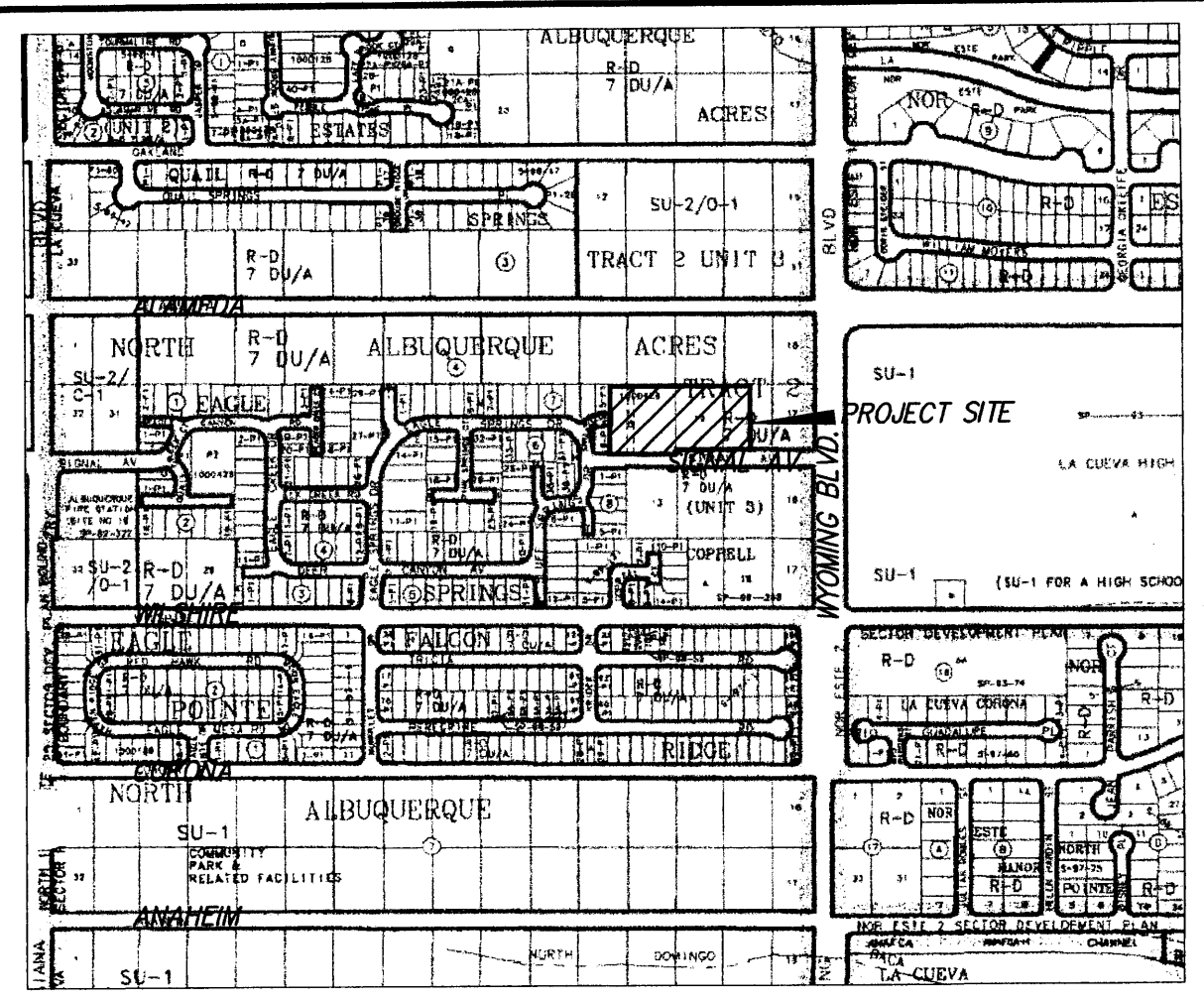


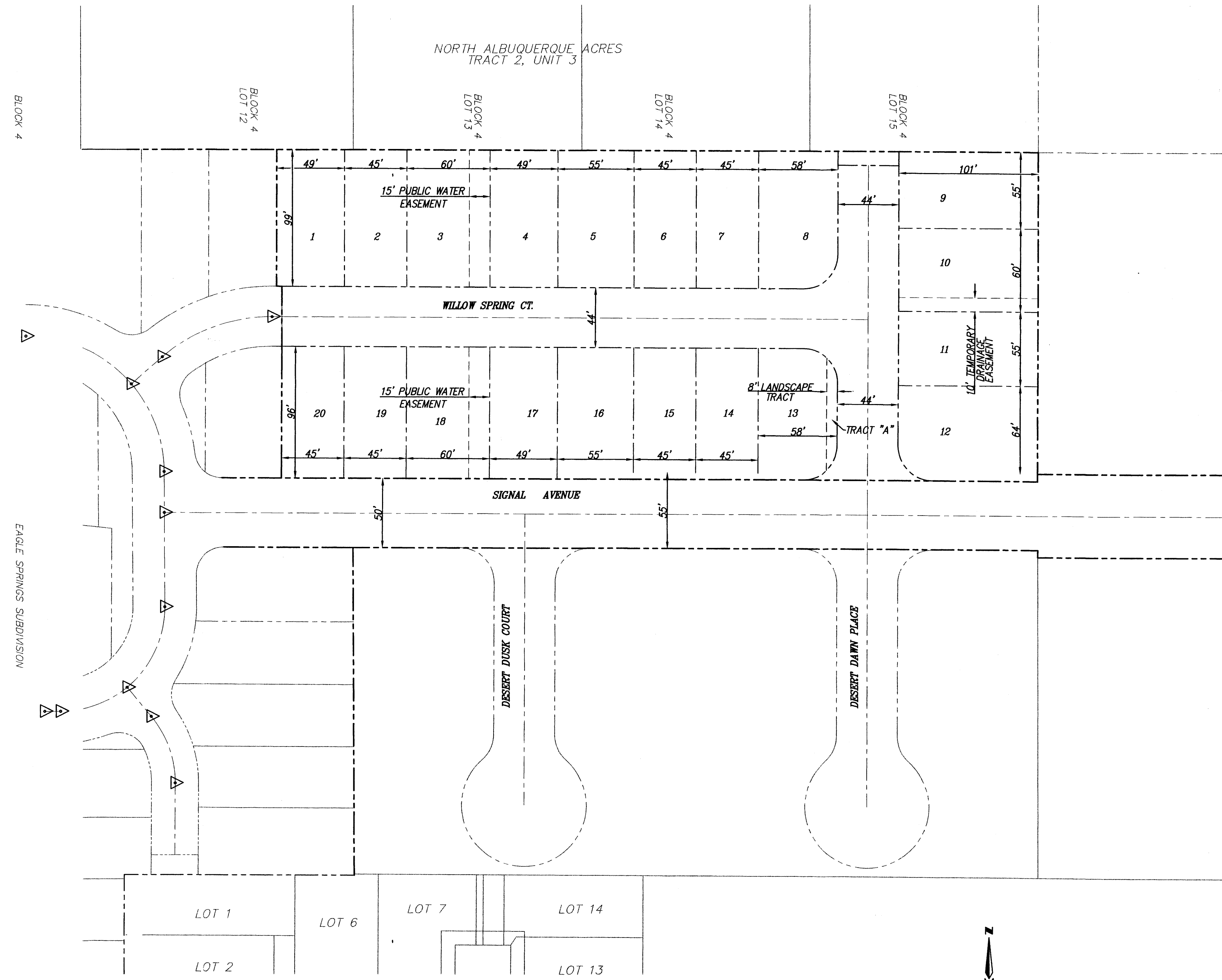
# SKETCH PLAT

## TRACT "S" EAGLE SPRINGS SUBDIVISION AND LOT 19, BLOCK 4 NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3.

WITHIN THE  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2002



LOCATION MAP      ZONE ATLAS C-19-Z  
SCALE: NONE



**LEGAL DESCRIPTION**

TRACT "S" EAGLE SPRINGS SUBDIVISION AND LOT 19, BLOCK 4, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**SUBDIVISION DATA**

GROSS ACREAGE ..... 2.9662 AC  
 ZONE ATLAS NO. .... C-19-Z  
 NO. OF EXISTING TRACTS ..... 2  
 NO. OF TRACTS/LOTS CREATED ..... 1/20  
 NO. OF TRACTS ELIMINATED ..... 2  
 DATE OF SURVEY .....

**OWNERS**

D.R. HORTEN CUSTOM HOMES  
 4400 ALAMEDA NE, SUITE B  
 ALBUQUERQUE, N.M. 87113  
 (505) 797-4245

**ENGINEERS**

D. MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 828-2200

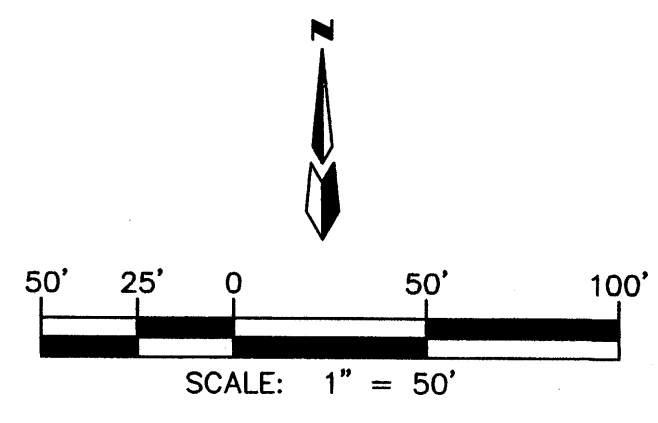
**SURVEYOR**

1002183

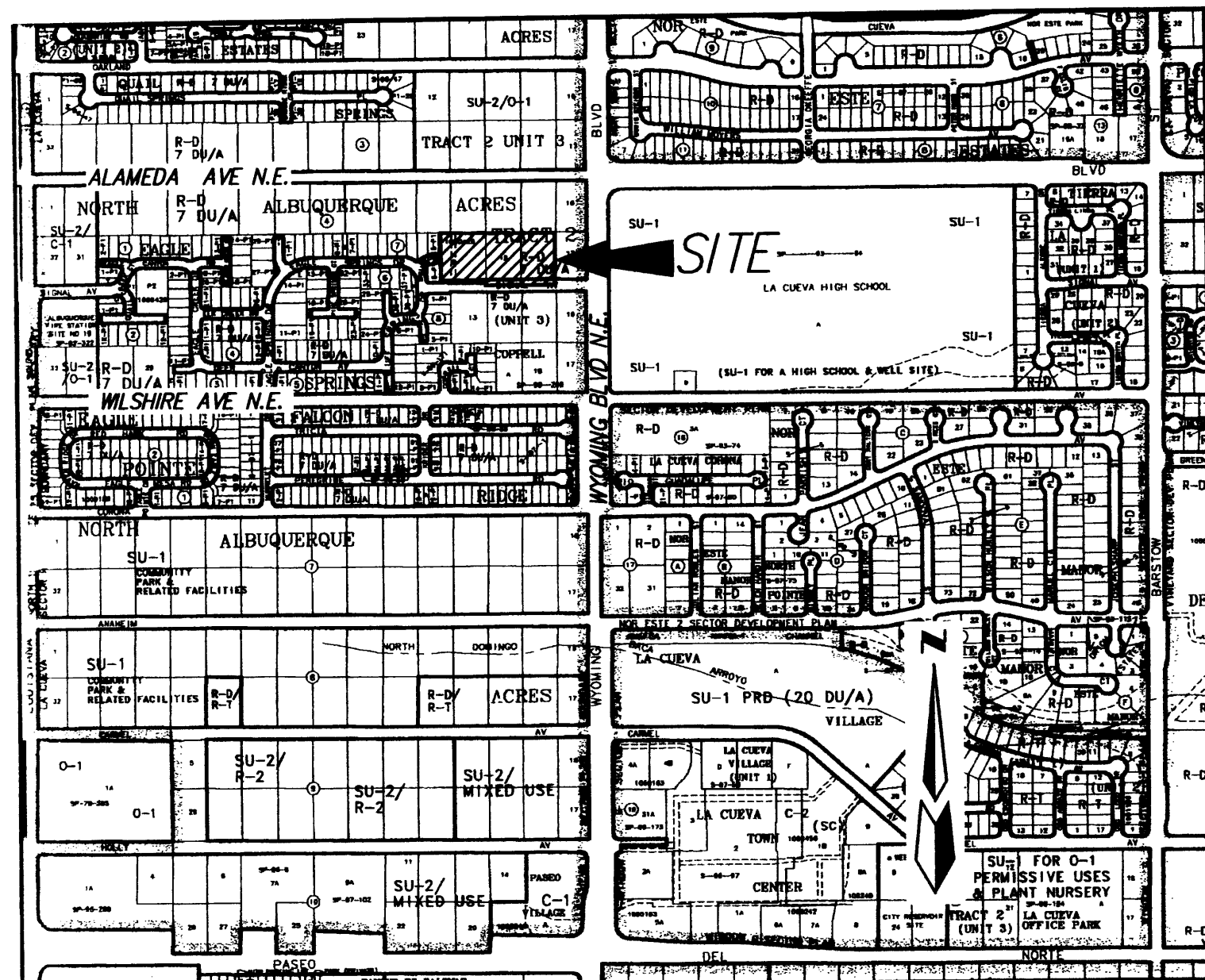
**EAGLE SPRINGS EXPANSION**

**SKETCH PLAT**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539



Designed: DMG	Drawn: KJS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 50'	Date: 08-02	Job: A02087	



ZONE ATLAS MAP # C-19-Z  
SCALE: NONE

PRELIMINARY PLAT FOR  
EAGLE SPRINGS, UNIT 2  
WITHIN THE  
ELENA GALLEGOS GRANT  
PROJECTED SECTION 18  
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2002

PURPOSE OF PLAT

1. SUBDIVIDE THREE (3) TRACTS INTO TWENTY (20) RESIDENTIAL LOTS AND THREE (3) HOA TRACTS.
2. DEDICATE RIGHT-OF-WAY AS SHOWN
3. GRANT NEW EASEMENTS AS SHOWN
4. VACATE EASEMENTS AS SHOWN

SUBDIVISION DATA

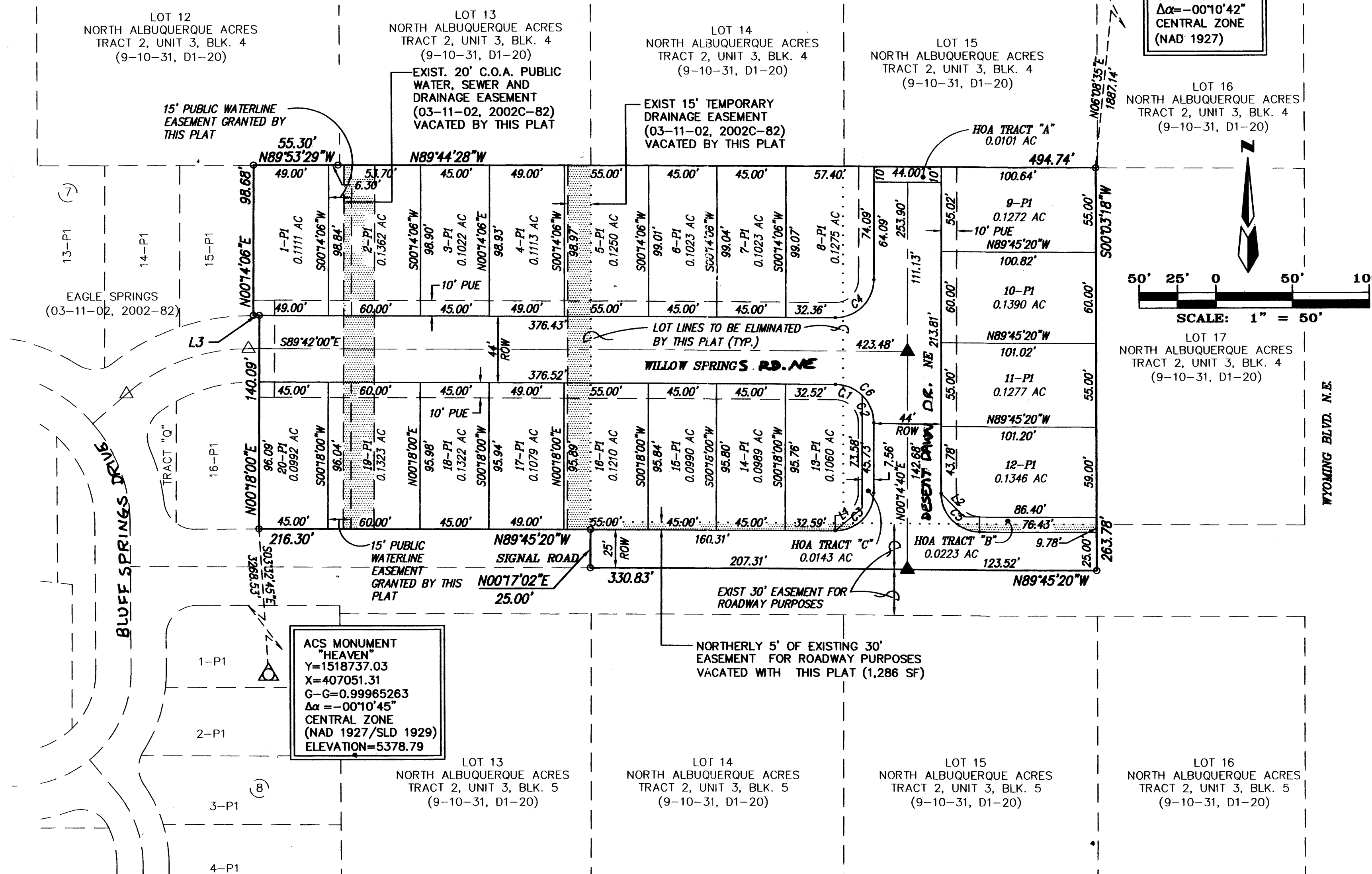
GROSS ACREAGE	3.1954 AC
ZONE ATLAS NO.	C-19-Z
NO. OF LOTS CREATED	20 LOTS
NO. OF TRACTS CREATED	3 TRACTS
AREA DEDICATED TO CITY	0.8388 AC
DATE OF SURVEY	MAY 2002
ZONING	R-D 7 DU/AC

NOTES

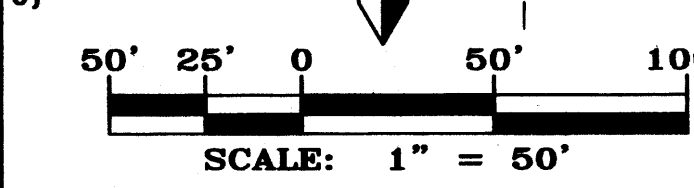
1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#7719
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED: "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" "DO NOT DISTURB" PS#7719"
3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. ALL DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
7. TRACTS A, B, AND C ARE DEEDED TO THE HOMEOWNERS ASSOCIATION AND TO BE MAINTAINED BY SAID OWNERS FOR LANDSCAPING PURPOSES.

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 18 and 19, BLOCK 4, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and TRACT "S", EAGLE SPRINGS SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2002 Book 2002, Page 82 and containing 3.1954 acres more or less.



ACS MONUMENT  
"B19"  
Y=1524110.18  
X=407598.16  
G-C=0.99965183  
Δα=-00°10'42"  
CENTRAL ZONE  
(NAD 1927)



LINE TABLE

LINE	BEARING	DISTANCE
L1	S49°31'07"W	22.99'
L2	N44°20'25"W	21.37'
L3	S89°42'00"E	3.93'

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	25.00	19.35	44°21'14"	10.19	N67°31'23"W	18.87
C2	25.00	19.89	45°35'26"	10.51	N22°33'03"W	19.37
C3	25.00	39.27	90°00'00"	25.00	N45°14'40"E	35.36
C4	25.00	39.29	90°03'20"	25.02	N45°16'20"E	35.37
C5	25.00	39.27	90°00'00"	25.00	S44°45'20"E	35.36
C6	25.00	39.25	89°56'40"	24.98	N44°43'40"W	35.34

LEGEND

- 1-P1 LOT NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY
- PUE PUBLIC UTILITY EASEMENT
- AREA TO VACATE

OWNERS

D. R. HORTON, INC.  
J. MARK FERGUSON, DIVISION PRESIDENT  
4400 Alameda NE, Suite B  
ALBUQUERQUE, N.M. 87113  
(505) 797-4245

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY  
P.O. BOX 30701  
ALBUQUERQUE, N.M. 87190-0701  
(505) 884-1990

APPROVED FOR MONUMENTATION AND STREET NAMES

*J. Mark Ferguson* 10-3-02  
City Surveyor, City of Albuquerque, N.M. Date

Owner: D. R. HORTON, INC

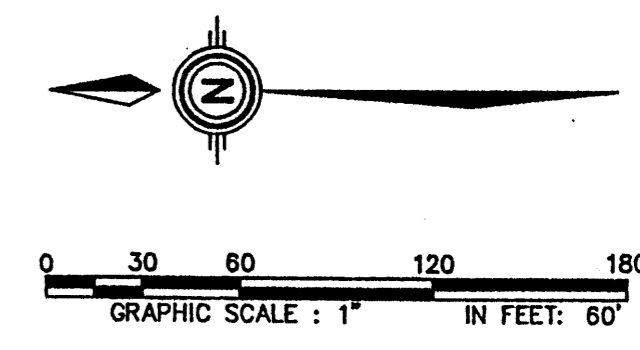
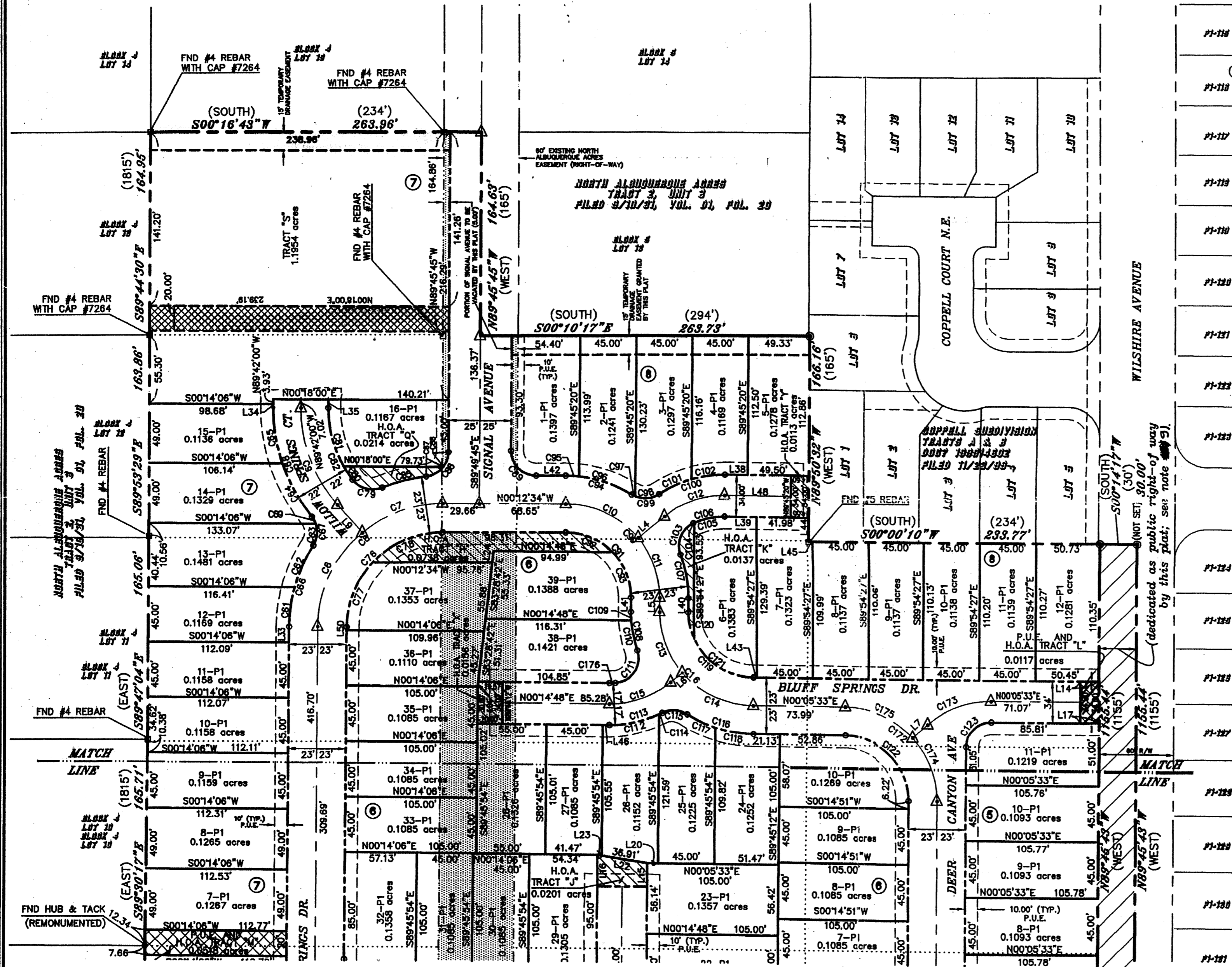
*J. Mark Ferguson* 9-26-02  
J. Mark Ferguson, Division President DATE



COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

# PLAT FOR EAGLE SPRINGS

BEING A PORTION OF BLOCK 4 & 5  
TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES  
SITUATE WITHIN  
THE ELENA GALLEGOS LAND GRANT  
PROJECTED SECTION 18, T11N, R4E, N.M.P.M.  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER 2001



- P1-118
- P1-119
- P1-120
- P1-121
- P1-122
- P1-123
- P1-124
- P1-125
- P1-126
- P1-127
- P1-128
- P1-129
- P1-130
- P1-131

- LEGEND**
- DENOTES EXISTING SIGNAL AVENUE (FILED 9/10/31, VOL. 01, FOL. 20) VACATED BY THIS PLAT. VAC. #00410-00000-00830
  - DENOTES H.O.A. PARCELS CREATED BY THIS PLAT.
  - DENOTES PUBLIC WATER, SEWER AND DRAINAGE EASEMENT GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE.

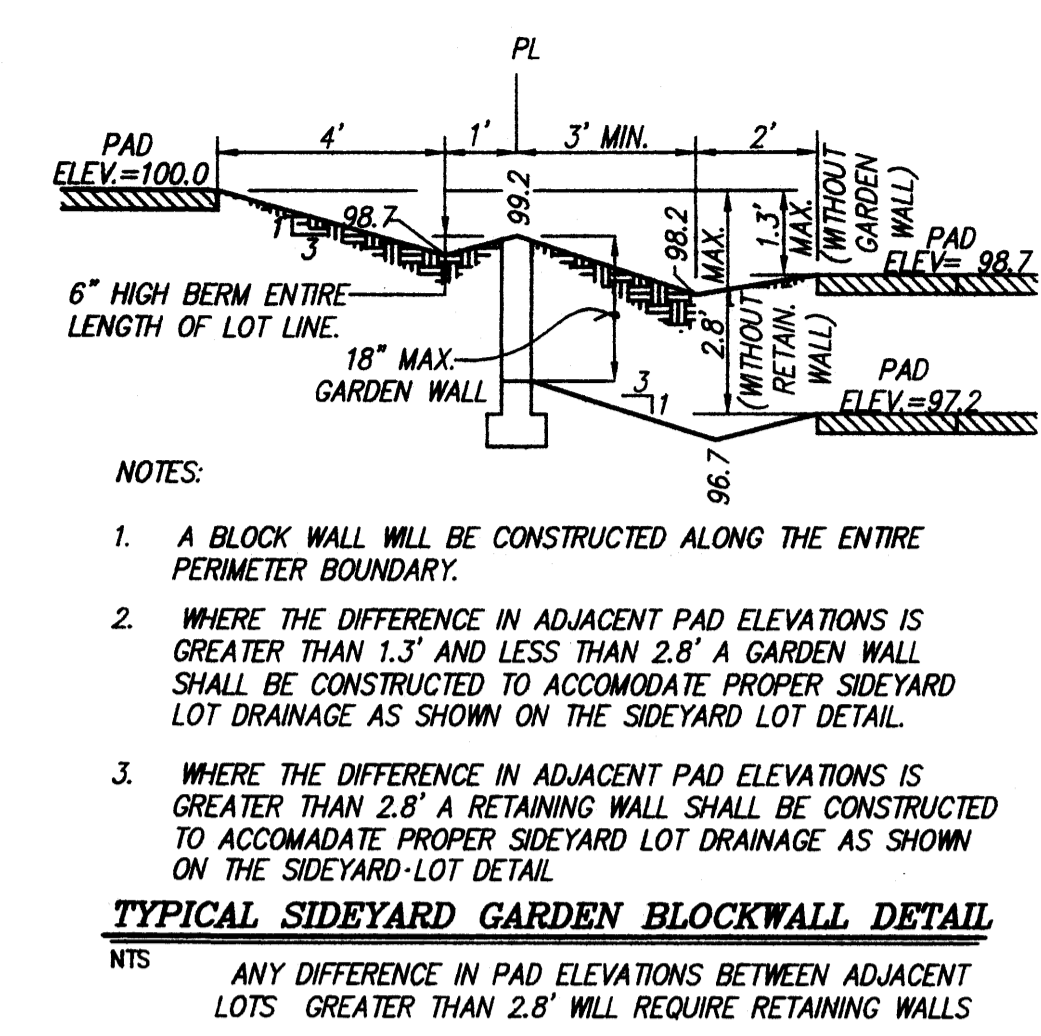
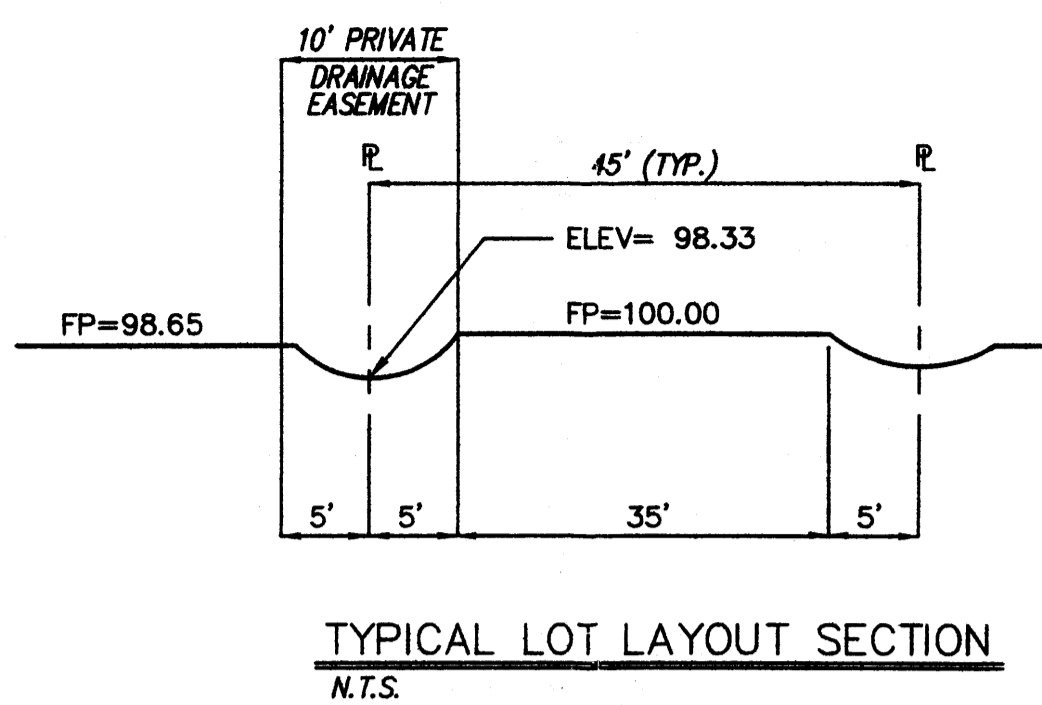
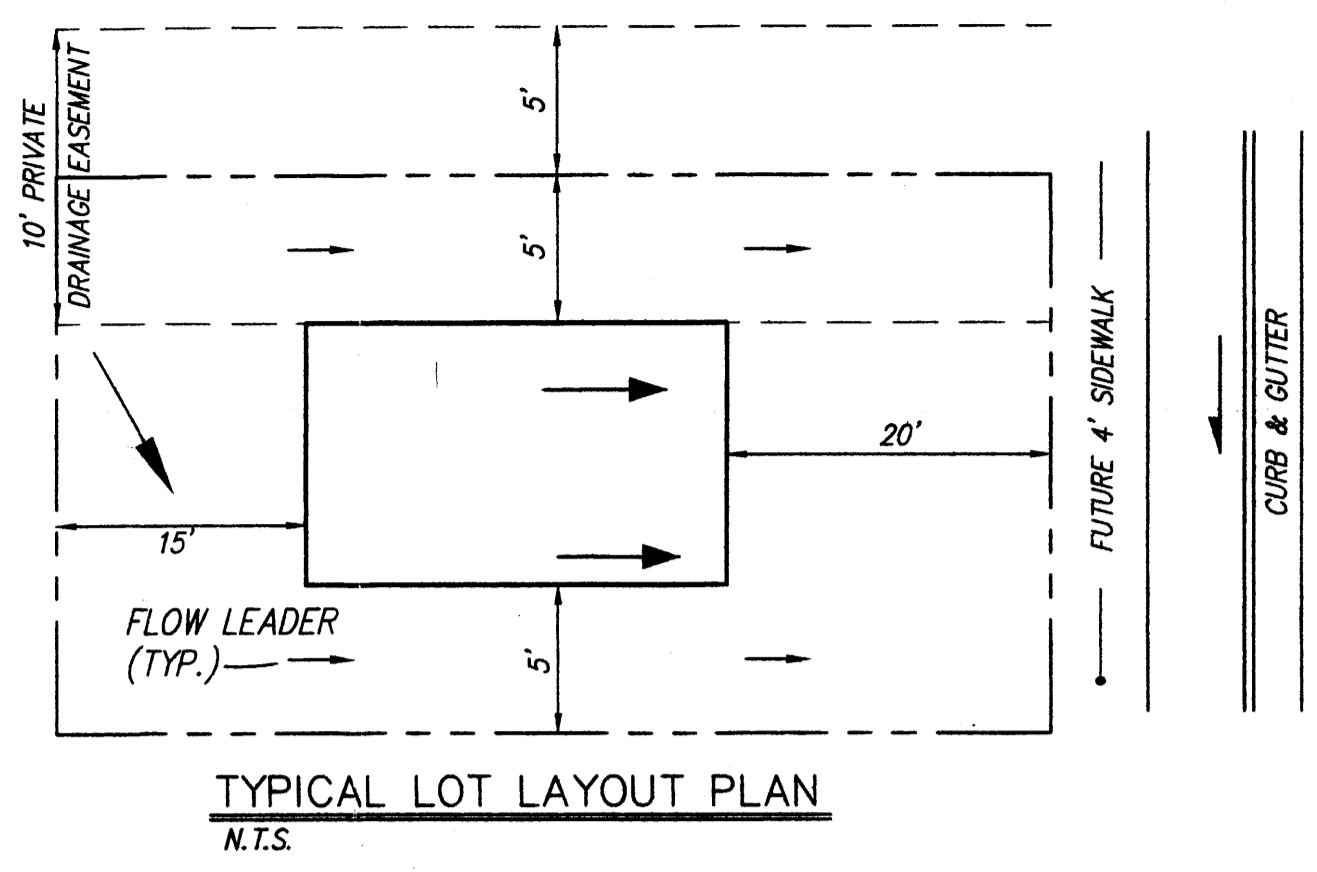
- MONUMENTATION**
- FOUND SURVEY MONUMENT AS DESCRIBED
  - △ SET CENTERLINE MONUMENT: FOUR INCH ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION SURVEY MARKER DO NOT DISTURB P.L.S. 12651".
  - SET NO.5 REBAR WITH 2" ALUM. CAP STAMPED "CSC PLS 12651", INDIVIDUAL LOT CORNERS SET BUT NOT SHOWN HEREON.
  - INTERIOR STREET PC'S AND PT'S NOT SET (SEE NOTE 4)

2892932891  
3699946  
Page 4 of 5  
83/11/2892 11-82A  
Mary Herrera Bern. Co. PLAT R 27.98 BK-2892C Pg-82

SHEET 4 OF 5

DATE: SEPTEMBER 2001		
SCALE: AS SHOWN		
DESIGNED: WHN, LAG		
DRAWN: WB		
JOB NO.: N510-06-020		
LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87048	SURVEYING

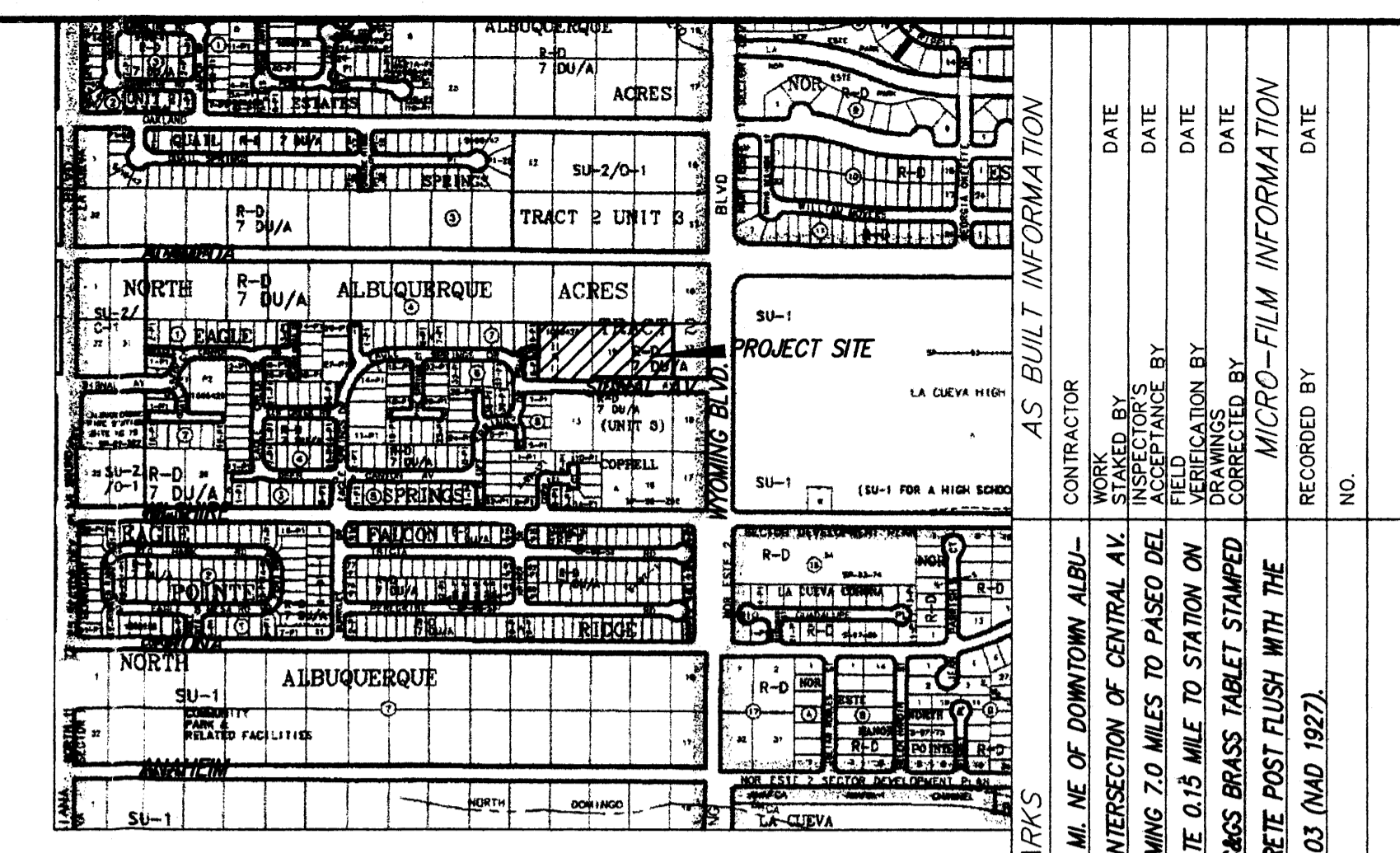




NOTES:

1. A BLOCK WALL WILL BE CONSTRUCTED ALONG THE ENTIRE PERIMETER BOUNDARY.
2. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 1.3' AND LESS THAN 2.8' A GARDEN WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.
3. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 2.8' A RETAINING WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.

**TYPICAL SIDEYARD GARDEN BLOCKWALL DETAIL**  
N.T.S.  
ANY DIFFERENCE IN PAD ELEVATIONS BETWEEN ADJACENT LOTS GREATER THAN 2.8' WILL REQUIRE RETAINING WALLS



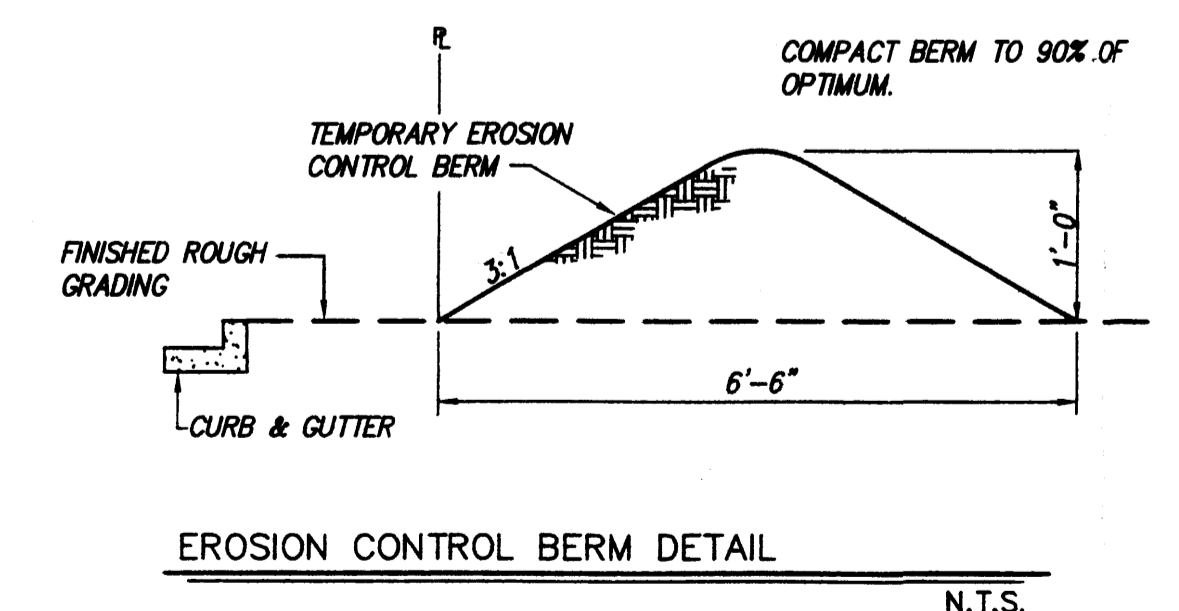
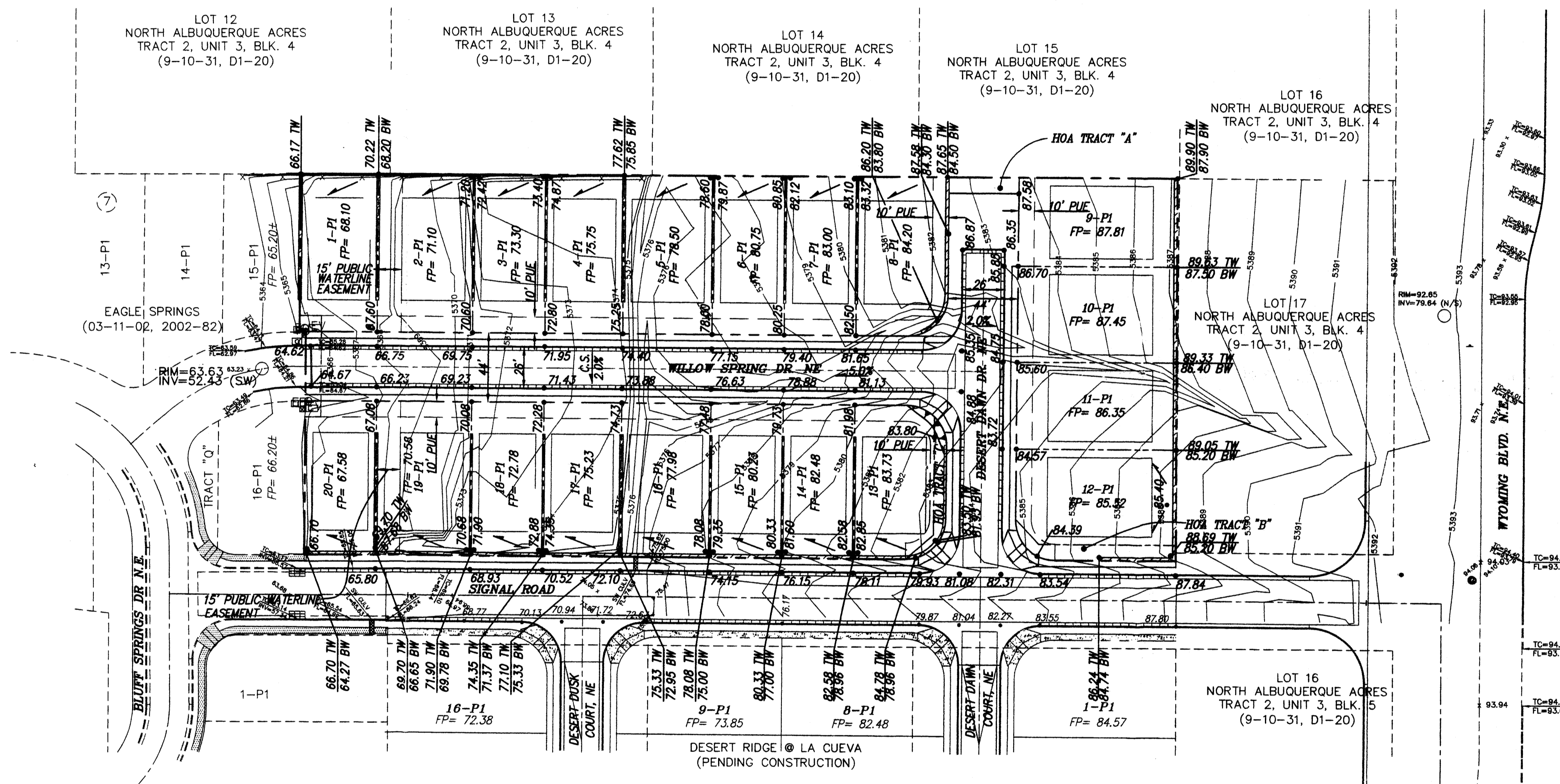
LOCATION MAP  
ZONE ATLAS C-19-Z  
SCALE: NONE

**LEGAL DESCRIPTION:**  
LOTS 18 AND 19, BLOCK 4, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, AND TRACT "S" EAGLE SPRINGS SUBDIVISION, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

**NOTES**  
1. ALL CURB & GUTTER IN THE SUBDIVISION IS STANDARD CURB & GUTTER.

**LEGEND**

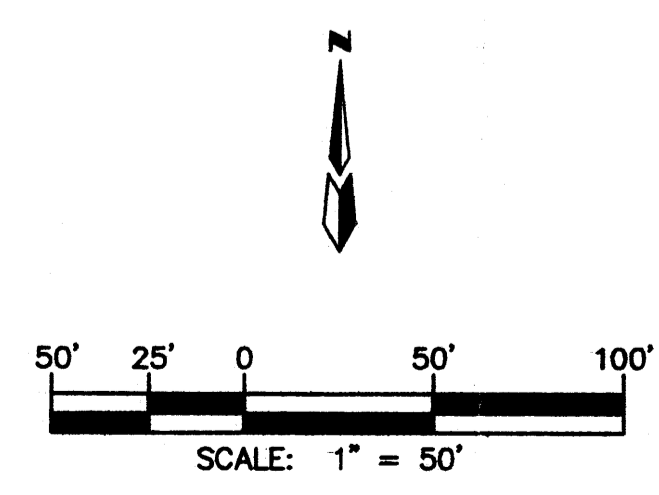
— 5615 —	EXISTING CONTOUR (MAJOR)
— 5616 —	EXISTING CONTOUR (MINOR)
— TC/FL = 00.0 —	EXISTING SPOT ELEVATION
— —	EXISTING CONCRETE CURB
— —	EXISTING CONCRETE SIDEWALK
— —	EXISTING WALL OR HEAD WALL
— —	EXISTING WATER VALVE
— —	EXISTING SANITARY SEWER MANHOLE
— —	EXISTING FIRE HYDRANT
— —	EXISTING UG TELEPHONE MARKER
— —	EXISTING GAS MARKER
— —	NEW MOUNTABLE CURB & GUTTER
— —	NEW STANDARD CURB & GUTTER
— —	NEW SIDEWALK
— —	NEW RIGHT-OF-WAY
— —	NEW CENTERLINE
— —	NEW LOT LINES
— —	NEW EASEMENTS
— —	PROPOSED SWALE
— —	PROPOSED GARDEN WALL
— —	PROPOSED RETAINING WALL
— —	BOTTOM OF RETAINING WALL
— —	TOP OF RETAINING WALL
— —	PROPOSED SPOT ELEVATION
— —	PROPOSED FINISHED PAD ELEVATION



**EROSION CONTROL NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.

APPROVED ROUGH GRADING ±18"  
CITY HYDROLOGY  
DATE



**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

TITLE: **EAGLE SPRINGS-UNIT 2 GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	C-19-Z	1	1

**ENGINEER'S SEAL**

NO. \_\_\_\_\_ DATE \_\_\_\_\_

BY \_\_\_\_\_

REVISIONS

NO.	DATE	REMARKS

DESIGNED BY **DLH** DATE **9/02**

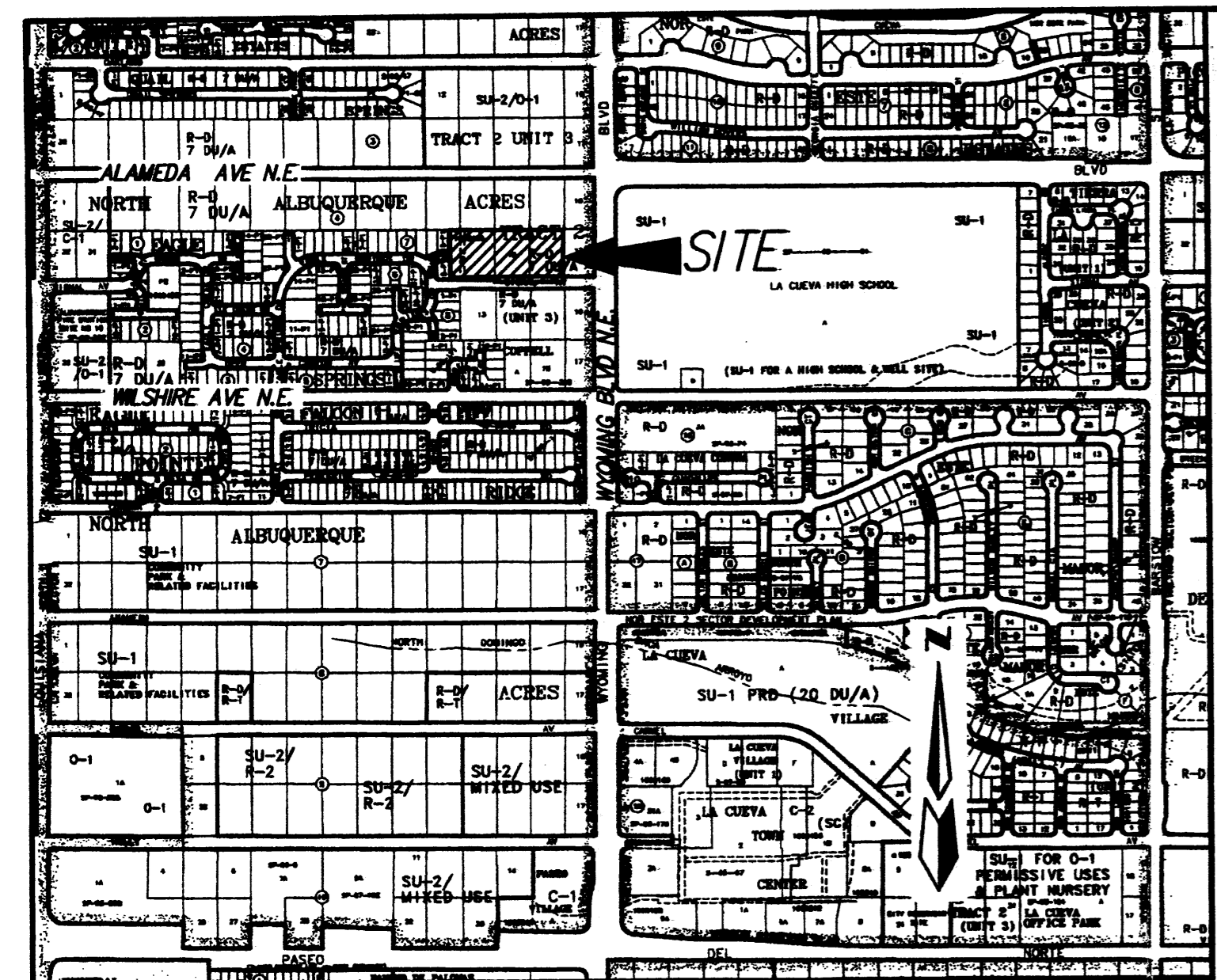
DRAWN BY **KJS** DATE **9/02**

CHECKED BY **DMG** DATE **9/02**

**AS-BUILT INFORMATION**

CONTRACTOR	DATE
INSPECTOR	DATE
VERIFICATION BY	DATE
DRAWING NO.	DATE
RECORDED BY	DATE
NO.	DATE

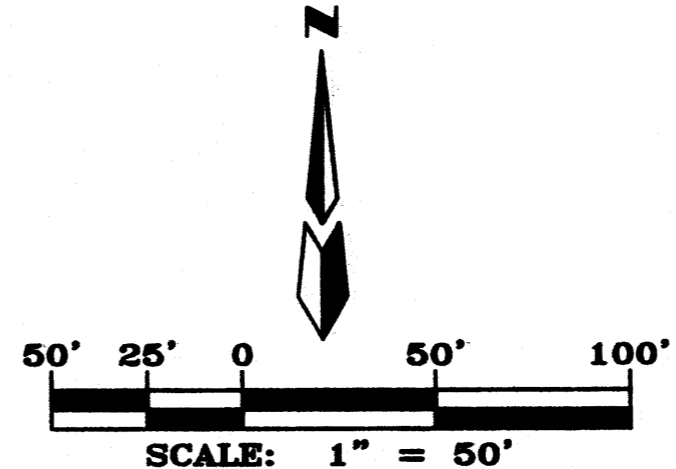




ZONE ATLAS MAP # C-19-Z  
SCALE: NONE

**GENERAL NOTES:**

- DEVELOPMENT DENSITY:**  
Gross site area is 3.1954 acres.  
Site is zoned R-D with maximum density of 7 du/ac. Density limitation allows for a maximum of 20 units over entire site.
- MINIMUM BUILDING SETBACK:**  
There is a five foot (5') internal sideyard set back to property line. Front yard setback is 15' and backyard is 15'. Minimum driveway length is 20'. Minimum distance between buildings is 10'.
- BUILDING HEIGHT:**  
Structure shall not exceed 26 feet in height.
- PARK DEVELOPMENT:**  
The developer will pay cash in lieu of park dedication.
- OPEN SPACE:**  
Total remaining Open Space requirements are met via the Provision of Detached Open Space per the Provisions of Section 14-16-3-B(3) of the City Zoning Code.
- PARKING:**  
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "P1" designation.
- BUILDINGS:**  
Buildings will be traditional style with pitched roofs and Siding will be stucco and may include stone or wood trim accents. The exterior stucco finish will consist of colors in shades of earthtones.
- LANDSCAPING:**  
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Xeriscaping.
- PERIMETER WALL:**  
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
- THE LANDSCAPE AREAS WITHIN/AND ABUTTING THE PUBLIC RIGHTS-OF-WAY:**  
As shown on the approved Site Development/Utility Plan, Landscape area within and abutting the public right-of-way shall be for the benefit of the Homeowners within Eagle Springs Subdivision, and shall be maintained by the Eagle Springs Homeowners Association.



EAGLE SPRINGS, UNIT 2  
WITHIN THE  
ELENA GALLEGOS GRANT  
PROJECTED SECTION 18  
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2002

**SUBDIVISION DATA**

GROSS ACREAGE	3.1954 AC
ZONE ATLAS NO.	C-19-Z
NO. OF LOTS CREATED	20 LOTS
NO. OF TRACTS CREATED	3 TRACTS
AREA DEDICATED TO CITY	0.8388 AC
DATE OF SURVEY	MAY 2002
ZONING	R-D 7 DU/AC

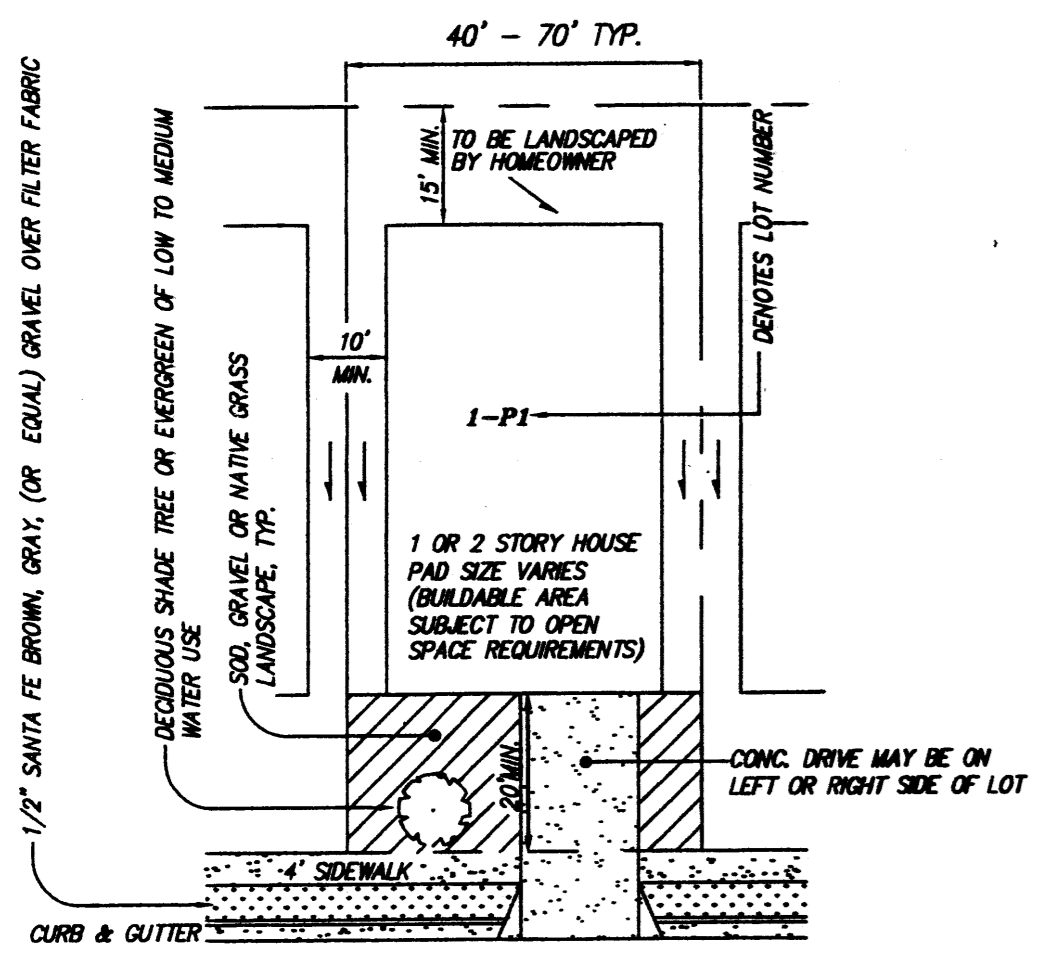
**DESCRIPTION**

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 18 and 19, BLOCK 4, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Volume D1, Folio 20 and TRACT "S", EAGLE SPRINGS SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2002 Book 2002, Page 82 and containing 3.1954 acres more or less.

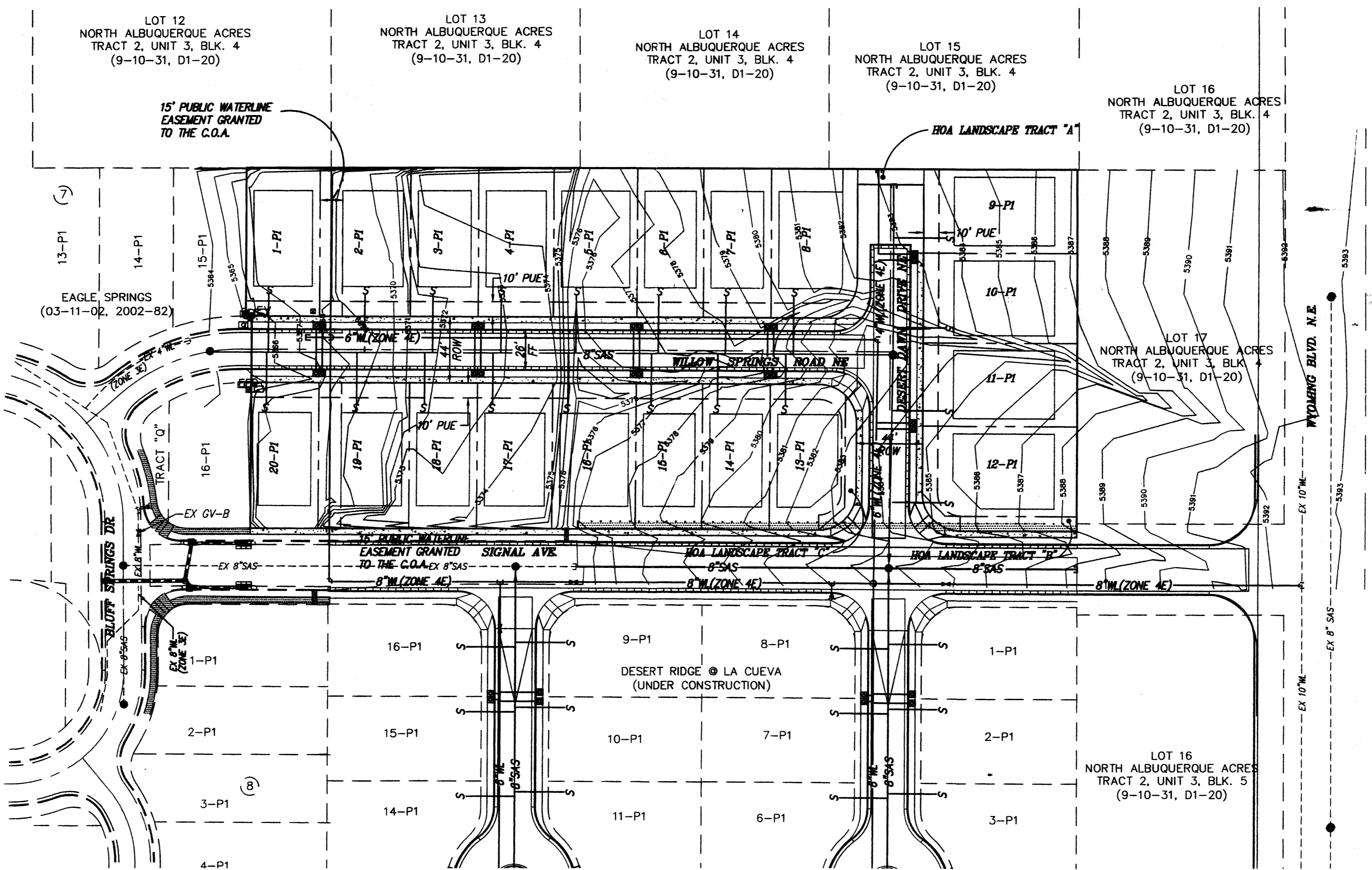
PROJECT NO.  
APPLICATION NO.

**APPROVED AND ACCEPTED BY:**

- Planning Department
- City Engineer
- Transportation Development
- Utility Development
- Parks and Recreation

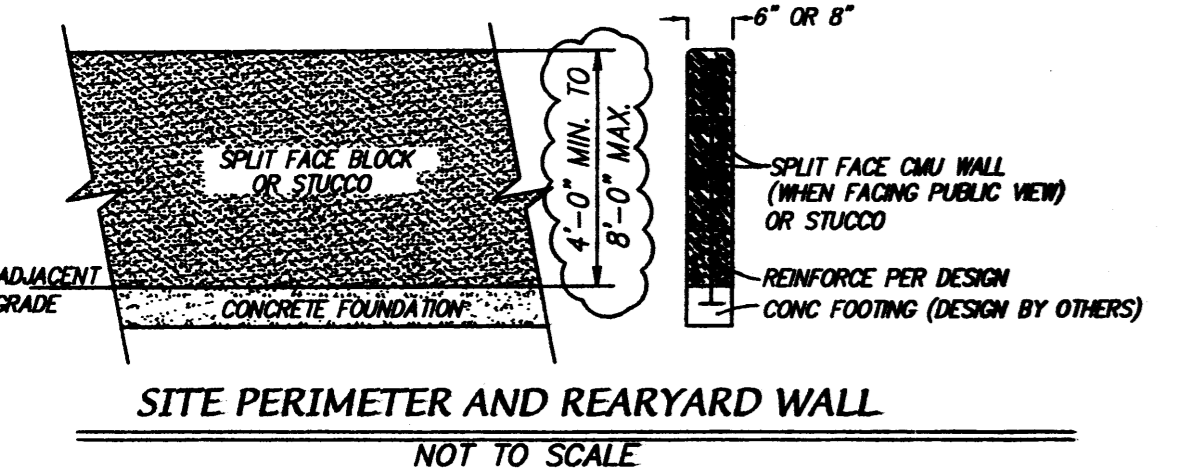


TYPICAL LOT LAYOUT & LANDSCAPE PLAN  
NOT TO SCALE



**LEGEND**

- |       |                                     |   |                                   |   |                 |
|-------|-------------------------------------|---|-----------------------------------|---|-----------------|
| —     | EXISTING EDGE OF PAVEMENT           | — | ASPHALT PATH/TRAIL (WIDTH VARIES) | ▨ | NEW 4' SIDEWALK |
| - - - | EXISTING WATERLINE                  | — | NEW SIDEYARD WALL                 | ▨ | 5' ROW VACATION |
| - - - | EXISTING SANITARY SEWER LINE        | — | NEW SANITARY SEWER SERVICE        |   |                 |
| - - - | NEW 8" SAS                          | — | NEW DOUBLE WATER METER BOX        |   |                 |
| —     | NEW SANITARY SEWER LINE AND MANHOLE | — | NEW SINGLE WATER METER BOX        |   |                 |
| —     | NEW RETAINING WALL                  | — | NEW PROPERTY LINE                 |   |                 |
| —     | NEW CURB AND GUTTER                 | — | NEW EASEMENT LINE                 |   |                 |
| —     | EXISTING CURB AND GUTTER            | — | FUTURE SANITARY SEWER LINE        |   |                 |
| —     | EXISTING PROPERTY LINE              | — | FUTURE WATERLINE                  |   |                 |



SITE PERIMETER AND REARYARD WALL  
NOT TO SCALE

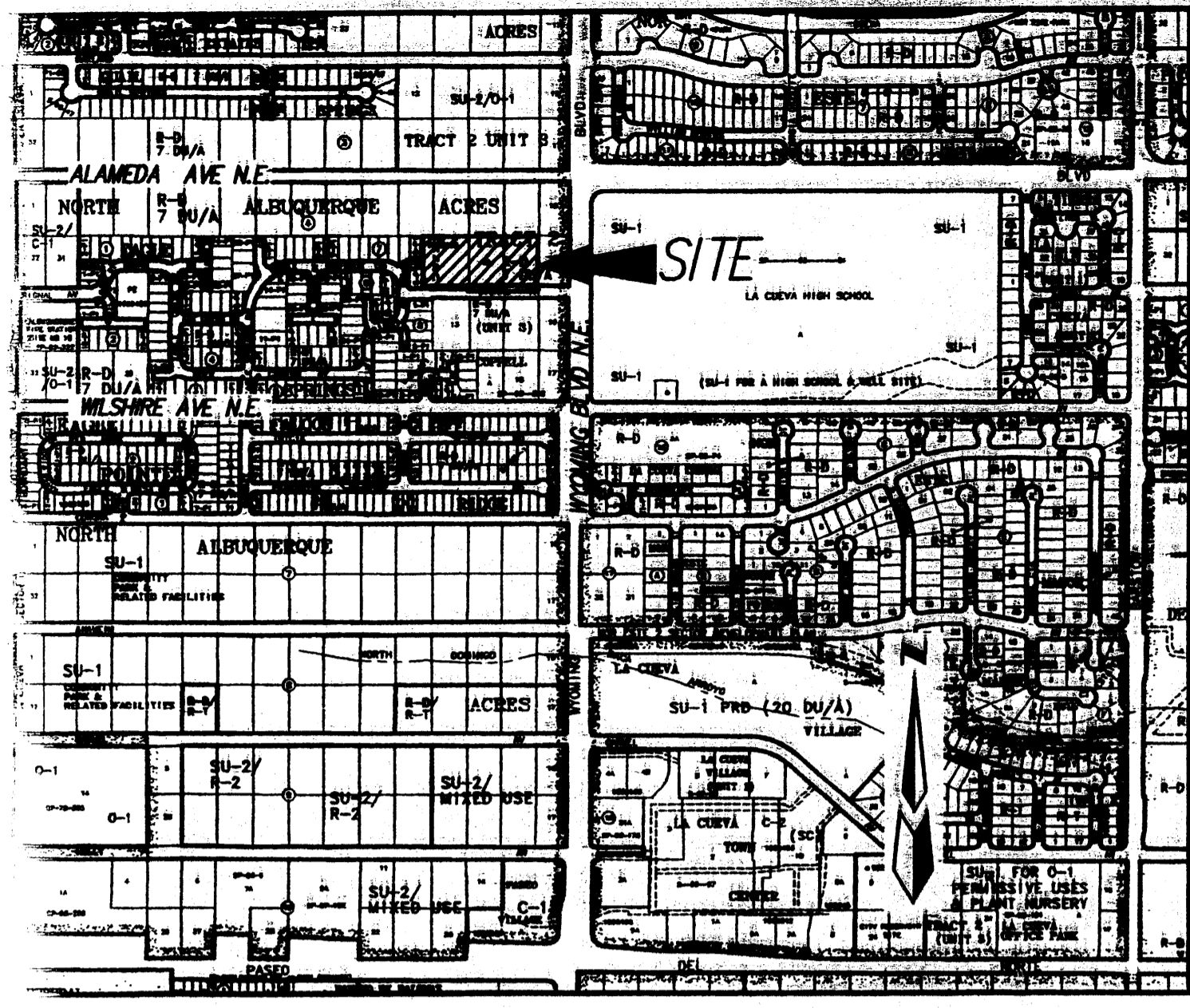
**EAGLE SPRINGS SUBDIVISION, UNIT 2**

**SITE DEVELOPMENT / UTILITY PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

siteplan.dwg	Drawn: STEPHEN	Checked: DMG	Sheet 1 of 1
Scale: 1" = 50'	Date: 10/10/02	Job: A02087	

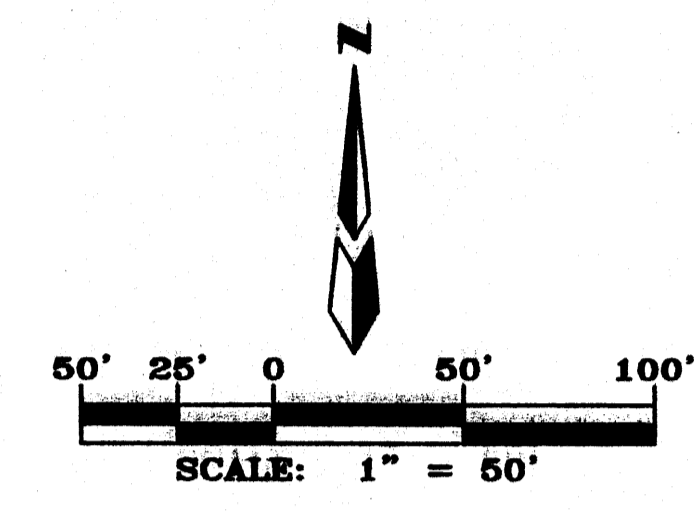




ZONE ATLAS MAP # C-19-2  
SCALE: NONE

**GENERAL NOTES:**

- DEVELOPMENT DENSITY:**  
Gross site area is 3.1954 acres.  
Site is zoned R-D with maximum density of 7 du/ac. Density limitation allows for a maximum of 20 units over entire site.
- MINIMUM BUILDING SETBACK:**  
There is a five foot (5') internal sideyard set back to property line. Front yard setback is 15' and backyard is 15'. Minimum driveway length is 20'. Minimum distance between buildings is 10'.
- BUILDING HEIGHT:**  
Structure shall not exceed 26 feet in height.
- PARK DEVELOPMENT:**  
The developer will pay cash in lieu of park dedication.
- OPEN SPACE:**  
Total remaining Open Space requirements are met via the Provision of Detached Open Space per the Provisions of Section 14-16-3-8(A)(3) of the City Zoning Code.
- PARKING:**  
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "P1" designation.
- BUILDINGS:**  
Buildings will be traditional style with pitched roofs and Siding will be stucco and may include stone or wood trim accents. The exterior stucco finish will consist of colors in shades of earthtones.
- LANDSCAPING:**  
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- PERIMETER WALL:**  
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
- THE LANDSCAPE AREAS WITHIN/AND ABUTTING THE PUBLIC RIGHTS-OF-WAY:**  
As shown on the approved Site Development/Utility Plan, Landscape area within and abutting the public right-of-way shall be for the benefit of the Homeowners within Eagle Springs Subdivision, and shall be maintained by the Eagle Springs Homeowners Association.



**EAGLE SPRINGS, UNIT 2**  
WITHIN THE  
ELENA GALLEGOS GRANT  
PROJECTED SECTION 18  
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2002

**SUBDIVISION DATA**

GROSS ACREAGE	3.1954 AC
ZONE ATLAS NO.	C-19-Z
NO. OF LOTS CREATED	20 LOTS
NO. OF TRACTS CREATED	3 TRACTS
AREA DEDICATED TO CITY	0.8388 AC
DATE OF SURVEY	MAY 2002
ZONING	R-D 7 DU/AC

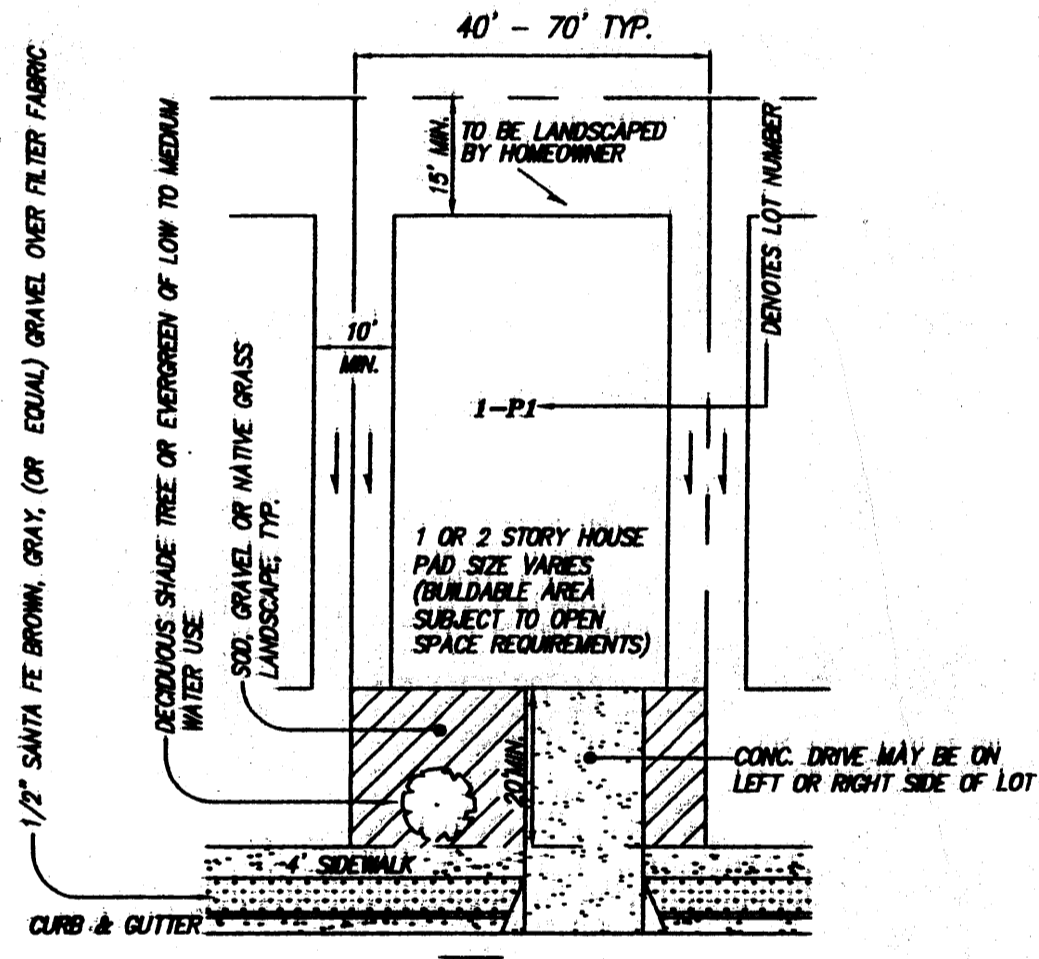
**DESCRIPTION**

A tract of land situated, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico, Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 18 and 19, BLOCK 4, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and TRACT 7, EAGLE SPRINGS SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2002 Book 2002, Page 82 and containing 3.1954 acres HIGH & LESS.

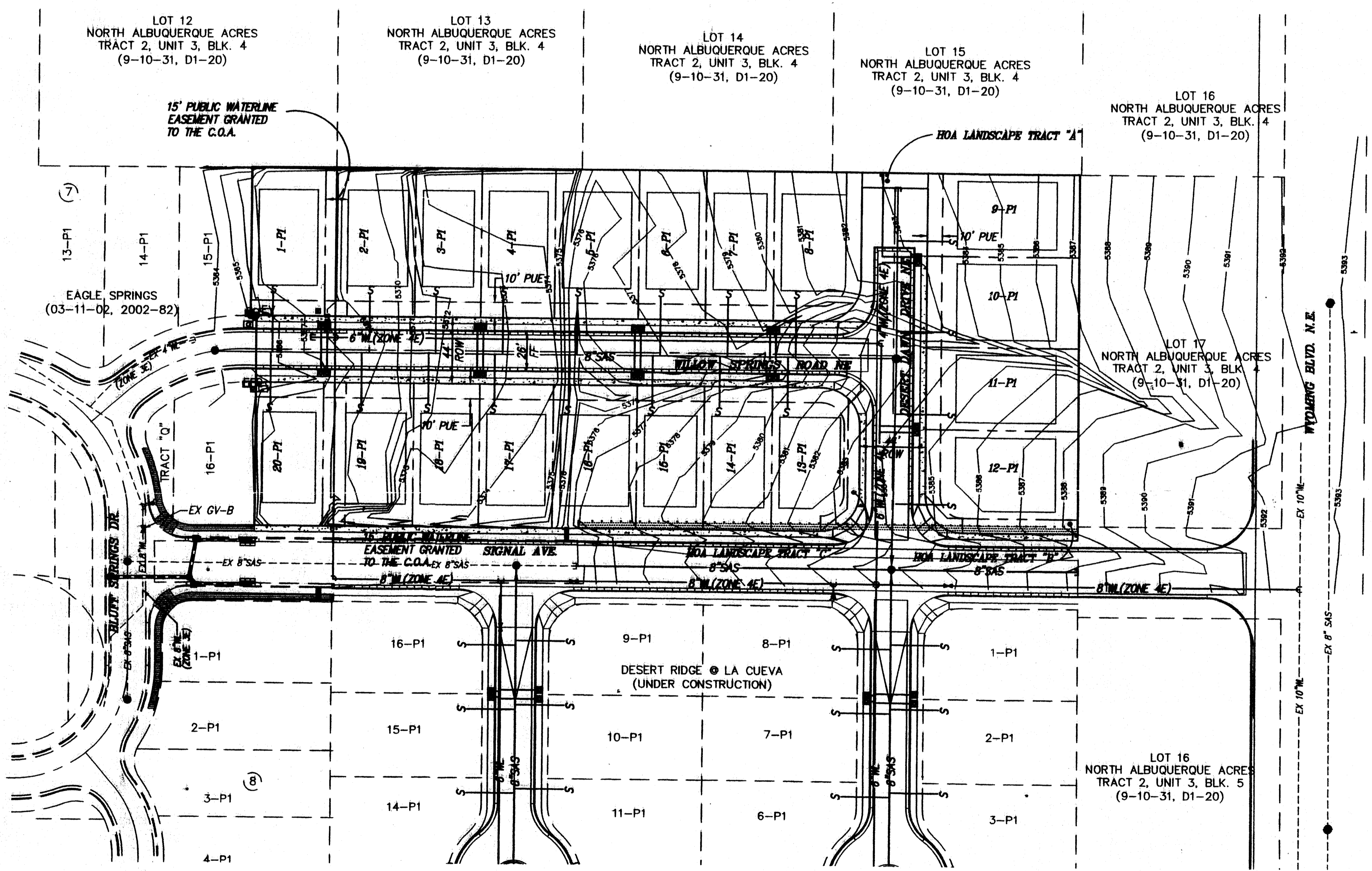
PROJECT NO.  
APPLICATION NO.

**APPROVED AND ACCEPTED BY:**

- Planning Department \_\_\_\_\_
- City Engineer \_\_\_\_\_
- Transportation Development \_\_\_\_\_
- Utility Development \_\_\_\_\_
- Parks and Recreation \_\_\_\_\_

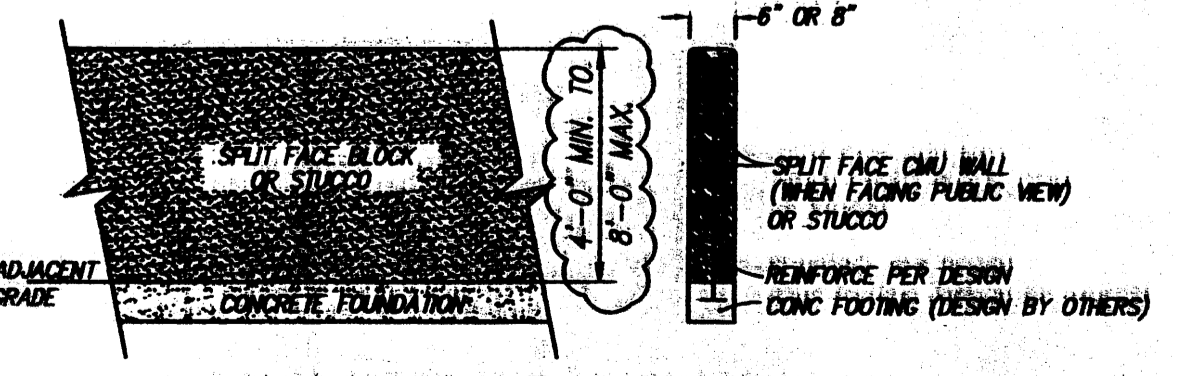


TYPICAL LOT LAYOUT & LANDSCAPE PLAN  
NOT TO SCALE



**LEGEND**

—	EXISTING EDGE OF PAVEMENT	—	ASPHALT PATH/TRAIL (WIDTH VARIES)	—	NEW 4' SIDEWALK
- - -	EXISTING WATERLINE	—	NEW SIDEYARD WALL	—	5' ROW VACATION
- - -	EXISTING SANITARY SEWER LINE	—	NEW SANITARY SEWER SERVICE	—	
- - -	NEW 8" SAS	—	NEW DOUBLE WATER METER BOX	—	
—	NEW SANITARY SEWER LINE AND MANHOLE	—	NEW SINGLE WATER METER BOX	—	
—	NEW RETAINING WALL	—	NEW PROPERTY LINE	—	
—	NEW CURB AND GUTTER	—	NEW EASEMENT LINE	—	
—	EXISTING CURB AND GUTTER	—	8" SAS	—	
—	EXISTING PROPERTY LINE	—	8" W	—	



SITE PERIMETER AND REARYARD WALL  
NOT TO SCALE

*Conceptual Utility Layout - Planning*  
**EAGLE SPRINGS SUBDIVISION, UNIT 2**

**SITE DEVELOPMENT / UTILITY PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 8888  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539



PLAT FOR  
**EAGLE SPRINGS, UNIT 2**  
 WITHIN THE  
 ELENA GALLEGOS GRANT  
 PROJECTED SECTION 18  
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2003

LINE TABLE		
LINE	BEARING	DISTANCE
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L2	N00°18'00"E	79.63'
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L5	N89°42'00"W	3.93'
L6	S49°31'07"W	22.99'
L7	N44°20'25"W	21.37'

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
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C3	25.00	19.35	44°21'14"	10.19	N67°31'23"W	18.87
C4	25.00	19.89	45°35'26"	10.51	N22°33'03"W	19.37
C5	25.00	39.27	90°00'00"	25.00	N45°14'40"E	35.36
C6	25.00	39.29	90°03'20"	25.02	N45°16'20"E	35.37
C7	25.00	39.27	90°00'00"	25.00	S44°45'20"E	35.36
C8	25.00	39.25	89°56'40"	24.98	N44°43'40"W	35.34

All open space requirements are met on the lot with the dwelling per provisions of Section 14-16-3-8 (A)(1).

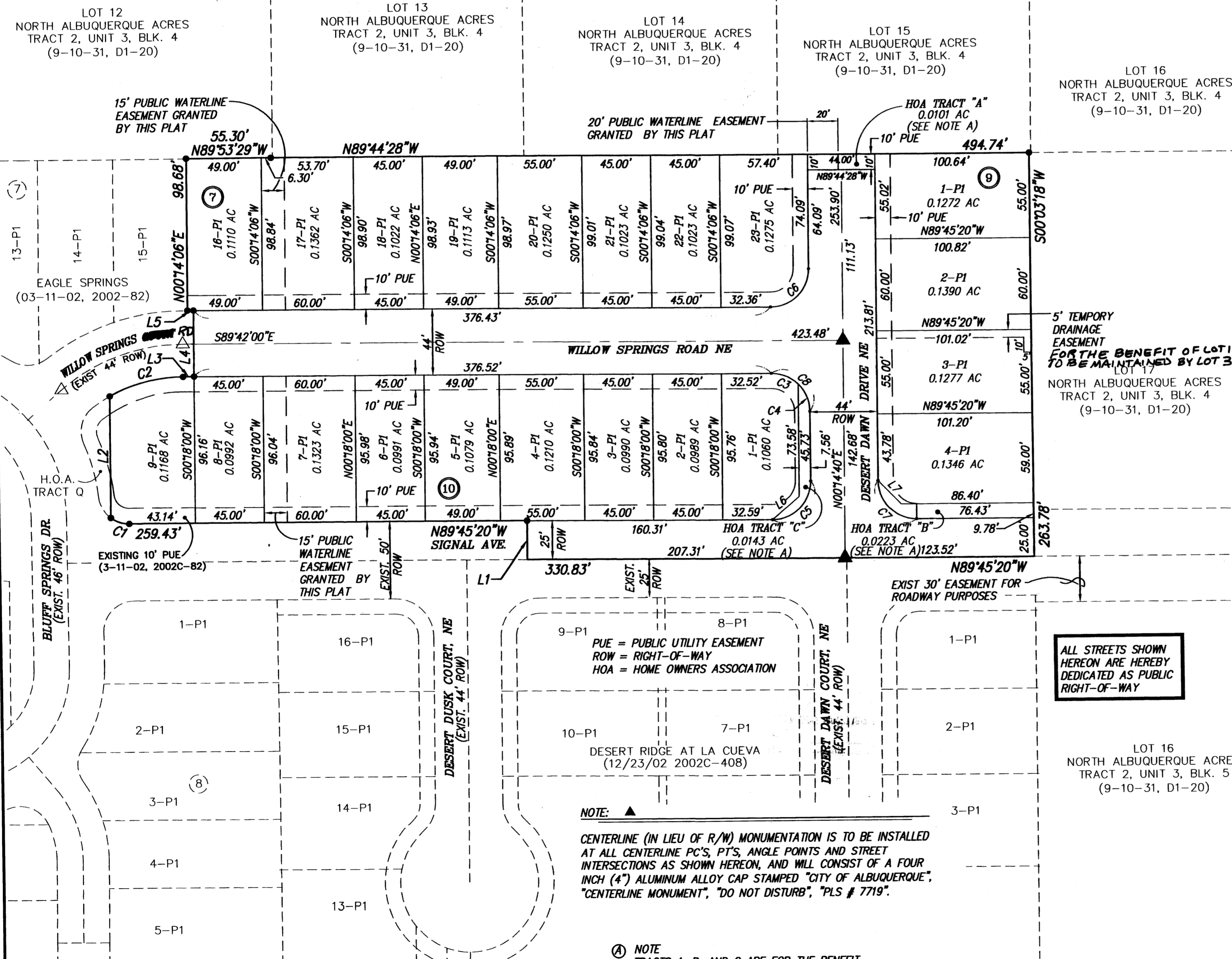
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3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

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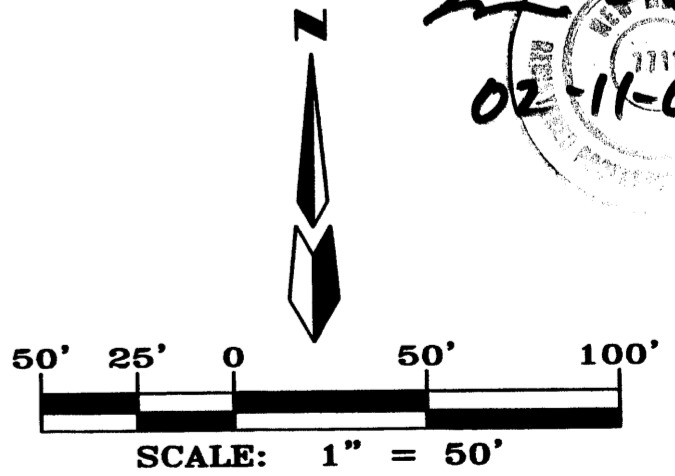
PUE = PUBLIC UTILITY EASEMENT  
 ROW = RIGHT-OF-WAY  
 HOA = HOME OWNERS ASSOCIATION

NOTE: ▲  
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

NOTE  
 TRACTS A, B, AND C ARE FOR THE BENEFIT OF THE HOMEOWNERS, TO BE MAINTAINED BY THE EAGLE SPRINGS HOMEOWNERS ASSOCIATION.

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

WYOMING BLVD. N.E.  
 (EXIST. 108' ROW)



02-11-03

Mary Herrera  
 Bern. Co. PLAT  
 R 17.00 Bk-2893C Pg-75

PLAT FOR  
**EAGLE SPRINGS, UNIT 2**  
 WITHIN THE  
 ELENA GALLEGOS GRANT  
 PROJECTED SECTION 18  
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2003

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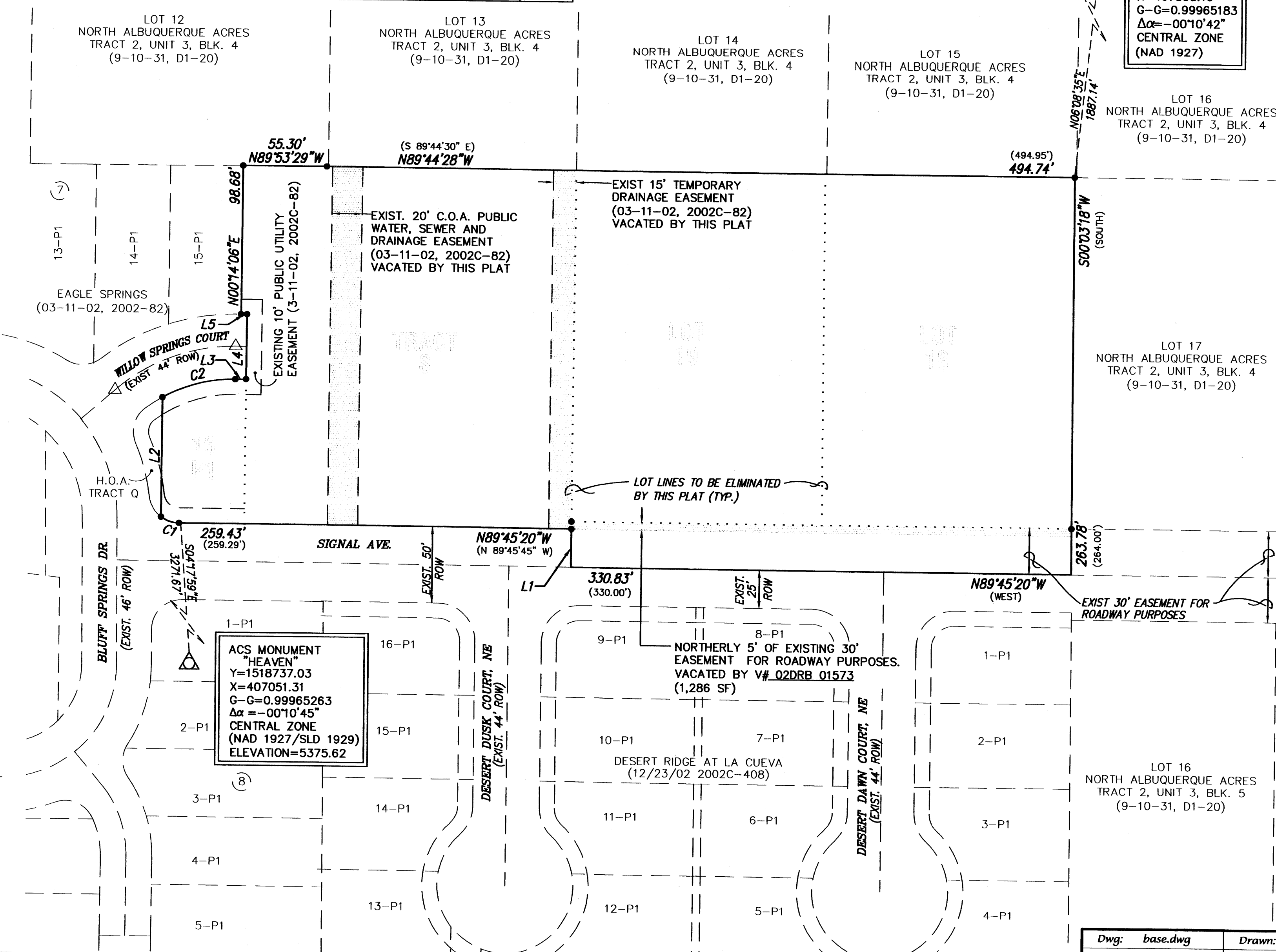
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N00°17'02"E	25.00'
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CURVE TABLE						
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C2	98.00	50.14	29°18'43" (29°18'42")	25.63	N75°39'04"E (N75°38'39"E)	49.59

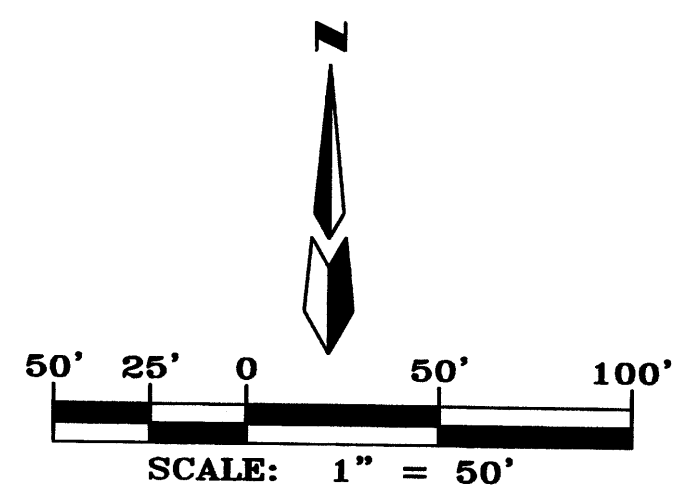
- SET 5/8" REBAR WITH CAP  
 "ALS LS 7719" (TYP.)



ACS MONUMENT  
 "1-B19"  
 Y=1524110.18  
 X=407598.16  
 G-G=0.99965183  
 Δα=-00°10'42"  
 CENTRAL ZONE  
 (NAD 1927)



WYOMING BOULEVARD N.E.  
 (EXIST 108' ROW)

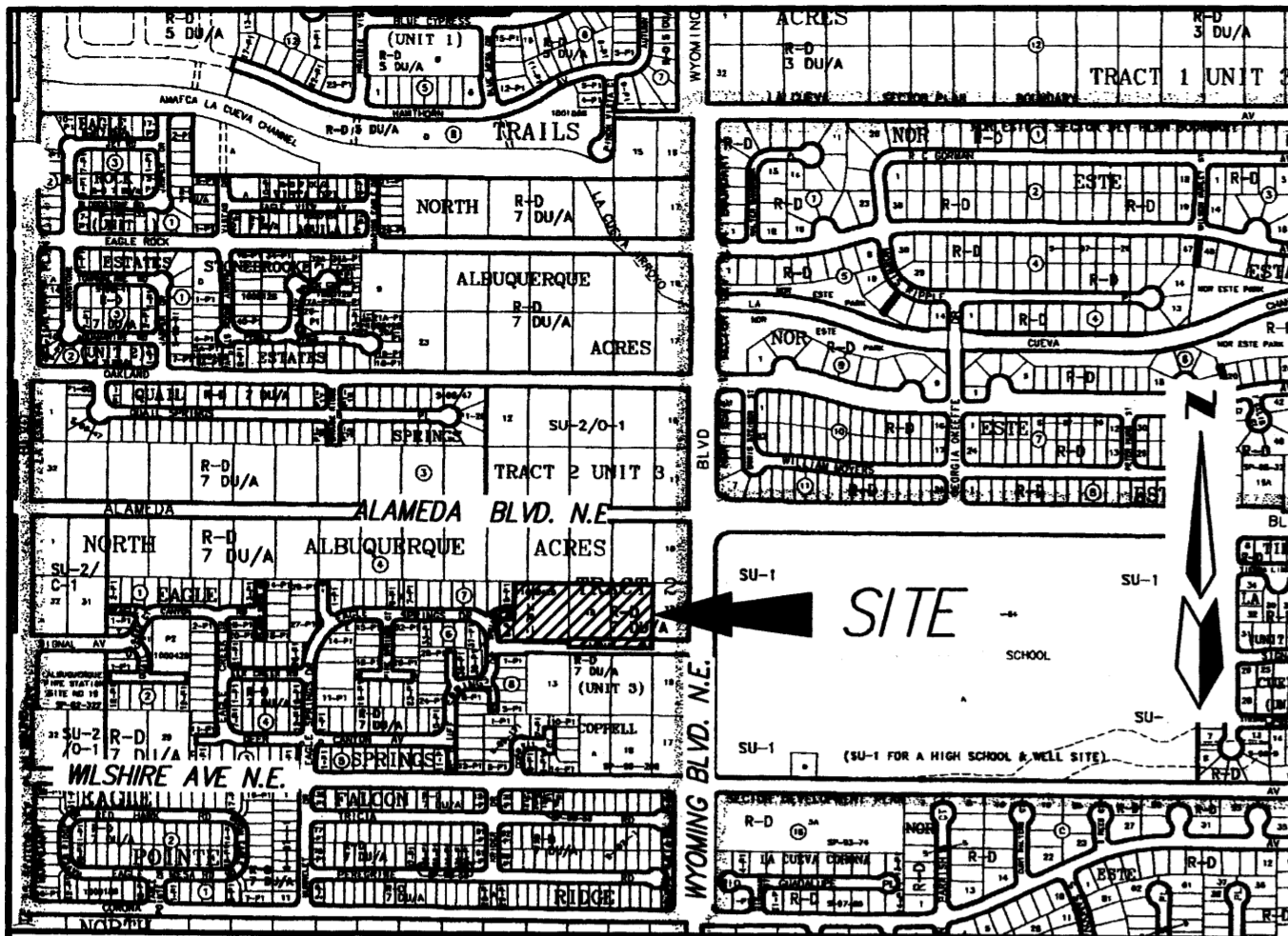


ACS MONUMENT  
 "HEAVEN"  
 Y=1518737.03  
 X=407051.31  
 G-G=0.99965263  
 Δα=-00°10'45"  
 CENTRAL ZONE  
 (NAD 1927/SLD 1929)  
 ELEVATION=5375.62

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 3
Scale: AS SHOWN	Date: 02/10/03	Job: A02087	







**LOCATION MAP** **ZONE ATLAS C-19-Z**  
SCALE: NONE

**SUBDIVISION DATA**

Plat Case No's. .... Project # 1002183  
 Case # **03-00227**

Gross acreage ..... 3.3122 AC  
 Zone Atlas No. .... C-19-Z  
 No. of existing Tracts/Lots ..... 1 TRACT/3 LOTS  
 No. of Tracts/Lots created ..... 3 TRACTS/21 LOTS  
 No. of Tracts/Lots eliminated ..... 1 TRACT/3 LOTS  
 Miles of full width streets created ..... 0.13  
 Area dedicated to the City of Albuquerque ..... 0.8388 AC  
 Date of Survey ..... MAY, 2002  
 Utility Control Location System Log Number ..... 2002361363

**FREE CONSENT AND DEDICATION:**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby dedicate portions of Signal Ave. in fee simple Without warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

D. R. HORTON, INC  
 BY: J. MARK FERGUSON, DIVISION PRESIDENT

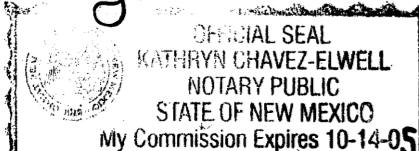
*J. Mark Ferguson* 01-16-03  
 J. Mark Ferguson, Division President Date

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO SS  
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on January 16, 2003  
 By J. Mark Ferguson, Division President of D.R. Horton, Inc. a Delaware Corporation,  
 on behalf of said corporation.

*Kathryn Chavez-Elwell* 10-14-05  
 NOTARY PUBLIC MY COMMISSION EXPIRES



**LEGAL DESCRIPTION** (SEE SHEET 2)

**NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:  
 Plat for "Eagle Springs Subdivision" ( 03-11-02, 2002-82)  
 Plat for "North Albuquerque Acres Subdivision, Tract 2, Unit 3, Block 4" (9-10-31, D1-20)  
 Plat for "North Albuquerque Acres Subdivision, Tract 2, Unit 3, Block 5" (9-10-31, D1-20)  
 all being records of Bernalillo County, New Mexico.
- Field Survey performed August, 2002.
- Unless otherwise noted all point are SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP).

**PURPOSE OF PLAT**

- Subdivide 1 Tract and 1 Lot, Eagle Springs, Unit 1 and 2 Lots North Albuquerque Acres Subdivision into Three HOA Tracts and 21 Residential Lots.
- Grant easements as shown.
- Dedicate right-of-way as shown.
- Vacate Easements as shown.
- Rename Willow Springs Court to Willow Springs Road.
- Rename Lot 16-P1, Block 7 to Lot 9-P1, Block 10.

PLAT FOR  
**EAGLE SPRINGS, UNIT 2**  
 WITHIN THE  
 ELENA GALLEGOS GRANT  
 PROJECTED SECTION 18  
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMMP  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2003

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1002183

Application No. 03 DRB 00227

<i>Sheran Matson, AICP</i>	5/6/03
Planning Director, City of Albuquerque, N.M.	Date
<i>Bradley D. Bigham</i>	2-26-03
City Engineer, City of Albuquerque, N.M.	Date
<i>Rubal Dant</i>	2-26-03
Albuquerque Metropolitan Arroyo Flood Control Authority	Date
<i>Rubal Dant</i>	2-26-03
Transportation Development, City of Albuquerque, N.M.	Date
<i>Roger J. Sloan</i>	2/26/03
Utility Development Division, City of Albuquerque, N.M.	Date
<i>Christina Sandora</i>	3/4/03
Parks and Recreation	Date
<i>John B. Hart</i>	2-11-03
City Surveyor, City of Albuquerque, N.M.	Date
<i>N/A</i>	
Property Management, City of Albuquerque, N.M.	Date
<i>Leah D. Mott</i>	2-12-03
PNM Gas	Date
<i>Leah D. Mott</i>	2-12-03
PNM Electric	Date
<i>Daniel R. Muller</i>	2-12-03
Qwest Telecommunications	Date
<i>Rita Zieck</i>	2-12-03
Comcast Cable	Date
<i>Robert C. Prewitt</i>	3-3-03
Robert C. Prewitt, President Eagle Springs Home Owners Association	Date

**SURVEYOR'S CERTIFICATION**

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

*Timothy Aldrich* 02-11-03  
 Timothy Aldrich, P.S. No. 7719 Date



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
 PAID ON UPC # 1-019-064-238332, 1-019-064-189331-2012  
 PROPERTY OWNER OF RECORD:  
 D.R. Horton, Inc. + Del Cosme Myrna  
 BERNALILLO COUNTY TREASURER'S OFFICE  
*William D. Kavanaugh* 3/24/03

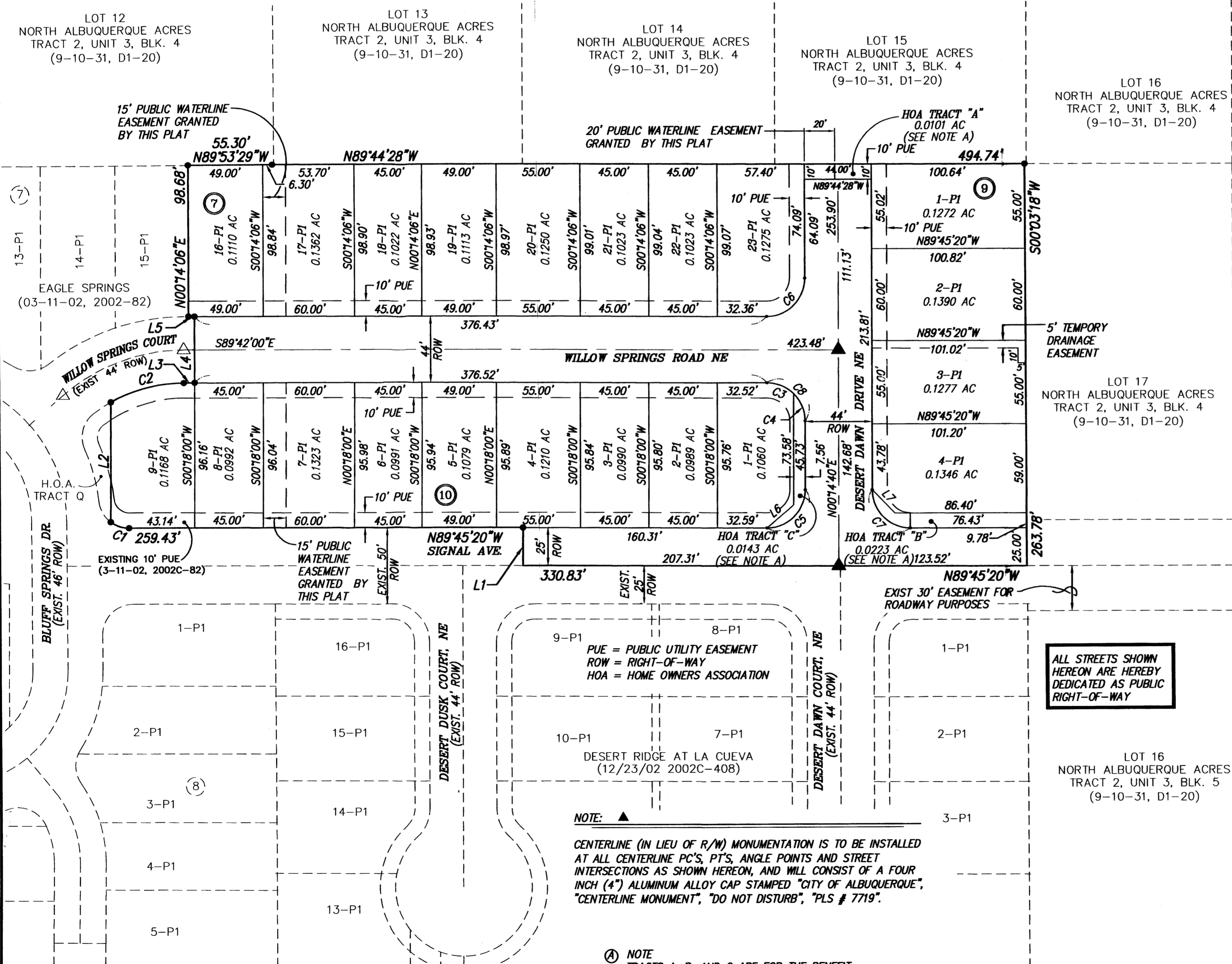
Mary Herrera Bern. Co. PLRT R 17.00 Bk-2893C Pg-75  
 2003046893  
 5829896  
 Page: 1 of 3  
 03/24/2003 12:32P

Dwg: cover.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 3
Scale: AS SHOWN	Date: 01/16/03	Job: A02087	

PLAT FOR  
**EAGLE SPRINGS, UNIT 2**  
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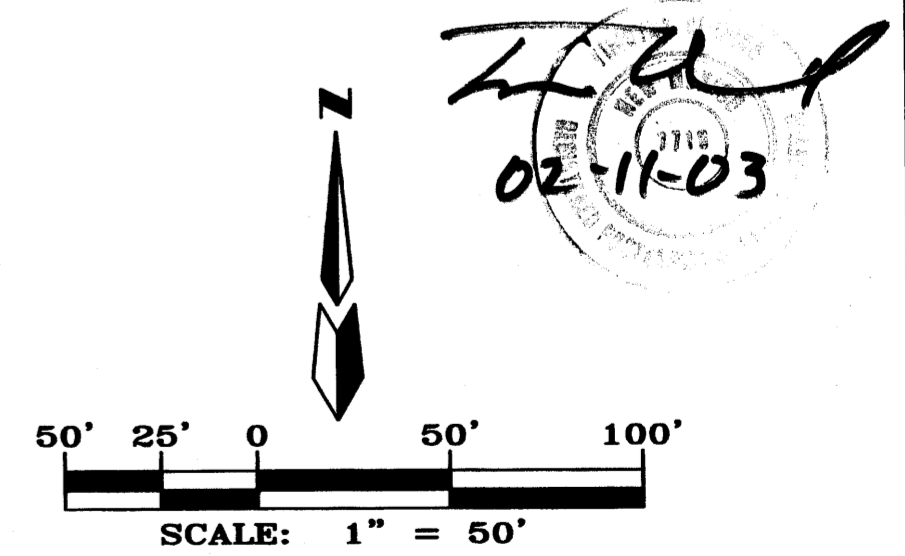
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WYOMING BLVD. N.E. (EXIST. 108' ROW)





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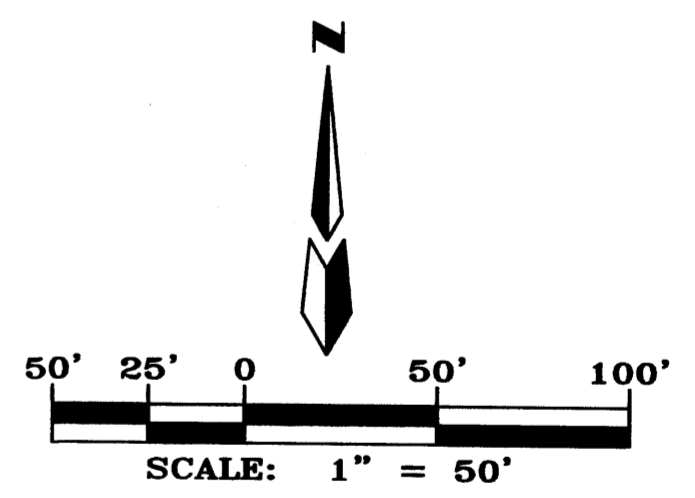
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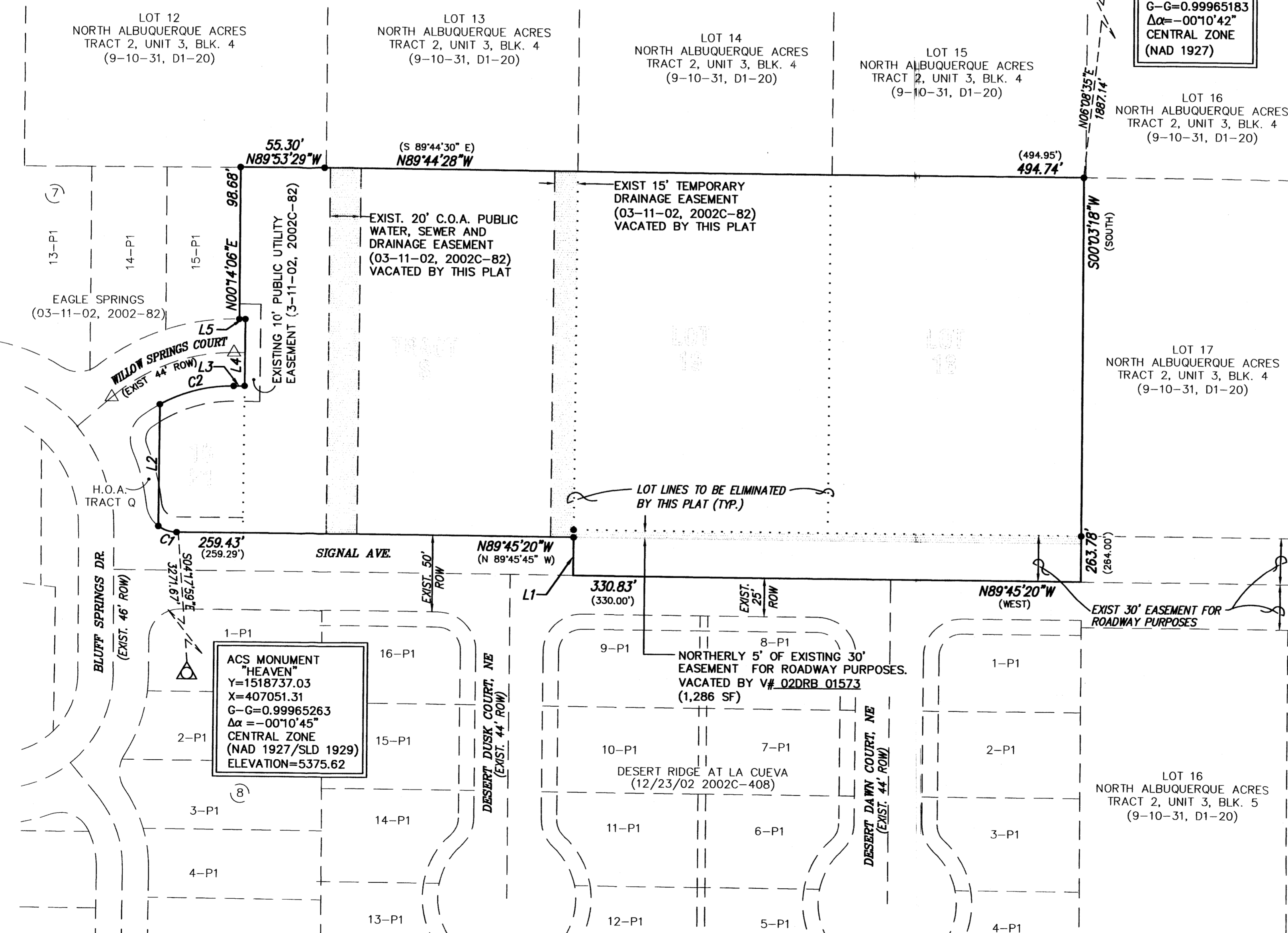
• SET 5/8" REBAR WITH CAP  
 "ALS LS 7719" (TYP.)

ACS MONUMENT  
 "1-B19"  
 Y=1524110.18  
 X=407598.16  
 G-G=0.99965183  
 Δα=-00°10'42"  
 CENTRAL ZONE  
 (NAD 1927)

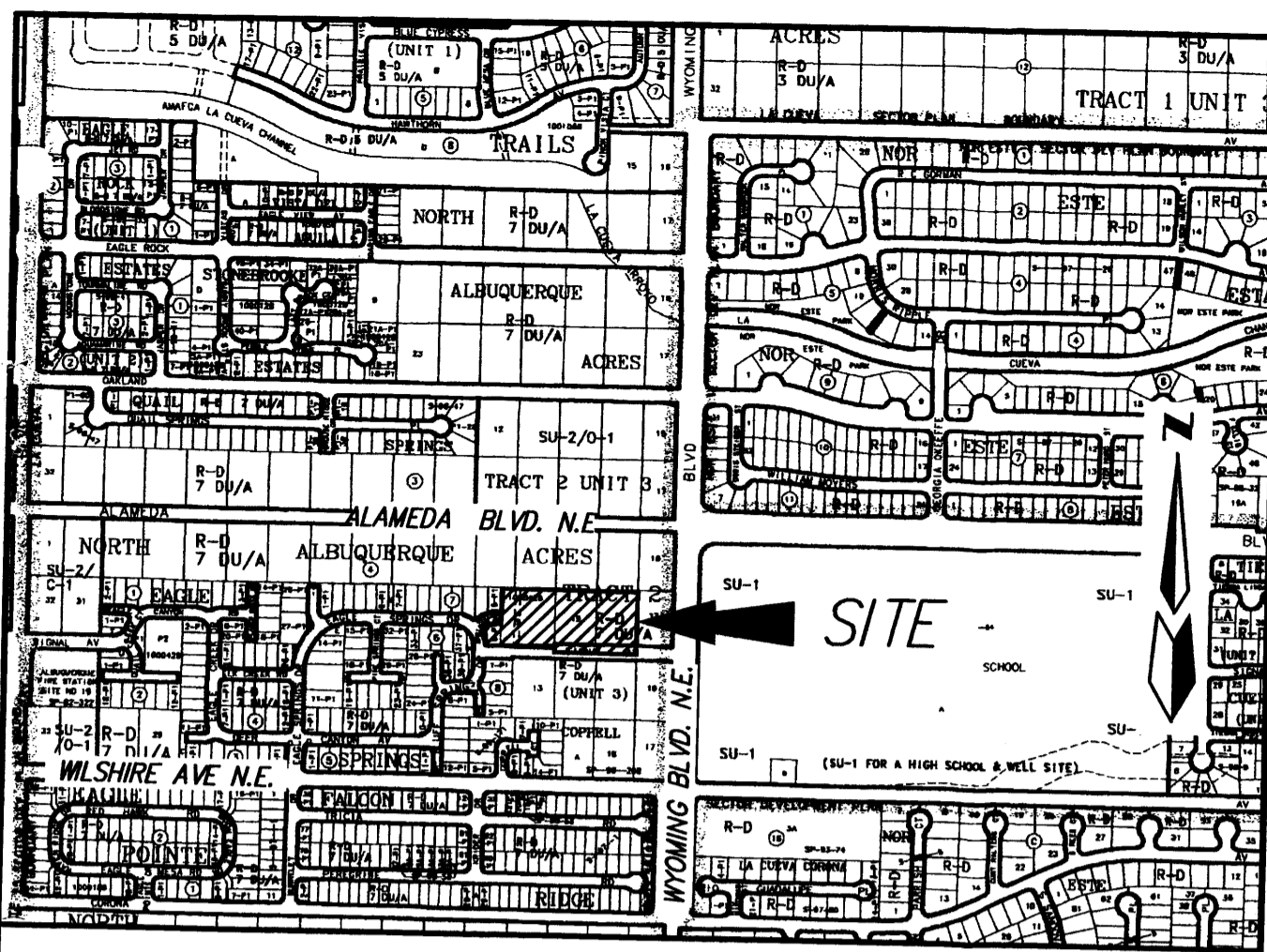
WYOMING BOULEVARD N.E.  
 (EXIST. 168' ROW)



*[Handwritten Signature]*  
 02-11-03  
 7719  
 PROFESSIONAL ENGINEER



1002183



LOCATION MAP ZONE ATLAS C-19-Z SCALE: NONE

SUBDIVISION DATA

Plat Case No's.	Project # 1002183
	Case #
Gross acreage	3.3122 AC
Zone Atlas No.	C-19-Z
No. of existing Tracts/Lots	1 TRACT/3 LOTS
No. of Tracts/Lots created	3 TRACTS/21 LOTS
No. of Tracts/Lots eliminated	1 TRACT/3 LOTS
Miles of full width streets created	0.13
Area dedicated to the City of Albuquerque	0.8388 AC
Date of Survey	MAY, 2002
Utility Control Location System Log Number	2002361363

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby dedicate portions of Signal Ave. in fee simple Without warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

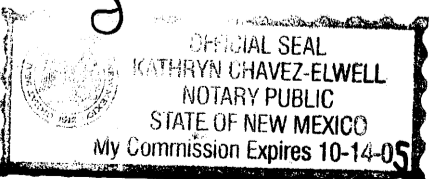
D. R. HORTON, INC  
 BY: J. MARK FERGUSON, DIVISION PRESIDENT  
*J. Mark Ferguson*  
 J. Mark Ferguson, Division President 01-16-03  
 Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS  
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on January 16, 2003  
 By J. Mark Ferguson, Division President of D.R. Horton, Inc. a Delaware Corporation,  
 on behalf of said corporation.

*Kathryn Chavez-Elwell*  
 NOTARY PUBLIC 10-14-05  
 MY COMMISSION EXPIRES



LEGAL DESCRIPTION (SEE SHEET 2)

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:  
 Plat for "Eagle Springs Subdivision" (03-11-02, 2002-82)  
 Plat for "North Albuquerque Acres Subdivision, Tract 2, Unit 3, Block 4" (9-10-31, D1-20)  
 Plat for "North Albuquerque Acres Subdivision, Tract 2, Unit 3, Block 5" (9-10-31, D1-20)  
 all being records of Bernalillo County, New Mexico.
- Field Survey performed August, 2002.
- Unless otherwise noted all point are SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Subdivide 1 Tract and 1 Lot, Eagle Springs, Unit 1 and 2 Lots North Albuquerque Acres Subdivision into Three HOA Tracts and 21 Residential Lots.
- Grant easements as shown.
- Dedicate right-of-way as shown.
- Vacate Easements as shown.
- Rename Willow Springs Court to Willow Springs Road.
- Rename Lot 16-P1, Block 7 to Lot 9-P1, Block 10.

PLAT FOR  
**EAGLE SPRINGS, UNIT 2**  
 WITHIN THE  
 ELENA GALLEGOS GRANT  
 PROJECTED SECTION 18  
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

- DRB Project No. 1002183  
 Application No. \_\_\_\_\_  
 Planning Director, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_  
 City Engineer, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_  
 Albuquerque Metropolitan Arroyo Flood Control Authority \_\_\_\_\_ Date \_\_\_\_\_  
 Transportation Development, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_  
 Utility Development Division, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_  
 Parks and Recreation \_\_\_\_\_ Date \_\_\_\_\_  
*J. B. Hart*  
 City Surveyor, City of Albuquerque, N.M. 2-11-03  
 Date

- Property Management, City of Albuquerque, N.M. \_\_\_\_\_ Date \_\_\_\_\_  
*Leah D. Mott*  
 PNM Gas 2-12-03  
 Date  
*Leah D. Mott*  
 PNM Electric 2-12-03  
 Date  
*David R. Muller*  
 Qwest Telecommunications 2-12-03  
 Date  
*Rita Erickson*  
 Comcast Cable 2-12-03  
 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

*Timothy Aldrich*  
 Timothy Aldrich P.S. No. 7719 02-11-03  
 Date

Dwg: cover.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 3
Scale: AS SHOWN	Date: 01/16/03	Job: A02087	