

**SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN REQUIREMENTS**

This project is located on the Southwest Mesa overlooking the Rio Grande and the City of Albuquerque. The site design is intended to maximize the views of the river and City to the East while complementing the newly developed and long existing elements of the Crestview neighborhood. Its location near the Westland Cemetery and historic landfills require special considerations. The only reason this property was given SU-1 for PRD rather than RT or RLT zoning was so it could be guaranteed that detached single family residences would be developed rather than townhouses (attached)

**Maximum and minimum number of dwelling units:** there shall be 42 single family detached dwelling units for an approximate density of 8 dwelling units per acre.

**Maximum and minimum lot sizes:** the lot sizes range from 3600 square feet to 8760 square feet, for an average lot size of 4450 square feet.

**Maximum building height:** 26 feet in all locations as controlled by the R-1 zone.

**Minimum building setbacks:** Front yard setback shall be not less than 10 feet, except driveways shall not be less than 20 feet long. Rear yard setback shall be not less than 15 feet. Side yard setbacks shall be not less than 10 feet on the street side of corner lots; otherwise there shall be no required side yard setback. There shall be a distance of not less than 5 feet between residential buildings, provided that the provisions of the Uniform Building Code (UBC) can be satisfied as to fire safety separation. Lots adjoining zero lot line dwelling units shall be burdened with a 5 foot maintenance and repair easement.

**Architectural design standards:** There shall be no specific architectural style required for individual dwellings. Acceptable styles include Territorial, Pueblo, Adobe Southwestern, Northern New Mexico or comparable styles. The dwellings may be single or two story subject to the height requirements set out herein. The permissible exterior wall materials shall include brick, wood, earth tone stucco or any combination thereof. The dwellings may have flat, shed or pitched roofs, with gravel, metal, tile or composite roof materials as appropriate. The color of each roof shall compliment the exterior color of the dwelling.

**Placement of mechanical units:** these units shall be located on the ground or, if roof mounted shielded from view from the public right of way.

**Grading and drainage:** A grading and drainage plan has been prepared and submitted for approval to the City in conjunction with the Subdivision of this property.

**Landscape design standards:** Landscaping in the front and street side yards shall be installed by the Builder of each unit and shall include at least one tree and low water use indigenous plants. Landscaping of the other areas of each lot and continued maintenance of the entire lot is the responsibility of the homeowner. See typical lot plan (sheet 1) for landscaping. The landscaping of this project shall comply with Water Conservation Landscaping and Waste Water Ordinance, Street Tree Ordinance and Pollen Ordinance of the City of Albuquerque.

**Off street parking:** Off street parking spaces will be provided for each dwelling in accordance with Section 14-16-3-1(A)(24)(c) of the Zoning Code.

**Site lighting and signage:** No project site lighting is planned, but streetlights will be allowed if deemed appropriate by PNM. There will be a single project sign within the perimeter wall at the intersection of Corregidor Pl. and Sunset Gardens Rd. SW. (see detail on sheet 2)

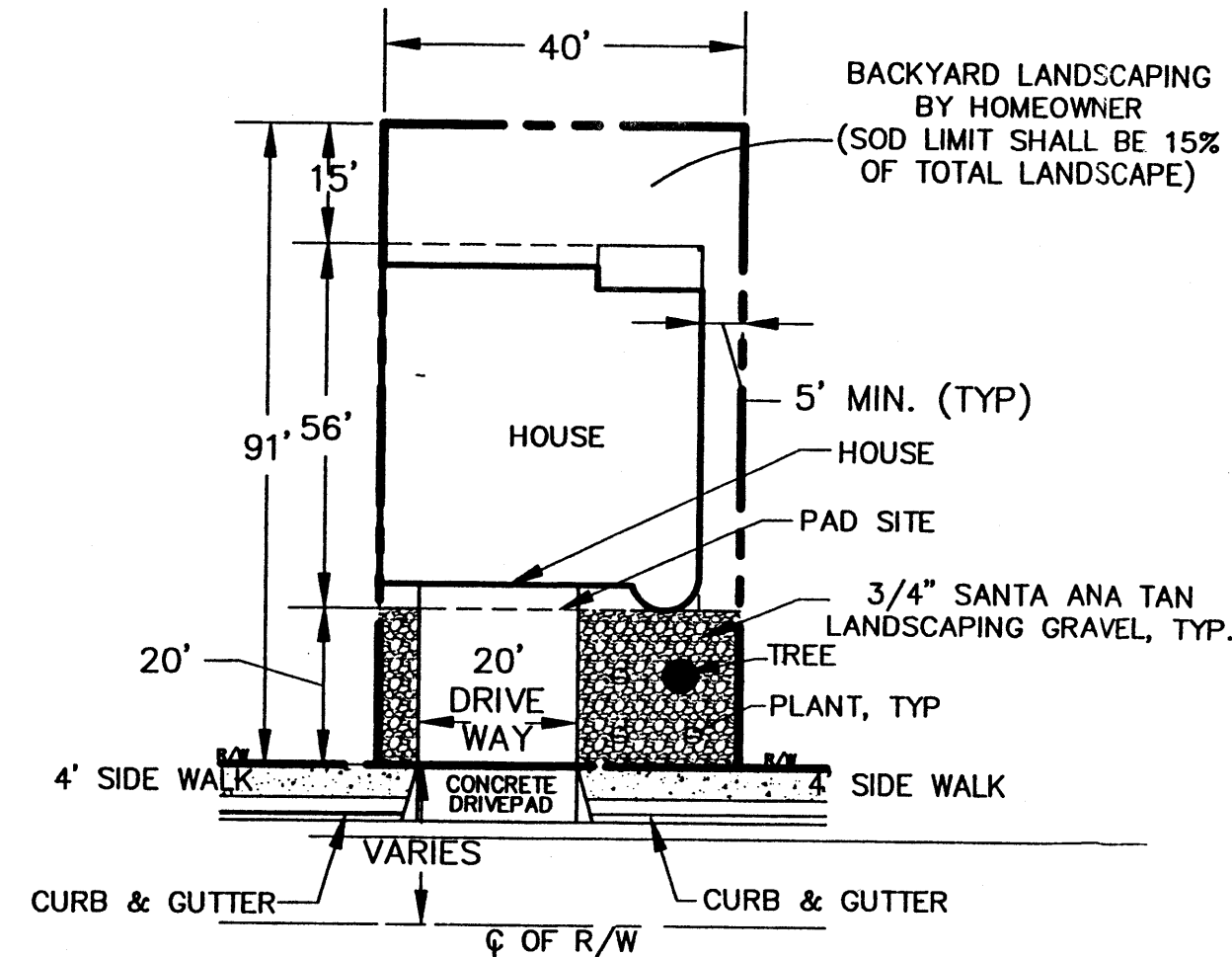
**Design of walls and fences visible from public right of way:** The perimeter wall design meets the City's newly adopted wall standards and is shown on sheet 2 of this site plan for subdivision.

**Pedestrian amenities:** Public 4 foot sidewalks shall be provided on all public streets within or abutting the property, except on the bulb of the cul-de-sac on Los Abuelos.

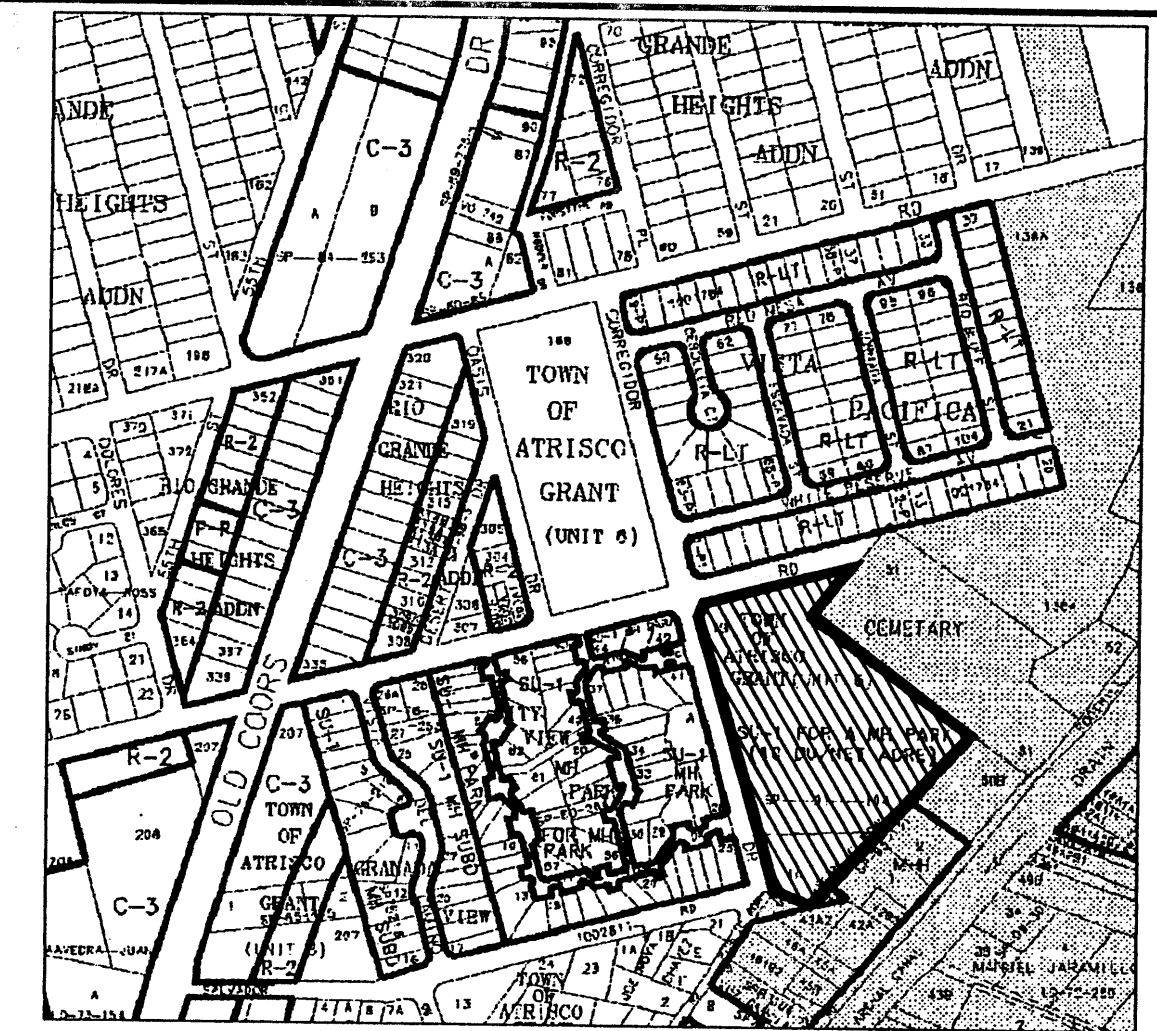
**Accessory buildings:** Shall be as regulated in Section 14-16-3-3(B)(2) of the Zoning Code.

**Site Plan(s) for Building Permit:** Individual site plans for building permit shall not be required except as may be required for building permit approval under the UBC.

**Exterior Building Colors:** Sonoma, Coconut, Antique Green, Birch White, Nutmeg, Dutch Creme  
**Roof Colors:** Rustic Cedar, Weathered Wood, Rustic Hickory



**TYPICAL LOT PLAN**  
NTS



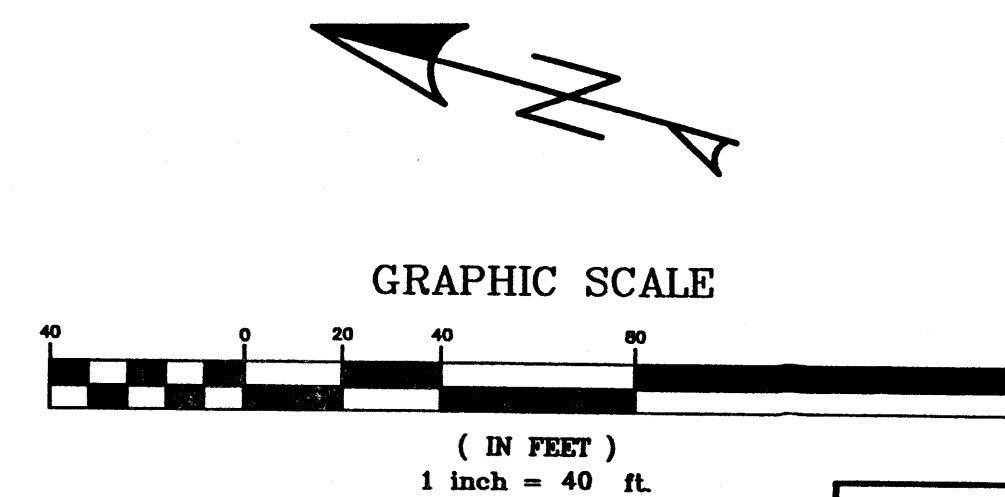
VICINITY MAP K-11-Z

PROJECT NUMBER: 1002196  
APPLICATION NUMBER: 04DRB-01000  
IS AN INFRASTRUCTURE LIST REQUIRED? (X)YES ( )NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

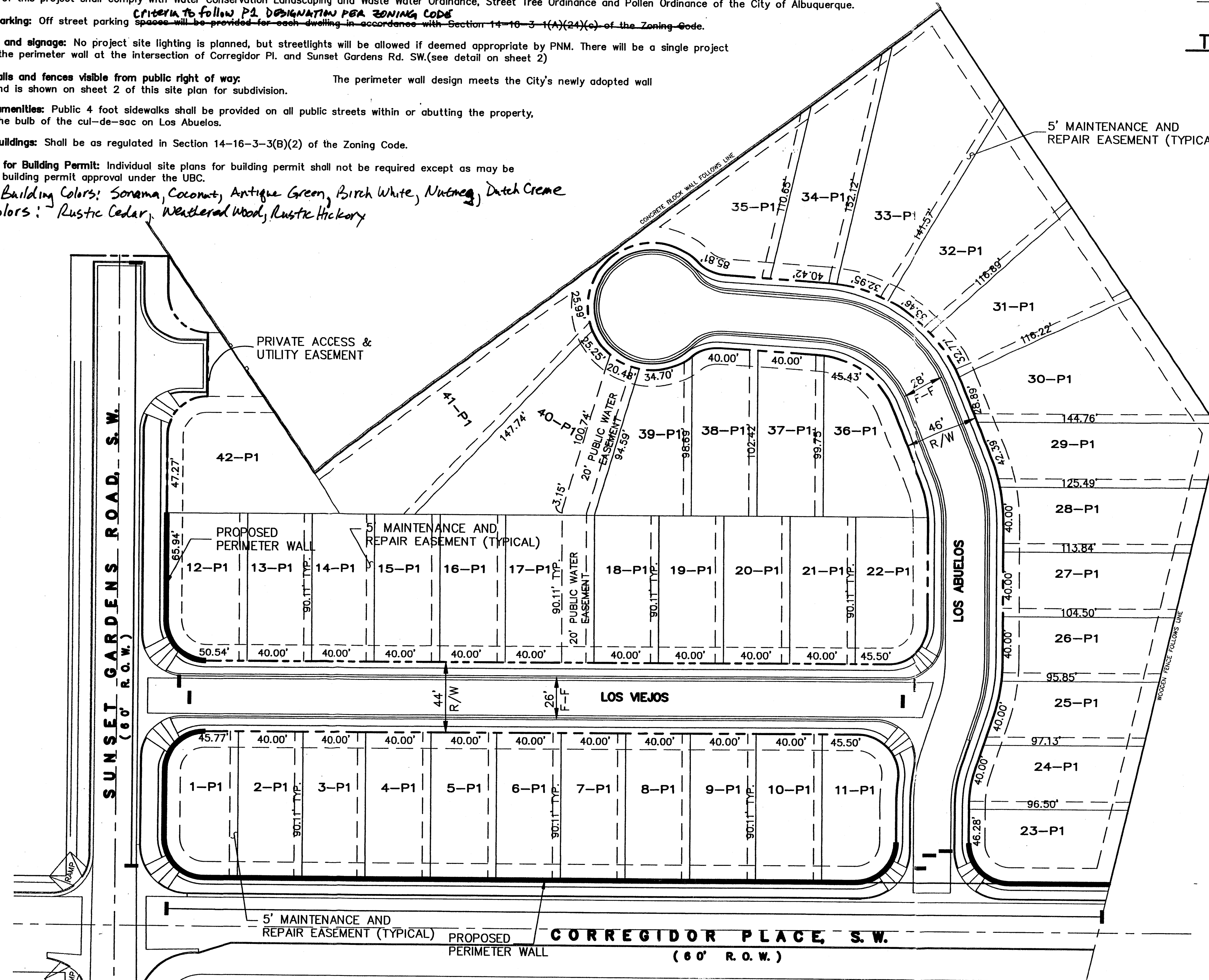
*John Soy* 6-30-05 DATE  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION  
*Roger A Green* 8-18-04 DATE  
UTILITIES DEVELOPMENT  
*Christina Sandoval* 8/18/04 DATE  
PARKS AND RECREATION DEPARTMENT  
*Bradley S. Bingham* 8/18/04 DATE  
CITY ENGINEER  
*Walter Green* June 30, 2005 DATE  
\* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)  
N/A DATE  
SOLID WASTE MANAGEMENT  
*Matron* 6/30/05 DATE  
DRB CHAIRPERSON, PLANNING DEPARTMENT

"THE SUBJECT PROPERTY IS LOCATED NEAR, A FORMER, LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR, A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

**LEGEND**  
1-P1 PROPOSED LOT NUMBER  
PROPOSED PERIMETER WALL



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**SITE DEVELOPMENT PLAN FOR SUBDIVISION**  
**LOS ANTEPESADOS**  
City Project No. \_\_\_\_\_ Zone Map No. K-11-Z Sheet Of A-1

#1002196