

**PARCEL A-1A  
WINROCK CENTER ADDITION**  
Filed October 28, 1995 in Plat Book 140, Page 446

- KEYED NOTE:**
- ① 8' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A11
  - ② 10' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN STREET SIDEWALK RE: DETAIL 9/A13
  - ③ 30' LIGHT POLE LOCATION RE: DETAIL 3/A11
  - ④ 4 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION RE: DETAIL 1/A13  
TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL = [Symbol]
  - ⑤ CONC. SIDEWALK RE: DET 14/A11  
RE: SITE PLAN FOR JOINT LAYOUT
  - ⑥ HANDICAP RAMP PER COA STD DUG 2426  
AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
  - ⑦ INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
  - ⑧ INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY)  
RE: DETAIL 11/A12  
TYPICAL BIKE RACK GRAPHIC SYMBOL = [Symbol]
  - ⑨ BENCH LOCATION RE: DETAIL 5/A13  
TYPICAL BENCH GRAPHIC SYMBOL = [Symbol]
  - ⑩ TRASH RECEPTACLE RE: DET. 3A/A13
  - ⑪ 18" HIGH INTEGRALLY COLORED CONC. RAISED BED/SEATING LANDSCAPE AREA RE: DETAIL 10/A13  
TYPICAL PLANTING BED GRAPHIC SYMBOL = [Symbol]
  - ⑫ HANDICAP RAMP RE: 15/A11
  - ⑬ HANDICAP RAMP RE: 16/A11
  - ⑭ HANDICAP RAMP RE: 12/A11
  - ⑮ HANDICAP RAMP RE: 17/A11
  - ⑯ INDICATES "OPEN SPACE" LANDSCAPE AREAS  
G.C TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
  - ⑰ INDICATES "DEVELOPED OPEN SPACE AREA LOCATION RE: PLAN AND LANDSCAPE PLAN FOR INFO
  - ⑱ INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE / SEATING AREA RE: KEYED NOTE 8
  - ⑲ INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE AREA
  - ⑳ INDICATES "DEVELOPED OPEN SPACE 15% LANDSCAPE SHADE TREE LOCATION  
RE: LANDSCAPE PLAN FOR SHADE TREE INFO
  - ㉑ INDICATES "DEVELOPED OPEN SPACE 15% CANOPY SHADE STRUCTURE
  - ㉒ INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A11 FOR KNOTCH DETAIL
  - ㉓ INDICATES PROPOSED BU'S OUTDOOR OPEN AIR PATIO WITH NON FIXED SEATING RE: DETAIL SHEET PLAN A10 FOR PATIO DETAIL INFO
  - ㉔ NOT A PART-FUTURE REDEVELOPMENT PHASE
  - ㉕ 6" HIGH CONC. ISLAND RE: DET 4/A11  
RE: SITE GRADING PLAN FOR INFO
  - ㉖ SERVICE YARD. RE: DETAIL PLAN SHEET A6/D FOR YARD DETAILS
  - ㉗ HC PARKING STALL RE: DET 5/A12
  - ㉘ DUAL CONFIGURATION HC PARKING STALL RE: DET 9/A12
  - ㉙ WHEELSTOP RE: DET 5/A12  
NOTE: WHEEL STOPS OCCUR AT EACH PARKING SPACE AS REQUIRED BY USDF
  - ㉚ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
NOTE: EACH ON-SITE STALL MEASURES 4' X 8' IN SIZE  
RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12 FOR "MOTOR CYCLE PARKING" SIGN DETAIL
  - ㉛ COMBINATION PET-HUMAN WATER FOUNTAIN RE: DETAIL 11/A13
  - ㉜ EXTERIOR 12" X 24" BRAZILIAN SLATE TILE AT BU'S (LOT 6)  
MAIN BUILDING ENTRY PATHWAY
  - ㉝ PROPOSED CENTER ID SIGN RE: DETAIL 1/A14 FOR SIGN ELEV.
  - ㉞ PERIMETER CONCRETE STREET SIDEWALK WITH DECORATIVE BORDER RE: DETAIL 9/A13
  - ㉟ INDICATES PROPOSED OUTDOOR DEVELOPED PLAZA AREA ON THE SOUTHEAST CORNER OF THE BU'S RESTAURANT. AREA SHALL CONTAIN LANDSCAPE PLANTING BEDS ADJACENT TO CONCRETE WALKWAYS. THE CENTER PORTION OF THE PLAZA AREA SHALL CONTAIN RAISED CONCRETE PLANTERS AND A DRINKING FOUNTAIN FOR PET AND PEDESTRIAN USE. THE NORTHERN PART OF THE PROPOSED PLAZA AREA SHALL BE FURTHER ENHANCED WITH SLATE TILE BETWEEN THE ENTRY FACADE AND FACE OF CURB RE: ENLARGED DETAIL 9/A14 FOR INFO
  - ㊱ PLAZA SIDEWALK EDGE DETAIL RE: DETAIL 2/A14
  - ㊲ PROPOSED DEVELOPED OPEN SPACE AREA  
RE: ENLARGED DETAIL 3/A14 FOR INFO
  - ㊳ PROPOSED DEVELOPED OPEN SPACE AREA  
RE: ENLARGED DETAIL 4/A14 FOR INFO
  - ㊴ EXISTING PEDESTRIAN CROSSWALK LOCATION TO BE REMOVED AND REPLACED WITH PAVEMENT TO MATCH ADJACENT

PROJECT NUMBER: 1002202  
APPLICATION NUMBER: 12-70121

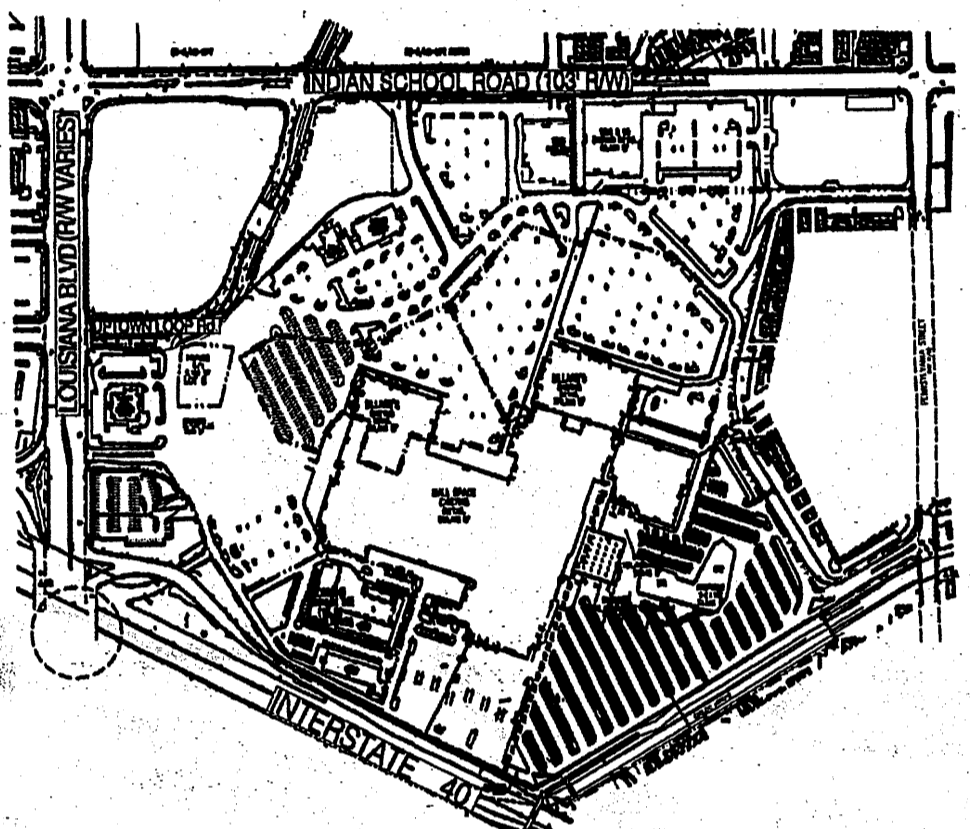
Is an Infrastructure List required ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division Date: 05-09-12  
05/29/12

DRG ARCHITECT ENGINEER Date: 05-12-12  
Carol S. Dismant  
Parks and Recreation Department  
Cynthia A. Chinn Date: 5-9-12  
City Engineer

Environmental Health Department Date: 5-29-12  
Solid Waste Management  
DRG Chairperson, Planning Department  
Environmental Health, if necessary



**PEDESTRIAN SEATING TABULATION**

PEDESTRIAN SEATING TABULATION (LOT-6 BU'S) WITHIN BU'S DEVELOPED OPEN SPACE

- (4) 4 PERSON BENCHES
- (3) 13 PERSON RAISED PLANTER BED WALLS
- 55 TOTAL PROVIDED PUBLIC SEATS

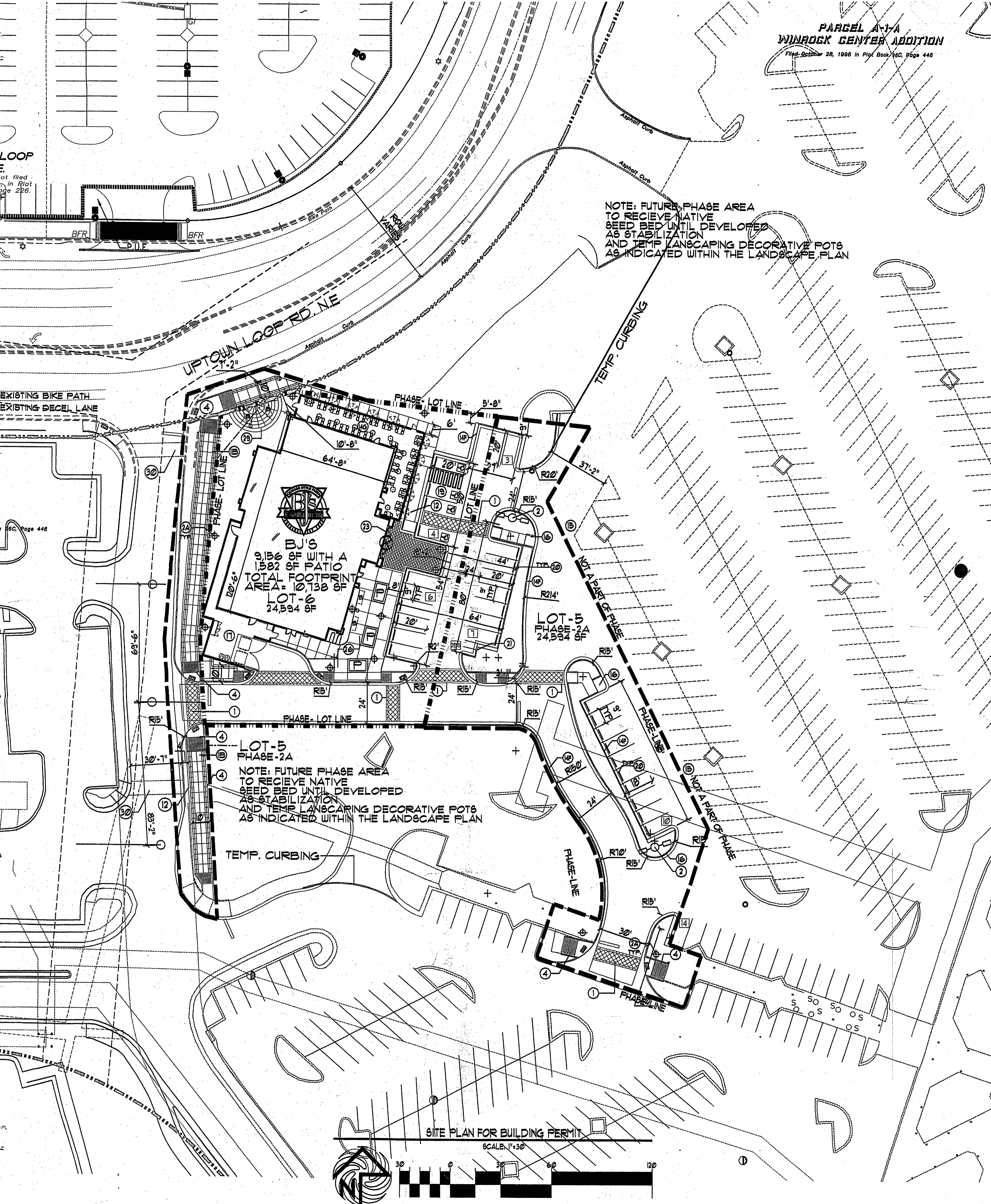
TOTAL PROVIDED PUBLIC SEATS LOT-6/LOT 5 PHASE 2-A = 55 SEATS

NOTE:  
ALL CROSS WALK LOCATIONS SHALL BE MAINTAINED BY THE LANDOWNER  
NOTE:  
ALL LANDSCAPED AREAS TO BE DEPRESSURED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTCHES  
NOTE:  
PROPOSED PEDESTRIAN ACCESS ALONG THE UPTOWN LOOP ROW SHALL BE PROVIDED BY A SERIES OF RAMPS AND TEXTURED PAVING SECTIONS FROM THE NORTHWEST CORNER OF LOT-6 TO THE PROPOSED MASS TRANSIT STOP LOCATED AT THE SIGNALIZED INTERSECTION AS SHOWN ON THE OVERALL SITE PLAN FOR BUILDING PERMIT  
NOTE:  
LOT 6 AND LOT 5 PHASE-2A SHALL BE COMPLETED CONCURRENTLY UNDER LOT 6 IMPROVEMENTS  
NOTE:  
LOT - 6 AND LOT 5 PARKING AREAS SHALL HAVE SHARED PARKING AGREEMENTS IN PLACE

**LINE TYPE LEGEND**

- INTERNAL PHASE LINE
- PROPOSED LOT LINE
- PROJECT AREA AND OUTER PHASE AREA LIMITS
- EXISTING PROPERTY LINE
- EXISTING CURB LINE
- PROPOSED CURB LINE

SITE DATA TABLE	BU'S RESTAURANT (LOT-6)	PHASE AREA TOTALS (LOT 5-P2A AND 6)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION	
TOTAL ACREAGE:	RE: SITE PLAN FOR SUBDIVISION	
EXISTING ZONING:	BU-3 MI-UPT	
PROPOSED USE:	RESTAURANT AND GENERAL RETAILING	
BUILDING SIZE:	9,156 SF + 1,582 SF PATIO = 10,738	
TOTAL PARKING PROVIDED:	11 SPACES	30 PROVIDED SPACES
TOTAL PARKING REQ:	18 SPACES	2 PER 1,000 = 32 SPACES
HC PROVIDED:	4 SPACES	4 HC (INCLUDING 4 VAN ACCESSIBLE)
HC REQUIRED:	1 SPACES	4 HC SPACES
BIKE SPACES PROVIDED:	5 SPACES	5 BIKE SPACES
BIKE SPACES REQUIRED:	1 SPACES	1 PER 20 CAR SPACES = 2
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACES	2 SPACES



**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER  
2200 LOUISIANA BLVD. NE  
ALBUQUERQUE NEW MEXICO

PROJECT NUMBER: STEPHEN DUNBAR, AIA  
JOB NO.: WIN-EU-5-J

DRAWN BY: 5-J

SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

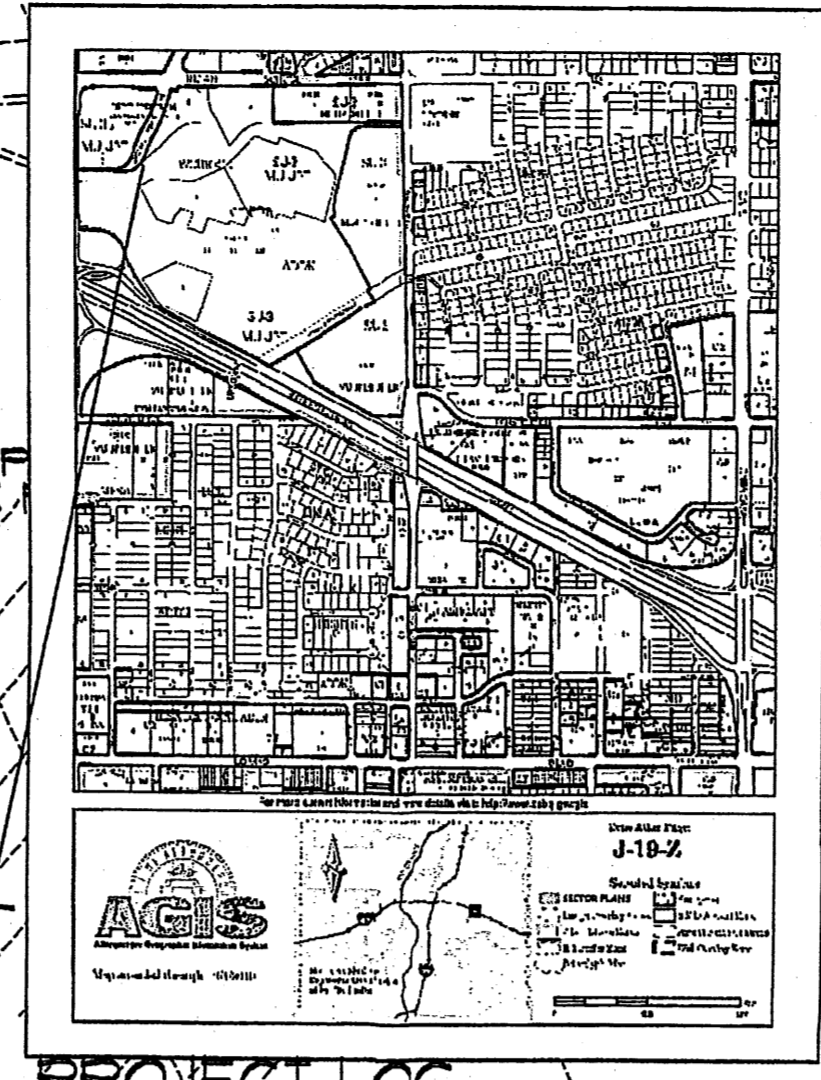
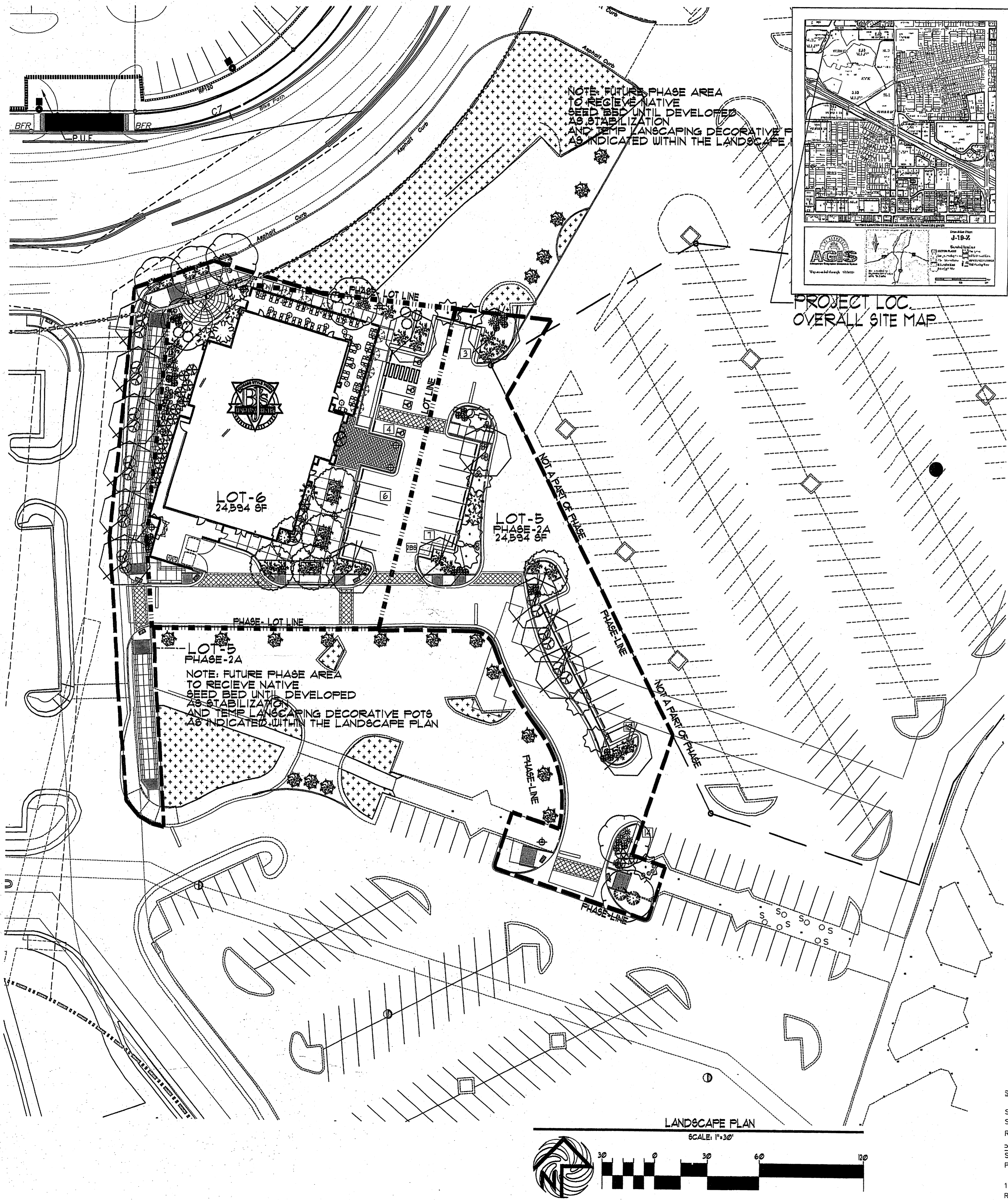
DATE: 5/4/12

SCALE: AS NOTED

DRG: BPI

2022001

REV	DATE	BY	REVISION



**LANDSCAPE CALCULATIONS:**

TOTAL LOT-5 AND 6 PHASE 2A AREAS	49,988 SF
REQUIRED 10% OPEN SPACE=	4,998 SF
REQUIRED 40% LANDSCAPING AREA WITHIN 10% OPEN SPACE=	6,560 SF
PROVIDED 40% LANDSCAPING WITHIN 10% OPEN SPACE=	9,804 SF
PROVIDED DEVELOPED OPEN SPACE WITHIN 10% OPEN SPACE=	3,263 SF
REQUIRED 15% SHADE WITHIN DEVELOPED OPEN SPACE=	489 SF
PROVIDED 15% SHADE WITHIN DEVELOPED OPEN SPACE=	2,940 SF

NOTE: ASSUMED FULL TREE CANOPY AT MATURITY

**NOTE:**  
THE 10% OF SITE OPEN SPACE WAS ACHIEVED BY:  
1. ALL LANDSCAPE AREAS OTHER THAN THOSE SPECIFICALLY EXCLUDED WITHIN CHAPTER -V - SECTION D NUMBER 15 OF THE U.S.D.P.  
2. PEDESTRIAN PLAZAS/DEVELOPED OPEN SPACE

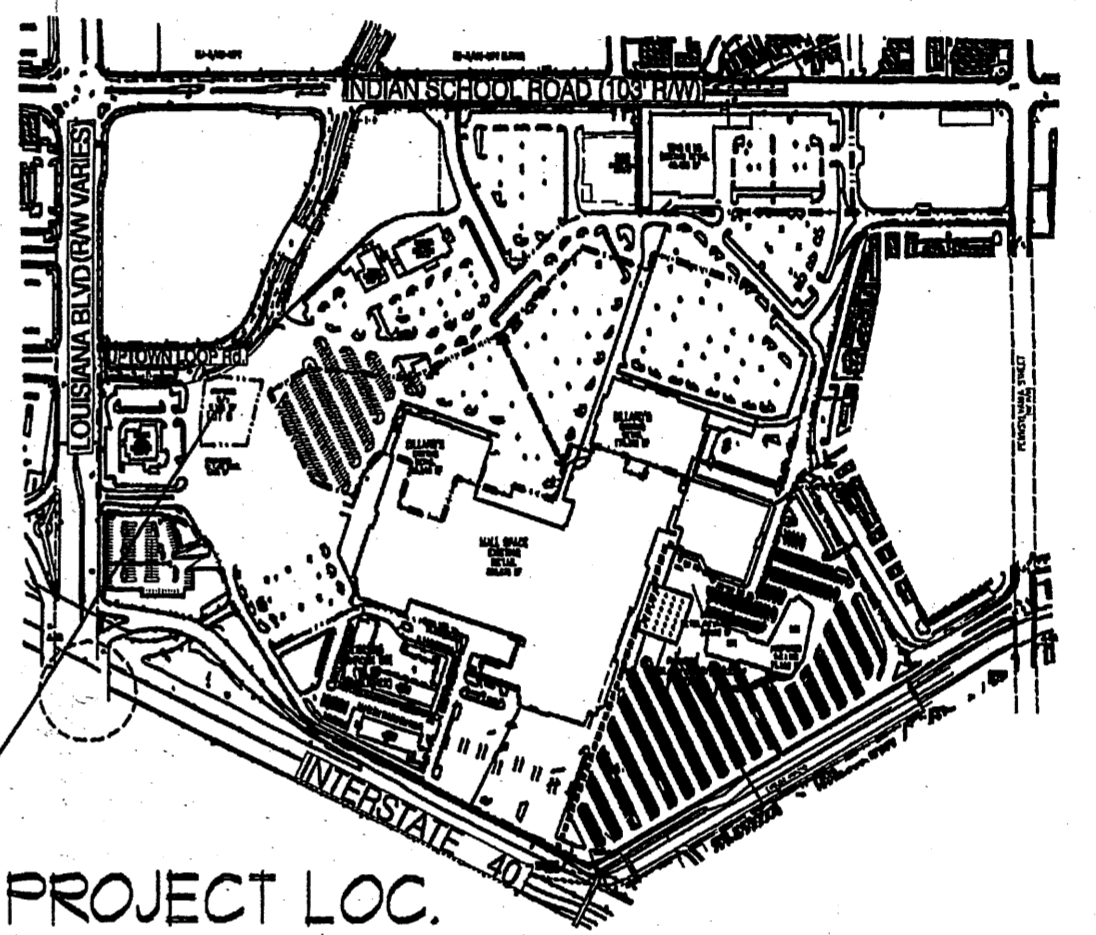
**NOTE:**  
A MINIMUM OF 15% OF DEVELOPED OPEN SPACE SHALL BE SHADED WITH LANDSCAPING(TREES), OR SHADE STRUCTURES

**NOTE:**  
PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY. 10% OF THE REQUIRED 15% LIVE GROUND COVER LANDSCAPE AREA SHALL BE PLANTED IN NATIVE FLOWERS AND FLOWERING PLANTS

**NOTE:**  
REFER TO SITE CIVIL GRADING AND DRAINAGE PLANS FOR GRADE CONTOUR INFORMATION

**NOTE:**  
EACH PHASED LANDSCAPE BED SHALL RECEIVE LANDSCAPING WITHIN ITS BED FOR EACH PHASED AREA AND TERMINATED ALONG PHASE LINE WITH A TEMPORARY METAL LANDSCAPE EDGE

**NOTE:**  
ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTIES



**LANDSCAPE PHASE AREA CALCULATIONS:**

LOT-6 SITE AREA	28,443 SF
LOT-6 OPEN SPACE AREA	1,311 SF
LOT-5 PHASE 2A SITE AREA	24,994 SF
LOT-5 PHASE 2A OPEN SPACE AREA	3,114 SF

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Shredded bark mulch over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafun spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafun shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:  
Required 32 Provided 32

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Parking Lot Tree Ordinance are as follows:  
1 Shade tree per 8 spaces  
Required 9 Provided 33

**NOTE TO CLIENT:**  
Should the Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, the Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

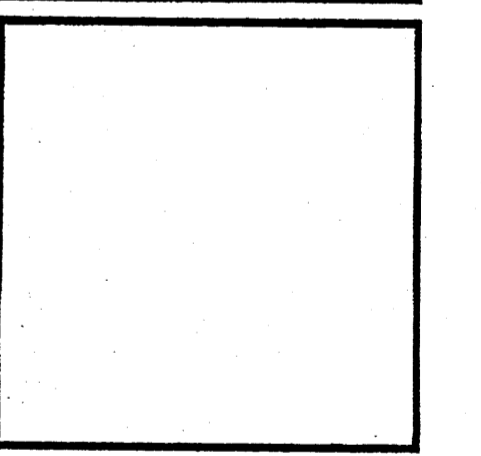
**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type 0 plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- SHADE TREES**
    - CHINESE PISTACHE 15  
*Platanus chinensis*  
5 Gal., 12" x 14" Inst./60' x 60' maturity  
Water (M) Allergy (L) 0sf
    - LACEBARK ELM 6  
*Ulmus parvifolia*  
5 Gal., 12" x 14" Inst./40' x 40' maturity  
Water (M+) Allergy (M) 0sf
    - EASTERN REDBUD 6  
*Cercis canadensis*  
5 Gal., 10" x 12" Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf
  - SHRUBS/ORNAMENTAL TREES**
    - CREPE MYRTLE 3  
*Lagerflora indica*  
1 Gal., 10" x 12" Inst./20' x 20' maturity  
Water (M) Allergy (L)
    - WASHINGTON HAWTHORN 6  
*Eriogonum fasciculatum*  
15 Gal., 10" x 12" Inst./25' x 25' maturity  
Water (M+) Allergy (L) 500sf
  - SHRUBS/ORNAMENTAL GRASSES**
    - ROSE OF SHARON 5  
*Rosa pratincola*  
5 Gal., 12" x 14" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
    - TRUE MOUNTAIN MAHOGANY 14  
*Cercocarpus montana*  
1 Gal., 18" x 24" Inst./6' x 6' maturity  
Water (L+) Allergy (L) 36sf
    - THREE-LEAF SUMAC 13  
*Rhus trilobata*  
5 Gal., 18" x 24" Inst./6' x 6' maturity  
Water (L+) Allergy (L) 36sf
    - DEER GRASS 22  
*Muhlenbergia alpestris*  
1 Gal., 6" x 15" Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf
    - REGAL MIST 45  
*Muhlenbergia capillaris*  
5 Gal., 18" x 24" Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf
    - WILDFLOWER 90  
1 Gal., 3" x 15" Inst./varies at maturity  
Water (varies) Allergy (varies) 4sf
  - GROUNDCOVERS**
    - GREYLEAF COTONEASTER 34  
*Cotoneaster glaucocephala*  
5 Gal., 18" x 24" Inst./6' x 6' maturity  
Water (M) Allergy (L) 81sf
    - WINTER JASMINE 24  
*Jasminum nudiflorum*  
1 Gal., 15" x 15" Inst./4' x 12' maturity  
Water (L+) Allergy (L) 144sf
    - HONEYSUCKLE 31  
*Lonicera japonica 'Walden'*  
1 Gal., 6" x 15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unrated-Groundcover
  - MATERIALS**
    - SHRUBS: SHREDDED BARK MULCH WITH FILTER FABRIC DEPTH
    - TREES: OVERSIZED GRAVEL & BOULDERS
    - GRASSES: NATIVE SEED PLANTING AREA
- \* DENOTES EVERGREEN PLANT MATERIAL  
C DENOTES FLOWERING PLANT MATERIAL

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
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PHONE (505) 338-1499 FAX (505) 338-1498

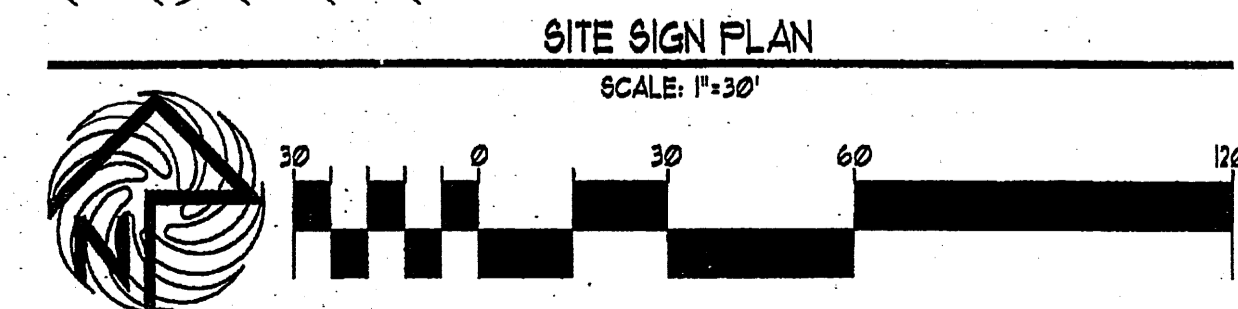
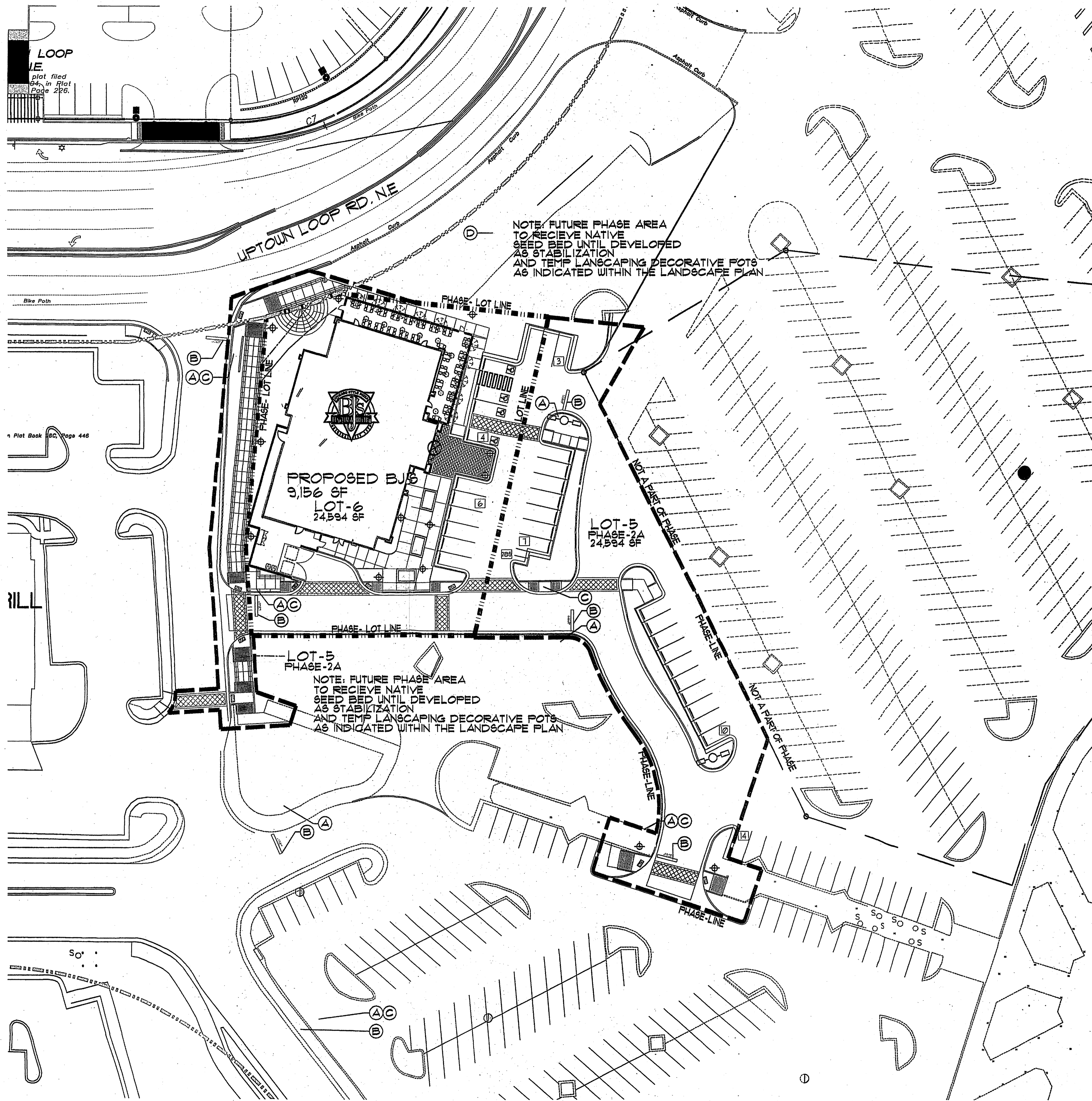


PROJECT TITLE	WINROCK TOWN CENTER
PROJECT NUMBER	2200 LOUISIANA BLVD. NE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	STEPHEN DUNBAR, AIA
DRAWN BY:	S-J
JOB NO.:	WIN-EJ
SHEET TITLE	LANDSCAPE PLAN

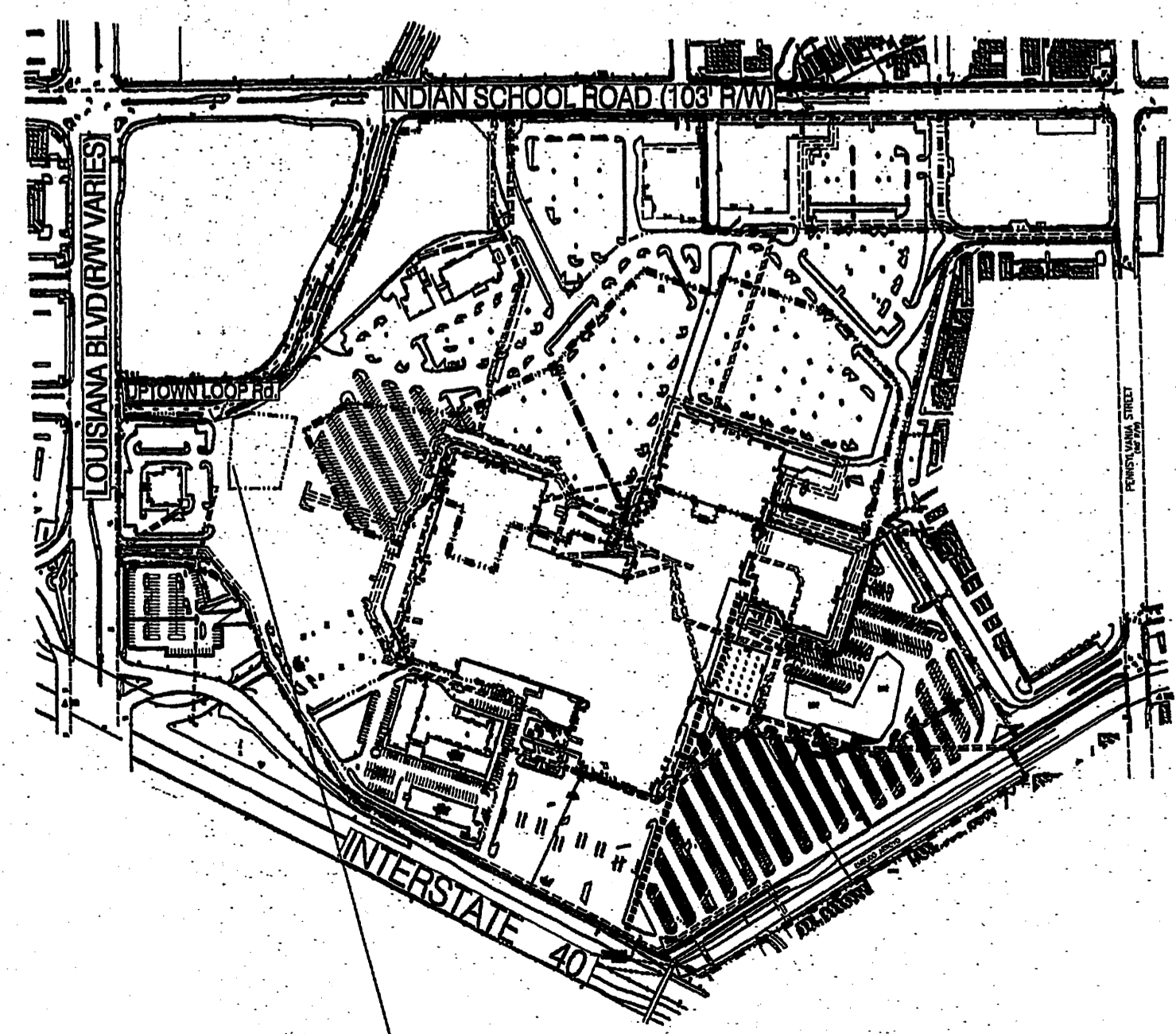
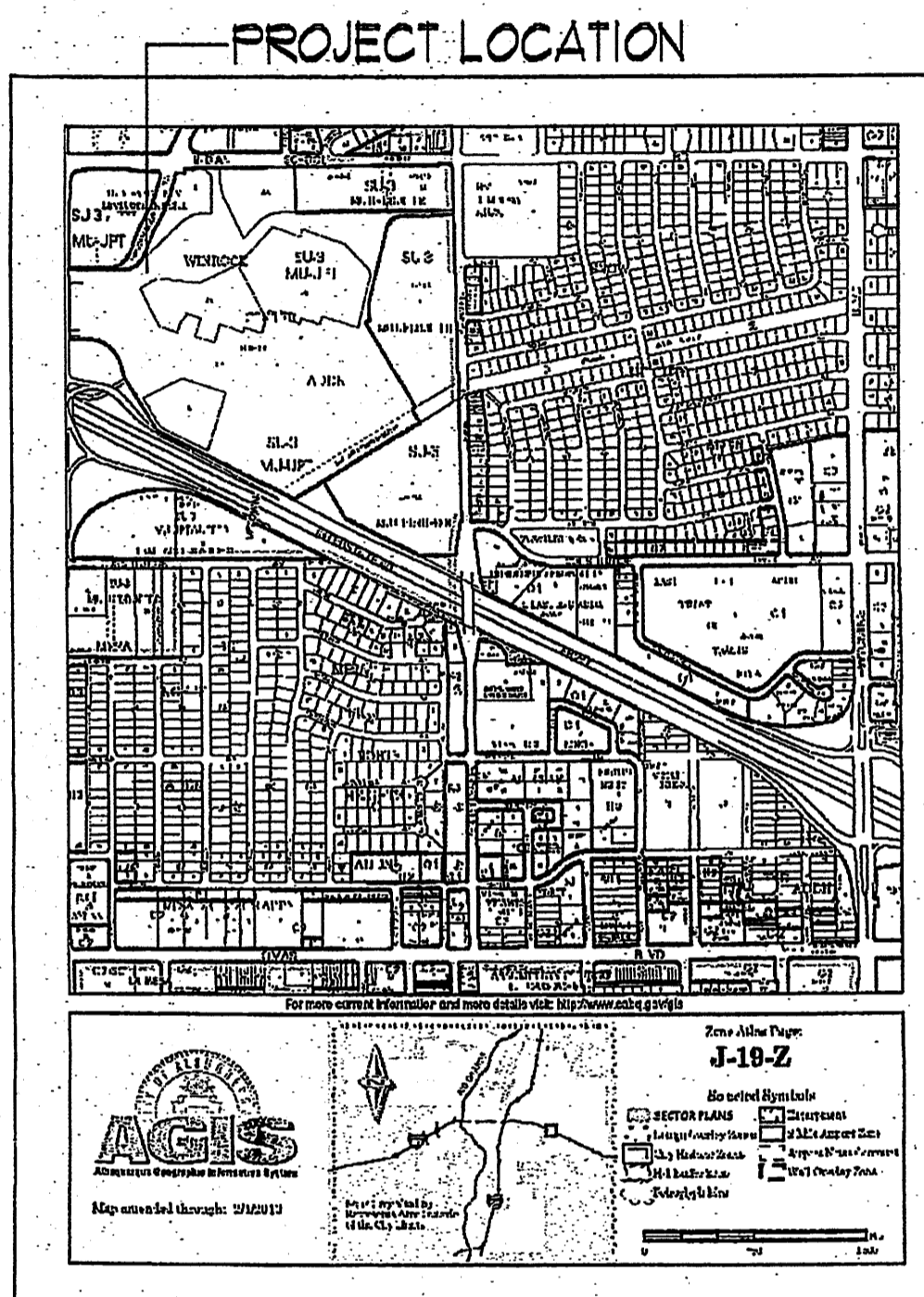
DATE:	5/4/12
SCALE:	AS NOTED







- KEYED NOTE:**
- (A) STOP SIGN, RE DETAIL 3A/A12
  - (B) PAINTED STOP BAR, RE DETAIL 1/A12
  - (C) PEDESTRIAN CROSSING SIGN, RE DETAIL 3/A12
  - (D) PROPOSED CENTER ID SIGN RE: DETAIL 1/A14 FOR SIGN EL.



REV	DATE	BY	REVISION
1			
2			
3			
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5			

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
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 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE  
 WINROCK TOWN CENTER  
 2700 LOUISIANA BLVD. NE  
 ALBUQUERQUE NEW MEXICO

PROJECT NUMBER  
 STEPHEN DUNBAR, AIA

JOB NO.  
 WIN-EJ

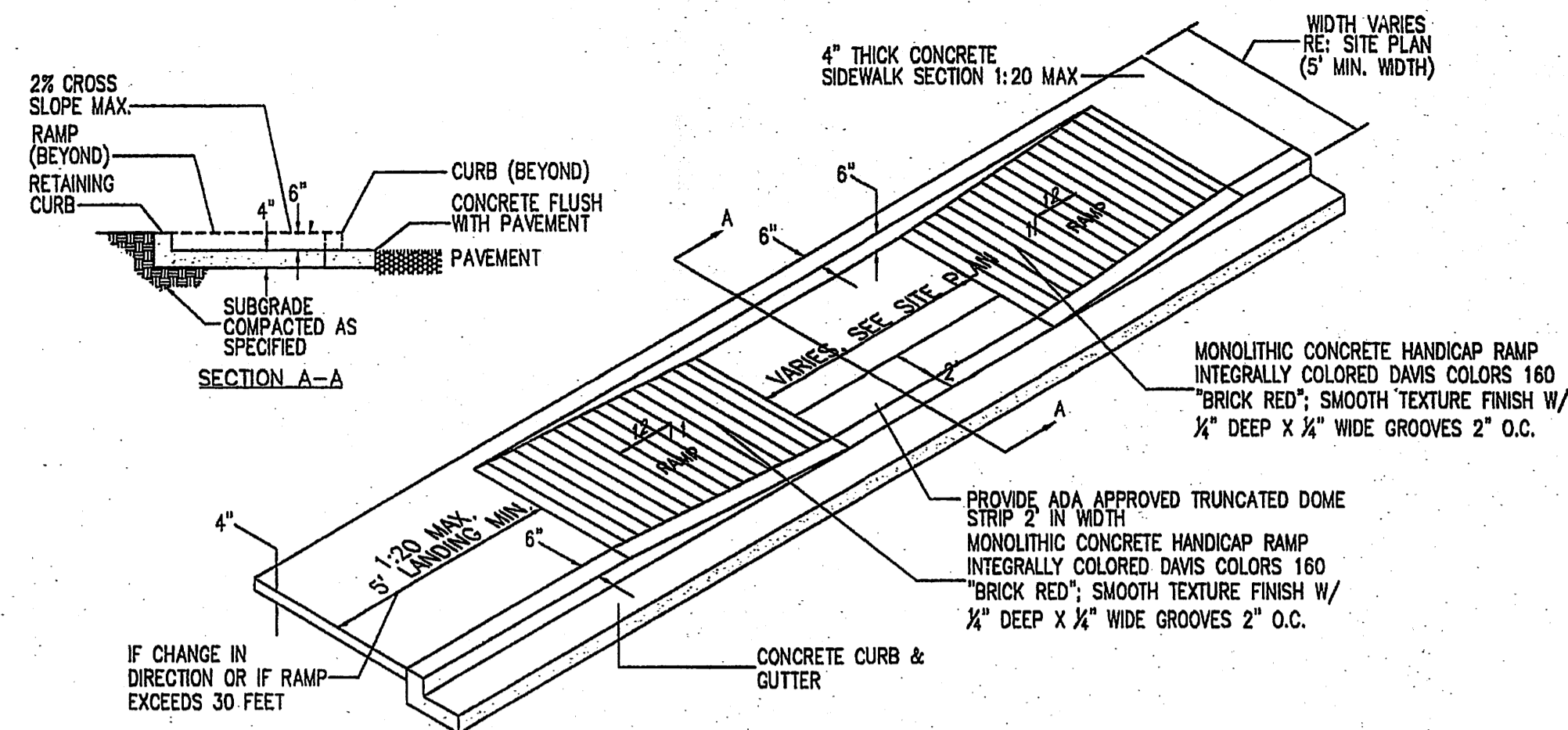
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 S-J

SHEET TITLE  
 SITE SIGN PLAN

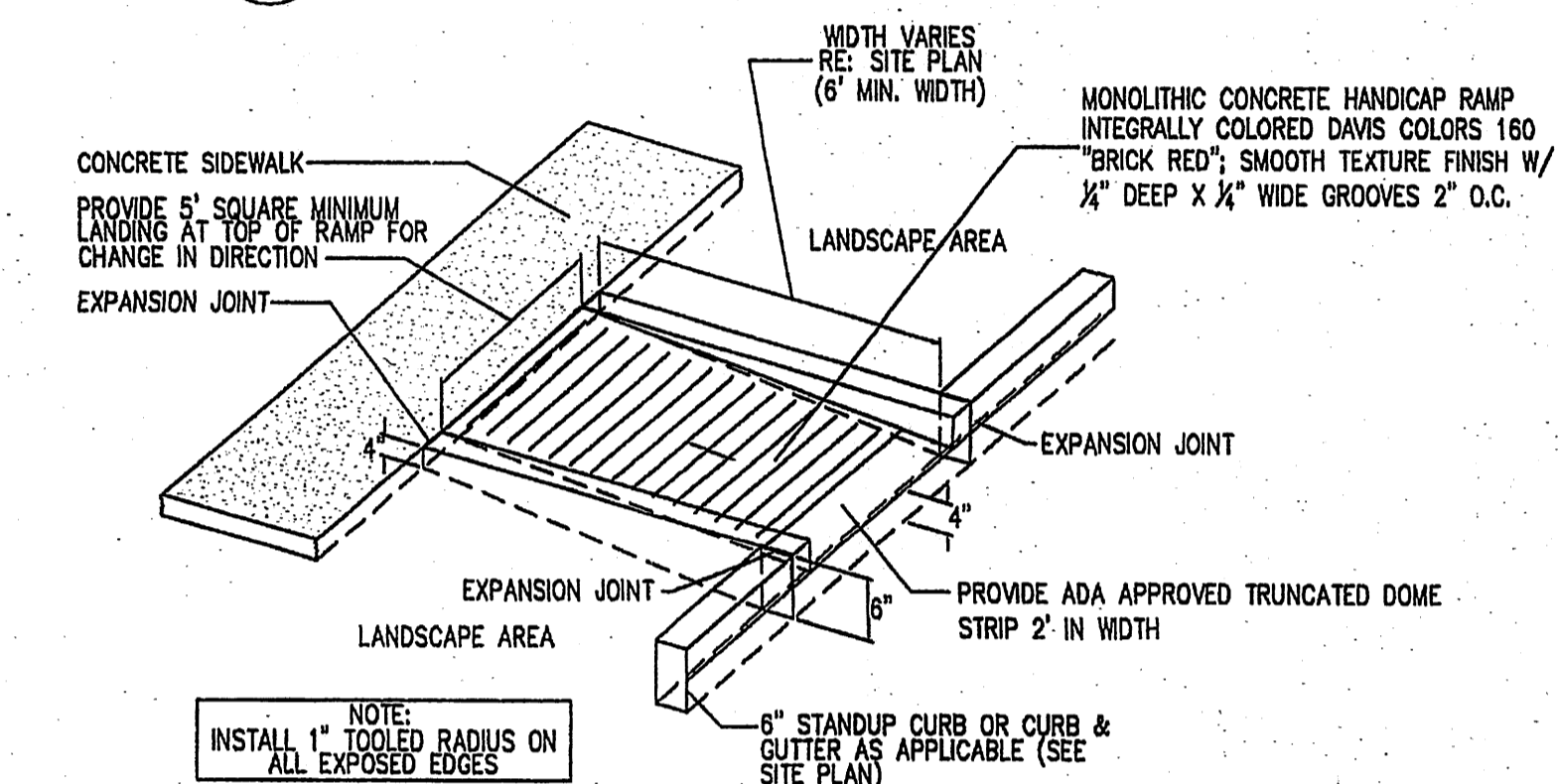
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SCALE:  
 AS NOTED

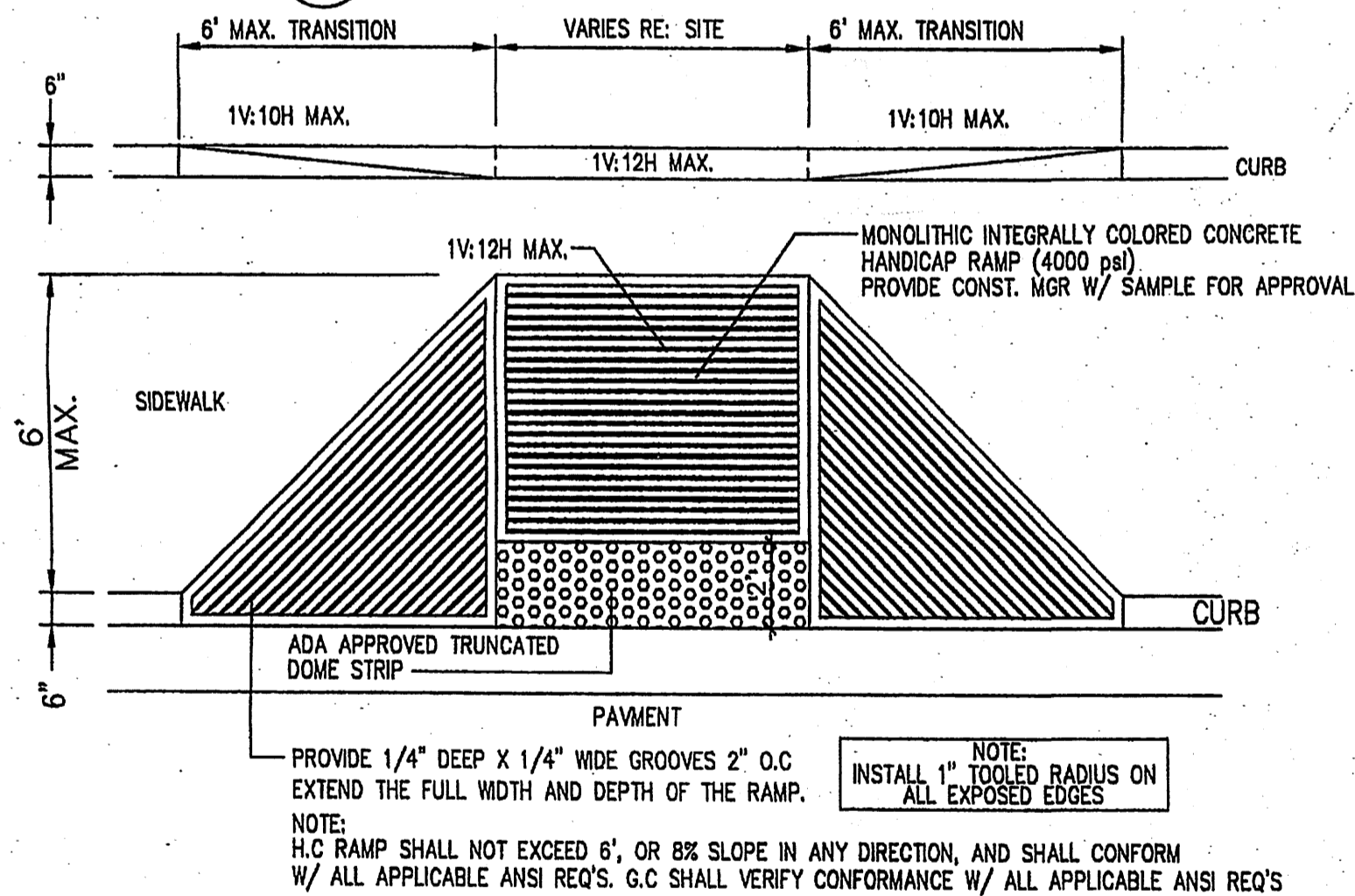
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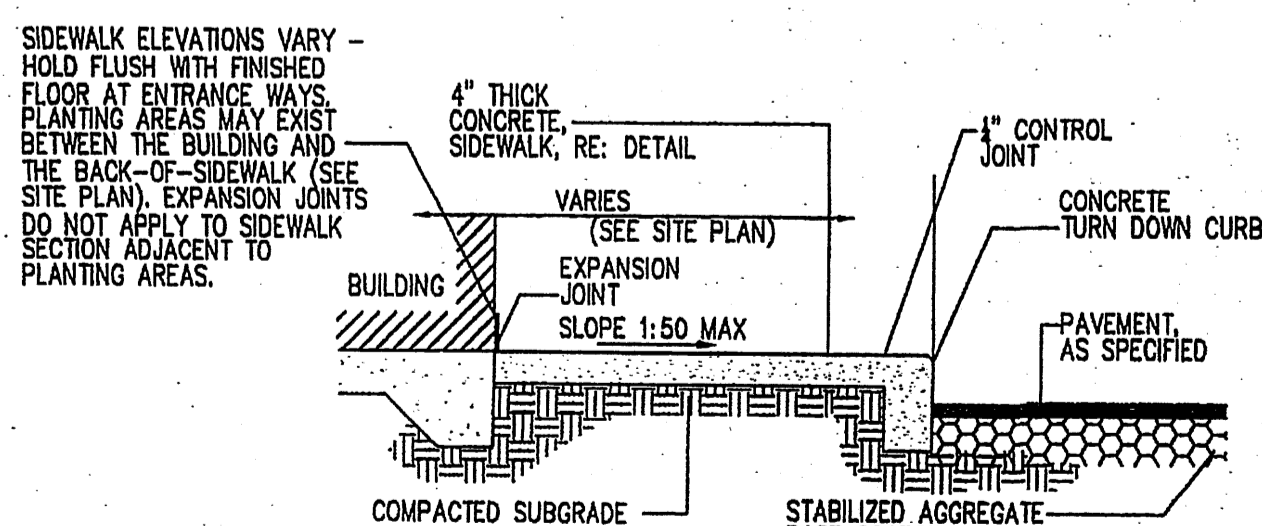
**17 TAPERED H.C RAMP**  
Scale: N.T.S.



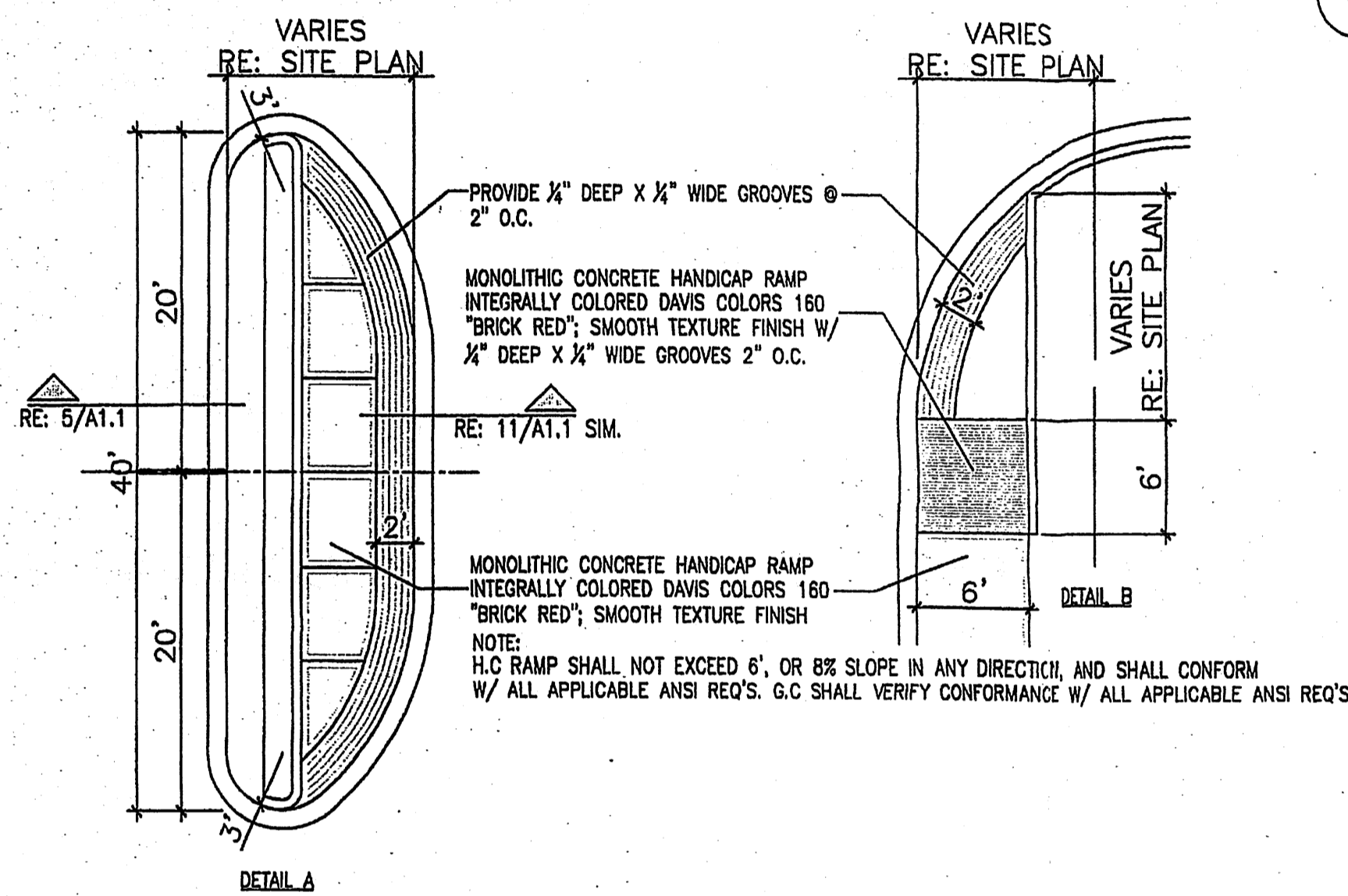
**16 CURBED H.C RAMP**  
Scale: N.T.S.



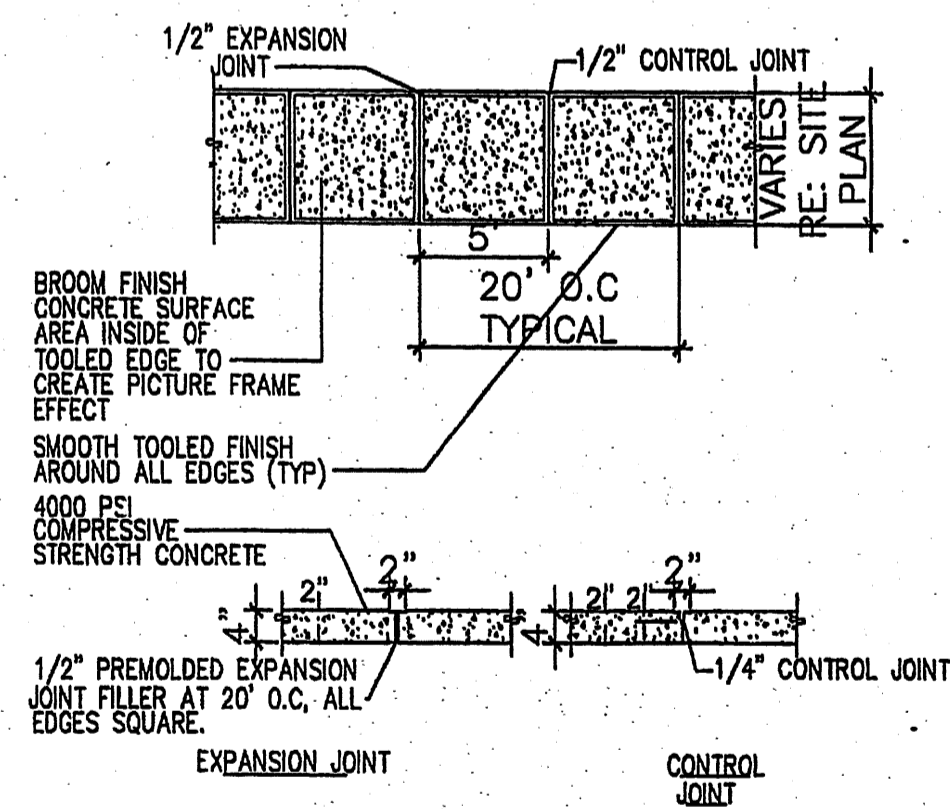
**15 FLARED H.C RAMP**  
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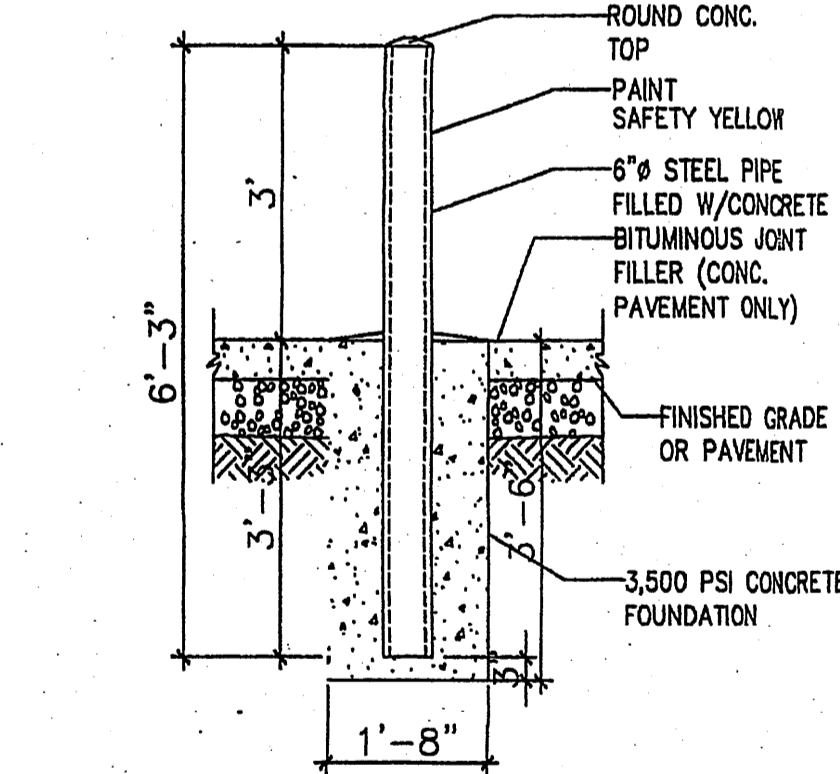
**14 SIDEWALK W/ TURNDOWN CURB SECTION**  
Scale: N.T.S.



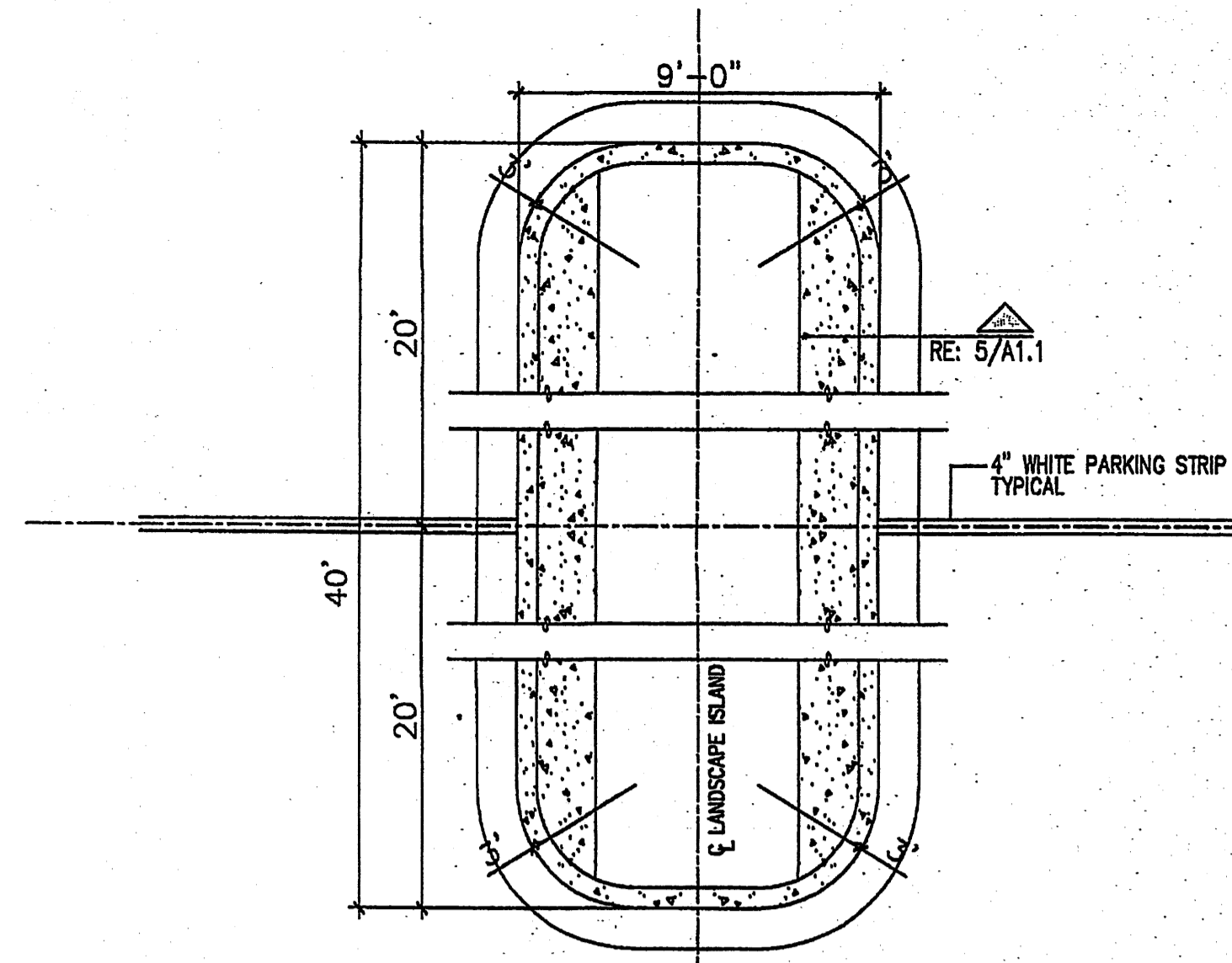
**12 TYP. END ISLAND W/ WALK**  
Scale: N.T.S.



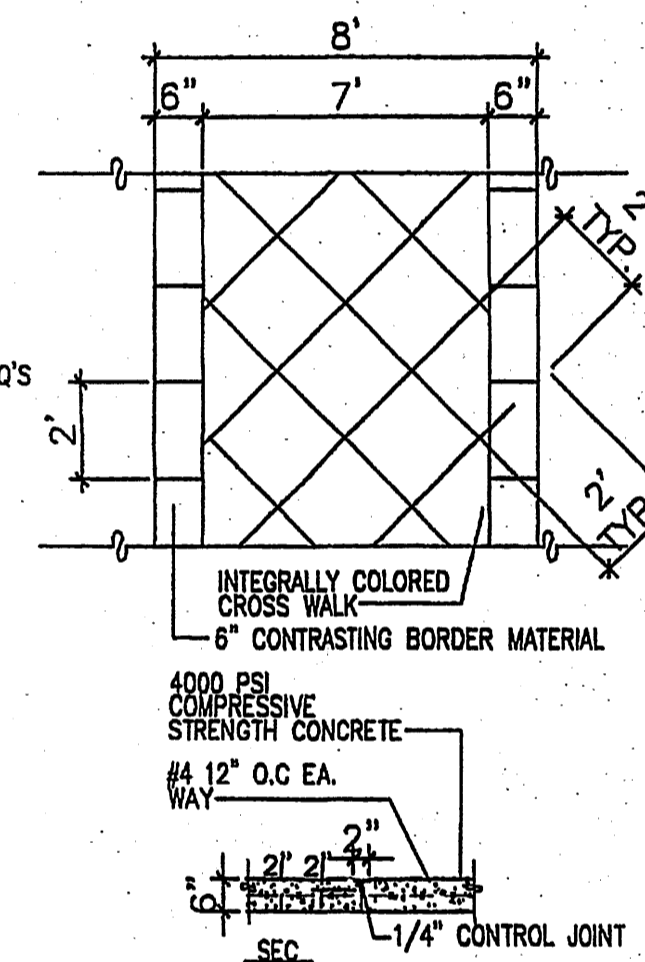
**11 TYPICAL SIDEWALK**  
Scale: N.T.S.



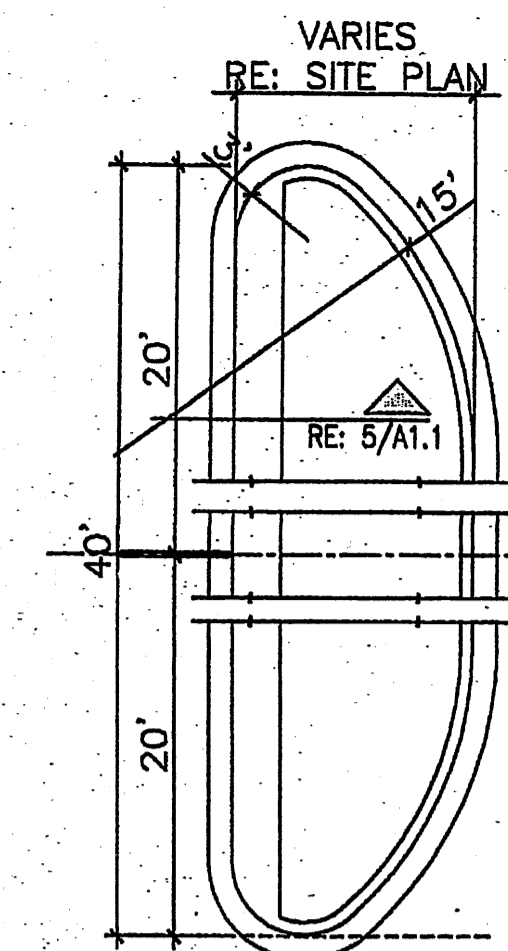
**10 BOLLARD DETAIL**  
Scale: 1/2\"/>



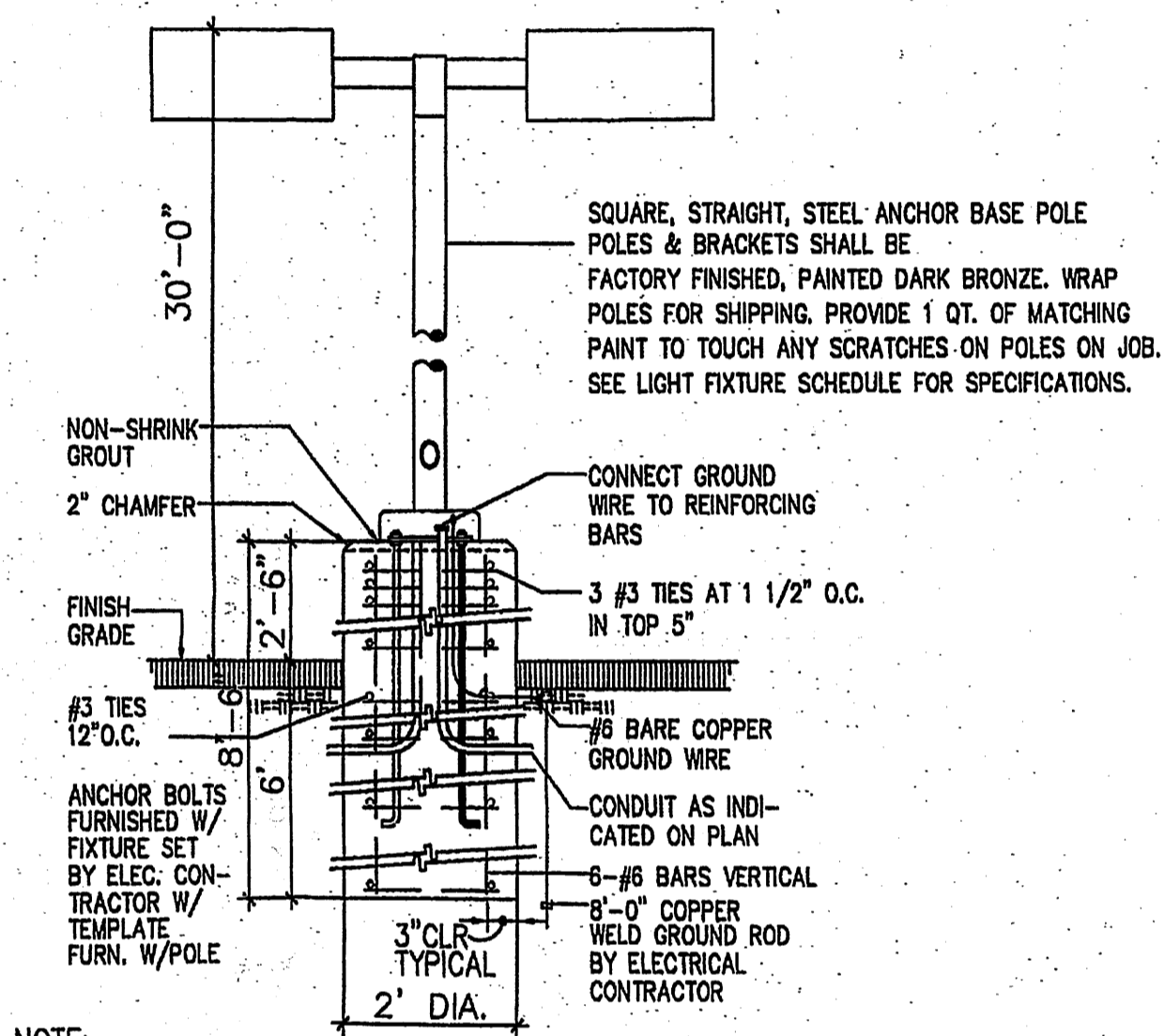
**8 ISLAND DETAIL**  
Scale: N.T.S.



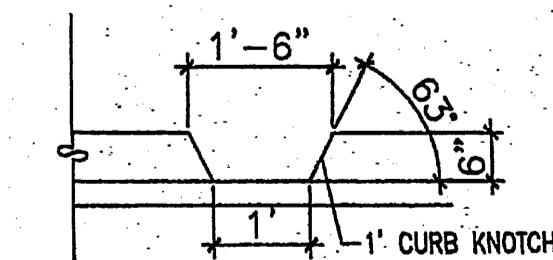
**7 CONC. CROSSWALK**  
Scale: N.T.S.



**4 END ISLAND DETAIL**  
Scale: N.T.S.



**3 LIGHT POLE DETAIL**  
Scale: N.T.S.



**1 CURB KNOTCH**  
Scale: N.T.S.

REV	DATE	BY	REVISION
1			
2			
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5			

**MODULUS ARCHITECTS**  
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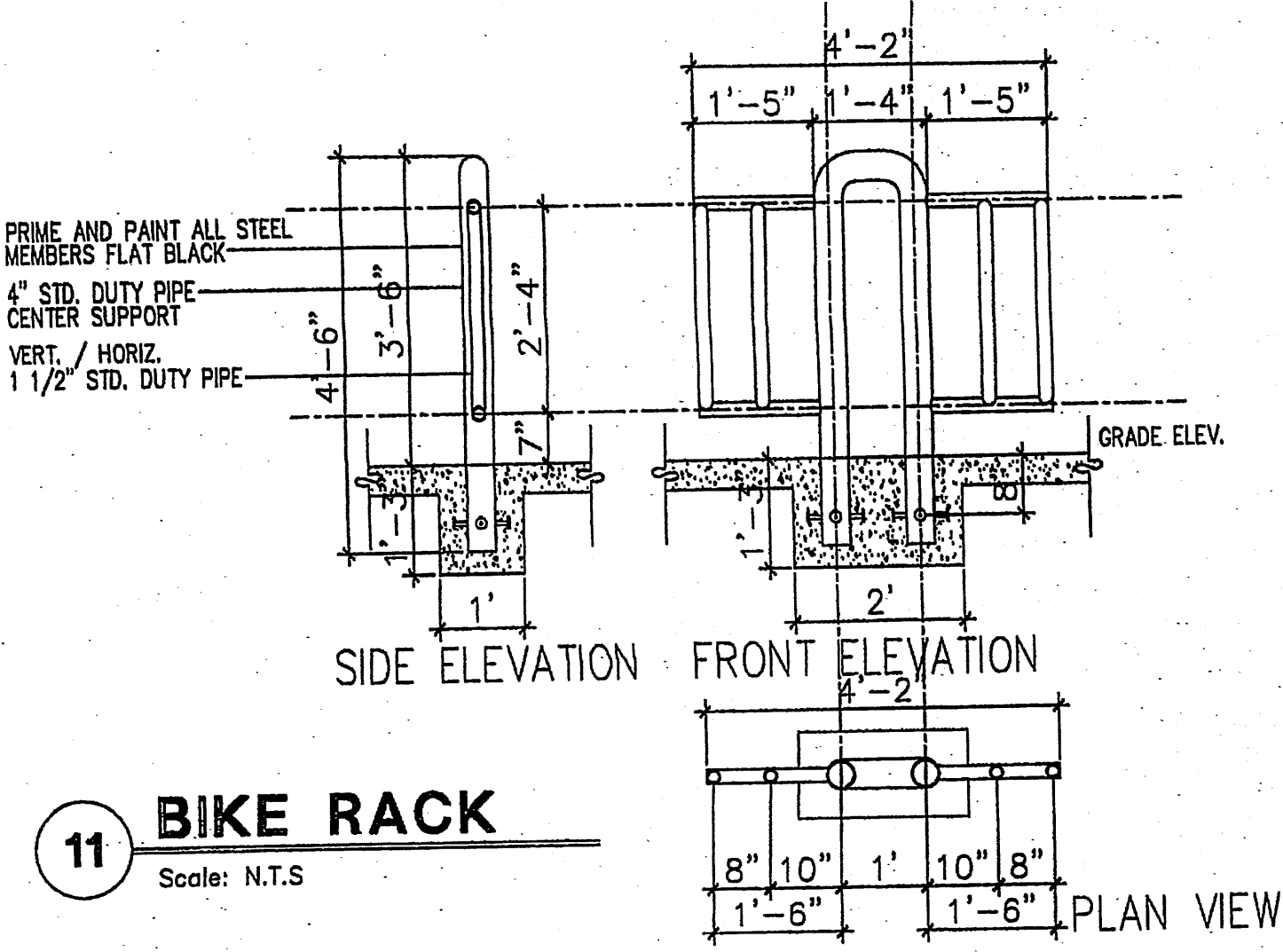


PROJECT TITLE  
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ALBUQUERQUE NEW MEXICO

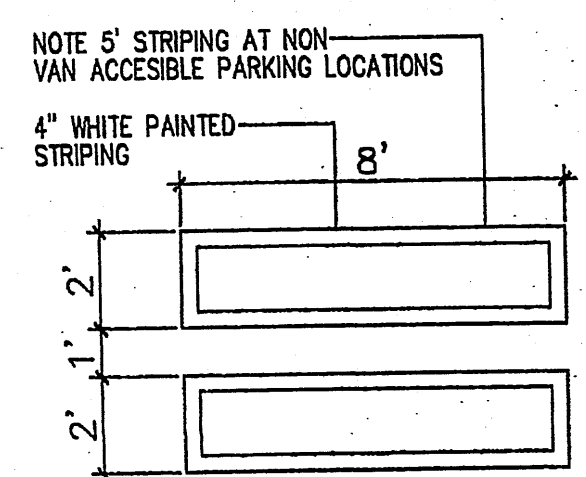
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JOB NO.  
DRAWN BY:  
STEPHEN DUNBAR, AIA  
WIN-EJ  
S-J

SHEET TITLE  
**SITE DETAILS**

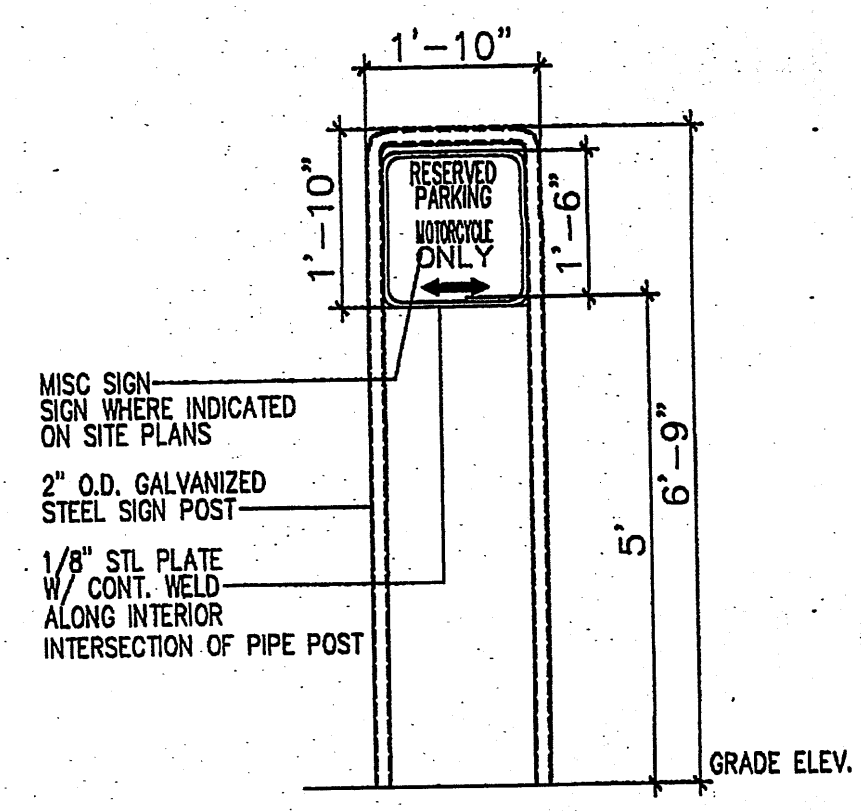
DATE: 4/6/12  
SCALE: AS NOTED  
SHEET NO. 11



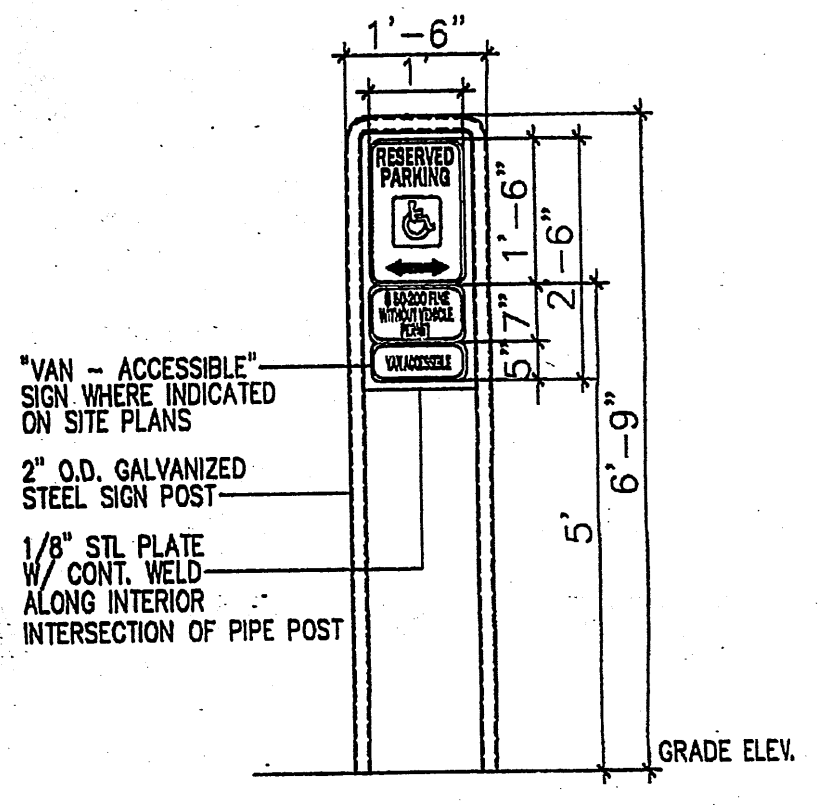
**11 BIKE RACK**  
Scale: N.T.S.



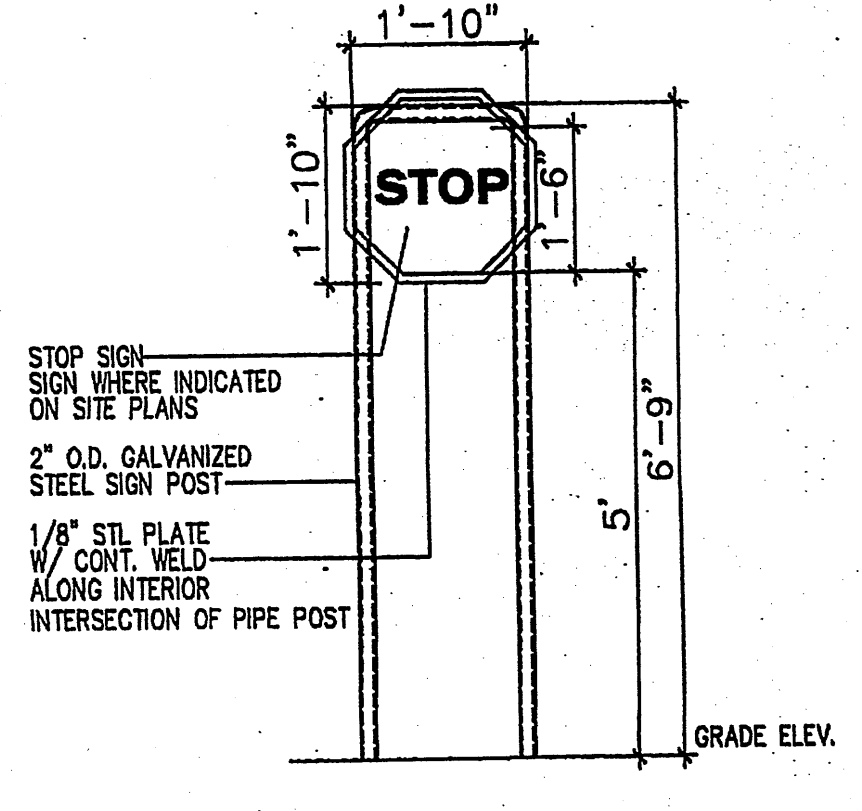
**10 H.C. PARKING-WALK PAINT DETAIL**  
Scale: N.T.S.



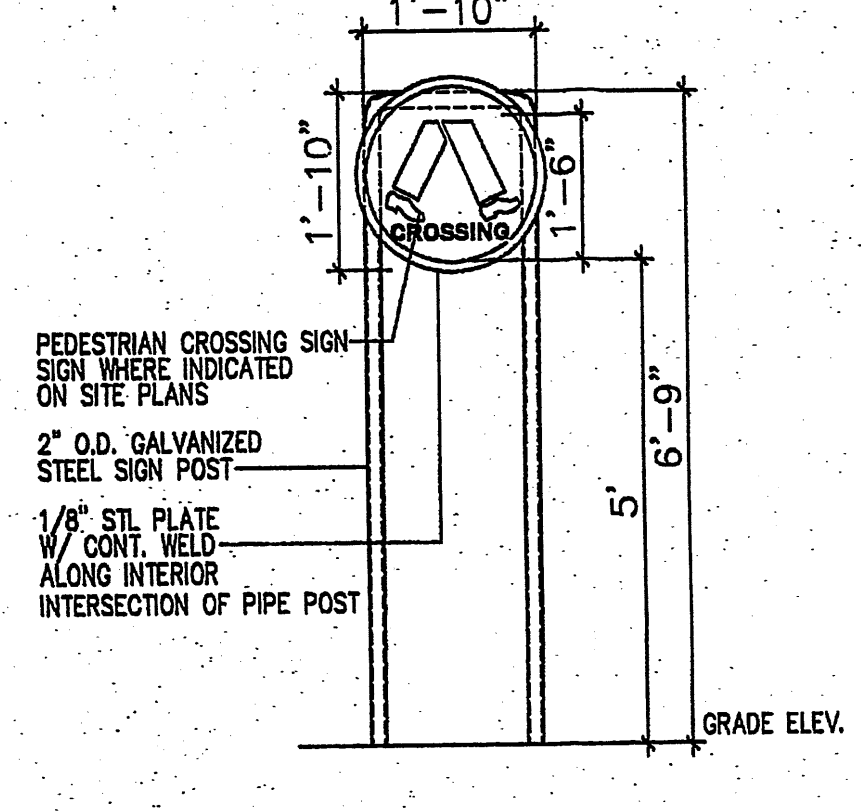
**7 MISC SIGNAGE**  
Scale: N.T.S.



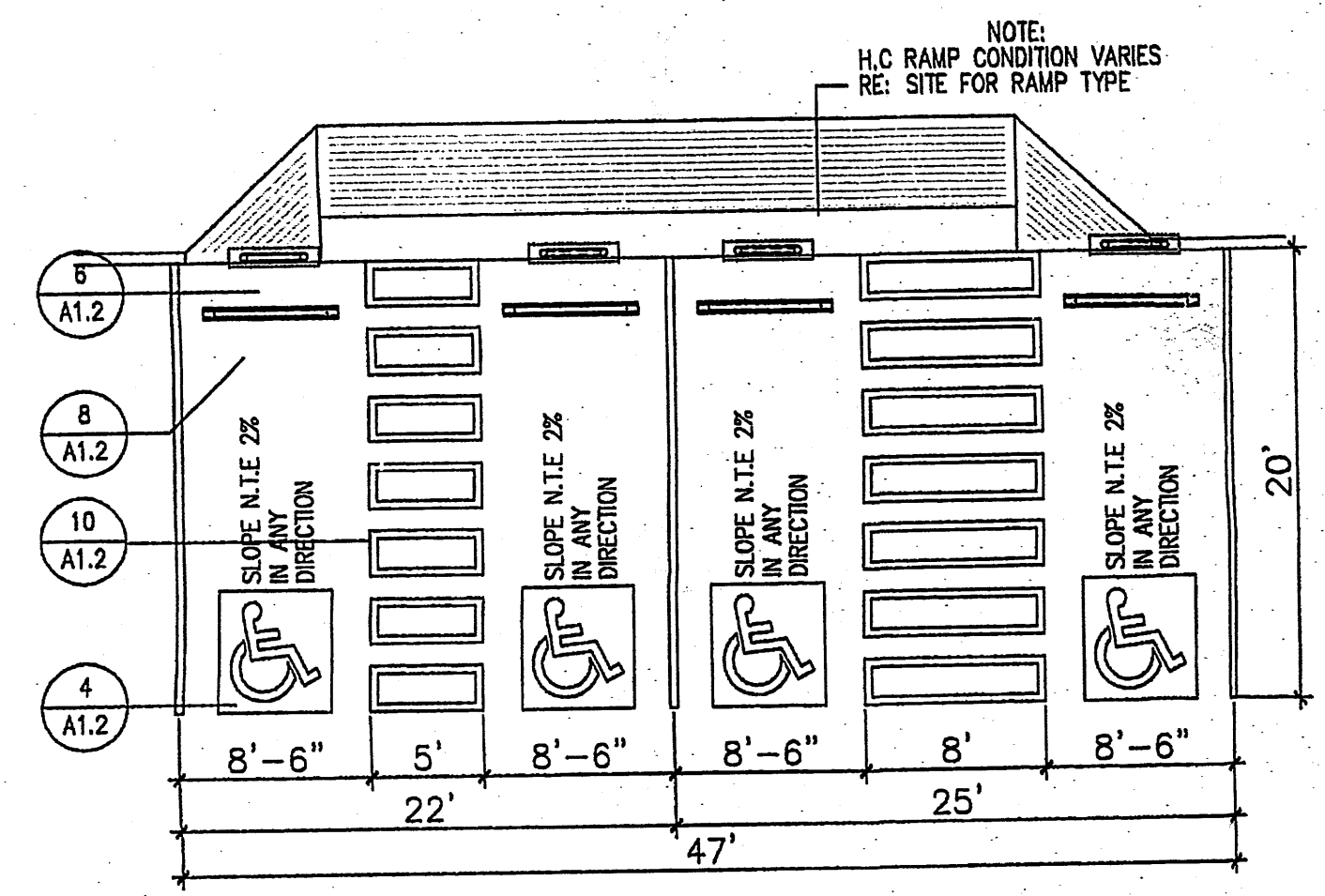
**6 H.C SIGNAGE**  
Scale: N.T.S.



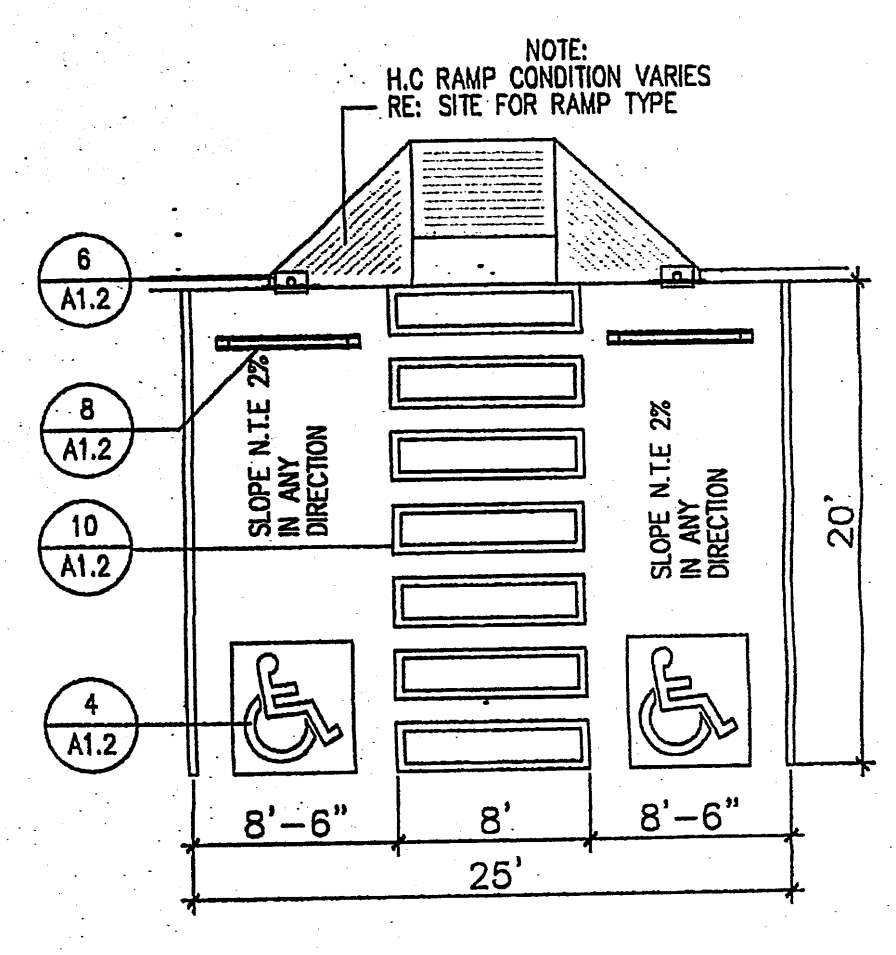
**3A STOP SIGNAGE**  
Scale: N.T.S.



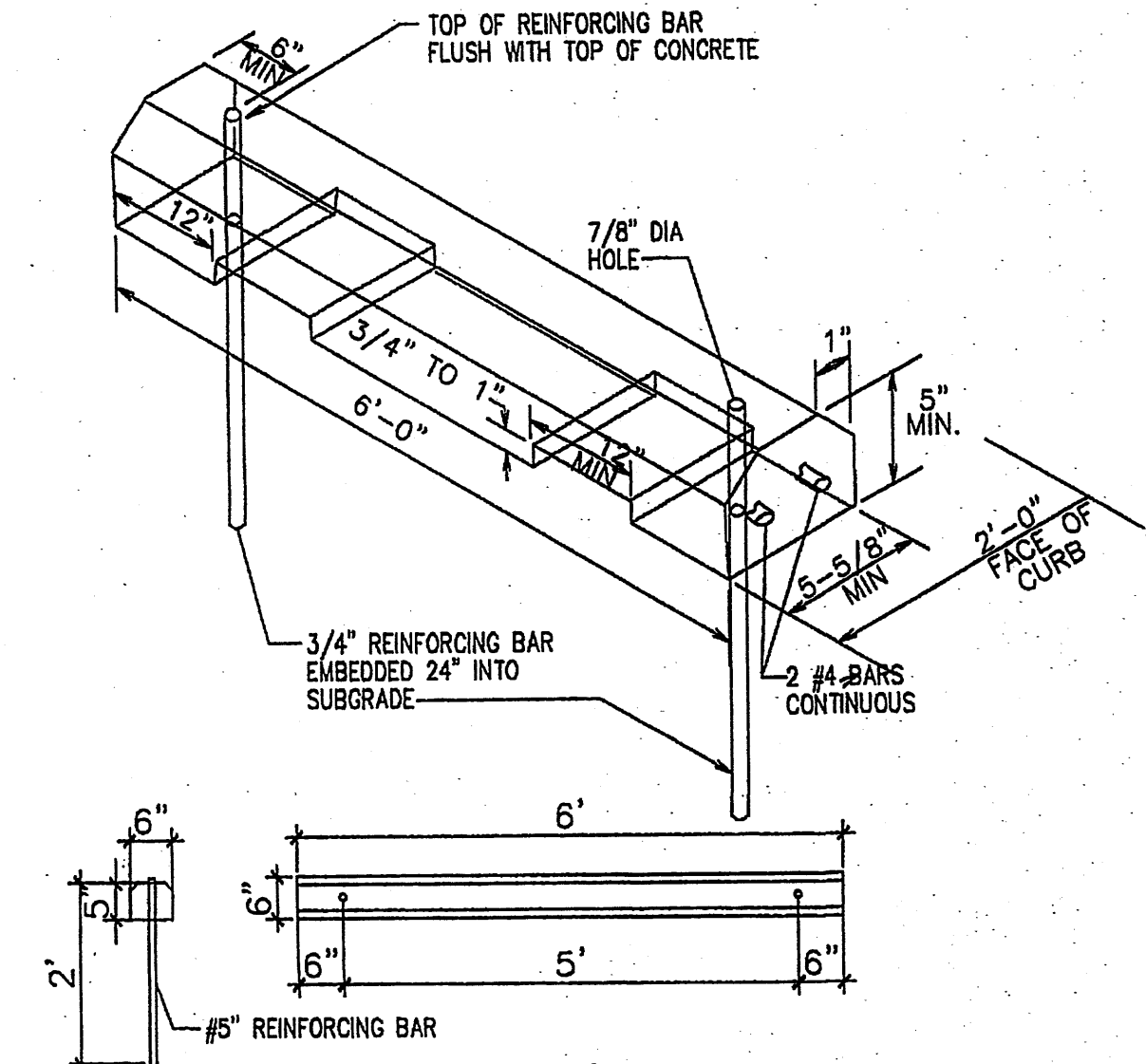
**3 PEDESTRIAN SIGNAGE**  
Scale: N.T.S.



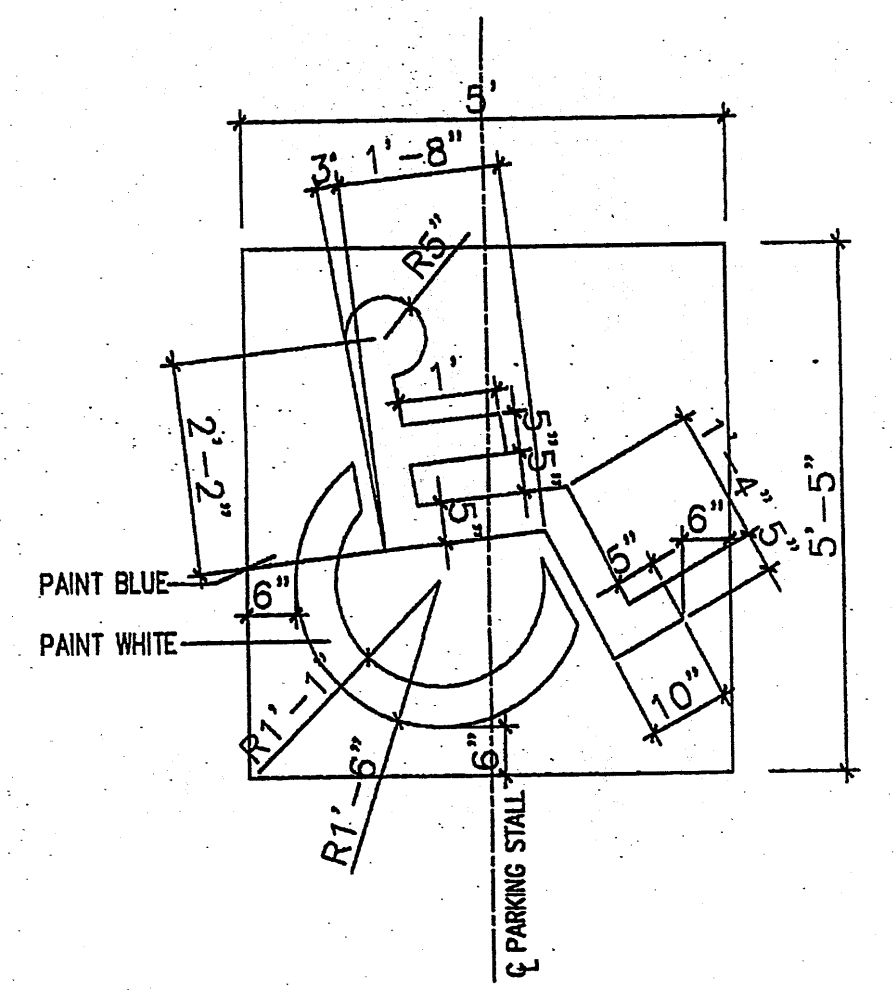
**9 H.C. PARKING(DUAL CONFIGURATION)**  
Scale: N.T.S.



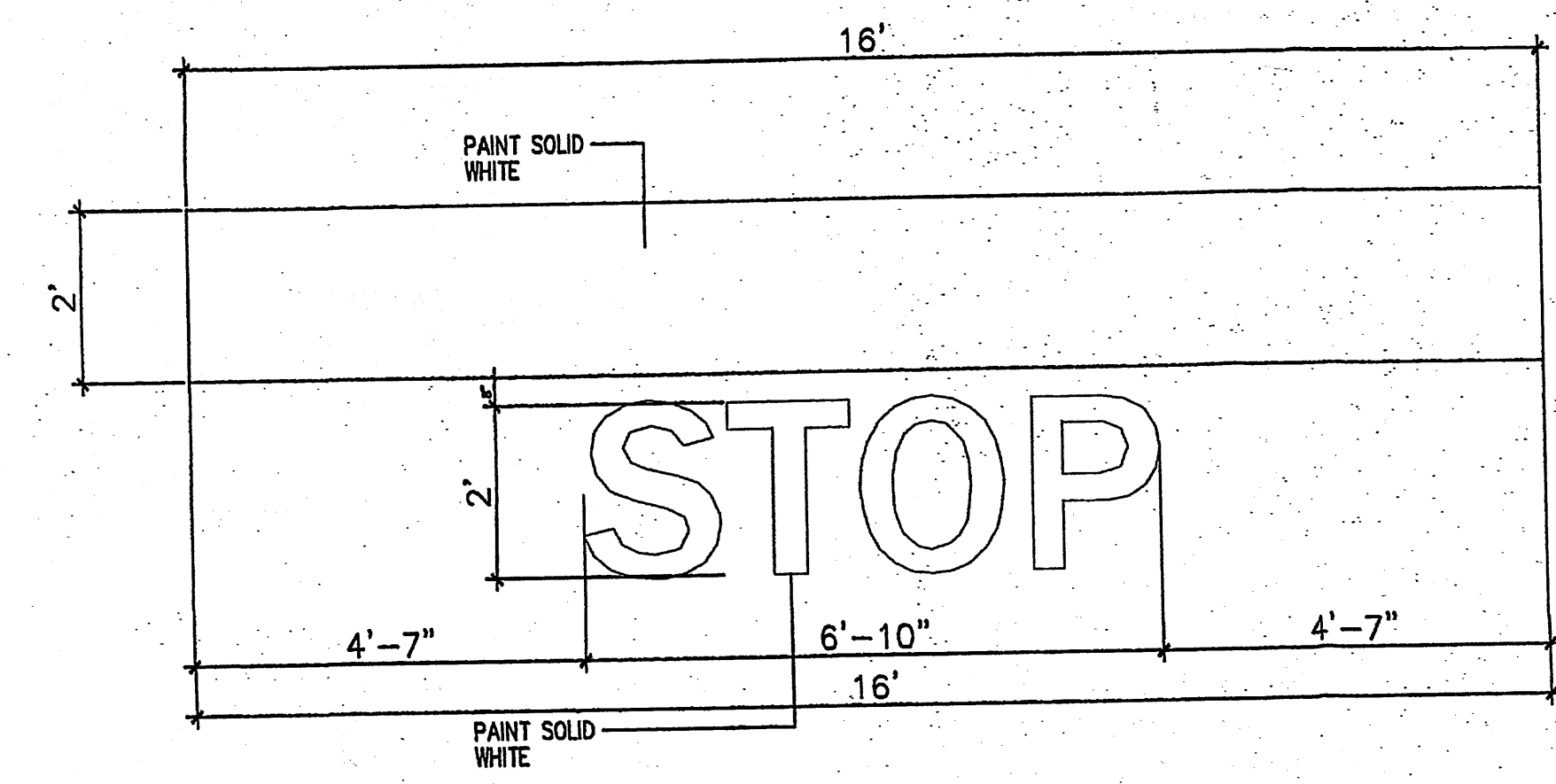
**5 H.C. PARKING(VAN ACCESIBLE ONLY)**  
Scale: N.T.S.



**8 H.C. WHEELSTOP**  
Scale: 1/2"=1'-0"



**4 H.C SIGNAGE**  
Scale: 1/2"=1'-0"



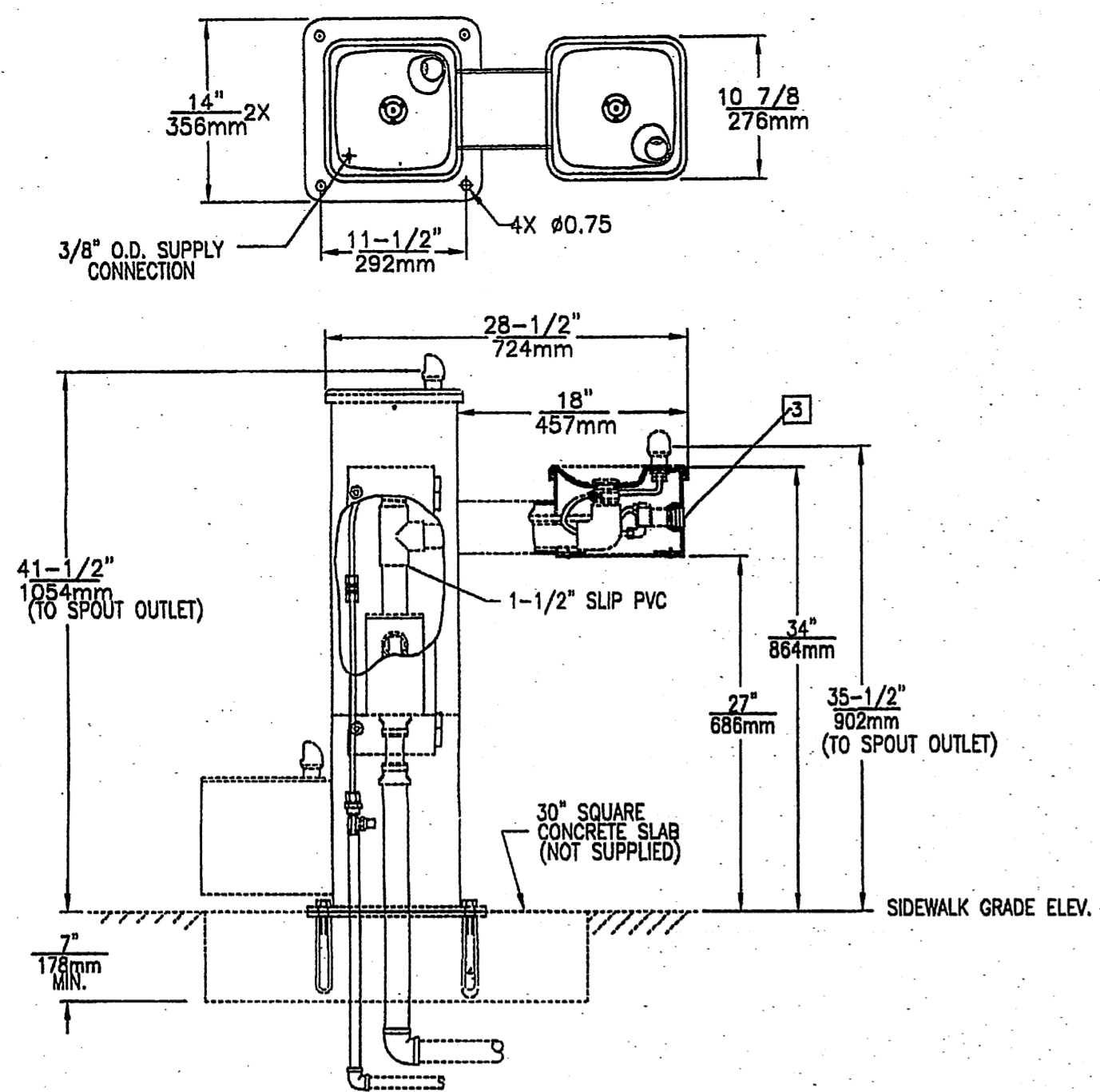
**1 STOP BAR DETAIL**  
Scale: N.T.S.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

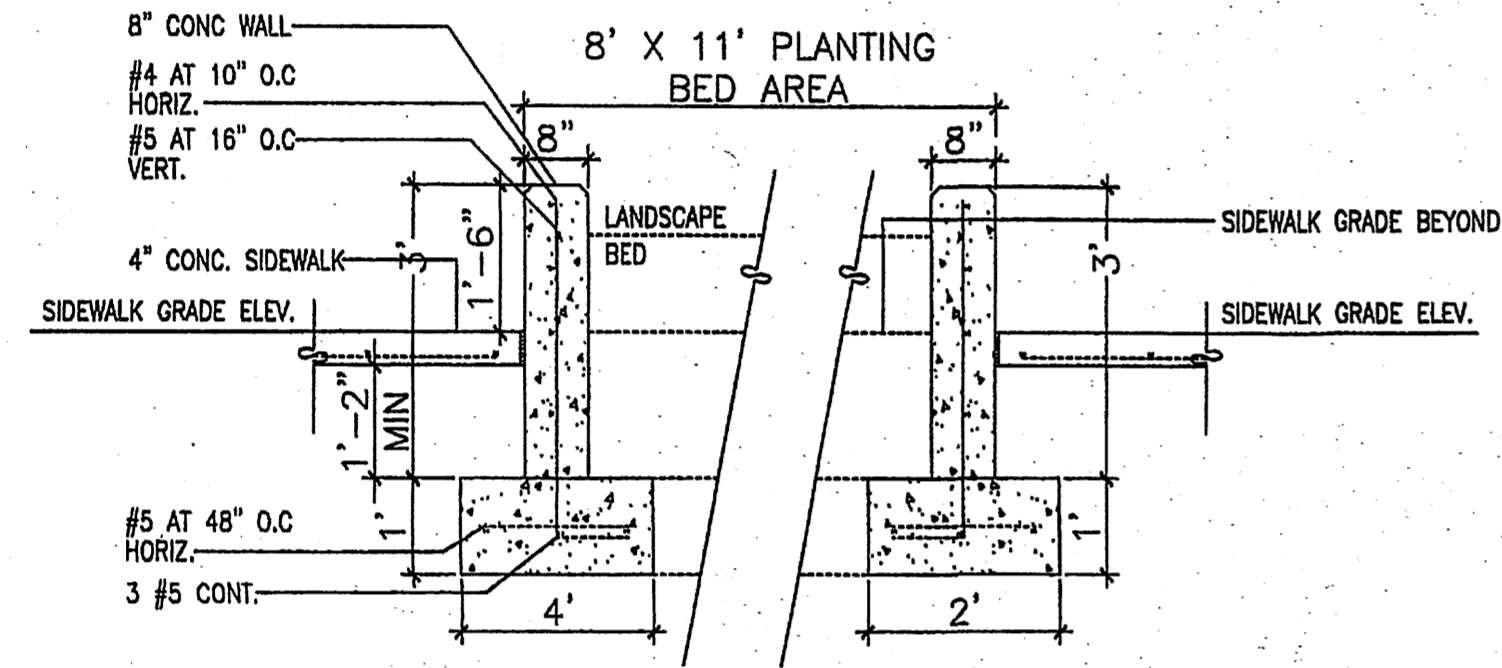
**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



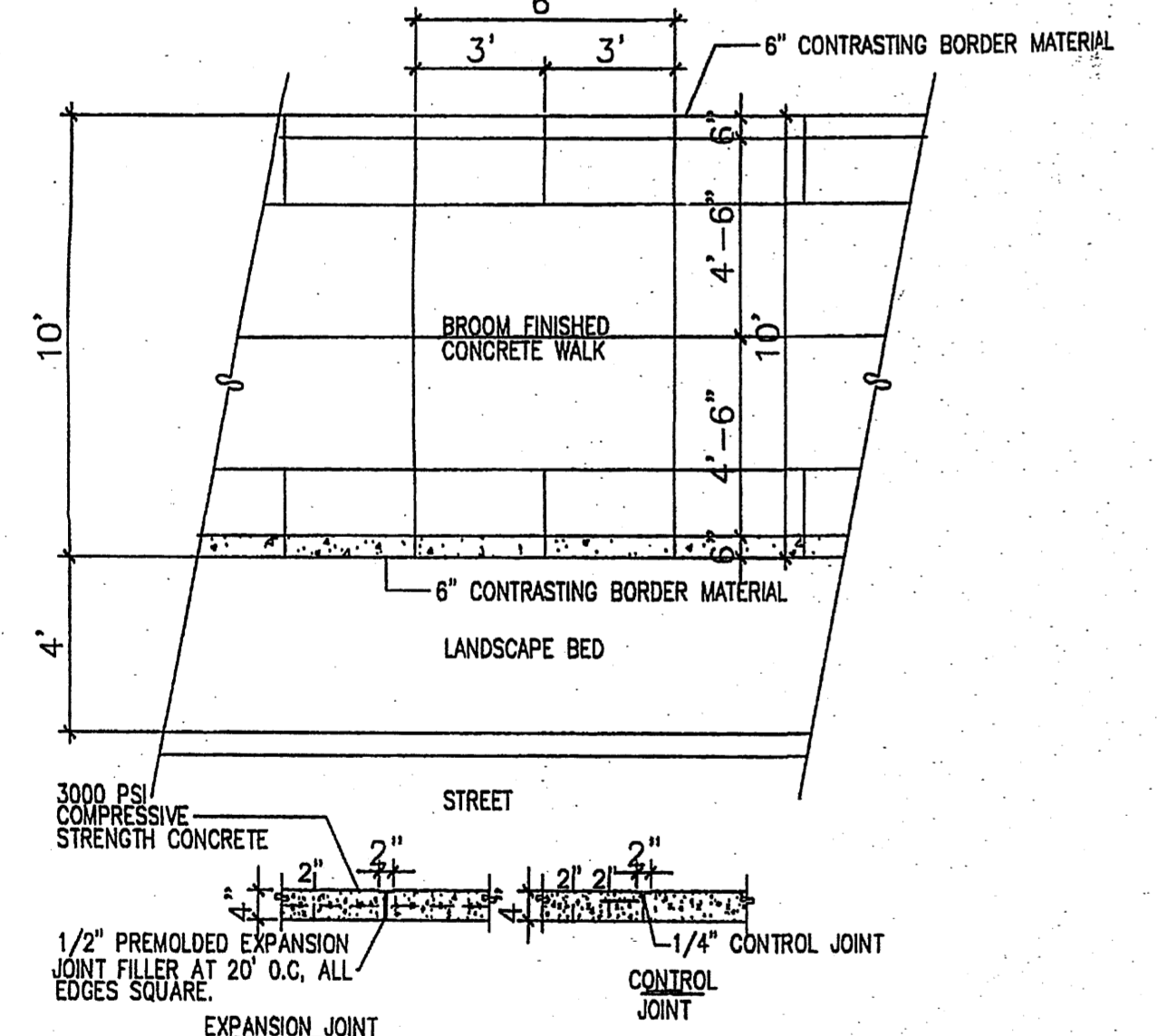
PROJECT TITLE	WINROCK TOWN CENTER	DATE	4/6/12
	2200 LOUISIANA BLVD. NE	SCALE	AS NOTED
	ALBUQUERQUE, NEW MEXICO		
PROJECT NUMBER	WIN-BJ	DRAWN BY:	S-J
PROJECT MANAGER	STEPHEN DUNBAR, AIA		
SHEET TITLE	SITE DETAILS		
			A12



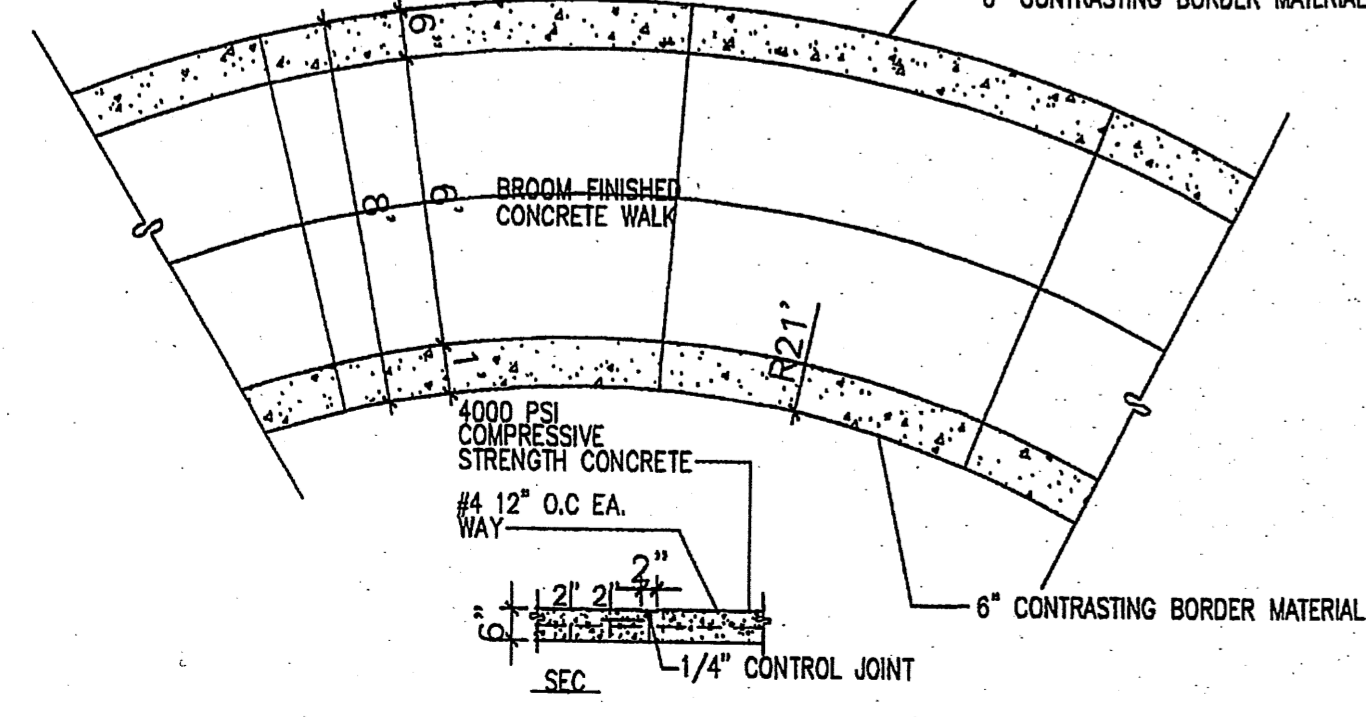
**11 COMBINATION PET/HUMAN DRINKING FOUNTAIN**  
Scale: N.T.S.



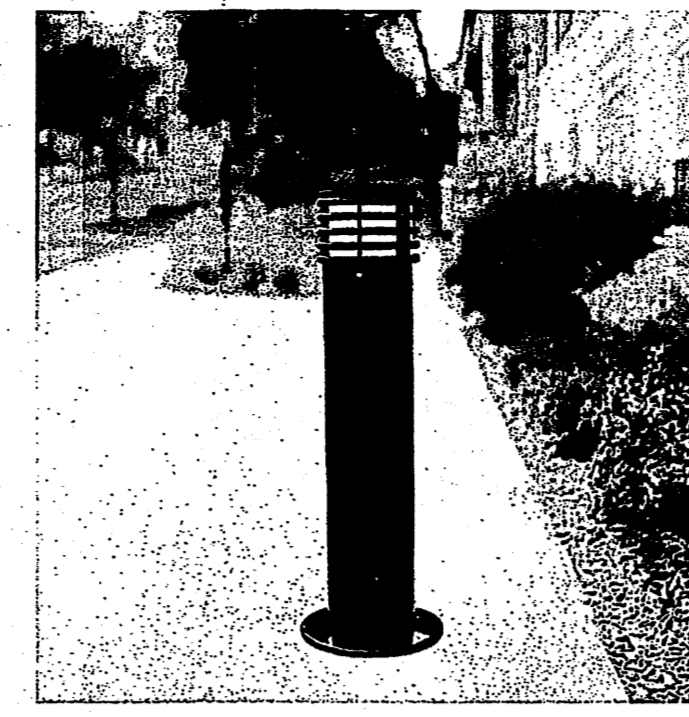
**10 RAISED PLANTING BED DETAIL**  
Scale: N.T.S.



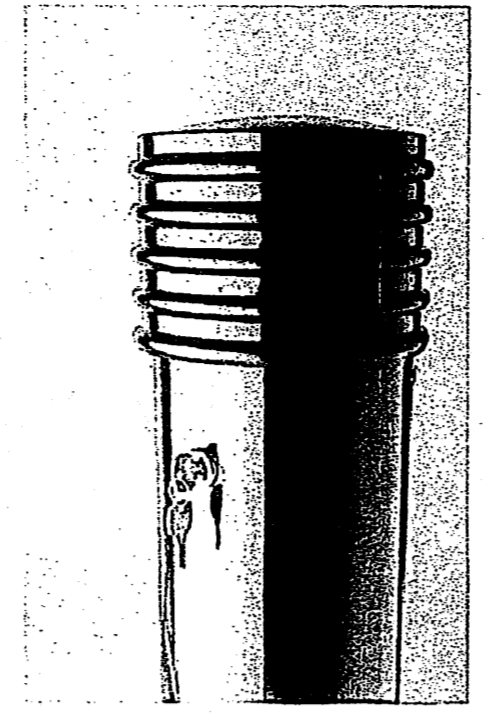
**9 TYPICAL STREET SIDEWALK**  
Scale: N.T.S.



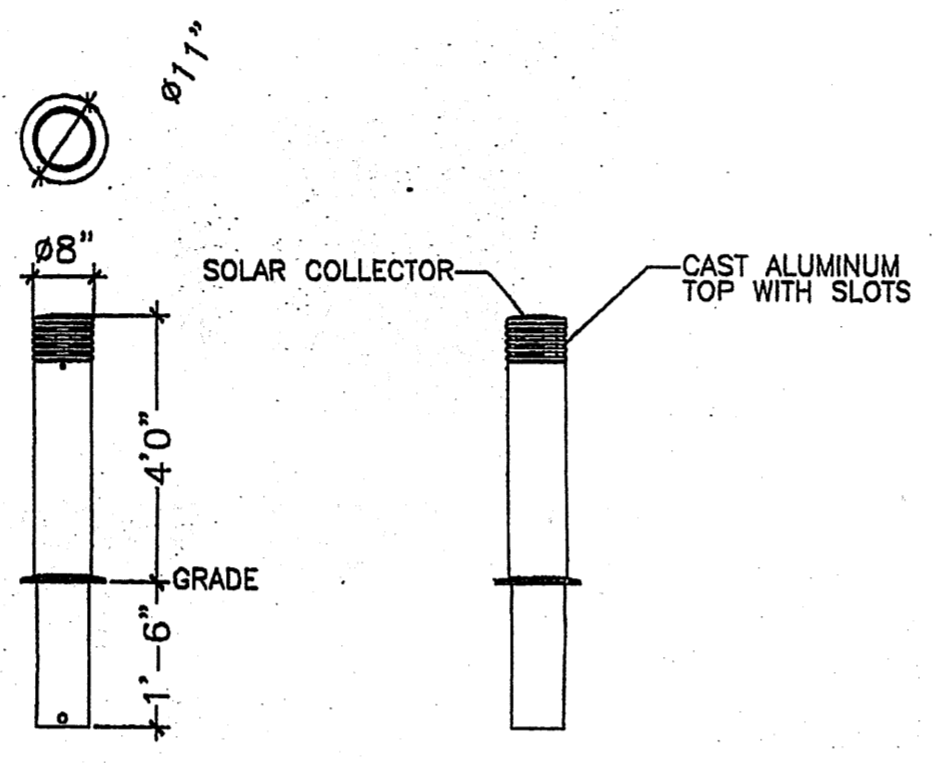
**8 RADIUS CONC. CROSSWALK**  
Scale: N.T.S.



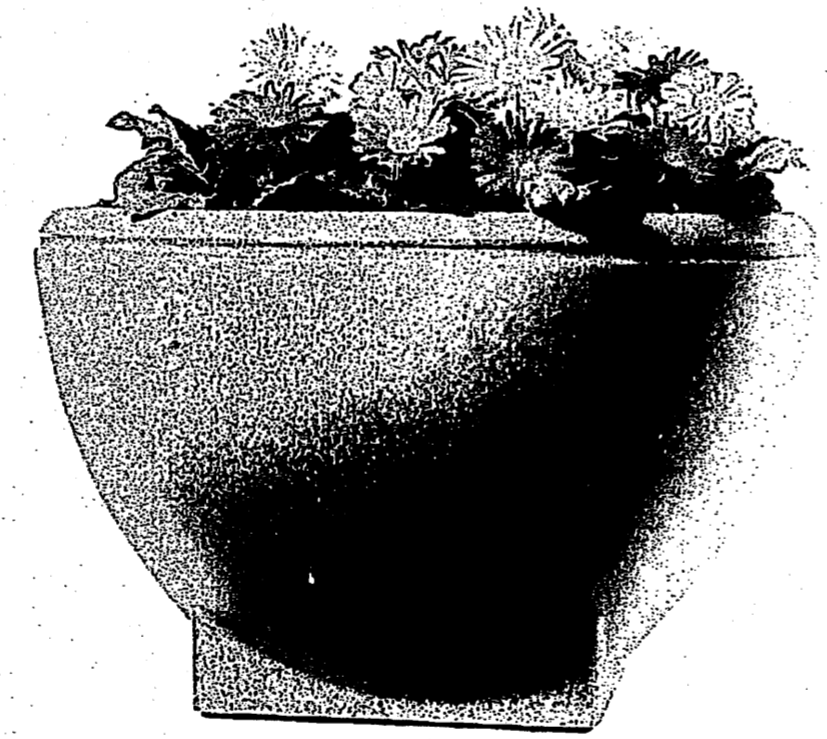
**7B PERSPECTIVE VIEW**  
Scale: N.T.S.



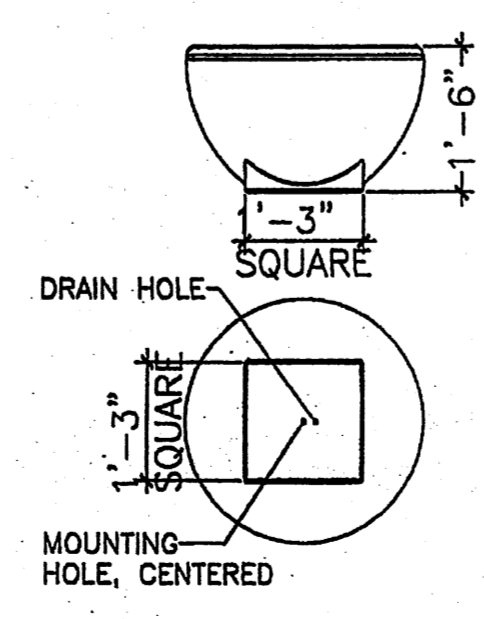
**7A PERSPECTIVE VIEW**  
Scale: N.T.S.



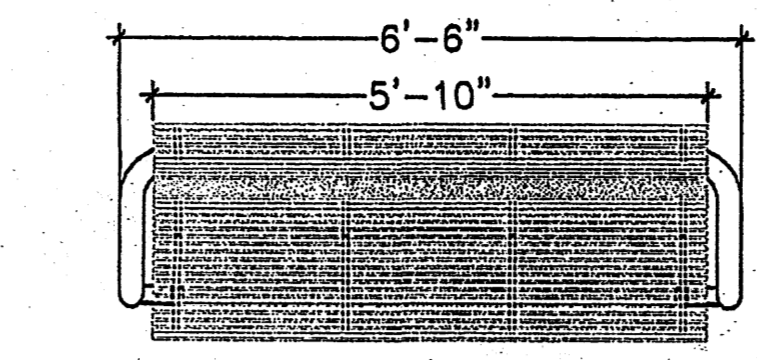
**7 PEDESTRIAN LIGHTING DETAIL**  
Scale: N.T.S.



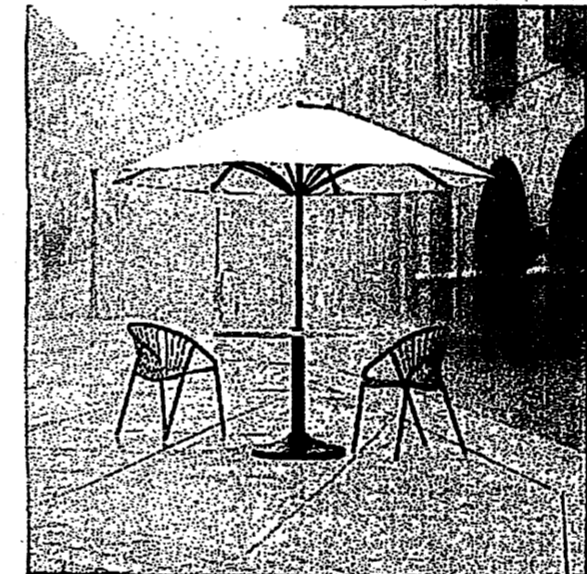
**6A PERSPECTIVE VIEW**  
Scale: N.T.S.



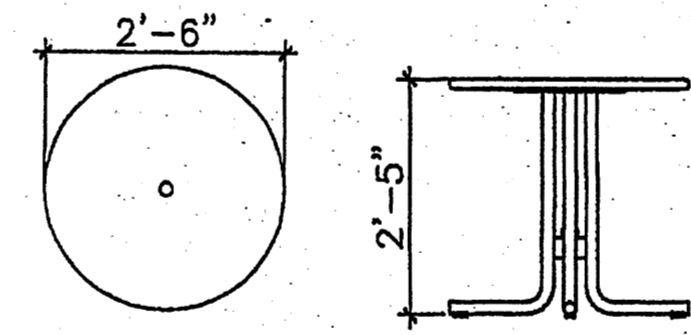
**6 PLANTER DETAIL**  
Scale: N.T.S.



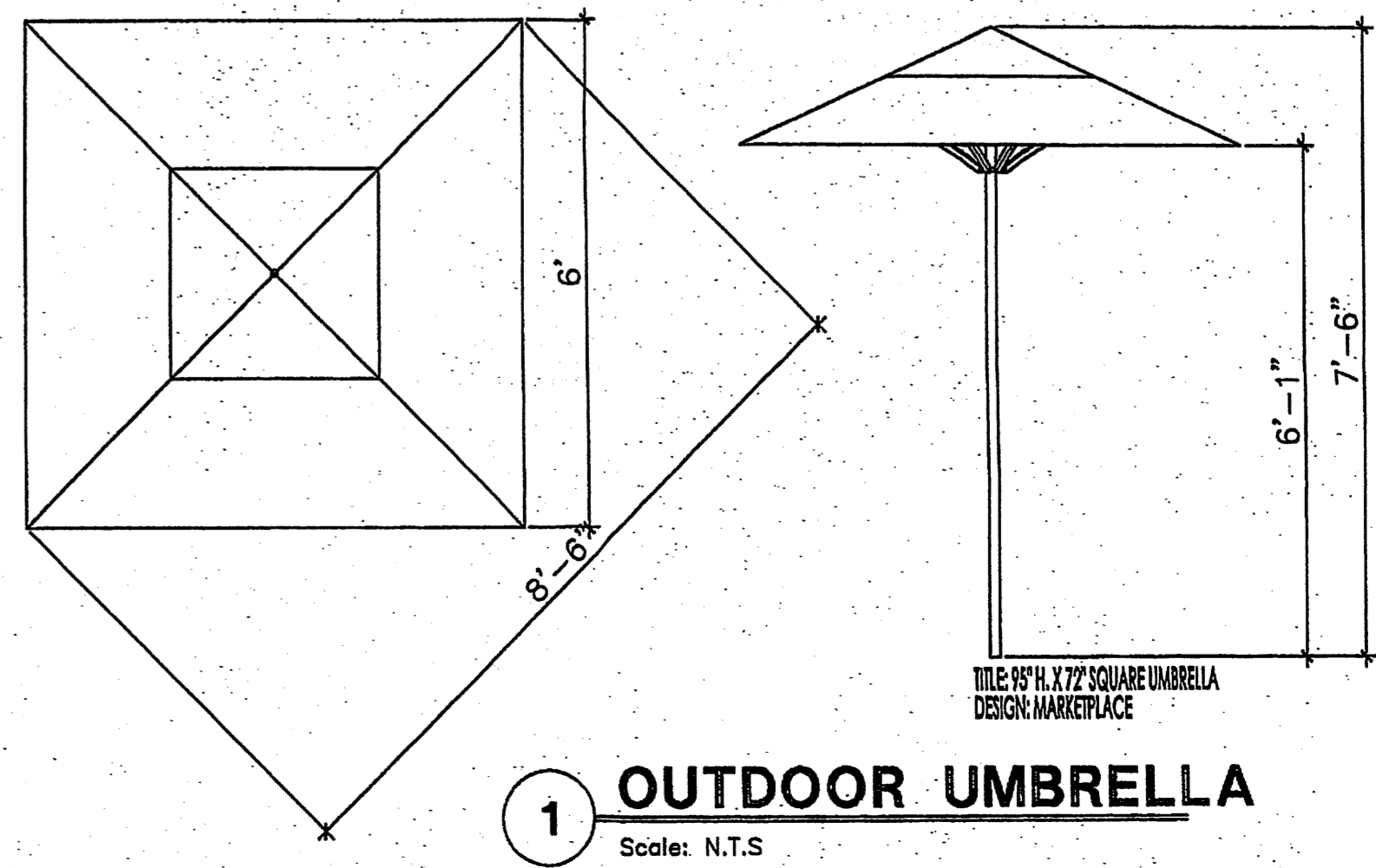
**5 OUTDOOR DENCH**  
Scale: N.T.S.



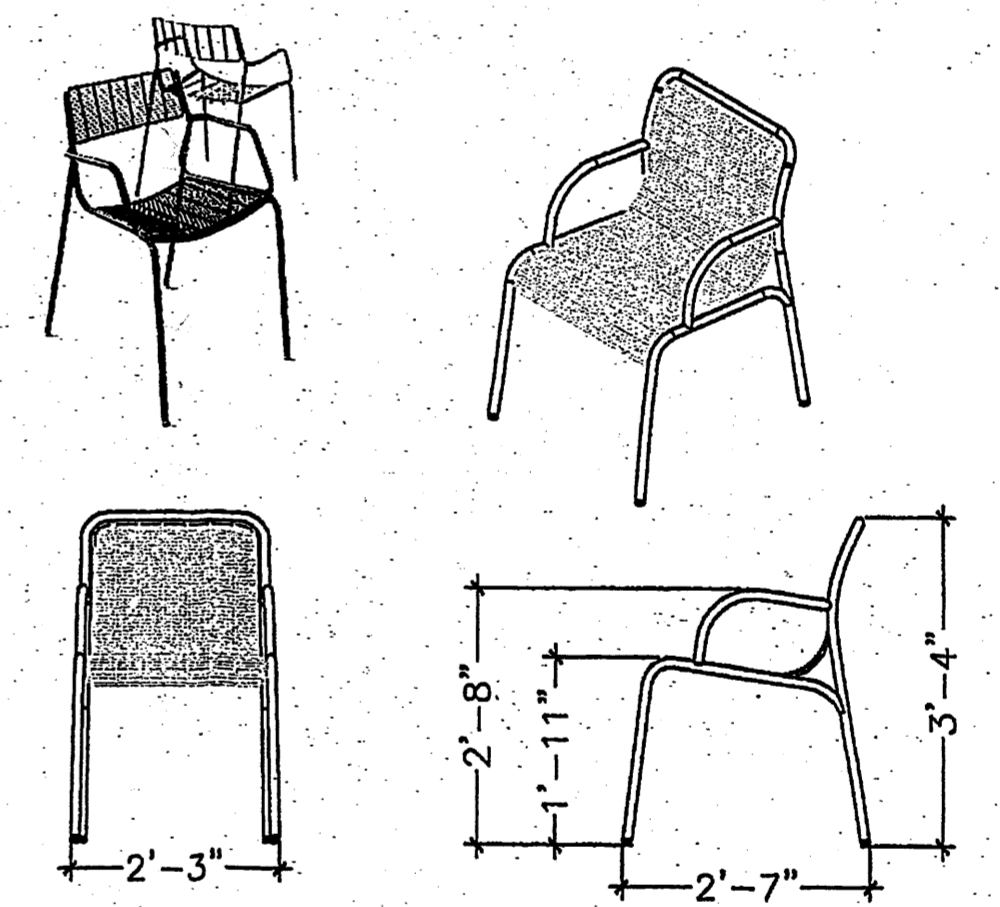
**4 OUTDOOR TABLE**  
Scale: N.T.S.



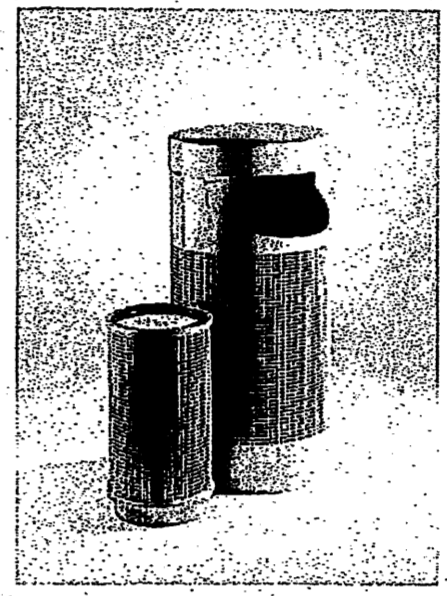
**1A OUTDOOR UMBRELLA**  
Scale: N.T.S.



**2 OUTDOOR SEATING**  
Scale: N.T.S.

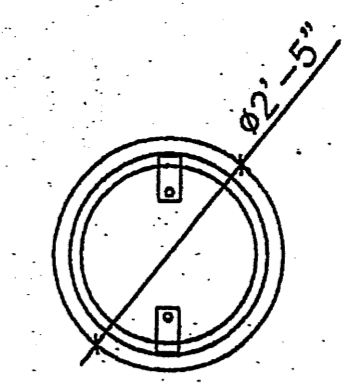
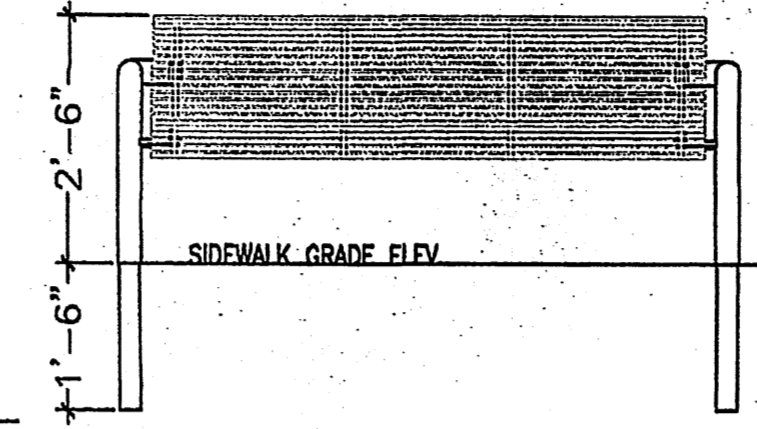


**3 OUTDOOR REFUSE**  
Scale: N.T.S.



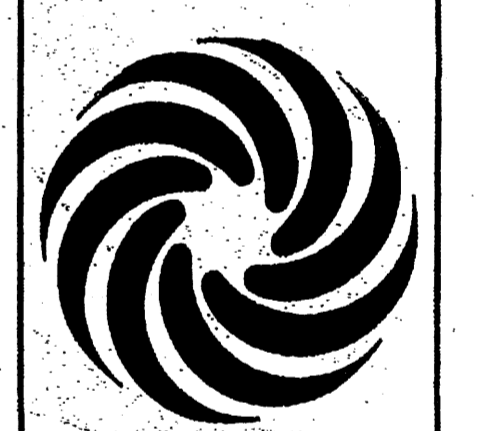
**3A OUTDOOR REFUSE**  
Scale: N.T.S.

landscapeforms®  
431 LAWDALE AVE. PHONE: 800-521-2546  
KALAMAZOO, MI 49048 FAX: 269-381-3455  
DESIGN GROUP: BANCAL  
DESCRIPTION: BACKED BENCH 88", EMBEDDED, WOOD



REV	DATE	BY	REVISION
1			
2			
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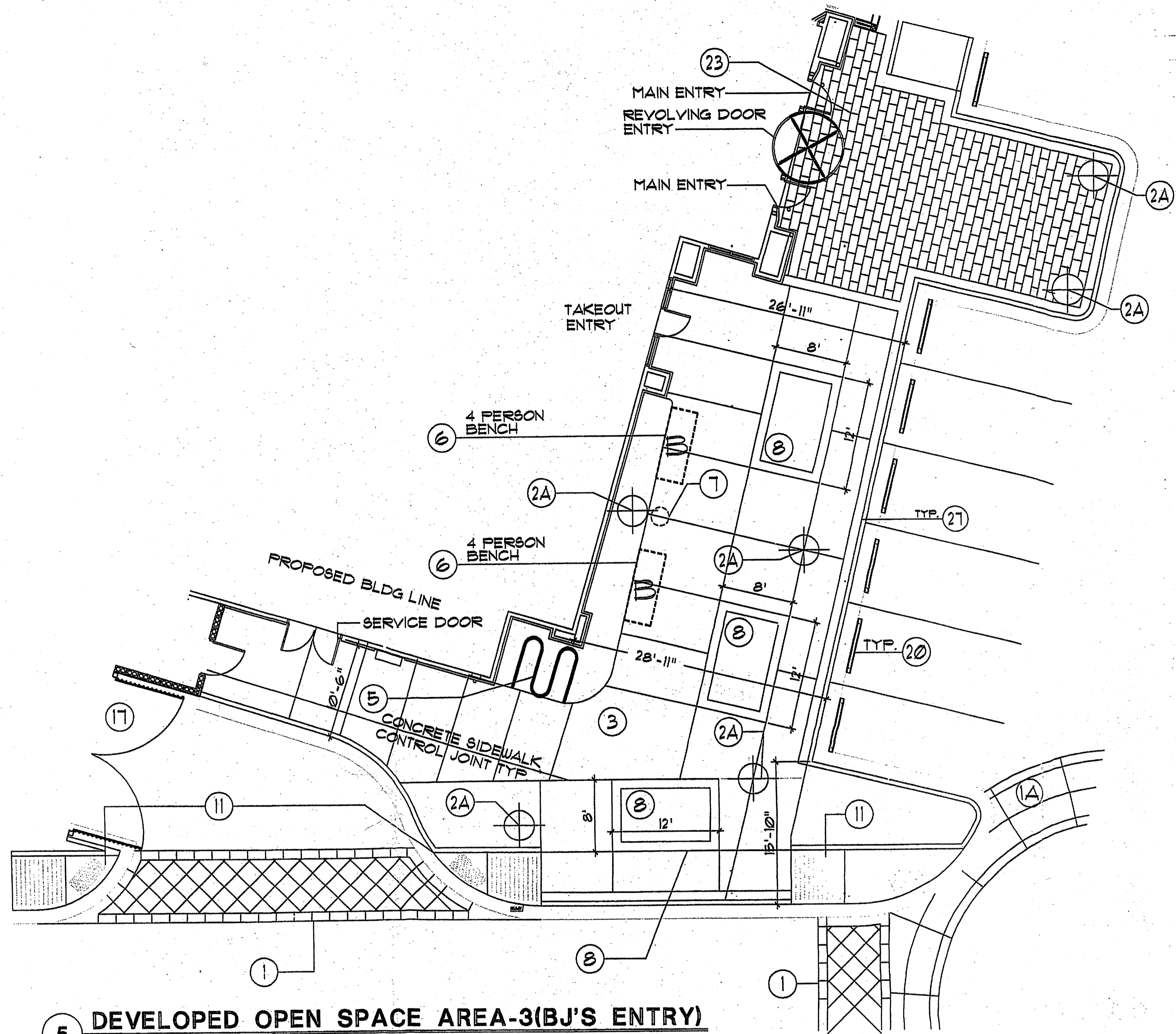
**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



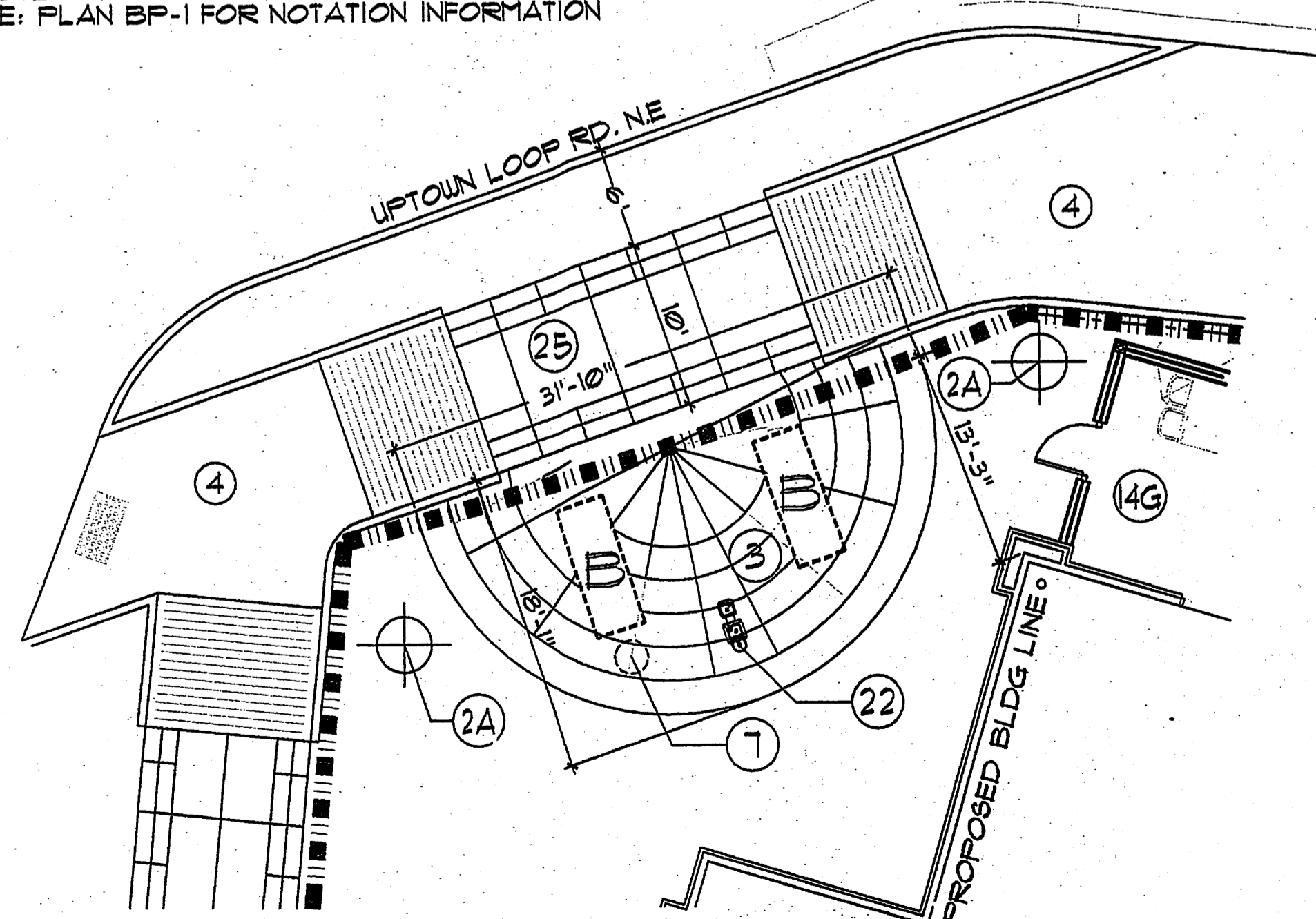
PROJECT TITLE  
**WINROCK TOWN CENTER**  
7200 LOUISIANA BLVD. NE  
ALBUQUERQUE NEW MEXICO

PROJECT NUMBER	JOB NO.	DRAWN BY:
STEPHEN DINEGAR, AIA	WIN-EJ	S-J
SHEET NUMBER	SITE DETAILS	
DATE:	4/6/12	SCALE:
SCALE:	A6 NOTED	DATE:
		SCALE:
		DATE:
		SCALE:
		DATE:
		SCALE:

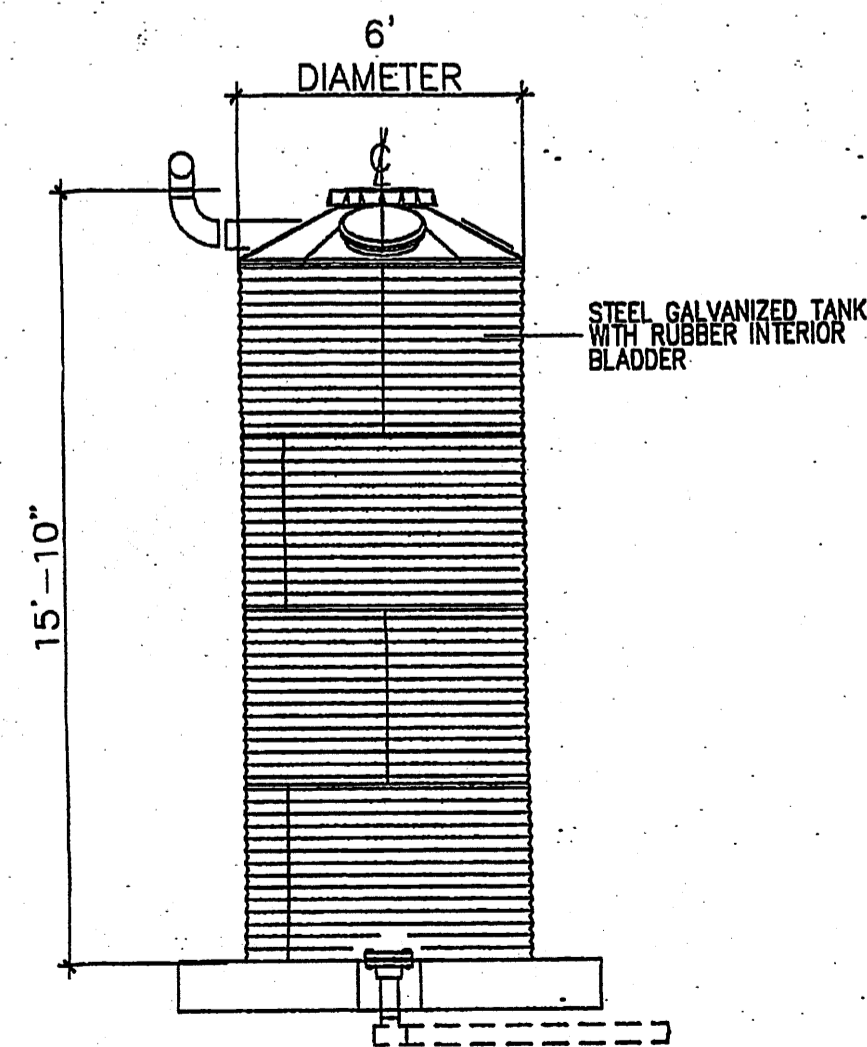




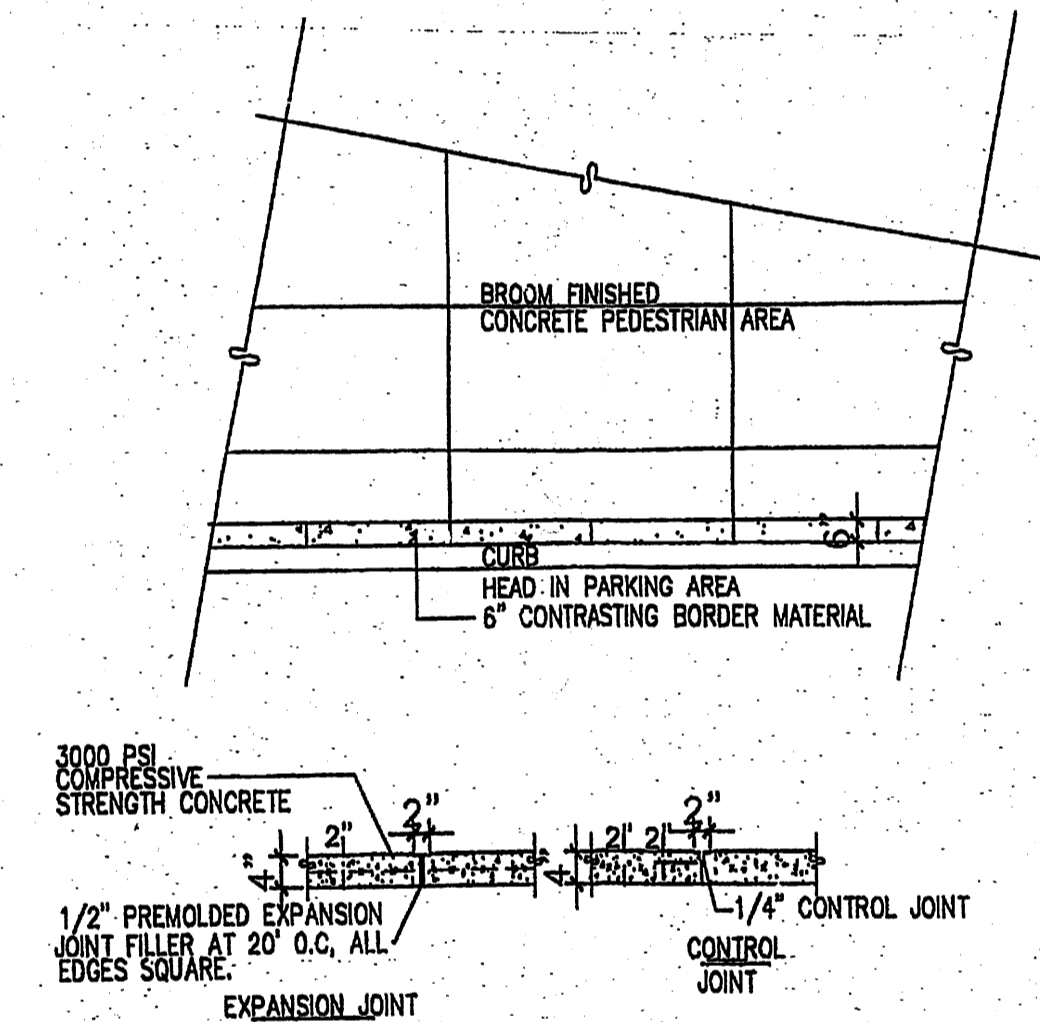
**5 DEVELOPED OPEN SPACE AREA-3(BJ'S ENTRY)**  
 Scale: N.T.S.  
 NOTE:  
 RE: PLAN BP-1 FOR NOTATION INFORMATION



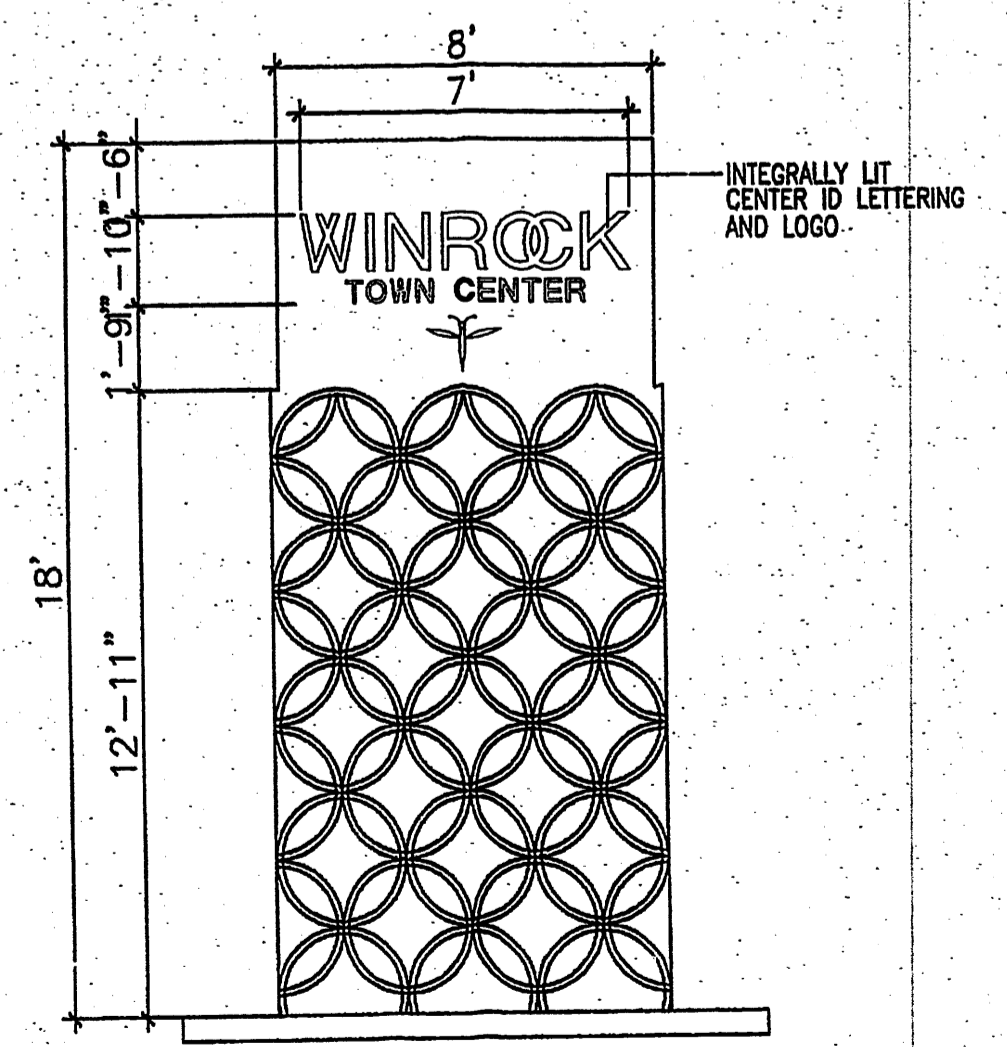
**4 DEVELOPED OPEN SPACE AREA-2**  
 Scale: N.T.S.  
 NOTE:  
 RE: PLAN BP-1 FOR NOTATION INFORMATION



**6 WATER HARVESTING TANK**  
 Scale: N.T.S.



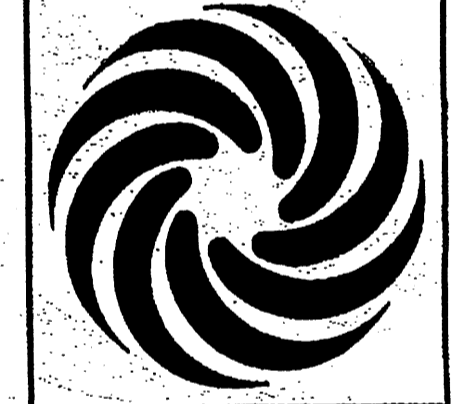
**2 TYPICAL EDGE DETAIL**  
 Scale: N.T.S.



**1 CENTER ID MONUMENT SIGN**  
 Scale: N.T.S.

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE  
**WINROCK TOWN CENTER**  
 7200 LOUISIANA BLVD. NE  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
 STEPHEN DUNBAR, AIA  
 SHEET TITLE  
**SITE DETAILS**  
 DRAWN BY:  
 S-J  
 JOB NO.  
 WIN-EJ

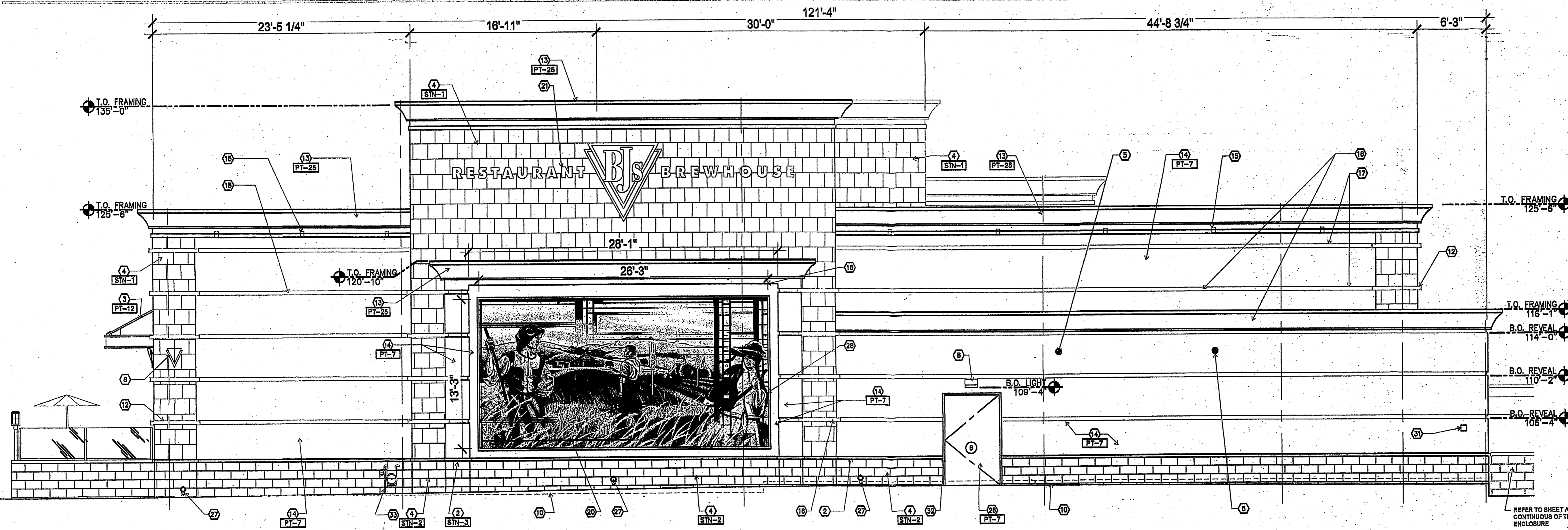
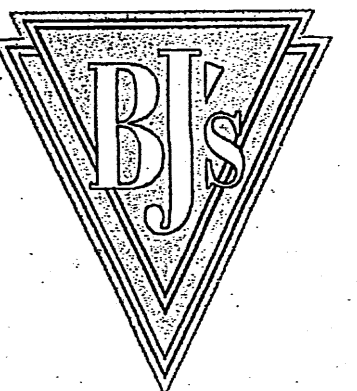
DATE  
 4/6/12  
 SCALE  
 AS NOTED  
 sheet  
**A1.4**  
 of



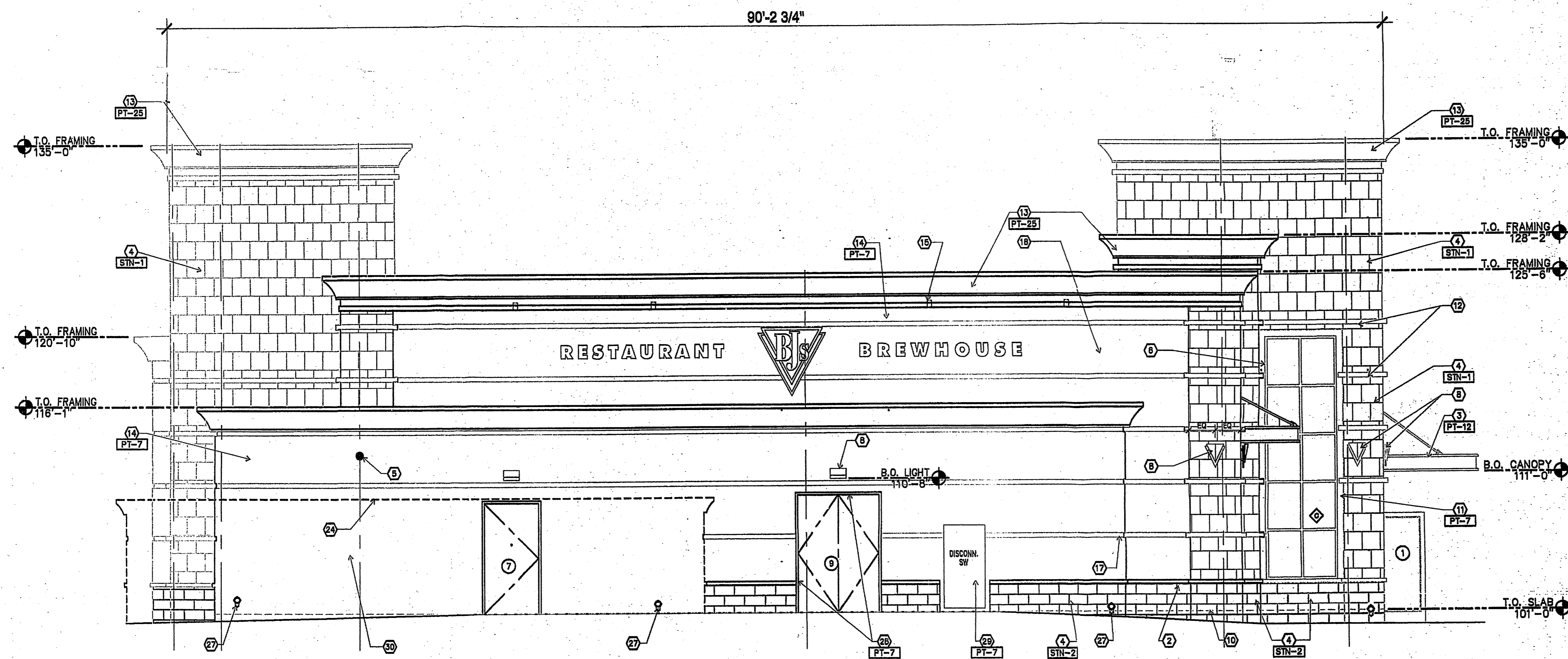








**A2.1-01 REAR ELEVATION**  
SCALE: 1/4"=1'-0"



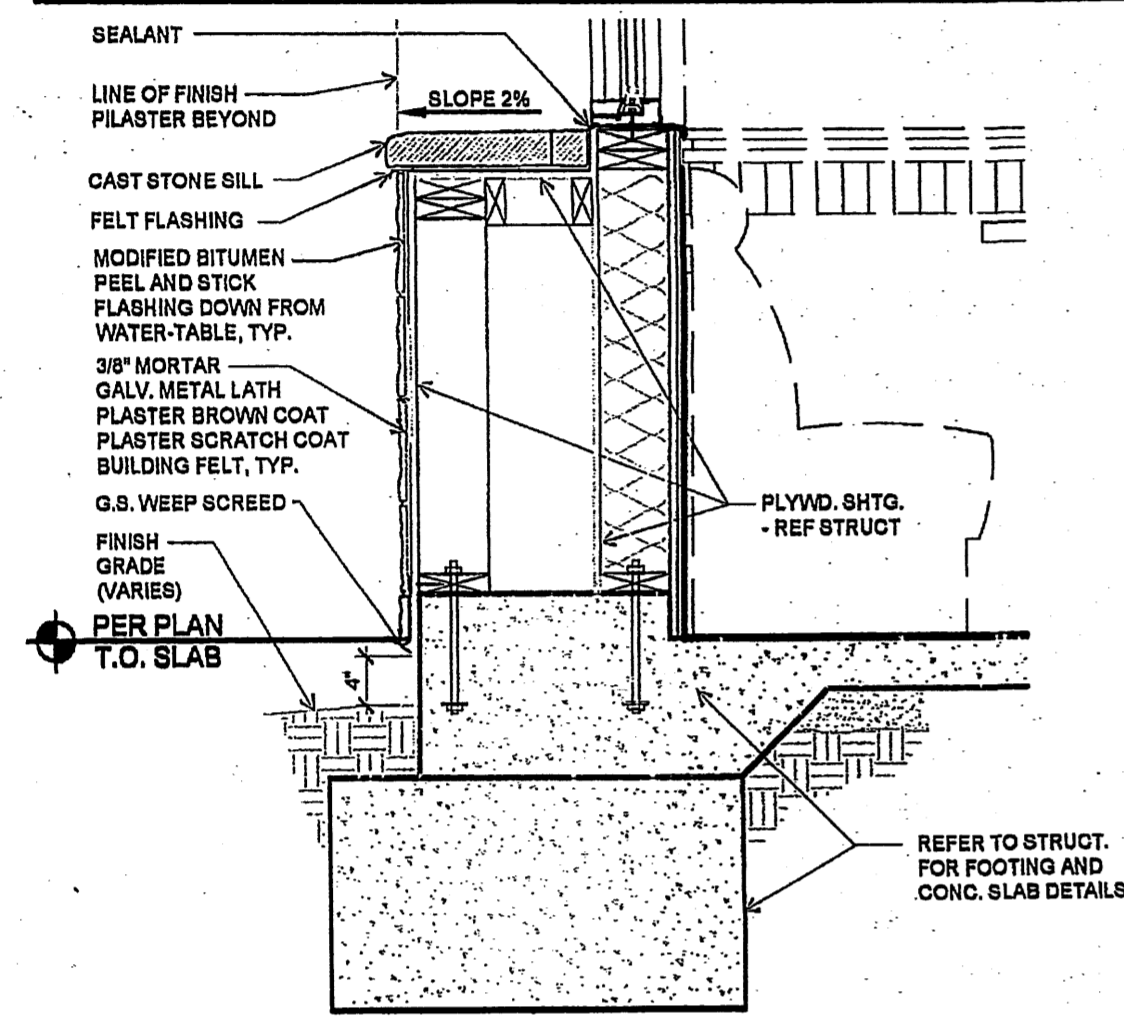
**A2.1-02 LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

FINISH SCHEDULE				
PAINT / STAIN				
KEY:	COLOR:	APPLICATION:	MANUFACTURER / SOURCE	DESCRIPTION
PT-7	RED	EXTERIOR BRUCCO/VIKREX DOORS	DUNN-EDWARDS	DEA 165
PT-12	BLACK	AV GABINET DOOR FRAME, HWAD DUTYWORK, METAL AWNING AND MURAL FRAME	DUNN-EDWARDS	DUNN-EDWARDS "BLACK" SEMI-GLOSS DEA 187
PT-15	FLAT BLACK	CEILING	DUNN-EDWARDS	DUNN-EDWARDS "BLACK" FLAT
PT-26	DARK BROWN	EXTERIOR STUCCO CORNICE	DUNN-EDWARD	DE 8014 - LRV60 FLAT
TILE / STONE / FLOORING / CEILING				
KEY:	COLOR:	APPLICATION:	MANUFACTURER / SOURCE	DESCRIPTION
STN-1	GRAY	TOWER/PARAMETS/INTERIOR WALLS W/ GROUT BY CUSTOM BUILDING PRODUCTS - ANTIQUE WHITE, SANDED, 3/4" JOINT SIZE. SEALER: MIRACLE 911 SEAL AND ENHANCE IMPROVING COLOR ENHANCER	RESOURCE BUILDING MATERIALS CONTACT: GARY HAGEN P: 1.849.678.3242 AMERICAN SLATE CONTACT: TANYA WILSON P: 1.889.002.7033	SLATE: 18"x18" NOTE: DISCARD TILES THAT HAVE PREDOMINATELY GREEN PATINA.
STN-2	LIGHT TAN	BASE/WAINSCOT/INTERIOR WALLS W/ GROUT BY CUSTOM BUILDING PRODUCTS - ANTIQUE WHITE, SANDED, 3/4" JOINT SIZE.	RESOURCE BUILDING MATERIALS CONTACT: GARY HAGEN P: 1.849.678.3242 AMERICAN SLATE CONTACT: TANYA WILSON P: 1.889.002.7033	SLATE BASE AND 8"x18"
STN-3	CREAM	WATERTABLE / CAP	CORONADO STONE	SLAB
SC-1	SEALED CONCRETE	MECH/ ELEC/ CURBS / TRASH ENCLOSURE SLAB		

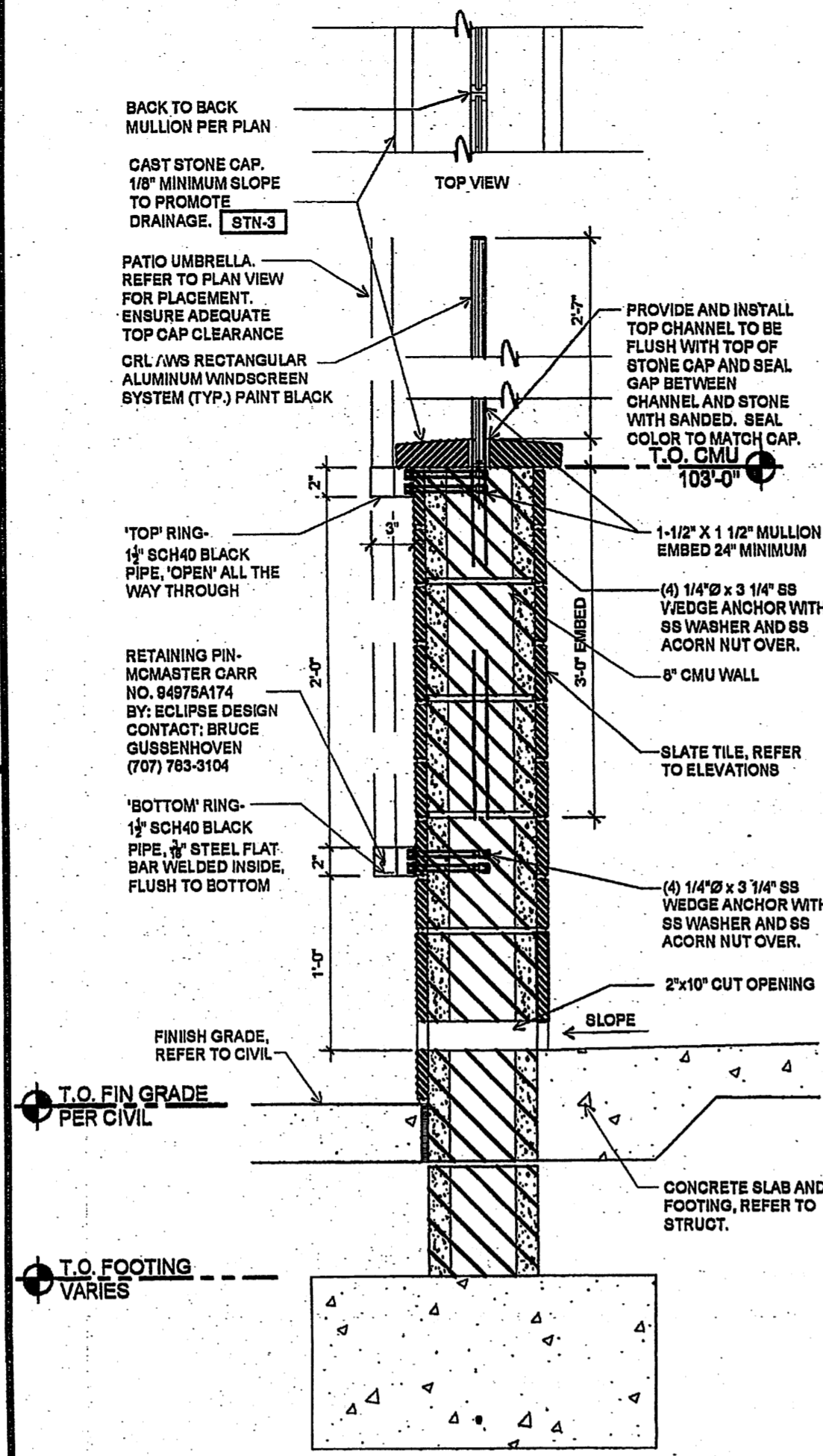
**ELEVATION KEYED NOTES:**

- 1 KNOX BOX SERIES #3200 RECESSED AT 6'-0" A.F.F. PROVIDE WITH FIRE DEPT. REFLECTIVE ALERT DECAL
- 2 STONE SILL, REFER TO A&A-35
- 3 STEEL CANOPY
- 4 CUSTOM STONE VENEER  
TYPICAL APPLICATION OF ADHERED STONE VENEER (PER BUILDING CODE) ADHERED VENEER SHALL BE ADHERED BY MEANS OF PORTLAND CEMENT. BACKING SHALL BE PORTLAND CEMENT PLASTER ON METAL LATH. METAL LATH SHALL BE FASTENED TO THE SUPPORTS. MORTAR SHALL BE APPLIED TO THE BACKING AS A SETTING BED. THE SETTING BED SHALL BE A MINIMUM OF 3/4 INCH (19MM) THICK AND A MAXIMUM OF 3/4 INCH (19MM) THICK. A PASTE OF NEAT PORTLAND CEMENT OR ONE-HALF PORTLAND CEMENT AND ONE-HALF GRADED SAND SHALL BE APPLIED TO THE BACK OF THE EXTERIOR VENEER UNITS AND TO THE SETTING BED AND THE VENEER PRESSED AND TAPPED INTO PLACE TO PROVIDE THE COMPLETE COVERAGE BETWEEN THE MORTAR BED AND VENEER UNIT. A CEMENT MORTAR SHALL BE USED TO POINT THE VENEER.
- 5 SECURITY CAMERA, MOUNTED AT 12'-0" A.F.F.
- 6 ALUM. STOREFRONT DARK BRONZE FINISH
- 7 TEMP. INSULATED GLASS
- 8 LIGHT FIXTURE, REFER TO ELECTRICAL
- 9 NOT USED
- 10 EXTEND STONE TO 1" ABOVE FINISH GRADE, TYP.
- 11 STUCCO JAMB
- 12 METAL LIGHT COVE (B.O.) REFER TO DETAIL A&A-7
- 13 PAINTED CORNICE AND COPING CAP TYP.
- 14 STUCCO WALL FINISH
- 15 RECESS LIGHT, REFER TO ELEC.
- 16 LED LIGHT STRIP BEHIND COVE REFER TO SIGNAGE DWGS. FOR INFO (TYP. @ ALL SLATE WALLS).
- 17 PAINTED PLASTER REVEALS REFER TO A&A-7 (TYP. @ ALL STUCCO WALLS)
- 18 LINE OF ROOF DECK BEYOND
- 19 STUCCO MURAL FRAME
- 20 WALL MURAL W/ 2" BLACK FRAME (BY OWNER)
- 21 SIGNAGE, REFER TO SIGNAGE DWGS
- 22 ADDRESS SIGN WITH 1'-0" HIGH LETTERS (NIC)
- 23 OUTLINE OF PATIO ELEVATION, SEE SHEET A7.5
- 24 TRASH ENCLOSURE, REFER TO A&A
- 25 BLACK POWDER COAT BOX MENU BOARD, CONTACT BJ'S CONSTRUCTION MANAGER FOR MANUFACTURER'S MODEL NUMBER AND CONTACT INFORMATION.
- 26 HOLLOW METAL DOOR AND FRAME. REFER TO DOOR SCHEE
- 27 DOWNSPOUT COVER, SEE PLUMBING DWGS.
- 28 CONCEALED LED STRIP LIGHTS, REFER TO ELEC. DWGS.
- 29 ELECTRICAL UTILITY, REFER TO ELEC. DWGS.
- 30 OMIT WATER TABLE, WAINSCOT AND REVEALS BEHIND SERVICE WALLS
- 31 COZ FILL PORT, REFER TO KITCHEN DRAWINGS
- 32 2" CHAMFER STONE AT HINGE SIDE
- 33 PROVIDE COMPLETE GAS METER ASSEMBLY PAINTED TO MATCH ADJACENT SURFACES, COORDINATE REQUIREMENT

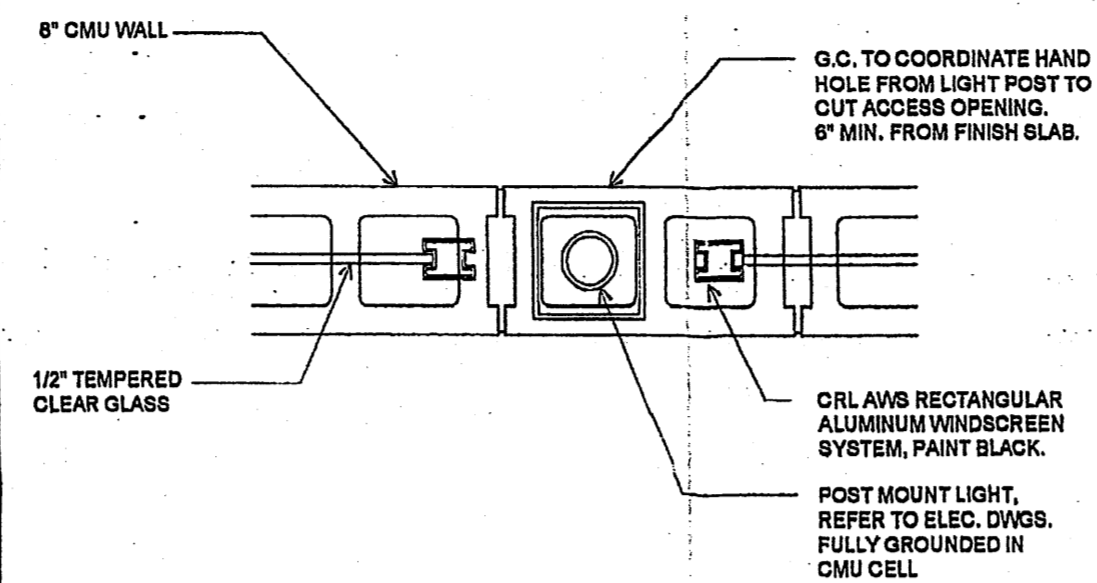




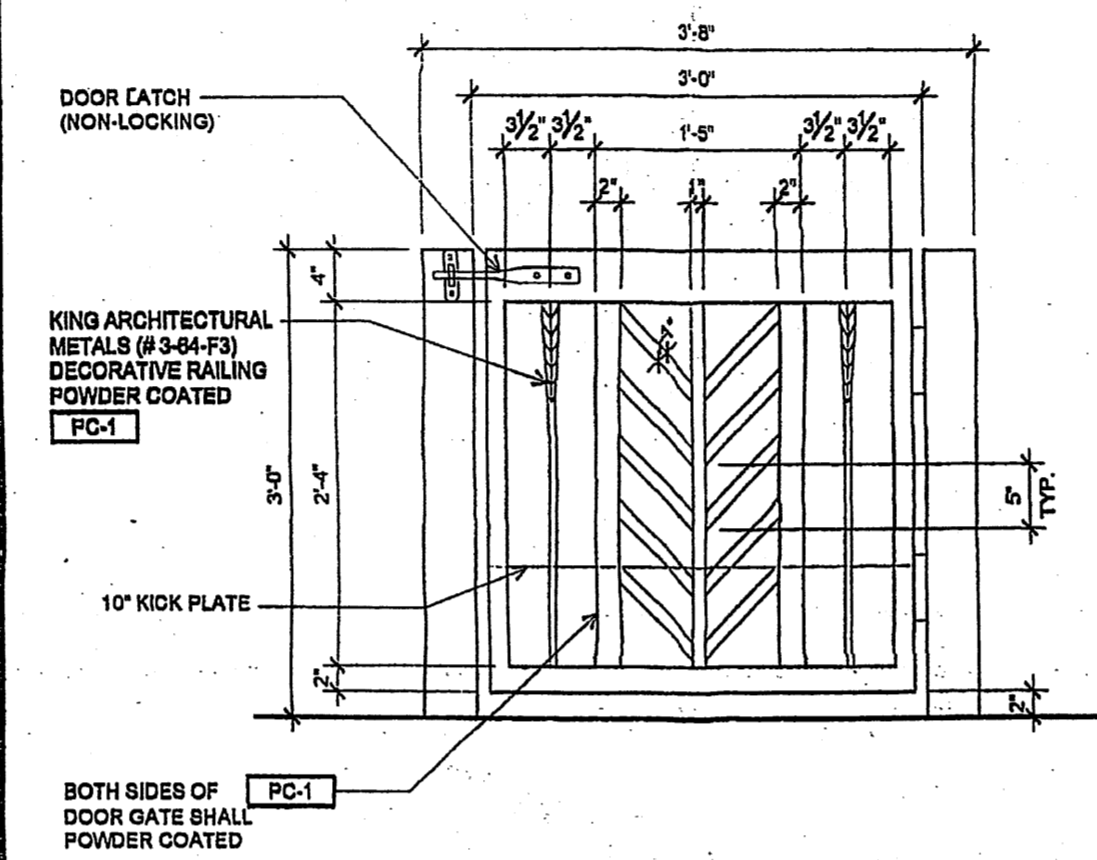
**A7.0-09 LOW WALL INFILL DETAIL**  
SCALE: 1 1/2" = 1'-0"



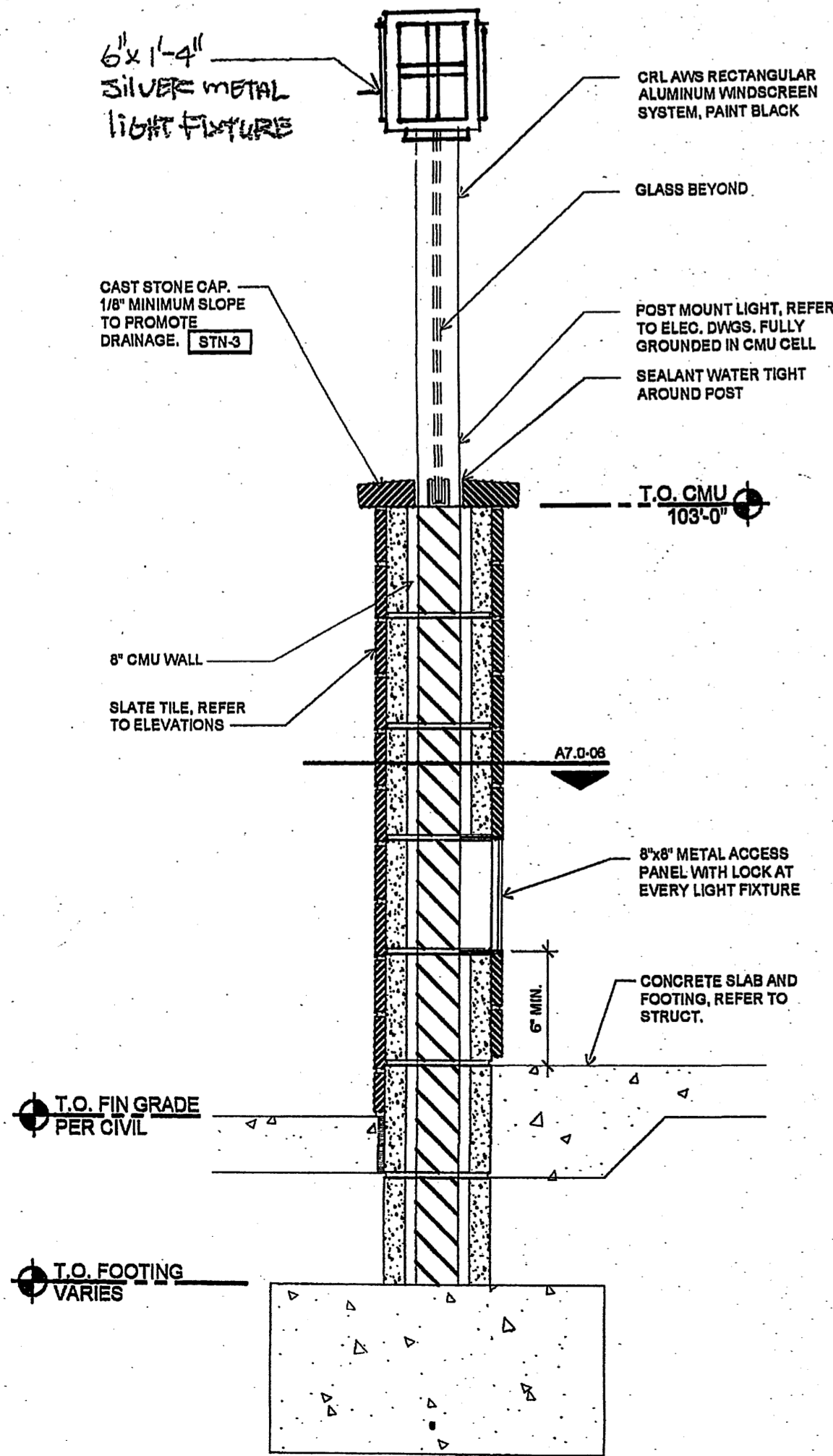
**A7.0-07 PATIO WALL SECTION**  
SCALE: 1 1/2" = 1'-0"



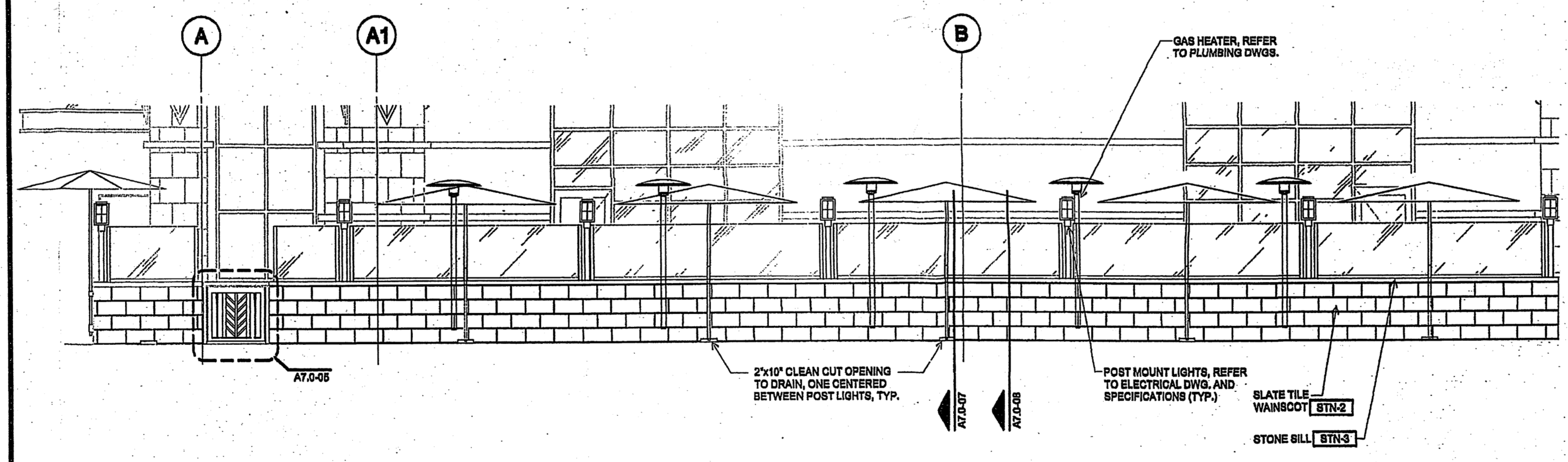
**A7.0-06 PLAN DETAIL**  
SCALE: 1 1/2" = 1'-0"



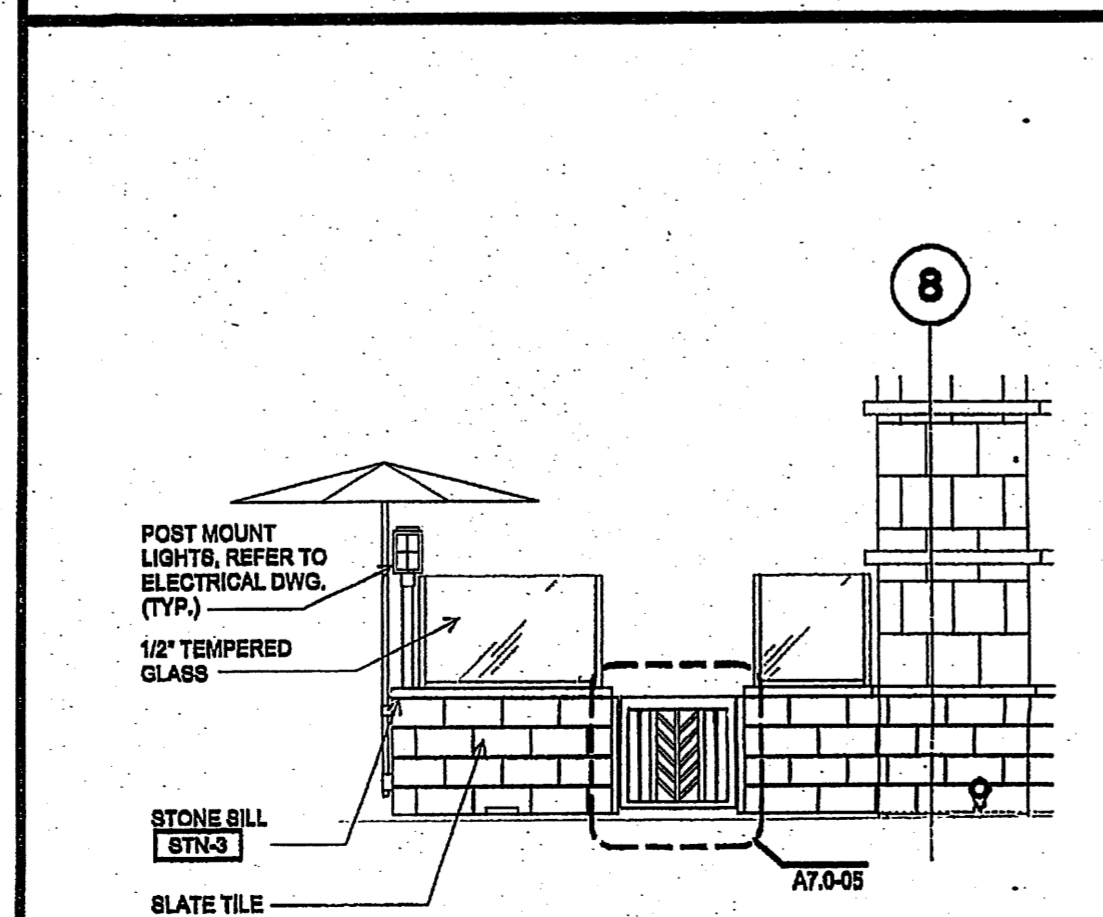
**A7.0-05 PATIO GATE DETAIL**  
SCALE: 1" = 1'-0"



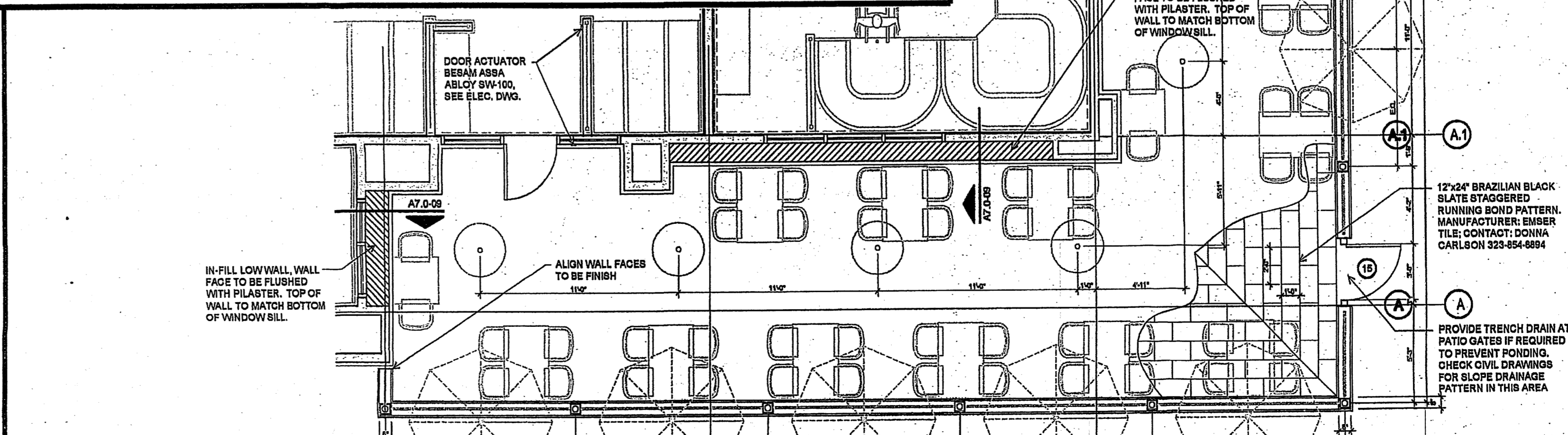
**A7.0-08 WALL SECTION AT LIGHT POST**  
SCALE: 1 1/2" = 1'-0"



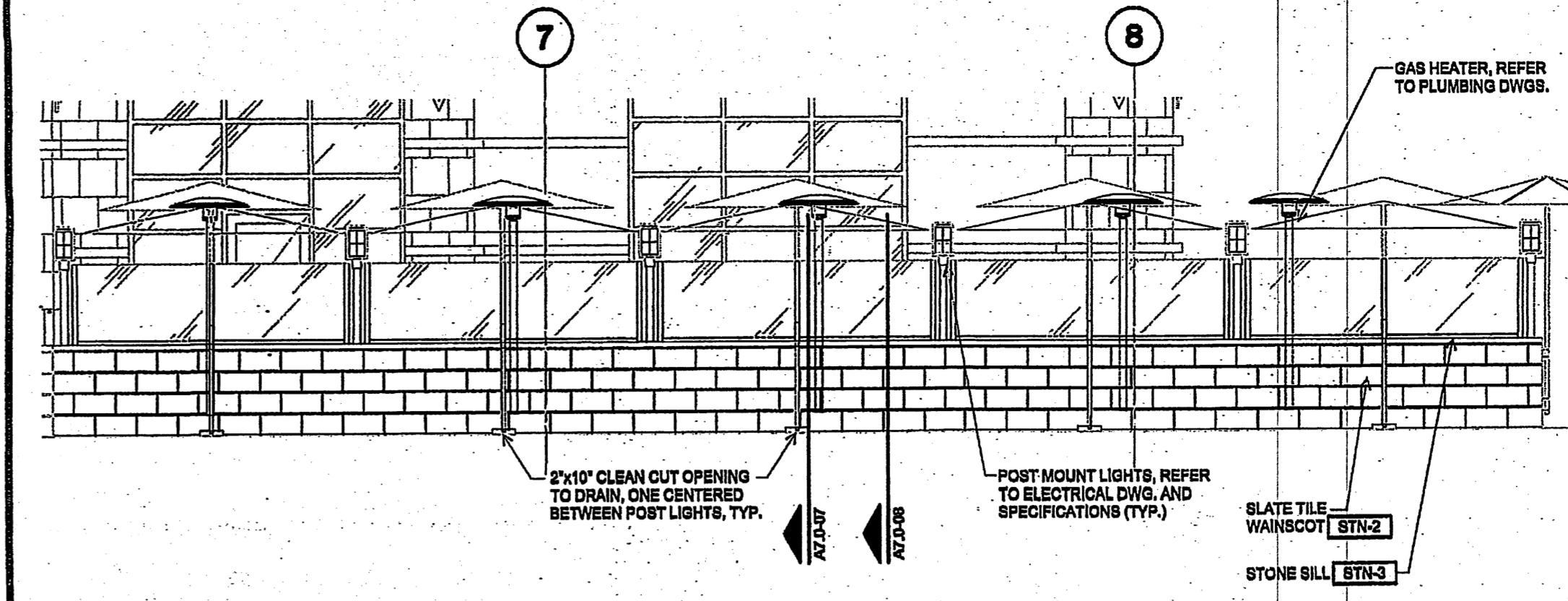
**A7.0-04 PATIO ELEVATION**  
SCALE: 1/4" = 1'-0"



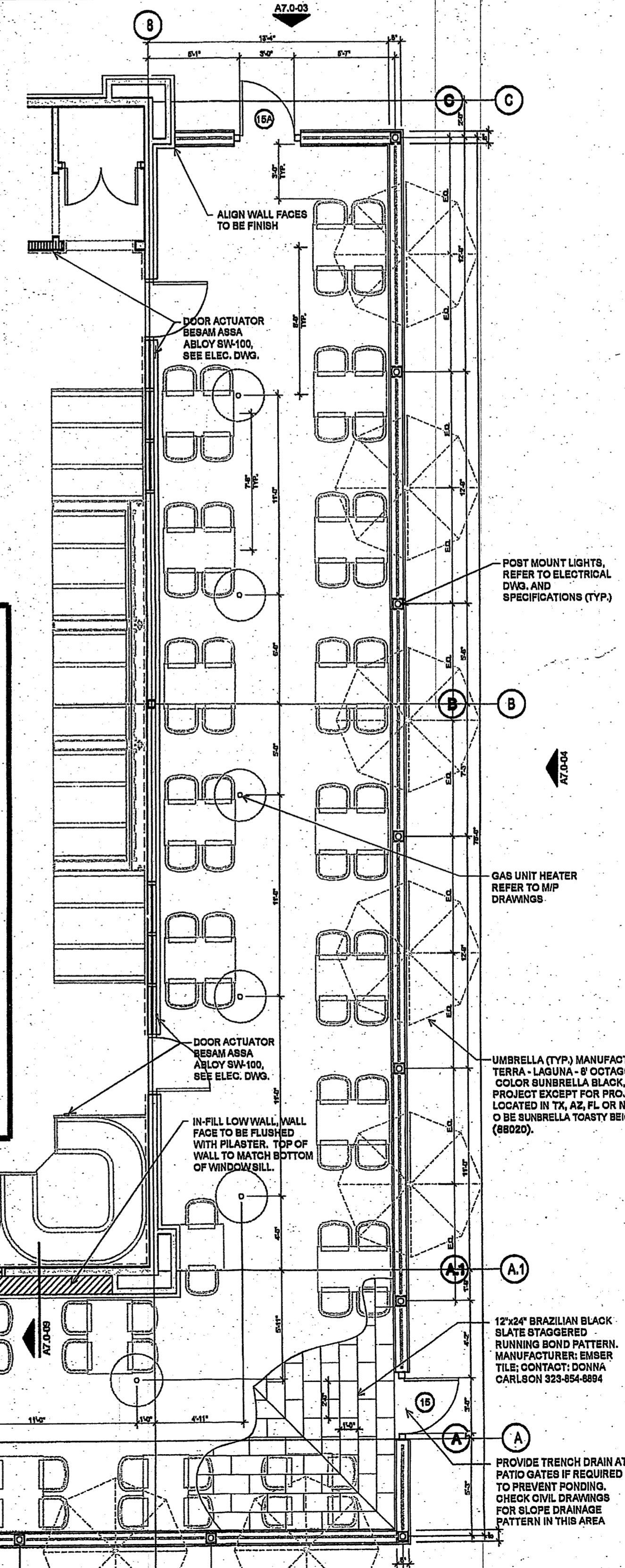
**A7.0-03 PATIO ELEVATION**  
SCALE: 1/4" = 1'-0"



**A7.0-01 PATIO PLAN**  
SCALE: 1/4" = 1'-0"



**A7.0-02 PATIO ELEVATION**  
SCALE: 1/4" = 1'-0"



**wd PARTNERS**  
brand : operations : build  
16808 ARMSTRONG AVE  
SUITE 100  
IRVINE, CA 92608  
949.753.7678 T  
WDPARTNERS.COM

6A PROTOTYPE  
OPEN CEILING

**BJ'S RESTAURANT & BREWHOUSE**  
**'WINROCK TOWN CENTER'**  
2100 LOUISIANA BLVD.  
ALBUQUERQUE, NM



REVISIONS

WD PROJECT: BJSB0166  
PERMIT ISSUE DATE: 03/09/12  
HEALTH SUBMITTAL:  
PID ISSUE DATE:  
CONSTRUCTION SET:

**A7.0** DINING PATIO