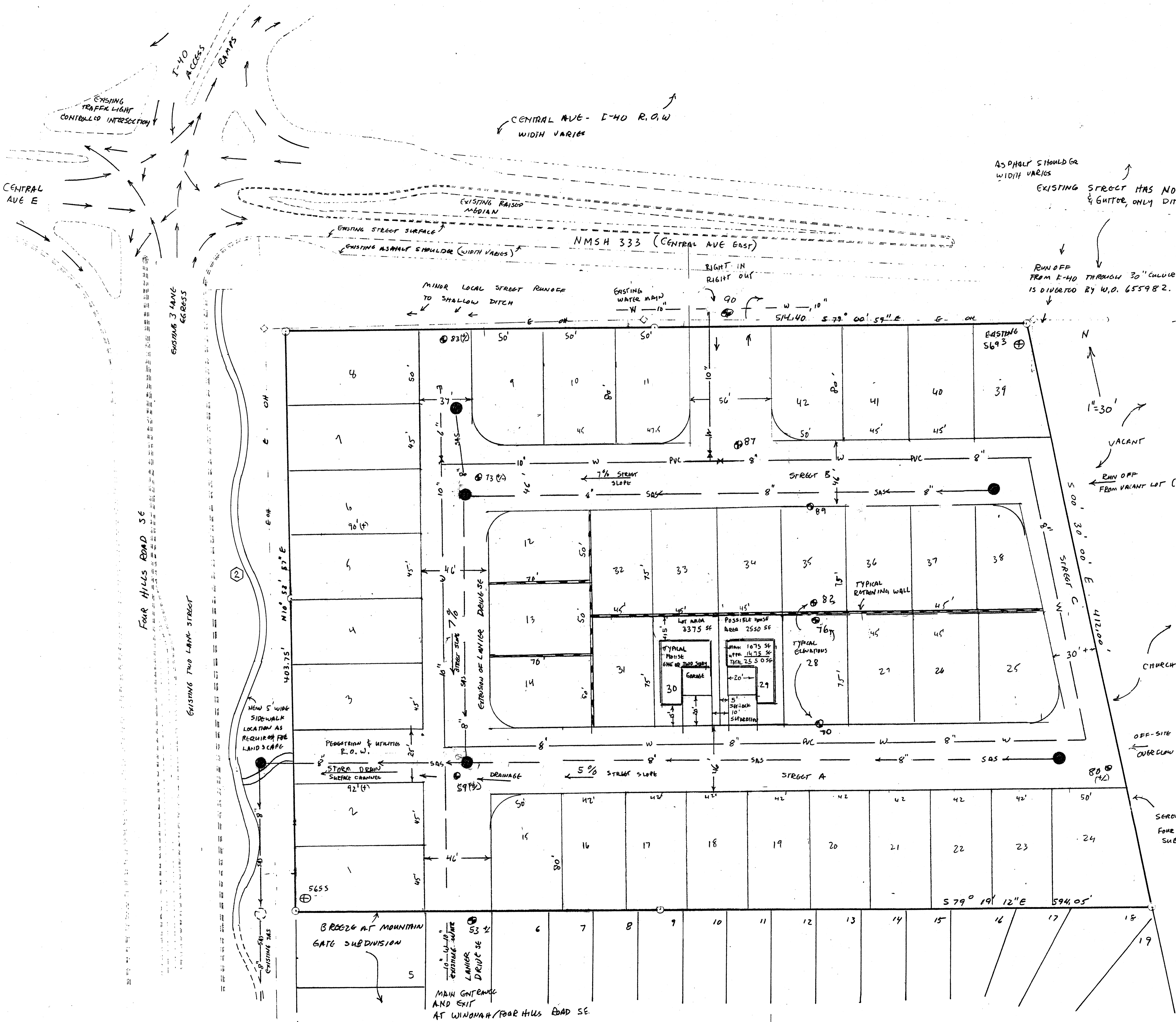


L-23-Z



AS PAVEMENT SHOULD GO WIDTH VARIES
EXISTING STREET HAS NO CURB & GUTTER, ONLY DITCHES

RUN OFF FROM I-40 THROUGH 30" CULVERT IS DIVERGED BY W.O. 65598.2.

- ALL LOTS TO BE WALLED, WITH RETAINING WALLS FOR CHANGES IN ELEVATION GREATER THAN 18"
- SOME HOUSES MAY HAVE WALK-OUT LOWER LEVELS
- SOME HOUSES MAY BE TRI-LEVEL
- SOME HOUSES MAY BE ZOO LOT LING DUPLEX
- ALL LOTS TO BE FEE SIMPLE
- R.O.W TO BE PUBLIC

70
15
20
45

- NOT IN FEMA FLOOD PLAIN
- EXISTING TOPOGRAPHY SLOPES FROM 5693 IN NE CORNER TO 5653 IN SE CORNER
- AREA ROUGH GRADED AS PART OF BREEZE AT MOUNTAIN GATE SUBDIVISION GRADING & DRAINAGE PLAN
- HOUSES TO SOUTH OF EAST-WEST STREETS MAY REQUIRE BACK YARD RETENTION WITH CROSS LOT DRAINAGE FOR RUNOFF GREATER THAN RETENTION

OFF-SITE RUNOFF OVERFLOW FROM CHURCH

CURRENT ZONING C-1 (SU-1)

COVERED WAGON ~~GRATE TERRACE~~ SUBDIVISION 5 ACRES (±)

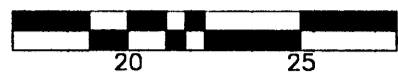
SINGLE FAMILY DETACHED HOUSES

JULY 29, 2002
MRK
FOR UPWEST CORPORATION

MARVIN R. KORTUM NMAP 6519
505-299-0774
1605 S PARKMAN DR SE
ALBUQUERQUE, N.M. 87123

1002176

50 30 10 0 50



SCALE: 1" = 50'
PROJECT NO. 0403PB16
DRAWN BY PGB
ZONE ATLAS: L-23-Z
.CR5



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	7465.00'	516.21'	3°57'43"	N78°31'34"W	516.11'
C2	7465.00'	334.55'	2°34'04"	N74°54'18"W	334.52'
C3	25.00'	39.45'	90°25'18"	N28°24'37"W	35.49'

SKETCH PLAT
LOTS 1-53
COVERED WAGON SUBDIVISION
SECTION 26, T. 10 N., R. 4 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2004

STATEMENT OF DECLARATION

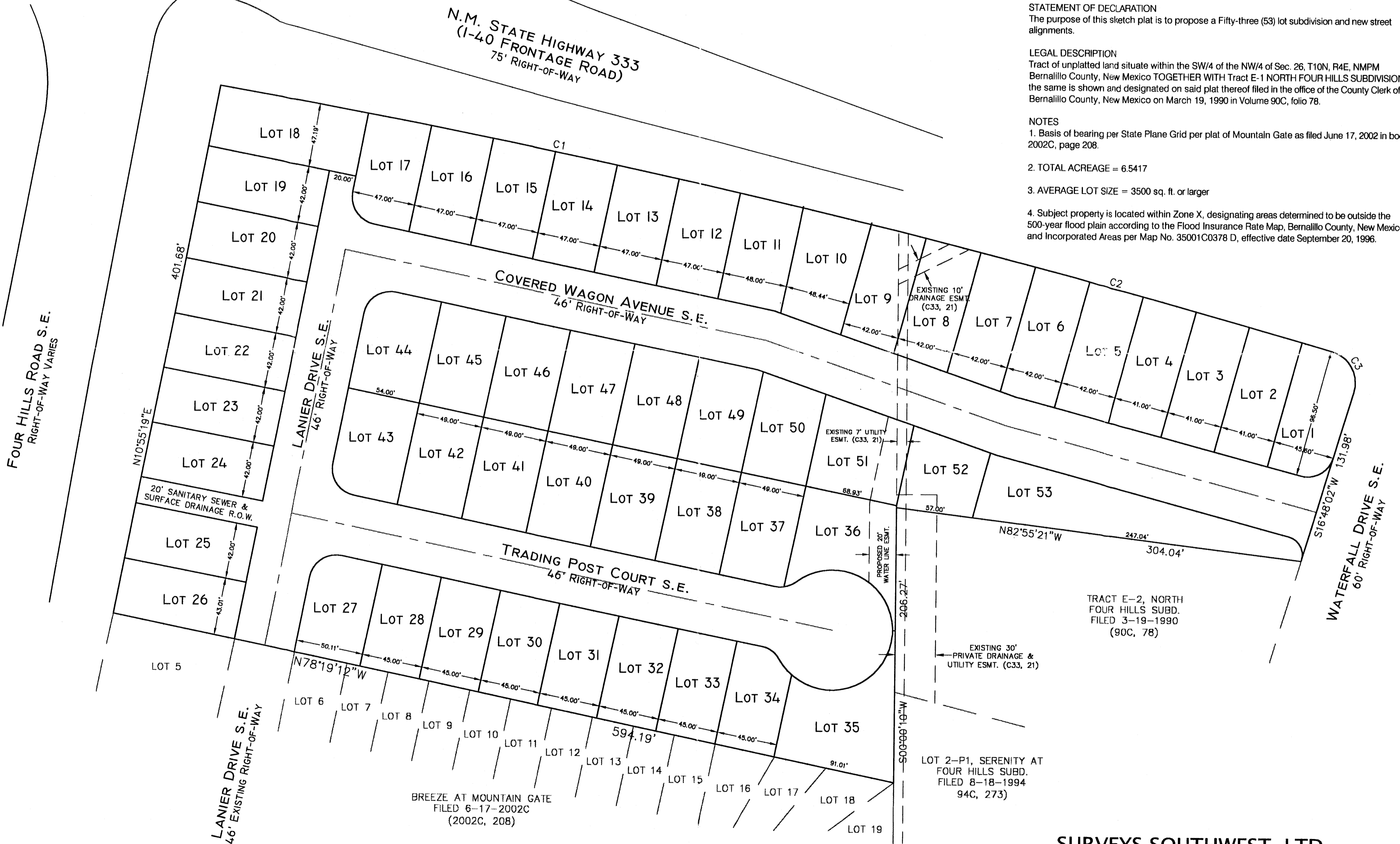
The purpose of this sketch plat is to propose a Fifty-three (53) lot subdivision and new street alignments.

LEGAL DESCRIPTION

Tract of unplatted land situate within the SW/4 of the NW/4 of Sec. 26, T10N, R4E, NMPM Bernalillo County, New Mexico TOGETHER WITH Tract E-1 NORTH FOUR HILLS SUBDIVISION as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 19, 1990 in Volume 90C, folio 78.

NOTES

1. Basis of bearing per State Plane Grid per plat of Mountain Gate as filed June 17, 2002 in book 2002C, page 208.
2. TOTAL ACREAGE = 6.5417
3. AVERAGE LOT SIZE = 3500 sq. ft. or larger
4. Subject property is located within Zone X, designating areas determined to be outside the 500-year flood plain according to the Flood Insurance Rate Map, Bernalillo County, New Mexico and Incorporated Areas per Map No. 35001C0378 D, effective date September 20, 1996.



TRACT E-2, NORTH
FOUR HILLS SUBD.
FILED 3-19-1990
(90C, 78)

LOT 2-P1, SERENITY AT
FOUR HILLS SUBD.
FILED 8-18-1994
94C, 273)

BREEZE AT MOUNTAIN GATE
FILED 6-17-2002C
(2002C, 208)

SURVEYS SOUTHWEST, LTD.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO
87102

PHONE: (505) 998-0303
FAX: (505) 998-0306

T10N R4E SEC. 26

MONUMENT LEGEND

- A - CENTERLINE MONUMENT
- ⊙ - FOUND CONTROL STATION AS NOTED
- ⊠ - FOUND MONUMENT AS NOTED
- ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRISKO LS8686" UNLESS OTHERWISE NOTED

**PLAT OF
COVERED WAGON SUBDIVISION
SECTION 26, T. 10 N., R. 4 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2004
SHEET 2 OF 2**

AREA TABLE	
LOT	SQUARE FEET/ACRES
TRACT A	71,350.75 SQ.FT./1.6380 ACS.
LOT 19	3,640.00 SQ.FT./0.0836 ACS.
LOT 20	3,822.00 SQ.FT./0.0877 ACS.
LOT 21	3,822.00 SQ.FT./0.0877 ACS.
LOT 22	3,822.00 SQ.FT./0.0877 ACS.
LOT 23	3,640.00 SQ.FT./0.0836 ACS.
LOT 24	6,007.59 SQ.FT./0.1379 ACS.
LOT 25	3,839.95 SQ.FT./0.0882 ACS.

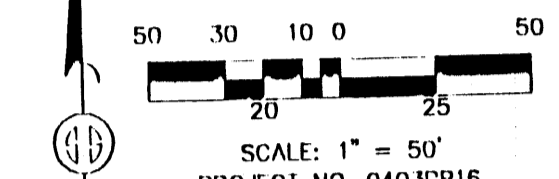
AREA TABLE	
LOT	SQUARE FEET/ACRES
LOT 26	3,804.17 SQ.FT./0.0873 ACS.
LOT 27	3,868.96 SQ.FT./0.0888 ACS.
LOT 28	3,510.00 SQ.FT./0.0806 ACS.
LOT 29	3,796.26 SQ.FT./0.0872 ACS.
LOT 30	3,510.00 SQ.FT./0.0806 ACS.
LOT 31	3,588.00 SQ.FT./0.0824 ACS.
LOT 32	3,276.00 SQ.FT./0.0752 ACS.
LOT 33	3,276.00 SQ.FT./0.0752 ACS.
LOT 34	3,363.40 SQ.FT./0.0772 ACS.
LOT 35	5,709.35 SQ.FT./0.1311 ACS.
LOT 36	6,189.59 SQ.FT./0.1421 ACS.
LOT 37	3,808.74 SQ.FT./0.0874 ACS.
LOT 38	3,588.00 SQ.FT./0.0824 ACS.
LOT 39	3,276.00 SQ.FT./0.0752 ACS.
LOT 40	3,510.00 SQ.FT./0.0806 ACS.
LOT 41	3,796.26 SQ.FT./0.0872 ACS.
LOT 42	3,510.00 SQ.FT./0.0806 ACS.
LOT 43	4,259.34 SQ.FT./0.0978 ACS.
LOT 44	4,334.55 SQ.FT./0.0995 ACS.
LOT 45	3,510.00 SQ.FT./0.0806 ACS.
LOT 46	3,796.26 SQ.FT./0.0872 ACS.
LOT 47	3,510.00 SQ.FT./0.0806 ACS.
LOT 48	3,276.00 SQ.FT./0.0752 ACS.
LOT 49	3,588.00 SQ.FT./0.0824 ACS.
LOT 50	3,724.08 SQ.FT./0.0855 ACS.
LOT 51	5,855.16 SQ.FT./0.1344 ACS.
LOT 52	3,373.42 SQ.FT./0.0774 ACS.
LOT 53	8,404.34 SQ.FT./0.1929 ACS.

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.00'	46.49'	88°47'47"	N55°19'13"W	41.98'
C2	7465.00'	850.67'	6°31'45"	S77°14'33"E	850.21'
C3	25.00'	39.61'	90°46'43"	S28°35'19"E	35.59'
C4	20.00'	30.83'	88°20'05"	N60°58'05"E	27.87'
C5	7465.00'	821.30'	6°18'13"	S77°07'47"E	820.88'
C23	7465.00'	29.38'	0°13'32"	S80°23'40"E	29.38'
C24	20.00'	31.15'	89°14'31"	S33°41'56"E	28.10'
C25	20.00'	31.91'	91°25'18"	S55°58'09"W	28.63'
C26	20.00'	16.96'	48°34'58"	S54°01'43"E	16.46'
C27	45.00'	13.24'	16°51'34"	S38°10'01"E	13.19'
C28	45.00'	104.77'	133°24'02"	N66°42'11"E	82.66'
C29	45.00'	99.67'	126°54'20"	N63°27'00"W	80.51'
C30	20.00'	16.96'	48°34'58"	S77°23'19"W	16.46'
C32	20.00'	31.15'	89°14'31"	S33°41'57"E	28.10'
C33	20.00'	31.68'	90°45'29"	S56°18'04"W	28.47'
C34	15.00'	24.00'	91°39'55"	N29°01'55"W	21.52'

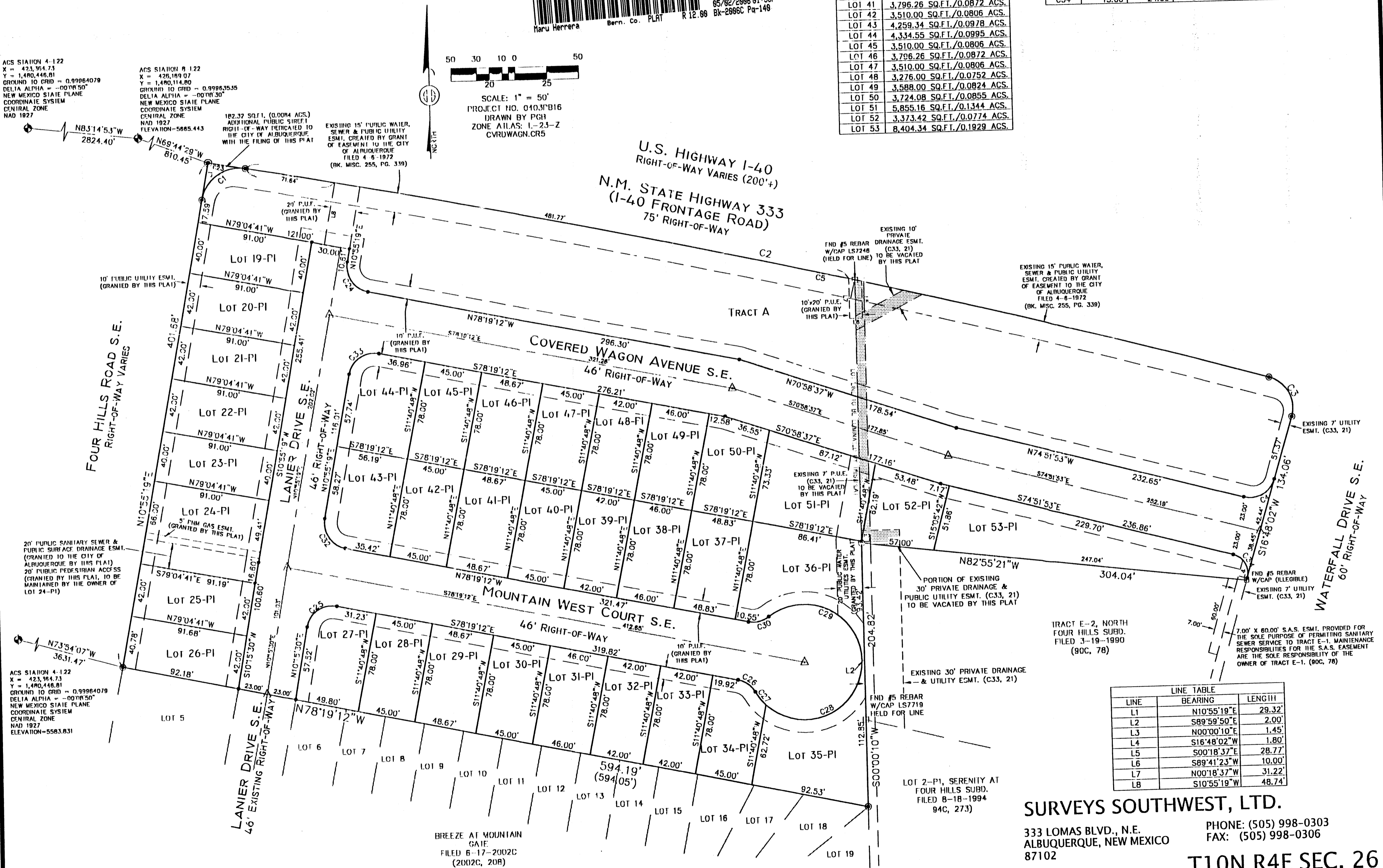


ACS STATION 4-122
X = 423,954.73
Y = 1,490,446.81
GROUND TO GRID = 0.99964079
DELTA ALPHA = -00°00'50"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927
ELEVATION = 5583.831

ACS STATION 8-122
X = 425,189.07
Y = 1,490,114.80
GROUND TO GRID = 0.99963535
DELTA ALPHA = -00°00'30"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927
ELEVATION = 5685.443

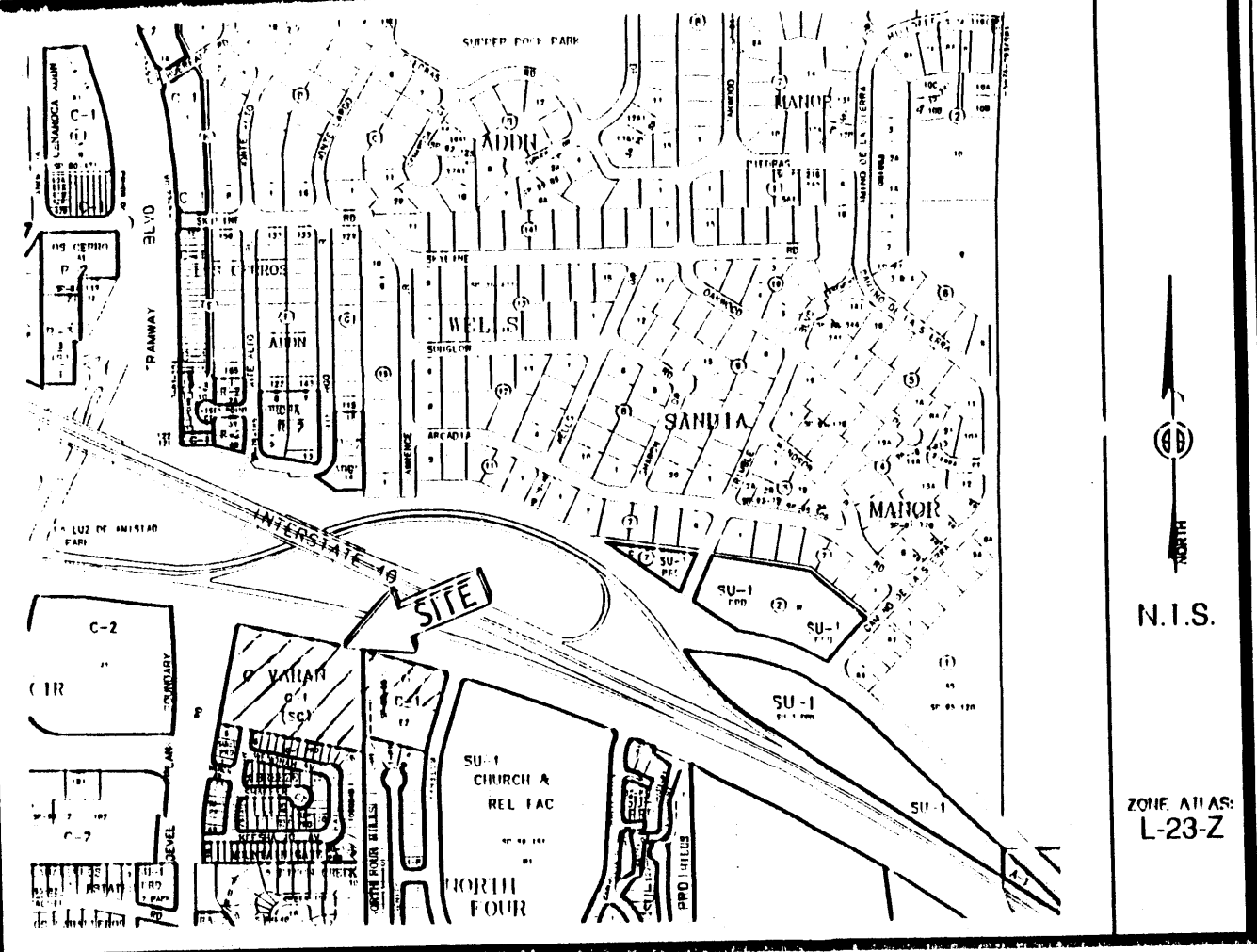


PROJECT NO. 0403P816
DRAWN BY PGH
ZONE A.I.L.S. 1-23-Z
CVRWAGN.CR5



LINE TABLE		
LINE	BEARING	LENGTH
L1	N10°55'19"E	29.32'
L2	S89°59'50"E	2.00'
L3	N00°00'10"E	1.45'
L4	S16°48'02"W	1.80'
L5	S00°18'37"E	28.77'
L6	S89°41'23"W	10.00'
L7	N00°18'37"W	31.22'
L8	S10°55'19"W	48.74'

SURVEYS SOUTHWEST, LTD.
333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO
87102
PHONE: (505) 998-0303
FAX: (505) 998-0306
T10N R4E SEC. 26



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 4-L22 AND 8-L22, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. GROSS AREA: 6.5508 ACRES
6. NUMBER OF EXISTING TRACTS: 2
7. NUMBER OF LOTS CREATED: 35 LOTS/1 TRACT
8. 0.2778 MILES OF STREET RIGHT-OF-WAY CREATED BY THIS PLAT.
9. PROPERTY IS ZONED SU-1 SINGLE FAMILY RESIDENTIAL.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: 6458698 2401-91
 PROPERTY OWNER OF RECORD: Agave Macaya Real
Invest Corp
 BERNALILLO COUNTY TREASURERS OFFICE:
P. B. Lopez 5/2/06

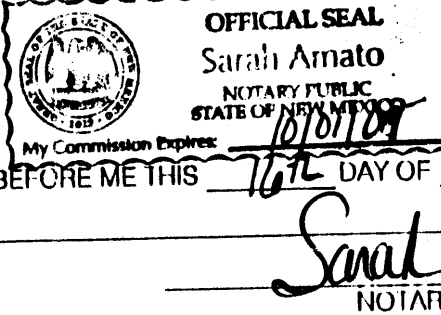
PLAT OF
 COVERED WAGON SUBDIVISION
 SECTION 26, T. 10 N., R. 4 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2004
 SHEET 1 OF 2

LEGAL DESCRIPTION
 A certain tract of unplatted land situate within the Southwest quarter (SW/4) of the Northwest quarter (NW/4) of Section 26, Township 10 North, Range 4 East, NMPM Bernalillo County, New Mexico TOGETHER WITH Tract lettered E-1 NORTH FOUR HILLS SUBDIVISION, as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 19, 1990 in Volume 90C, Folio 78 and being more particularly described as follows:
 BEGINNING at the Northwest corner of said tract, being the point of intersection of the Southerly right-of-way of New Mexico State Highway 333 (I-40 Frontage Road) and the East right-of-way of Four Hills Road S.E. whence the ACS Control Station 8-L22 bears N 69° 44' 29" W, 810.45 feet distant; thence from said point of beginning running along the South right of way of New Mexico State Highway 333 along a curve to the right having a central angle of 6° 31' 45", with a radius of 7465.00 feet, a distance of 850.67 feet (chord bearing S 77° 14' 33" E, 850.21 feet) to a point of compound curvature to the right having a central angle of 90° 46' 43", with a radius of 25.00 feet, a distance of 39.61 feet (chord bearing S 28° 35' 19" E, 35.59 feet) to the intersection of the right-of-way of Waterfall Drive S.E.; thence S 16° 48' 02" W, along said West right-of-way 134.06 feet; thence leaving said right-of-way N 82° 55' 21" W, 304.04 feet; thence S 00° 00' 10" W, 204.82 feet to the Southeast corner; thence N 78° 19' 12" W, 594.19 feet to the Southwest corner; being a point on the East right-of-way of Four Hills Road S.E.; thence N 10° 55' 19" E, along said East right-of-way 401.68 feet to the point of beginning and containing 6.5508 acres, more or less.

THE PURPOSE OF THIS PLAT IS TO DIVIDE TWO (2) EXISTING TRACTS INTO THIRTY FIVE (35) NEW LOTS AND ONE (1) TRACT, TO DEDICATE PUBLIC STREET RIGHTS-OF-WAY, TO GRANT ADDITIONAL EASEMENTS AND TO VACATE PUBLIC AND PRIVATE EASEMENTS AS SHOWN HEREON.

FREE CONSENT
 THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT, SAID OWNER WARRANTS THAT (HE/SHE) HOLDS COMPLETE AND UNDEFEASIBLE TITLE TO THE LAND SUBDIVIDED, DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

OWNER(S) SIGNATURE: William C. Wade DATE: 6/16/04
 OWNER(S) PRINT NAME: William C. Wade
 ADDRESS: 7005 TESUQUE NW, ALBU, NM TRACT:
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16 DAY OF JUNE, 2004.
 BY: William C. Wade
 MY COMMISSION EXPIRES: 10/01/09
Sarah Amato
 NOTARY PUBLIC



CITY APPROVALS: PROJECT NO.: 1002176 APPLICATION NO. 06 DAB-00092
04-000950
[Signature] DATE: 6-16-04
 CITY SURVEYOR
[Signature] DATE: 4-12-06
 TRAFFIC ENGINEERING
Christina Sandoval DATE: 4/12/06
 PARKS & RECREATION DEPARTMENT
Roger A. Hean DATE: 4-24-06
 UTILITIES DEVELOPMENT
Bradley D. Bingham DATE: 4/12/06
 A.M.A.F.C.A.
Bradley D. Bingham DATE: 4/12/06
 CITY ENGINEER
[Signature] DATE: 5/02/06
 DRB CHAIRPERSON, PLANNING DEPARTMENT

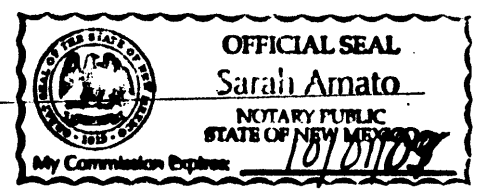
PUBLIC UTILITY EASEMENTS
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

UTILITY APPROVALS
Leand D. Munk DATE: 6-17-04
 P.N.M. GAS SERVICES/P.N.M. ELECTRIC SERVICES
Dana R. Muller DATE: 6-21-04
 QWEST TELECOMMUNICATIONS
Rita E. Richs DATE: 6-21-04
 COMCAST CABLE



PNM ELECTRIC AND GAS SERVICES EASEMENT RELEASE APPROVAL
 PNM Electric and Gas Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

PNM ELECTRIC AND GAS SERVICES
 By: Leand D. Munk
 STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS
Sarah Amato
 NOTARY PUBLIC
 My Commission Expires: 10/01/09



The foregoing instrument was acknowledged before me this 17 day of JUNE, 2004.
Sarah Amato
 Notary Public
 My commission expires: 10/01/09

SURVEYOR'S CERTIFICATION
 I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.
Gary E. Gritsko DATE: JUNE 15, 2004
 Gary E. Gritsko
 New Mexico Professional Surveyor, 8686



SURVEYS SOUTHWEST LTD.
 333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306
 T10N R4E SEC. 26

COVERED WAGON SUBDIVISION

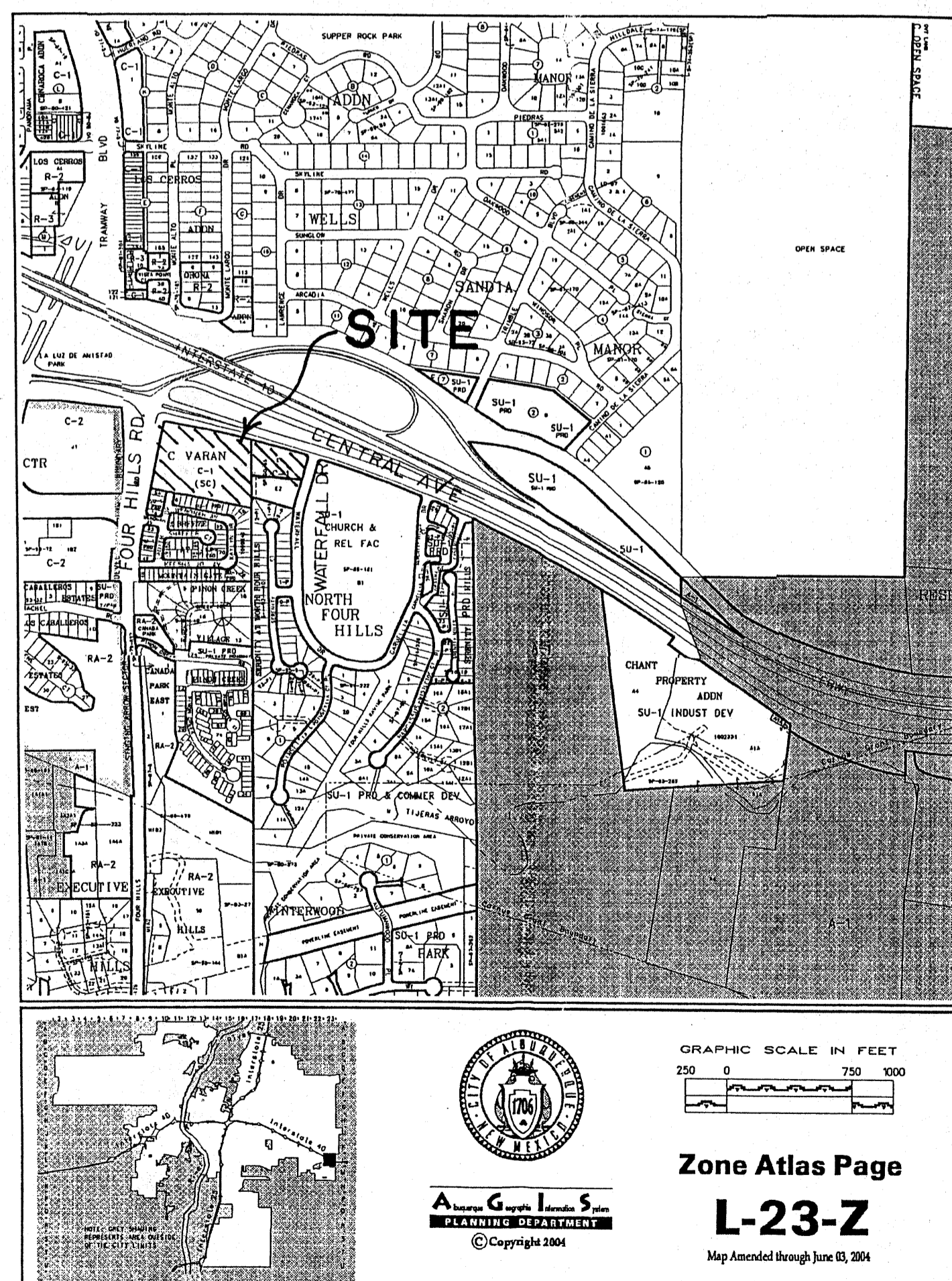
PROPOSED RESIDENTIAL SUBDIVISION

FOUR HILLS AND CENTRAL AVE.
ALBUQUERQUE, NM
DRB PLANS

MOUNTAIN WEST



VICINITY MAP



PROJECT INFORMATION

SITE DEVELOPMENT FOR SUBDIVISION AND FOR
BUILDING PERMIT
DRB CASE No. 1002176
04EPC-00161 SITE DEVELOPMENT PLAN BUILDING PERMIT
04EPC-00162 EPC SITE DEVELOPMENT PLAN-SUBDIVISION
04EPC-00163 ZONE MAP AMENDMENT

OWNER: BILL WADE
MOUNTAIN WEST DEVELOPMENT
P.O. BOX 66449
ALBUQUERQUE, NEW MEXICO 87193
SANTA FE, NEW MEXICO 87501

SITE: SE QUADRANT OF INTERSECTION OF FOURHILLS
RD. AND CENTRAL AVE.

ARCHITECT: GRIEGO & associates LLC
2917 CARLISLE N.E.
ABQ, NEW MEXICO
(505) 881-2002

CIVIL ENGINEER: MARVIN KORTUM
1605 SPEAKMAN DR.
ABQ. NM 87123
299-0774

CURRENT ZONING C-1 (APPROVED TO SU-1 FOR PRD)
REQUEST TO CHANGE TO SU1-PRD
LOT SIZE 5.2 ACRES
DWELLINGS 8.1 PER/ACRE

INDEX TO DRAWINGS

- | | | |
|----|------|---|
| 1 | G1 | COVER SHEET |
| 2 | C1 | MASTER SITE PLAN |
| 3 | C1.1 | SOLID WASTE MANAGEMENT |
| 4 | C1.2 | UTILITIES LAYOUT |
| 5 | C1.3 | SECTION AND PROFILE |
| 6 | C1.4 | LANDSCAPE LAYOUT |
| 7 | A1 | STREET ELEVATION |
| 8 | A2 | TWO STORY HOUSE SITE LAYOUT,
FLOOR PLAN AND ELEVATIONS |
| 9 | A3 | HOUSE SITE LAYOUT,
FLOOR PLAN AND ELEVATIONS |
| 10 | A4 | TWO STORY HOUSE SITE LAYOUT,
FLOOR PLAN AND ELEVATIONS |
| 11 | A5 | HOUSE SITE LAYOUT,
FLOOR PLAN AND ELEVATIONS |
| 12 | A6 | HOUSE SITE LAYOUT,
FLOOR PLAN AND ELEVATIONS |

GRIEGO
& associates LLC

ENGINEERING
ARCHITECTURE
PLANNING

2810 SILER LN
SANTA FE, NM
(505) 438-0027
FAX (505) 438-0028
e - griegollc@qwest.net

MARVIN R. KORTUM, PE

CIVIL ENGINEER
NM PE 6519
1605 SPEAKMAN DR. SE
ALBUQUERQUE, NM
87123
(505) 299-0774

PLOT DATES

2-5-04

SHEET TITLE

COVER SHEET

SCALE

NOT TO SCALE

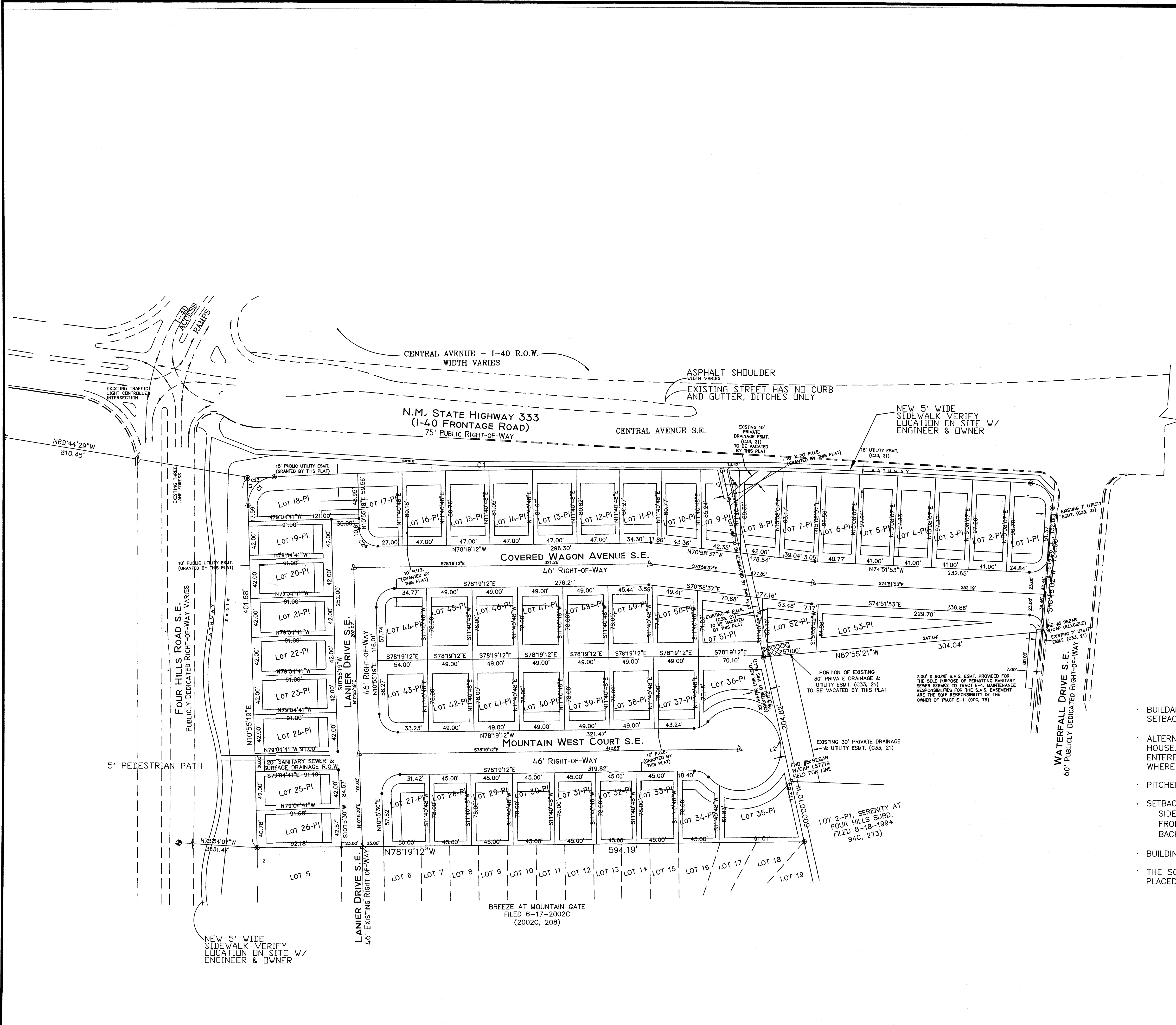
G1

1
OF
12

SCALE: NONE

COVER SHEET

DATE:	DRAWN:	DESIGN:
2-2-04	JCG	JG



AREA TABLE	
LOT	SQUARE FEET/ACRES
LOT 1	4,186.26 SQ.FT./0.0961 ACS.
LOT 2	3,977.53 SQ.FT./0.0913 ACS.
LOT 3	3,989.42 SQ.FT./0.0916 ACS.
LOT 4	3,992.08 SQ.FT./0.0916 ACS.
LOT 5	3,984.72 SQ.FT./0.0915 ACS.
LOT 6	3,946.74 SQ.FT./0.0906 ACS.
LOT 7	3,989.08 SQ.FT./0.0916 ACS.
LOT 8	4,065.32 SQ.FT./0.0933 ACS.
LOT 9	3,667.46 SQ.FT./0.0842 ACS.
LOT 10	3,570.10 SQ.FT./0.0820 ACS.
LOT 11	3,676.13 SQ.FT./0.0844 ACS.
LOT 12	3,781.74 SQ.FT./0.0868 ACS.
LOT 13	3,803.01 SQ.FT./0.0873 ACS.
LOT 14	3,810.36 SQ.FT./0.0875 ACS.
LOT 15	3,803.81 SQ.FT./0.0873 ACS.
LOT 16	3,783.35 SQ.FT./0.0869 ACS.
LOT 17	3,686.50 SQ.FT./0.0846 ACS.
LOT 18	5,635.58 SQ.FT./0.1294 ACS.
LOT 19	3,822.00 SQ.FT./0.0877 ACS.
LOT 20	3,822.00 SQ.FT./0.0877 ACS.
LOT 21	3,822.00 SQ.FT./0.0877 ACS.
LOT 22	3,822.00 SQ.FT./0.0877 ACS.
LOT 23	3,822.00 SQ.FT./0.0877 ACS.
LOT 24	3,822.00 SQ.FT./0.0877 ACS.
LOT 25	3,839.95 SQ.FT./0.0882 ACS.
LOT 26	3,869.15 SQ.FT./0.0888 ACS.
LOT 27	3,813.56 SQ.FT./0.0875 ACS.
LOT 28	3,510.00 SQ.FT./0.0806 ACS.
LOT 29	3,510.00 SQ.FT./0.0806 ACS.
LOT 30	3,510.00 SQ.FT./0.0806 ACS.
LOT 31	3,510.00 SQ.FT./0.0806 ACS.
LOT 32	3,510.00 SQ.FT./0.0806 ACS.
LOT 33	3,510.00 SQ.FT./0.0806 ACS.
LOT 34	3,339.56 SQ.FT./0.0767 ACS.
LOT 35	5,615.01 SQ.FT./0.1289 ACS.
LOT 36	4,919.03 SQ.FT./0.1129 ACS.
LOT 37	3,820.38 SQ.FT./0.0877 ACS.
LOT 38	3,822.00 SQ.FT./0.0877 ACS.
LOT 39	3,822.00 SQ.FT./0.0877 ACS.
LOT 40	3,822.00 SQ.FT./0.0877 ACS.
LOT 41	3,822.00 SQ.FT./0.0877 ACS.
LOT 42	3,822.00 SQ.FT./0.0877 ACS.
LOT 43	4,088.52 SQ.FT./0.0939 ACS.
LOT 44	4,163.73 SQ.FT./0.0956 ACS.
LOT 45	3,822.00 SQ.FT./0.0877 ACS.
LOT 46	3,822.00 SQ.FT./0.0877 ACS.
LOT 47	3,822.00 SQ.FT./0.0877 ACS.
LOT 48	3,822.00 SQ.FT./0.0877 ACS.
LOT 49	3,821.18 SQ.FT./0.0877 ACS.
LOT 50	3,644.83 SQ.FT./0.0837 ACS.
LOT 51	4,676.31 SQ.FT./0.1074 ACS.
LOT 52	3,373.42 SQ.FT./0.0774 ACS.
LOT 53	8,404.34 SQ.FT./0.1929 ACS.

TOTAL 211,128.16
 AVERAGE 3983.55

- BUILDABLE AREAS ARE INDICATED WITHIN BUILDING SETBACKS AND EASEMENTS
- ALTERNATE THE GARAGE SETBACKS 5' EVERY THIRD HOUSE. INCLUDE THE GARAGE PLACEMENT TO BE ENTERED FROM SIDE AND NOT DIRECTLY OFF STREET WHERE FEASIBLE.
- PITCHED ROOFS THROUGHOUT.
- SETBACKS:
 SIDE YARD 5'
 FRONT YARD 10'
 BACK YARD 15'
- BUILDING MAXIMUM HEIGHT IS 26'
- THE SOLID WASTE CONTAINER FOR LOT 18 WILL BE PLACED ON SOUTH WEST CORNER OF LOT 17.

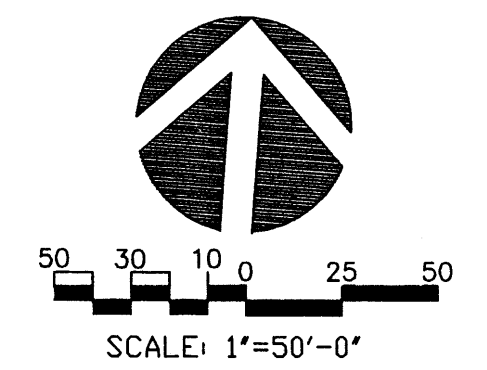
GRIEGO
 & associates LLC
 ENGINEERING
 ARCHITECTURE
 PLANNING
 2917 CARLISLE NE
 ALBUQUERQUE, NM
 87110
 (505) 881-2002
 e - griego@qwest.net

MOUNTAIN WEST
 DEVELOPMENT COMPANY
 Albuquerque, New Mexico

MARVIN R. KORTUM, PE
 CIVIL ENGINEER
 NM PE 6519
 1605 SPEAKMAN DR. SE
 ALBUQUERQUE, NM
 87123
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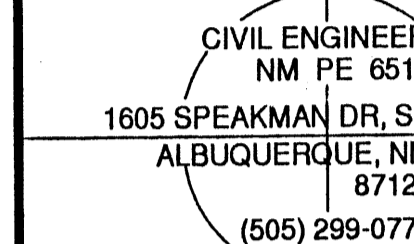
**COVERED WAGON
 RESIDENTIAL SUBDIVISION**
 FOUR HILLS & CENTRAL AVE.
 ALBUQUERQUE, NEW MEXICO

PLOT DATES
SHEET TITLE MASTER SITE PLAN
SCALE 1" = 50'-0"
C1
2 OF 12
DATE: 7-4-04
DRAWN: JG
DESIGN: JG



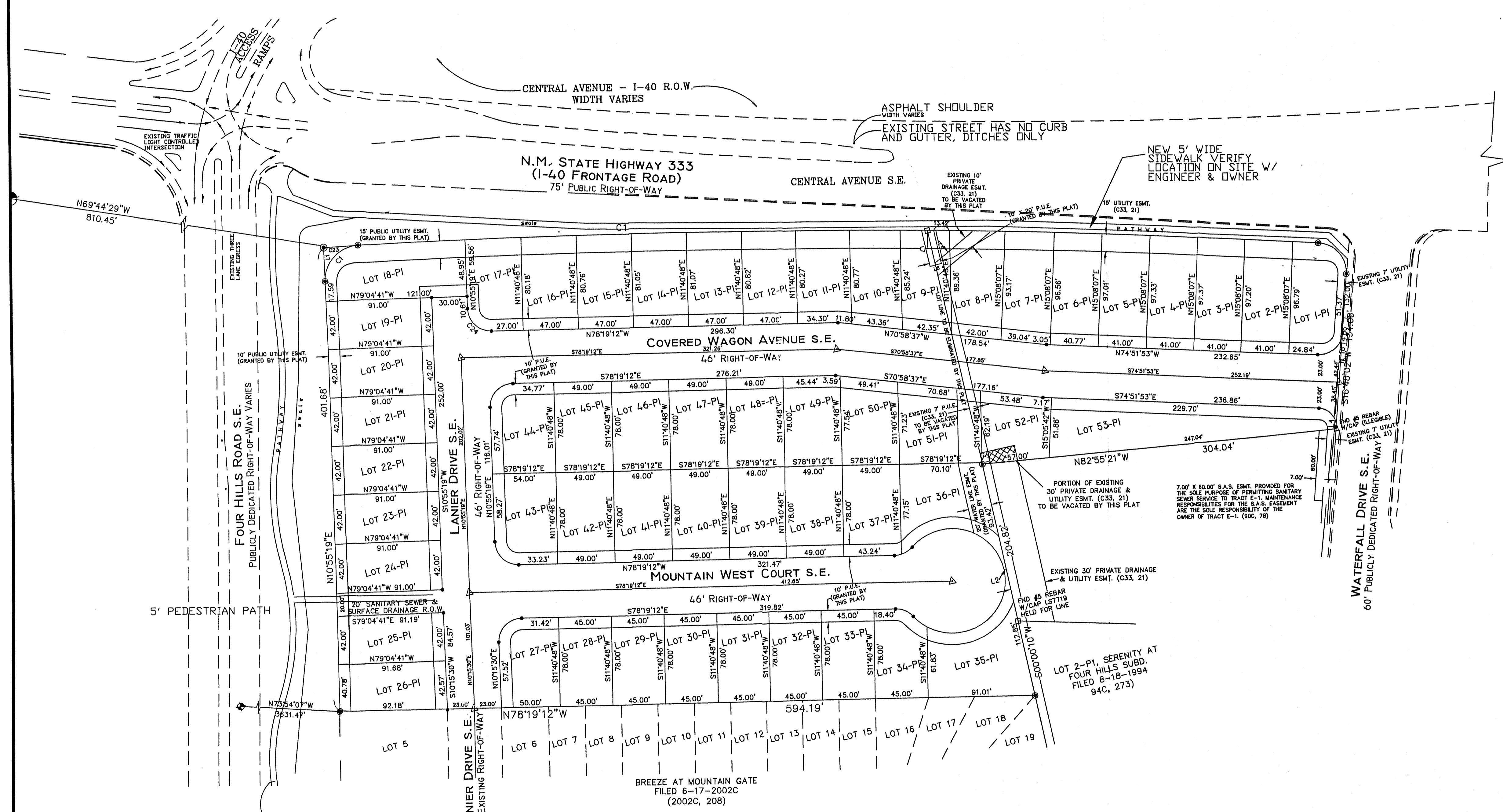
1" = 50'-0"

MASTER SITE PLAN



LOT	SQUARE FEET/ACRES
LOT 1	4,186.26 SQ.FT./0.0961 ACS.
LOT 2	3,977.43 SQ.FT./0.0913 ACS.
LOT 3	3,889.42 SQ.FT./0.0816 ACS.
LOT 4	3,992.08 SQ.FT./0.0916 ACS.
LOT 5	3,884.72 SQ.FT./0.0815 ACS.
LOT 6	3,946.74 SQ.FT./0.0908 ACS.
LOT 7	3,889.08 SQ.FT./0.0816 ACS.
LOT 8	4,065.32 SQ.FT./0.0933 ACS.
LOT 9	3,887.46 SQ.FT./0.0842 ACS.
LOT 10	3,570.10 SQ.FT./0.0820 ACS.
LOT 11	3,676.13 SQ.FT./0.0844 ACS.
LOT 12	3,781.74 SQ.FT./0.0868 ACS.
LOT 13	3,803.01 SQ.FT./0.0873 ACS.
LOT 14	3,810.36 SQ.FT./0.0877 ACS.
LOT 15	3,803.81 SQ.FT./0.0873 ACS.
LOT 16	3,783.35 SQ.FT./0.0869 ACS.
LOT 17	3,686.50 SQ.FT./0.0846 ACS.
LOT 18	5,635.58 SQ.FT./0.1294 ACS.
LOT 19	3,822.00 SQ.FT./0.0877 ACS.
LOT 20	3,822.00 SQ.FT./0.0877 ACS.
LOT 21	3,822.00 SQ.FT./0.0877 ACS.
LOT 22	3,822.00 SQ.FT./0.0877 ACS.
LOT 23	3,822.00 SQ.FT./0.0877 ACS.
LOT 24	3,822.00 SQ.FT./0.0877 ACS.
LOT 25	3,639.95 SQ.FT./0.0882 ACS.
LOT 26	3,889.15 SQ.FT./0.0888 ACS.
LOT 27	3,813.56 SQ.FT./0.0875 ACS.
LOT 28	3,510.00 SQ.FT./0.0806 ACS.
LOT 29	3,510.00 SQ.FT./0.0806 ACS.
LOT 30	3,510.00 SQ.FT./0.0806 ACS.
LOT 31	3,510.00 SQ.FT./0.0806 ACS.
LOT 32	3,510.00 SQ.FT./0.0806 ACS.
LOT 33	3,510.00 SQ.FT./0.0806 ACS.
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LOT 42	3,822.00 SQ.FT./0.0877 ACS.
LOT 43	4,088.52 SQ.FT./0.0938 ACS.
LOT 44	4,163.73 SQ.FT./0.0958 ACS.
LOT 45	3,822.00 SQ.FT./0.0877 ACS.
LOT 46	3,822.00 SQ.FT./0.0877 ACS.
LOT 47	3,822.00 SQ.FT./0.0877 ACS.
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LOT 50	3,644.83 SQ.FT./0.0837 ACS.
LOT 51	4,676.31 SQ.FT./0.1074 ACS.
LOT 52	3,373.42 SQ.FT./0.0774 ACS.
LOT 53	8,404.34 SQ.FT./0.1929 ACS.

TOTAL 211,128.16
AVERAGE 3983.55



**COVERED WAGON
RESIDENTIAL SUBDIVISION**
FOUR HILLS & CENTRAL AVE.
ALBUQUERQUE, NEW MEXICO

PLOT DATES

SHEET TITLE

SCALE

1" = 50'-0"

C1.1

3 OF 12

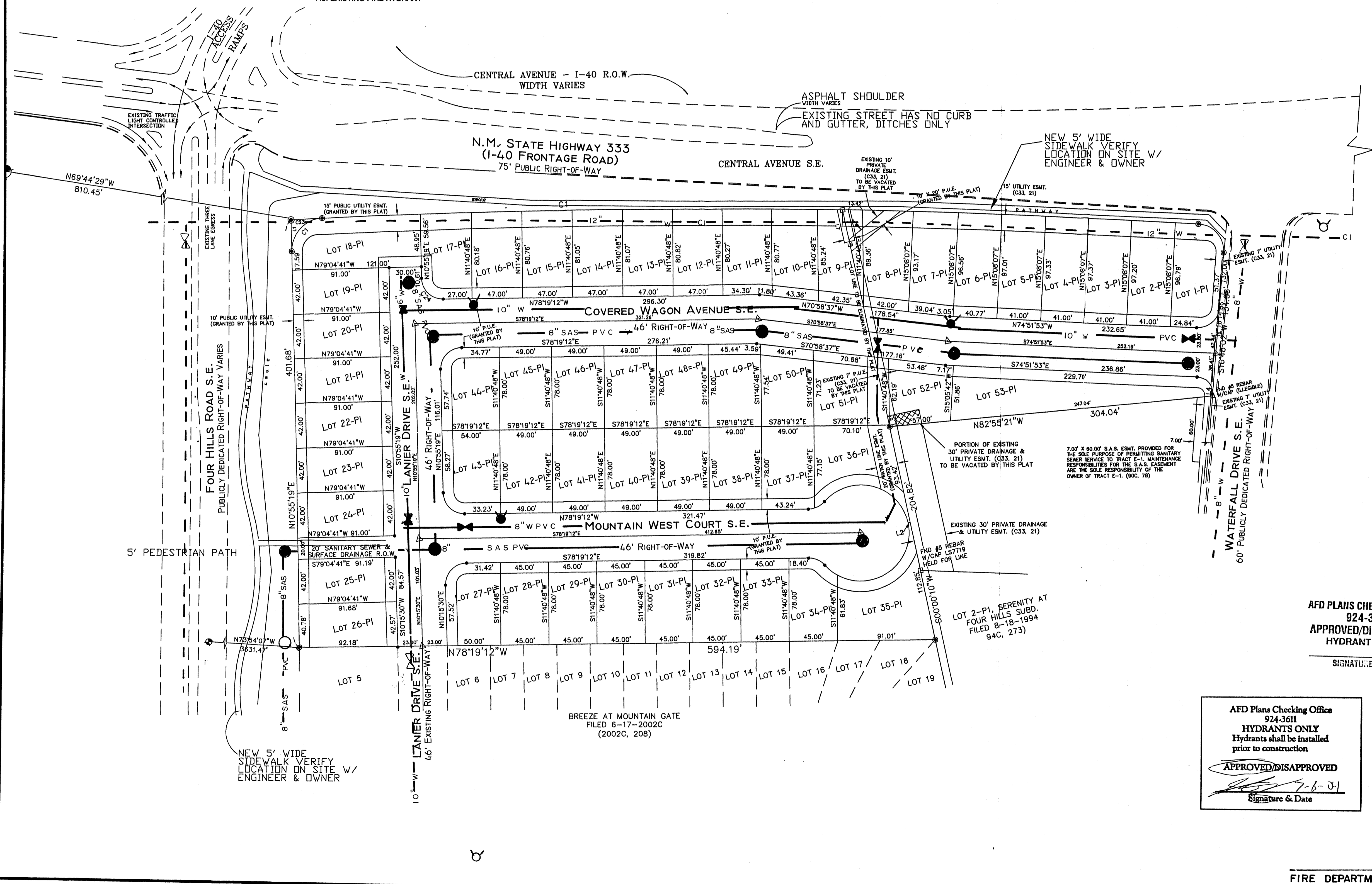
DATE: 6-28-04 DRAWN: DESIGN: JG

SWMP
J.C. Wilson
7-2-04

SCALE: 1"=50'-0"

NOTES:

- A. EXISTING STANDARD CURB AND GUTTER
- B. EXISTING ASPHALT SURFACED STREET
- C. EXISTING MEDIAN CURB
- D. EXISTING WHEELCHAIR RAMP
- E. EXISTING PORTLAND CEMENT SIDEWALK
- F. EXISTING ASPHALT SURFACED BICYCLE PATH
- G. EXISTING ROLLOVER CURB
- H. EXISTING STORM DRAIN INLET
- I. EXISTING SUBSURFACE STORM DRAIN PIPE
- J. EXISTING PORTLAND CEMENT CONCRETE LINED STORM DRAIN CHANNEL
- K. EXISTING SWALE
- L. EXISTING STORM DRAIN MANHOLE
- M. EXISTING ELECTRIC POWER POLE, (WOOD)
- N. EXISTING POLE ANCHOR
- O. EXISTING STREET LIGHT POLE
- P. EXISTING STREET LIGHT JUNCTION BOX
- Q. EXISTING UNDERGROUND POWER CABLES
- R. EXISTING TRAFFIC LIGHT POLE
- S. EXISTING TRAFFIC LIGHT CONTROL BOX
- T. EXISTING COMMUNICATIONS CONTROL BOX
- U. EXISTING COMMUNICATION PEDestal
- V. EXISTING UNDERGROUND COMMUNICATIONS CABLES
- W. EXISTING UNDERGROUND GAS LINES
- X. EXISTING GAS LINE CONTROL
- Y. EXISTING SANITARY SEWER MAINS
- Z. EXISTING SANITARY SEWER MANHOLE
- AA. EXISTING WATER MAIN
- AB. EXISTING GATE VALVE
- AC. EXISTING FIRE HYDRANT
- BA. NEW STANDARD CURB AND GUTTER
- BB. NEW ROLLOVER CURB AND GUTTER
- BC. NEW TRANSITION STANDARD TO ROLLOVER CURB
- BD. NEW WHEELCHAIR RAMP
- BE. NEW VALLEY GUTTER
- BF. NEW DRIVEPAD
- BF. NEW PORTLAND CEMENT SIDEWALK
- BG. NEW ASPHALT SURFACED STREET
- BH. NEW STORM DRAIN INLET
- BI. NEW STORM DRAIN PIPE
- BJ. NEW CMU BLOCK OR CAST PORTLAND CEMENT CONCRETE WALL. ALL WALLS WITH MORE THAN 18" DIFFERENCE IN ELEVATION BETWEEN THE SURFACES ON EITHER SIDE OF THE WALL WILL BE CONSTRUCTED AS ENGINEER DESIGNED RETAINING WALLS. GENERAL RETAINING WALL LOCATIONS ARE SHOWN ON THIS DRAWING. ADDITIONAL RETAINING WALLS MAY BE REQUIRED. WALL DESIGNS MUST BE CERTIFIED FOR THE SPECIFIC SOIL AT THAT LOCATION. SOIL CHARACTERISTIC MAY VARY THROUGHOUT THE SUBDIVISION. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE RETAINING WALLS.



LOT	AREA TABLE
	SQUARE FEET/ACRES
LOT 1	4,186.26 SQ.FT./0.0961 ACS.
LOT 2	3,877.53 SQ.FT./0.0891 ACS.
LOT 3	3,889.42 SQ.FT./0.0891 ACS.
LOT 4	3,892.08 SQ.FT./0.0891 ACS.
LOT 5	3,984.72 SQ.FT./0.0915 ACS.
LOT 6	3,946.74 SQ.FT./0.0906 ACS.
LOT 7	3,889.08 SQ.FT./0.0891 ACS.
LOT 8	4,065.32 SQ.FT./0.0933 ACS.
LOT 9	3,687.48 SQ.FT./0.0842 ACS.
LOT 10	3,570.10 SQ.FT./0.0820 ACS.
LOT 11	3,676.13 SQ.FT./0.0844 ACS.
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LOT 17	3,686.90 SQ.FT./0.0848 ACS.
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LOT 19	3,822.00 SQ.FT./0.0877 ACS.
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LOT 53	8,404.34 SQ.FT./0.1928 ACS.

TOTAL 211,128.16
AVERAGE 3983.55

LEGEND	EXISTING	PROPOSED (THIS PROJECT)
SPOT ELEVATIONS	X	TS
TOP OF SIDEWALK	Ts	TW
TOP OF WALL	TW	TC
TOP OF CURB	TC	FL
FLOW LINE INVERT	FL	FFE
FINISHED FLOOR ELEVATIONS	FFE	
CONTOUR LINE	---	---
STRUCTURE, MAJOR (HOUSE, ETC)	---	---
STRUCTURE, MINOR (SIDEWALK, ETC)	---	---
FENCE	---	---
BLOCK WALL	---	---
RETAINING WALL	---	---
PROPERTY LINE	---	---
LOT NUMBER	---	---

GRIEGO
& associates LLC
ENGINEERING
ARCHITECTURE
PLANNING
2917 CARLISLE NE
ALBUQUERQUE, NM
87110
(505) 881-2002
e - griego@qwest.net

MOUNTAIN WEST
DEVELOPMENT COMPANY
Albuquerque, New Mexico

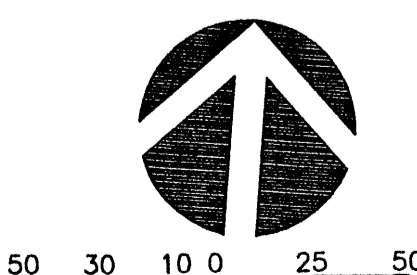
MARVIN R. KORTUM, PE
CIVIL ENGINEER
NM PE 6519
1605 SPEAKMAN DR. SE
ALBUQUERQUE, NM
87123
(505) 299-0774



**COVERED WAGON
RESIDENTIAL SUBDIVISION**
FOUR HILLS & CENTRAL AVE.
ALBUQUERQUE, NEW MEXICO

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE

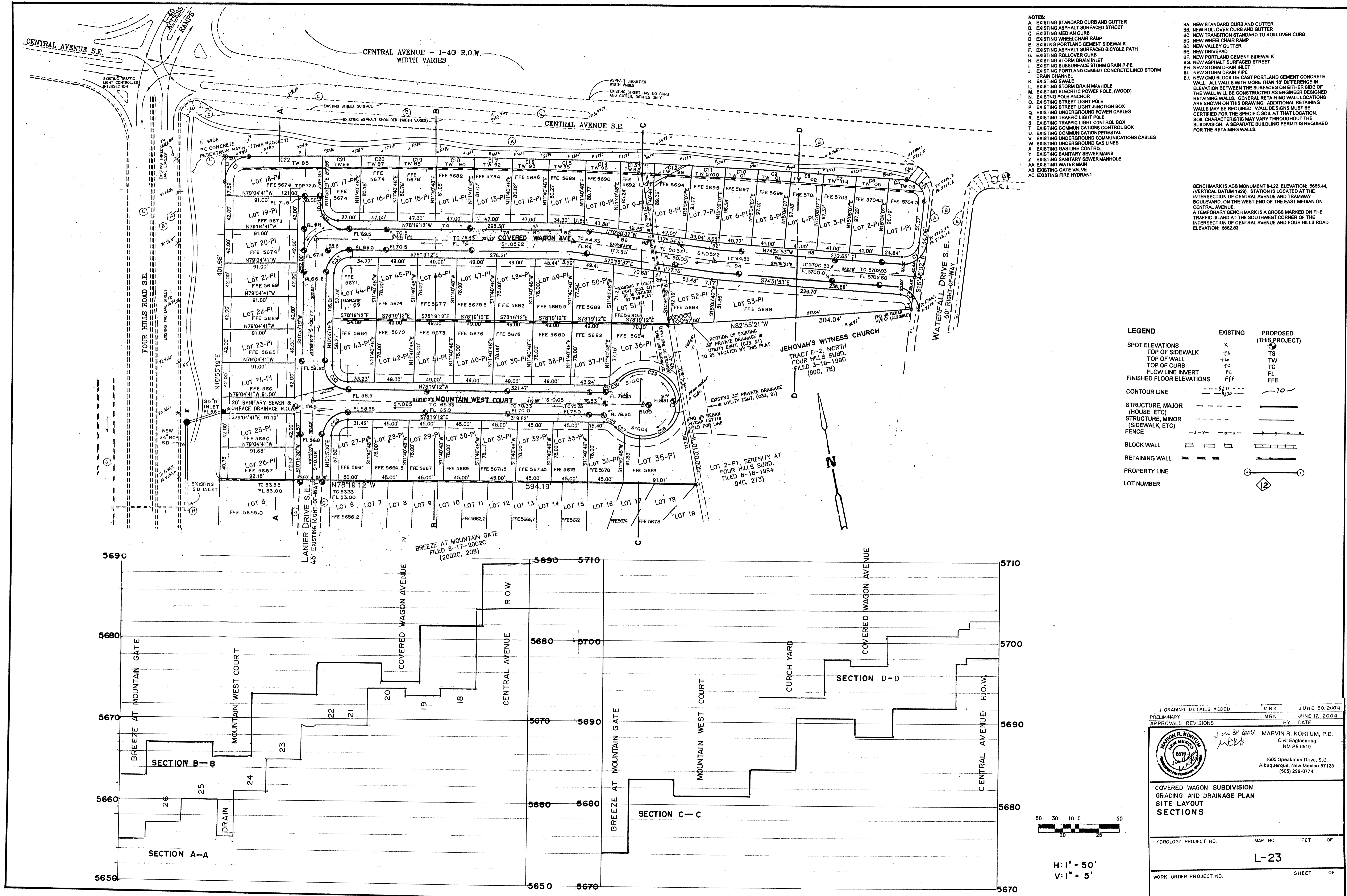
AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed
prior to construction
APPROVED/DISAPPROVED
Signature & Date



FIRE DEPARTMENT APPROVAL DATE

UTILITIES LAYOUT

PLOT DATES
SHEET TITLE
SCALE 1" = 50'-0"
C1.2
4 of 12
DATE: 6-28-04
DRAWN: DESIGN: JG

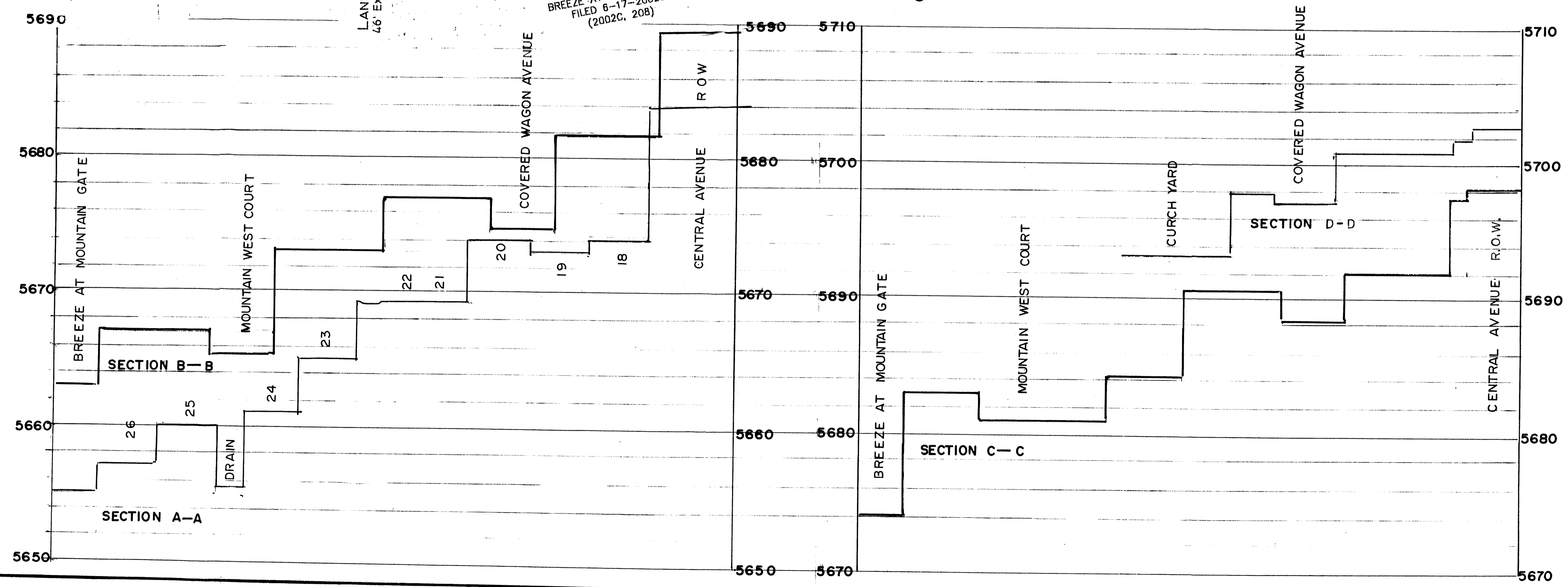


- NOTES:**
- A. EXISTING STANDARD CURB AND GUTTER
 - B. EXISTING ASPHALT SURFACED STREET
 - C. EXISTING MEDIAN CURB
 - D. EXISTING WHEEL CHAIR RAMP
 - E. EXISTING PORTLAND CEMENT SIDEWALK
 - F. EXISTING ASPHALT SURFACED BICYCLE PATH
 - G. EXISTING STORM DRAIN INLET
 - H. EXISTING SUBSURFACE STORM DRAIN PIPE
 - I. EXISTING PORTLAND CEMENT CONCRETE LINED STORM DRAIN CHANNEL
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 - U. EXISTING UNDERGROUND GAS LINES
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 - W. EXISTING SANITARY SEWER MAINS
 - X. EXISTING SANITARY SEWER MANHOLE
 - AA. EXISTING WATER MAIN
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 BH. NEW ASPHALT SURFACED STREET
 BI. NEW STORM DRAIN INLET
 BJ. NEW STORM DRAIN PIPE
 BK. NEW GUM BLOCK OR CAST PORTLAND CEMENT CONCRETE WALL - ALL WALLS WITH MORE THAN 18" DIFFERENCE IN ELEVATION BETWEEN THE SURFACES ON EITHER SIDE OF THE WALL WILL BE CONSTRUCTED AS ENGINEER DESIGNED RETAINING WALLS. GENERAL RETAINING WALL LOCATIONS ARE SHOWN ON THIS DRAWING. ADDITIONAL RETAINING WALLS MAY BE REQUIRED. WALL DESIGNS MUST BE CERTIFIED FOR THE SPECIFIC SOIL AT THAT LOCATION. SOIL CHARACTERISTIC MAY VARY THROUGHOUT THE SUBDIVISION. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE RETAINING WALLS.

BENCHMARK IS ACS MONUMENT 8-L22. ELEVATION: 5665.44. VERTICAL DATUM 1929. STATION IS LOCATED AT THE INTERSECTION OF CENTRAL AVENUE AND TRAMWAY BOULEVARD, ON THE WEST END OF THE EAST MEDIAN ON CENTRAL AVENUE. A TEMPORARY BENCH MARK IS A CROSS MARKED ON THE TRAFFIC ISLAND AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CENTRAL AVENUE AND FOUR HILLS ROAD. ELEVATION: 5662.83

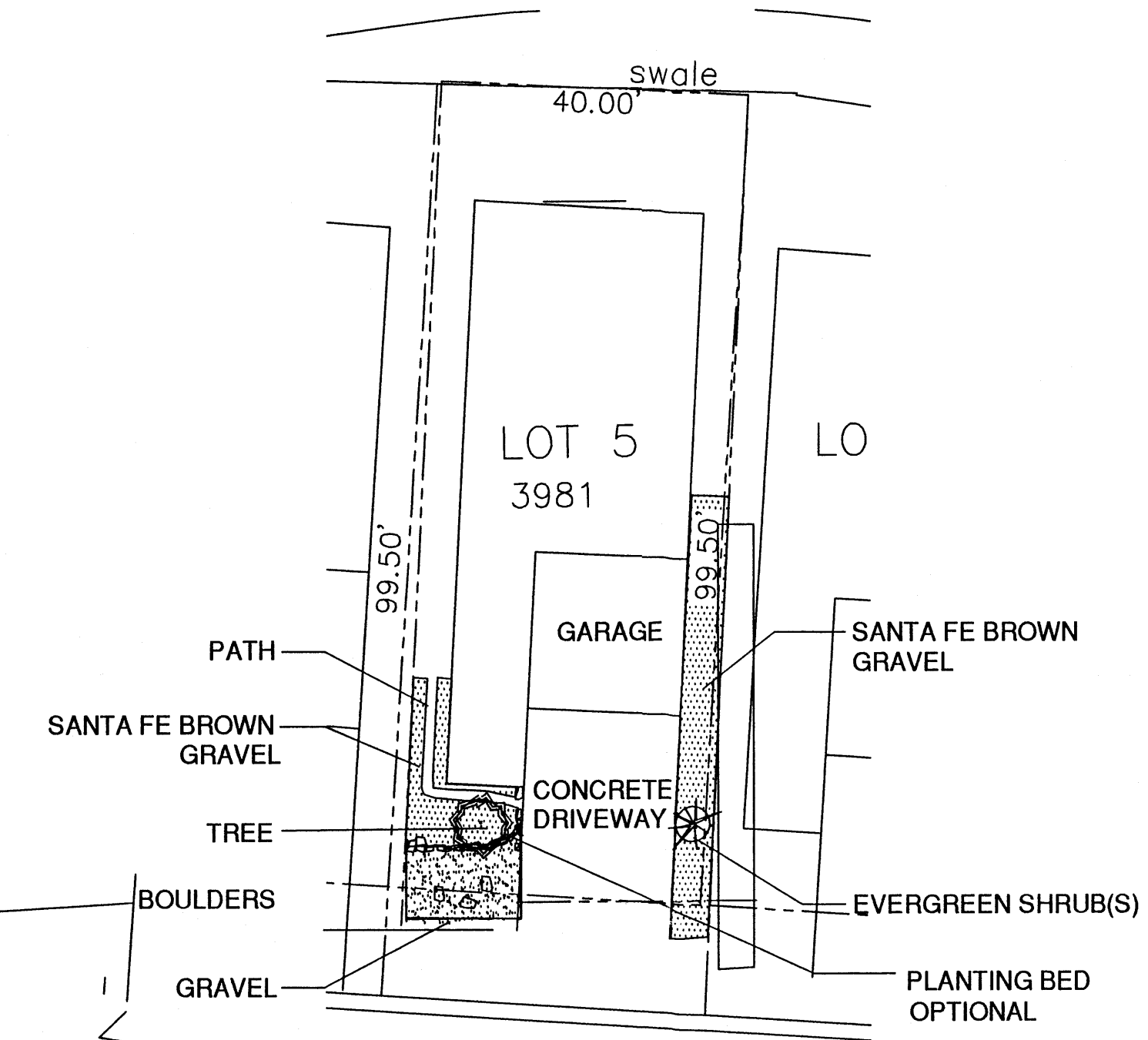
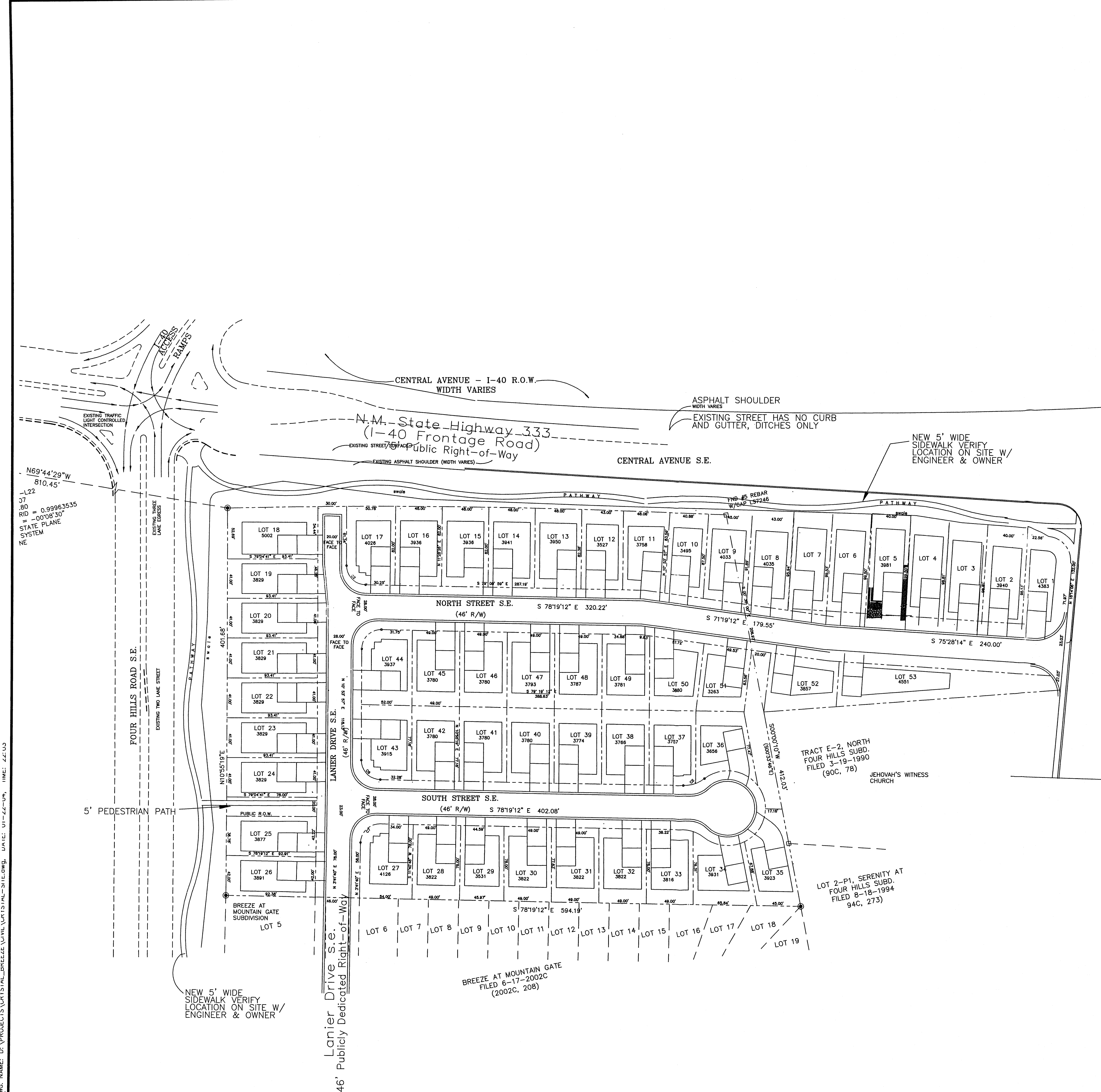
LEGEND

	EXISTING	PROPOSED (THIS PROJECT)
SPOT ELEVATIONS	X	•
TOP OF SIDEWALK	TS	TS
TOP OF WALL	TW	TW
TOP OF CURB	TC	TC
FLOW LINE INVERT	FL	FL
FINISHED FLOOR ELEVATIONS	FFE	FFE
CONTOUR LINE	---	---
STRUCTURE, MAJOR (HOUSE, ETC)	---	---
STRUCTURE, MINOR (SIDEWALK, ETC)	---	---
FENCE	-X-X-	-X-X-
BLOCK WALL	▬▬▬	▬▬▬
RETAINING WALL	▬▬▬	▬▬▬
PROPERTY LINE	○	○
LOT NUMBER	12	12



GRADING DETAILS ADDED	MRK	JUNE 30, 2004
PRELIMINARY	MRK	JUNE 17, 2004
APPROVALS / REVISIONS	BY	DATE
MARWIN R. KORTUM, P.E. Civil Engineering NM PE 6519 1605 Speakman Drive, S.E. Albuquerque, New Mexico 87123 (505) 299-0774		
COVERED WAGON SUBDIVISION GRADING AND DRAINAGE PLAN SITE LAYOUT SECTIONS		
HYDROLOGY PROJECT NO.	MAP NO.	FET OF
		L-23
WORK ORDER PROJECT NO.	SHEET OF	

**COVERED WAGON
 RESIDENTIAL SUBDIVISION**
 FOUR HILLS & CENTRAL AVE.
 ALBUQUERQUE, NEW MEXICO

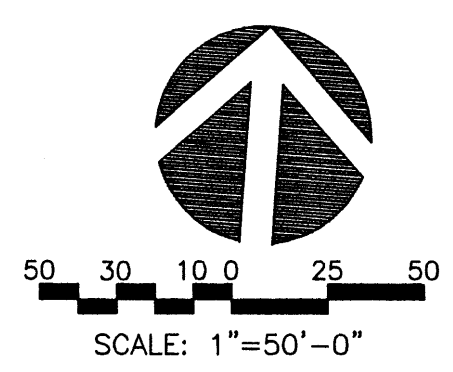


TYPICAL LANDSCAPE LOT LAYOUT
 NTS

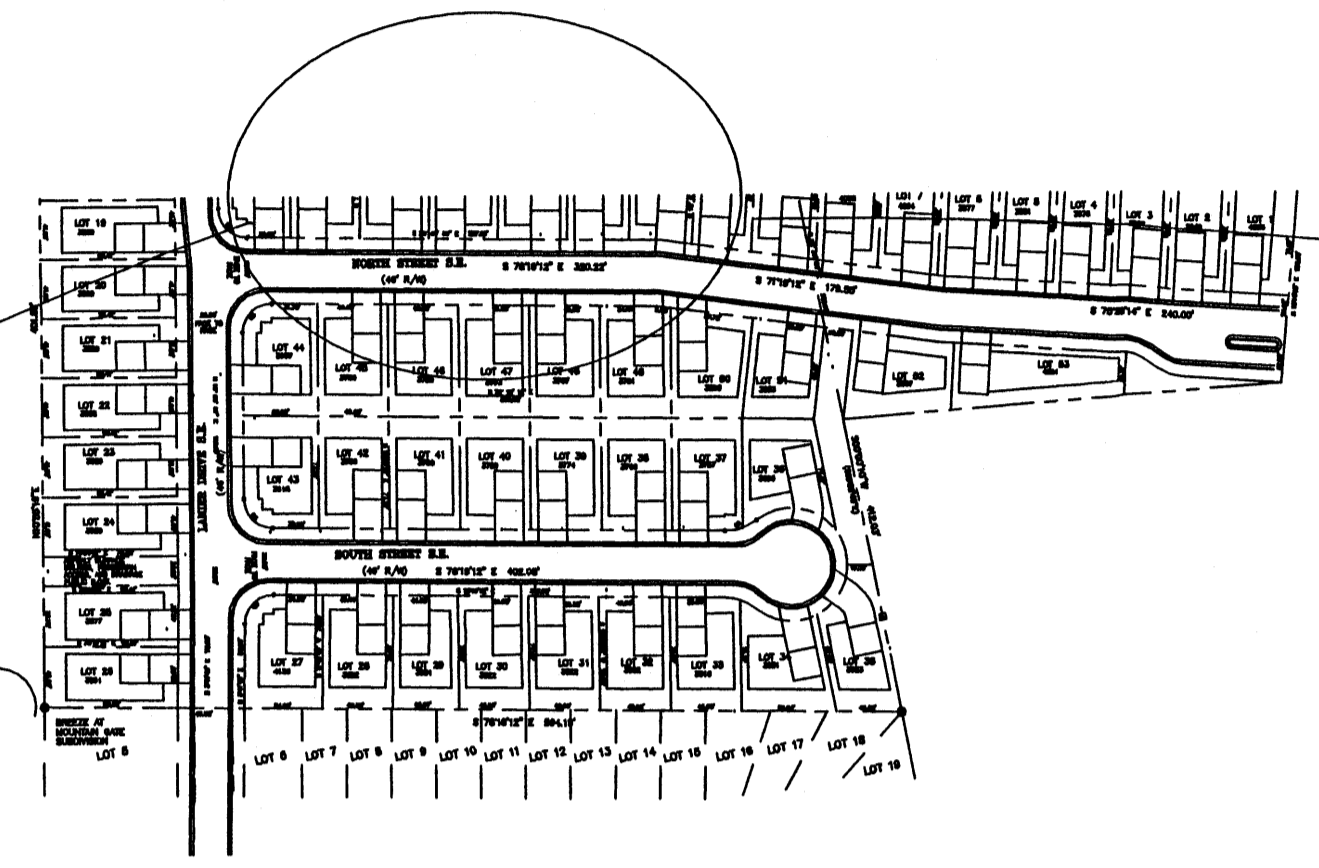
Waterfall Drive
 61' WIDE R-O-W
 40' PAVED STREET EXISTING C&C

KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	SIZE
B		ARIZONA ASH	FRAXINUS VELUTINA	40'	25'W	
C		PINON PINE	PINUS ENDULIS	20'	18'W	
D		GRAYLEAF COTONEASTER	COTONEASTER BUXIFOLIUS	2'	4'-6"	5 GAL
E		BIG SAGE	ARTEMISIA TRIDENTATA	3'-6"	3'-5"	5 GAL
F		MOONSHINE YARROW	MOONSHINE YARROW	2'	18"	1 GAL
G		1-1/2" WASHED RIVER ROCK				
H		2" SANTA FE BROWN GRAVEL				

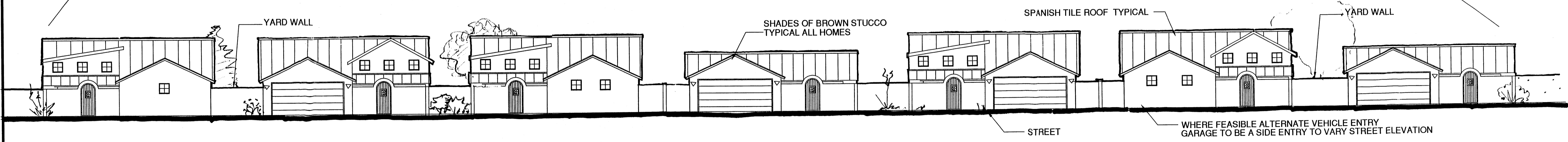
NOTE:
 THIS IS A SINGLE FAMILY RESIDENCE DEVELOPMENT. LANDSCAPE IMPROVEMENTS WILL BE AT THE DISCRETION OF THE HOME BUYER TO ALLOW CREATIVE EXPRESSION ON A CASE BY CASE SITUATION.
 IMPROVEMENTS REQUESTED MUST COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION REGULATION.
 PLANT MATERIAL REQUESTED MUST COMPLY WITH THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.



1" = 50'-0"



COVERED WAGON SITE



SOUTH @ COVERED WAGON STREET ELEVATION

COVERED WAGON
RESIDENTIAL SUBDIVISION
CENTRAL & FOUR HILLS
ALBUQUERQUE, NEW MEXICO

PLOT DATES

SHEET TITLE
STREET ELEVATION

SCALE
VARIES

A1

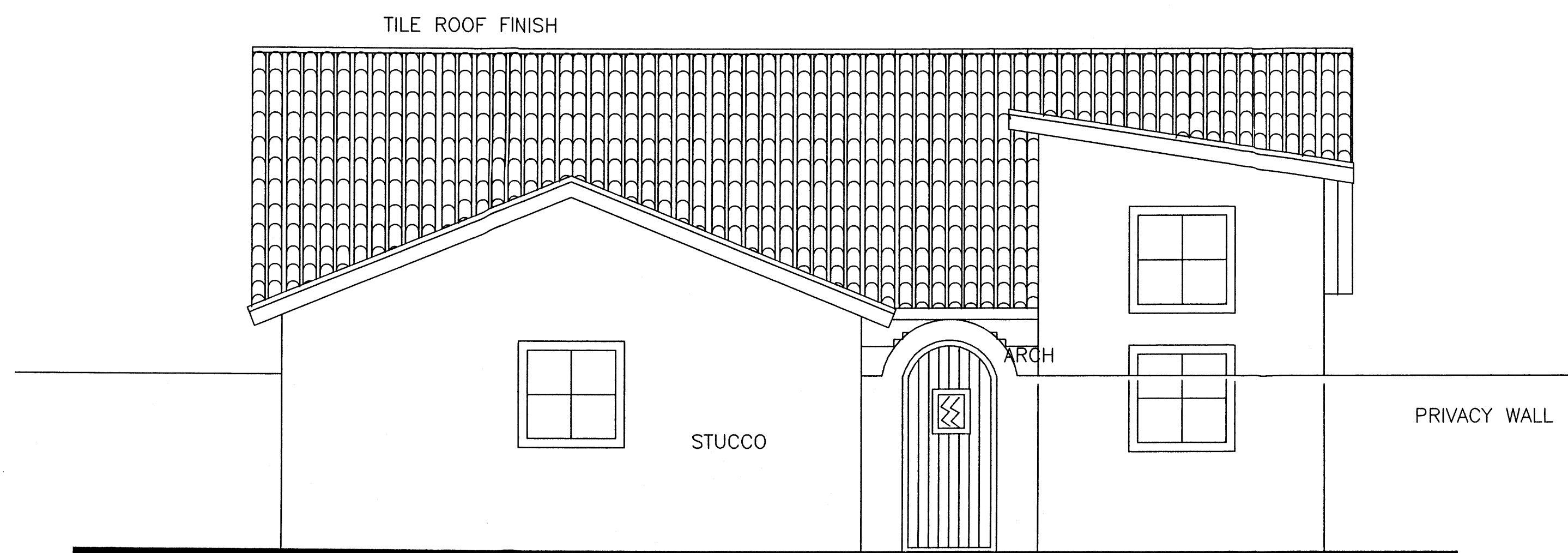
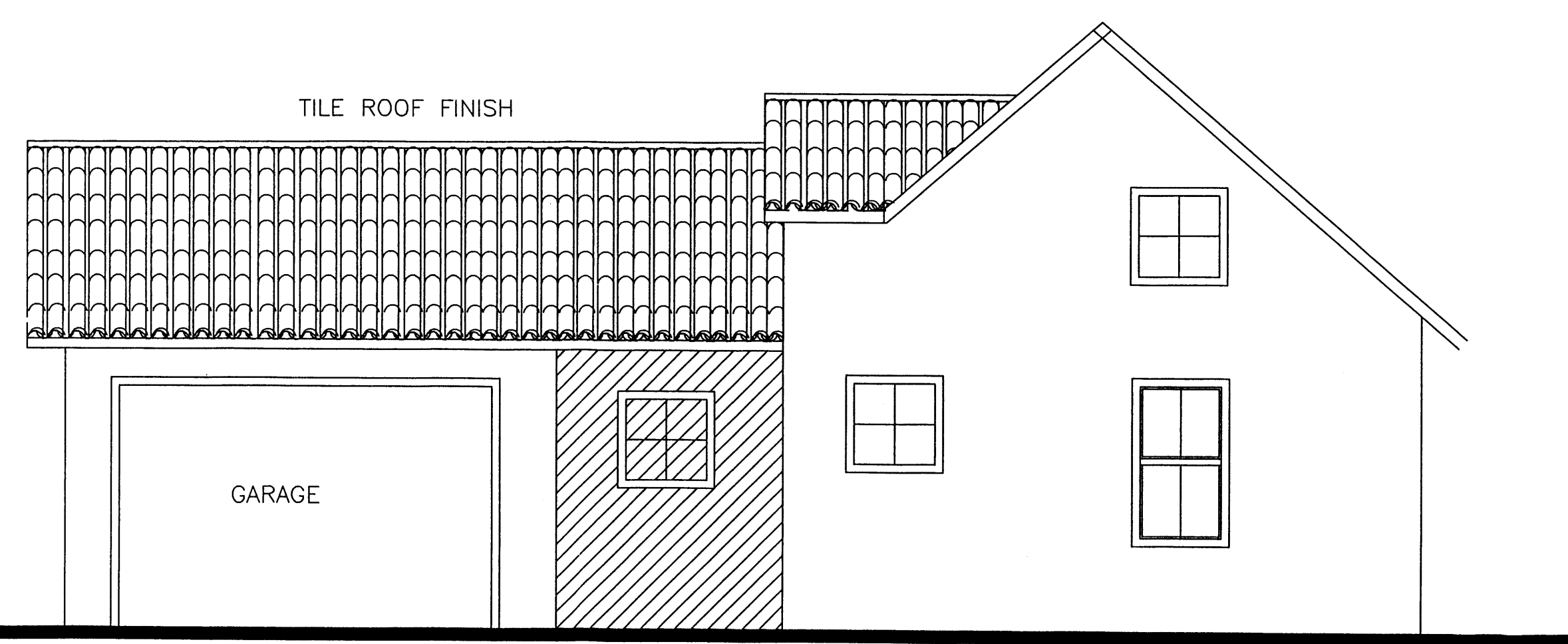
7 OF 12

DATE: 7/4 DRAWN: JCG DESIGN: JG

TYPICAL STREET ELEVATION

NTS

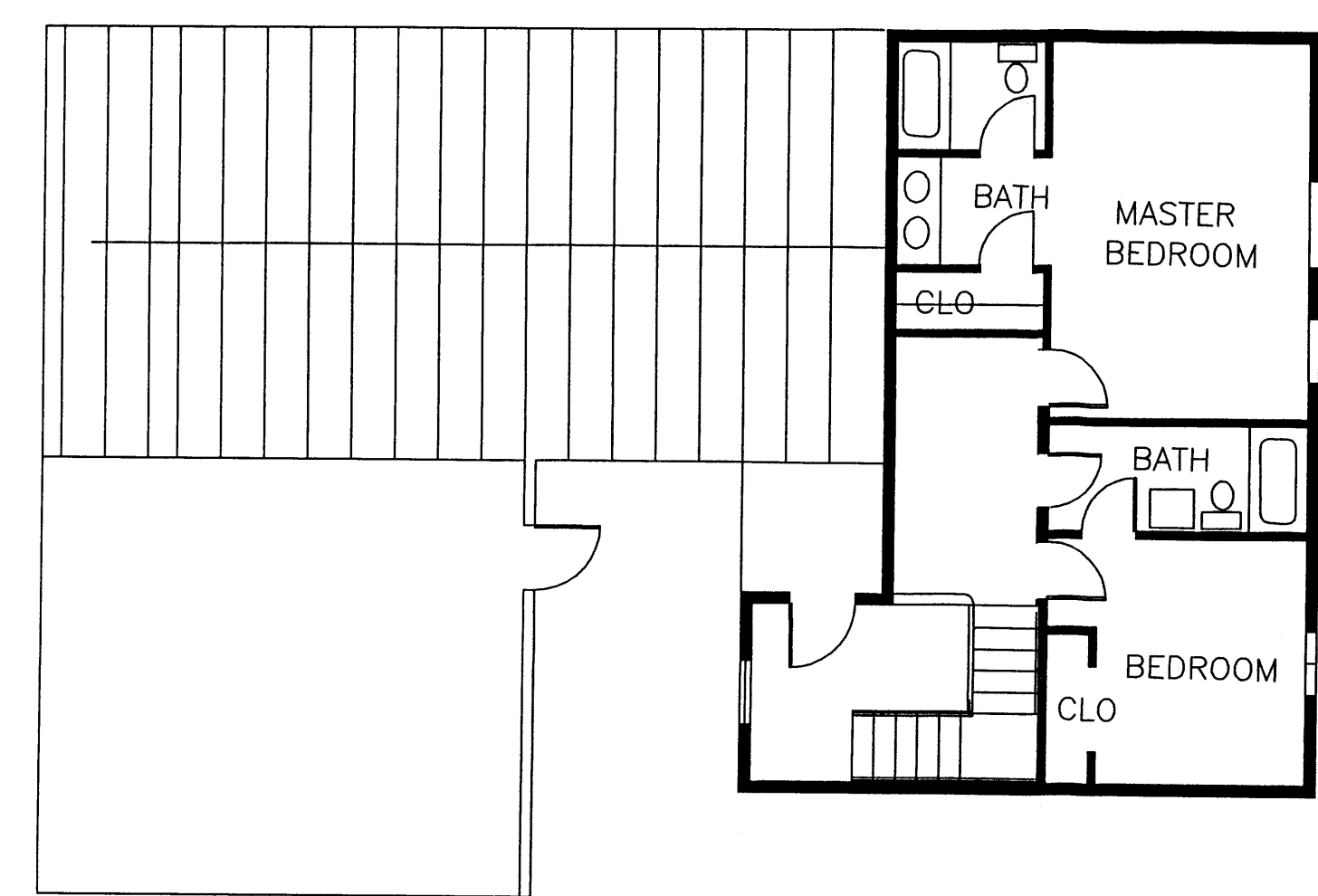
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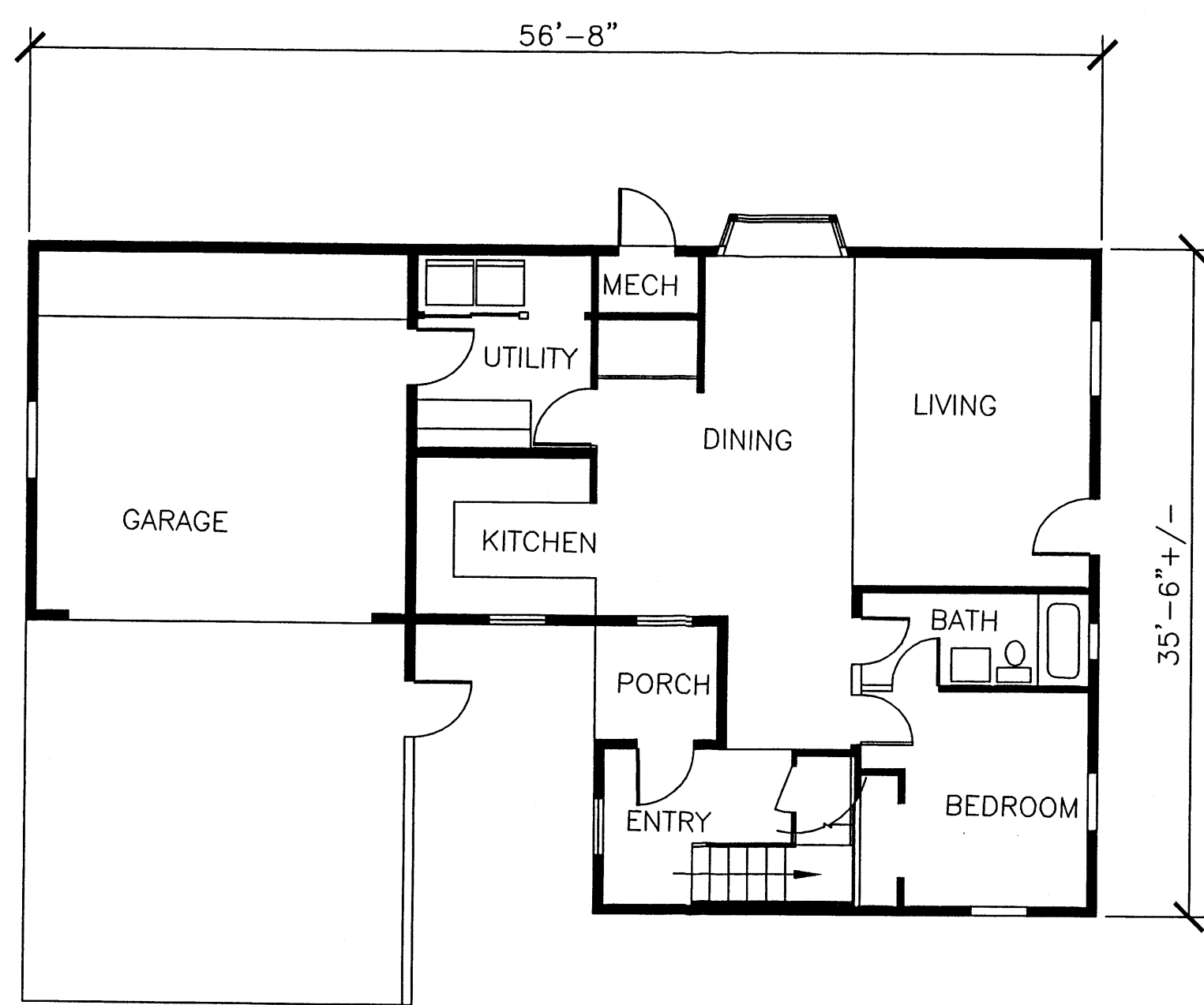
SIDE

SCALE 1/4"=1'0"

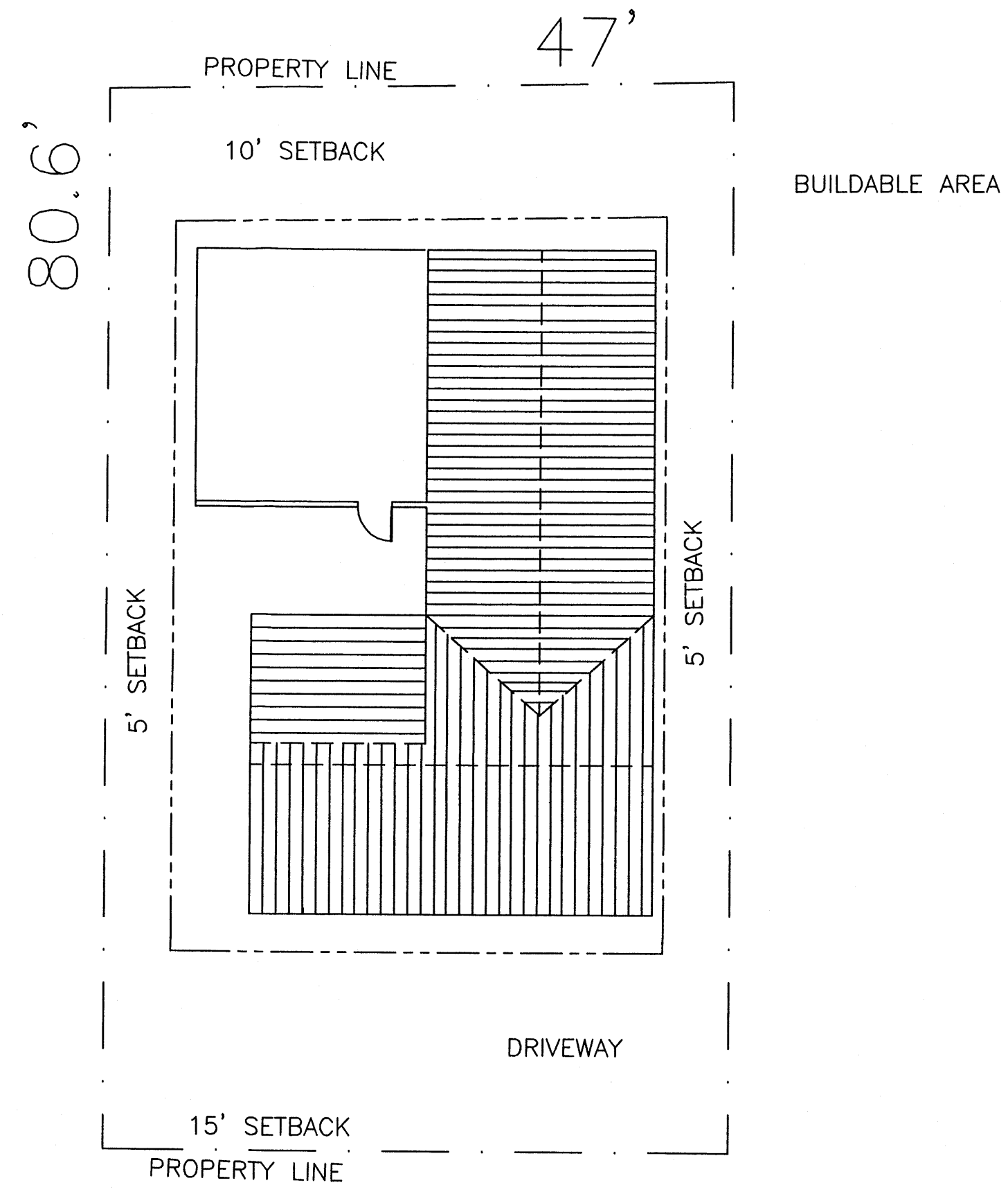
EXTERIOR ELEVATIONS



SECOND FLOOR



FIRST FLOOR



SITE PLAN

HEATED SQUARE FOOTAGE	
FIRST FLOOR	1050 SF
SECOND FLOOR	730 SF
HEATED TOTAL	1,780 SF

- EMBELLISHMENTS THAT INCLUDE
- CORBELS AT PORCH COLUMNS..
 - EXPOSED LINTELS OVER WINDOWS
 - ARC CAMBER OVER GARAGE
 - WALL THICKNESS AT GARAGE
 - WOOD VS. ALUMN WINDOWS
 - SPANISH TILE ROOF

COVERED WAGON
 RESIDENTIAL SUBDIVISION
 FOUR HILLS & CENTRAL AVE.
 ALBUQUERQUE, NEW MEXICO

PLOT DATES

SHEET TITLE
 Lot-16

SCALE
 VARIES

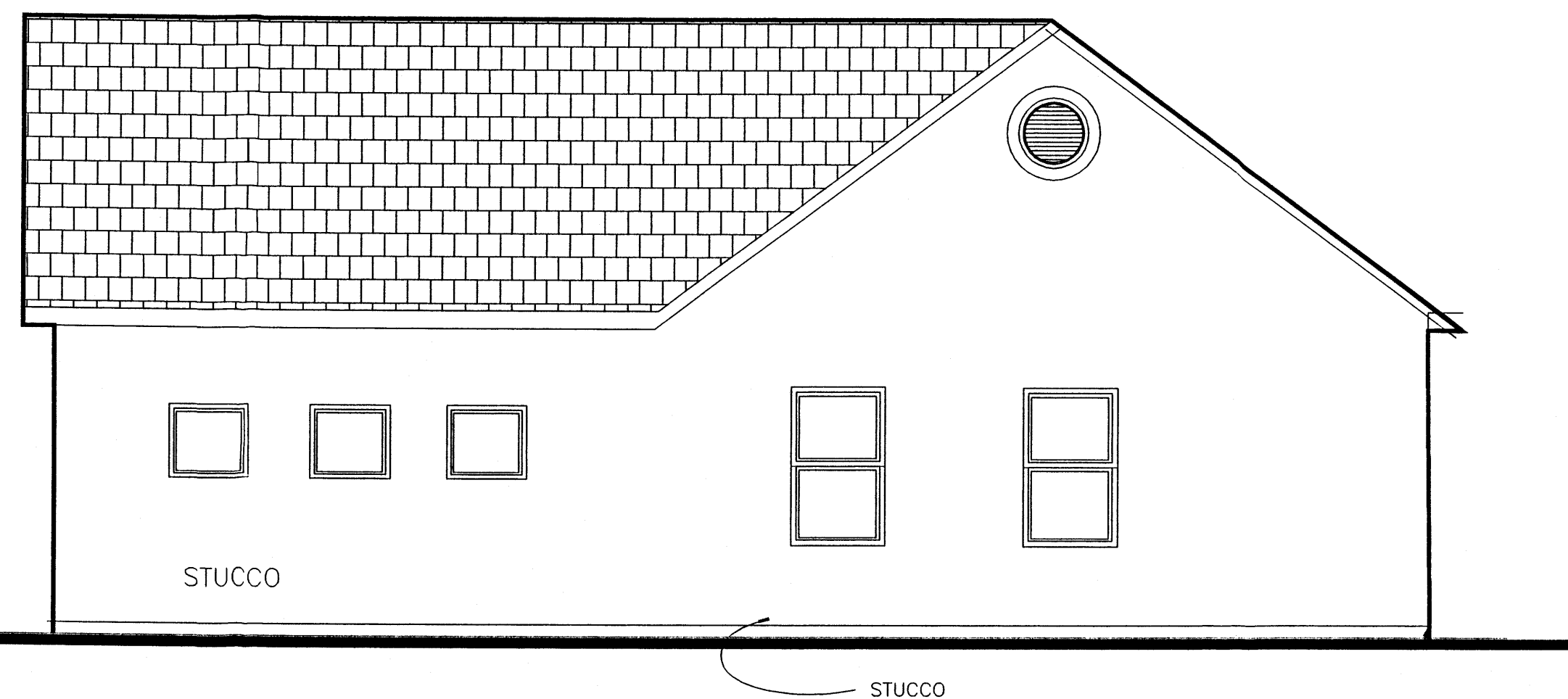
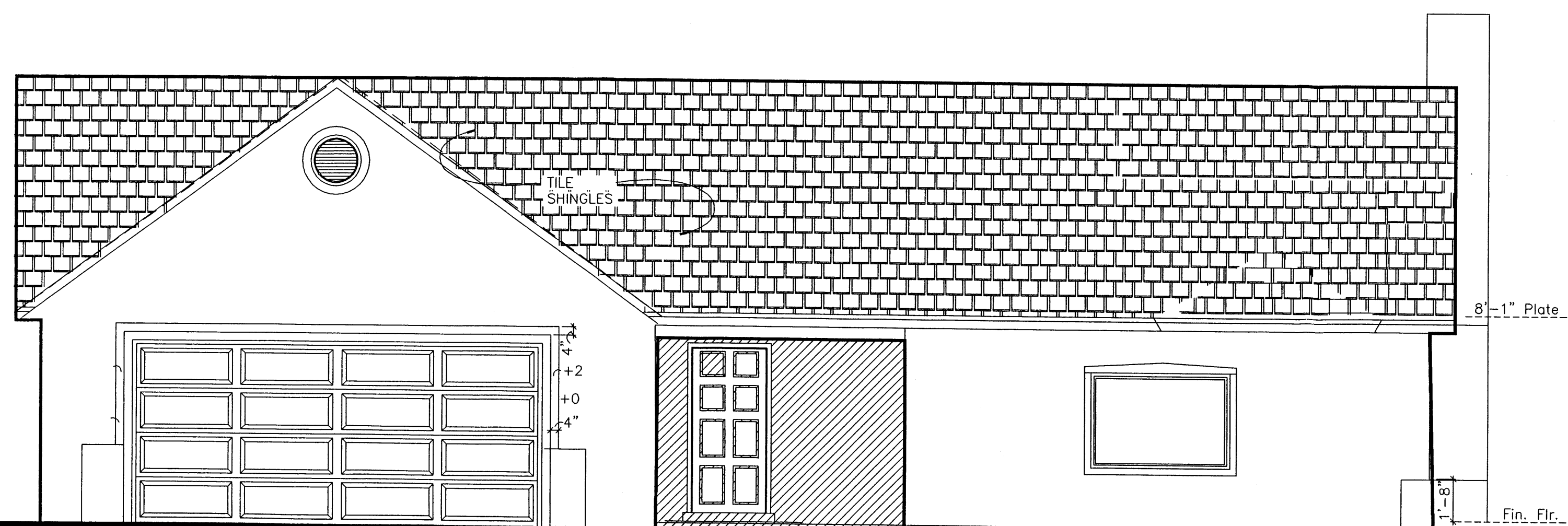
A2

8 OF 12

Lot-16 DESIGN LAYOUT

OPTIONS

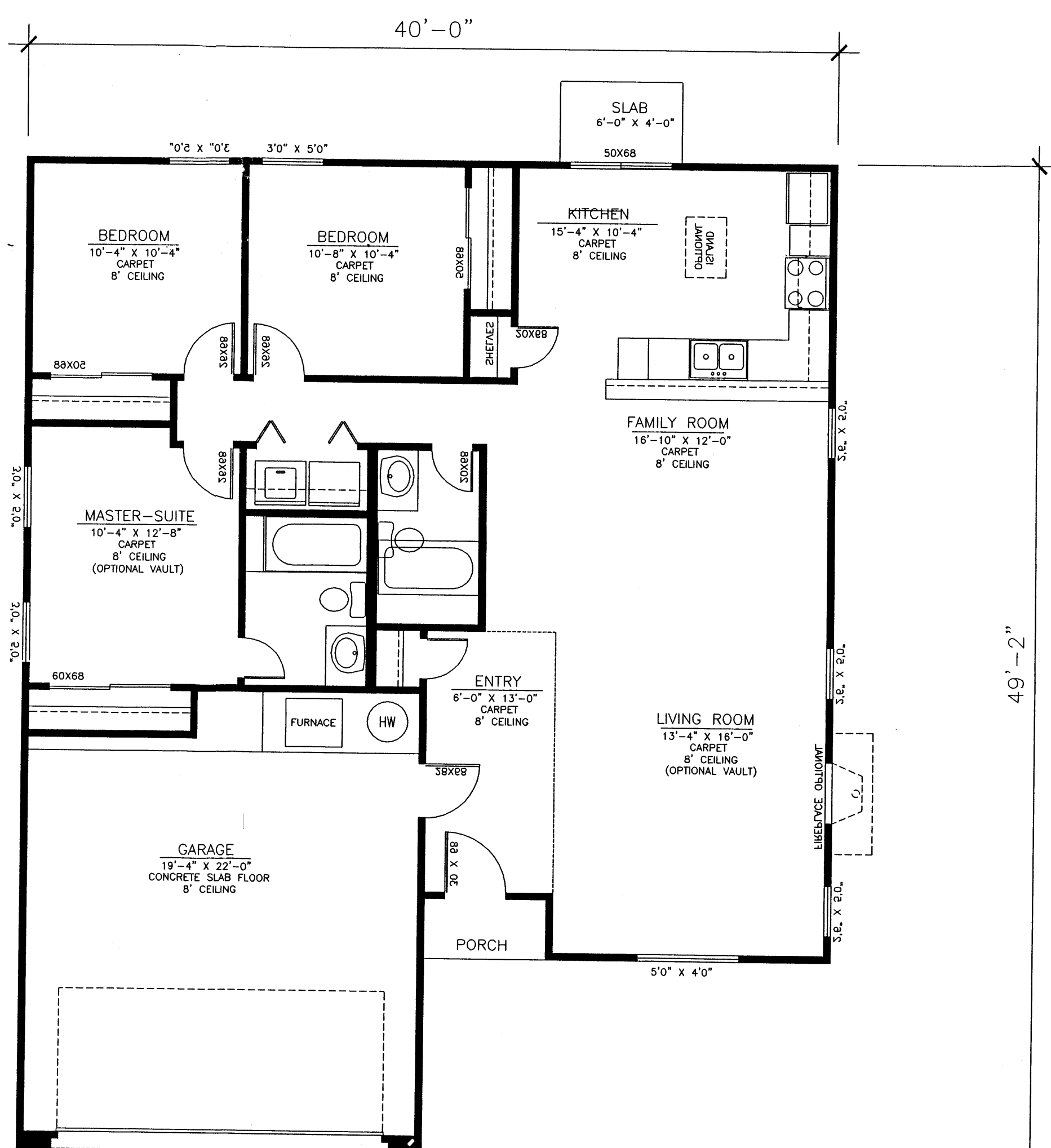
DATE: 3-22-04
 DRAWN: JG
 DESIGN: JG



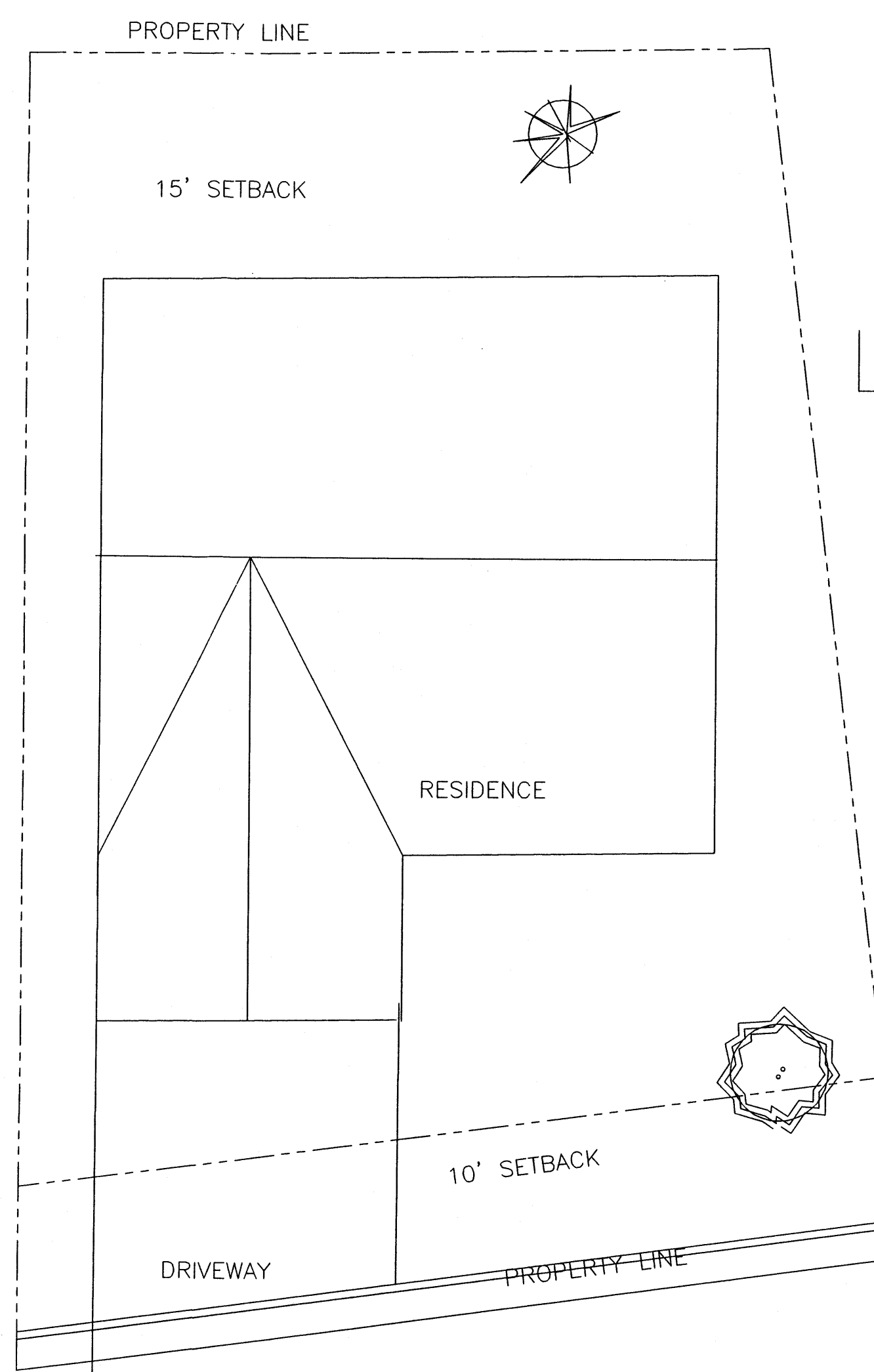
SIDE

SIDE

EXTERIOR ELEVATIONS



FIRST FLOOR



LOT
50

SITE PLAN

HEATED SQUARE FOOTAGE
FIRST FLOOR 1,357

EMBELLISHMENTS THAT INCLUDE

- CORBELS AT PORCH COLUMNS..
- EXPOSED LINTELS OVER WINDOWS
- ARC CAMBER OVER GARAGE
- WALL THICKNESS AT GARAGE
- WOOD VS. ALUMN WINDOWS
- SPANISH TILE ROOF

COVERED WAGON
RESIDENTIAL SUBDIVISION
FOUR HILLS & CENTRAL AVE.
ALBUQUERQUE, NEW MEXICO

PLOT DATES

SHEET TITLE

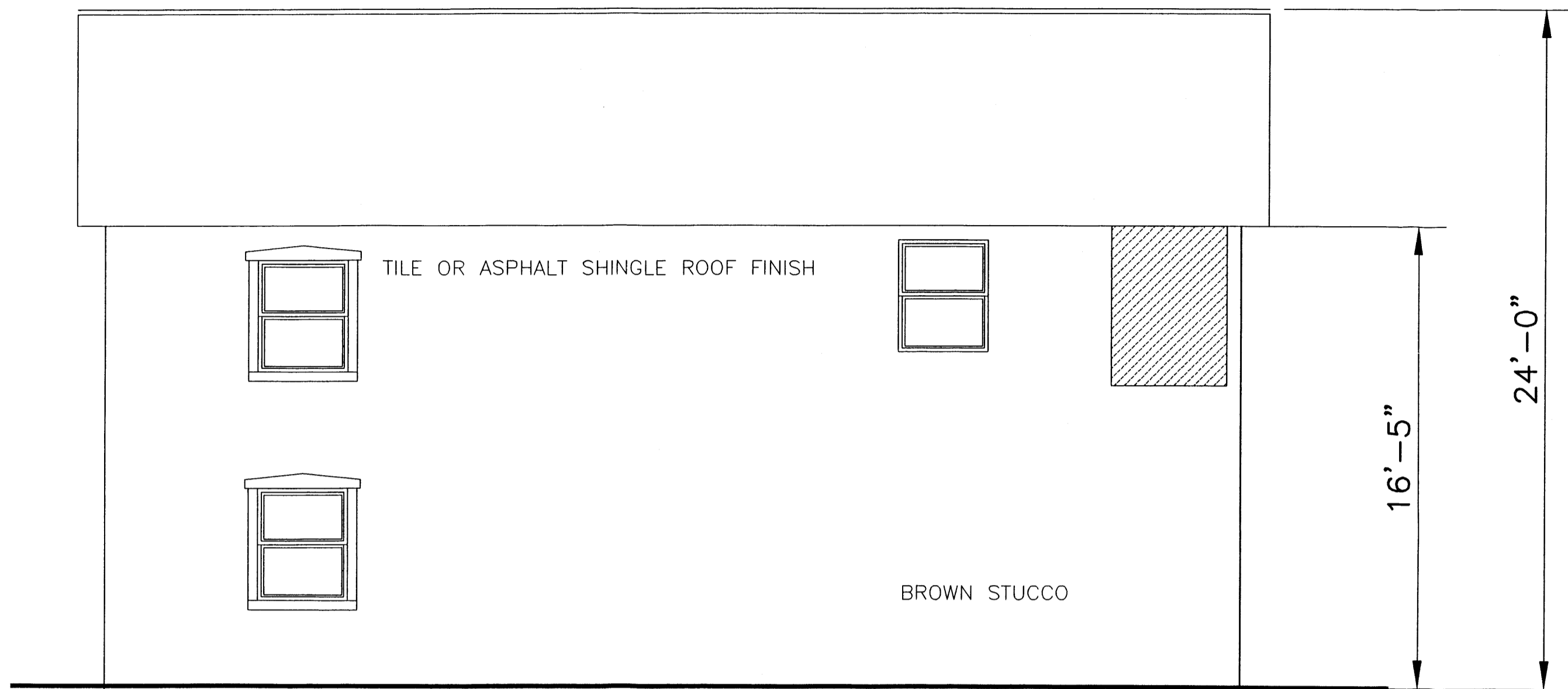
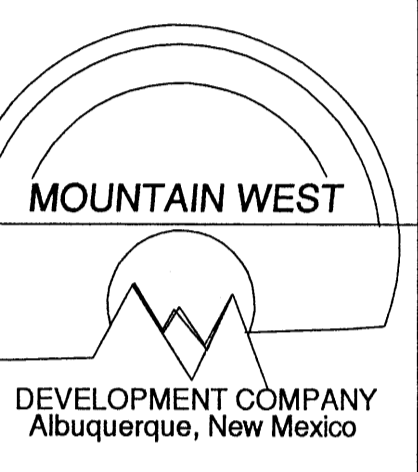
Lot-10

SCALE

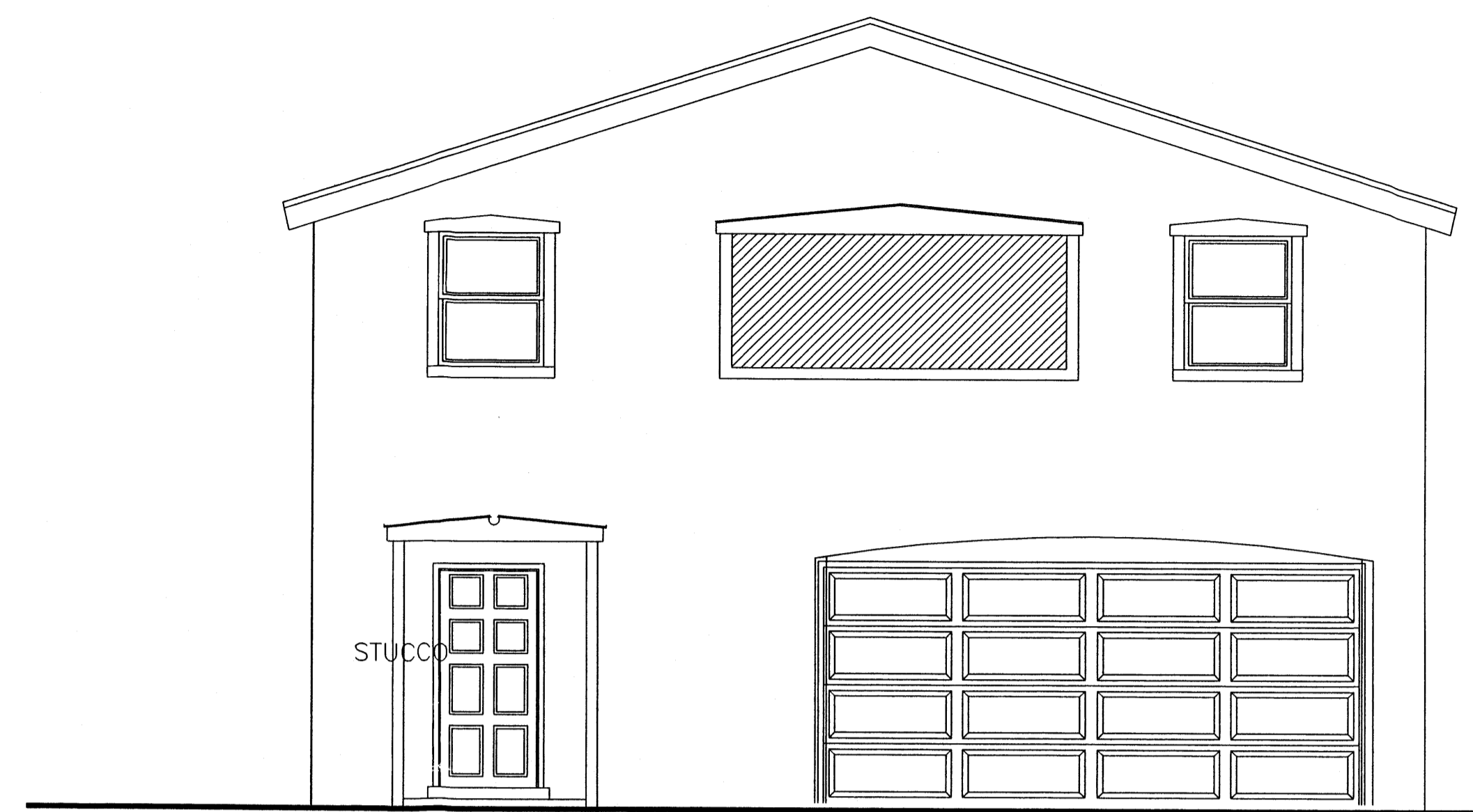
NTS

A3

9 OF 12



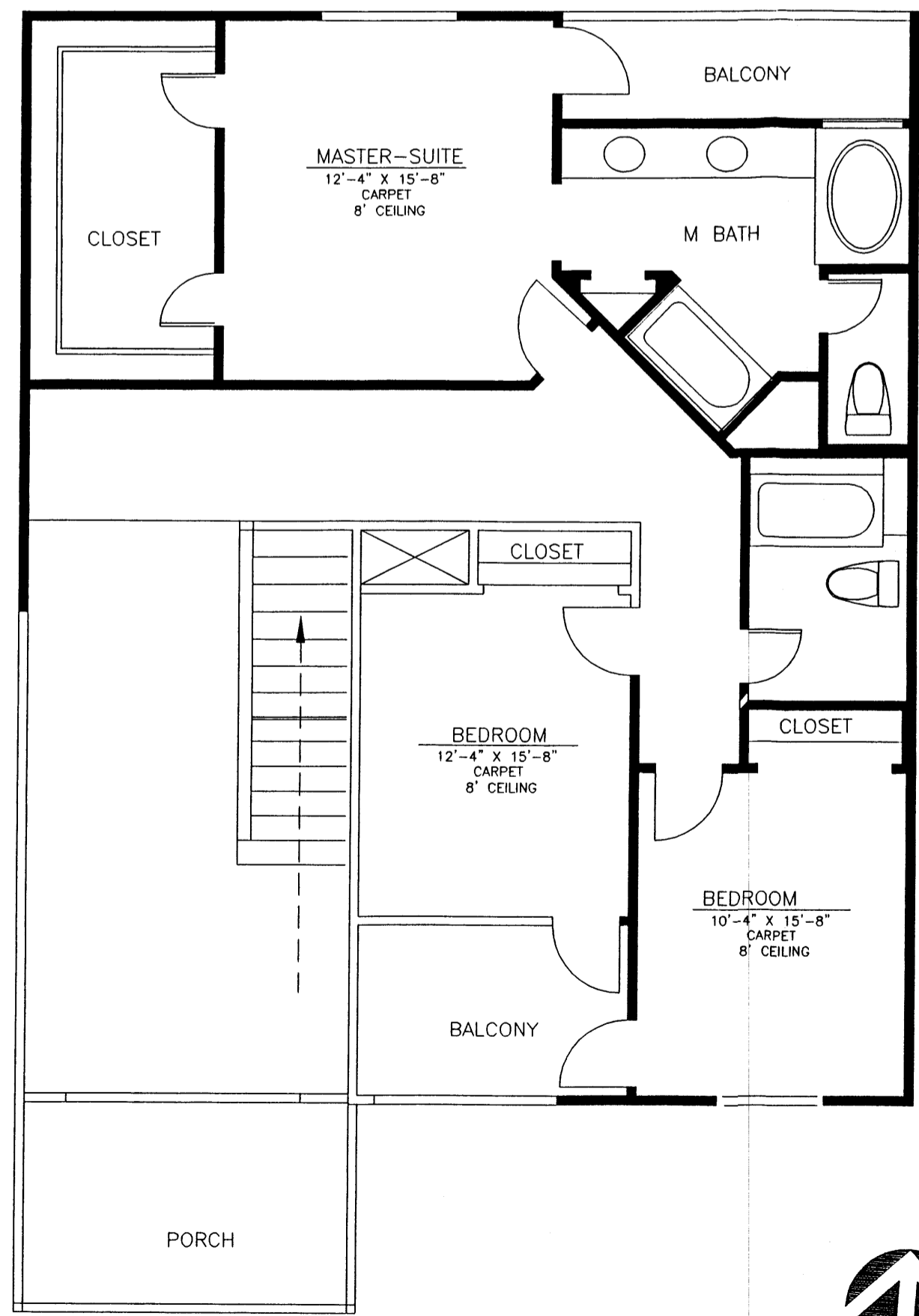
SIDE



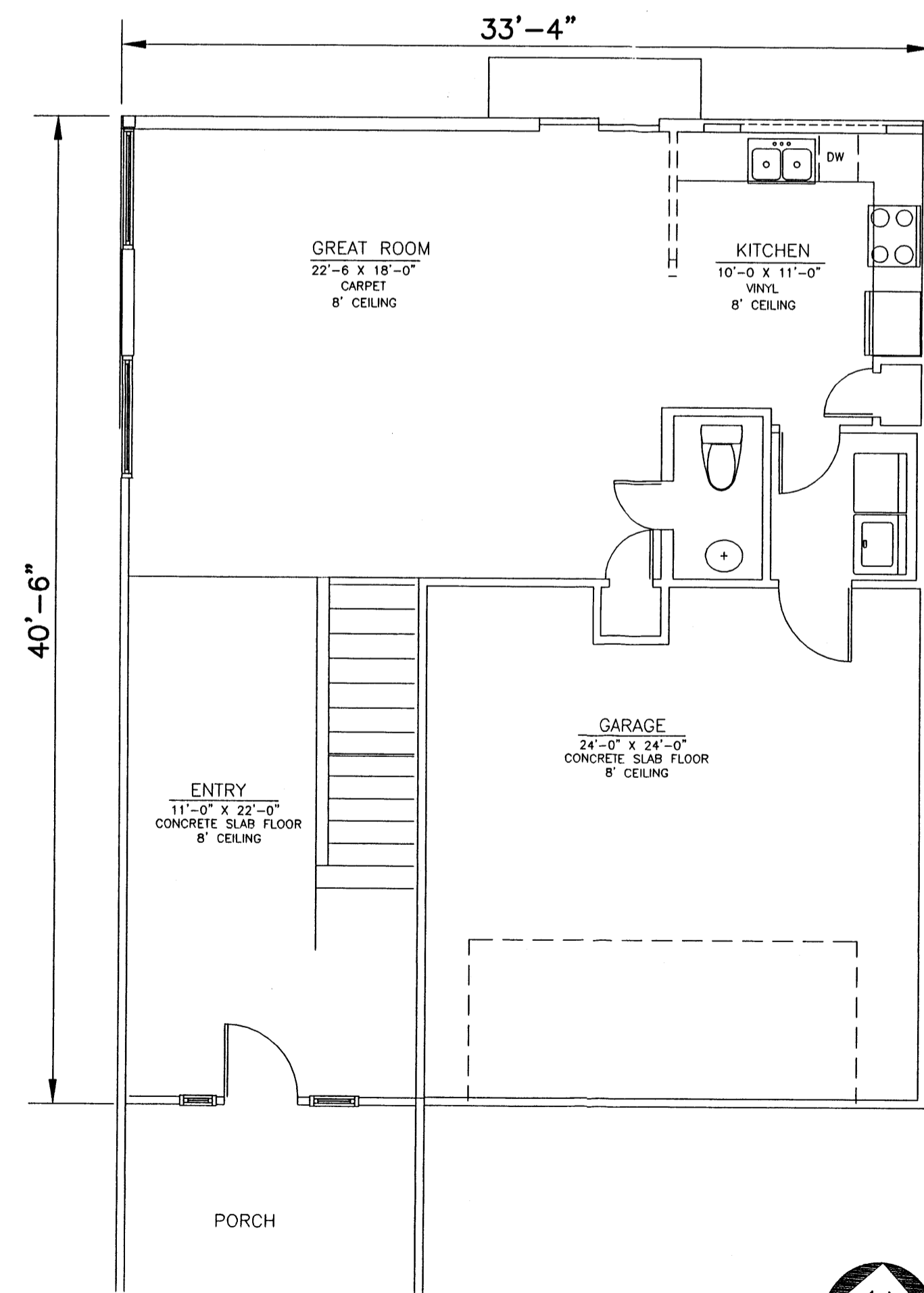
SIDE

SCALE 1/4"=1'0"

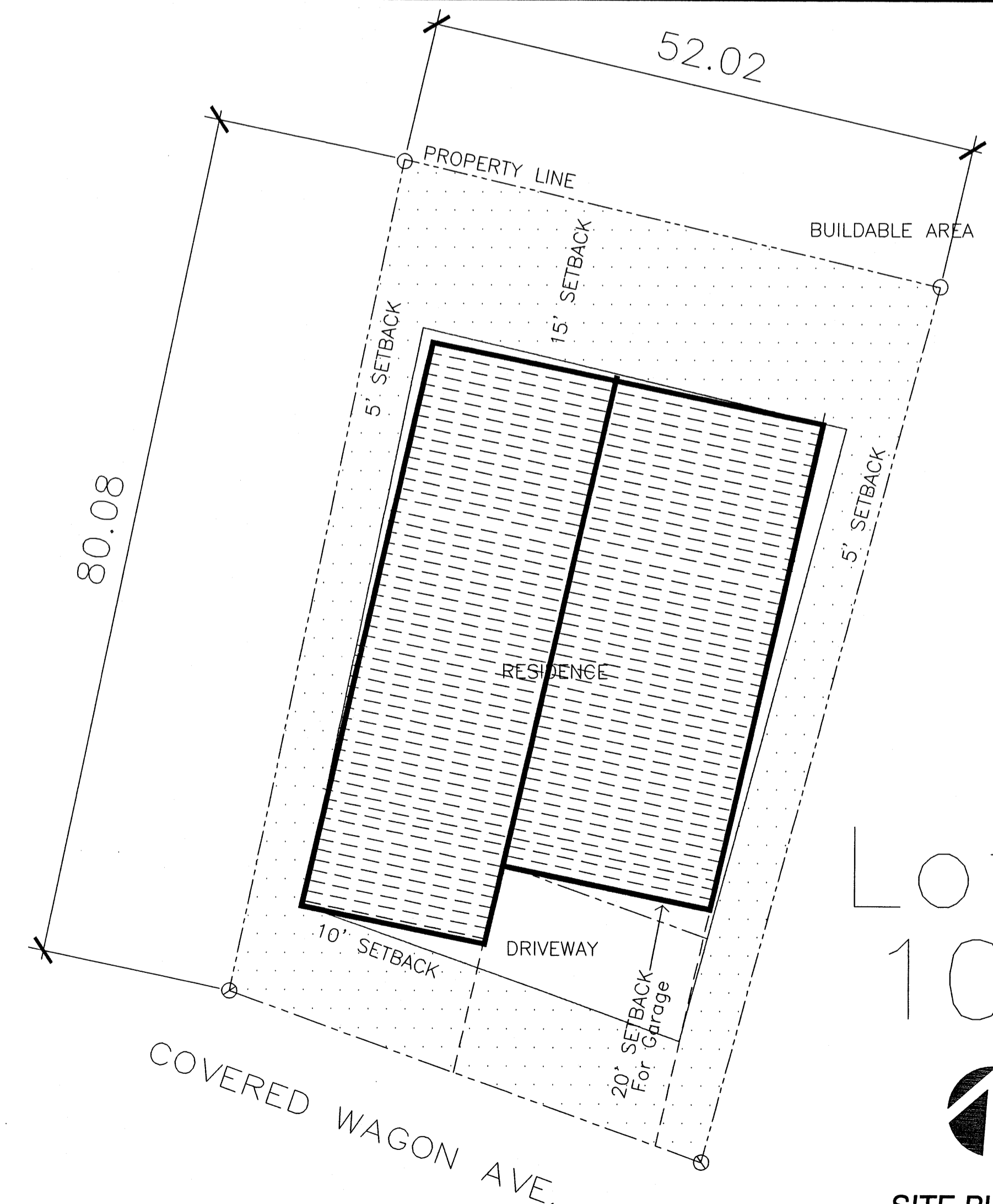
EXTERIOR ELEVATIONS



SECOND FLOOR



FIRST FLOOR
 FIRST FLOOR



Lot
10



SITE PLAN

Lot -10 DESIGN LAYOUT

HEATED SQUARE FOOTAGE	
FIRST FLOOR	887SF
SECOND FLOOR	1194SF
2081SF	

EMBELLISHMENTS THAT INCLUDE

- CORBELS AT PORCH COLUMNS..
- EXPOSED LINTELS OVER WINDOWS
- ARC CAMBER OVER GARAGE
- WALL THICKNESS AT GARAGE
- WOOD VS. ALUMN WINDOWS
- SPANISH TILE ROOF

OPTIONS

COVERED WAGON
 RESIDENTIAL SUBDIVISION
 FOUR HILLS & CENTRAL AVE.
 ALBUQUERQUE, NEW MEXICO

PLOT DATES

SHEET TITLE

Lot-10

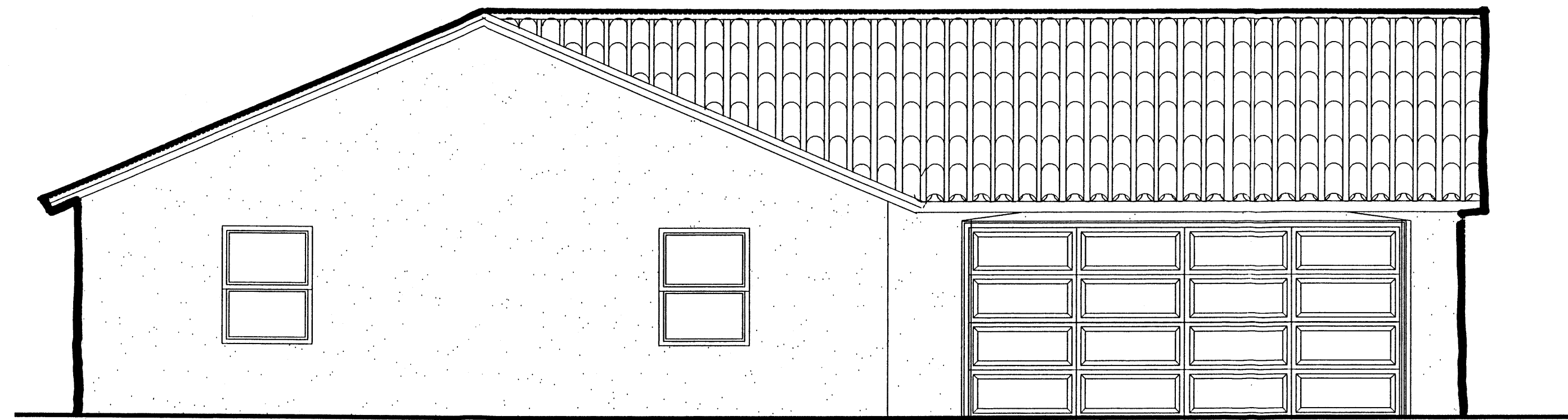
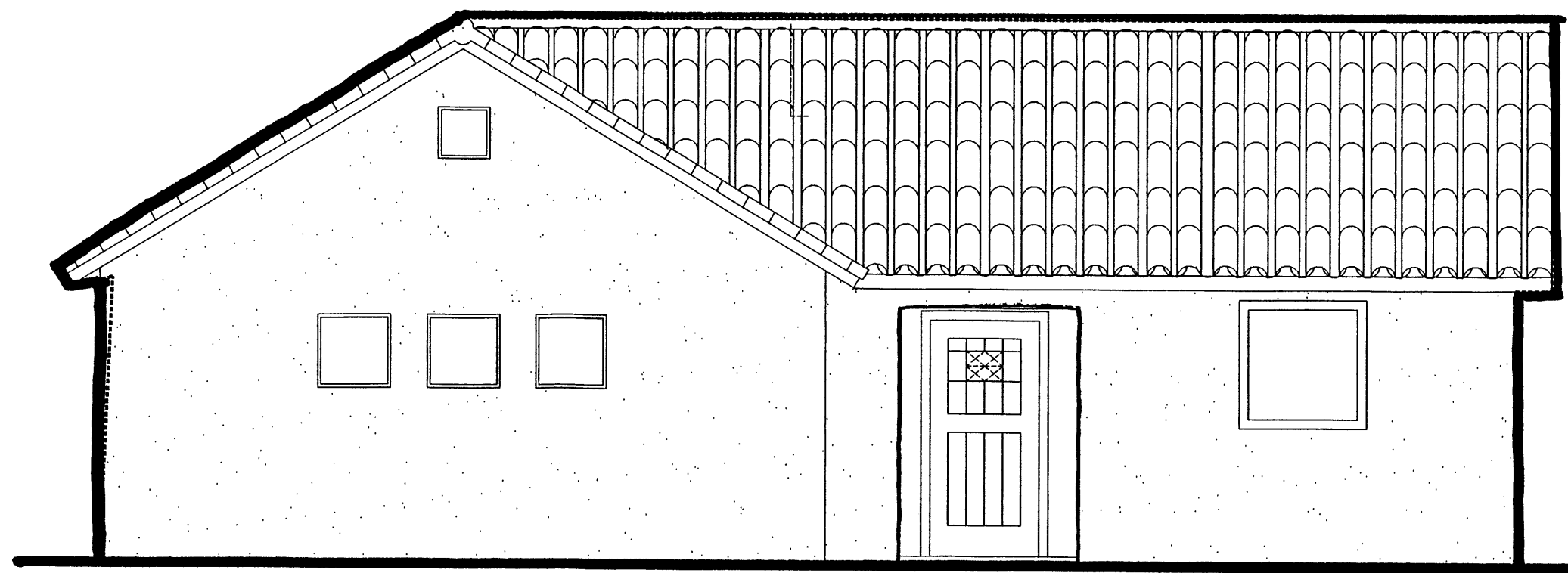
SCALE
 NTS

A4

10 OF 12

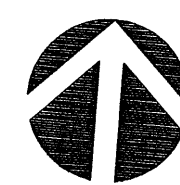
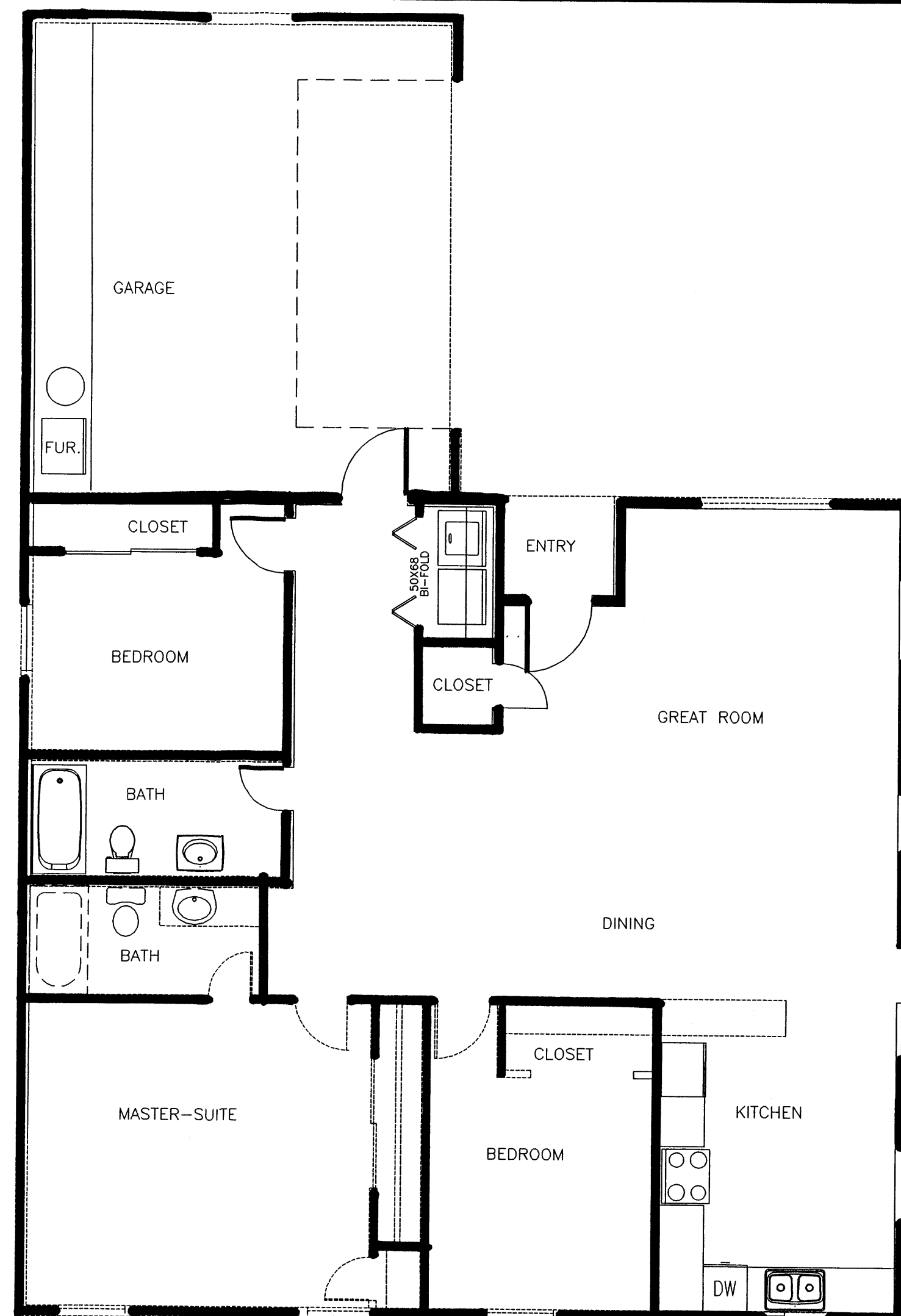
DATE: 3-22-04
 DRAWN: JG
 DESIGN: JG

DWG. NAME: D:\PROJECTS\RESIDENTIAL\COVERED WAGON\LOT-10\10-10-01.DWG, DATE: 01-22-04, TIME: 11:13



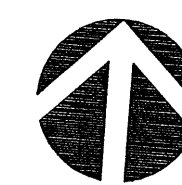
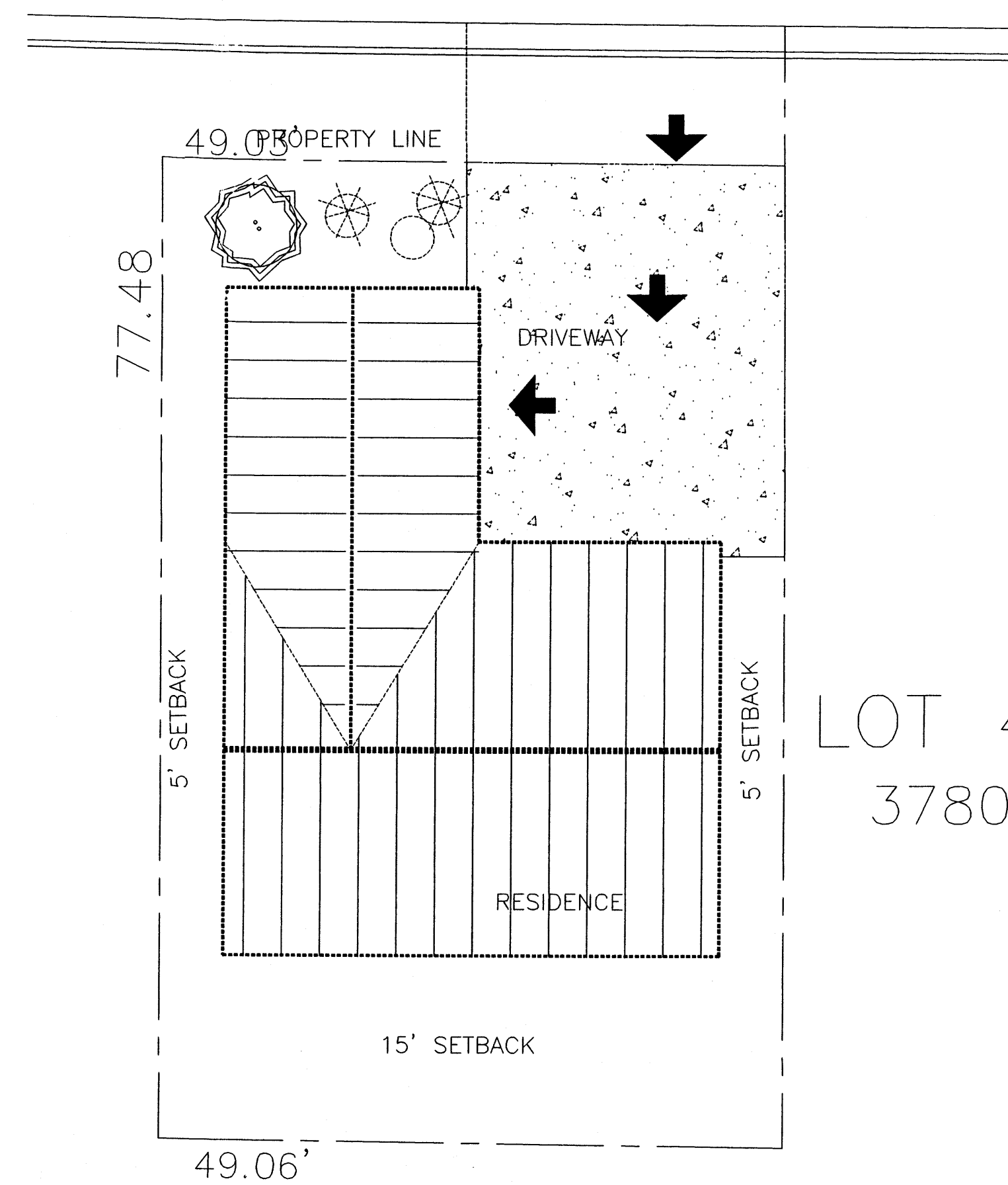
NORTH

EAST ELEVATION



FLOOR PLAN

NTS



SITE PLAN

Lot -45 DESIGN LAYOUT

**COVERED WAGON
RESIDENTIAL SUBDIVISION**
FOUR HILLS & CENTRAL AVE.
ALBUQUERQUE, NEW MEXICO

PLOT DATES

SHEET TITLE

Lot-45

SCALE

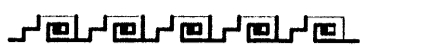
NTS

A4

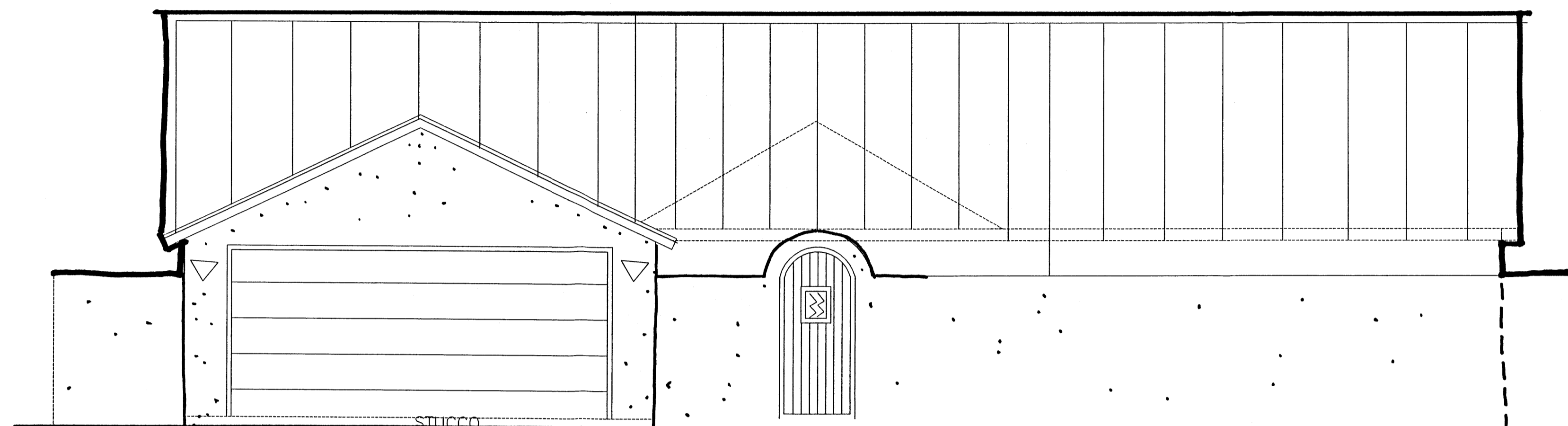
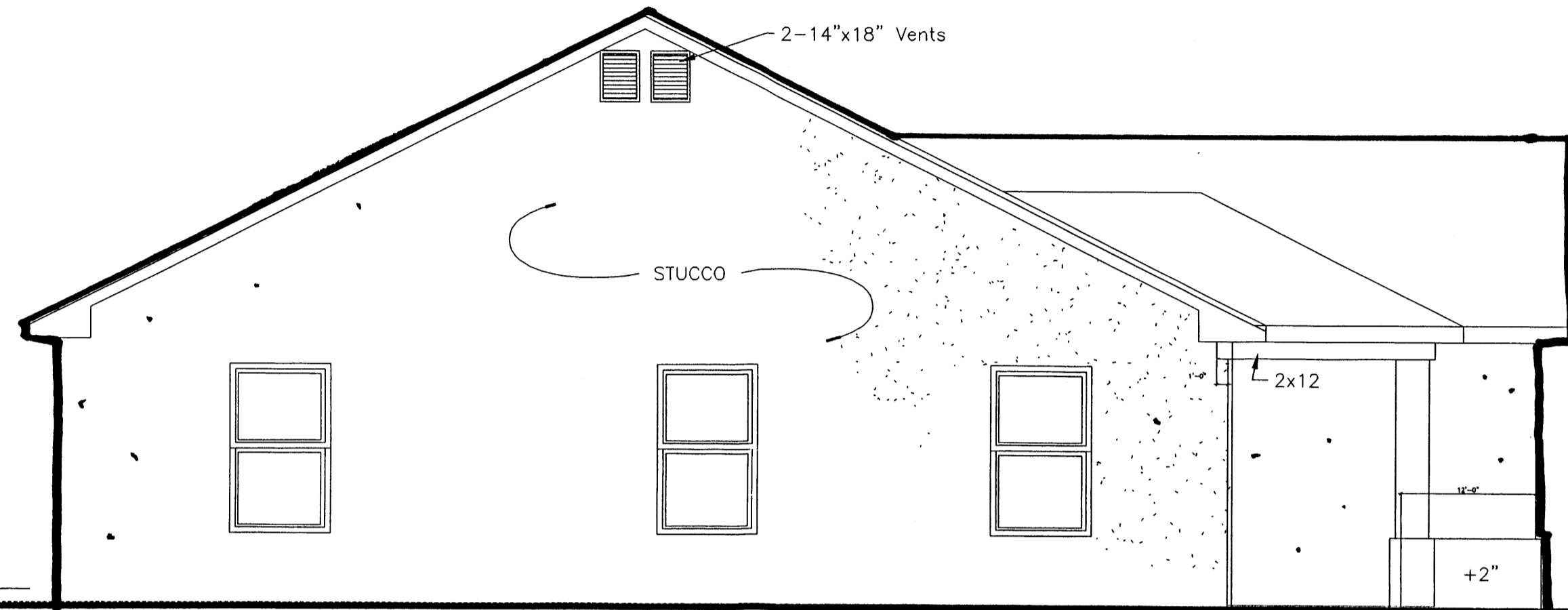
11 OF 12

DATE: 6-18-04 DRAWN: JG

DATE: 01-22-04 TIME: 22:03

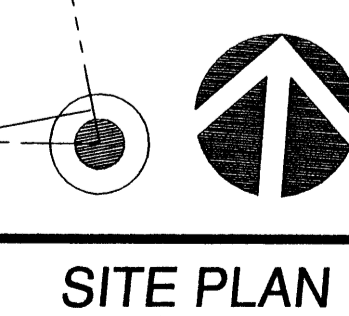
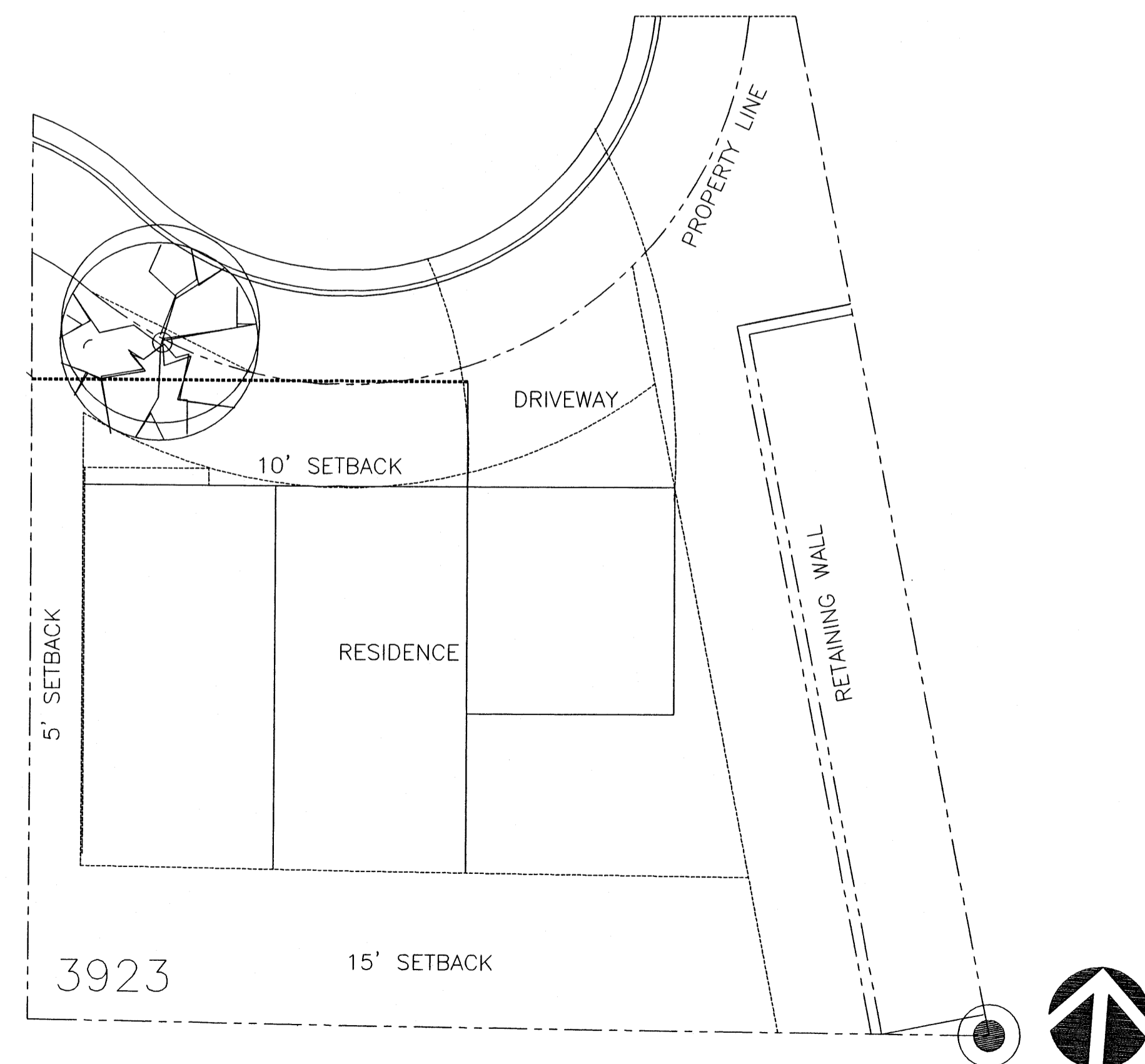
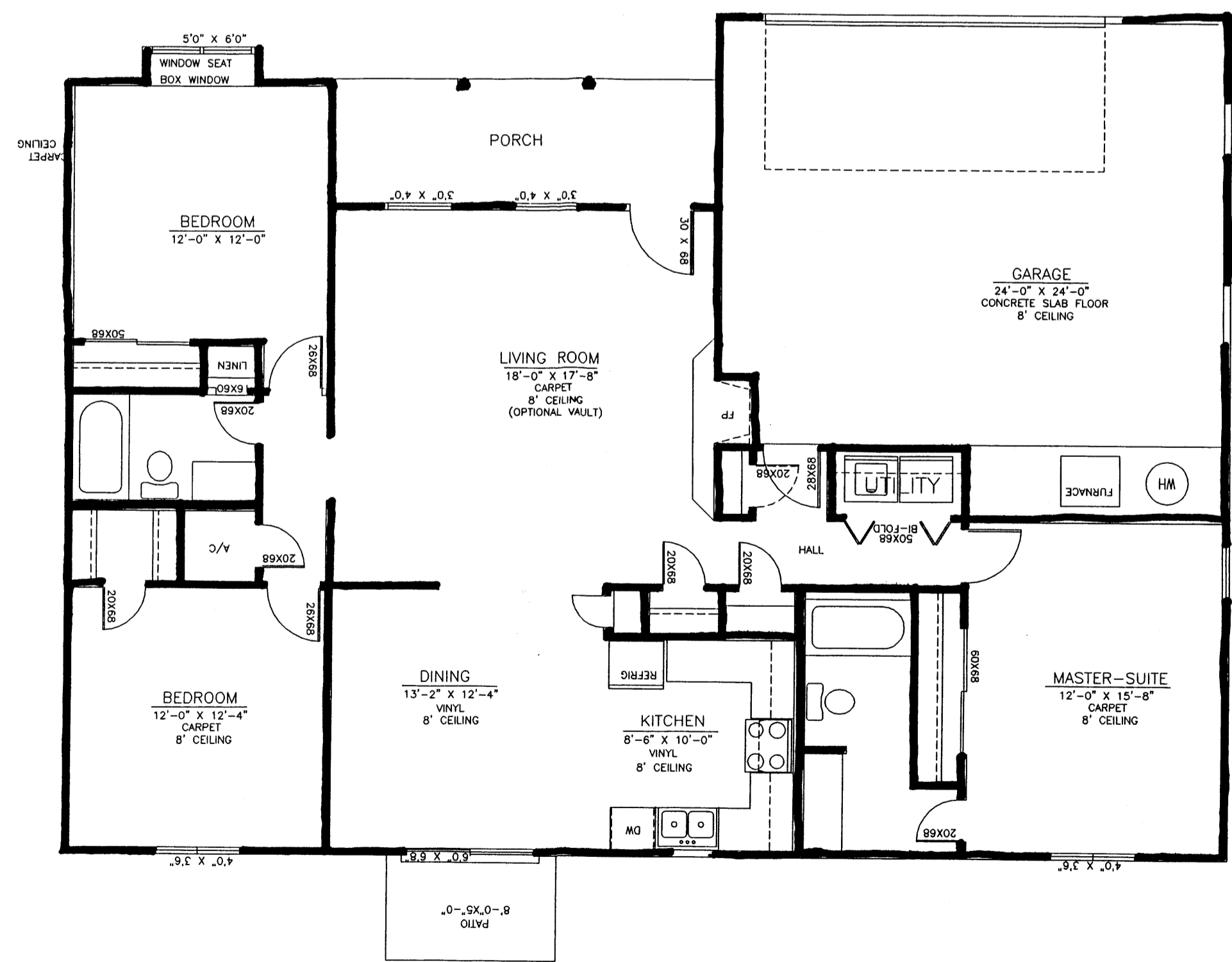


SPANISH TILE &/OR ASPHALT SHINGLES



YARD WALL

STREET ELEVATION



EMBELLISHMENTS THAT INCLUDE
CORBELS AT PORCH COLUMNS..
EXPOSED LINTELS OVER WINDOWS.
ARC CAMBER OVER GARAGE
WALL THICKNESS AT GARAGE

**COVERED WAGON
RESIDENTIAL SUBDIVISION**
FOUR HILLS & CENTRAL AVE.
ALBUQUERQUE, NEW MEXICO

PLOT DATES

SHEET TITLE
Lot-35

SCALE
NTS

A5

12 OF 12

DATE: 3-22-04 DRAWN: DESIGN: JG

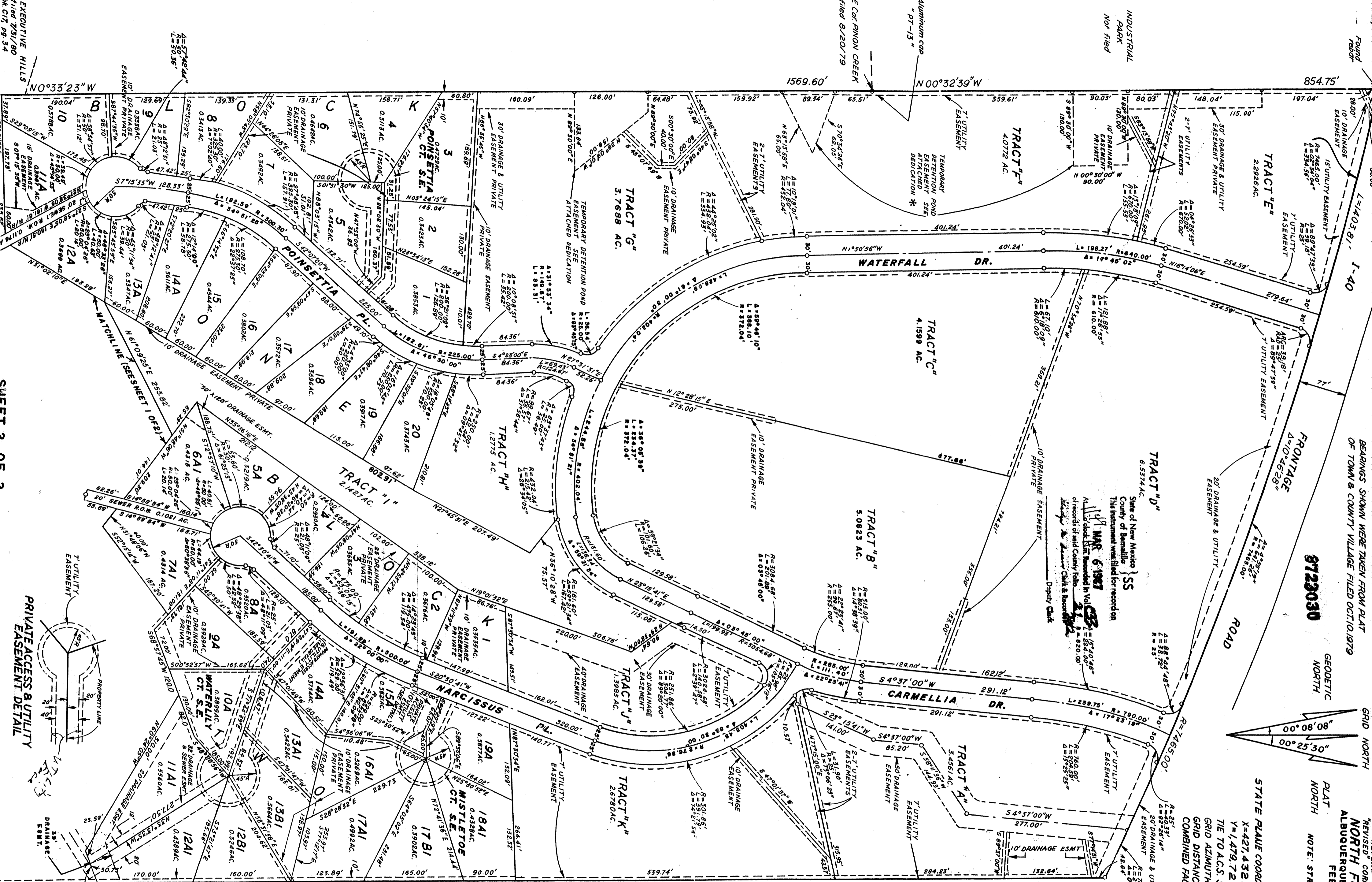
NTS

Lot -35 DESIGN LAYOUT

DATE: 03-22-04 TIME: 2:00 PM

C33-21(2)

C33-21(2)



BEARINGS SHOWN WERE TAKEN FROM PLAT OF TOWN & COUNTY VILLAGE FILED OCT 10, 1979

9723030

GEODETIC NORTH

PLAT NORTH

NOTE: STREET NAMES WERE CHANGED.

REPLAT & CORRECTION PLAT OF NORTH FOUR HILLS SUBD ALBUQUERQUE, BERNALILLO CO., NM FEBRUARY, 1986

STATE PLANE COORDINATES OF NW COR. SUB

X=427,432.70 CENTRAL ZONE

Y=1,479,729.94

THE TO A.C.S. STA. "TOM" - NW CORNER

GRID AZIMUTH=326°5'45"

GRID DISTANCE=972.19'

COMBINED FACTOR=0.99964602

SURVEYOR'S CERTIFICATION

I, Dennis D. Lynn, a Registered Land Surveyor, licensed under the Laws of the State of New Mexico, do hereby certify that the plat shown hereon was prepared by me or under my supervision, shows all easements of record, and that the plat and survey meet the minimum requirements of the standards for the land surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Land Surveyors, and the Albuquerque Subdivision Ordinance, and is true and correct to the best of my knowledge and belief.

Date: 4/14/86

Dennis D. Lynn, H.L.S. #7430

State of New Mexico)

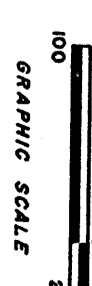
County of Valencia) SS

The foregoing instrument was acknowledged before me on this 4TH day of MAR, 1986, by Dennis D. Lynn.

My comm expires 02/24/88

Richard J. [Signature]

Notary Public



UNPLATTED LAND

SCALE 1"=100'

STATE PLANE COORDINATES OF NW COR. SUB

X=427,432.70 CENTRAL ZONE

Y=1,479,729.94

THE TO A.C.S. STA. "TOM" - NW CORNER

GRID AZIMUTH=326°5'45"

GRID DISTANCE=972.19'

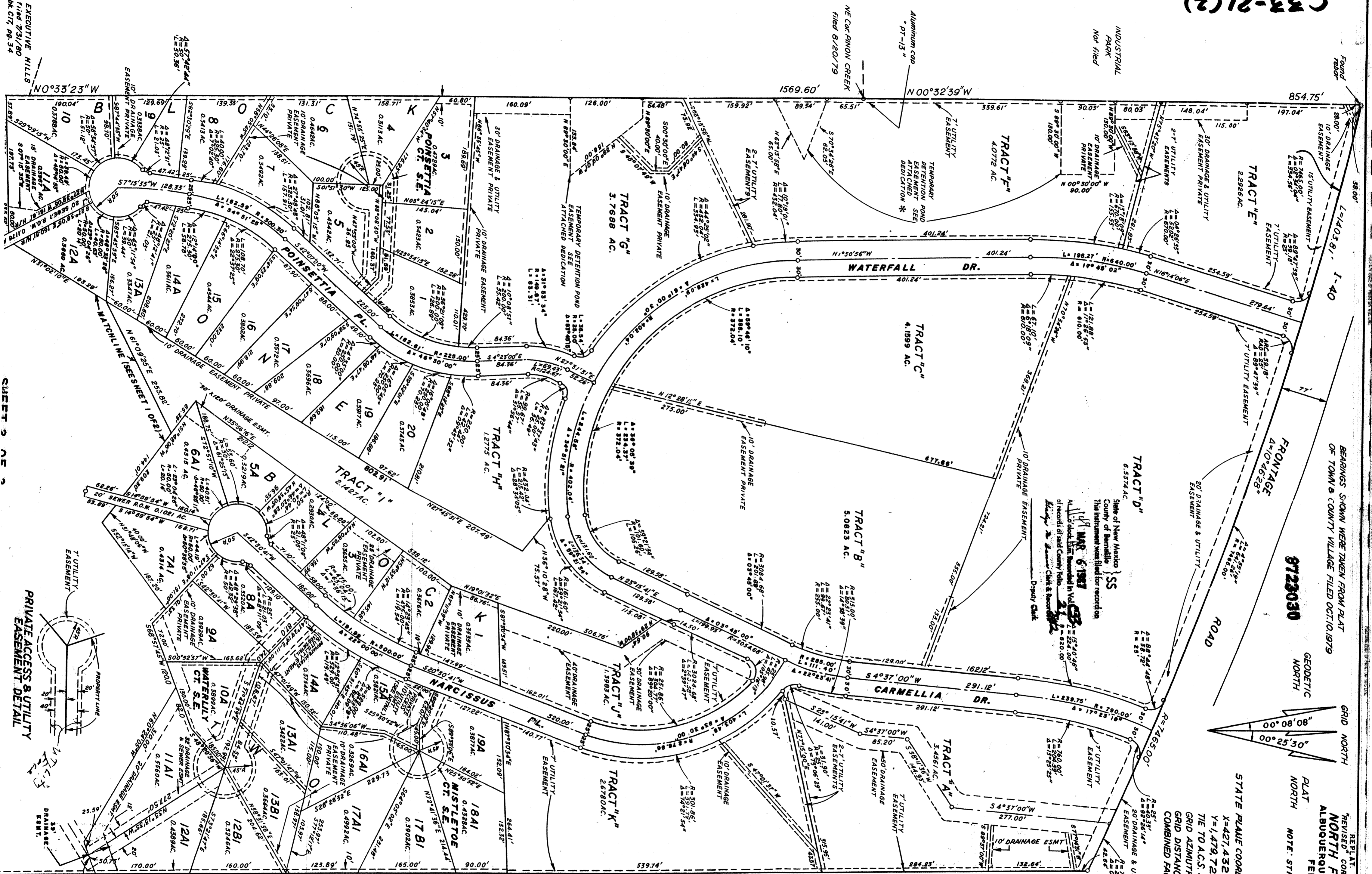
COMBINED FACTOR=0.99964602

C33-21(2)

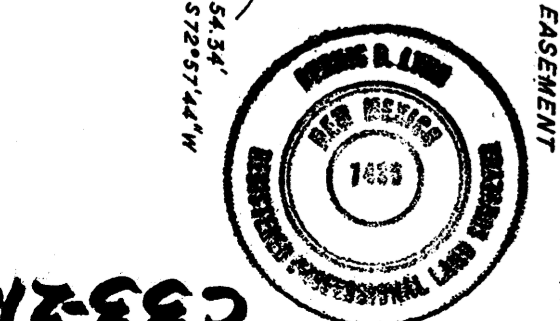
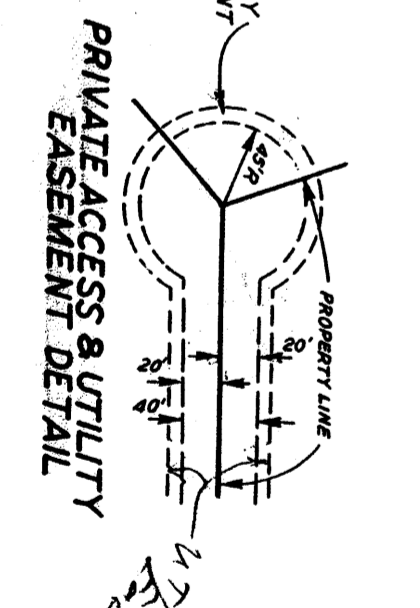
C33-21(2)

C33-21(2)

C33-21(2)



SHEET 2 OF 2



SURVEYOR'S CERTIFICATION

I, Dennis D. Lynn, a Registered Land Surveyor, licensed under the Laws of the State of New Mexico, do hereby certify that the plat shown hereon was prepared by me or under my supervision, shows all easements of record, and that the plat and survey meet the minimum requirements of the standards for the land surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Land Surveyors, and the Albuquerque subdivision Ordinance, and is true and correct to the best of my knowledge and belief.

Date: 11/15/86
 Dennis D. Lynn, SLS #17430

State of New Mexico))
 County of Valencia) SS
 The foregoing instrument was acknowledged before me on this 4TH day of MAR, 1986, by Dennis D. Lynn.
 My comm expires 02/24/88
 Richard J. Nassie
 Notary Public

REPLAT & CORRECTION PLAT OF
 NORTH FOUR HILLS SUBDIVISION
 ALBUQUERQUE, BERNALILLO CO., N.M.
 FEBRUARY, 1986

NOTE: STREET NAMES WERE CHANGED.

STATE PLANE COORDINATES OF N.M. COR. SUB
 X=427,432.70 CENTRAL ZONE
 Y=1,479,729.94
 TIE TO A.C.S. STA. "TOM"-N.W. CORNER
 GRID AZIMUTH=326°51'45"
 GRID DISTANCE=972.19'
 COMBINED FACTOR=0.99964602

9722030

GEODETTIC NORTH

PLAT NORTH

GRID NORTH

BEARINGS SHOWN WERE TAKEN FROM PLAT
 OF TOWN & COUNTY VILLAGE FILED OCT. 10, 1979

REPLAT & CORRECTION PLAT OF
 NORTH FOUR HILLS SUBDIVISION
 ALBUQUERQUE, BERNALILLO CO., N.M.
 FEBRUARY, 1986

C33-21(2)

REPLAT & CORRECTION PLAT OF
"REVISED" CORRECTED & AMENDED PLAT OF
NORTH FOUR HILLS SUBDIVISION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 1986

08723030

PURPOSE

- The purpose of this plat is:
- To correct computational errors along the Frontage Road on Tracts A, D, and E, and to correct acreages to match dimensions on all lots.
 - To dedicate additional drainage easements on Tract J, Lot 8A through 19A of Block 2, and Lots 13A, and 14A of Block 1, and to change the corresponding lots numbers.
 - To eliminate the duplication of street names by changing the street names used on this plat.

LEGAL DESCRIPTION

A certain tract of land situate within Bernalillo County, New Mexico being further described as the "REVISED CORRECTED & AMENDED PLAT OF North Four Hills", within Section 26, Township 10 North, Range 4 East NMPM, Bernalillo County, New Mexico as the same is shown and designated on said plat, filed in the office of the County Clerk, Bernalillo County, New Mexico on June 15, 1984, and being more particularly described as follows:

Beginning at the Southwest corner of the tract herein described, from whence the Southwest corner of said Section 26 bears S 00 deg 30 min 00 sec E, 1141.00 feet;

thence S 89 deg 22 min 30 sec W, 1282.01 feet, and running from the point of beginning;

thence, N 00 deg 33 min 23 sec W, 1569.60 feet;

thence, N 00 deg 32 min 39 sec W, 854.75 feet to the Northwest corner, being a point on the Southerly Right of Way line of I-40 South Frontage Road;

thence, following said Southerly Right of Way line, following a curve to the right, whose radius is 7465.00 feet and whose long chord bears S 71 deg 22 min 03 sec E, 1401.73 feet, through an arc of 1403.8' feet to the Northeast corner;

thence, leaving said Southerly Right of Way line, S 01 deg 12 min 14 sec E 1951.34 feet the Southeast corner;

thence, N 79 deg 22 min 38 sec W, 524.48 feet;

thence, N 83 deg 45 min 00 sec W, 130.50 feet;

thence, S 66 deg 53 min 27 sec W, 411.95 feet;

thence, N 85 deg 30 min 00 sec W, 322.79 feet, to the point of beginning and containing 66.4487 acres by this survey.

NOTES:

- Zone Atlas L-23-Z
- Prior to development water and sanitary sewer service to these properties must be verified and coordinated with the City of Albuquerque Water Resources Department.

APPROVED AND ACCEPTED BY

<i>Frank J. Jagers</i>	Date	2/20/86
A.M.A.F.C.A.	Date	4-1-86
<i>Janet Davies</i>	Date	4-1-86
Parks and Recreation Department	Date	4-1-86
<i>Robert A. Lough</i>	Date	4-1-86
Traffic Engineer	Date	4-1-86
<i>Frank J. Jagers</i>	Date	2/20/86
City Engineer	Date	2/20/86
Property Management	Date	
<i>Rhonda J. Smith</i>	Date	4-1-86
Water Resources Department	Date	4-1-86
<i>Jack Cloud</i>	Date	2-26-87
Planning Department	Date	2-26-87
<i>Neil Hult</i>	Date	04/01/86
City Surveyor	Date	04/01/86

State of New Mexico
 County of Bernalillo
 This instrument was filed by
 All: 49 MAR 6 1986
 of records of said County
 Book 2: 147

SP-87-65

OWNER'S CERTIFICATE

The subdivision shown hereon, the dedication of right-of-way, and the grants of easement hereby is with the free consent and in accordance with the desires of the undersigned owner's and/or proprietors thereof.

The undersigned owner's and/or proprietors do hereby freely consent to all the foregoing and do hereby represent that we are authorized to so act.

M. Jafari Morteza Jafari, owner
Cyrus Varan Cyrus Varan, owner

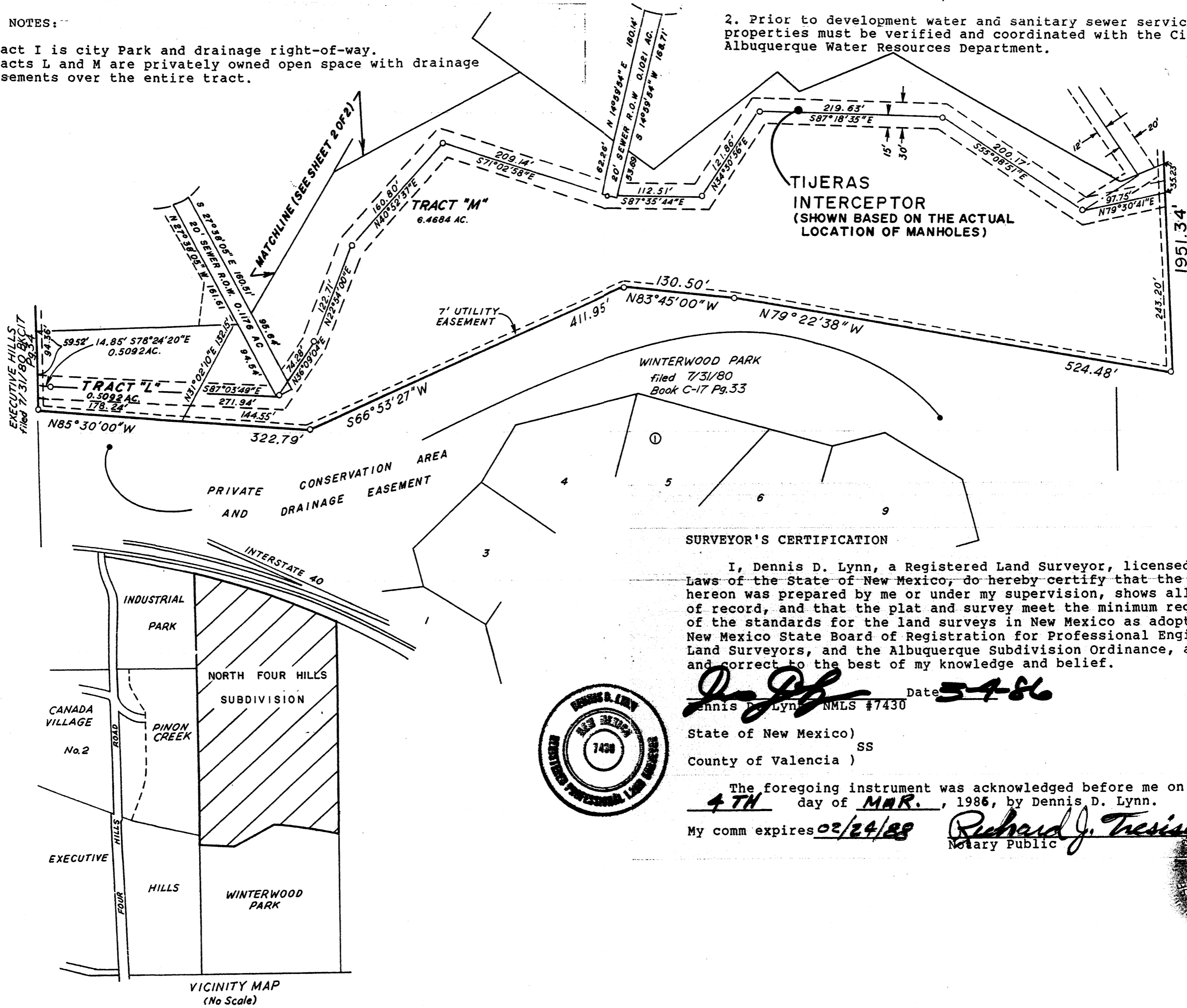
State of New Mexico)
 County of Bernalillo)

The foregoing instrument was acknowledged before me this 6th day of March, 1986 by Morteza Jafari and Cyrus Varan.

My comm. expires 4-1-89
Richard J. Truesia
 Notary Public

DEDICATION NOTES:

- Tract I is city Park and drainage right-of-way.
- Tracts L and M are privately owned open space with drainage easements over the entire tract.



SURVEYOR'S CERTIFICATION

I, Dennis D. Lynn, a Registered Land Surveyor, licensed under the Laws of the State of New Mexico, do hereby certify that the plat shown hereon was prepared by me or under my supervision, shows all easements of record, and that the plat and survey meet the minimum requirements of the standards for the land surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Land Surveyors, and the Albuquerque Subdivision Ordinance, and is true and correct to the best of my knowledge and belief.

Dennis D. Lynn Date 3-7-86
 Dennis D. Lynn NMLS #7430

State of New Mexico)
 County of Valencia)

The foregoing instrument was acknowledged before me on this 4TH day of MAR., 1986, by Dennis D. Lynn.

My comm expires 02/24/88
Richard J. Truesia
 Notary Public



VICINITY MAP
 (No Scale)

C33-21(1)

C33-21(1)

C33-21(1)

C33-21(1)

MONUMENT LEGEND

- △ - CENTERLINE MONUMENT
- ⊕ - FOUND CONTROL STATION AS NOTED
- ⊞ - FOUND MONUMENT AS NOTED
- ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSCO LS8686" UNLESS OTHERWISE NOTED

**PLAT OF
COVERED WAGON SUBDIVISION
SECTION 26, T. 10 N., R. 4 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2004
SHEET 2 OF 2**

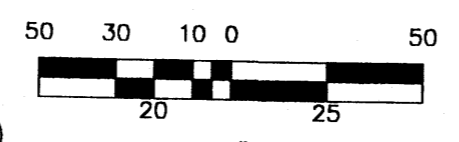
LOT	SQUARE FEET/ACRES
LOT 1	4,186.26 SQ.FT./0.0961 ACS.
LOT 2	3,977.53 SQ.FT./0.0913 ACS.
LOT 3	3,989.42 SQ.FT./0.0916 ACS.
LOT 4	3,992.08 SQ.FT./0.0916 ACS.
LOT 5	3,984.72 SQ.FT./0.0915 ACS.
LOT 6	3,946.74 SQ.FT./0.0906 ACS.
LOT 7	3,989.08 SQ.FT./0.0916 ACS.
LOT 8	4,065.32 SQ.FT./0.0933 ACS.
LOT 9	3,667.46 SQ.FT./0.0842 ACS.
LOT 10	3,570.10 SQ.FT./0.0820 ACS.
LOT 11	3,676.13 SQ.FT./0.0844 ACS.
LOT 12	3,781.74 SQ.FT./0.0868 ACS.
LOT 13	3,803.01 SQ.FT./0.0873 ACS.
LOT 14	3,810.36 SQ.FT./0.0875 ACS.
LOT 15	3,803.81 SQ.FT./0.0873 ACS.
LOT 16	3,783.35 SQ.FT./0.0869 ACS.
LOT 17	3,686.50 SQ.FT./0.0846 ACS.
LOT 18	5,635.58 SQ.FT./0.1294 ACS.
LOT 19	3,822.00 SQ.FT./0.0877 ACS.
LOT 20	3,822.00 SQ.FT./0.0877 ACS.
LOT 21	3,822.00 SQ.FT./0.0877 ACS.
LOT 22	3,822.00 SQ.FT./0.0877 ACS.
LOT 23	3,822.00 SQ.FT./0.0877 ACS.
LOT 24	5,643.59 SQ.FT./0.1296 ACS.
LOT 25	3,839.95 SQ.FT./0.0882 ACS.

LOT	SQUARE FEET/ACRES
LOT 26	3,869.15 SQ.FT./0.0888 ACS.
LOT 27	3,813.56 SQ.FT./0.0875 ACS.
LOT 28	3,510.00 SQ.FT./0.0806 ACS.
LOT 29	3,510.00 SQ.FT./0.0806 ACS.
LOT 30	3,510.00 SQ.FT./0.0806 ACS.
LOT 31	3,510.00 SQ.FT./0.0806 ACS.
LOT 32	3,510.00 SQ.FT./0.0806 ACS.
LOT 33	3,510.00 SQ.FT./0.0806 ACS.
LOT 34	3,339.56 SQ.FT./0.0767 ACS.
LOT 35	5,615.01 SQ.FT./0.1289 ACS.
LOT 36	4,919.03 SQ.FT./0.1129 ACS.
LOT 37	3,820.38 SQ.FT./0.0877 ACS.
LOT 38	3,822.00 SQ.FT./0.0877 ACS.
LOT 39	3,822.00 SQ.FT./0.0877 ACS.
LOT 40	3,822.00 SQ.FT./0.0877 ACS.
LOT 41	3,822.00 SQ.FT./0.0877 ACS.
LOT 42	3,822.00 SQ.FT./0.0877 ACS.
LOT 43	4,088.52 SQ.FT./0.0939 ACS.
LOT 44	4,163.73 SQ.FT./0.0956 ACS.
LOT 45	3,822.00 SQ.FT./0.0877 ACS.
LOT 46	3,822.00 SQ.FT./0.0877 ACS.
LOT 47	3,822.00 SQ.FT./0.0877 ACS.
LOT 48	3,822.00 SQ.FT./0.0877 ACS.
LOT 49	3,821.18 SQ.FT./0.0877 ACS.
LOT 50	3,644.83 SQ.FT./0.0837 ACS.
LOT 51	4,676.31 SQ.FT./0.1074 ACS.
LOT 52	3,373.42 SQ.FT./0.0774 ACS.
LOT 53	8,404.34 SQ.FT./0.1929 ACS.

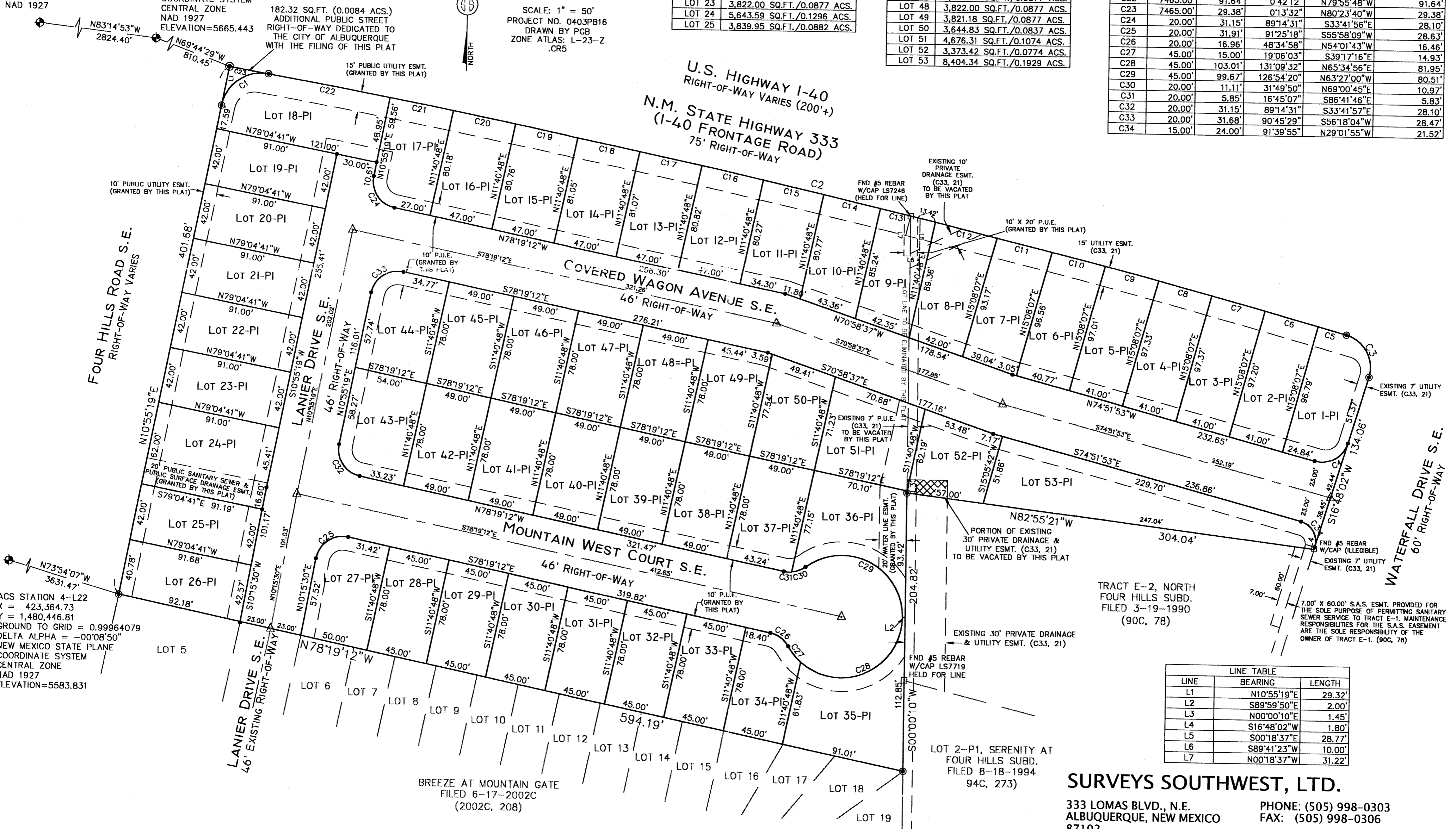
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.00'	46.49'	88°47'47"	N55°19'13"W	41.98'
C2	7465.00'	850.67'	6°31'45"	S77°14'33"E	850.21'
C3	25.00'	39.61'	90°46'43"	S28°35'19"E	35.59'
C4	20.00'	30.83'	88°20'05"	N60°58'05"E	27.87'
C5	7465.00'	21.72'	0°10'00"	N74°03'41"W	21.72'
C6	7465.00'	41.00'	0°18'53"	N74°18'08"W	41.00'
C7	7465.00'	41.00'	0°18'53"	N74°37'00"W	41.00'
C8	7465.00'	41.00'	0°18'53"	N74°55'53"W	41.00'
C9	7465.00'	41.00'	0°18'53"	N75°14'46"W	41.00'
C10	7465.00'	40.77'	0°18'47"	N75°33'36"W	40.77'
C11	7465.00'	42.01'	0°19'21"	N75°52'40"W	42.01'
C12	7465.00'	47.30'	0°21'47"	N76°13'13"W	47.30'
C13	7465.00'	42.02'	0°19'21"	N76°33'47"W	42.02'
C14	7465.00'	43.01'	0°19'49"	N76°53'22"W	43.01'
C15	7465.00'	46.01'	0°21'11"	N77°13'52"W	46.01'
C16	7465.00'	47.00'	0°21'39"	N77°35'17"W	47.00'
C17	7465.00'	47.00'	0°21'39"	N77°56'56"W	47.00'
C18	7465.00'	47.00'	0°21'39"	N78°18'34"W	47.00'
C19	7465.00'	47.00'	0°21'39"	N78°40'13"W	47.00'
C20	7465.00'	47.00'	0°21'39"	N79°01'52"W	47.00'
C21	7465.00'	47.79'	0°22'01"	N79°23'42"W	47.79'
C22	7465.00'	91.64'	0°42'12"	N79°55'48"W	91.64'
C23	7465.00'	29.38'	0°13'32"	N80°23'40"W	29.38'
C24	20.00'	31.15'	89°14'31"	S33°41'56"E	28.10'
C25	20.00'	31.91'	91°25'18"	S55°58'09"E	28.63'
C26	20.00'	16.96'	48°34'58"	N54°01'43"W	16.46'
C27	45.00'	15.00'	19°06'03"	S39°17'16"E	14.93'
C28	45.00'	103.01'	131°09'32"	N65°34'56"E	81.95'
C29	45.00'	99.67'	126°54'20"	N63°27'00"W	80.51'
C30	20.00'	11.11'	31°49'50"	N69°00'45"E	10.97'
C31	20.00'	5.85'	16°45'07"	S86°41'46"E	5.83'
C32	20.00'	31.15'	89°14'31"	S33°41'57"E	28.10'
C33	20.00'	31.68'	90°45'29"	S56°18'04"W	28.47'
C34	15.00'	24.00'	91°39'55"	N29°01'55"W	21.52'

ACS STATION 4-L22
X = 423,364.73
Y = 1,480,446.81
GROUND TO GRID = 0.99964079
DELTA ALPHA = -00°08'50"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

ACS STATION 8-L22
X = 426,169.07
Y = 1,480,114.80
GROUND TO GRID = 0.99963535
DELTA ALPHA = -00°08'30"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927
ELEVATION=5665.443

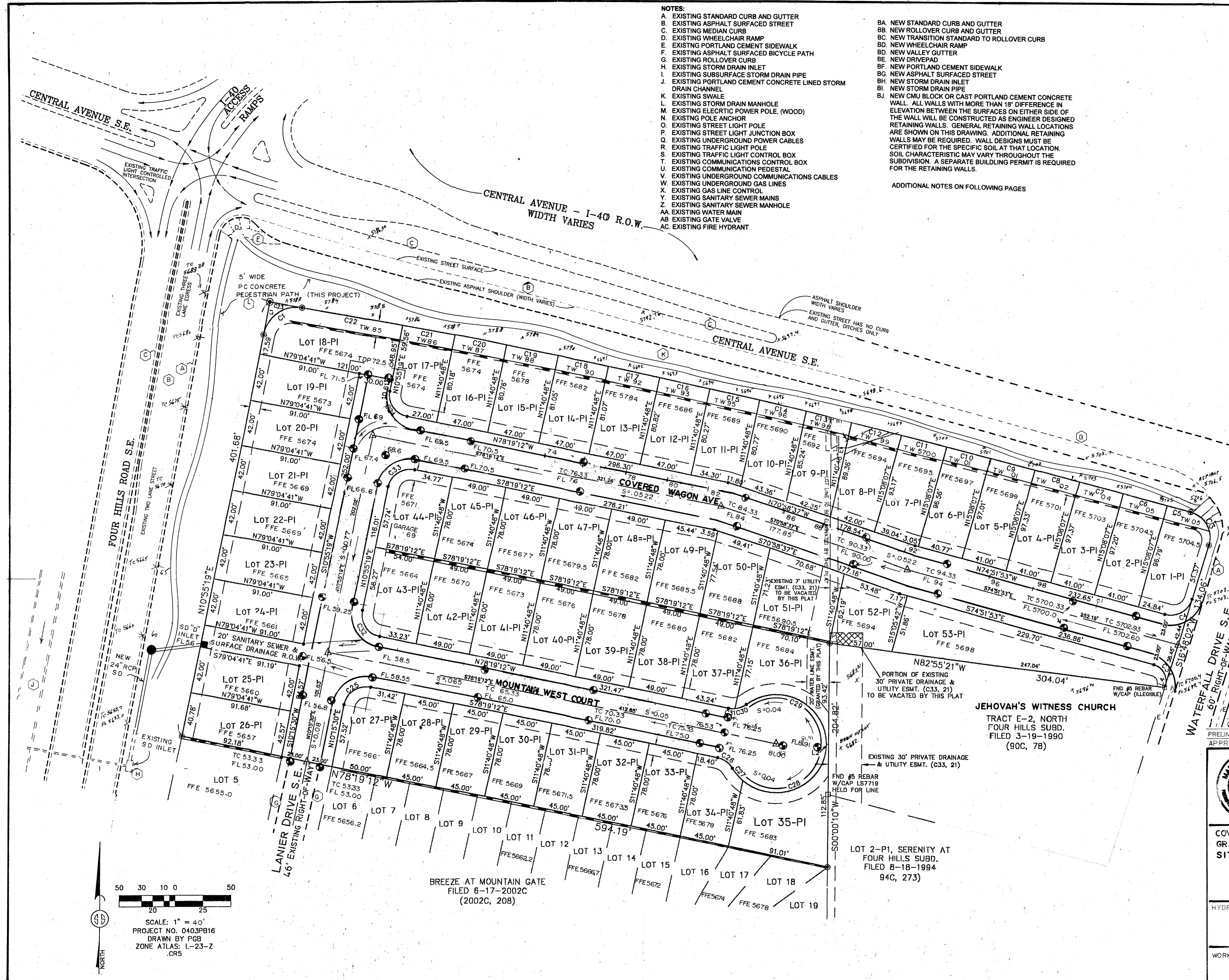


SCALE: 1" = 50'
PROJECT NO. 0403PB16
DRAWN BY PGB
ZONE ATLAS: L-23-Z
.CR5

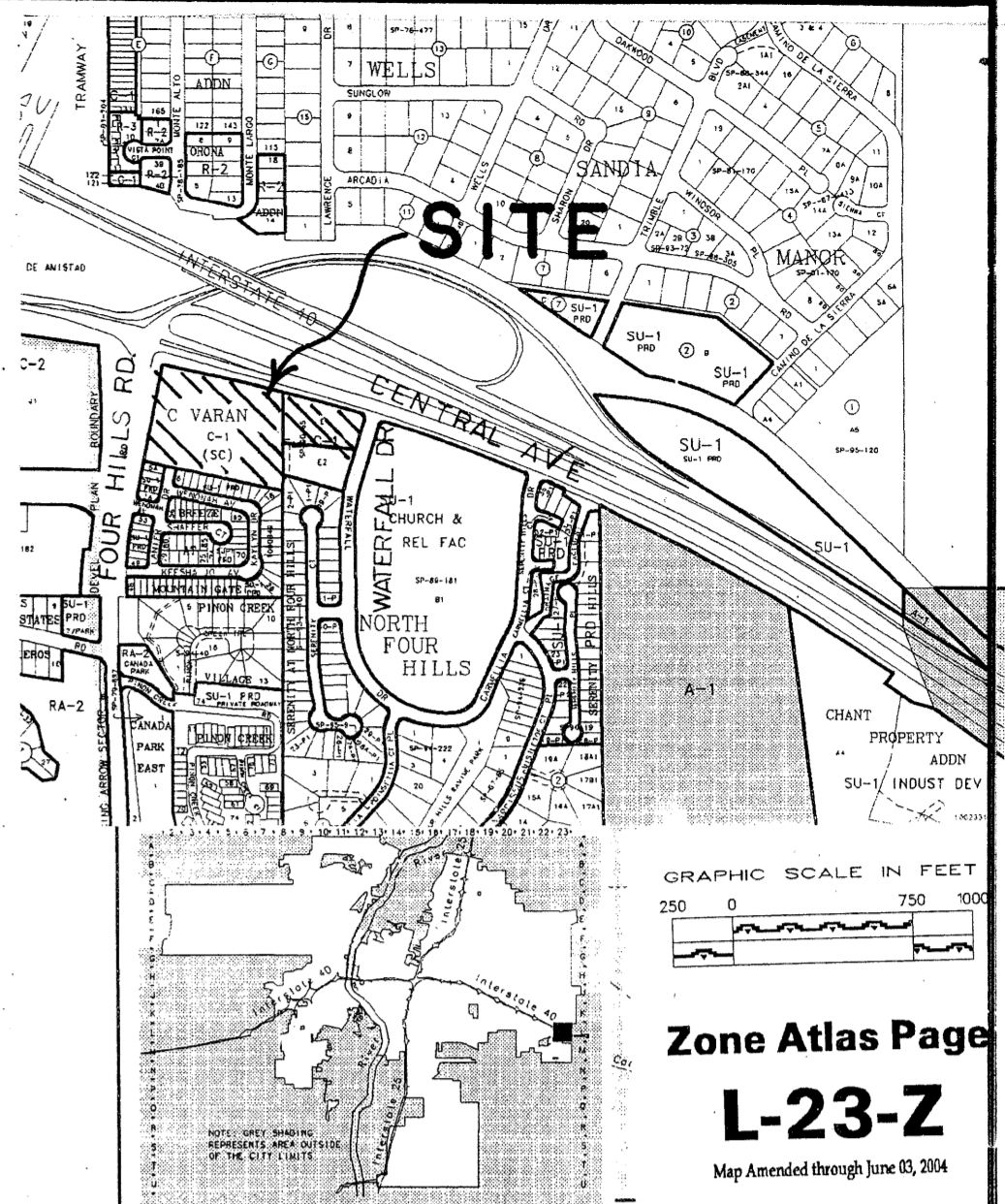


LINE	BEARING	LENGTH
L1	N10°55'19"E	29.32'
L2	S89°59'50"E	2.00'
L3	N00°00'10"E	1.45'
L4	S16°48'02"W	1.80'
L5	S00°18'37"E	28.77'
L6	S89°41'23"W	10.00'
L7	N00°18'37"W	31.22'

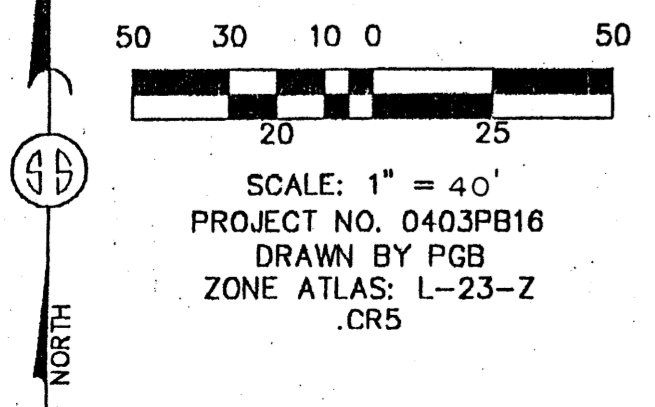
SURVEYS SOUTHWEST, LTD.
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- NOTES:**
- A. EXISTING STANDARD CURB AND GUTTER
 - B. EXISTING ASPHALT SURFACED STREET
 - C. EXISTING MEDIAN CURB
 - D. EXISTING WHEELCHAIR RAMP
 - E. EXISTING PORTLAND CEMENT SIDEWALK
 - F. EXISTING ASPHALT SURFACED BICYCLE PATH
 - G. EXISTING ROLLOVER CURB
 - H. EXISTING STORM DRAIN INLET
 - I. EXISTING SUBSURFACE STORM DRAIN PIPE
 - J. EXISTING PORTLAND CEMENT CONCRETE LINED STORM DRAIN CHANNEL
 - K. EXISTING SWALE
 - L. EXISTING STORM DRAIN MANHOLE
 - M. EXISTING ELECTRIC POWER POLE, (WOOD)
 - N. EXISTING POLE ANCHOR
 - O. EXISTING STREET LIGHT POLE
 - P. EXISTING STREET LIGHT JUNCTION BOX
 - Q. EXISTING UNDERGROUND POWER CABLES
 - R. EXISTING TRAFFIC LIGHT POLE
 - S. EXISTING TRAFFIC LIGHT CONTROL BOX
 - T. EXISTING COMMUNICATIONS CONTROL BOX
 - U. EXISTING COMMUNICATION PEDESTAL
 - V. EXISTING UNDERGROUND COMMUNICATIONS CABLES
 - W. EXISTING UNDERGROUND GAS LINES
 - X. EXISTING GAS LINE CONTROL
 - Y. EXISTING SANITARY SEWER MAINS
 - Z. EXISTING SANITARY SEWER MANHOLE
 - AA. EXISTING WATER MAIN
 - AB. EXISTING GATE VALVE
 - AC. EXISTING FIRE HYDRANT
- BA. NEW STANDARD CURB AND GUTTER**
BB. NEW ROLLOVER CURB AND GUTTER
BC. NEW TRANSITION STANDARD TO ROLLOVER CURB
BD. NEW WHEELCHAIR RAMP
BE. NEW VALLEY GUTTER
BF. NEW DRIVEPAD
BG. NEW PORTLAND CEMENT SIDEWALK
BH. NEW ASPHALT SURFACED STREET
BI. NEW STORM DRAIN INLET
BJ. NEW CMU BLOCK OR CAST PORTLAND CEMENT CONCRETE WALL. ALL WALLS WITH MORE THAN 18" DIFFERENCE IN ELEVATION BETWEEN THE SURFACES ON EITHER SIDE OF THE WALL WILL BE CONSTRUCTED AS ENGINEER DESIGNED RETAINING WALLS. GENERAL RETAINING WALL LOCATIONS ARE SHOWN ON THIS DRAWING. ADDITIONAL RETAINING WALLS MAY BE REQUIRED. WALL DESIGNS MUST BE CERTIFIED FOR THE SPECIFIC SOIL AT THAT LOCATION. SOIL CHARACTERISTIC MAY VARY THROUGHOUT THE SUBDIVISION. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE RETAINING WALLS.
- ADDITIONAL NOTES ON FOLLOWING PAGES



BENCHMARK IS ACS MONUMENT 8-22. ELEVATION: 5665.44, (VERTICAL DATUM 1929). STATION IS LOCATED AT THE INTERSECTION OF CENTRAL AVENUE AND TRAMWAY BOULEVARD, ON THE WEST END OF THE EAST MEDIAN ON CENTRAL AVENUE. A TEMPORARY BENCHMARK IS A CROSS MARKED ON THE TRAFFIC ISLAND AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CENTRAL AVENUE AND FOUR HILLS ROAD ELEVATION: 5682.83



JEHOVAH'S WITNESS CHURCH
 TRACT E-2, NORTH FOUR HILLS SUBD.
 FILED 3-19-1990
 (90C, 78)

GRADING DETAILS ADDED	MRK	JUNE 30, 2004
PRELIMINARY	MRK	JUNE 17, 2004
APPROVALS/ REVISIONS		BY DATE



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**COVERED WAGON SUBDIVISION
 GRADING AND DRAINAGE PLAN
 SITE LAYOUT**

HYDROLOGY PROJECT NO.	MAP NO.	SHEET OF
	L-23	1 6
WORK ORDER PROJECT NO.		SHEET OF

COVERED WAGON GRADING AND DRAINAGE PLAN

PURPOSE:
THE PURPOSE OF THIS GRADING AND DRAINAGE PLAN IS TO OBTAIN APPROVAL FOR A SITE DEVELOPMENT FOR A NEW RESIDENTIAL SUBDIVISION OF 53 SINGLE FAMILY HOUSES.

- DISCUSSION:**
- A. THE NEW SUBDIVISION IS TO BE LOCATED ON THE EAST MESA, IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF FOUR HILLS ROAD, SE WITH CENTRAL AVENUE, EXTENDING ALONG THE CENTRAL AVENUE FRONTAGE TO THE INTERSECTION WITH WATERFALL DRIVE, SE. THE SITE IS ABOUT 6.5 ACRES, AND IS PLANNED TO HAVE 53 SEPARATE HOUSES.
 - B. THE AREA IS PRESENTLY VACANT AND UNIMPROVED. THE SITE HAS BEEN GRADED AS A PART OF THE EARTHWORK ON THE ADJACENT BREEZE AT MOUNTAIN GATE SUBDIVISION TO PROVIDE FOR RUNOFF AND EROSION CONTROL. OTHER IMPROVEMENTS AND CHANGES TO THE ORIGINAL SURFACE OCCURRED ALONG THE NORTH PROPERTY LINE WHERE UNDERGROUND UTILITIES HAVE BEEN PLACED, AND ALONG THE SOUTHEAST EDGES OF THE PROPERTY ADJACENT TO WHERE THE JEHOVAH'S WITNESS CHURCH PARKING LOT HAS BEEN CONSTRUCTED.
 - C. THE SITE IS PRESENTLY BARE OF VEGETATION EXCEPT FOR MINOR ANNUAL WEEDS AND GRASSES. PRIOR TO THE EARTHWORK DONE AS PART OF THE BREEZE AT MOUNTAIN GATE SUBDIVISION THE AREA HAD A SPARSE GROWTH OF SHRUBS, CACTUS AND GRASSES.

- SOILS:**
- A. SOILS ON THE SUBDIVISION SITE ARE IDENTIFIED BY REFERENCE C AS TESAJO-MILELET STONY SANDY LOAMS (T₈). THIS MAPPING UNIT IS ABOUT 40 PERCENT A TESAJO STONY SANDY LOAM THAT HAS 5 TO 20 PERCENT SLOPES AND 40 PERCENT A MILLET STONY SANDY LOAM THAT HAS 3 TO 15 PERCENT SLOPES. THE MILLET SOIL IS ON RIDGES OF ALLUVIAL FANS. THE TESAJO SOIL IS IN SWALES ADJACENT AND PARALLEL TO THE INTERMITTENT STREAMS AND IS SUBJECT TO FLOODING. RUNOFF IS MEDIUM, AND THE HAZARD OF WATER EROSION IS MODERATE. INCLUDED IN THIS UNIT ARE ARROYO CHANNELS AND ROCK OUTCROP. THE SOILS FORMED ON GRANITE ALLUVIUM OF OLD ALLUVIAL FANS. THE MILLET SOILS HAVE MODERATE SHRINK-SWELL POTENTIAL, AND THE TESAJO SOILS HAVE SEVERE LIMITATIONS FOR BUILDINGS IS SLOPES ARE MORE THAN 15 PERCENT. THE SOILS ARE SUITED FOR RESIDENTIAL BUILDINGS AND ASSOCIATED INFRASTRUCTURE, BUT WILL REQUIRE ADEQUATE DESIGN BY A QUALIFIED GEOTECHNICAL ENGINEER, AND STRICT SUPERVISION AND INSPECTION DURING CONSTRUCTION OF FILLS. SOILS MAY BE SUSCEPTIBLE TO CONSOLIDATION, PARTICULARLY WHEN WETTED, SO CARE MUST BE TAKEN TO DIRECT RUNOFF AND LANDSCAPE WATERING AWAY FROM BUILDING FOUNDATIONS.
 - B. GRANITE BEDROCK WAS UNCOVERED DURING EARTHWORK ON THE ADJACENT BREEZE AT MOUNTAIN GATE SUBDIVISION. IT IS PROBABLE THAT THE ROCK RIDGE WILL EXTEND INTO THE COVERED WAGON SUBDIVISION, PARTICULARLY ALONG THE WESTERN HALF OF THE PROPERTY.
 - C. EVIDENCE UNCOVERED DURING THE ADJACENT EARTHWORK INDICATES THAT THE MATERIALS ON THE SITE WERE DEPOSITED IN PART BY A GLACIER DESCENDING THROUGH THE TIJERAS ARROYO, WITH THE PRESENT SURFACE OF THE SITE BEING THE BASE OF THE GLACIER, PRIOR TO CUTTING THE DEEPER CHANNEL TO THE SOUTH THAT NOW EXISTS. THE EVIDENCE UNCOVERED WAS A ROCK AND COBBLE DEPOSIT SIMILAR TO A TERMINAL MORRAIN, AND SEVERAL SLICKEN ROCKS THAT HAD DEEP LONGITUDINAL GOUGES ON ONE SIDE.

- DRAINAGE CONSIDERATIONS:**
- A. THE SITE IS NOT LOCATED WITHIN THE LIMITS OF THE 100-YEAR FLOOD, SEE FLOOD INSURANCE RATE MAP, PANEL 398 OF 825, EFFECTIVE DATE, SEPTEMBER 20, 1996 (REFERENCE D).
 - B. AT THE PRESENT TIME THE SITE DRAINS FROM NORTH TO SOUTH, AND FROM EAST TO WEST. RUNOFF PRESENTLY FLOWS THROUGH SEVERAL CONSTRUCTED SWALES, LEADING TO THE SOUTHWEST CORNER OF THE SITE. AT THE SOUTHWEST CORNER THE RUNOFF IS CHANNELLED INTO A CATCH BASIN CONSTRUCTED AS PART OF THE BREEZE AT MOUNTAIN GATE SUBDIVISION, FLOWING FROM THE CATCH BASIN THROUGH A 24" RCP CULVERT UNDER FOUR HILLS ROAD, INTO THE AMAFCA CHANNEL. ANY OVERFLOW FROM THIS CATCH BASIN IS DIRECTED ONTO FOUR HILLS ROAD, WHERE IT WILL FLOW TO THE WEST, THEN ENTERING STORM DRAIN INLETS PLACED ALONG THE STANDARD CURB AND GUTTER ON EITHER SIDE OF FOUR HILLS ROAD.

- RUNOFF AFTER DEVELOPMENT:**
- A. THE DRAINAGE CONCEPT FOR THE COMPLETED SUBDIVISION WILL BE SIMILAR TO THE EXISTING NATURAL DRAINAGE PATTERN, WITH THE NEW STREETS REPLACING THE SWALES TO DIRECT THE RUNOFF TOWARD THE SOUTHWEST CORNER OF THE SUBDIVISION. THERE ARE TWO EAST-WEST STREETS, SLOPING FROM EAST TO WEST, WHICH INTERSECT THE ONE NORTH-SOUTH STREET WHICH IS ALONG THE WEST END OF THE SUBDIVISION. AT THE INTERSECTION OF THE SOUTH STREET (MOUNTAIN WEST COURT) WITH THE WEST STREET (LANIER DRIVE), THE RUNOFF IS DIRECTED TO THE WEST ON THE SURFACE OF THE PAVED UTILITIES AND DRAINAGE EASEMENT.
 - B. AT THE INTERSECTION OF MOUNTAIN WEST COURT AND LANIER DRIVE A WATER BLOCK WILL BE CONSTRUCTED TO DIVERT THE RUNOFF FROM THE STREETS INTO THE DRAINAGE EASEMENT GOING TO THE WEST. THE ESTIMATED FLOW FROM THE NORTH, COLLECTED ON COVERED WAGON AVENUE AND LANIER DRIVE, IS 16.94 CFS (TABLES A-2 AND A-3). FROM THE EAST, RUNOFF COLLECTED ON MOUNTAIN WEST COURT IS ESTIMATED TO BE 8.65 CFS (TABLE A-4). THE TOTAL ESTIMATED RUNOFF ENTERING THE DRAINAGE EASEMENT IS 25.59 CFS.
 - C. AT THE WEST END OF THE DRAINAGE EASEMENT (WEST ALONG THE LINE OF MOUNTAIN WEST COURT) A STORM DRAIN INLET WILL BE CONSTRUCTED. THE INLET WILL BE CONNECTED BY 24" RCP TO THE EXISTING STORM DRAIN INLET AT THE EAST END OF THE EXISTING 24" RCP WHICH CROSSES UNDER FOUR HILLS ROAD.

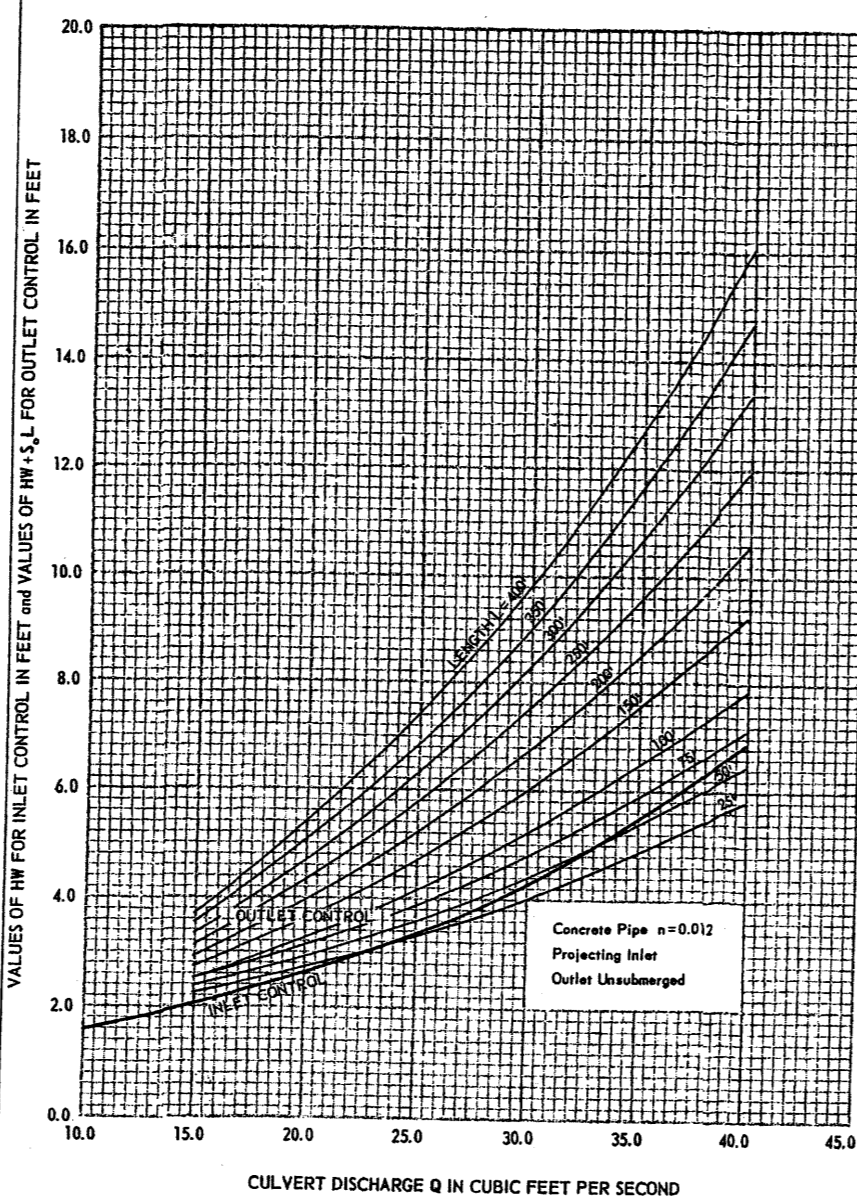
- OFF-SITE RUNOFF:**
- A. SOME OFF-SITE FLOWS ORIGINATE ALONG CENTRAL AVENUE, FROM THE SOUTH HALF OF THE PAVEMENT AND THE EARTH RIGHT-OF-WAY BETWEEN THE PAVEMENT AND THE COVERED WAGON PROPERTY LINE. THESE FLOWS ARE ESTIMATED IN TABLE B-1. THESE FLOWS WILL BE CHANNELLED THROUGH A NEW SWALE TO BE CONSTRUCTED BETWEEN THE PAVEMENT AND THE NORTH PROPERTY LINE WALL OF THE COVERED WAGON SUBDIVISION. PRESENTLY THESE FLOWS ENTER THE RIGHT-OF-WAY ALONG THE EAST SIDE OF THE CURB ON FOUR HILLS ROAD, FLOWING THEN INTO THE STORM DRAIN INLET LOCATED ON THE EAST SIDE OF FOUR HILLS ROAD, NEAR THE SOUTHWEST CORNER OF THE COVERED WAGON SUBDIVISION. THIS DRAINAGE PLAN PROPOSES THAT THE RUNOFF FROM BASIN B-1 BE DIRECTED INTO THE EXISTING STORM DRAIN MANHOLE NEAR THE NORTHWEST CORNER OF THE SUBDIVISION. THIS MANHOLE IS IN THE CENTRAL AVENUE-FOUR HILLS ROAD RIGHT-OF-WAY, AND IS THE TURNING POINT OF THE STORM DRAIN COMING FROM NORTH OF THE CENTRAL AVENUE PAVEMENT. THIS REDIRECTION OF THE STORM RUNOFF WILL REDUCE THE QUANTITY OF OVERFLOW ALONG FOUR HILLS ROAD.
 - B. SOME OFF-SITE FLOWS ORIGINATE IN THE 40+ FEET WIDE RIGHT-OF-WAY ALONG THE WEST SIDE OF THE COVERED WAGON SUBDIVISION, AND EAST OF THE EAST CURB OF FOUR HILLS ROAD. PRESENTLY THE RUNOFF FROM THIS SITE FLOWS SOUTH, ENTERING THE EXISTING STORM DRAIN INLET LOCATED NEAR THE SOUTHWEST CORNER OF THE COVERED WAGON SUBDIVISION. THE RUNOFF FROM THIS AREA WILL CONTINUE THE SAME PATTERN OF FLOW, WITH A NEW COBBLE LINED SWALE CONSTRUCTED WITHIN THE LANDSCAPING TO REDUCE EROSION.
 - C. THE TOTAL PEAK RUNOFF ENTERING THE STORM DRAIN INLET PRIOR TO DEVELOPMENT IS ESTIMATED TO BE 15 CFS (12.25+1.93+0.82, TABLES A-1, C-1 AND C-2). AFTER THE PROPOSED DEVELOPMENT, TOTAL PEAK RUNOFF TO THE STORM DRAIN INLET WILL BE 27.07 CFS (25.59+1.48, TABLES A-2, A-3, A-4 AND C-2). THE CAPACITY OF THE 24" RCP UNDER FOUR HILLS ROAD IS ESTIMATED AS 30 CFS, WITH 4 FEET OF HEAD. ANY OVERFLOW AT THE INLET WILL ENTER FOUR HILLS ROAD, FLOWING SOUTH TO ENTER STORM DRAIN INLETS DOWNSTREAM, OR TO ENTER DIRECTLY INTO THE TIJERAS ARROYO AT THE BRIDGE.
 - D. RUNOFF FROM NORTH OF THE CENTRAL AVENUE MEDIAN AND FROM THE INTERSTATE 40 (I-40) ON RAMP PRESENTLY ENTERS TWO STORM DRAIN INLETS THAT ARE LOCATED IN THE SWALE BETWEEN THE PAVEMENTS. THIS RUNOFF FLOWS THROUGH A 30" RCP TO THE SD MANHOLE, THEN UNDER FOUR HILLS ROAD TO THE AMAFCA CHANNEL. OVERFLOW FROM THIS AREA CROSSES THE INTERSECTION OF CENTRAL AVENUE AND FOUR HILLS ROAD, THEN FLOW TO THE SOUTH DOWN FOUR HILLS ROAD. THIS OVERFLOW WILL NOT ENTER THE COVERED WAGON SITE.

- E. THE JEHOVAH'S WITNESS CHURCH PROPERTY TO THE EAST OF LOTS 35 AND 36 HAS A PARKING LOT WHICH SLOPES FROM WATERFALL DRIVE TOWARD THE COVERED WAGON SUBDIVISION. RUNOFF FROM THE CHURCH PROPERTY IS COLLECTED AT THE SOUTHWEST CORNER OF THE PARKING AREA. THERE IS A SUMP PUMP THAT THEN PUMPS THE WATER TO THE SOUTHEAST CORNER OF THE CHURCH SITE, WHERE IT FLOWS DOWN THE WATERFALL DRIVE CURB AND GUTTER. THERE IS A POSSIBILITY THAT THIS PONDING AREA WILL OVERFLOW. ALLOWANCE IS MADE TO COLLECT THIS RUNOFF WITHIN THE MOUNTAIN WEST COURT RIGHT-OF-WAY, THEN DIRECTING THE FLOW TO THE STORM DRAIN INLET NEAR THE SOUTHWEST CORNER OF THE COVERED WAGON SITE.

- CONCLUSIONS:**
- A. THE PROPOSED CONSTRUCTION IS NOT WITHIN A DESIGNATED 100 YEAR FLOODPLAIN.
 - B. CONSTRUCTION AS PROPOSED WILL NOT INCREASE THE HAZARD FROM FLOODING TO DOWNSTREAM FACILITIES.
 - C. THE PROPOSED GRADING AND CONSTRUCTION WILL PROTECT THE PROPERTY FROM ANY OFF-SITE OR ON-SITE FLOODING.

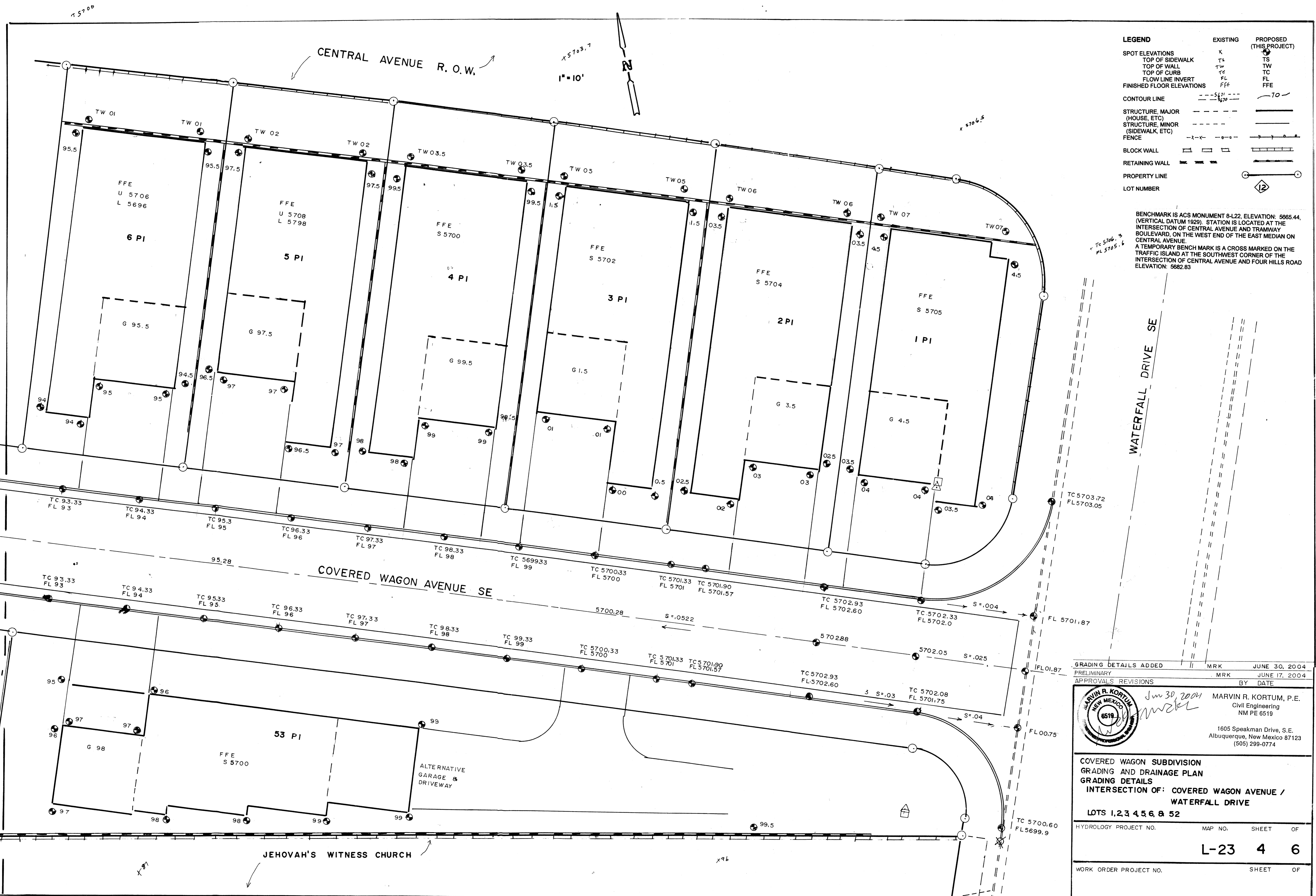
- REFERENCES:**
- A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CITY OF ALBUQUERQUE.
 - B. SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, FOR THE CITY OF ALBUQUERQUE...BERNALILLO COUNTY...AMAFCA, AS AMENDED DECEMBER, 1999.
 - C. SOIL SURVEY OF BERNALILLO COUNTY AND PARTS OF SANDOVAL AND VALENCIA COUNTIES, NEW MEXICO USDA-SCS.
 - D. FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL 378 OF 825, EFFECTIVE DATE: SEPTEMBER 20, 1996.

FIGURE 1: 24-Inch Diameter Concrete Pipe



- BK. RETAINING WALLS THAT ARE AN INTEGRAL PART OF A HOUSE OR BUILDING STRUCTURE SHALL BE DESIGNED AND CONSTRUCTED WITH WATER PROOFING AND PROVISION FOR SEEPAGE. HOUSE SIGNS WHICH USE A RETAINING WALL AS A STRUCTURAL SUPPORT MUST BE DESIGNED TO ACCOUNT FOR LONG TERM SETTLEMENT AND WALL TILT.
- BL. THE EXISTING GROUND SURFACE OF THE PUBLIC UTILITIES EASEMENT ALONG THE NORTH PART OF THE SUBDIVISION (THOSE LOTS ADJACENT TO THE CENTRAL AVENUE RIGHT-OF-WAY) SHALL NOT BE DISTURBED BELOW THE ORIGINAL SURFACE WITHOUT DIRECT OBSERVATION OR WRITTEN APPROVAL OF OWNER OF THE RESPECTIVE UTILITIES. THE UTILITIES LOCATED WITHIN THIS EASEMENT INCLUDE A 12" WATER MAIN, A 6" HIGH PRESSURE GAS MAIN, AN 8" VERY HIGH PRESSURE GAS MAIN, AND ELECTRICAL POWER AND COMMUNICATIONS CABLES. THE EASEMENT IS 15 FEET WIDE, WITH CERTAIN AREAS BEING WIDER DUE TO THE LOCATION OF THE 12" WATER MAIN BEING FURTHER SOUTH OF PROPERTY LINE.
- BM. BACKYARDS WHICH REQUIRE CROSS LOT DRAINAGE SHALL HAVE DRAINHOLES (ABOUT 4" X 8") SET IN THE DOWNSTREAM WALL AT A LEVEL ABOVE THE 100 YEAR PONDING CAPACITY OF THE BACK YARDS.
- BN. ALL BACK YARDS WHICH HAVE CROSS LOT DRAINAGE TO ADJACENT LOTS SHALL HAVE PONDING OF RUNOFF FOR THE 100 YEAR-6 HOUR STORM. ALL PONDING SHALL BE AT LEAST 5 FEET AWAY FROM ANY HOUSE FOUNDATION.
- BO. THE EXISTING TOPOGRAPHY OF THE SITE IS IRREGULAR AND INCLUDES AREAS THAT HAVE PREVIOUSLY INVOLVED EARTHWORK, BOTH FILL AND CUT AREAS. SPECIAL CARE MUST BE TAKEN IN DOING THE EARTHWORK FOR THE SITE. SOME, BUT NOT NECESSARILY ALL, PRECAUTIONS ARE LISTED BELOW.
 - 1. ALL EARTHWORK IN THIS SUBDIVISION AND ADJACENT AREAS IS TO BE STRUCTURAL FILL, PLACED UNDER THE DESIGN, INSPECTION, AND APPROVAL OF A QUALIFIED GEOTECHNICAL ENGINEER.
 - 2. ALL VEGETATION, TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE. THERE SHALL BE NO BURIAL ON-SITE OF TRASH OR VEGETATION.
 - 3. CUT AREAS SHALL BE UNDERCUT AND RECOMPACTED TO DEPTHS AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. MATERIAL THAT IS NOT APPROVED FOR ENGINEERED EARTHWORK FOR THE STRUCTURES TO BE PLACED ON A LOCATION SHALL BE REMOVED AND REPLACED WITH SATISFACTORY MATERIAL.
 - 4. IMPORTED MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO BEING BROUGHT TO THE SITE.
 - 5. ROCKS, COBBLES AND BOULDERS LARGER THAN 8" IN DIAMETER SHALL BE REMOVED FROM FILL AREAS AND STOCKPILED SO THAT SUCH MATERIAL MAY BE USED FOR EROSION CONTROL AND LANDSCAPING. SUCH MATERIALS THAT ARE IN EXCESS TO THE REQUIREMENTS OF THE SITE SHALL BE REMOVED TO AN AUTHORIZED DISPOSAL AREA.
 - 6. CARE MUST BE TAKEN IN DOING THE COMPACTION WITHIN THE SUBDIVISION TO PREVENT ANY DAMAGE OR SETTLEMENT OF STRUCTURES ON ADJACENT PROPERTIES. ANY SUCH DAMAGE SHALL BE REPAIRED AT THE EARTHWORK CONTRACTOR'S EXPENSE.
- BP. FINISHED FLOOR ELEVATIONS (FFE) SHOWN ARE BASED ON A 4" THICK SLAB. PAD ELEVATIONS MAY VARY DEPENDING ON THE HOUSE DESIGN. A VARIATION OF SEVERAL FEET MAY OCCUR, PARTICULARLY FOR THOSE LOTS WHICH ARE UP-HILL FROM THE STREET. THESE LOTS MAY HAVE A PAD SEVERAL FEET ABOVE THE FRONTING STREET LEVEL IN ORDER TO REDUCE THE HEIGHT OF THE RETAINING WALL AT THE BACK OF THE PROPERTY. IN GENERAL, THESE LOTS WILL HAVE A DIFFERENCE IN ELEVATION OF SEVERAL FEET BETWEEN THE FLOOR ELEVATION OF THE HOUSE AND THE FLOOR ELEVATION OF THE GARAGE, REQUIRING STEPS FROM THE GARAGE TO THE HOUSE. FINISHED FLOOR ELEVATIONS ARE SHOWN ON THE GRADING AND DRAINAGE PLAN WITH THREE NOTATIONS, S-FOR SINGLE STORY HOUSE, U-FOR THE UPPER STORY OF A TWO STORY HOUSE, AND L-FOR THE LOWER STORY OF THE HOUSE. THE FINISHED FLOOR ELEVATIONS AND THE NOTATIONS AS SHOWN ON THE PLANS ARE INTENDED TO SHOW TYPICAL GRADING. THE FINAL GRADING ON ANY LOT WILL BE DETERMINED WHEN A DECISION IS MADE AS TO THE TYPE OF HOUSE TO BE PLACED ON THAT LOT.
- BQ. THE FOLLOWING ITEMS MUST BE COMPLETED PRIOR TO CERTIFICATION OF THE GRADING AND DRAINAGE PLAN.
 - 1. ALL STREETS, CURBS AND GUTTERS SHALL BE CONSTRUCTED TO THE DESIGN SPECIFIED.
 - 2. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED, TO INCLUDE DRAIN CHANNELS AND SWALES ALONG THE ADJACENT PUBLIC PROPERTY.
 - 3. ALL SUBDIVISION PERIMETER WALLS SHALL BE COMPLETED TO THE SPECIFIED DESIGN.
 - 4. ALL HOUSE PADS SHALL BE BROUGHT TO THE SPECIFIED LEVEL AND COMPACTED. PARTIAL CERTIFICATION OF THE GRADING AND DRAINAGE PLAN WILL BE ACCEPTED IF PORTIONS OF THE SUBDIVISION ARE NOT COMPLETE. FOR EXAMPLE, EARTH MATERIALS MAY BE STOCKPILED ON AREAS WHILE APPROVAL IS BEING SOUGHT FOR DISPOSAL OF SUCH MATERIALS. FINAL CERTIFICATION OF THE SITE WILL REQUIRED ALL LOTS TO BE AT THE SPECIFIED LEVEL.
 - 5. COMPACTION TEST WILL BE REQUIRED. COMPACTION TESTS SHALL BE DONE AND RECORDED FOR EACH LOT, AND FOR THE INFRASTRUCTURE, WHERE FILL IS PLACED. TESTS WILL BE DONE AND RECORDED AT NO LESS THAN EVERY TWO FEET OF ELEVATION CHANGE, AND AT LEAST ONE TEST FOR EVERY 500 SQUARE YARDS.
 - 6. LOT WALLS THAT ARE DESIGNED TO BE GREATER THAN THREE (3) FEET IN HEIGHT SHALL BE COMPLETED AND ACCEPTED PRIOR TO SUBDIVISION CERTIFICATION. LOT SIDE WALLS LESS THAN THREE (3) FEET IN HEIGHT MAY BE CONSTRUCTED AT THE SAME TIME AS HOUSES ARE CONSTRUCTED ON THE LOTS. LOT SIDE WALLS SHALL BE CONSTRUCTED PRIOR TO CERTIFICATION FOR OCCUPANCY OF THE HOUSE.
 - 7. A SEPARATE PERMIT IS REQUIRED FOR CONSTRUCTION OF ALL WALLS SPECIFIED IN THE GRADING AND DRAINAGE PLAN. SUCH PERMITS AND INSPECTIONS WILL BE AS REQUIRED BY THE CITY BUILDING CODE.

GRADING DETAIL NOTES ADDED	MRK	JUNE 30, 2004
PRELIMINARY	MRK	JUNE 17, 2004
APPROVALS REVISIONS	BY	DATE
MARVIN R. KORTUM, P.E. Civil Engineering NM PE 6519 1605 Speakman Drive, S.E. Albuquerque, New Mexico 87123 (505) 299-0774		
COVERED WAGON SUBDIVISION GRADING AND DRAINAGE PLAN NOTES		
HYDROLOGY PROJECT NO.	MAP NO.	SHEET OF
	L-23	2 6
WORK ORDER PROJECT NO.		SHEET OF



LEGEND

	EXISTING	PROPOSED (THIS PROJECT)
SPOT ELEVATIONS	X	⊕
TOP OF SIDEWALK	Ts	TS
TOP OF WALL	TW	TW
TOP OF CURB	Tc	TC
FLOW LINE INVERT	FL	FL
FINISHED FLOOR ELEVATIONS	FFe	FFE
CONTOUR LINE	---	---
STRUCTURE, MAJOR (HOUSE, ETC)	---	---
STRUCTURE, MINOR (SIDEWALK, ETC)	---	---
FENCE	-x-x-	---
BLOCK WALL	▬	▬
RETAINING WALL	▬	▬
PROPERTY LINE	○	○
LOT NUMBER		⬡

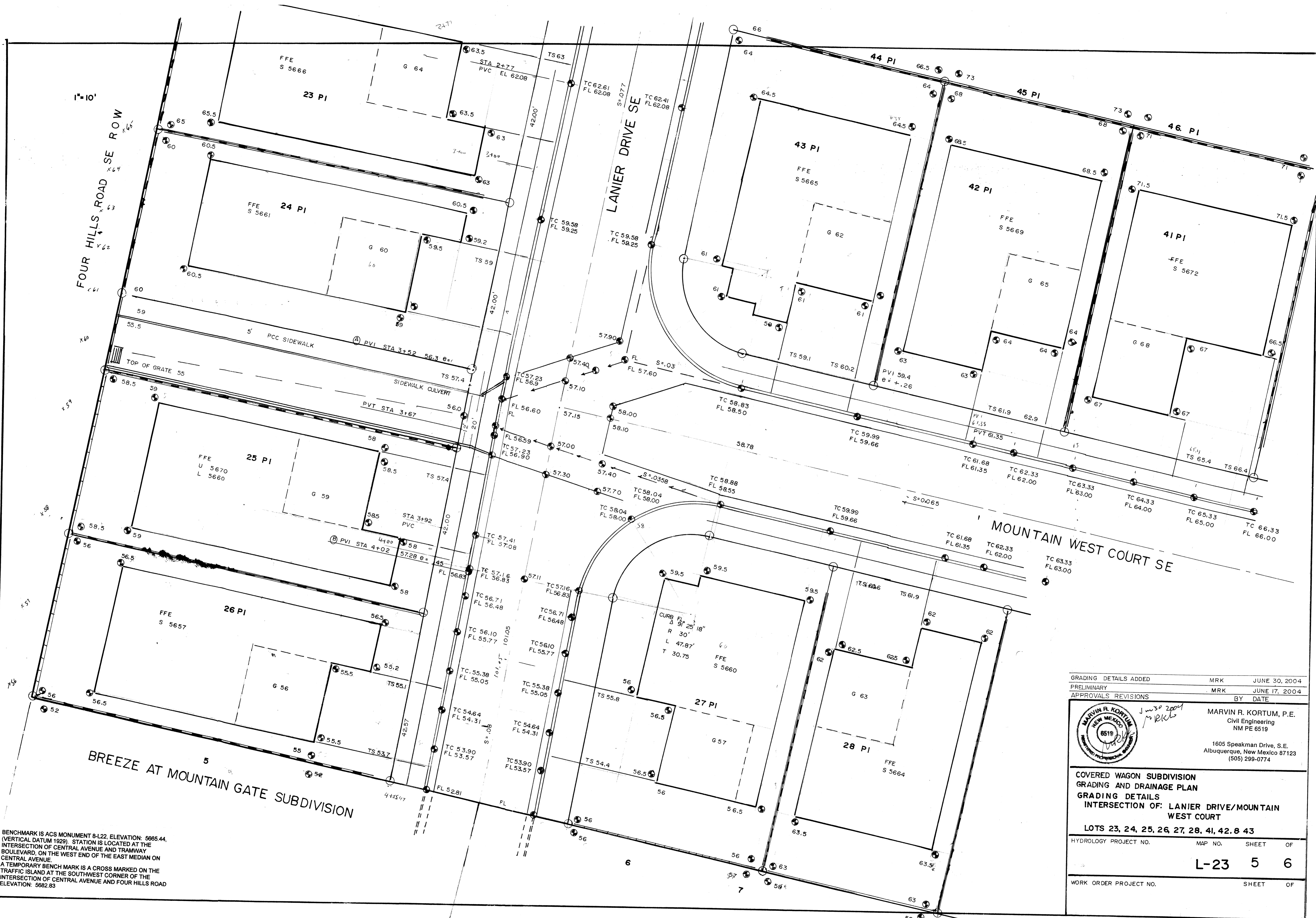
BENCHMARK IS ACS MONUMENT 8-L22, ELEVATION: 5665.44, (VERTICAL DATUM 1929). STATION IS LOCATED AT THE INTERSECTION OF CENTRAL AVENUE AND TRAMWAY BOULEVARD, ON THE WEST END OF THE EAST MEDIAN ON CENTRAL AVENUE.
 A TEMPORARY BENCHMARK IS A CROSS MARKED ON THE INTERSECTION OF CENTRAL AVENUE AND FOUR HILLS ROAD ELEVATION: 5682.83

APPROVALS	REVISIONS	BY	DATE
GRADING DETAILS ADDED		MRK	JUNE 30, 2004
PRELIMINARY		MRK	JUNE 17, 2004

MARVIN R. KORTUM
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COVERED WAGON SUBDIVISION
GRADING AND DRAINAGE PLAN
INTERSECTION OF: COVERED WAGON AVENUE / WATERFALL DRIVE
LOTS 1,2,3 4,5,6 & 52

HYDROLOGY PROJECT NO.	MAP NO.	SHEET	OF
		L-23	4
WORK ORDER PROJECT NO.		SHEET	OF
			6



1"=10'

FOUR HILLS ROAD SE ROW

LANIER DRIVE SE

MOUNTAIN WEST COURT SE

BREEZE AT MOUNTAIN GATE SUBDIVISION

BENCHMARK IS ACS MONUMENT 8-L22, ELEVATION: 5665.44, (VERTICAL DATUM 1929). STATION IS LOCATED AT THE INTERSECTION OF CENTRAL AVENUE AND TRAMWAY BOULEVARD, ON THE WEST END OF THE EAST MEDIAN ON CENTRAL AVENUE.
A TEMPORARY BENCH MARK IS A CROSS MARKED ON THE TRAFFIC ISLAND AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CENTRAL AVENUE AND FOUR HILLS ROAD ELEVATION: 5682.83

GRADING DETAILS ADDED	MRK	JUNE 30, 2004
PRELIMINARY	MRK	JUNE 17, 2004
APPROVALS REVISIONS	BY	DATE



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COVERED WAGON SUBDIVISION
GRADING AND DRAINAGE PLAN
GRADING DETAILS
INTERSECTION OF: LANIER DRIVE/MOUNTAIN WEST COURT
LOTS 23, 24, 25, 26, 27, 28, 41, 42, 43

HYDROLOGY PROJECT NO.	MAP NO.	SHEET	OF
		L-23	5
WORK ORDER PROJECT NO.			

WORK ORDER PROJECT NO.	SHEET	OF

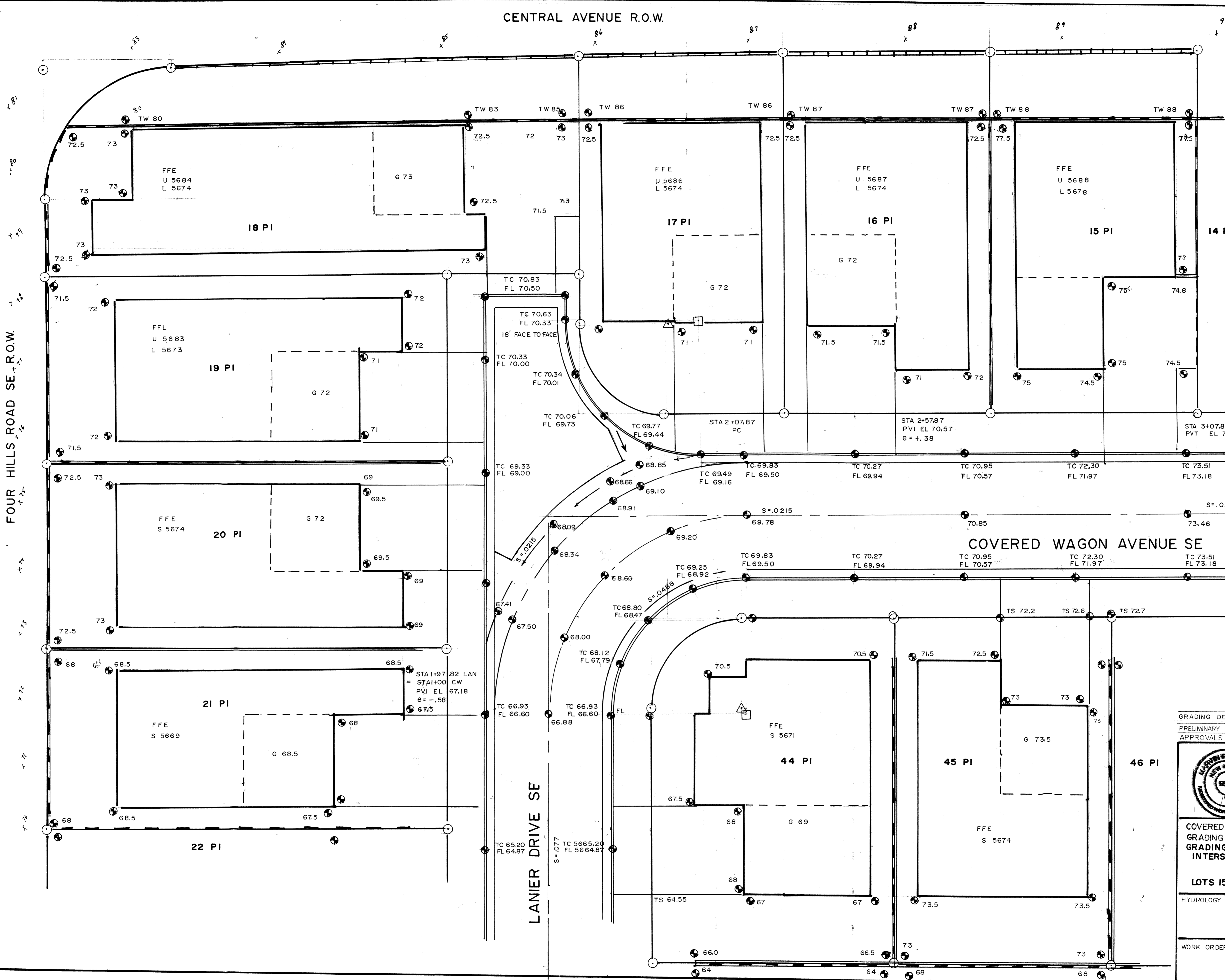
CENTRAL AVENUE R.O.W.

FOUR HILLS ROAD SE R.O.W.

LEGEND

	EXISTING	PROPOSED (THIS PROJECT)
SPOT ELEVATIONS	X	•
TOP OF SIDEWALK	TS	TS
TOP OF WALL	TW	TW
TOP OF CURB	TC	TC
FLOW LINE INVERT	FL	FL
FINISHED FLOOR ELEVATIONS	FFE	FFE
CONTOUR LINE	---5'---	---10'---
STRUCTURE, MAJOR (HOUSE, ETC)	---	---
STRUCTURE, MINOR (SIDEWALK, ETC)	---	---
FENCE	-X-X-	---
BLOCK WALL	---	---
RETAINING WALL	---	---
PROPERTY LINE	---	---
LOT NUMBER		12

14 PI BENCHMARK IS ACS MONUMENT 8-L22, ELEVATION: 5665.44, (VERTICAL DATUM 1929). STATION IS LOCATED AT THE INTERSECTION OF CENTRAL AVENUE AND TRAMWAY BOULEVARD, ON THE WEST END OF THE EAST MEDIAN ON CENTRAL AVENUE.
A TEMPORARY BENCH MARK IS A CROSS MARKED ON THE TRAFFIC ISLAND AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CENTRAL AVENUE AND FOUR HILLS ROAD ELEVATION: 5682.83



GRADING DETAILS ADDED	MRK	JUNE 30, 2004
PRELIMINARY	MRK	JUNE 17, 2004
APPROVALS REVISIONS	BY	DATE



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**COVERED WAGON SUBDIVISION
 GRADING AND DRAINAGE PLAN
 GRADING DETAILS
 INTERSECTION OF: LANIER DRIVE /
 COVERED WAGON AVENUE
 LOTS 15, 16, 17, 18, 19, 20, 21, 44, & 45**

HYDROLOGY PROJECT NO.	MAP NO.	SHEET	OF
		L-23	6
WORK ORDER PROJECT NO.		SHEET	OF