

PHASING PLAN & PARKING SUB-AREAS (N.T.S.)

KEYED NOTES:

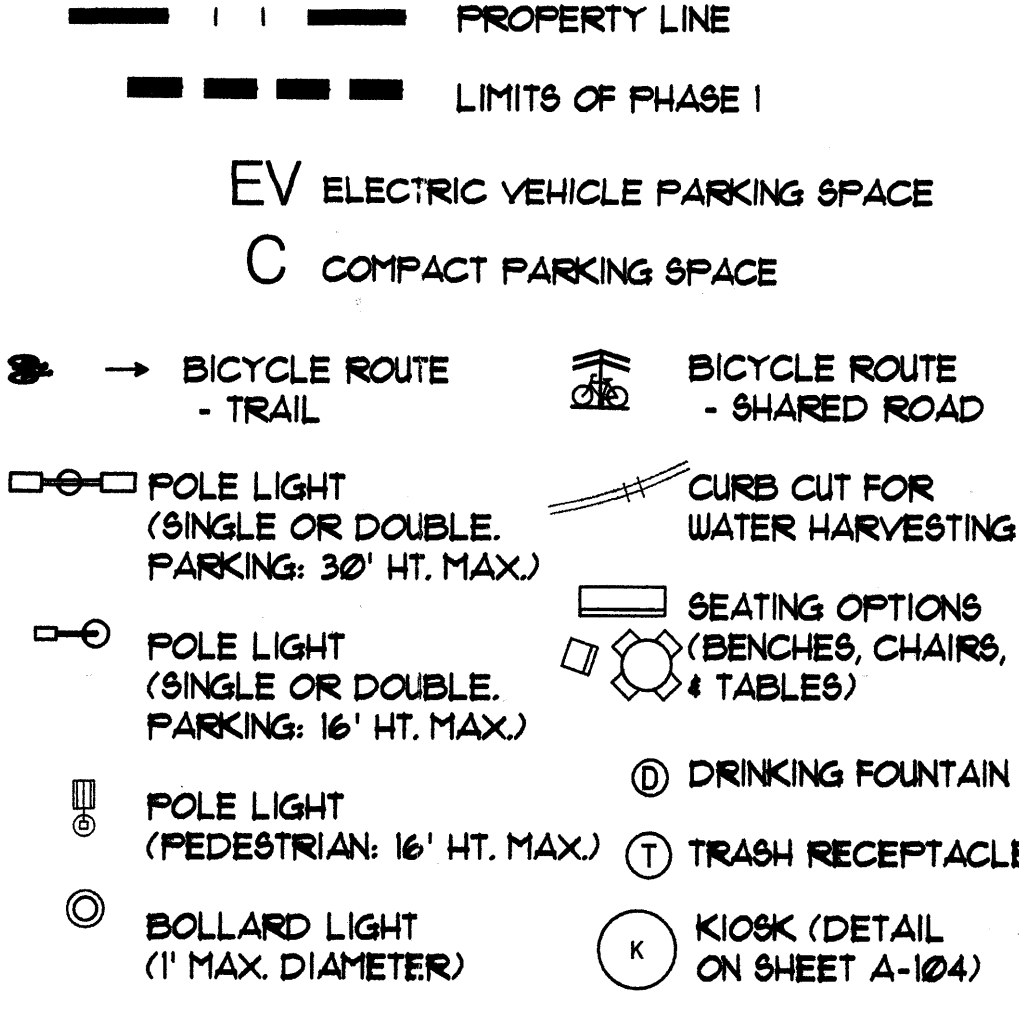
- 1 PROPERTY LINE
- 2 LIMITS OF PHASE 1
- 3 CONCRETE CURBS AND GUTTER-TYP.
- 4 6" MIN. WIDTH PEDESTRIAN COLORED TEXTURED CONCRETE CROSSWALK-TYP.
- 5 4" FLANTING STRIP-TYP.
- 6 8" CONCRETE WALKWAY
- 7 10" CONCRETE WALKWAY
- 8 BICYCLE RACK PARKING-TYP.
- 9 4'x8' MOTORCYCLE PARKING SPACE-TYP.
- 10 MOTORCYCLE PARKING SIGNAGE-TYP. (SEE DETAIL, THIS SHEET)
- 11 HANDICAPPED PARKING SYMBOL-TYP.
- 12 HANDICAPPED PARKING SIGN-TYP. (SEE DETAIL, THIS SHEET)
- 13 6" CONCRETE PARKING BARRIER-TYP. REFER TO SITE LEGEND.
- 14 PARKING LIGHT FIXTURE, POLE, AND BASE
- 15 SERVICE ALLEY (NON-VEHICULAR DELIVERY)
- 16 STAIRS
- 17 BOLLARD (1" MAX. DIA, REMOVABLE AT EMERGENCY ACCESS LOCATIONS)
- 18 RETAINING WALL (SEE CIVIL SHEETS)
- 19 EXISTING LOADING DOCK
- 20 TRASH AND RECYCLING ENCLOSURE (SEE DETAILS, SHEET A-104)
- 21 TREE WELL-TYP.
- 22 WATER HARVESTING AREA (WITH 1" WIDE CURB CUTS AS APPLICABLE) TYP. (SEE CIVIL SHEETS)
- 23 FIRE HYDRANT-TYP.
- 24 ADA COMPLIANT RAMP PER COA DETAILS 24B, 24B, 244B AND/OR DETAIL THIS SHEET AS APPLICABLE.
- 25 ELECTRIC VEHICLE CHARGING STATION-TYP.
- 26 ELECTRIC VEHICLE SIGN (SEE DETAIL, THIS SHEET)-TYP.
- 27 30" FIRE MARSHALL ACCESS
- 28 AT GRADE PLANTERS-TYP. (SEE LANDSCAPE PLAN, SHEET L-103)
- 29 RAISED DRIVE
- 30 EXISTING MEDIAN
- 31 FUTURE INTERNAL WINROCK SHUTTLE STOP AT DROP-OFF AREA
- 32 WALKWAY FLUSH WITH PARKING - NO ADA RAMP NEEDED
- 33 NON-ADA CIRCULATION ROUTE
- 34 FUTURE PHASE ADA ACCESS

REGISTERED NOTE FOR INFORMATIONAL PURPOSES ONLY. DEDICATION OR CONVEYANCE OF ANY PRIVATE INFRASTRUCTURE IMPROVEMENTS TO BECOME PUBLIC INFRASTRUCTURE MUST BE DEDICATED AND CONSTRUCTED ACCORDING TO ALL APPLICABLE CITY STANDARDS IN ACCORDANCE WITH THE TDD DEVELOPMENT AGREEMENT FOR WINROCK TOWN CENTER.

SHEET INDEX:

- S-101 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- S-102 SITE DEVELOPMENT PLAN FOR SUBDIVISION
- L-101 LANDSCAPE AREA CALCULATIONS
- L-102 LANDSCAPE AMENITIES PLAN
- L-103 LANDSCAPE PARKING PLAN
- L-104 LANDSCAPE PLAZA + PASEO PLAN
- C-101 GRADING INDEX SHEET
- C-102 GRADING PLAN
- C-103 GRADING PLAN
- C-104 CUT/FILL PLAN
- C-105 UTILITY OVERALL
- C-106 EXISTING PROPOSED EASEMENTS
- A-101 EXTERIOR ELEVATIONS-SOUTH BUILDING
- A-102 EXTERIOR ELEVATIONS-NORTH BUILDING
- A-103 EXTERIOR ELEVATIONS-SOUTH BUILDING
- A-104 EXTERIOR ELEVATIONS-NORTH BUILDING
- A-105 EXTERIOR ELEVATIONS-REGAL THEATER
- A-106 SIGNAGE ELEVATIONS + WAYFINDING
- A-107 SIGNAGE LOCATIONS + WAYFINDING

SITE LEGEND



PROJECT SUMMARY

THE PROPOSED PROJECT IS A SINGLE STORY THEATER PLUS THREE TWO-STORY BUILDINGS FOR RETAIL, RESTAURANT, AND OFFICE USE. ALL ELEMENTS OF THE SITE PLAN AND BUILDING ELEVATIONS SHALL COMPLY WITH THE DESIGN GUIDELINES OF THE UPTOWN SECTOR DEVELOPMENT PLAN.

GENERAL NOTES:

1. THIS SITE PLAN SHALL COMPLY WITH GENERAL REGULATIONS OF COA ZONE CODE SECTION 14-16-3-9 & THE UPTOWN SECTOR DEVELOPMENT PLAN.
2. THIS SITE PLAN FOR BUILDING PERMIT REPLACES THE PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMIT (DATED APRIL 4, 2006, PROJECT NUMBER 1002202, APPLICATION NUMBER 08EPC-0006).
3. ANY MODIFICATIONS TO THE SITE PLAN FOR BUILDING PERMIT THAT IMPACT PROPERTY BOUNDARIES SHALL BE REFLECTED ON THE SITE PLAN FOR SUBDIVISION & SHALL BE APPROVED THROUGH THE REVIEW PROCESS IDENTIFIED IN THE UPTOWN SECTOR DEVELOPMENT PLAN OR THE CITY COMPREHENSIVE CODE, WHICHEVER SHALL APPLY.

PROJECT DATA

LEGAL DESCRIPTION:  
A PORTION OF LOT 5 OF THE REPLAT OF THE WINROCK CENTER ADDITION

ZONING: SU-3 MU-UPT  
PROPOSED USE: THEATER, RETAIL, RESTAURANT, OFFICE

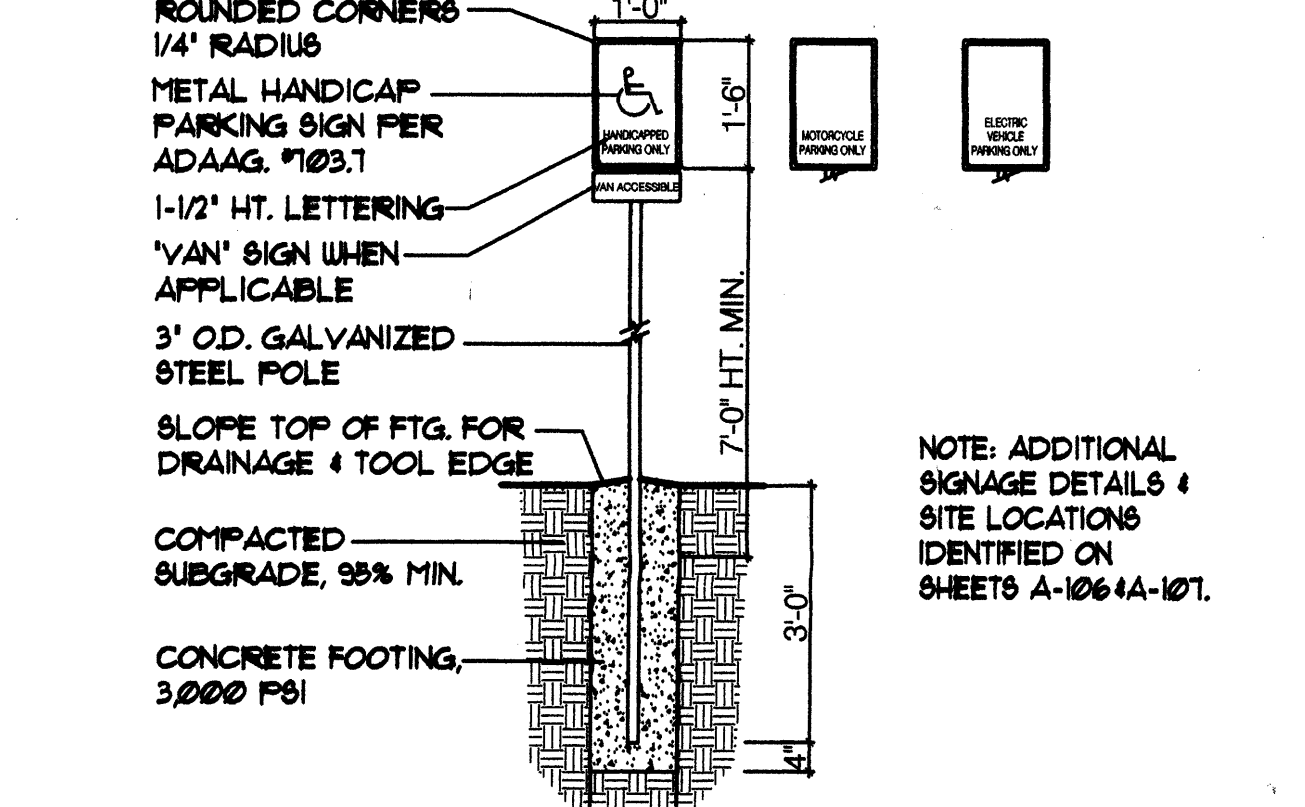
AREA:  
PHASE 1 AREA: 652,891 SQ. FT. (14.91 AC.)  
BUILDING FOOTPRINT: 117,500 SF (14 FLOOR TOTAL ALL FLOORS TOTAL 155,220 SF)  
P.A.R.: 0.30 MIN. AS REQUIRED BY THE UPTOWN SECTOR DEVELOPMENT PLAN  
ACROSS THE TOTAL SITE

BICYCLE & TRAIL ACCESS:  
TRAIL ACCESS IS PROVIDED ACROSS PENNSYLVANIA VIA THE PASEO DE LAS MONTANAS TRAIL & CONTINUES ALONG WINROCK'S SOUTHERN EDGE & CONNECTS TO THE PEDESTRIAN OVERPASS & CONTINUES ACROSS I-40. SIDEWALKS WILL PROVIDE PEDESTRIAN CONNECTIVITY WITHIN WINROCK TOWN CENTER.

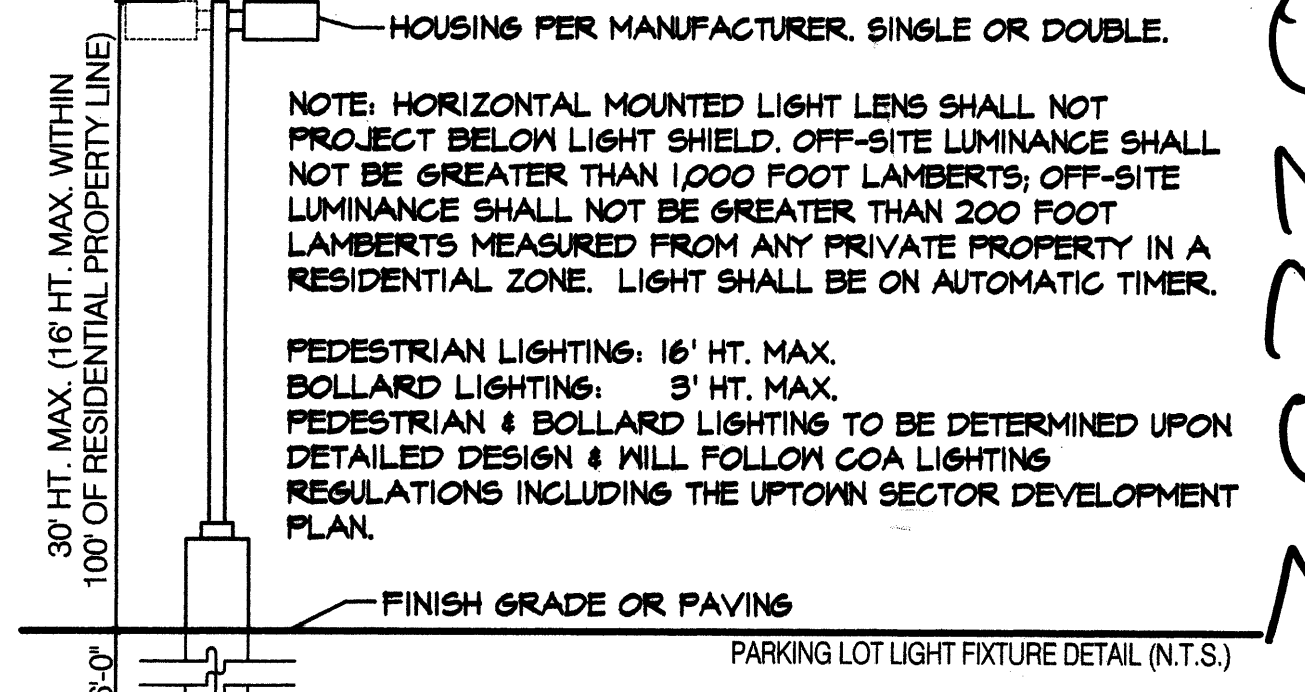
TRANSIT:  
SITE IS SERVED BY ADJACENT ROUTE #166, RED LINE RAPID RIDE, WHICH PASSES THE SITE ON UPTOWN LOOP. COMMUTER ROUTES #612, INDIAN SCHOOL ROAD & CONSTITUTION ROUTE, PASEO SITE ON INDIAN SCHOOL ROAD & PENNSYLVANIA ROAD. SEVEN BUS STOPS ARE LOCATED ON INDIAN SCHOOL ROAD & PENNSYLVANIA ROAD THAT SERVE THE APPLICABLE COMMUTER ROUTES. ONE BUS STOP EXISTS LOCATED ADJACENT TO THE UPTOWN SHOPPING CENTER ON INDIAN SCHOOL ROAD SERVING ROUTE #166 WESTBOUND. LOUISIANA BOULEVARD IS DESIGNATED A MAJOR TRANSIT CORRIDOR. THE UPTOWN TRANSIT CENTER IS LOCATED NEARBY OFF INDIAN SCHOOL ROAD, WEST OF LOUISIANA BOULEVARD. A TRANSIT FACILITY IS PROVIDED AT THE SOUTHWEST CORNER OF WINROCK TOWN CENTER WITH 13 PARKING SPACES PROVIDED.

PARKING:  
PARKING REQUIRED (2 PER 1000 SF) 310  
PARKING PROVIDED 368  
HANDICAPPED PARKING PROVIDED 16  
BICYCLE PARKING REQUIRED (1:20 AUTO) 16  
BICYCLE PARKING PROVIDED 16  
MOTORCYCLE PARKING REQUIRED (150-300 AUTO) 6  
MOTORCYCLE PARKING PROVIDED 6  
EV PARKING (NOT REQUIRED) 6  
PARKING INCLUDES 6  
TUD (7) VAN SPACES 6

PARKING SIGNAGE:  
SIGNAGE SHALL BE PROVIDED TO IDENTIFY EACH PARKING SPACE RESERVED FOR ADA ACCESSIBLE PARKING, MOTORCYCLE PARKING, AND ELECTRIC VEHICLE (EV) PARKING AS IDENTIFIED IN THE KEYED NOTES ON THIS SHEET. IN ADDITION, PAVEMENT PAINTED MARKINGS WILL BE PROVIDED FOR ADA ACCESSIBLE PARKING, MOTORCYCLE PARKING, EV PARKING, AND COMPACT CAR PARKING.



NOTE: ADDITIONAL SIGNAGE DETAILS & SITE LOCATIONS IDENTIFIED ON SHEETS A-106-1A-107.



NOTE: HORIZONTAL MOUNTED LIGHT LENS SHALL NOT PROJECT BELOW LIGHT SHIELD. OFF-SITE LUMINANCE SHALL NOT BE GREATER THAN 1000 FOOT LAMBERTS; OFF-SITE LUMINANCE SHALL NOT BE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE. LIGHT SHALL BE ON AUTOMATIC STOP.

PEDESTRIAN LIGHTING: 16' HT. MAX.  
BOLLARD LIGHTING: 3' HT. MAX.  
PEDESTRIAN & BOLLARD LIGHTING TO BE DETERMINED UPON DETAILED DESIGN & WILL FOLLOW COA LIGHTING REGULATIONS INCLUDING THE UPTOWN SECTOR DEVELOPMENT PLAN.

PROJECT NUMBER: 1002202  
APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE 06-22-11

ABC/DA DATE 06-22-11

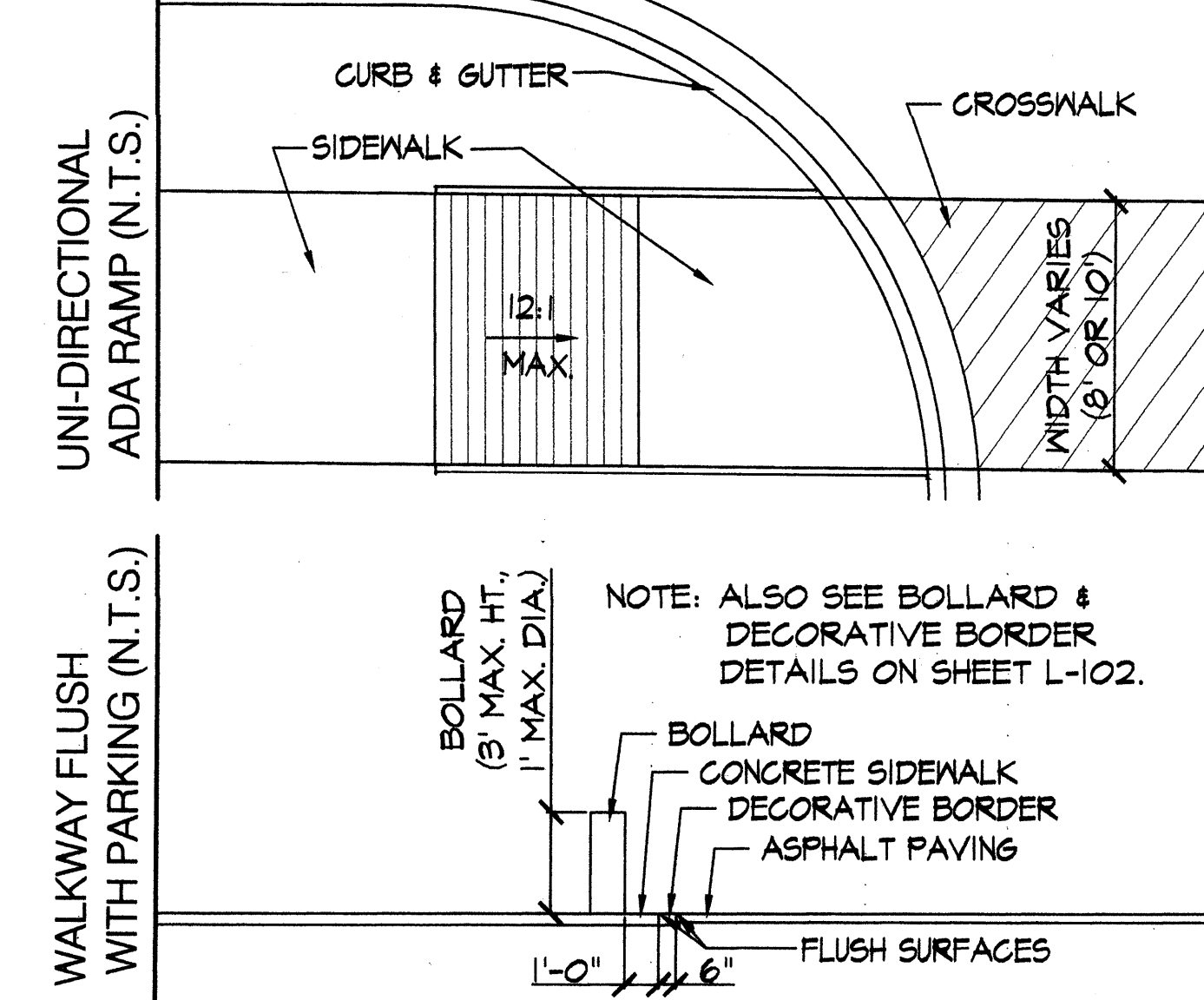
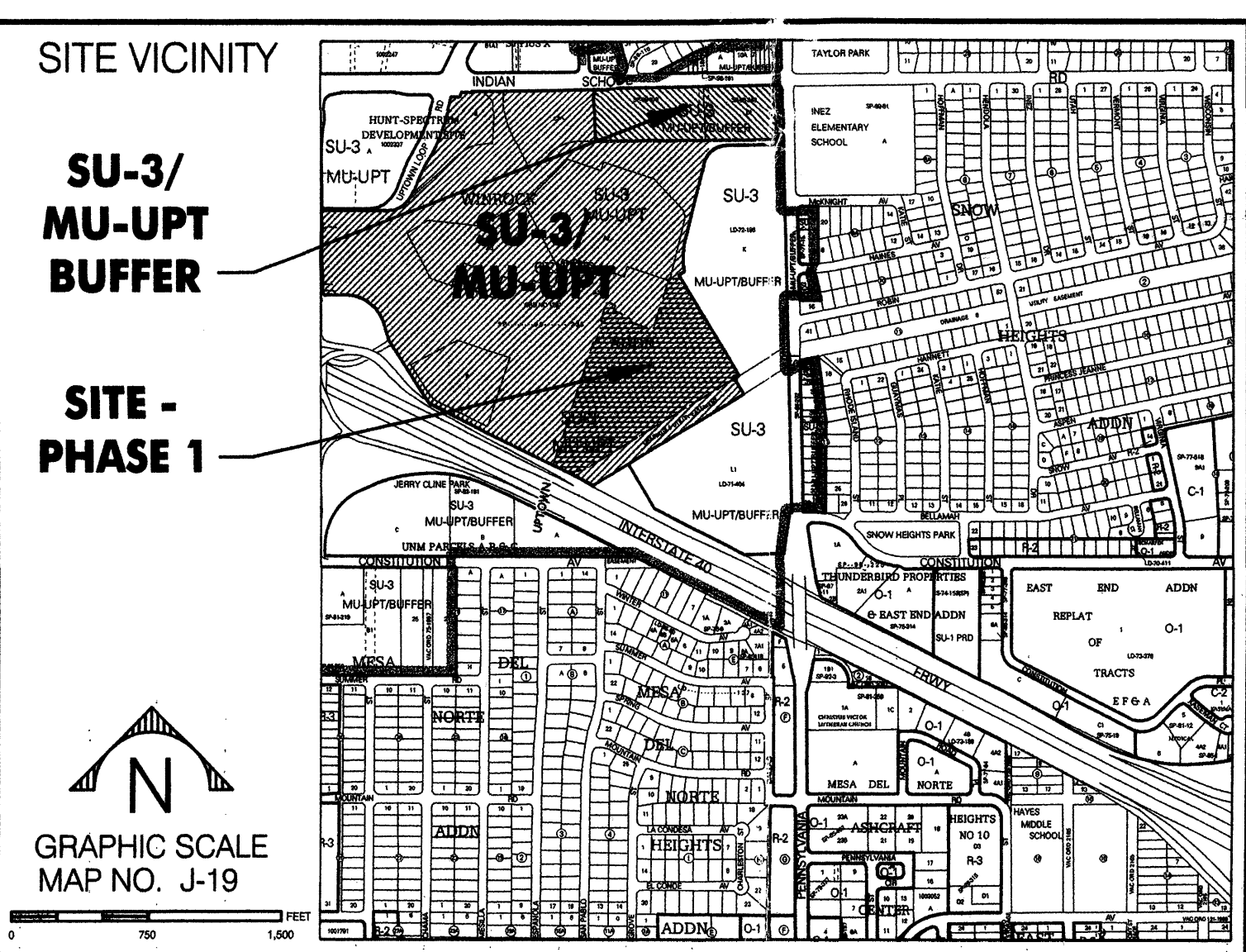
PARKS AND RECREATION DEPARTMENT DATE 06-22-11

CITY ENGINEER DATE 7-21-11

ENVIRONMENTAL HEALTH DEPARTMENT-(CONDITIONAL) DATE 06-22-11

SOLID WASTE MANAGEMENT DATE 06-22-11

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE 7-21-11



NOTE REGARDING SERVICE ACCESS PATH:  
THE SERVICE ACCESS PATH IS PROVIDED FOR EMPLOYEES TO ACCESS SERVICE AREAS SUCH AS TRASH/RECYCLE. THIS PATH IS NOT INTENDED FOR PUBLIC USE AS THERE ARE NO THEATER ENTRIES ALONG THE SOUTH, EAST, AND NORTH FACES OF THE BUILDING. DOORS ALONG THESE SIDES ARE INTENDED FOR EMERGENCY EXIT ONLY.

NOTE REGARDING DECORATIVE BORDERS ALONG PEDESTRIAN PATHS:  
ALL 12" WIDE PEDESTRIAN PATHS THAT ARE NOT WITHIN THE PARKING LOT AND NOT CONSIDERED SERVICE ACCESS PATHS SHALL INCLUDE A 6" WIDE DECORATIVE BORDER.

# Winrock TOWN CENTER

OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

PROJECT TEAM  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS ARCHITECTURE  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

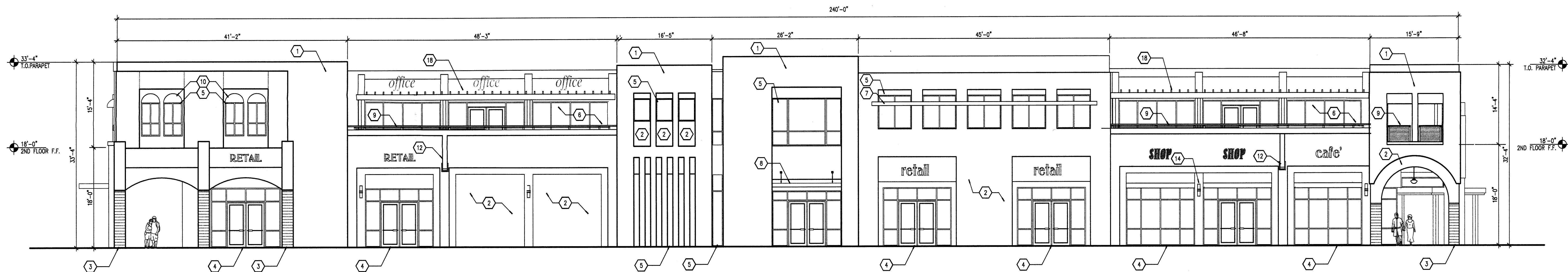
SITE DEVELOPMENT PLAN BUILDING PERMIT  
SITE PLAN

SCALE: 1"=50'-0"

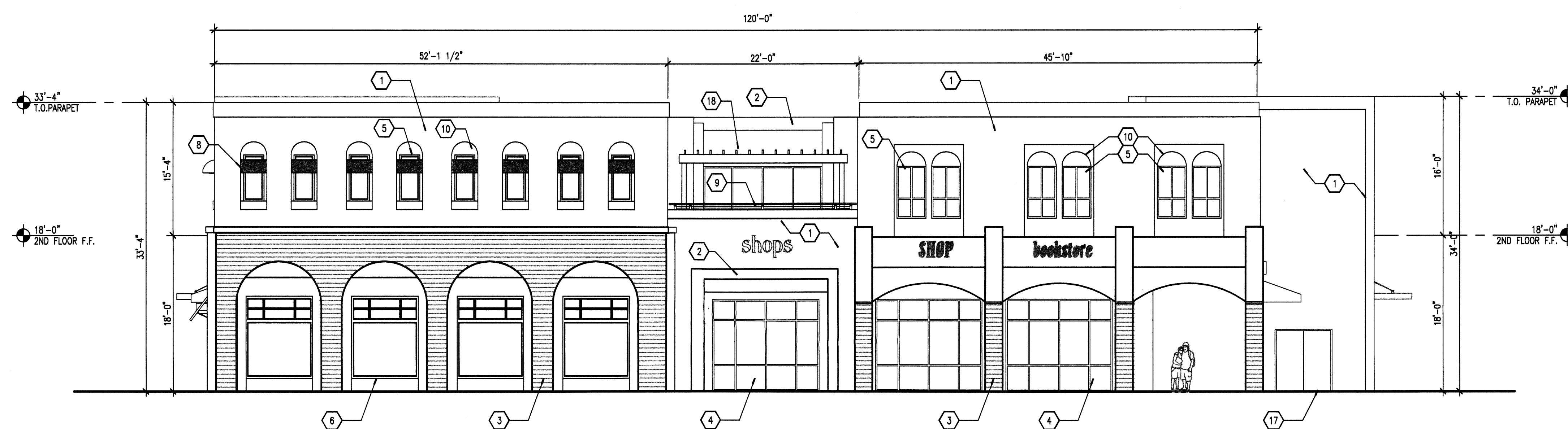
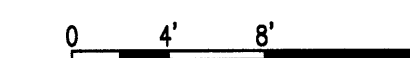
SHEET S-101  
JUNE 14, 2011

1002202





**C1** SOUTH BUILDING - SOUTH ELEVATION  
1/8" = 1'-0"



**A1** SOUTH BUILDING - WEST ELEVATION  
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**GENERAL NOTES**

- A. ALL BUILDING FACADES SHALL BE COMPOSED OF A COMBINATION OF THE DESIGN ELEMENTS SHOWN OR DESCRIBED IN THIS PLAN. DESIGN ELEMENTS INCLUDE, AS EXAMPLES, THE BUILDING COLORS, MASSING, FACADE TREATMENTS, WINDOWS AND DOORS, AWNING, SHADE CANOPIES, BECKS AND PORTAL. THESE DESIGN ELEMENTS NEED NOT BE ARRANGED AS SHOWN ON THIS PLAN, BUT MAY BE FREELY INTERCHANGED TO ACCOMMODATE FUTURE TENANTS.
- B. ENTRY STOREFRONTS TO THE BUILDING MAY BE MODIFIED TO ACCOMMODATE SPECIFIC NEEDS OF FUTURE TENANTS. THESE STOREFRONTS ARE TO MAINTAIN THE OVERALL DESIGN INTENT OF THE BUILDING AS SHOWN AND MUST BE COMPATIBLE WITH THE BUILDING FACADES IN TERMS OF QUALITY OF MATERIALS AND SYSTEMS.
- C. BUILDING SIGNAGE AS SHOWN IS FOR ILLUSTRATIVE PURPOSES AND MAY CHANGE TO MEET FUTURE TENANT REQUIREMENTS.
- D. THE TOP OF ALL MECHANICAL EQUIPMENT FOR ALL NEW BUILDINGS WILL BE LOWER THAN THE LOWEST BUILDING PARAPET HEIGHT AS MEASURED BY A HORIZONTAL LINE.
- E. BUILDING ARTICULATION, HEIGHT, MATERIALS, MASSING AND OTHER DESIGN ELEMENTS SHALL COMPLY WITH THE DESIGN REGULATIONS OF THE UPTOWN SECTOR DEVELOPMENT PLAN.
- F. WHEN KEYNOTES REFER TO 'FIELD COLORS', THESE MAY INCLUDE - TAN, BEIGE, LIGHT BROWN, OFF-WHITE, LIGHT GREEN, LIGHT YELLOW, WARM GREY.
- G. WHEN KEYNOTES REFER TO 'ACCENT COLORS', THESE MAY INCLUDE - SAGE GREEN, GOLD-YELLOW, DARK RED, REDDISH BROWN, BLUE, DARK GREY.
- H. EXTERIOR WALL TILE WILL BE A SOLID COLOR AND PATTERN AND SHALL COMPLIMENT 'BUILDING FIELD COLORS'. THE HEIGHT AND LIMITS OF WALL TALL MAY VARY IN FINAL DESIGN.
- J. SIGNAGE SHOWN ON BUILDING ELEVATIONS IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS POTENTIAL LOCATIONS OF FUTURE BUILDING SIGNS. SIGNAGE LOCATION, SIZE, STYLE AND NAMES ARE SUBJECT TO CHANGE BASED ON TENANT REQUIREMENTS. ALL SIGNS SHALL COMPLY WITH 'UPTOWN SECTOR DEVELOPMENT PLAN' REGULATIONS.
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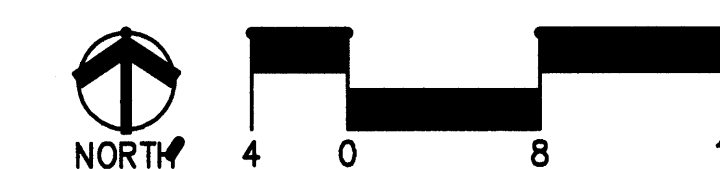
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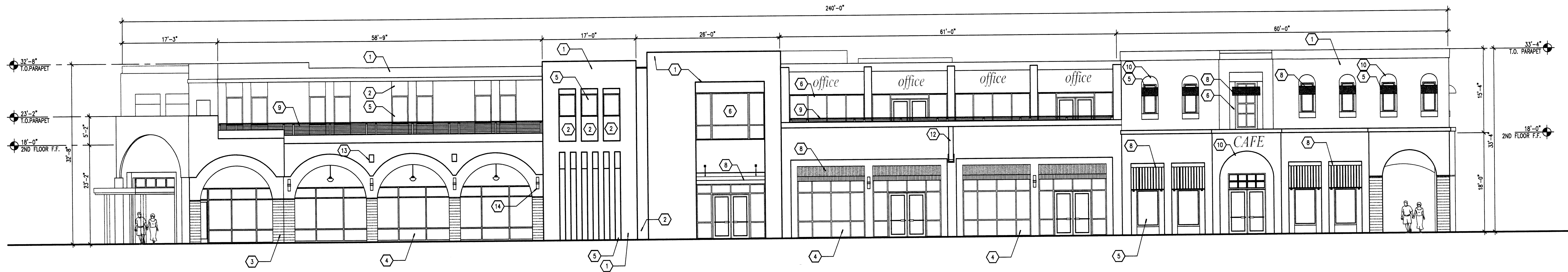
**Winrock**  
TOWN CENTER

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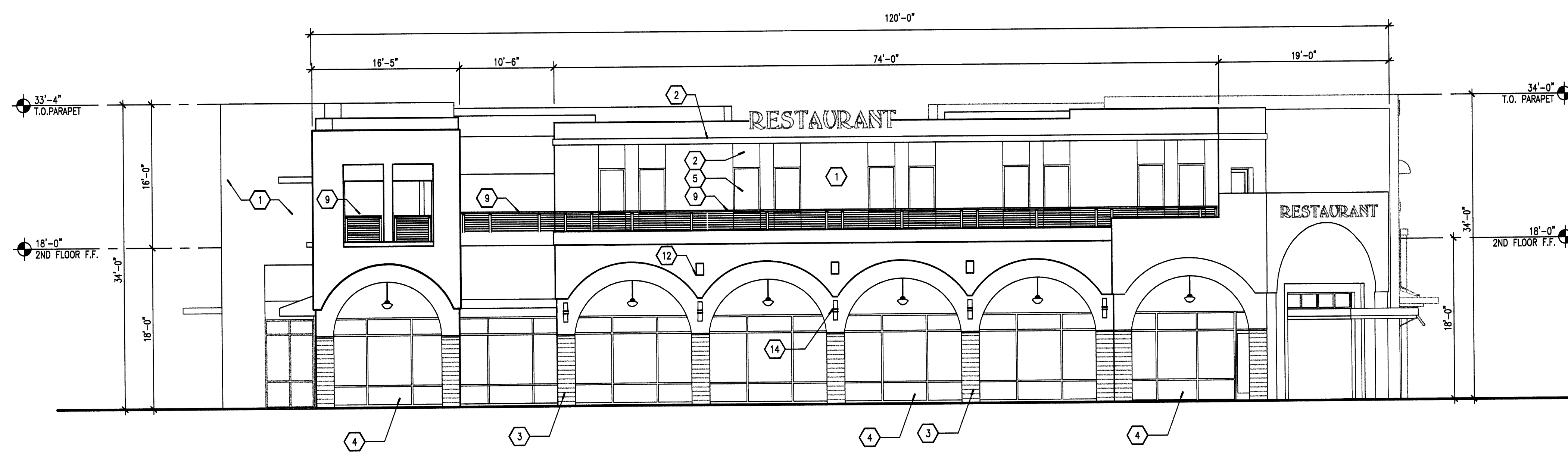
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SITE DEVELOPMENT PLAN BUILDING PERMIT  
EXTERIOR ELEVATIONS





**C1** SOUTH BUILDING – NORTH ELEVATION  
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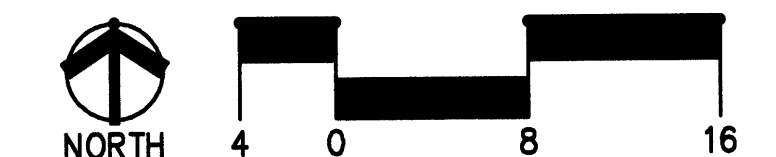
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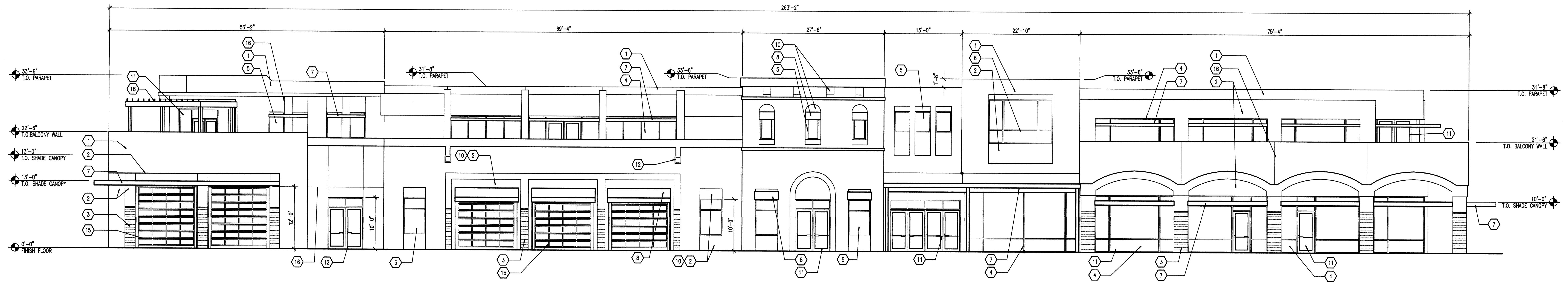
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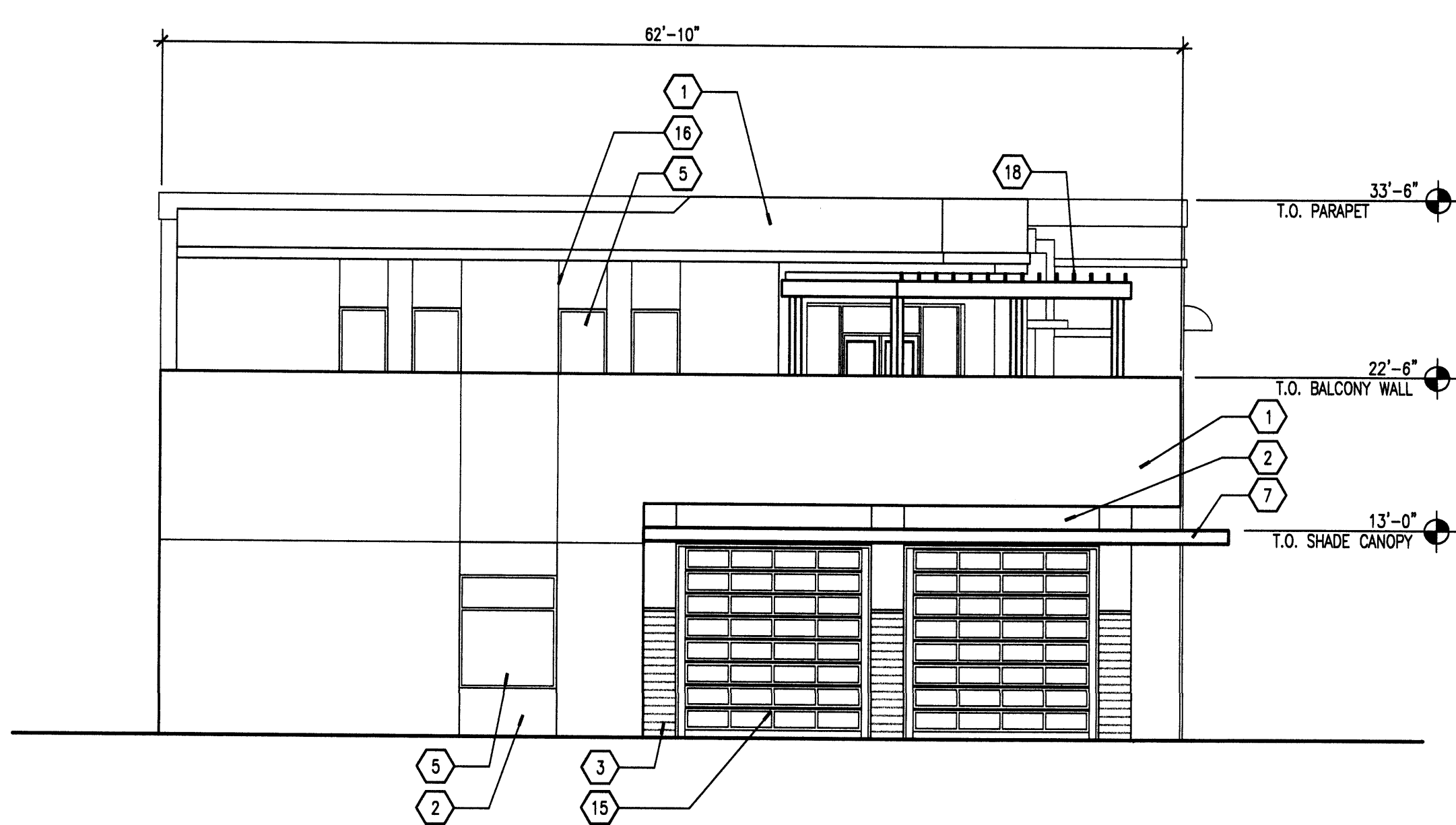
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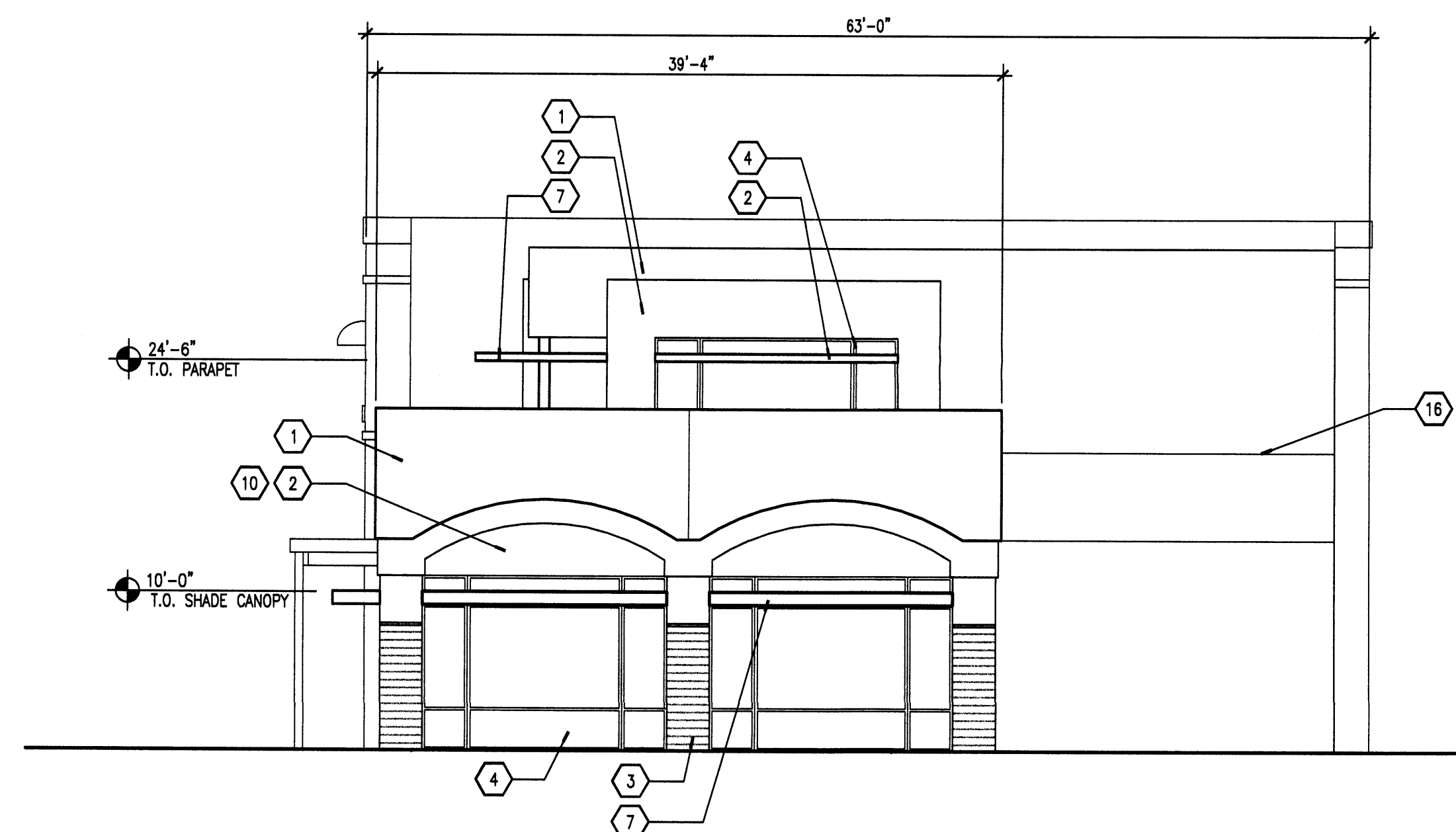




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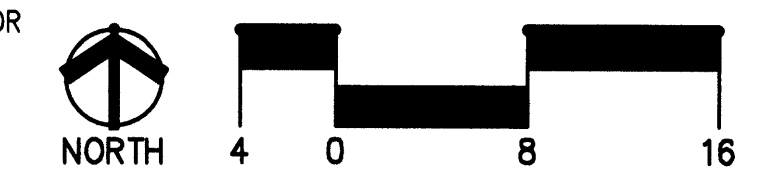
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- 17. METAL DOOR, PAINT TO MATCH ADJACENT FIELD COLOR
- 18. METAL SUNSHADE TRELLIS
- 19. SPLIT FACE CMU BLOCK WITH INTEGRAL COLOR TO MATCH BUILDING 'FIELD' COLOR
- 20. SMOOTH FACE CMU BLOCK TO MATCH BUILDING 'ACCENT' COLOR
- 21. METAL PIPE HANDRAIL, PAINT TO MATCH CMU 'FIELD' COLOR
- 22. CUSTOM METAL GATES WITH TUBE STEEL FRAME AND PERFORATED METAL PANELS (20% OPEN)

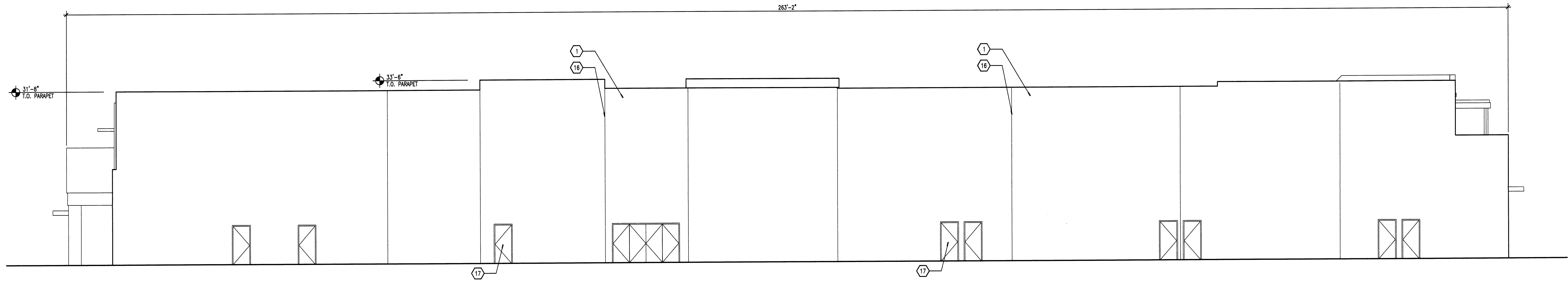
**Winrock**  
TOWN CENTER

OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

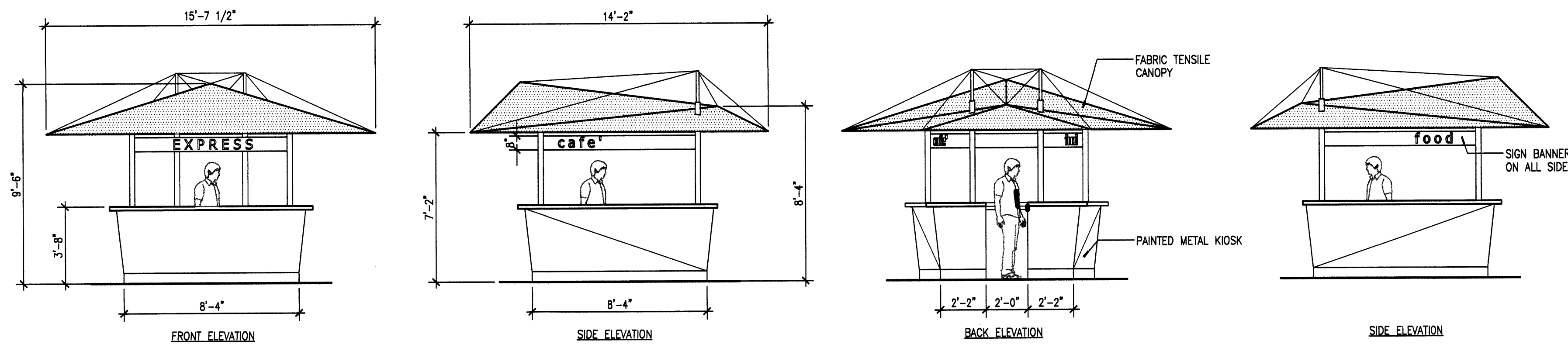
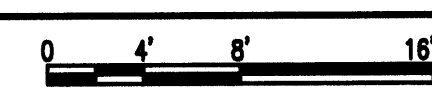
PROJECT TEAM  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
EXTERIOR ELEVATIONS

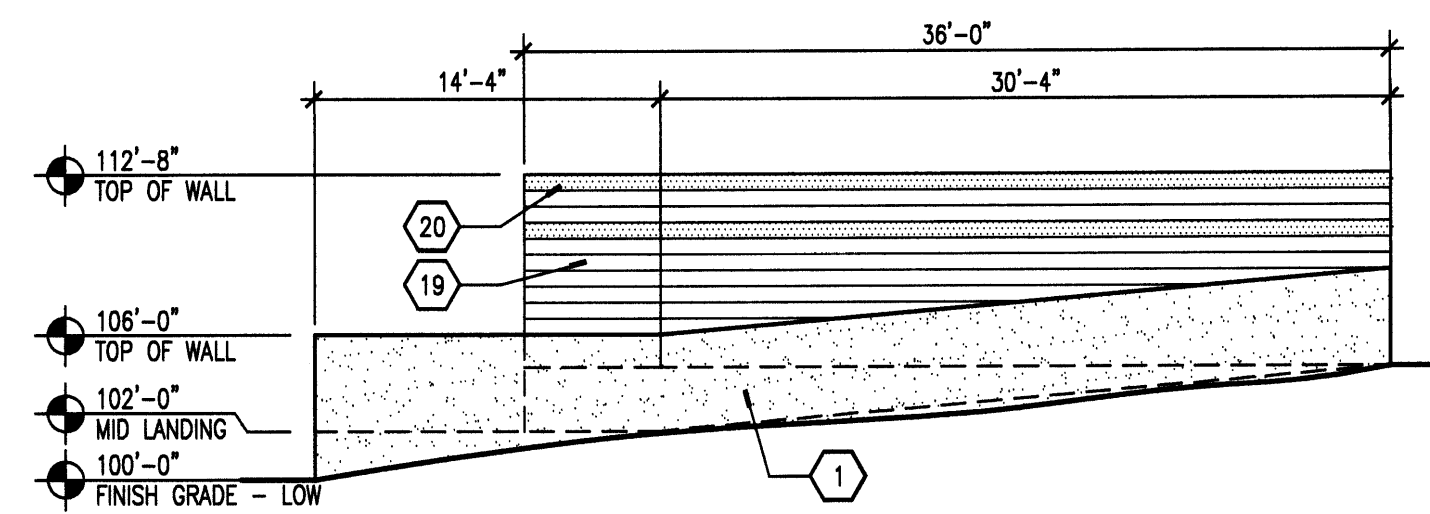




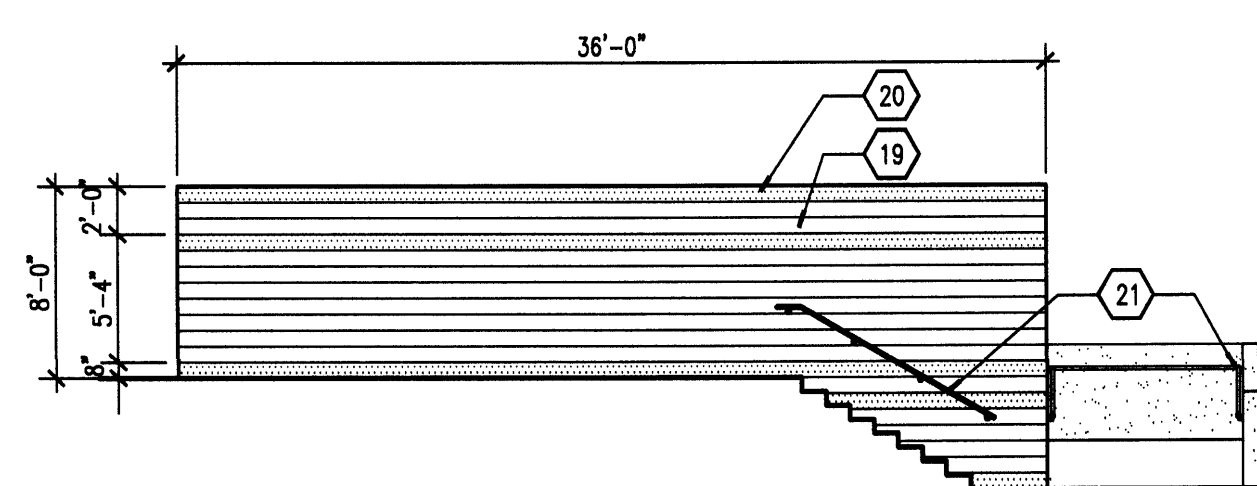
**D1** NORTH BUILDING - NORTH ELEVATION  
1/8" = 1'-0"



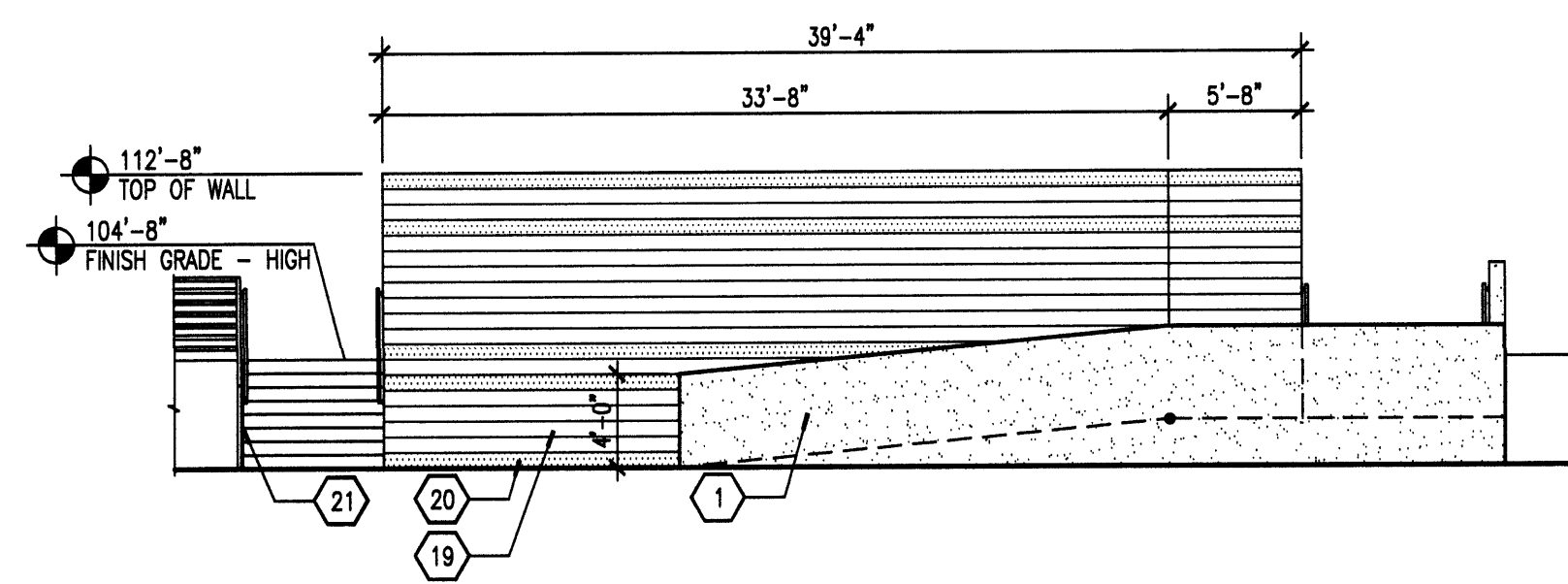
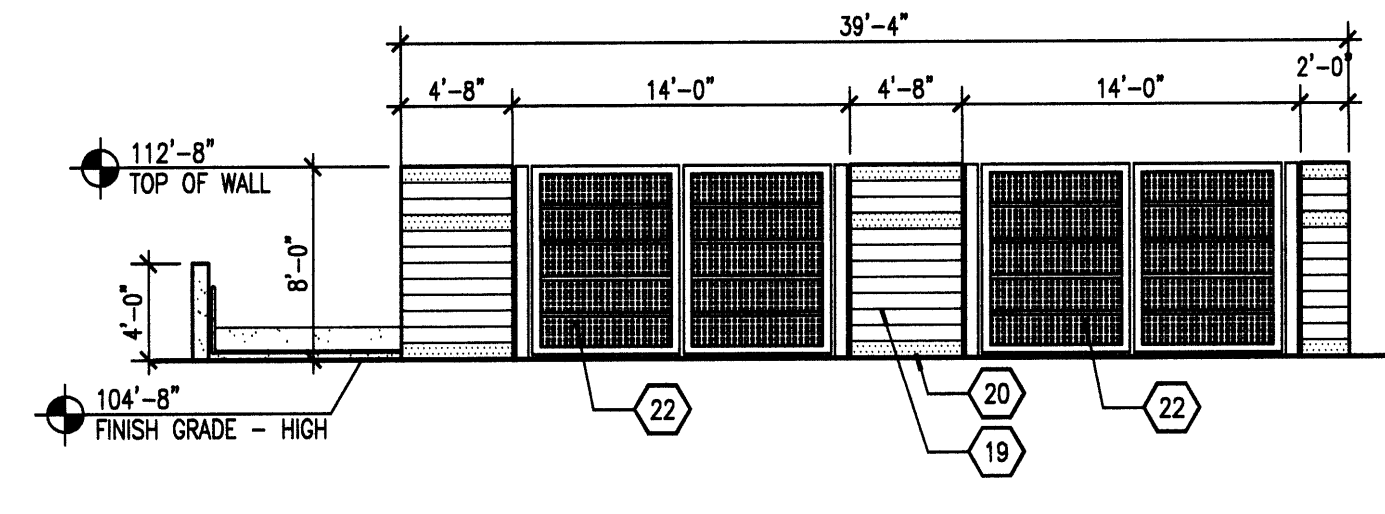
**C1** TYPICAL KIOSK  
1/4" = 1'-0"



**B1** RECYCLE/ COMPACTOR ENCLOSURE  
1/8" = 1'-0"



**A1** RECYCLE/ COMPACTOR ENCLOSURE  
1/8" = 1'-0"



**GENERAL NOTES**

- A. ALL BUILDING FACADES SHALL BE COMPOSED OF A COMBINATION OF THE DESIGN ELEMENTS SHOWN OR DESCRIBED IN THIS PLAN. DESIGN ELEMENTS INCLUDE, AS EXAMPLES, THE BUILDING COLORS, MASSING, FACADE TREATMENTS, WINDOWS AND DOORS, AWNING, SHADE CANOPIES, DECKS AND PORTAL. THESE DESIGN ELEMENTS NEED NOT BE ARRANGED AS SHOWN ON THIS PLAN, BUT MAY BE FREELY INTERCHANGED TO ACCOMMODATE FUTURE TENANTS.
- B. ENTRY STOREFRONTS TO THE BUILDING MAY BE MODIFIED TO ACCOMMODATE SPECIFIC NEEDS OF FUTURE TENANTS. THESE STOREFRONTS ARE TO MAINTAIN THE OVERALL DESIGN INTENT OF THE BUILDING AS SHOWN AND MUST BE COMPATIBLE WITH THE BUILDING FACADES IN TERMS OF QUALITY OF MATERIALS AND SYSTEMS.
- C. BUILDING SIGNAGE AS SHOWN IS FOR ILLUSTRATIVE PURPOSES AND MAY CHANGE TO MEET FUTURE TENANT REQUIREMENTS.
- D. THE TOP OF ALL MECHANICAL EQUIPMENT FOR ALL NEW BUILDINGS WILL BE LOWER THAN THE LOWEST BUILDING PARAPET HEIGHT AS MEASURED BY A HORIZONTAL LINE.
- E. BUILDING ARTICULATION, HEIGHT, MATERIALS, MASSING AND OTHER DESIGN ELEMENTS SHALL COMPLY WITH THE DESIGN REGULATIONS OF THE UPTOWN SECTOR DEVELOPMENT PLAN.
- F. WHEN KEYNOTES REFER TO 'FIELD COLORS', THESE MAY INCLUDE - TAN, BEIGE, LIGHT BROWN, OFF-WHITE, LIGHT GREEN, LIGHT YELLOW, WARM GREY.
- G. WHEN KEYNOTES REFER TO 'ACCENT COLORS', THESE MAY INCLUDE - SAGE GREEN, GOLD-YELLOW, DARK RED, REDDISH BROWN, BLUE, DARK GREY.
- H. EXTERIOR WALL TILE WILL BE A SOLID COLOR AND PATTERN AND SHALL COMPLIMENT BUILDING 'FIELD COLORS'. THE HEIGHT AND LIMITS OF WALL TALL MAY VARY IN FINAL DESIGN.
- J. SIGNAGE SHOWN ON BUILDING ELEVATIONS IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS POTENTIAL LOCATIONS OF FUTURE BUILDING SIGNS. SIGNAGE LOCATION, SIZE, STYLE AND NAMES ARE SUBJECT TO CHANGE BASED ON TENANT REQUIREMENTS. ALL SIGNS SHALL COMPLY WITH 'UPTOWN SECTOR DEVELOPMENT PLAN REGULATIONS.
- K. ALL MECHANICAL AREAS, TRASH RECEPTACLES, LOADING DOCKS & PUBLIC UTILITY STRUCTURES TO BE PROPERLY SCREENED.

**SHEET KEYED NOTES**

- 1. STUCCO/EIPS FINISH WITH LIGHT SAND TEXTURE & 'FIELD' COLOR
- 2. STUCCO/EIPS FINISH WITH LIGHT SAND TEXTURE & 'ACCENT' COLOR
- 3. EXTERIOR WALL TILE
- 4. STOREFRONT GLAZING W/ ALUMINUM FRAMES
- 5. FIXED GLAZING W/ ALUMINUM FRAMES
- 6. MULTI-LITE FIXED GLAZING W/ ALUMINUM FRAMES
- 7. METAL SUNSHADE CANOPY
- 8. AWNING
- 9. METAL GUARDRAIL
- 10. STUCCO/EIPS RECESS
- 11. ALUMINUM FRAME DOOR(S) W/ FULL LITE
- 12. DECORATIVE 'CANALE' DETAIL
- 13. DECORATIVE 'NICHOS' DETAIL
- 14. DECORATIVE SCOSCE
- 15. RETRACTABLE MULTI-LITE BAY DOOR
- 16. STUCCO/EIPS EXPANSION JOINT
- 17. METAL DOOR, PAINT TO MATCH ADJACENT FIELD COLOR
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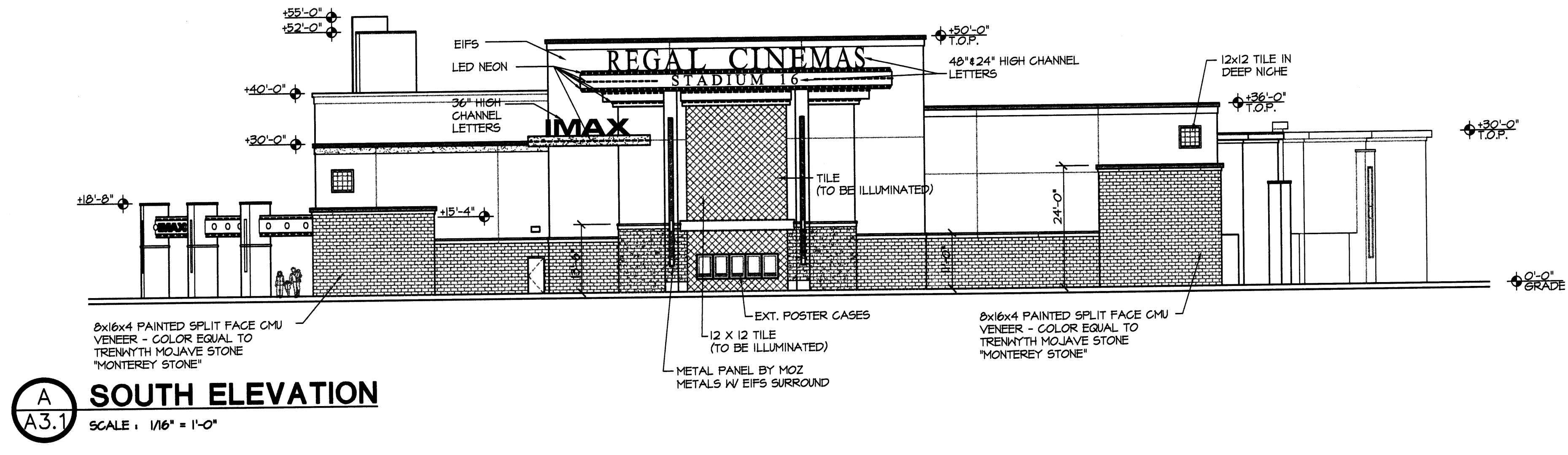
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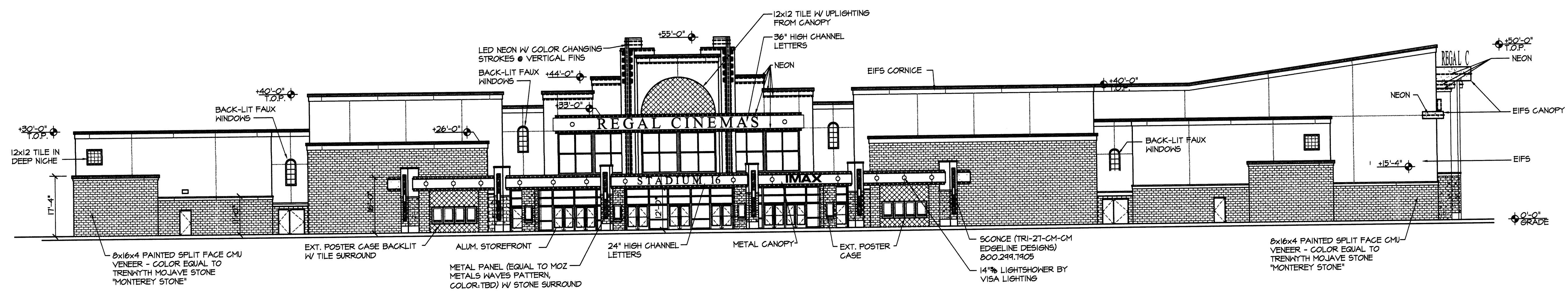
SITE DEVELOPMENT PLAN BUILDING PERMIT  
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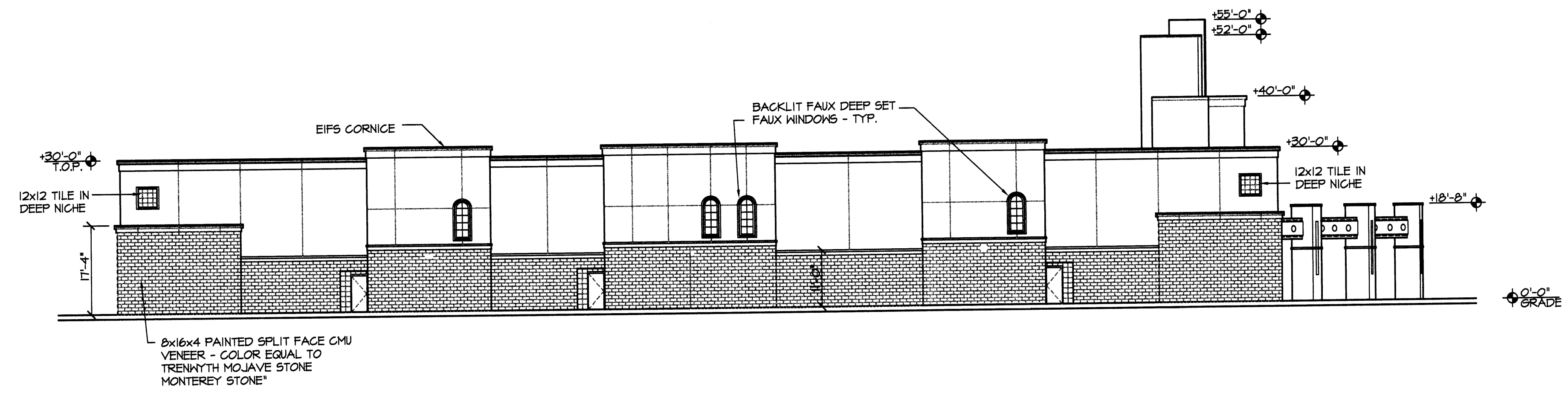




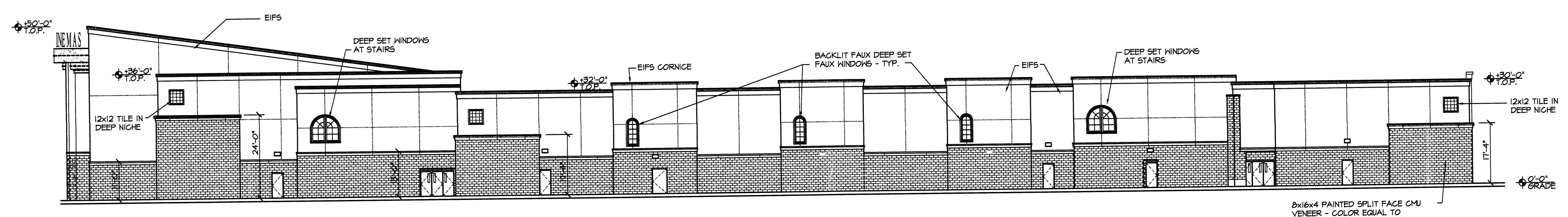
**A SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



**B WEST ELEVATION (ENTRANCE)**  
 SCALE: 1/16" = 1'-0"



**B NORTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



**B EAST ELEVATION**  
 SCALE: 1/16" = 1'-0"

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