

Vicinity Map Zone Atlas K-11-Z

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Phil Lindborg
PHIL LINDBORG

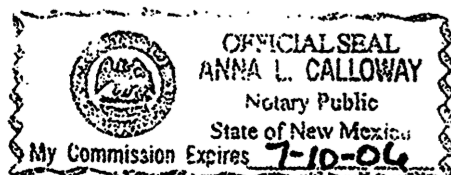
Acknowledgment

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON October 14, 2005 BY
PHIL LINDBORG

Notary Public
NOTARY PUBLIC

7-10-06
MY COMMISSION EXPIRES



Notes

1. FIELD SURVEY PERFORMED IN OCTOBER 2005.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. BENCHMARK-REFERENCES ACS MONUMENT "9-L11" HAVING AN ELEVATION OF 5009.222 (NAVD 1929).
4. THE BASIS OF BEARINGS IS BETWEEN THE ACS MONUMENTS AS SHOWN HEREON AND REFERENCES N.M.S.P. GRID (NAD 1927).
5. VACATE A PRIVATE ACCESS AND UTILITY EASEMENT ACROSS LOT 42-P1

Subdivision Data

GROSS ACREAGE. 0.4252 ACRES
 ZONE ATLAS PAGE NO. K-11-Z
 NUMBER OF EXISTING LOTS 1 LOT
 NUMBER OF TRACTS CREATED. 1 TRACT
 NUMBER OF TRACTS ELIMINATED. 0 TRACTS
 MILES OF FULL WIDTH STREETS. 0.00
 MILES OF HALF WIDTH STREETS. 0.00
 STREET ARE DEDICATED TO THE CITY OF ALBUQUERQUE. 0.00
 DATE OF SURVEY. OCTOBER 2005
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER. 2005152558
 ZONING. SU-1 FOR MOBILE HOME PARK

Purpose of Plat

1. VACATE PUBLIC RIGHT OF WAY.
2. VACATE EASEMENT LISTED IN NOTE 5.
3. RETAIN ALL OTHER EASEMENTS CURRENTLY IN PLACE UNCHANGED.
4. GRANT PRIVATE ACCESS EASEMENT ACROSS TRACT 2 TO BENEFIT THE SANTA CLARA CEMETERY.

Legal

LOT NUMBERED FORTY-TWO-P1 (42-P1), OF THE PLAT ENTITLED, LOS ANTEPASADOS, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 6, 2005 IN BOOK 2005C, PAGE 144 AND A PORTION OF SUNSET GARDENS ROAD, S.W., AND DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT THE NORTHERLY RIGHT OF WAY OF SUNSET GARDENS ROAD, S.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271", WHENCE A TIE TO ACS MONUMENT "NM 45-4A" BEARS S 39°57'40" W, A DISTANCE OF 3513.79 FEET;

THENCE, S 41°00'42" W, A DISTANCE OF 272.19 FEET TO A POINT MARKED BY A 1/2" REBAR;

THENCE, S 41°49'42" W, A DISTANCE OF 29.88 FEET TO A POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

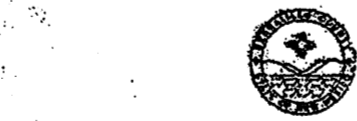
THENCE, N 14°59'35" W, A DISTANCE OF 108.44 FEET TO A POINT LYING ON THE SOUTHERLY RIGHT OF WAY OF SUNSET GARDENS ROAD, S.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING SAID SOUTHERLY RIGHT OF WAY, N 75°08'43" E, A DISTANCE OF 44.49 FEET TO A POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, TRAVERSING SAID RIGHT OF WAY, N 14°59'35" W, A DISTANCE OF 60.59 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY OF SAID SUNSET GARDENS ROAD, S.W.;

THENCE, N 75°00'55" E, A DISTANCE OF 205.94 FEET TO THE POINT OF BEGINNING, CONTAINING 0.4252 ACRES (18,523 SQ. FT.) MORE OR LESS.

Bradley J. Bigham
A.M.A.F.C.A.



THIS IS TO CERTIFY THAT TAXES CURRENT AND PAID ON UP TO 1-01-05 468-026-40925 PROPERTY NUMBER RECORD

Phyllis Ann Thompson
Phyllis Ann Thompson



THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL; THEREFORE, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSIONS OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THIS SITE.

**Plat of
Lot 42-A and Tract 2
Los Antepasados**

comprised of
a vacated portion of
Sunset Gardens Road, S.W.

and
Lot 42, Los Antepasados
situate within

Projected Section 23, Township 10 North
Range 2 East, N.M.P.M.

Town of Atrisco Grant

City of Albuquerque
Bernalillo County, New Mexico

October 2005

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14, ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 1002196

Application Number 05DRB-01647

Plat approvals:

<i>Leah D. Minto</i> PNM Electric Services	<u>1-5-06</u> Date
<i>Leah D. Minto</i> PNM Gas Services	<u>1-5-06</u> Date
<i>Tom Crabtree</i> QWest	<u>1-5-06</u> Date
<i>John Dalton</i> Comcast	<u>1-5-06</u> Date

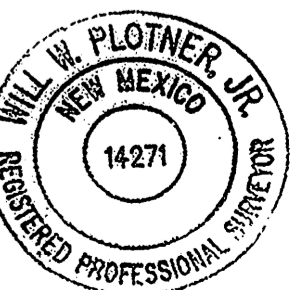
City approvals:

<i>Phil Lindborg</i> City Surveyor	<u>10-18-05</u> Date
<i>Phyllis Ann Thompson</i> Real Property Division	<u>07/05/06</u> Date
<i>Phyllis Ann Thompson</i> Traffic Engineer, Transportation Division	<u>11-14-05</u> Date
<i>Phyllis Ann Thompson</i> Albuquerque Utility Authority	<u>11-16-05</u> Date
<i>Christina Sandoval</i> Parks and Recreation	<u>11/16/05</u> Date
<i>Phyllis Ann Thompson</i> ENVIRONMENTAL HEALTH	<u>7/5/06</u> Date
<i>Bradley J. Bigham</i> City Engineer	<u>7/2/06</u> Date
<i>John Dalton</i> DRB Chairperson, Planning Department	<u>07/06/06</u> Date

Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."



Will Plotner Jr. 10/13/05
WILL PLOTNER JR. DATE
N.M.P.S. No. 14271



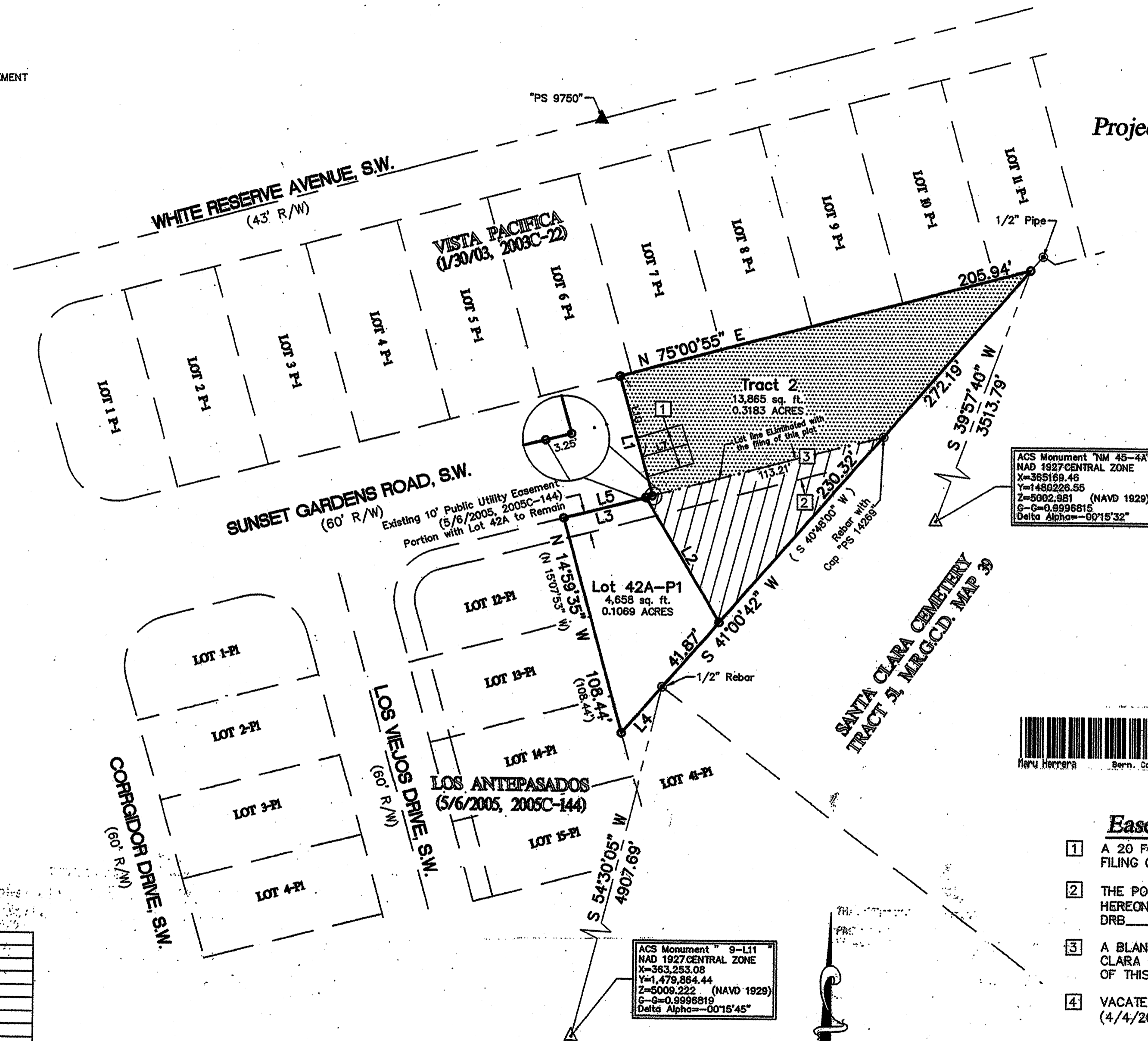
CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

Legend:

- Found as Indicated
- Set Bathing Marker with Cap "PS 14271"
- ▲ Found Centerline Monument
- △ ACS Monument
-  60 FOOT RIGHT OF WAY OF SUNSET GARDENS ROAD, S.W. (0.2245 Acres) (12/5/44, D-118) VACATED BY DRB
-  4 VACATE PRIVATE ACCESS AND UTILITY EASEMENT (4/4/2005, BOOK A94- PAGE 5578)

Plat of
Lot 42-A and Tract 2
Los Antepasados
 comprised of
 a vacated portion of
Sunset Gardens Road, S.W.
 and
Lot 42, Los Antepasados
 situate within
Projected Section 23, Township 10 North
Range 2 East, N.M.P.M.
Town of Atrisco Grant
City of Albuquerque
Bernalillo County, New Mexico
 October 2005



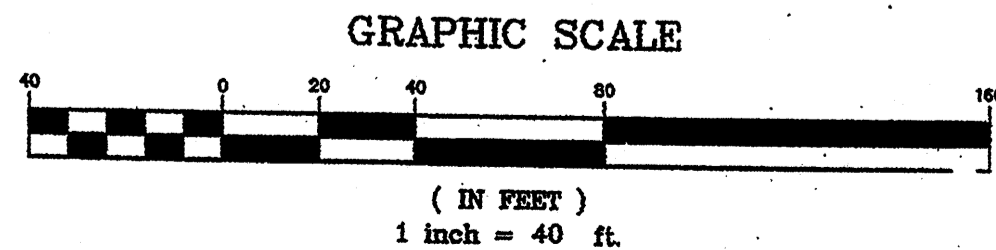
ACS Monument "M 45-4A"
 NAD 1927 CENTRAL ZONE
 X=365169.46
 Y=1480226.55
 Z=5002.881 (NAVD 1929)
 G=0.9996815
 Delta Alpha=-00°15'32"

2006100627
 6488196
 Page: 2 of 2
 07/05/2006 09:23P
 R 12.00 BK-2006C Pg-211

LINE	LENGTH	BEARING
L1	60.59	N 14°59'35" W
L2	70.96	S 30°03'02" E
L3	41.25	S 75°08'43" W
L4	29.88	S 41°49'42" W
L5	44.49	S 75°08'43" W
L7	23.33*	S 73°18'10" W
L8	6.65*	S 08°44'12" W
L9	38.60*	S 33°57'25" E
L10	41.03	N 14°59'35" W

* BEARING AND DISTANCE SHOWN IS FOR CENTERLINE OF STORM DRAIN EASEMENT

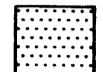

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	25.00'	39.21'	89°51'42"	N 59°55'26" W	35.31'



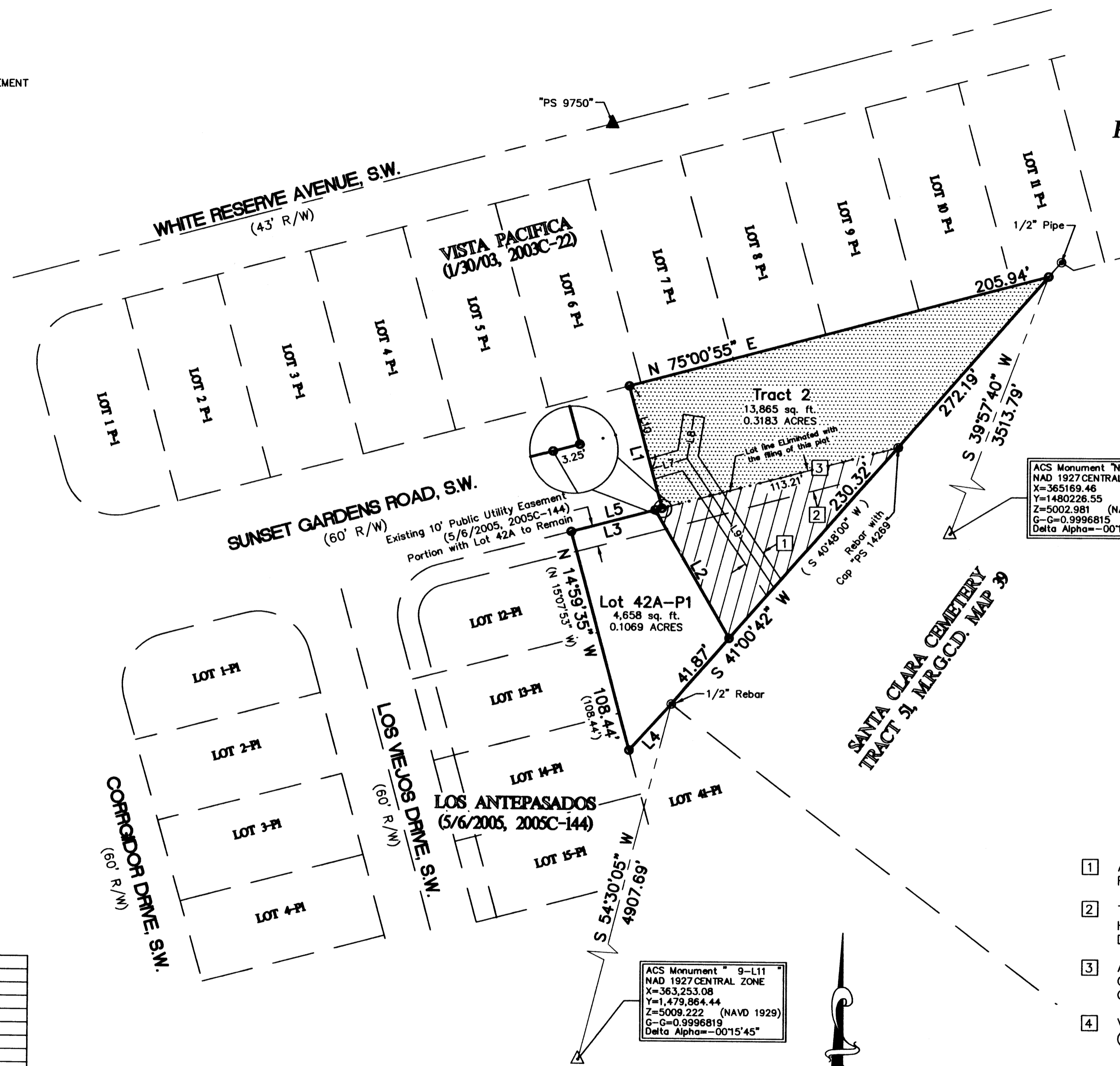
- Easement Notes**
- 1 A 20 FOOT PUBLIC STORM DRAIN EASEMENT IS GRANTED WITH THE FILING OF THIS PLAT.
 - 2 THE PORTION OF THE 10' PUBLIC UTILITY EASEMENT AS SHOWN HEREON (5/06/05, 2005C-144) CROSSING TRACT 2 IS VACATED BY DRB
 - 3 A BLANKET EASEMENT FOR INGRESS EGRESS BENEFITING THE SANTA CLARA CEMETERY IS GRANTED ACROSS TRACT 2 WITH THE FILING OF THIS PLAT. TO BE MAINTAINED BY THE OWNERS OF TRACT 2.
 - 4 VACATE PRIVATE ACCESS AND UTILITY EASEMENT SHOWN AS THUS (4/4/2005, BOOK A94- PAGE 5578)

CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Legend:


- Found as Indicated
- Set Bathey Marker with Cap "PS 14271"
- ▲ Found Centerline Monument
- △ ACS Monument
-  60 FOOT RIGHT OF WAY OF SUNSET GARDENS ROAD, S.W. (0.2245 Acres) (12/5/44, D-118) VACATED BY DRB
-  4 VACATE PRIVATE ACCESS AND UTILITY EASEMENT (4/4/2005, BOOK A94- PAGE 5578)

Plat of
Lot 42-A and Tract 2
Los Antepasados
 comprised of
 a vacated portion of
Sunset Gardens Road, S.W.
 and
Lot 42, Los Antepasados
 situate within
Projected Section 23, Township 10 North
Range 2 East, N.M.P.M.
Town of Atrisco Grant
City of Albuquerque
Bernalillo County, New Mexico
 October 2005



ACS Monument "NM 45-4A"
 NAD 1927 CENTRAL ZONE
 X=365169.46
 Y=1480226.55
 Z=5002.981 (NAVD 1929)
 G-C=0.9996815
 Delta Alpha=-00'15'32"

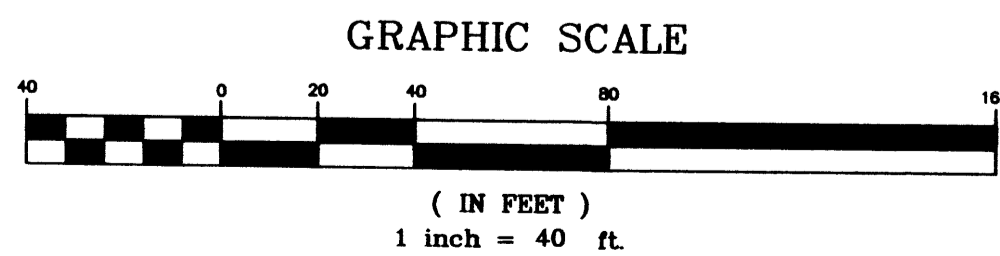
ACS Monument "9-L11"
 NAD 1927 CENTRAL ZONE
 X=363,253.08
 Y=1,479,864.44
 Z=5009.222 (NAVD 1929)
 G-C=0.9996819
 Delta Alpha=-00'15'45"

- Easement Notes**
- 1 A 10 FOOT PUBLIC STORM DRAIN EASEMENT IS GRANTED WITH THE FILING OF THIS PLAT.
 - 2 THE PORTION OF THE 10' PUBLIC UTILITY EASEMENT AS SHOWN HEREON (5/06/05, 2005C-144) CROSSING TRACT 2 IS VACATED BY DRB
 - 3 A BLANKET EASEMENT FOR INGRESS EGRESS BENEFITING THE SANTA CLARA CEMETERY IS GRANTED ACROSS TRACT 2 WITH THE FILING OF THIS PLAT.
 - 4 VACATE PRIVATE ACCESS AND UTILITY EASEMENT SHOWN AS THUS  (4/4/2005, BOOK A94- PAGE 5578)

LINE TABLE		
LINE	LENGTH	BEARING
L1	60.59	N 14°59'35" W
L2	70.96	S 30°03'02" E
L3	41.25	S 75°08'43" W
L4	29.88	S 41°49'42" W
L5	44.49	S 75°08'43" W
L7	5.78 *	S 73°18'10" W
L8	6.65 *	S 08°44'12" W
L9	38.60 *	S 33°57'25" E
L10	41.03	N 14°59'35" W

* BEARING AND DISTANCE SHOWN IS FOR CENTERLINE OF STORM DRAIN EASEMENT

CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.
C1	25.00'	39.21'	89°51'42"	N 59°55'26" W



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



Vicinity Map Zone Atlas K-11-Z

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Phil Lindborg
PHIL LINDBORG

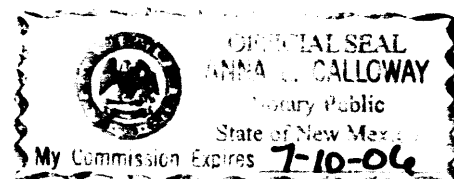
Acknowledgment

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON October 14, 2005 BY PHIL LINDBORG

Notary Public
NOTARY PUBLIC

7-10-06
MY COMMISSION EXPIRES



Notes

1. FIELD SURVEY PERFORMED IN OCTOBER 2005.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. BENCHMARK-REFERENCES ACS MONUMENT "9-L11" HAVING AN ELEVATION OF 5009.222 (NAVD 1929).
4. THE BASIS OF BEARINGS IS BETWEEN THE ACS MONUMENTS AS SHOWN HEREON AND REFERENCES N.M.S.P. GRID (NAD 1927).
5. VACATE A PRIVATE ACCESS AND UTILITY EASEMENT ACROSS LOT 42-P1

Subdivision Data

GROSS ACREAGE0.4252 ACRES
 ZONE ATLAS PAGE NO.K-11-Z
 NUMBER OF EXISTING LOTS1 LOT
 NUMBER OF TRACTS CREATED.1 TRACT
 NUMBER OF TRACTS ELIMINATED.0 TRACTS
 MILES OF FULL WIDTH STREETS.0.00
 MILES OF HALF WIDTH STREETS.0.00
 STREET ARE DEDICATED TO THE CITY OF ALBUQUERQUE.0.00
 DATE OF SURVEY.OCTOBER 2005
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER.2005152558
 ZONING.SU-1 FOR MOBILE HOME PARK

Purpose of Plat

1. VACATE PUBLIC RIGHT OF WAY.
2. VACATE EASEMENT LISTED IN NOTE 5.
3. RETAIN ALL OTHER EASEMENTS CURRENTLY IN PLACE UNCHANGED.
4. GRANT PRIVATE ACCESS EASEMENT ACROSS TRACT 2 TO BENEFIT THE SANTA CLARA CEMETERY.

Legal

LOT NUMBERED FORTY-TWO-P1 (42-P1), OF THE PLAT ENTITLED, LOS ANTEPASADOS, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 6, 2005 IN BOOK 2005C, PAGE 144 AND A PORTION OF SUNSET GARDENS ROAD, S.W., AND DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT THE NORTHERLY RIGHT OF WAY OF SUNSET GARDENS ROAD, S.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271", WHENCE A TIE TO ACS MONUMENT "NM 45-4A" BEARS S 39°57'40" W, A DISTANCE OF 3513.79 FEET;

THENCE, S 41°00'42" W, A DISTANCE OF 272.19 FEET TO A POINT MARKED BY A 1/2" REBAR;

THENCE, S 41°49'42" W, A DISTANCE OF 29.88 FEET TO A POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 14°59'35" W, A DISTANCE OF 108.44 FEET TO A POINT LYING ON THE SOUTHERLY RIGHT OF WAY OF SUNSET GARDENS ROAD, S.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING SAID SOUTHERLY RIGHT OF WAY, N 75°08'43" E, A DISTANCE OF 44.49 FEET TO A POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, TRAVERSING SAID RIGHT OF WAY, N 14°59'35" W, A DISTANCE OF 60.59 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY OF SAID SUNSET GARDENS ROAD, S.W.;

THENCE, N 75°00'55" E, A DISTANCE OF 205.94 FEET TO THE POINT OF BEGINNING, CONTAINING 0.4252 ACRES (18,523 SQ. FT.) MORE OR LESS.

A.M.A.F.C.A

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL; THEREFORE, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSIONS OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THIS SITE.

Plat of
Lot 42-A and Tract 2
Los Antepasados
 comprised of
 a vacated portion of
Sunset Gardens Road, S.W.
 and
Lot 42, Los Antepasados
 situate within
Projected Section 23, Township 10 North
Range 2 East, N.M.P.M.
Town of Atrisco Grant
City of Albuquerque
Bernalillo County, New Mexico

PRELIMINARY PLAT
 APPROVED BY DRB
 ON 11/16/05

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number _____

Application Number _____

Plat approvals:

PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
QWest	_____	Date	_____
Comcast	_____	Date	_____
City approvals:	_____		
<i>Phil Lindborg</i>	_____	Date	10-18-05
City Surveyor	_____	Date	_____
Real Property Division	_____	Date	_____
Traffic Engineer, Transportation Division	_____	Date	_____
Albuquerque Utility Authority	_____	Date	_____
Parks and Recreation	_____	Date	_____
ENVIRONMENTAL HEALTH	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

Surveyor's Certificate

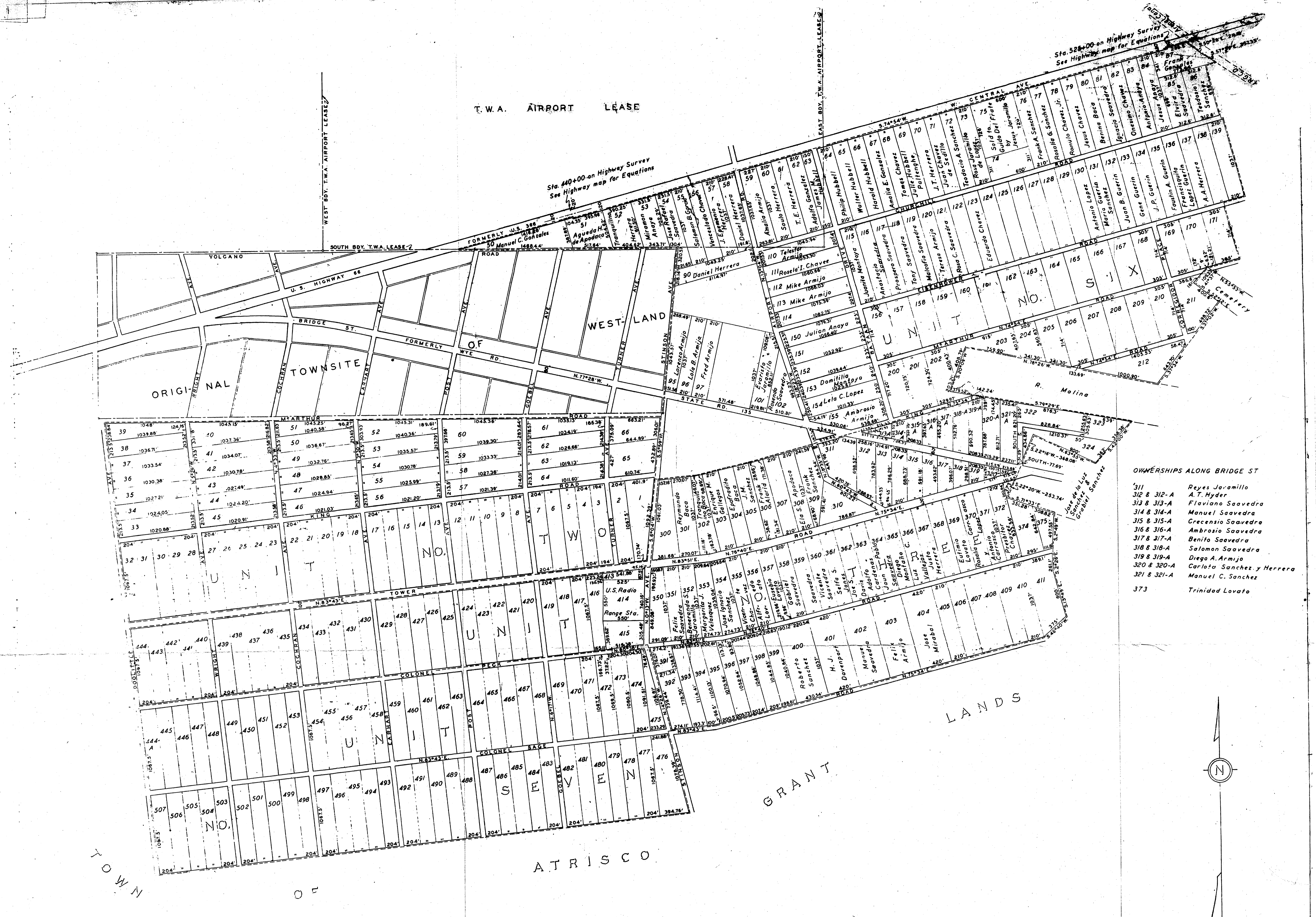
"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

Will Plotner Jr.
WILL PLOTNER JR.
N.M.P.S. No. 14271
DATE 10/13/05



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



OWNERSHIPS ALONG BRIDGE ST

311	Reyes Jaramillo
312 & 312-A	A. T. Hyder
313 & 313-A	Flaviano Saavedra
314 & 314-A	Manuel Saavedra
315 & 315-A	Crescencio Saavedra
316 & 316-A	Ambrosio Saavedra
317 & 317-A	Benito Saavedra
318 & 318-A	Salomon Saavedra
319 & 319-A	Diego A. Armijo
320 & 320-A	Carlota Sanchez y Herrera
321 & 321-A	Manuel C. Sanchez
373	Trinidad Lavato

THE TOWN OF ATRISCO, a corporation, without recourse and without representation or warranty as to the accuracy of the foregoing map or any of the tract lines or dimensions thereof, hereby dedicates the roads, drives, avenues and arc-ways as shown thereon as thoroughfares for public use.

IN WITNESS WHEREOF THE TOWN OF ATRISCO, a corporation, has caused this dedication to be executed by its officers and its corporate seal affixed hereon on this 6th day of July, 1943.

Attest: *[Signature]*
Secretary

THE TOWN OF ATRISCO, Inc.
by: *[Signature]*
President

STATE OF NEW MEXICO
COUNTY OF BERNALILLO, SS

On this 6th day of July, 1943, before me, a Notary Public in and for said County, personally appeared D. J. ARMIJO who, being by me duly sworn, did say that he is President of The Town of Atrisco, a corporation organized under the laws of the State of New Mexico; that the seal affixed to the foregoing instrument is the corporate seal of said corporation; that said instrument was signed and sealed on behalf of said corporation by authority of its Board of Directors; and the said D. J. ARMIJO acknowledged said instrument to be the free act and deed of said corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.

My commission expires: *[Date]* 1946

[Signature]
Notary Public

I, Edmund Ross, County Surveyor of Bernalillo County, N.M., do hereby certify that I have examined the foregoing plat and approved the same this 1st day of July, 1943.

[Signature]
County Surveyor

I, Edna Monahan, County Clerk of Bernalillo County, N.M., do hereby certify that the foregoing plat was approved and accepted for filing by the Board of County Commissioners of said County at its meeting of July 13, 1943.

[Signature]
County Clerk

The various tracts hereon shown represent only those tracts deeded out of the Town of Atrisco Grant which can be definitely located through available map, or other reliable references.

I, JUDY D. WOODWARD, County Clerk of Bernalillo County New Mexico, do hereby certify that the map on which this certificate appears is a true copy, made under my direction and under the provisions of Chapter 130 of New Mexico Sessions Laws 1939, of a map filed for record on the 14th day of July, 1943.

JUDY D. WOODWARD
County Clerk, Bernalillo County
New Mexico

NOTE: The data hereon shown are from original surveys by Pete Sandoval and records of the Town of Atrisco, Inc. Notice is hereby given that this is a COMPILED MAP and such data are subject to possible correction on the ground.

[Signature] C.B. BEYER
New Mexico Licensed Engineer & Land Surveyor No. 20

PLAT SHOWING A PORTION OF
TRACTS ALLOTTED FROM
TOWN OF ATRISCO GRANT
IN SCHOOL DISTRICT 28
BERNALILLO COUNTY - NEW MEXICO
SCALE: 1 INCH = 500 FEET
ROSS-BEYER ENGINEERING OFFICE, C.B.B. JAN. 1943

NOTE: UNIT BOYS, SHOWN THUS: UNIT NO. TWO

ACS MONUMENT -L11"
 x = 365,649.95
 y = 1,478,913.71
 Ground to Grid Factor:
 0.9996831
 Δσ = -00' 15" 29"
 NMSP CENTRAL ZONE
 NAD 1927
 EL: 4943.94
 (SLD 1929)



2005063653
 6259781
 Page: 2 of 2
 65/86/2865 63: 63P
 Bx-2865C Pg-144

Mary Herrera Bern. Co. PLAT R 12.89

COUNTY CLERK RECORDING LABEL HERE

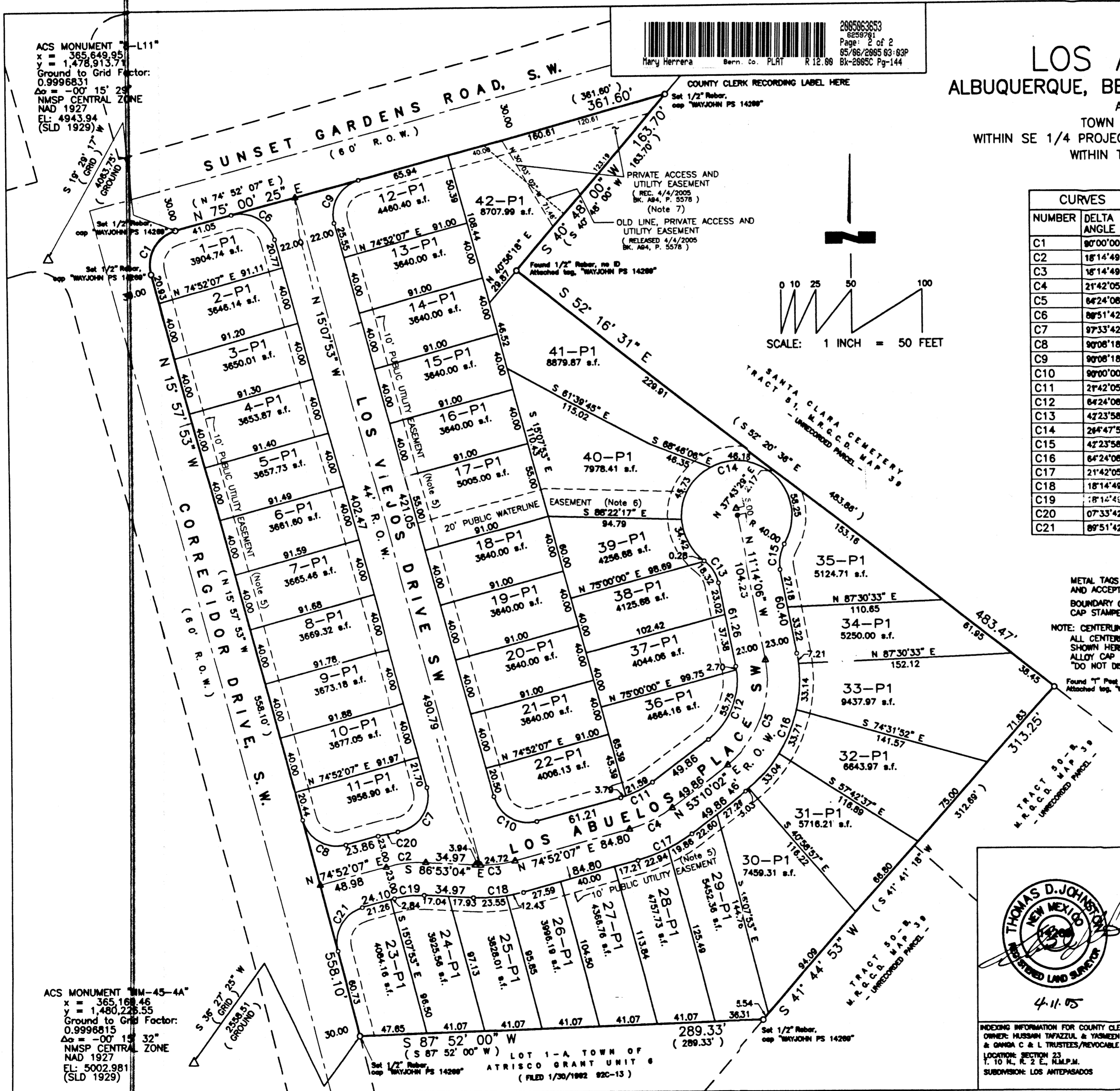
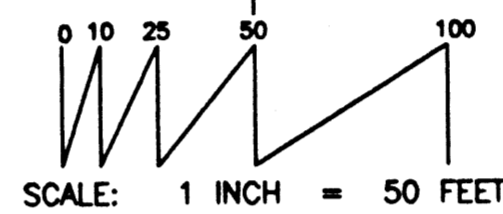
PLAT OF LOS ANTEPASADOS ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF LOT 1-B
 TOWN OF ATRISCO GRANT, UNIT 6
 WITHIN SE 1/4 PROJECTED SECTION 23, T. 10 N., R. 2 E., NMPM
 WITHIN THE TOWN OF ATRISCO GRANT

APRIL 2005

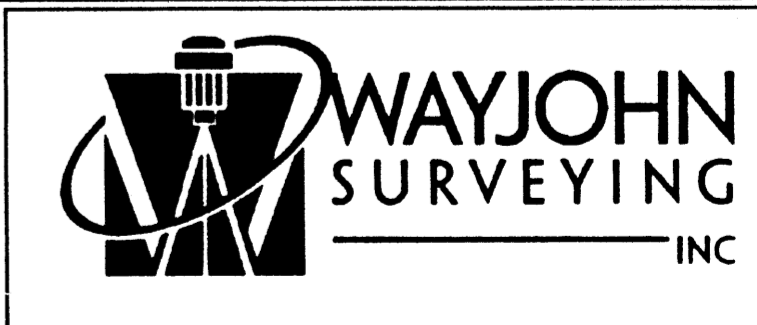
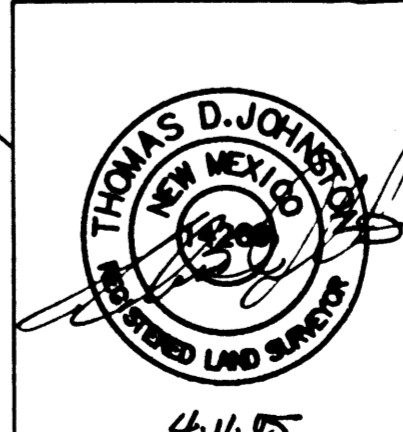
CURVES

NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	90°00'00"	25.00	39.27	N 30°00'48" E	35.36
C2	18°14'49"	90.00	28.66	S 83°59'32" W	28.54
C3	18°14'49"	90.00	28.66	N 83°59'32" E	28.54
C4	21°42'05"	90.00	34.09	N 64°01'05" E	33.88
C5	64°24'08"	75.00	84.30	N 20°57'58" E	79.93
C6	89°51'42"	25.00	39.21	N 60°03'44" W	35.31
C7	97°33'42"	25.00	42.57	S 33°38'58" W	37.61
C8	90°08'18"	25.00	39.33	S 60°03'44" E	35.40
C9	90°08'18"	25.00	39.33	S 29°56'16" W	35.40
C10	90°00'00"	25.00	39.27	S 60°07'53" E	35.36
C11	21°42'05"	67.00	25.38	N 64°01'05" E	25.23
C12	64°24'08"	52.00	58.45	N 20°57'58" E	55.42
C13	42°23'58"	25.00	18.50	N 32°26'05" W	18.08
C14	26°47'56"	40.00	184.86	S 78°45'54" W	59.08
C15	42°23'58"	25.00	18.50	S 09°57'53" W	18.08
C16	64°24'08"	98.00	110.16	N 20°57'58" E	104.45
C17	21°42'05"	113.00	42.80	N 64°01'05" E	42.54
C18	18°14'49"	113.00	35.99	N 83°59'32" E	35.84
C19	18°14'49"	67.00	21.34	S 83°59'32" W	21.25
C20	07°33'42"	113.00	14.91	S 78°38'58" W	14.90
C21	89°51'42"	25.00	39.21	S 29°56'16" W	35.31



METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.
 BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"
 NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".
 Found "T" Post Attached top, "WAYJOHN PS 14269"

ACS MONUMENT -M-45-4A"
 x = 365,168.46
 y = 1,480,225.55
 Ground to Grid Factor:
 0.9996815
 Δσ = -00' 15" 32"
 NMSP CENTRAL ZONE
 NAD 1927
 EL: 5002.981
 (SLD 1929)



330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER: MUHAMMAD TAFAZZUL & YASMEEN
 & OMGA C & L TRUSTEES/REVOCABLE
 LOCATION: SECTION 23
 T. 10 N., R. 2 E., N.M.P.M.
 SUBDIVISION: LOS ANTEPASADOS

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-2-01-2004
CHECKED: T D J	DATE: 1 MAY 2004	SHEET 2 OF 2
DRAWING NO. SP20104A.DWG		

VICINITY MAP (K-11) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

PLAT OF LOS ANTEPASADOS ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF LOT 1-B
TOWN OF ATRISCO GRANT, UNIT 6
WITHIN SE 1/4 PROJECTED SECTION 23, T. 10 N., R. 2 E., NMPM
WITHIN THE TOWN OF ATRISCO GRANT

APRIL 2005

PUBLIC UTILITY EASEMENTS

- Public Utility Easements shown on this plat are granted for the common and joint use of:
1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
 2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
 3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
 4. Comcast Cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformers/switchgear doors and five feet (5') on each side.

LEGAL DESCRIPTION

Lot numbered One-B (1-B) of the Replat of Lot 1 of the TOWN OF ATRISCO GRANT, UNIT 6, as the same is shown and designated on said replat filed in the office of the County Clerk of Bernalillo County, New Mexico on January 30, 1992 in Map Book 92C, folio 13, said lot being more particularly described as follows:

BEGINNING at a Northwest corner of the herein described tract of land, said corner being a point on the Southerly right-of-way line of Sunset Gardens Road, SW, from which point ACS Monument "NM 45-3A" bears N 51°02'35" W, a ground distance of 888.93 feet, and running from said beginning point thence, N 75°00'25" E, a distance of 361.60 feet to the Northeast corner of the herein described tract of land, thence, S 40°48'00" W, a distance of 183.70 feet; thence, S 52°16'31" E, a distance of 483.47 feet to the Easternmost corner of the herein described tract of land; thence, S 41°44'53" W, a distance of 313.25 feet; thence, S 87°52'00" W, a distance of 289.33 feet to the Southwest corner of the herein described tract of land, said corner being a point on the Easterly right-of-way line of Corregidor Plaza, SW, thence, following said right-of-way line, N 15°57'53" W, a distance of 558.10 feet to a point of curve; thence, along a curve to the right having a radius of 25.00 feet, a central angle of 90°00'00", chord bearing N 30°00'48" E, 35.36 feet, an arc length of 39.27 feet to the place of beginning, containing 5.5956 acres, more or less.

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities thereon; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owners do hereby dedicate all public street rights-of-way as shown hereon in fee simple with warranty covenants to the City of Albuquerque, a municipal corporation. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

Philip Lindborg
Philip Lindborg, Authorized representative of Dragonfly Development, Inc., a New Mexico Corporation.
ACKNOWLEDGMENT

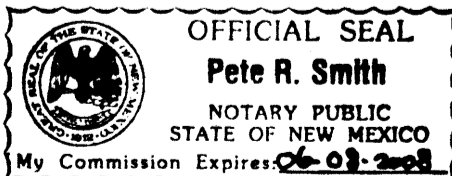
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

On this 12th day of April, 2005, the foregoing instrument was acknowledged before me by Philip Lindborg, Authorized representative of Dragonfly Development, Inc., a New Mexico Corporation, on behalf of said Corporation.

My Commission expires 06-08-2008

Pete R. Smith
Notary Public

NOTE:
* The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within City Designated Landfill Buffer Zones") shall be consulted prior to development of the site.



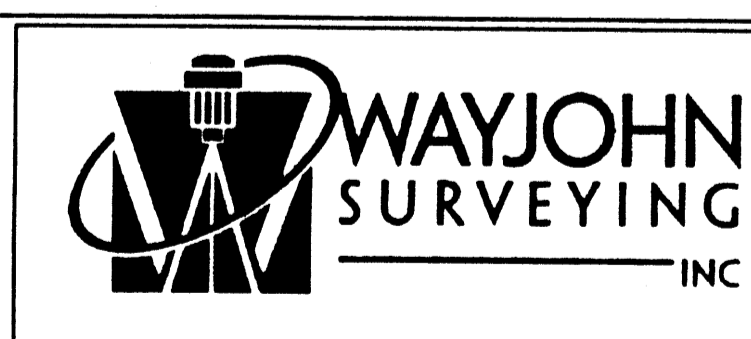
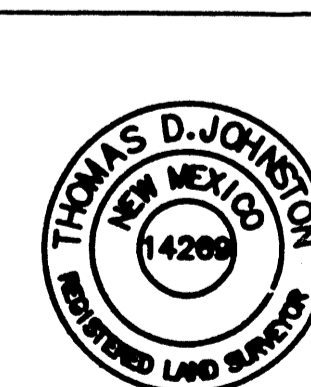
APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:
PROJECT NO. 1002196 APPLICATION NO. 05-00610

<i>Sharon Watson</i> DRB Chairperson, Planning Department, City of Albuquerque	5/10/05
<i>John Doe</i> Traffic Engineer, City of Albuquerque	4-20-05
<i>Ryan & Jean</i> Water Utilities Department, City of Albuquerque	4-20-05
<i>John Blunt</i> City Surveyor, City of Albuquerque	4-12-05 Date
<i>Christine Sandoral</i> Parks and Recreation, City of Albuquerque	5/6/05 Date
<i>Bradley L. Bingham</i> A.M.A.F.C.A.	4/20/05
<i>Bradley L. Bingham</i> City Engineer, City of Albuquerque	4-20-05 Date
<i>Samuel W. Marks</i> PNM Gas and Electric Services	4-18-05 Date
<i>Michael Boy</i> Qwest Telecommunications	5-6-05 Date
<i>Kenny Burton</i> Comcast Cable	4-19-05 Date
<i>Anna Vicker</i> Environmental Health Dept.	April 27, 2005 Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston
Thomas D. Johnston, N.M.P.S. No. 14269
4.11.05
Date



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: HUSSAN TAFAZZUL & YASMEEN & GANDA C & L TRUSTEES/REVOCABLE LOCATION: SECTION 23 T. 10 N., R. 2 E., N.M.P.M. SUBDIVISION: LOS ANTEPASADOS	DRAWN: E W K CHECKED: T D J DRAWING NO. SP20104A.DWG	SCALE: 1" = 50' 1 MAY 2004	FILE NO. SP-2-01-2004 SHEET 1 OF 2
---	--	-------------------------------	---------------------------------------

- #### SUBDIVISION DATA
1. DRB Proj. No. 1002196
 2. Zone Atlas Index No. K-11
 3. Current Zoning SU-1 for MH park (10 DU/net ac.)
 4. Gross acreage 5.5956 Acres
 5. Total Number of Lots created - 42 -
 6. No. of existing tracts: 1
 7. Miles of full width streets created: 0.187 mi.
 8. Date of Survey: February, 2004
 9. TALOS LOG NO.: 2004190357

PURPOSE OF PLAT:
The purpose of this plat is to replat one existing lot into forty-two residential lots, dedicate public right of way and grant easements.

- #### NOTES
1. Bearings are Grid Bearings, Central Zone, NAD 1927, based upon ACS monuments "NM 45-3A" and NM 45-4A, and found monuments.
 2. All distances are ground.
 3. Monuments recovered and accepted or set are noted on plat.
 4. Record bearings in parenthesis. Record bearings from the following source:
- Lot numbered One-B (1-B), Replat of Lot 1, TOWN OF ATRISCO GRANT, UNIT 6, filed January 30, 1992; Book 92C, folio 13.
 5. Ten foot (10') Public Utility Easement along all street rights of way is hereby granted with the filing of this plat.
 6. Twenty foot (20') Public water line easement is granted to the Albuquerque Bernalillo County Water Utility Authority with the filing of this plat.
 7. Grant of Private Access and Utility Easement Including Release of Previous Easement (for purposes of easement reconfiguration) filed April 4, 2005, Book A94, page 8578. Easement is for the benefit and use of the Santa Clara Cemetery, Tr. 51 M.R.G.C.D. Map 39). Maintenance of an existing drive lying within this easement is the responsibility of the Cemetery.

METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.
BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"

NOTE: CENTERLINE Δ (IN lieu of R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC's, PT's, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "LS #14269".

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 1 011 057 468 026 40925
PROPERTY OWNER OF RECORD: *A Trisco Consortium Inc*
BERNALILLO COUNTY TREASURER'S OFFICE
Guente a cargo 05-06-05

PLAT OF LOS ANTEPASADOS

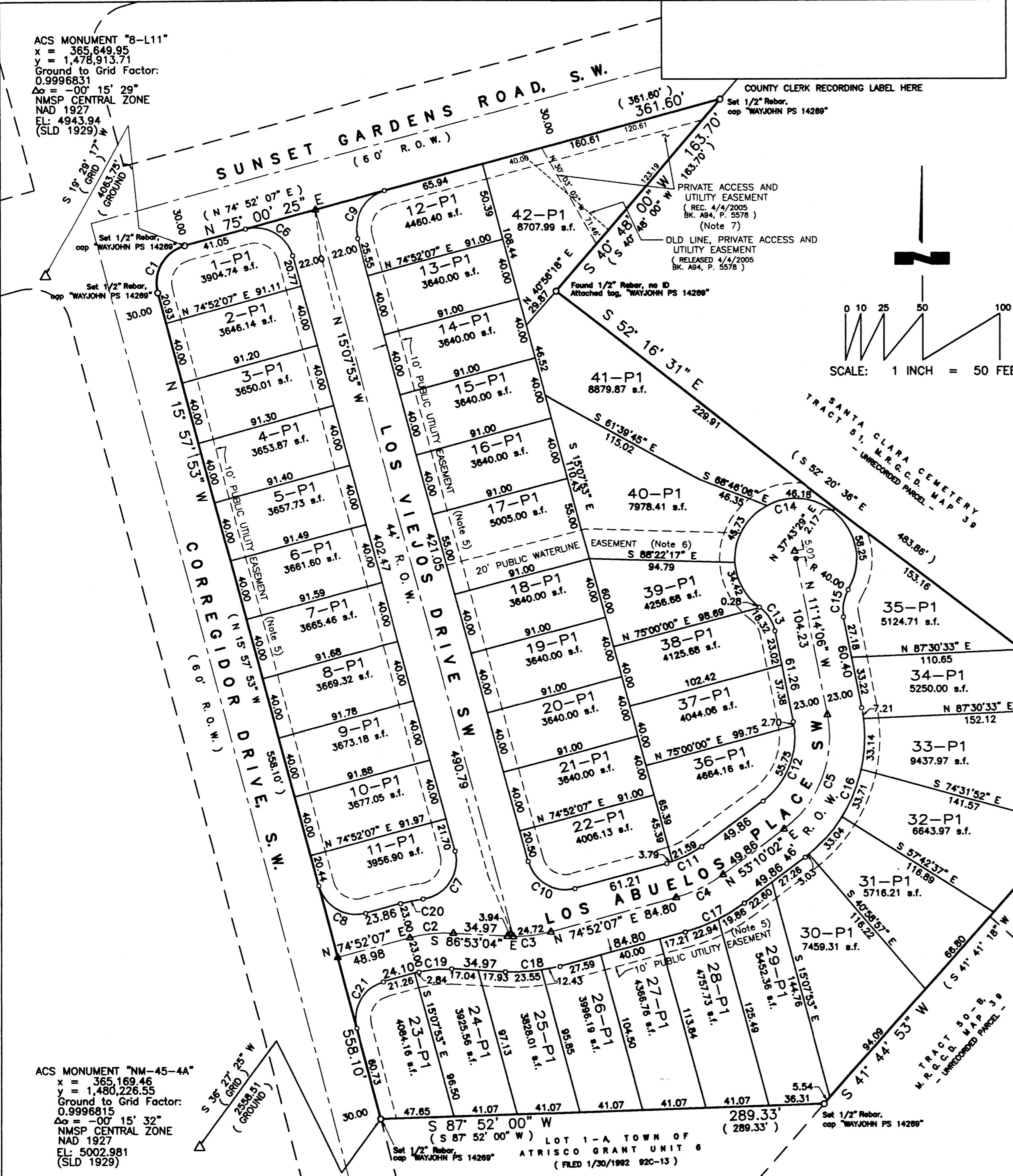
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF LOT 1-B
TOWN OF ATRISCO GRANT, UNIT 6
WITHIN SE 1/4 PROJECTED SECTION 23, T. 10 N., R. 2 E., NMPM
WITHIN THE TOWN OF ATRISCO GRANT

APRIL 2005

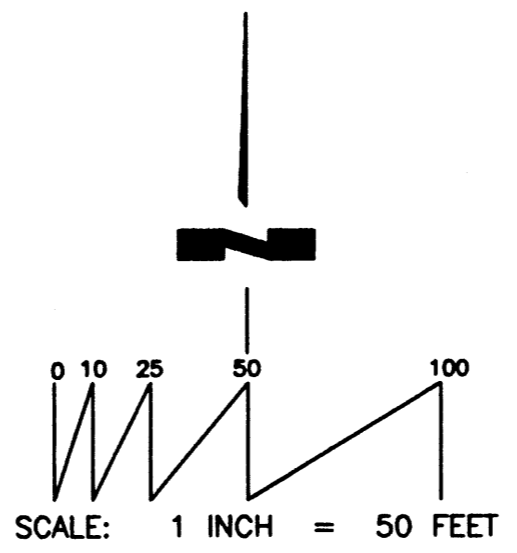
ACS MONUMENT "8-L11"
x = 365,649.95
y = 1,478,913.71
Ground to Grid Factor:
0.9996831
Δα = -00° 15' 29"
NAD 1927
EL: 4943.94
(SLD 1929)

ACS MONUMENT "NM-45-4A"
x = 365,169.46
y = 1,480,226.55
Ground to Grid Factor:
0.9996815
Δα = -00° 15' 32"
NAD 1927
EL: 5002.981
(SLD 1929)



COUNTY CLERK RECORDING LABEL HERE

PRIVATE ACCESS AND UTILITY EASEMENT (REC. 4/4/2005 BK. A84, P. 5578) (Note 7)
OLD LINE, PRIVATE ACCESS AND UTILITY EASEMENT (RELEASED 4/4/2005 BK. A84, P. 5578)

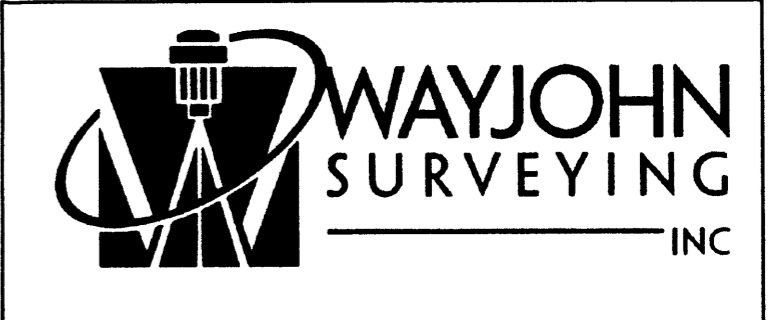
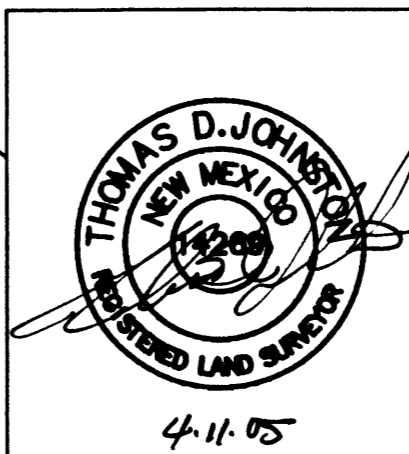


CURVES					
NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	90°00'00"	25.00	39.27	N 30°00'48" E	35.36
C2	18°14'49"	90.00	28.66	S 83°59'32" W	28.54
C3	18°14'49"	90.00	28.66	N 83°59'32" E	28.54
C4	21°42'05"	90.00	34.09	N 64°01'05" E	33.88
C5	64°24'08"	75.00	84.30	N 20°57'58" E	79.93
C6	89°51'42"	25.00	39.21	N 60°03'44" W	35.31
C7	97°33'42"	25.00	42.57	S 33°38'58" W	37.61
C8	90°08'18"	25.00	39.33	S 60°03'44" E	35.40
C9	90°08'18"	25.00	39.33	S 29°56'16" W	35.40
C10	90°00'00"	25.00	39.27	S 60°07'53" E	35.36
C11	21°42'05"	67.00	25.38	N 64°01'05" E	25.23
C12	64°24'08"	52.00	58.45	N 20°57'58" E	55.42
C13	42°23'58"	25.00	18.50	N 32°26'05" W	18.08
C14	264°47'56"	40.00	184.86	S 78°45'54" W	59.08
C15	42°23'58"	25.00	18.50	S 09°57'53" W	18.08
C16	64°24'08"	98.00	110.16	N 20°57'58" E	104.45
C17	21°42'05"	113.00	42.80	N 64°01'05" E	42.54
C18	18°14'49"	113.00	35.99	N 83°59'32" E	35.84
C19	18°14'49"	67.00	21.34	S 83°59'32" W	21.25
C20	07°33'42"	113.00	14.91	S 78°38'58" W	14.90
C21	89°51'42"	25.00	39.21	S 29°56'16" W	35.31

METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.
BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"

NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".

Found "T" Post Attached tag, "WAYJOHN PS 14269"



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK
OWNER: HUSSAIN TAFAZZUL & YASMEEN & GANCA C & L TRUSTEES/REVOCABLE
LOCATION: SECTION 23 T. 10 N., R. 2 E., N.M.P.M.
SUBDIVISION: LOS ANTEPASADOS

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-2-01-2004
CHECKED: T D J		
DRAWING NO. SP20104A.DWG	1 MAY 2004	SHEET 2 OF 2

VICINITY MAP (K-11) NO SCALE



SUBDIVISION DATA

1. DRB Proj. No. 1002196
2. Zone Atlas Index No. K-11
3. Current Zoning SU-1 for MH park (10 DU/net ac.)
4. Gross acreage 5.5956 Acres
5. Total Number of Lots created - 42 -
6. No. of existing tracts: 1
7. Miles of full width streets created: 0.187 mi.
8. Date of Survey: February, 2004
9. TALOS LOG NO.: 2004190357

PURPOSE OF PLAT:

The purpose of this plat is to replat one existing lot into forty-two residential lots, dedicate public right of way and grant easements.

NOTES

1. Bearings are Grid Bearings, Central Zone, NAD 1927, based upon ACS monuments "NM 45-3A" and NM 45-4A, and found monuments.
2. All distances are ground.
3. Monuments recovered and accepted or set are noted on plat.
4. Record bearings in parenthesis. Record bearings from the following source:
- Lot numbered One-B (1-B), Replat of Lot 1, TOWN OF ATRISCO GRANT, UNIT 6, filed January 30, 1992; Book 92C, folio 13.
5. Ten foot (10') Public Utility Easement along all street rights of way is hereby granted with the filing of this plat.
6. Twenty foot (20') Public water line easement is granted to the Albuquerque Bernalillo County Water Utility Authority with the filing of this plat.
7. Grant of Private Access and Utility Easement Including Release of Previous Easement (for purposes of easement reconfiguration) filed April 4, 2005, Book A94, page 557B. Easement is for the benefit and use of the Santa Clara Cemetery, (Tr. 51 M.R.G.C.D. Map 39). Maintenance of an existing drive lying within this easement is the responsibility of the Cemetery.

METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.

BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"

NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1 011 057 468 026 40925

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURER'S OFFICE

COUNTY CLERK RECORDING LABEL HERE

PUBLIC UTILITY EASEMENTS

- Public Utility Easements shown on this plat are granted for the common and joint use of:
1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
 2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
 3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
 4. Comcast Cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations or National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgear, as installed, shall extend ten feet (10') in front of transformers/switchgear doors and five feet (5') on each side.

LEGAL DESCRIPTION

Lot numbered One-B (1-B) of the Replat of Lot 1 of the TOWN OF ATRISCO GRANT, UNIT 6, as the same is shown and designated on said replat filed in the office of the County Clerk of Bernalillo County, New Mexico on January 30, 1992 in Map Book 92C, folio 13, said lot being more particularly described as follows:

BEGINNING at a Northwesterly corner of the herein described tract of land, said corner being a point on the Southerly right-of-way line of Sunset Gardens Road, SW, from which point ACS Monument "NM 45-3A" bears N 51°02'35"W, a ground distance of 988.93 feet, and running from said beginning point thence, N 75°00'25" E, a distance of 361.60 feet to the Northeast corner of the herein described tract of land, thence, S 40°48'00" W, a distance of 163.70 feet; thence, S 52°16'31" E, a distance of 483.47 feet to the Easternmost corner of the herein described tract of land; thence, S 41°44'53" W, a distance of 313.25 feet; thence, S 87°52'00" W, a distance of 289.33 feet to the Southwest corner of the herein described tract of land, said corner being a point on the Easterly right-of-way line of Corregidor Place, SW, thence, following said right-of-way line, N 15°57'53" W, a distance of 558.10 feet to a point of curve; thence, along a curve to the right having a radius of 25.00 feet, a central angle of 90°00'00", chord bearing N 30°00'48" E, 35.36 feet, an arc length of 39.27 feet to the place of beginning, containing 5.5956 acres, more or less.

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owners do hereby dedicate all public street rights-of-way as shown hereon in fee simple with warranty covenants to the City of Albuquerque, a municipal corporation. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

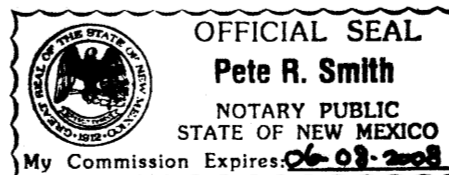
Phillip Lindborg, Authorized representative of Dragonfly Development, Inc., a New Mexico Corporation.

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this 12th day of April, 2005, the foregoing instrument was acknowledged before me by Phillip Lindborg, Authorized representative of Dragonfly Development, Inc., a New Mexico Corporation, on behalf of said Corporation.

My Commission expires 06-08-2008

Pete R. Smith
Notary Public

PLAT OF
LOS ANTEPASADOS
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF LOT 1-B
TOWN OF ATRISCO GRANT, UNIT 6
WITHIN SE 1/4 PROJECTED SECTION 23, T. 10 N., R. 2 E., NMPM
WITHIN THE TOWN OF ATRISCO GRANT

APRIL 2005

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. 1002196 APPLICATION NO. _____

DRB Chairperson, Planning Department, City of Albuquerque Date

Traffic Engineer, City of Albuquerque Date

Water Utilities Department, City of Albuquerque Date

City Surveyor, City of Albuquerque 4-12-05 Date

Parks and Recreation, City of Albuquerque Date

A.M.A.F.C.A. Date

City Engineer, City of Albuquerque Date

PNM Gas and Electric Services Date

Qwest Telecommunications Date

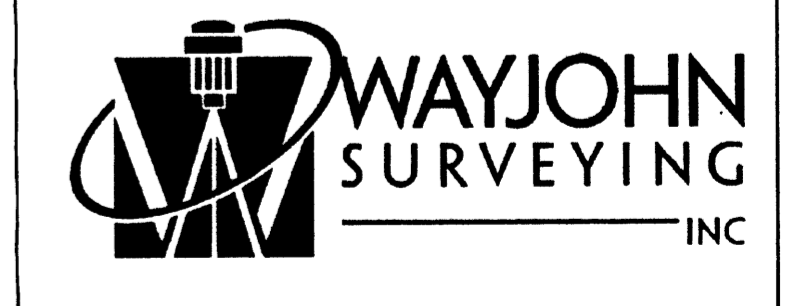
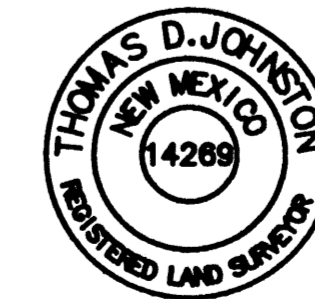
Comcast Cable Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269

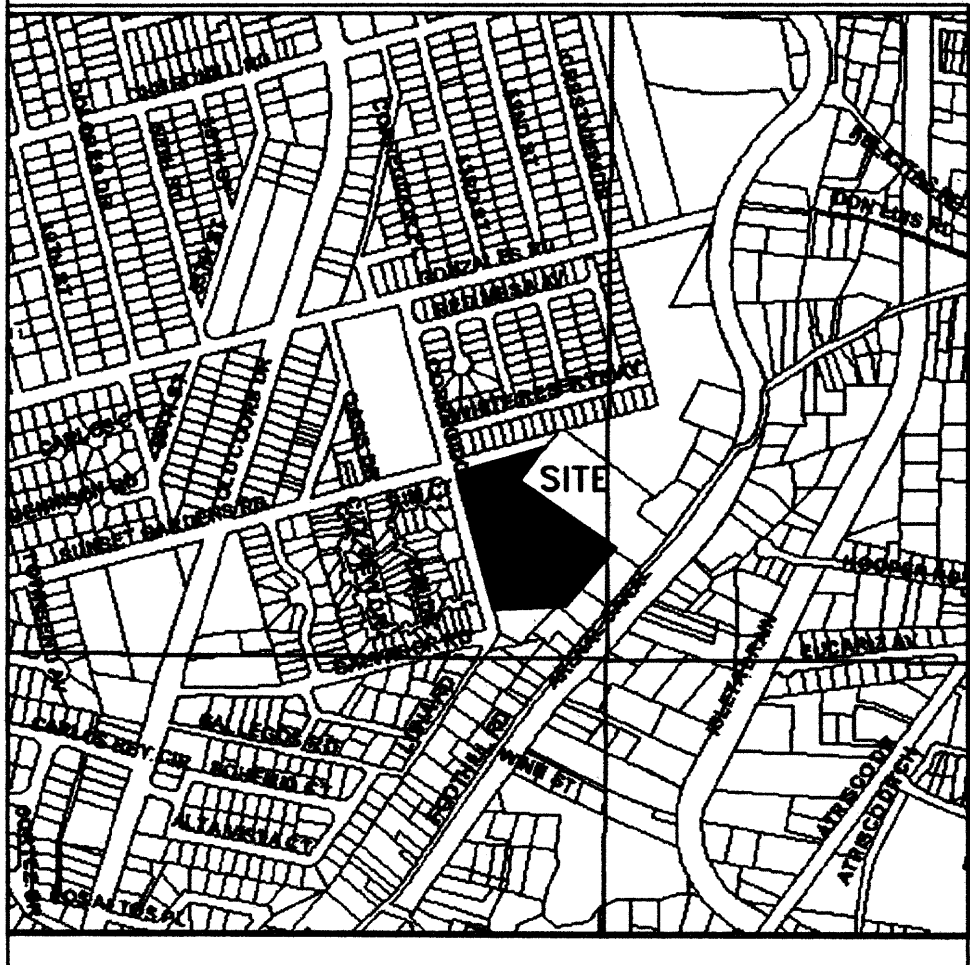
4-11-05
Date



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: HUSSAIN TAFAZZUL & YASMEEN & GANCA C & L TRUSTEES/REVOCABLE LOCATION: SECTION 23 T. 10 N., R. 2 E., N.M.P.M. SUBDIVISION: LOS ANTEPASADOS	DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-2-01-2004
	CHECKED: T D J	1 MAY 2004	SHEET 1 OF 2

VICINITY MAP (K-11) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

PRELIMINARY PLAT OF
LOS ANTEPASADOS
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF LOT 1-B
 TOWN OF ATRISCO GRANT, UNIT 6
 WITHIN SE 1/4 PROJECTED SECTION 23, T. 10 N., R. 2 E., NMPM
 WITHIN THE TOWN OF ATRISCO GRANT

MAY 2004

PUBLIC UTILITY EASEMENTS

- Public Utility Easements shown on this plat are granted for the common and joint use of:
1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
 2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
 3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
 4. Comcast Cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations or National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformers/switchgear doors and five feet (5') on each side.

LEGAL DESCRIPTION

Lot numbered One-B (1-B) of the Replat of Lot 1 of the TOWN OF ATRISCO GRANT, UNIT 6, as the same is shown and designated on said replat filed in the office of the County Clerk of Bernalillo County, New Mexico on January 30, 1992 in Map Book 92C, folio 13, said lot being more particularly described as follows:

BEGINNING at a Northwesterly corner of the herein described tract of land, said corner being a point on the Southerly right-of-way line of Sunset Gardens Road, SW, from which point ACS Monument "NM 45-3A" bears N 51°02'35"W, a ground distance of 988.93 feet, and running from said beginning point thence, N 75°00'25" E, a distance of 361.60 feet to the Northeast corner of the herein described tract of land, thence, S 40°48'00" W, a distance of 163.70 feet; thence, S 52°16'31" E, a distance of 483.47 feet to the Easternmost corner of the herein described tract of land; thence, S 41°44'53" W, a distance of 313.25 feet; thence, S 87°52'00" W, a distance of 289.33 feet to the Southwest corner of the herein described tract of land, said corner being a point on the Easterly right-of-way line of Corregidor Place, SW, thence, following said right-of-way line, N 15°57'53" W, a distance of 558.10 feet to a point of curve; thence, along a curve to the right having a radius of 25.00 feet, a central angle of 90°00'00", chord bearing N 30°00'48" E, 35.36 feet, an arc length of 39.27 feet to the place of beginning, containing 5.5956 acres, more or less.

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution line, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

Philip Lindborg
 Philip Lindborg, President, Dragonfly Development Inc., a New Mexico Corporation.

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. <u>1003027</u>	APPLICATION NO. _____	Date
DRB Chairperson, Planning Department, City of Albuquerque		
Traffic Engineer, City of Albuquerque		
Water Utilities Department, City of Albuquerque		
City Surveyor, City of Albuquerque		
Parks and Recreation, City of Albuquerque		
A.M.A.F.C.A.		
City Engineer, City of Albuquerque		
PNM Gas and Electric Services		
Qwest Telecommunications		
Comcast Cable		

SUBDIVISION DATA

1. DRB Proj. No. 1003027
2. Zone Atlas Index No. K-11
3. Current Zoning SU-1 for MH park (10 DU/net ac.)
4. Gross acreage 5.5956 Acres
5. Total Number of Lots created - 42 -
6. No. of existing tracts: 1
7. Miles of full width streets created: 0.187 mi.
8. Date of Survey: February, 2004
9. TALOS LOG NO.: 2004190357

PURPOSE OF PLAT:

The purpose of this plat is to replat one existing lot into forty-two residential lots, dedicate public right of way, grant easements and vacate a private access easement.

NOTES

1. Bearings are Grid Bearings, Central Zone, NAD 1927, based upon ACS monuments "NM 45-3A" and NM 45-4A, and found monuments.
2. All distances are ground.
3. Monuments recovered and accepted or set are noted on plat.
4. Record bearings in parenthesis. Record bearings from the following source:
 - Lot numbered One-B (1-B), Replat of Lot 1, TOWN OF ATRISCO GRANT, UNIT 6, filed January 30, 1992; Book 92C, folio 13.
5. Ten foot (10') Public Utility Easement along all street rights of way is hereby granted with the filing of this plat.
6. Twenty foot (20') Public water line easement is granted to the City of Albuquerque in fee simple with warranty covenants with the filing of this plat.
7. An existing Private Access and Utility Easement recorded June 10, 1998 in Book 9810, page 9721, affects the northeasterly corner of Tract 1-B. It is for the benefit and use of the Santa Clara Cemetery (Tr. 51, M.R.G.C.D. Map 39). Maintenance of an existing drive lying within this easement is the responsibility of the Cemetery. A portion of this easement vacated by V- is vacated with the filing of this plat.

METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.

BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"

NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC's, PT's, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 1 011 057 468 026 40925

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE

PRELIMINARY PLAT APPROVAL:

Glen B. Haikin
 Glen B. Haikin, P.S., City Surveyor, City of Albuquerque 6-3-04
Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston
 Thomas D. Johnston, N.M.P.S. No. 14269 6-03-04
Date

			330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887	
			INDEXING INFORMATION FOR COUNTY CLERK OWNER: HUSSAIN TFAZZUL & YASMEEN & GANGA C & L TRUSTEES/REVOCABLE LOCATION: SECTION 23 T. 10 N., R. 2 E., N.M.P.M. SUBDIVISION: LOS ANTEPASADOS	DRAWN: E W K CHECKED: T D J DRAWING NO. SP20104.DWG

PRELIMINARY APPROVAL AT DRB

PRELIMINARY PLAT OF LOS ANTEPASADOS

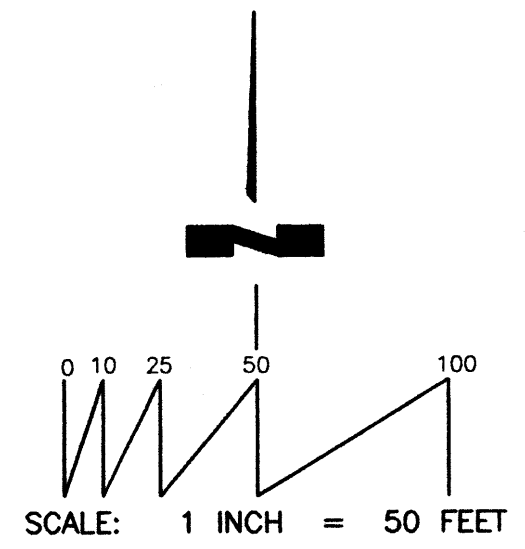
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF LOT 1-B
 TOWN OF ATRISCO GRANT, UNIT 6
 WITHIN SE 1/4 PROJECTED SECTION 23, T. 10 N., R. 2 E., NMPM
 WITHIN THE TOWN OF ATRISCO GRANT

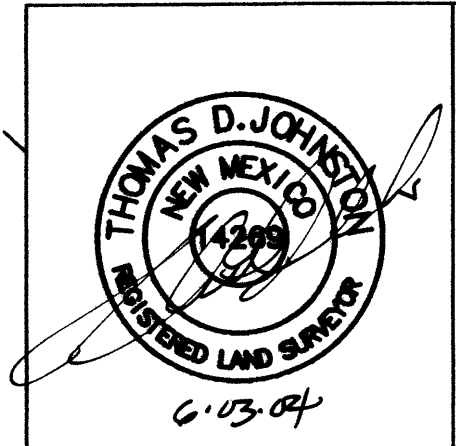
MAY 2004

PRELIMINARY PLAT APPROVED BY DRB ON

CURVES					
NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	90°00'00"	25.00	39.27	N 30°00'48" E	35.36
C2	18°14'49"	90.00	28.66	S 83°59'32" W	28.54
C3	18°14'49"	90.00	28.66	N 83°59'32" E	28.54
C4	21°42'05"	90.00	34.09	N 64°01'05" E	33.88
C5	64°24'08"	75.00	84.30	N 20°57'58" E	79.93
C6	89°51'42"	25.00	39.21	N 60°03'44" W	35.31
C7	97°33'42"	25.00	42.57	S 33°38'58" W	37.61
C8	90°08'18"	25.00	39.33	S 60°03'44" E	35.40
C9	90°08'18"	25.00	39.33	S 29°56'16" W	35.40
C10	90°00'00"	25.00	39.27	S 60°07'53" E	35.36
C11	21°42'05"	67.00	25.38	N 64°01'05" E	25.23
C12	64°24'08"	52.00	58.45	N 20°57'58" E	55.42
C13	42°23'58"	25.00	18.50	N 32°26'05" W	18.08
C14	264°47'56"	40.00	184.86	S 78°45'54" W	59.08
C15	42°23'58"	25.00	18.50	S 09°57'53" W	18.08
C16	64°24'08"	98.00	110.16	N 20°57'58" E	104.45
C17	21°42'05"	113.00	42.80	N 64°01'05" E	42.54
C18	18°14'49"	113.00	35.99	N 83°59'32" E	35.84
C19	18°14'49"	67.00	21.34	S 83°59'32" W	21.25
C20	07°33'42"	113.00	14.91	S 78°38'58" W	14.90
C21	89°51'42"	25.00	39.21	S 29°56'16" W	35.31
C22	90°00'00"	25.00	39.27	S 59°59'35" E	35.36
C23	90°00'00"	25.00	39.27	N 30°00'25" E	35.36



METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.
 BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"
 NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".
 Found "T" Post Attached tag, "WAYJOHN PS 14269"

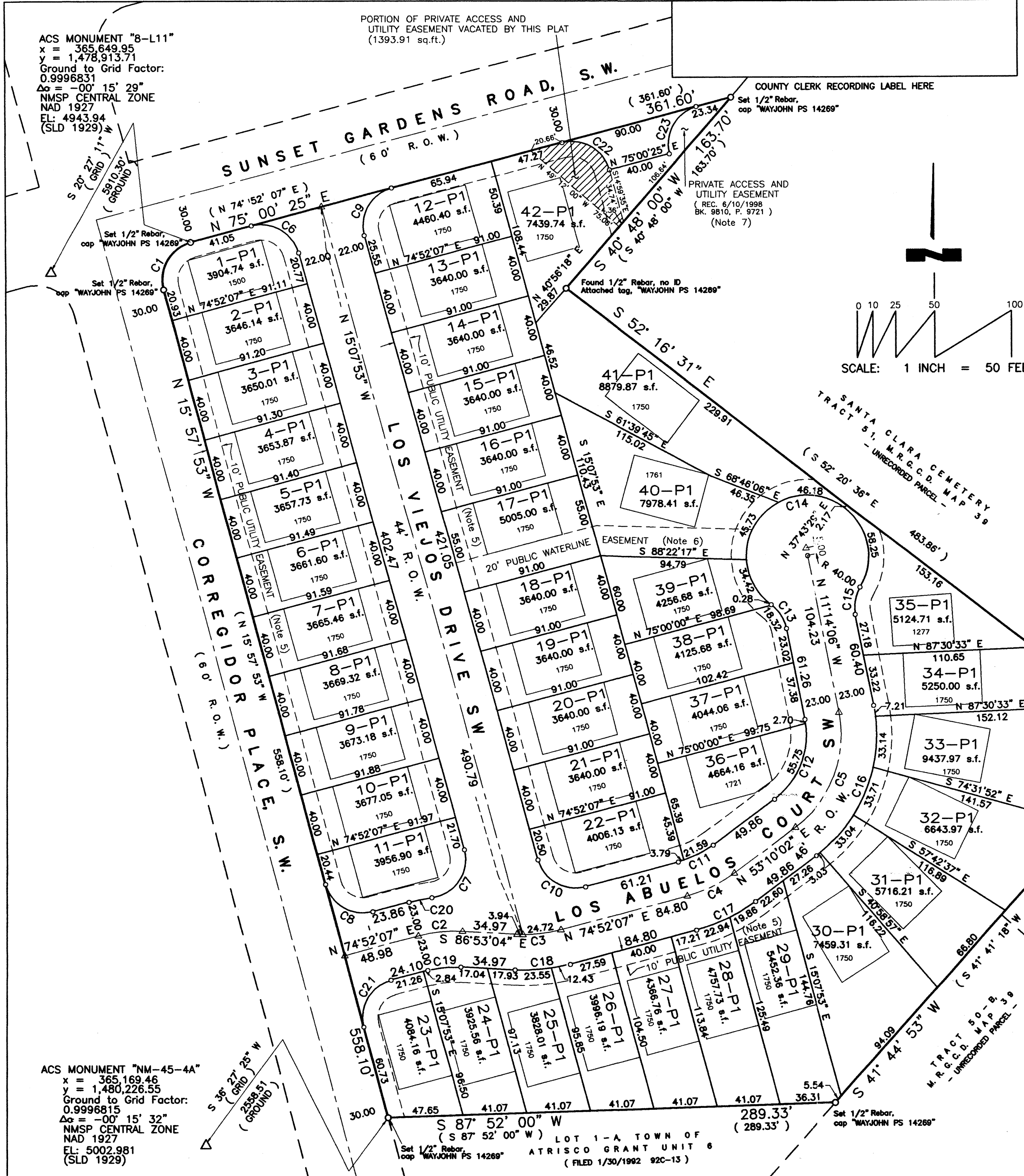


WAYJOHN SURVEYING INC.

330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER: HUSSAIN TAZAZUL & YASMEEN & GANGA C & L TRUSTEES/REVOCABLE
 LOCATION: SECTION 23 T. 10 N., R. 2 E., N.M.P.M. SUBDIVISION: LOS ANTEPASADOS

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-2-01-04
CHECKED: T D J	DRAWING NO. SP20104.DWG	SHEET 2 OF 2



ACS MONUMENT "8-L11"
 x = 365,649.95
 y = 1,478,913.71
 Ground to Grid Factor: 0.9996831
 Δα = -00° 15' 29"
 NMSP CENTRAL ZONE
 NAD 1927
 EL: 4943.94 (SLD 1929)

ACS MONUMENT "NM-45-4A"
 x = 365,169.46
 y = 1,480,226.55
 Ground to Grid Factor: 0.9996815
 Δα = -00° 15' 32"
 NMSP CENTRAL ZONE
 NAD 1927
 EL: 5002.981 (SLD 1929)

PORTION OF PRIVATE ACCESS AND UTILITY EASEMENT VACATED BY THIS PLAT (1393.91 sq.ft.)

COUNTY CLERK RECORDING LABEL HERE

PRIVATE ACCESS AND UTILITY EASEMENT (REG. 8/10/1998 BK. 9810, P. 9721) (Note 7)

Found 1/2" Rebar, no ID Attached tag, "WAYJOHN PS 14269"

EASEMENT (Note 6)

Found "T" Post Attached tag, "WAYJOHN PS 14269"

LOT 1-A TOWN OF ATRISCO GRANT UNIT 6 (FILED 1/30/1992 92C-13)

SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN REQUIREMENTS

This project is located on the Southwest Mesa overlooking the Rio Grande and the City of Albuquerque. The site design is intended to maximize the views of the river and City to the East while complementing the newly developed and long existing elements of the Crestview neighborhood. Its location near the Westland Cemetery and historic landfills require special considerations. The only reason this property was given SU-1 for PRD rather than RT or RLT zoning was so it could be guaranteed that detached single family residences would be developed rather than townhouses (attached)

Maximum and minimum number of dwelling units: There shall be 42 single family detached dwelling units for an approximate density of 8 dwelling units per acre.

Maximum and minimum lot sizes: The lot sizes range from 3600 square feet to 8760 square feet, for an average lot size of 4450 square feet.

Maximum building height: 26 feet in all locations as controlled by the R-1 zone.

Minimum building setbacks: Front yard setback shall be not less than 10 feet, except driveways shall not be less than 20 feet long. Rear yard setback shall be not less than 15 feet. Side yard setbacks shall be not less than 10 feet on the street side of corner lots; otherwise there shall be no required side yard setback. There shall be a distance of not less than 5 feet between residential buildings, provided that the provisions of the Uniform Building Code (UBC) can be satisfied as to fire safety separation. Lots adjoining zero lot line dwelling units shall be burdened with a 5 foot maintenance and repair easement.

Architectural design standards: There shall be no specific architectural style required for individual dwellings. Acceptable styles include Territorial, Pueblo, Adobe Southwestern, Northern New Mexico or comparable styles. The dwellings may be single or two story subject to the height requirements set out herein. The permissible exterior wall materials shall include brick, wood, earth tone stucco or any combination thereof. The dwellings may have flat, shed or pitched roofs, with gravel, metal, tile or composite roof materials as appropriate. The color of each roof shall compliment the exterior color of the dwelling.

Placement of mechanical units: these units shall be located on the ground or, if roof mounted shielded from view from the public right of way.

Grading and drainage: A grading and drainage plan has been prepared and submitted for approval to the City in conjunction with the Subdivision of this property.

Landscape design standards: Landscaping in the front and street side yards shall be installed by the Builder of each unit and shall include at least one tree and low water use indigenous plants. Landscaping of the other areas of each lot and continued maintenance of the entire lot is the responsibility of the homeowner. See typical lot plan (sheet 1) for landscaping. The landscaping of this project shall comply with Water Conservation Landscaping and Waste Water Ordinance, Street Tree Ordinance and Pollen Ordinance of the City of Albuquerque.

Off street parking: Off street parking spaces will be provided for each dwelling in accordance with Section 14-16-3-1(A)(24)(c) of the Zoning Code.

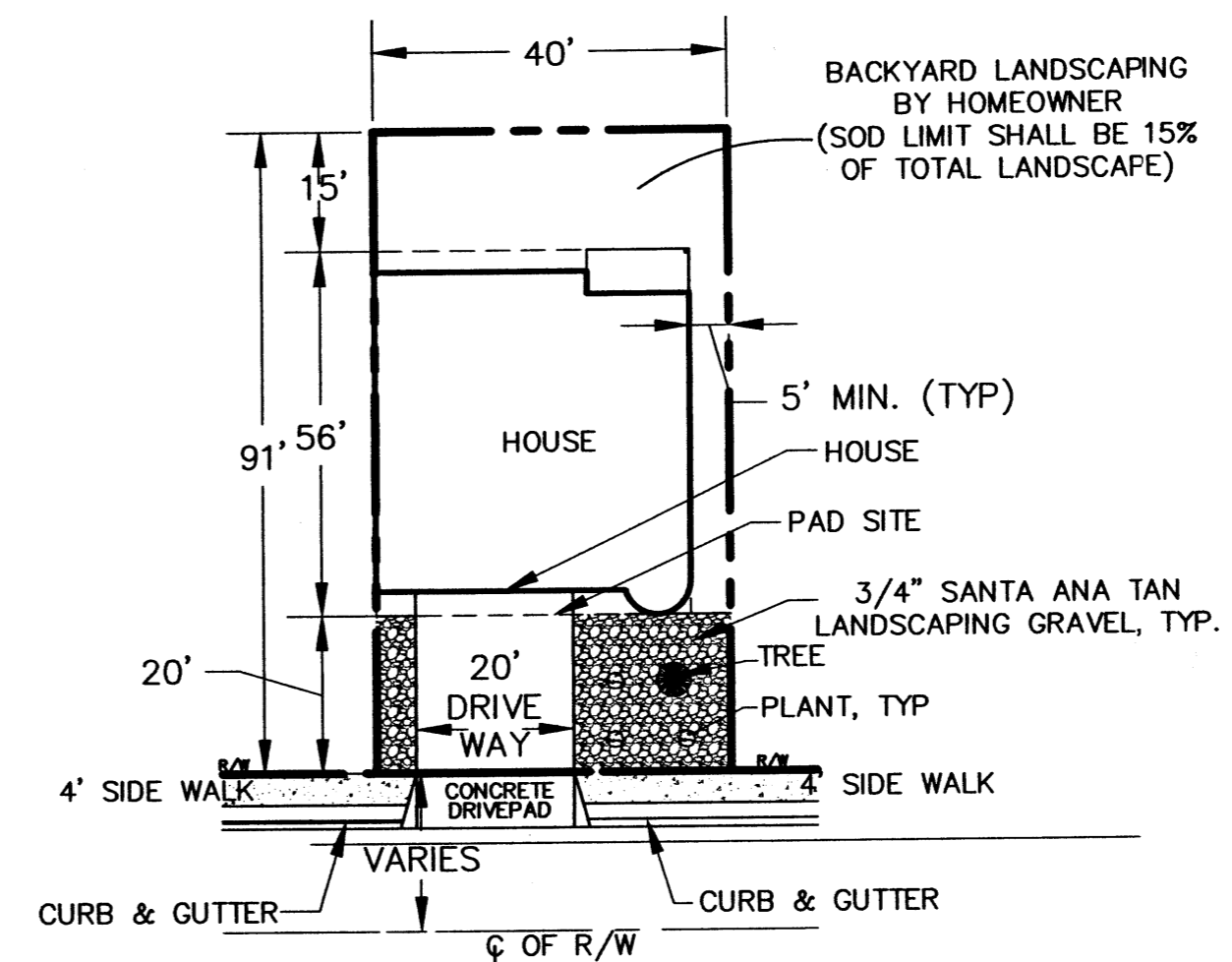
Site lighting and signage: No project site lighting is planned, but streetlights will be allowed if deemed appropriate by PNM. There will be a single project sign within the perimeter wall at the intersection of Corregidor Pl. and Sunset Gardens Rd. SW. (see detail on sheet 2)

Design of walls and fences visible from public right of way: The perimeter wall design meets the City's newly adopted wall standards and is shown on sheet 2 of this site plan for subdivision.

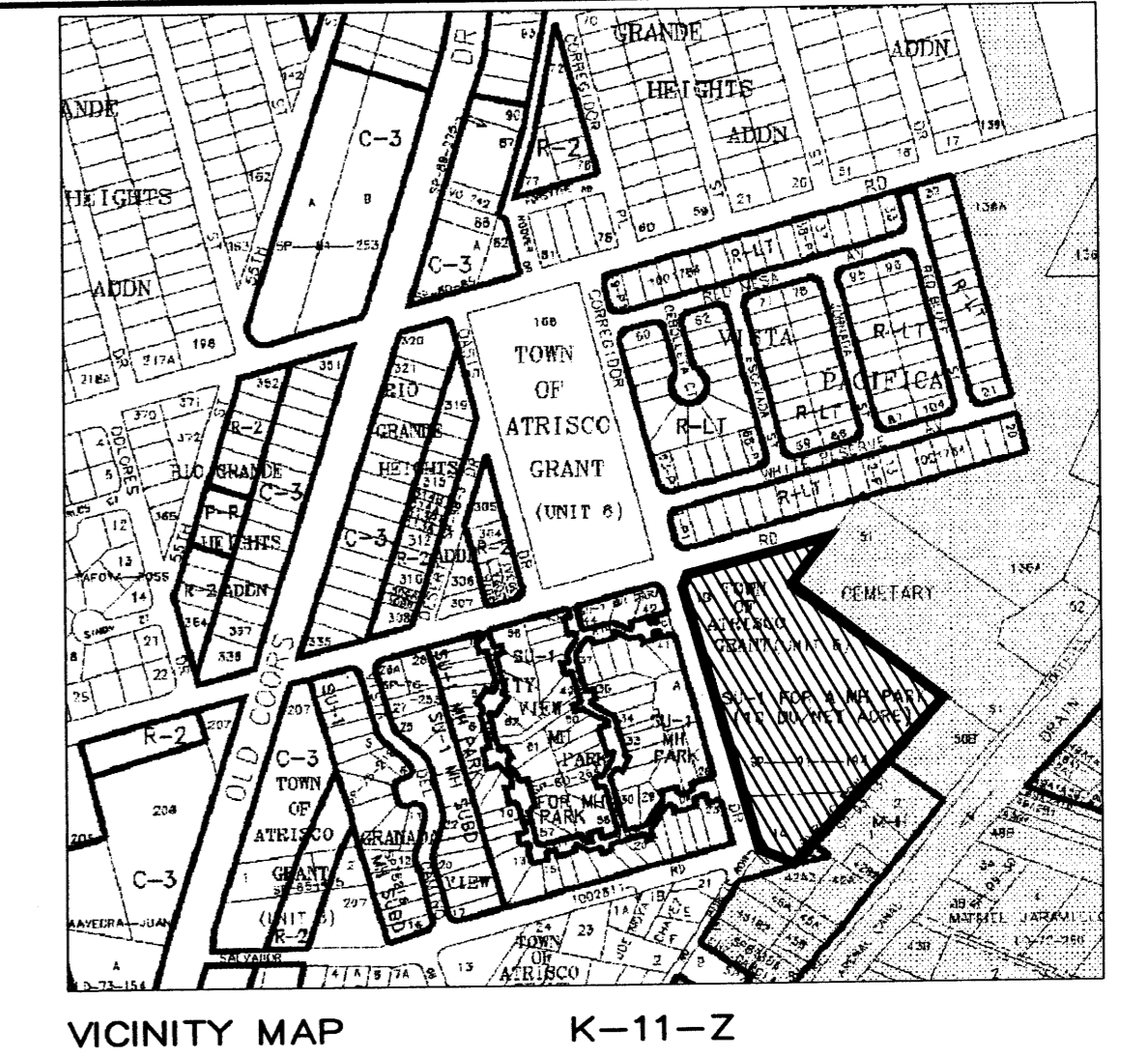
Pedestrian amenities: Public 4 foot sidewalks shall be provided on all public streets within or abutting the property, except on the bulb of the cul-de-sac on Los Abuelos.

Accessory buildings: Shall be as regulated in Section 14-16-3-3(B)(2) of the Zoning Code.

Site Plan(s) for Building Permit: Individual site plans for building permit shall not be required except as may be required for building permit approval under the UBC.



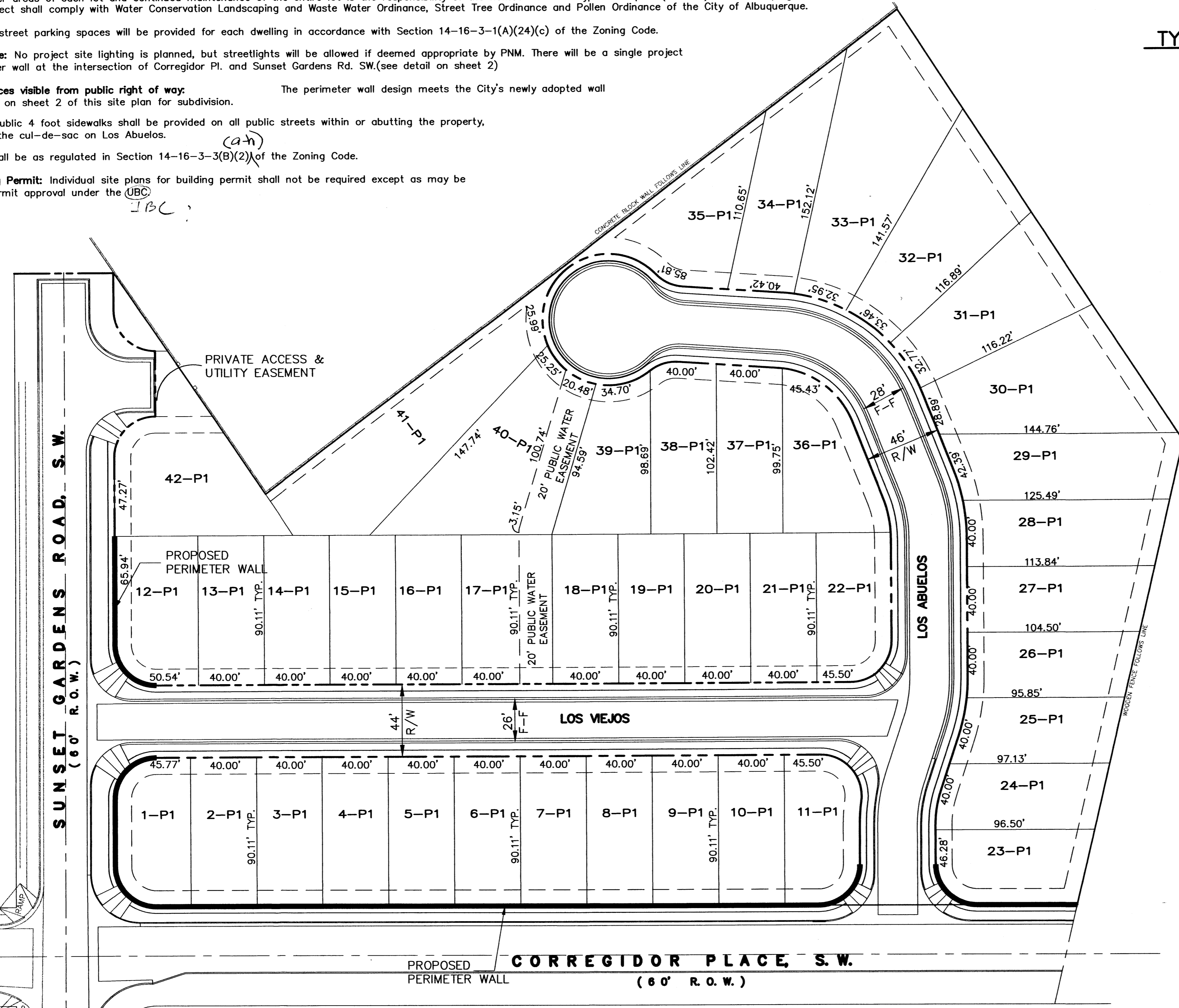
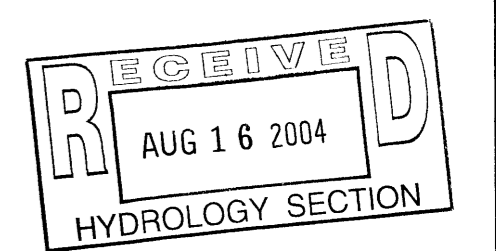
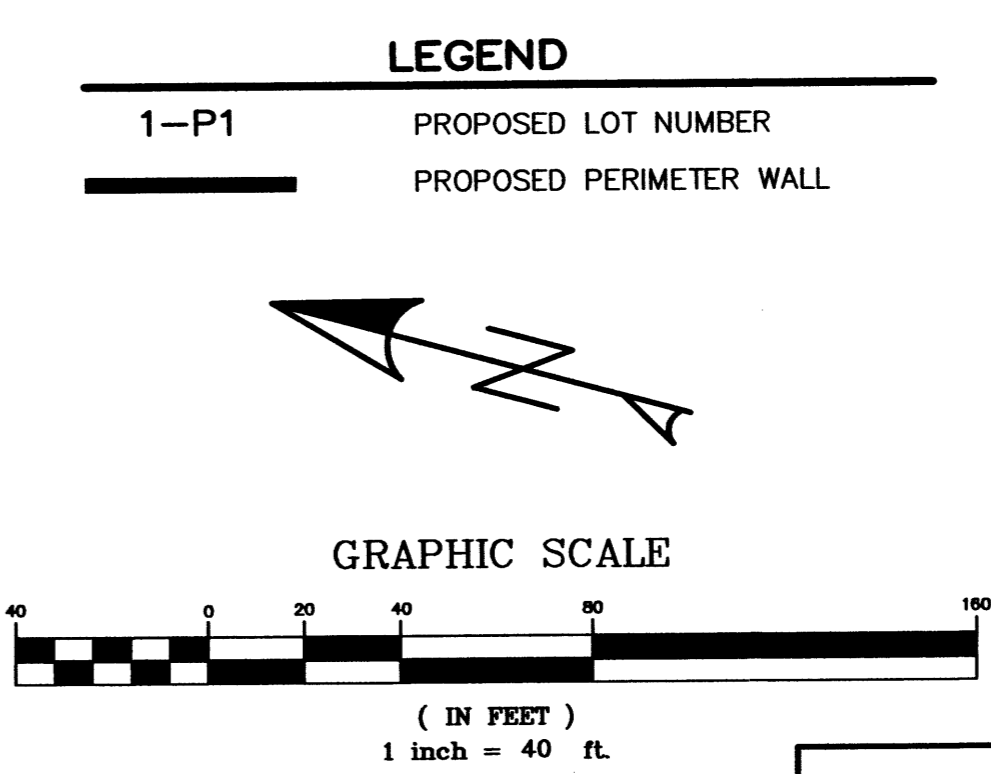
TYPICAL LOT PLAN
NTS



PROJECT NUMBER: 1002196
APPLICATION NUMBER: 04DRB-01000
IS AN INFRASTRUCTURE LIST REQUIRED? (X)YES ()NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

_____	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	
_____	DATE
UTILITIES DEVELOPMENT	
_____	DATE
PARKS AND RECREATION DEPARTMENT	
_____	DATE
CITY ENGINEER	
_____	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
_____	DATE
SOLID WASTE MANAGEMENT	
_____	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

"THE SUBJECT PROPERTY IS LOCATED NEAR, A FORMER, LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR, A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."



SITE DEVELOPMENT PLAN FOR SUBDIVISION		
LOS ANTEPESADOS		
City Project No.	Zone Map No.	Sheet Of
	K-11-Z	A-1

