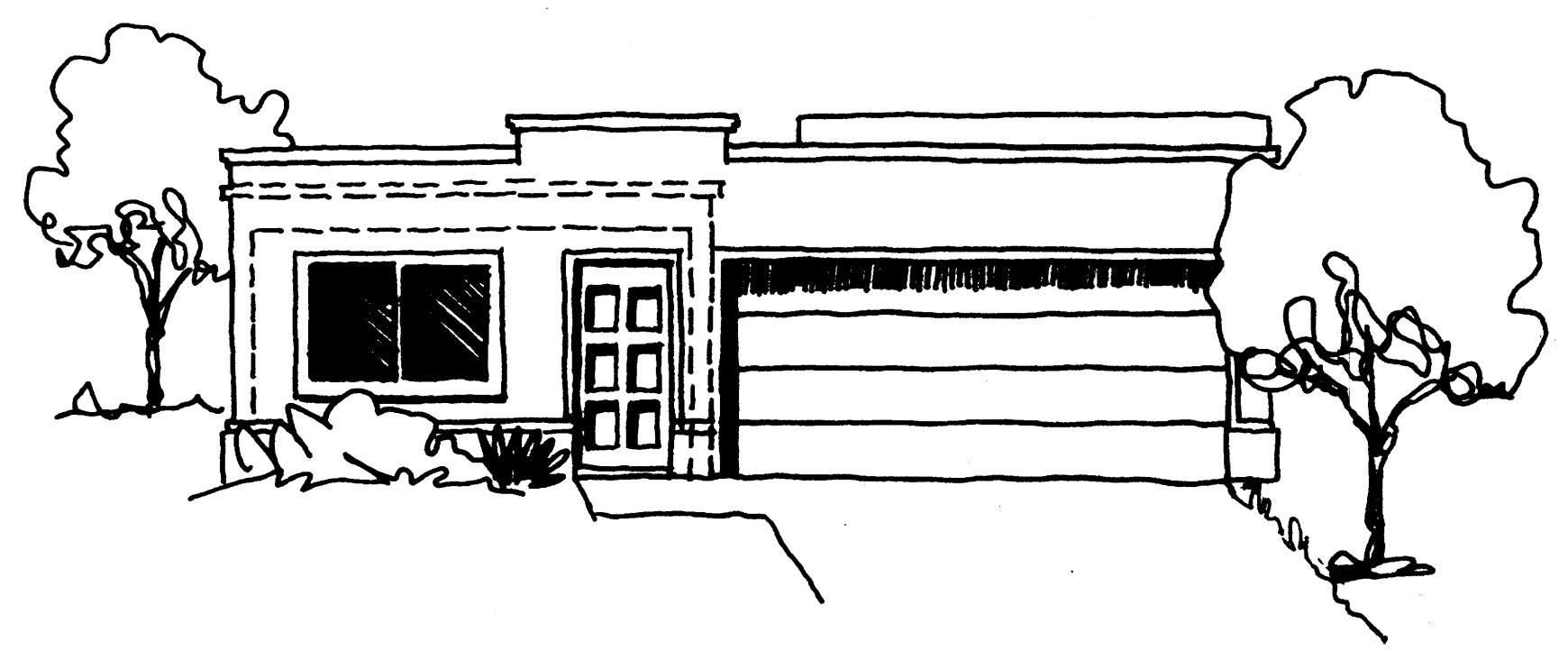
Prepared by:  
 Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102

Bohannon Huston, Inc.  
 7500 Jefferson NE  
 Courtyard 1  
 Albuquerque, NM 87109



**Typical Building Elevations**

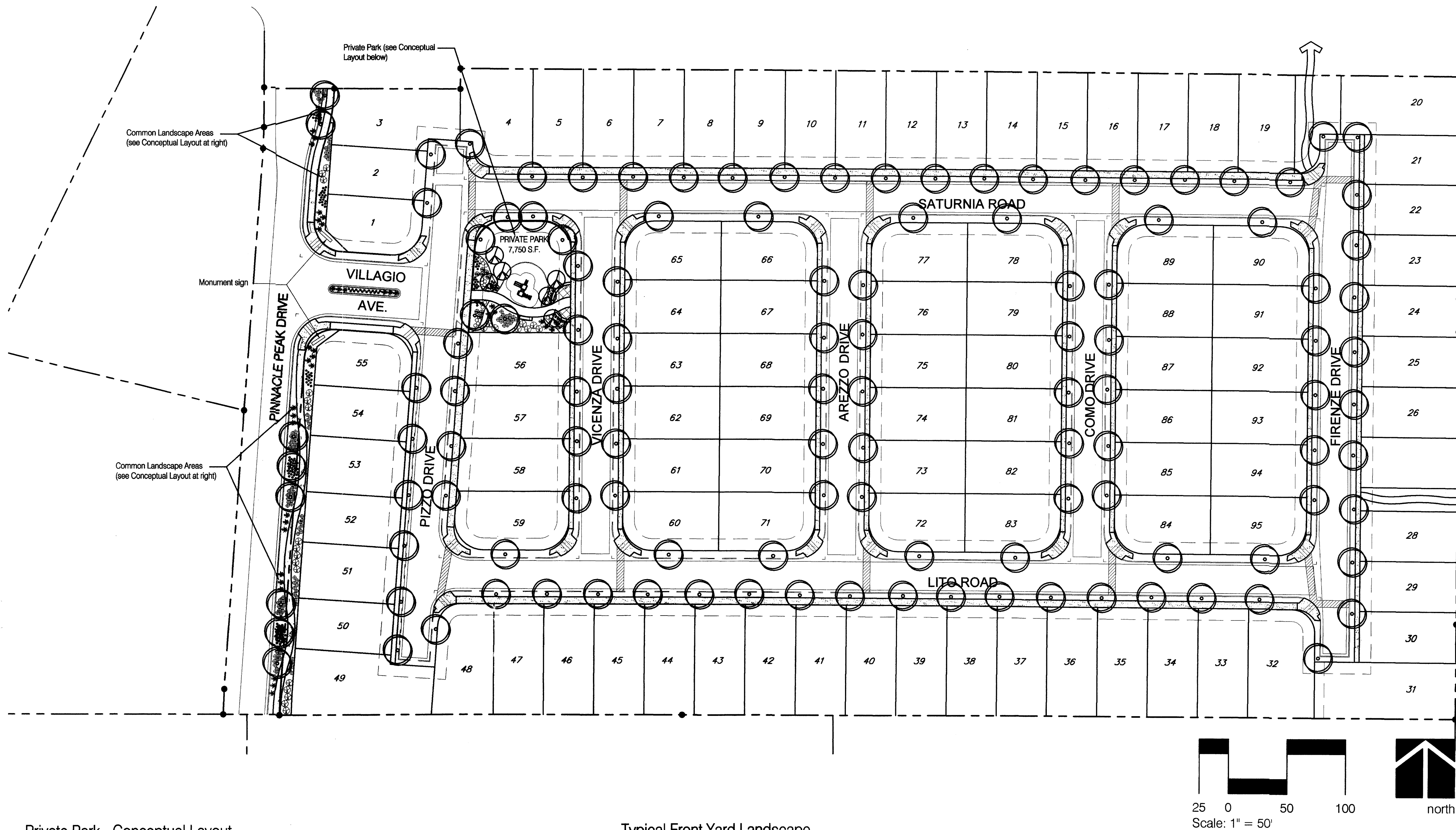
- In addition to the approved Design Guidelines for the Unser/McMahon Village Center Site Plan for Subdivision, the following standards apply:
- The building elevations shown are conceptual. More detailed building plans shall be reviewed at the building permit stage.
  - Stucco color shall be shades of brown, beige, yellow ochres, and grey greens.
  - All roof penetrations shall be painted to match the stucco color.
  - Wood, brick, or stone may be used as an accent feature.
  - Accent features such as entries, window trim, fascias, and other traditional southwestern features may be painted white, green, red, blue, or brown.



**Notes:**

- This Site Development Plan for Building Permit covers the 13 acre SU-1 for R-2 area only of the approved Unser/McMahon Village Center North Site Development Plan for Subdivision. This parcel is not within the Village Center; it is adjacent to it on the west Subdivision boundary.
- The access policy for Unser Boulevard was amended by the UTPPB Resolution 2000-10 to allow a full access intersection on Unser Boulevard approximately 1,200 feet north of McMahon Boulevard, and two additional limited access points (right-in/right-out/left-in) on Unser Boulevard approximately 700 feet north and south of the Unser/McMahon intersection. This policy has been implemented through the full access intersection at Unser Boulevard and Summer Ridge Road and the limited access point west of Unser Boulevard.
- A sidewalk variance is granted as a part of this Site Plan.
- The private park and common landscape areas to be owned, developed, and maintained by the Villa de Villagio Homeowner's Association.
- Front porches shall be provided on each dwelling unit and are allowed to extend into the front yard setback.
- Garages shall be de-emphasized by either staggering the building setbacks, recessing the garages or locating the garages to the rear of the dwelling. This shall be done for a minimum of 47 of the dwelling units.
- Each lot/home shall have a storage area for residential automated carts and they shall not be visible from the street.





**LANDSCAPE CONCEPT**

The landscape Concept for Villa de Villagio in and immediately adjacent to the Unser/McMahon Village Center North has been developed to be consistent with the approved Site Plan for Subdivision approved by the Environmental Planning Commission on January 18, 2001 and with the amended Site Plan for Subdivision approved on October 18, 2002.

**GENERAL**

The design and provision of landscaping for the Villa de Villagio Subdivision will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

**STREET TREE ORDINANCE REQUIREMENTS**

Streets within the Villa de Villagio Subdivision are classified as local streets and do not fall under the requirements of the City of Albuquerque Street Tree Ordinance, however, per the Unser McMahon Village Center North Design Guidelines, street trees shall be installed as shown by the developer at a rate of approximately one tree per lot.

**STREET TREE PALETTE**

- Purple Robe Locust, Golden Raintree, Ash Species

**UTILITY NOTES**

Due to the small scale, and in order to provide optimum legibility of the landscape plan, utility easements are not shown. The location of utility easements are as indicated on the Site Plan, Sheet 1.

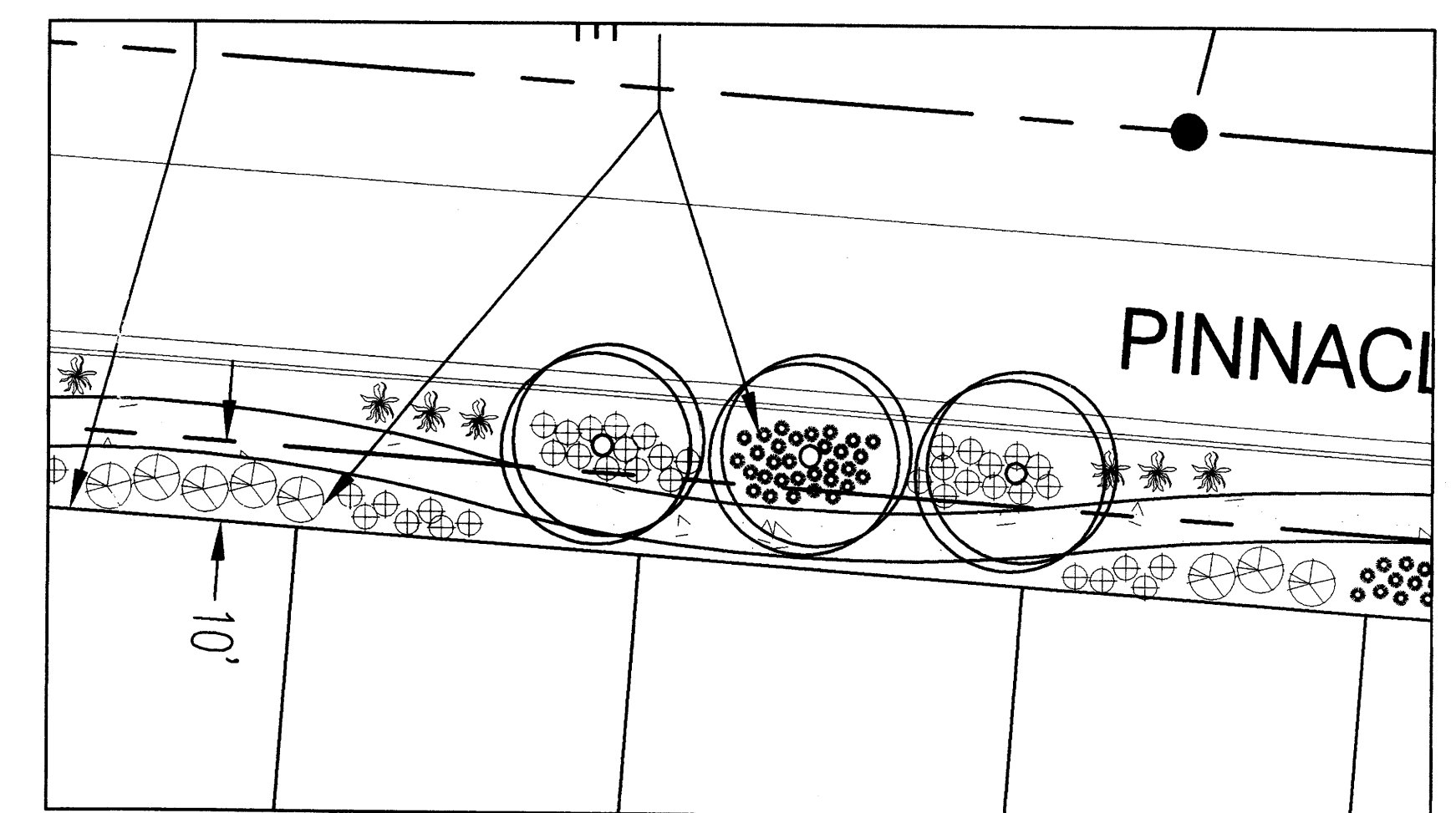
**IRRIGATION SYSTEM**

Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas. Irrigation for street trees shall be included as part of the irrigation system for individual lots.

**MAINTENANCE RESPONSIBILITY**

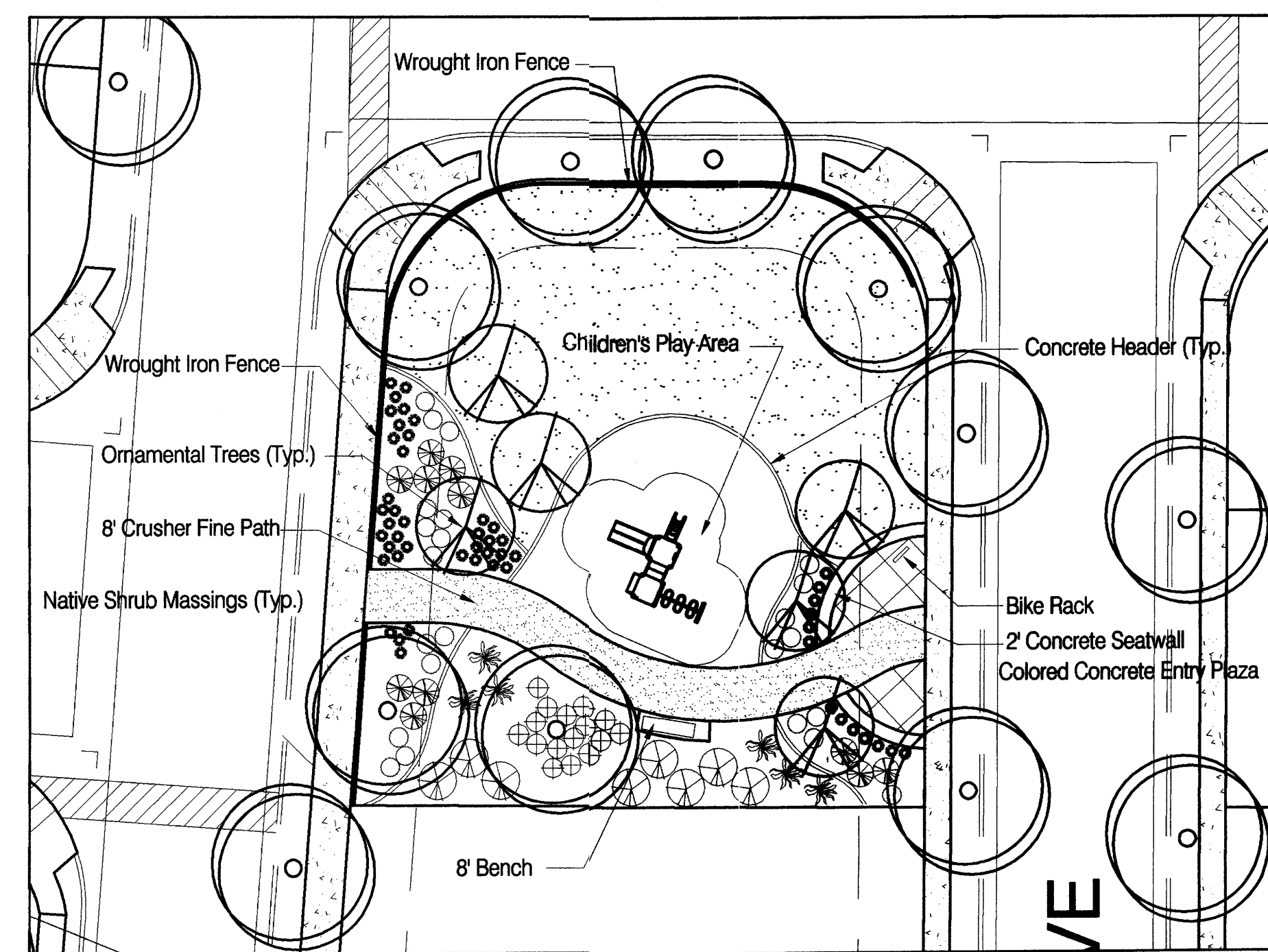
Maintenance of the landscaping and irrigation system shall be the responsibility of the individual Lot Owners. All planting areas will be maintained in a living, attractive, and weed free condition. The private park and all common landscape areas shall be maintained by the Homeowner's Association.

**Common Landscape Areas - Conceptual Layout**



SCALE: 1" = 20'-0"

**Private Park - Conceptual Layout**



SCALE: 1" = 20'-0"

**Typical Front Yard Landscape**

**MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VILLA DE VILLAGIO SUBDIVISION**

The following requirements for front yard landscaping are in addition to the street tree requirements outlined above.

- 2 Deciduous Shade Tree (min. 15 gallon)
- 8 Shrubs (min. 5 gallon)
- Turf Grass (sodded, min. 20% of the front yard landscape area)

**OR**

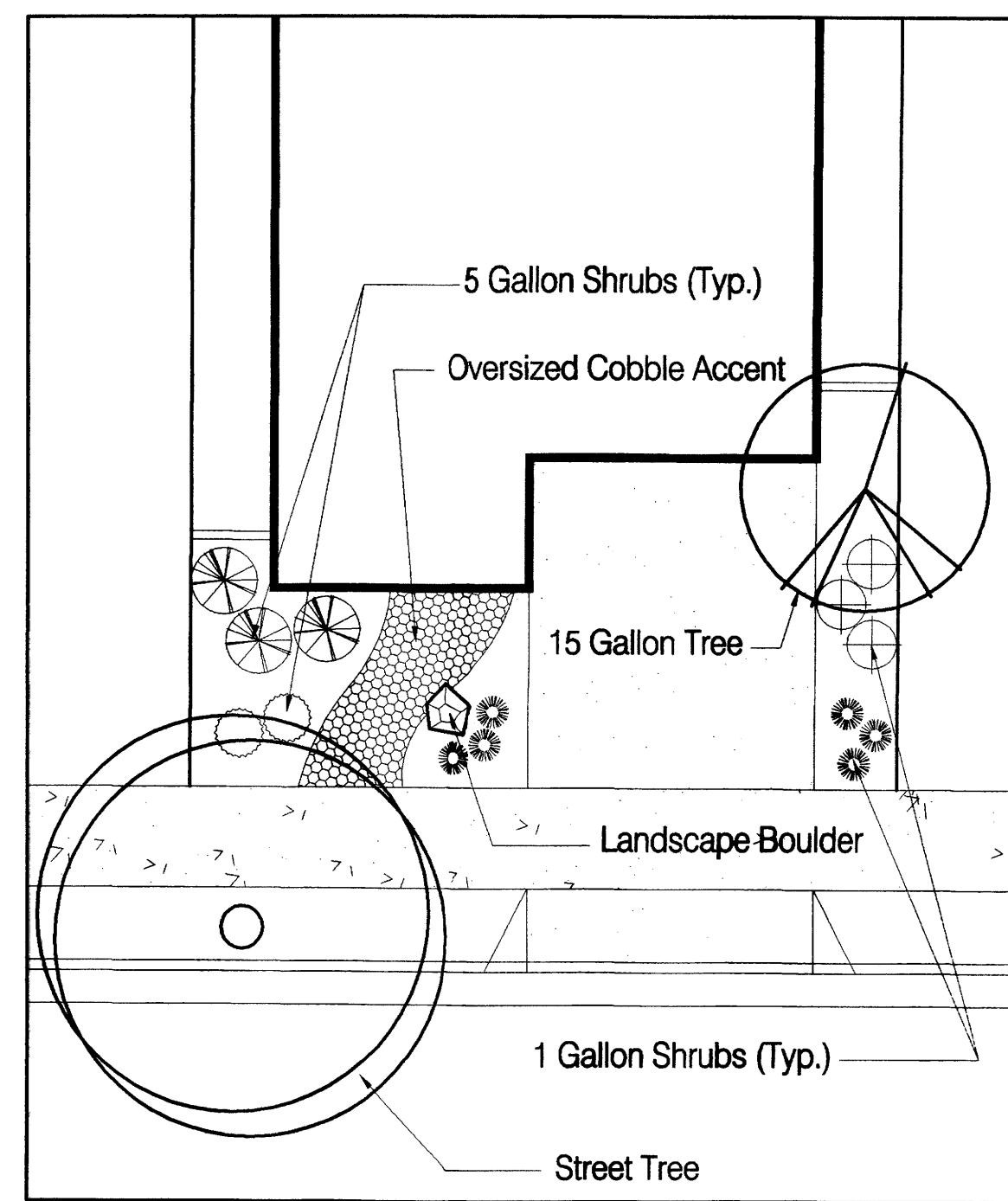
- 1 Ornamental Tree (min. 15 gallon)
- 5 Shrubs (min. 5 gallon)
- 9 Shrubs (1 gallon)
- 1 Landscape Boulder (3'X3' min.)
- Oversized Cobble Accent

In addition, all front yard landscaping shall be required to have the following:

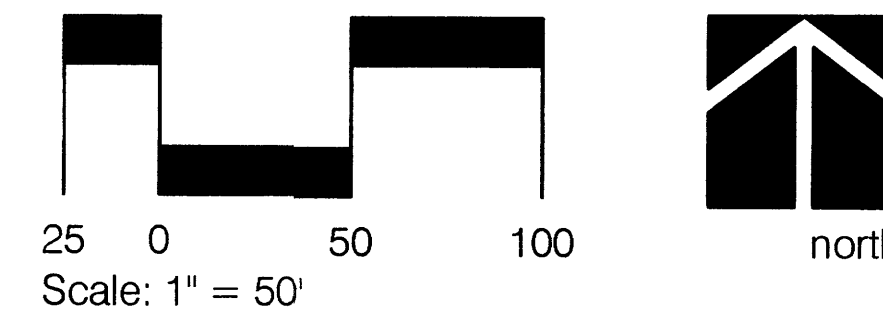
- 3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover
- Steel Header - as required between Turf and other landscaped areas
- Irrigation System w/Automatic Timer

The following approved Accents can be used for front yard landscaping:

- 2"-4" Cobbles (max. 25% of Area)
- Bark Mulch (in tree wells only)



SCALE: 1" = 10'-0"



**GENERAL PLANT PALETTE FOR FRONT YARD LANDSCAPES**

This list is provided as a guide only. Additional plant materials included in the 'Albuquerque Plant List' are acceptable subjects to the Water Conservation Landscaping and Water Waste Ordinance.

- Shade Trees (15 gallon min.)\***  
Autumn Purple Ash, Honeylocust species, Chinese Pistache, Golden Raintree, Purple Robe Locust

- Ornamental Trees (15 gallon min.)\***  
Desert Willow, Chitalpa, New Mexico Olive, Flowering Pear, Flowering Plum, Chaste Tree

- Evergreen Trees (6' min. height)\***  
Piñon Pine

\*Palm Yucca and Ocotillo shall not be used to fulfill the requirement for front yard trees.

- Shrubs (1 & 5 gallon)**  
Juniper Species, Potentilla, Chamisa, Artemesia Species, Fourwing Saltbush, Red Yucca, Apache Plume, Dalea Species, Penstemon Species, Desert Spoon, Cotoncuster Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species

- Groundcovers and Vines (1 & 5 gallon)**  
Trumpet Vine, Carolina Jessamine, Juniper species, Honeysuckle, Wisteria, Virginia Creeper

- Turf Grasses (Seed or Sod)**  
Kentucky Bluegrass (Max. 20% of total landscape area)  
Fescue (Max. 20% of total landscape area)  
Buffalo/Blue Grama Grass

**Landscape Plan**

**villa de villagio**

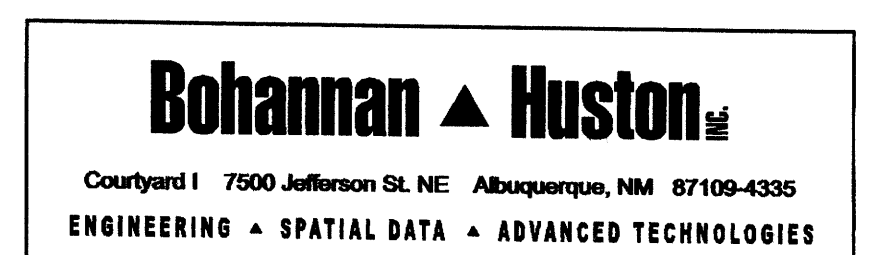
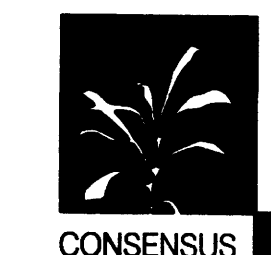
Prepared for:

T.S. McNaney and Associates  
400 Gold SW  
Suite #700  
Albuquerque, NM 87102

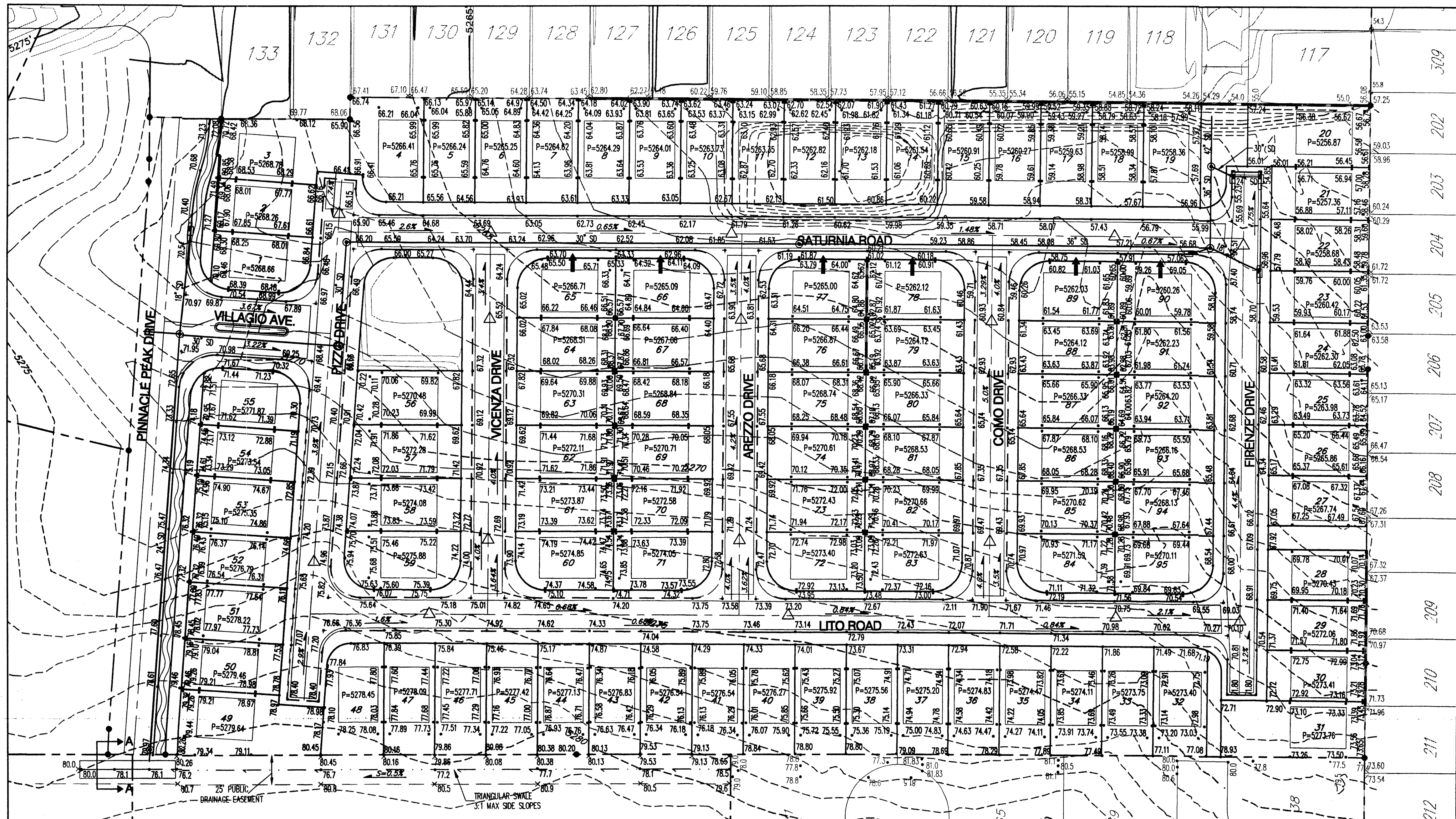
Prepared by:

Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

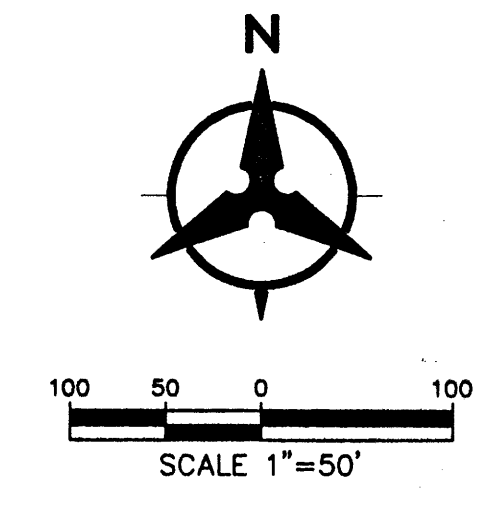
Bohannon Huston, Inc.  
7500 Jefferson NE  
Courtyard 1  
Albuquerque, NM 87109



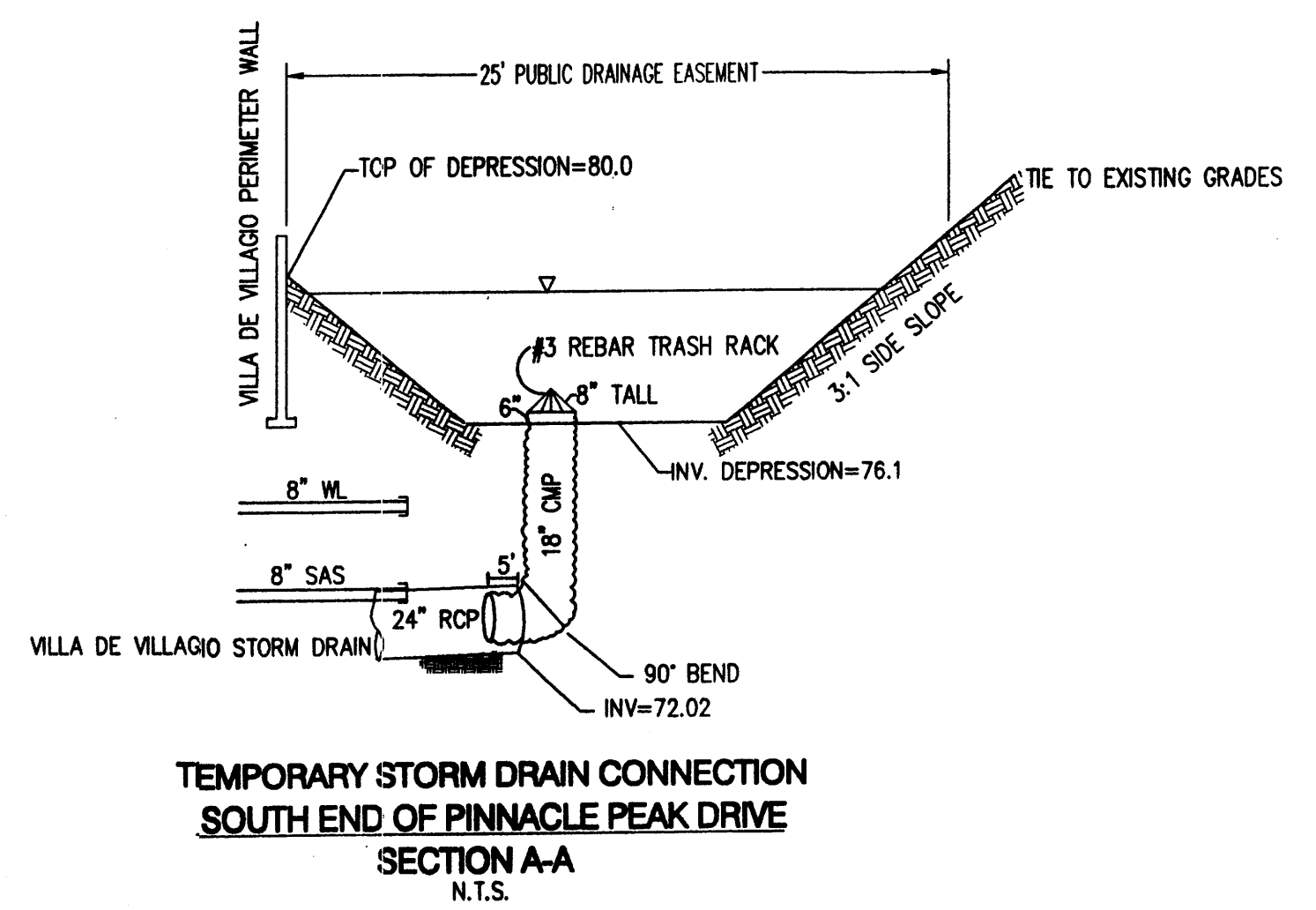




- GENERAL NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
  - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 2, AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
  - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  - BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
  - ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
  - 91.62 PROPOSED SPOT ELEVATION
  - × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
  - ===== EXISTING CURB & GUTTER
  - ===== PROPOSED MOUNTABLE CURB & GUTTER
  - ===== PROPOSED STANDARD CURB & GUTTER
  - EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - ===== PROPOSED RETAINING WALL
  - ===== PROPOSED GARDEN WALL
  - ===== CONCRETE FILLED TO 1-FOOT DEPTH
  - ===== PROPOSED SLOPE
  - ===== PROPOSED STORM DRAIN
  - ⊙ PROPOSED STORM DRAIN MANHOLE
  - ↑ PROPOSED STORM DRAIN INLET
  - ↑ WALL DRAIN



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NGS BRASS TABLET	DATE	NO.	BY	NO.	DATE
BY		BLACK-2	1977				
ASSISTED BY		GEOGRAPHIC POSITION (NAD 1927)					
FIELD NOTES BY		NM STATE PLANE COORDINATES (CENTRAL ZONE)					
REVISIONS BY		X = 372920.43 Y = 1550241.52					
DATE		GROUND TO GRID FACTOR = 0.9996784					
DATE		DELTA ALPHA = -0.1443"					
DATE		SID 1929 ELEVATION = 5213.926					
RECORDED BY							
NO.							

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

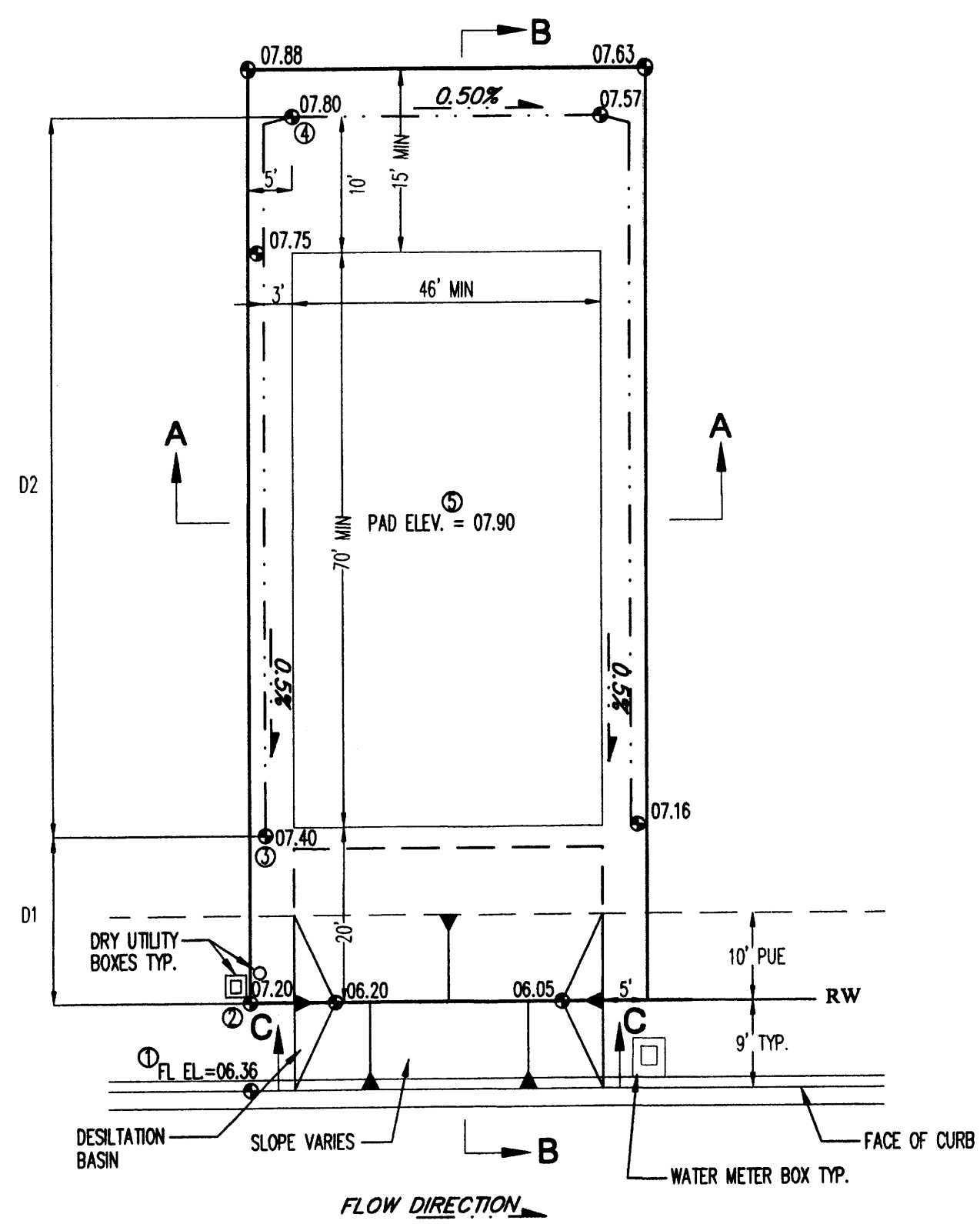
**CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT**  
**VILLA DE VILLAGIO SUBDIVISION  
 EROSION CONTROL AND GRADING PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
	A-11-Z	1	2	

ROUGH GRADING (40.5')  
 APPROVED FOR ROUGH GRADING DATE

P:\030030\cdp\general\030030\_GPO1.dwg  
 December 26, 2002 - 08:27 AM  
 Layout1

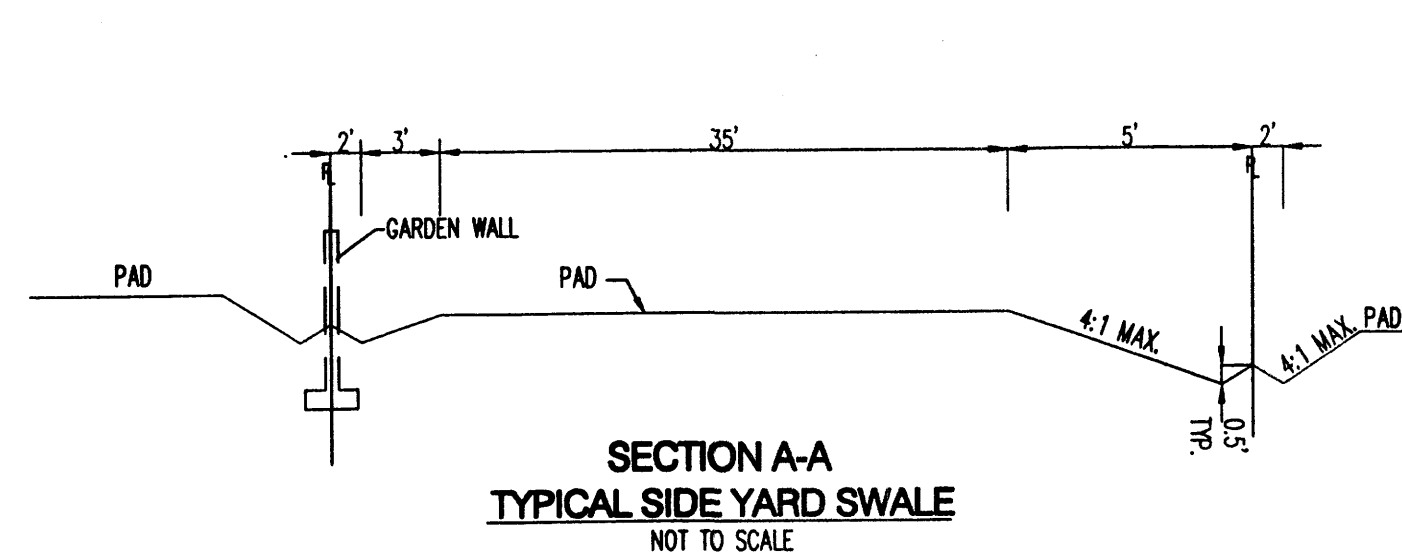




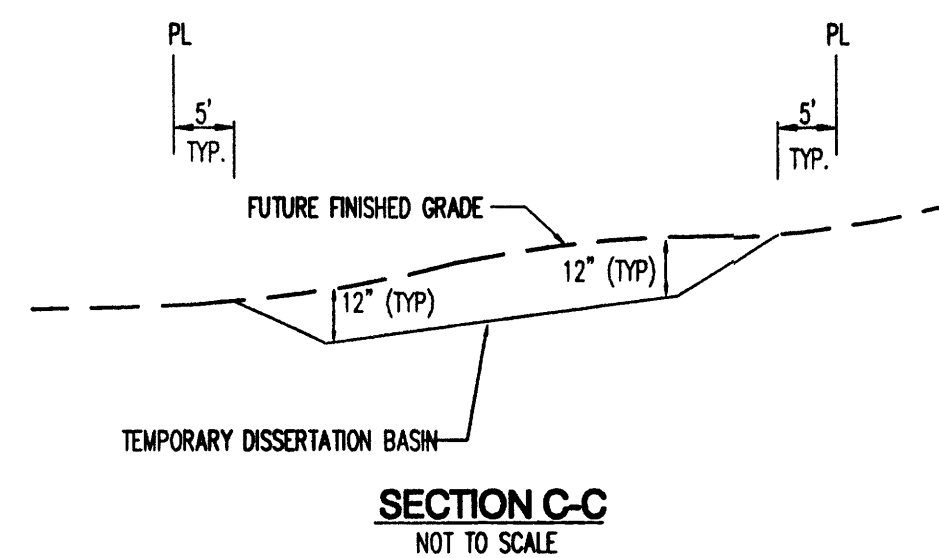
**TYPICAL LOT GRADE DETAIL  
WITH DESILINATION BASIN FOR SEDIMENTATION CONTROL**  
NOT TO SCALE

TO SET SPOT ② - ADD 0.84' TO SPOT ①  
 TO SET SPOT ③ - MULTIPLY D1 BY 1.0X AND ADD TO SPOT ②  
 TO SET SPOT ④ - MULTIPLY D2 BY 0.5X AND ADD TO SPOT ③  
 TO SET SPOT ⑤ - ADD 0.1' TO SPOT ④

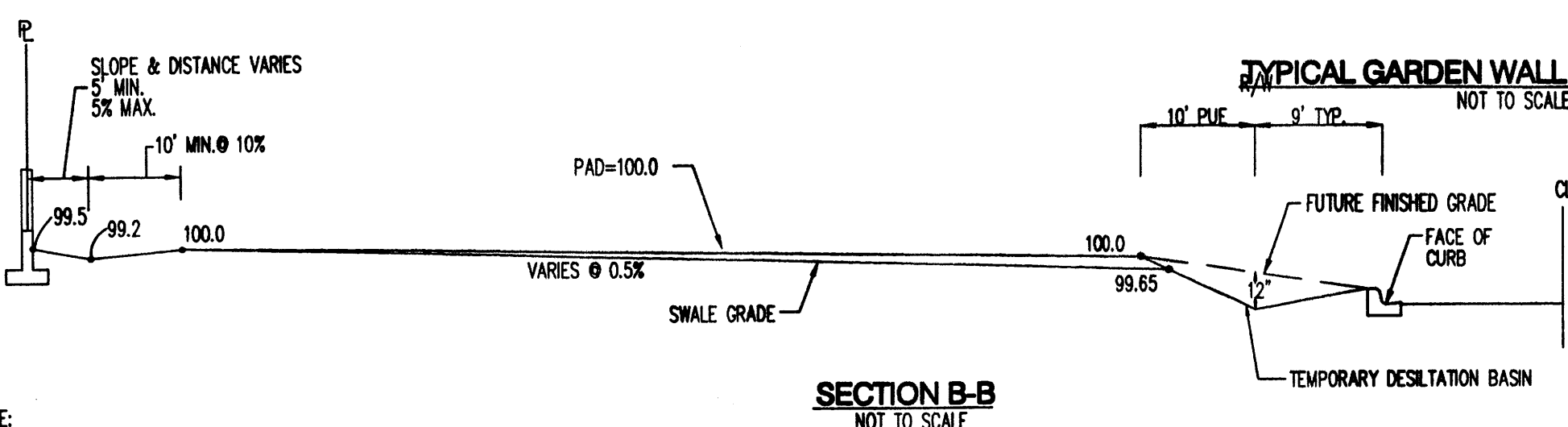
BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.  
 SEE GRADING PLANS FOR EXACT ELEVATIONS.  
 CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILINATION BASIN AT EACH LOT.



**SECTION A-A  
TYPICAL SIDE YARD SWALE**  
NOT TO SCALE

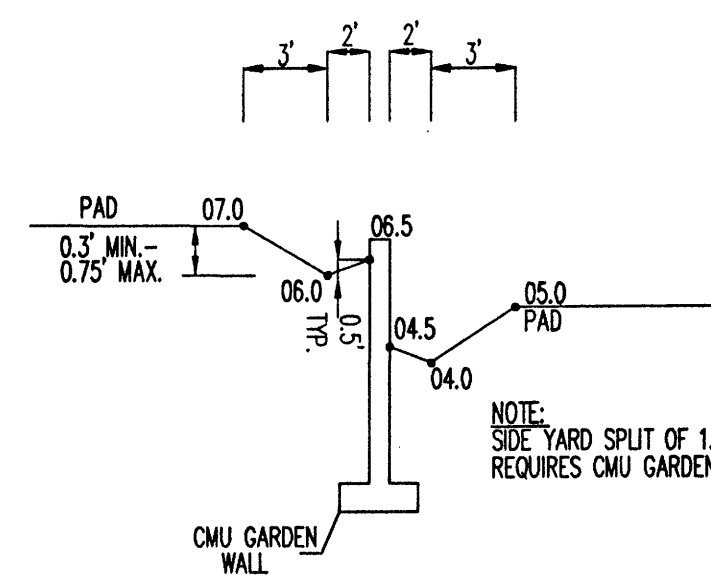


**SECTION C-C  
TYPICAL GARDEN WALL NOMENCLATURE**  
NOT TO SCALE

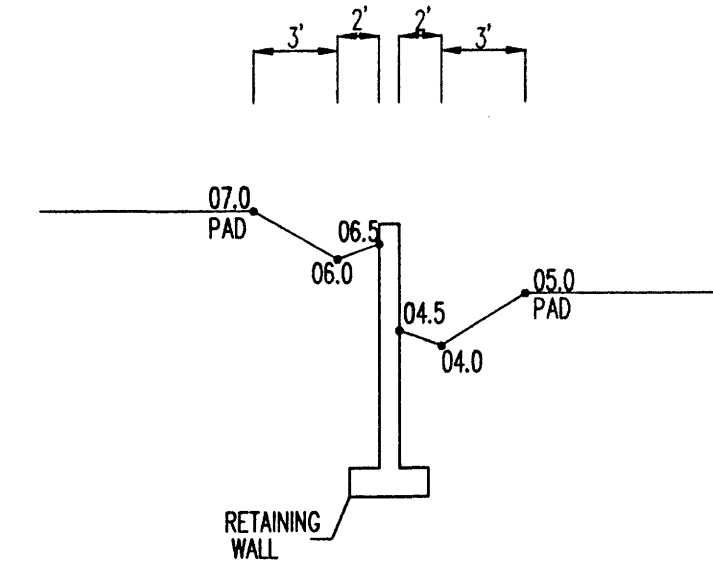


**SECTION B-B  
TYPICAL GARDEN WALL NOMENCLATURE**  
NOT TO SCALE

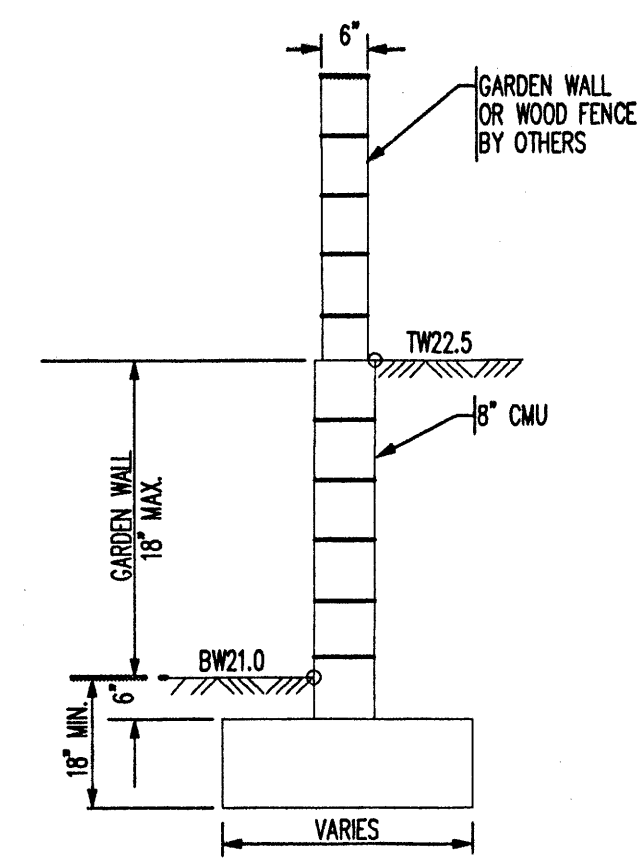
- NOTE:
- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
  - FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
  - HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.



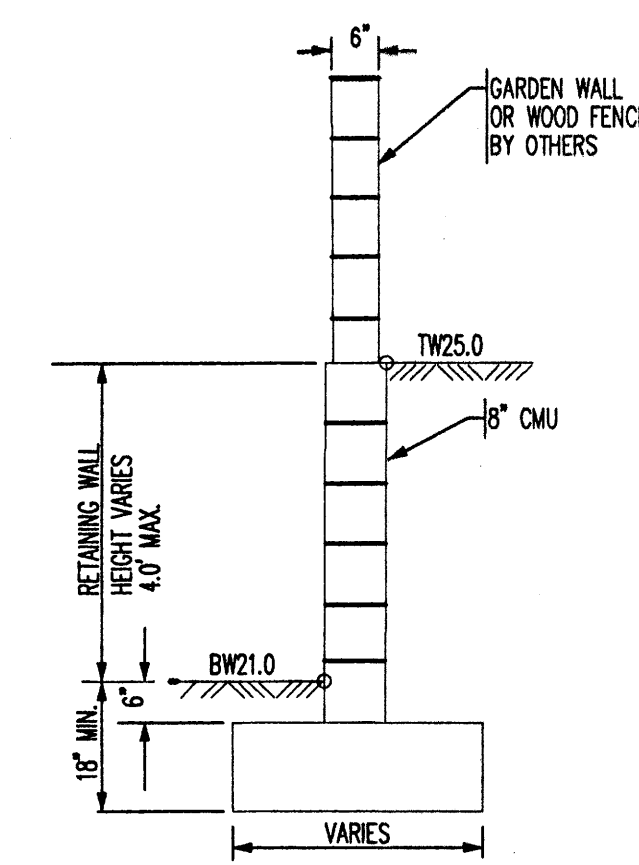
**SIDE YARD GARDEN WALL DETAIL**  
NOT TO SCALE



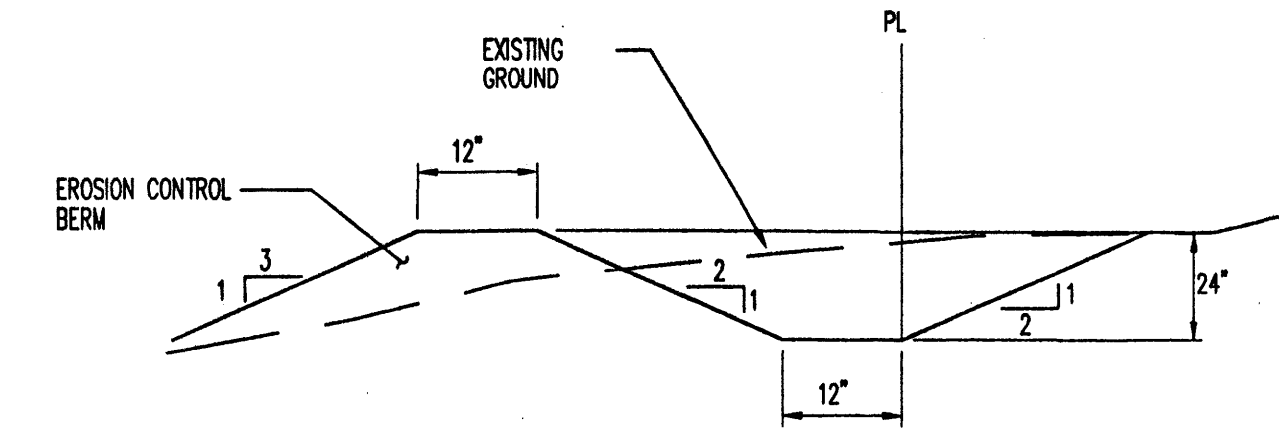
**SIDE YARD RETAINING WALL DETAIL**  
NOT TO SCALE



**TYPICAL GARDEN WALL NOMENCLATURE**  
NOT TO SCALE  
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



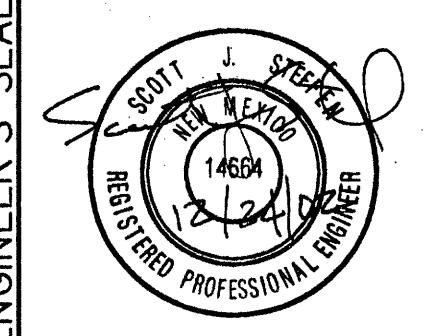
**TYPICAL RETAINING WALL NOMENCLATURE**  
NOT TO SCALE  
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



- EROSION CONTROL PLAN**  
NOT TO SCALE
- TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
  - WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
  - AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
  - CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

**EROSION CONTROL PLAN**  
NOT TO SCALE

AS-BUILT INFORMATION		CONTRACTOR	DATE
BENCH MARKS		INSPECTOR'S NAME	DATE
SURVEY INFORMATION		FIELD NO.	DATE
FIELD NOTES		NO.	DATE
ENGINEER'S SEAL		REMARKS	By
		REVISIONS	DATE: 12-20-02
		DESIGN	DATE: 12-20-02
		Checked By: SJS	DATE: 12-20-02



**Bohannon & Huston**  
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

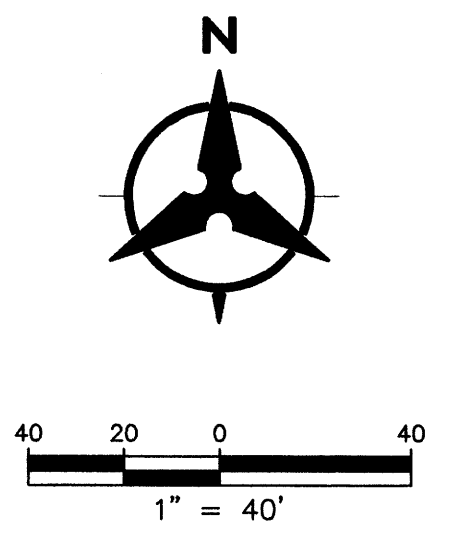
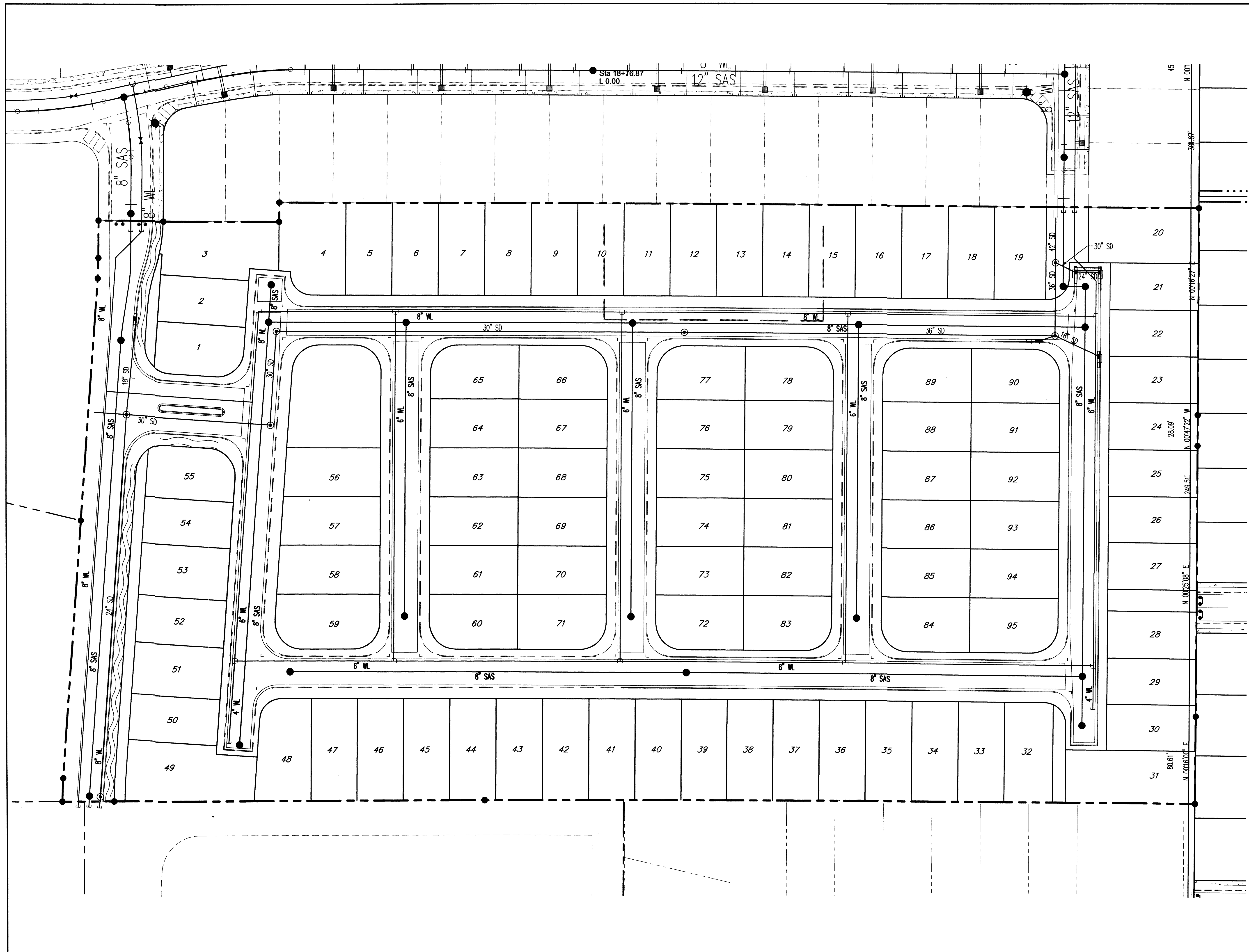
**VILLA DE VILLAGIO SUBDIVISION  
GRADING AND EROSION CONTROL PLAN  
GRADING DETAILS**

Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.

City Project No. **A-11-Z** Zone Map No. **A-11-Z** Sheet **2** Of **2**

ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE





VILLAGIO SUBDIVISION  
OVER ALL UTILITY  
PLAN

SHEET 5 OF 5

**Bohannon Huston**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

P:\030030\cdp\design\030030\_UTIL.dwg  
 December 11, 2002 - 09:36 AM  
 Layout1