



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 27, 2005

10. Project # 1002176
05DRB-01178 Minor-Extension of Preliminary Plat

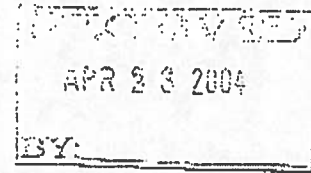
SURVEYS SOUTHWEST, LTD. agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) E-1, **NORTH FOUR HILLS**, zoned SU-1 special use zone, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF: Z-98-113, Z-98-54, 02DRB01306, 04DRB00526, 00960, 00961, 04DRB00962, 00963] (L-23)

At the July 27, 2005, Development Review Board meeting, with the reinitialing of the infrastructure list dated 7/27/05 a one-year extension of the preliminary plat was approved by the Board.



Sheran Matson, AICP, DRB Chair

Cc:Mountain West Development, P.O. Box 75039, 87194
Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

Covered Letter

City of Albuquerque
 Planning Department
 Development Services Division
 P.O. Box 1293
 Albuquerque, New Mexico 87103

Date: April 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002176**
 04EPC-00161 EPC Site Development Plan-
 Building Permit
 04EPC-00162 EPC Site Development Plan-
 Subdivision
 04EPC-00163 Zone Map Amendment

Bill Wade, Mari-Macii LLP
 P.O. Box 66449
 Albuq NM 87123

LEGAL DESCRIPTION: for all or a portion of Tracts E-1, **North Four Hills**, zoned C-1 to SU-1 Single Family Residential, located on SE QUAD OF FOUR HILLS ROAD SE, between CENTRAL AVE. SE and WATERFALL Drive SE, containing approximately 7 acres. (L-23)
 Deborah Stover, Staff Planner

On April 15, 2004 the Environmental Planning Commission voted to approve Project 1002176/04EPC 00163, a request for a zone map amendment from C-1 to SU-1 for Single Family Residential, for Tract E-1, North Four Hills, based on the following Findings:

FINDINGS:

1. This is a request for a zone map amendment from C-1 to SU-1 Single Family Residential for a for a 1.37-acre site parcel known as Tract E-1, North Four Hills, located on the southeast corner of Central Avenue and Waterfall Drive SE.
2. The development of Interstate-40, the re-classification of Central Avenue as a collector street, the creation of an Activity Center to the west of the subject site and recent zone changes to residential uses in the area constitute changed neighborhood and community conditions that have occurred in the area that justify this request.
3. The existing C-1 zoning on this site allows the applicant to build single-family homes, townhouses or apartments as a conditional use.

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PROJECT #1002176
APRIL 15, 2004
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4. The location, intensity and design of this new development respects existing neighborhood values, because it proposes densities and is laid out in the same fashion as other development in the area (*Comp. Plan*, Policy 5d). This request would constitute new growth, which is to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Comp. Plan*, Policy 5c).
5. Higher density housing is most appropriate in areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available (*Comprehensive Plan*, Policy 5h). This application concerns a site that meets this policy, as surrounding zoning includes SU-1 PRD, C-2, C-1 and some scattered RA-2, which qualifies as a mixed density pattern.
6. The zone change request is consistent with the health, safety, morals and general welfare of the City, as a residential development would bring additional housing to an area that has been consistently growing over the past several years. The residential use may be preferable to some of the uses allowed in the current C-1 zoning on the subject site (Resolution 270-1980, Section 1, paragraph A).
7. The zone change request contributes to providing stability of land use by assuring a stable residential environment without conjecture as to the future commercial possibilities for the site with the current C-1 zoning (Resolution 270-1980, Section 1, paragraph B).
8. The request also complies with Resolution 270-1989, Section 1, paragraph C, by not proposing a change that would be in significant conflict with the *Comprehensive Plan* or other master plans.
9. The zone change will be consistent with the SU-1 for Single Family Residential zoning to the west of the subject site.
10. There is no known opposition to this request.

On April 15, 2004 the Environmental Planning Commission voted to approve Project 1002176/04EPC 00162, a request for Site Development Plan for Subdivision, for Tract C-Varan and Tract E-1, North Four Hills, based on the following Findings and subject to the following Conditions:

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PROJECT #1002176
APRIL 15, 2004
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FINDINGS:

1. This is a request for a site development plan for subdivision to divide the 6.5-acre subject site into 53 individual lots, located on the southeast corner of Central Avenue between Four Hills Road SE and Waterfall Drive SE.
2. The proposed pattern of land development is not unusual or different than other existing developments in the area.
3. The location, intensity and design of this new development respects existing neighborhood values, because it proposes densities and is laid out in the same fashion as other development in the area (*Comp. Plan, Policy 5d*). This request would constitute new growth, which is to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Comp. Plan, Policy 5e*).
4. Higher density housing is most appropriate in areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available (*Comprehensive Plan, Policy 5h*).
5. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The maximum height and the building setbacks shall be listed on the site plan for subdivision.
3. Waterfall Drive shall be shown and listed on the site plan, along with the ROW width, sidewalk width, curb and gutter and other appropriate details.

On April 15, 2004 the Environmental Planning Commission voted to approve Project 1002176/04EPC 00161, a request for Site Development Plan for Building Permit, for Tract C-Varan and Tract E-1, North Four Hills, based on the following Findings and subject to the following Conditions:

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PROJECT #1002176
APRIL 15, 2004
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FINDINGS:

1. This is a request for a site development plan for building permit for to divide the 6.5-acre subject site located on Central Avenue between Four Hills Road SE and Waterfall Drive SE.
2. The proposed pattern of land development is not unusual or different than other existing developments in the area.
3. The location, intensity and design of this new development respects existing neighborhood values, because it proposes densities and is laid out in the same fashion as other development in the area (*Comp. Plan, Policy 5d*). This request would constitute new growth, which is to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured (*Comp. Plan, Policy 5e*).
4. Higher density housing is most appropriate in areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available (*Comprehensive Plan, Policy 5h*).
5. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Waterfall Drive shall be shown and listed on the site plan, along with the ROW width, sidewalk width, curb and gutter and other appropriate details.
3. The 5-foot wide concrete pathway shall be shown in both locations (along Four Hills Road and Central Avenue) on all site plans related to this proposal.
4. A 5-foot wide concrete pedestrian path shall be provided through this area to clearly connect with the pathway along Four Hills Road.

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5. The trees and shrubs shall be removed from the general landscape plan. The typical lot landscape is sufficient to show what is intended.
6. The shrubs shown along the pathways parallel to Fours Hills Road and Central Avenue that are not on the subject property shall be removed unless a homeowner's association is planned to provide maintenance for these plants.
7. The gravel for backyards shown on the typical lot landscape shall be removed to allow each homeowner to create their own preferred backyard landscape.
8. The scale on the landscape plan shall be shown as 1"=50' and shall be consistent on the landscape sheet.
9. Garage setbacks shall be varied by at least five-feet every third house.
10. City Engineer, Municipal Development, Public Works and NMDOT conditions:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (standard drawing 2430), driveways (standard drawing 2425), private entrances (standard drawing 2426) and wheel chair ramps (standard drawing 2441).
 - c. Site plan shall comply and be designed per DPM Standards.
 - d. Locate the median (entrance feature) on Covered Wagon Dr. at Waterfall Dr. such that it separates entering traffic from exiting traffic.
 - e. Platting should be a concurrent DRB action.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 30, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

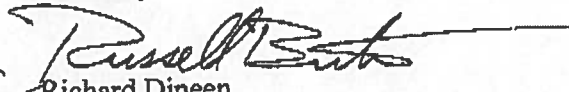
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Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Richard Dineen
Planning Director

RD/DS/ac

cc: John Griego, Griego & Assoc., 2917 Carlisle NE, STE 207, Albuquerque, NM 87110
Tom Conley, North Four Hills, 13705 Poinsetta Ct. SE, Albuquerque, NM 87123
Nancy Caress, North Four Hills, 421 Narcissus SE, Albuquerque, NM 87123
Marilyn Floro, Singing Arrow, 528 Eugene SE, Albuquerque, NM 87123
Rachel Klynolf, Singing Arrow, P.O. Box 50162, Albuquerque, NM 87181
Jack Harris, Supper Rock, 712 Supper Rock NE, Albuquerque, NM 87123
Carol O'Keefe, Supper Rock, 600 Vista Abajo NE, Albuquerque, NM 87123
Roger Mickelson, 1432 Catron Ave. SE, Albuquerque, NM 87123



OFFICIAL NOTICE OF DECISION


CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 19, 2005

5. Project # 1002176
05DRB-00051 Minor-Sidewalk Waiver

BILL WADE request(s) the above action(s) for all or a portion of Block(s) 90C, Tract(s) E-1, NORTH FOUR HILLS, AND Tract(s) C, VARAN (to be known as **COVERED WAGON SUBDIVISION, UNIT 78**, zoned SU-1 special use zone, located on CENTRAL AVE SE, between FOUR HILLS RD SE and WATER FALL SE containing approximately 7 acre(s). [REF: 04DRB01071, 04DRB01072] (L-23)

At the January 19, 2005, Development Review Board meeting, a sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file.


for Sheran Matson, AICP, DRB Chair

Cc: Bill Wade, P.O. Box 66449, 87193
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

March 8, 2006

- 4. Project # 1002176**
06DRB-00168 Major-Vacation of Public Easements
06DRB-00169 Minor-Vacation of Private Easements

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a portion of land in SW $\frac{1}{4}$ - NW $\frac{1}{4}$, Section 26, T10N, R4E together with Tract(s) E-1, **NORTH FOUR HILLS**, zoned SU-1 special use zone, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF: 04DRB-00960, 00961, 00962, 04DRB00963, 00964, 01071, 04DRB01072, 05DRB01178, 06DRB00092] (L-23)

At the March 8, 2006, Development Review Board meeting, the vacations were approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by March 23, 2006, in the manner described below.



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Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Sheran Matson, AICP, DRB-Chair

Cc: Bill Wade, Mountain West Development, P.O. Box 75039, 87194
Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 28, 2004

8. Project # 1002176

04DRB-00960 Major-Preliminary Plat Approval
04DRB-00962 Major-Vacation of Public Easements
04DRB-00969 Minor-Vacation of Private Easements
04DRB-00961 Minor-Temp Defer SDWK

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, request(s) the above action(s) for all or a portion of Tract(s) E-1, NORTH FOUR HILLS, **COVERED WAGON SUBDIVISION**, zoned SU-1, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF:Z-98-113/Z98-54, 02DRB-01306, 04DRB-00526] [Deferred from 7/14/04 & 7/21/04] (L-23)

At the July 28, 2004, Development Review Board meeting, with the signing of the infrastructure list dated 7/28/04 and approval of the grading plan engineer stamp dated 6/30/04 the preliminary plat was approved.

The vacations were approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
2. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.



OFFICIAL NOTICE OF DECISION
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04DRB-01071 Minor-SiteDev Plan BldPermit/EPC
04DRB-01072 Minor-SiteDev Plan Subd/EPC

BILL WADE, request(s) the above action(s) for all or a portion of Tract(s) E-1 and C, Block(s) 90C, Unit(s) 78, NORTH FOUR HILLS, **COVERED WAGON SUBDIVISION**, zoned SU-1, located on CENTRAL AVE SE between FOUR HILLS RD SE AND WATERFALL DR SE containing approximately 7 acre(s). [REF:04EPC-00162, 04DRB-000960, 00961, 00962, 00969, 02DRB-01306, 02DRB-00526] [**Debbie Stover, EPC Case Planner**] [*Deferred from 7/14/04 & 7/21/04*] (L-23)

At the July 28, 2004, Development Review Board meeting, the site plan for subdivision and site plan for building permit were approved and signed off by the Board.

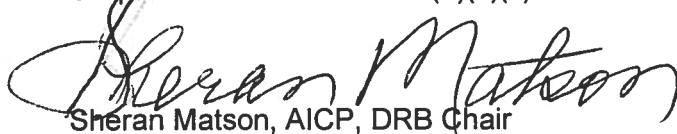
If you wish to appeal this decision, you must do so by August 12, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

Cc:Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102
Mountain West Development, P.O. Box 66449, 87193-6449
Marvin Kortum, 1605 Speakman Dr SE, 87123
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 2, 2008

1. **Project# 1002176**
07DRB-70423 MAJOR - 2YR SUBD IMP AGMT (2YR SIA)

MOUNTAIN WEST DEVELOPMENT CO. LLC request(s) the above action(s) for all or a portion of **COVERED WAGON**, zoned SU-1/RESIDENTIAL, located on the south side of CENTRAL AVE SE BETWEEN FOUR HILLS RD SE AND WATERFALL SE containing approximately 5.55 acre(s).


At the January 2, 2008 Development Review Board meeting, the 9 month extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by January 17, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, Acting DRB Chair

Cc: Mountain West Development Co. LLC – P.O. Box 66449 – Albuquerque, NM 87193
Cc: Marilyn Maldonado
Cc: Melvin & Christy Baron – 438 Poinsettia SE – Albuquerque, NM 87123
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 23, 2006

2. Project # 1002176

06DRB-01079 Major-Preliminary Plat Approval
06DRB-01080 Major-Vacation of Public Easements
06DRB-01081 Minor-Temp Defer SDWK

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, BILL WADE request(s) the above action(s) for all or a portion of Tract(s) A, **COVERED WAGON SUBDIVISION**, zoned SU-1 for SF residential and C1 (SC), located on FOUR HILLS RD SE near INTERSTATE 40 containing approximately 2 acre(s). [REF: 06DRB-00092] (L-23)

At the August 23, 2006, Development Review Board meeting, with approval of the grading plan engineer stamp dated 6/30/04 the preliminary plat was approved with the following conditions of final plat approval:

If the final plat is approved after 10/31/06 the subdivider must comply with City Council Resolution R-06-74 regarding Pre-development Facility Fee Agreements with the Albuquerque Public Schools (APS).

An application for a Subdivision Design Variance for the 46-foot right-of-way is required.

The relocated waterline must be accepted for service.

The vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.



OFFICIAL NOTICE OF DECISION

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The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by September 7, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Sheran Matson, AICP, DRB Chair

Cc: Mountain West Development, Bill Wade, P.O. Box 66449, 87193
Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102
Marvin Kortum, 1605 Speakman Dr SE, 87123
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File