



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002176

AGENDA ITEM NO: 1

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT:0 APP:0 SIGN-OFF:0 EXTN:(x) AMEND:0

P.O. Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

Albuquerque

New Mexico 87103

RESOLUTION: *q-mo.*

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

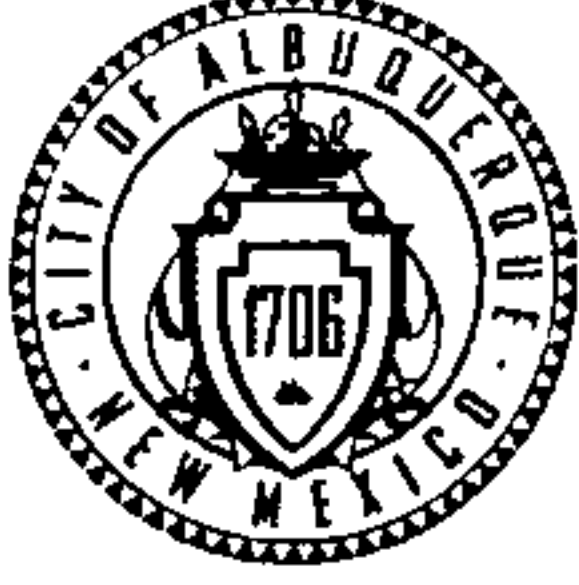
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: January 2, 2008



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 2, 2008

1. **Project# 1002176**
07DRB-70423 MAJOR - 2YR SUBD IMP AGMT (2YR SIA)

MOUNTAIN WEST DEVELOPMENT CO. LLC request(s) the above action(s) for all or a portion of **COVERED WAGON**, zoned SU-1/RESIDENTIAL, located on the south side of CENTRAL AVE SE BETWEEN FOUR HILLS RD SE AND WATERFALL SE containing approximately 5.55 acre(s).

At the January 2, 2008 Development Review Board meeting, the 9 month extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by January 17, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, Acting DRB Chair

Cc: Mountain West Development Co. LLC – P.O. Box 66449 – Albuquerque, NM 87193

Cc: Marilyn Maldonado

Cc: Melvin & Christy Baron – 438 Poinsettia SE – Albuquerque, NM 87123

File

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1002176 AGENDA# 1 DATE: 1/2/08

1. Name: CHRISTY BARON Address: 438 Poinsettia SE Zip: 87123
2. Name: ~~CHRISTINA RHODENICH~~ Address: ~~7600 Jefferson NE, Ste 27~~ Zip: ~~87109~~
~~4350 NW 87109~~
3. Name: Melvin Baron Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

January 2, 2008

Project# 1002176
 07DRB-70423 MAJOR - 2YR SUBD IMP AGMT EXT (2YR SIA)

MOUNTAIN WEST DEVELOPMENT CO. LLC request(s) the above action(s) for all or a portion of **COVERED WAGON**, zoned SU-1/RESIDENTIAL, located on the south side of CENTRAL AVE SE BETWEEN FOUR HILLS RD SE AND WATERFALL SE containing approximately 5.55 acre(s).

AMAFCA

No Comments

COG

MPO Project ID # 560.1 "Paseo del Norte Corridor Study" is a MRCOG-sponsored study included as an outer-year (ie beyond 2013) project.

For information, Paseo del Norte is a limited-access principal arterial facility, with full access provided at San Pedro Bd and Louisiana Bd. Any additional access would require consent of both NMDOT as owner of the facility and the TCC.

TRANSIT

No Comments

ZONING ENFORCEMENT

No Comments

NEIGHBORHOOD COORDINATION

No Comments Received

APS

Covered Wagon will consist of 53 single-family homes. The proposed development will impact Apache Elementary, Van Buren Middle School, and Highland High School. Apache Elementary School will be nearing capacity, Van Buren Middle School and Highland High School will be able to absorb students from the proposed development.

Loc No	School	2007-08 40th Day	2007-08 Capacity	Space Available
214	Apache	406	426	20
460	Van Buren	579	882	303
520	Highland	1,803	2,100	297

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables

- Use of non-classroom spaces for temporary classrooms
- Lease facilities
- Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval

POLICE DEPARTMENT

No Comments

FIRE DEPARTMENT

No Comments

PNM ELECTRIC & GAS

No Comments

COMCAST

No Comments

QWEST

No Comments

ENVIRONMENTAL HEALTH

No Comments

M.R.G.C.D

No Adverse Comments

OPEN SPACE DIVISION

Open Space has no adverse comments

CITY ENGINEER

The Hydrology section has no objection to the extension request.

TRANSPORTATION DEVELOPMENT

No adverse comments

PARKS AND RECREATION

No objection.

ABCWUA

No objection to Extension request

PLANNING DEPARTMENT

No Comments received

IMPACT FEE ADMINISTRATOR

No comment on the proposed two-year SIA extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Mountain West Development Co. LLC – P.O. Box 66449 – Albuquerque, NM 87193

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: January 2, 2007
Zone Atlas Page: L-23
Notification Radius: 100 Ft.

Project#: 1002176
App#: 07DRB-70423

Cross Reference and Location: CENTRAL SE BETWEEN FOUR HILLS RD SE
AND WATERFALL SE

Applicant: MOUNTAIN WEST DEVELOPMENT CO LLC
PO BOX 66449
ALBUQUERQUE, NM 89183

Agent: SAME

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: DECEMBER 14, 2007
Signature: ERIN TREMLIN



Supplemental form

- SUBDIVISION**
 Major Subdivision action
 Minor Subdivision action
 Vacation
 Variance (Non-Zoning)

- SITE DEVELOPMENT PLAN**
 for Subdivision
 for Building Permit
 Administrative Amendment (AA)
 IP Master Development Plan
 Cert. of Appropriateness (LUCC)

- STORM DRAINAGE (Form D)**
 Storm Drainage Cost Allocation Plan

- S Z ZONING & PLANNING**
 Annexation
 County Submittal
 EPC Submittal
 Zone Map Amendment (Establish or Change Zoning)
 Sector Plan (Phase I, II, III)
 Amendment to Sector, Area, Facility or Comprehensive Plan
 Text Amendment (Zoning Code/Sub Regs)
 Street Name Change (Local & Collector)
L A APPEAL / PROTEST of...
 Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): "Applicant" PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: Mountain West Development Co. LLC PHONE: 505-730-8849
 ADDRESS: P.O. Box 66449 FAX: 505-899-3918
 CITY: ALBUQUERQUE STATE NM ZIP 87193 E-MAIL: bwade70@comcast.net
 Proprietary Interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST:

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. ATTACHED PLAT & LEGAL Block: _____ Unit: _____
 Subdiv/Addn/TBKA: COVERED WAGON
 Existing Zoning: SU-1 Residential Proposed zoning: N/A MRGCD Map No. _____
 Zone Atlas page(s): L-272 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): SIA Procedure

B, Project #750781; 1002176; 1005466

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: _____ No. of proposed lots: _____ Total area of site (acres): _____

LOCATION OF PROPERTY BY STREETS: On or Near: CENTRAL SB
 Between: FOUR HILLS ROAD SE and WATERFALL SE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Mountain West Development Co. LLC By Bill Wade DATE 12/3/07
 (Print) Mountain West Development Co. LLC Bill Wade Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
 All checklists are complete
 All fees have been collected
 All case #'s are assigned
 AGIS copy has been sent
 Case history #'s are listed
 Site is within 1000ft of a landfill
 F.H.D.P. density bonus
 F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>DRB: 70423</u>	<u>SIA</u>	<u>2(2)</u>	<u>\$50.00</u>
	<u>ADV</u>		<u>\$75.00</u>
	<u>CME</u>		<u>\$20.00</u>
			\$
			\$
			\$
			\$
			\$
			Total
			<u>\$145.00</u>

Hearing date 01/02/08

Sandy Handley 12/05/07
 Planner signature/ date

Project # 1002176

Form revised 4/07

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more Certificate of No Effect or Approval
Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
Proposed Infrastructure List
Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the request
Property owner's and City Surveyor's signature on the proposed plat
FORM DRWS Drainage Report, Water & Sewer availability statement filing information
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Signed Pre-Annexation Agreement if Annexation required.
TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
Fee (see schedule)
List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the request
Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the request
Plat or plan reduced to 8.5" x 11"
Official D.R.B. Notice of the original approval
Approved Infrastructure List. If not applicable, please initial.
Previous SIA extension notice, if one has been issued. If not applicable, please initial.
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
List any original and/or related file numbers on the cover application
Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Mountain West Development Co LLC
Bill Wade
Applicant name (print)
Bill Wade 12/3/07
Applicant signature / date



Form revised October 2007

- Checklists complete
Fees collected
Case #s assigned
Related #s listed

Application case numbers
07DRB-70423

Sandy Handberg 12/03/07
Planning signature / date
Project # 1002176

	48								
13	1023 0561 5028 5308 45	GEIST KATHERINE M	224 SERENITY CT NE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 45- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SUBDIVISION CO NT 0.0982 AC M /L OR 4,278 SQ FT M/L
14	1023 0561 3628 0308 07	THIEBOLT CLAUDETTE G	227 SERENITY CT SE	ALBU QUE RQU E	N M	871 23 394 8	R	A1 A	LOT 7- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SUBDIVISION CO NT 0.1027 AC M /L OR 4,474 SQ FT M/L
15	1023 0561 3430 8308 02	WILLIAMS ROBERT D & SUZANNE M	205 SERENITY CT SE	ALBU QUE RQU E	N M	871 23 394 7	R	A1 A	LOT 2- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SUBDIVISION CO NT 0.2168 AC M /L OR 9,444 SQ FT M/L
16	1023 0560 9231 2217 40	CASTILLO ENRIQUE	13615 WENONA H AVE SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 9 PLAT OF BREEZE AT MOUNTAIN G ATE CONT .0521 AC
17	1023 0561 0928 0216 16	PROPPER WEBSTER C & CYNTHIA L GORMAN	2104 APACHE P L NE	ALBU QUE RQU E	N M	871 12	R	A1 A	LT 70 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0836 AC
18	1023 0560 9629 9216 24	DIMAS HELENA	13627 SHAFFER CT SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 62-A PLAT OF LOTS 61-A, 62-A & 63- A BREEZE AT MOUNTAIN GATE CONT . 0612 AC
19	1023 0561 0329 8216 22	MCKENNA LOURDES A	13635 SHAFFER CT SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 64-A PLAT OF LOTS 64-A & 66- A BREEZE AT MOUNTAIN GATE CONT .0 672 AC
20	1023 0561 0428 0216 15	GONZALES WILLIAM L & MARY AMELIA	13637 KEESHA JO AVE SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 71 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0579 AC
21	1023 0561 2130 2217 30	TAL REALTY INC	7027 MONTGOM ERY BLVD NE S UITE C	ALBU QUE RQU E	N M	871 09	R	A1 A	LT 19 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0853 AC
22	1023 0561 0327 9216 14	MARI- MAC PARTNERS II LIMIT ED PARTNERSHIP	7005 TESUQUE DR NW	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 72-A-1 PLAT OF LOTS 72-A-1 & 73- A BREEZE AT MOUNTAIN GATE CONT .0 518 AC
23	1023 0561 0028 2216 13	CAVANAGH LAUREN R	13627 KEESHA JO AVE SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 73-A PLAT OF LOTS 72-A-1 & 73- A BREEZE AT MOUNTAIN GATE CONT .0 531 AC
24	1023 0560 9628 2216 12	CONNER BRANDON LO WELL & KRUMMEL ROB ERT B & DOREEN G	13625 KEESHA JO AVE SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 74 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0684 AC
25	1023 0561 2128 3217 25	ANDERSEN JOHN	320 KAYLYN DR SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 24 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0698 AC
2	10230	THIEBOLT CLAUDE	227 SE	ALBUQUE	N	871	R	A	LOT 7-

R e c	UPC COD E	OWNER	OWNER ADDRESS	OWN ER CITY	OW NE R ST ATE	OW NE R ZIP CO DE	PR OP ER TY CL AS S	T A X DI S T RI CT	LEGAL
1	1023 0560 9633 5210 16	MOUNTAIN WEST DEVE LOPMENT CO LLC	7005 TESUQUE DR NW	ALBU QUE RQU E	N M	871 20 482 5	V	A1 A	REMAINING PORT OF TR OF LAND IN S W1/4 NW1/4 IN SEC 26 T10N R4E EXCL P OR OUT TO AMWAY DRAINAGE & FOUR HILLS RD RW CONT 5 1200 AC
2	1023 0560 9329 9216 25	HONABARGER JASON B	13623 SHAFFER CT SE	ALBU QUE RQU E	N M	871 23	V	A1 A	LT 61-A PLAT OF LOTS 61-A, 62-A & 63- A BREEZE AT MOUNTAIN GATE CONT . 0500 AC
3	1023 0561 2129 4217 28	ALCALA CHRISTINE	312 KAYLYN DR SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 21 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0698 AC
4	1023 0561 3429 9308 03	NORTH FOUR HILLS LTD PTNS	209 SERENITY CT SE	ALBU QUE RQU E	N M	871 23 394 7	R	A1 A	LOT 3- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SUBDIVISION CO NT 0.1278 AC M /L OR 5,567 SQ FT M/L
5	1023 0561 0729 7216 21	HEALY KRISTIN M	309 KAYLYN DR SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 65 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0654 AC
6	1023 0561 2129 7217 29	BOSSCHAERTS ALEXAN DRO G & CLAUDIA POLA NCO	308 KAYLYN DR SE	ALBU QUE RQU E	N M	871 11	R	A1 A	LT 20 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0987 AC
7	1023 0561 2030 5217 31	ROSENBLATT AMY F	300 KAYLYN DR SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 18 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0847 AC
8	1023 0561 1630 6217 32	YOUNG GINGER LEE	13647 WENONA H AVE SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 17 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0535 AC
9	1023 0561 1330 7217 33	WILLMOTT KENNETH B	13643 WENONA H AVE SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 16 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0539 AC
10	1023 0561 9728 0307 01	CHURCHBUILDER MINIS TRIES INC	320 WATERFAL L DR SE	ALBU QUE RQU E	N M	871 23	C	A1 A	TRACT B- 1 NORTH FOUR HILLS SUBD REPL OF T R B, C & D NORTH FO UR HILLS SUBD C ONT 15.6383 AC M/L
11	1023 0561 2128 0217 24	CONNER JOHN & CHARL ENE	322 KAYLYN DR SE	ALBU QUE RQU E	N M	871 23	R	A1 A	LT 25 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0665 AC
12	1023 0561 5030 1308	BUIE DARREN L	212 SERENITY CT SE	ALBU QUE RQU E	N M	871 23 394 5	R	A1 A	LT 48- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SUBDIVISION CO NT 0.1781 AC M /L OR 7,758 SQ FT M/L

	29921 628		R CT SE			183		A	
4 3	10230 56079 29921 630	TAYLOR MELANIE C	13601 SHAFFE R CT SE	ALBUQUE RQUE	N M	871 23	V	A 1 A	LT 56 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0766 AC
4 4	10230 56082 30021 629	MARI- MAC PARTNERS II L IMITED PARTNERS HIP	7005 T ESUQU E DR N W	ALBUQUE RQUE	N M	871 20 4 825	V	A 1 A	LT 57 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0536 AC
4 5	10230 56071 30721 405	LOFGREN JOHN P	219 LA NIER D R SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 1-A-1 PLAT OF LOTS 1-A-1, 2-A-1, 3-A-1 & 4-A- 1 BREEZE AT MOUNTAIN GATE CONT .0641 AC
4 6	10230 56021 34521 316	SWI REAL ESTATE LTD PTNS C/O BUR KE & NICKEL	3336 E 32ND S T	TULSA	O K	741 35	C	A 1 A	TR J-1 REPL OF TRS F, H- 1, J & UNPLATTED LAND FOUR HILLS VIL LAGE SH OPPING CENTER & APT COMPLEX CONT 7.9444 A C +/- OR 346 ,058 SF +/-
4 7	10230 56104 30921 736	MARR CHRISTOPH ER D & AMY K	13631 WENON AH AVE SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 13 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0521 AC
4 8	10230 56148 34021 001	JAFARI MORTEZA E TAL	209 SE SERENITY SE	ALBUQUE RQUE	N M	871 23	V	A 1 A	TR E-1 PLAT OF TRS E-1 & E- 2 NORTH FOUR HILLS SUBD BEING A L AND SPLIT OF TR E REPLAT & CORRECTION PLAT OF "REVIS ED" CORR ECTED & AMENDED PLAT CONT 1.3749 AC M/L OR 59,891 SQ FT M/L
4 9	10230 56107 30821 735	BRADEN CHRIS A	2050 2 ND ST S E 16	KIRTLAND AFB	N M	871 17	R	A 1 A	LT 14 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0521 AC
5 0	10230 56087 29921 627	CHAVEZ ADRIENNE F	13615 SHAFFE R CT SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 59 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0526 AC
5 1	10230 56089 29921 626	RAMNANAN BHARA T & JAMILA DAVIS	13619 SHAFFE R CT SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 60 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0525 AC
5 2	10230 56067 29321 502	LINDSAY DONALD B	5305 S ANTA F E HEIG HTS	NORTH LA S VEGAS	N V	890 81	R	A 1 A	LT 54 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0580 AC
5 3	10230 56150 29430 847	MITCHELL MICHELL E A	216 SE SERENITY CT SE	ALBUQUE RQUE	N M	871 23 3 945	R	A 1 A	LT 47- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SU BDIVISION CO NT 0.0977 AC M/L OR 4,256 SQ FT M/ L
5 4	10230 56135 29330 804	NAGATOMO YASUA KI & SUSAN JESSU P	8923 R OBS PL NE	ALBUQUE RQUE	N M	871 22 4 230	R	A 1 A	LOT 4- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SU BDIVISION CO NT 0.1046 AC M/L OR 4,556 SQ FT M/ L
5 5	10230 56121 29021 727	FLETCHER JULIE W & WILLIAM M	316 KA LYLND R SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 22 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0818 AC
5 6	10230 56066 29021 503	WONG ALAN K	78 ME ADOWL AND DR	MILPITAS	C A	950 35	R	A 1 A	LT 53 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0579 AC
5 7	10230 56093 28621 611	MARTINEZ ALEX A & ELIZABETH R	3308 C AMINO CIELO V ISTA	SANTA FE	N M	875 07	R	A 1 A	LT 85 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0514 AC
5 8	10230 56090 28621	MORENO CARLOS A & RHONDA M PIE RCE	5625 RI VERDAL E CT	PLEASANT ON	C A	965 88	R	A 1 A	LT 84 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0514 AC

6	56136 28030 807	TTE G	RENITY CT SE	RQUE	M	23 3 948		1 A	P1 PLAT OF SERENITY AT NORTH FOUR HILLS SU BDIVISION CO NT 0.1027 AC M/L OR 4,474 SQ FT M/ L
2 7	10230 56098 31021 738	SLAWIAK MARIAN V	13623 WENON AH AVE SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 11 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0521 AC
2 8	10230 56101 30921 737	ROBERTS WAYNE H & MARGIE S	13627 WENON AH SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 12 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0521 AC
2 9	10230 56082 31321 743	DOMINGUEZ MAX C III	13601 WENON AH AVE SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 6 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0651 AC
3 0	10230 56086 31321 742	MEYER GARY & SH ERYL	13605 WENON AH AVE SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 7 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0521 AC
3 1	10230 56089 31221 741	CONWAY GORDON M & ROSARIO B	40 SKY LAND B LVD	TIJERAS	N M	870 59	R	A 1 A	LT 8 PLAT OF BREEZE AT MOUNTAIN GATE CONT 0521 AC
3 2	10230 56134 30830 802	WILLIAMS ROBERT D & SUZANNE M	205 SE RENITY CT SE	ALBUQUE RQUE	N M	871 23 3 947	R	A 1 A	LOT 2- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SU BDIVISION CO NT 0.2168 AC M/L OR 9,444 SQ FT M/ L
3 3	10230 56092 31221 740	CASTILLO ENRIQU E	13615 WENON AH AVE SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 9 PLAT OF BREEZE AT MOUNTAIN GATE CONT .0521 AC
3 4	10230 56121 28321 725	ANDERSEN JOHN	320 KA YLYN D R SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 24 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0698 AC
3 5	10230 56150 28530 845	GEIST KATHERINE M	224 SE RENITY CT NE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 45- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SU BDIVISION CO NT 0.0982 AC M/L OR 4,278 SQ FT M/ L
3 6	10230 56110 30721 734	THOMPSON GARY K & CARLA E	13639 WENON AH AVE SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 15 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0521 AC
3 7	10230 56148 30930 849	PATTENGALE NICH OLAS D	200 SE RENITY CT SE	ALBUQUE RQUE	N M	871 07	R	A 1 A	LT 49- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SU BDIVISION CO NT 0.1815 AC M/L OR 7,906 SQ FT M/ L
3 8	10230 56146 32321 053	ALB CONGR OF JE HOVAH'S WIT INC	109 W ATERFA LL SE	ALBUQUE RQUE	N M	871 23	C	A 1 A	TR E-2 PLAT OF TRS E-1 & E- 2 NORTH FOUR HILLS SUBD BEING A L AND SPLIT OF TR E REPLAT & CORRECTION PLAT OF "REVIS ED" CORR ECTED & AMENDED PLAT CONT 43,560 SQ FT M/L
3 9	10230 56099 29921 623	WARNER JAMIE C & CRAIG M	13631 SHAFFE R CT SE	ALBUQUE RQUE	N M	871 23	V	A 1 A	LT 63-A PLAT OF LOTS 61-A, 62-A & 63- A BREEZE AT MOUNTAIN GATE CONT .0463 AC
4 0	10230 56096 29921 624	DIMAS HELENA	13627 SHAFFE R CT SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 62-A PLAT OF LOTS 61-A, 62-A & 63- A BREEZE AT MOUNTAIN GATE CONT .0612 AC
4 1	10230 56103 29821 622	MCKENNA LOURDE S A	13635 SHAFFE R CT SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 64-A PLAT OF LOTS 64-A & 66- A BREEZE AT MOUNTAIN GATE CONT .0672 AC
4 2	10230 56084	BAKER PAULA K	13609 SHAFFE	ALBUQUE RQUE	N M	871 23 4	R	A 1	LT 58 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0533 AC

	610								
59	10230 56087 28021 609	REYES JORGE L & GUADALUPE	13616 SHAFFER R CT SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 83 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0514 AC
60	10230 56083 28621 608	MORRIS JARED A	13608 SHAFFER R CT SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 82 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0514 AC
61	10230 56080 28621 607	TERRY MARY P	13604 SHAFFER R CT SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 81 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0514 AC
62	10230 56077 28621 606	BAQUERA JOSE	13600 SHAFFER R CT SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 80 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0561 AC
63	10230 56150 29030 846	BANNOWSKY LOVE LL A & G MCBROO M TRSTES L A B & G L MB REV TRST	123 JU NIPER H ILL RD NE	ALBUQUE RQUE	N M	871 22	R	A 1 A	LT 46- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SU BDIVISION CO NT 0.0980 AC M/L OR 4,269 SQ FT M/ L
64	10230 56121 28621 726	DEWOLF EMILY A T RUSTEE DEWOLF R VT	318 KA YLYN D R SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 23 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0818 AC
65	10230 56136 28830 805	BOONE ZENAS J & I RENE U	135 M ONTER EY	LOS ALAM OS	N M	875 44	R	A 1 A	LOT 5- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SU BDIVISION CO NT 0.1015 AC M/L OR 4,421 SQ FT M/ L
66	10230 56136 28430 806	MERCER GEORGE W & ANA MARIA VA LLECILLO -MERCER	223 SE RENITY CT SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LOT 6- P1 PLAT OF SERENITY AT NORTH FOUR HILLS SU BDIVISION CO NT 0.1021 AC M/L OR 4,447 SQ FT M/ L
67	10230 56072 31821 401	MANFREDI GLADYS	205 LA NIER D R SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 5-A PLAT OF LOTS 1-A, 2-A, 3-A, 4-A & 5- A BREEZE AT MOUNTAIN GATE CONT .0802 AC
68	10230 56073 31521 402	CHASE CHRIS & DA RLA	207 LA NIER D R SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 4-A-1 PLAT OF LOTS 1-A-1, 2-A-1, 3-A-1 & 4-A- 1 BREEZE AT MOUNTAIN GATE CONT .0672 AC
69	10230 56072 31221 403	TINKER KRISTEN L	209 LA NIER D R SE	ALBUQUE RQUE	N M	871 23	R	A 1 A	LT 3-A-1 PLAT OF LOTS 1-A-1, 2-A-1, 3-A-1 & 4-A- 1 BREEZE AT MOUNTAIN GATE CONT .0669 AC
70	10230 56072 31021 404	WARREN ASA J	215 LA NIER D R SE	ALBUQUE RQUE	N M	871 08	R	A 1 A	LT 2-A-1 PLAT OF LOTS 1-A-1, 2-A-1, 3-A-1 & 4-A- 1 BREEZE AT MOUNTAIN GATE CONT .0520 AC
71	10230 56122 27621 723	GIBSON VIRGIL L J R	3202 S PRINGH ILL DR	MISSOURI CITY	T X	774 59	R	A 1 A	LT 26 PLAT OF BREEZE AT MOUNTAIN GATE CON T .0859 AC

Or Current Resident
MANFREDI GLADYS
205 LANIER DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
MARI-MAC PARTNERS II LIMITED
PARTNERSHIP
7005 TESUQUE DR NW
ALBUQUERQUE, NM 87120

Or Current Resident
MARR CHRISTOPHER D & AMY K
13631 WENONAH AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
MARTINEZ ALEX A & ELIZABETH R
3308 CAMINO CIELO VISTA
SANTA FE, NM 87507

Or Current Resident
MCKENNA LOURDES A
13635 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
MERCER GEORGE W & ANA MARIA
VALLECILLO -MERCER
223 SERENITY CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
MEYER GARY & SHERYL
13605 WENONAH AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
MITCHELL MICHELLE A
216 SERENITY CT SE
ALBUQUERQUE, NM 87123 3945

Or Current Resident
MORENO CARLOS A & RHONDA M
PIERCE
5625 RIVERDALE CT
PLEASANTON, CA 96588

Or Current Resident
MORRIS JARED A
13608 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
MOUNTAIN WEST DEVELOPMENT
CO LLC
7005 TESUQUE DR NW
ALBUQUERQUE, NM 87120 4825

Or Current Resident
NAGATOMO YASUAKI & SUSAN
JESSUP
8923 ROBS PL NE
ALBUQUERQUE, NM 87122 4230

Or Current Resident
NORTH FOUR HILLS LTD PTNS
209 SERENITY CT SE
ALBUQUERQUE, NM 87123 3947

Or Current Resident
PATTENGALE NICHOLAS D
200 SERENITY CT SE
ALBUQUERQUE, NM 87107

Or Current Resident
PROPPER WEBSTER C & CYNTHIA L
GORMAN
2104 APACHE PL NE
ALBUQUERQUE, NM 87112

Or Current Resident
RAMNANAN BHARAT & JAMILA
DAVIS
13619 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
REYES JORGE L & GUADALUPE
13616 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
ROBERTS WAYNE H & MARGIE S
13627 WENONAH SE
ALBUQUERQUE, NM 87123

Or Current Resident
ROSENBLATT AMY F
300 KAYLYN DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
SLAWIAK MARIAN V
13623 WENONAH AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
SWI REAL ESTATE LTD PTNS C/O
BURKE & NICKEL
3336 E 32ND ST
TULSA, OK 74135

Or Current Resident
TAL REALTY INC
7027 MONTGOMERY BLVD NE
SUITE C
ALBUQUERQUE, NM 87109

Or Current Resident
TAYLOR MELANIE C
13601 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
TERRY MARY P
13604 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
THIEBOLT CLAUDETTE G
227 SERENITY CT SE
ALBUQUERQUE, NM 87123 3948

Or Current Resident
THOMPSON GARY K & CARLA E
13639 WENONAH AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
TINKER KRISTEN L
209 LANIER DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
WARNER JAMIE C & CRAIG M
13631 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
WARREN ASA J
215 LANIER DR SE
ALBUQUERQUE, NM 87108

Or Current Resident
WILLIAMS ROBERT D & SUZANNE M
205 SERENITY CT SE
ALBUQUERQUE, NM 87123 3947

Or Current Resident
ALB CONGR OF JEHOVAH'S WIT INC
109 WATERFALL SE
ALBUQUERQUE, NM 87123

Or Current Resident
BAKER PAULA K
13609 SHAFFER CT SE
ALBUQUERQUE, NM 87123 4183

Or Current Resident
BOONE ZENAS J & IRENE U
135 MONTEREY
LOS ALAMOS, NM 87544

Or Current Resident
BUIE DARREN L
212 SERENITY CT SE
ALBUQUERQUE, NM 87123 3945

Or Current Resident
CHASE CHRIS & DARLA
207 LANIER DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
CONNER BRANDON LOWELL &
KRUMMEL ROBERT B & DOREEN G
13625 KEESHA JO AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
DEWOLF EMILY A TRUSTEE
DEWOLF RVT
318 KAYLYN DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
FLETCHER JULIE W & WILLIAM M
316 KAYLYN DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
GONZALES WILLIAM L & MARY
AMELIA
13637 KEESHA JO AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
JAFARI MORTEZA ETAL
209 SERENITY SE
ALBUQUERQUE, NM 87123

Or Current Resident
ALCALA CHRISTINE
312 KAYLYN DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
BANNOWSKY LOVELL A & G
MCBROOM TRSTES L A B & G L MB
REV TRST
123 JUNIPER HILL RD NE
ALBUQUERQUE, NM 87122

Or Current Resident
BOSSCHAERTS ALEXANDRO G &
CLAUDIA POLANCO
308 KAYLYN DR SE
ALBUQUERQUE, NM 87111

Or Current Resident
CASTILLO ENRIQUE
13615 WENONAH AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
CHAVEZ ADRIENNE F
13615 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
CONNER JOHN & CHARLENE
322 KAYLYN DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
DIMAS HELENA
13627 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
GEIST KATHERINE M
224 SERENITY CT NE
ALBUQUERQUE, NM 87123

Or Current Resident
HEALY KRISTIN M
309 KAYLYN DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
LINDSAY DONALD B
5305 SANTA FE HEIGHTS
NORTH LAS VEGAS, NV 89081

Or Current Resident
ANDERSEN JOHN
320 KAYLYN DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
BAQUERA JOSE
13600 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
BRADEN CHRIS A
2050 2ND ST SE 16
KIRTLAND AFB, NM 87117

Or Current Resident
CAVANAGH LAUREN R
13627 KEESHA JO AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
CHURCHBUILDER MINISTRIES INC
320 WATERFALL DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
CONWAY GORDON M & ROSARIO B
40 SKYLAND BLVD
TIJERAS, NM 87059

Or Current Resident
DOMINGUEZ MAX C III
13601 WENONAH AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
GIBSON VIRGIL L JR
3202 SPRINGHILL DR
MISSOURI CITY, TX 77459

Or Current Resident
HONABARGER JASON B
13623 SHAFFER CT SE
ALBUQUERQUE, NM 87123

Or Current Resident
LOFGREN JOHN P
219 LANIER DR SE
ALBUQUERQUE, NM 87123

Or Current Resident
WILLMOTT KENNETH B
13643 WENONAH AVE SE
ALBUQUERQUE, NM 87123

Or Current Resident
WONG ALAN K
78 MEADOWLAND DR
MILPITAS, CA 95035

Or Current Resident
YOUNG GINGER LEE
13647 WENONAH AVE SE
ALBUQUERQUE, NM 87123

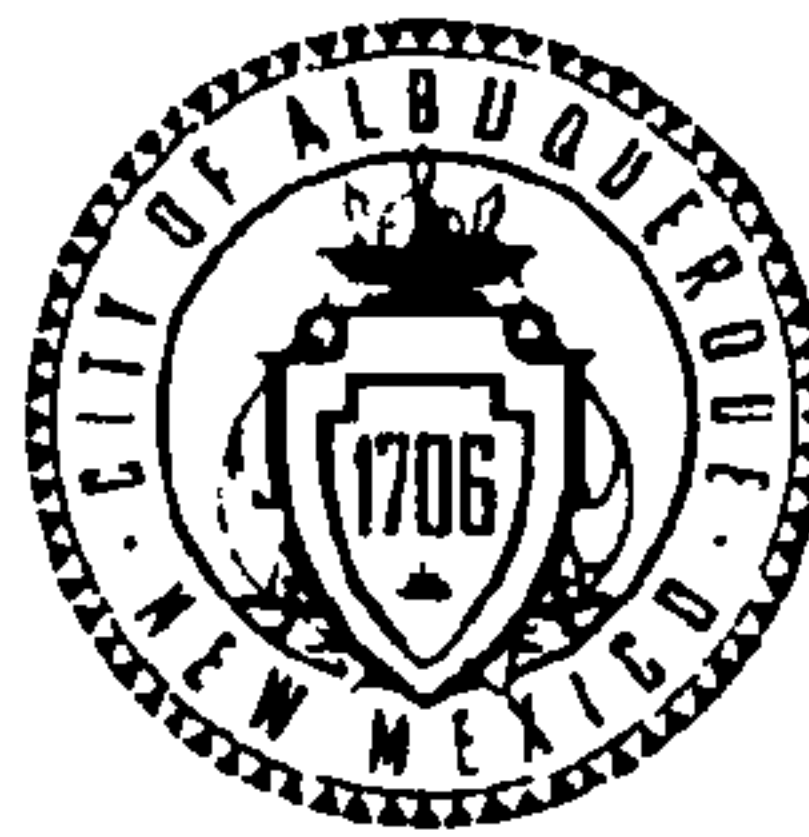
Project# 1002176
MOUNTAIN WEST DEV CO LLC
PO BOX 66449
ALBUQUERQUE, NM 89193

Project# 1002176
EDWARD MULLER
North Four Hills NA
13715 POINSETTIA CT SE
ALBUQUERQUE, NM 87123

Project# 1002176
TOM CONLEY
North Four Hills NA
13705 POINSETTIA CT SE
ALBUQUERQUE, NM 87123

Project# 1002176
CAROL O'KEEFE
Supper Rock NA
600 VISTA ABAJO DR
ALBUQUERQUE, NM 87123

Project# 1002176
KATHLEEN SCHINDLER-WRIGHT
Supper Rock NA
407 MONTE LARGO DR NE
ALBUQUERQUE, NM 87123



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: December 3, 2007

TO CONTACT NAME: Bill Wade
COMPANY/AGENCY: Mountain West Development Co. LLC.
ADDRESS/ZIP: P.O. Box 66449 87193
PHONE/FAX #: 730-8849 / 899-3918

Thank you for your inquiry of Dec 3, 2007 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Extension of SIA # 750781 Located Central Ave SE and between Four Hill Rd SE & Waterfall SE zone map page(s) L-23

Our records indicate that the Affected Neighborhood and/or Homeowner Associations affected by this proposal and the contact names are as follows:

North Four Hills NA
Neighborhood or Homeowner Association
Contacts: Edward Muller
13715 Poinsettia Ct SE 87123
296-8187(w)
Tom Conley
13705 Poinsettia Ct. SE 87123
275-6721(h)

Suppen Rock
Neighborhood or Homeowner Association
Contacts: Carol O'Keefe
600 Vista Abaja Dr. NE 87123
296-9075(h)
Kathleen Schindler-Wright
407 Monte Largo Dr. NE 87123
275-2710(h)

See reverse side for additional Neighborhood and/or Homeowner Associations Information:

YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Palma J. Carmona
OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

**NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR
NEIGHBORHOOD NOTIFICATION LETTERS**

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

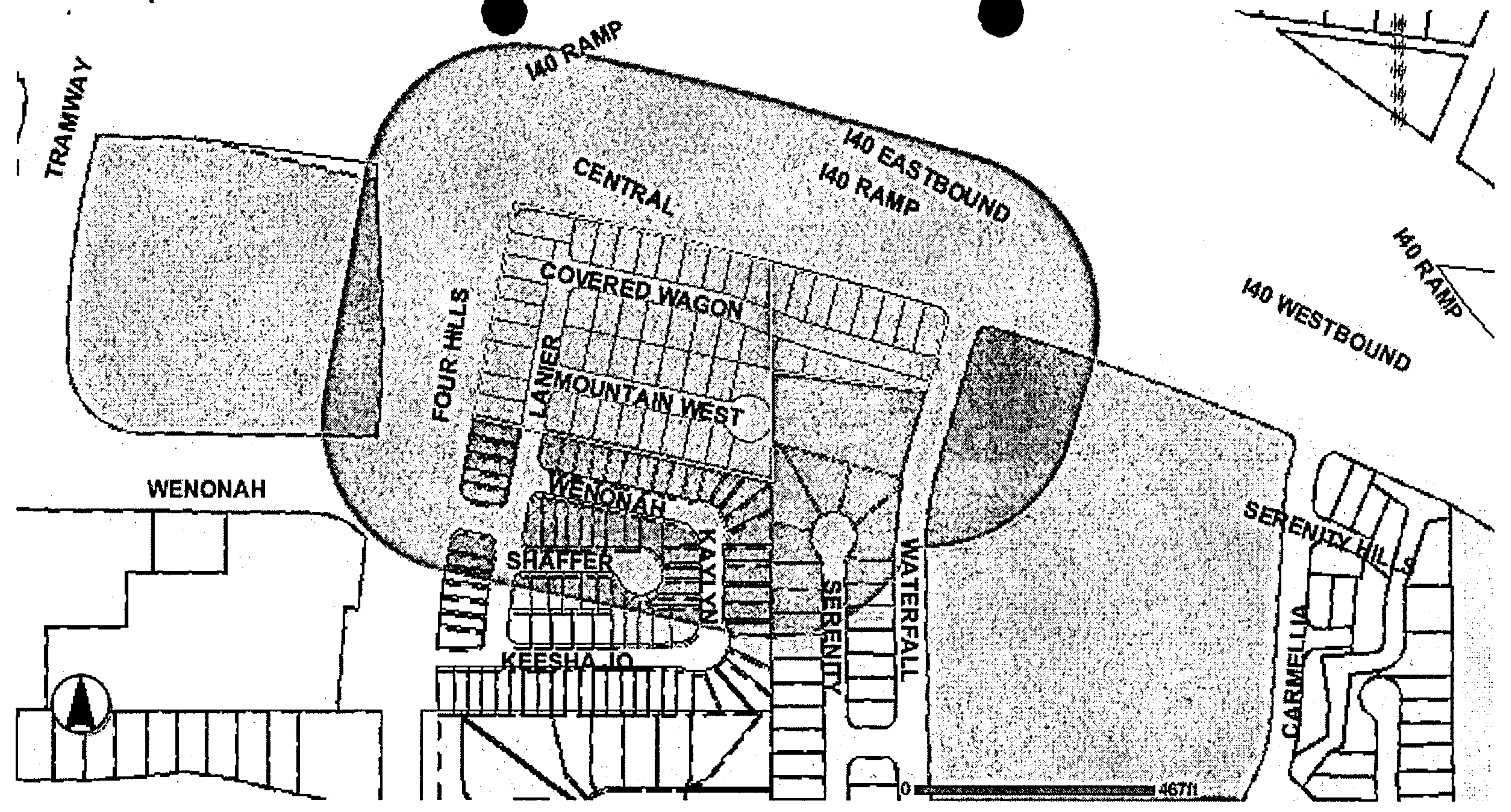
The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

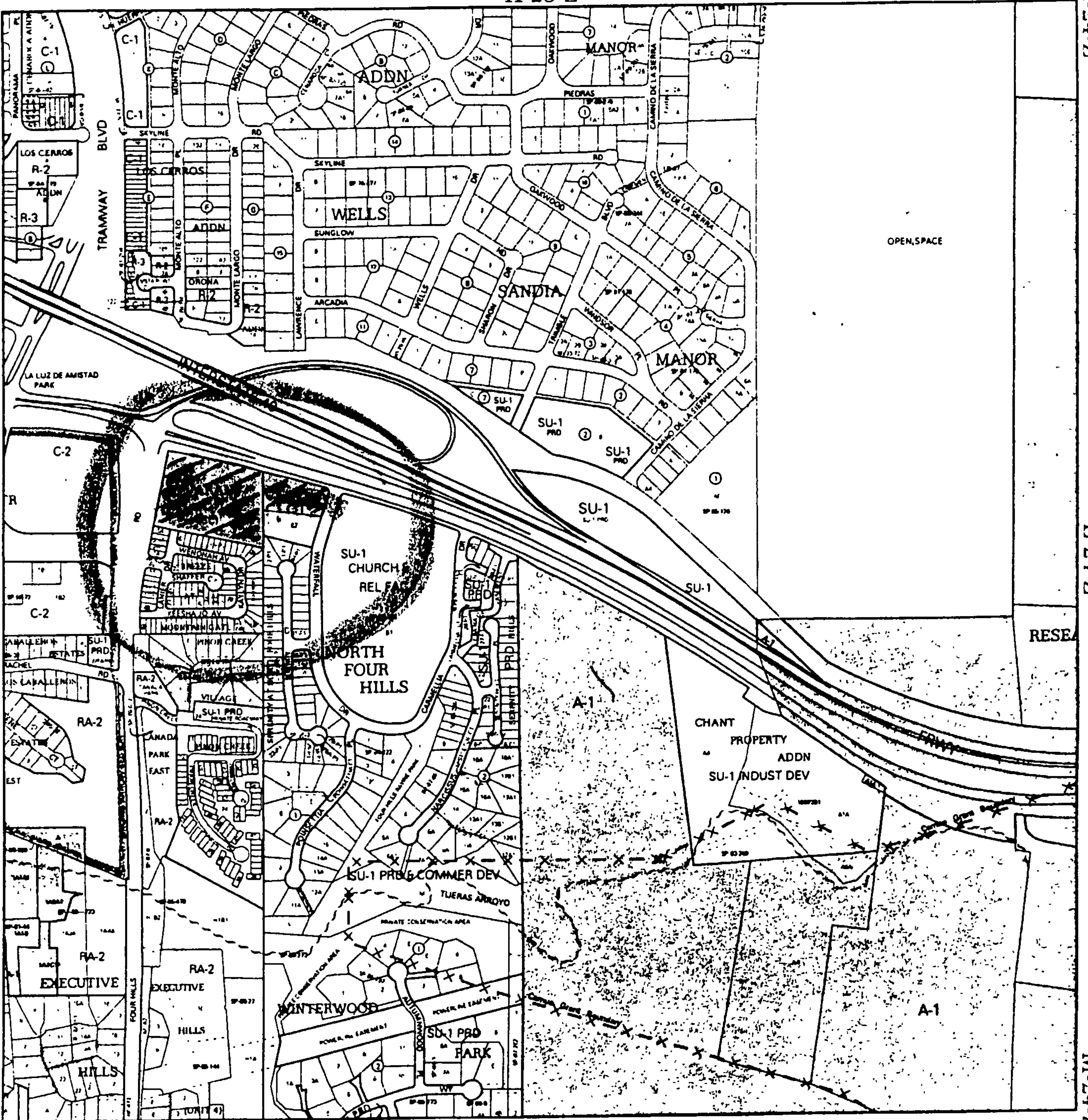
- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: Dec 3, 2007 Time Entered: 3:53 PM ONC Rep. Initials: DC



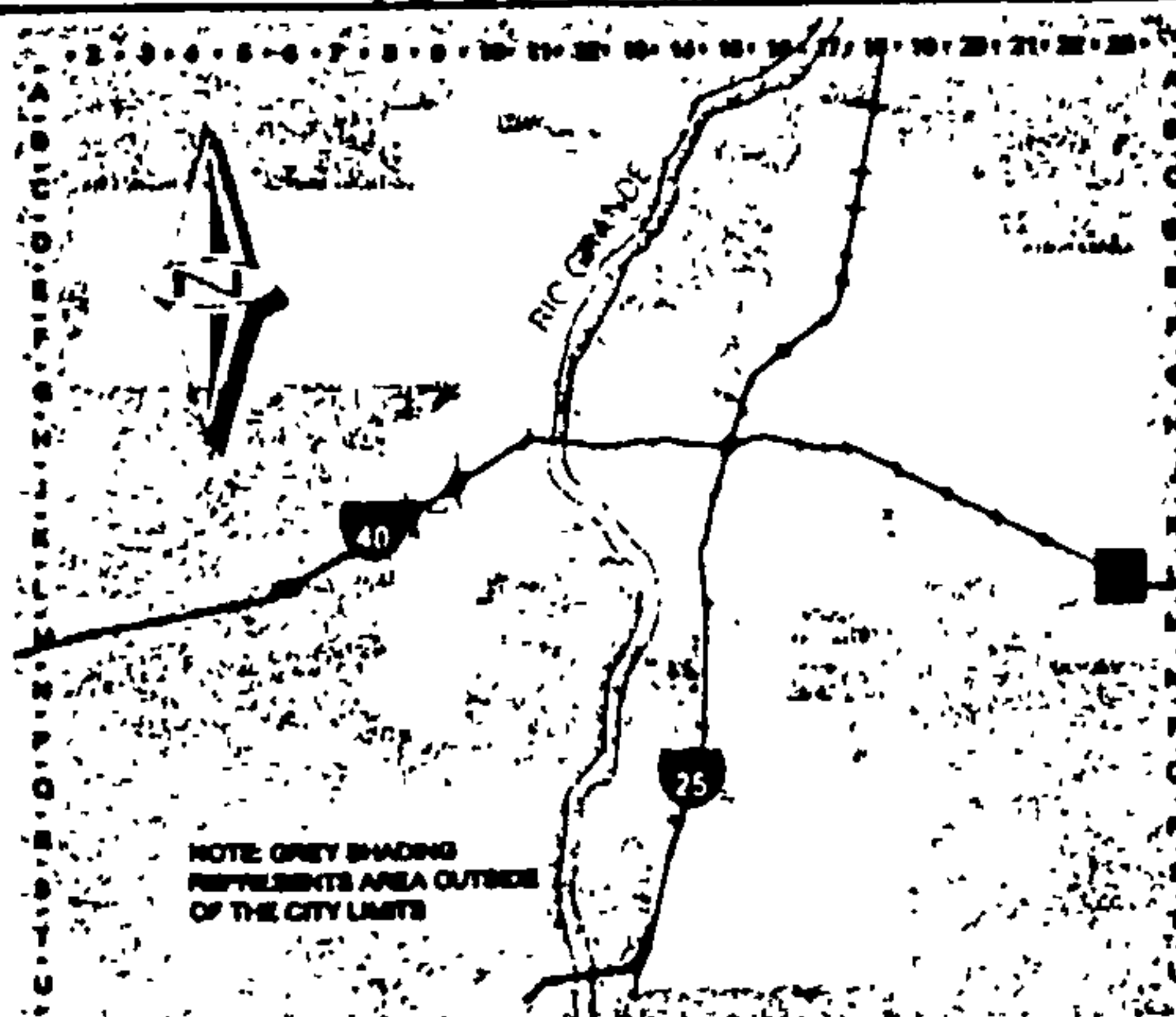


Zone Atlas Page: **L-23-Z**

Map amended through: Aug 06, 2004

Selected Symbols

- Unincorporated Areas
- Sector Plan Boundaries
- Parcel Boundaries
- Easement Lines
- Freeway Lanes
- Jurisdictional Boundaries
- Westgate Wall
- Escarpment
- X --- Grant Boundaries
- --- Petroglyph
- H-1 Buffer Zone
- Arroyos
- LDN Noise Level
- + --- Airport Clearance Zone
- • --- Design Overlay Zones



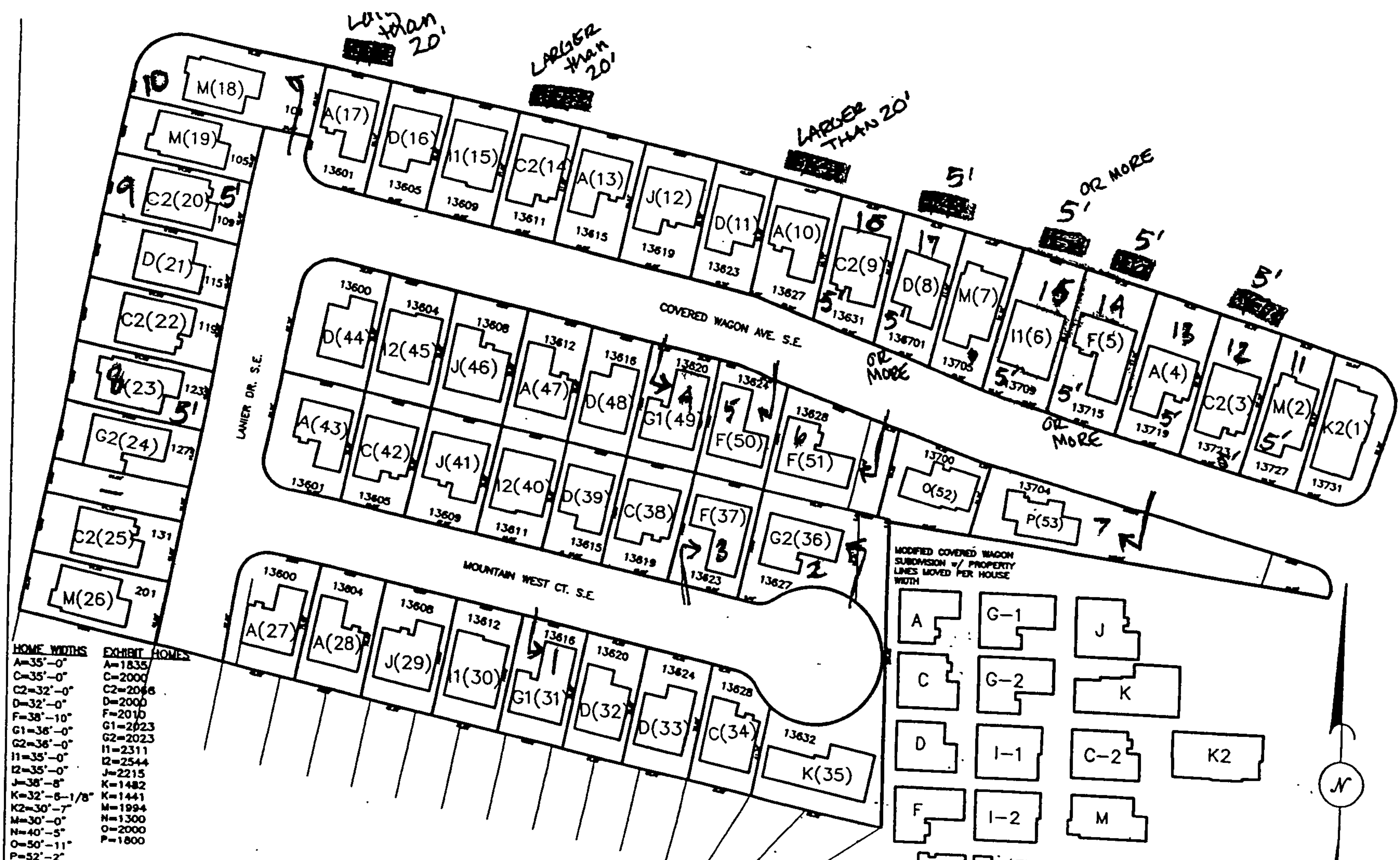
THREE HUNDRED YEARS
1706 - 2006

ALBUQUERQUE

Hacienda Historia

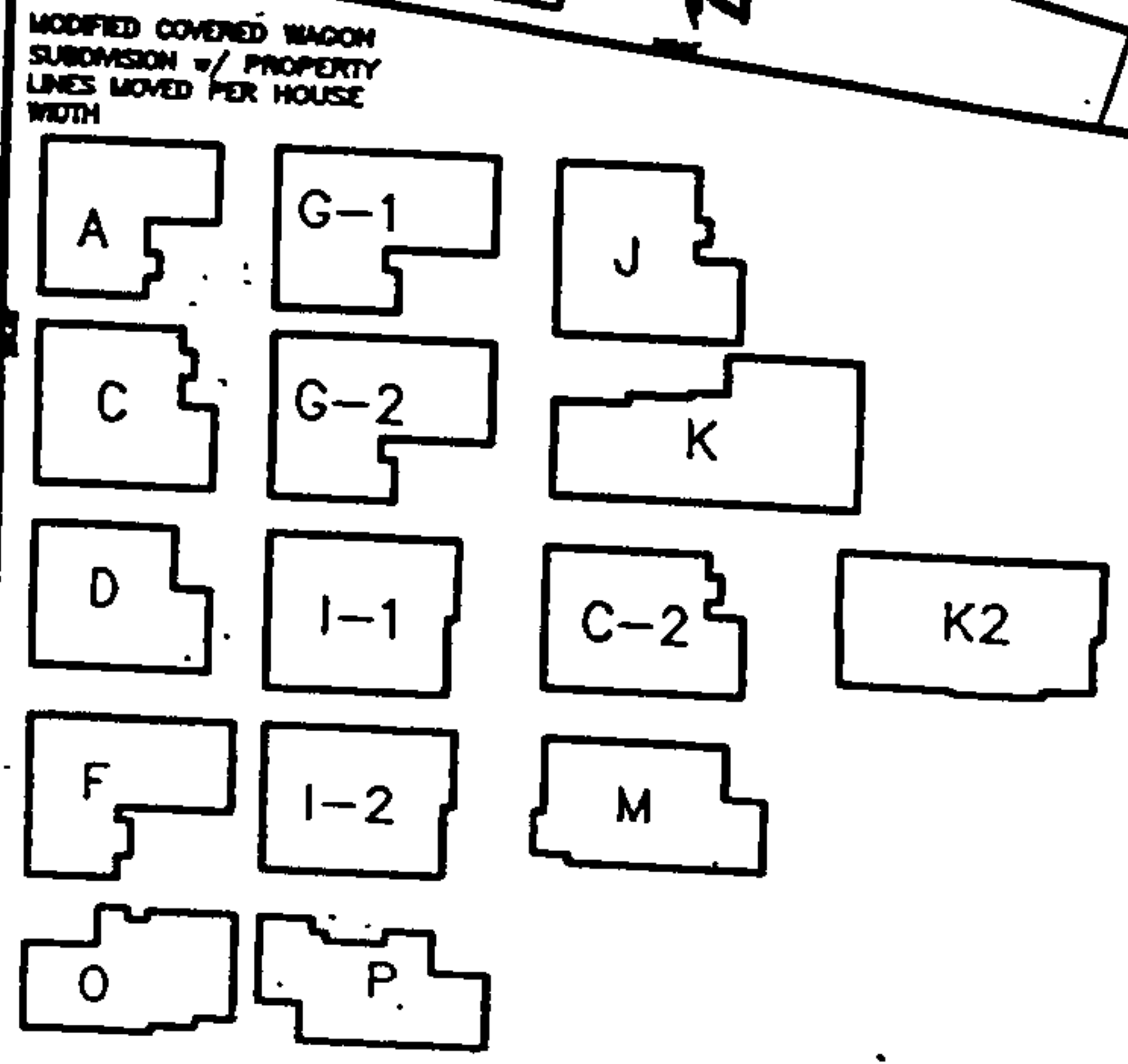
A lbuquerque **G** eographic **I** nformation **S** ystem
PLANNING DEPARTMENT

© Copyright 2004



HOME WIDTHS	EXHIBIT HOMES
A=35'-0"	A=1835
C=35'-0"	C=2000
C2=32'-0"	C2=2046
D=32'-0"	D=2000
F=38'-10"	F=2010
G1=36'-0"	G1=2023
G2=36'-0"	G2=2023
I1=35'-0"	I1=2311
I2=35'-0"	I2=2544
J=36'-8"	J=2215
K=32'-6-1/8"	K=1482
K2=30'-7"	K=1441
M=30'-0"	M=1994
N=40'-5"	N=1300
O=50'-11"	O=2000
P=52'-2"	P=1800

PLAT OF COVERED WAGON SUBDIVISION
 MOUNTAIN WEST DEVELOPMENT
 P.O. BOX 66449
 ALBUQUERQUE, NM 87193-6449



#15



Completed
3-12-08
057

[Handwritten initials]

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

1002176

DRB Application No.: 07DRB-00393 (P & F)
Project Name: COVERED WAGON SUBD.
Agent: SURVEYS SOUTHWEST LTD

Project # 1005466
Phone No. 998-0303

Project Number

1005466

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/24/09 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

[Handwritten signature]

#15



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00393 (P & F)	Project # 1002176
Project Name: COVERED WAGON SUBD.	
Agent: SURVEYS SOUTHWEST LTD	Phone No. 998-0303

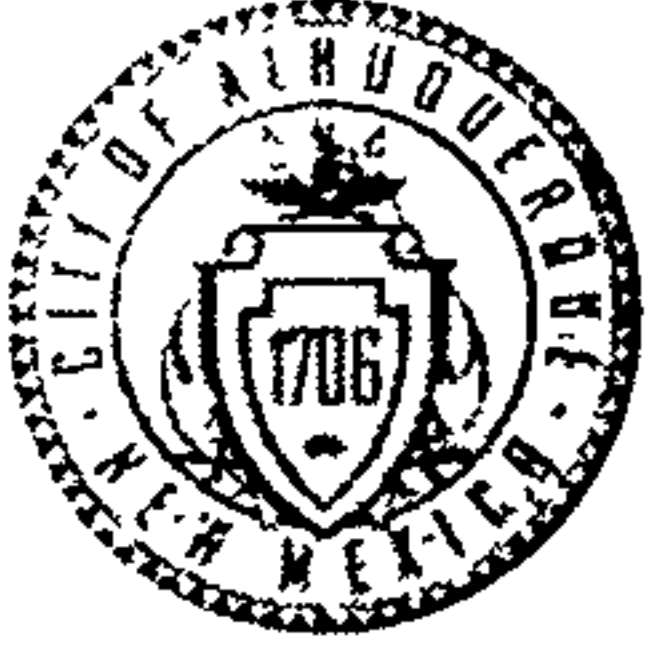
Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/24/09 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): _____
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

[Handwritten signature]

Project Number 1005148



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 4, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 12:00 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002371**
07DRB-00286 Major-One Year SIA

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, **ALBAN HILLS**, zoned SU-1 FOR R-2 W/CHURCH RELATED USES located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB-00286, 03DRB-02150, 05DRB-00560, 03DRB-02085, 03DRB-02086] (D-12) **ONE-YEAR SIA WAS APPROVED.**

2. **Project # 1000985**
07DRB-00292 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for PALOMAS INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 1-A, Block(s) 12, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned SU-2 C-1 located on SAN PEDRO NE between PASEO DEL NORTE NE and PALOMAS NE. (D-18) **TWO-YEAR SIA WAS APPROVED.**

3. **Project # 1003790**
07DRB-00297 Major-SiteDev Plan Subd
07DRB-00298 Minor-Vacation of Private Easements
07DRB-00299 Minor-Prelim&Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for MCT INDUSTRIES INC request(s) the above action(s) for all or any portion of Tract(s) B, C-1 & C-2, **NORTH GATEWAY**, zoned IP located on BALLOON FIESTA PARKWAY NE between SAN MATEO BLVD NE and I-25 NE containing approximately 23 acre(s). (B-18) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND FOUR COPIES OF THE PLAN. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 04/04/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/1/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: 61-FEET OF RIGHT-OF-WAY ON BALLOON FIESTA COURT IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

4. **Project # 1004623**
07DRB-00294 Major-SiteDev Plan
BldPermit

BERENT GROTH ARCHITECT agent(s) for RAUL LOPEZ request(s) the above action(s) for all or any portion of Lot(s) 13-16, Block(s) 3, **ROMERO ADDITION**, zoned SU-1 for legal office and/or residence, located on 5TH ST NW between SUMMER NW and MCKINLEY NW containing approximately 1 acre(s). [Deferred from 4/4/07] (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 4/25/07.**

5. **Project # 1002739**
06DRB-01621 Major-Vacation of Public Easements
06DRB-01622 Major-Vacation of Pub Right-of-Way
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118TH ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06,12/13/06 & 12/20/06] [Deferred from 1/3/07,1/10/07,1/17/07,1/24/07, 1/31/07, 2/7/07, 2/21/07, 3/07/07 & 03/21/07 & 4/4/07] (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 4/11/07.**

6. **Project # 1002984**
07DRB-00238 Major-Vacation of Pub Right-of-Way

SANDRA LEVINSON & HAROLD GILL request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 7, **VOLCANO CLIFFS, UNIT 2**, zoned R-1 located on KIBO DR NW between RIMROCK DR NW and SHIPROCK CT NW containing approximately 1 acre(s). [Deferred from 3/28/07] (E-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1002962**
07DRB-00358 Minor-SiteDev Plan
BldPermit/EPC

J. S. ROGERS ARCHITECTS PC agent(s) for THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS request(s) the above action(s) for all or any portion of Tract(s) 10, **TRAILS, UNIT 2**, zoned SU-1 FOR CHURCH located on WOODMONT AVE NW between RAINBOW BLVD NW and UNIVERSE NW containing approximately 5 acre(s). [Carmen Marrone for David Stallworth, EPC Case Planner] (C-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES AND TRANSPORTATION DEVELOPMENT FOR MINOR CORRECTIONS ON THE 15-FOOT END CAP RADII.**

8. **Project # 1005360**
07DRB-00372 Minor-SiteDev Plan
BldPermit

KENT TRAUERNICHT agent(s) for STEVE SCHAUK request(s) the above action(s) for all or any portion of Lot(s) 45, **ALAMEDA BUSINESS PARK**, zoned SU-2 FOR IP-EP located on CALLE ALAMEDA NE , between PASEO ALAMEDA NE and ALAMEDA PARK DR NE containing approximately 1 acre(s). [REF: 07ZHE-00120] *[Deferred from 4/4/07]* (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

9. **Project # 1000504**
07DRB-00378 Minor-SiteDev Plan
BldPermit

NCA ARCHITECTS agent(s) for JEFFERSON PLAZA LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP, located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 6 acre(s). [REF: 07DRB-00364] *[Indef deferred from 4/4/07]* (E-17) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

07DRB-00364 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for CINCO BISCO LIMITED request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 9 acre(s). [REF: 00DRB-00608] *[Indef deferred from 4/4/07]* (E-17) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

10. **Project # 1001523**
07DRB-00341 Minor-SiteDev Plan
BldPermit

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or any portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP FOR LIGHT INDUSTRIAL USES located on UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] *[Deferred from 3/28/07 & 4/4/07]* (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] *[Deferred from 2/28/07] [Indef deferred from 3/14/07] [Deferred from 3/28/07 & 4/4/07]* (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1004178**
07DRB-00374 Minor-Ext of SIA for Temp
Defer SDWK

GARCIA KRAEMER & ASSOCIATES agent(s) for NM ONE CALL request(s) the above action(s) for all or any portion of Tract(s) G-1 & G-2, Block(s) 27, **MESA VILLAGE**, zoned O-1 located on EUBANK BLVD NE between LOMAS BLVD NE and WALKER NE containing approximately 2 acre(s). [REF: 05DRB01013, 07DRB00018] (J-20) **A TWO-YEAR EXTENSION TO THE FOUR YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

12. **Project # 1000572**
07DRB-00383 Major-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or any portion of Tract(s) A, THE PRESIDIO (to be known as **THE PRESIDIO, UNIT 1**) zoned SU-1 PRD located on CHICO RD NE between EUBANK BLVD NE and MORRIS ST NE containing approximately 24 acre(s). [REF: 06DRB01714, 06DRB01715, 06DRB01783, 06DRB01778, 06DRB01779, 06DRB01781] (K-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR THE HOMEOWNERS ASSOC.SIGNATURE, CORRECTED ZONING, MASTER COVENANTS RECORDING DATE ON THE PLAT AND TO RECORD.**

13. **Project # 1003928**
07DRB-00394 Minor-Subd Design (DPM) Variance
07DRB-00395 Minor-Sidewalk Variance

SURVEYS SOUTHWEST agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D **TOHATCHI ADDITION & LOT 12, BLOCK C, J. M. MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone located on MOUNTAIN RD NW between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] (J-13) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT "C" IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT "C" IN THE PLANNING FILE.**

07DRB-00068 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D, **TOHATCHI ADDITION & LOT 12, BLOCK C, J M MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone, located on MOUNTAIN RD NW, between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] [*Deferred from 1/31/07 & Indef deferred on 2/14/07*] (J-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/8/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS: A 30-FOOT PUBLIC WATER AND SEWER EASEMENT IS REQUIRED. A 6-FOOT DEDICATION ALONG MOUNTAIN ROAD IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

14. **Project # 1005458**
07DRB-00379 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for DAN MUNIZA request(s) the above action(s) for all or any portion of Tract(s) Q, **TOWN OF ATRISCO GRANT, NORTHERN UNIT**, zoned C-1/P located on COORS RD NW between REDLANDS RD NW and ATRISCO DR NW containing approximately 4 acre(s). [*Indef deferred from 4/4/07*] (G-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

15. ~~Project # 1002476~~
07DRB-00393 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for CASH FLOW PROPERTIES LLC request(s) the above action(s) for all or any portion of Lot(s) 51-P1 & 52-P, **COVERED WAGON SUBDIVISION**, zoned SU-1 FOR SINGLE FAMILY RES located on COVERED WAGON AVE SE between LANIER DR SE and WATERFALL DR SE containing approximately 1 acre(s). [*Shown under Project 1005466 in error.*] (L-23) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project # 1004355**
07DRB-00351 Minor-Prelim&Final Plat
Approval

WILSON & COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or any portion of Lot(s) 16-21, Block(s) 6, **VISTA VIEJA SUBDIVISION, UNIT 2**, zoned R-D located on TIERRA VIEJA ST NW between HAWK EYE RD NW and GO WEST RD NW containing approximately 1 acre(s). [REF: 06DRB01340] (D-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR LOCATION OF METER BOXES AND PLANNING TO RECORD THE PLAT.**

17. **Project # 1004994**
07DRB-00382 Minor-Prelim&Final Plat
Approval
- MARK GOODWIN & ASSOCIATES PA agent(s) for COLLATZ-PICKARD LLC request(s) the above action(s) for all or any portion of Anasazi Ridge, Unit 1, Tract E and Tract A, Seville Subdivision, Unit 7A (to be known as **ANASAZI RIDGE, UNIT 1A**) zoned R-1 located on MCMAHON BLVD NW between ANASAZI RIDGE AVE NW and BASKET WEAVER PL NW containing approximately 1 acre(s). (A-10) **INDEFINITELY DEFERRED ON A NO SHOW.**
18. **Project # 1005132**
07DRB-00386 Minor-Prelim&Final Plat
Approval
07DRB-00385 Minor-Vacation of Private
Easements
- PRECISION SURVEYS INC agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or any portion of Tract(s) B & C, (to be known as **PASEO NUEVO 2, TRACTS B-1 & C-1**) zoned SU-2, 0-1 located on HOLLY AVE NE, between SAN PEDRO DR NE and VILLE CT NE containing approximately 2 acre(s). [REF: 07DRB00137] (C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO THE TRANSPORTATION DEVELOPMENT TO CORRECT CROSS-ACCESS EASEMENT. THE VACATION OF THE PRIVATE EASEMENT(S) WAS APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE.**
19. **Project # 1005363**
07DRB-00346 Minor-Prelim&Final Plat
Approval
- TERRAMETRICS OF NEW MEXICO agent(s) for GIL CORDOVA request(s) the above action(s) for all or any portion of the north half of Lot(s) 33, **ALVARADO GARDENS, UNIT 3**, zoned RA-2 located on RIO GRANDE BLVD NW between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). [*Deferred from 3/28/07*] (G-12 & G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1004071**
07DRB-00376 Minor-Sketch Plat or Plan
- JEFF MORTENSEN & ASSOCIATES INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS & NEW MEXICO STATE LAND OFFICE request(s) the above action(s) for all or any portion of Tract(s) C, **ANCIENT MESA**, zoned RO-20 located on RAINBOW BLVD NW between COMPASS DR NW and PETROGYLPH NATIONAL MONUMENT containing approximately 144 acre(s). [REF: 05DRB00511, 05DRB00512, 05DRB00513] (C-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1005456**
07DRB-00373 Minor-Sketch Plat or Plan
- FAITH HOME BUILDERS INC request(s) the above action(s) for all or any portion of Lot(s) 1-8, Block(s) 4, **ESPERAZA ADDITION**, zoned C-1 located on SAN MATEO BLVD SE between SOUTHERN AVE SE and KATHRYN SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
22. **Project # 1005459**
07DRB-00380 Minor-Sketch Plat or Plan
- RAIMUND MCCLAIN agent(s) for KRISTINA YU request(s) the above action(s) for all or any portion of Lot(s) 12 & 13, **RIDGECREST ADDITION**, zoned R-2 located on ROSS PLACE SE, between JACKSON SE and CREST SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project # 1005460**
07DRB-00384 Minor-Sketch Plat or Plan

PLAZA SURVEYS agent(s) for NICOLAS PACHECO request(s) the above action(s) for all or any portion of Tract(s) 36B1, **M.R.G.C.D. MAP #35**, zoned RA-2 located on MOYA NW between GABALDON NW and LOS LUCEROS NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. **Project # 1005461**
07DRB-00387 Minor-Sketch Plat or Plan

EDWARD GABALDON agent(s) for BERLINDA GABALDON request(s) the above action(s) for all or any portion of Lot(s) 15, Block(s) 4, **MELENDRES SUBDIVISION**, zoned R-3 located on PALOMAS SE between ANDERSON SE and KATHRYN SE containing approximately 1 acre(s). (L-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. **Project # 1005467**
07DRB-00392 Minor-Sketch Plat or Plan

MATTHEW COHEN request(s) the above action(s) for all or any portion of Tract(s) 283A, **M.R.G.C.D. MAP #38**, zoned R-1 located on MOUNTAIN RD NW, between CONSUELO PL NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1005462**
07DRB-00388 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or any portion of Tract(s) 2A, **INDIAN RIDGE SUBDIVISION**, zoned O-1 located on MENAUL BLVD NE between JUAN TABO BLVD NE and CHELWOOD PARK BLVD NE containing approximately 2 acre(s). (H-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. **Project # 1005463**
07DRB-00389 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for YUNG T HSIEH request(s) the above action(s) for all or any portion of Lot(s) 4, **LANDS OF LW BARRETT**, zoned RD (9 DU ACRE) located on SAGE RD SW , between 86TH ST SW and SAN IGNACIO RD SW containing approximately 2 acre(s). (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. **Project # 1005464**
07DRB-00390 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or any portion of Lot(s) 32, Tract(s) A, **NORTH ALBUQUERQUE ACRES**, zoned R-LT residential zone located on PALOMAS AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). (D-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

29. **Project # 1005465**
07DRB-00391 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for DUKE CITY DISTRIBUTING request(s) the above action(s) for all or any portion of Tract(s) C, SOUTH BROADWAY INDUSTRIAL ACRES (to be known as **DUKE CITY SUBDIVISION**) zoned SU-2 HM located on WOODWARD RD SE, between BROADWAY BLVD SE and 2ND ST SE containing approximately 4 acre(s). (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

30. Approval of the Development Review Board Minutes for March 28, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MARCH 28, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:00 P.M.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
April 4, 2007
DRB Comments**

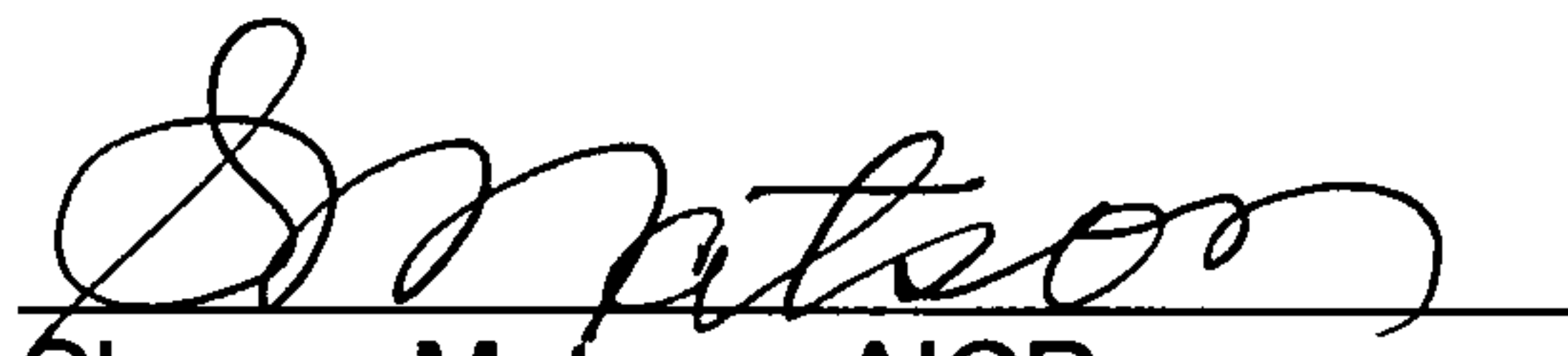
ITEM # 15

PROJECT # 1002176 APPLICATION # 07-00393

RE: Lots 51-P1 and 52-P2, Covered Wagon/minor plat

No objection. Defer to Water Utilities.

Be sure to bring a recorded copy of the plat to Planning to close the file.

A handwritten signature in black ink, appearing to read "S. Matson", written over a horizontal line.

Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002176

AGENDA ITEM NO: 15

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: APRIL 4, 2007

0

2176

DXF Electronic Approval Form

DRB Project Case #: 1002176

Subdivision Name: COVERED WAGON LOTS 51AP1 & 52AP1

Surveyor: MITCH REYNOLDS

Contact Person: SARAH AMATO

Contact Information: 998-0303

DXF Received: 3/29/2007

Hard Copy Received: 3/29/2007

Coordinate System: Ground rotated to NMSP Grid


Approved

3-30-2007
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc 2176 to agiscov on 3/30/2007 Contact person notified on 3/30/2007

#9



COMPLETED 10/26/06 *st*
DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **06DRB-01420 (FP)**
Project Name: **COVERED WAGON SUBDIVISION**
Agent: **SURVEYS SOUTHWEST**

Project # **1002176**
Phone No.: **998-0303**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/11/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: Final acceptance of waterline
add Application number of waterline a Plat

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): ~~record Plat~~
AGIS dxf *gjm*

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1002176

#9



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01420 (FP)

Project # 1002176

Project Name: COVERED WAGON
SUBDIVISION

Agent: SURVEYS SOUTHWEST

Phone No.: 998-0303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/11/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: Final acceptance of waterline
- add Application number of location a Plat
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): record Plat
- AGIS dxf
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1002176

DXF Electronic Approval Form

DRB Project Case #: 1002176

Subdivision Name: COVERED WAGON LOTS 1-18


Surveyor: MITCH REYNOLDS

Contact Person: SARAH AMATO

Contact Information: 998-0303

DXF Received: 10/23/2006 , Hard Copy Received: 10/23/2006

Coordinate System: NMSP Grid (NAD 27)


Approved

10-23-2006
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 2176 to agiscov on 10/23/2006 Contact person notified on 10/23/2006



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 11, 2006

9. Project # 1002176

06DRB-01420 Major-Final Plat Approval
06DRB-01421 Minor-Subd Design (DPM) Variance

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT C/O BILL WADE request(s) the above action(s) for all or a portion of Tract(s) A, **COVERED WAGON SUBDIVISION**, zoned SU-1, located on INTERSTATE 40 SE, between FOUR HILLS RD SE and WATERFALL DR SE containing approximately 2 acre(s). [REF: 06DRB-01079, 06DRB-01080, 06DRB-01081] (L-23)

At the October 11, 2006, Development Review Board meeting, the final plat was approved with final sign off delegated to Utilities Development for final acceptance of relocated water line, application number of vacation on the plat and Planning for AGIS dxf file and to record.

A Subdivision Design Variance from minimum DPM design standards was approved as shown on Exhibit C in the Planning file.

Sheran Matson, AICP, DRB Chair

Cc: Mountain West Development, Bill Wade, P.O. Box 66449, 87193
Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 11, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:15 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000418**
06DRB-01355 Major-Two Year SIA

JOHN SWAIN agent(s) for LEGACY CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF VICTORY LOVE FELLOWSHIP**, zoned SU-1/CHURCH AND RELATED FACILITIES, located on CENTRAL AVE NW, between COORS BLVD NW and UNSER NW containing approximately 15 acre(s). [REF: 00DRB-01145, 04DRB-00824, 03EPC-01471] (K-10) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1005070**
 06DRB-01154 Major-Preliminary Plat Approval
 06DRB-01156 Minor-Sidewalk Waiver
 06DRB-01155 Minor-Temp Defer SDWK
- SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). *[Deferred from 9/6/06 & 9/13/06 & 9/27/06 & 10/11/06]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/25/06.**
3. **Project # 1000922**
 06DRB-01356 Major-Vacation of Public Easements
- WILSON & COMPANY agent(s) for LA CUENTISTA 1, LLC request(s) the above action(s) for all or a portion of Tract(s) 2, **LA CUENTISTA SUBDIVISION, UNIT 1**, zoned R-1, located on ROSA PARKS RD NW and ALOE RD NW and containing approximately 2 acre(s).*[REF: 06DRB-01180]* (C-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
- 06DRB-01224 Minor-Prelim&Final Plat Approval
- WILSON & CO agent(s) for LA CUENTISTA I LLC, MICHAEL KNIGHT request(s) the above action(s) for all or a portion of Tract(s) A, **LA CUENTISTA SUBDIVISION, UNIT 1A**, zoned R-1, located on ROSA PARKS RD NW and ALOE RD NW containing approximately 2 acre(s). *[REF: 05DRB-01829, 06DRB-00555]* *[Deferred from 9/6/06]* *[Indef deferred on 9/13/06]* (C-10) **WITH THE APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/22/06 THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD, AGIS DXF FILE AND TO RECORD THE PLAT.**

4. **Project # 1005029**
06DRB-01234 Major-Preliminary Plat
Approval
06DRB-01235 Major-Vacation of Public
Easements
06DRB-01236 Minor-Temp Defer SDWK

ADVANCED ENGINEERING agent(s) for WESTLAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B & J, THE CROSSING and Tract(s) R, STORMCLOUD SUBDIVISION, UNITS 3 & 4 (to be known as **STORMCLOUD SUBDIVISION UNITS 4 & 5**) zoned SU-2 for R-LT, located on TIERRA PINTADA BLVD NW west of UNSER BLVD NW and LADERA NW containing approximately 55 acre(s). [REF: 06DRB-01045] *[Deferred from 9/20/06 & 10/4/06]* (H-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/11/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/2/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION FOR FINAL PLAT: HOME OWNER'S ASSOCIATION PRESIDENT SHALL SIGN THE FINAL PLAT. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 06DRB-01398 Minor-Subd Design (DPM)
Variance

ADVANCED ENGINEERING agent(s) for WESTLAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B & J, THE CROSSING and Tract(s) R, STORMCLOUD SUBDIVISION, UNITS 3 & 4 (to be known as **STORMCLOUD SUBDIVISION UNITS 4 & 5**) zoned SU-2 for R-LT, located on TIERRA PINTADA BLVD NW west of UNSER BLVD NW and LADERA NW containing approximately 55 acre(s). [REF: 06DRB-01045] *[Deferred from 10/4/06]* (H-9) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1005000**
06DRB-01350 Minor-SiteDev Plan
BldPermit/EPC

DEKKER PERICH SABATINI agent(s) for YMCA OF CENTRAL NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) G-A, G-B, LANDS OF PEACE FOUNDATION & Tract(s) C, NETHERWOOD

PARK ADDITON (to be known as **H B HORN YMCA, TRACT A**) zoned SU-1 for recreational uses & 0-1 uses, located on INDIAN SCHOOL RD NE, between WASHINGTON NE and SAN MATEO NE containing approximately 5 acre(s). [REF: 06EPC-00967] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 9/27/06*] (H-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

06-01429 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for YMCA OF CENTRAL NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) G-A, G-B, LANDS OF PEACE FOUNDATION & Tract(s) C, NETHERWOOD PARK ADDITON (to be known as **H B HORN YMCA, TRACT A**) zoned SU-1 for recreational uses & 0-1 uses, located on INDIAN SCHOOL RD NE, between WASHINGTON NE and SAN MATEO NE containing approximately 5 acre(s). [REF: 06EPC-00967, 06DRB-01350] (H-17) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

6. **Project # 1002580**
06DRB-01370 Minor-Amnd SiteDev Plan
BldPermit

DAVID GREEN agent(s) for DUSTYN LADEWIG request(s) the above action(s) for all or a portion of Lot(s) 29 & 30, Block(s) 5 (to be known as (**TRACT A, NORTH ALBUQUERQUE ACRES**)) zoned IP, located on SAN DIEGO ST NE NE, between SAN MATEO ST NE and PAN AMERICAN FRWY NE containing approximately 2 acre(s). [REF: 03DRB-00566] [*Deferred from 9/27/06 & 10/4/06*] (B-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/11/06 THE AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA, A 4-FOOT PUBLIC ROADWAY EASEMENT ALONG SAN DIEGO, THE RECORDING OF THE CROSS-ACCESS EASEMENT AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1001028**
06DRB-01430 Minor-Amnd Prelim Plat
Approval
- PRECISION SURVEYS INC. agent(s) for RON CERROS request(s) the above action(s) for all or a portion of Lot(s) 1, **LANDS OF ALEJANDRO GARCIA**, zoned R-1, located on 49TH ST NW, between BLUEWATER NW and ALEJANDRO ST NW containing approximately 1 acre(s). [REF: 05DRB-01886 (W/D)] (J-11) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THE AMENDED INFRASTRUCTURE LIST DATED 10/11/06 WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**
8. **Project # 1000469**
06DRB-01416 Minor-Extension of
Preliminary Plat
- ABQ ENGINEERING INC agent(s) for UNSER WEST TENANCY - JACK CLIFFORD request(s) the above action(s) for all or a portion of **Tract(s) L-1-C, ATRISCO BUSINESS PARK**, zoned IP, located on UNSER NW, between BLUEWATER NW and LOS VOLCANES NW containing approximately 2 acre(s). [REF: 05DRB-01556] (K-10) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
- 06DRB-01422 Minor-Prelim&Final Plat
Approval
- ABQ ENGINEERING agent(s) for UNSER WEST TENANCY - JACK CLIFFORD request(s) the above action(s) for all or a portion of Tract(s) L1A1 & L1B1, **ATRISCO BUSINESS PARK & Lot(s) 21, MERIDIAN BUSINESS PARK**, zoned IP, located on LOS VOLCANES RD NW, between UNSER BLVD NW and SILVER CREEK RD NW containing approximately 7 acre(s). (K-10) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE AND TO RECORD THE PLAT.**

9. **Project # ~~1002176~~**
06DRB-01420 Major-Final Plat Approval
06DRB-01421 Minor-Subd Design (DPM)
Variance
- SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT C/O BILL WADE request(s) the above action(s) for all or a portion of Tract(s) A, **COVERED WAGON SUBDIVISION**, zoned SU-1, located on INTERSTATE 40 SE, between FOUR HILLS RD SE and WATERFALL DR SE containing approximately 2 acre(s). [REF: 06DRB-01079, 06DRB-01080, 06DRB-01081] (L-23) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FINAL ACCEPTANCE OF RELOCATED WATER LINE, APPLICATION NUMBER OF VACATION ON THE PLAT AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**
10. **Project # 1003747**
06DRB-01425 Minor-Extension of
Preliminary Plat
- TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP / WEINGARTEN REALTY INVESTORS request(s) the above action(s) for all or a portion of Parcels 1, 4 & 5, **WYOMING MALL**, zoned C-2, located on WYOMING BLVD NE, between MENAUL BLVD NE and NORTHEASTERN ST NE containing approximately 23 acre(s). [REF: 05EPC-00024, 05EPC-00025, 05DRB-01550, 05DRB-01551] (H-20) **A ONE YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
11. **Project # 1002632**
06DRB-01409 Major-Final Plat Approval
- TIERRA WEST LLC agent(s) for CAPITAL ALLIANCE INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 3-9, 12, 23 & 24, Block(s) 5, Tract(s) A & 5, **SUNDANCE ESTATES, UNIT 1** (to be known as **SUNDANCE ESTATES, UNIT 1-B**) zoned R-LT, located on LYON BLVD NW, between PARADISDE BLVD NW and UNSER NW containing approximately 11 acre(s). [REF: 03EPC-00690, 03DRB-01306, 04DRB-00760, 04DRB-00761, 04DRB-01761] [*Deferred from 10/11/06*] (B-11) **DEFERRED AT THE AGENT'S REQUEST TO 10/18/06.**

12. **Project # 1004354**
06DRB-01426 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for MONAHITI LLC request(s) the above action(s) for all or a portion of Lot(s) 22-26, Block(s) 9, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 for C-2, IP uses, located on 98TH ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 2 acre(s). [REF: 05DRB-01229, 05EPC-01234] (K-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/11/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: A SIGNED LETTER OF AGREEMENT WITH PROPERTY OWNERS TO THE EAST ON STREET PAVING IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project # 1005106**
06DRB-01423 Minor-Prelim&Final Plat
Approval

LORETTA NARANJO LOPEZ agent(s) for MARY LOU NARANJO request(s) the above action(s) for all or a portion of Lot(s) B, **SORIDA ADDITION, LANDS OF ARTHUR NARANJO**, zoned RA-2 residential and agricultural zone, located on DURANES RD NW, between LOS LUCERO RD NW and GUADALUPE TR NW containing approximately 2 acre(s). [REF: 06DRB-01251, 06DRB-01392] (H-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR WATER AND SEWER TAPPING PERMITS, WORK COMPLETE AND ACCEPTED AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

06DRB-01392 Minor-Sidewalk Waiver

LORETTA NARANJO LOPEZ agent(s) for MARY LOU NARANJO request(s) the above action(s) for all or a portion of Lot(s) B, **SORIDA ADDITION, LANDS OF ARTHUR NARANJO**, zoned RA-2 residential and agricultural zone, located on DURANES RD NW, between LOS LUCERO RD NW and GUADALUPE TR NW containing approximately 2 acre(s). [REF: 06DRB-01251] [*Deferred from 10/4/06*] (H-12) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED WITH CONDITION: THE WAIVER WILL NOT APPLY TO FUTURE PUBLIC OR S.A.D./P.I.D. PROJECTS.**

14. **Project # 1004607**
06DRB-01427 Major-Final Plat Approval

WILSON & CO agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Parcels 1, 2 & 3, Tract(s) 3 & 4, **VISTA VIEJA SUBDIVISION, UNIT 3 & 4**, zoned RD, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 78 acre(s). [REF: 05DRB-01904, 05DRB-01905] (D-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION AGREEMENT AND PLANNING FOR WALL DESIGN APPROVAL, AGIS DXF FILE AND TO RECORD.**

15. **Project # 1004994**
06DRB-01410 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for JD HOME BUILDER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) B-2-B-1, **PARADISE HEIGHTS, SEVILLE UNIT 7A**, zoned R-LT, located on Calle Meridan, NW between KAYENTA PL NW and NAVAJO DR NW containing approximately 2 acre(s). (A-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

16. **Project # 1002739**
06DRB-01431 Minor-Prelim&Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 17-32, **ANDERSON HEIGHTS, UNIT 5**, zoned RD/R-LT, located on 118TH ST SW, between DENNIS CHAVEZ SW and GIBSON BLVD SW containing approximately 2 acre(s). [REF: 05DRB-00681, 05DRB-00683, 05DRB-00684, 05DRB-00685, 05DRB-00686, 05DRB-00639] (N-8/P-8) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

16A. Project # 1004606
06DRB-01354 Major-Final Plat Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 11, THE TRAILS, UNIT 2 (to be known as **VALLE VISTA AT THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 12 acre(s). *[Deferred from 9/27/06 & 10/4/06]* (C-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. Project # 1005176
06DRB-01403 Minor-Sketch Plat or Plan

ALBUQUERQUE SURVEYING CO INC agent(s) for JOHN D HERRERA request(s) the above action(s) for all or a portion of Lot(s) 2-A (to be known as **HERRERA REDIVISION**) zoned R-D residential and related uses zone, developing area, located on 90TH ST NW, between SAN YGNACIO NW and SAGE NW containing approximately 2 acre(s). (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

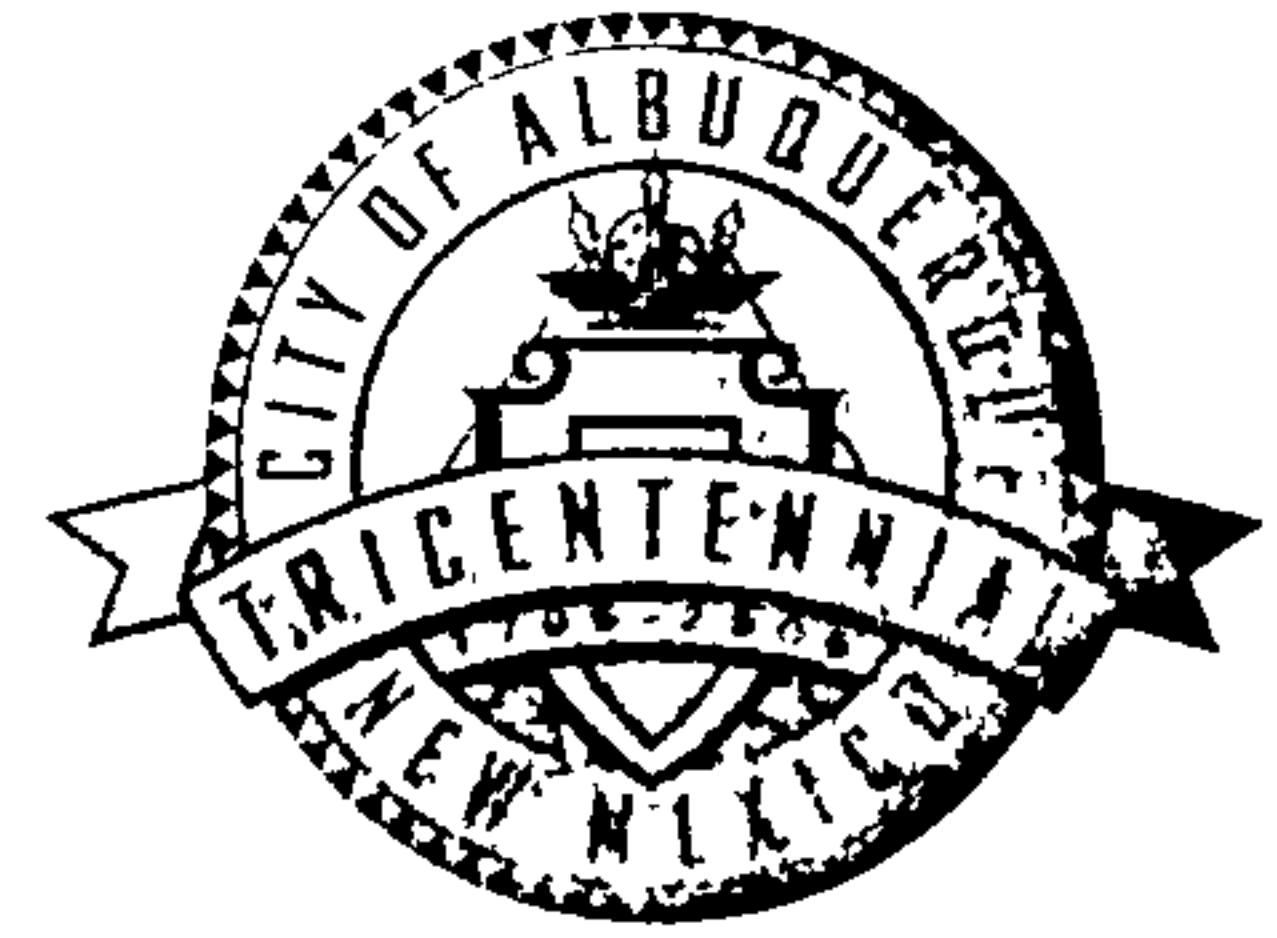
18. Project # 1005182
06DRB-01428 Minor-Sketch Plat or Plan

WILSON & COMPANY agent(s) for LA CUENTISTA II LLC, MICHAEL KNIGHT request(s) the above action(s) for all or a portion of Tract(s) C, **LA CUENTISTA SUBDIVISION, UNIT 2**, zoned R-1, located on ROSA PARKS RD NW and ALOE RD NW and containing approximately 35 acre(s). (C-10, C-11, D-10, D-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Approval of the Development Review Board Minutes for October 4, 2006. DRB MINUTES WERE APPROVED BY THE BOARD.

ADJOURNED: 11: 15 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002176

AGENDA ITEM NO: 9

SUBJECT:

Final Plat
Subdivision Design (DPM) Variance

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED X ^{Jav}; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: OCTOBER 11, 2006



9
1002176
10-11-2006

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
October 11, 2006
DRB Comments**

ITEM # 9

PROJECT # 1002176

APPLICATION # 06-1420/ 06-01421

RE: Tract A, Covered Wagon Subdivision/fp,sdv

Has anything changed from preliminary plat?

AGIS dxf is not approved.

Planning has no objection to the subdivision design variance.

Planning will take delegation for the AGIS dxf approval, and also to record the plat.

The wall design is approved.



Andrew Garcia, Planning Alternate

924-3858 Fax 924-3864 agarcia@cabq.gov



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, January 2, 2008, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1002176

07DRB-70423 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

MOUNTAIN WEST DEVELOPMENT CO. LLC request(s) the above action(s) for all or a portion of **COVERED WAGON**, zoned SU-1/RESIDENTIAL, located on the south side of CENTRAL AVE SE BETWEEN FOUR HILLS RD SE AND WATERFALL SE containing approximately 5.55 acre(s).

Project# 1004546

07DRB-70416 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

SOUTH COORS L.P. request(s) the above action(s) for all or a portion of Lot(s) A-1A-3A & A-1A-3B, **HUBBELL PLAZA**, zoned C-2, located on the northeast corner of CENTRAL AVE NW AND AIRPORT RD NW containing approximately 3.37 acre(s). (K-10-Z)

Project# 1004353

07DRB-70431 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
07DRB-70432 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
07DRB-70433 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC. agent(s) for LONGFORD AT THE TRAILS, LLC request(s) the above action(s) for all or a portion of **SANTA FE 2 AT THE TRAILS UNIT 2**, zoned SU-2/RD, located on the northwest corner of OAKRIDGE ST NW BETWEEN TREELINE AVENUE NW AND WOODMONT AVENUE NW containing approximately 17 acre(s). (C-9)

Project# 1004606

07DRB-70430 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **VALLE VISTA AT THE TRAILS UNIT 2**, zoned SU-2/SRLL, located on the southwest corner of WOODMONT AVE NW AND RAINBOW BLVD NW containing approximately 11.73 acre(s). (C-9)

Project# 1005029

07DRB-70426 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70427 VACATION OF PUBLIC
EASEMENT
07DRB-70428 SUBDN DESIGN VARIANCE
FROM MIN DPM STDS
07DRB-70429 MINOR - TEMP DEFR SWDK
CONST

ADVANCED ENGINEERING AND CONSULTING agent(s) for SUNCAL NEW MEXICO INC. request(s) the above action(s) for all or a portion of Tract(s) B & J **THE CROSSING**, and Tract R, **STORMCLOUD SUBDIVISION**, zoned SU-2 FOR R-LT, located on the south side of TIERRA PINTADA BLVD NW BETWEEN CALLE AZUELO NW AND ARKANSAS RD NW containing approximately 4.05 acre(s). (H-9-Z)

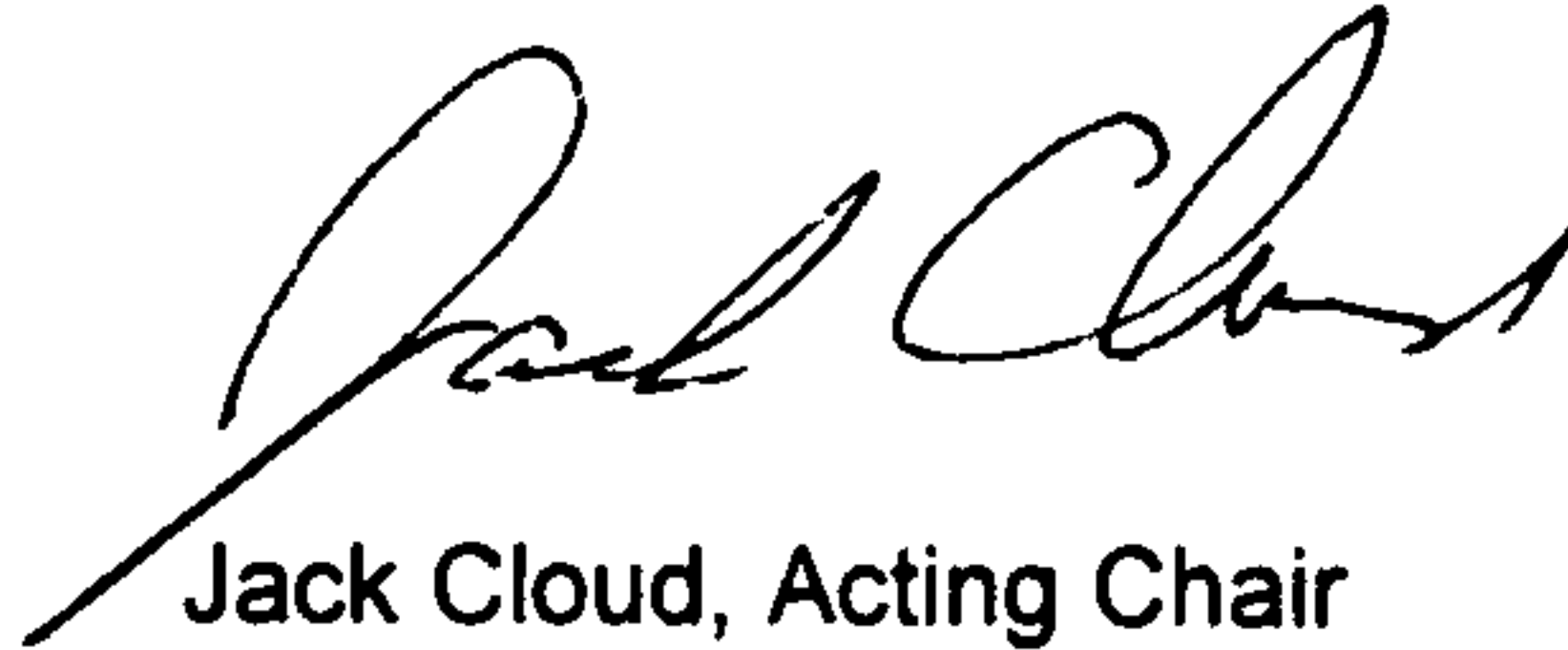
Project# 1006964
07DRB-70417 VACATION OF PUBLIC
RIGHT-OF-WAY

SANTOSH MODY agent(s) for BHARAT AND CHAMPA MODY request(s) the above action(s) for all of the east-west alley between Lot(s) 1- 5, **GILLET ADDITION**, zoned C-2 and Lot(s) 2-8 Block 1 **EVANS ADDITION**, zoned C-3, located south of CENTRAL AVE SE BETWEEN SAN MATEO AVE SE AND MADERIA DR SE. (K-18)

Project# 1006967
07DRB-70422 VACATION OF PUBLIC
RIGHT-OF-WAY

DAC ENTERPRISES, INC agent(s) for FAIZEL KASSAM request(s) the above action(s) for a portion of Modesto Ave NE adjacent to Lot(s) 8-10, Block(s) 26, **NORTH ALBUQUERQUE ACRES TRACT 1, UNIT B**, located on the south side of MODESTO NE BETWEEN SAN PEDRO NE AND LOUISIANA NE (C-18)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.



Jack Cloud, Acting Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, DECEMBER 17, 2007.

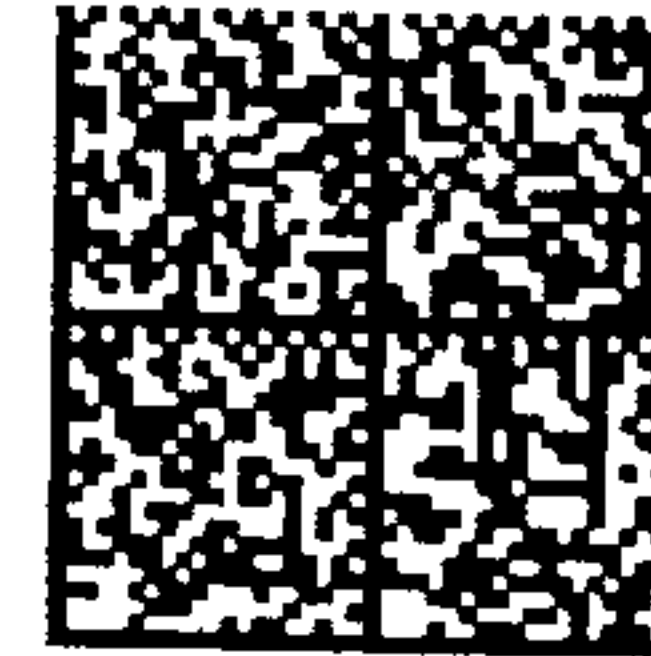
CITY OF ALBUQUERQUE



Planning Department

Or Current Resident

GONZALES WILLIAM L & MARY
AMELIA
13637 KEESHA JO AVE SE
ALBUQUERQUE, NM 87123



02 1M \$ 00.41⁰
0004219022 DEC 17 2007
MAILED FROM ZIP CODE 87102

DRB

NIXIE 871 CE 1 70 12/20/07

RETURN TO SENDER
VACANT
UNABLE TO FORWARD

BC: 87103129393 *0268-03506-17-36

8712387103129393



P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, January 2, 2008, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1002176

07DRB-70423 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

MOUNTAIN WEST DEVELOPMENT CO. LLC request(s) the above action(s) for all or a portion of **COVERED WAGON**, zoned SU-1/RESIDENTIAL, located on the south side of CENTRAL AVE SE BETWEEN FOUR HILLS RD SE AND WATERFALL SE containing approximately 5.55 acre(s).

Project# 1004546

07DRB-70416 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

SOUTH COORS L.P. request(s) the above action(s) for all or a portion of Lot(s) A-1A-3A & A-1A-3B, **HUBBELL PLAZA**, zoned C-2, located on the northeast corner of CENTRAL AVE NW AND AIRPORT RD NW containing approximately 3.37 acre(s). (K-10-Z)

Project# 1004353

07DRB-70431 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
07DRB-70432 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
07DRB-70433 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC. agent(s) for LONGFORD AT THE TRAILS, LLC request(s) the above action(s) for all or a portion of **SANTA FE 2 AT THE TRAILS UNIT 2**, zoned SU-2/RD, located on the northwest corner of OAKRIDGE ST NW BETWEEN TREELINE AVENUE NW AND WOODMONT AVENUE NW containing approximately 17 acre(s). (C-9)

Project# 1004606

07DRB-70430 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **VALLE VISTA AT THE TRAILS UNIT 2**, zoned SU-2/SRLL, located on the southwest corner of WOODMONT AVE NW AND RAINBOW BLVD NW containing approximately 11.73 acre(s). (C-9)

Project# 1005029

07DRB-70426 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70427 VACATION OF PUBLIC
EASEMENT
07DRB-70428 SUBDN DESIGN VARIANCE
FROM MIN DPM STDS
07DRB-70429 MINOR - TEMP DEFR SWDK
CONST

ADVANCED ENGINEERING AND CONSULTING agent(s) for SUNCAL NEW MEXICO INC. request(s) the above action(s) for all or a portion of Tract(s) B & J **THE CROSSING**, and Tract R, **STORMCLOUD SUBDIVISION**, zoned SU-2 FOR R-LT, located on the south side of TIERRA PINTADA BLVD NW BETWEEN CALLE AZUELO NW AND ARKANSAS RD NW containing approximately 4.05 acre(s). (H-9-Z)

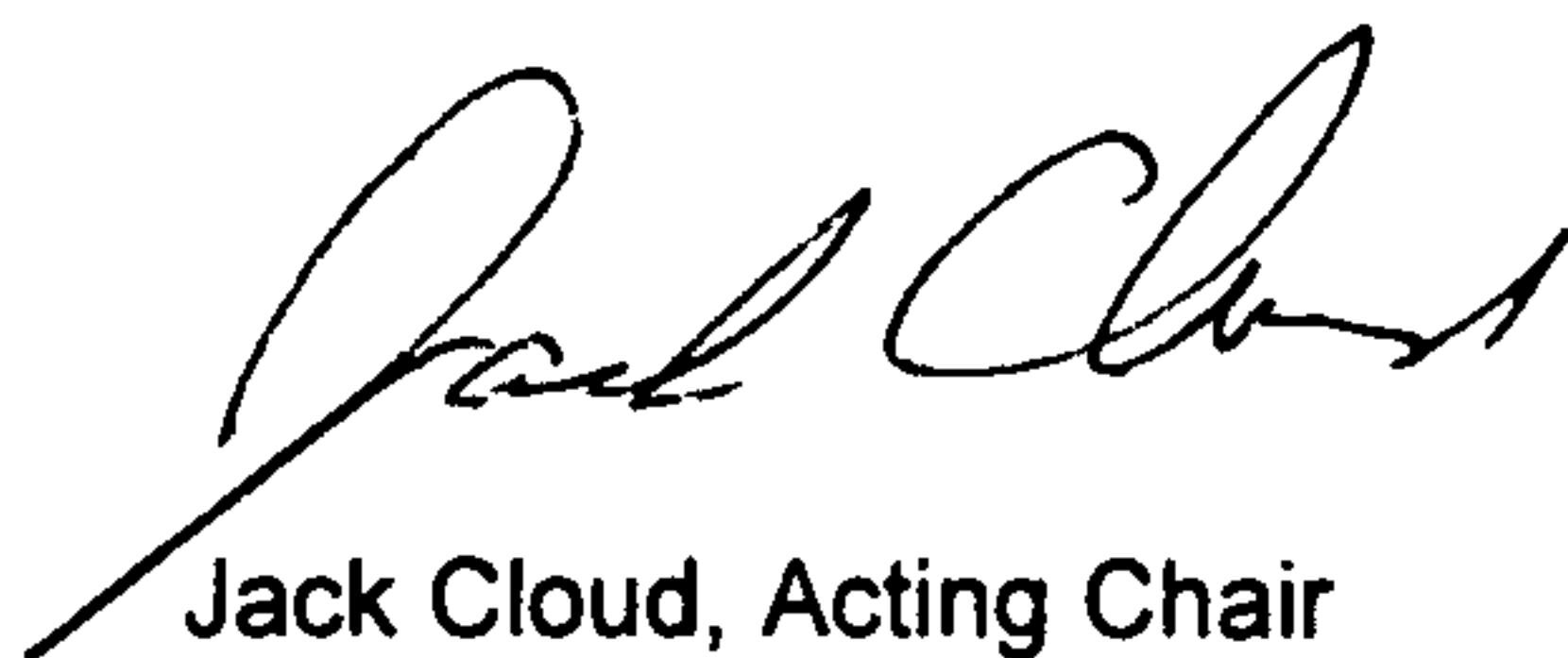
Project# 1006964
07DRB-70417 VACATION OF PUBLIC
RIGHT-OF-WAY

SANTOSH MODY agent(s) for BHARAT AND CHAMPA MODY request(s) the above action(s) for all of the east-west alley between Lot(s) 1- 5, **GILLET ADDITION**, zoned C-2 and Lot(s) 2-8 Block 1 **EVANS ADDITION**, zoned C-3, located south of CENTRAL AVE SE BETWEEN SAN MATEO AVE SE AND MADERIA DR SE. (K-18)

Project# 1006967
07DRB-70422 VACATION OF PUBLIC
RIGHT-OF-WAY

DAC ENTERPRISES, INC agent(s) for FAIZEL KASSAM request(s) the above action(s) for a portion of Modesto Ave NE adjacent to Lot(s) 8-10, Block(s) 26, **NORTH ALBUQUERQUE ACRES TRACT 1, UNIT B**, located on the south side of MODESTO NE BETWEEN SAN PEDRO NE AND LOUISIANA NE (C-18)

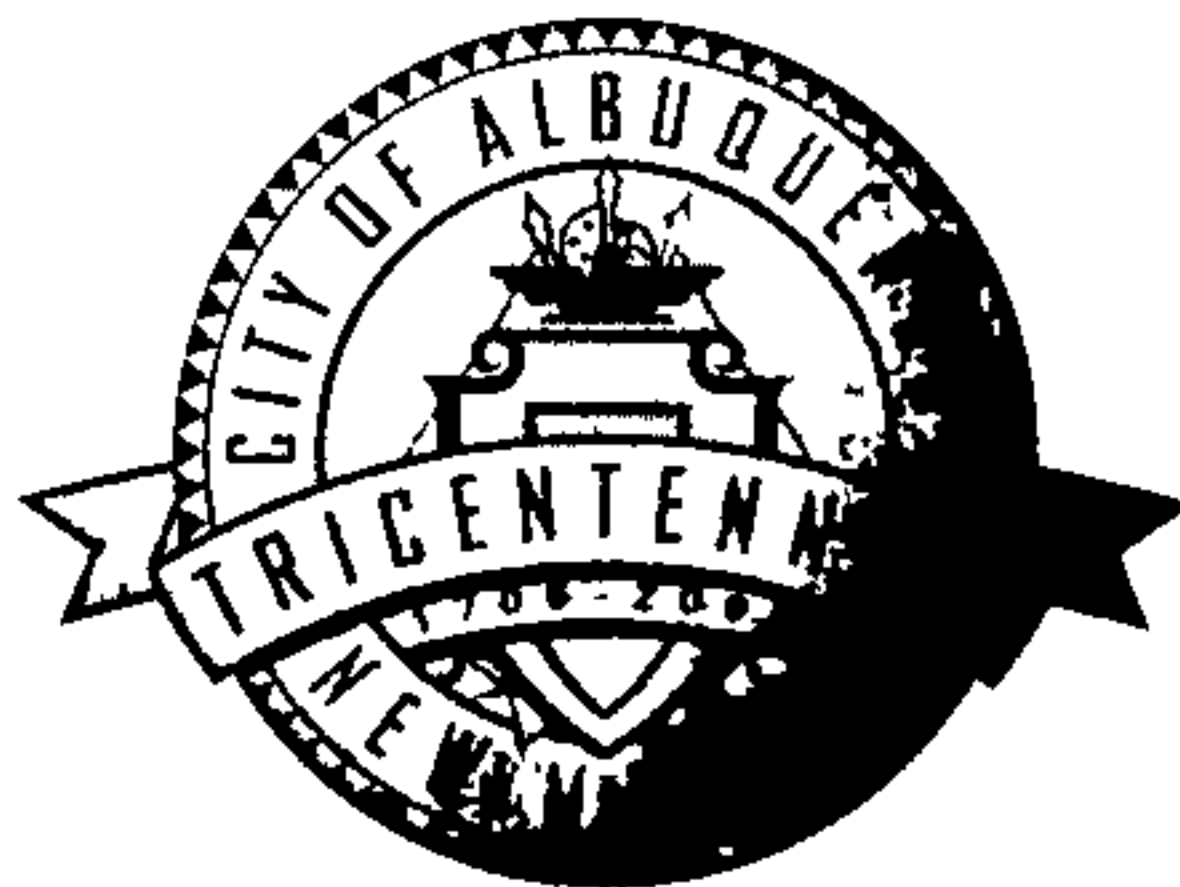
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Jack Cloud, Acting Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, DECEMBER 17, 2007.

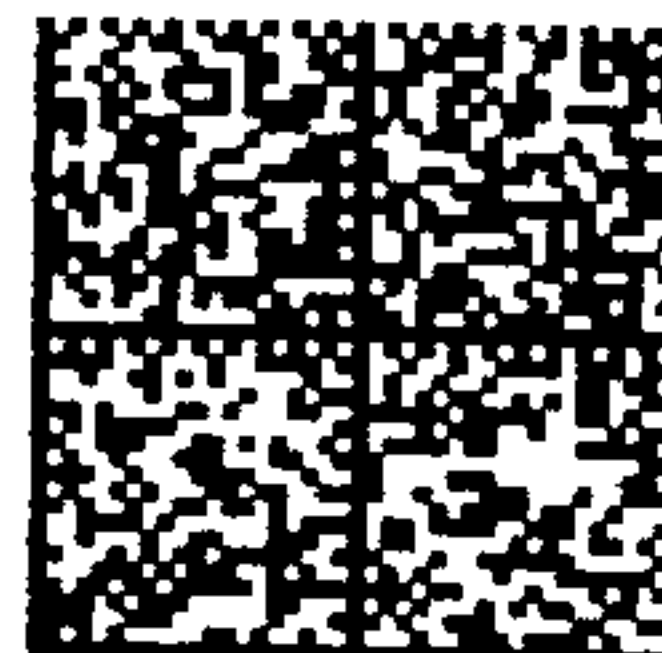
CITY OF ALBUQUERQUE



Planning Department

DRB

Or Current Resident
WARNER JAMIE C & CRAIG M
13631 SHAFFER CT SE
ALBUQUERQUE, NM 87123



02 1M \$ 00.41⁰
0004219022 DEC 17 2007
MAILED FROM ZIP CODE 8710

NIXIE 871 CE 1 70 12/20/07

RETURN TO SENDER
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UNABLE TO FORWARD

BC: 87103129393 *0268-03497-17-36

871238710312930



P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, January 2, 2008**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 10021767

07DRB-70423 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

MOUNTAIN WEST DEVELOPMENT CO. LLC request(s) the above action(s) for all or a portion of **COVERED WAGON**, zoned SU-1/RESIDENTIAL, located on the south side of CENTRAL AVE SE BETWEEN FOUR HILLS RD SE AND WATERFALL SE containing approximately 5.55 acre(s).

Project# 1004546

07DRB-70416 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

SOUTH COORS L.P. request(s) the above action(s) for all or a portion of Lot(s) A-1A-3A & A-1A-3B, **HUBBELL PLAZA**, zoned C-2, located on the northeast corner of CENTRAL AVE NW AND AIRPORT RD NW containing approximately 3.37 acre(s). (K-10-Z)

Project# 1004353

07DRB-70431 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
07DRB-70432 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
07DRB-70433 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC. agent(s) for LONGFORD AT THE TRAILS, LLC request(s) the above action(s) for all or a portion of **SANTA FE 2 AT THE TRAILS UNIT 2**, zoned SU-2/RD, located on the northwest corner of OAKRIDGE ST NW BETWEEN TREELINE AVENUE NW AND WOODMONT AVENUE NW containing approximately 17 acre(s). (C-9)

Project# 1004606

07DRB-70430 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **VALLE VISTA AT THE TRAILS UNIT 2**, zoned SU-2/SRLL, located on the southwest corner of WOODMONT AVE NW AND RAINBOW BLVD NW containing approximately 11.73 acre(s). (C-9)

Project# 1005029

07DRB-70426 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70427 VACATION OF PUBLIC
EASEMENT
07DRB-70428 SUBDN DESIGN VARIANCE
FROM MIN DPM STDS
07DRB-70429 MINOR - TEMP DEFR SWDK
CONST

ADVANCED ENGINEERING AND CONSULTING agent(s) for SUNCAL NEW MEXICO INC. request(s) the above action(s) for all or a portion of Tract(s) B & J **THE CROSSING**, and Tract R, **STORMCLOUD SUBDIVISION**, zoned SU-2 FOR R-LT, located on the south side of TIERRA PINTADA BLVD NW BETWEEN CALLE AZUELO NW AND ARKANSAS RD NW containing approximately 4.05 acre(s). (H-9-Z)

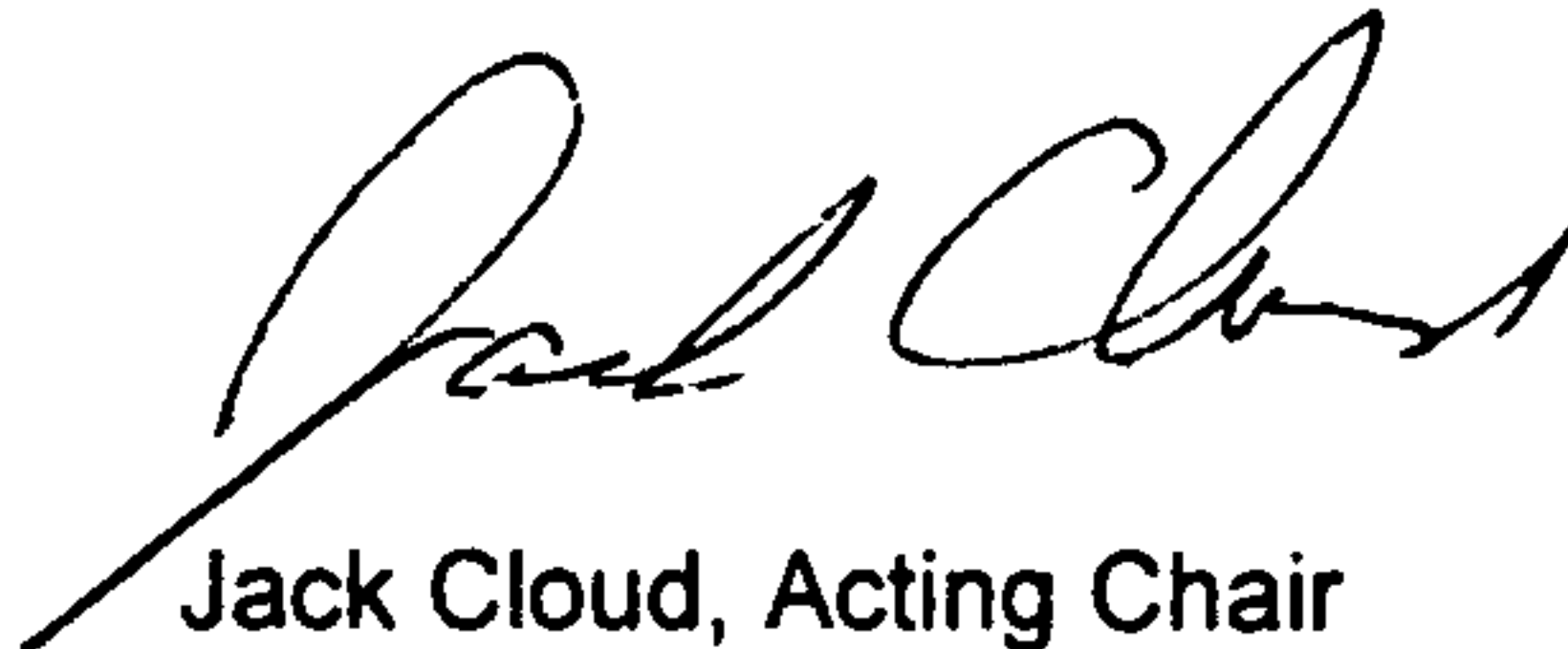
Project# 1006964
07DRB-70417 VACATION OF PUBLIC
RIGHT-OF-WAY

SANTOSH MODY agent(s) for BHARAT AND CHAMPA MODY request(s) the above action(s) for all of the east-west alley between Lot(s) 1- 5, **GILLET ADDITION**, zoned C-2 and Lot(s) 2-8 Block 1 **EVANS ADDITION**, zoned C-3, located south of CENTRAL AVE SE BETWEEN SAN MATEO AVE SE AND MADERIA DR SE. (K-18)

Project# 1006967
07DRB-70422 VACATION OF PUBLIC
RIGHT-OF-WAY

DAC ENTERPRISES, INC agent(s) for FAIZEL KASSAM request(s) the above action(s) for a portion of Modesto Ave NE adjacent to Lot(s) 8-10, Block(s) 26, **NORTH ALBUQUERQUE ACRES TRACT 1, UNIT B**, located on the south side of MODESTO NE BETWEEN SAN PEDRO NE AND LOUISIANA NE (C-18)

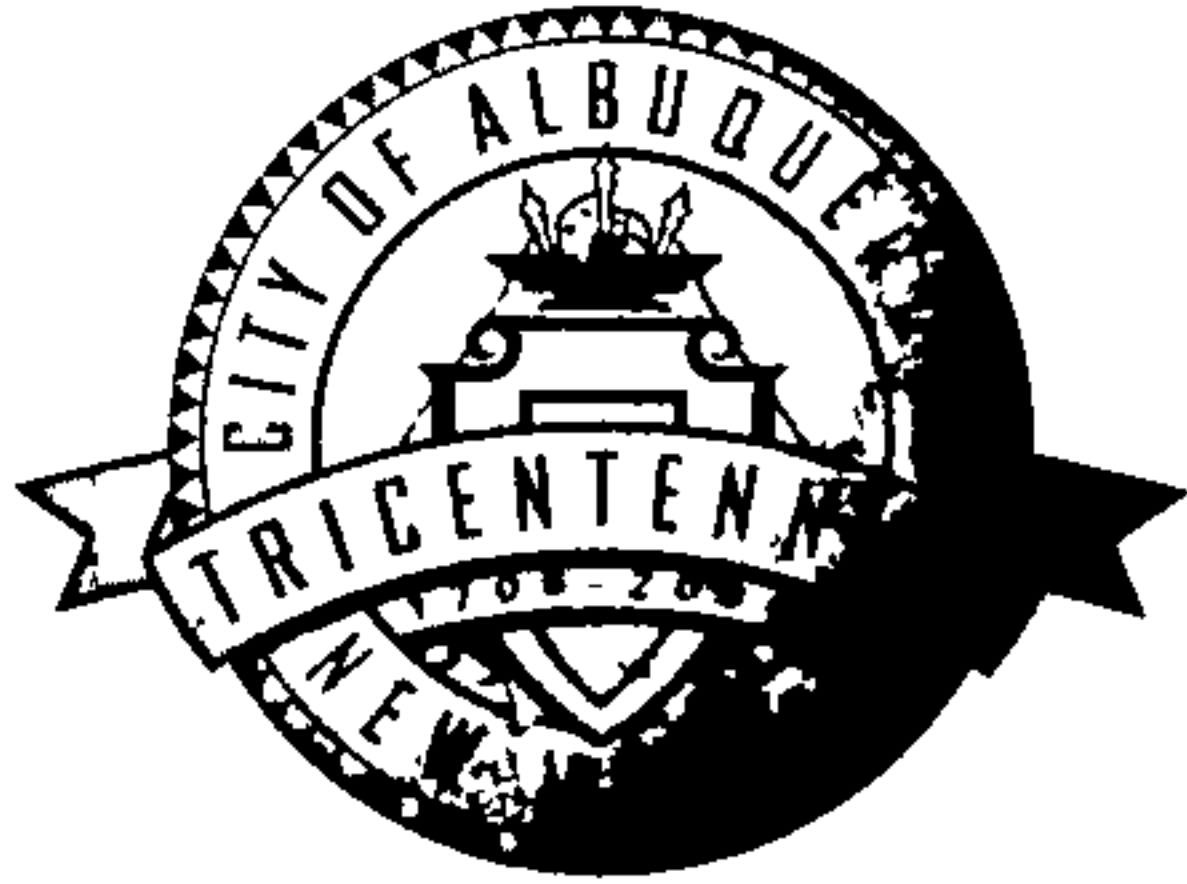
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Jack Cloud, Acting Chair
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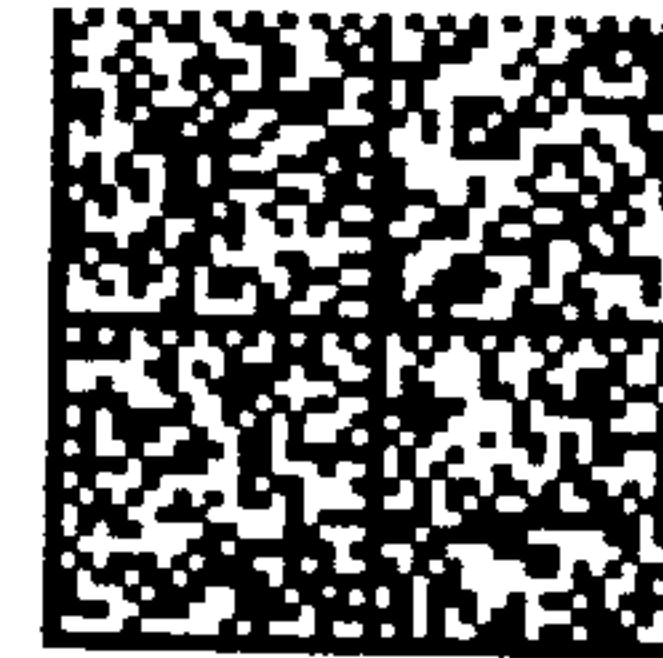
CITY OF ALBUQUERQUE



Planning Department

DRB

Or Current Resident
TAYLOR MELANIE C
13601 SHAFFER CT SE
ALBUQUERQUE, NM 87123



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0004219022 DEC 17 2007
MAILED FROM ZIP CODE 8710

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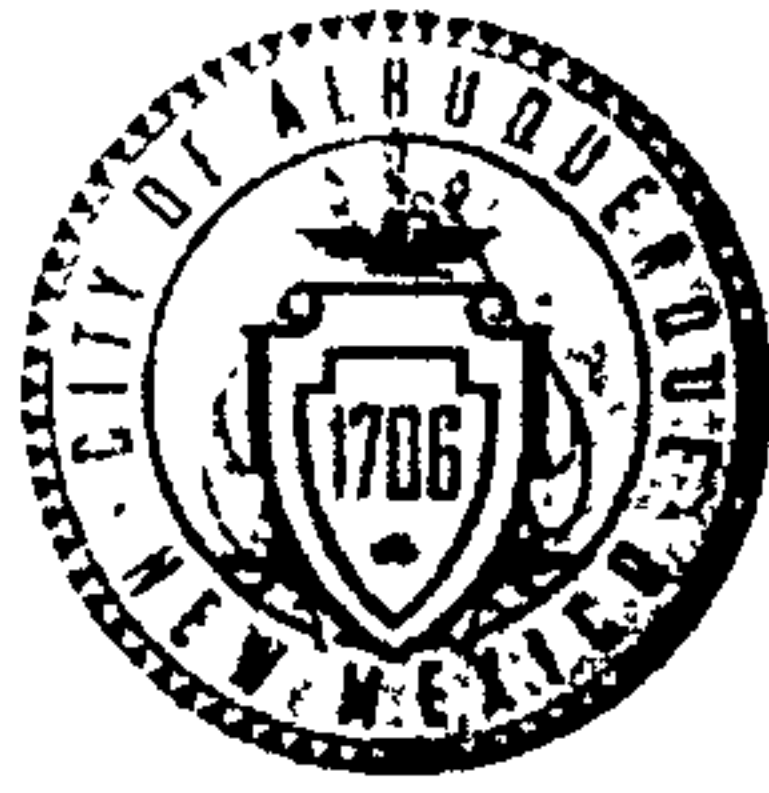
RETURN TO SENDER
VACANT
UNABLE TO FORWARD

BC: 87103129393 *0268-03484-17-36

8712384153 8710301293



P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, January 2, 2008**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 1002176

07DRB-70423 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

MOUNTAIN WEST DEVELOPMENT CO. LLC request(s) the above action(s) for all or a portion of **COVERED WAGON**, zoned SU-1/RESIDENTIAL, located on the south side of **CENTRAL AVE SE BETWEEN FOUR HILLS RD SE AND WATERFALL SE** containing approximately 5.55 acre(s).

Project# 1004546

07DRB-70416 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

SOUTH COORS L.P. request(s) the above action(s) for all or a portion of Lot(s) A-1A-3A & A-1A-3B, **HUBBELL PLAZA**, zoned C-2, located on the northeast corner of **CENTRAL AVE NW AND AIRPORT RD NW** containing approximately 3.37 acre(s). (K-10-Z)

Project# 1004353

07DRB-70431 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
07DRB-70432 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
07DRB-70433 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC. agent(s) for **LONGFORD AT THE TRAILS, LLC** request(s) the above action(s) for all or a portion of **SANTA FE 2 AT THE TRAILS UNIT 2**, zoned SU-2/RD, located on the northwest corner of **OAKRIDGE ST NW BETWEEN TREELINE AVENUE NW AND WOODMONT AVENUE NW** containing approximately 17 acre(s). (C-9)

Project# 1004606

07DRB-70430 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

BOHANNAN HUSTON INC agent(s) for **THE TRAILS, LLC** request(s) the above action(s) for all or a portion of **VALLE VISTA AT THE TRAILS UNIT 2**, zoned SU-2/SRLL, located on the southwest corner of **WOODMONT AVE NW AND RAINBOW BLVD NW** containing approximately 11.73 acre(s). (C-9)

Project# 1005029

07DRB-70426 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70427 VACATION OF PUBLIC
EASEMENT
07DRB-70428 SUBDN DESIGN VARIANCE
FROM MIN DPM STDS
07DRB-70429 MINOR - TEMP DEFR SWDK
CONST

ADVANCED ENGINEERING AND CONSULTING agent(s) for **SUNCAL NEW MEXICO INC.** request(s) the above action(s) for all or a portion of Tract(s) **B & J THE CROSSING**, and Tract **R, STORMCLOUD SUBDIVISION**, zoned SU-2 FOR R-LT, located on the south side of **TIERRA PINTADA BLVD NW BETWEEN CALLE AZUELO NW AND ARKANSAS RD NW** containing approximately 4.05 acre(s). (H-9-Z)

Project# 1006964
07DRB-70417 VACATION OF PUBLIC
RIGHT-OF-WAY

SANTOSH MODY agent(s) for BHARAT AND CHAMPA MODY request(s) the above action(s) for all of the east-west alley between Lot(s) 1- 5, **GILLET ADDITION**, zoned C-2 and Lot(s) 2-8 Block 1 **EVANS ADDITION**, zoned C-3, located south of **CENTRAL AVE SE BETWEEN SAN MATEO AVE SE AND MADERIA DR SE. (K-18)**

Project# 1006967
07DRB-70422 VACATION OF PUBLIC
RIGHT-OF-WAY

DAC ENTERPRISES, INC agent(s) for FAIZEL KASSAM request(s) the above action(s) for a portion of Modesto Ave NE adjacent to Lot(s) 8-10, Block(s) 26, **NORTH ALBUQUERQUE ACRES TRACT 1, UNIT B**, located on the south side of **MODESTO NE BETWEEN SAN PEDRO NE AND LOUISIANA NE (C-18)**

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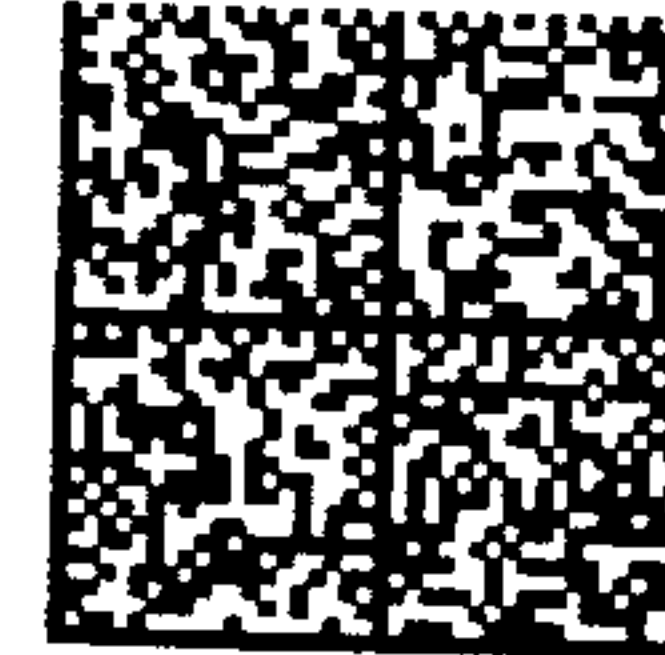
CITY OF ALBUQUERQUE



Planning Department

Or Current Resident
INDUS DEVELOPMENT LTD CO
8224 CALLE PRIMERA NW
ALBUQUERQUE, NM 87120

DRB



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0004219022 DEC 17 2007
MAILED FROM ZIP CODE 8710

NIXIE 871 CE 1 70 12/20/07

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 87103129393 *0268-03258-17-36

8712087103015952



P O Box 1293 Albuquerque, New Mexico 87103

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

12/05/2007 Issued By: PLNSDH

Permit Number: 2007 070 423 **Category Code 910**

Application Number: 07DRB-70423, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: CENTRAL SE BETWEEN FOUR HILLS RD SE AND WATERFALL SE

Project Number: 1002176

Applicant
Mountain West Development Co Llc

Agent / Contact
Mountain West Development Co Llc

Po Box 66449
Albuquerque NM 87193
730-8849

Po Box 66449
Albuquerque NM 87193
730-8849

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$145.00

City Of Albuquerque
Treasury Division

12/5/2007 8:49AM LOC: ANX
 WSH 006 TRANS# 0003
 RECEIPT# 00085277-00085277
 PERMIT# 2007070423 TRSCDS
 Trans Amt \$145.00
 APN Fee \$75.00
 Conflict Manag. Fee \$20.00
 DRB Actions \$50.00
 CR \$145.00
 CHANGE

City of **Albuquerque**



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- ___ Major Subdivision action
- ___ Minor Subdivision action
- ___ Vacation
- ___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ___ for Subdivision
- ___ for Building Permit
- ___ Administrative Amendment (AA)
- ___ IP Master Development Plan
- ___ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ___ Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- ___ Annexation.
- ___ County Submittal
- ___ EPC Submittal
- ___ Zone Map Amendment (Establish or Change Zoning)
- ___ Sector Plan (Phase I, II, III)
- ___ Amendment to Sector, Area, Facility or Comprehensive Plan
- ___ Text Amendment (Zoning Code/Sub Regs)
- ___ Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
 - ___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): "Applicant" PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: Mountain West Development Co. LLC PHONE: 505-730-8849
 ADDRESS: P.O. Box 66449 FAX: 505-899-3918
 CITY: ALBUQUERQUE STATE NM ZIP 87193 E-MAIL: bwade70@comcast.net
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: _____

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. X No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. ATTACHED PLAT & LEGAL Block: _____ Unit: _____
 Subdiv/Addn/TBKA: COVERED WAGON
 Existing Zoning: SU-1 Residential Proposed zoning: N/A MRGCD Map No. _____
 Zone Atlas page(s): L-272 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): SIA Procedure
B Project #750781 ; 1002176 ; 1005466

CASE INFORMATION:

Within city limits? X Yes Within 1000FT of a landfill? NO
 No. of existing lots: _____ No. of proposed lots: _____ Total area of site (acres): _____
 LOCATION OF PROPERTY BY STREETS: On or Near: CENTRAL SE
 Between: FOUR HILLS ROAD SE and WATERFALL SE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE: Mountain West Development Co. LLC By Bill Wade DATE 12/3/07
 (Print) MOUNTAIN WEST DEVELOPMENT CO. LLC BILL WADE Applicant: X Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>OTDRB - 70423</u>	<u>SIA</u>	<u>5(2)</u>	<u>\$ 50.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>01/02/08</u>			Total <u>\$ 145.00</u>

Sandy Handley 12/05/07 Project # 1002176
 Planner signature/ date

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Mountain West Development Co LLC
 Bill Wade
 Applicant name (print)
Bill Wade 12/3/07
 Applicant signature / date



Form revised October 2007

Sandy Handley 12/03/07
 Planning signature / date
 Project # 1002176

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07DRB-10423

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from DEC. 18, 2007 To JAN. 2, 2008

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Brynn
(Applicant or Agent)

12/3/07
(Date)

I issued 3 signs for this application,

12/05/07
(Date)

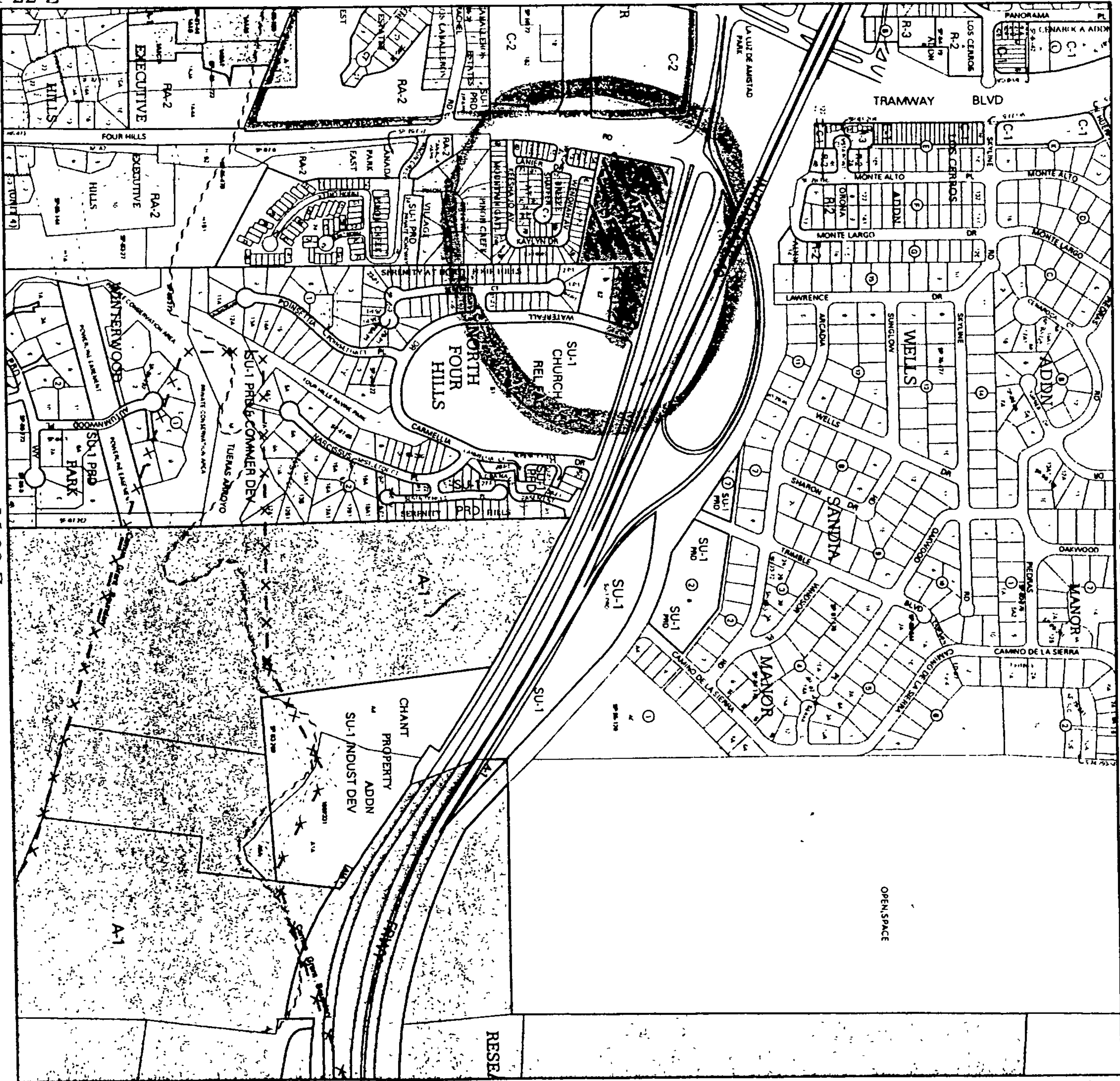
Sandy Handley
(Staff Member)

DRB PROJECT NUMBER: 1002176

M-22-Z

L-22-Z

K-22-Z



K-23-Z

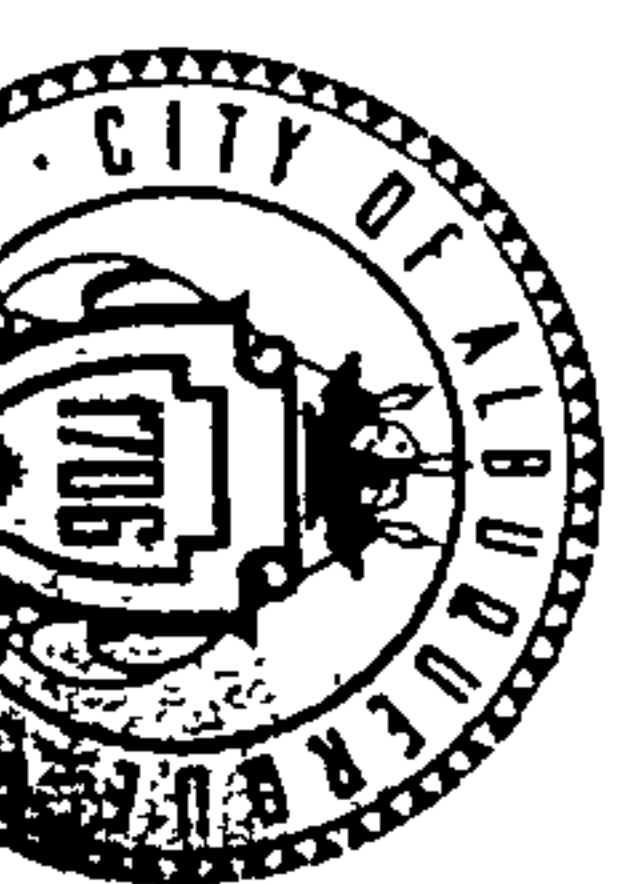
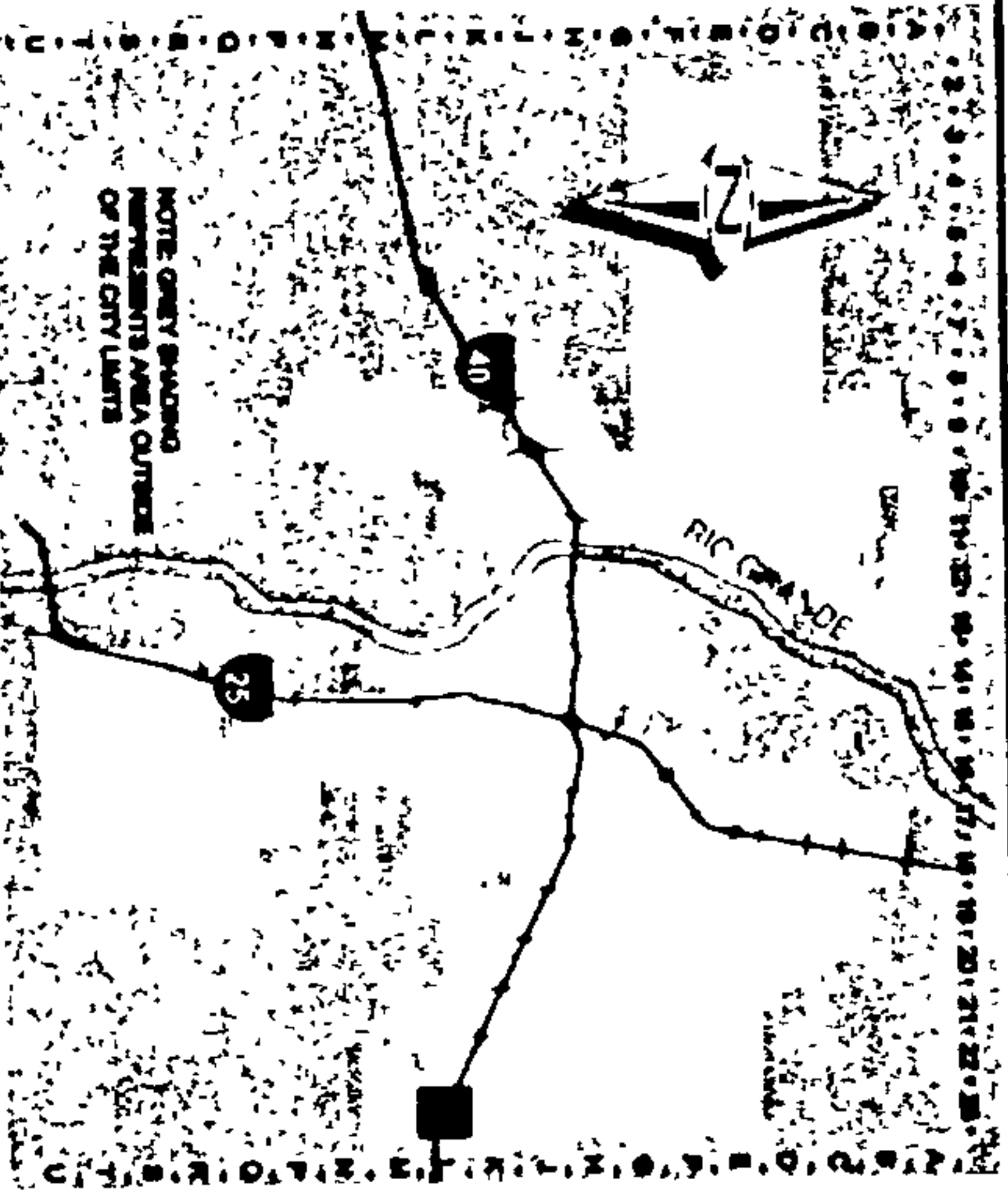
K-24-Z

L-24-Z

M-24-Z

Zone Atlas Page: **L-23-Z**
 Map amended through: Aug 06, 2004
 Selected Symbols

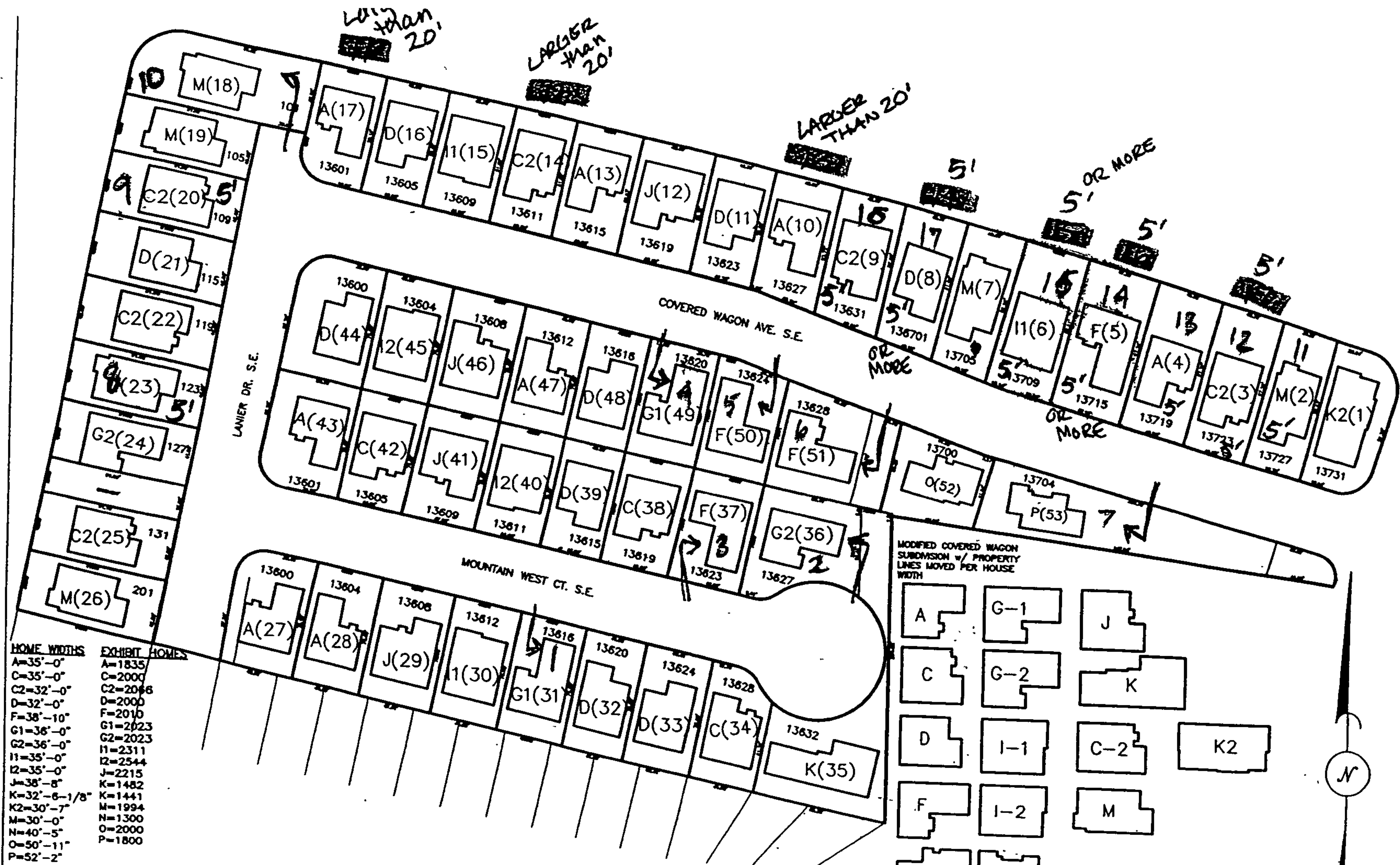
- Unincorporated Area X — Grant Boundaries
- Sector Plan Boundaries () Petroglyph
- Parcel Boundaries — H-1 Buffer Zone
- Easement Lines — Arroyos
- Freeway Lanes — LDN Noise Level
- Jurisdictional Boundaries + Airport Clearance Zone
- Westgate Wall • • Design Overlay Zones
- Escarpment



THREE HUNDRED YEARS
 1706 - 2006
ALBUQUERQUE

Albuquerque Historia

PLANNING DEPARTMENT
 © Copyright 2004



HOME WIDTHS	EXHIBIT	HOME #
A=35'-0"	A	1835
C=35'-0"	C	2000
C2=32'-0"	C2	2046
D=32'-0"	D	2000
F=38'-10"	F	2010
G1=36'-0"	G1	2023
G2=36'-0"	G2	2023
I1=35'-0"	I1	2311
I2=35'-0"	I2	2544
J=38'-8"	J	2215
K=32'-6-1/8"	K	1441
K2=30'-7"	K2	1994
M=30'-0"	M	1300
N=40'-5"	N	2000
O=50'-11"	O	1800
P=52'-2"	P	

PLAT OF COVERED WAGON SUBDIVISION
 MOUNTAIN WEST DEVELOPMENT
 P.O. BOX 66449
 ALBUQUERQUE, NM 87193-6449

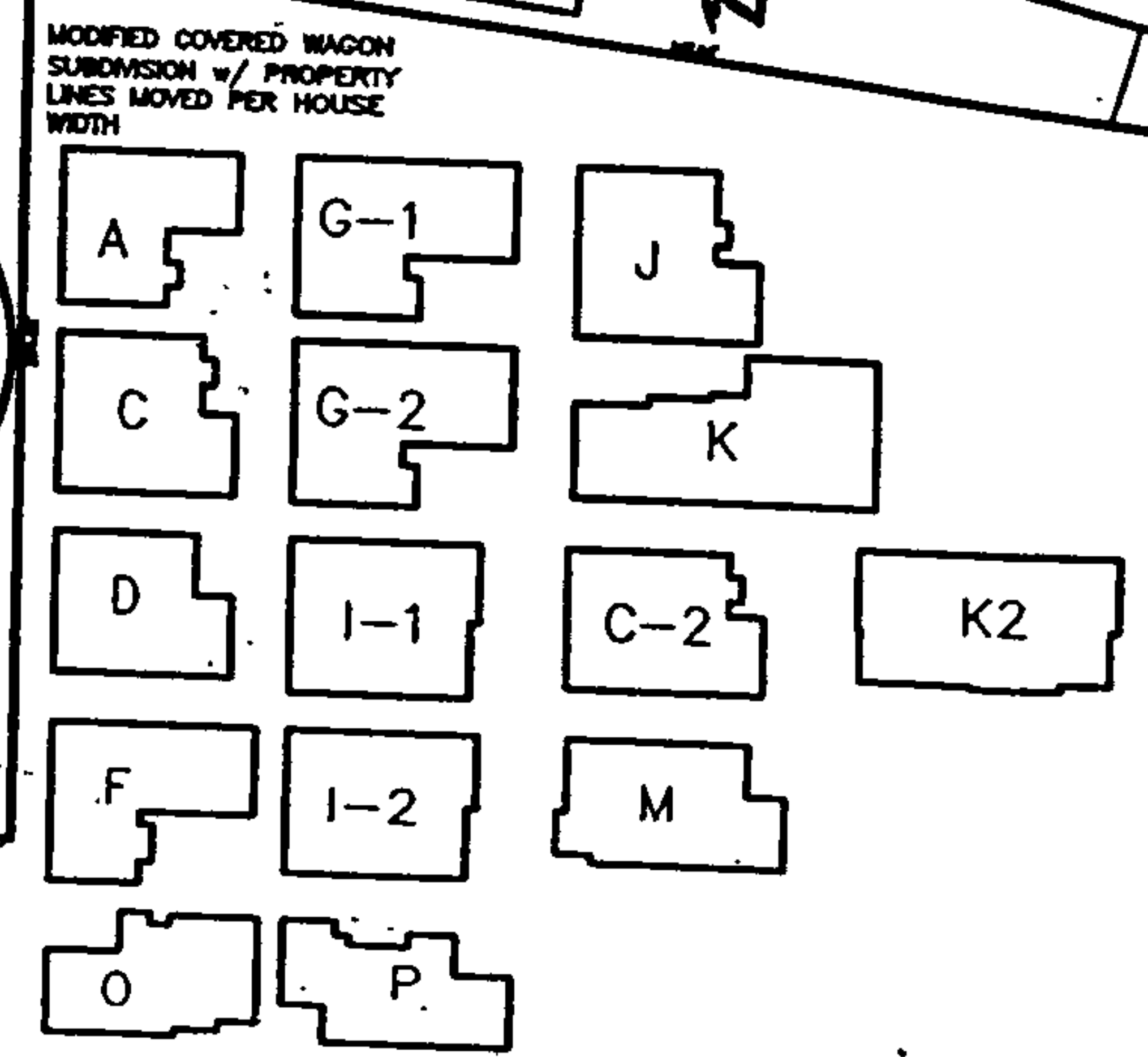


Figure 12
Subdivision Improvements
Agreement-Public And/Or Private
(Procedure B)

LEGAL DESCRIPTION

A certain tract of unplatted land situate within the Southwest quarter (SW/4) of the Northwest quarter (NW/4) of Section 26, Township 10 North, Range 4 East, NMPM Bernalillo County, New Mexico TOGETHER WITH Tract lettered E-1 NORTH FOUR HILLS SUBDIVISION, as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 19, 1990 in Volume 90C, Folio 78 and being more particularly described as follows:

BEGINNING at the Northwest corner of said tract, being the point of intersection of the Southerly right-of-way of New Mexico State Highway 333 (I-40 Frontage Road) and the East right-of-way of Four Hills Road S.E. whence the ACS Control Station 8-L22 bears N 69° 44' 29" W, 810.45 feet distant; thence from said point of beginning running along the South right-of-way of New Mexico State Highway 333 along a curve to the right having a central angle of 6° 31' 45", with a radius of 7465.00 feet, a distance of 850.67 feet (chord bearing S 77° 14' 33" E, 850.21 feet) to a point of compound curvature to the right having a central angle of 90° 46' 43", with a radius of 25.00 feet, a distance of 39.61 feet (chord bearing S 28° 35' 19" E, 35.59 feet) to the intersection of the right-of-way of Waterfall Drive S.E.; thence S 16° 48' 02" W, along said West right-of-way 134.06 feet; thence leaving said right-of-way N 82° 55' 21" W, 304.04 feet; thence S 00° 00' 10" W, 204.82 feet to the Southeast corner; thence N 78° 19' 12" W, 594.19 feet to the Southwest corner; being a point on the East right-of-way of Four Hills Road S.E.; thence N 10° 55' 19" E, along said East right-of-way 401.68 feet to the point of beginning and containing 6.5508 acres, more or less.

Mountain West Development

P.O. Box 66449

Albuquerque NM, 87193

Ph: 505-323-0250 Fx: 505-323-0249

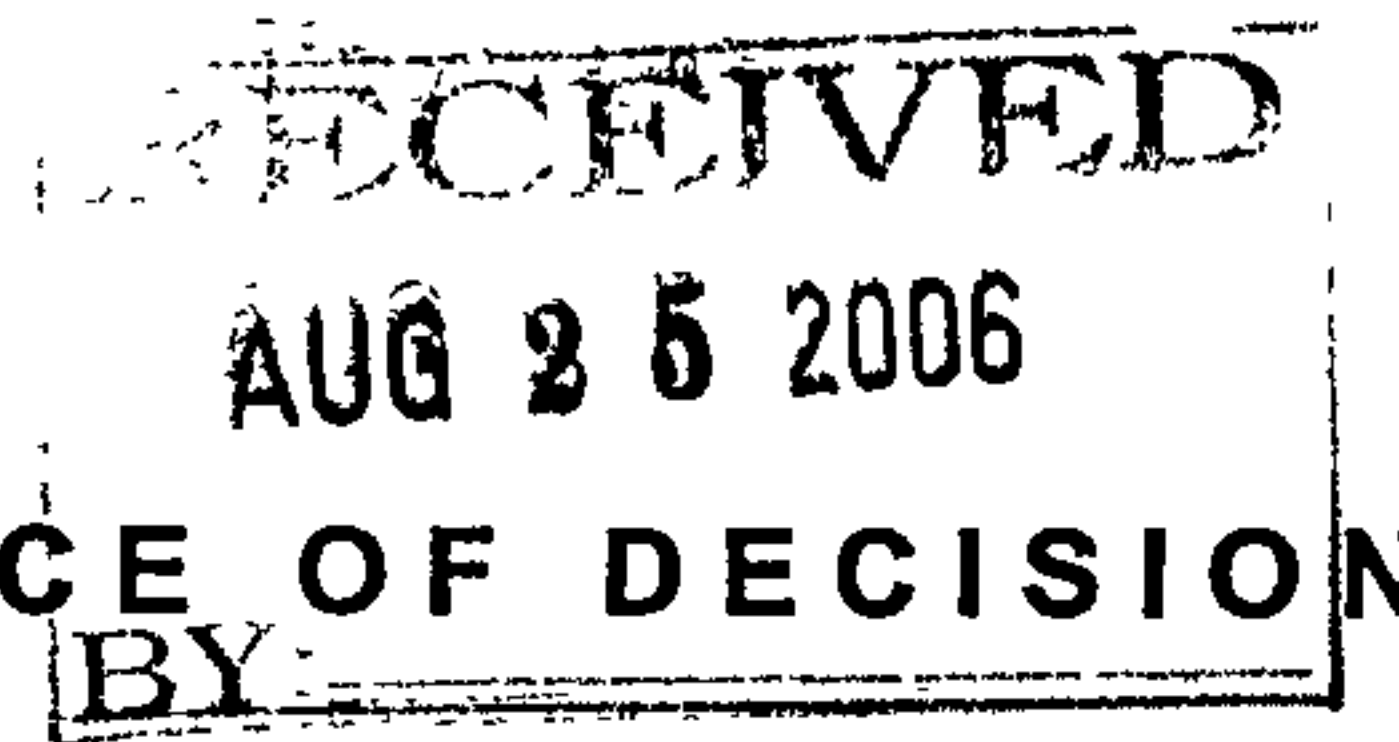
December 3, 2007

To whom it may concern;

Mountain West Development Co, LLC. is requesting an extension on project number 750781, for completion of SIA procedure B w/FG. Non-completed work includes sidewalks for 21 lots & Sidewalks along Central Avenue S.E. to Waterfall S.E.; retaining & garden walls along Central Avenue S.E.; Backfill & compaction of retaining walls along Central Avenue S.E; (See new financial guarantee) Applicant requests a reasonable extension time period, subject to the winter weather conditions. 9 months would be ideal. Justification is due to a legal dispute between buyer, seller & lender. Resolution was approved by the parties on November 29,2007. Your assistance is greatly appreciated.



Bill Wade, Managing Partner
Mountain West Development CO, LLC.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 23, 2006

- 2. Project # 1002176**
06DRB-01079 Major-Preliminary Plat Approval
06DRB-01080 Major-Vacation of Public Easements
06DRB-01081 Minor-Temp Defer SDWK

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, BILL WADE request(s) the above action(s) for all or a portion of Tract(s) A, **COVERED WAGON SUBDIVISION**, zoned SU-1 for SF residential and C1 (SC), located on FOUR HILLS RD SE near INTERSTATE 40 containing approximately 2 acre(s). [REF: 06DRB-00092] (L-23)

At the August 23, 2006, Development Review Board meeting, with approval of the grading plan engineer stamp dated 6/30/04 the preliminary plat was approved with the following conditions of final plat approval:

If the final plat is approved after 10/31/06 the subdivider must comply with City Council Resolution R-06-74 regarding Pre-development Facility Fee Agreements with the Albuquerque Public Schools (APS).

An application for a Subdivision Design Variance for the 46-foot right-of-way is required.

The relocated waterline must be accepted for service.

The vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.



OCT 16 . 06

File
CWI

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 11, 2006

9. Project # 1002176

06DRB-01420 Major-Final Plat Approval

06DRB-01421 Minor-Subd Design (DPM) Variance

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT C/O BILL WADE request(s) the above action(s) for all or a portion of Tract(s) A, **COVERED WAGON SUBDIVISION**, zoned SU-1, located on INTERSTATE 40 SE, between FOUR HILLS RD SE and WATERFALL DR SE containing approximately 2 acre(s). [REF: 06DRB-01079, 06DRB-01080, 06DRB-01081] (L-23)

At the October 11, 2006, Development Review Board meeting, the final plat was approved with final sign off delegated to Utilities Development for final acceptance of relocated water line, application number of vacation on the plat and Planning for AGIS dxf file and to record.

A Subdivision Design Variance from minimum DPM design standards was approved as shown on Exhibit C in the Planning file.

Sheran Matson, AICP, DRB Chair

Cc: Mountain West Development, Bill Wade, P.O. Box 66449, 87193
Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

3/8' 4



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, March 8, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1002992
06DRB-00175 Major-Two Year SIA

CALVERT MENICUCCI PC, JOHN REBSTOCK agent(s) for GBH CONSTRUCTION INC request(s) the above action(s) for all or a portion of Lot(s) 1, 2 & 3, Block(s) 5, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C-2 community commercial zone, located on 86TH ST SW, between BRIDGE BLVD SW and CENTRAL AVE SW containing approximately 2 acre(s). [REF: 03DRB01623, 03DRB02138] (K-9)

Project # 1000390
06DRB-00162 Major-Vacation of Public Easements
06DRB-00163 Minor-Prelim&Final Plat Approval

HALL SURVEYING CO. agent(s) for STUART C SHERMAN request(s) the above action(s) for all or a portion of Tract(s) H-4-A, **VENTANA SQUARE @ VENTANA RANCH**, zoned SU-1 for restricted C-2 uses, special use zone, located on PARADISE BLVD NW, between UNIVERSE BLVD NW and VIVALDI NW containing approximately 1 acre(s). (B-10)

Project # 1000539
06DRB-00176 Major-Vacation of Public Easements
06DRB-00177 Minor-Vacation of Private Easements
06DRB-00178 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for HOPE CHRISTIAN SCHOOL INC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) A, Lot(s) 6, 7, 10 & 26 together with Lot(s) 8A & 9A1, **NORTH ALBUQUERQUE ACRES UNIT A**, zoned SU-1 for private school, special use zone, located on PASEO DEL NORTE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 7 acre(s). [REF: Z-87-42, DRB-95-461, Z-95-4, Z-96-126, Z-98-65]. (D-18)

Project # 1002176
06DRB-00168 Major-Vacation of Public Easements
06DRB-00169 Minor-Vacation of Private Easements

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a portion of land in SW ¼ - NW ¼, Section 26, T10N, R4E together with Tract(s) E-1, **NORTH FOUR HILLS**, zoned SU-1 special use zone, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF: 04DRB-00960, 00961, 00962, 04DRB00963, 00964, 01071, 04DRB01072, 05DRB01178, 06DRB00092] (L-23)

SEE PAGE 2



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1003470
06DRB-00165 Major-Vacation of Pub
Right-of-Way

WILSON & COMPANY INC agent(s) for K B HOME
NEW MEXICO request(s) the above action(s) for
property located between Vista Veja Unit 1 & Unser
Cliffs Subdivision, vacating a portion of 81st Street,
VISTA VIEJA SUBDIVISION, UNIT 1, located between
UNSER BLVD NW AND VISTA DEL SOL DR NW and
containing approximately 1 acre(s). [REF: 03DRB-
01431, 04DRB-01523] (D-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 -- TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

A handwritten signature in cursive script that reads "Sheran Matson".

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 20, 2006.

FINANCIAL GUARANTY AMOUNT

11/20/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

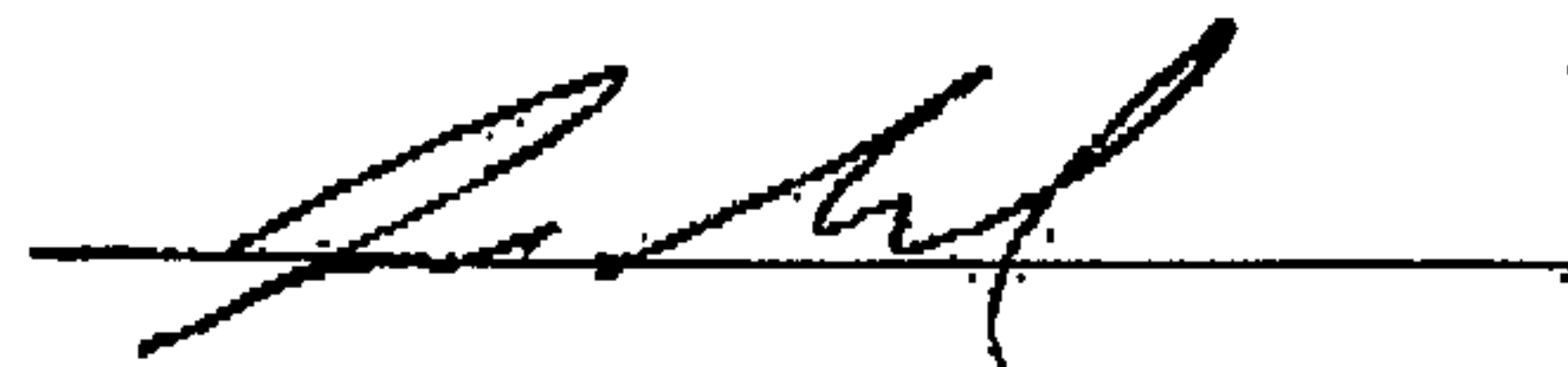
Project ID #: 750781, Covered Wagon Subdivision, Phase/Unit #: 1

Requested By: Bill Wade w/ Mountain West Development LLC

Approved estimate amount:		\$126,353.44
Contingency Amount:	0.00%	\$0.00
Subtotal:		\$126,353.44
NMGRT	6.875%	\$8,686.80
Subtotal:		\$135,040.24
Engineering Fee	6.60%	\$8,912.66
Testing Fee	2.00%	\$2,700.80
Subtotal:		\$146,653.70
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		\$183,317.13

APPROVAL:

DATE:



11-20-07

Notes: Financial Guaranty reduction includes sidewalk and 12-in w/1 & reduced by Universal's & Python's bond amounts.

FAX
662-1092

Letter of credit # 1659

NATURE SAVER™ FAX MEMO 01616		Date	11-20-07	For Pages	1
To	Danette Clark		From	Jane Roel	
Co/Dept.	Los Alamos NB		Co.	City of Albuquerque	
Phone #	662-5171		Phone #	924-3992	
Fax #	662-1092		Fax #	924-3440	

fee \$1,398.94

Murphy called 12/3/07 said she had received this document & was putting it on file - needed DEB extension

**SIDEWALK VERIFICATION
AND
CALCULATIONS**

PROJECT NO.: 750781

PROJECT NAME: Covered Wagon
CALCULATIONS:

<u>\$1,225.06</u> (Total Linear Feet)	X 4 =	<u>\$4,900.24</u> (Square Feet)	÷ 9 =	<u>544.47</u> (Square Yards)
<u>\$ 26.00</u> (Unit Price)	=	<u>\$14,156.22</u> (Base Price)	X	<u>6.875 %</u> (Gross Rcpt. Tax Rate) =
<u>\$973.24</u> (Gross Rcpt. Amt.)	+	<u>\$14,156.22</u> (Base Price)	=	<u>\$15,129.46</u> (Total Cost of Const.)
<u>\$15,129.46</u> (Total Cost of Const.)	X 125% =	<u>\$18,911.83</u> (Amount of Financial Guaranty)		

REVIEWED/APPROVED:

Marilyn Maldonado
Marilyn Maldonado,
Construction Contract Specialist
Design Review Section

Verification Performed By: Orlando Benavidez
Date of Verification: 11/14/2007

Gross Receipts Tax Rates:
City Tax Rate = 6.875%
County Tax Rate = 5.5625%

Unit Price Breakdown:
Total Square Yards Less than 618 = \$26.00
Total Square Yards 618 to 5,563 = \$25.00
Total Square Yards Greater than 5,563 = \$24.00

NATURE SAVER™ FAX MEMO D1616		Date <u>11/14/07</u>	# of pages <u>1</u>
To <u>Bill Wade</u>	From <u>Marilyn M.</u>		
Co./Dept <u>Covered Wagon</u>	Co. <u>COA</u>		
Phone # <u>323-0249</u>	Phone # <u>924-3947</u>		
Fax # <u>323-0249</u>	Fax #		

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

COVERED WAGON SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

2-27-05

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
B-1	750781	24' WIDE	ASPHALT SURFACE	LANIER DRIVE	SOUTH BOUNDARY OF SUBDIVISION	INTERSECTION W/ COVERED WAGON AVE	1	1	1
		28' FACE TO FACE	LOCAL RESIDENTIAL						
		24' WIDE	ASPHALT SURFACE	COVERED WAGON ALONG LANIER DRIVE		WATERFALL DRIVE	1	1	1
		28' FACE TO FACE	LOCAL RESIDENTIAL						
		24' WIDE	ASPHALT SURFACE	MOUNTAIN WEST COURT	LANIER DRIVE	EAST END TURN AROUND	1	1	1
		28' FACE TO FACE	LOCAL RESIDENTIAL						
			STANDARD CURB CUTTER OR ROLL CURB, AS REQUIRED BY ENGINEER DESIGN FOR RUNOFF FLOW	ALONG BOTH SIDES OF LANIER DRIVE COVERED WAGON AVE. MOUNTAIN WEST COURT	SOUTH BOUNDARY OF SUBDIVISION	WATERFALL DR	1	1	1
SW-1	750781	4' WIDE	PORTLAND CEMENT SIDEWALK (DEFERRED) (P.W.)	ALONG BOTH SIDES OF LANIER DRIVE COVERED WAGON AVE MOUNTAIN WEST COURT	SOUTH BOUNDARY OF SUBDIVISION	WATERFALL DR	1	1	1
B-1	750781	6' WIDE	PORTLAND CEMENT SIDEWALK	ALONG DRAINAGE EASEMENT AT WEST SIDE OF LANIER DRIVE	LANIER DRIVE	FOUR HILLS ROAD	1	1	1
		6' WIDE	PORTLAND CEMENT SIDEWALK	IN FOUR HILLS ROAD R.O.W.	WEST FRONTAGE OF SUBDIVISION		1	1	1

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
B-1	750781	6' WIDG	PORTLAND CEMENT SIDEWALK	IN CENTRAL AVE R.O.W.	FOUR HILLS ROAD	WATERFALL DRIVE	1	1	1
B-1	750781	6' WIDG	PORTLAND CEMENT SIDEWALK	IN WATERFALL DRIVE R.O.W.	CENTRAL AVE	SOUTH P.L. WATERFALL DRIVE	1	1	1
		10"	WATER MAIN	LANIGR DRIVE AND	S. BOUNDARY	WATERFALL DRIVE	1	1	1
		8"	WATER MAIN	COVERED WAGON AVE S. COURT	OF COVERED WAGON SUBDIVISION	LANIGR DRIVE	1	1	1
		10"	PRESSURE REGIEF VALVE	AND GASEMENT ACROSS LOTS 36 & 51	COVERED WAGON AVE	NEAR WATERFALL DRIVE	1	1	1
		8"	SANITARY SEWER	LANIGR DRIVE	COVERED WAGON	SAS MANHOLE	1	1	1
		8"	SANITARY SEWER	COVERED WAGON AVE	NEAR WATERFALL	LANIGR DRIVE	1	1	1
		8"	SANITARY SEWER	MOUNTAIN WEST OVER EAST END	LANIGR DRIVE		1	1	1
SW-1	750781		SIDEWALK ^{DEFERRED}	ALL 4' SIDEWALKS ALONG	LANIGR DRIVE		1	1	1
B-1	750781		GRADING AND DRAINAGE PLAN	CERTIFICATION	FOR RELEASE OF	81A	1	1	1
		6' HIGH	PERIMETER WALL FOR DEB	ADDITIONAL PERIMETER WALL DESIGN			1	1	1
			PERIMETER WALL CERTIFICATION	FROM REGISTERED ENGINEER			1	1	1
		24"	STORM DRAIN L=115'	FOUR HILLS ROAD	WEST END OF DRAINAGE BASIN	EXISTING SD. IN FOUR HILLS RD	1	1	1
		10'	CONCRETE RUNDOWN L=90'	PUBLIC DRAIN CASEMENT LOT 24	LANIGR DR.	FOUR HILLS ROAD	1	1	1

ORIGINAL

SIA Sequence #	COA DRC Project #
B-1	750781

Size
18" FALL
10 FALL

Type of Improvement

Location

From

To

STUB STREET TO LOT 18

NORTH END OF LAMAR DR CORNER LOT 18 P.L.

SIDEWALK W/AND ON WEST & NORTH SIDE OF STUB (LAMAR) (PWS)

STREET LIGHTS

AS REQUIRED, COORDINATE W/CITY / PNM

12"

Waterline Relocation

"Central Ave"
Hwy 333

LOT 18

LOT 1

L = 880 ft

Private Inspector

City Inspector

City Cnst Engineer

1 1 1

1 1 1

1 1 1

1 1 1

NOTES

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

BILL WADE (PWS)

NAME (print)

7/27/05

7/27/05

DRB CHAIR - date

Christina Sandoval 7/28/04

PARKS & GENERAL SERVICES - date

MOUNTAIN WEST DEVELOPMENT

FIRM

6/15/04

SIGNATURE - date

7-28-04

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

7/28/04

UTILITY DEVELOPMENT - date

- date

Bradley S. Bingham 7/28/04

CITY ENGINEER - date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB

EXTENSION:

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
1	1-11-05			



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. Your Developer Inquiry is for the following:

Cell Tower & Type: [] Free-Standing Tower -OR- [] Concealed Tower

Private Development (i.e., EPC, DRB, LUCC, Liquor Submittal)

City Project []

CONTACT NAME: BILLWADE

COMPANY NAME: MOUNTAIN WEST DEVELOPMENT CO. LLC.

ADDRESS/ZIP: P.O. Box 66449 ALBQ. NM 87193

PHONE: 505-730-8849 FAX: 505-899-3918

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

Extension of SIA # 750781

LOCATED ON CENTRAL AVE SE
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN FOUR HILLS RD SE & WATERFALL SE. AND
STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (L 232).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: December 3, 2007

TO CONTACT NAME: Bill Wade
COMPANY/AGENCY: Mountain West Development Co. LLC
ADDRESS/ZIP: P.O. Box 66449 87193
PHONE/FAX #: 730-8849 / 899-3918

Thank you for your inquiry of Dec 3, 2007 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Extension of SIA # 750781 Located Central Ave SE and between Four Hill Rd SE & Waterfall SE zone map page(s) L-23

Our records indicate that the Affected Neighborhood and/or Homeowner Associations affected by this proposal and the contact names are as follows:

North Four Hills NA
Neighborhood or Homeowner Association
Contacts: Edward Muller
13715 Poinsettia Ct SE 87123
296-8187 (w)
Tom Conley
13705 Poinsettia Ct. SE 87123
275-6721 (h)

Suppen Rock
Neighborhood or Homeowner Association
Contacts: Carol O'Keefe
600 Vista Abaja Dr. NE 87123
296-9075 (h)
Kathleen Schindler-Wright
407 Monte Largo Dr. NE 87123
275-2710 (h)

See reverse side for additional Neighborhood and/or Homeowner Associations Information:

YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,
Olivia S. Carmona
OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

**NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR
NEIGHBORHOOD NOTIFICATION LETTERS**

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: Dec 3, 2007 Time Entered: 3:53 PM ONC Rep. Initials: DC

7006 0810 0002 6744 2294

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com®

OFFICIAL USE

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$9.05

Postmark Here
DEC 04 2007

Sent To
North Four Hills (Edward Moller)
Street, Apt. No.,
or PO Box No. 13715 Pointe Street
City, State, ZIP+4 Abajo NM 87123

PS Form 3800, June 2002

See Reverse for Instructions

7006 0810 0002 6744 2287

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com®

OFFICIAL USE

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$9.05

Postmark Here
DEC 04 2007

Sent To
North Four Hills (Tom Conley)
Street, Apt. No.,
or PO Box No. 13705 Pointe Street
City, State, ZIP+4 Abajo NM 87123

PS Form 3800, June 2002

See Reverse for Instructions

7006 0810 0002 6744 2270

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com®

OFFICIAL USE

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$9.05

Postmark Here
DEC 04 2007

Sent To
Supper Rock (Caral O'Keefe)
Street, Apt. No.,
or PO Box No. 600 Vista Abajo
City, State, ZIP+4 87123

PS Form 3800, June 2002

See Reverse for Instructions

7006 0810 0002 6744 2262

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com®

OFFICIAL USE

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$9.05

Postmark Here
DEC 04 2007

Sent To
Supper Rock (Kathleen Schindler-Wright)
Street, Apt. No.,
or PO Box No. 407 Monte Largo
City, State, ZIP+4 87123

PS Form 3800, June 2002

See Reverse for Instructions

13

FIGURE 18

2. EXTENSION AGREEMENT
Procedure "B"
PROJECT NO. 750 781

This Agreement made this 5th day of November, 2007, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider:) Mountain West Development ("Developer"), whose address is P.O. Box 66449, ALBUQ. NM 87193 and whose telephone number is 899-8849 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the City and the Developer entered into an Agreement on the 17 day of Jan. 2006 which was recorded in the office of the Clerk of Bernalillo County, New Mexico on JAN 19, 2006, at Book Misc. A 110, pages 8195 through ---, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the 27 day of July 2006; and

WHEREAS, the Earlier Agreement was amended by an Extension Agreement dated 2nd November 2006 recorded 11/6/06, in Book Misc. A 126, pages 8623 through ---, records of Bernalillo County, New Mexico, extending the construction deadline to 9/9/07; and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty;

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached Exhibit A, is extended (Complete either A or B:)

A. for all improvements, the 9th day of November 2007.

B. on portions of the improvements as follows:

<u>IMPROVEMENTS</u>	<u>COMPLETION DATE</u>
_____	_____
_____	_____
_____	_____

Doc# 2007154402

11/06/2007 01:47 PM Page: 1 of 3
AGRE R: \$13.00 M. Toulouse, Bernalillo County



2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: LETTER OF CREDIT 1659
Amount: \$ 535,512.59 Name of Financial Institution or Surety
providing Guaranty: LOS ALAMOS NATIONAL BANK.
Date City first able to call Guaranty (Construction Completion
Deadline): NOV. 9th 2007
If Guaranty other than a Bond, last day City able to call Guaranty
is: JAN. 9, 2008
Additional information: _____

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER:

By (Signature): [Signature]
Name: BILL WROG
Title: MANAGING PARTNER
Dated: 10/12/07 [Signature]

CITY OF ALBUQUERQUE:

[Signature]
City Engineer
Dated: 11/5/07

[Signature] 11/2/07

[Signature]
10-31-07

DEVELOPER'S NOTARY

STATE OF New Mexico
COUNTY OF Bernalillo) ss.

This instrument was acknowledged before me on 12 day of October,
2007 by (name of person:) Bill Wade (title of
capacity, for instance, "President" or "Owner") Managing Partner
of (Developer:) Mountain West Development

Lisa Cornejo
Notary Public

My Commission Expires:



CITY'S NOTARY

STATE OF New Mexico
COUNTY OF Bernalillo) ss.

This instrument was acknowledged before me on 5 day of November
2007 by Bradley S. Bergman, City Engineer of the City of
Albuquerque, a municipal corporation, on behalf of said corporation.

Lisa Cornejo
Notary Public

My Commission Expires:



**AMENDMENT NO. 2
LETTER OF CREDIT #1659
DATED November 9, 2005**

Kevin J Curran
Assistant City Attorney
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Irrevocable Letter of Credit No. for: **Mountain West Development, LLC**
City of Albuquerque Project No.: **750781**
Project Name: **Covered Wagon Subdivision, Phase/Unit #1**

Dear Mr. Curran:

We hereby amend the referenced Letter of Credit in the following manner:

The expiration date shall be extended to January 9, 2008.

All other terms and conditions of the Letter of Credit shall remain unchanged.

Sincerely,



Danette B. Clark
Administrative Officer

DBC/mg

CC: Mountain West Development, LLC



**Los Alamos
National Bank**

Creating a better way.

LOS ALAMOS
P 505 662 5171
1200 Trinity Drive
Los Alamos, NM 87544

WHITE ROCK
P 505 672.3853
77 Rover Blvd
White Rock, NM 87544

SANTA FE
P 505.988 3200
2009 Galisteo St
Santa Fe, NM 87505

SANTA FE DOWNTOWN
P 505 954.5400
301 Griffin St.
Santa Fe, NM 87501

lanb@lanb.com www.lanb.com

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRELIM/FINAL

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A

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CASH FLOW PROPERTIES, LLC c/o BILL WADE PHONE: 323-0250
 ADDRESS: P.O. BOX 66449 FAX: _____
 CITY: ALBU STATE: NM ZIP: 87193 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): SURVEYS SOUTHWEST LTD PHONE: 998-0303
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306
 CITY: ALBU STATE: NM ZIP: 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: RECONFIGURE TWO EXISTING LOTS INTO TWO NEW LOTS.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1 LOTS 51-PI & 52-PI Block: N/A Unit: N/A
 Subdiv. / Addn. COVERED WAGON SUBD.
 Current Zoning: SU-1 SINGLE FAMILY RES. Proposed zoning: N/A
 Zone Atlas page(s): L-23-2 No. of existing lots: 2 No. of proposed lots: 2
 Total area of site (acres): 0.2119 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 1-023-056-148-340-21001, 1-023-056-096-335-21016 MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREETS: On or Near: COVERED WAGON HVE SE
 Between: LANIER DR SE and WATERFALL DR SE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Proj # 1002176

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE: [Signature] DATE: 3.27.07
 (Print) Ann Crandley _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>DRB-00393</u>	<u>P+P</u>	<u>53</u>	<u>\$285.00</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>C+P</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>4-2-07</u>				Total <u>\$305.00</u>

[Signature] 3-20-07
 Planner signature / date

Project # 1002176
~~1005416~~

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) C... INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

EXISTING RESIDENTIAL ON BOTH LOTS.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney
Applicant name (print)

Dan Graney
Applicant signature / date

3-27-07



Form revised 8/04, 1/05, 10/05 & NOV 06

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
07PRB - 00393

John Wilson 3-27-07
Planner signature / date

Project # 1005466

1002176

Surveys Southwest, Ltd

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

March 27, 2007

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

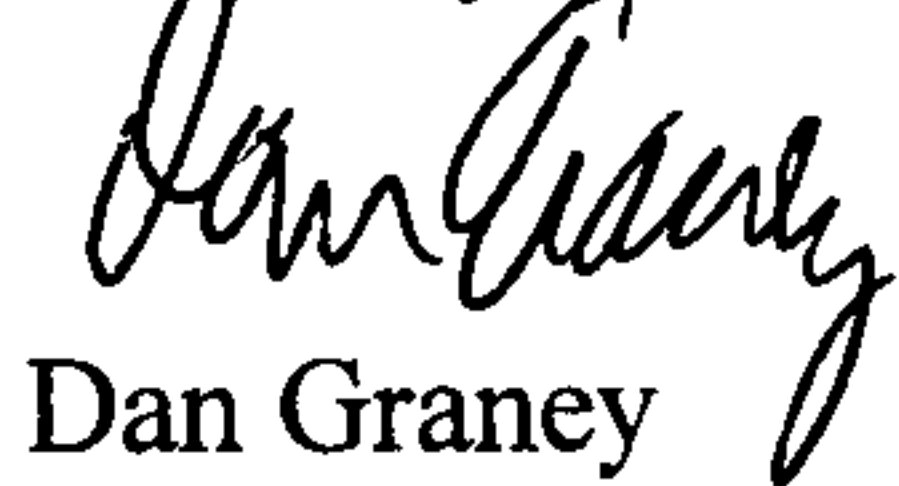
REF: LOTS 51-A-P1 & 52-A-P1, COVERED WAGON SUBDIVISION

Dear Board Members:

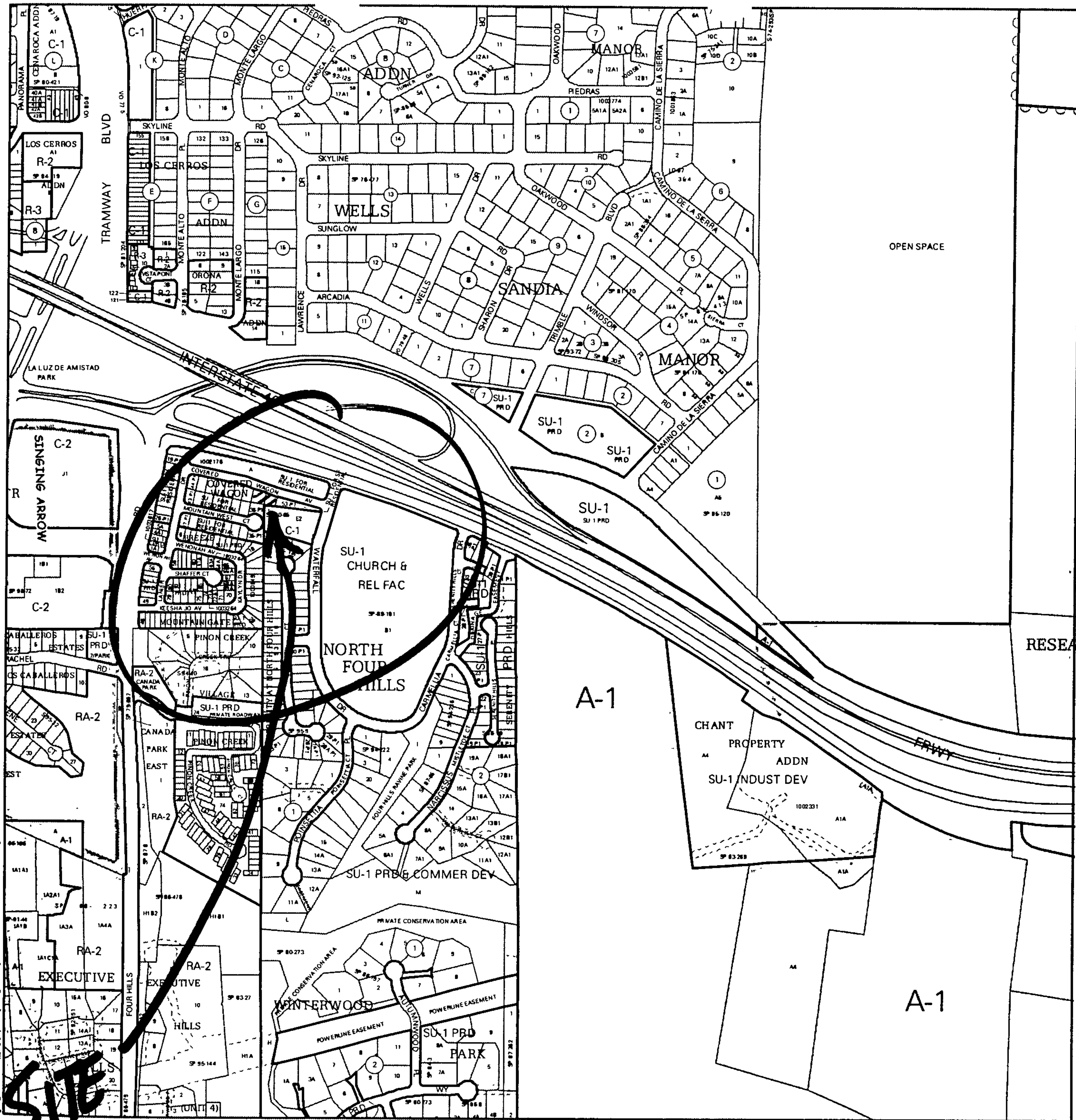
The purpose of the above referenced replat is to reconfigure Two (2) existing lots into Two (2) new lots. There are existing residences on both lots, the client is reconfiguring the lot lines to meet the set back requirements.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 10/25/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
L-23-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

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PAID RECEIPT

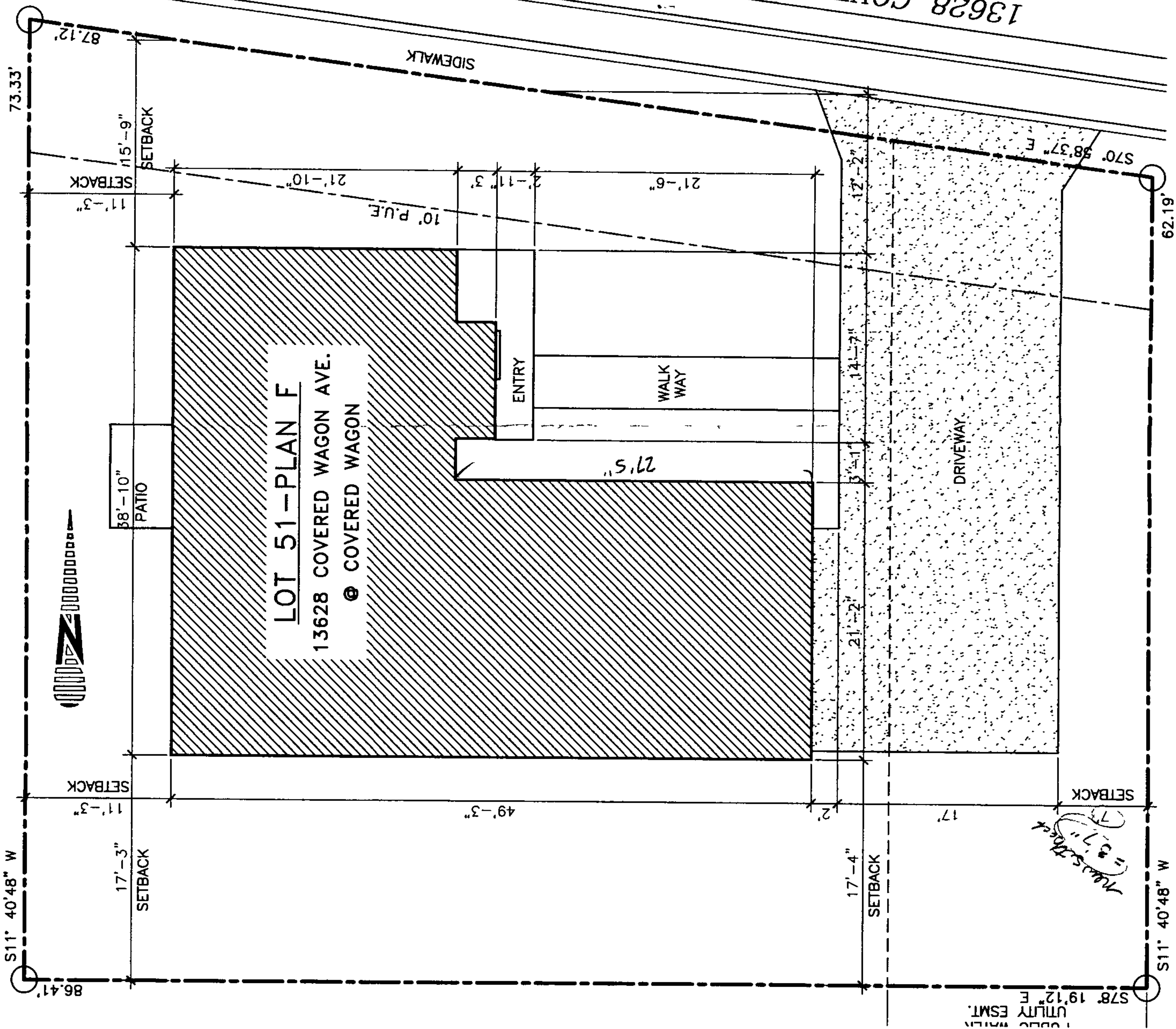
APPLICANT NAME CASH FLOW PROPERTIES, LLC c/o Bill WATKINS
AGENT SURVEYS SOUTHWEST, LTD
ADDRESS 333 LOMAS BLVD NE
PROJECT & APP # Proj # 100546 07DRB-
PROJECT NAME COVERED WAGON SUBD.

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 285.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 305.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

MOUNTAIN WEST DEVELOPMENT CO. LLC P. O. BOX 66449 ALBUQUERQUE, NM 87193-6449 PH: 505-899-8849		LOS ALAMOS NATIONAL BANK SANTA FE 2009 GALISTEO ST SANTA FE, NM 87505 MEMBER FDIC	20869 95-101-1070 3/26/2007
PAY TO THE ORDER OF	City of Albuquerque		\$**305.00
Three Hundred Five and 00/100*****			DOLLARS
City of Albuquerque P O Box 1313 Albuquerque, NM 871030		<i>Bill Watkins</i>	
MEMO	Replat		
⑈020869⑈ ⑈10700⑈10⑈2⑈		00⑈74548⑈0⑈1	

13628 COVERED WAGON AVE. S.E.



LOT 51-PLAN F
 13628 COVERED WAGON AVE.
 @ COVERED WAGON

UTILITY ESMT.
 S78 19'12" E

Handwritten 8.7.11

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

FINAL PLAT
SUBDIVISION DESIGN VARIANCE

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: MOUNTAIN WEST DEVELOPMENT, BILL WAIXE PHONE: 730-8849
 ADDRESS: P.O. Box 75039 66 449 FAX: 323-0249
 CITY: ALBU STATE NM ZIP 87194 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: 87193
 AGENT (if any): SURVELS SOUTHWEST LTD PHONE: 998-0303
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: REQUESTING A SUBDIVISION DESIGN VARIANCE FOR THE 46 FOOT RIGHT-OF-WAY VERSUS THE REQUIRED 47 FOOT. & FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A Block: N/A Unit: N/A
 Subdiv. / Addn. COVERED WAGON SUBDIVISION
 Current Zoning: SU-1 Proposed zoning: N/A
 Zone Atlas page(s): L-23-2 No. of existing lots: 1 No. of proposed lots: 18
 Total area of site (acres): 1.6380 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 1-023-056-148-340-21001, 1-023-056-096-335-21016 MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREETS: On or Near: U.S. HIGHWAY I-40
 Between: FOUR HILLS ROAD SE and WATERFALL DRIVE SE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Proj # 1002176
OLD DRB: 01079, 01080, 01081

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Dan Cranley DATE 8.30.06
 (Print) Dan Cranley _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
 - All fees have been collected
 - All case #s are assigned
 - AGIS copy has been sent
 - Case history #s are listed
 - Site is within 1000ft of a landfill
 - F.H.D.P. density bonus
 - F.H.D.P. fee rebate

Application case numbers
OLD DRB - 01420
OLD DRB - 01421

 Hearing date 10/11/06

Action	S.F.	Fees
<u>FP</u>	<u>S(3)</u>	\$ <u>0</u>
<u>SDV</u>	<u>V</u>	\$ <u>0</u>
<u>cmf</u>		\$ <u>20.00</u>
		\$ _____
		\$ _____
		\$ _____
		Total
		\$ <u>20.00</u>

Vin Sins 10/13/06

Project # 1002176

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) - INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
 Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket), 6 copies for unadvertised meetings
- Design elevations & cross sections of perimeter walls (3 copies)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

N/A

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney
 Applicant name (print)
Dan Graney
 Applicant signature / date
 8-30-06



Form revised 8/04, 1/05 & 10/05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
01273 - 01420
 _____ - _____
 _____ - _____

Jim S's 10/3/06
 Planner signature / date
Project # 100 2174

FORM V: SUBDIVISION VARIANCE & VACATIONS

BULK LAND VARIANCE

(Public Hearing Case)

- ___ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously.
- ___ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- ___ Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24** copies. (Not required for dedicated and City owned public right-of-way.)
- ___ Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **24** copies
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- ___ Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings. These actions are not approved through internal routing.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the deferral or extension
- ___ Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- ___ The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings. These actions are not approved through internal routing.
- ___ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the vacation
- ___ Letter of authorization from the grantors and the beneficiaries
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney
Dan Graney

Applicant name (print)

8.30.06

Applicant signature / date



Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

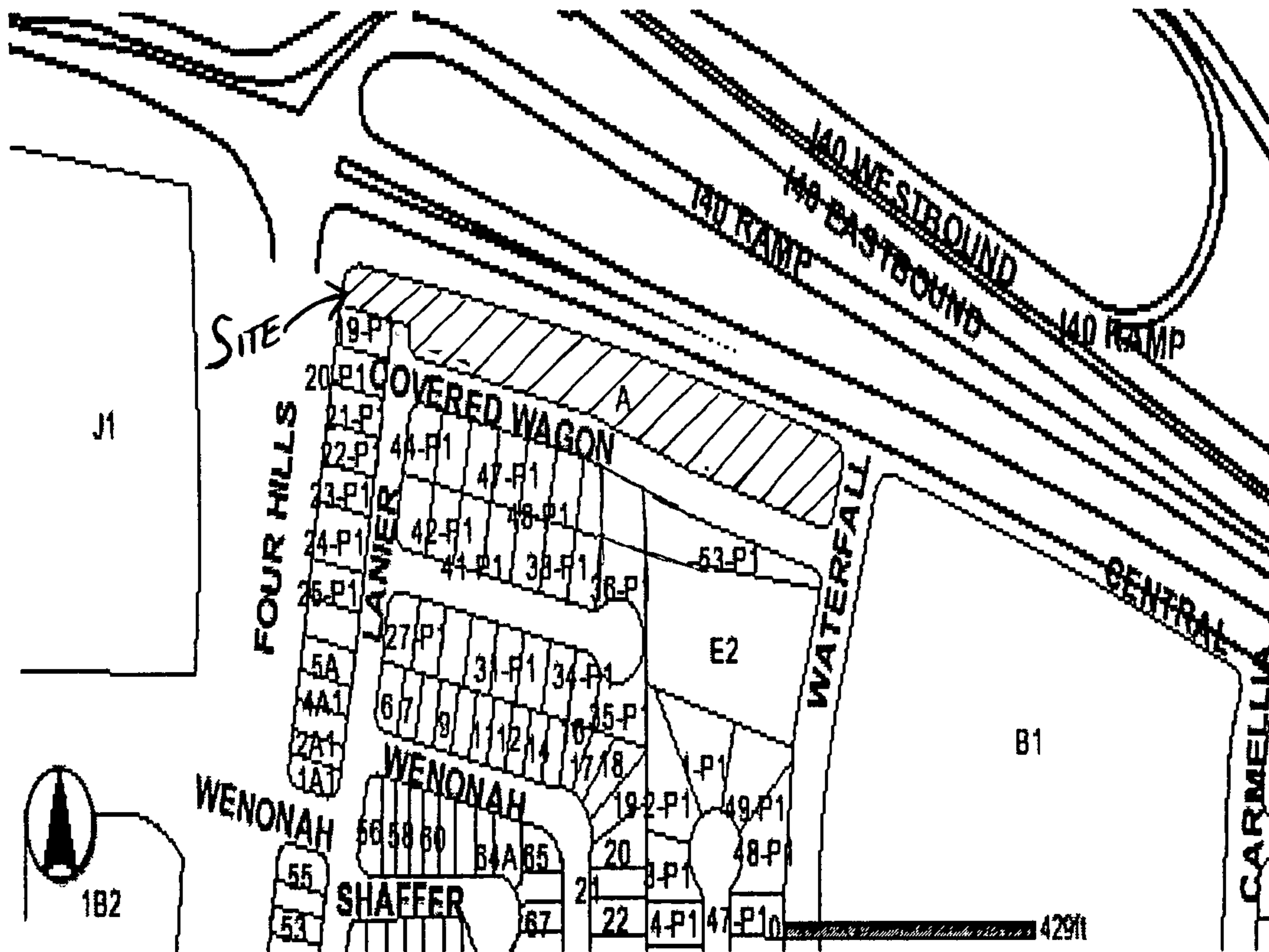
Application case numbers

06DRP - - 01421

V-L S-S 10/3/06

Planner signature / date

Project # 1002176



LEGAL DESCRIPTION

Tract lettered "A" plat of COVERED WAGON
 City of Albuquerque, as the same is
 Bernalillo County, New Mexico on N



N.T.S.

ZONE ATLAS:
 L-23-Z

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND
 CONSENT TO THE PLATTING OF SAID
 CONSENT AND IN ACCORDANCE
 INDIVIDUALS ARE AUTHORIZED TO
 INDEFEASIBLE TITLE IN FUTURE IMPROVEMENT

Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 4-L22 AND 8-L22, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.

OWNER(S) SIGNATURE: _____
 OWNER(S) PRINT NAME: _____
 ADDRESS: _____

ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
) .SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED
 BY: _____

MY COMMISSION EXPIRES: _____

Surveys Southwest, Ltd

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

September 1, 2006

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: TRACT A, COVERED WAGON / SUBDIVISION DESIGN VARIANCE REQUEST

Dear Board Members:

This request is for a variance of One (1) foot from the required 47' street right-of-way to allow a 46' street right-of-way.

The street (Covered Wagon Avenue) was approved as 46' right-of-way on May 2, 2006 in Book 2006C, Page 140 in Covered Wagon Subdivision.

If you have any questions please feel free to contact me.

Sincerely,

Dan Graney
President

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

October 2, 2006

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 1 THROUGH 18, INCLUSIVE COVERED WAGON SUBDIVISION

Dear Board Members:

This request is for Final Plat approval of eighteen (18) lots in Covered Wagon Subdivision.

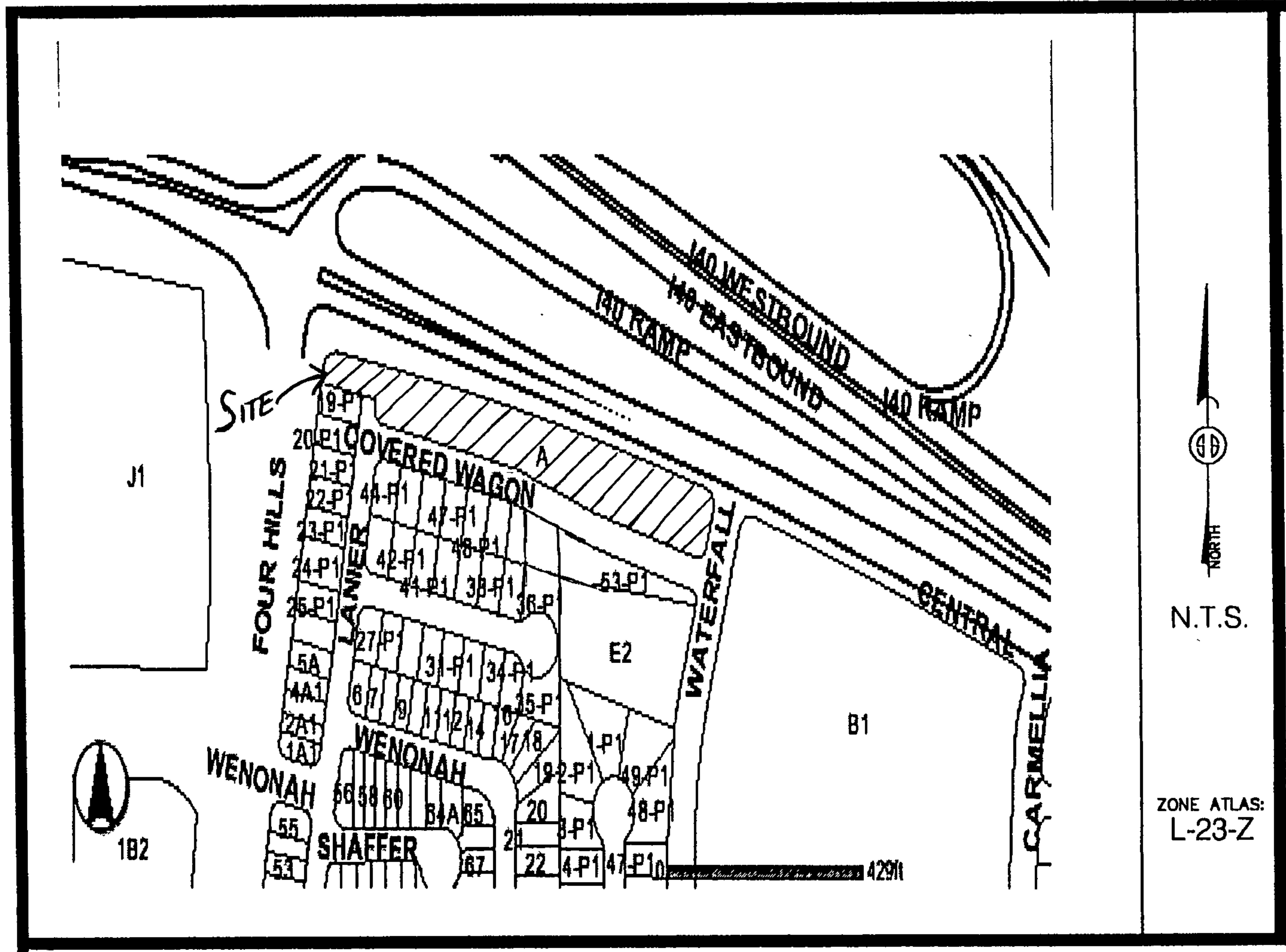
The waterline has been approved. We are also requesting a design variance to allow for the 46' right-of-way on Covered Wagon Avenue.

If you have any questions please feel free to contact me.

Sincerely,

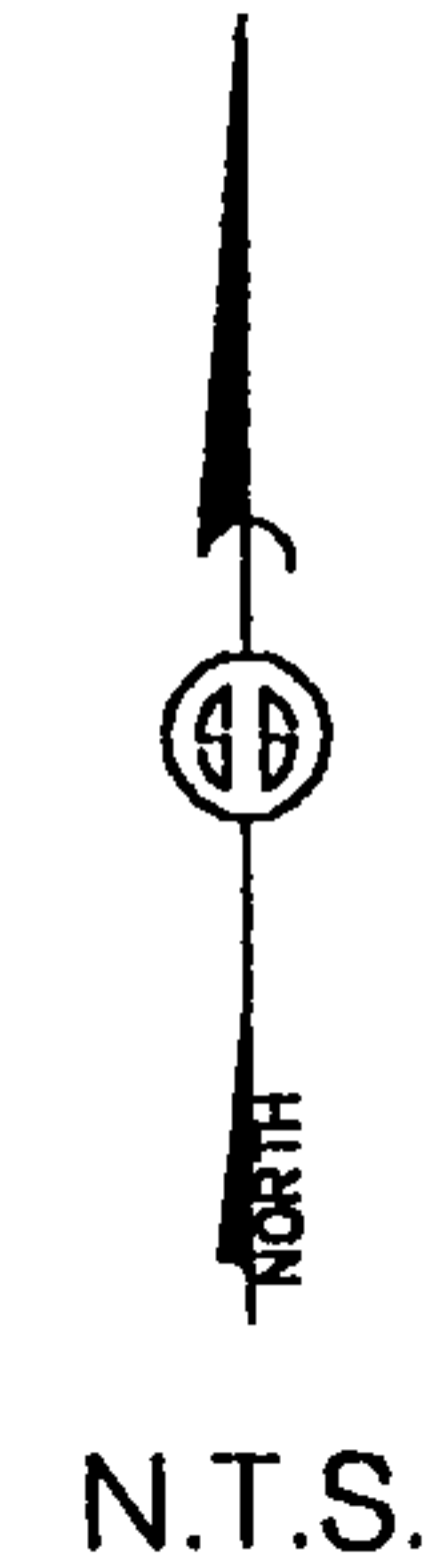


Dan Graney
President



LEGAL DESCRIPTION

Tract lettered "A" plat of CO City of Albuquerque, as the Bernalillo County, New Mex



ZONE ATLAS:
L-23-Z

FREE CONSENT

THE UNDERSIGNED OWN CONSENT TO THE PLATTI CONSENT AND IN ACCOF INDIVIDUALS ARE ALTHO INDEFEASIBLE TI IN F

Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 4-L22 AND 8-L22, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.

OWNER(S) SIGNATURE: _____
 OWNER(S) PRINT NAME: _____
 ADDRESS: _____
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO

COUNTY OF BERNALILLC

THIS INSTRUMENT WAS /
 BY: _____
 MY COMMISSION EXPIRE

BY FAX TO ROGER GREEN, 924-3864

SSW 998-0306

Marvin R. Kortum
1603 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774; FAX 299-9405; M 934-5786
N. M. P. E. 6519

September 29, 2006

City of Albuquerque
Planning Department, Development and Building Services Division
ATTN: Roger Green, Utility Development Section Head (924-3989)
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: 12" water main along Central Avenue, Covered Wagon Subdivision, located south of Central Avenue, between Four Hills Road and Waterfall Drive, SE, Project # DRB 1002176, DRC Work Order #750781-CO#1, Map L-23.

Dear Roger:

At the August 23, 2006 Development Review Board hearing on Project #1002176 (a request for plat approval for an 18 lot subdivision), a condition for plat approval was stated that the relocated waterline (12" main in Central Avenue) must be accepted for service.

By my letter of July 28, 2006, I informed you that the line had been placed, with only the connections to the existing main still to be completed.

By this letter I certify to you that the connections were made on September 28, 2006, and the line was accepted for service by representatives of the City of Albuquerque at about 9:00 PM on September 28, 2006. The new line is now in service.

The completion of the surface work, such as paving and setting of the valve boxes is to be done as part of the WO #7507.81. Final earthwork near the areas of connection must wait until the work on the gas mains is completed by PNM.

I request your approval that the condition of the waterline relocation has been met, and the plat can now be approved and recorded.

Sincerely,

Marvin R. Kortum

Cc:

Bill Balch, Engineer, Utility Development Section (924-3988)

Brian Wolfe, Construction, Senior Engineer (924-3421)

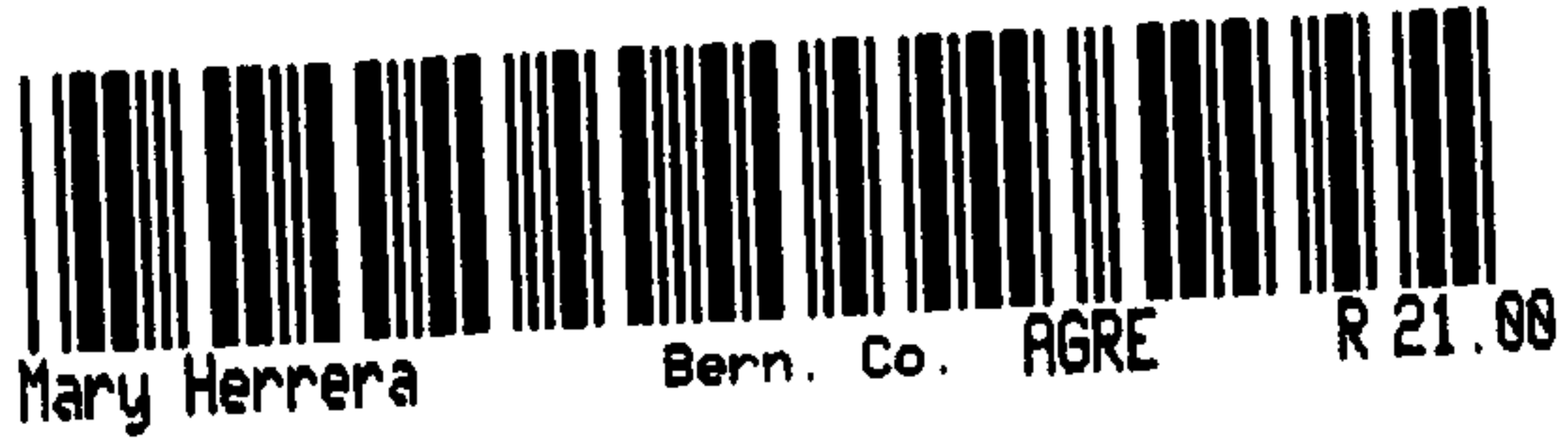
Bill Wade
Mountain West Development,
(505) 323-0250; M: 730-8848 FAX 323-0249

 Surveys Southwest (998-0303; FAX: 998-0306)

3
71

BoWade

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Page: 1 of 7
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FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

53 No. of Lots:
Nearest Major Streets
*CENTRAL AVE &
4 HILLS RD SE*

**AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this *17th* day of *January*, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box, 1293 (One Civic Plaza) Albuquerque, New Mexico 87103, and *MOUNTAIN WEST DEVELOPMENT CO. LLC, P.O. Box 66449, ALBUQ, NM 87193* ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.]: *LLC*, whose address is *P.O. Box 66449, ALBUQUERQUE NM 87193* and whose telephone number is *505-899-8349*, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] *SEE ATTACHED* records of the Bernalillo County Clerk at Book _____, pages _____ through _____ in the (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document] conveying title in the Subdivision to the present owner:] *MOUNTAIN WEST DEVELOPMENT*

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as *PLAT OF COVERED WAGON SUBDIVISION* describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the *27th* day of *July*, 2006 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. *750781*.

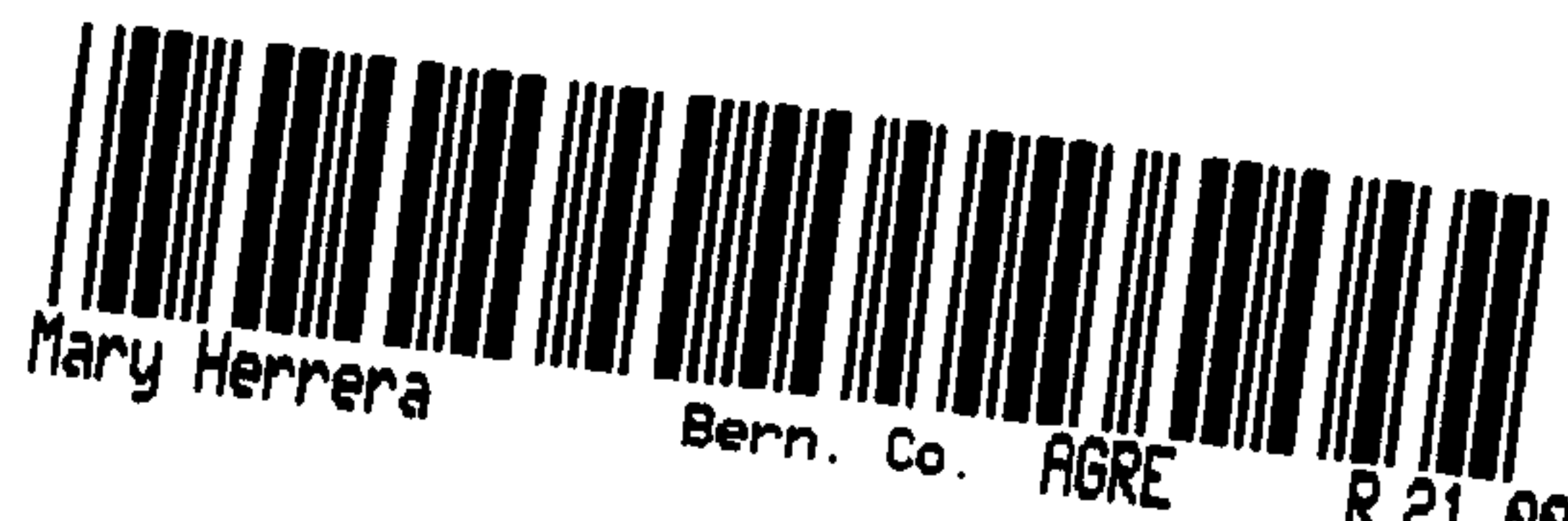
Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless

Figure 12
Subdivision Improvements
Agreement-Public And/Or Private
(Procedure B)

LEGAL DESCRIPTION

A certain tract of unplatted land situate within the Southwest quarter (SW/4) of the Northwest quarter (NW/4) of Section 26, Township 10 North, Range 4 East, NMPM Bernalillo County, New Mexico TOGETHER WITH Tract lettered E-1 NORTH FOUR HILLS SUBDIVISION, as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 19, 1990 in Volume 90C, Folio 78 and being more particularly described as follows:

BEGINNING at the Northwest corner of said tract, being the point of intersection of the Southerly right-of-way of New Mexico State Highway 333 (I-40 Frontage Road) and the East right-of-way of Four Hills Road S.E. whence the ACS Control Station 8-L22 bears N 69° 44' 29" W, 810.45 feet distant; thence from said point of beginning running along the South right-of-way of New Mexico State Highway 333 along a curve to the right having a central angle of 6° 31' 45", with a radius of 7465.00 feet, a distance of 850.67 feet (chord bearing S 77° 14' 33" E, 850.21 feet) to a point of compound curvature to the right having a central angle of 90° 46' 43", with a radius of 25.00 feet, a distance of 39.61 feet (chord bearing S 28° 35' 19" E, 35.59 feet) to the intersection of the right-of-way of Waterfall Drive S.E.; thence S 16° 48' 02" W, along said West right-of-way 134.08 feet; thence leaving said right-of-way N 82° 55' 21" W, 304.04 feet; thence S 00° 00' 10" W, 204.82 feet to the Southeast corner; thence N 78° 19' 12" W, 594.19 feet to the Southwest corner; being a point on the East right-of-way of Four Hills Road S.E.; thence N 10° 55' 19" E, along said East right-of-way 401.68 feet to the point of beginning and containing 6.5508 acres, more or less.



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Page: 2 of 7
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the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	3.25% of Actual Construction Cost
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	As required per City-approved estimate. (Figure 7)

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by SURVEYS SOUTHWEST TDD, and construction surveying of the private Improvements shall be performed by MARVIN KOETUM PE. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by MARVIN KOETUM PE, and inspection of the private Improvements shall be performed by MARVIN KOETUM PE, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by GEO TEST OF EQUAL, and field testing of the private Improvements shall be performed by GEO TEST OF EQUAL, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable; and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following Financial Guaranty:

Type of Financial Guaranty: _____
Amount: \$ NOT SEEKING FINAL PLAT Name of Financial Institution or Surety providing Guaranty: _____
Date City first able to call Guaranty: _____
[Construction Completion Deadline]: _____ 20_____
If Guaranty other than a Bond, last day City able to call Guaranty is: _____, 20_____
Additional information: _____, 20_____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
 COVERED WAGON SUB DIVISION
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Date Submitted: 6.18.04
 Date Site Plan Approved: 7/23/04
 Date Preliminary Plat Approved: 7/23/04
 Date Preliminary Plat Expires: 10/21/06
 DRB Project No.: 04-00960
 DRB Application No.: 04-00960
 2-27-05

ORIGINAL
 COVERED WAGON SUB DIVISION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related financial guarantee. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
1	750781	24' WIDE	ASPHALT SURFACE	LANIGR DRIVE	SOUTH BOUNDARY OF SUBDIVISION	INTERSECTION W/COUGER	/	/	/
		28' FACE-TO-FACE	LOCAL RESIDENTIAL	COVERED WAGON ALONG LANIGR DRIVE		WATERFALL DRIVE	/	/	/
		24' WIDE	ASPHALT SURFACE	MOUNTAIN WEST COURT	LANIGR DRIVE	EAST END TURN AROUND	/	/	/
		28' FACE-TO-FACE	LOCAL RESIDENTIAL	ALONG BOTH SIDES OF LANIGR DRIVE	SOUTH BOUNDARY OF SUBDIVISION	WATERFALL DRIVE	/	/	/
		4' WIDE	PORTLAND CEMENT SIDEWALK (DEFERRED) (P.W.)	ALONG BOTH SIDES OF LANIGR DRIVE	SOUTH BOUNDARY OF SUBDIVISION	WATERFALL DRIVE	/	/	/
		6' WIDE	PORTLAND CEMENT SIDEWALK	ALONG DEANBARK CASEMENT AT WEST SIDE OF LANIGR DRIVE	LANIGR DRIVE	FOUR LINES ROAD	/	/	/
		6' WIDE	PORTLAND CEMENT SIDEWALK	IN FRONT OF ROAD R.O.W.	WEST FRONTAGE OF SUBDIVISION		/	/	/

ORIGINAL

A	COA DRC
ence #	Project #
1	750781

Size	Type of Improvement	Location	From	To
18" FALL 18" FALL	STUB STREET TO LOT 18 SIDEWALK W/AVD on WEST & NORTH SIDE OF STUBS (LANIUR)	NORTH END OF LANIUR DR CORNER	LOT 18 P.L.	
	STREET LIGHTS	AS REQUIRED, COORDINATE W/CITY / PNM		
12"	Waterline Relocation L = 880ft	"Central Ave" Hwy 333	LOT 18	LOT 1

Private Inspector	City Inspector	City Cnst Engineer
1	1	1
1	1	1
1	1	1
1	1	1

NOTES

1 _____

2 _____

3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
BILL WADE NAME (print) WATKIN WEST DEVELOPMENT FIRM Brier Inc 6/15/04 SIGNATURE - date	<i>[Signature]</i> DRB CHAIR - date 7/27/05	<i>[Signature]</i> TRANSPORTATION DEVELOPMENT - date 7-28-04	<i>[Signature]</i> PARKS & GENERAL SERVICES - date 7/28/04
	<i>[Signature]</i> UTILITY DEVELOPMENT - date 7/27/04	<i>[Signature]</i> CITY ENGINEER - date 7/28/04	<i>[Signature]</i> AMAFCA - date 7/27/05
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____			

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
1	1-11-05	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

750781

FINANCIAL GUARANTY AMOUNT

10/19/2005

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

Project ID #: 750781, Covered Wagon Subdivision, Phase/Unit #: 1

Requested By: Bill Wade - Mountain West Development

Approved estimate amount:		\$381,302.54
Contingency Amount:	0.00%	\$.00
Subtotal:		\$381,302.54
NMGRT.	6.75%	\$25,737.92
Subtotal:		\$407,040.46
Engineering Fee	3.25%	\$13,228.81
Testing Fee	2.00%	\$8,140.81
Subtotal:		\$428,410.07
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		\$535,512.59

Should be 6.69%

APPROVAL:

DATE:



10/19/05

Notes:

* THIS ESTIMATE INCLUDES ON SITE *
IMPROVEMENTS ONLY AND DOES
NOT INCLUDE THE 12"
WATERLINE RELOCATION

LOS ALAMOS NATIONAL BANK

Post Office Box 60, Los Alamos, New Mexico 87544 / Telephone (505) 662-5171

Irrevocable Letter of Credit No. 1659

November 9, 2005

AMOUNT: \$535,512.59

City of Albuquerque
Mr. Lawrence D. Rael
Chief Administrative Officer
P.O. Box 1293
Albuquerque, NM 87103

RE: Letter of Credit for: Mountain West Development Co., LLC
City of Albuquerque Project No.: 750781
Project Name: Covered Wagon Subdivision, Phase/Unit #1

Dear Mr. Rael:

This letter is to advise the City of Albuquerque ("City") that, at the request of, Mountain West Development Co., LLC, Los Alamos National Bank in Los Alamos, New Mexico, has established an Irrevocable Letter of Credit in the sum of Five Hundred Thirty-Five Thousand Five Hundred Twelve and 59/100's (\$535,512.59) U. S. Currency Dollars ("Letter of Credit") for the exclusive purpose of providing the financial guarantee which the City requires, Mountain West Development Co., LLC ("Subdivider") to provide for the installation of the improvements which must be constructed at Covered Wagon Subdivision Project No. 750781 ("Project").

The amount of the Letter of Credit is 125% of the City's estimated cost of construction of improvements as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 1-19, 2006 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. A110, at pages 8195 to 8195, as amended ("Agreement").

A Draft or Drafts for any amount up to, but not in excess of Five Hundred Thirty-Five Thousand Five Hundred Twelve and 59/100's (\$535,512.59) U. S. Currency Dollars is/are available at sight at Los Alamos National Bank, 1200 Trinity Drive, Los Alamos, New Mexico 87544 between November 9, 2005 and November 9, 2006.

When presented for negotiation, the Draft(s) is/are to be accompanied by the City's notarized certification stating: "1) Mountain West Development Co., LLC has failed to comply with the terms of the Agreement; 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and 3) the amount of the Draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreements."

We hereby agree with the drawer of Draft(s) drawn under and in compliance with the terms of this credit that such Draft(s) will be duly honored upon presentation to the drawee if negotiated between November 9, 2005 and November 9, 2006.

The Draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit and Agreement No. 1659 of Los Alamos National Bank, Los Alamos, New Mexico, dated November 9, 2005 and the original Letter

of Credit must be endorsed on the reverse side with the amount of each draft. This Letter of Credit must accompany each draft and be attached to the draft which exhausts this credit.

This Letter of Credit for the benefit of the City of Albuquerque shall be irrevocable until:

1. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
2. City notification of Mountain West Development Co., LLC failure to comply with the terms of the Agreement, and payment by Certified Check from Los Alamos National Bank to the City of Albuquerque of 125% of the City's estimated costs of completing the improvements specified in the Agreement; or
3. Expiration of the date November 9, 2006, or
4. Written termination of this Letter of Credit by the City of Albuquerque, signed by its Chief Administrative Officer.

This Letter of Credit will terminate at 3:00 o'clock p.m., New Mexico time, November 9, 2006.

This credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision) International Chamber of Commerce Publication No. 500.

Sincerely,



Danette B. Clark
Administrative Officer

ACCEPTED:

CITY OF ALBUQUERQUE

By: 
Chief Administrative Officer

Dated: 1-17-06

WJH *1/17/06*

JM
01-06-06

LOS ALAMOS NATIONAL BANK

Post Office Box 60, Los Alamos, New Mexico 87544 / Telephone (505) 662-5171

Irrevocable Letter of Credit No. 1659

November 9, 2005

AMOUNT: \$535,512.59

City of Albuquerque
Mr. Lawrence D. Rael
Chief Administrative Officer
P.O. Box 1293
Albuquerque, NM 87103

RE: Letter of Credit for: Mountain West Development Co., LLC
City of Albuquerque Project No.: 750781
Project Name: Covered Wagon Subdivision, Phase/Unit #1

*This FC is
in lieu of
Performance
Warranty Bond.*

was made by F. W. II L.P.

Dear Mr. Rael:

This letter is to advise the City of Albuquerque ("City") that, at the request of, Mountain West Development Co., LLC, Los Alamos National Bank in Los Alamos, New Mexico, has established an Irrevocable Letter of Credit in the sum of Five Hundred Thirty-Five Thousand Five Hundred Twelve and 59/100's (\$535,512.59) U. S. Currency Dollars ("Letter of Credit") for the exclusive purpose of providing the financial guarantee which the City requires, Mountain West Development Co., LLC ("Subdivider") to provide for the installation of the improvements which must be constructed at Covered Wagon Subdivision Project No. 750781 ("Project").

The amount of the Letter of Credit is 125% of the City's estimated cost of ~~construction of improvements~~ ^{guaranteeing against defective material} as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on _____, 20____ in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. _____, at pages _____ to _____, as amended ("Agreement"). *and workmanship*

A Draft or Drafts for any amount up to, but not in excess of Five Hundred Thirty-Five Thousand Five Hundred Twelve and 59/100's (\$535,512.59) U. S. Currency Dollars is/are available at sight at Los Alamos National Bank, 1200 Trinity Drive, Los Alamos, New Mexico 87544 between November 9, 2005 and ~~November 9, 2006~~. *July 27, 2007*

When presented for negotiation, the Draft(s) is/are to be accompanied by the City's notarized certification stating: "1) Mountain West Development Co., LLC has failed to comply with the terms of the Agreement; 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and 3) the amount of the Draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreements."

We hereby agree with the drawer of Draft(s) drawn under and in compliance with the terms of this credit that such Drafts(s) will be duly honored upon presentation to the drawee if negotiated between November 9, 2005 and ~~November 9, 2006~~. *July 27, 2007*

The Draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit and Agreement No. 1659 of Los Alamos National Bank, Los Alamos, New Mexico, dated November 9, 2005 and the original Letter

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Mountain West Development
AGENT SURVEYS SOUTHWEST
ADDRESS _____
PROJECT & APP # 1002176 / 26DRB - 01420, 01421
PROJECT NAME COVERED WAGON SUBDIVISION

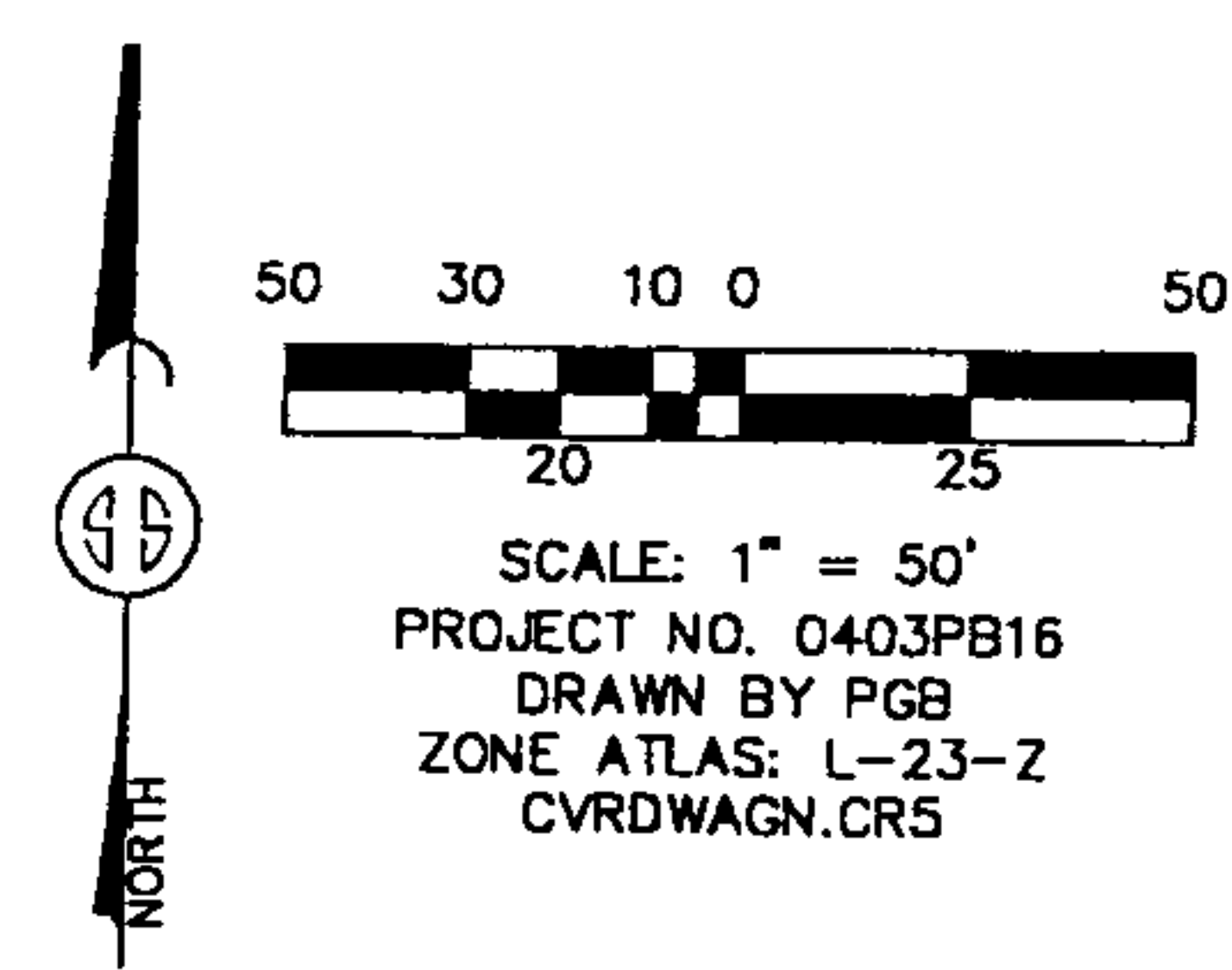
\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

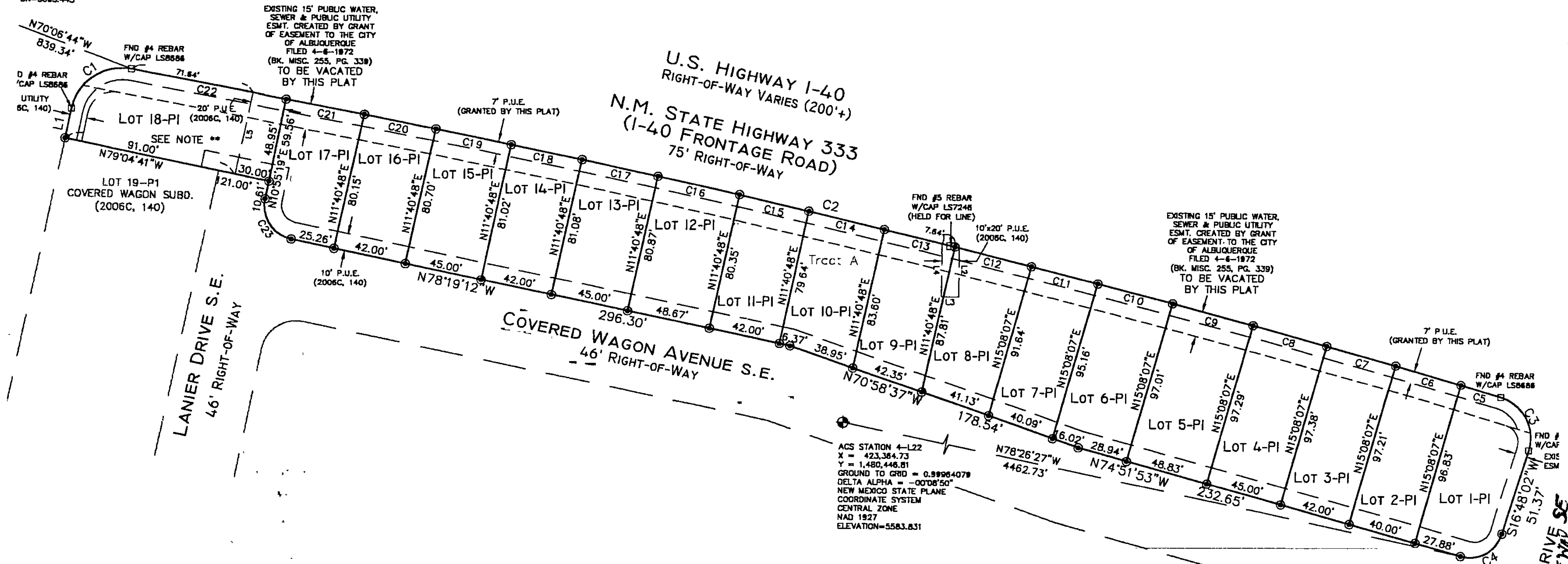
10/3/2006 9:06AM LOC: ANNX
RECEIPT# 00067536 WSH 006 TRANSH 0004
Account 441032 Fund 0110
Activity 3424000 TRSCCS
Trans Amt \$20.00
J24 Misc \$20.00
CK \$20.00
CHANGE \$0.00

Thank You



ATION 8-L22
 26,169.07
 180,114.80
 TO GRID = 0.99963335
 ALPHA = -00°08'30"
 XICO STATE PLANE
 DATE SYSTEM
 L ZONE
 27
 ON=5685.443

**THE OWNER OF LOT 16-P1 MUST PLACE THE TRASH RECEPTACLE FOR SOLID WASTE WEEKLY PICK-UP AT THE SOUTHWEST CORNER OF LOT 17-P1 WHERE IT CAN BE GRASPED BY THE MECHANICAL ARM ON THE WASTE DISPOSAL TRUCK. THE RECEPTACLE WILL BE PLACED AT THE TIME TRASH PICK-UP IS SCHEDULED FOR THE AREA.



CURVE TABLE				
ADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
30.00'	46.49'	88°47'47"	N55°19'13"WE	41.98'
465.00'	821.30'	6°18'13"	S77°07'47"E	820.88'
25.00'	39.61'	90°46'43"	S28°35'19"E	35.59'
20.00'	30.83'	88°20'05"	N60°58'05"E	27.87'
465.00'	24.77'	0°11'24"	S74°04'23"E	24.77'
465.00'	40.00'	0°18'25"	S74°19'18"E	40.00'
465.00'	42.00'	0°19'21"	S74°38'11"E	42.00'
465.00'	45.00'	0°20'43"	S74°58'13"E	45.00'
465.00'	48.83'	0°22'29"	S75°19'49"E	48.83'
465.00'	44.93'	0°20'42"	S75°41'24"E	44.93'

AREA TABLE	
LOT	SQUARE FEET/ACRES
LOT 1	4,480.72 SQ.FT./0.1029 ACS.
LOT 2	3,881.52 SQ.FT./0.0891 ACS.
LOT 3	4,087.15 SQ.FT./0.0938 ACS.
LOT 4	4,381.12 SQ.FT./0.1006 ACS.
LOT 5	4,742.49 SQ.FT./0.1089 ACS.

SDV
EXHIBIT D
 Date 10/11/06

LINE TABLE

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002176

AGENDA ITEM NO: 2

SUBJECT:

Preliminary Plat
Sidewalk Deferral
Vacation of Public Easements

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.
An approved drainage report dated 6-30-04 is on file for Preliminary Plat approval.
No objection to Vacation request.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 23, 2006

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002176 AGENDA#: 2 DATE: 8/23/06

1. Name: MARION KORTUM Address: 1605 SPEAKMAN DR SE Zip: 87123
2. Name: DAD GRANEY Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

August 23, 2006

Project # 1002176

06DRB-01079 Major-Preliminary Plat Approval
 06DRB-01080 Major-Vacation of Public Easements
 06DRB-01081 Minor-Temp Defer SDWK

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, BILL WADE request(s) the above action(s) for all or a portion of Tract(s) A, **COVERED WAGON SUBDIVISION**, zoned SU-1 for SF residential and C1 (SC), located on FOUR HILLS RD SE near INTERSTATE 40 containing approximately 2 acre(s). [REF: 06DRB-00092] (L-23)

- AMAFCA No adverse comments.
- COG No adverse comments.
- Transit No comments received.
- Zoning Enforcement No adverse comments.
- Neighborhood Coordination

Letters sent to North Four Hills NA (R), Supper Rock NA (R) and Singing Arrow NA (R).

APS **Covered Wagon** will consist of 53 single-family homes. The proposed development will affect Apache Elementary, Van Buren Middle School, and Highland High School. All three schools will be able to absorb students from the proposed development.

School	2006-07 Projections	2006-07 Capacity	Space Available
Apache	397	426	29
Van Buren	646	882	236
Highland	1,969	2,300	331

Police Department No crime prevention or CPTED comments at this time.

Fire Department The Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas

This request is **not approved**. PNM may have gas and electric facilities in the easement. Contact Fernando Vigil. R/W Agent, 241-4434, e-mail – fvigil@pnm.com

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer

An approved drainage report is on file for Preliminary Plat approval. No objection to the vacation request.

Transportation Development

Defer the vacation action to Utilities. Where is the infrastructure list? Where is the exhibit for deferral of sidewalk? A subdivision design variance is needed for a 46' right-of-way. Where is the public pedestrian easement through lot 18-P1? (infrastructure?) The easement needs maintenance and beneficiaries. Has Covered Wagon Ave. been financially guaranteed? Are any improvements required to Four Hills, NM 333, or Waterfall Drive?

Parks & Recreation

Defer to Utilities regarding the vacation request. No objection to the platting action or the deferral of sidewalks.

Utilities Development

No objection to Vacation request. Prior to Final Plat approval the relocated water line must be accepted for service. No objection to Preliminary Plat. No objection to Sidewalk Deferral

Planning Department

The already approved wall design was submitted as well as an earlier version. Planning assumes the approved design is the one that will be used. No objection to any of the requested actions.

Be aware that residential subdivision preliminary plat and final plat approvals occurring after October 31, 2006, are subject to the provisions of City Council Resolution R-06-74.

Impact Fee Administrator

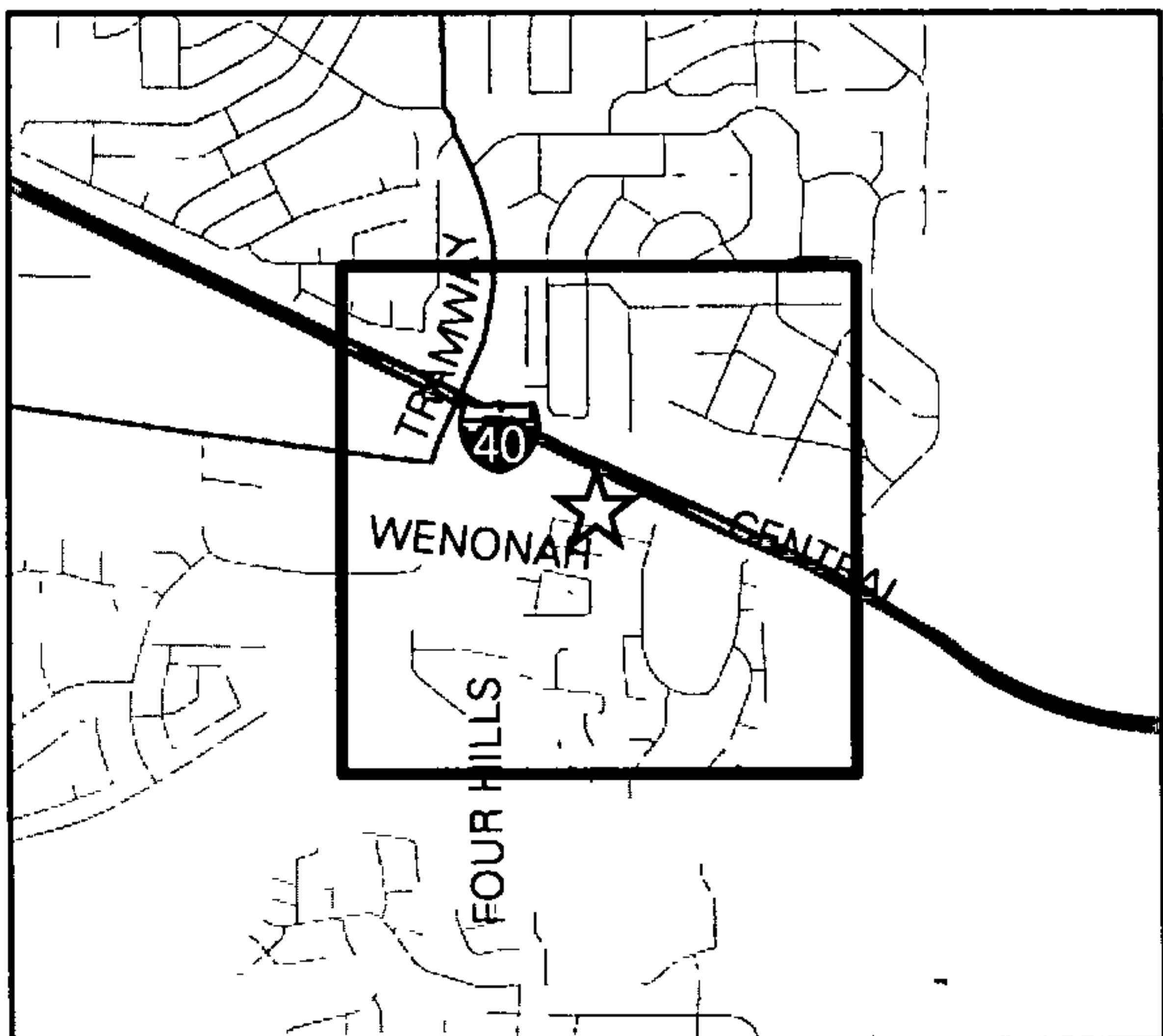
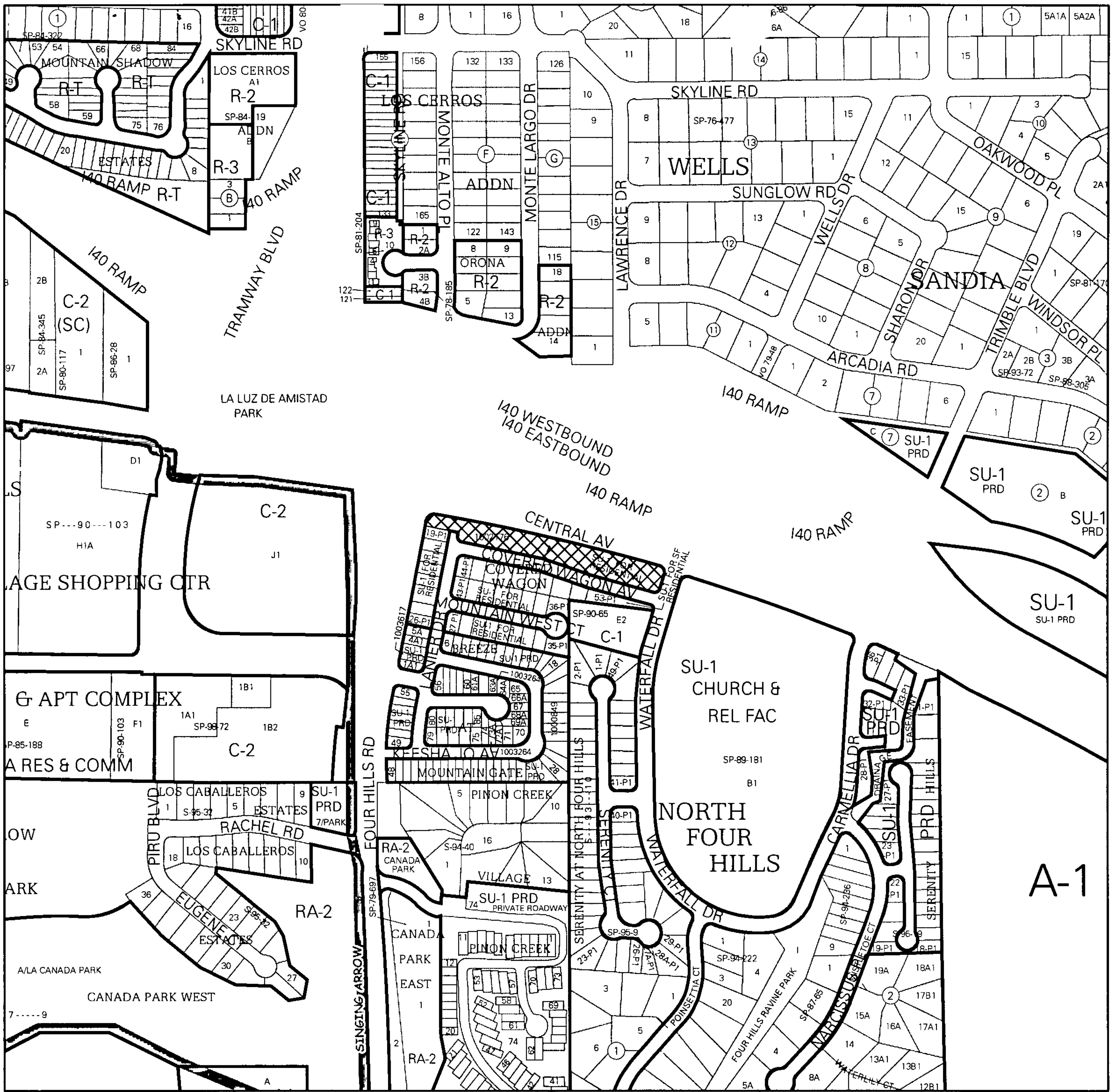
The vacation of a waterline easement and the creation of 18 new lots will not require the payment of impact fees. However, impact fees will be required at the time of building permit for each dwelling unit built on each lot. Using an average of 2000sf of heated area the estimated impact fees for each home are approximately:

1. Public Safety Facilities for the Eastside: \$552.00
2. Parks, Trails, Open Space Facilities for the Foothills/SE: \$1040.00

However, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Mountain West Development, Bill Wade, P.O. Box 75039, 87194
Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102



ZONING MAP

Note Grey shading indicates County.



1 inch equals 500 feet

Project Number:

1002176

Hearing Date:

8/23/2006

Zone Map Page:

L-23

Additional Case Numbers:

06DRB-01079 06DRB-01080

06DRB-01081



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 23, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002176

06DRB-01079 Major-Preliminary Plat Approval
06DRB-01080 Major-Vacation of Public Easements
06DRB-01081 Minor-Temp Defer SDWK

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, BILL WADE request(s) the above action(s) for all or a portion of Tract(s) A, **COVERED WAGON SUBDIVISION**, zoned SU-1 for SF residential and C1 (SC), located on FOUR HILLS RD SE near INTERSTATE 40 containing approximately 2 acre(s). [REF: 06DRB-00092] (L-23)

Project # 1003272

06DRB-01087 Major-Vacation of Public Easements

ISAACSON & ARFMAN PA agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2-B, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 PDA INCLUDING C-3, located on EAGLE RANCH RD NW, between ALL SAINTS RD NW and PASEO DEL NORTE NW containing approximately 4 acre(s). [REF:06DRB-00941] (C-13)

Project # 1005031

06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] (C-9)

Project # 1002372

06DRB-01084 Major-Preliminary Plat Approval
06DRB-01085 Minor-Sidewalk Waiver
06DRB-01086 Minor-Temp Defer SDWK

THOMPSON ENGINEERING agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) 223 & 224, AIRPORT UNIT, TOWN OF ATRISCO GRANT (to be known as **LAS PLAYAS SUBDIVISION**) zoned R-2, located on GLEN RIO RD NW, between 68TH ST NW and 72ND ST NW containing approximately 9 acre(s). [REF: 02DRB-01827] (J-10)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 7, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: AUGUST 23, 2006
Zone Atlas Page: L-23-Z
Notification Radius: 100 Ft.

Project# 1002176
App#06DRB-01079
App#06DRB-01080
App#06DRB-01081

Cross Reference and Location: U.S. HIGHWAY I-40 BETWEEN FOUR HILLS
ROAD SE AND WATERFALL DRIVE SE

Applicant: MOUNTAIN WEST DEVELOPMENT, BILL WADE
Address: PO BOX 75039
ALBUQUERQUE, NM 87194

Agent: SURVEYS SOUTHWEST, LTD
333 LOMAS BLVD NE
ALBUQUERQUE, NM 87102

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: AUGUST 4, 2006
Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1002176
APPLICATION # _____

PAGE 1 **OF** 3

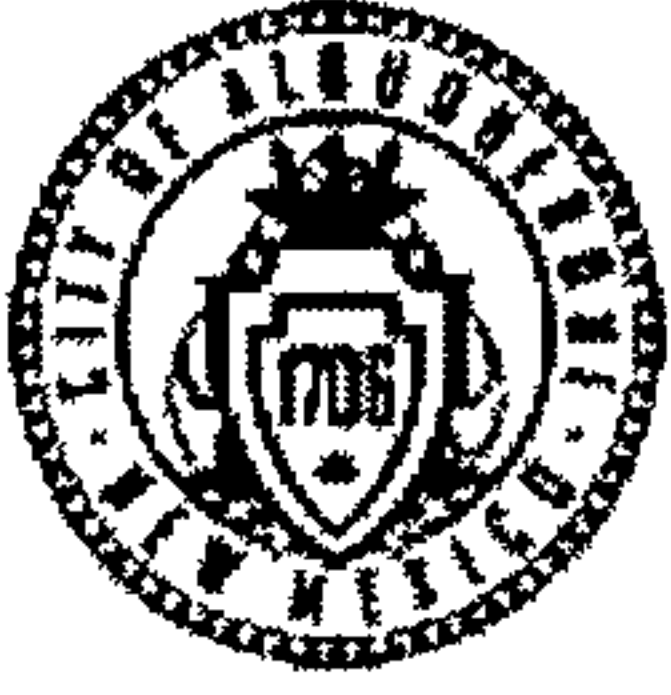
ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
K-23	1023056	096-335	210-16	✓
		148-340	01	✓
		146-323	53	✓
		197-280	307-01	✓
		021-345	213-16	✓
	1023057	072-318	214-01	No ownership In Sonata or APTS
	1023056	082-313	217-43	✓
		086-313	42	✓
		089-312	41	✓
		092-312	40	✓
		095-311	39	✓
		098-310	38	✓
		101-309	37	✓
		104-309	36	✓ Dup ✓
		107-308	35	✓
		110-307	34	✓ Dup ✓

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # _____
APPLICATION # _____

PAGE 2 **OF** 3

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
L-23	1023056	113-307	217-33	✓
		116-306	32	✓
		120-305	31	✓
		121-302	30	✓
		134-308	308-02	✓
		140-311	01	✓
		148-309	49	✓
		150-301	48	✓
		076-445	204-02	✓
		093-441	205-01	✓
		105-439	02	✓
		123-433	206-28	✓
		137-424	02A	No ownership In Sonata on file's
		156-433	203-01	✓
		167-433	02	✓
		176-432	03	✓



<noreply@cabq.gov>

08/02/2006 10:19 AM

To

cc

bcc

Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01023056 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0102305609633521016 LEGAL: REMA ININ G POR OF TR OF LAND IN SW1/4 NW1/4 IN
SEC LAND USE:
PROPERTY ADDR: 00000 FOUR HILLS
OWNER NAME: KEERAN ROBERT B & CYNTHIA J
OWNER ADDR: PO BOX 93642
ALBUQUERQUE NM 87194
0102305614834021001 LEGAL: TR E -1 P LAT OF TRS E-1 & E-2 NORTH FOUR HILLS
SUBD LAND USE:
PROPERTY ADDR: 00000 N.M. 333
OWNER NAME: JAFARI MORTEZA ETAL
OWNER ADDR: 00209 SERENITY SE
ALBUQUERQUE NM 87123
0102305614632321053 LEGAL: TR E -2 P LAT OF TRS E-1 & E-2 NORTH FOUR HILLS
SUBD LAND USE:
PROPERTY ADDR: 00000 WATERFALL
OWNER NAME: ALB CONGR OF JEHOVAH'S WIT INC
OWNER ADDR: 00109 WATERFALL SE
ALBUQUERQUE NM 87123
0102305619728030701 LEGAL: TRAC T B- 1 NORTH FOUR HILLS SUBD REPL OF TR B, C
& LAND USE:
PROPERTY ADDR: 00000 STATE RD 333
OWNER NAME: CHURCHBUILDER MINISTRIES INC
OWNER ADDR: 00320 WATERFALL DR SE
ALBUQUERQUE NM 87123
0102305602134521316 LEGAL: TR J -1 R EPL OF TRS F, H-1, J & UNPLATTED LAND
FOUR LAND USE:
PROPERTY ADDR: 00000 TRAMWAY
OWNER NAME: SWI REAL ESTATE LTD PTNS
OWNER ADDR: 03336 E 32ND ST
TULSA OK 74135
0102305707231821401 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0102305608231321743 LEGAL: LT 6 PLA T OF BREEZE AT MOUNTAIN GATE CONT
.0651 A LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: DOMINGUEZ MAX C III
OWNER ADDR: 13601 WENONAH AV SE
ALBUQUERQUE NM 87123
0102305608631321742 LEGAL: LT 7 PLA T OF BREEZE AT MOUNTAIN GATE CONT
.0521 A LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: MEYER GARY & SHERYL
OWNER ADDR: 13605 WENONAH AV SE
ALBUQUERQUE NM 87123
0102305608931221741 LEGAL: LT 8 PLA T OF BREEZE AT MOUNTAIN GATE CONT
.0521 A LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: MARI-MAC PARTNERS II LIMITED P
OWNER ADDR: 07005 TESUQUE DR NW
ALBUQUERQUE NM 87120

PAGE 2

0102305609231221740 LEGAL: LT 9 PLA T OF BREEZE AT MOUNTAIN GATE CONT
.0521 A LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: CASTILLO ENRIQUE
OWNER ADDR: 13615 WENONAH AV SE
ALBUQUERQUE NM 87123

0102305609531121739 LEGAL: LT 1 0 PL AT OF BREEZE AT MOUNTAIN GATE CONT
.0521 LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: MORENO CARLOS A & RHONDA M PIE
OWNER ADDR: 05265 RIVERDALE CT
PLEASANTON CA 96588

0102305609831021738 LEGAL: LT 1 1 PL AT OF BREEZE AT MOUNTAIN GATE CONT
.0521 LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: SLAWIAK MARIAN V
OWNER ADDR: 13623 WENONAH AV SE
ALBUQUERQUE NM 87123

0102305610130921737 LEGAL: LT 1 2 PL AT OF BREEZE AT MOUNTAIN GATE CONT
.0521 LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: ROBERTS WAYNE H & MARGIE S
OWNER ADDR: 13627 WENONAH SE
ALBUQUERQUE NM 87123

0102305610430921736 LEGAL: LT 1 3 PL AT OF BREEZE AT MOUNTAIN GATE CONT
.0521 LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: MARI-MAC PARTNERS II LIMITED P
OWNER ADDR: 07005 TESUQUE DR NW
ALBUQUERQUE NM 87120

0102305610730821735 LEGAL: LT 1 4 PL AT OF BREEZE AT MOUNTAIN GATE CONT
.0521 LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: BRADEN CHRIS A
OWNER ADDR: 02050 2ND ST SE
KIRTLAND AFBNM 87117

0102305611030721734 LEGAL: LT 1 5 PL AT OF BREEZE AT MOUNTAIN GATE CONT
.0521 LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: MARI-MAC PARTNERS II LIMITED P
OWNER ADDR: 07005 TESUQUE DR NW
ALBUQUERQUE NM 87120

0102305611330721733 LEGAL: LT 1 6 PL AT OF BREEZE AT MOUNTAIN GATE CONT
.0539 LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: WILLMOTT KENNETH B
OWNER ADDR: 13643 WENONAH AV SE
ALBUQUERQUE NM 87123

0102305611630621732 LEGAL: LT 1 7 PL AT OF BREEZE AT MOUNTAIN GATE CONT
.0535 LAND USE:
PROPERTY ADDR: 00000 WENONAH
OWNER NAME: YOUNG GINGER LEE
OWNER ADDR: 13647 WENONAH AV SE
ALBUQUERQUE NM 87123

PAGE 3

0102305612030521731 .0847 LAND USE: LEGAL: LT 1 8 PL AT OF BREEZE AT MOUNTAIN GATE CONT
PROPERTY ADDR: 00000 KAYLYN
OWNER NAME: ROSENBLATT AMY F
OWNER ADDR: 00300 KAYLYN DR SE
ALBUQUERQUE NM 87123

0102305612130221730 .0853 LAND USE: LEGAL: LT 1 9 PL AT OF BREEZE AT MOUNTAIN GATE CONT
PROPERTY ADDR: 00000 KAYLYN
OWNER NAME: TAL REALTY INC
OWNER ADDR: 07027 MONTGOMERY BL NE
ALBUQUERQUE NM 87109

0102305613430830802 SUBD LAND USE: LEGAL: LOT 2-P1 PLAT OF SERENITY AT NORTH FOUR HILLS
PROPERTY ADDR: 00000 SERENITY
OWNER NAME: WILLIAMS ROBERT D & SUZANNE M
OWNER ADDR: 00205 SERENITY CT SE
ALBUQUERQUE NM 87123

0102305614031130801 SUBD LAND USE: LEGAL: LOT 1-P1 PLAT OF SERENITY AT NORTH FOUR HILLS
PROPERTY ADDR: 00000 SERENITY
OWNER NAME: CANNADY DEVIN & CRICKETT VANCE
OWNER ADDR: 00201 SERENITY CT SE
ALBUQUERQUE NM 87123

0102305614830930849 SUBD LAND USE: LEGAL: LT 4 9-P1 PLAT OF SERENITY AT NORTH FOUR HILLS
PROPERTY ADDR: 00000 SERENITY
OWNER NAME: PATTENGALE NICHOLAS D
OWNER ADDR: 00200 SERENITY CT SE
ALBUQUERQUE NM 87107

0102305615030130848 SUBD LAND USE: LEGAL: LT 4 8-P1 PLAT OF SERENITY AT NORTH FOUR HILLS
PROPERTY ADDR: 00000 SERENITY
OWNER NAME: BUIE DARREN L
OWNER ADDR: 00212 SERENITY CT SE
ALBUQUERQUE NM 87123

0102305607644520402 LAND USE: LEGAL: 4-B REPL AT OF LOTS 2,3A & 4A OF THE ORONA ADDN
PROPERTY ADDR: 00000 MONTE ALTO
OWNER NAME: HAACK ENTERPRISES LLC & JOEL S
OWNER ADDR: 08200 BRET PL NE
ALBUQUERQUE NM 87109

0102305609344120501 CERR LAND USE: LEGAL: 5 OR ONA ADDN REPL OF PORS OF BLKS E F & G LOS
PROPERTY ADDR: 00000 MONTE ALTO
OWNER NAME: GOULD JAY W
OWNER ADDR: PO BOX 20873
ALBUQUERQUE NM 87154

0102305610543920502 CER LAND USE: LEGAL: 13 O RONA ADDN REPL OF PORS OF BLKS E F & G LOS
PROPERTY ADDR: 00000 MONTE LARGO
OWNER NAME: SMITH FREDERICK M & SMITH PETE
OWNER ADDR: 00302 LOMITA ST
SANTA FE NM 87501

PAGE 4

0102305612343320628 LEGAL: 14 O RONA ADDN REPL OF PORS OF BLKS E F & G LOS
CER LAND USE:

PROPERTY ADDR: 00000 MONTE LARGO
OWNER NAME: POLK RICHARD S & BARBARA J TRU
OWNER ADDR: PO BOX 50728

ALBUQUERQUE NM 87181

0102305613742420602ca *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

0102305615643320301 LEGAL: 005 011W ELLS SANDIA MANOR SUBD

LAND USE:

PROPERTY ADDR: 00000 ARCADIA
OWNER NAME: APODACA HENRY R JR
OWNER ADDR: 14000 ARCADIA

DR NE

ALBUQUERQUE NM 87123

0102305616743320302 LEGAL: 004 011W ELLS SANDIA MANOR SUBD

LAND USE:

PROPERTY ADDR: 00000 ARCADIA
OWNER NAME: REVELL AARON R & AMY K
OWNER ADDR: 14004 ARCADIA

RD NE

ALBUQUERQUE NM 87123

0102305617643220303 LEGAL: 003 011W ELLS SANDIA MANOR SUBD

LAND USE:

PROPERTY ADDR: 00000 ARCADIA
OWNER NAME: PINO JONATHAN C & DANIELLE N
OWNER ADDR: 14008 ARCADIA

RD NE

ALBUQUERQUE NM 87123

0102305618442920304 LEGAL: 002 011W ELLS SANDIA MANOR SUB

LAND USE:

PROPERTY ADDR: 00000 ARCADIA
OWNER NAME: PALADIN LYNDA S
OWNER ADDR: 14012 ARCADIA

NE

ALBUQUERQUE NM 87123

0102305619642520305 LEGAL: 1 11 & T HE WLY 1/2 OF VACATED RIGHT-OF-WAY OF

WELL LAND USE:

PROPERTY ADDR: 00000 ARCADIA
OWNER NAME: PEDONE JAMES S TRUSTEE
OWNER ADDR: 14018 ARCADIA

RD NE

ALBUQUERQUE NM 87123

0102305620741720207 LEGAL: 1 7 & TH E ELY 1/2 OF VACATED RIGHT-OF-WAY OF

WELLS LAND USE:

PROPERTY ADDR: 00000 ARCADIA
OWNER NAME: BARNHILL ROSS & CONNIE
OWNER ADDR: 14100 ARCADIA

RD NE

ALBUQUERQUE NM 87123

0102305622041120206 LEGAL: 002 007W ELLS SANDIA MANOR SUBD

LAND USE:

PROPERTY ADDR: 00000 ARCADIA
OWNER NAME: BARR PATRICK A & LYNN D TRUSTE
OWNER ADDR: 14106 ARCADIA

DR NE

ALBUQUERQUE NM 87123

QUIT

102305609633521016 LEGAL: *005 003 NORTH ALBUQ ACRES UN3 TR3
PROPERTY ADDR: N/A

OWNERS NAME: KEERAN ROBERT B & CYNTHIA J
OWNERS ADDR: PO BOX 93642
 ALBUQUERQUE, NM 87199

102305707231821401 NO OWNERSHIP IN SONATA OR AGIS

102305609344120501 LEGAL: *5 ORONA ADDN REPL OF PORS OF BLKS 3 F & G L
PROPERTY ADDR: N/A

OWNERS NAME: GOULD JAY W
OWNERS ADDR: PO BOX 20873
 ALBUQUERQUE, NM 87154

102305612343320628 LEGAL: *17 ORONA ADDN REPL OF PORS OF BLKS 3 F & G
PROPERTY ADDR: N/A

OWNERS NAME: POLK RICHARD S & BARBARA J TRU
OWNERS ADDR: PO BOX 50728
 ALBUQUERQUE, NM 87181

102305613742420602CA NO OWNERSHIP IN SONATA OR AGIS

Project # 1002176

MOUNTAIN WEST DEV. BILL WADE
PO BOX 75039
ALBUQUERQUE, NM 87194

Project # 1002176

NANCY CARESS
North Four Hills N.A.
421 NARCISSUS SE
ALBUQUERQUE, NM 87123

Project # 1002176

CAROL O'KEEFE
Supper Rock N.A.
600 VISTA ABAJO DR NE
ALBUQUERQUE, NM 87123

102305614834021001

JAFARI MORTEZA ETAL
209 SERENITY SE
ALBUQUERQUE NM 87123

102305602134521316

SWI REAL ESTATE LTD PTNS
3336 E 32ND ST
TULSA OK 74135

102305608931221741

MARI-MAC PARTNERS II LIMITED
7005 TESUQUE DR NW
ALBUQUERQUE NM 87120

102305609831021738

SLAWIAK MARIAN V
13623 WENONAH AV SE
ALBUQUERQUE NM 87123

102305611330721733

WILLMOTT KENNETH B
13643 WENONAH AV SE
ALBUQUERQUE NM 87123

102305612130221730

TAL REALTY INC
7027 MONTGOMERY BL NE
ALBUQUERQUE NM 87109

102305614830930849

PATTENGALE NICHOLAS D
200 SERENITY CT SE
ALBUQUERQUE NM 87107

Project # 1002176

SURVEYS SOUTHWEST, LTD
333 LOMAS BLVD. NE
ALBUQUERQUE, NM 87102

Project # 1002176

ROSE SENA
Singing Arrow N.A.
PO BOX 5191
ALBUQUERQUE, NM 87185

Project # 1002176

KATHLEEN SCHINDLER-WRIGHT
Supper Rock N.A.
407 MONTE LARGO DR NW
ALBUQUERQUE, NM 87123

102305614632321053

ALB CONGR OF JEHOVAH'S WIT IN
109 WATERFALL SE
ALBUQUERQUE NM 87123

102305608231321743

DOMINGUEZ MAX C III
13601 WENONAH AV SE
ALBUQUERQUE NM 87123

102305609231221740

CASTILLO ENRIQUE
13615 WENONAH AV SE
ALBUQUERQUE NM 87123

102305610130921737

ROBERTS WAYNE H & MARGIE S
13627 WENONAH SE
ALBUQUERQUE NM 87123

102305611630621732

YOUNG GINGER LEE
13647 WENONAH AV SE
ALBUQUERQUE NM 87123

102305613430830802

WILLIAMS ROBERT D & SUZANNE M
205 SERENITY CT SE
ALBUQUERQUE NM 87123

102305615030130848

BUIE DARREN L
212 SERENITY CT SE
ALBUQUERQUE NM 87123

Project # 1002176

TOM CONLEY
North Four Hills N.A.
13705 POINSETTIA CT SE
ALBUQUERQUE, NM 87123

Project # 1002176

DIANE DAVIDSON
Singing Arrow N.A.
12800 PIRU SE
ALBUQUERQUE, NM 87123

102305609633521016

KEERAN ROBERT B & CYNTHIA J
PO BOX 93642
ALBUQUERQUE, NM 87199

102305619728030701

CHURCHBUILDER MINISTRIES INC
320 WATERFALL DR SE
ALBUQUERQUE NM 87123

102305608631321742

MEYER GARY & SHERYL
13605 WENONAH AV SE
ALBUQUERQUE NM 87123

102305609531121739

MORENO CARLOS A & RHONDA M PI
5265 RIVERDALE CT
PLEASANTON CA 96588

102305610730821735

BRADEN CHRIS A
2050 2ND ST SE
KIRTLAND AFB NM 87117

102305612030521731

ROSENBLATT AMY F
300 KAYLYN DR SE
ALBUQUERQUE NM 87123

102305614031130801

CANNADY DEVIN & CRICKETT VANC
201 SERENITY CT SE
ALBUQUERQUE NM 87123

102305607644520402

HAACK ENTERPRISES LLC & JOEL
8200 BRET PL NE
ALBUQUERQUE NM 87109

102305609344120501

GOULD JAY W
PO BOX 20873
ALBUQUERQUE, NM 87154

102305610543920502

SMITH FREDERICK M & SMITH PET
302 LOMITA ST
SANTA FE NM 87501

102305612343320628

POLK RICHARD S & BARBARA J TRU
PO BOX 50728
ALBUQUERQUE, NM 87154

102305615643320301

APODACA HENRY R JR
14000 ARCADIA DR NE
ALBUQUERQUE NM 87123

102305616743320302

REVELL AARON R & AMY K
14004 ARCADIA RD NE
ALBUQUERQUE NM 87123

102305617643220303

PINO JONATHAN C & DANIELLE N
14008 ARCADIA RD NE
ALBUQUERQUE NM 87123

102305618442920304

PALADIN LYNDA S
14012 ARCADIA NE
ALBUQUERQUE NM 87123

102305619642520305

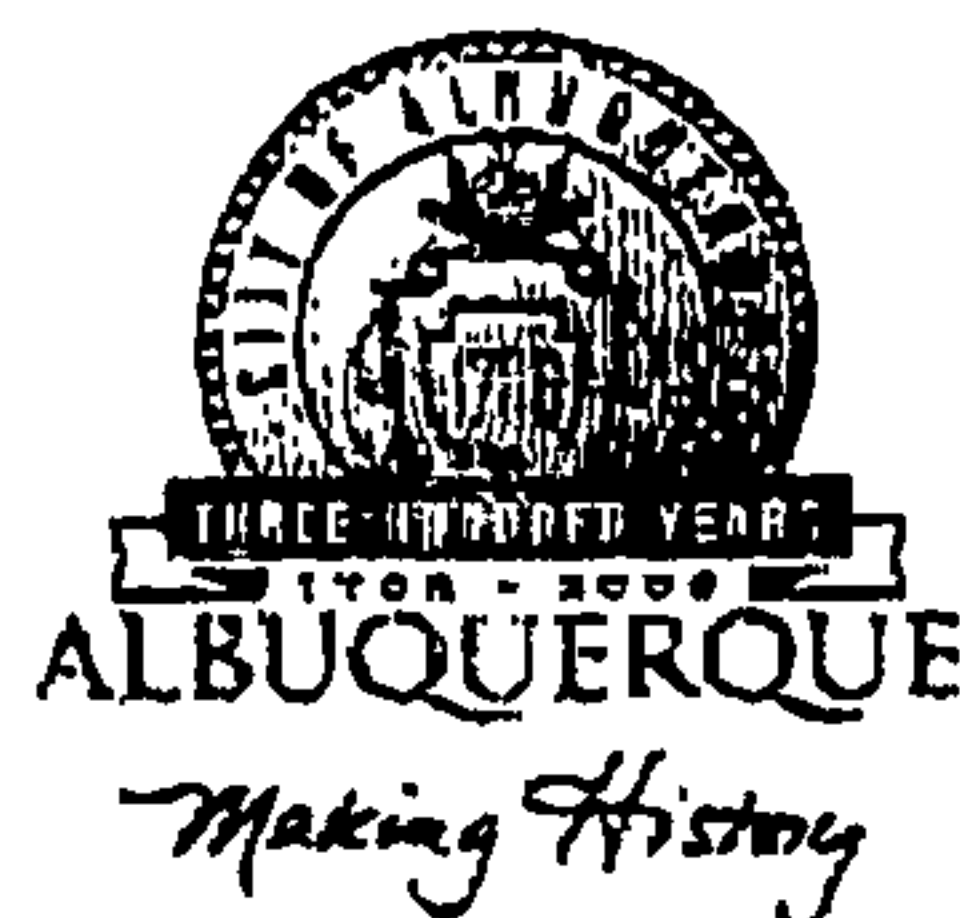
PEDONE JAMES S TRUSTEE
14018 ARCADIA RD NE
ALBUQUERQUE NM 87123

102305620741720207

BARNHILL ROSS & CONNIE
14100 ARCADIA RD NE
ALBUQUERQUE NM 87123

102305622041120206

BARR PATRICK A & LYNN D TRUST
14106 ARCADIA DR NE
ALBUQUERQUE NM 87123



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

July 19, 2006

Sarah

Surveys Southwest, LTD.

333 Lomas Boulevard NE/87102

Phone: 505-998-0303/Fax: 505-998-0306

Dear Sarah:

Thank you for your inquiry of **July 19, 2006** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACT A, COVERED WAGON** Zone Map: **L-23**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

NORTH FOUR HILLS N.A. (NFH) "R"

***Tom Conley, 13705 Poinsettia Ct. SE/87123 275-6721 (h)**

Nancy Caress, 421 Narcissus SE/87123 291-1592 (h)

SINGING ARROW N.A. (SAW) "R"

***Rose Sena, P.O. Box 5191/87185 292-6866 (h) 385-3565 (c)**

Diane Davidson, 12800 Piru SE/87123 877-5188 (h)

SUPPER ROCK N.A. (SPR) "R"

***Carol O'Keefe, 600 Vista Abajo Dr. NE/87123 296-9075 (h)**

Kathleen Schindler-Wright, 407 Monte Largo Dr. NE/87123 275-2710 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet **-OR-**
- [] The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.

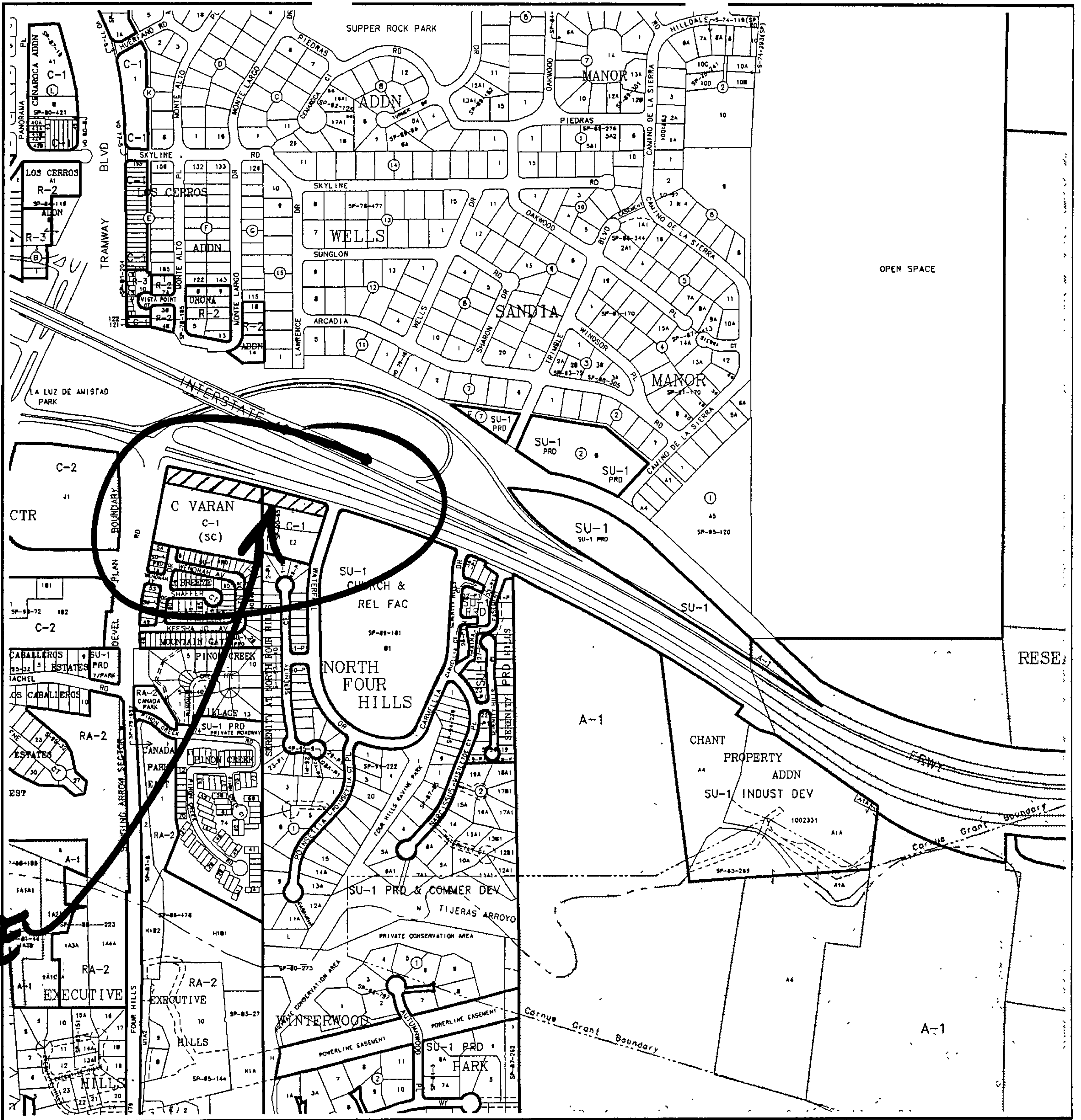
Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

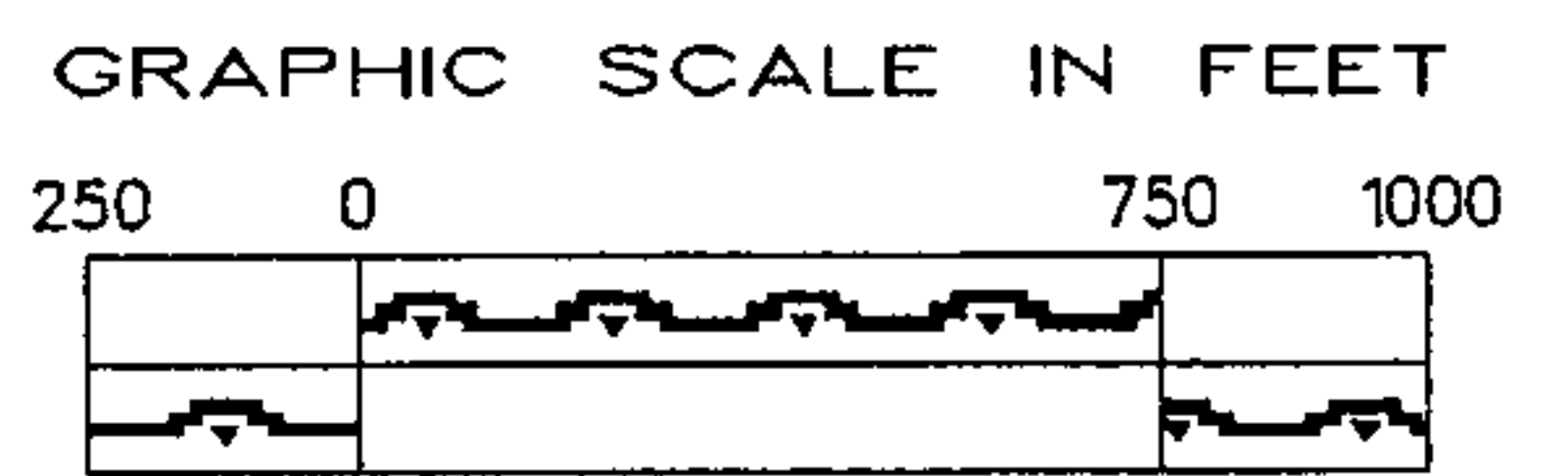
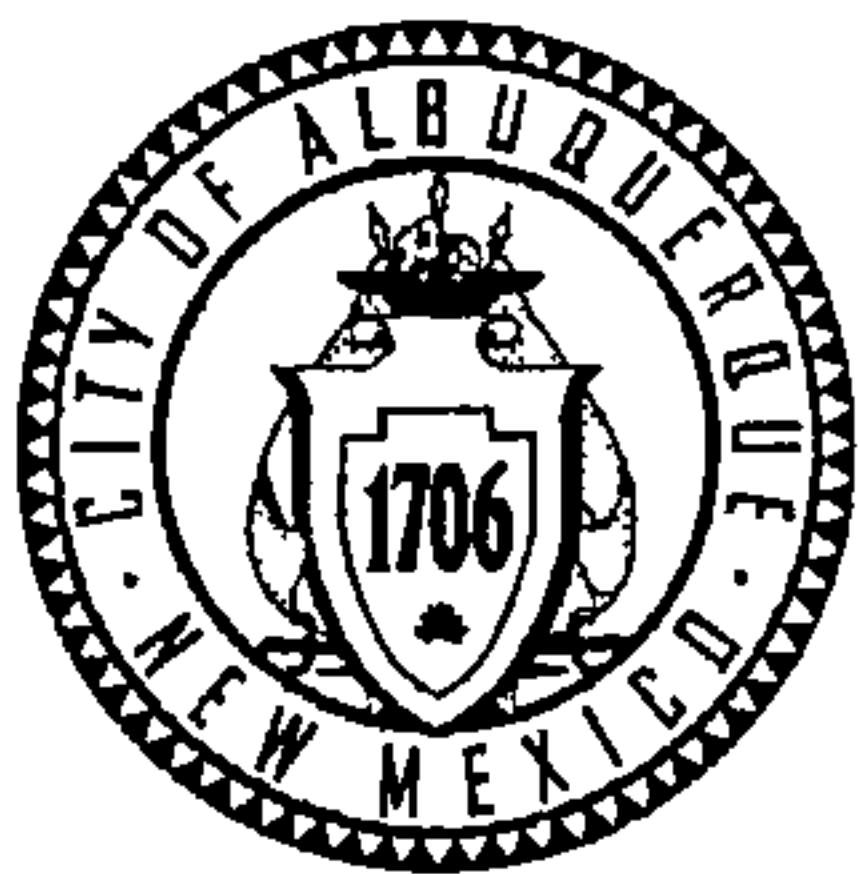
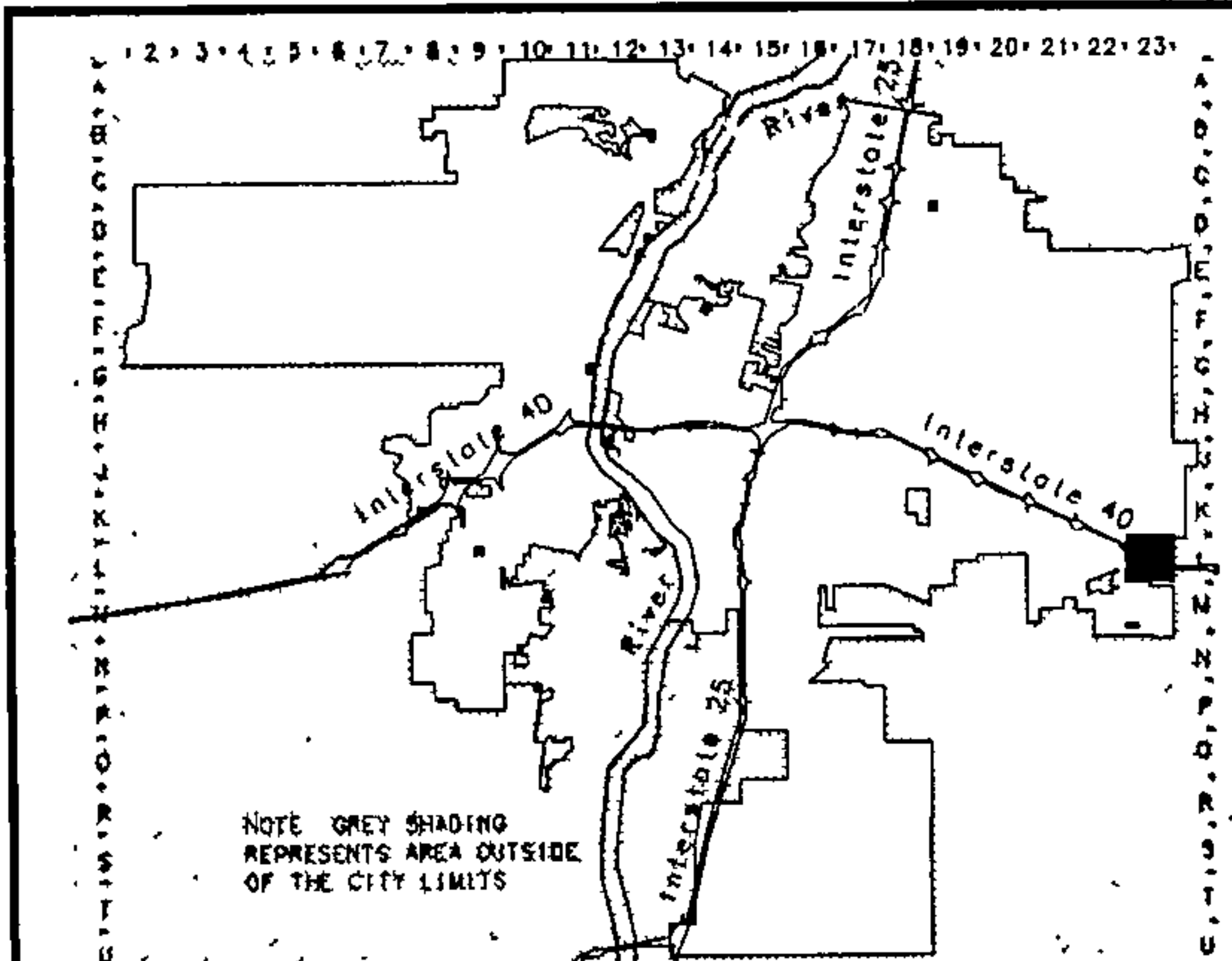
Thank you for your cooperation on this matter.

.....
(below this line for ONC use only)

Date of Inquiry: **07/19/06** Time Entered: **1:30 p.m.** ONC Rep. Initials: **SW**



ITE



Abuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
 © Copyright 2004

Zone Atlas Page

L-23-Z

Map Amended through August 04, 2004

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 27, 2006

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Board Members:

The purpose of this submittal is to vacate a waterline easement (the line has been relocated) and plat Eighteen (18) new lots for residential buildings.

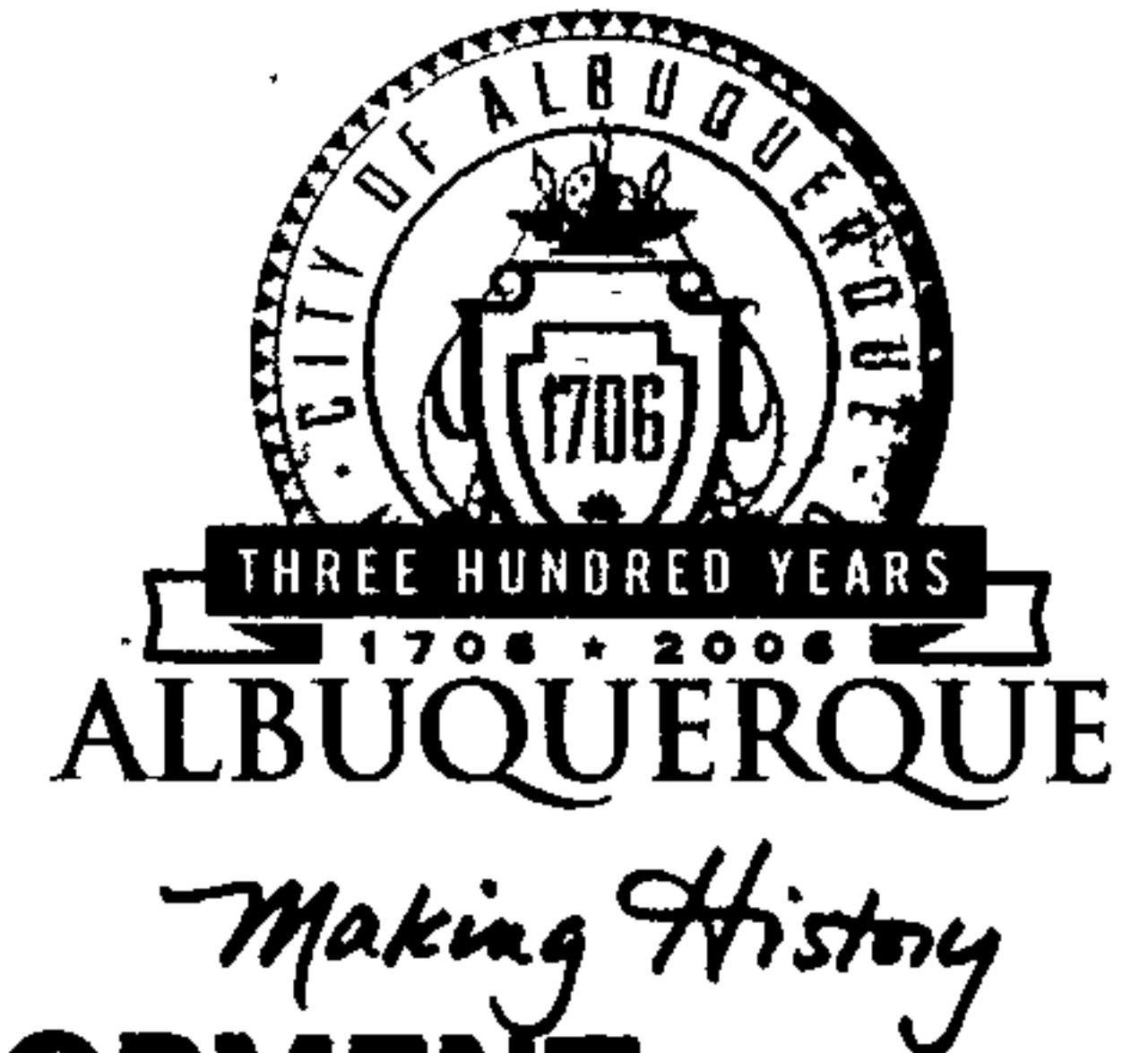
If you have any questions please feel free to contact me.

Sincerely,

Dan Graney
President

CITY OF ALBUQUERQUE

FYI



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

August 9, 2006

TO: Tom Conley and Nancy Caress, North Four Hills Neigh. Assoc.
Carol O'Keefe and Kathleen Schindler-Wright, Supper Rock Neigh. Assoc.
Rose Sena and Diane Davidson, Singing Arrow Neigh. Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately two (2) acre(s) - Major Preliminary Plat Approval; Major Vacation of Public Easements; and Minor Temporary Deferral of Sidewalks for vacation of waterline easement and to plat eighteen (18) new lots for residential buildings - the "Covered Wagon Subdivision".

Proposed by: Surveys Southwest Ltd. at (505) 998-0303
Agent for: Mountain West Development, Bill Wade

P.O. Box 1293

For property located: On or near Four Hills Road SE near Interstate 40-Freeway.

Albuquerque

The case number(s) assigned is: 06DRB- 01079, 01080, 01081, Project # 1002176.

City Planning accepted application for this request on July 28, 2006.

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on **Wednesday, August 23, 2006** in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

You should contact **Claire Senova** at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at **924-3902** or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 23, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1002176

06DRB-01079 Major-Preliminary Plat Approval
06DRB-01080 Major-Vacation of Public Easements
06DRB-01081 Minor-Temp Defer SDWK

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, BILL WADE request(s) the above action(s) for all or a portion of Tract(s) A, **COVERED WAGON SUBDIVISION**, zoned SU-1 for SF residential and C1 (SC), located on FOUR HILLS RD SE near INTERSTATE 40 containing approximately 2 acre(s). [REF: 06DRB-00092] (L-23)

Project # 1003272

06DRB-01087 Major-Vacation of Public Easements

ISAACSON & ARFMAN PA agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2-B, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 PDA INCLUDING C-3, located on EAGLE RANCH RD NW, between ALL SAINTS RD NW and PASEO DEL NORTE NW containing approximately 4 acre(s). [REF:06DRB-00941] (C-13)

Project # 1005031

06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned R-D, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] (C-9)

Project # 1002372

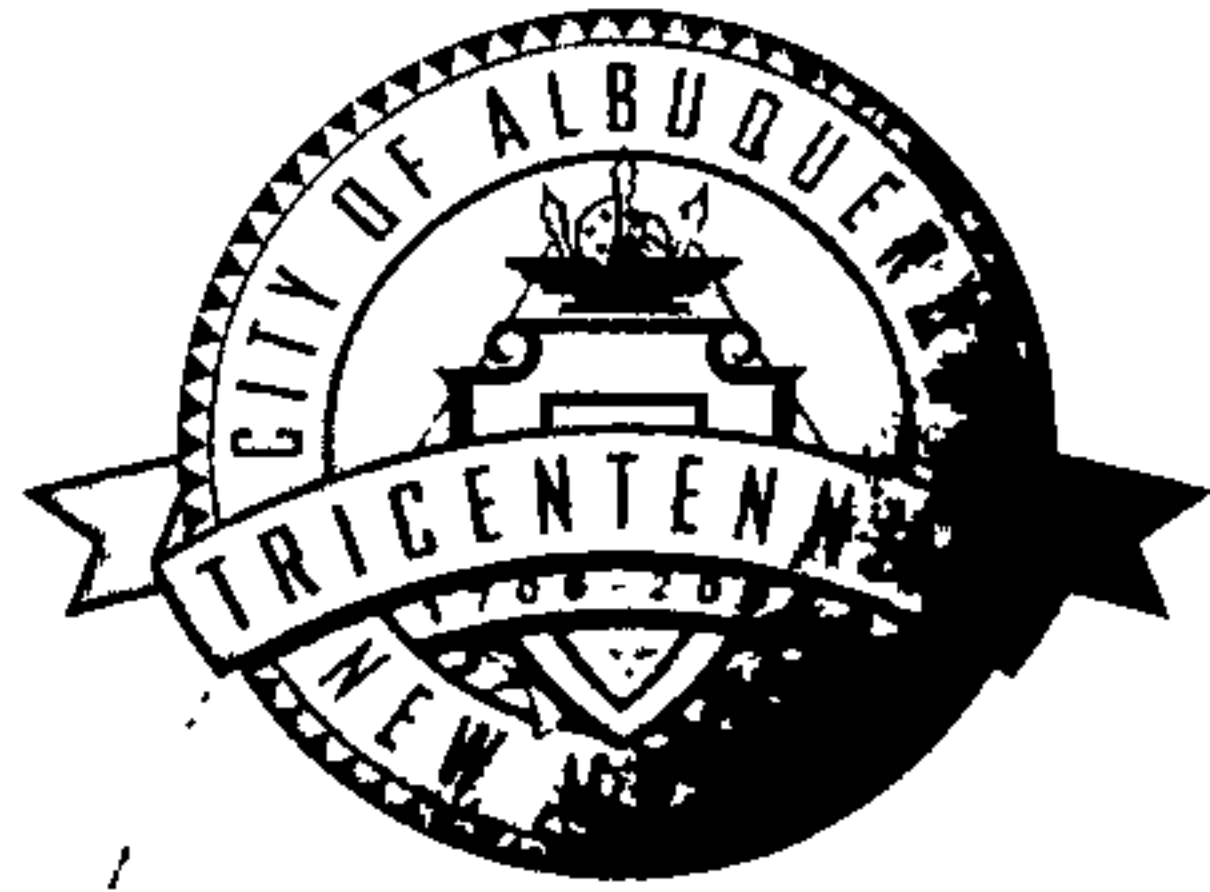
06DRB-01084 Major-Preliminary Plat Approval
06DRB-01085 Minor-Sidewalk Waiver
06DRB-01086 Minor-Temp Defer SDWK

THOMPSON ENGINEERING agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) 223 & 224, AIRPORT UNIT, TOWN OF ATRISCO GRANT (to be known as **LAS PLAYAS SUBDIVISION**) zoned R-2, located on GLEN RIO RD NW, between 68TH ST NW and 72ND ST NW containing approximately 9 acre(s). [REF: 02DRB-01827] (J-10)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

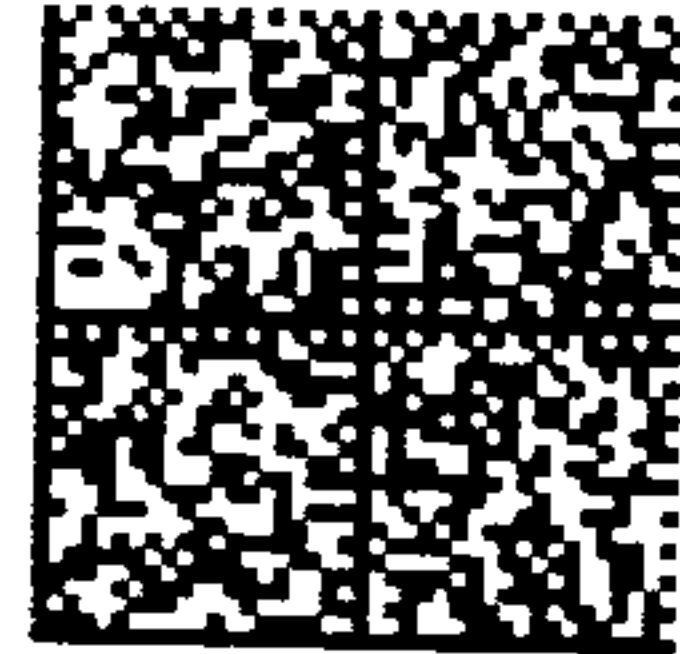
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 7, 2006.



Planning Department

CITY OF ALBUQUERQUE

TO SENDER
NO SUCH NUMBER



02 1A
0004329277
MAILED FROM ZIP CODE 87102

\$ 00.39⁰

Or Current Resident

Project # 1002176

MOUNTAIN WEST DEV. BILL WADE
PO BOX 75039
ALBUQUERQUE, NM 87194

NSH

DRR

87194/5555



P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 23, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

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06DRB-01084 Major-Preliminary Plat Approval
06DRB-01085 Minor-Sidewalk Waiver
06DRB-01086 Minor-Temp Defer SDWK

THOMPSON ENGINEERING agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) 223 & 224, AIRPORT UNIT, TOWN OF ATRISCO GRANT (to be known as **LAS PLAYAS SUBDIVISION**) zoned R-2, located on GLEN RIO RD NW, between 68TH ST NW and 72ND ST NW containing approximately 9 acre(s). [REF: 02DRB-01827] (J-10)

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Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 7, 2006.

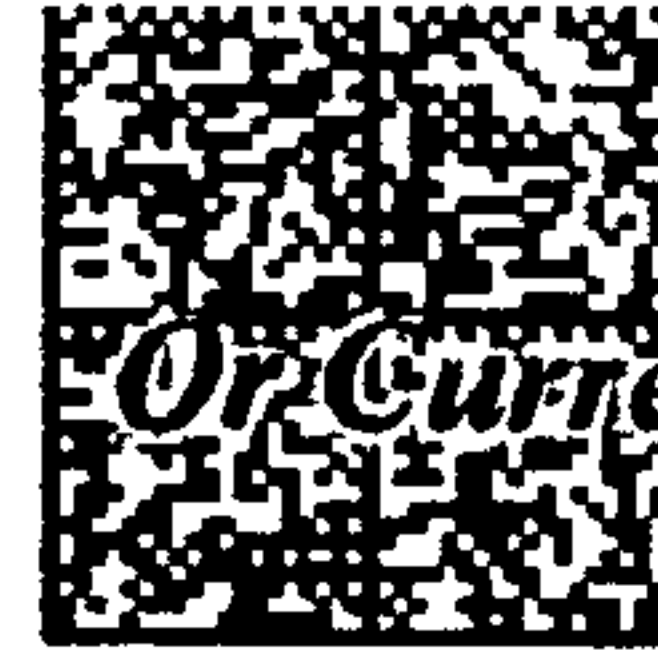
CITY OF ALBUQUERQUE



● Planning Department

102305609531121739

MORENO CARLOS A & RHONDA M PI
5265 RIVERDALE CT
PLEASANTON CA 96588



On Current Postment \$ 00.39⁰

0004329277 AUG 04 2006
MAILED FROM ZIP CODE 87102

NIXIE 945 1 30 08/11/06

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 87103129393 *0269-00415-04-38

34388+3738-6571031293



P O Box 1293 Albuquerque, New Mexico 87103

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action <u>PRELIMINARY</u>	<input type="checkbox"/>	<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor Subdivision action	<input type="checkbox"/>	<input type="checkbox"/> County Submittal
<input checked="" type="checkbox"/> Vacation <u>PUBLIC WATER, SEWER & P.U.E.</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning) <u>P.U.E.</u>	<input type="checkbox"/>	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes	<input type="checkbox"/>	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit	<input type="checkbox"/>	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/>	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	APPEAL / PROTEST of...
STORM DRAINAGE	D	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: MOUNTAIN WEST DEVELOPMENT, BILL WAIDE PHONE: 730-8849
 ADDRESS: P.O. Box 75039 606449 FAX: 323-0249
 CITY: ALBU STATE NM ZIP 87194 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: 87193
 AGENT (if any): SURVELS SOUTHWEST, LTD PHONE: 998-0303
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: VACATION OF EXISTING PUBLIC WATER SEWER & P.U.E. (VACATION ACTION) & DIVIDE ONE LOT INTO EIGHTEEN NEW LOTS.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A Block: N/A Unit: N/A
 Subdiv. / Addn. COVERED WAGON SUBDIVISION
 Current Zoning: SU-1 - SF Proposed zoning: N/A
 Zone Atlas page(s): L-23-Z No. of existing lots: 1 No. of proposed lots: 18
 Total area of site (acres): 1.06380 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 1-023-056-148-340-21001, 1-023-056-096-335-21016 MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREETS, On or Near U.S. HIGHWAY I-40
 Between: FOUR HILLS ROAD SE and WATERFALL DRIVE SE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): Proj # 1002176
06DRB-00092,

Check-off if project was previously reviewed by Sketch Plat/Plan ? , or Pre-application Review Team ? . Date of review: _____

SIGNATURE Dan Graney DATE 7.25.06
 (Print) Dan Graney _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB 01079</u>	<u>PP</u>	<u>5(2)</u>	<u>\$ 430.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	<u>06DRB 01080</u>	<u>VPE</u>	_____	<u>\$ 45.00</u>
<input checked="" type="checkbox"/> Case history #s are listed	<u>06DRB 01081</u>	<u>IDS</u>	_____	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				
<input checked="" type="checkbox"/> F.H.D.P. density bonus				
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				
	Hearing date <u>08/23/06</u>			Total <u>\$ 1070.00</u>

Sandy Sandley 07/28/06

Project # 1002176

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT

(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney Applicant name (print)
Dan Graney Applicant signature / date
7.25.06



Form revised 9/01, 8/03 and 9/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06003 - 01079
_____-_____
_____-_____

Sandy Handley 07/28/06
Planner signature / date

Project # 1002176

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(Public Hearing Case)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

PUBLIC WATER, SEWER & P.U.E

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney Applicant name (print)
Dan Graney Applicant signature / date
 7.25.06



Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06DRB - -01080

Sandy Handley 07/28/06 Planner signature / date
Project # 1002176

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE** (Public Hearing Case)
 - ___ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously.
 - ___ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC RIGHT-OF-WAY**
 - VACATION OF PUBLIC EASEMENT**
 - ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - ___ Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)**
 - SIDEWALK DESIGN VARIANCE**
 - SIDEWALK WAIVER**
 - ___ Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
 - ✓ Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - ✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ✓ Letter briefly describing, explaining, and justifying the deferral or extension
 - ✓ Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT**
 - ___ The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - ___ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the vacation
 - ___ Letter of authorization from the grantors and the beneficiaries
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

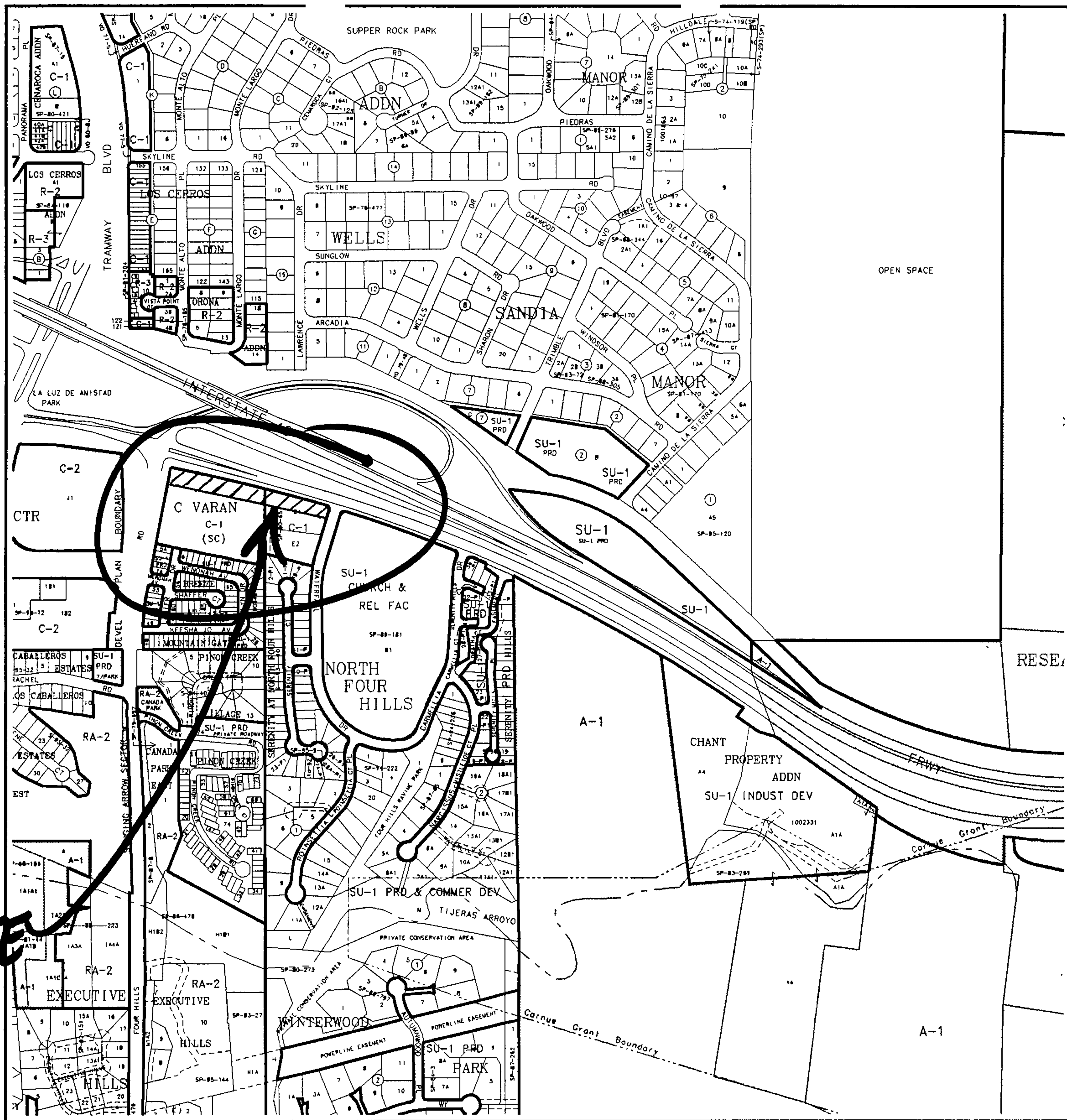
Dan Graney Applicant name (print)
Dan Graney Applicant signature / date
 7.25.06



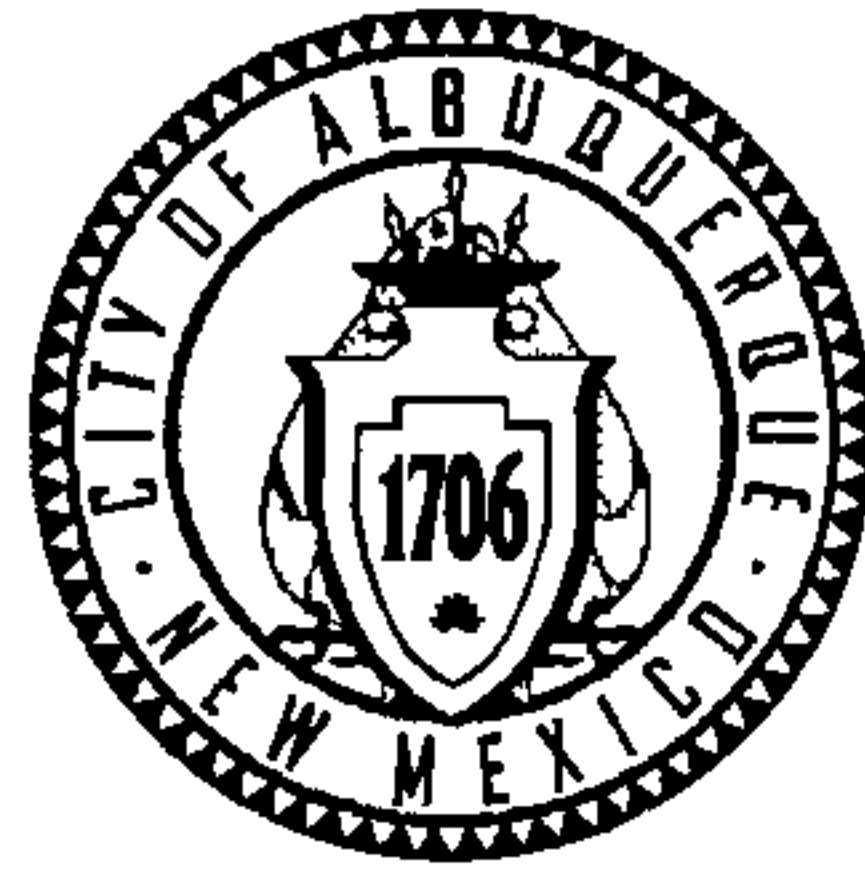
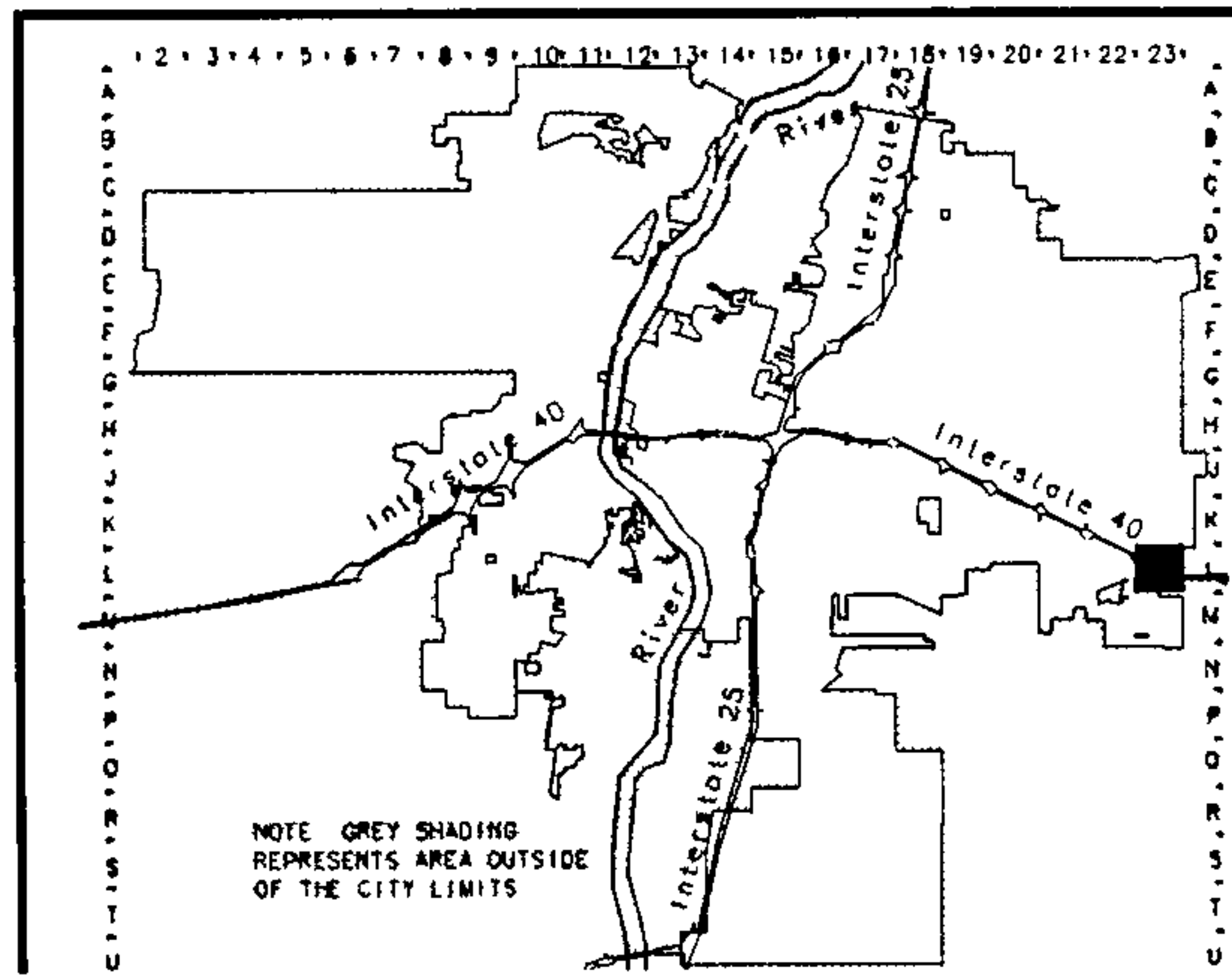
Form revised April 2003

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 062813 - - 01081

Sandy Sandley 07/28/06
 Planner signature / date
 Project # 1002176



SITE



AGIS
Albuquerque Geographic Information System
PLANNING DEPARTMENT

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Zone Atlas Page

L-23-Z

Map Amended through August 04, 2004

Surveys Southwest, Ltd

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

July 27, 2006

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

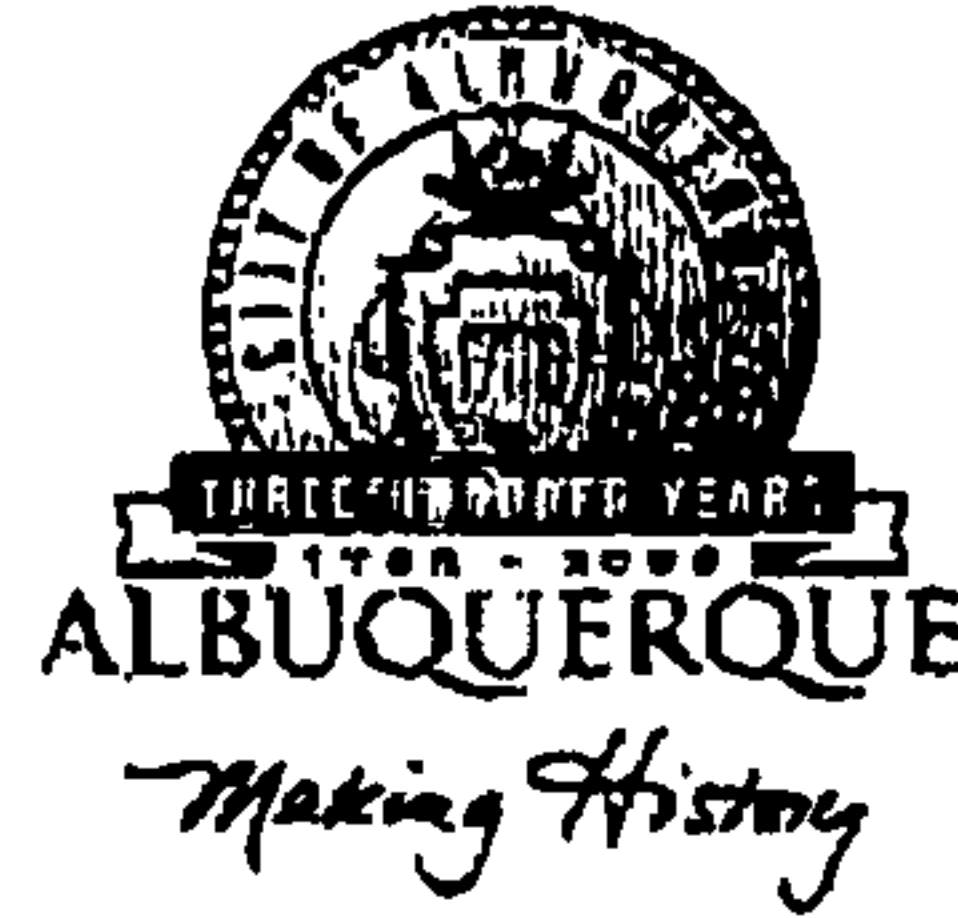
Dear Board Members:

The purpose of this submittal is to vacate a waterline easement (the line has been relocated) and plat Eighteen (18) new lots for residential buildings.

If you have any questions please feel free to contact me.

Sincerely,

Dan Graney
President



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

July 19, 2006

Sarah
Surveys Southwest, LTD.
333 Lomas Boulevard NE/87102
Phone: 505-998-0303/Fax: 505-998-0306

Dear Sarah:

Thank you for your inquiry of **July 19, 2006** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACT A, COVERED WAGON** Zone Map: **L-23**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

NORTH FOUR HILLS N.A. (NFH) "R"

***Tom Conley**, 13705 Poinsettia Ct. SE/87123 275-6721 (h)
Nancy Caress, 421 Narcissus SE/87123 291-1592 (h)

SINGING ARROW N.A. (SAW) "R"

***Rose Sena**, P.O. Box 5191/87185 292-6866 (h) 385-3565 (c)
Diane Davidson, 12800 Piru SE/87123 877-5188 (h)

SUPPER ROCK N.A. (SPR) "R"

***Carol O'Keefe**, 600 Vista Abajo Dr. NE/87123 296-9075 (h)
Kathleen Schindler-Wright, 407 Monte Largo Dr. NE/87123 275-2710 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

planningnaform(10/08/05)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet **-OR-**
- The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

.....
(below this line for ONC use only)

Date of Inquiry: **07/19/06** Time Entered: **1:30 p.m.** ONC Rep. Initials: **SW**

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

NORTH FOUR HILLS NEIGHBORHOOD ASSOC.
TOM CONLEY
13705 POINSETTIA COURT SE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Tom Conley:

This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

The date and time of the DRB hearing will be posted on the site two weeks before the hearing. Presently the schedule for the hearing is August 23, 2006.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President

7004 0550 0000 8428 8634

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For delivery information visit our website at www.usps.com ®	
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Postage	\$ 0.87
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	5.12/00
Total Postage & Fees	\$ 9.24
Postmark Here	
7/25/06	
Sent To TOM CONLEY	
Street, Apt. No. or PO Box No. 13705 POINSETTIA CT. SE	
City, State, ZIP+4 ALBU, N. MEX 87123	

PS Form 3800, June 2002 See Reverse for Instructions

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

NORTH FOUR HILLS NEIGHBORHOOD ASSOC.
NANCY CARESS
421 NARCISSUS SE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Nancy Caress:


This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

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If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

7099 3400 004E 6607
7099 3400 0016 2264 2470

U.S. Postal Service	
CERTIFIED MAIL RECEIPT	
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>	
Postage	\$.87
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.12/00
Postmark Here 7/25/06	
Recipient's Name (Please Print Clearly) (to be completed by mailer) NANCY CARESS	
Street, Apt. No., or PO Box No. 421 NARCISSUS SE	
City, State, Zip+4 ALBU, N. MEX. 87123	
PS Form 3800 February 2000	
See Reverse for Instructions	

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

SINGING ARROW NEIGHBORHOOD ASSOC.
ROSE SENA
P.O. BOX 5191
ALBUQUERQUE, NM 87185

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Rose Sena:


This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

The date and time of the DRB hearing will be posted on the site two weeks before the hearing. Presently the schedule for the hearing is August 23, 2006.

If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

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(Domestic Mail Only; No Insurance Coverage Provided)

7 12 25 2006

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Return Receipt Fee (Endorsement Required)	1.85	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.12/00	

Recipient's Name (Please Print Clearly) (to be completed by mailer)
ROSE SENA
Street, Apt. No., or PO Box No.
P.O. BOX 5191
City, State, ZIP+4
ALBU, N. MEX 87185

PS Form 3800 February 2000 See Reverse for Instructions

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

SINGING ARROW NEIGHBORHOOD ASSOC.
DIANE DAVIDSON
12800 PIRU SE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Diane Davidson:


This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

The date and time of the DRB hearing will be posted on the site two weeks before the hearing. Presently the schedule for the hearing is August 23, 2006.

If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

5922 4964 2269
7005 1620 0008 1964 2269

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Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.12/10
Postmark Here 7/25/06	
Sent To DIANE DAVIDSON	
Street, Apt. No.; or PO Box No. 12800 PIRU SE	
City, State, ZIP+4® ALBU, N. MEX 87123	

PS Form 3800, June 2002 See Reverse for Instructions

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

SUPPER ROCK NEIGHBORHOOD ASSOC.
CAROL O'KEEFE
600 VISTA ABAJO DRIVE NE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Carol O'Keefe:


This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

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If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

7005 1820 0008 1964 2276

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.12/00
Sent To	CAROL O'KEEFE
Street, Apt. No., or PO Box No.	600 VISTA ABAJO DR NE
City, State, ZIP+4	ALBU, N. MEX 87123
Postmark Here 7/25/06	
PS Form 3800, June 2002	
See Reverse for Instructions	

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

SUPPER ROCK NEIGHBORHOOD ASSOC.
KATHLEEN SCHINDLER-WRIGHT
407 MONTE LARGO DRIVE NE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Kathleen Schindler-Wright

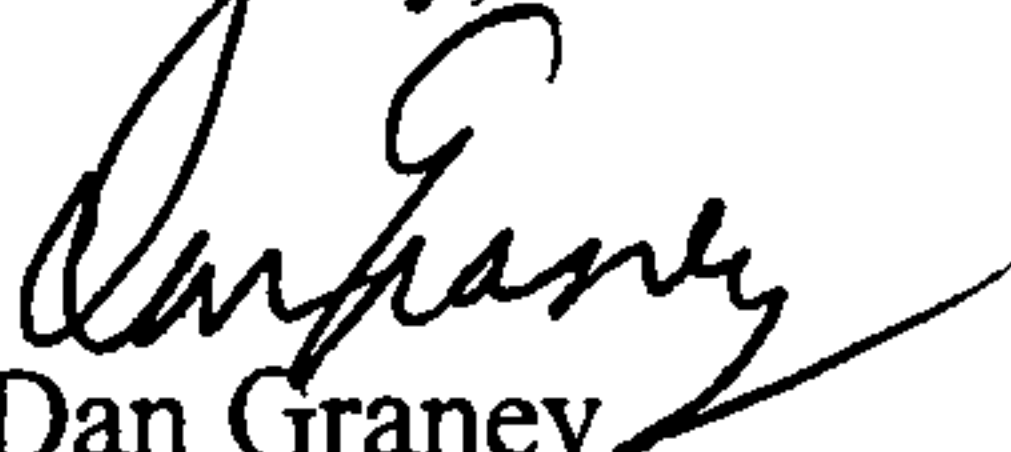
This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

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If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

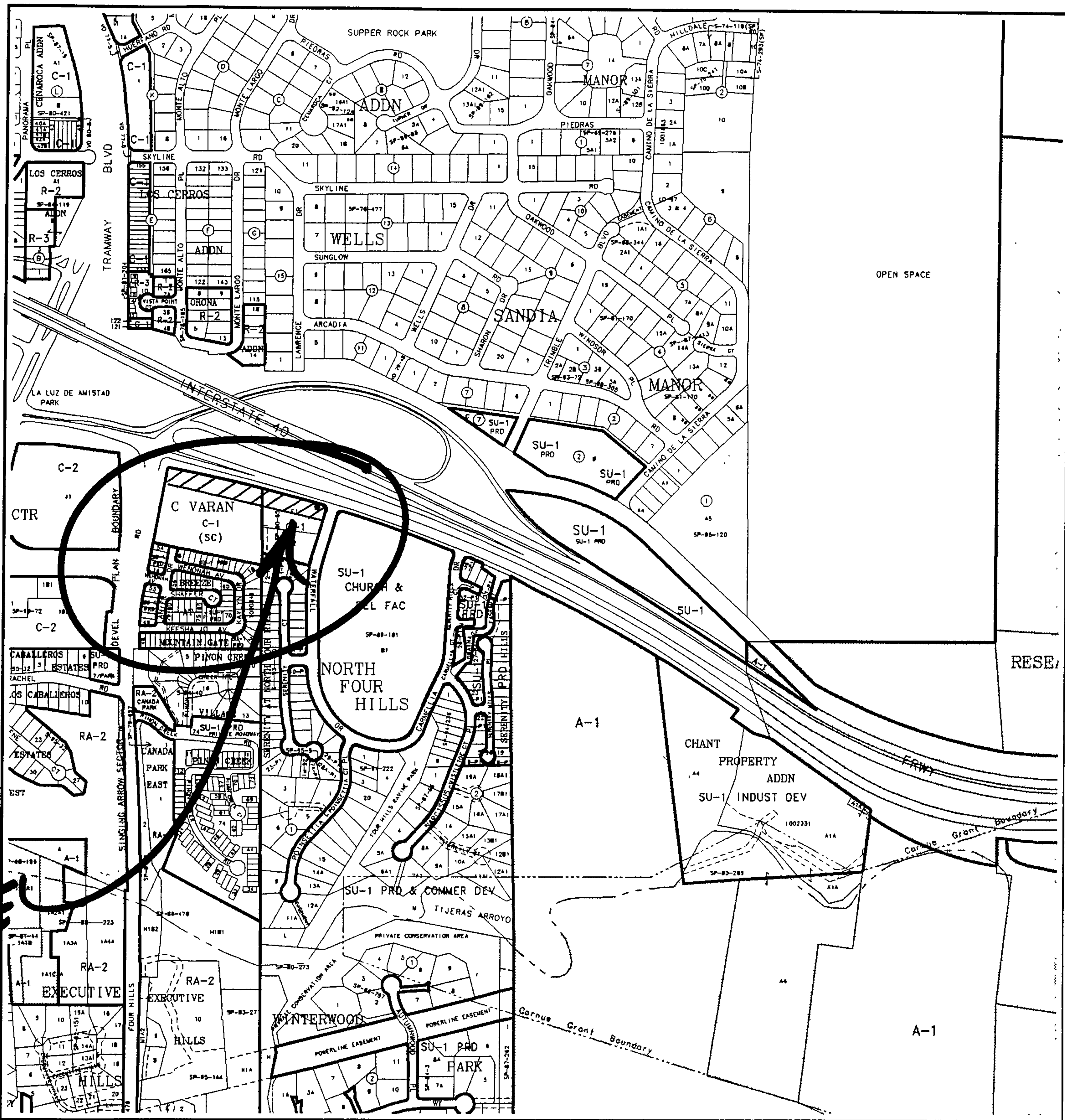
7005 1820 0008 1964 2283

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.12/00

Postmark Here
7/25/06

Sent To	KATHLEEN SCHINDLER-WRIGHT
Street, Apt. No., or PO Box No.	407 MONTE LARGO DR NE
City, State, ZIP+4	ALBU, N. MEX 87123

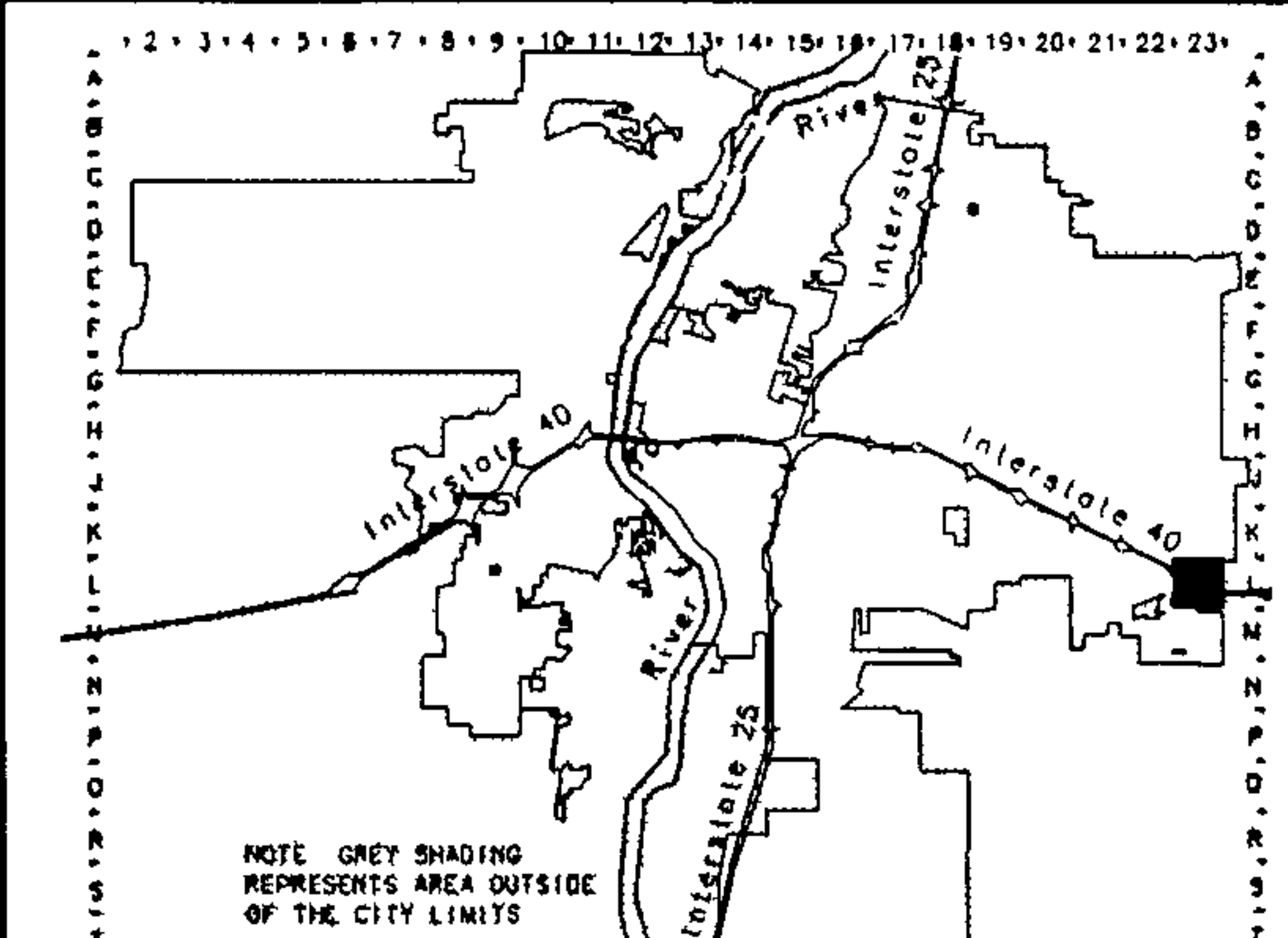
PS Form 3800, June 2002 See Reverse for Instructions



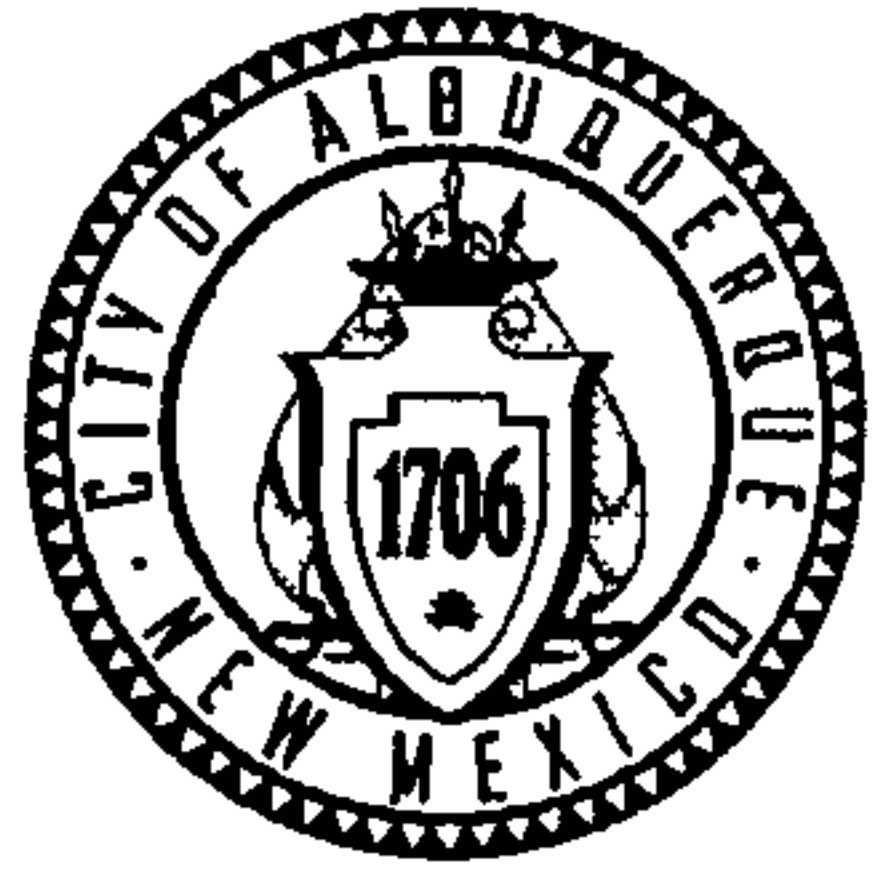
OPEN SPACE

RESE

SITE

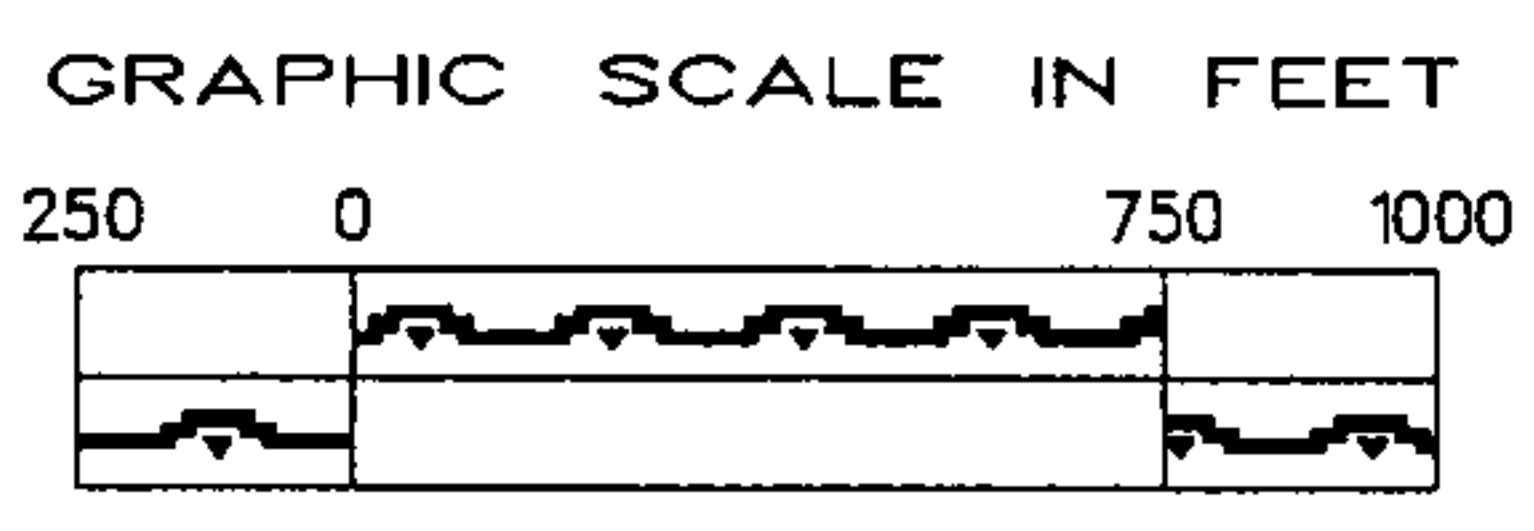


NOTE GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS



Albuquerque Geographic Information System
PLANNING DEPARTMENT

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Zone Atlas Page

L-23-Z

Map Amended through August 04, 2004

Surveys Southwest, Ltd

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

July 27, 2006

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Board Members:

This is a request to temporarily defer the installation of sidewalks along the frontage of Lot 1-P1 through 18-P1 of the above referenced subdivision. The sidewalks will be installed on the individual lots as the houses are completed.

If you have any questions please feel free to contact me.

Sincerely,

Dan Graney
President

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / ENVIRONMENTAL HEALTH INFORMATION FORM

APPLICANT: BILL WADE MARI-MACII Date of request: FEB 2 2004 Zone atlas page(s): L-23

CURRENT: Zoning _____ Legal Description - Lot or Tract # C-10000 E E-1 Block # _____
Parcel Size (acres / sq.ft.) _____ Subdivision Name NOBLE FOUNTAINS ESTATE

REQUESTED CITY ACTION(S):
Annexation [] Sector Plan [] Site Development Plan: Building Permit []
Comp. Plan Zone Change [X] a) Subdivision [] Access Permit []
Amendment [] Conditional Use [] b) Build'g Purposes [] Other []
c) Amendment []

PROPOSED DEVELOPMENT: GENERAL DESCRIPTION OF ACTION: 1
No construction / development [] # of units - 53
New Construction [X] Building Size - 1460 +/- (sq. ft.)
Expansion of existing development []

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative [Signature] Date 2-5-04
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []
Planning Dept., Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3994

THRESHOLDS MET? YES [] NO [X] Mitigating reasons for not requiring TIS: Previously studied: []
Notes:

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] 2-2-04
TRAFFIC ENGINEER DATE

Per letter dated August 7, 2003 from the Director of the Environmental Health Department to the Director of the Planning Department, "all 5 CO monitors within Bernalillo County are yielding 8-hour average CO levels at less than 50% of the Federal CO standard ..." and "based on our review of the available scientific data, we do not foresee a circumstance where preparation of a detailed air quality study for a land use development will be warranted - regardless of the project size, location or traffic generated".

Required TIS must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED ___/___/___ DATE
- FINALIZED ___/___/___ TRAFFIC ENGINEER

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH

Surveys Southwest, Ltd

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

July 27, 2006

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

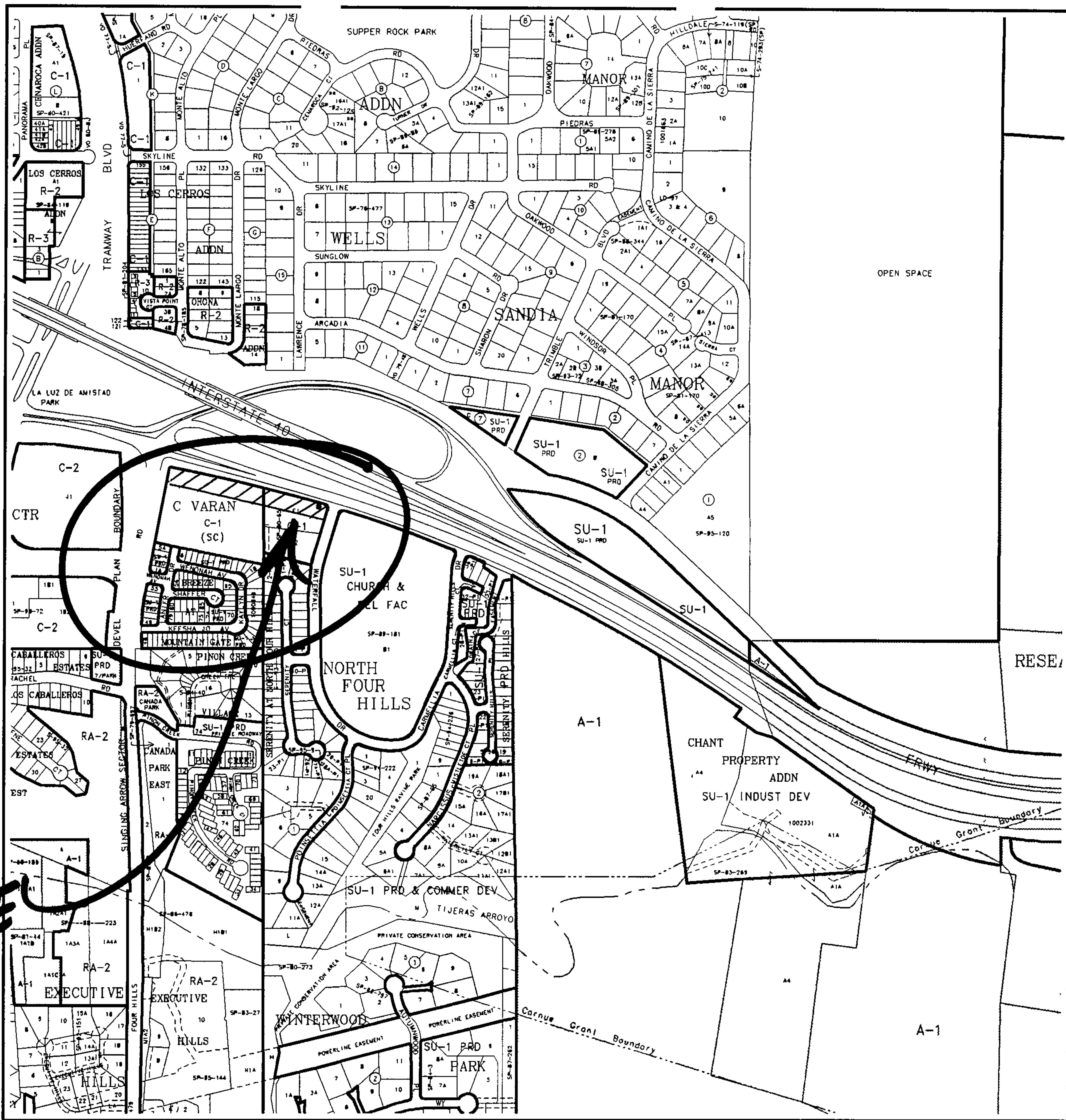
Dear Board Members:

The purpose of this submittal is to vacate a waterline easement (the line has been relocated) and plat Eighteen (18) new lots for residential buildings.

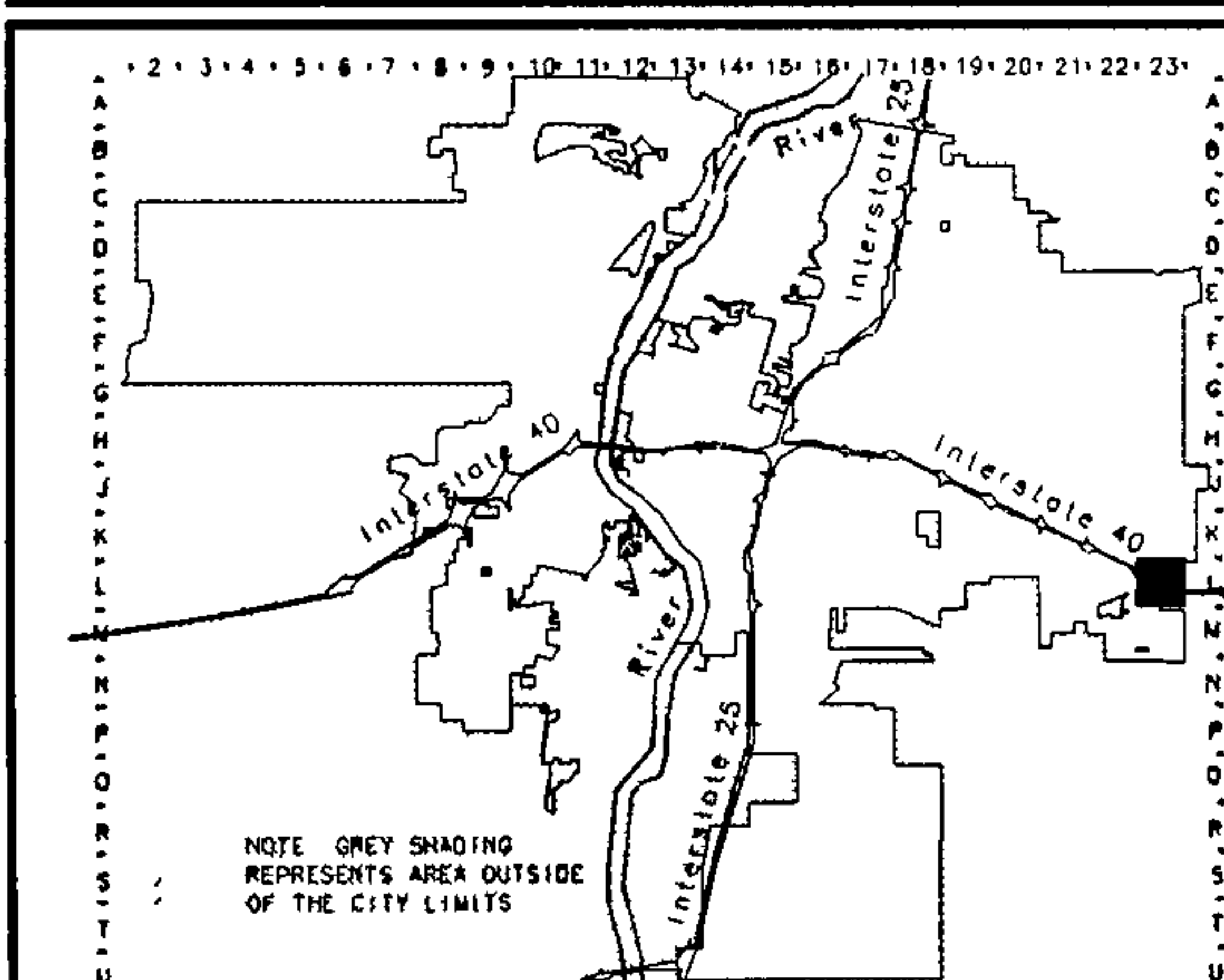
If you have any questions please feel free to contact me.

Sincerely,

Dan Graney
President



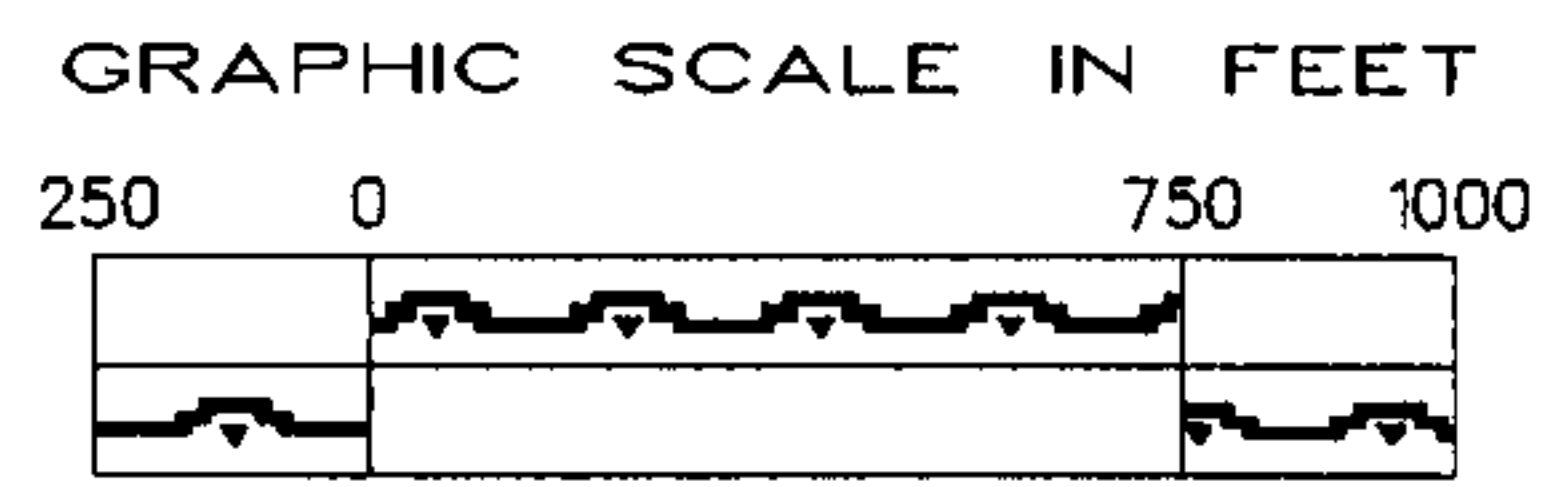
SITE



NOTE GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS



A G I S
 Albuquerque Geographic Information System
 PLANNING DEPARTMENT
 © Copyright 2004



Zone Atlas Page

L-23-Z

Map Amended through August 04, 2004



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 23, 2004

Mr. Marvin R. Kortum
1603 Speakman Drive SE
Albuquerque, NM 87123

RE: Water and Sanitary Sewer Availability Statement
Proposed Covered Wagon Subdivision
Unplatted Lands of Cyrus Varan and Lot E-1 of the North Four Hills Subdivision

L-23

Mr. Kortum:

Service requirements for the subject site were last addressed in an availability statement dated August 25, 2003. It is understood that, since the issuance of that letter, the scope of the proposed development has been expanded to include Lot E-1, a parcel immediately east of the unplatted lands of Cyrus Varan.

Project Information: The property now includes approximately 6.5 acres of undeveloped property located east of Four Hills Ranch Road and south of Central Avenue in southeast Albuquerque. The two parcels have similar C-1 zoning except that the western lot is designated for shopping center purposes. The site is the subject of a pending EPC action to subdivide and change the existing zoning to SU-1 for single family residential.

Existing Conditions: Both 10- and 12-inch waterlines are present within the respective rights-of-way of Four Hills and Central. An additional 8-inch is located in Waterfall. Each of these lines is located within the 7ER Ridgecrest pressure zone. Existing nearby sanitary sewer lines consist of 8-inch lines in Waterfall and Central. The Central line terminates at Four Hills. As you are aware, the region immediately south of the subject site is being developed as a residential subdivision. As part of that development, a new 10-inch water line as well as an 8-inch sanitary sewer line is being constructed within Lanier Drive. The water line will be supplied by pressure zone 6E through a connection to the existing 12-inch west of Four Hills. The northernmost point of the sewer system will be a new manhole located at the intersection of Lanier and Wenonah. Please refer to project #655981 for specific details regarding these improvements.

Sanitary Sewer Service for the proposed development will require public line extensions. Minimum 8-inch sanitary sewer lines must be constructed at standard locations within each of the streets internal to the proposed subdivision. The design of the new sewer must include manholes spaced at regular intervals. Due to site grades, neither the line in Central nor the line in Waterfall is available for use as an outfall. The new lines must, therefore, drain to the previously referenced manhole in Lanier. Upon completion and acceptance of both the infrastructure improvements described herein as well as those associated with project #655981, service for the proposed development will be available via routine connection to the new lines.

Metered Water Service will also require public line extensions. Minimum 8-inch water lines must be constructed within each of the streets internal to the proposed subdivision. These lines will be supplied from two points. The line in Covered Wagon will connect to the 8-inch in Waterfall. Also, a 10-inch in Lanier must be extended south and connect to the 10-inch zone 6E line which is currently under construction for the Breeze at Mountain Gate Subdivision. As with all new subdivisions, looping of the water lines is a requirement. Dead-end lines will not be allowed. Specifically, an 8-inch connection between the east end of the South Street line and the Covered Wagon line must be included in the utility plan. Please be advised that a temporary PRV must be

included with the design of the new water lines. This valve must be located within the Covered Wagon right-of-way immediately west of the connection to the line in Waterfall. Upon completion of planned system modifications east of the project site, this valve will be removed. Service will be contingent upon the completion and acceptance of the infrastructure improvements described herein as well as those associated with the Breeze at Mountain Gate Subdivision.

Fire Protection: Fire flow rates are determined by the Fire Marshal based on both the size and the type of construction. Fire hydrants must be located within dedicated public rights-of-way. At a minimum, new hydrants must be constructed at each street intersection. The exact number and location of the new fire hydrants must be approved by the Fire Marshal prior to DRC approval.

Design and Construction: of all required improvements will be at the developer / property owner's expense and must be coordinated through the City of Albuquerque via the DRC / City Work Order process. Designs must be by a New Mexico registered professional engineer. Construction must be by a licensed, bonded, public utility contractor.

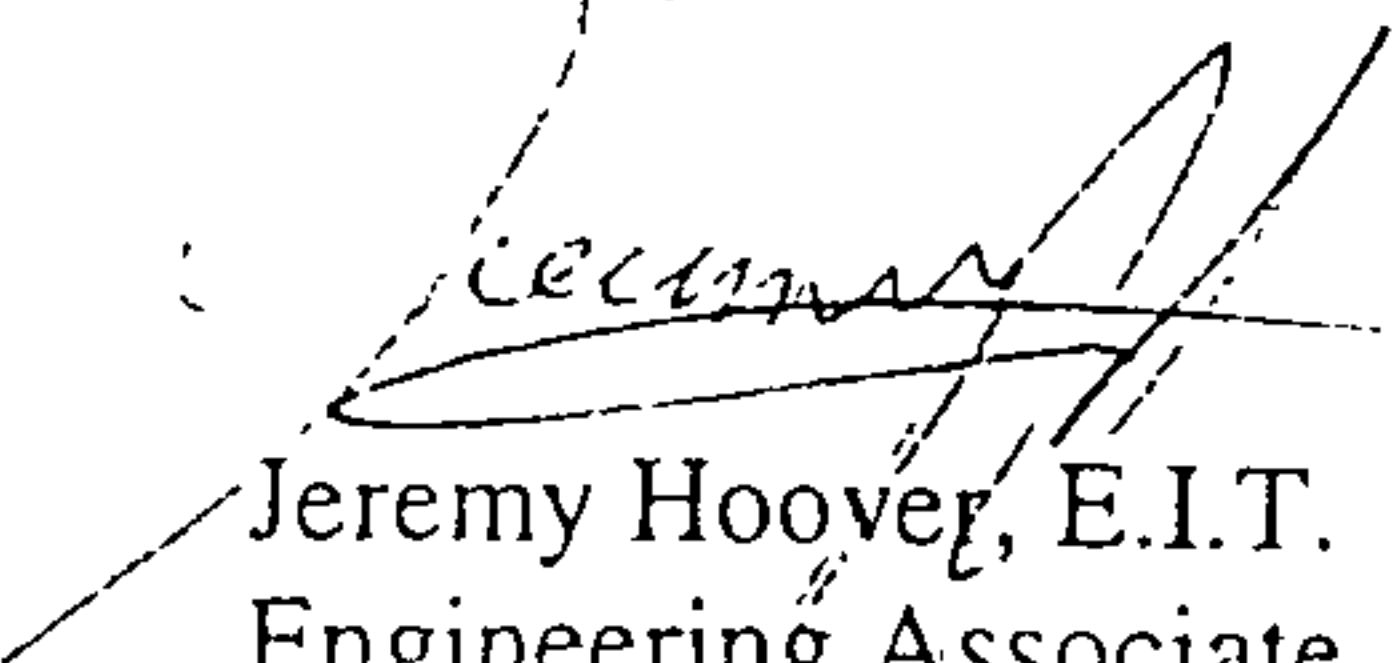
Easements: City of Albuquerque public water and sewer easements are required for all public lines to be constructed outside of dedicated rights-of-way. Minimum easement widths shall be 20-feet where single service lines are to be constructed and 25-feet where both water and sewer lines are included. Please be advised that encroachments on existing easements will not be allowed. Specifically, the northern lot configuration must be modified such that the lot lines remain no less than 10-feet south of the existing 12-inch water line. Acceptable easements must be procured and documented prior to DRC approval.

Utility Expansion Charges: In addition to installation and construction costs, both sanitary sewer and metered water service will be subject to Utility Expansion Charges (UEC). These charges are payable at the time service is requested and will be based on the ordinances in effect at the time of connection.

Closure: This statement of availability will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the City of Albuquerque's Public Works Department as soon as possible. Any outstanding pro rata and standby assessments must be paid at the time service is taken. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Please feel free to contact the undersigned at (505) 924-3987 or by fax at (505) 924-3864 if you have questions regarding the statements contained herein or need additional information.

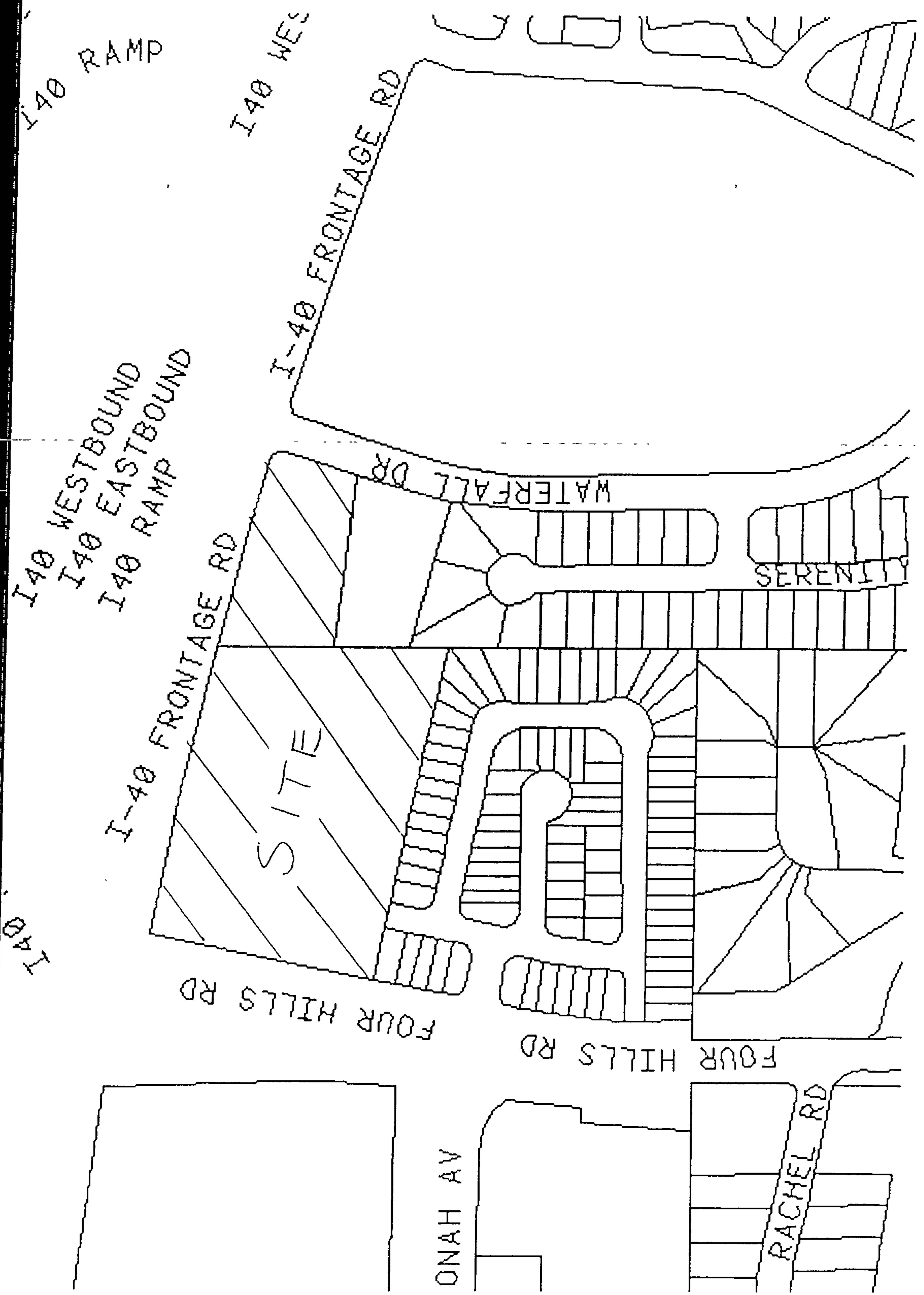
Sincerely,



Jeremy Hoover, E.I.T.
Engineering Associate
Utility Development Section
Public Works Department

c: f/ availability L-23
f/ readers #40303
f/ DRB #1002176

Pan/Zoom x,y: 3.03888,2.60827 dx,dy: 0.00000,0.00000 dist: 0.00000



SANITARY SEWER

Pan/Zoom x,y: 4.18307,3.46949 dx,dy: -0.12303,0.24605 dist: 0.27511



- EXISTING SEWER LINES
-●..... LINES UNDER CONSTRUCTION WITH CDA PROJECT # 655981
- - -● - - - REQUIRED PUBLIC LINE EXTENSION

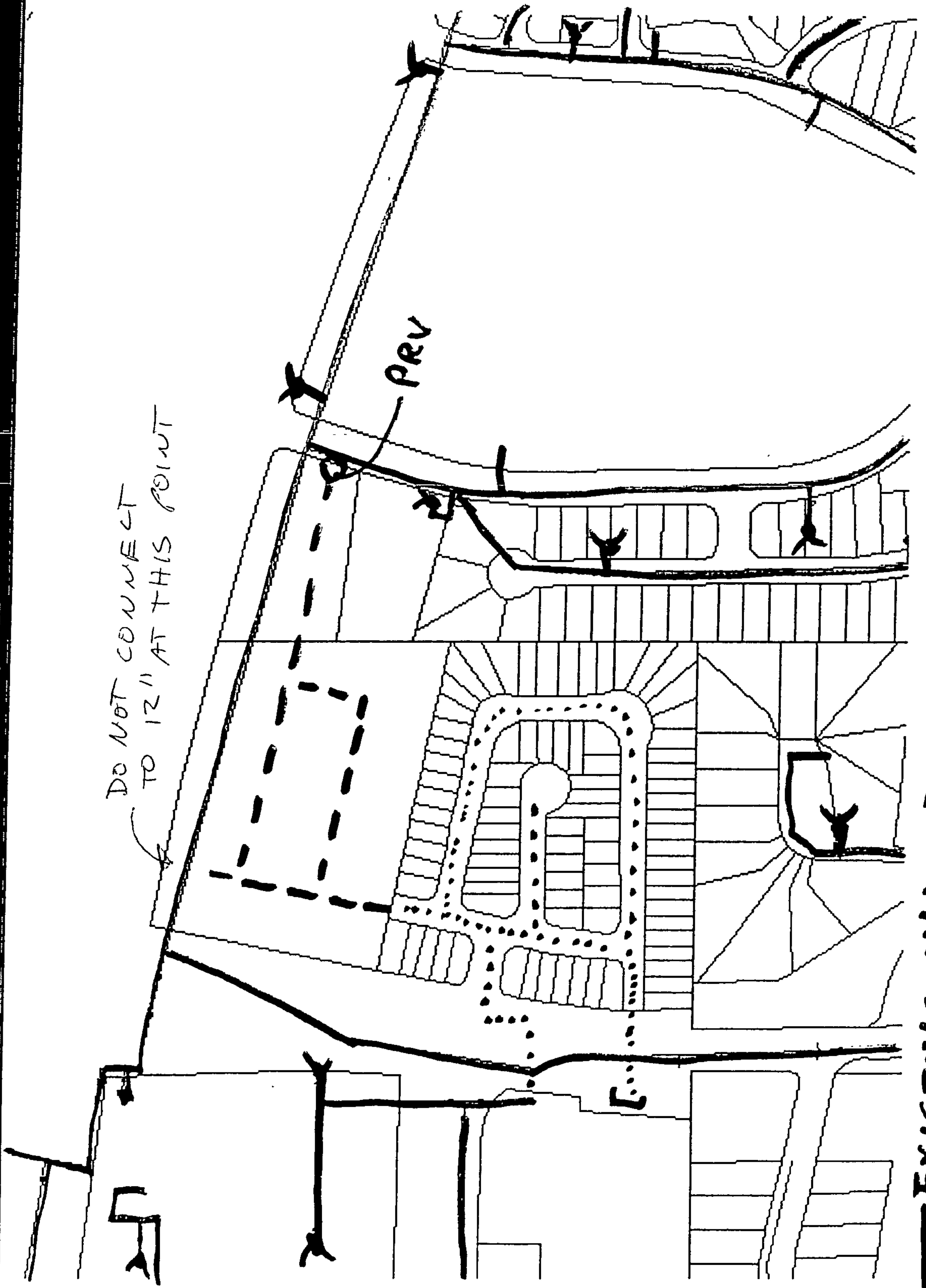
WATER

x,y: 4.99508,3.71555

dx,dy: -0.04921,0.00000

dist: 0.04921

Plan/Zoom



— EXISTING WATER LINES

..... LINES UNDER CONSTRUCTION WITH COA PROJECT #655981

--- REGRADIENT DURING PAVEMENT

2 7-27-05

INFRASTRUCTURE LIST

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

ORIGINAL

COVERED WAGON SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		24' WIDE 28' FACE TO FACE	ASPHALT SURFACE LOCAL RESIDENTIAL	LANIER DRIVE	SOUTH BOUNDARY OF SUBDIVISION	INTERSECTION W/COVERED WAGON AVE	1	1	1
		24' WIDE 28' FACE TO FACE	ASPHALT SURFACE LOCAL RESIDENTIAL	COVERED WAGON ALONG	LANIER DRIVE	WATERFALL DRIVE	1	1	1
		24' WIDE 28' FACE TO FACE	ASPHALT SURFACE LOCAL RESIDENTIAL	MOUNTAIN WEST COURT	LANIER DRIVE	EAST END TURN AROUND	1	1	1
			STANDARD CURB GUTTER OR ROLL CURB, AS REQUIRED BY ENGINEER DESIGN FOR RUNOFF FLOW	ALONG BOTH SIDES OF LANIER DRIVE COVERED WAGON AVE. MOUNTAIN WEST COURT	SOUTH BOUNDARY OF SUBDIVISION	WATERFALL DR	1	1	1
		4' WIDE 1 (DEFERRED) (P.W.)	PORTLAND CEMENT SIDEWALK	ALONG BOTH SIDES OF LANIER DRIVE COVERED WAGON AVE MOUNTAIN WEST COURT	SOUTH BOUNDARY OF SUBDIVISION	WATERFALL DR	1	1	1
		6' WIDE MRK	PORTLAND CEMENT SIDEWALK	ALONG DRAINAGE EASEMENT AT WEST SIDE OF LANIER DRIVE	LANIER DRIVE	FOUR HILLS ROAD	1	1	1
		6' WIDE MRK	PORTLAND CEMENT SIDEWALK	IN FOUR HILLS ROAD R.O.W.	WEST FRONTAGE OF SUBDIVISION		1	1	1

ORIGINAL

SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
18' FALL TO FALL	STUB STREET TO LOT 18	NORTH END OF LAMAR DR	CGRDR	LOT 18 P.L
▲	SIDEWALK W/INCL 2.4 WEST & NORTH END OF STUB (LIMITED)			(POW)
	STREET LIGHTS	AS REQUIRED, COORDINATE W/CITY / PNM		
▲ 12"	Waterline Relocation	Hwy 333	LOT 18	LOT 1

Private Inspector	City Inspector	City Cnst Engineer
1	1	1
1	1	1
1	1	1
1	1	1

NOTES

1 _____

2 _____

3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENT / OWNER: Bill WADE (Firm) 7/27/05

DRB CHAIR - date: Garrett Nelson 7/28/04

PARKS & GENERAL SERVICES - date: Christina Sandoval 7/28/04 ^{CS 7/27/05}

TRANSPORTATION DEVELOPMENT - date: Deft Sy 7-28-04

AMAFCA - date: _____

UTILITY DEVELOPMENT - date: Roger Green 7/28/04

_____ - date _____

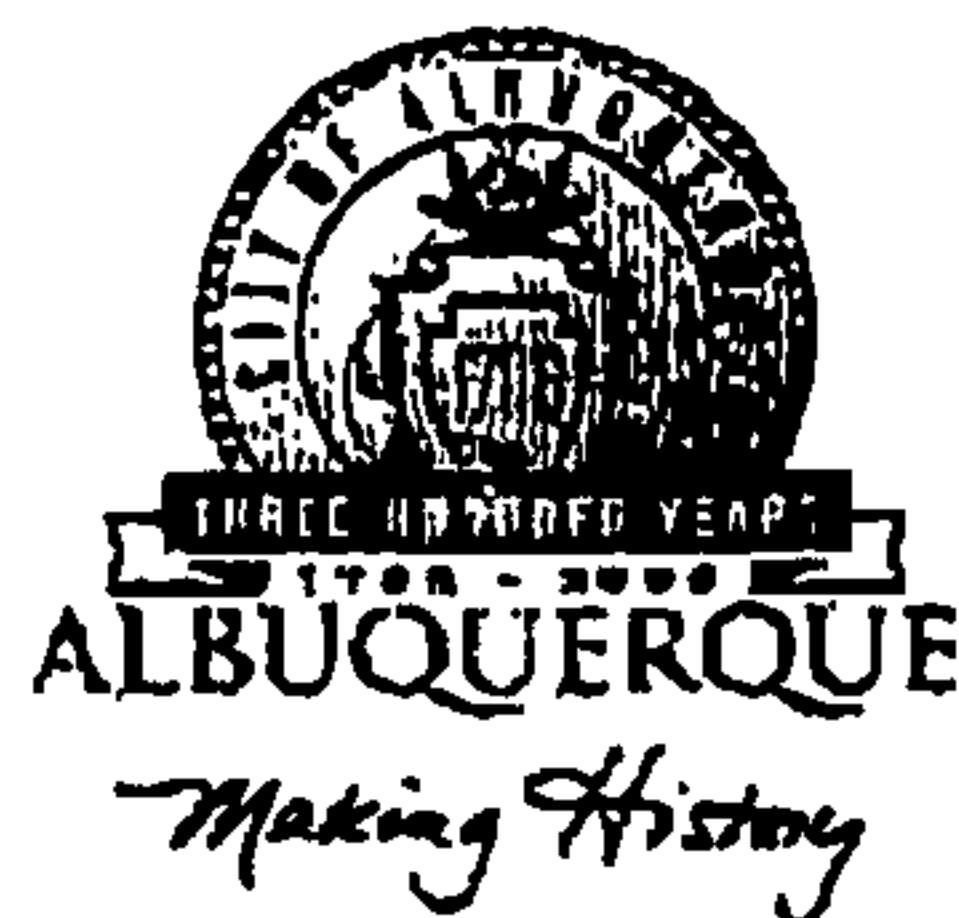
CITY ENGINEER - date: Bradley S. Bingham 7/28/04

_____ - date _____

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
▲	1-11-05	<u>Garrett Nelson</u>	<u>Deft Sy</u>	<u>William C. Wade, agent</u> <u>Min-Pae Scarborough, CRO</u>



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

July 19, 2006

Sarah
Surveys Southwest, LTD.
333 Lomas Boulevard NE/87102
Phone: 505-998-0303/Fax: 505-998-0306

Dear Sarah:

Thank you for your inquiry of **July 19, 2006** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACT A, COVERED WAGON** Zone Map: **L-23**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

NORTH FOUR HILLS N.A. (NFH) "R"

***Tom Conley**, 13705 Poinsettia Ct. SE/87123 275-6721 (h)
Nancy Caress, 421 Narcissus SE/87123 291-1592 (h)

SINGING ARROW N.A. (SAW) "R"

***Rose Sena**, P.O. Box 5191/87185 292-6866 (h) 385-3565 (c)
Diane Davidson, 12800 Piru SE/87123 877-5188 (h)

SUPPER ROCK N.A. (SPR) "R"

***Carol O'Keefe**, 600 Vista Abajo Dr. NE/87123 296-9075 (h)
Kathleen Schindler-Wright, 407 Monte Largo Dr. NE/87123 275-2710 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet **-OR-**
- The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

.....
(below this line for ONC use only)

Date of Inquiry: **07/19/06** Time Entered: **1:30 p.m.** ONC Rep. Initials: **SW**

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

NORTH FOUR HILLS NEIGHBORHOOD ASSOC.
TOM CONLEY
13705 POINSETTIA COURT SE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Tom Conley:

This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

The date and time of the DRB hearing will be posted on the site two weeks before the hearing. Presently the schedule for the hearing is August 23, 2006.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President

7004 0550 0000 8428 8634

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Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.12/00
Postmark Here 7/25/06	
Sent To TOM CONLEY	
Street, Apt. No., or PO Box No. 13705 POINSETTIA CT. SE	
City, State, ZIP+4 ALBU, N. MEX 87123	

PS Form 3800, June 2002 See Reverse for instructions

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

NORTH FOUR HILLS NEIGHBORHOOD ASSOC.
NANCY CARESS
421 NARCISSUS SE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Nancy Caress:


This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

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Sincerely,


Dan Graney
President

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Total Postage & Fees	\$ 5.12/10
Postmark Here 7/25/06	
Recipient's Name (Please Print Clearly) (to be completed by mailer) NANCY CARESS	
Street, Apt. No., or PO Box No. 421 NARCISSUS SE	
City, State, ZIP+4® ALBU, N. MEX. 87123	

7099 3400 0016 2264 2470

PS Form 3800 February 2000 See Reverse for Instructions

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

SINGING ARROW NEIGHBORHOOD ASSOC.
ROSE SENA
P.O. BOX 5191
ALBUQUERQUE, NM 87185

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Rose Sena:


This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

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If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

U.S. Postal Service
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(Domestic Mail Only; No Insurance Coverage Provided)

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Postage	\$.87	Postmark Here 7/25/06
Certified Fee	2.40	
Return Receipt Fee (Endorsement Required)	1.85	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.12/00	
Recipient's Name (Please Print Clearly) (to be completed by mailer) ROSE SENA		
Street, Apt. No., or PO Box No. P.O. Box 5191		
City, State, ZIP+4 ALBU, N. MEX 87185		

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

SINGING ARROW NEIGHBORHOOD ASSOC.
DIANE DAVIDSON
12800 PIRU SE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Diane Davidson:


This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

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If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

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Total Postage & Fees	\$ 5.12/10

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7/25/06

Sent To	DIANE DAVIDSON
Street, Apt. No., or PO Box No.	12800 PIRU SE
City, State, ZIP	ALBU, N. MEX 87123

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

SUPPER ROCK NEIGHBORHOOD ASSOC.
CAROL O'KEEFE
600 VISTA ABAJO DRIVE NE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Carol O'Keefe:


This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

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If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

7005 1820 0008 1964 2276

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.12/00

Postmark Here
7/25/06

Sent To	CAROL O'KEEFE
Street, Apt. No.; or PO Box No.	600 VISTA ABAJO DR NE
City, State, ZIP+4	ALBU, N. MEX 87123

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

July 24, 2006

SUPPER ROCK NEIGHBORHOOD ASSOC.
KATHLEEN SCHINDLER-WRIGHT
407 MONTE LARGO DRIVE NE
ALBUQUERQUE, NM 87123

REF: LOTS 1 THROUGH 18, INCLUSIVE, COVERED WAGON SUBDIVISION

Dear Kathleen Schindler-Wright


This letter is a notice to you of continuing action on the Covered Wagon Subdivision.

Surveys Southwest, Ltd is submitting the above referenced property for a vacation to vacate existing easements and a preliminary/final plat to divide One (1) existing tract into Eighteen (18) new lots to DRB for approval. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

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If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

7005 1820 0008 1964 2283

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Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.12/00

Postmark Here
7/25/06

Sent To	KATHLEEN SCHINDLER-WRIGHT
Street, Apt. No., or PO Box No.	407 MONTE LARGO DR NE
City, State, ZIP+4	ALBU, N. MEX 87123

Thank You \$975.00
 ONE STOP SHOP
 CITY OF ALBUQUERQUE PLANNING DEPARTMENT
 Development & Building Services
 RECEIPT# 00064355 WSH 006 TRANS# 0001
 LDC: ANNX 8:34AM 7/28/2006

APPLICANT NAME MOUNTAIN WEST DEVELOPMENT
 AGENT SURVEYS SOUTHWEST
 ADDRESS _____
 PROJECT & APP # 1002176 / 06DRB-01079, 01080
 PROJECT NAME COVERED WAGON SUBDIVISION

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 975.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ 75.00 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 1070.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

7/28/2006
 RECEIPT# 00064355
 Account 441032
 Activity 3424000
 Trans Amt 1,070.00
 J24 Misc

1654
 95-101/1070

MOUNTAIN WEST DEVELOPMENT, LLC
 P. O. BOX 66449 PH. 505-899-8849
 ALBUQUERQUE, NM 87193-6249

DATE 7/27/06
 DUPLICATE
 City of Albuquerque
 Treasury Division

PAY TO THE ORDER OF City of Albuquerque
One Thousand Seventy and 00/100 DOLLARS

Los Alamos NATIONAL BANK
 Smart Banking
 2009 Galisteo St Santa Fe, NM 87505 (505) 988-3200

RECEIPT# 00064355 WSH 006 TRANS# 0001
 Account 441032 Fund 0110
 Activity 3424000 TRSVRS.
 Trans Amt \$1,070.00

FOR Plot - TRACT A

0017454800 \$20.00
 Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from AUGUST 8, 2006 To AUGUST 23, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

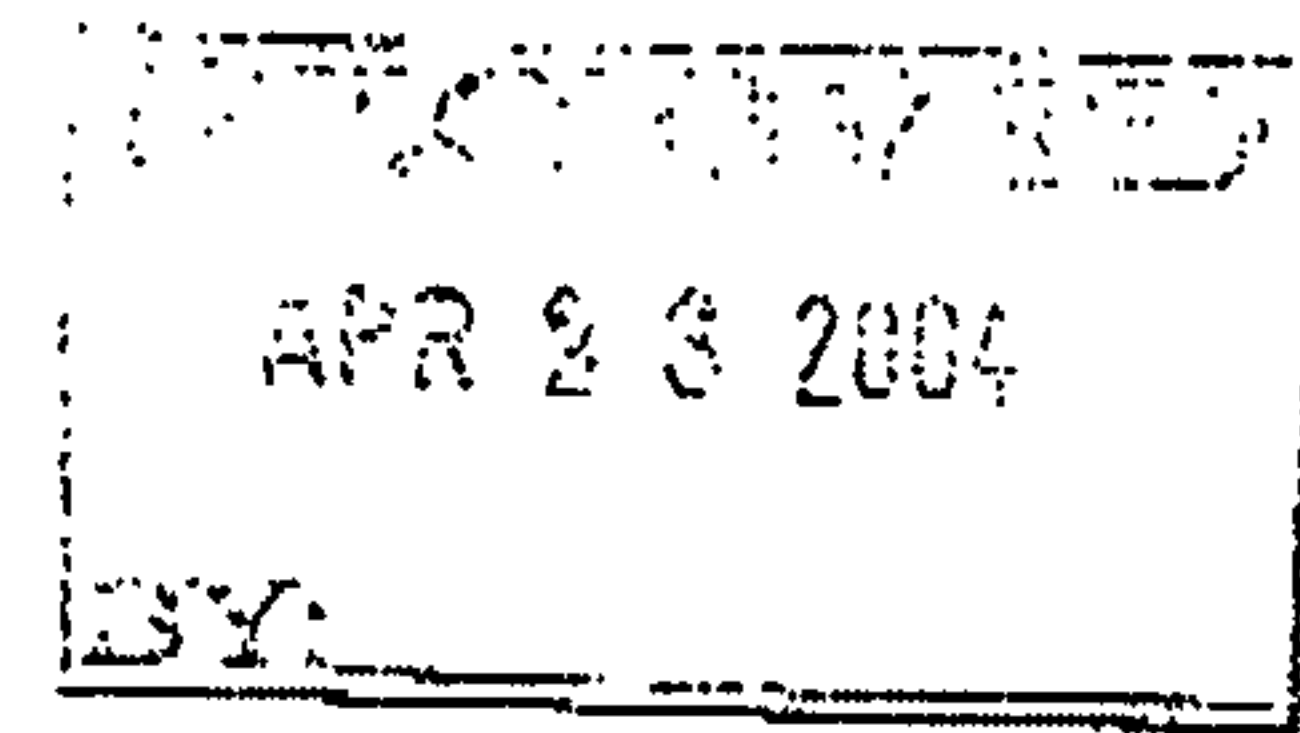
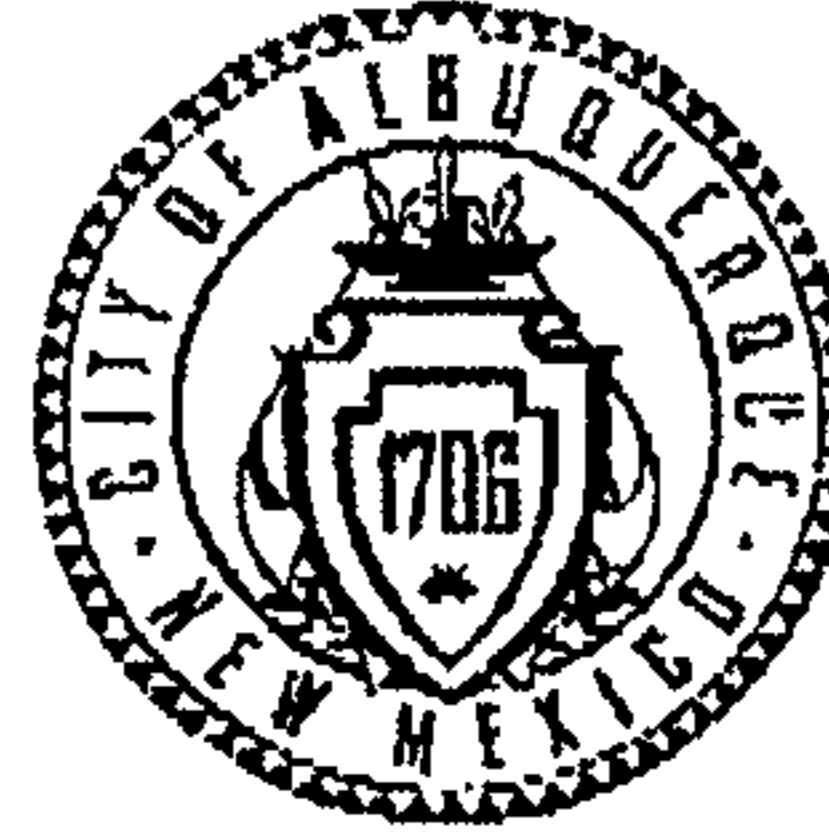
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Sarah Amato
(Applicant or Agent)

7/28/06
(Date)

I issued 2 signs for this application, 07/28/06 Sandy Handley
(Date) (Staff Member)

DRB PROJECT NUMBER: 1002176

Covered by [unclear]

City of Albuquerque
 Planning Department
 Development Services Division
 P.O. Box 1293
 Albuquerque, New Mexico 87103

Date: April 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002176**
 04EPC-00161 EPC Site Development Plan-
 Building Permit
 04EPC-00162 EPC Site Development Plan-
 Subdivision
 04EPC-00163 Zone Map Amendment

Bill Wade, Mari-Macii LLP
 P.O. Box 66449
 Albuquerque NM 87123

LEGAL DESCRIPTION: for all or a portion of Tracts E-1, **North Four Hills**, zoned C-1 to SU-1 Single Family Residential, located on SE QUAD OF FOUR HILLS ROAD SE, between CENTRAL AVE. SE and WATERFALL Drive SE, containing approximately 7 acres. (L-23)
 Deborah Stover, Staff Planner

On April 15, 2004 the Environmental Planning Commission voted to approve Project 1002176/04EPC 00163, a request for a zone map amendment from C-1 to SU-1 for Single Family Residential, for Tract E-1, North Four Hills, based on the following Findings:

FINDINGS:

1. This is a request for a zone map amendment from C-1 to SU-1 Single Family Residential for a for a 1.37-acre site parcel known as Tract E-1, North Four Hills, located on the southeast corner of Central Avenue and Waterfall Drive SE.
2. The development of Interstate-40, the re-classification of Central Avenue as a collector street, the creation of an Activity Center to the west of the subject site and recent zone changes to residential uses in the area constitute changed neighborhood and community conditions that have occurred in the area that justify this request.
3. The existing C-1 zoning on this site allows the applicant to build single-family homes, townhouses or apartments as a conditional use.

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 2 OF 6

4. The location, intensity and design of this new development respects existing neighborhood values, because it proposes densities and is laid out in the same fashion as other development in the area (*Comp. Plan, Policy 5d*). This request would constitute new growth, which is to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Comp. Plan, Policy 5e*).
5. Higher density housing is most appropriate in areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available (*Comprehensive Plan, Policy 5h*). This application concerns a site that meets this policy, as surrounding zoning includes SU-1 PRD, C-2, C-1 and some scattered RA-2, which qualifies as a mixed density pattern.
6. The zone change request is consistent with the health, safety, morals and general welfare of the City, as a residential development would bring additional housing to an area that has been consistently growing over the past several years. The residential use may be preferable to some of the uses allowed in the current C-1 zoning on the subject site (Resolution 270-1980, Section 1, paragraph A).
7. The zone change request contributes to providing stability of land use by assuring a stable residential environment without conjecture as to the future commercial possibilities for the site with the current C-1 zoning (Resolution 270-1980, Section 1, paragraph B).
8. The request also complies with Resolution 270-1989, Section 1, paragraph C, by not proposing a change that would be in significant conflict with the *Comprehensive Plan* or other master plans.
9. The zone change will be consistent with the SU-1 for Single Family Residential zoning to the west of the subject site.
10. There is no known opposition to this request.

On April 15, 2004 the Environmental Planning Commission voted to approve Project 1002176/04EPC 00162, a request for Site Development Plan for Subdivision, for Tract C-Varan and Tract E-1, North Four Hills, based on the following Findings and subject to the following Conditions:

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 3 OF 6

FINDINGS:

1. This is a request for a site development plan for subdivision to divide the 6.5-acre subject site into 53 individual lots, located on the southeast corner of Central Avenue between Four Hills Road SE and Waterfall Drive SE.
2. The proposed pattern of land development is not unusual or different than other existing developments in the area.
3. The location, intensity and design of this new development respects existing neighborhood values, because it proposes densities and is laid out in the same fashion as other development in the area (*Comp. Plan, Policy 5d*). This request would constitute new growth, which is to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Comp. Plan, Policy 5e*).
4. Higher density housing is most appropriate in areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available (*Comprehensive Plan, Policy 5h*).
5. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The maximum height and the building setbacks shall be listed on the site plan for subdivision.
3. Waterfall Drive shall be shown and listed on the site plan, along with the ROW width, sidewalk width, curb and gutter and other appropriate details.

On April 15, 2004 the Environmental Planning Commission voted to approve Project 1002176/04EPC 00161, a request for Site Development Plan for Building Permit, for Tract C-Varan and Tract E-1, North Four Hills, based on the following Findings and subject to the following Conditions:

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 4 OF 6

FINDINGS:

1. This is a request for a site development plan for building permit for to divide the 6.5-acre subject site located on Central Avenue between Four Hills Road SE and Waterfall Drive SE.
2. The proposed pattern of land development is not unusual or different than other existing developments in the area.
3. The location, intensity and design of this new development respects existing neighborhood values, because it proposes densities and is laid out in the same fashion as other development in the area (*Comp. Plan, Policy 5d*). This request would constitute new growth, which is to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Comp. Plan, Policy 5e*).
4. Higher density housing is most appropriate in areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available (*Comprehensive Plan, Policy 5h*).
5. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Waterfall Drive shall be shown and listed on the site plan, along with the ROW width, sidewalk width, curb and gutter and other appropriate details.
3. The 5-foot wide concrete pathway shall be shown in both locations (along Four Hills Road and Central Avenue) on all site plans related to this proposal.
4. A 5-foot wide concrete pedestrian path shall be provided through this area to clearly connect with the pathway along Four Hills Road.

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 5 OF 6

5. The trees and shrubs shall be removed from the general landscape plan. The typical lot landscape is sufficient to show what is intended.
6. The shrubs shown along the pathways parallel to Fours Hills Road and Central Avenue that are not on the subject property shall be removed unless a homeowner's association is planned to provide maintenance for these plants.
7. The gravel for backyards shown on the typical lot landscape shall be removed to allow each homeowner to create their own preferred backyard landscape.
8. The scale on the landscape plan shall be shown as 1"=50' and shall be consistent on the landscape sheet.
9. Garage setbacks shall be varied by at least five-feet every third house.
10. City Engineer, Municipal Development, Public Works and NMDOT conditions:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (standard drawing 2430), driveways (standard drawing 2425), private entrances (standard drawing 2426) and wheel chair ramps (standard drawing 2441).
 - c. Site plan shall comply and be designed per DPM Standards.
 - d. Locate the median (entrance feature) on Covered Wagon Dr. at Waterfall Dr. such that it separates entering traffic from exiting traffic.
 - e. Platting should be a concurrent DRB action.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 30, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

OFFICIAL NOTICE OF DECISION
PROJECT #1002176
APRIL 15, 2004
PAGE 6 OF 6

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Richard Dineen
Planning Director

RD/DS/ac

cc: John Griego, Griego & Assoc., 2917 Carlisle NE, STE 207, Albuquerque, NM 87110
Tom Conley, North Four Hills, 13705 Poinsetta Ct. SE, Albuquerque, NM 87123
Nancy Caress, North Four Hills, 421 Narcissus SE, Albuquerque, NM 87123
Marilyn Floro, Singing Arrow, 528 Eugene SE, Albuquerque, NM 87123
Rachel Klynolf, Singing Arrow, P.O. Box 50162, Albuquerque, NM 87181
Jack Harris, Supper Rock, 712 Supper Rock NE, Albuquerque, NM 87123
Carol O'Keefe, Supper Rock, 600 Vista Abajo NE, Albuquerque, NM 87123
Roger Mickelson, 1432 Catron Ave. SE, Albuquerque, NM 87123

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME PROPOSED COVERED WAGON SUBD.

AGIS MAP # L-23-Z

LEGAL DESCRIPTION PORTION OF LAND IN SW 1/4 - NW 1/4, SEC 26, T10N, R4E, TOGETHER W/ TRACT E-1, NORTH FOUR HILLS

DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on JUNE 17, 2004 [date].

MARVIN R KORTUM
Applicant / Agent

JUNE 17, 2004
Date

Andrew Garcia
Hydrology Division Representative

JULY 27, 2006
Date

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was ^{ISSUED BY} ~~requested from~~ the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on APRIL 27, 2004 [date].

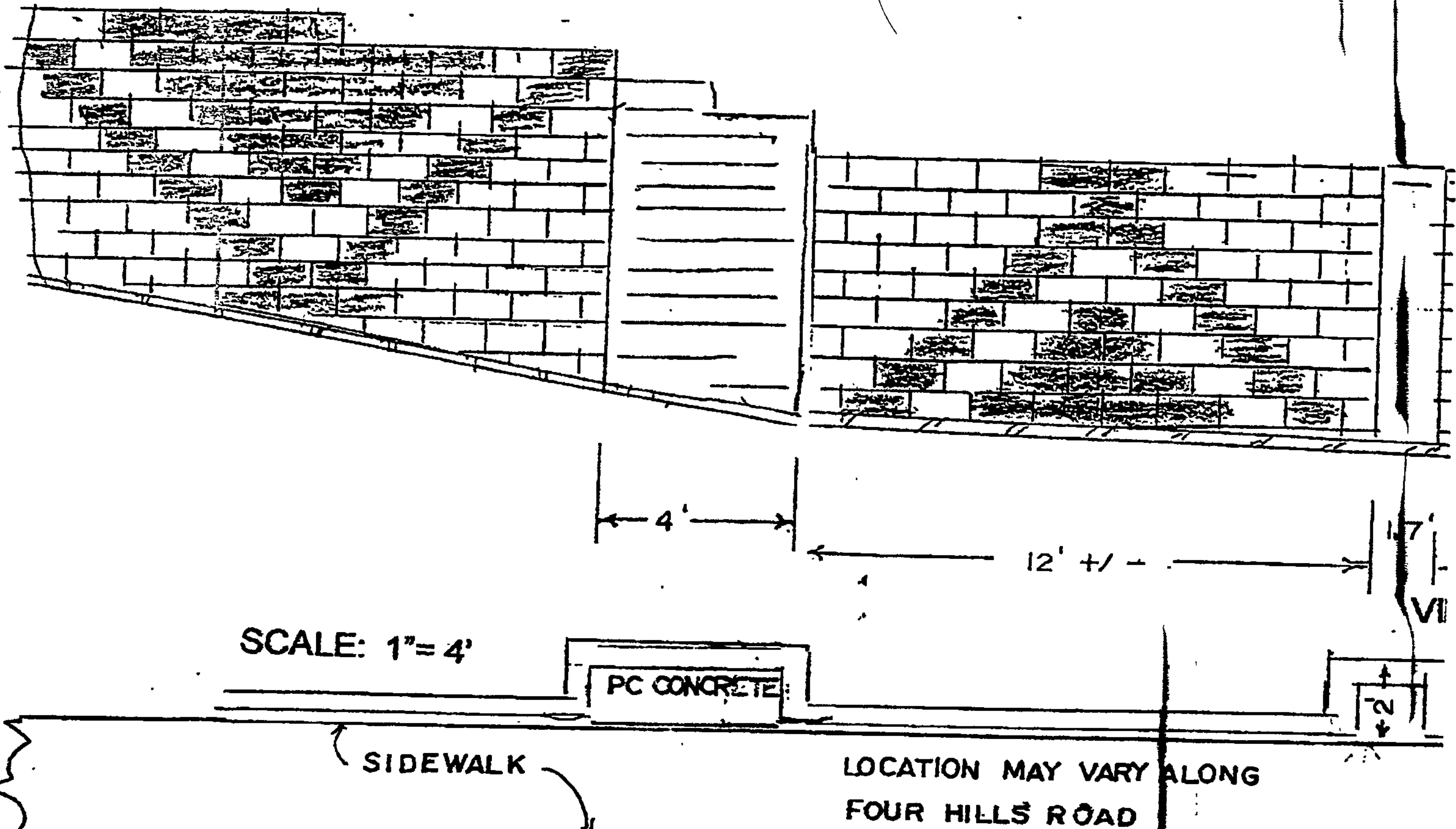
MARVIN R KORTUM
Applicant / Agent

JUNE 17, 2004
Date

Andrew Garcia
Utilities Division Representative

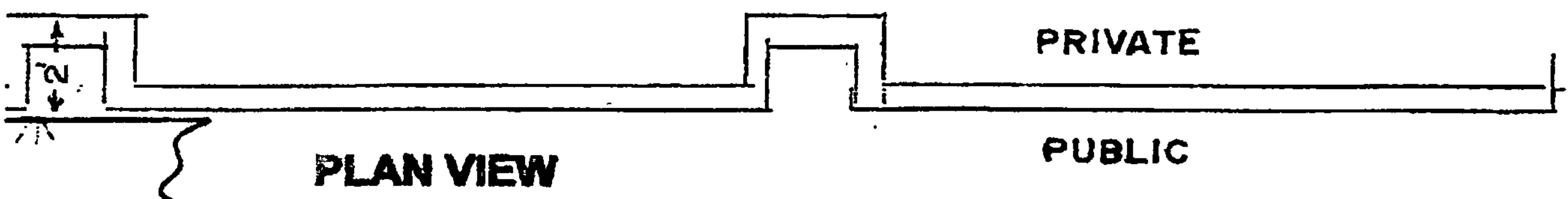
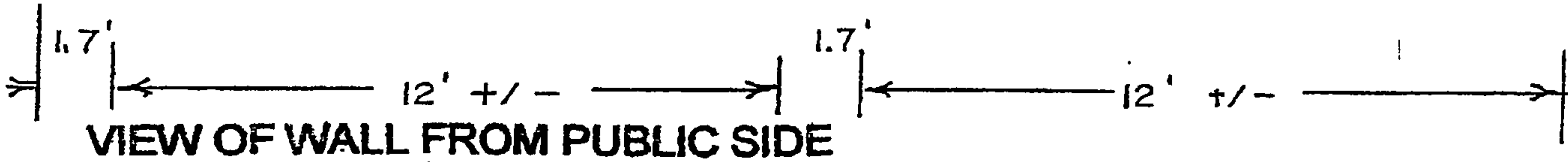
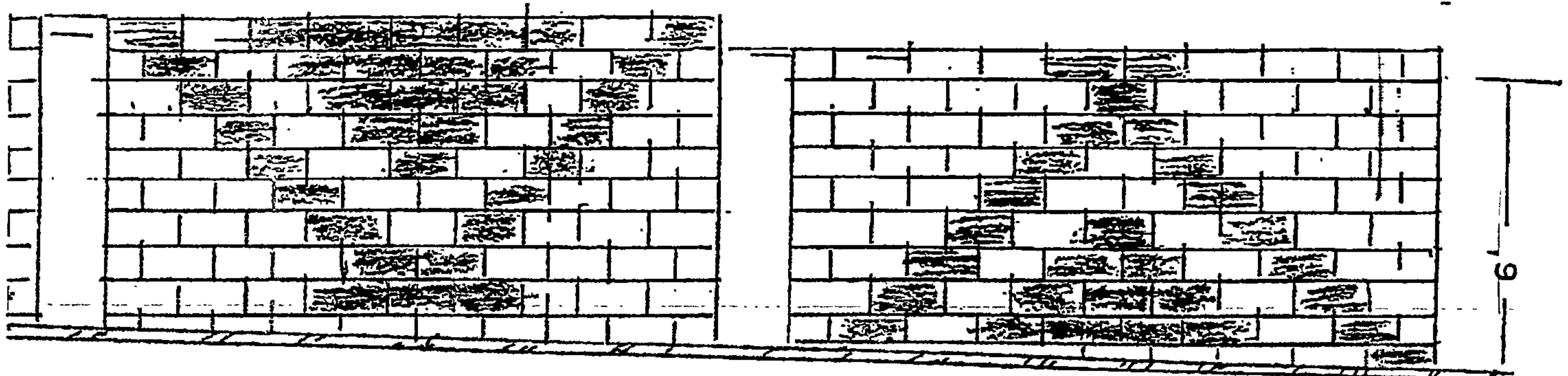
JULY 27, 2006
Date

DRB# 100 2176



NOTES:

- A. WALL SHALL BE CONSTRUCTED OF CORAL COLORED CONCRETE MASONRY UNIT BLOCKS OF STANDARD SIZE (FACE DIMENSIONS NOMINAL 8" BY 16", WITH 8" BY 8" BLOCKS AT PILASTERS).
- B. WALL TOP SHALL BE SOLID BLOCKS OF THE SAME COLOR AS THE WALL BLOCKS.
- C. THE DESIGN INDICATED ON THE DRAWING SHALL BE SPLIT FACE BLOCKS OF THE SAME COLOR AS THE SMOOTH FACED BLOCKS WHICH ARE THE BASE BLOCK FOR THE WALL.
- D. INSETS SHALL BE SET AT 12 FEET INTERVALS, WITH A VARIATION IN LENGTH OF TWO BLOCK LENGTHS (32") LONGER OR SHORTER TO ACCOMMODATE ENDS AND CORNERS OF THE WALL. INSET BLOCKS SHALL BE OF THE SAME COLOR AS THE WALL BLOCKS. WIDTH OF INSETS SHALL VARY FROM 1' 8" TO ABOUT 4 FEET EVERY THIRD SETTING.
- E. THE NON-RETAINING WALLS MAY BE CONSTRUCTED OF 6" THICK BLOCKS. RETAINING WALLS WHERE REQUIRED MAY REQUIRE 8" OR LARGER BLOCKS, WITH PORTLAND CEMENT CONCRETE FILL AND REINFORCEMENT.
- F. THE WALLS SHALL BE SET ON A 16" WIDE BY 8" THICK 2500 PSI CONCRETE FOOTER UNLESS OTHERWISE SPECIFIED DUE TO SOIL CONDITIONS.
- G. BLOCKS SHALL BE PLACED HORIZONTALLY WITH 8" STEPS TO HAVE A FINISHED WALL TOP ELEVATION OF 6 FEET OR LESS ABOVE THE FINISHED ELEVATION OF THE SOIL SURFACE ALONG THE EXTERIOR OF THE WALL. WALL HEIGHT MAY VARY FROM 8" ABOVE TO 16" BELOW THE TARGET 6 FEET HIGH WALL TO AVOID TOP OF WALL STEPS CLOSER THAN 4 FEET.
- H. ALL BLOCKS SHALL BE SET IN MORTAR THAT IS THE SAME COLOR AS THE BLOCKS.



Perimeter Wall Approved
[Signature]
 DRB Chair
 7/27/04
 Date

COVERED WAGON SUBDIVISION

**PERIMETER WALL DESIGN:
 FOR WALLS FACING FOUR HILLS ROAD SE,
 CENTRAL AVENUE, AND WATERFALL DRIVE SE**

ZONE ATLAS PAGE: L-23

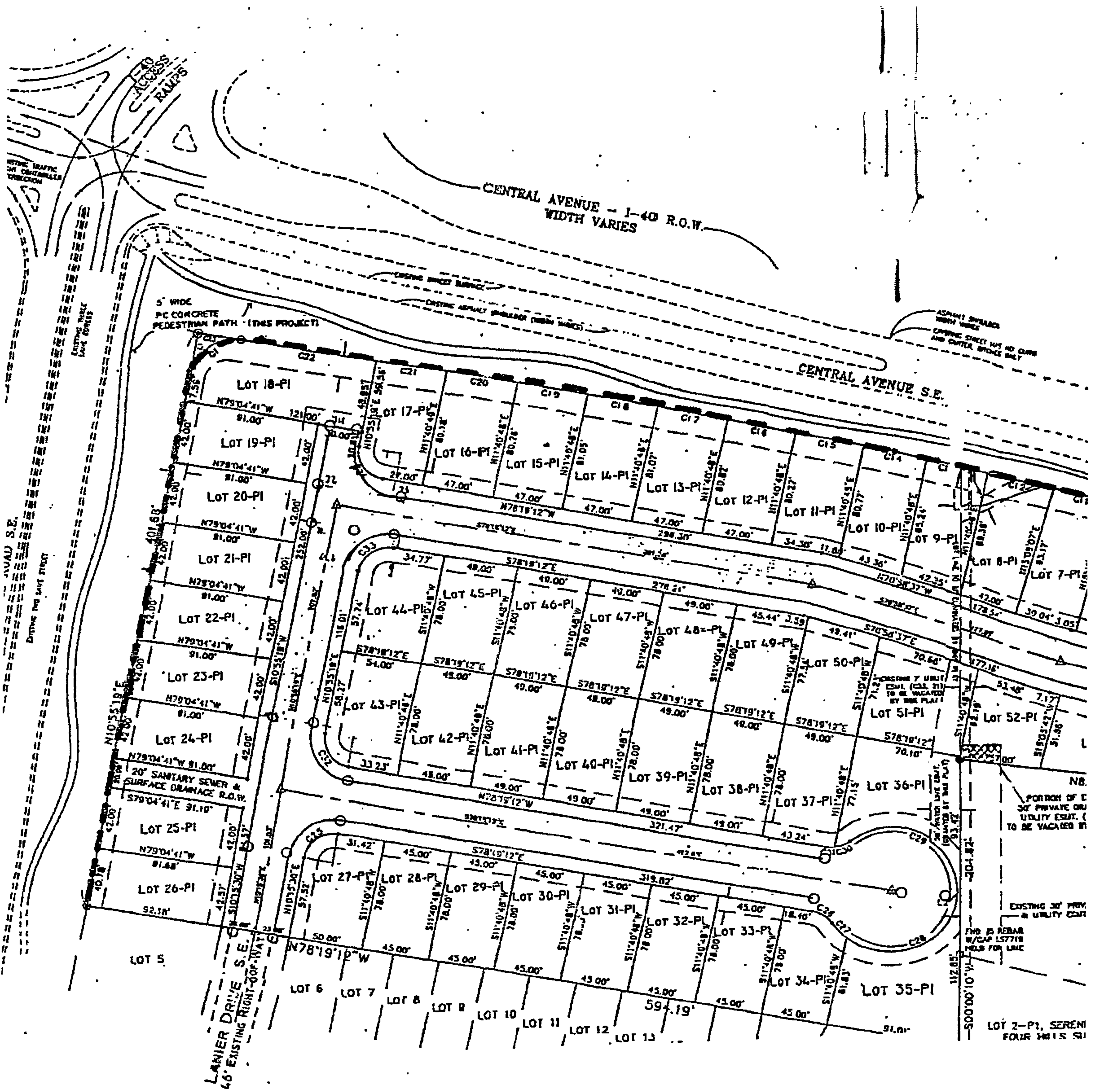
**SUBDIVISION LOCATION: SOUTH SIDE OF CENTRAL AVENUE,
 BETWEEN FOUR HILLS ROAD AND WATERFALL DRIVE.**

DEVELOPMENT REVIEW BOARD PROJECT NUMBER: 1002176

JULY 26, 2004

SHEET # 1 OF 2

13



0 30 100 50
 SCALE 1" = 40'
 PROJECT NO. 0403816
 DRAWN BY PCB
 ZONE ATCS: L-23-2
 CR3

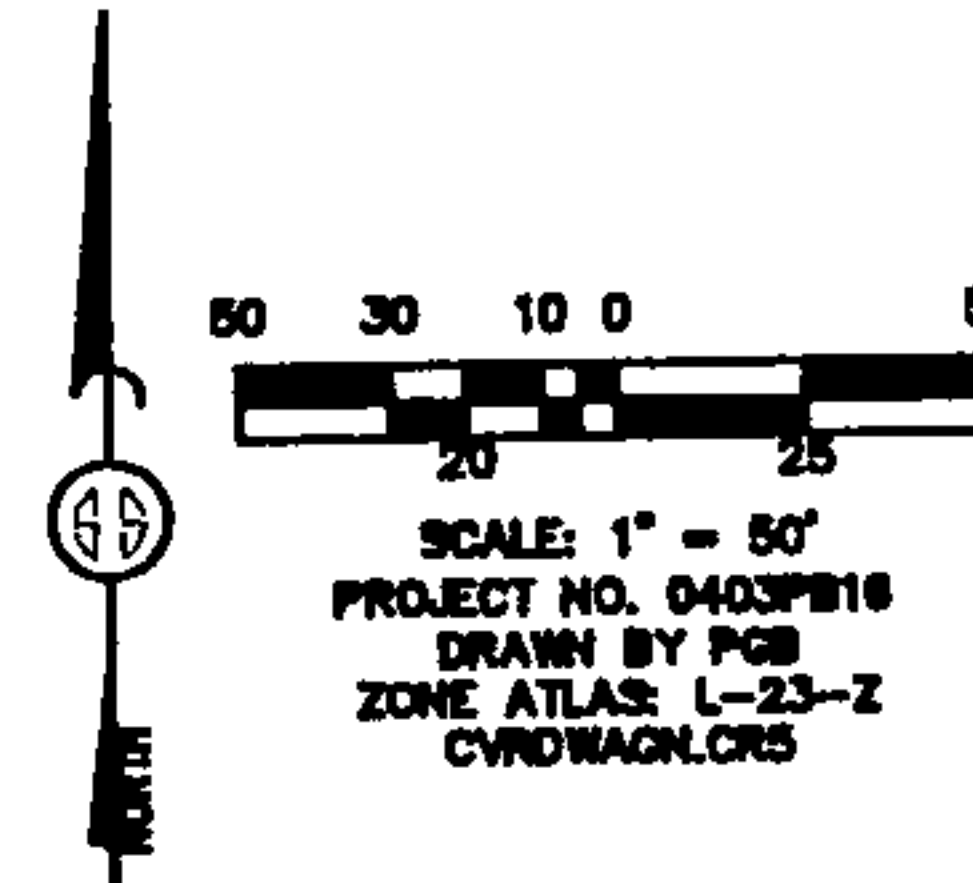
BREEZE AT MOUNTAIN GATE
 FILED 8-17-2002C
 (2002C, 208)

LOCATION OF PERIMETER WALL
 FACING PUBLIC RIGHT-OF-WAY

PLAT OF
 LOTS 1 THROUGH 18, INCLUSIVE
 COVERED WAGON SUBDIVISION
 SECTION 26, T. 10 N., R. 4 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2006
 SHEET 2 OF 2

MONUMENT LEGEND

- ◆ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED



ACS STATION 4-122
 X = 423,384.73
 Y = 1,480,448.01
 GROUND TO GRID = 0.99994079
 DELTA ALPHA = -00°00'30"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1987
 ELEVATION = 5083.443

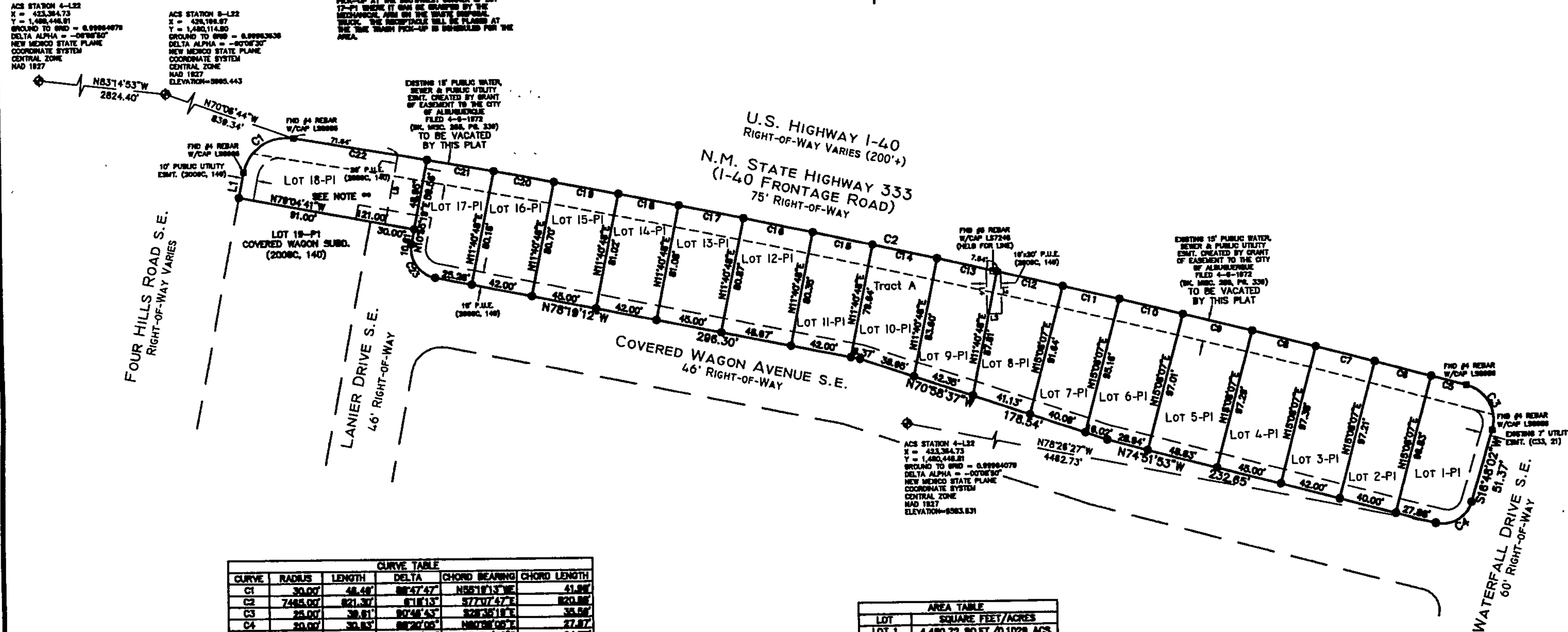
ACS STATION 8-122
 X = 429,104.97
 Y = 1,480,114.80
 GROUND TO GRID = 0.99993638
 DELTA ALPHA = -00°00'30"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1987
 ELEVATION = 5083.443

"THE OWNER OF LOT 18-PI MUST PLACE THE TRASH RECEPTACLE FOR SOLID WASTE DAILY PICK-UP AT THE SOUTHWEST CORNER OF LOT 17-PI WHERE IT CAN BE OBSERVED BY THE NEIGHBOR. FROM THE TRASH RECEPTACLE, THE RECEPTACLE WILL BE PLACED AT THE TRASH PICK-UP IS OBSERVED FOR THE AREA.

EXISTING 18" PUBLIC WATER, SEWER & PUBLIC UTILITY EMT. CREATED BY GRANT OF EASEMENT TO THE CITY OF ALBUQUERQUE FILED 4-9-1972 (M.C. MISC. 288, PG. 339) TO BE VACATED BY THIS PLAT

EXISTING 18" PUBLIC WATER, SEWER & PUBLIC UTILITY EMT. CREATED BY GRANT OF EASEMENT TO THE CITY OF ALBUQUERQUE FILED 4-9-1972 (M.C. MISC. 288, PG. 339) TO BE VACATED BY THIS PLAT

ACS STATION 4-122
 X = 423,384.73
 Y = 1,480,448.01
 GROUND TO GRID = 0.99994079
 DELTA ALPHA = -00°00'30"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1987
 ELEVATION = 5083.431



CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.00'	48.48'	88°57'47"	N88°18'13"E	41.88'
C2	7485.00'	821.30'	6°18'13"	S77°07'47"E	820.88'
C3	25.00'	39.81'	80°48'43"	S28°35'18"E	35.58'
C4	20.00'	30.83'	88°29'05"	N89°38'05"E	27.87'
C5	7485.00'	24.77'	0°11'24"	S74°04'23"E	24.77'
C6	7485.00'	40.00'	0°18'25"	S74°18'18"E	40.00'
C7	7485.00'	42.00'	0°18'21"	S74°38'11"E	42.00'
C8	7485.00'	45.00'	0°20'43"	S74°58'13"E	45.00'
C9	7485.00'	48.83'	0°22'28"	S75°18'49"E	48.83'
C10	7485.00'	44.83'	0°20'42"	S75°41'24"E	44.83'
C11	7485.00'	40.01'	0°18'25"	S75°00'08"E	40.01'
C12	7485.00'	48.34'	0°21'21"	S75°20'51"E	48.34'
C13	7485.00'	42.02'	0°18'21"	S75°31'12"E	42.02'
C14	7485.00'	45.01'	0°20'44"	S75°01'14"E	45.01'
C15	7485.00'	42.01'	0°18'21"	S75°21'18"E	42.01'
C16	7485.00'	45.00'	0°20'43"	S75°42'08"E	45.00'
C17	7485.00'	45.00'	0°20'43"	S75°03'45"E	45.00'
C18	7485.00'	42.00'	0°18'21"	S75°23'48"E	42.00'
C19	7485.00'	45.00'	0°20'43"	S75°43'47"E	45.00'
C20	7485.00'	42.01'	0°18'21"	S75°03'48"E	42.01'
C21	7485.00'	48.08'	0°21'13"	S75°24'08"E	48.08'
C22	7485.00'	81.84'	0°42'12"	S75°55'48"E	81.84'
C23	20.00'	31.18'	88°14'31"	S33°41'08"E	28.10'

LOT	SQUARE FEET/ACRES
LOT 1	4,480.72 SQ.FT./0.1028 ACS.
LOT 2	3,881.82 SQ.FT./0.0881 ACS.
LOT 3	4,087.18 SQ.FT./0.0938 ACS.
LOT 4	4,381.12 SQ.FT./0.1008 ACS.
LOT 5	4,742.48 SQ.FT./0.1088 ACS.
LOT 6	4,331.20 SQ.FT./0.0984 ACS.
LOT 7	3,738.84 SQ.FT./0.0858 ACS.
LOT 8	3,814.88 SQ.FT./0.0878 ACS.
LOT 9	3,600.88 SQ.FT./0.0827 ACS.
LOT 10	3,658.08 SQ.FT./0.0840 ACS.
LOT 11	3,380.80 SQ.FT./0.0771 ACS.
LOT 12	3,824.81 SQ.FT./0.0881 ACS.
LOT 13	3,644.88 SQ.FT./0.0837 ACS.
LOT 14	3,404.84 SQ.FT./0.0782 ACS.
LOT 15	3,638.88 SQ.FT./0.0838 ACS.
LOT 16	3,378.71 SQ.FT./0.0778 ACS.
LOT 17	3,647.01 SQ.FT./0.0834 ACS.
LOT 18	8,838.98 SQ.FT./0.2024 ACS.

LINE	BEARING	LENGTH
L1	N10°55'18"E	17.98'
L2	S00°18'37"E	28.77'
L3	S88°41'23"W	18.00'
L4	N00°18'37"W	31.22'
L5	S10°55'18"W	48.74'

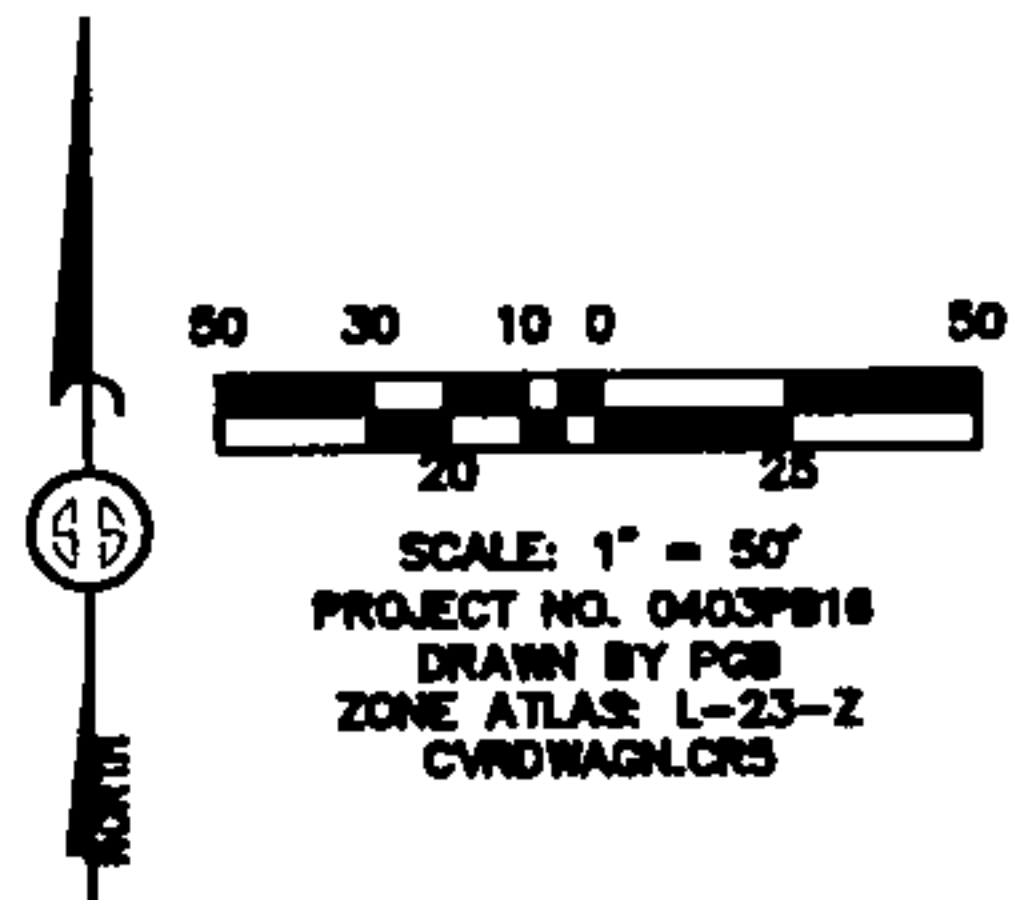
Exhibit B.

SURVEYS SOUTHWEST, LTD:
 333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306
 T10N R4E SEC. 26

PLAT OF
 LOTS 1 THROUGH 18, INCLUSIVE
 COVERED WAGON SUBDIVISION
 SECTION 26, T. 10 N., R. 4 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2006
 SHEET 2 OF 2

MONUMENT LEGEND

- ◆ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/RED PLASTIC CAP STAMPED "MWR 11224" UNLESS OTHERWISE NOTED



ACS STATION 4-L22
 X = 423,364.73
 Y = 1,480,448.81
 GROUND TO GRID = 0.99984079
 DELTA ALPHA = -00°08'30"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927

ACS STATION 8-L22
 X = 426,188.87
 Y = 1,480,114.80
 GROUND TO GRID = 0.99983638
 DELTA ALPHA = -00°08'30"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927
 ELEVATION = 8885.443

**THE OWNER OF LOT 18-PI MUST PLACE THE TRASH RECEPTACLE FOR SAID TRASH RECEPTACLE AT THE SOUTHWEST CORNER OF LOT 17-PI WHERE IT CAN BE GRABBED BY THE MECHANICAL ARM ON THE TRASH DISPOSAL TRUCK. THE RECEPTACLE WILL BE PLACED AT THE TRASH TRUCK PICK-UP IS SCHEDULED FOR THE AREA.

EXISTING 15' PUBLIC WATER, SEWER & PUBLIC UTILITY EMT. CREATED BY GRANT OF EASEMENT TO THE CITY OF ALBUQUERQUE FILED 4-8-1972 (BK. MISC. 258, PG. 338) TO BE VACATED BY THIS PLAT

EXISTING 15' PUBLIC WATER, SEWER & PUBLIC UTILITY EMT. CREATED BY GRANT OF EASEMENT TO THE CITY OF ALBUQUERQUE FILED 4-8-1972 (BK. MISC. 258, PG. 338) TO BE VACATED BY THIS PLAT

ACS STATION 4-L22
 X = 423,364.73
 Y = 1,480,448.81
 GROUND TO GRID = 0.99984079
 DELTA ALPHA = -00°08'30"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927
 ELEVATION = 8883.831

FOUR HILLS ROAD S.E.
 RIGHT-OF-WAY VARIES

LANIER DRIVE S.E.
 46' RIGHT-OF-WAY

COVERED WAGON AVENUE S.E.
 46' RIGHT-OF-WAY

WATERFALL DRIVE S.E.
 60' RIGHT-OF-WAY

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.00'	48.48'	88°47'47"	N88°18'13"W	41.88'
C2	7485.00'	821.30'	6°18'13"	S77°07'47"E	820.88'
C3	25.00'	38.81'	80°48'43"	S28°35'18"E	35.58'
C4	20.00'	30.83'	88°20'05"	N80°38'05"E	27.87'
C5	7485.00'	24.77'	0°11'24"	S74°04'23"E	24.77'
C6	7485.00'	40.00'	0°18'25"	S74°18'18"E	40.00'
C7	7485.00'	42.00'	0°18'21"	S74°38'11"E	42.00'
C8	7485.00'	45.00'	0°20'43"	S74°58'13"E	45.00'
C9	7485.00'	48.83'	0°22'28"	S75°18'48"E	48.83'
C10	7485.00'	44.83'	0°20'42"	S75°41'24"E	44.83'
C11	7485.00'	40.01'	0°18'25"	S76°00'58"E	40.01'
C12	7485.00'	48.34'	0°21'21"	S76°20'51"E	48.34'
C13	7485.00'	42.02'	0°18'21"	S76°41'12"E	42.02'
C14	7485.00'	45.01'	0°20'44"	S77°01'14"E	45.01'
C15	7485.00'	42.01'	0°18'21"	S77°21'18"E	42.01'
C16	7485.00'	48.87'	0°22'28"	S77°42'08"E	48.87'
C17	7485.00'	45.00'	0°20'43"	S78°03'43"E	45.00'
C18	7485.00'	42.00'	0°18'21"	S78°23'45"E	42.00'
C19	7485.00'	45.00'	0°20'43"	S78°43'47"E	45.00'
C20	7485.00'	42.01'	0°18'21"	S79°03'48"E	42.01'
C21	7485.00'	48.08'	0°21'13"	S79°24'08"E	48.08'
C22	7485.00'	81.84'	0°42'12"	S79°55'48"E	81.84'
C23	20.00'	31.15'	88°14'31"	S33°41'58"E	28.10'

LOT	SQUARE FEET/ACRES
LOT 1	4,480.72 SQ.FT./0.1028 ACS.
LOT 2	3,881.82 SQ.FT./0.0881 ACS.
LOT 3	4,087.18 SQ.FT./0.0938 ACS.
LOT 4	4,381.12 SQ.FT./0.1008 ACS.
LOT 5	4,742.48 SQ.FT./0.1088 ACS.
LOT 6	4,331.20 SQ.FT./0.0994 ACS.
LOT 7	3,738.84 SQ.FT./0.0858 ACS.
LOT 8	3,814.88 SQ.FT./0.0878 ACS.
LOT 9	3,800.88 SQ.FT./0.0872 ACS.
LOT 10	3,658.08 SQ.FT./0.0840 ACS.
LOT 11	3,380.80 SQ.FT./0.0771 ACS.
LOT 12	3,824.81 SQ.FT./0.0880 ACS.
LOT 13	3,844.88 SQ.FT./0.0887 ACS.
LOT 14	3,404.84 SQ.FT./0.0782 ACS.
LOT 15	3,638.88 SQ.FT./0.0838 ACS.
LOT 16	3,378.71 SQ.FT./0.0778 ACS.
LOT 17	3,847.01 SQ.FT./0.0884 ACS.
LOT 18	5,635.98 SQ.FT./0.1284 ACS.

LINE	BEARING	LENGTH
L1	N10°55'18"E	17.88'
L2	S00°18'37"E	28.77'
L3	S88°41'23"W	10.00'
L4	N00°18'37"W	31.22'
L5	S10°35'18"W	48.74'

SURVEYS SOUTHWEST, LTD.

333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102

PHONE (505) 998-0303
 FAX: (505) 998-0306

T10N R4E SEC. 26

Return To: *City of Albuquerque, NM 87103*

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**GRANT OF EASEMENT
FOR
WATER, SEWER AND PUBLIC UTILITIES**

THIS INSTRUMENT made and executed this 7th day of January, 1972 by and between LEE DANVELSER and SYDIE H. DANVELSER, his wife, as Owners, joined by GULFON INDUSTRIES INC, as lessee from Owners, hereinafter collectively called the Grantors and THE CITY OF ALBUQUERQUE, NEW MEXICO, a municipal corporation, Grantee.

WITNESSETH, that for good and valuable consideration the receipt of which is hereby acknowledged the Grantors do hereby grant without any warranty whatsoever unto the City of Albuquerque an easement as right-of-way including the right to enter upon the real estate hereinafter described at any time that it may see fit and construct, maintain and repair water lines, sanitary sewer lines and public utilities under the lands hereinafter described and the further right to remove trees, bushes, undergrowth and obstructions interfering with the location, construction and maintenance of said utility lines. This easement shall be limited to underground utilities.

The land affected by the grant of this easement and right-of-way is located in the County of Bernalillo and State of New Mexico and is more particularly described on Exhibit "A" attached hereto.

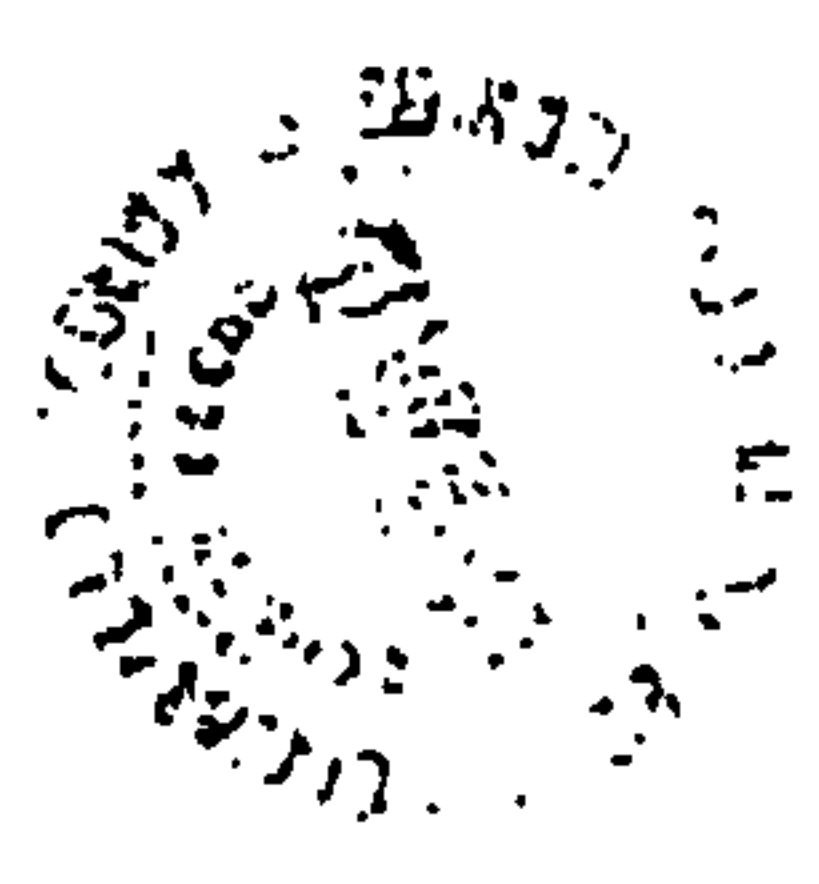
SEE ATTACHED EXHIBIT "A"

TO HAVE AND TO HOLD the said right and easement for the uses and purposes aforesaid, unto Grantee its successors and assigns for so long as said easement shall not be abandoned for use as a right-of-way for aforesaid utilities.

As a part of the consideration for this grant, and by its acceptance hereof, the Grantee agrees to save Grantors harmless from any and all liability that may arise as a result of the construction and use of the easement for the purpose set forth.

IN WITNESS WHEREOF, the parties have set their hands and seals this 7th day of January, 1972.

BK. MISC. 255
Pg. 339-341



State of New Mexico
County of Bernalillo
10th JAN 8 1972
Notary Public
207-341

CULTON INDUSTRIES, INC.

BY: T. M. Roby
V. P. Sutton *and* John W. Sawyer

Lee Danvers
LEE DANVERS
Stanley V. Danvers
STANLEY V. DANVERS

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

The foregoing instrument was acknowledged before me this
10th day of January, 1972 by Lee Danvers
Stanley V. Danvers

Stanley V. Danvers
Notary Public

My commission expires:
Sept. 8, 1972

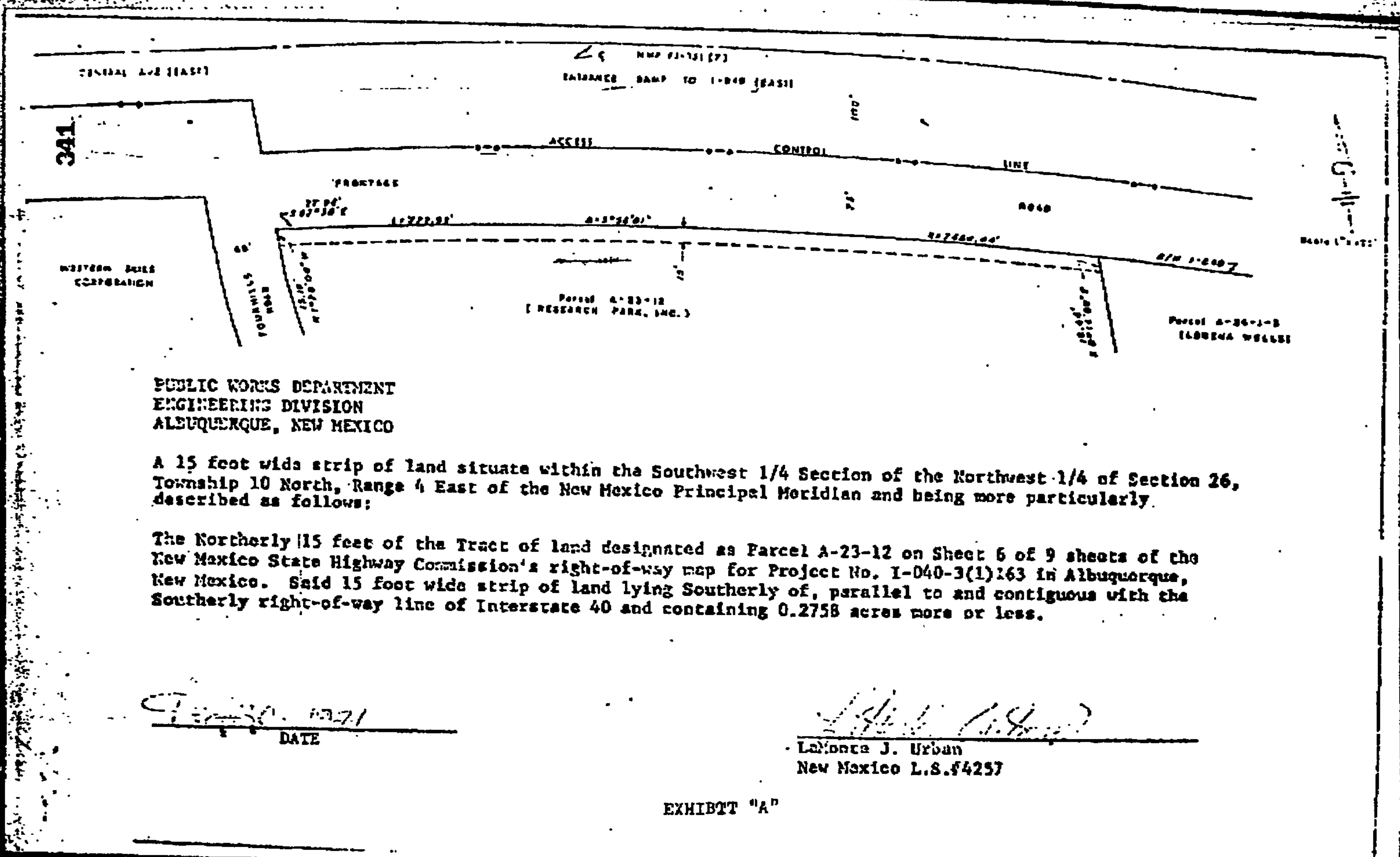
State of New Mexico
County of Bernalillo

BEFORE ME, the subscribed authority, on this day personally
appeared Lee Danvers
known to me to be the person whose name is subscribed to the foregoing
(instrument as Lee Danvers
of Culton Industries, Inc., a corporation and acknowledged
to me that he executed the same for the purposes and consideration
therein expressed, in the capacity therein stated, and as the act and
deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, This 10th day of
January, 1972.

Stanley V. Danvers
Notary Public in and for
New Mexico
County, Bernalillo

Very Respectfully



PUBLIC WORKS DEPARTMENT
 ENGINEERING DIVISION
 ALBUQUERQUE, NEW MEXICO

A 15 foot wide strip of land situate within the Southwest 1/4 Section of the Northwest 1/4 of Section 26, Township 10 North, Range 4 East of the New Mexico Principal Meridian and being more particularly described as follows:

The Northerly 15 feet of the Tract of land designated as Parcel A-23-12 on Sheet 6 of 9 sheets of the New Mexico State Highway Commission's right-of-way map for Project No. 1-040-3(1)163 in Albuquerque, New Mexico. Said 15 foot wide strip of land lying Southerly of, parallel to and contiguous with the Southerly right-of-way line of Interstate 40 and containing 0.2758 acres more or less.

 DATE

 LaMonte J. Urban
 New Mexico L.S. 4257

EXHIBTT "A"