

# ALTA SURVEY

## RECORD DESCRIPTION:

The Northern portion of property designated as Tract 2 of Sunport Lodgings Addition, Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, October 5, 1955, and being more particularly described as follows:

Beginning at the Northeast corner, which is the Northeast corner of said Tract 2, a point on the Westerly line of a public street known as Wellesley Drive SE marked by an iron pipe stake in place; Running from said beginning point S. 0 deg. 27' W. along said street line, 512.81 feet to the Southeast corner; Thence N. 89 deg. 33' W., 130.00 feet to the Southwest corner; Thence N. 0 deg. 27' E., 513.35 feet to the Northwest corner; Thence S. 89 deg. 24' 40" E., 130.00 feet to the point of beginning.

## SURVEY DESCRIPTION:

The Northern portion of property designated as Tract 2 of Sunport Lodgings Addition, Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, October 5, 1955, and being more particularly described as follows:

Beginning at the Southeast corner of the herein described tract, said corner being a point on the Westerly line of Wellesley Drive, SE, from which point ACS Station G-7A (x=392629.11, y=1478657.56, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 04°42'59" W, a ground distance of 2150.55 feet, and running from said beginning point; Thence, N 89°35'24" W, a distance of 129.99 feet to the Southwest corner of the herein described tract; Thence, N 00°23'51" E, a distance of 513.26 feet to the Northwest corner of the herein described tract; Thence, S 89°23'48" E, a distance of 130.10 feet to the Northeast corner of the herein described tract, said corner also being the Northeast corner of the Sunport Lodgings Addition and being a point on the Westerly line of Wellesley Drive, SE; Thence, S 00°24'32" W, a distance of 512.82 feet to the Southeast corner of the herein described tract and piece of beginning, containing 1.5316 acres, more or less.

## SURVEYOR'S CERTIFICATION:

TO:  
JAY REMBE, JOLENE BRUNACINI REMBE  
TED LENDER,  
FIDELITY NATIONAL TITLE (TITLE COMPANY),  
FIDELITY NATIONAL TITLE INSURANCE COMPANY (UNDERWRITER);

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes items 1, 2, 3, 4, 5, 7(c), 7(d)(1), 7(c), 8, 9, 10, 11(c)(location of utilities per visible, above-ground, or table A thereof) of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerance.

April 25, 2002

## WAYJOHN SURVEYING, INC.

*Thomas D. Johnston*  
Thomas D. Johnston, NMB 14269



## NOTES CORRESPONDING TO SCHEDULE B:

AS PROVIDED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE NO. 02-1018653-B-LLG BEARING AN EFFECTIVE DATE OF APRIL 19, 2002 AT 8:00 A.M.

- 12 GRANTED TO: PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY  
PURPOSE: UTILITIES  
RECORDED: APRIL 4, 1973, INSTRUMENT NO. 44285, BOOK MISC. 306, PAGE 409, OF OFFICIAL RECORDS.  
EASEMENT DOES NOT AFFECT THIS PARCEL. IT IS NOT SHOWN ON SURVEY.
- 13 GRANTED TO: PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY  
PURPOSE: UTILITIES  
RECORDED: APRIL 4, 1973, INSTRUMENT NO. 44284, BOOK MISC. 306, PAGE 408, OF OFFICIAL RECORDS.  
EASEMENT AFFECTS 2.5' X 30' OF THE SOUTHEASTLY CORNER OF THIS PARCEL.  
ITEM IS PLOTTED HEREON.
- 14 GRANTED TO: PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY  
PURPOSE: OVERHEAD UTILITIES  
RECORDED: DECEMBER 12, 1988, INSTRUMENT NO. 88109123, BOOK MISC. 692A, PAGE 787, OF OFFICIAL RECORDS.  
EASEMENT AFFECTS THE NORTH TEN FEET OF THIS PARCEL.  
ITEM IS PLOTTED HEREON.
- 15 EASEMENTS, COVENANTS AND OTHER MATTERS SHOWN ON THE RECORDED MAP OF SAID SUBDIVISION:  
20' UTILITY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, AS SHOWN ON PLAT OF SUNPORT LODGINGS ADDITION.  
PURPOSE: BURIED WATERLINES  
RECORDED: OCTOBER 5, 1955; VOL. C6, FOLIO 89, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
EASEMENT AFFECTS THE NORTH TWENTY FEET OF THIS PARCEL.  
ITEM IS PLOTTED HEREON.

## STATEMENT OF ENCROACHMENTS:

THERE ARE NO ENCROACHMENTS UPON THE BOUNDARY LINES OF THE SUBJECT PROPERTY OR UPON ANY EASEMENT AREAS EXCEPT FOR THE FOLLOWING MATTERS SHOWN ON THE SURVEY:

- (A) FENCE LIES ASKEW TO NORTHERLY LINE OF LOT 13 AS DIMENSIONED HEREON.
- (B) FENCE AND WALL LIE ASKEW TO NORTHERLY LINE OF LOT 10 AS DIMENSIONED HEREON.

## SURVEYOR'S NOTES:

INGRESS AND EGRESS TO THE SUBJECT PROPERTY IS PROVIDED BY WELLESLEY DRIVE, SE, UPON WHICH PROPERTY FRONTS, BEING A PAVED AND DEDICATED RIGHT-OF-WAY ACCEPTED AND MAINTAINED BY THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION.  
THE TITLE LINES AND ACTUAL POSSESSION LINES ARE THE SAME.

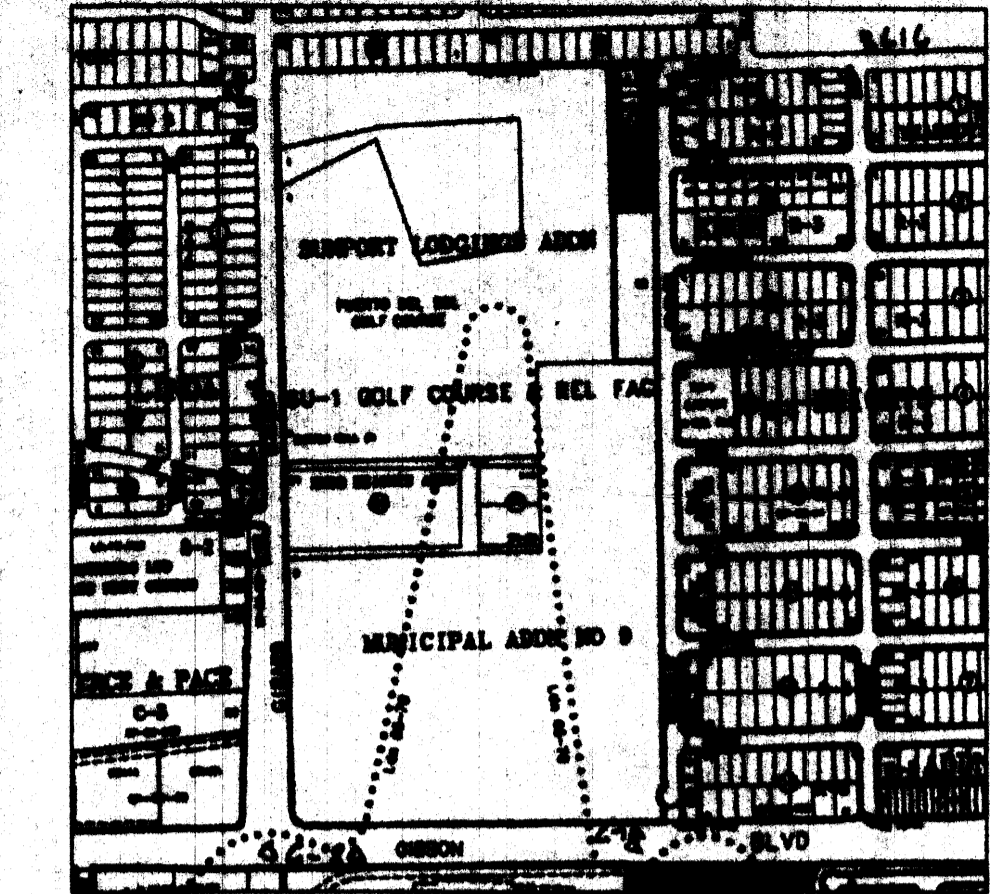
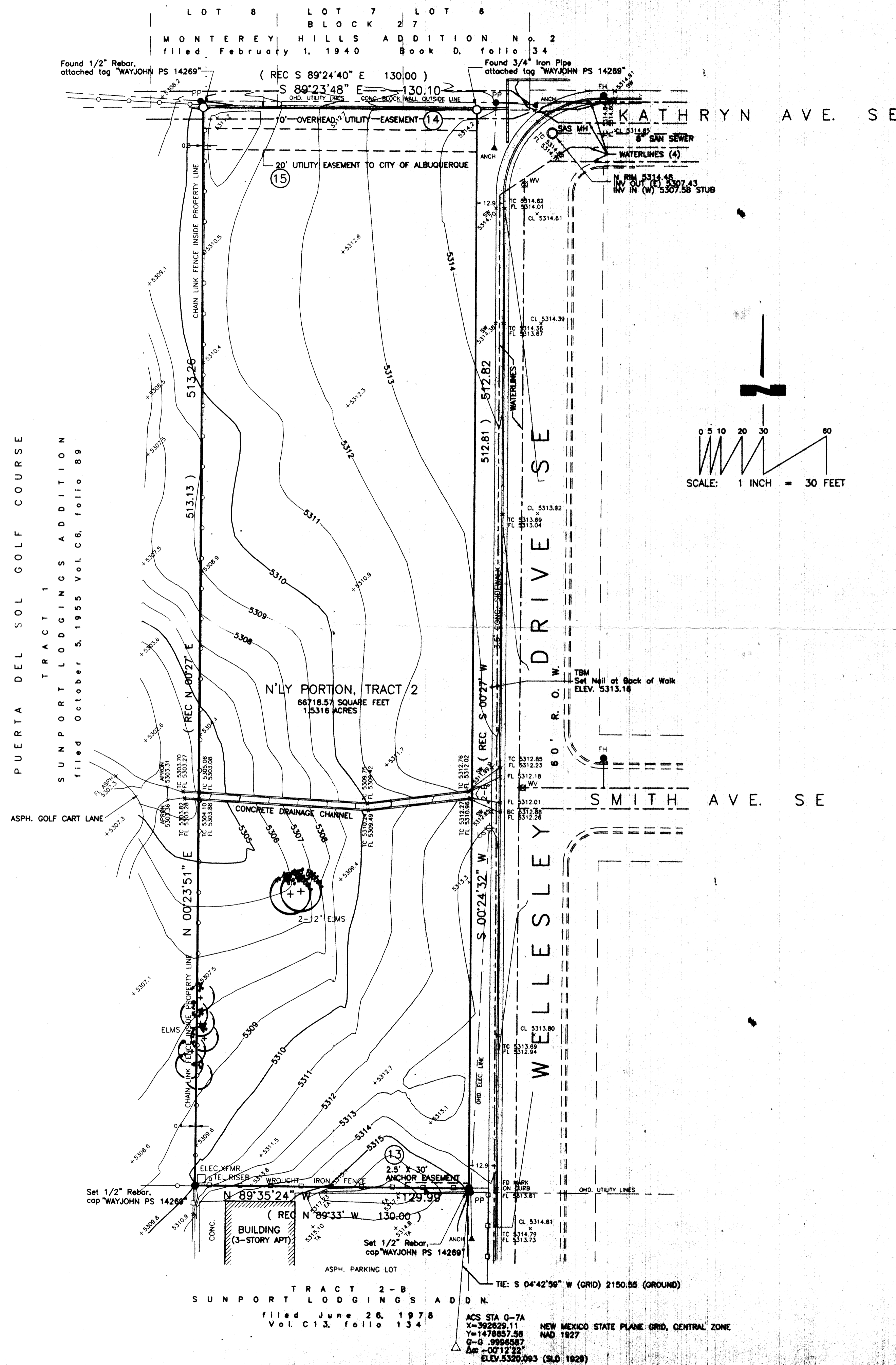
THE SUBJECT PROPERTY SERVES AS A DRAINAGE ROUTE FROM PUBLIC RIGHT-OF-WAY ON THE EAST TO AN EXIT POINT ON THE WEST LINE. NO EASEMENT DOCUMENTATION COVERING ROUTING OR IMPROVEMENTS RECOVERED. THIS PROPERTY DOES NOT SERVE AS INGRESS AND EGRESS TO ANY ADJOINING PROPERTIES.  
WATERLINE LOCATIONS ARE SHOWN ARE NOT TO BE RELIED ON FOR CONSTRUCTION.

## FLOOD INFORMATION:

THE SUBJECT PROPERTY HEREON DOES NOT LIE IN A 100 YEAR FLOOD PLAIN, A FLOOD WAY OR AN AREA THAT HAS BEEN IDENTIFIED BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT OR ANY OTHER GOVERNMENTAL AUTHORITY AS A FLOOD HAZARD AREA UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (24 CFR 1901.1), AS AMENDED (SUCH DETERMINATION HAVING BEEN MADE FROM A PERSONAL REVIEW OF FLOOD MAP NUMBER 0353 D, COMMUNITY PANEL NUMBER 350002, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 20, 1995).  
PROPERTY LIES WITHIN FLOOD ZONE "X"

## BASIS OF BEARINGS:

BASIS OF BEARINGS IS NEW MEXICO STATE PLANE GRID, CENTRAL ZONE, NAD 1927 (RECORD BEARINGS ARE SHOWN IN PARENTHESES ON SURVEY)



## LEGEND:

- N - NORTH
- S - SOUTH
- E - EAST
- W - WEST
- TYP. - TYPICAL
- DIA. - DIAMETER
- P.L. - PROPERTY LINE
- NO. - NUMBER
- C.L. - CENTERLINE
- CONC. - CONCRETE
- S/W - SIDEWALK
- CLF - CHAIN LINK FENCE
- PP - POWER POLE
- ANCH - ANCHOR
- LP - LIGHT STANDARD
- WM - WATER METER
- WV - WATER VALVE
- FH - FIRE HYDRANT
- GM - GAS METER
- TEL - TELEPHONE PEDESTAL
- ELEC - ELECTRIC TRANSFORMER
- TRFR - BOLLARD
- OB - BOLLARD
- SET #4 REBAR AND CAP "WAYJOHN PS 14269"
- SAS MH - SANITARY SEWER MANHOLE

## SITE RESTRICTIONS:

SETBACKS:  
FRONT: 20'  
SIDE: 5'  
REAR: 15'  
HEIGHT: 26' OR 2 STORIES  
ZONE: R-2  
ALBUQUERQUE COMPREHENSIVE ZONING ORDINANCE, SEC. 12.  
R-2 SITE RESTRICTIONS WERE OBTAINED FROM PUBLISHED CITY OF ALBUQUERQUE ZONING ORDINANCE, CITY OF ALBUQUERQUE PLANNING AND ZONING DEPARTMENT, (505) 924-3842

## PARKING STALLS:

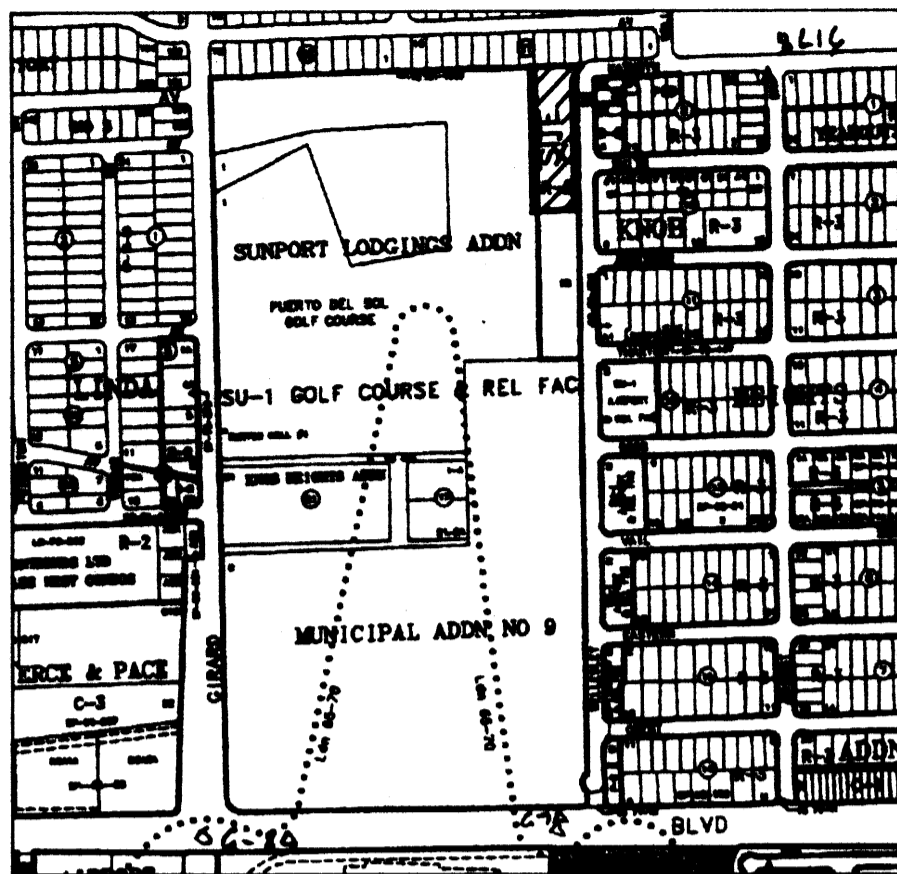
NONE. SITE IS VACANT

## AREA:

66718.57 SQUARE FEET  
1.5316 ACRES

**WAYJOHN SURVEYING INC.**  
330 Louisiana Blvd, N.E.  
Albuquerque, NM 87108  
Phone: (505) 255-2052 Fax: (505) 255-2887

Date of Survey: 4/19/02	Draftsman: E W K
Date of Last Revision: N/A	Job No.: SC-4-06-2002
File No.: c:\SC40602.DWG	Scale: 1" = 30'
For: JAY REMBE	Title Company: FIDELITY NATIONAL
Contact: LYNDIA GARCIA-McCUTCHEON	Ph. No.: (505) 332-6231



VICINITY MAP (L-16) NO SCALE

**SUBDIVISION DATA**

1. DRB Proj. No.
2. Zone Atlas Index No. L-16
3. Current Zoning R-2
4. Gross acreage 1.5316 ACRES
5. Total Number of Lots created - 28-
6. This plat has been prepared for the purposes of creating twenty-eight lots from one existing tract.

**NOTES**

1. Bearings shown on this plat are New Mexico State Plane Grid Bearings, Central Zone, NAD 1927.
2. Perimeter distances are field measurements were made on the ground between recovered and accepted monumentation within the subdivision. Bearings and distances appearing on the plat of record are shown in parentheses ( ).
3. Monuments recovered and accepted or set are noted on inscribed plat.
4. This plat shows all easements of record.
5. No Public right-of-way has been dedicated by this plat.
6. An existing 2.5' X 30' ANCHOR EASEMENT FOR PNM AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY RECORDED APRIL 4, 1973, INSTRUMENT NO. 44284, BOOK MISC. 306, PAGE 408.
7. An existing Ten foot (10') EASEMENT FOR PNM AND MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY ALONG THE NORTH TEN FEET OF THIS PARCEL, RECORDED DECEMBER 12, 1988, INSTRUMENT NO. 88109123, BOOK MISC. 692A, PAGE 787.
8. An existing Twenty foot (20') EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, AS SHOWN ON PLAT OF SUNPORT LODGINGS ADDITION, ALONG THE NORTH TWENTY FEET OF THIS PARCEL, RECORDED OCTOBER 5, 1965; VOL. C6, FOLIO 89.
9. A twenty-four foot (24') Private access, public waterline and public sewerline easement for the benefit of Lots 1 through 28, is granted by this plat. Maintenance of the 24' private access easement is the responsibility of the owners of Lots 1 through 28.
10. A ten foot (10') Public Utility Easement is granted with the filing of this plat.

**SURVEY DESCRIPTION:**

The Northerly portion of property designated as Tract 2 of Sunport Lodgings Addition, Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, October 5, 1965, Volume C6, folio 89, and being more particularly described as follows:

Beginning at the Southeast corner of the herein described tract, said corner being a point on the Westerly line of Wellesley Drive, SE, from which point ACS Station C-7A (x=392629.11, y=1476657.56, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 04°42'59" W, a ground distance of 2150.55 feet, and running from said beginning point; Thence, N 89°35'24" W, a distance of 129.99 feet to the Southwest corner of the herein described tract; Thence, N 00°23'51" E, a distance of 513.26 feet to the Northwest corner of the herein described tract; Thence, S 89°23'48" E, a distance of 130.10 feet to the Northeast corner of the herein described tract, said corner also being the Northeast corner of the Sunport Lodgings Addition and being a point on the Westerly line of Wellesley Drive, SE; Thence, S 00°24'32" W, a distance of 512.82 feet to the Southeast corner of the herein described tract and place of beginning, containing 1.5316 acres, more or less.

**FREE CONSENT**

The creation of Lots 1 through 28 of WELLESLEY STREET RESIDENCES, and granting of public and private easements is with the free consent and in accordance with the desires of the undersigned owner(s).

JAY REMBE

JOLENE BRUNACINI REMBE

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this \_\_\_\_\_ day of \_\_\_\_\_, 2002, the foregoing instrument was acknowledged before me by H. HIL DAVIDSON.

My Commission expires \_\_\_\_\_

Notary Public

PLAT OF  
 LOTS 1 THROUGH 28  
 WELLESLEY STREET  
 RESIDENCES

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF THE NORTHERLY PORTION OF  
 TRACT 2 OF SUNPORT LODGINGS ADDITION  
 WITHIN SEC. 27, T. 10 N., R 3 E, NMPM

AUGUST 2002

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO.	APPLICATION NO.
_____	_____
Planning Director, City of Albuquerque	Date
Property Management, City of Albuquerque	Date
Traffic Engineer, City of Albuquerque	Date
Water Utilities Department, City of Albuquerque	Date
City Surveyor, City of Albuquerque	Date
Parks and Recreation, City of Albuquerque	Date
A.M.A.F.C.A.	Date
City Engineer, City of Albuquerque	Date
Comcast Cable	Date
Qwest	Date
PNM Gas and Electric Services	Date

**SURVEYOR'S CERTIFICATE**

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269

Date

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC# \_\_\_\_\_

PROPERTY OWNER OF RECORD:  
 \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE

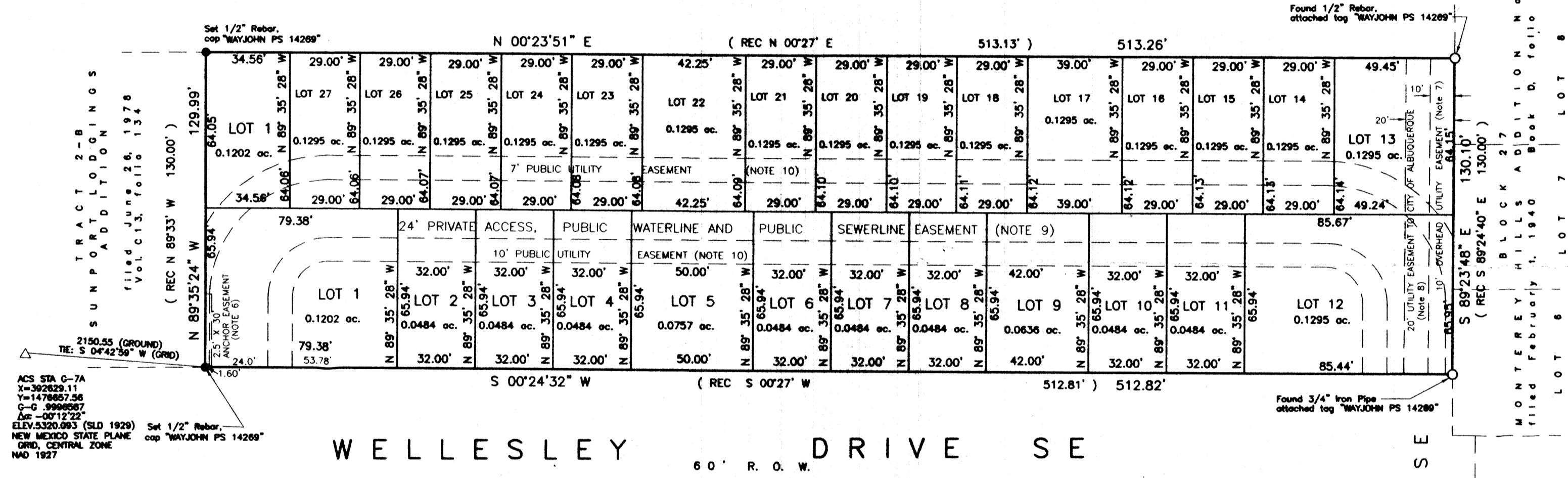
**WAYJOHN  
 SURVEYING, INC.**  
 330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: 255-2052 FAX: 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: REMBE	DRAWN: E W K	SCALE: 1" = 40'	FILE NO. WELLESLEY
LOCATION: SEC. 27, T.10 N., R.3 E., N.M.P.M., ALBUQUERQUE, NM SUBDIVISION: LOTS 1-28 WELLESLEY STREET RESIDENCES	CHECKED: T D J		
	DRAWING NO. WELLESLEY.DWG	26 AUG 2002	SHEET 1 OF 2

1522091

**PLAT OF  
LOTS 1 THROUGH 28  
WELLESLEY STREET  
RESIDENCES**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
A REPLAT OF THE NORTHERLY PORTION OF  
TRACT 2 OF SUNPORT LODGINGS ADDITION  
WITHIN SEC. 27, T. 10 N., R 3 E, NMPM  
AUGUST 2002

PUERTA DEL SOL GOLF COURSE  
TRACT 1  
SUNPORT LODGINGS ADDITION  
filed October 5, 1955 Vol. C8, folio 89



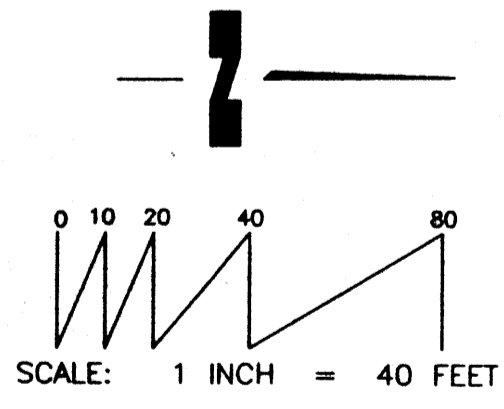
ACS STA C-7A  
X=392629.11  
Y=1478657.56  
C-G .9996567  
Az = -0°12'22"  
ELEV. 5320.093 (SLD 1929)  
NEW MEXICO STATE PLANE  
GRID, CENTRAL ZONE  
MAD 1927

Set 1/2" Rebar,  
cop "WAYJOHN PS 14269"

Found 1/2" Rebar,  
attached tag "WAYJOHN PS 14269"

Found 3/4" Iron Pipe  
attached tag "WAYJOHN PS 14269"

MONTEREY HILLS ADDITION No. 2  
filed February 1, 1940 Book D, folio 34

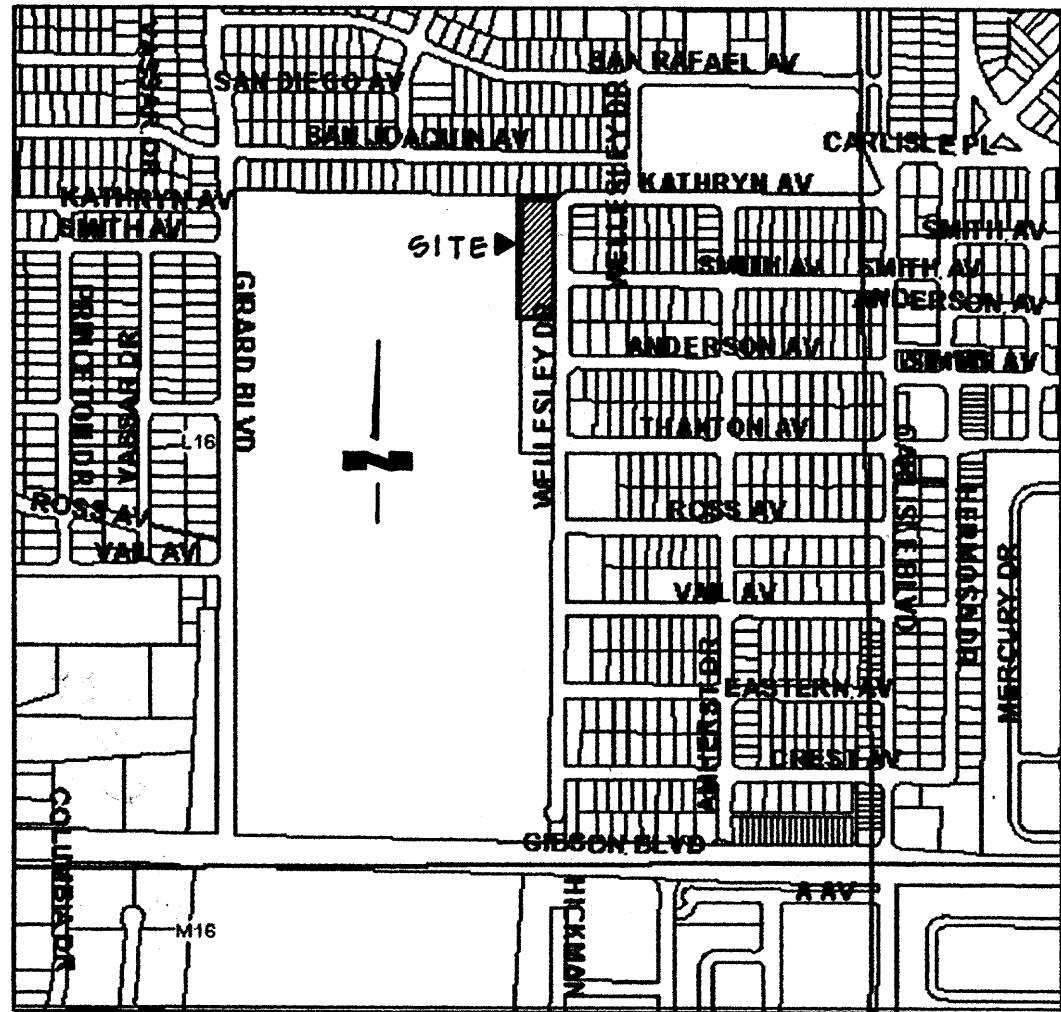


**LEGEND:**  
• SET #4 REBAR W/ CAP "PS 14269"

<b>WAYJOHN SURVEYING, INC.</b>			
330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: 255-2052 FAX: 255-2887			
INDEXING INFORMATION FOR COUNTY CLERK OWNER: REMBE LOCATION: SEC. 27, T.10 N., R.3 E., N.M.P.M. ALBUQUERQUE, NM SUBDIVISION: LOTS 1-28 WELLESLEY STREET RESIDENCES	DRAWN: E W K CHECKED: T D J DRAWING NO. WELLESLEY.DWG	SCALE: 1" = 40'	FILE NO. WELLESLEY 26 AUG 2002 SHEET 2 OF 2







COUNTY CLERK RECORDING LABEL HERE

PLAT OF  
**SUNPORT TOWNHOMES**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF NORTHERLY PORTION OF TRACT 2  
SUNPORT LODGINGS ADDITION  
WITHIN SE 1/4, SECTION 27, T.10N., R.3E., N.M.P.M.

OCTOBER 2003

DESCRIPTION

The Northerly portion of property designated as Tract 2 of Sunport Lodgings Addition, Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, October 5, 1965, Volume C6, folio 89, and being more particularly described as follows:  
BEGINNING at the Southeast corner of the herein described tract, said corner being a point on the Westerly line of Wellesley Drive, SE, from which point ACS Station G-7A (x=392629.11, y=1476657.56, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 04°42'59" W, a ground distance of 2150.55 feet, and running from said beginning point;  
Thence, N 89°35'24" W, a distance of 129.99 feet to the Southwest corner of the herein described tract;  
Thence, N 00°23'51" E, a distance of 513.28 feet to the Northwest corner of the herein described tract;  
Thence, S 89°23'48" E, a distance of 130.10 feet to the Northeast corner of the herein described tract, said corner also being the Northeast corner of the Sunport Lodgings Addition and being a point on the Westerly line of Wellesley Drive, SE;  
Thence, S 00°24'32" W, a distance of 512.82 feet to the Southeast corner of the herein described tract and place of beginning, containing 1.5316 acres, more or less.

APPROVALS as specified by the County of Bernalillo Subdivision Ordinance:

SUBDIVISION CASE NO. \_\_\_\_\_

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. \_\_\_\_\_

Planning Director, City of Albuquerque

Date

Property Management, City of Albuquerque

Date

Traffic Engineer, City of Albuquerque

Date

Water Utilities Department, City of Albuquerque

Date

*[Signature]*  
City Surveyor, City of Albuquerque

10-16-03  
Date

Parks and Recreation, City of Albuquerque

Date

A.M.A.F.C.A.

Date

City Engineer, City of Albuquerque

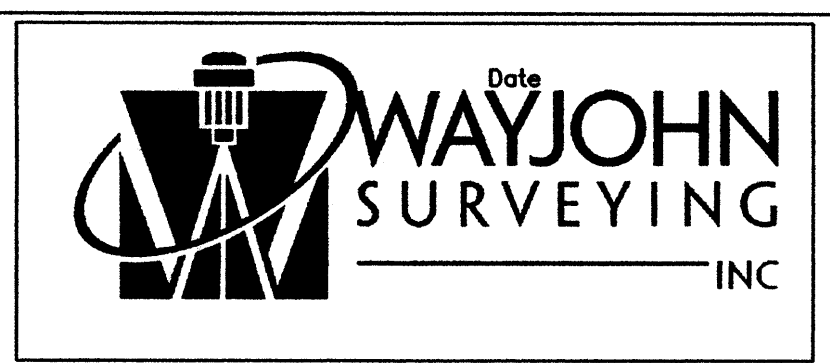
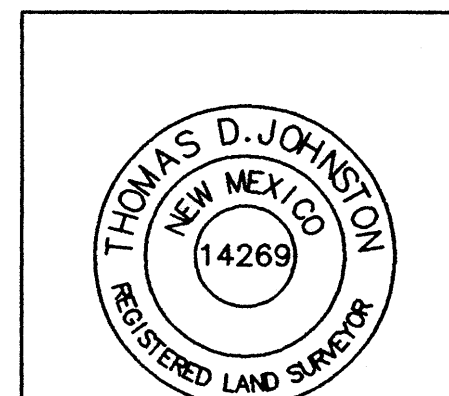
Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

*[Signature]*  
Thomas D. Johnston, N.M.P.S. No. 14269

10-15-03  
Date



INDEXING INFORMATION FOR COUNTY CLERK

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-4-06-2003B
CHECKED: T D J		
DRAWING NO. SP60403.DWG	14 JUL 2003	SHEET 1 OF 2

SUBDIVISION DATA

1. DRB Proj. No.
2. Zone Atlas Index No. L-16
3. Current Zoning R-2
4. Gross acreage 1.5316
5. Existing number of lots 1  
Replatted number of lots 19

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ( ).
2. Perimeter distances are field measurements made on the ground and agree with record except as noted.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. This plat shows all easements of record.
  - a. Existing 2.5' x 30' Public Utility Easement filed April 4, 1973, Bk. Misc. 306, page 408, Doc. No. 44284, records of Bernalillo County, New Mexico.
  - b. Existing 10' Utility Easement recorded December 12, 1988, Bk. Misc. 692A, page 787, Doc. No. 88109123, records of Bernalillo County, New Mexico. This easement is for overhead utility lines.
  - c. Existing 20' City of Albuquerque Utility Easement recorded on October 5, 1965; Vol. C6, folio 189 with plat of Sunport Lodgings Addition. This easement covers Public Public Waterlines.
5. No right-of-way has been dedicated by this plat.
6. A Twenty-foot (20') Public Drainage Easement has been granted by this plat. Easement traverses property East-to-West and follows an existing concrete channel.
7. Private Surface Drainage Easement and Public Utility Easement overlying a Private Way (Tract "A") are granted by this plat.
8. The property described hereon is that remaining Northerly portion of Tract 2 of SUNPORT LODGINGS ADDITION after recording of the Plat of Tract 2-B of Sunport Lodgings Addition, as it appears on the plat filed on June 26, 1978 in Volume C13, folio 134.

FREE CONSENT

The division of the the portion of Tract 2 of Sunport Lodgings Addition as described hereon into 18 lots, grant of a 20-foot Public Drainage Easement and creation of a Private Way for vehicular access, private surface drainage and Public Utilities is with the free consent and in accordance with the desires of the undersigned owners.

*[Signature]*  
Louis Kolker, Executive Director, Greater Albuquerque Housing Partnership

*[Signature]*  
Joe Miera, President, Board of Directors of Greater Albuquerque Housing Partnership

ACKNOWLEDGMENT

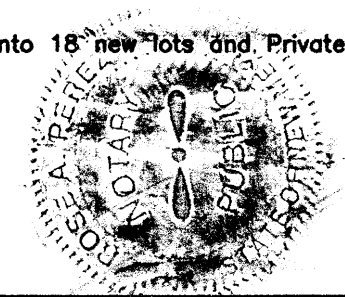
STATE OF NEW MEXICO } ss  
COUNTY OF BERNALILLO }

On this 15<sup>th</sup> day of October, 2003, the foregoing instrument was acknowledged before me by Louis Kolker, Executive Director and Joe Miera, President, Board of Directors of the Greater Albuquerque Housing Partnership, a New Mexico non-profit corporation, on behalf of said corporation.

My Commission expires June 30, 2007  
*[Signature]*  
Notary Public

PURPOSE OF PLAT

This plat has been prepared for the purposes of dividing one tract into 18 new lots and Private Way, and grant of a 20-foot Public Drainage Easement.



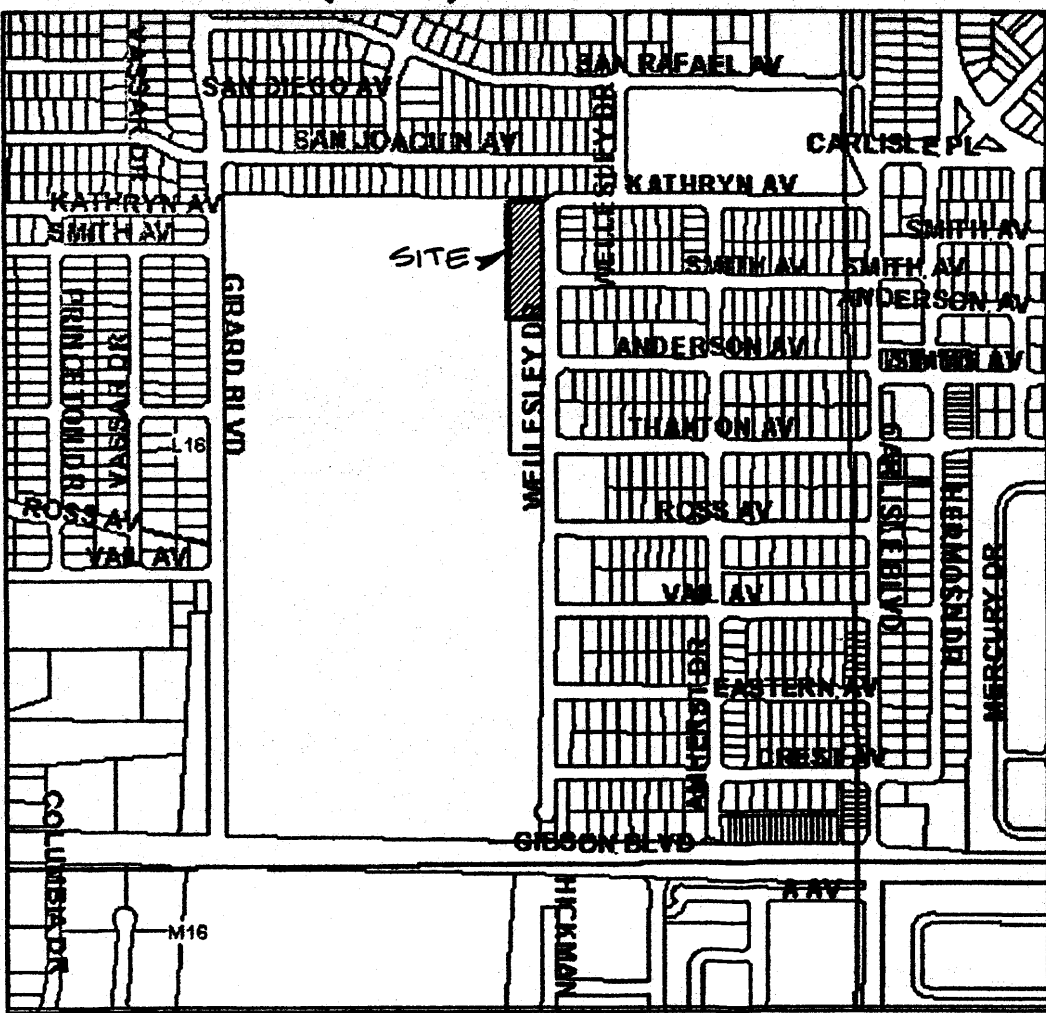
FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# 1 016 056 386 242 40134

PROPERTY OWNER OF RECORD:  
JAY REMBE

BERNALILLO COUNTY TREASURER'S OFFICE

VICINITY MAP (L-16) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

DESCRIPTION

The Northernly portion of property designated as Tract 2 of Sunport Lodgings Addition, Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, October 5, 1965, Volume C8, folio 89, and being more particularly described as follows:  
 BEGINNING at the Southeast corner of the herein described tract, said corner being a point on the Westerly line of Wellesley Drive, SE, from which point ACS Station G-7A (x=392629.11, y=1476657.56, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 04°42'59" W, a ground distance of 2150.55 feet, and running from said beginning point;  
 Thence, N 89°35'24" W, a distance of 129.99 feet to the Southwest corner of the herein described tract;  
 Thence, N 00°23'51" E, a distance of 513.28 feet to the Northwest corner of the herein described tract;  
 Thence, S 89°23'48" E, a distance of 130.10 feet to the Northeast corner of the herein described tract, said corner also being the Northeast corner of the Sunport Lodgings Addition and being a point on the Westerly line of Wellesley Drive, SE;  
 Thence, S 00°24'32" W, a distance of 512.82 feet to the Southeast corner of the herein described tract and place of beginning, containing 1.5316 acres, more or less.

FREE CONSENT

The division of the the portion of Tract 2 of Sunport Lodgings Addition as described hereon into 18 lots, grant of a 20-foot Public Drainage Easement, Public Utility Easement, Public Sanitary Sewer Easement and dedication of a Public Alley in fee simple with Warranty Covenants, to the City of Albuquerque, New Mexico, a Municipal Corporation, is with the free consent and in accordance with the desires of the undersigned owners. Said owners warrant that they hold complete and indefeasible title in fee simple to the land subdivided.

*Louis Kolker*  
 Louis Kolker, Executive Director, Greater Albuquerque Housing Partnership

*Joe Miera*  
 Joe Miera, President, Board of Directors of Greater Albuquerque Housing Partnership

ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this 8<sup>th</sup> day of November, 2004, the foregoing instrument was acknowledged before me by Louis Kolker, Executive Director and Joe Miera, President, Board of Directors of the Greater Albuquerque Housing Partnership, a New Mexico non-profit corporation, on behalf of said corporation.

My Commission expires August 21, 2006

*Diana M. Garcia*  
 Notary Public

LOG NO. 2003290524

PLAT OF  
 LOTS 1 - 18  
**SUNPORT TOWNHOMES**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF NORTHERLY PORTION OF TRACT 2  
 SUNPORT LODGINGS ADDITION  
 WITHIN SE 1/4, SECTION 27, T.10N., R.3E., N.M.P.M.

OCTOBER 2004

APPROVALS as specified by the County of Bernalillo Subdivision Ordinance:

SUBDIVISION CASE NO. 03-DRB-01778

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. 1002194

Planning Director, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

Property Management, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineer, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

Water Utilities Department, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

*Thomas D. Johnston* 11-16-04  
 City Surveyor, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

A.M.A.F.C.A. \_\_\_\_\_ Date \_\_\_\_\_

City Engineer, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

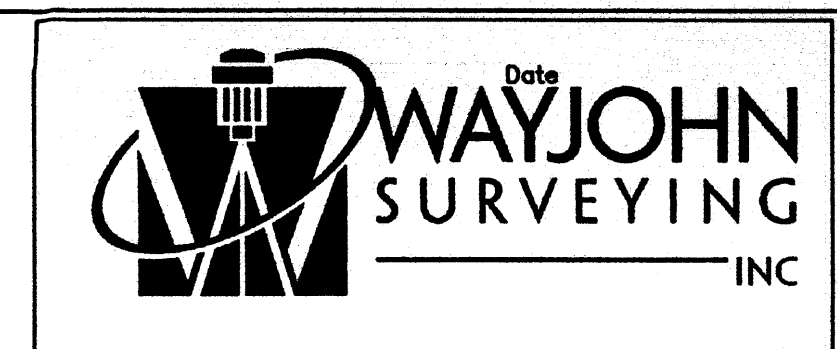
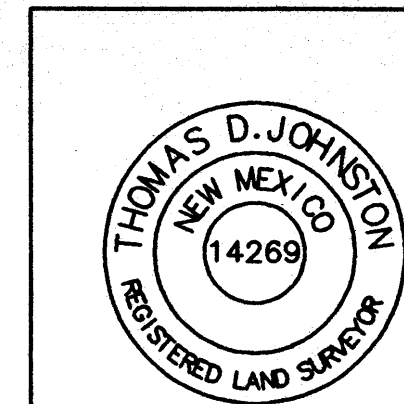
A.M.A.F.C.A. \_\_\_\_\_ Date \_\_\_\_\_

City Engineer, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

*Thomas D. Johnston* 10-26-04  
 Thomas D. Johnston, N.M.P.S. No. 14269



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: GABQ HOUSING LOCATION: SE 1/4, SEC. 27, T.10 N., R.3 E., N.M.P.M. SUBDIVISION: SUNPORT TOWNHOMES	DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-4-06-2003B
	CHECKED: T D J	26 OCT 2004	SHEET 1 OF 2
	DRAWING NO. SP40603.DWG		

SUBDIVISION DATA

1. DRB Proj. No. 1002194
2. Zone Atlas Index No. L-16
3. Current Zoning R-2
4. Gross acreage 1.5316
5. Existing number of lots 1  
 Replatted number of lots 18

PURPOSE OF PLAT

This plat has been prepared for the purposes of dividing one tract into 18 new lots, grant of a 20-foot Public Drainage Easement and Public Utility Easements and dedication of a Public Alley.

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ( ).
2. Perimeter distances are field measurements made on the ground and agree with record except as noted.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. This plat shows all easements of record.
  - a. Existing 2.5' x 30' Public Utility Easement filed April 4, 1973, Bk. Misc. 306, page 408, Doc. No. 44284, records of Bernalillo County, New Mexico. Said easement is released by Document recorded October 8, 2004 in Book A85, Page 1880.
  - b. Existing 10' Utility Easement recorded December 12, 1988, Bk. Misc. 692A, page 787, Doc. No. 88109123, records of Bernalillo County, New Mexico. This easement is for overhead utility lines.
  - c. Existing 20' City of Albuquerque Utility Easement recorded on October 5, 1965; Vol. C8, folio 189 with plat of Sunport Lodgings Addition. This easement covers Public Public Waterlines.
5. A Twenty-foot (20') Public Drainage Easement has been granted by this plat. Easement traverses property East-to-West and follows an existing concrete channel.
6. A Ten-foot (10') Public Utility Easement has been granted by this plat. Easement traverses property East-to-West and follows an existing concrete channel.
7. A Two-foot (2') Public Sanitary Sewer Easement has been granted by this plat. Easement is adjacent to the Easterly property line of site.
8. Public Alley dedicated by this plat to the City of Albuquerque, a New Mexico Municipal Corporation in fee simple with Warranty Covenants.
9. The property described hereon is that remaining Northernly portion of Tract 2 of SUNPORT LODGINGS ADDITION after recording of the Plat of Tract 2-B of Sunport Lodgings Addition, as it appears on the plat filed on June 26, 1978 in Volume C13, folio 134.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC# 1 016 056 386 242 40134

PROPERTY OWNER OF RECORD:

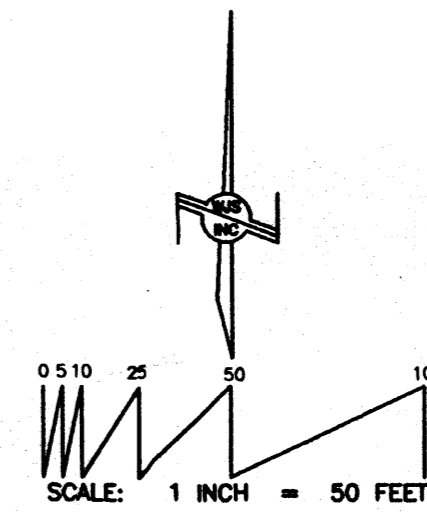
BERNALILLO COUNTY TREASURER'S OFFICE

LOG NO. 2003290524

PLAT OF  
LOTS 1 - 18  
**SUNPORT TOWNHOMES**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

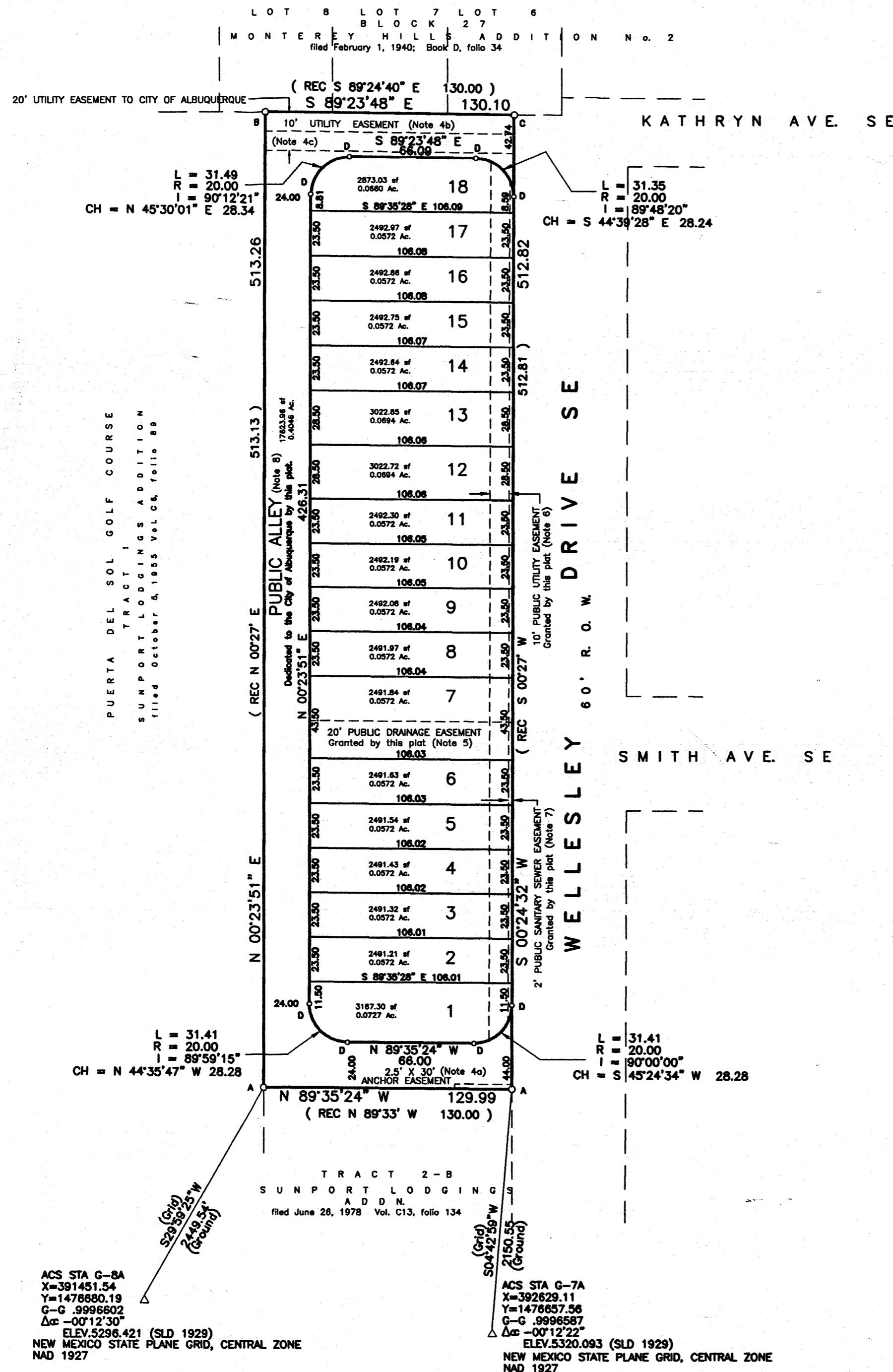
A REPLAT OF NORTHERLY PORTION OF TRACT 2  
SUNPORT LODGINGS ADDITION  
WITHIN SE 1/4, SECTION 27, T.10N., R.3E., N.M.P.M.

OCTOBER 2004



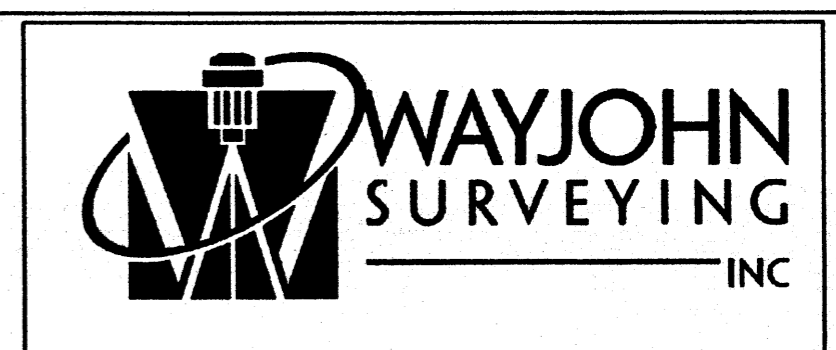
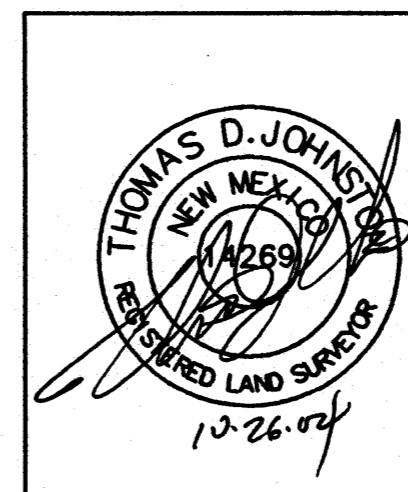
MONUMENTATION

- A Found 1/2" Rebar, cap "WAYJOHN PS 14269"
- B Found 1/2" Rebar, attached tag "WAYJOHN PS 14269"
- C Found 3/4" pipe, attached tag "WAYJOHN PS 14269"
- D Set 1/2" Rebar, cap "WAYJOHN PS 14269"



ACS STA G-8A  
 X=391451.54  
 Y=1476680.19  
 G=6 9996502  
 Δα = 0°12'30"  
 ELEV.5296.421 (SLD 1929)  
 NEW MEXICO STATE PLANE GRID, CENTRAL ZONE  
 NAD 1927

ACS STA G-7A  
 X=392629.11  
 Y=1476657.56  
 G=C 9996587  
 Δα = 0°12'22"  
 ELEV.5320.093 (SLD 1929)  
 NEW MEXICO STATE PLANE GRID, CENTRAL ZONE  
 NAD 1927



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNER: GABO HOUSING  
 LOCATION: SE 1/4, SEC. 27,  
 T.10 N., R.3 E., N.M.P.M.  
 SUBDIVISION: SUNPORT TOWNHOMES

DRAWN: E W K  
 CHECKED: T D J  
 DRAWING NO.  
 SP40603.DWG

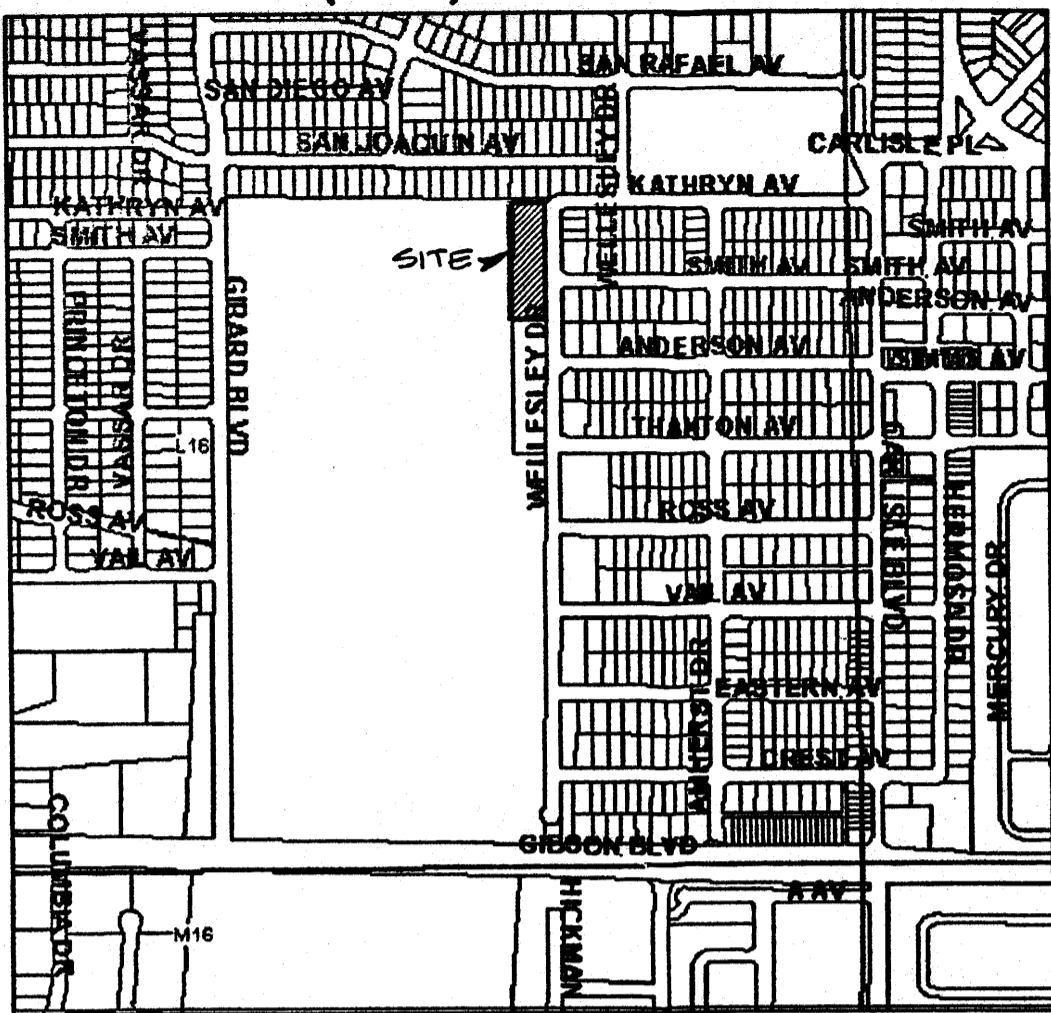
SCALE:  
 1" = 50'  
 26 OCT 2004

FILE NO.  
 SP-4-06-2003B  
 SHEET 2 OF 2





VICINITY MAP (L-16) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

LOG NO. 2003290524  
**PLAT OF**  
**LOTS 1 - 18**  
**SUNPORT TOWNHOMES**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 A REPLAT OF NORTHERLY PORTION OF TRACT 2  
 SUNPORT LODGINGS ADDITION  
 WITHIN SE 1/4, SECTION 27, T.10N., R.3E., N.M.P.M.

**PUBLIC UTILITY EASEMENTS**  
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

**DESCRIPTION**

The Northerly portion of property designated as Tract 2 of Sunport Lodgings Addition, Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, October 5, 1965, Volume C6, folio 89, and being more particularly described as follows:  
 BEGINNING at the Southeast corner of the herein described tract, said corner being a point on the Westerly line of Wellesley Drive, SE, from which point ACS Station G-7A (x=392629.11, y=1476657.56, New Mexico State Plane Grid, Central Zone, NAD 83) bears S 04°42'59" W, a ground distance of 2150.55 feet, and running from said beginning point:  
 Thence, N 89°35'24" W, a distance of 129.99 feet to the Southwest corner of the herein described tract;  
 Thence, N 00°23'51" E, a distance of 513.28 feet to the Northwest corner of the herein described tract;  
 Thence, S 89°23'48" E, a distance of 130.10 feet to the Northeast corner of the herein described tract, said corner also being the Northeast corner of the Sunport Lodgings Addition and being a point on the Westerly line of Wellesley Drive, SE;  
 Thence, S 00°24'32" W, a distance of 512.82 feet to the Southeast corner of the herein described tract and place of beginning, containing 1.5316 acres, more or less.

**FREE CONSENT**

The division of the the portion of Tract 2 of Sunport Lodgings Addition as described hereon into 18 lots, grant of a 20-foot Public Drainage Easement, Public Utility Easement, Public Sanitary Sewer Easement and dedication of a Public Alley in fee simple with Warranty Covenants, to the City of Albuquerque, New Mexico, a Municipal Corporation, is with the free consent and in accordance with the desires of the undersigned owners. Said owners warrant that they hold complete and indefeasible title in fee simple to the land subdivided.

*Louis Kolker*  
 Louis Kolker, Executive Director, Greater Albuquerque Housing Partnership

*Joe Miera*  
 Joe Miera, President, Board of Directors of Greater Albuquerque Housing Partnership

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this 8th day of November, 2004, the foregoing instrument was acknowledged before me by Louis Kolker, Executive Director and Joe Miera, President, Board of Directors of the Greater Albuquerque Housing Partnership, a New Mexico non-profit corporation, on behalf of said corporation.

My Commission expires August 21, 2006

*Diana M. Garcia*  
 Notary Public

OCTOBER 2004

APPROVALS as specified by the County of Bernalillo Subdivision Ordinance:  
 SUBDIVISION CASE NO. 03-DRB-01778

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:  
 PROJECT NO. 1002194

**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
 ON 11/12/05

- Planning Director, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_
- Property Management, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_
- Traffic Engineer, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_
- Water Utilities Department, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_  
*Thomas D. Johnston* 11-16-04  
 City Surveyor, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_
- Parks and Recreation, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_
- A.M.A.F.C.A. \_\_\_\_\_ Date \_\_\_\_\_
- City Engineer, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_
- Parks and Recreation, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_
- A.M.A.F.C.A. \_\_\_\_\_ Date \_\_\_\_\_
- City Engineer, City of Albuquerque \_\_\_\_\_ Date \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

*Thomas D. Johnston* 10-26-04  
 Thomas D. Johnston, N.M.P.S. No. 14289

**SUBDIVISION DATA**

1. DRB Proj. No. 1002194
2. Zone Atlas Index No. L-16
3. Current Zoning R-2
4. Gross acreage 1.5316
5. Existing number of lots 1  
 Replatted number of lots 18

**PURPOSE OF PLAT**

This plat has been prepared for the purpose of dividing the tract into 18 new lots, grant of a 20-foot Public Drainage Easement and Public Utility Easements and dedication of a Public Alley.

**NOTES**

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ( ).
2. Perimeter distances are field measurements made on the ground and agree with record except as noted.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. This plat shows all easements of record.
  - a. Existing 2.5' x 30' Public Utility Easement filed April 4, 1973, Bk. Misc. 306, page 408, Doc. No. 44284, records of Bernalillo County, New Mexico. Said easement is released by Document recorded October 8, 2004 in Book A85, Page 1880.
  - b. Existing 10' Utility Easement recorded December 12, 1988, Bk. Misc. 692A, page 787, Doc. No. 88109123, records of Bernalillo County, New Mexico. This easement is for overhead utility lines.
  - c. Existing 20' City of Albuquerque Utility Easement recorded on October 5, 1965; Vol. C6, folio 189 with plat of Sunport Lodgings Addition. This easement covers Public Public Waterlines.
5. A Twenty-foot (20') Public Drainage Easement has been granted by this plat. Easement traverses property East-to-West and follows an existing concrete channel.
6. A Ten-foot (10') Public Utility Easement has been granted by this plat. traverses property East-to-West and follows an existing concrete channel.
7. A Two-foot (2') Public Sanitary Sewer Easement has been granted by this plat. Easement is adjacent to the Easterly property line of site.
8. Public Alley dedicated by this plat to the City of Albuquerque, a New Mexico Municipal Corporation in fee simple with Warranty Covenants.
9. The property described hereon is that remaining Northerly portion of Tract 2 of SUNPORT LODGINGS ADDITION after recording of the Plat of Tract 2-B of Sunport Lodgings Addition, as it appears on the plat filed on June 26, 1978 in Volume C13, folio 134.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC# 1 016 056 386 242 40134

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURER'S OFFICE

330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

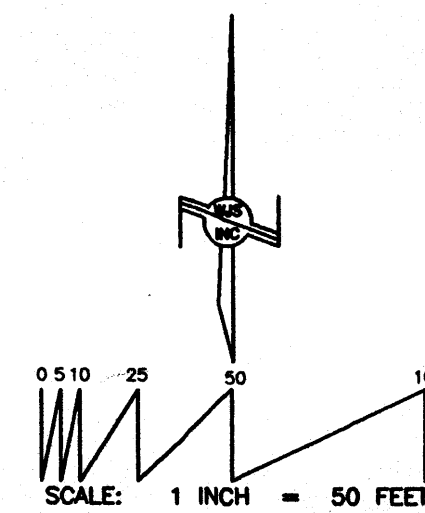
INDEXING INFORMATION FOR COUNTY CLERK	DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-4-06-2003B
OWNER: GABO HOUSING LOCATION: SE 1/4, SEC. 27, T.10 N., R.3 E., N.M.P.M. SUBDIVISION: SUNPORT TOWNHOMES	CHECKED: T D J	26 OCT 2004	SHEET 1 OF 2
	DRAWING NO. SP40603.DWG		

LOG NO. 2003290524

PLAT OF  
LOTS 1 - 18  
**SUNPORT TOWNHOMES**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

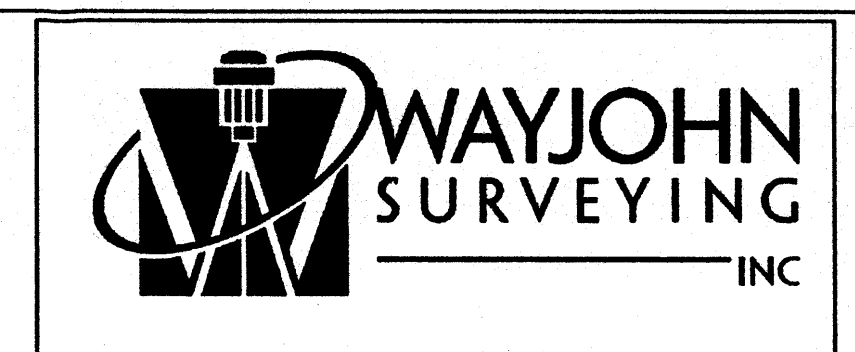
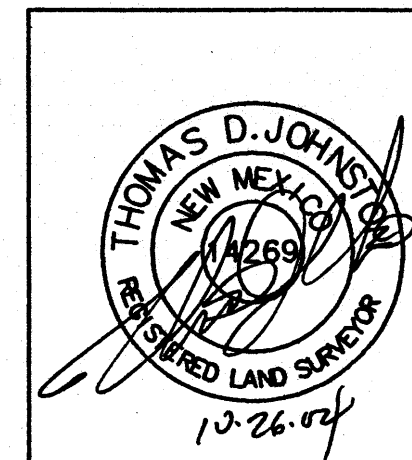
A REPLAT OF NORTHERLY PORTION OF TRACT 2  
SUNPORT LODGINGS ADDITION  
WITHIN SE 1/4, SECTION 27, T.10N., R.3E., N.M.P.M.

OCTOBER 2004



MONUMENTATION

- A Found 1/2" Rebar, cap "WAYJOHN PS 14269"
- B Found 1/2" Rebar, attached tag "WAYJOHN PS 14269"
- C Found 3/4" pipe, attached tag "WAYJOHN PS 14269"
- D Set 1/2" Rebar, cap "WAYJOHN PS 14269"



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

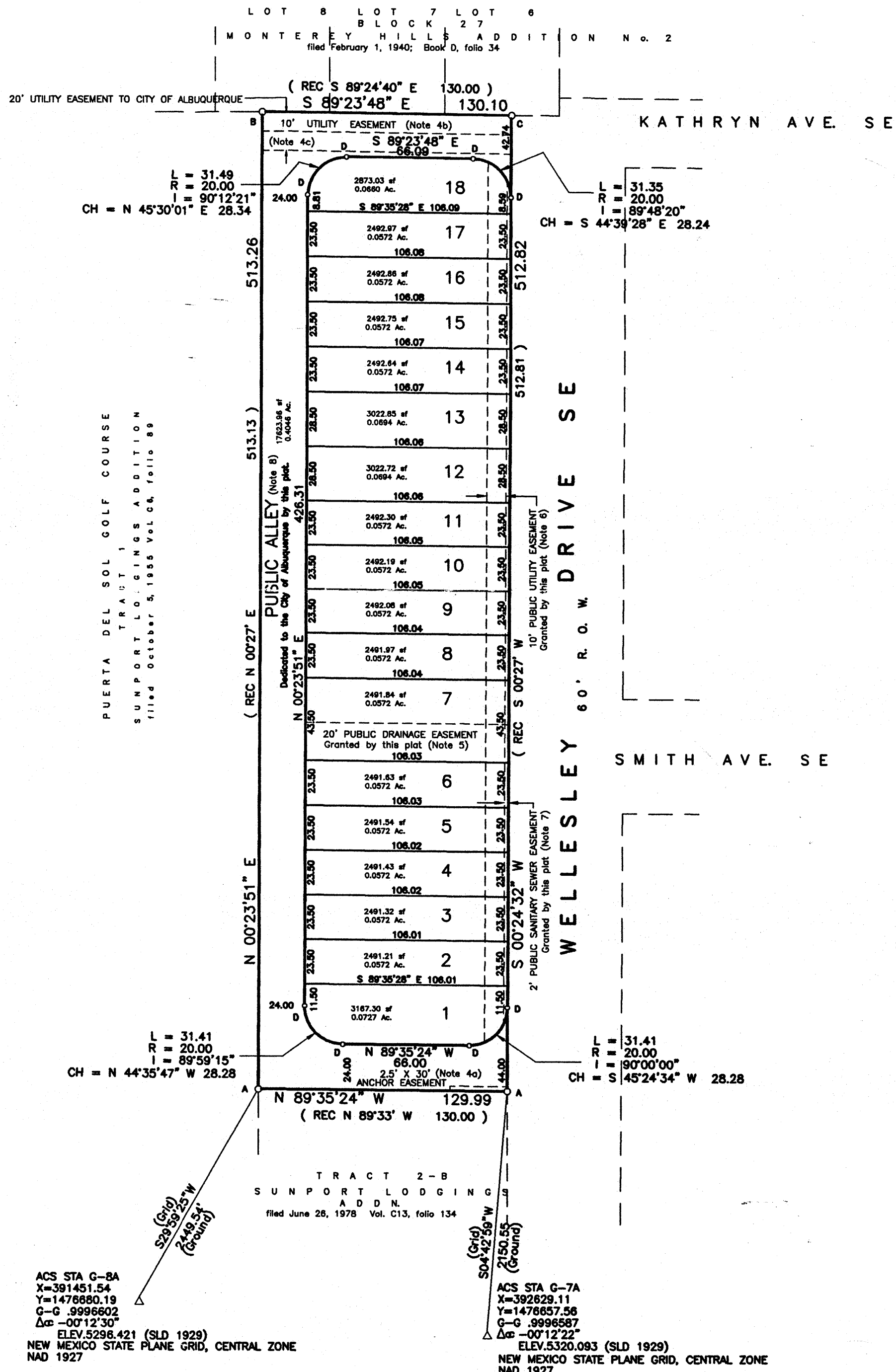
INDEXING INFORMATION FOR COUNTY CLERK  
OWNER: GABQ HOUSING  
LOCATION: SE 1/4, SEC. 27, T.10 N., R.3 E., N.M.P.M.  
SUBDIVISION: SUNPORT TOWNHOMES

DRAWN: E W K  
CHECKED: T D J  
DRAWING NO. SP40603.DWG

SCALE: 1" = 50'  
26 OCT 2004

FILE NO. SP-4-06-2003B  
SHEET 2 OF 2

COUNTY CLERK RECORDING LABEL HERE



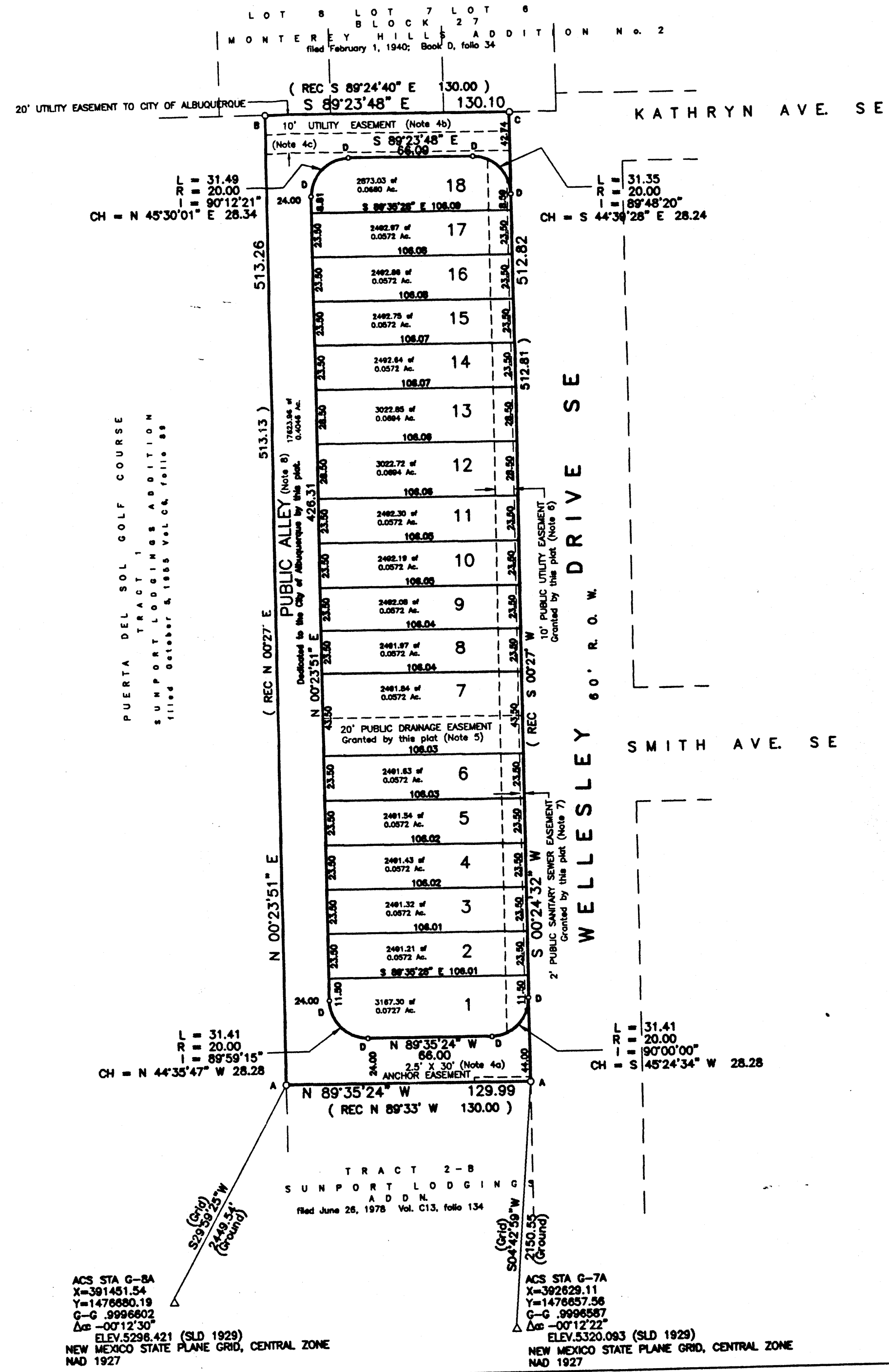
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COUNTY CLERK RECORDING LABEL HERE

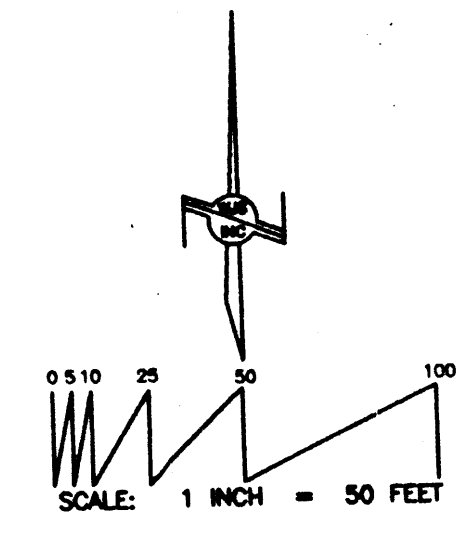
LOG NO. 2003290524

PLAT OF  
LOTS 1 - 18  
**SUNPORT TOWNHOMES**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

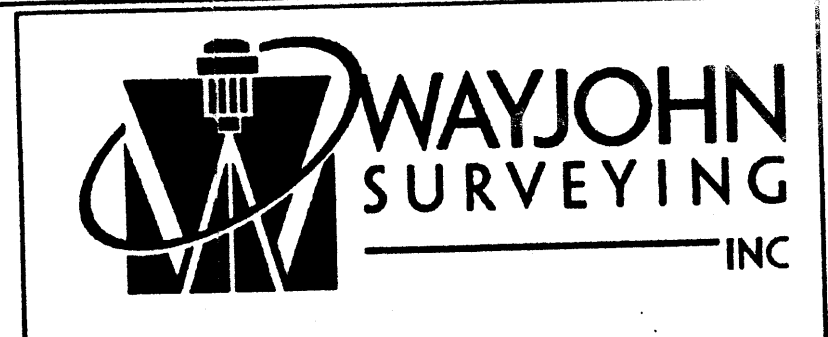
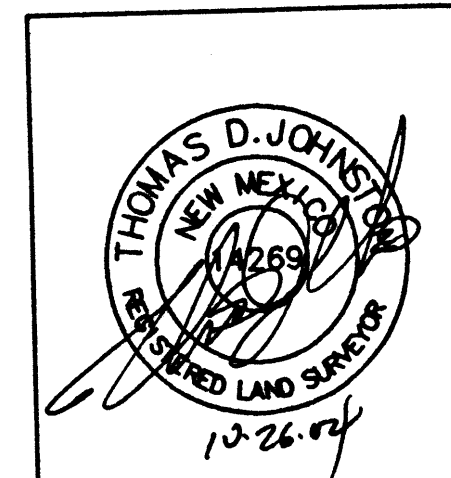
A REPLAT OF NORTHERLY PORTION OF TRACT 2  
SUNPORT LODGINGS ADDITION  
WITHIN SE 1/4, SECTION 27, T.10N., R.3E., N.M.P.M.



OCTOBER 2004



- MONUMENTATION
- A Found 1/2" Rebar, cap "WAYJOHN PS 14269"
  - B Found 1/2" Rebar, attached tag "WAYJOHN PS 14269"
  - C Found 3/4" pipe, attached tag "WAYJOHN PS 14269"
  - D Set 1/2" Rebar, cap "WAYJOHN PS 14269"

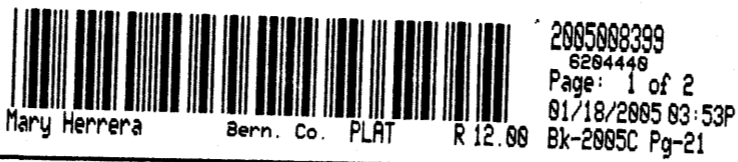
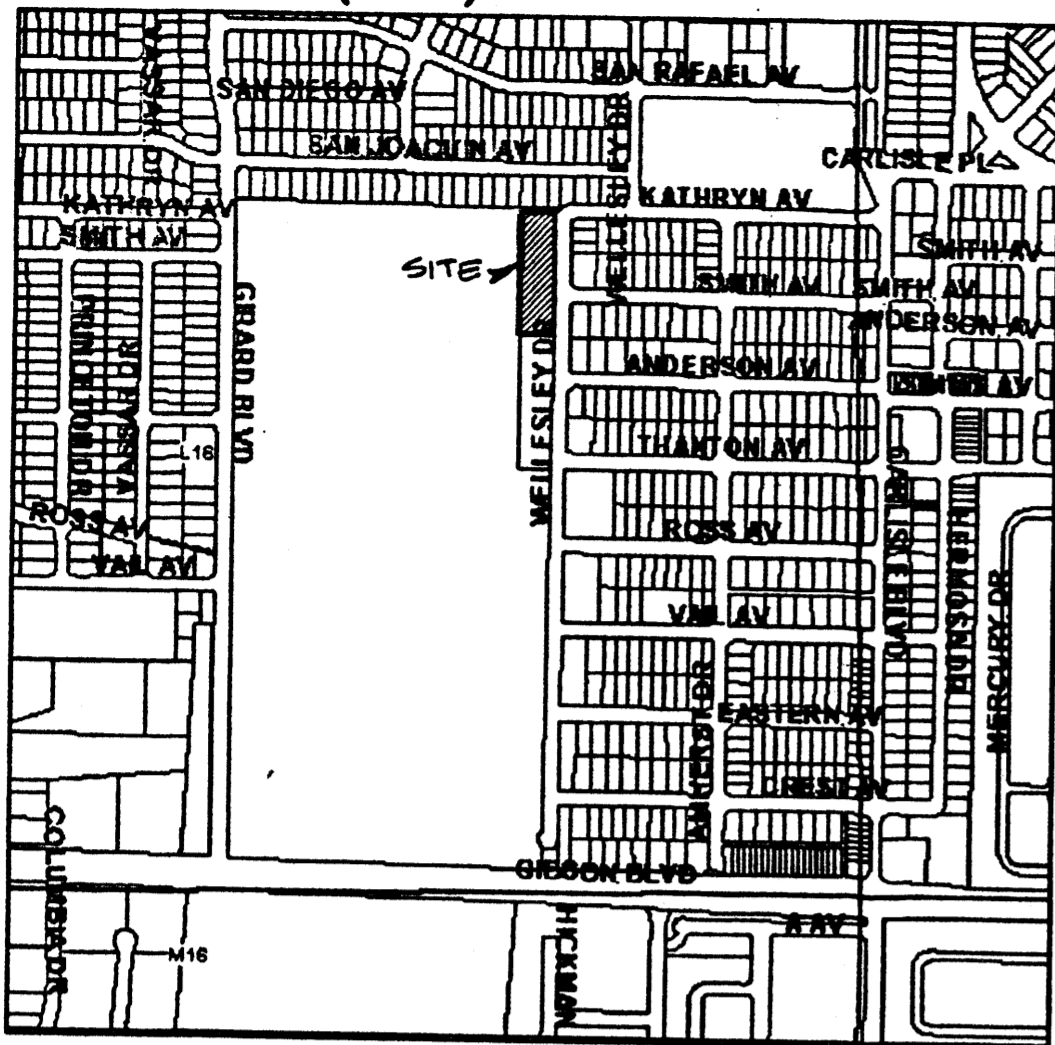


330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: GMS HOUSING LOCATION: SE 1/4, SEC. 27, T.10 N., R.3 E., N.M.P.M. SUBDIVISION: SUNPORT TOWNHOMES	DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-4-06-2003B
	CHECKED: T D J	DRAWING NO. SP40603.DWG	DATE: 26 OCT 2004 SHEET 2 OF 2

VICINITY MAP (L-16)

NO SCALE



COUNTY CLERK RECORDING LABEL HERE

LOG NO. 2003290524  
 PLAT OF  
 LOTS 1 - 18  
**SUNPORT TOWNHOMES**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 A REPLAT OF NORTHERLY PORTION OF TRACT 2  
 SUNPORT LODGINGS ADDITION  
 WITHIN SE 1/4, SECTION 27, T.10N., R.3E., N.M.P.M.

OCTOBER 2004  
 APPROVALS as specified by the County of Bernalillo Subdivision Ordinance:  
 SUBDIVISION CASE NO. 03-DRB-01778 / 04-DRB-01836

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:  
 PROJECT NO. 1002194  
 Planning Director, City of Albuquerque: [Signature] 1/12/05  
 Property Management, City of Albuquerque: [Signature] 1/12/05  
 Traffic Engineer, City of Albuquerque: [Signature] 1-18-05  
 Water Utilities Department, City of Albuquerque: [Signature] 1/12/05  
 City Surveyor, City of Albuquerque: [Signature] 11-16-04  
 Parks and Recreation, City of Albuquerque: [Signature] 1/12/05  
 A.M.A.E.C.A.: [Signature] 1-12-05  
 City Engineer, City of Albuquerque: [Signature] 1-12-05

[Signature]  
[Signature]  
[Signature]

**SURVEYOR'S CERTIFICATE**  
 I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.  
[Signature] 10-26-04  
 Thomas D. Johnston, N.M.P.S. No. 14269

THOMAS D. JOHNSTON  
NEW MEXICO  
REGISTERED LAND SURVEYOR  
14269

Date

**WAYJOHN**  
SURVEYING  
INC

330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK	DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-4-06-2003B
OWNER: GABO HOUSING LOCATION: SE 1/4, SEC. 27, T.10 N., R.3 E., N.M.P.M. SUBDIVISION: SUNPORT TOWNHOMES	CHECKED: T D J	26 OCT 2004	SHEET 1 OF 2
	DRAWING NO. SP40603.DWG		

**PUBLIC UTILITY EASEMENTS**  
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- QUEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHAL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITHEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

**DESCRIPTION**

The Northerly portion of property designated as Tract 2 of Sunport Lodgings Addition, Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, October 5, 1965, Volume C6, folio 89, and being more particularly described as follows:  
 BEGINNING at the Southeast corner of the herein described tract, said corner being a point on the Westerly line of Wellesley Drive, SE, from which point ACS Station G-7A (x=392629.11, y=1476657.56, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 0°42'59" W, a ground distance of 2150.55 feet, and running from said beginning point:  
 Thence, N 89°35'24" W, a distance of 129.99 feet to the Southwest corner of the herein described tract;  
 Thence, N 00°23'51" E, a distance of 513.28 feet to the Northwest corner of the herein described tract;  
 Thence, S 89°23'48" E, a distance of 130.10 feet to the Northeast corner of the herein described tract, said corner also being the Northeast corner of the Sunport Lodgings Addition and being a point on the Westerly line of Wellesley Drive, SE;  
 Thence, S 00°24'32" W, a distance of 512.82 feet to the Southeast corner of the herein described tract and place of beginning, containing 1.5316 acres, more or less.

**FREE CONSENT**

The division of the the portion of Tract 2 of Sunport Lodgings Addition as described hereon into 18 lots, grant of a 20-foot Public Drainage Easement, Public Utility Easement, Public Sanitary Sewer Easement and dedication of a Public Alley in fee simple with Warranty Covenants, to the City of Albuquerque, New Mexico, a Municipal Corporation, is with the free consent and in accordance with the desires of the undersigned owners. Said owners warrant that they hold complete and indefeasible title in fee simple to the land subdivided.

[Signature]  
 Louis Kolker, Executive Director, Greater Albuquerque Housing Partnership

[Signature]  
 Joe Miera, President, Board of Directors of Greater Albuquerque Housing Partnership

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this 8th day of November, 2004, the foregoing instrument was acknowledged before me by Louis Kolker, Executive Director and Joe Miera, President, Board of Directors of the Greater Albuquerque Housing Partnership, a New Mexico non-profit corporation, on behalf of said corporation.

My Commission expires August 21, 2006  
[Signature]  
 Notary Public

**SUBDIVISION DATA**

- DRB Proj. No. 1002194
- Zone Atlas Index No. L-16
- Current Zoning R-2
- Gross acreage 1.5316
- Existing number of lots 1  
 Replatted number of lots 18

**PURPOSE OF PLAT**

This plat has been prepared for the purposes of dividing one tract into 18 new lots, grant of a 20-foot Public Drainage Easement and Public Utility Easements and dedication of a Public Alley.

**NOTES**

- Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ( ).
- Perimeter distances are field measurements made on the ground and agree with record except as noted.
- Monuments recovered and accepted or reset are noted on inscribed plat.
- This plat shows all easements of record.
  - Existing 2.5' x 30' Public Utility Easement filed April 4, 1973, Bk. Misc. 306, page 408, Doc. No. 44284, records of Bernalillo County, New Mexico. Said easement is released by Document recorded October 8, 2004 in Book A85, Page 1880.
  - Existing 10' Utility Easement recorded December 12, 1988, Bk. Misc. 692A, page 787, Doc. No. 88109123, records of Bernalillo County, New Mexico. This easement is for overhead utility lines.
  - Existing 20' City of Albuquerque Utility Easement recorded on October 5, 1965; Vol. C6, folio 189 with plat of Sunport Lodgings Addition. This easement covers Public Public Waterlines.
- A Twenty-foot (20') Public Drainage Easement has been granted by this plat. Easement traverses property East-to-West and follows an existing concrete channel.
- A Ten-foot (10') Public Utility Easement has been granted by this plat. traverses property East-to-West and follows an existing concrete channel.
- A Two-foot (2') Public Sanitary Sewer Easement has been granted by this plat. Easement is adjacent to the Easterly property line of site.
- Public Alley dedicated by this plat to the City of Albuquerque, a New Mexico Municipal Corporation in fee simple with Warranty Covenants.
- The property described hereon is that remaining Northerly portion of Tract 2 of SUNPORT LODGINGS ADDITION after recording of the Plat of Tract 2-B of Sunport Lodgings Addition, as it appears on the plat filed on June 26, 1978 in Volume C13, folio 134.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY  
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC# 1 016 056 386 242 40134  
Greater Albuquerque Housing Partnership  
 PROPERTY OWNER OF RECORD:  
Bernardo Santillana Ponce 1-1305  
 BERNALILLO COUNTY TREASURER'S OFFICE

PLAT OF  
**LOTS 6-A AND 7-A**  
**SUNPORT TOWNHOMES**

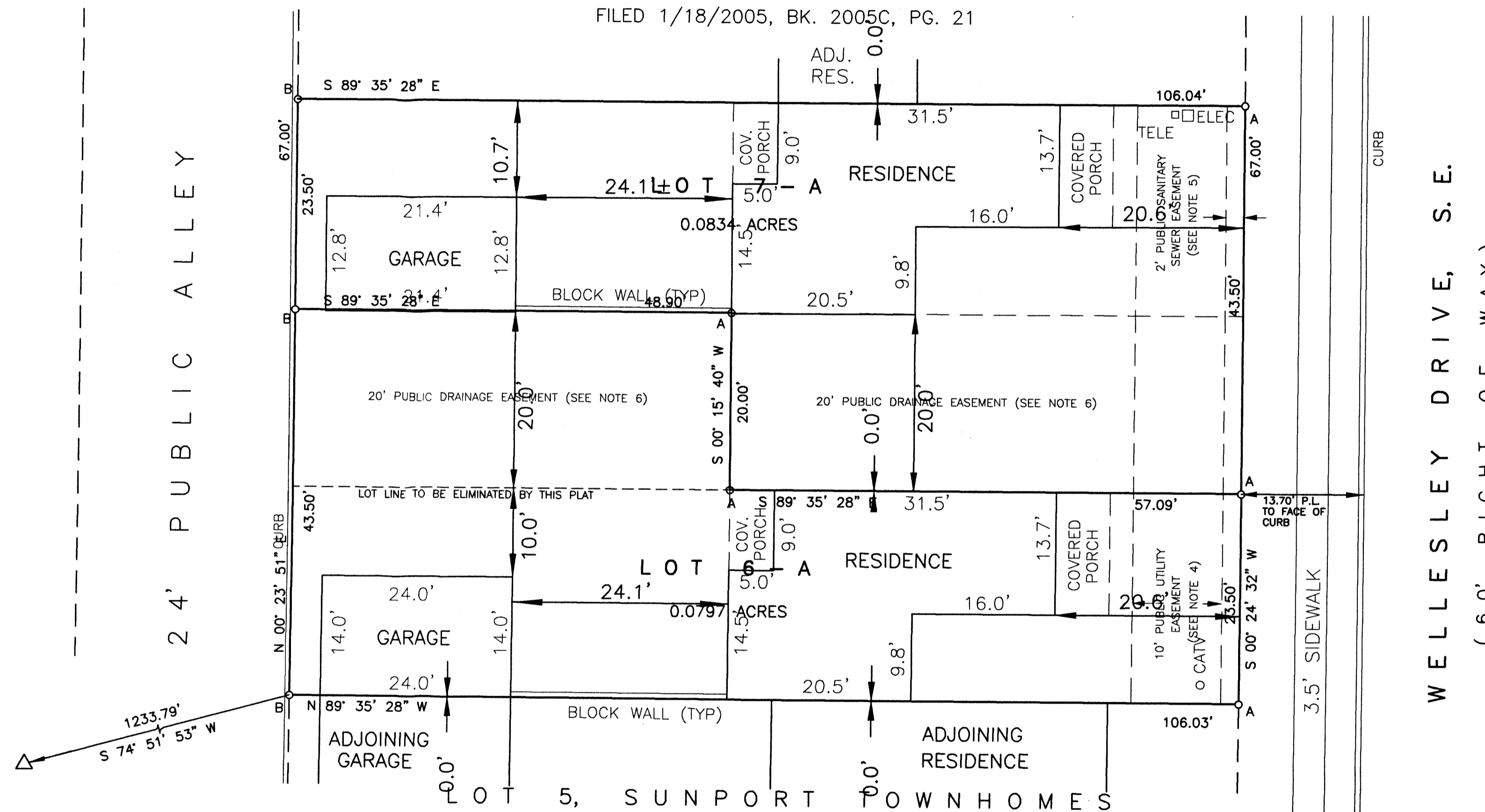
A REPLAT OF LOTS 6 AND 7, SUNPORT TOWNHOMES  
 WITHIN SECTION 27, T.10N., R.3E., N.M.P.M.  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JULY 2007

**LOT 8, SUNPORT TOWNHOMES**

FILED 1/18/2005, BK. 2005C, PG. 21

COUNTY CLERK RECORDING LABEL HERE



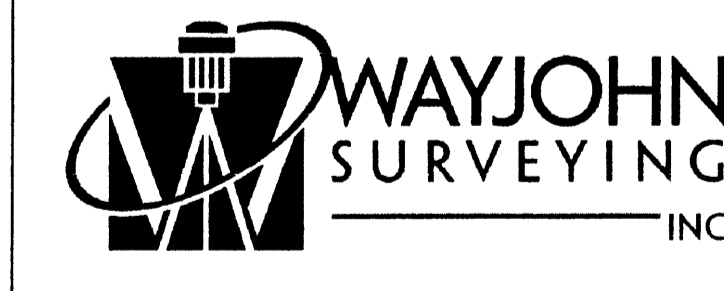
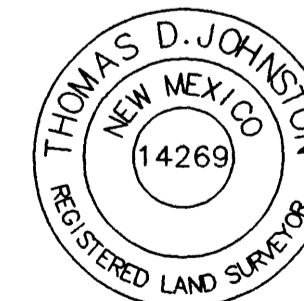
ACS MONUMENT "19-L16"  
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 y=1,478,628.94  
 Delta Alpha: -00°12'30"  
 Ground-to-grid:  
 0.9996602  
 NMSZ CENTRAL ZONE  
 NAD 1927

FILED 1/18/2005, BK. 2005C, PG. 21

**EXISTING CONDITIONS**

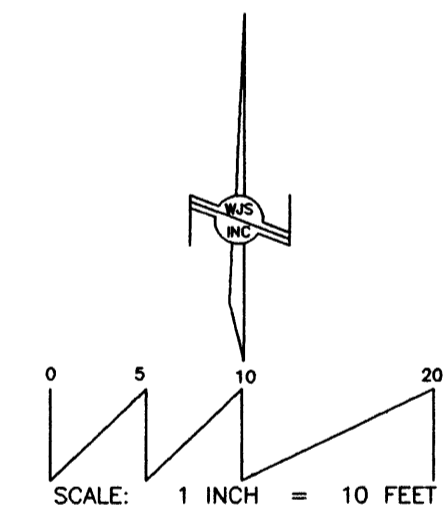
**LEGEND:** ○

- A: SET 1/2" REBAR W/CAP "L.S. 14269"
- B: SET CHIS. "+" ON TOP OF CONCRETE CURB



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY OWNER (LOT 6): BABAK MEHRNOOSH OWNER (LOT 7): G.A.H.P. LOCATION: SEC. 27 T.10 N., R.3 E., N.M.P.M. SUNPORT TOWNHOMES	DRAWN: T R J	SCALE: 1" = 10'	FILE NO. SP-7-01-2007
	CHECKED: T D J		
	DRAWING NO. SP70107.DWG	20 JUL 2007	SHEET 2 OF 2



COUNTY CLERK RECORDING LABEL HERE

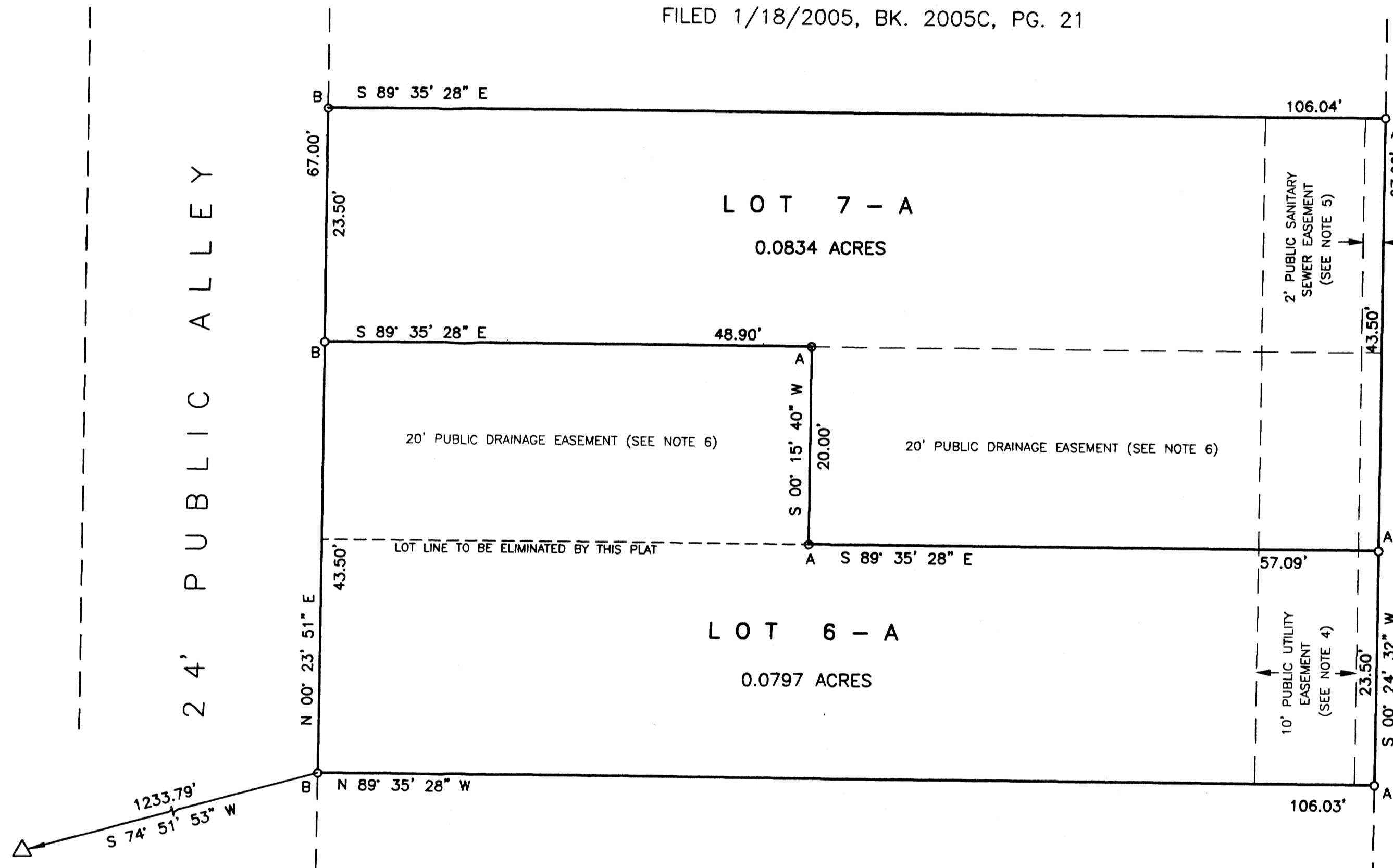
# PLAT OF LOTS 6-A AND 7-A SUNPORT TOWNHOMES

A REPLAT OF LOTS 6 AND 7, SUNPORT TOWNHOMES  
WITHIN SECTION 27, T.10N., R.3E., N.M.P.M.  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

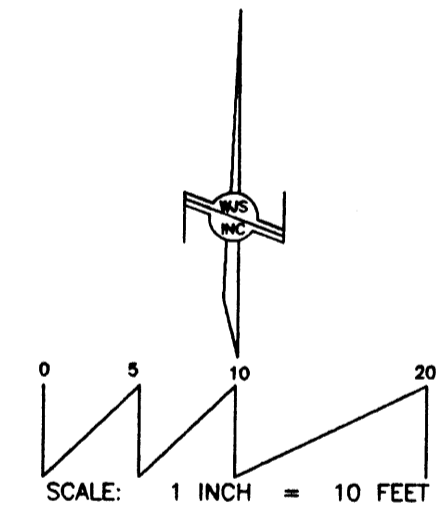
JULY 2007

## LOT 8, SUNPORT TOWNHOMES

FILED 1/18/2005, BK. 2005C, PG. 21



WELLESLEY DRIVE, S. E.  
( 60' RIGHT-OF-WAY )

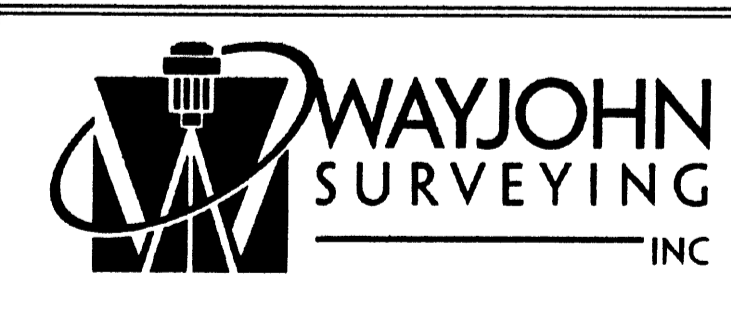
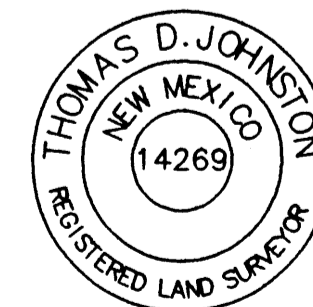


## LOT 5, SUNPORT TOWNHOMES

FILED 1/18/2005, BK. 2005C, PG. 21

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y=1,478,628.94  
Delta Alpha: -00°12'30"  
Ground-to-grid:  
0.9996602  
NMSP CENTRAL ZONE  
NAD 1927

**LEGEND:** ○  
A: SET 1/2" REBAR W/CAP "L.S. 14269"  
B: SET CHIS. "+" ON TOP OF CONCRETE CURB



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY  
OWNER (LOT 6): BABAK MEHRNOOSH  
OWNER (LOT 7): G.A.H.P.  
LOCATION: SEC. 27  
T.10 N., R.3 E., N.M.P.M.  
SUNPORT TOWNHOMES

DRAWN: T R J

CHECKED: T D J

DRAWING NO.  
SP70107.DWG

SCALE:

1" = 10'

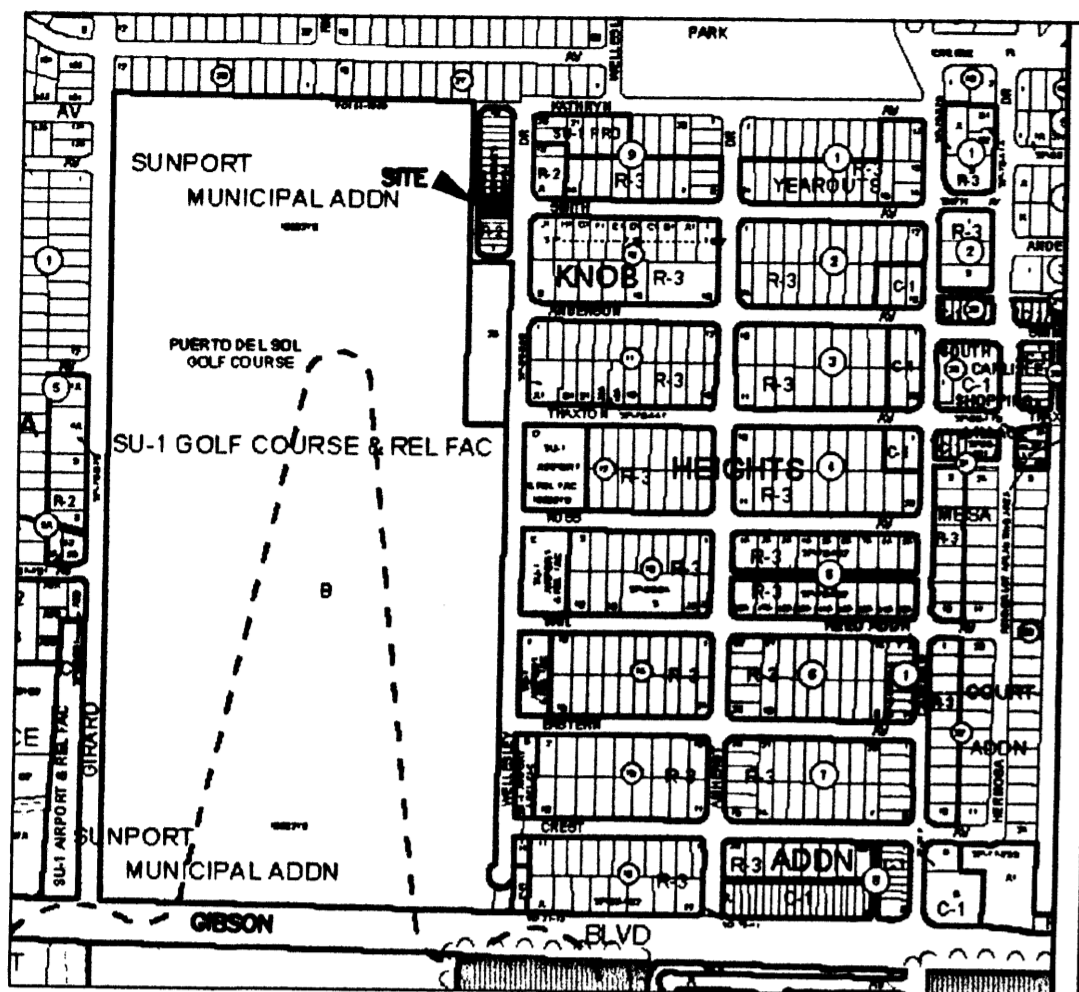
20 JUL 2007

FILE NO.

SP-7-01-2007

SHEET 2 OF 2

VICINITY MAP (L-16) NO SCALE



PLAT OF  
**LOTS 6-A AND 7-A**  
**SUNPORT TOWNHOMES**

A REPLAT OF LOTS 6 AND 7, SUNPORT TOWNHOMES  
 WITHIN SECTION 27, T.10N., R.3E., N.M.P.M.  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JULY 2007

**PRELIMINARY PLAT**  
**APPROVED BY DRB**

PROJECT NUMBER: 1002194

Application Number: \_\_\_\_\_

ON \_\_\_\_\_

COUNTY CLERK RECORDING LABEL HERE  
 DESCRIPTION  
 Lots numbered Six (6) and Seven (7), SUNPORT TOWNHOMES, Albuquerque, New Mexico, as the same is shown on the Plat of said Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 18, 2005, in Plat Book 2005C, Page 21.

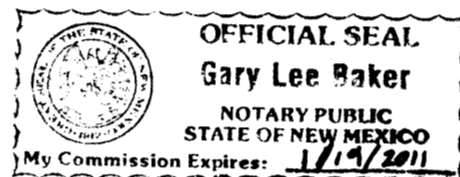
**FREE CONSENT**  
 The platting of the property as described above is with the free consent and in accordance with the desires of the undersigned owners. Said owners warrant that they hold complete and indefeasible title in fee simple to the land subdivided.

OWNER OF LOT 6:

*B. Mehrnoosh* \_\_\_\_\_ 7/25/07  
 Babak Mehrnoosh \_\_\_\_\_ Date

City Approvals:

<i>[Signature]</i> _____	<u>7-26-07</u>
City Surveyor _____	Date
_____	_____
Traffic Engineering, Transportation Division _____	Date
_____	_____
ABCWUA _____	Date
_____	_____
Parks and Recreation Department _____	Date
_____	_____
AMAFCA _____	Date
_____	_____
City Engineer _____	Date
_____	_____
DRB Chairperson, Planning Department _____	Date



ACKNOWLEDGMENT  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this 25<sup>TH</sup> day of July, 2007, the foregoing instrument was acknowledged before me by Babak Mehrnoosh, owner of Lot 6.

My Commission expires 1/19/2011  
*Gary Lee Baker* \_\_\_\_\_  
 Notary Public

OWNER OF LOT 7:

*[Signature]* \_\_\_\_\_ 07/20/2007  
 Joe Miera, President, Board of Directors of Greater Albuquerque Housing Partnership Date

*Louis Kolker* \_\_\_\_\_ 7-19-07  
 Louis Kolker, Executive Director, Greater Albuquerque Housing Partnership Date

ACKNOWLEDGMENT  
 STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

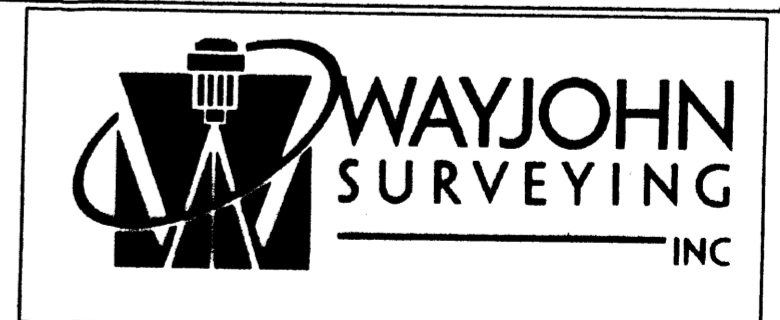
On this \_\_\_\_\_ day of July, 2007, the foregoing instrument was acknowledged before me by Joe Miera and Louis Kolker, representatives on behalf of Albuquerque Greater Housing Partnership, Owner of Lot 7.

My Commission expires June 30, 2011  
*Ron A. Fey* \_\_\_\_\_  
 Notary Public

**SURVEYOR'S CERTIFICATE**

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

*[Signature]* \_\_\_\_\_ 7-17-07  
 Thomas D. Johnston, N.M.P.S. No. 14269 Date



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY OWNER (LOT 6): BABAK MEHRNOOSH OWNER (LOT 7): G.A.H.P. LOCATION: SEC. 27 T.10 N., R.3 E., N.M.P.M. SUNPORT TOWNHOMES	DRAWN: T R J	SCALE: 1" = 10'	FILE NO. SP-7-01-2007
	CHECKED: T D J		
	DRAWING NO. SP70107.DWG	20 JUL 2007	SHEET 1 OF 2

**SUBDIVISION DATA**

- DRB Proj. No.
- Zone Atlas Index No. L-16
- Current Zoning R-2
- Gross acreage 0.1631 Ac.
- Existing number of platted parcels 2  
 Replatted number of lots 2

LOG NO. 2007280275

**NOTES**

- Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Bearings and distances in parenthesis are from existing plat.
- Perimeter distances are field measurements made on the ground.
- Monuments recovered and accepted or reset are noted on inscribed plat.
- Existing ten foot public utility easement granted by Plat recorded January 18, 2005 in Plat Book 2005C, Page 21.
- Existing two foot public sanitary sewer easement granted by Plat recorded January 18, 2005 in Plat Book 2005C, Page 21.
- Existing twenty foot public drainage easement granted by Plat recorded January 18, 2005 in Plat Book 2005C, Page 21.

**PURPOSE OF PLAT**

This plat has been prepared for the purposes of adjusting the property line between two lots.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY  
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC# 1 016 056 387 235 41807, 1 016 056 387 232 41806

PROPERTY OWNER OF RECORD:

BABAK MEHRNOOSH (LOT 6)

GREATER ALBUQUERQUE HOUSING PARTNERSHIP (LOT 7)

BERNALILLO COUNTY TREASURER'S OFFICE

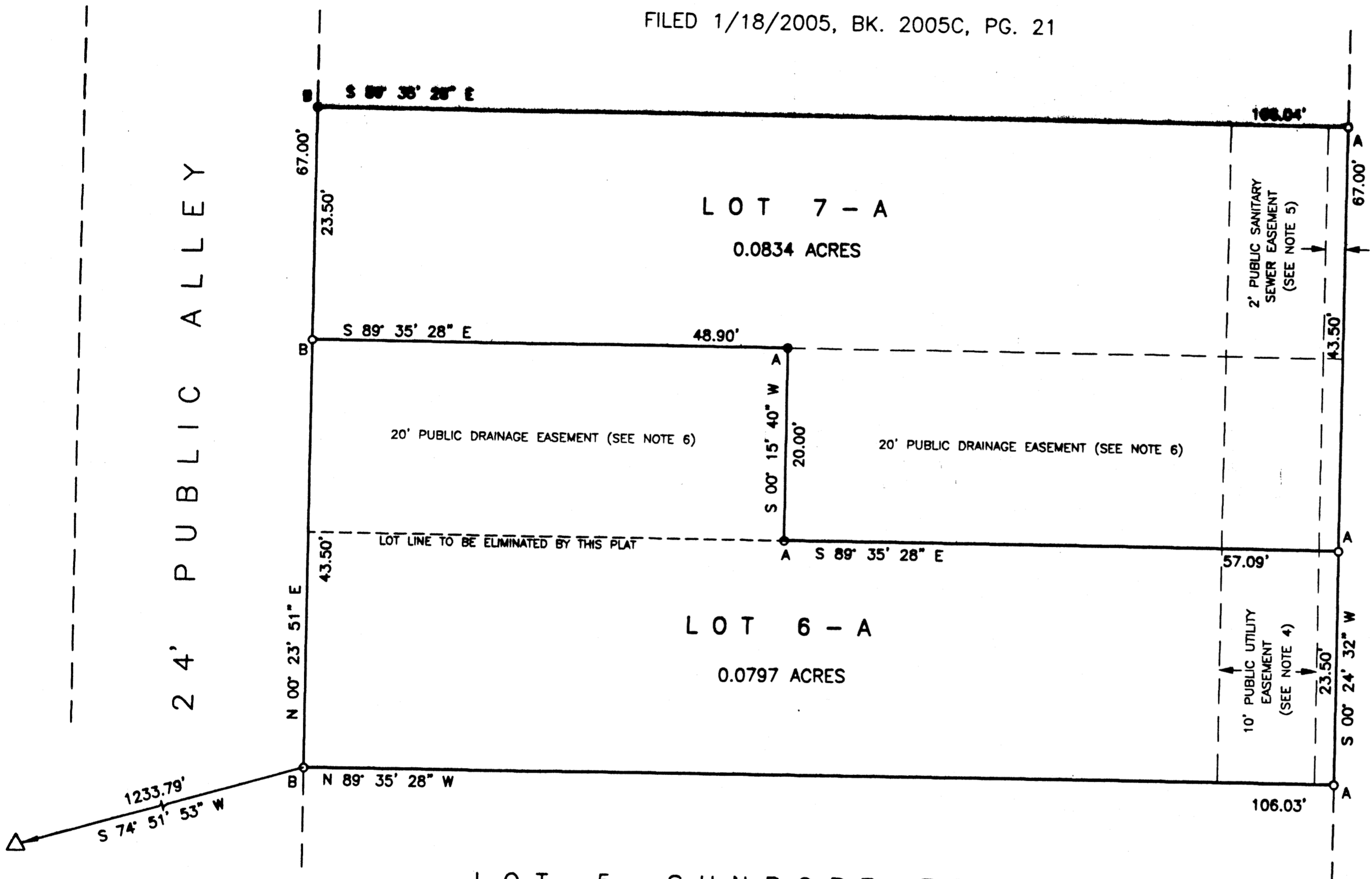


DOCH 2007117890  
 08/14/2007 04:36 PM Page: 2 of 2  
 PLAT R: \$12.00 B: 2007C P: 0224 N. Toulouse, Bernalillo County  
 COUNTY CLERK RECORDING LABEL

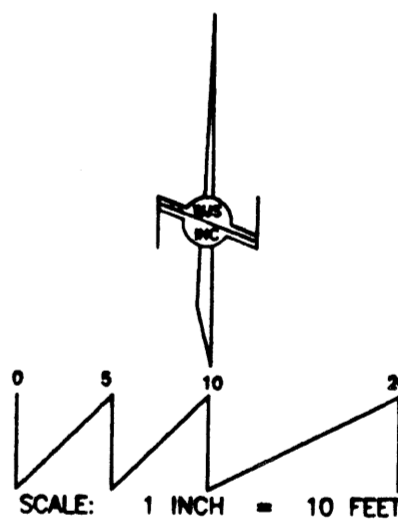
PLAT OF  
**LOTS 6-A AND 7-A**  
**SUNPORT TOWNHOMES**

A REPLAT OF LOTS 6 AND 7, SUNPORT TOWNHOMES  
 WITHIN SECTION 27, T.10N., R.3E., N.M.P.M.  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JULY 2007

**LOT 8, SUNPORT TOWNHOMES**  
 FILED 1/18/2005, BK. 2005C, PG. 21



WELLESLEY DRIVE, S. E.  
 ( 60' RIGHT-OF-WAY )



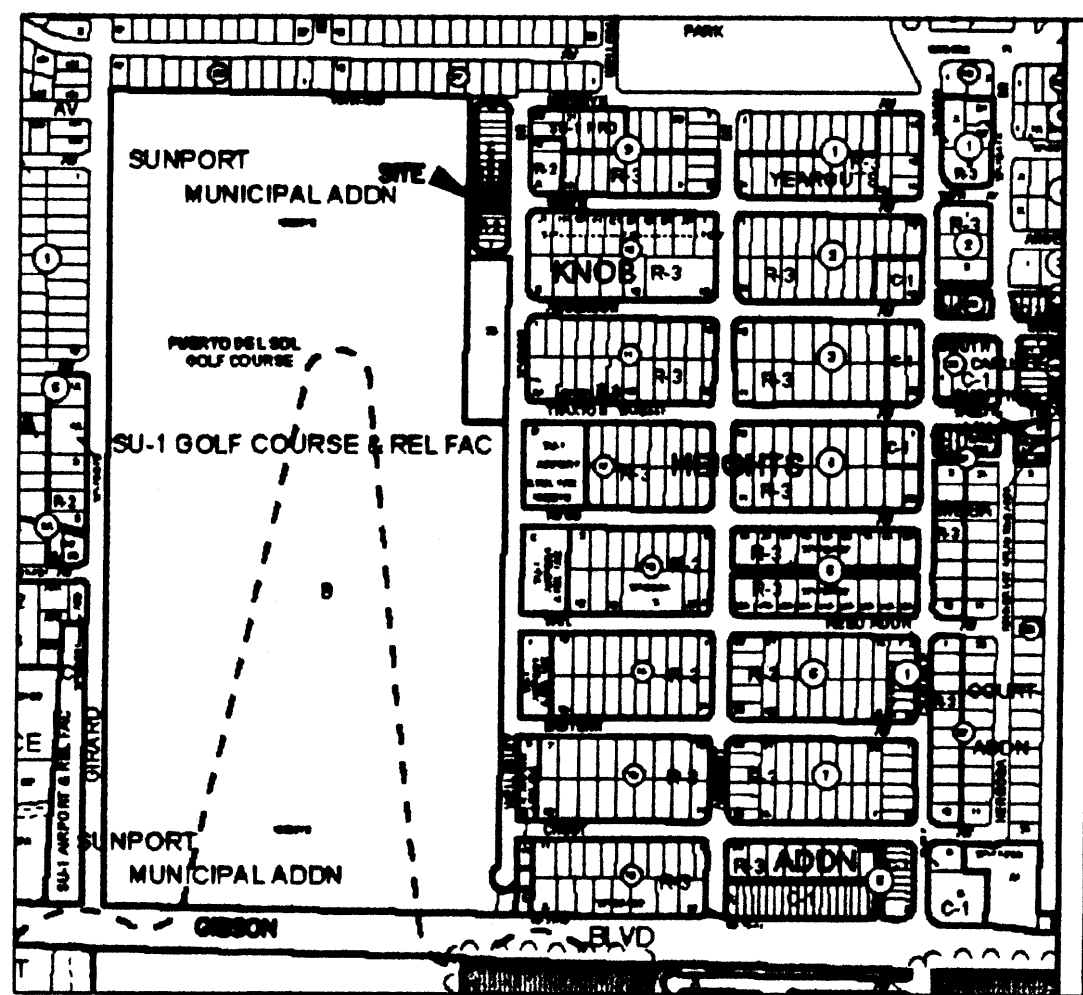
ACS MONUMENT "19-L16"  
 x=391,509.99  
 y=1,478,628.94  
 Delta Alpha: -00°12'30"  
 Ground-to-grid:  
 0.9996802  
 NAD83 CENTRAL ZONE  
 1983 1927

**LOT 5, SUNPORT TOWNHOMES**  
 FILED 1/18/2005, BK. 2005C, PG. 21

**LEGEND:** ○  
 A: SET 1/2" REBAR W/CAP "L.S. 14269"  
 B: SET CHIS. "+" ON TOP OF CONCRETE CURB

	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887		
INDEXING INFORMATION FOR COUNTY OWNER (LOT 6): BABAK MEHRNOOSH OWNER (LOT 7): G.A.H.P. LOCATION: SEC. 27 T.10 N., R.3 E., N.M.P.M. SUNPORT TOWNHOMES	DRAWN: T R J CHECKED: T D J DRAWING NO. SP70107.DWG	SCALE: 1" = 10' 20 JUL 2007	FILE NO. SP-7-01-2007 SHEET 2 OF 2

VICINITY MAP (L-16) NO SCALE



DOC# 2007117890
08/14/2007 04:36 PM Page: 1 of 2
PLAT R \$12.00 B: 2007C P: 0224 H: Toulouse, Bernalillo County

PLAT OF
LOTS 6-A AND 7-A
SUNPORT TOWNHOMES

A REPLAT OF LOTS 6 AND 7, SUNPORT TOWNHOMES
WITHIN SECTION 27, T.10N., R.3E., N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY 2007

COUNTY CLERK RECORDING LABEL HERE
DESCRIPTION

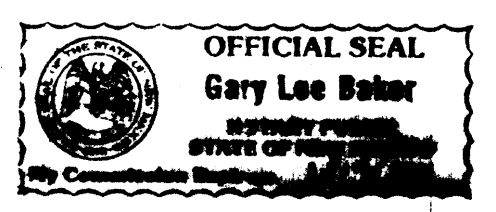
Lots numbered Six (6) and Seven (7), SUNPORT TOWNHOMES, Albuquerque, New Mexico, as the same is shown on the Plat of said Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 18, 2005, in Plat Book 2005C, Page 21.

FREE CONSENT
The platting of the property as described above is with the free consent and in accordance with the desires of the undersigned owners. Said owners warrant that they hold complete and indefeasible title in fee simple to the land subdivided.

PROJECT NUMBER: 1002194
Application Number: 07DRB-70165

OWNER OF LOT 6:
Babak Mehrmoosh
Date: 7/25/07

City Approvals:
City Surveyor: 7-26-07
Traffic Engineering/Transportation Division: 8-8-07
ABCWUA: 8/8/07
Parks and Recreation Department: 8/8/07
City Engineer: 8/8/07
DRB Chairperson, Planning Department: 8/13/07



ACKNOWLEDGMENT
STATE OF NEW MEXICO )
COUNTY OF BERNALILLO ) ss
On this 25th day of July, 2007, the foregoing instrument was acknowledged before me by Babak Mehrmoosh, owner of Lot 6.
My Commission expires 1/19/2011
Notary Public: Gary Lee Baker

SUBMISSION DATA
1. DRB Proj. No.
2. Zone Atlas Index No. L-16
3. Current Zoning R-2
4. Gross acreage 0.1631 Ac.
5. Existing number of platted parcels 2
Replatted number of lots 2
LOG NO. 2007280275

NOTES
1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Bearings and distances in parenthesis are from existing plat.
2. Perimeter distances are field measurements made on the ground.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. Existing ten foot public utility easement granted by Plat recorded January 18, 2005 in Plat Book 2005C, Page 21.
5. Existing two foot public sanitary sewer easement granted by Plat recorded January 18, 2005 in Plat Book 2005C, Page 21.
6. Existing twenty foot public drainage easement granted by Plat recorded January 18, 2005 in Plat Book 2005C, Page 21.
7. NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.
PURPOSE OF PLAT
This plat has been prepared for the purposes of adjusting the property line between two lots.

OWNER OF LOT 7:
Joe Miera, President, Board of Directors of Greater Albuquerque Housing Partnership
Date: 07/20/2007
Louis Kolker, Executive Director, Greater Albuquerque Housing Partnership
Date: 7-19-07

SURVEYOR'S CERTIFICATE
I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.
Thomas D. Johnston, N.M.P.S. No. 14269
Date: 7.17.07

ACKNOWLEDGMENT
STATE OF NEW MEXICO )
COUNTY OF BERNALILLO ) ss
On this day of July, 2007, the foregoing instrument was acknowledged before me by Joe Miera and Louis Kolker, representatives on behalf of Albuquerque Greater Housing Partnership, Owner of Lot 7.
My Commission expires June 30, 2011
Notary Public: Ron A. Fey

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1 016 056 387 235 41807, 1 016 056 387 232 41806
PROPERTY OWNER OF RECORD:
BABAK MEHRMOOSH (LOT 6)
GREATER ALBUQUERQUE HOUSING PARTNERSHIP (LOT 7)
BERNALILLO COUNTY TREASURER'S OFFICE
Date: 8-14-07

Wayjohn Surveying Inc. logo and contact info: 330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108. Includes a circular seal for Thomas D. Johnston, Registered Land Surveyor No. 14269.

Table with 3 columns: INDEXING INFORMATION FOR COUNTY, DRAWN, CHECKED, DRAWING NO., SCALE, FILE NO., SHEET. Includes details for Lot 6 owner Babak Mehrmoosh and Lot 7 owner G.A.H.P.