

Exist. 0.0280 Ac. Public Roadway & Drainage Easement.  
 Filed: February 19, 2001  
 Bk. A15, Pg. 5454  
 Document No. 2001016932  
 Dedicated as public street right-of-way to the city of Albuquerque.  
 Filed: April 23, 2002  
 Bk. 2002C, Pg. 132  
 Document NO. 2002051752

Existing public water, sanitary sewer and access easement and private drainage easement.  
 Filed: January 29, 2001  
 (2001C-39)

Existing 10' Public Utility Easement.  
 Filed: Dec 19, 2001  
 (2001C-336)

Existing 10' Public Utility Easement.  
 Filed: December 19, 2001  
 (2001C-336)

SITE DATA:  
 LEGAL DESCRIPTION: TRACTS A-1 & C VILLAGE CENTER NORTH

SITE AREA: 2.6 AC.

PROPOSED LAND USE: 3-STORY BUILDING FOR STORAGE AND RETAIL USES AS PERMITTED IN THE SU-1 FOR MIXED USES FOR C-1, O-1 AND INDOOR STORAGE USES WHICH ALLOWS PERMISSIVE AND CONDITIONAL USES. STORAGE FACILITY TO PROHIBIT THE IMPROPER STORAGE OF HAZARDOUS, EXPLOSIVE OR ILLEGAL MATERIALS.

BUILDING AREA: 88,200 SF  
 CONSTRUCTION TYPE: IIB, FIRE SPRINKLER SYSTEM  
 FIRE FLOW TYPE: 6,250 GALLONS/MINUTE, 3 FIRE HYDRANTS PROVIDED

MAXIMUM BUILDING HEIGHT: 38 FEET.

PARKING REQUIREMENTS:  
 STORAGE BUILDING: PARKING HAS BEEN DETERMINED BY NEEDS OF THIS FACILITY. ONE EMPLOYEE AND NO PERMANENT OCCUPANTS CONSTITUTES THE NEED FOR ONLY 4 REGULAR SPACES.

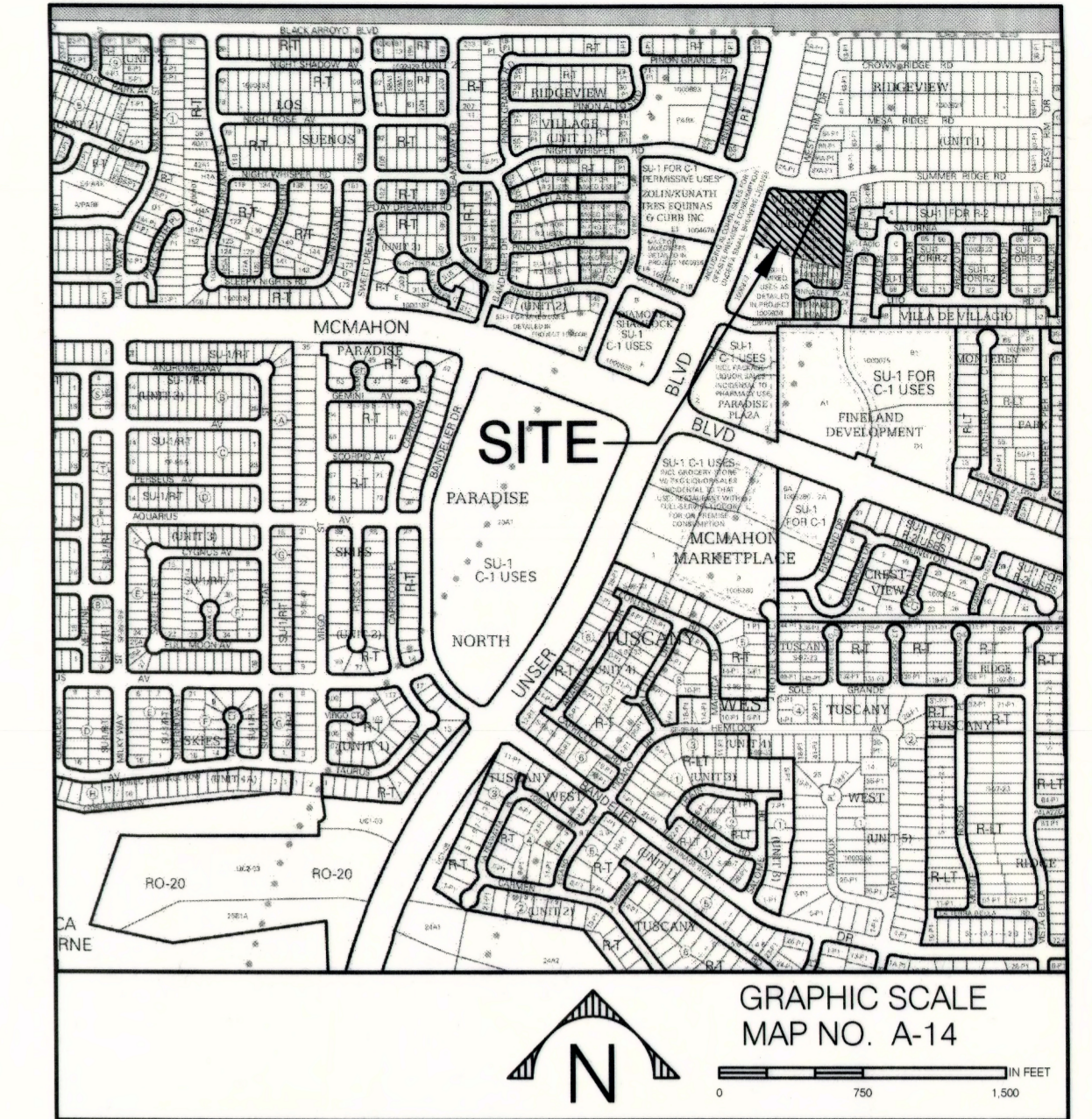
RETAIL: 1 SPACE PER 200 SQUARE FEET

TOTAL PARKING REQUIRED:	19
TOTAL PROVIDED PARKING:	19
HANDICAPPED REQUIRED:	1
HANDICAPPED PROVIDED:	1
MOTORCYCLE PARKING REQUIRED:	1
MOTORCYCLE PARKING PROVIDED:	1
BICYCLE REQUIRED:	1
BICYCLE PROVIDED:	4

TRANSIT: BUS ROUTE 155 (COORS). THE BUS STOPS ARE LOCATED DIRECTLY ACROSS UNSER BLVD AND APPROXIMATELY 200' TO THE NORTH FROM THE SITE.

- GENERAL NOTES:
- ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA REGULATIONS. PARKING LOT SITE LIGHTING SHALL BE A MAXIMUM 20 FEET AND COMPLY WITH THE UNSER/MCMAHON VILLAGE CENTER NORTH SITE PLAN FOR SUBDIVISION.
  - ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
  - RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
  - ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
  - PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
  - ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
  - CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).

VICINITY MAP



55'x4332" W  
 8297.72'  
 UNSER BOULEVARD  
 (156' R/W)

Summer Ridge Road  
 (60' R/W)

Pinnacle Peak Drive  
 (54' R/W)

TRACT B-1

TRACT A-1

TRACT C

TRACT D

1.4 Acres  
 29,400SF X 3  
 88,200SF

1.2 Acres

RETAIL  
 1,500SF

RETAIL  
 1,500SF

OFFICE  
 900SF

42' PORTE COCHERE

42' PORTE COCHERE

EXISTING 6' HT. CMU WALL

Existing Public Water, Sanitary Sewer, Storm Drain and Public Roadway Easement.  
 Filed: Dec. 19, 2001  
 Book 2001C, P.336

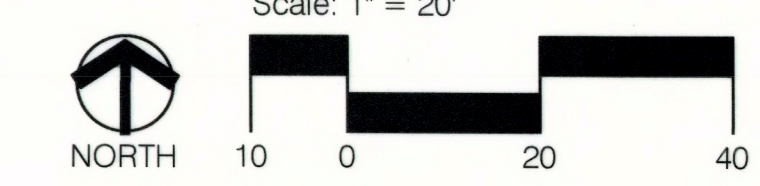
- KEY NOTES:
- PROPERTY BOUNDARY
  - EXISTING CURB AND GUTTER TO REMAIN
  - EXISTING ACCESSIBLE RAMP TO REMAIN
  - EXISTING 10' ASPHALT TRAIL TO REMAIN
  - EXISTING UTILITY ENCLOSURE
  - EXISTING UTILITY POLE
  - CONCRETE CURB AND GUTTER
  - CONCRETE DRIVE
  - CONCRETE SIDEWALK
  - STRIPED CROSSWALK
  - 8' HEIGHT WROUGHT IRON FENCE, COLOR: BLACK
  - REFUSE ENCLOSURE
  - SITE LIGHTING
  - BICYCLE RACK
  - MONUMENT SIGN
  - ELECTRIC GATE KEY PAD
  - "MOTORCYCLE PARKING ONLY" SIGN
  - "HANDICAP PARKING ONLY" SIGN WITH "VAN ACCESSIBLE" SIGN
  - FLUSH WITH SIDEWALK
  - CONCRETE PARKING BUMPER
  - ADA ACCESS AISLE. AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-2.1.B NMSA 1978)
  - EXISTING ON-STREET BIKE LANE
  - 3' HEIGHT TAN SPLIT FACE CMU SCREENING WALL WITH 4" STONE CAP
  - 6' LENGTH STEEL BENCH, COLOR: BLACK

# GUARDIAN STORAGE - Unser & McMahon

## SITE PLAN

Prepared For:  
 Guardian Storage  
 9221 Eagle Ranch Rd. NW  
 Albuquerque, NM 87114

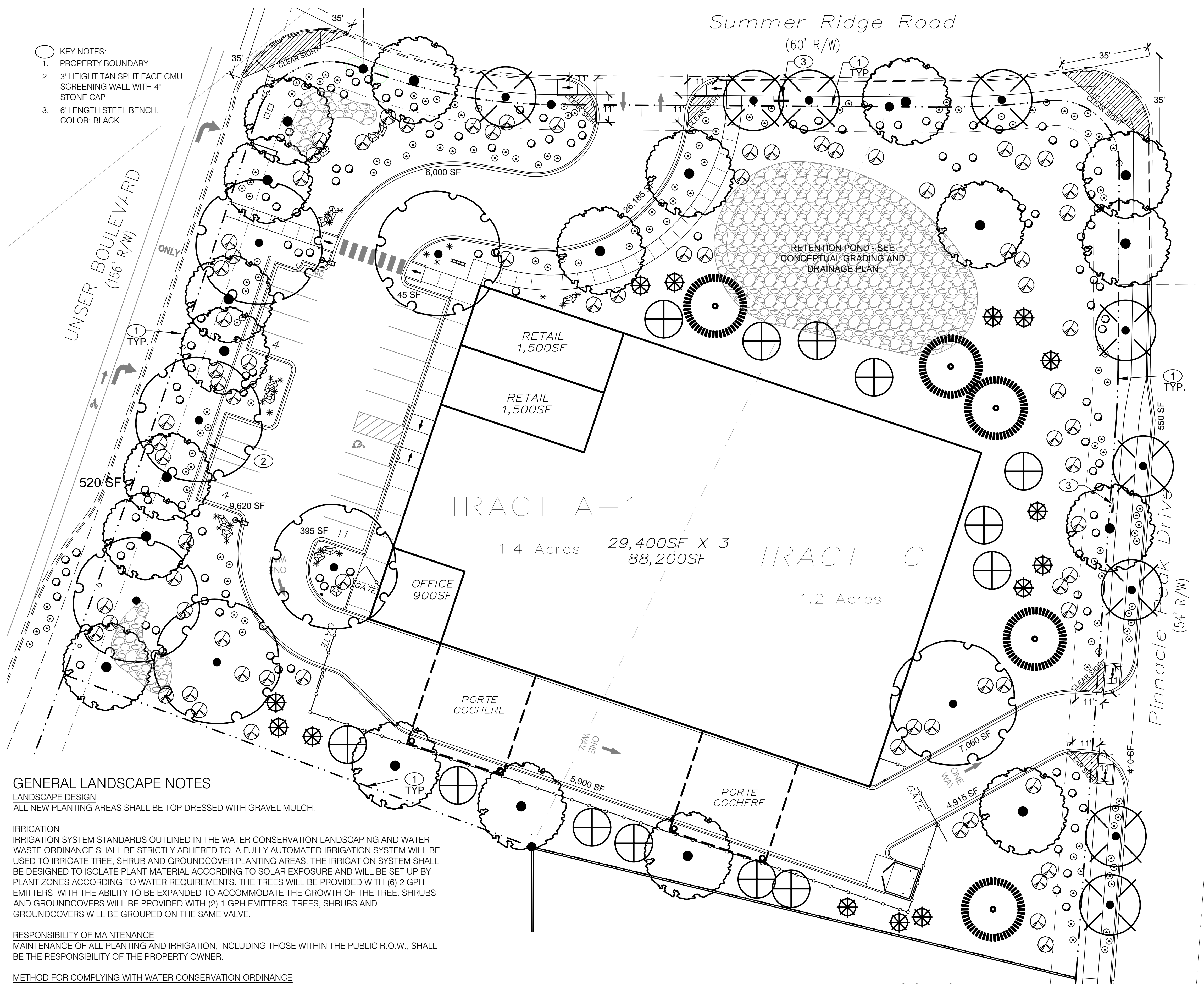
Prepared By:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102



Huitt-Zollars  
 333 Rio Rancho Blvd., Suite 101  
 Rio Rancho, NM 87124

May 19, 2016

SHEET 1 OF 6



- KEY NOTES:**
1. PROPERTY BOUNDARY
  2. 3' HEIGHT TAN SPLIT FACE CMU SCREENING WALL WITH 4" STONE CAP
  3. 6' LENGTH STEEL BENCH, COLOR: BLACK

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
ALL NEW PLANTING AREAS SHALL BE TOP DRESSED WITH GRAVEL MULCH.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**WATER HARVESTING**  
SEE GRADING AND DRAINAGE PLAN FOR STRATEGY TO CAPTURE THE FIRST .44" OF FIRST FLUSH RAINFALL.

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA (2.6 AC.):	113,256 SF
BUILDING AREA:	- 29,400 SF
NET AREA	83,856 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	12,578 SF
PROVIDED LANDSCAPE AREA	61,600 SF (73%)
LANDSCAPE LIVE VEGETATIVE COVERAGE	
LANDSCAPE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 75% OF THE REQUIRED LANDSCAPE AREA.	
REQUIRED LIVE VEGETATIVE COVERAGE AREA:	9,434 SF (75%)
PROVIDED LIVE VEGETATIVE COVERAGE AREA:	9,725 SF (77%)

**PARKING LOT TREES**  
19 PARKING SPACES ARE PROVIDED. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 2  
PARKING LOT TREES PROVIDED: 2

**STREET TREES**  
STREET TREES SHALL BE PROVIDED ALONG UNSER BOULEVARD AT 1 TREE PER 25' TO COMPLY WITH THE UNSER/MCMAHON VILLAGE CENTER NORTH SITE PLAN FOR SUBDIVISION. UNSER BOULEVARD FRONTAGE IS 235'.  
STREET TREES REQUIRED: 10 TREES  
STREET TREES PROVIDED: 10 TREES

SUMMER RIDGE ROAD AND PINNACLE PEAK DRIVE ARE LOCAL ROADS AND DO NOT REQUIRE STREET TREES

NOTE: THE STREET TREES ALONG UNSER BOULEVARD HAVE BEEN ADJUSTED TO RESPOND TO THE EXISTING POWER LINES AND PNM COMMENTS.

**PLANT LEGEND**

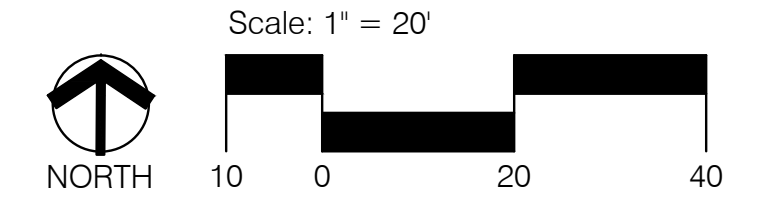
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
<b>TREES</b>					
9	(Symbol)	ACER TARTARICUM 'HOT WINGS' HOT WINGS MAPLE	2" B&B.	10' HT. X 4' SPR. 20' HT. X 24' SPR.	MED
19	(Symbol)	FRAXINUS PENNSYLVANICA 'URBANITE' URBANITE ASH	2.5" B&B	10' HT. X 6' SPR. 35' HT. X 35' SPR.	LOW
7	(Symbol)	GLEDITSIA TRIANCANTHOS HONEY LOCUST	2" B&B.	10' HT. X 6' SPR. 60' HT. X 50' SPR.	MED
15	(Symbol)	JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET ROCKY MTN. JUNIPER	B&B.	10' MIN HT. 20' HT. X 5' SPR.	MED
13	(Symbol)	QUERCUS ROBUR X Q. ALBA 'CRIMSCHMIDT' CRIMSON SPIRE OAK	2" B&B.	10' HT. X 4' SPR. 45' HT. X 15' SPR.	MED
5	(Symbol)	PINUS NIGRA AUSTRIAN PINE	B&B.	6' MIN HT. 35' HT. X 25' SPR.	MED
<b>LARGE SHRUBS</b>					
	(Symbol)	BACCHARIS SAROTHROIDES DESERT BROOM	5-GAL.	6" O.C. 6' HT. X 6' SPR.	LOW
	(Symbol)	ELAEAGNUS PUNGENS SILVERBERRY	5-GAL.	8" O.C. 6' HT. X 10' SPR.	MED.
	(Symbol)	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5-GAL.	6" O.C. 4' HT. X 5' SPR.	LOW
	(Symbol)	SYRINGA SPP. LILAC	5-GAL.	6" O.C. 6' HT. X 5' SPR.	MED
<b>MEDIUM SHRUBS</b>					
	(Symbol)	LAVANDULA ANGUSTIFOLIA ENGLISH LAVENDER	1-GAL.	3" O.C. 3' HT. X 3' SPR.	MED
	(Symbol)	CALAMAGROSTIS A. 'KARL FOERSTER' KARL FOERSTER REED GRASS	1-GAL.	2" O.C. 4' HT. X 2' SPR.	MED
	(Symbol)	MULHENBERGIA CAPILLARIS REGAL MIST	1-GAL.	3" O.C. 3' HT. X 3' SPR.	MED
	(Symbol)	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3" O.C. 3' HT. X 3' SPR.	LOW+
	(Symbol)	RHAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5" O.C. 3' HT. X 3' SPR.	MED
<b>SMALL SHRUBS &amp; GROUNDCOVERS</b>					
	(Symbol)	VINCA MAJOR GIANT PERIWINKLE	1-GAL.	4" O.C. 2' HT. X 4' SPR.	MED
	(Symbol)	NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA	1-GAL.	2" O.C. 2' HT. X 2' SPR.	MED
	(Symbol)	RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC	1-GAL.	4" O.C. 2' HT. X 4' SPR.	LOW+
	(Symbol)	ZAUSCHNERIA CALIFORNICA HUMMINGBIRD PLANT	1-GAL.	3" O.C. 2' HT. X 3' SPR.	LOW
<b>DESERT ACCENTS</b>					
	(Symbol)	DASYLIRION WHEELERI SOTOL	5-GAL.	4" O.C. 4' HT. X 4' SPR.	LOW
<b>BOULDERS, MULCHES, AND TURF</b>					
	(Symbol)	MOSS ROCK BOULDERS (3X3' MIN)			
	(Symbol)	3/8" - 1 1/4" GRAVEL MULCH, COLOR: AMARETTO BROWN OR EQUIVALENT (3" DEPTH OVER WEED CONTROL FABRIC)			
	(Symbol)	1"-4" COBBLE STONE, COLOR: BLUE SAIS OR EQUIVALENT (6" DEPTH OVER WEED CONTROL FABRIC)			

# GUARDIAN STORAGE - Unser & McMahon

## LANDSCAPE PLAN

Prepared For:  
Guardian Storage  
9221 Eagle Ranch Rd. NW  
Albuquerque, NM 87114

Prepared By:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102



March 21, 2016

SHEET 2 OF 6

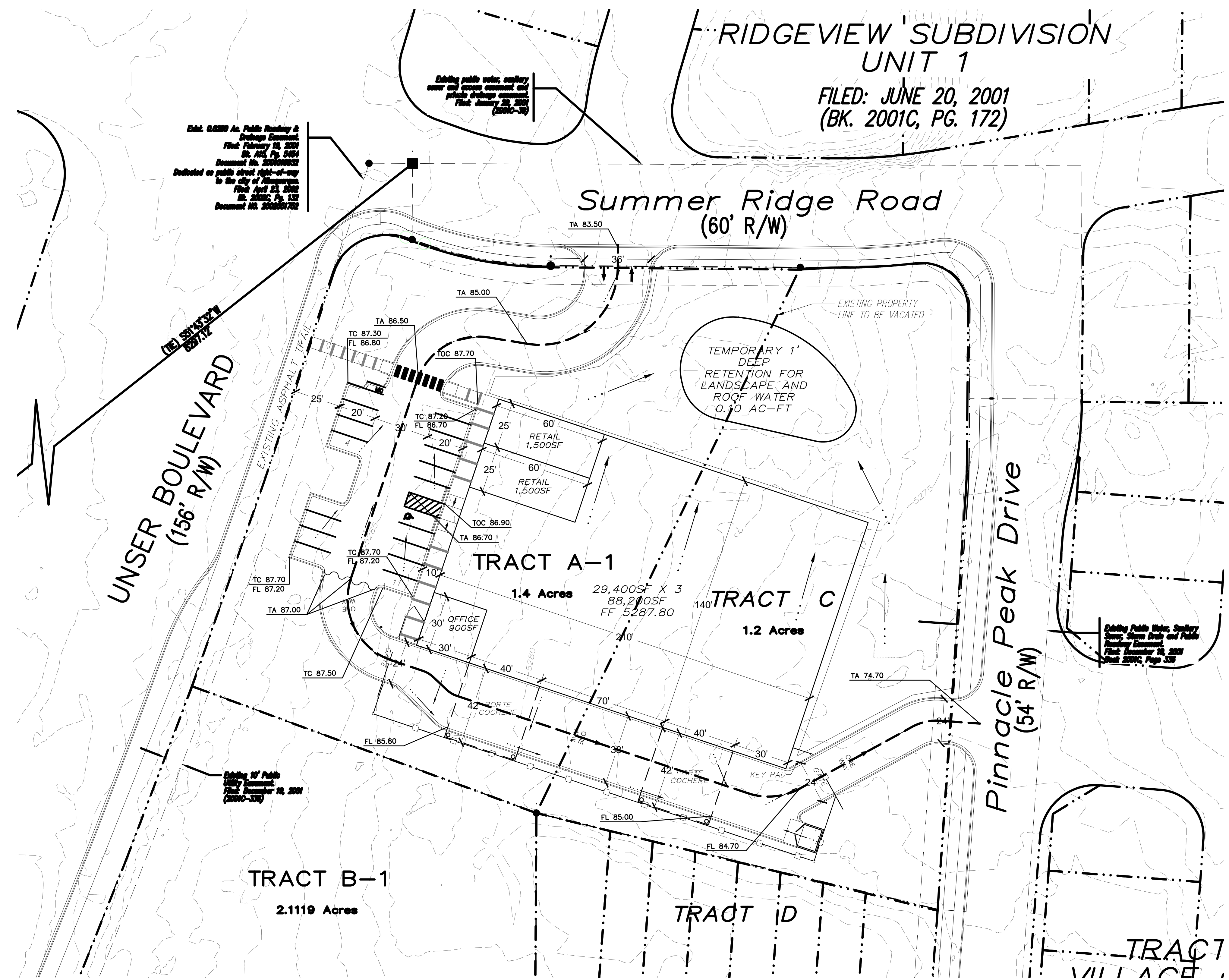
# RIDGEVIEW SUBDIVISION UNIT 1

FILED: JUNE 20, 2001  
(BK. 2001C, PG. 172)

Summer Ridge Road  
(60' R/W)

UNSER BOULEVARD  
(156' R/W)

Pinnacle Peak Drive  
(54' R/W)



Edict 04880 An. Public Roadway & Drainage Easement.  
Filed February 18, 2001  
Bk. 2001C, Pg. 1684  
Document No. 200109632  
Dedicated as public street right-of-way  
to the City of Albuquerque.  
Filed April 23, 2001  
Bk. 2001C, Pg. 132  
Document No. 200107702

Edicting Public Water, Sanitary  
sewer and storm easement  
public drainage easement.  
Filed January 21, 2001  
(2001-3)

Edicting Public Water, Sanitary  
sewer, storm, utility and Public  
Drainage Easement.  
Filed June 20, 2001, Page 121

Edicting of Public  
Drainage Easement.  
Filed December 16, 2001  
(2001-3)

SITE DATA:  
LEGAL DESCRIPTION: TRACTS A-1 & C VILLAGE CENTER NORTH

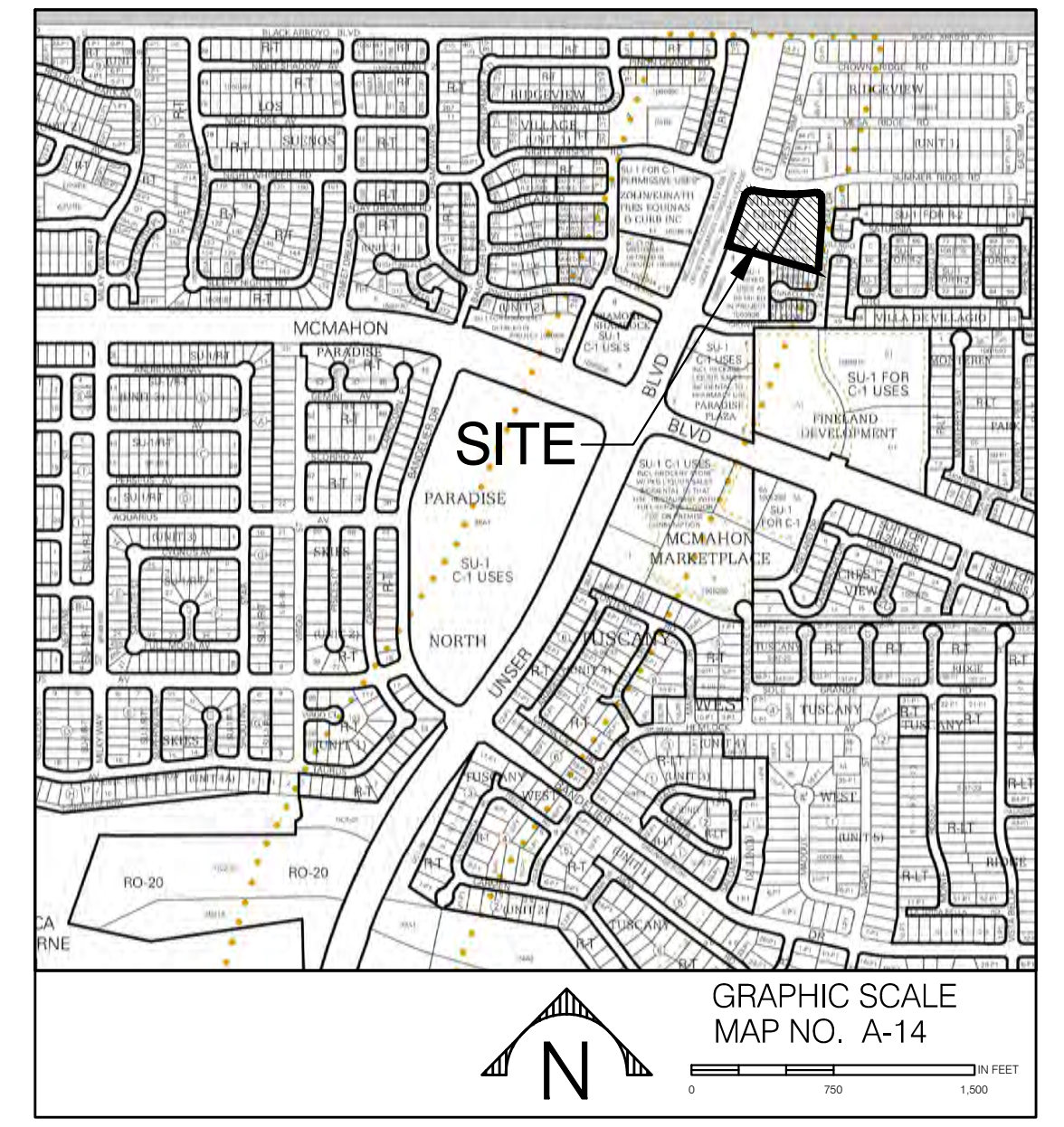
SITE AREA: 2.6 AC.

PROPOSED LAND USE: 3-STORY BUILDING FOR STORAGE AND RETAIL USES AS PERMITTED IN THE SU-1 FOR C-1 USES WHICH ALLOWS PERMISSIVE AND CONDITIONAL USES. STORAGE FACILITY TO PROHIBIT THE IMPROPER STORAGE OF HAZARDOUS, EXPLOSIVE OR ILLEGAL MATERIALS.

EXISTING CONDITIONS: THE 2.6 ACRE SITE CURRENTLY HAS NATIVE GRASSES AND SHRUBS ACROSS THE ENTIRE PROPERTY. STORM WATER SHEET FLOWS ACROSS THE SITE FROM WEST TO EAST AND ONTO SUMMER RIDGE AND PINNACLE PEAK. THE SITE CURRENTLY PRODUCES 3.30 CFS.

PROPOSED CONDITIONS: THE CURRENT SITE IS GOVERNED BY THE MASTER DRAINAGE STUDY FOR UNSER/MCMAHON AREA. THE REPORT ALLOWS FREE DISCHARGE FROM THE SITE WITH AN IMPERVIOUS AREA OF 90% D'. THE PROPOSED SITE PLAN WILL HAVE AN IMPERVIOUS AREA OF 50% D' OR 1.3 ACRES WITH AN ALLOWABLE DISCHARGE OF 8.31 CFS AND A TOTAL VOLUME OF 0.28 AC-FT. STORM WATER FROM THE BUILDING WILL BE CAPTURED WITHIN A DEPRESSED AREA IN THE NORTHEAST CORNER OF THE SITE. THE DEPRESSION WILL BE 1' DEEP WITH AN RETENTION CAPACITY OF 0.10 AC-FT. PARKING AREAS AND DRIVE ISLES WILL SHEET FLOW FROM THE SITE AND ONTO SUMMER RIDGE AND PINNACLE PEAK RESPECTIVELY.

## VICINITY MAP



## GENERAL LEGEND

- EXISTING CONTOUR ——— 5040
- PROPOSED SPOT ELEVATION ——— 36.3
- ADD 5200 TO SPOT ELEVATIONS
- TOP OF ASPHALT TA
- TOP BACK OF CURB TC
- FLOWLINE ELEVATION FL
- TOP OF SIDEWALK TOC

### S.O. 19 REQUIREMENTS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK IN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE SAME TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

### ENGINEER'S CERTIFICATION

I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

### FLOOD ZONE

PER THE FEMA MAP NUMBER 35001C0104H DATED AUGUST 16, 2012 THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE AREA.

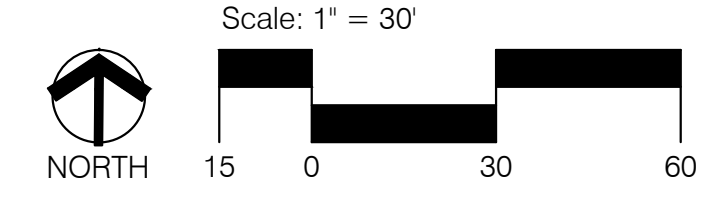
APPROVALS	NAME	DATE
A.C.E. DESIGN		
INSPECTOR		
A.C.E. FIELD		

# GUARDIAN STORAGE Unser & McMahon

## CONCEPTUAL GRADING AND DRAINAGE PLAN

Prepared For:  
Guardian Storage  
9221 Eagle Ranch Rd. NW  
Albuquerque, NM 87114

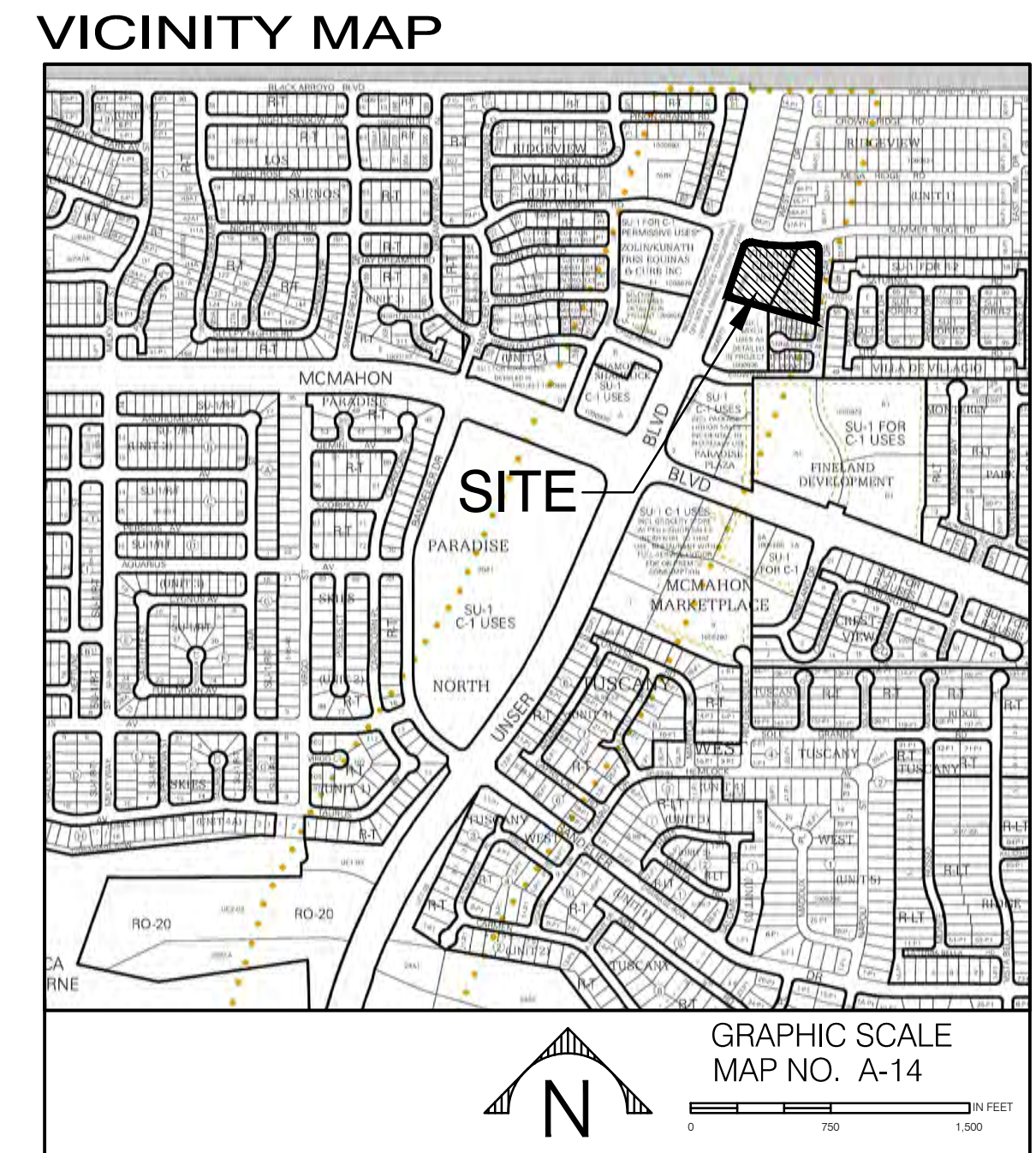
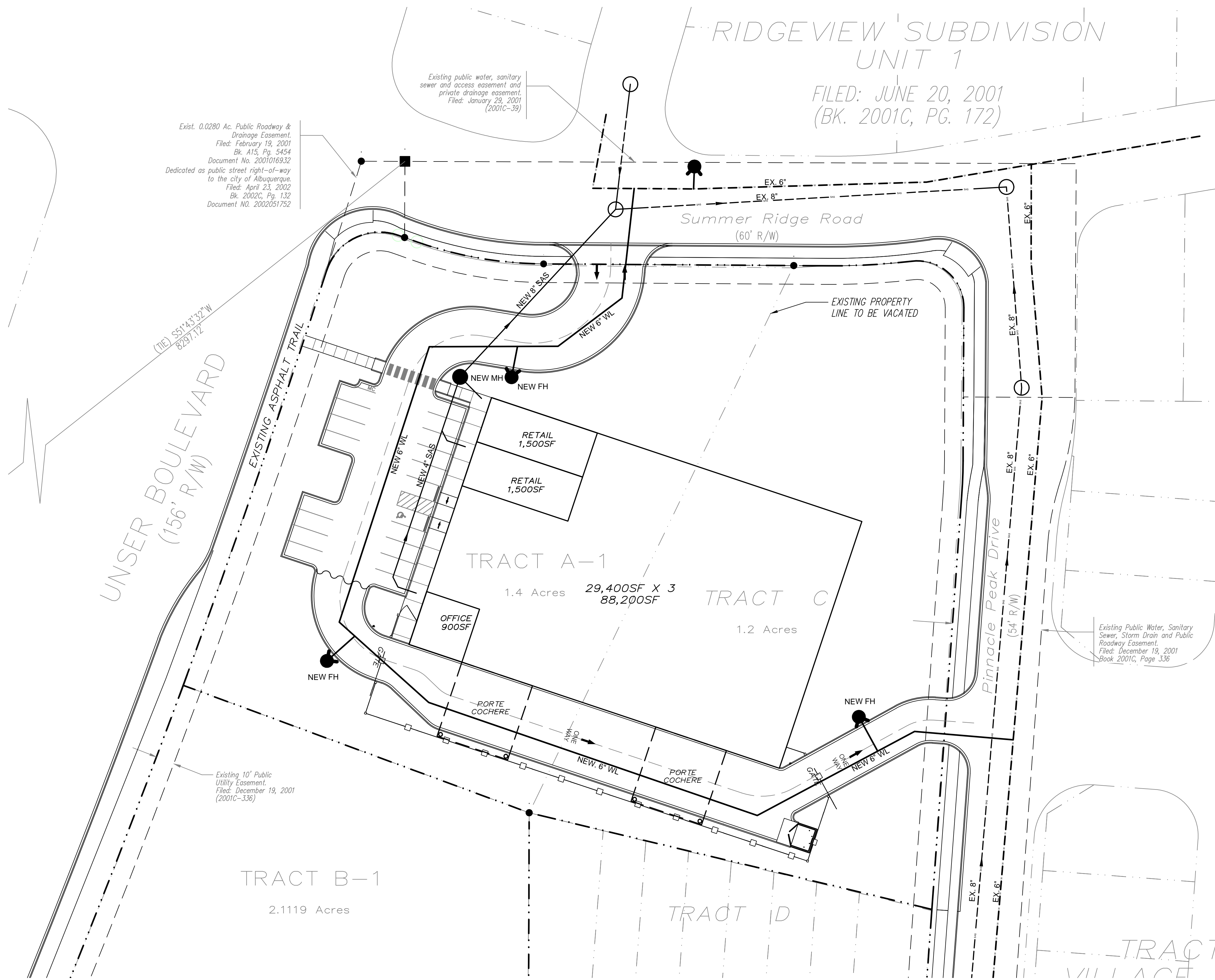
Prepared By:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102



January 28, 2016

Designed By:  
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Rio Rancho  
333 Rio Rancho Drive NE, Suite 101  
Rio Rancho, New Mexico 87124  
Phone (505) 892-5141 Fax (505) 892-3259

Huitt-Zollars  
333 Rio Rancho Blvd., Suite 101  
Rio Rancho, NM 87124



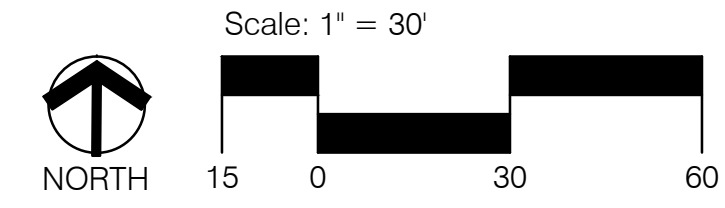
# GUARDIAN STORAGE Unser & McMahon

## CONCEPTUAL UTILITY PLAN

Prepared For:  
Guardian Storage  
9221 Eagle Ranch Rd. NW  
Albuquerque, NM 87114

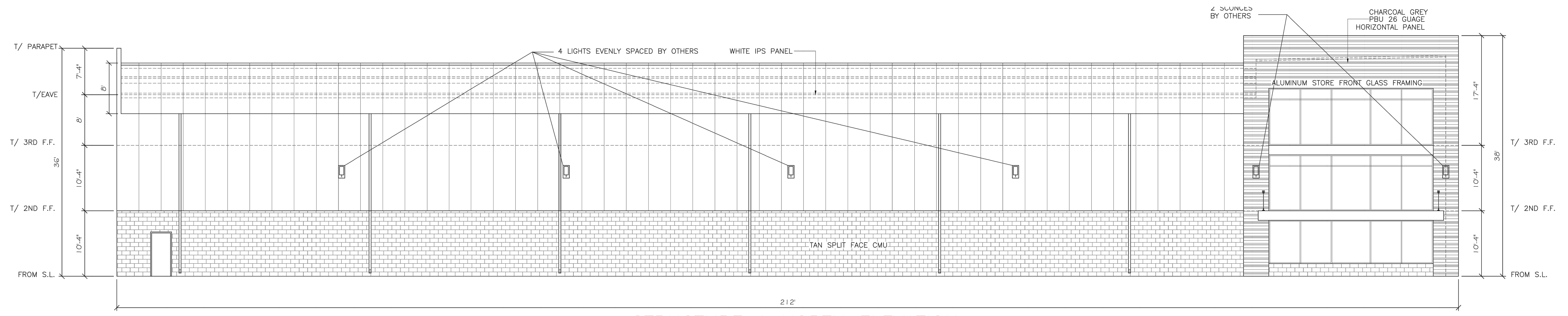
Prepared By:  
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Designed By:  
**HUITT-ZOLLARS**  
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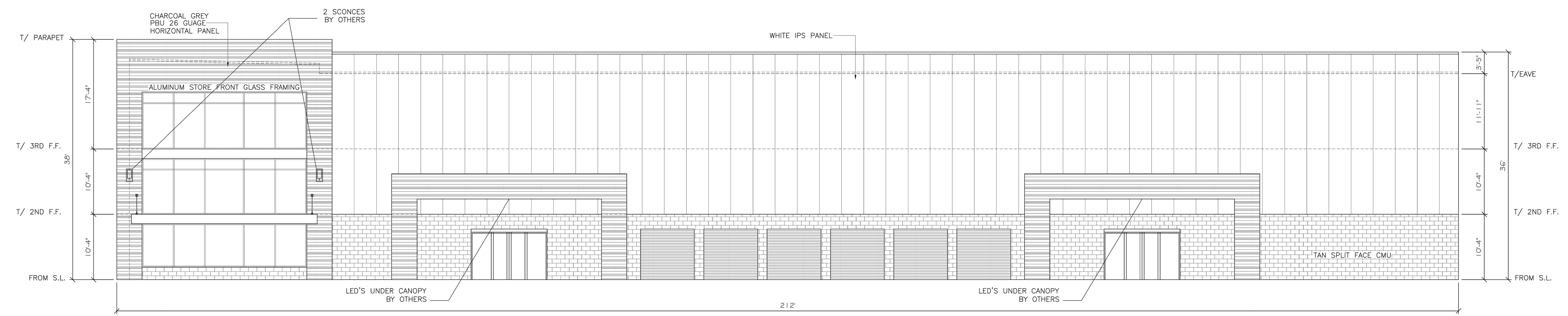


January 28, 2016

Sheet 4 of 6



STRUCTURE A NORTH ELEVATION  
SCALE: 1/8" = 1'

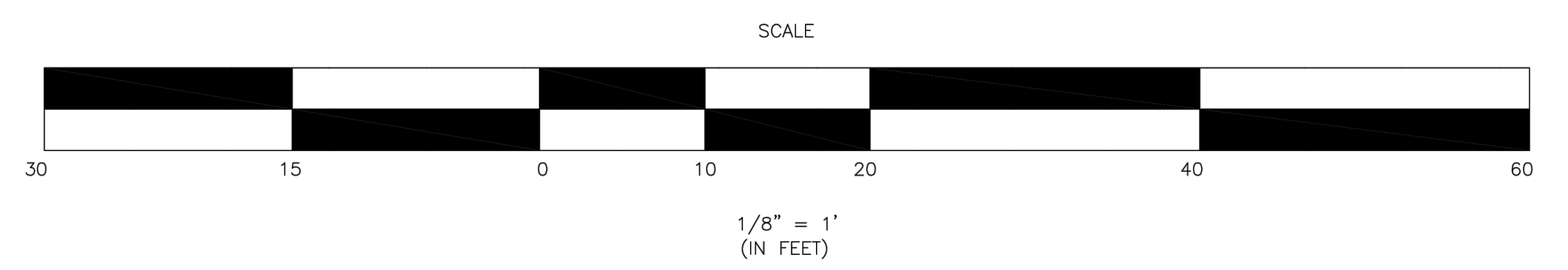


STRUCTURE A SOUTH ELEVATION  
SCALE: 1/8" = 1'

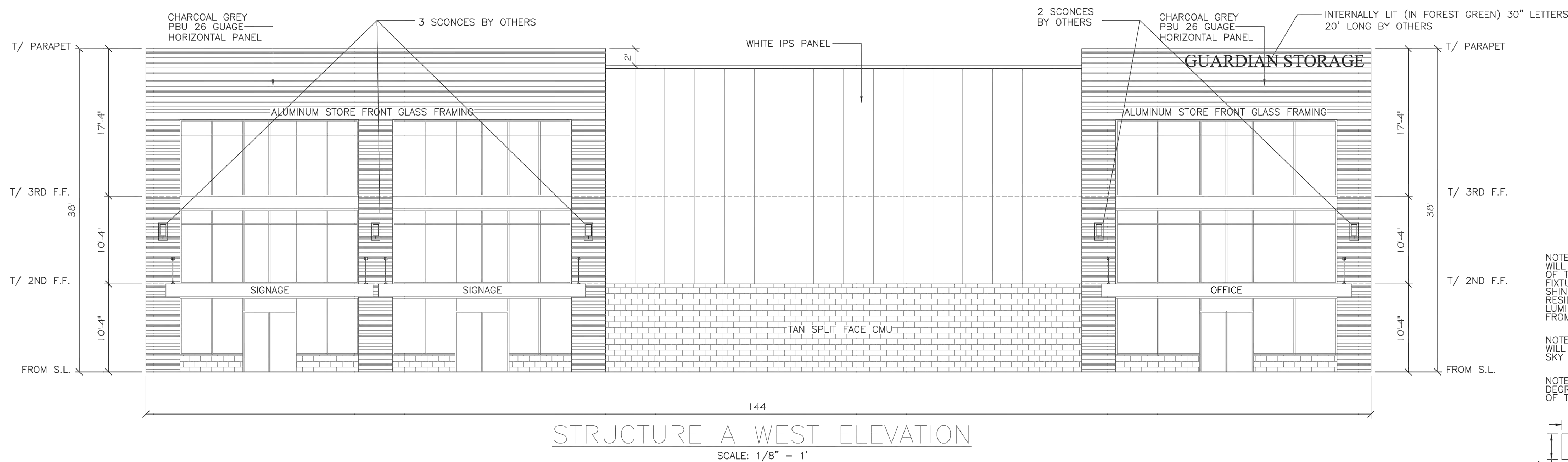
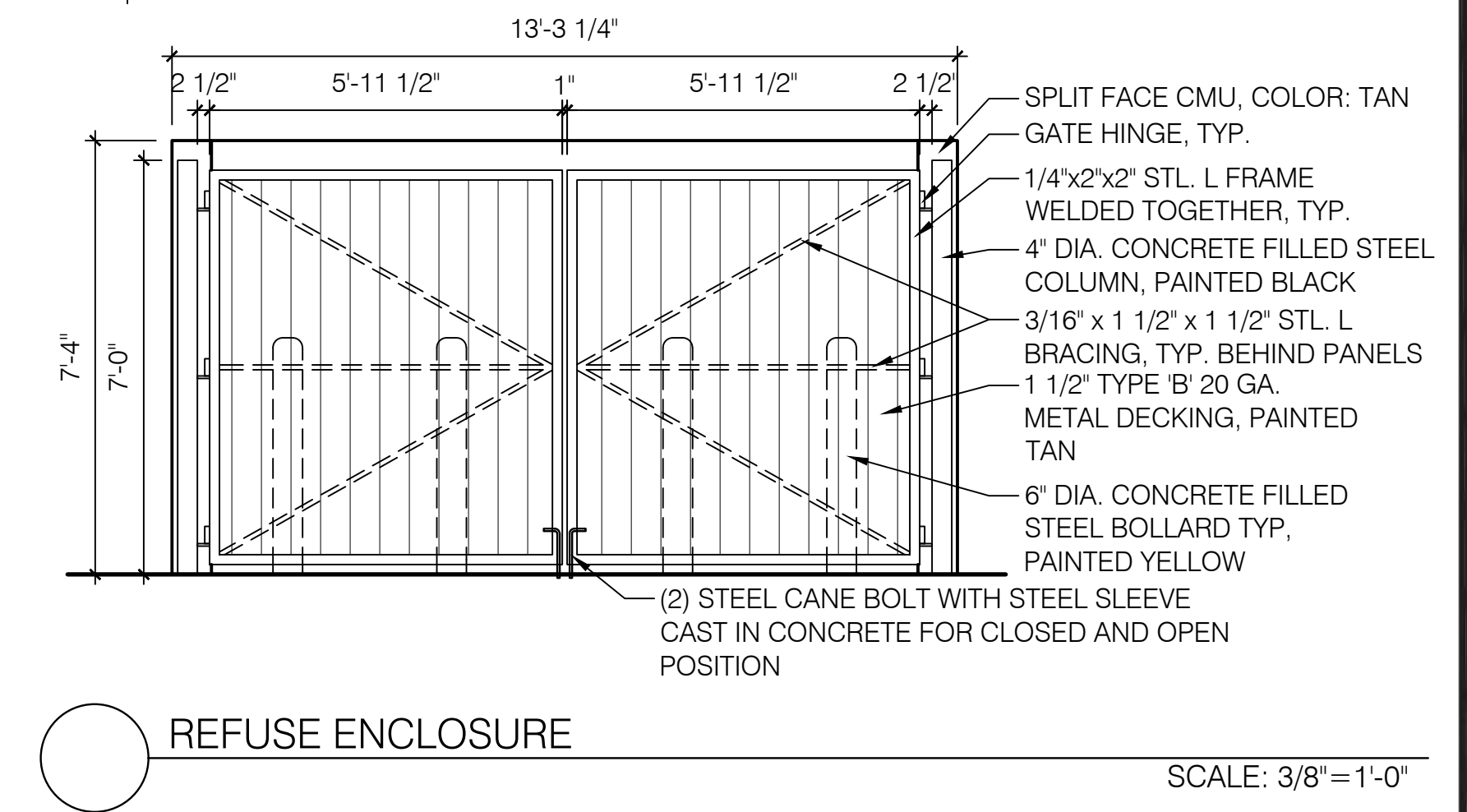
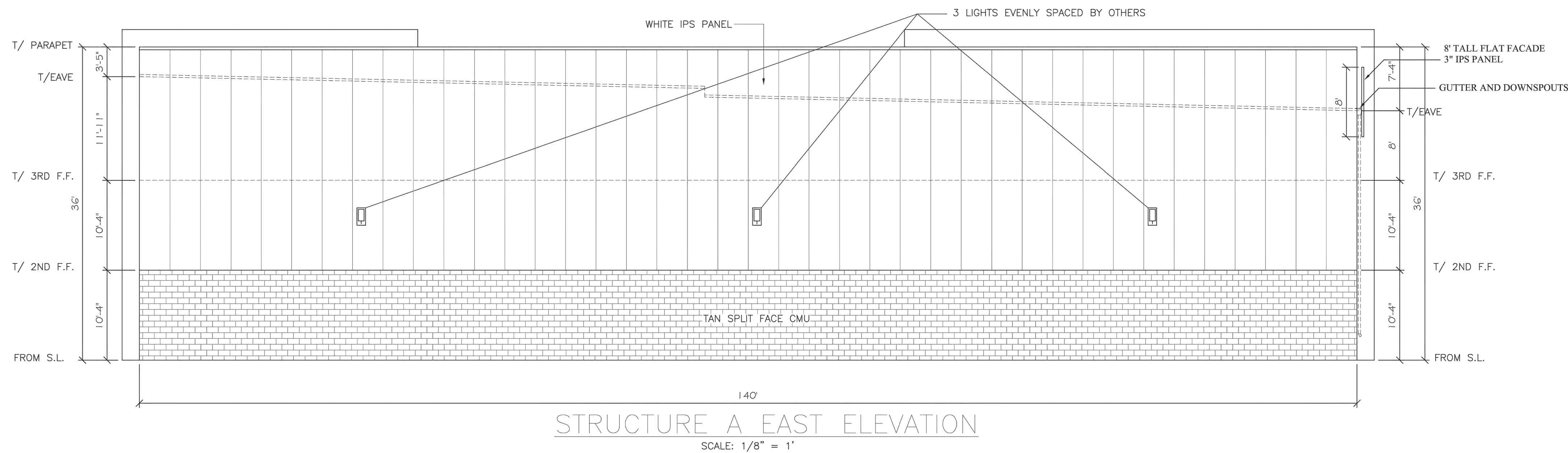
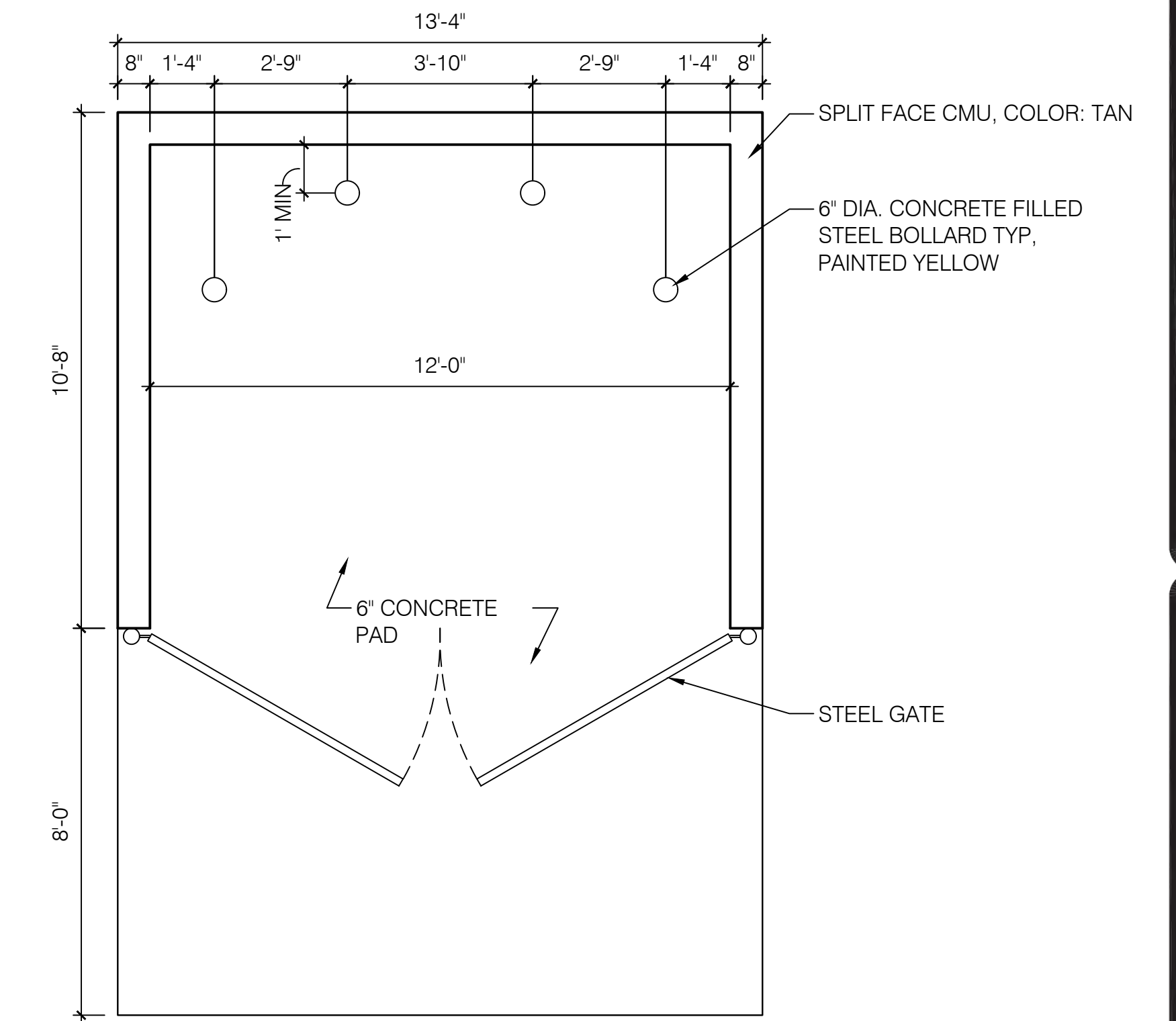
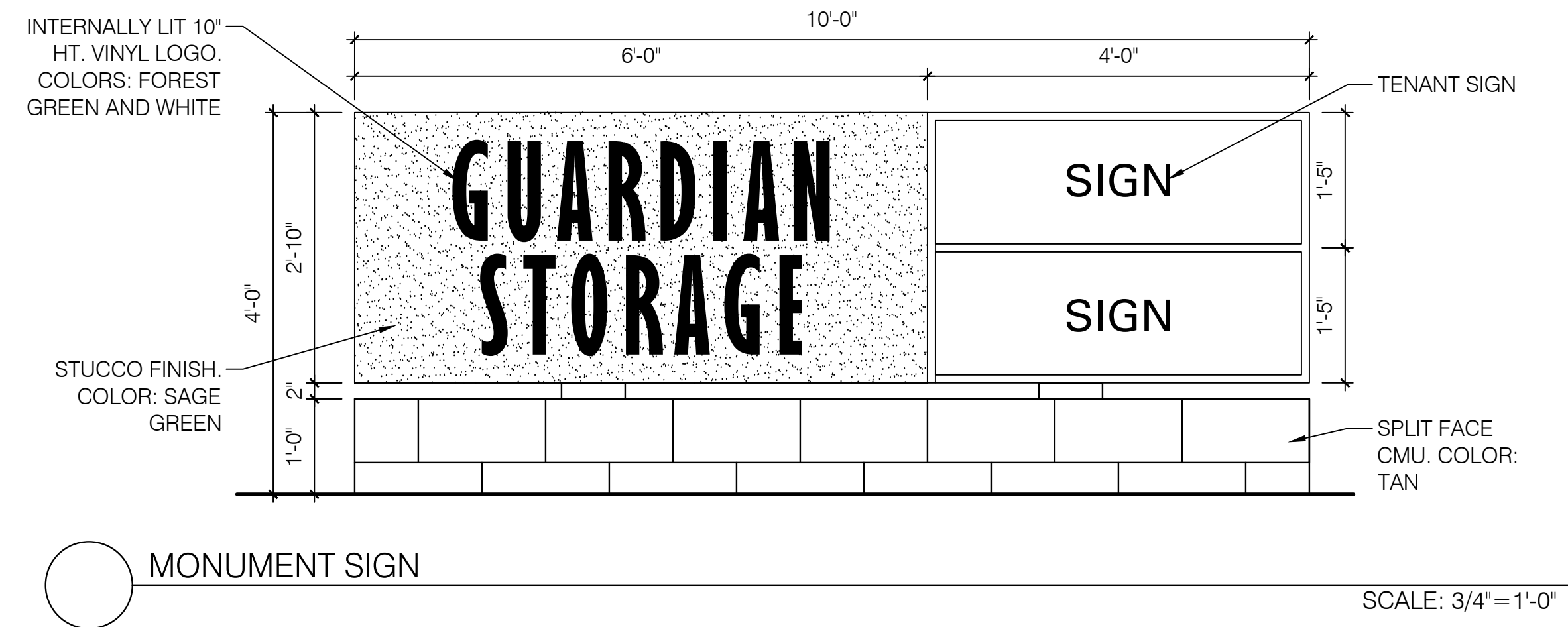
NOTE: THE LIGHTING PLAN FOR THE SUBJECT SITE WILL CONFORM TO THE AREA LIGHTING REGULATIONS OF THE ZONING CODE (14-16-3-9) AND THAT LIGHTING FIXTURES MUST INCLUDE A CUT-OFF ANGLE, NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ANY OTHER RESIDENTIAL PREMISES AND SHALL NOT HAVE AN OFF SITE LUMINANCE GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

NOTE: THE LIGHTING PLAN FOR THE SUBJECT SITE WILL CONFORM TO THE STATE OF NEW MEXICO NIGHT SKY PROTECTION ACT (74-12-1 TO 74-12-10 NMSA).

NOTE: THE PROPOSED BUILDING WILL CONFORM TO THE 45 DEGREE ANGLE PLANE DESIGN PARAMETER REQUIREMENTS OF THE UNSER/MCAHON VILLAGE CENTER NORTH SITE DEVELOPMENT PLAN.



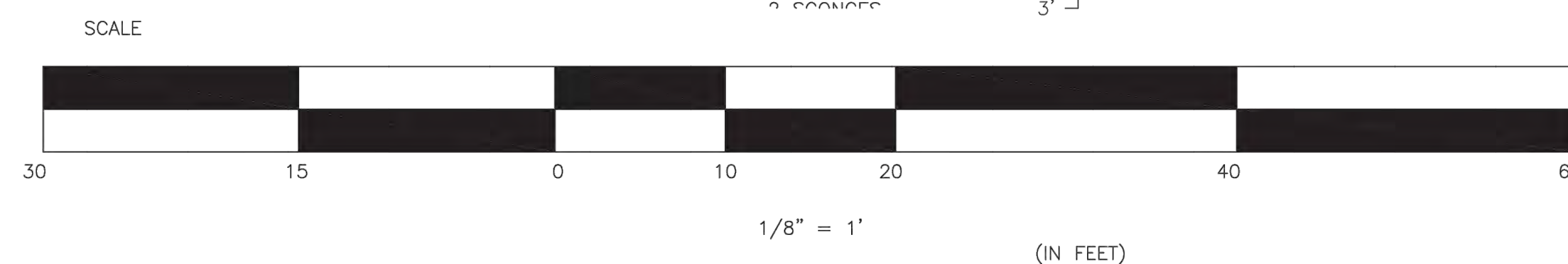
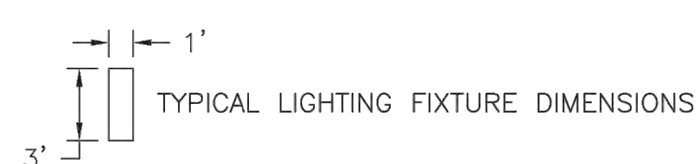
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DATE	03-29-16
DRAWN BY:	DJM
GUARDIAN S.S. ALBUQUERQUE, NM.	
JOB #:	B4493PH1
ELV-2	