



PHASING PLAN & PARKING SUB-AREAS (N.T.S.)

- KEYED NOTES:**
- PROPERTY LINE
  - LIMITS OF PHASE 1
  - CONCRETE CURBS AND GUTTER-TYP.
  - 6" MIN. WIDTH PEDESTRIAN COLORED TEXTURED CONCRETE CROSSWALK-TYP.
  - 4" PLANTING STRIP-TYP.
  - 8" CONCRETE WALKWAY
  - 10" CONCRETE WALKWAY
  - BICYCLE RACK PARKING-TYP.
  - 4x8" MOTORCYCLE PARKING SPACE-TYP.
  - MOTORCYCLE PARKING SIGNAGE-TYP. (SEE DETAIL, THIS SHEET)
  - HANDICAPPED PARKING SYMBOL-TYP.
  - HANDICAPPED PARKING SIGN-TYP. (SEE DETAIL, THIS SHEET)
  - 6" CONCRETE PARKING BARRIER-TYP. REFER TO PARKING LIGHT FIXTURE, POLE, AND BASE " SITE LEGEND.
  - SERVICE ALLEY (NON-VEHICULAR DELIVERY)
  - STAIRS
  - BOLLARD (1" MAX. DIA., REMOVABLE AT EMERGENCY ACCESS LOCATIONS)
  - RETAINING WALL (SEE CIVIL SHEETS)
  - EXISTING LOADING DOCK
  - TRASH AND RECYCLING ENCLOSURE (SEE DETAILS, SHEET A-104)
  - TREE WELL-TYP.
  - WATER HARVESTING AREA (WITH 1" WIDE CURB CUTS AS APPLICABLE) TYP. (SEE CIVIL SHEETS)
  - FIRE HYDRANT-TYP.
  - ADA COMPLIANT RAMP PER COA DETAILS 24B, 24B, 2440 AND/OR DETAIL THIS SHEET AS APPLICABLE.
  - ELECTRIC VEHICLE CHARGING STATION-TYP.
  - ELECTRIC VEHICLE SIGN (SEE DETAIL, THIS SHEET)-TYP.
  - 30" FIRE MARSHALL ACCESS
  - AT GRADE PLANTERS-TYP. (SEE LANDSCAPE PLAN, SHEET L-103)
  - RAISED DRIVE
  - EXISTING MEDIAN
  - FUTURE INTERNAL WINROCK SHUTTLE STOP AT DROP-OFF AREA
  - WALKWAY FLUSH WITH PARKING - NO ADA RAMP NEEDED
  - NON-ADA CIRCULATION ROUTE
  - FUTURE PHASE ADA ACCESS

REGULATORY NOTE FOR INFORMATIONAL PURPOSES ONLY:  
 DEDICATION OR CONVERSION OF ANY PRIVATE INFRASTRUCTURE IMPROVEMENTS TO PUBLIC INFRASTRUCTURE MUST BE DESIGNED AND CONSTRUCTED ACCORDING TO ALL APPLICABLE CITY STANDARDS IN ACCORDANCE WITH THE TDD DEVELOPMENT AGREEMENT FOR WINROCK TOWN CENTER.

**SHEET INDEX:**

S-101	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
S-102	SITE DEVELOPMENT PLAN FOR SUBDIVISION
L-101	LANDSCAPE AREA CALCULATIONS
L-102	LANDSCAPE AMENITIES PLAN
L-103	LANDSCAPE PARKING PLAN
L-104	LANDSCAPE PLAZA + PASEO PLAN
C-101	GRADING INDEX SHEET
C-102	GRADING PLAN
C-103	GRADING PLAN
C-104	CUT/FILL PLAN
C-105	UTILITY OVERALL
C-106	EXISTING/PROPOSED EASEMENTS
A-101	EXTERIOR ELEVATIONS-SOUTH BUILDING
A-102	EXTERIOR ELEVATIONS-SOUTH BUILDING
A-103	EXTERIOR ELEVATIONS-NORTH BUILDING
A-104	EXTERIOR ELEVATIONS-NORTH BUILDING
A-105	EXTERIOR ELEVATIONS-REGAL THEATER
A-106	EXTERIOR ELEVATIONS 4 WAYFINDING
A-107	SIGNAGE LOCATIONS 4 WAYFINDING

**PROJECT SUMMARY**  
 THE PROPOSED PROJECT IS A SINGLE STORY THEATER PLUS THREE TWO-STORY BUILDINGS FOR RETAIL, RESTAURANT, AND OFFICE USE. ALL ELEMENTS OF THE SITE PLAN AND BUILDING ELEVATIONS SHALL COMPLY WITH THE DESIGN GUIDELINES OF THE UPTOWN SECTOR DEVELOPMENT PLAN.

**GENERAL NOTES:**

- THE SITE PLAN SHALL COMPLY WITH GENERAL REGULATIONS OF COA ZONE CODE SECTION 14-16-3-3 & THE UPTOWN SECTOR DEVELOPMENT PLAN.
- THIS SITE PLAN FOR BUILDING PERMIT REPLACES THE PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMIT (DATED APRIL 4, 2006, PROJECT NUMBER 1002202), APPLICATION NUMBER 06EPC-0006.
- ANY MODIFICATIONS TO THE SITE PLAN FOR BUILDING PERMIT THAT IMPACT PROPERTY LINE MARKERS SHALL BE REFLECTED ON THE SITE PLAN FOR SUBDIVISION & SHALL BE APPROVED THROUGH THE REVIEW PROCESSES IDENTIFIED IN THE UPTOWN SECTOR DEVELOPMENT PLAN OR THE CITY COMPREHENSIVE CODE, WHICHEVER SHALL APPLY.

**PROJECT DATA**  
**LEGAL DESCRIPTION:**  
 A PORTION OF LOT 5 OF THE REPLAT OF THE WINROCK CENTER RESTAURANT ZONING: SU-3 MU-UPT PROPOSED USE: THEATER, RETAIL, RESTAURANT, OFFICE

**AREAS:**  
 PHASE 1 AREA: 692,091 SQ. FT. (14.91 AC)  
 BUILDING FOOTPRINT: 117,550 SF (14 FLOOR TOTAL, ALL FLOORS TOTAL 155,220 SF)  
 FAR: 0.36 MIN. AS REQUIRED BY THE UPTOWN SECTOR DEVELOPMENT PLAN ACROSS THE TOTAL SITE

**SITE LEGEND**

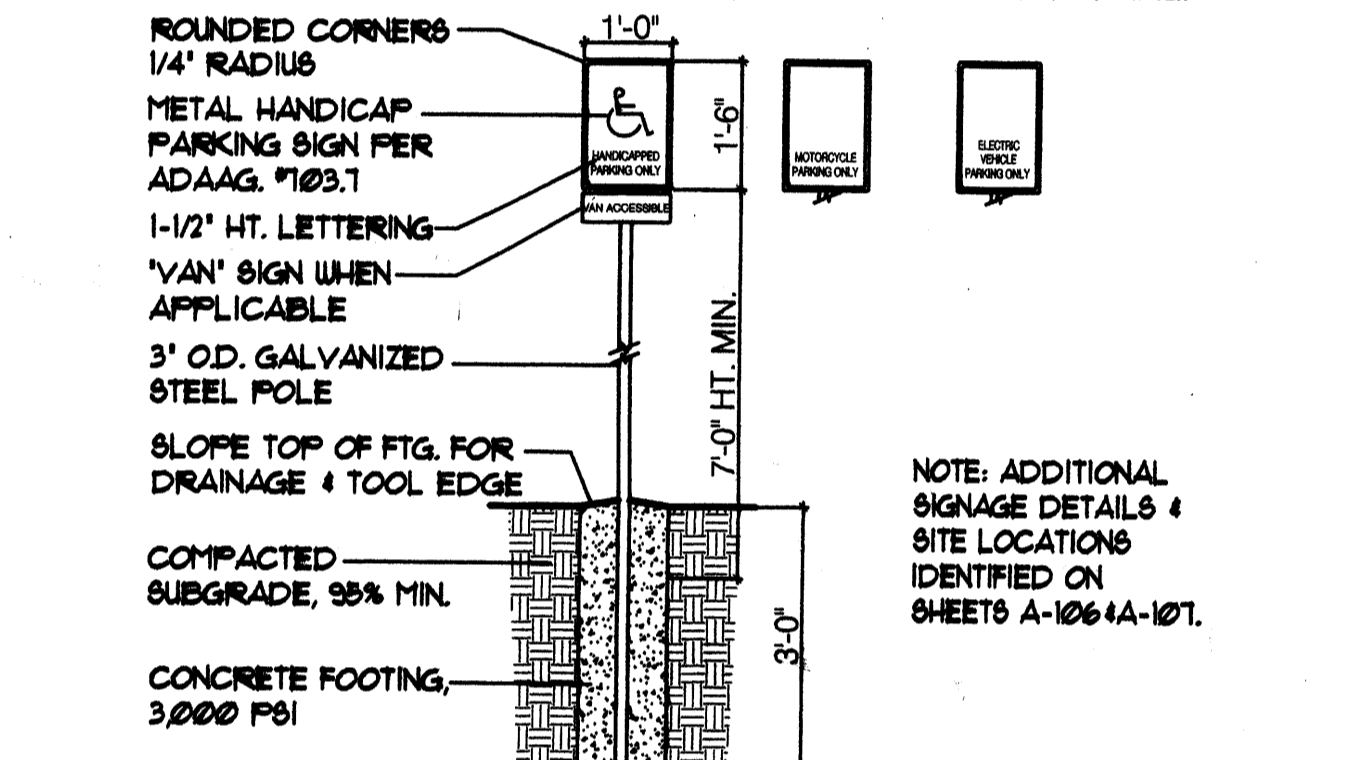
— — — — — PROPERTY LINE  
 - - - - - LIMITS OF PHASE 1

- EV ELECTRIC VEHICLE PARKING SPACE**
- C COMPACT PARKING SPACE**
- BICYCLE ROUTE - TRAIL
- BICYCLE ROUTE - SHARED ROAD
- POLE LIGHT (SINGLE OR DOUBLE, PARKING: 30' HT. MAX.)
- POLE LIGHT (SINGLE OR DOUBLE, PARKING: 16' HT. MAX.)
- POLE LIGHT (PEDESTRIAN: 16' HT. MAX.)
- BOLLARD LIGHT (1" MAX. DIAMETER)
- SEATING OPTIONS (BENCHES, CHAIRS, & TABLES)
- CURB CUT FOR WATER HARVESTING
- DRINKING FOUNTAIN
- TRASH RECEPTACLE
- KIOSK (DETAIL ON SHEET A-104)

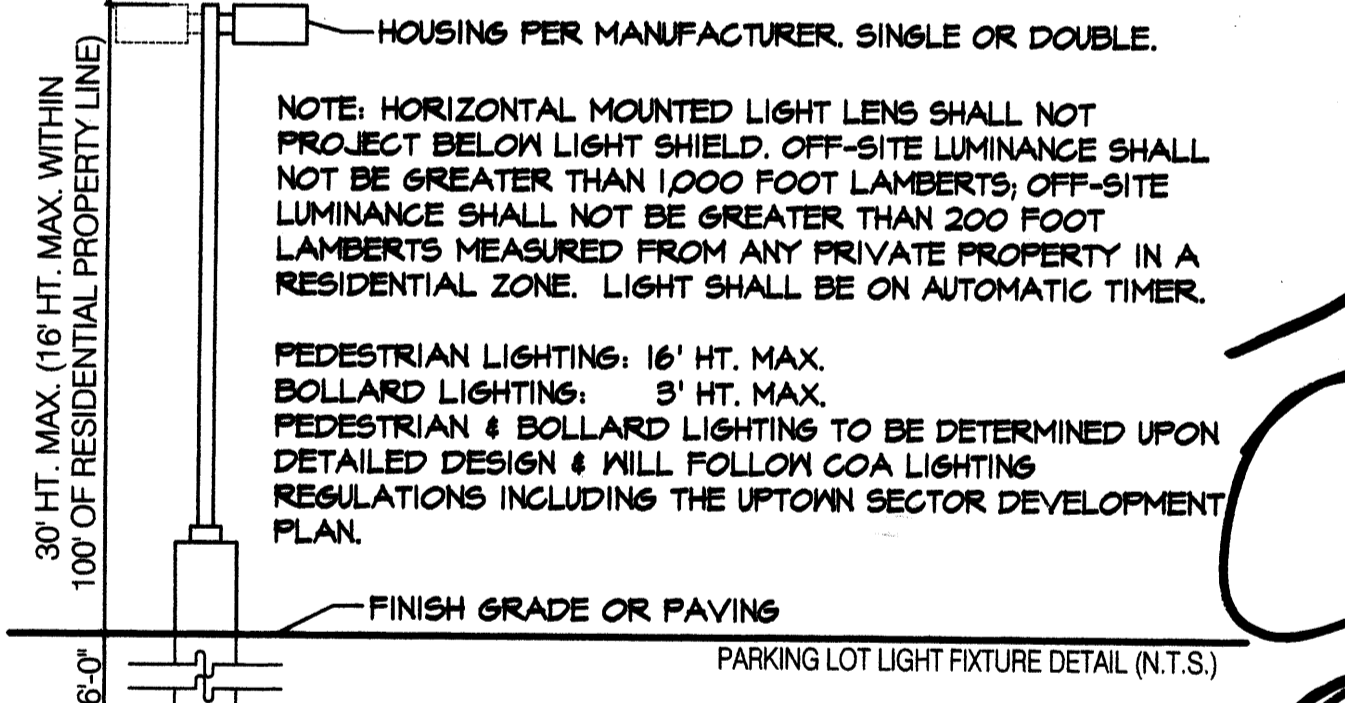
**BICYCLE & TRAIL ACCESS:**  
 TRAIL ACCESS IS PROVIDED ACROSS PENNSYLVANIA VIA THE PASEO DE LAS MONTANAS TRAIL & CONTINUES ALONG WINROCK'S SOUTHERN EDGE & CONNECTS TO THE PEDESTRIAN OVERPASS & CONTAINS ACCESS TO 1-40. SIDEWALKS WILL PROVIDE PEDESTRIAN CONNECTIVITY WITHIN WINROCK TOWN CENTER.

**TRANSIT:**  
 SITE IS SERVED BY ADJACENT ROUTE #166, RED LINE RAPID RIDE, WHICH PASSES THE SITE ON UPTOWN LOOP. COMPUTER ROUTES #6 (INDIAN SCHOOL ROAD) & SEVEN BUS STOPS ARE LOCATED ON INDIAN SCHOOL ROAD & PENNSYLVANIA ROAD THAT SERVE THE FOREMENTIONED COMPUTER ROUTES. ONE BUS STOP EXISTS LOCATED ADJACENT TO THE UPTOWN SHOPPING CENTER ON INDIAN SCHOOL ROAD SERVING ROUTE #166 WESTBOUND. LOUISIANA BOULEVARD IS DESIGNATED A TRANSIT CORRIDOR. THE UPTOWN TRANSIT CENTER IS LOCATED NEARBY ON INDIAN SCHOOL ROAD, WEST OF LOUISIANA BOULEVARD. A TRANSIT FACILITY IS PROVIDED AT THE SOUTHWEST CORNER OF WINROCK TOWN CENTER WITH 13 PARKING SPACES PROVIDED.

**PARKING:**  
 PARKING REQUIRED (2 Per 1000 SF)  
 PARKING REQUIRED (1 IN PHASE 1)  
 HANDICAPPED PARKING REQUIRED  
 BICYCLE PARKING REQUIRED (120 AUTOS)  
 MOTORCYCLE PARKING REQUIRED (150-300 AUTOS)  
 MOTORCYCLE PARKING PROVIDED BY PARKING (NOT REQUIRED)  
 312 SURPLUS PARKING AND OPEN SPACE IN PHASE 1 SHALL BE ATTRIBUTABLE TO FUTURE PHASES OF DEVELOPMENT.  
 16 HANDICAPPED PARKING SPACES  
 6 2" (2) VAN SPACES.



**LIGHTING:**  
 ALL LIGHT FIXTURES SHALL BE SHIELDED AND IN CONFORMANCE WITH THE LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE SECTION 14-16-3-3 AND THE UPTOWN SECTOR DEVELOPMENT PLAN. HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO THE TOP OF POLE. ALL LIGHTING SHALL COMPLY WITH NIGHT SKY PROTECTION ACT.

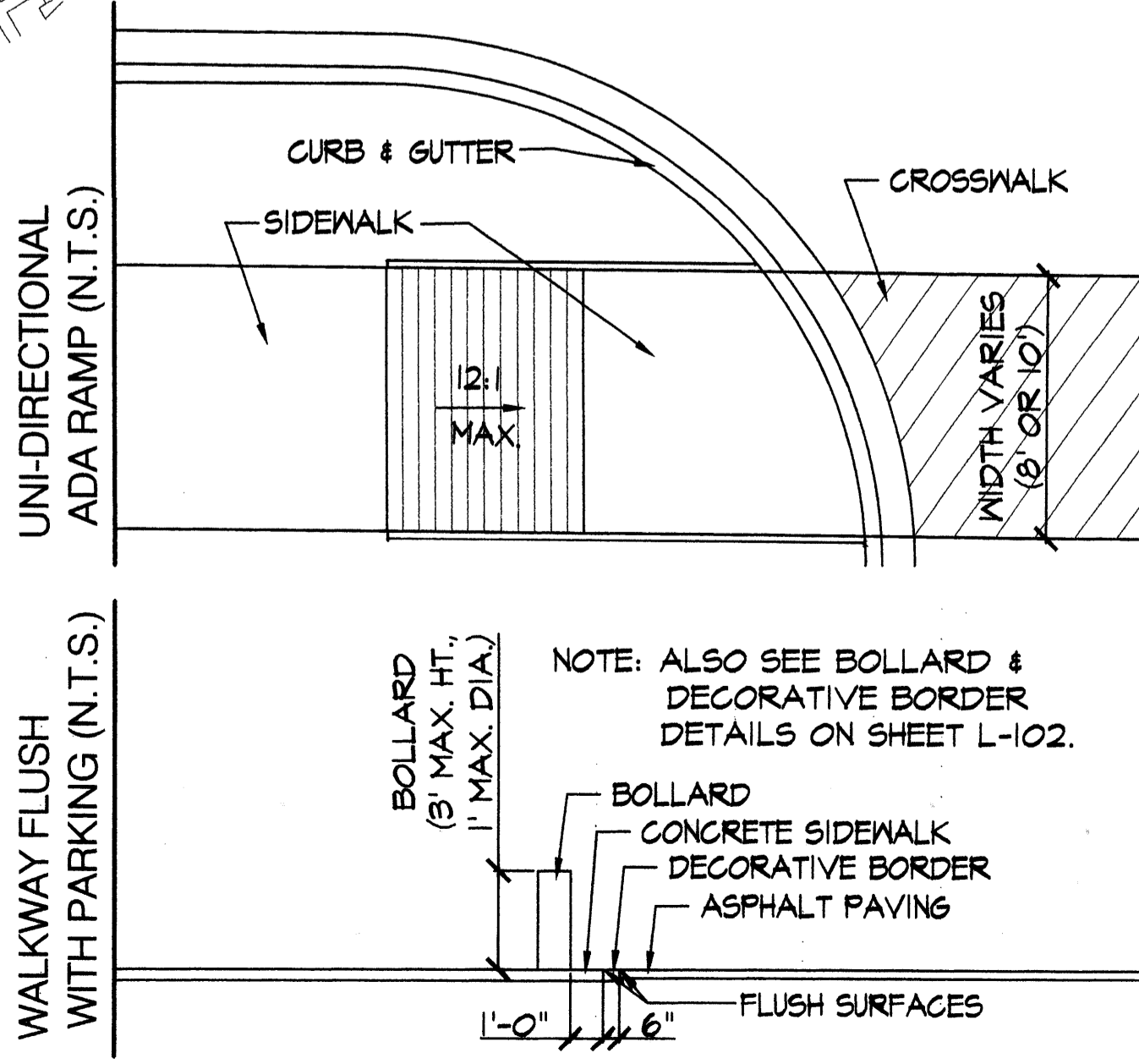
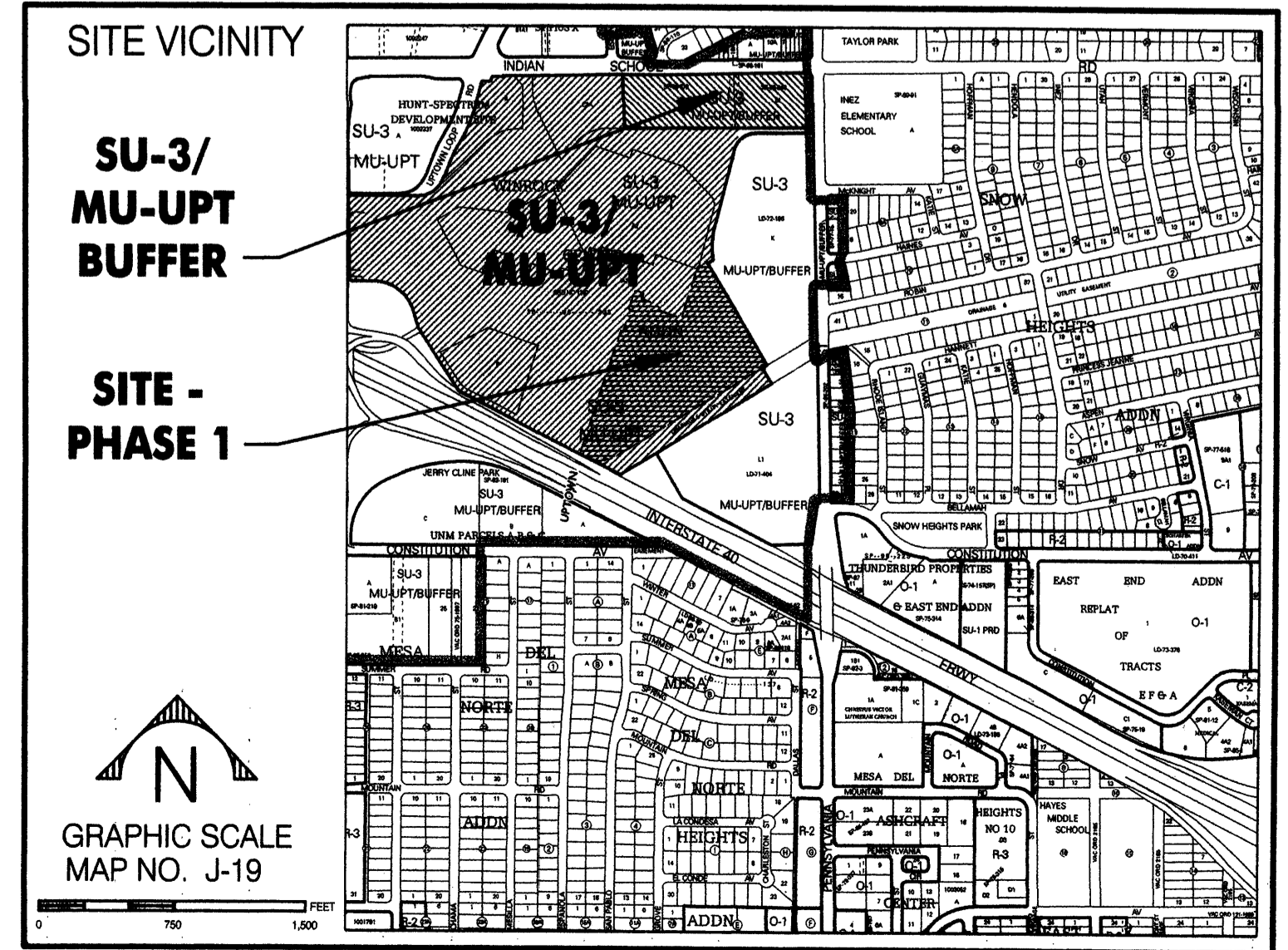


PROJECT NUMBER: 1002202  
 APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABEUNA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT-(CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**NOTE REGARDING SERVICE ACCESS PATH:**  
 THE SERVICE ACCESS PATH IS PROVIDED FOR EMPLOYEES TO ACCESS SERVICE AREAS SUCH AS TRASH/RECYCLE. THIS PATH IS NOT INTENDED FOR PUBLIC USE AS THERE ARE NO THEATER ENTRIES ALONG THE SOUTH, EAST, AND NORTH FACES OF THE BUILDING. DOORS ALONG THESE SIDES ARE INTENDED FOR EMERGENCY EXIT ONLY.

**NOTE REGARDING DECORATIVE BORDERS ALONG PEDESTRIAN PATHS:**  
 ALL 10' WIDE PEDESTRIAN PATHS THAT ARE NOT WITHIN THE PARKING LOT AND NOT CONSIDERED SERVICE ACCESS PATHS SHALL INCLUDE A 6" WIDE DECORATIVE BORDER.

**Winrock TOWN CENTER**

**OWNER/DEVELOPER**  
 WINROCK PARTNERS, LLC

**PROJECT TEAM**  
 ENGINEERING: HUITT-ZOLLARS  
 PLANNING/LANDSCAPE ARCHITECTURE: CONSENSUS PLANNING  
 SURROUNDINGS STUDIO  
 ARCHITECTURE: STUDIO SOUTHWEST ARCHITECTS

**SITE DEVELOPMENT PLAN BUILDING PERMIT**  
**SITE PLAN**

SCALE: 1"=50'-0"

SHEET S-101  
 JUNE 14, 2011

1002202



**SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION**

THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDS THE PRIOR APPROVED WINROCK MARKET CENTER SITE DEVELOPMENT PLAN FOR SUBDIVISION (20EPC00016), PROJECT NO. 1002202.

THE SITE CONSISTS OF APPROXIMATELY 81.87 ACRES. THE INTERIOR PARCEL LINES SHOWN ON THIS SITE PLAN ARE ILLUSTRATIVE. FINAL PLATTING WILL OCCUR AS SPECIFIC DEVELOPMENT PROJECTS ARE PROPOSED. THE SUBJECT PROPERTY IS PROPOSED TO BE SUBDIVIDED INTO FIVE SEPARATE TRACTS. TRACT 1 AND TRACT 2 ARE THE EXISTING PARCELS A-9 AND A-21 FOR THE HENS AND POWENS DILLARD STORES AND A PORTION OF THEIR PARKING FIELDS. TRACT 3 IS THE EXISTING TOYS 'R US LOT (D-1A). TRACT 4 IS THE EXISTING VACANT LOT (E) EAST OF TOYS 'R US, COMMONLY CALLED THE 'CHRISTMAS TREE LOT' AT THE NORTHEAST CORNER OF THE SITE, AND TRACT 5 IS THE REMAINING LOT COMPRISING THE REST OF THE WINROCK CENTER ADDITION (PARCELS A1A, B, AND C2A PLUS PARCEL B OF THE HUNT-SPECTRUM DEVELOPMENT SITE). TRACTS 1, 2 AND 5 ARE ZONED SU-3 MU-PT AND TRACTS 3-4 ARE ZONED SU-3 MU-PT/BUFFER.

LOT 1	281,644 SF	5.78 AC.	LOT 4	184,870 SF	3.10 AC.
LOT 2	422,290 SF	9.69 AC.	LOT 5	2,354,876 SF	53.84 AC.
LOT 3	181,058 SF	4.16 AC.			

PROPOSED USE:  
THE SITE IS ZONED SU-3 (MU-PT AND MU-PT BUFFER). LAND USES ARE AS FOLLOWS:

*RETAIL/RESTAURANT/THEATER	426,282 SF.	*USES AND SQUARE FOOTAGES ARE APPROVED PER PREVIOUS SITE DEVELOPMENT PLAN FOR SUBDIVISION.
*OFFICE	24,000 SF.	
*HOTEL	174 ROOMS	
*MULTI-FAMILY	66 UNITS (AREA-B) AC.	
	GROSS DENSITY-21.11 DU/AC.	

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:  
VEHICULAR ACCESS:  
LOUISIANA BOULEVARD PROVIDES THE MAJOR SIGNALIZED ACCESS INTO WINROCK TOWN CENTER VIA AMERICAS PARKWAY. ADDITIONAL ACCESS POINTS ARE PROVIDED AT LOUISIANA BOULEVARD, INDIAN SCHOOL ROAD, AND PENNSYLVANIA STREET. THERE IS DIRECT ACCESS FROM WINROCK TOWN CENTER TO I-40 WEST. THESE ACCESS POINTS ARE CONSISTENT WITH THE UPTOWN SECTOR DEVELOPMENT PLAN AND PREVIOUS APPROVALS FOR WINROCK.

BICYCLE AND TRAIL ACCESS:  
BICYCLE ACCESS IS PROVIDED BY 6 FOOT ON-STREET BIKE LANES IN LOUISIANA BOULEVARD, PENNSYLVANIA STREET, AND INDIAN SCHOOL ROAD. TRAIL ACCESS IS PROVIDED ACROSS PENNSYLVANIA VIA THE PASEO DE LAS MONTANAS TRAIL, AND CONTINUES ALONG WINROCK'S SOUTHERN EDGE AND CONNECTS TO THE PEDESTRIAN OVERPASS AND CONTINUES ACROSS I-40. SIDEWALKS WILL PROVIDE PEDESTRIAN CONNECTIVITY WITHIN WINROCK TOWN CENTER, CONSISTENT WITH THE REQUIREMENTS OF THE UPTOWN SECTOR DEVELOPMENT PLAN.

TRANSIT ACCESS:  
LOUISIANA BOULEVARD IS DESIGNATED A MAJOR TRANSIT CORRIDOR, WITH A REGULAR BUS ROUTE AND A RAPID RIDE ROUTE AND INDIAN SCHOOL ROAD INCLUDES A COMMUTER ROUTE. THE UPTOWN TRANSIT CENTER IS LOCATED NEARBY OFF INDIAN SCHOOL ROAD, WEST OF LOUISIANA BOULEVARD. A TRANSIT FACILITY IS PROVIDED AT THE SOUTHWEST CORNER OF WINROCK TOWN CENTER, WITH ITS PARKING SPACES PROVIDED.

INTERNAL CIRCULATION REQUIREMENTS:  
INTERNAL CIRCULATION IS PROVIDED THROUGH THE SITE VIA A RING ROAD SYSTEM. SIDEWALKS SHALL BE DEVELOPED CONSISTENT WITH THE REQUIREMENTS OF THE UPTOWN SECTOR DEVELOPMENT PLAN.

BUILDING HEIGHTS, SETBACKS AND DESIGN:  
BUILDING HEIGHTS, SETBACKS AND DESIGN SHALL BE CONSISTENT WITH THE REQUIREMENTS IN THE UPTOWN SECTOR DEVELOPMENT PLAN AND THE CITY COMPREHENSIVE ZONING CODE.

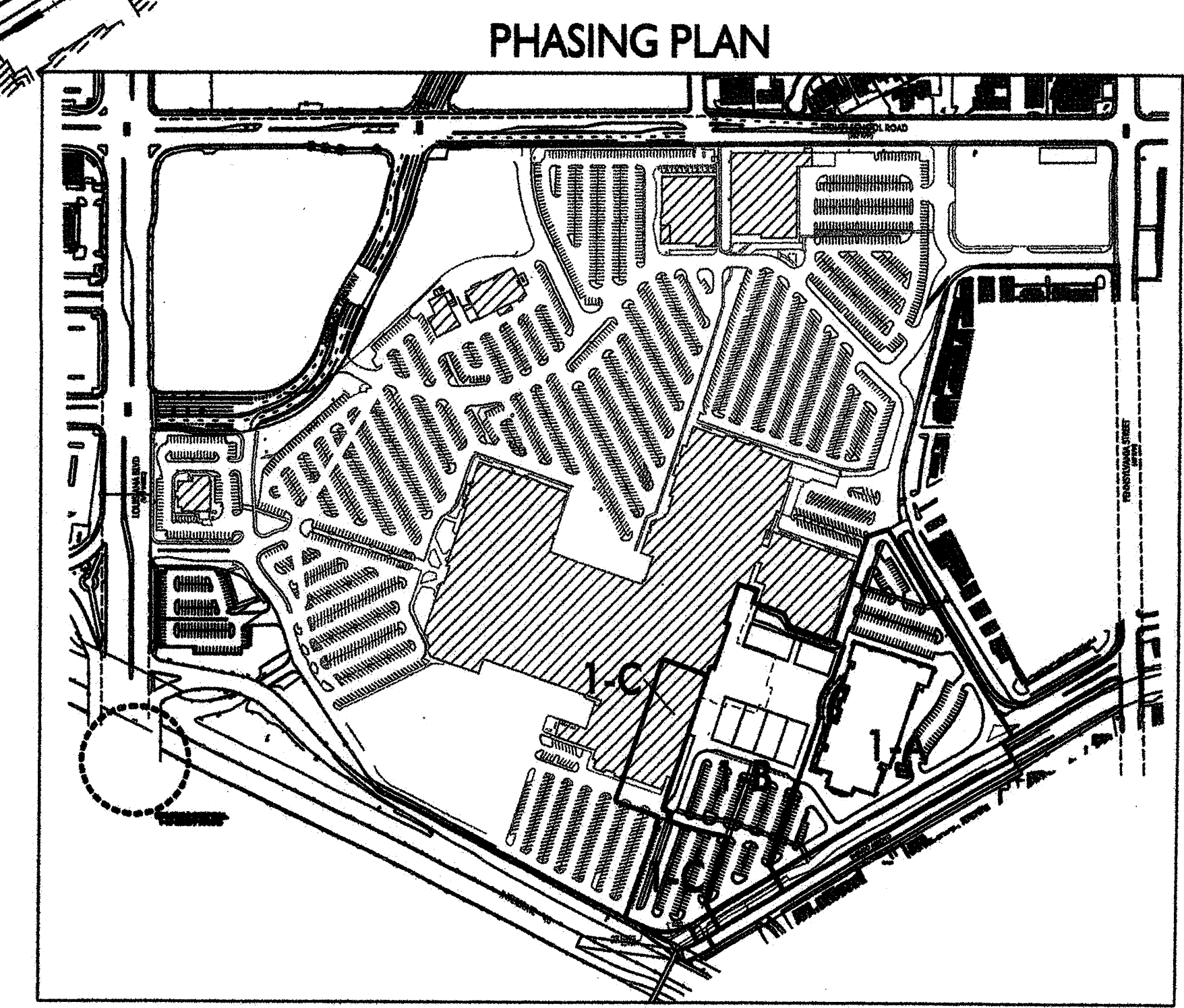
FAR:  
THE MINIMUM FLOOR AREA RATIO (FAR) IS 30 FOR WINROCK TOWN CENTER AS REQUIRED BY THE UPTOWN SECTOR DEVELOPMENT PLAN.

SU-3 AREA	BUILDING	FAR
5544,478 SF. (81.87 AC.)	1,040,000 SF.	30

LANDSCAPE PLAN AND OPEN SPACE:  
LANDSCAPE PLANS SHALL BE CONSISTENT WITH CITY STANDARDS AND POLICIES REGARDING WATER CONSERVATION AND POLLUTION, THE UPTOWN SECTOR DEVELOPMENT PLAN, AND THE CITY'S COMPREHENSIVE ZONING CODE.

PHASING:  
OVERALL PHASE I DEVELOPMENT INCLUDES THE DEMOLITION OF THE MONTGOMERY WARD BUILDING AND THE WINROCK INN.

PROJECT NUMBER	1002202
APPLICATION NUMBER	
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	02-09-11
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Allen V. ...</i>	02/09/11
ABO/VA	DATE
<i>Christina ...</i>	2/9/11
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley L. ...</i>	2/9/11
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT-(CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	2-10-11
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



# Winrock

TOWN CENTER

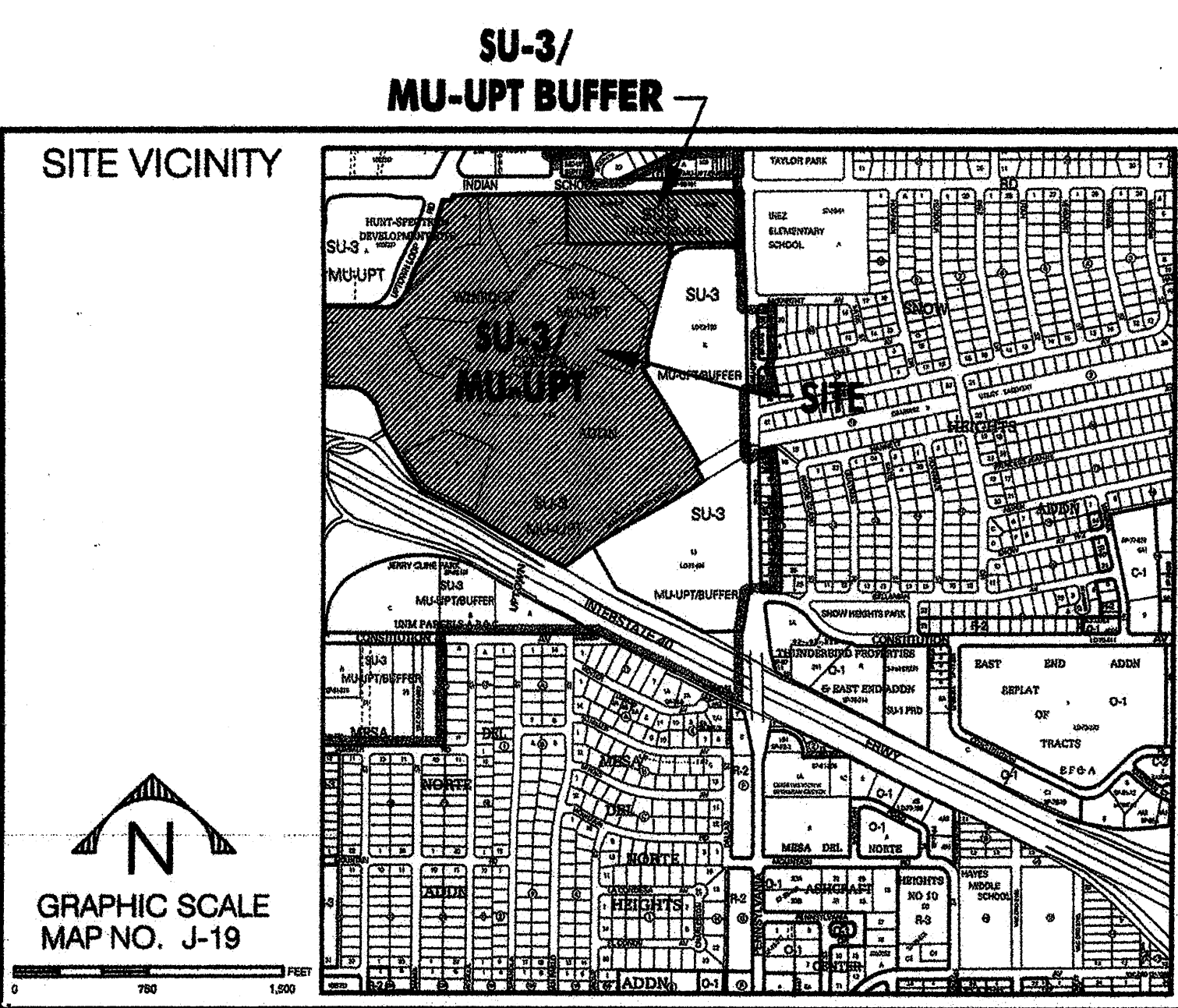
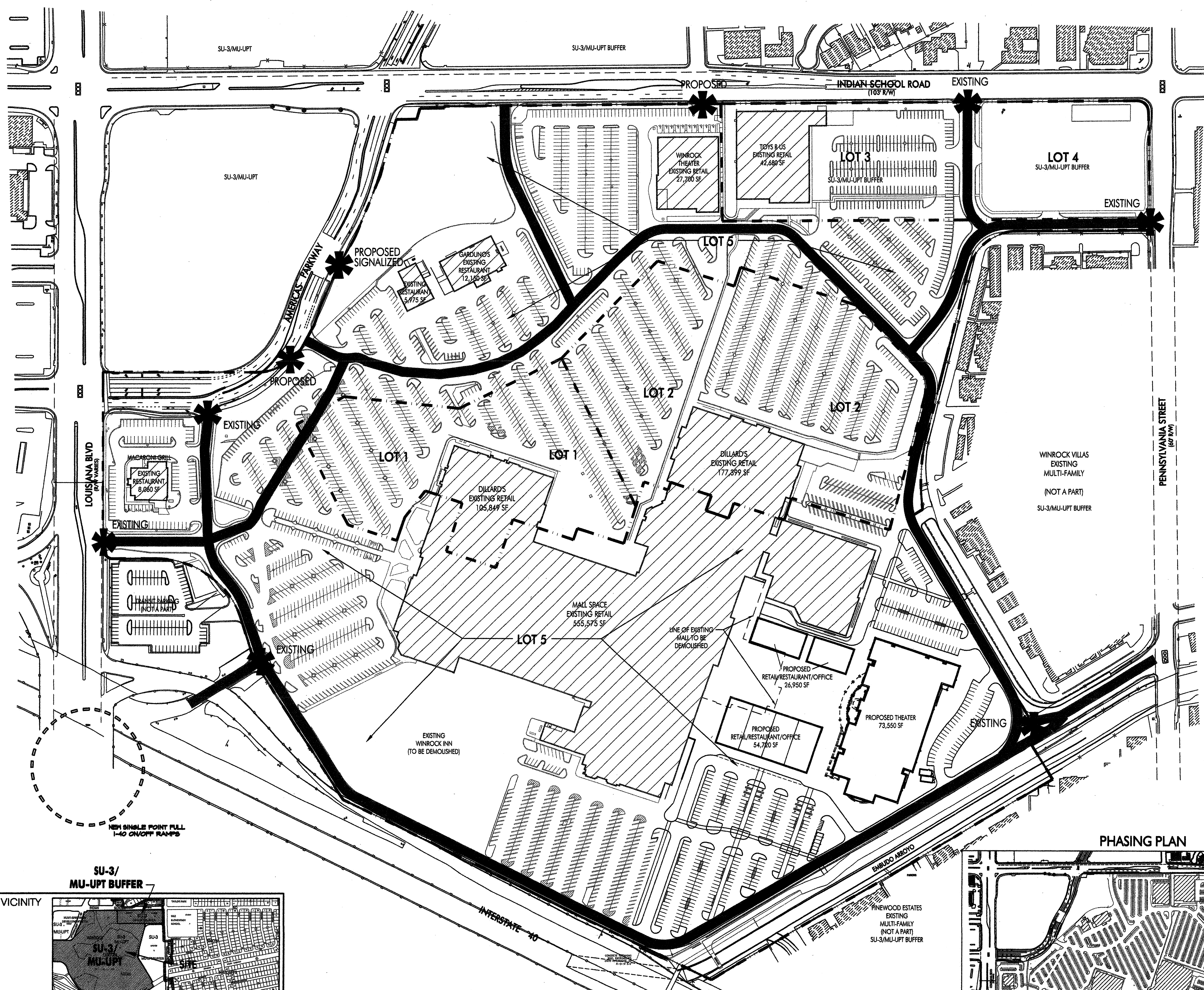
**OWNER/DEVELOPER**  
WINROCK PARTNERS, LLC

**PROJECT TEAM**  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION  
**SITE PLAN**

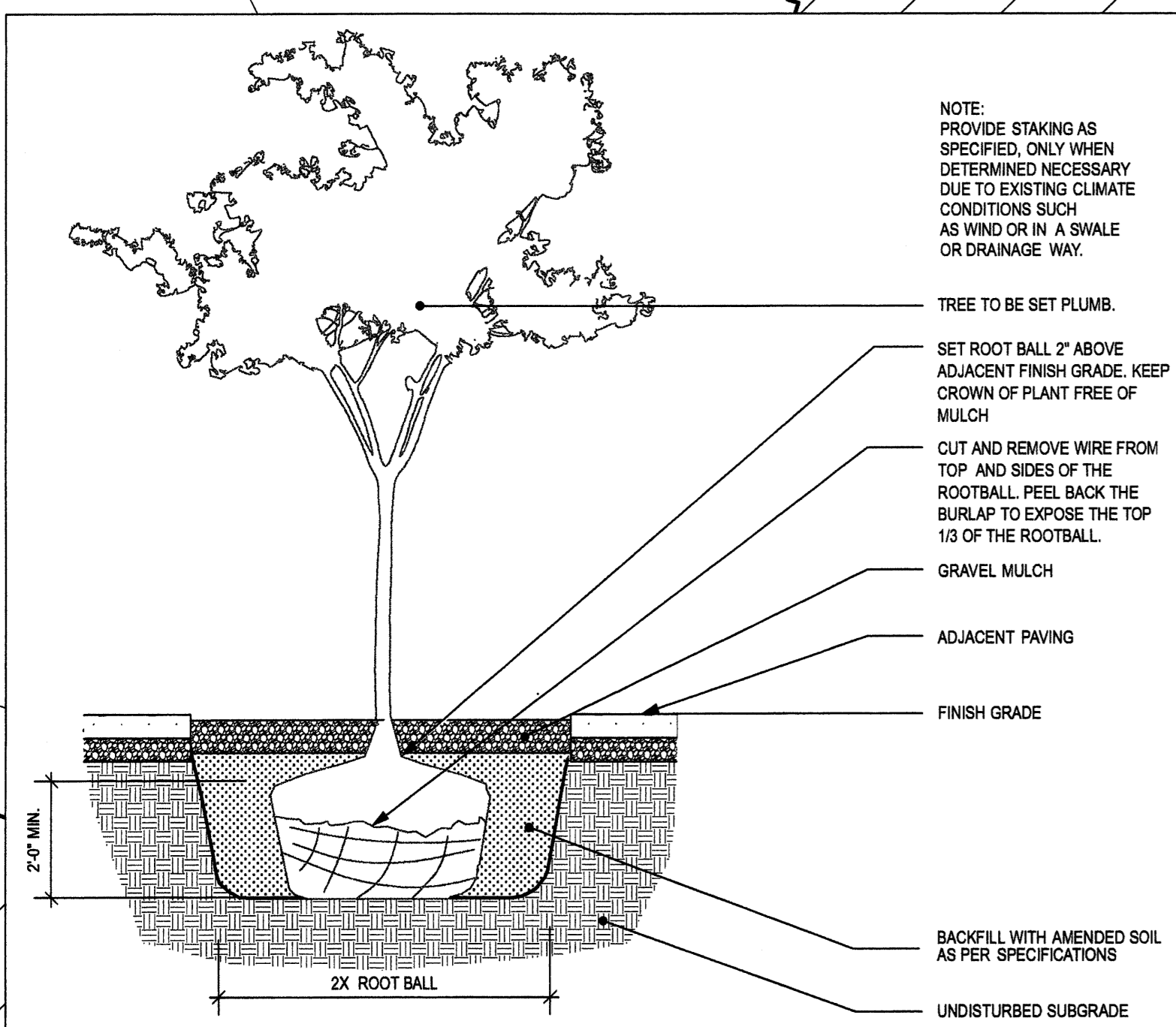
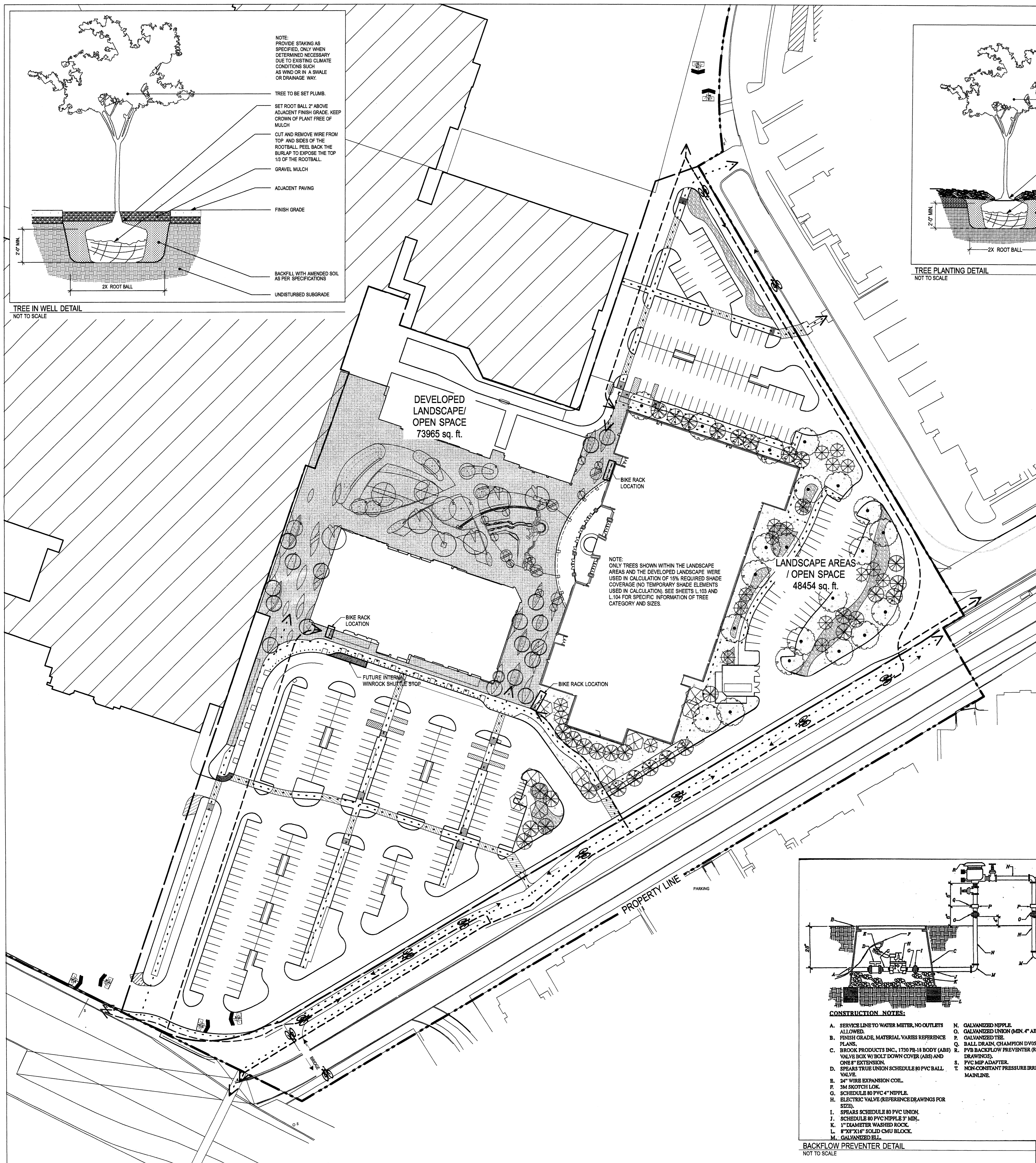
SCALE: 1" = 100'  
NORTH

SHEET S-102  
FEBRUARY 10, 2011

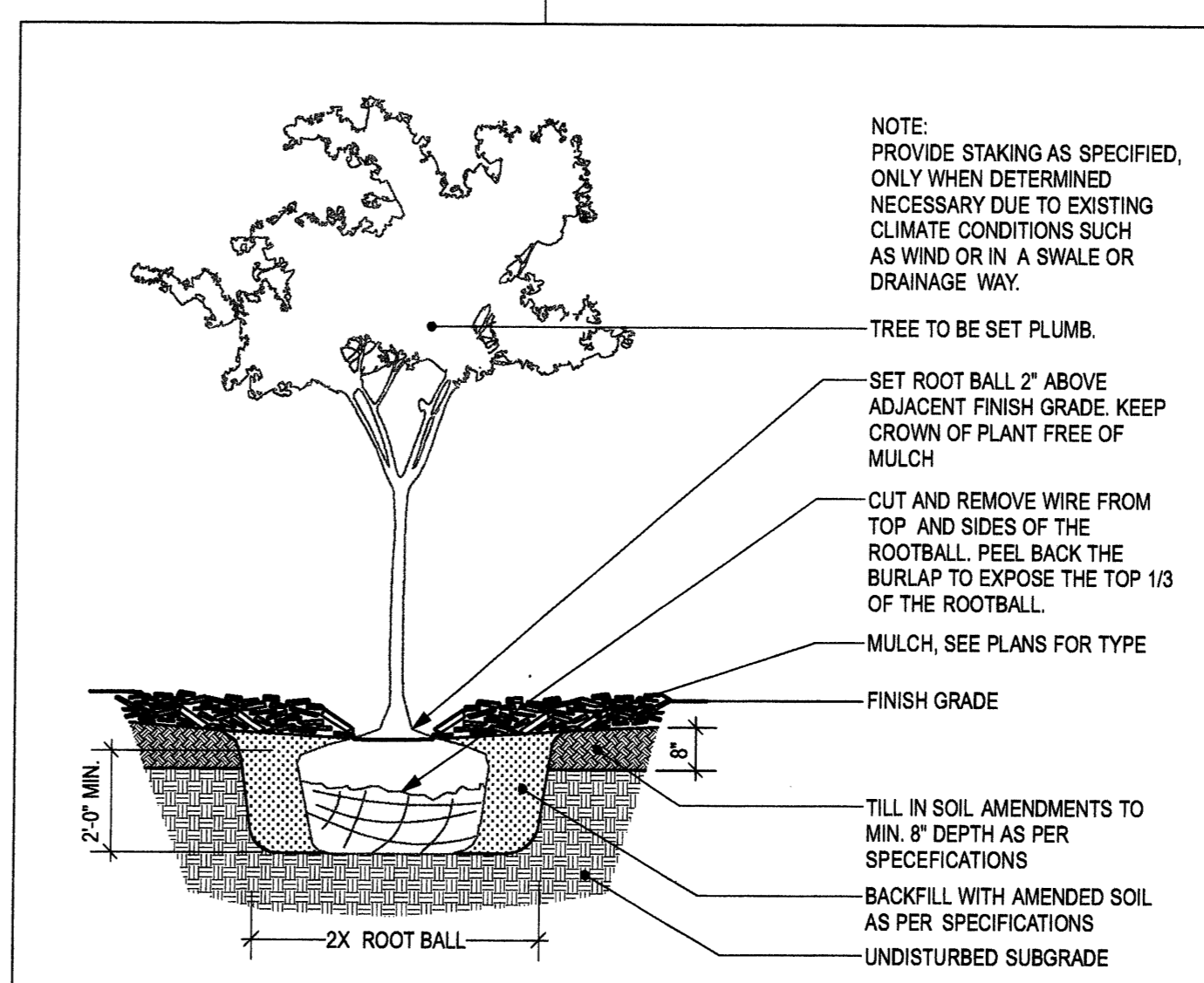


- \* APPROVED ACCESS POINTS PER PREVIOUS SITE DEVELOPMENT PLAN FOR SUBDIVISION. ACCESS POINTS TO BE DEVELOPED IN CONJUNCTION WITH FUTURE PHASES.
- GENERAL NOTES:  
1. LOT LINES ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL PLATTING FOR THE WINROCK TOWN CENTER SHALL OCCUR AT THE END OF SITE AND BUILDING CONSTRUCTION WITH INDIVIDUAL LOT BOUNDARIES FOR THE SU-3 AREAS AS AGREED TO WITH THE PLANNING DIRECTOR.  
2. PHASING AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE UPTOWN SECTOR DEVELOPMENT PLAN.  
3. FUTURE APPROVALS FOR SPECIFIC DEVELOPMENT PROJECTS SHALL BE IN COMPLIANCE WITH THE UPTOWN SECTOR DEVELOPMENT PLAN AND THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION.  
4. PARKING AS SHOWN IS ILLUSTRATIVE AND SUBJECT TO COMPLIANCE WITH THE UPTOWN SECTOR DEVELOPMENT PLAN. A SHARED PARKING AGREEMENT WILL BE REQUIRED FOR THE SITE TENANTS.  
5. WINROCK MANAGEMENT SHALL PROVIDE SUFFICIENT ON-SITE SECURITY.  
6. SUFFICIENT WAYFINDING SIGNAGE AND RING ROAD STRIPING SHALL BE PROVIDED TO DIRECT USERS TO TENANT LOCATIONS AS WELL AS TO PROJECT EXITS.  
7. SURPLUS PARKING AND OPEN SPACE IN PHASE I SHALL BE ATTRIBUTABLE TO FUTURE PHASES.



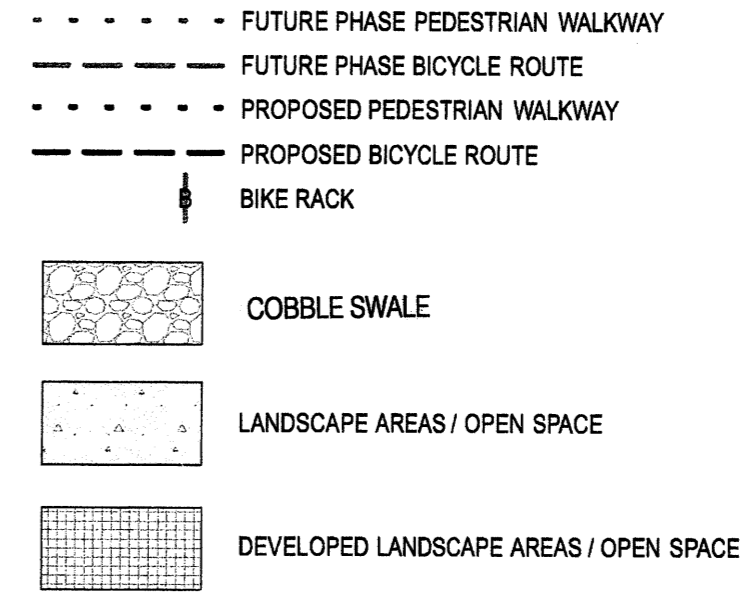


TREE IN WELL DETAIL  
NOT TO SCALE

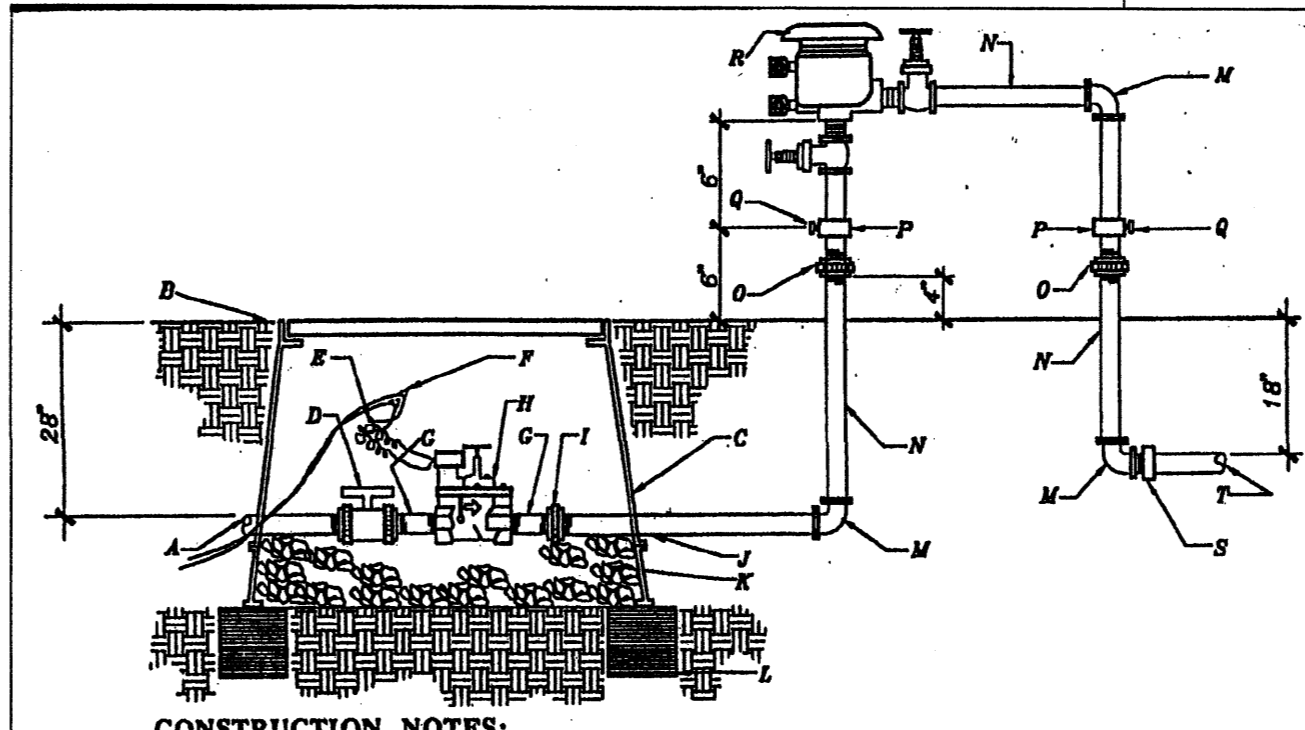


TREE PLANTING DETAIL  
NOT TO SCALE

**PATHWAY LEGEND**



NOTE:  
ONLY TREES SHOWN WITHIN THE LANDSCAPE AREAS AND THE DEVELOPED LANDSCAPE WERE USED IN CALCULATION OF 15% REQUIRED SHADE COVERAGE (NO TEMPORARY SHADE ELEMENTS USED IN CALCULATION). SEE SHEETS L.103 AND L.104 FOR SPECIFIC INFORMATION OF TREE CATEGORY AND SIZES.



**CONSTRUCTION NOTES:**

A. SERVICES LINE TO WATER METER, NO OUTLETS ALLOWED.  
 B. FINISH GRADE, MATERIAL VARIES REFERENCE PLANS.  
 C. BROOK PRODUCTS INC., 1730 FB-18 BODY (ABS) VALVE BOX W/ BOLT DOWN COVER (ABS) AND ONE 8\"/>

**GENERAL NOTES:**

1. PVB'S ARE UNAPPROVED FOR CONTAMINANT PROTECTION, EXCEPT FOR LAWN IRRIGATION SYSTEM.  
 2. DO NOT INSTALL IN FLOOD PRONE AREAS.  
 3. DO NOT INSTALL PVB'S MORE THAN 9\"/>

REVISIONS	
12/91	
3/92	
12/92	

CITY OF ALBUQUERQUE  
 LANDSCAPE  
 MASTER VALVE W/ PVB  
 DWG. 2702 JAN. 1991

**LANDSCAPE AREA CALCULATIONS**

TOTAL PHASE I - SITE AREA (1A/1B/1C)	598,723 SF
TOTAL PHASE I - BUILDING FOOTPRINT	117,550 SF
TOTAL PHASE I - NET SITE AREA	481,173 SF
<b>PHASE I - REQUIRED 10% OPEN SPACE*</b>	<b>48,117 SF</b>
PHASE I - DEVELOPED LANDSCAPE / OPEN SPACE	73,965 SF
PHASE I - LANDSCAPE AREAS / OPEN SPACE	48,454 SF
<b>PHASE I - TOTAL PROVIDED OPEN SPACE**</b>	<b>122,419 SF</b>
Reserved Excess Open Space for Future Phases	74,302 SF
Required 40% Planting Areas (of 10% req. open space)	19,247 SF
Provided Planting Areas**	58,656 SF
Required 75% Plant Coverage (of 40% req. planting areas)	14,435 SF
Provided Plant Coverage**	29,602 SF
Required 15% Shade Coverage (of req. open space)	7,218 SF
Provided Shade Coverage**	68,142 SF
Calculation****	
Allowed 5% Max. Cobble/Gravel/Crusher Fines Coverage***	24,058 SF
Cobble/Gravel/Crusher Fines Coverage Used*****	11,843 SF

Notes:  
 \* "Open Space" is comprised as "Developed Open Space" and "Landscape Areas" as defined in the USDP.  
 \*\* Provided amount exceeds 100% of requirement for Phase I.  
 \*\*\* Large decorative boulders over 18" diameter are not included in cobble / gravel / crusher fines calculations as per initial discussions with UR.  
 \*\*\*\* Only trees shown within the landscape areas and the developed landscape were used in calculation of 15% required shade coverage (No temporary shade elements used in calculation). See sheets L.103 and L.104 for specific information of tree category and sizes.  
 \*\*\*\*\* Cobble / Gravel / Crusher Fines Coverage used is less than the allowed maximum.

**LANDSCAPE COVERAGE**

Planting beds shall have 75% living groundcover at full maturity.

**IRRIGATION SYSTEM / WATER HARVESTING SYSTEM**

Irrigation system standards outlined in water conservation landscaping and water waste ordinances shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas. The irrigation system will be designed to isolate plant material according to solar exposure and will be set up by plant zones according to water requirements. The trees will be provided with (6) 2 gph emitters, with the ability to be expanded to accommodate the growth of the tree. Shrubs and groundcovers will be provided with (2) 1 gph emitters. Trees, shrubs and groundcovers will be grouped on the same valve.

Harvested roof water will be used to fully support the water features and the bosque plant demonstration area, and supplement the general landscape irrigation system. Roof water from the three (3) new buildings will be captured into a sub-surface cistern collection system.

**WATER CONSERVATION ORDINANCE COMPLIANCE**

The landscape plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area. The plant palette is predominantly comprised of plants with low to medium water use requirements, thereby minimizing irrigation needs while ensuring viability of the plants. An evapotranspiration management controller will be included in the design of the irrigation system to monitor weather conditions so that optimum moisture balance is achieved and the possibility of over-watering is reduced.

**MAINTENANCE RESPONSIBILITY**

Maintenance of the landscaping and irrigation system, including those areas within the public r.o.w., shall be the responsibility of the owner.

**PNM COORDINATION**

Coordination with PNM's new service delivery department shall be done regarding proposed tree locations and heights, sign locations and heights, and lighting heights in order to ensure sufficient safety clearances.

**UTILITY SCREENING**

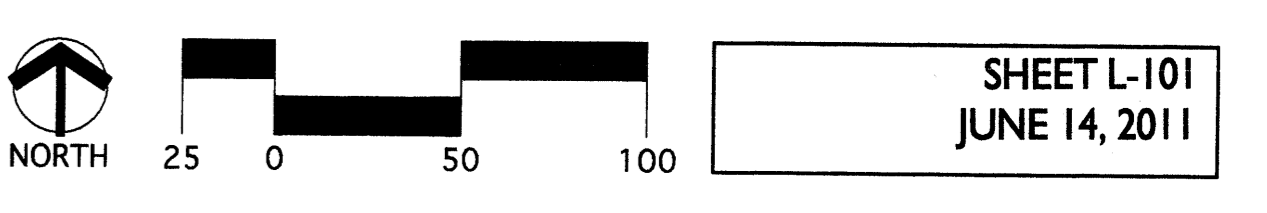
Screening will be designed to allow for access to electric utilities. Adequate clearance of ten feet in front and at least 5 feet on the remaining three sides surrounding all ground-mounted equipment for safe operation, maintenance and repair purposes shall be provided.



OWNER/DEVELOPER  
 WINROCK PARTNERS, LLC

PROJECT TEAM  
 ENGINEERING  
 HUITT-ZOLLARS  
 PLANNING/LANDSCAPE ARCHITECTURE  
 CONSENSUS PLANNING  
 SURROUNDINGS STUDIO  
 ARCHITECTURE  
 STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
**LANDSCAPE AREA CALCULATIONS**



SHEET L-101  
 JUNE 14, 2011





**SITE FURNITURE LEGEND**

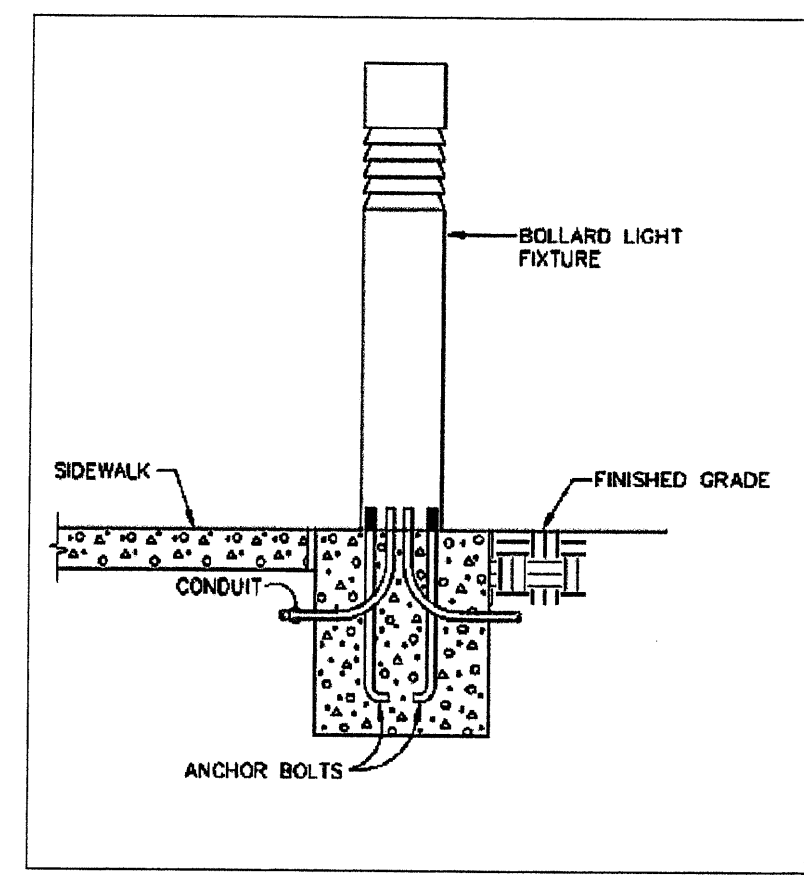
- (K) KIOSK
- (T) TRASH RECEPTACLE
- (B) BIKE RACKS
- (F) BENCH (FIXED)
- (C) CHAIRS (MOVABLE)
- (E) OUTDOOR EATING (MOVABLE)
- (S) OUTDOOR SHADED SEATING (MOVABLE)
- (P) POLE LIGHT - PEDESTRIAN SCALE APPROX. 12'-14'
- (L) BOLLARD LIGHT
- (D) DRINKING FOUNTAIN

**SITE KEY NOTES**

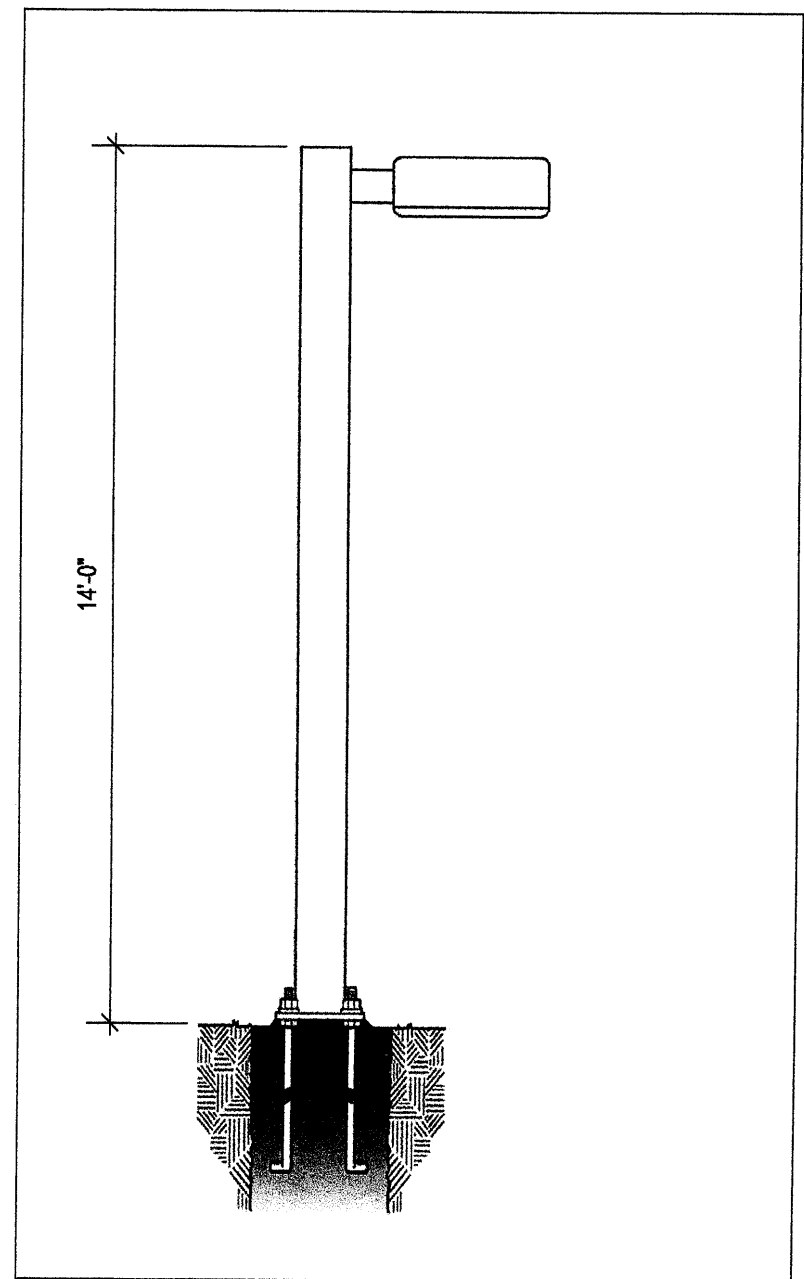
- 1 BUILT IN PLACE BANCO
- 2 BOLLARDS - REMOVABLE FOR FIRE ACCESS
- 3 BIKE RACKS
- 4 RAIN WATER HARVESTED STREAM AND POND FEATURE. DEMONSTRATION AREA FOR BMP.
- 5 FLOWER GARDEN

**AMENITIES PROVIDED**

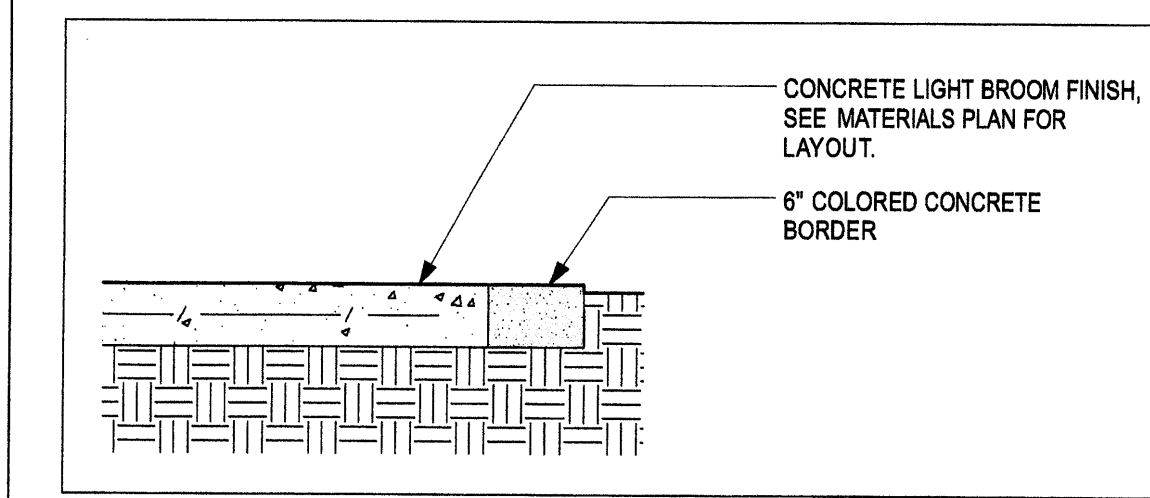
- LOW WATER USE WATER FEATURE
- OUTDOOR SEATING (ALL SEATING PROVIDED YEAR ROUND)
- BIKE RACKS
- DRINKING FOUNTAINS
- FLOWER GARDEN



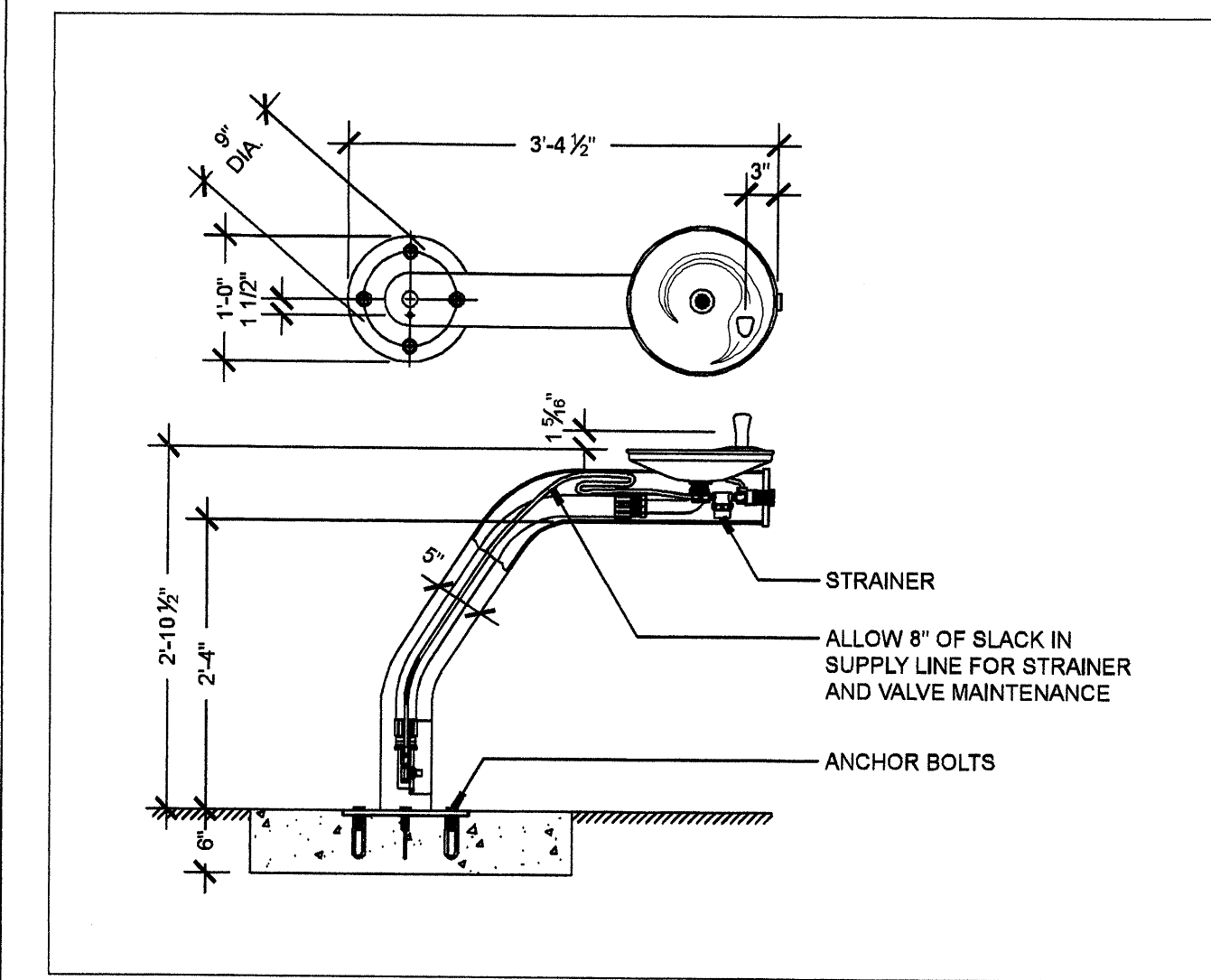
BOLLARD LIGHT DETAIL  
NOT TO SCALE



POLE LIGHT DETAIL  
NOT TO SCALE



WALKWAY COLORED EDGE DETAIL  
NOT TO SCALE



DRINKING FOUNTAIN DETAIL  
NOT TO SCALE

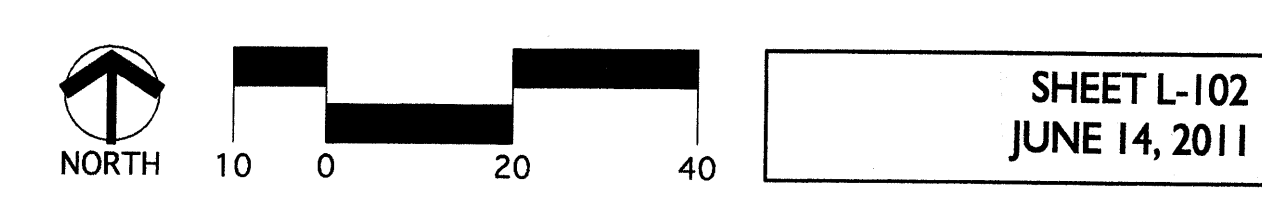
# Winrock

TOWN CENTER

OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

PROJECT TEAM  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
LANDSCAPE AMENITIES PLAN



SHEET L-102  
JUNE 14, 2011





**PLANT SYMBOLS: PARKING**

**TREES**

SYMBOL	ID	QTY	BOTANICAL NAME
ET	18	Evergreen Tree	
LST	47	Large Shade Tree	
SST	86	Small Shade Tree	
ST	89	Signature Tree	

**SHRUBS**

SYMBOL	ID	QTY	BOTANICAL NAME
s-L	288	Shrub Large	
s-S	402	Shrub Small	

**PERENNIALS / ACCENTS**

SYMBOL	ID	QTY	BOTANICAL NAME
p-l-L	276	Perennial/Accent Large	
p-l-S	347	Perennial/Accent Small	

**GRASSES**

SYMBOL	ID	QTY	BOTANICAL NAME
gr	309	Grasses	

**VINES**

SYMBOL	ID	QTY	BOTANICAL NAME
vi	35	Vines	



**PLANTING AND MATERIAL KEY NOTES**

- (A) PERVIOUS SURFACE (PLANTING BEDS) (TYPICAL)
- (B) IMPERVIOUS SURFACE (PAVING) (TYPICAL)
- (C) STREAM (SEE SHEET L-104)
- (D) POND (SEE SHEET L-104)
- (E) WATER FEATURE (SEE SHEET L-104)
- (F) RETAINING WALLS (SEE CIVIL)
- (G) EVERGREENS AND VINES ALONG THE EAST SIDE OF PHASE 1-A ARE FOR SCREENING AND BUFFERING

**PLANT COVERAGE AVERAGES**

Sym	Description	Average Coverage
Landscape Areas		
ET	Evergreen tree	150
LST	Large shade tree	0
SST	Small shade tree	0
ST	Signature tree	150
sL	Shrub-large	16
sS	Shrub-small	9
p/a L	Perennial/accents-large	9
p/a S	Perennial/accents-small	2.25
gr	Grasses	4
wp	Wetland plants	0
Developed areas		
AG	Acor grandidentatum	0
FN	Forestiera neo-mexicana	150
PA	Populus accuminata	0
PE	Pinus edulis	150
PW	Platanus wrightii	150
saM	Sambucus mexicana	0
SG	Salix gooddingii	150
VAC	Vitex agnus-castus	150
sL	Shrub-large	16
sS	Shrub-small	9
p/a L	Perennial/accents-large	9
p/a S	Perennial/accents-small	2.5
gr	Grasses	4
wp	Wetland plants	4
Turf area	SP per plan	
Native grass area	SP per plan	

**PLANT LIST: PARKING AREAS**

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>SIGNATURE TREES (15'-30' spread with noticeable flowering presence)</b>					
Chionoxia linearis 'Arl's Seedless'	Desert Willow 'Arl's Seedless'	20ft X 25ft	Per plan	Low+	2' Cal.
Koeleruteria paniculata	Golden Rain Tree	25ft X 25ft	Per plan	Med+	2' Cal.
Lagerströmia indica	Crape Myrtle	15ft X 15ft	Per plan	Med+	2' Cal.
Promus cerasifera 'Krauter Vesuvius'	Krauter Vesuvius Purple Leaf Plum	20ft X 15ft	Per plan	Med+	2' Cal.
Robinia ambigua	Purple Robe Locust	30ft X 30ft	Per plan	Med	2' Cal.
Vitex agnus-castus	Chaste Tree	20ft X 20ft	Per plan	Med	2' Cal.
<b>LARGE SHADE TREES (40'+ spread)</b>					
Fraxinus velutina 'Modesto'	Modesto Ash	40ft X 40ft	Per plan	Med+	2' Cal.
Gleditsia triacanthos nemris	Thornless Honey Locust	40ft X 40ft	Per plan	Med+	2' Cal.
Salix matsudana	Globe Willow	60ft X 50ft	Per plan	Med+	2' Cal.
Ulmus parviflora	Laobark Elm	40ft X 40ft	Per plan	Med+	2' Cal.
Zelkova serrata 'Green Vase'	Zelkova	60ft X 50ft	Per plan	Med	2' Cal.
<b>SMALL SHADE TREES (25'-40' spread)</b>					
Forestiera neomexicana	New Mexico Olive	15ft X 15ft	Per plan	Med+	2' Cal.
Quercus buckleyi	Texas Red Oak	30ft X 30ft	Per plan	Med	2' Cal.
Sambucus mexicana	Mexican Elder	20ft X 25ft	Per plan	Low	2' Cal.
Tilia cordata	Littles' Linden	40ft X 30ft	Per plan	Med	2' Cal.
<b>EVERGREEN TREES</b>					
Juniperus sp.	Junipers - female	varies	Per plan	Low+	6 ft. ht.
Pinus flexilis	Limber Pine	30ft X 20ft	Per plan	Med	6 ft. ht.
Thuja standishii x plicata 'G.G.'	Green Giant Arborvitae	50ft X 20ft	Per plan	Med	6 ft. ht.

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>LARGE SHRUBS/GROUNDCOVERS (4'+ spread)</b>					
Abelia grandiflora 'Ed. Goucher'	Glossy Abelia	4ft X 4ft	5 o.c.	Low+	1 Gal.
Amorpha fruticosa	Desert Raisin Indigo	3ft X 6ft	7 o.c.	Low	1 Gal.
Artemisia tridentata	Big Sage	7ft X 6ft	7 o.c.	Low	1 Gal.
Buddleia davidii 'Nanhoensis'	Butterfly Bush	3ft X 6ft	6 o.c.	Med	1 Gal.
Caesalpinia gilliesii	Bird of Paradise	17ft X 8ft	9 o.c.	Low	1 Gal.
Cercocarpus ledifolius	Curly-leaf Mountain Mahogany	15ft X 15ft	18 o.c.	Low+	1 Gal.
Cornus stolonifera	Redtwig Dogwood	3ft X 5ft	4 o.c.	Med+	1 Gal.
Cytisus x 'Lena'	Lena's Broom	4ft X 5ft	6 o.c.	Low+	1 Gal.
Ephedra species	Joint Fir	4ft X 4ft	5 o.c.	Low	1 Gal.
Fallugia parsonsia	Apache Plume	3ft X 5ft	6 o.c.	Low+	1 Gal.
Garrya wrightii	Wright's Silk-tassel	5ft X 5ft	6 o.c.	Low	1 Gal.
Mahonia aquifolium	Oregon Grape Holly	6ft X 6ft	7 o.c.	Med	1 Gal.
Mirabilis multiflora	Desert Four O'Clock	2ft X 5ft	6 o.c.	Low+	1 Gal.
Oenothera biennialis	Mexican Evening Primrose	1ft X 5ft	6 o.c.	Low+	1 Gal.
Perovskia atriplicifolia	Russian Sage	5ft X 5ft	6 o.c.	Low	1 Gal.
Rhus aromatica 'Smo-Low'	Prostrate Sumac	2ft X 6ft	7 o.c.	Low+	1 Gal.
Rosa woodii	Wood's Rose	4ft X 4ft	5 o.c.	Med	1 Gal.
Rosmarinus officinalis	Rosemary	4ft X 4ft	5 o.c.	Low+	1 Gal.
Viguiera californica	Arizona Rosewood	15ft X 12ft	11 o.c.	Low+	1 Gal.
<b>SMALL SHRUBS/GROUNDCOVERS (&lt;4' spread)</b>					
Arctostaphylos x coloradensis	Pancho Manzanita	10ft X 3ft	4 o.c.	Med	1 Gal.
Erysimum infolium 'Bowles Mauve'	Bowles Mauve Wallflower	2ft X 3ft	4 o.c.	Med	1 Gal.
Hymenocallis acutilis	Angelita Daisy	1ft X 1ft	1 o.c.	Low+	1 Gal.
Krascheninnikovia lanata	Winterfat	3ft X 3ft	4 o.c.	Low	1 Gal.
Lavandula angustifolia	English Lavender	3ft X 3ft	4 o.c.	Med	1 Gal.
Mentha spicata	Spearmint Bush	2ft X 3ft	4 o.c.	Med	1 Gal.
Nandina domestica 'Moon Bay'	Dwarf Heavenly Bamboo	2ft X 2ft	3 o.c.	Med	1 Gal.
Penstemon sp.	Penstemon	varies	varies	Low	1 Gal.
Salvia dorrii	Desert Purple Sage	2ft X 3ft	4 o.c.	Low+	1 Gal.
Solidago californica	Western Goldenrod	2ft X 3ft	4 o.c.	Low	1 Gal.
Teucrium chamaedrys	Trailing Germander	1ft X 2ft	3 o.c.	Low	1 Gal.

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>LARGE DESERT ACCENTS/ORNAMENTAL GRASSES (4'+ spread)</b>					
Agave harvardiana	Harvard's Century Plant	4ft X 4ft	5 o.c.	Low	1 Gal.
Opuntia ellisiana/cacanapa	Spineless Prickly Pear	4ft X 5ft	6 o.c.	Low	1 Gal.
<b>SMALL DESERT ACCENTS/ORNAMENTAL GRASSES (&lt;4' spread)</b>					
Agave neomexicana	NI/Mexical Agave	2ft X 2ft	3 o.c.	Low+	1 Gal.
Aristida longistylis/purpurea	Purple Threeawn	2ft X 2ft	3 o.c.	Low+	1 Gal.
Calamagrostis x acutiflora 'K.F.'	Karl Forester Reed Grass	3ft X 2ft	3 o.c.	Med	1 Gal.
Echinocereus sp.	Hedgehog Cactus	2ft X 3ft	4 o.c.	Low	1 Gal.
Helictotrichon sempervirens	Blue Arena Grass	2ft X 3ft	4 o.c.	Med	1 Gal.
Hesperaloe parviflora 'BrakeLightz'	Red Flowering Yucca	2ft X 2ft	3 o.c.	Low+	1 Gal.
Muhlenbergia capillaris 'Regal Mist'	Regal Mist Muhly Grass	3ft X 3ft	4 o.c.	Med	1 Gal.
Opuntia macrocoera	Purple Prickly Pear	3ft X 3ft	4 o.c.	Low	1 Gal.
Oryzopsis hymenoides	Indian Rice Grass	2ft X 2ft	3 o.c.	Low	1 Gal.
Yucca glauca	Soopwood Yucca	3ft X 3ft	3 o.c.	Low	1 Gal.

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>VINES</b>					
Campsis radicans	Trompet Vine	4ft spr	15 o.c.	Med	1 Gal.
Celastrum sempervirens	Carolina Jessamine	10' spr	11 o.c.	Med	1 Gal.
Lonicera japonica halliana	Hall's Honeysuckle	12' spr	21 o.c.	Med	1 Gal.
Rosa banksiae	Lady Banksia Rose	20' spr	21 o.c.	Med	1 Gal.



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STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
LANDSCAPE PARKING PLAN





**PLANT SYMBOLS: PLAZA + PASEOS**

**TREES**

SYMBOL	ID	QTY	BOTANICAL NAME	COMMON NAME
AG	7	Acer grandidentatum	Big Tooth Maple	
FN	10	Forestiera neomexicana	New Mexico Olive	
PA	2	Populus acuminata	Mountain Cottonwood	
PE	5	Pinus edulis	Pinon Pine	
PW	6	Platanus wrightii	Arizona Sycamore	
saM	18	Sambucus mexicana	Mexican Elder	
SG	2	Salix goodingii	Gooding's Willow	
VAC	1	Vitex agnus-castus	Chaste Tree	

**SHRUBS**

SYMBOL	ID	QTY	BOTANICAL NAME
sL	95	Shrub Large	
sS	18	Shrub Small	

**PERENNIALS / ACCENTS**

SYMBOL	ID	QTY	BOTANICAL NAME
plA	150	Perennial/Accent Large	
plS	137	Perennial/Accent Small	

**GRASSES**

SYMBOL	ID	QTY	BOTANICAL NAME
gr	1462	Grasses	

**WETLAND PLANTS**

SYMBOL	ID	QTY	BOTANICAL NAME
wp	114	Wetland Plants	

**SYNTHETIC TURF**

**PLANTING AND MATERIAL KEY NOTES**

- (A) PERVIOUS SURFACE (PLANTING BEDS) (TYPICAL)
- (B) IMPERVIOUS SURFACE (PAVING) (TYPICAL)
- (C) STREAM
- (D) POND
- (E) WATER FEATURE
- (F) DRIVABLE PLANTER AREAS TO MAINTAIN EMERGENCY VEHICLE ACCESS

**PLANT COVERAGE AVERAGES**

Sym	Description	Average Coverage
<b>Landscape Areas</b>		
ET	Evergreen tree	150
LST	Large shade tree	0
SST	Small shade tree	0
ST	Signature tree	150
sL	Shrub-large	16
sS	Shrub-small	9
p/a L	Perennial/accents-large	9
p/a S	Perennial/accents-small	2.25
gr	Grasses	4
wp	Wetland plants	0
<b>Developed areas</b>		
AG	Acer grandidentatum	0
FN	Forestiera neo-mexicana	150
PA	Populus acuminata	150
PE	Pinus edulis	150
PW	Platanus wrightii	150
saM	Sambucus mexicana	0
SG	Salix goodingii	0
VAC	Vitex agnus-castus	150
sL	Shrub-large	16
sS	Shrub-small	9
p/a L	Perennial/accents-large	9
p/a S	Perennial/accents-small	2.5
gr	Grasses	4
wp	Wetland plants	4
Turf area SF per plan		
Native grass area SF per plan		

**PLANT LIST: PLAZA + PASEO AREAS**

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>SIGNATURE TREES (15'-30' spread with noticeable flowering presence)</b>					
Chionopsis linearis	Desert Willow	15'ht x 15'spr	Per plan	Low	2' Cal.
Vitex agnus-castus	Chaste Tree	15'ht x 15'spr	Per plan	Med	2' Cal.
<b>LARGE/SMALL SHADE TREES (24'-40'+)</b>					
Acer grandidentatum	Big Tooth Maple	25'ht x 30'spr	Per plan	Med+	2' Cal.
Forestiera neomexicana	New Mexico Olive	15'ht x 10'spr	Per plan	Med+	2' Cal.
Ficus velutina 'Moderata'	Moderata Ash	30'ht x 30'spr	Per plan	Med+	2' Cal.
Platanus wrightii	Arizona Sycamore	30'ht x 30'spr	Per plan	Med+	2' Cal.
Populus acuminata	Mountain Cottonwood	40'ht x 30'spr	Per plan	High	2' Cal.
Salix goodingii	Gooding's Willow	30'ht x 30'spr	Per plan	High	2' Cal.
Sambucus mexicana	Mexican Elder	20'ht x 20'spr	Per plan	Med	2' Cal.
<b>EVERGREEN TREES</b>					
Juniperus sp.	Junipers - female	varies	Per plan	Low+	6 ft. ht.
Pinus edulis	Pinon Pine	15'ht x 15'spr	Per plan	Low+	6 ft. ht.

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>Large Shrubs (4'+ spread)</b>					
Atriplex canescens	Saltbush	4'ht x 4'spr	4' o.c.	Low+	1 Gal.
Felluga parviflora	Apache Plume	5'ht x 5'spr	6' o.c.	Low	1 Gal.
Lythrum pallidum	Pink Wolfberry	4'ht x 4'spr	4' o.c.	Low	1 Gal.
Mahonia aquifolium	Oregon Grape Holly	6'ht x 6'spr	7' o.c.	Med	1 Gal.
Mahonia fremontii	Desert Holly	5'ht x 6'spr	5' o.c.	Med	1 Gal.
Mirabilis multiflora	Desert Four O'Clock	2'ht x 5'spr	6' o.c.	Low+	1 Gal.
Oenothera bielschoderi	Mexican Evening Primrose	1'ht x 5'spr	6' o.c.	Low	1 Gal.
Perovskia atriplicifolia	Russian Sage	5'ht x 5'spr	6' o.c.	Low+	1 Gal.
Rhus aromatica 'Gro-Low'	Prostrata Sumac	2'ht x 6'spr	5' o.c.	Low+	1 Gal.
Salix exigua	Coyote Willow	5'ht x 4'spr	5' o.c.	Med	1 Gal.
Vauquelinia californica	Arizona Rosewood	15'ht x 10'spr	8' o.c.	Med	1 Gal.
<b>Small Shrubs (&lt;4' spread)</b>					
Arctostaphylos uva-ursi	Panchito Manzanita	10'ht x 3'spr	4' o.c.	Med	1 Gal.
Cercocarpus intricata	Little-leaf Mountain Mahogany	3'ht x 3'spr	3' o.c.	Med	1 Gal.
Chrysothamnus nauseosus	Dwarf Blue Rabbitbrush	2'ht x 3'spr	3' o.c.	Low	1 Gal.
Crataegus torreyana	Wineberry	3'ht x 2'spr	3' o.c.	Low	1 Gal.
Mahonia repens	Creeping Oregon Grape Holly	2'ht x 4'spr	3' o.c.	Med	1 Gal.
Salvia dorii	Desert Purple Sage	2'ht x 3'spr	3' o.c.	Low	1 Gal.

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>Perennials (&lt;2' spread)</b>					
Aquilegia chrysantha	Golden spurred columbine	2'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Anemopsis californica	Yerba Mansa	1.5'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Asclepias speciosa	Showy Milkweed	2'ht x 2'spr	2' o.c.	Med	1 Gal.
Basilvia multicaulis	Desert Margold	1.5'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Chocomaia flower	Chocomaia	2'ht x 1.5'spr	2' o.c.	Med	1 Gal.
Berlandiera lyrata	Rocky Mt. Beesplant	1.5'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Cleome serrulata	Indian Blanketflower	1.5'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Gaillardia puchellia	Blue flag	2'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Iris missouriensis	Iris	1.5'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Iris versicolor	Liatris	1.5'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Liatris punctata	Blue Flag	1.5'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Linum lewisii	Cardinal flower	2'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Lobelia cardinalis	Big blue lobelia	2'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Lobelia siphilitica	Red monkey flower	1.5'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Macrorhynchus taracetifolia	Red monkey flower	1.5'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Mimulus guttatus	Yellow monkey flower	1.5'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Mimulus lewisii	Red monkey flower	1.5'ht x 1.5'spr	2' o.c.	Med+	1 Gal.
Oenothera macrocarpa	Mexican Primrose	2'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Oenothera pallida	Pale Evening Primrose	2'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Penstemon ambiguus	Penstemon	2'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Penstemon barbatus	Penstemon	2'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Penstemon janssii	Penstemon	2'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Penstemon pinifolius	Penstemon	2'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Penstemon tagetina	Woolly Paperflower	1.5'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Ratibida tagetina	Mexican hat	1.5'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Rumex hymenosepalus	Sand Dock	2.5'ht x 2'spr	2' o.c.	Med	1 Gal.
Senecio fleccidus	Threaded Groundsel	1.5'ht x 1.5'spr	2' o.c.	Med	1 Gal.
Solidago rugosa 'Fireworks'	Fireworks Goldenrod	3'ht x 2'spr	2' o.c.	Med	1 Gal.
Solidago angustifolia	Globeamallow	2'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Verbascum thapsus	Hoop Nettle	3'ht x 1.5'spr	2' o.c.	Low	1 Gal.

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>Accents (4'+ spread)</b>					
Agave neomexicana	NY/Mescal Yucca	2'ht x 2'spr	3' o.c.	Low	1 Gal.
Hesperaloe parviflora 'Brakelights'	Red Flowering Yucca	2'ht x 2'spr	3' o.c.	Low	1 Gal.
Nothola texana	Beargrass	4'ht x 4'spr	4' o.c.	Low	1 Gal.
Yucca glauca	Sage Yucca	3'ht x 3'spr	3' o.c.	Low	1 Gal.

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>Grasses</b>					
Aristida longistata/purpurascens	Purple Three Awm	2'ht x 2'spr	2' o.c.	Low	1 Gal.
Bouteloua curtipendula	Sideoats Grama	1.5'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Bouteloua gracilis	Blue Grama	1.5'ht x 1.5'spr	2' o.c.	Med	1 Gal.
Calamagrostis x acutiflora 'K.F.'	Karl Foerster Reed Grass	3'ht x 2'spr	2' o.c.	Med	1 Gal.
Elytrigia elongata 'Jesse select'	Jesse Select Tall Wheatgrass	4.5'ht x 1.5'spr	2' o.c.	Med	1 Gal.
Elytrigia elongata	Blue Avena Grass	2'ht x 1'spr	2' o.c.	Med	1 Gal.
Hilaria jamesii	Galleta	1.5'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Muhlenbergia capillaris	Crested chrysanthemum	2'ht x 2'spr	2' o.c.	Low	1 Gal.
Muhlenbergia capillaris 'Regal Mist'	Regal Mist Multy Grass	3'ht x 3'spr	3' o.c.	Low	1 Gal.
Oryzopsis hymenoides	Indian Ricegrass	2'ht x 1.5'spr	2' o.c.	Low	1 Gal.
Sporobolus wrightii	Giant Suction	3'ht x 1.5'spr	4' o.c.	Med	1 Gal.

Botanic Name	Common Name	Mature Size	Spacing	Water Use	Installed Size
<b>Wetland Plants / Limited use to bosque pond and stream demonstration zone</b>					
Acidopsis incarnata	Swamp milkweed	1.5'ht x 1.5'spr	2' o.c.	High**	1 Gal.
Berula erecta	Water parsnip	3'ht x 2'spr	2' o.c.	High**	1 Gal.
Carex emoryi	Emory's sedge	2'ht x 1.5'spr	2' o.c.	High**	1 Gal.
Carex hystrix	Cloudberry sedge	2'ht x 1.5'spr	2' o.c.	High**	1 Gal.
Carex nebrascensis	Nebraska sedge	3'ht x 2'spr	2' o.c.	High**	1 Gal.
Carex praegracilis	Cloudberry sedge	2'ht x 1.5'spr	2' o.c.	High**	1 Gal.
Carex scoparia	Pointed broom sedge	2'ht x 1.5'spr	2' o.c.	High**	1 Gal.
Deschampsia cespitosa	Tufted hair grass	3'ht x 2'spr	2' o.c.	High**	1 Gal.
Eleocharis parviflora	Desert spikerush	1.5'ht x 1.5'spr	2' o.c.	High**	1 Gal.
Eleocharis palustris	Creeping spikerush	1.5'ht x 1.5'spr	2' o.c.	High**	1 Gal.
Juncus balticus	Baltic rush	3'ht x 2'spr	2' o.c.	High**	1 Gal.
Juncus torreyi	Torrey's rush	3'ht x 2'spr	2' o.c.	High**	1 Gal.
Nasutarius officinalis	Watercress	4'ht x 3'spr	N/A	High**	1 Gal.
Sagittaria latifolia	Arrowhead	2'ht x 2'spr	2' o.c.	High**	1 Gal.
Siriphus pallidus	Clay-colored bulrush	5'ht x 2'spr	3' o.c.	High**	1 Gal.
Siriphus pungens	Common three square	5'ht x 2'spr	3' o.c.	High**	1 Gal.
Siriphus validus	Softstem bulrush	9'ht x 3'spr	5' o.c.	High**	1 Gal.

NOTE:  
\*\* Used only in bosque and stream demonstration zone

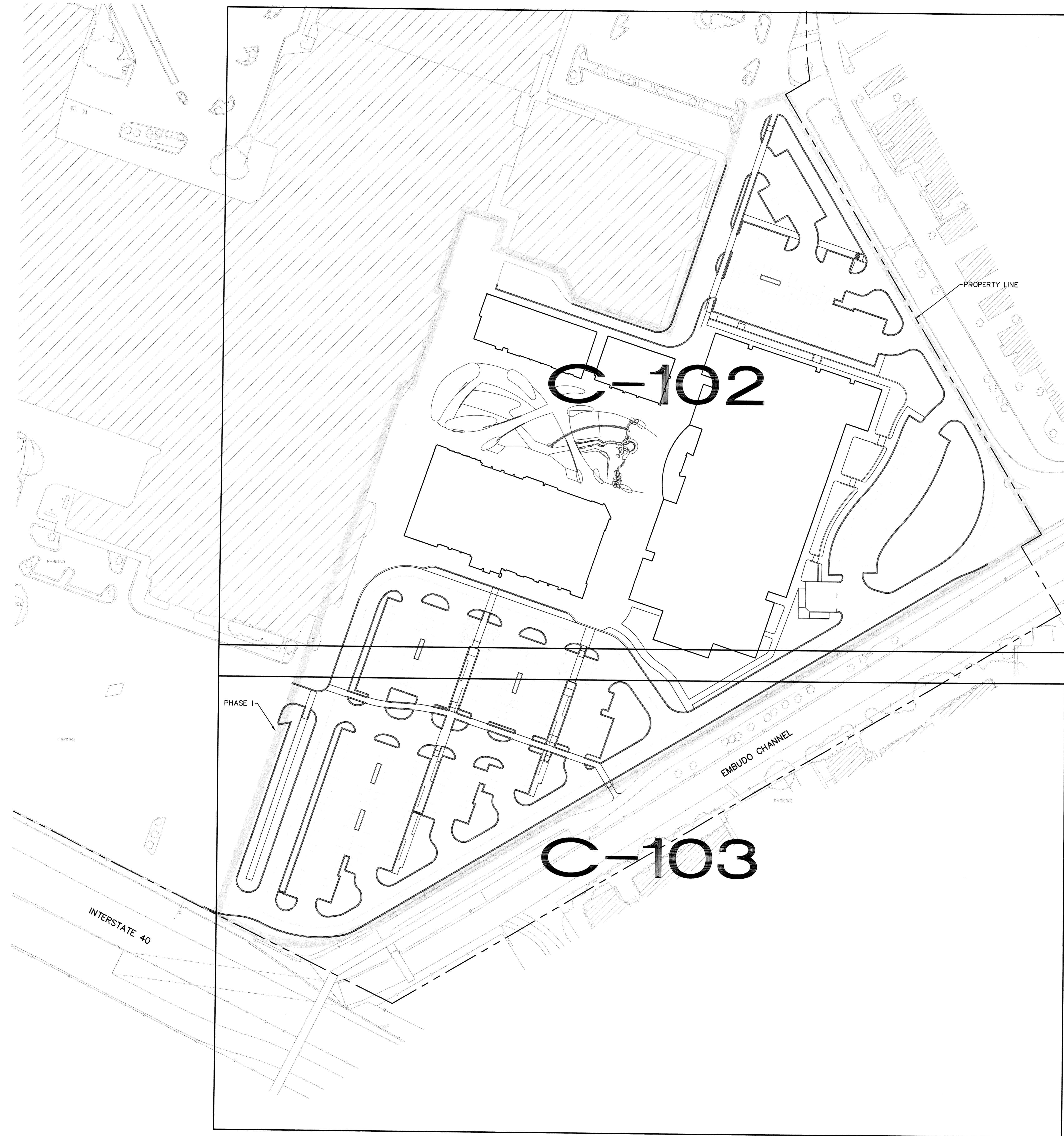


OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

PROJECT TEAM  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
LANDSCAPE PLAZA + PASEO PLAN





- LEGEND
- EXISTING BUILDING
  - PROPOSED NEW BUILDING OUTLINE
  - PROPOSED CURB AND GUTTER
  - EXISTING CURB AND GUTTER
  - PROPERTY LINE
  - PHASE LINE

**GRADING NARRATIVE**

The existing topography within the proposed phase 1 boundary generally slopes from the east to west toward the existing building. Storm water is collected into two separate sump inlets, one just south of the Sports Authority Building and the second just east of the current Bed, Bath and Beyond Building. The southern portion of phase 1 will surface flow to the ring road and to the west to an existing inlet outside of the phase 1 boundary.

The proposed topography will not significantly change the current drainage patterns within the phase 1 boundary. The proposed topography will generally drain from east to west. Storm water is collected in several different proposed sump inlet locations. There are 7 proposed sump inlets directly east of the proposed theatre. There are 2 proposed sump inlets northwest of the theatre. There are 2 proposed inlets southwest of the theatre. The existing sump inlet outside the phase 1 boundary (discussed above) will continue to be utilized with phase 1.

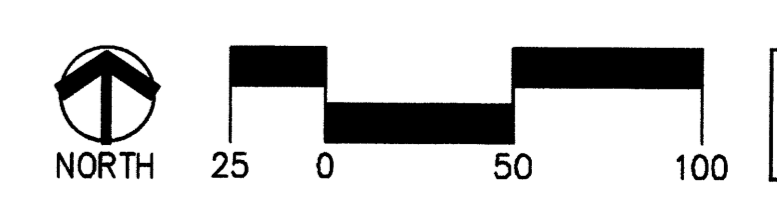
The proposed topography within 100 feet of the site will not be altered as the proposed elevations match existing elevations along the phase 1 boundary.



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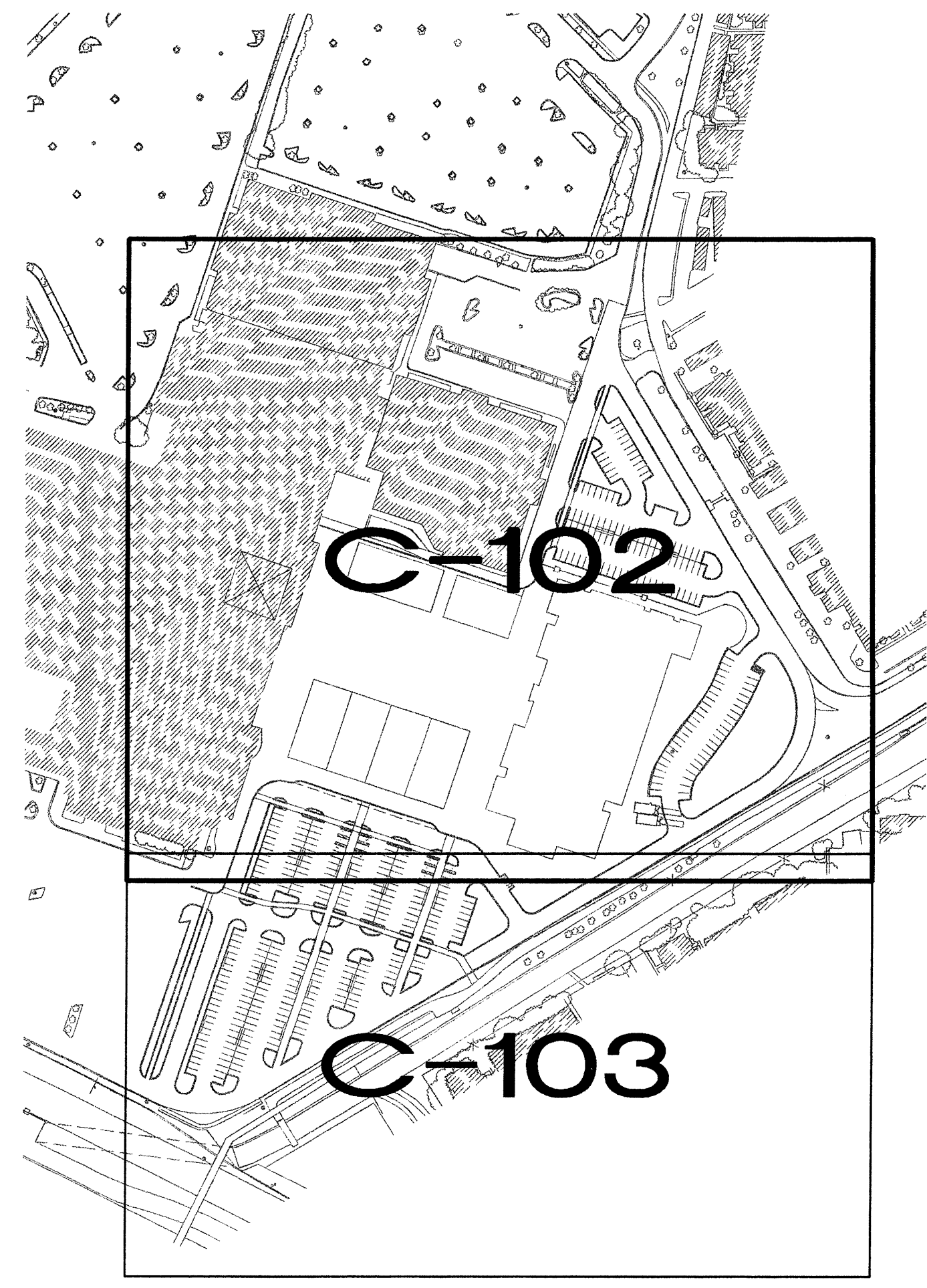
PROJECT TEAM  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
GRADING INDEX SHEET



SHEET C-101  
JUNE 14, 2011





ADA COMPLIANT RAMPS FOLLOW  
C.O.A. STANDARD DETAIL 2440

- LEGEND
- EXISTING BUILDING
  - PROPOSED NEW BUILDING OUTLINE
  - PROPOSED CURB AND GUTTER
  - EXISTING CURB AND GUTTER
  - PROPERTY LINE
  - PHASE LINE

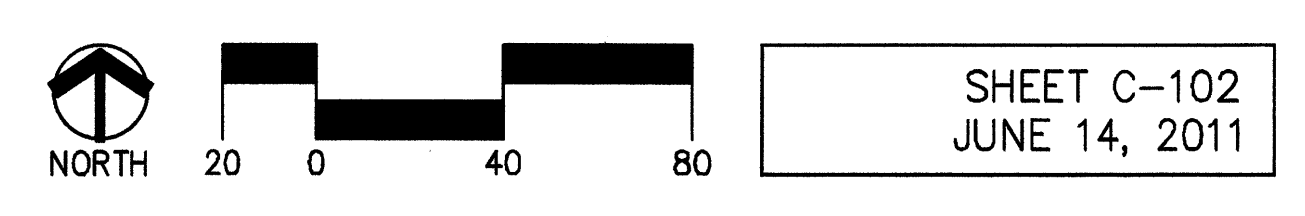
# Winrock

TOWN CENTER

OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

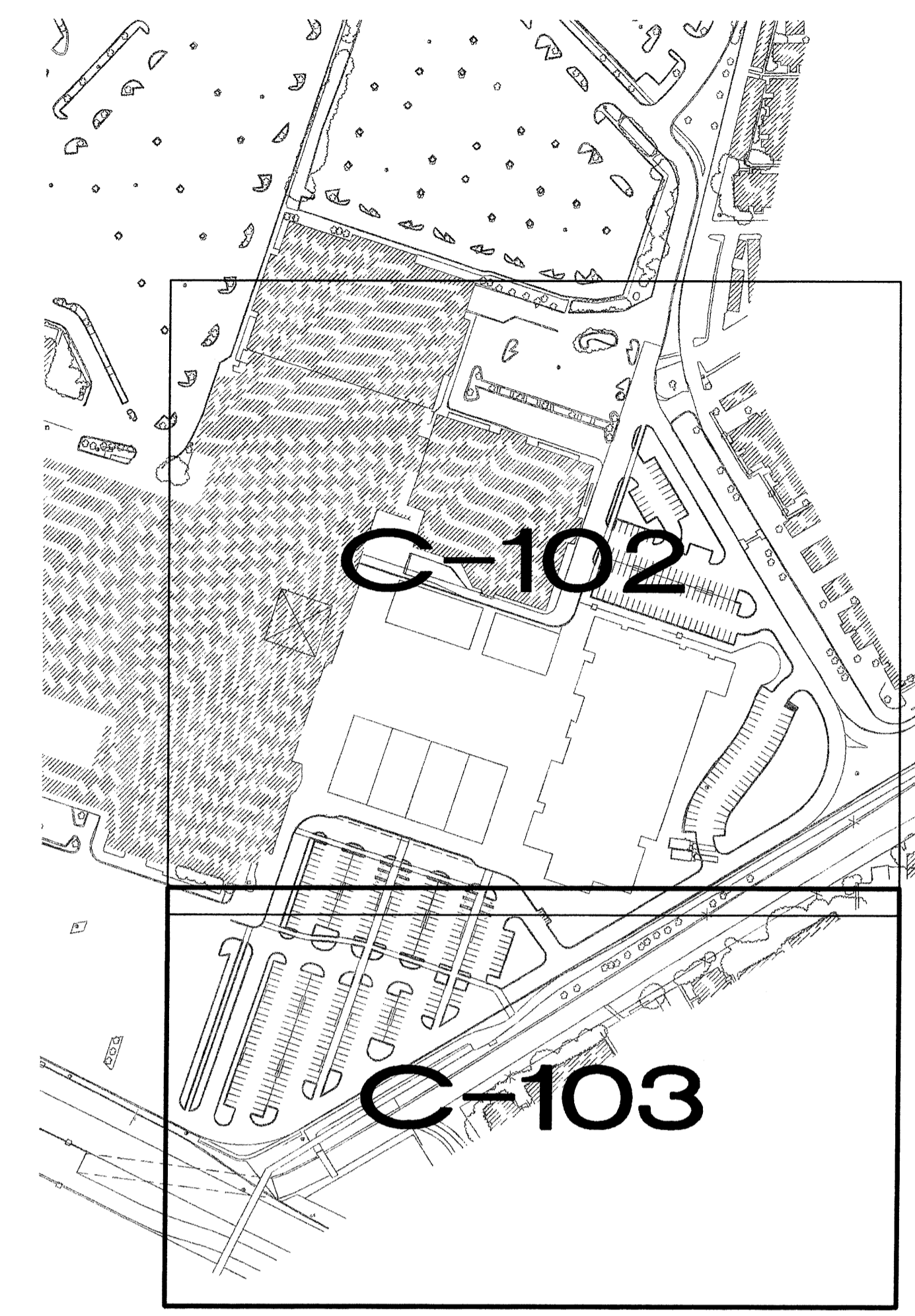
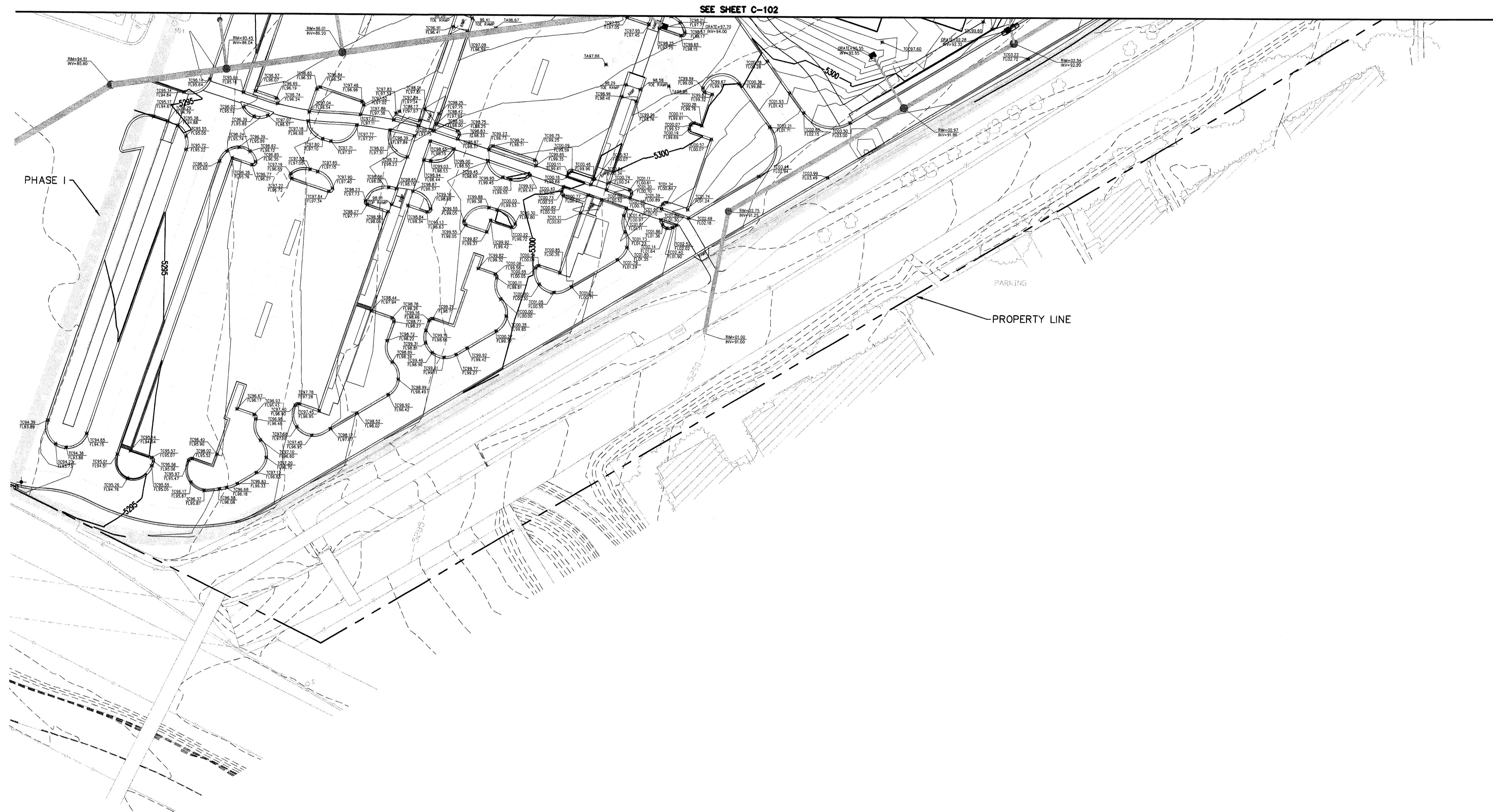
PROJECT TEAM  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
GRADING PLAN



SHEET C-102  
JUNE 14, 2011





ADA COMPLIANT RAMPS FOLLOW  
C.O.A. STANDARD DETAIL 2440

- LEGEND
- EXISTING BUILDING
  - PROPOSED NEW BUILDING OUTLINE
  - PROPOSED CURB AND GUTTER
  - EXISTING CURB AND GUTTER
  - PROPERTY LINE
  - PHASE LINE

# Winrock

TOWN CENTER

OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

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HUITT-ZOLLARS  
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CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
GRADING PLAN





# Winrock

TOWN CENTER

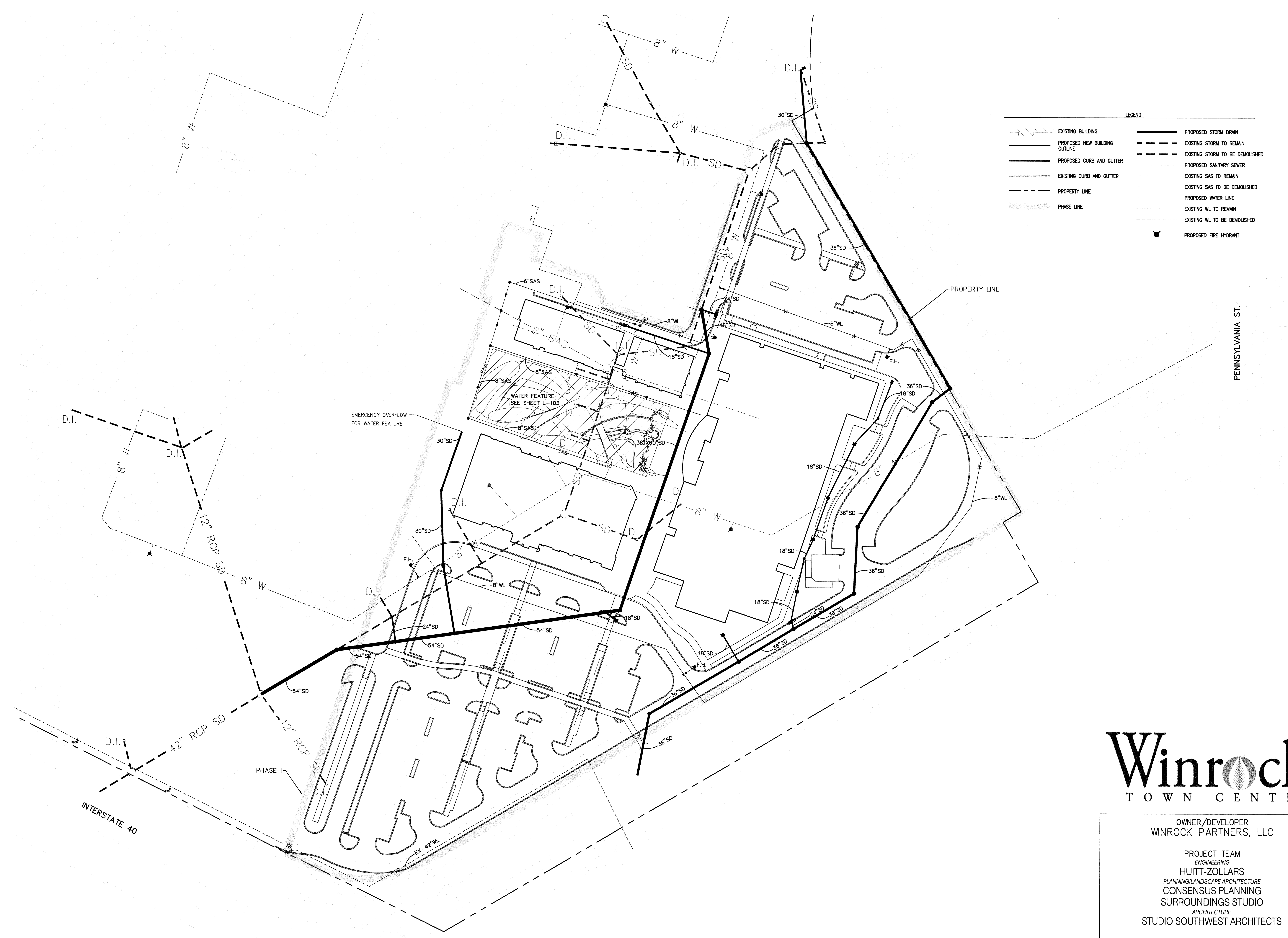
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WINROCK PARTNERS, LLC

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ENGINEERING  
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PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
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ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
CUT/FILL PLAN

LEGEND	
	DAYLIGHT CONTOUR
	MINOR CONTOUR - CUT
	MAJOR CONTOUR - CUT
	MINOR CONTOUR - FILL
	10' GRID ELEVATION - CUT
	10' GRID ELEVATION - FILL
	EXISTING BUILDING
	PROPOSED NEW BUILDING OUTLINE
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPERTY LINE
	PHASE LINE





LEGEND

	EXISTING BUILDING		PROPOSED STORM DRAIN
	PROPOSED NEW BUILDING OUTLINE		EXISTING STORM TO REMAIN
	PROPOSED CURB AND GUTTER		EXISTING STORM TO BE DEMOLISHED
	EXISTING CURB AND GUTTER		PROPOSED SANITARY SEWER
	PROPERTY LINE		EXISTING SAS TO REMAIN
	PHASE LINE		EXISTING SAS TO BE DEMOLISHED
			PROPOSED WATER LINE
			EXISTING WL TO REMAIN
			EXISTING WL TO BE DEMOLISHED
			PROPOSED FIRE HYDRANT

# Winrock

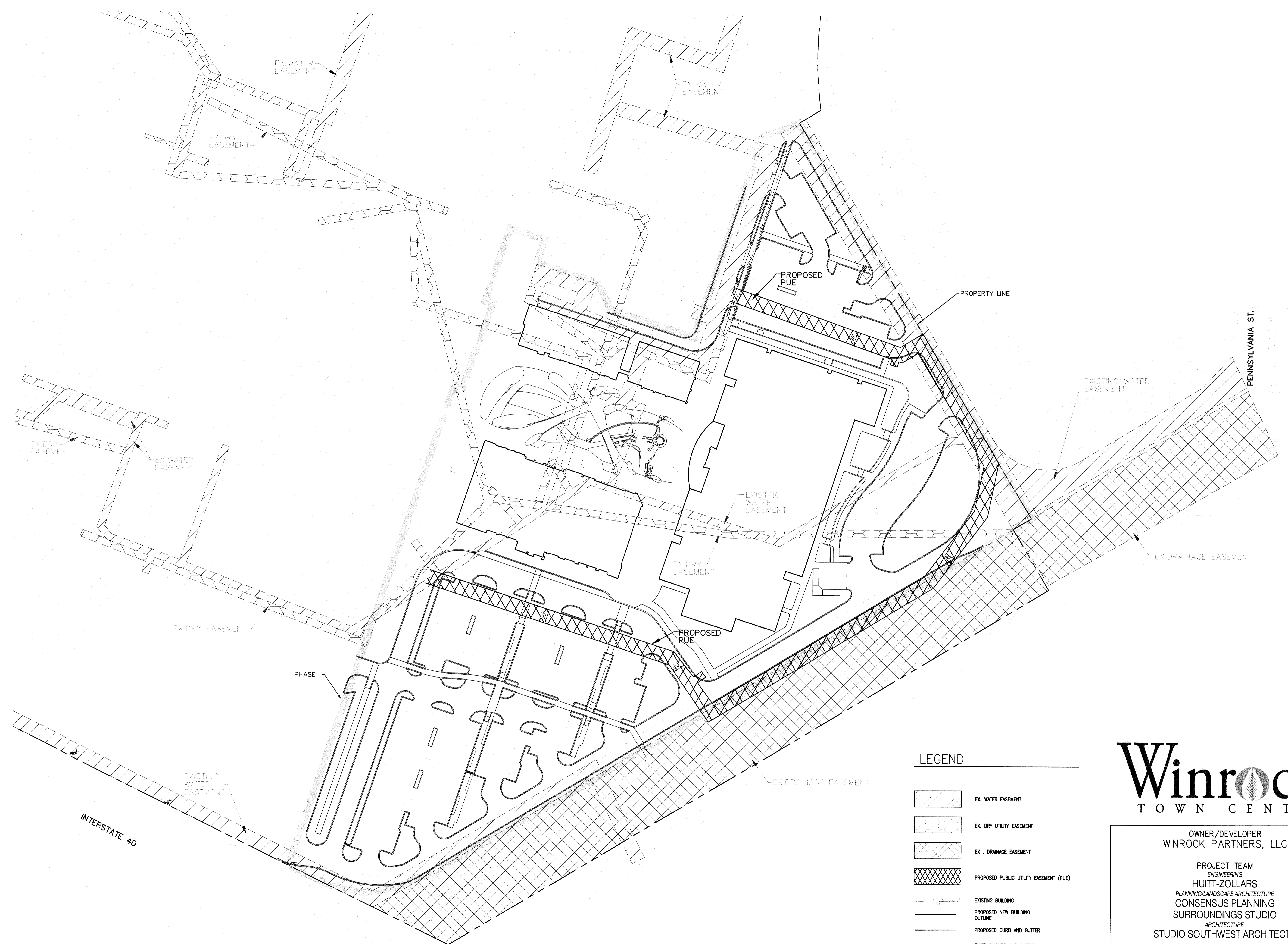
TOWN CENTER

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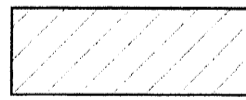
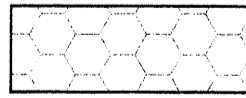








PROJECT TEAM  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
UTILITY OVERALL





**LEGEND**

-  EX. WATER EASEMENT
-  EX. DRY UTILITY EASEMENT
-  EX. DRAINAGE EASEMENT
-  PROPOSED PUBLIC UTILITY EASEMENT (PUE)
-  EXISTING BUILDING
-  PROPOSED NEW BUILDING OUTLINE
-  PROPOSED CURB AND GUTTER
-  EXISTING CURB AND GUTTER
-  PROPERTY LINE
-  PHASE LINE

**NOTE**  
ALL EXISTING EASEMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE VACATED.

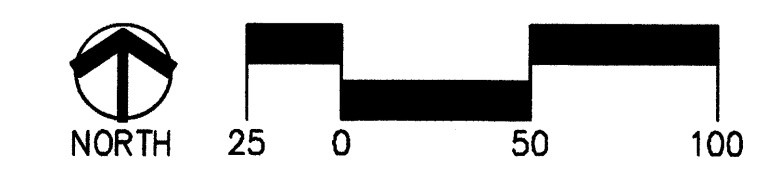
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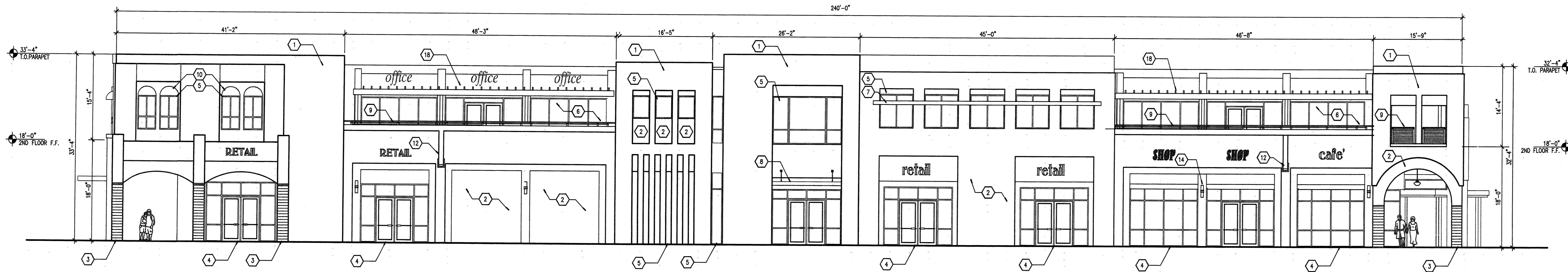
PROJECT TEAM  
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SURROUNDINGS STUDIO  
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SITE DEVELOPMENT PLAN BUILDING PERMIT  
EXISTING/PROPOSED EASEMENTS

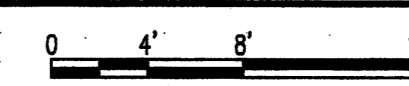


SHEET C-106  
JUNE 14, 2011

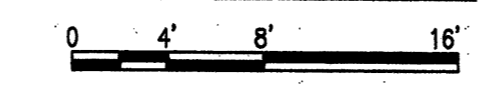




**C1** SOUTH BUILDING – SOUTH ELEVATION  
1/8" = 1'-0"



**A1** SOUTH BUILDING – WEST ELEVATION  
1/8" = 1'-0"



**GENERAL NOTES**

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- B. ENTRY STOREFRONTS TO THE BUILDING MAY BE MODIFIED TO ACCOMMODATE SPECIFIC NEEDS OF FUTURE TENANTS. THESE STOREFRONTS ARE TO MAINTAIN THE OVERALL DESIGN INTENT OF THE BUILDING AS SHOWN AND MUST BE COMPATIBLE WITH THE BUILDING FACADES IN TERMS OF QUALITY OF MATERIALS AND SYSTEMS.
- C. BUILDING SIGNAGE AS SHOWN IS FOR ILLUSTRATIVE PURPOSES AND MAY CHANGE TO MEET FUTURE TENANT REQUIREMENTS.
- D. THE TOP OF ALL MECHANICAL EQUIPMENT FOR ALL NEW BUILDINGS WILL BE LOWER THAN THE LOWEST BUILDING PARAPET HEIGHT AS MEASURED BY A HORIZONTAL LINE.
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- F. WHEN KEYNOTES REFER TO 'FIELD COLORS', THESE MAY INCLUDE - TAN, BEIGE, LIGHT BROWN, OFF-WHITE, LIGHT GREEN, LIGHT YELLOW, WARM GREY.
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- H. EXTERIOR WALL TILE WILL BE A SOLID COLOR AND PATTERN AND SHALL COMPLEMENT BUILDING 'FIELD COLORS'. THE HEIGHT AND LIMITS OF WALL TALL MAY VARY IN FINAL DESIGN.
- J. SIGNAGE SHOWN ON BUILDING ELEVATIONS IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS POTENTIAL LOCATIONS OF FUTURE BUILDING SIGNS. SIGNAGE LOCATION, SIZE, STYLE AND NAMES ARE SUBJECT TO CHANGE BASED ON TENANT REQUIREMENTS. ALL SIGNS SHALL COMPLY WITH 'UPTOWN SECTOR DEVELOPMENT PLAN' REGULATIONS.
- K. ALL MECHANICAL AREAS, TRASH RECEPTACLES, LOADING DOCKS & PUBLIC UTILITY STRUCTURES TO BE PROPERLY SCREENED.

**SHEET KEYED NOTES**

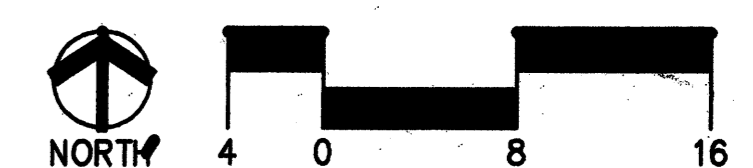
- 1. STUCCO/EIPS FINISH WITH LIGHT SAND TEXTURE & 'FIELD' COLOR
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- 3. EXTERIOR WALL TILE
- 4. STOREFRONT GLAZING W/ ALUMINUM FRAMES
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- 11. ALUMINUM FRAME DOOR(S) W/ FULL LITE
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- 13. DECORATIVE 'NICHIO' DETAIL
- 14. DECORATIVE SCENCE
- 15. RETRACTABLE MULTI-LITE BAY DOOR
- 16. STUCCO/EIPS EXPANSION JOINT
- 17. METAL DOOR, PAINT TO MATCH ADJACENT FIELD COLOR
- 18. METAL SUNSHADE TRELLIS
- 19. SPLIT FACE CMU BLOCK WITH INTEGRAL COLOR TO MATCH BUILDING 'FIELD' COLOR
- 20. SMOOTH FACE CMU BLOCK TO MATCH BUILDING 'ACCENT' COLOR
- 21. METAL PIPE HANDRAIL, PAINT TO MATCH BUILDING 'FIELD' COLOR
- 22. CUSTOM METAL GATES WITH TUBE STEEL FRAME AND PERFORATED METAL PANELS (20% OPEN)

**Winrock**  
TOWN CENTER

OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

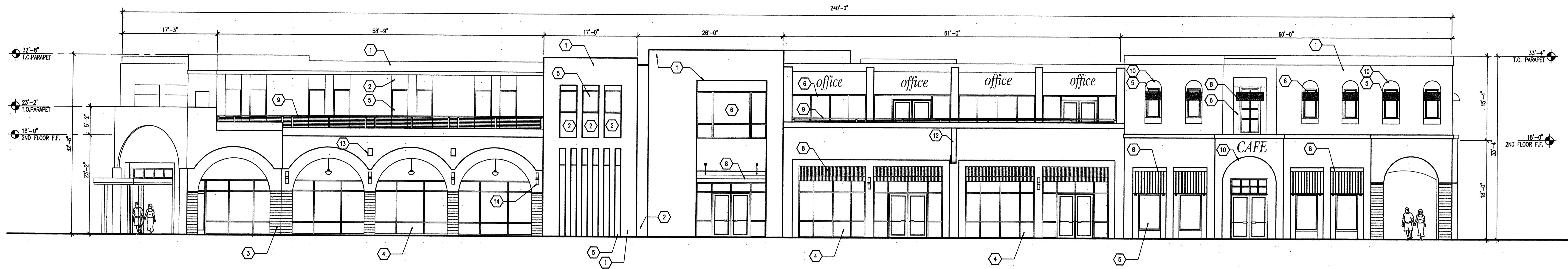
PROJECT TEAM  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
EXTERIOR ELEVATIONS

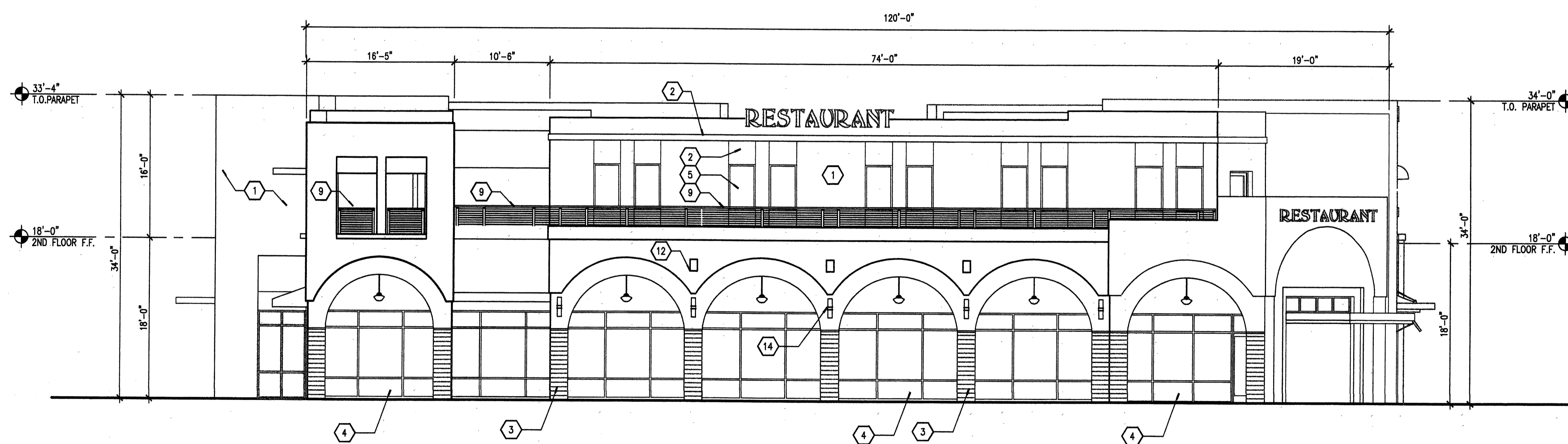


SHEET A-101  
JUNE 14, 2011





**C1** SOUTH BUILDING – NORTH ELEVATION  
1/8" = 1'-0"



**A1** SOUTH BUILDING – EAST ELEVATION  
1/8" = 1'-0"

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**SHEET KEYED NOTES**

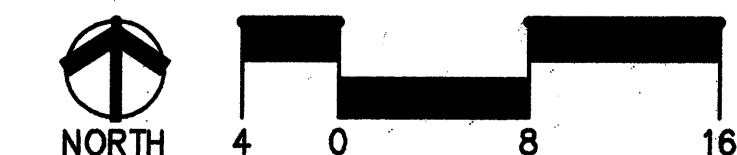
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**Winrock**  
TOWN CENTER

OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

PROJECT TEAM  
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HUITT-ZOLLARS  
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SITE DEVELOPMENT PLAN BUILDING PERMIT  
EXTERIOR ELEVATIONS

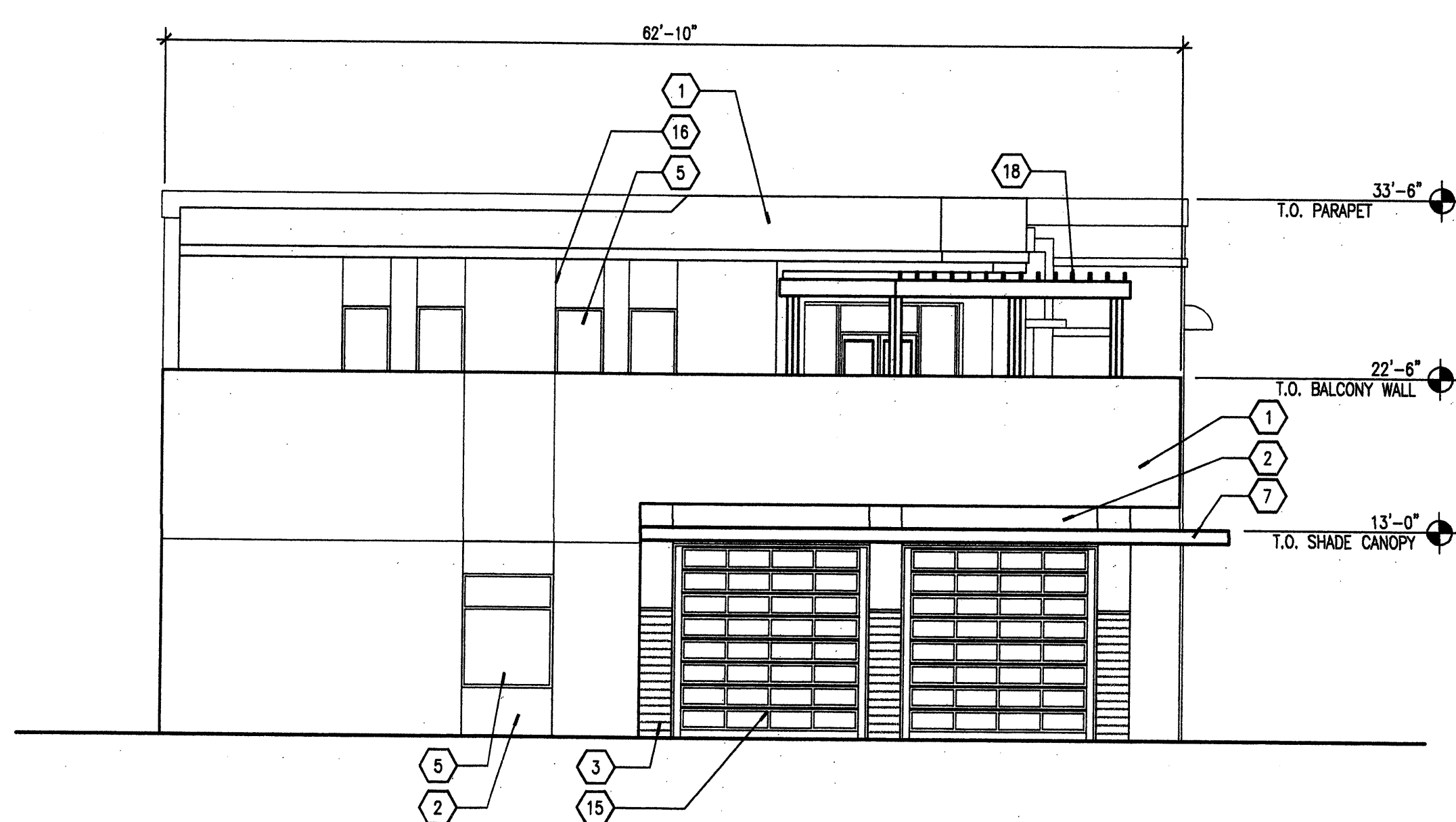


SHEET A-102  
JUNE 14, 2011

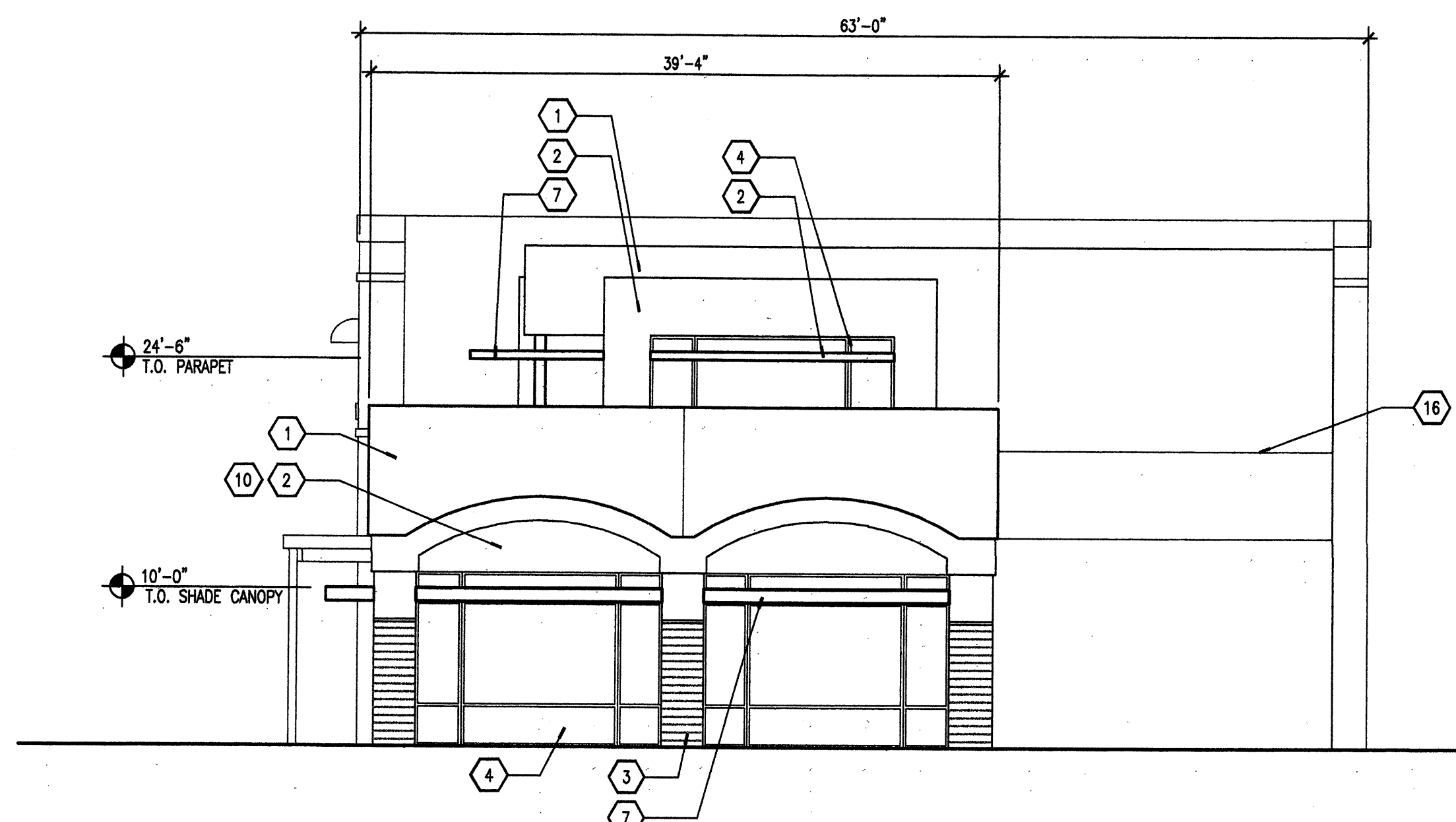




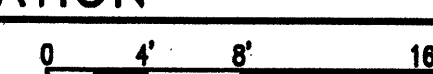
**C1** NORTH BUILDING - SOUTH ELEVATION  
1/8" = 1'-0"



**A1** NORTH BUILDING - WEST ELEVATION  
1/8" = 1'-0"



**A2** NORTH BUILDING - EAST ELEVATION  
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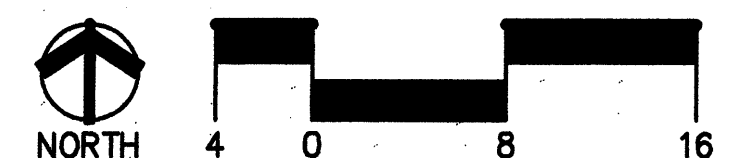
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- 15. RETRACTABLE MULTI-LITE BAY DOOR
- 16. STUCCO/EFS EXPANSION JOINT
- 17. METAL DOOR, PAINT TO MATCH ADJACENT FIELD COLOR
- 18. METAL SUNSHADE TRELLIS
- 19. SPLIT FACE CMU BLOCK WITH INTEGRAL COLOR TO MATCH BUILDING 'FIELD' COLOR
- 20. SMOOTH FACE CMU BLOCK TO MATCH BUILDING 'ACCENT' COLOR
- 21. METAL PIPE HANDRAIL, PAINT TO MATCH CMU 'FIELD' COLOR
- 22. CUSTOM METAL GATES WITH TUBE STEEL FRAME AND PERFORATED METAL PANELS (20% OPEN)

**Winrock**  
TOWN CENTER

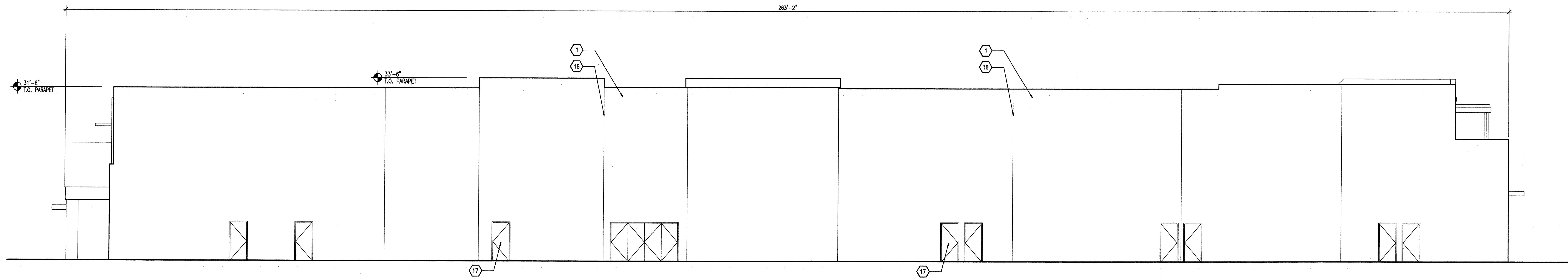
OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

PROJECT TEAM  
ENGINEERING  
HUITT-ZOLLARS  
PLANNING/LANDSCAPE ARCHITECTURE  
CONSENSUS PLANNING  
SURROUNDINGS STUDIO  
ARCHITECTURE  
STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
EXTERIOR ELEVATIONS

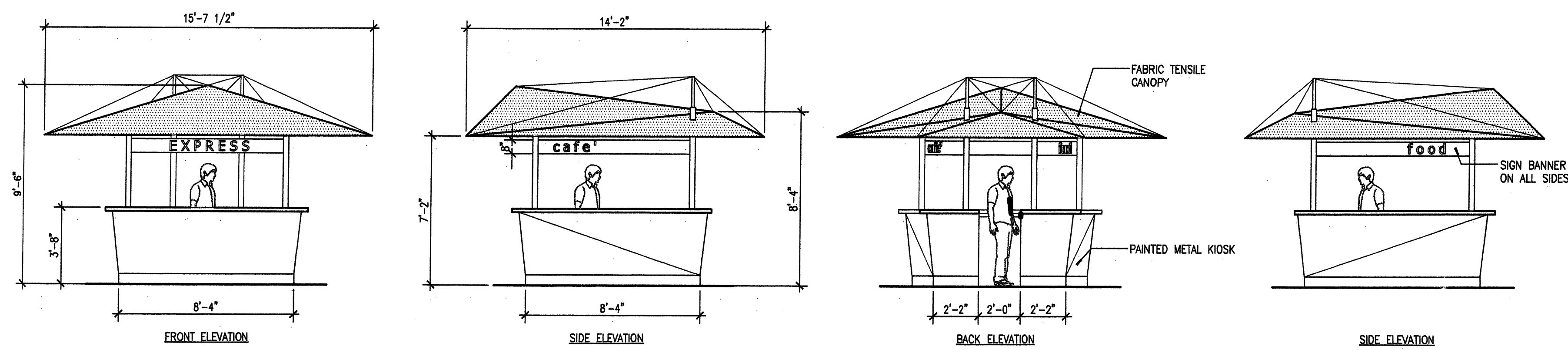






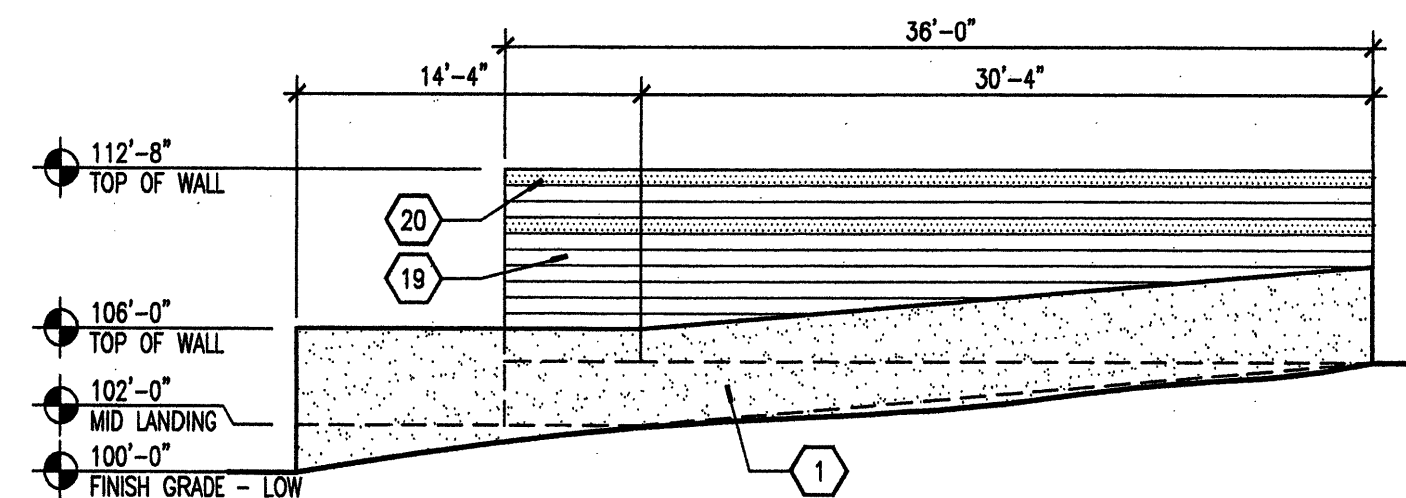
**D1** NORTH BUILDING - NORTH ELEVATION

1/8" = 1'-0"



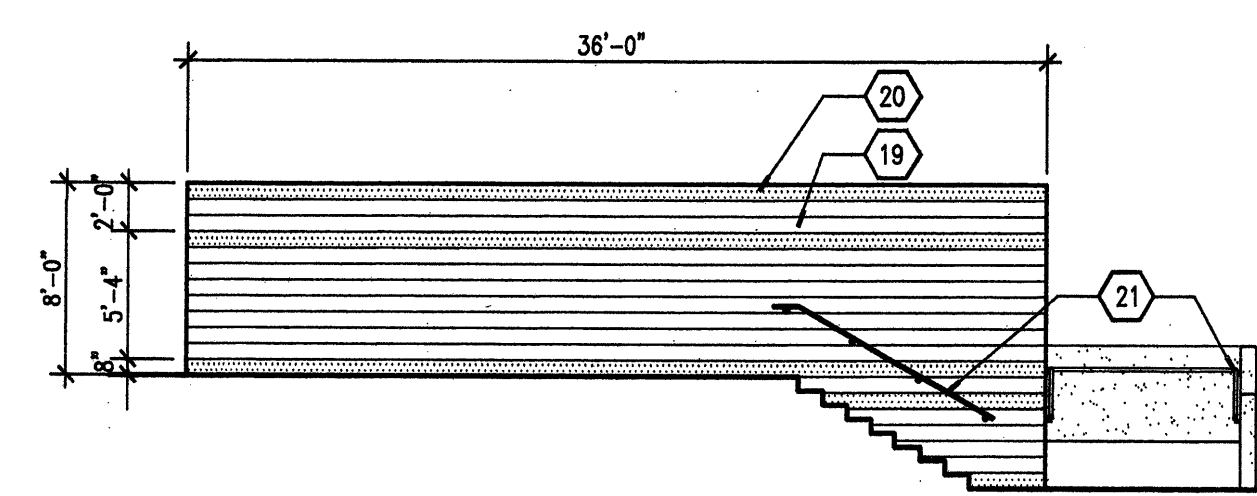
**C1** TYPICAL KIOSK

1/4" = 1'-0"



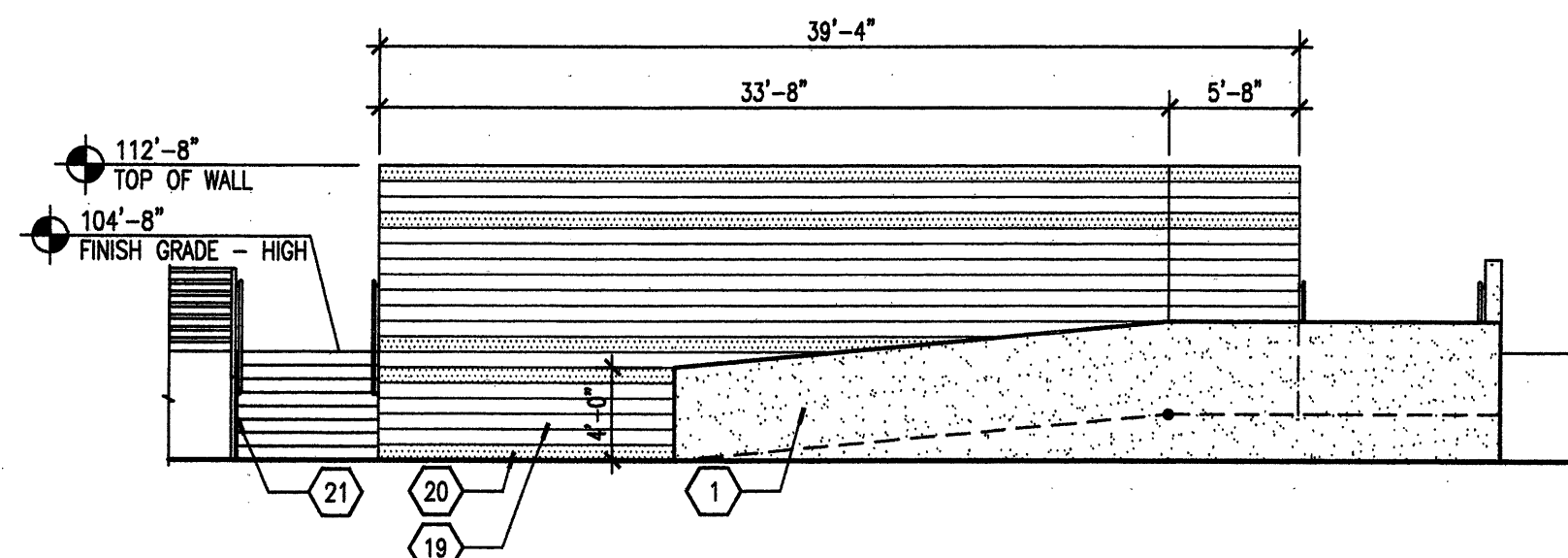
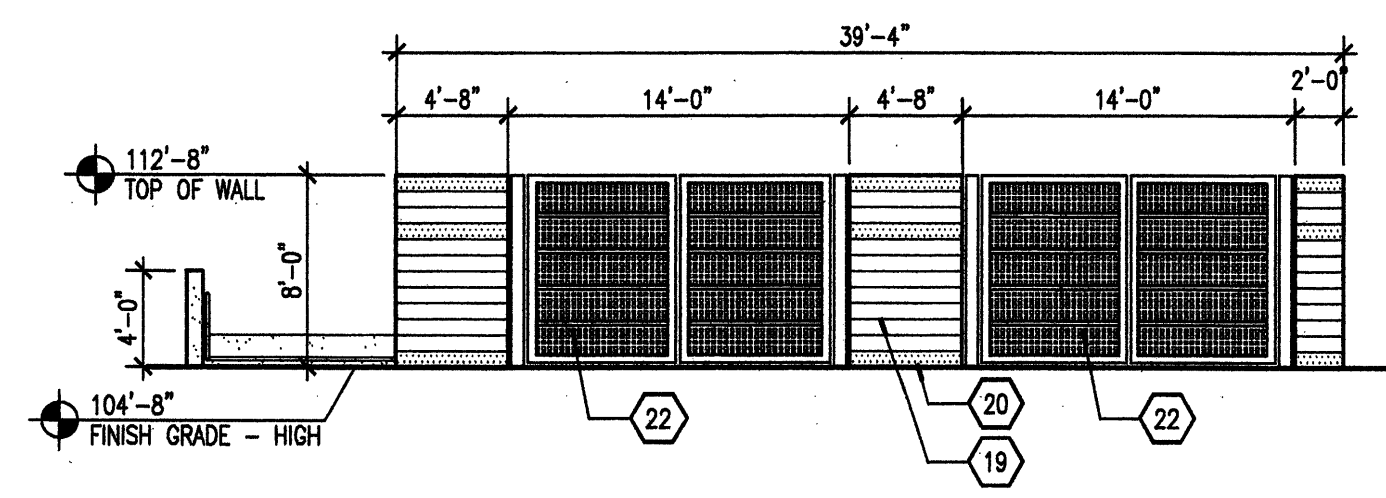
**B1** RECYCLE/ COMPACTOR ENCLOSURE

1/8" = 1'-0"



**A1** RECYCLE/ COMPACTOR ENCLOSURE

1/8" = 1'-0"



**GENERAL NOTES**

- A. ALL BUILDING FACADES SHALL BE COMPOSED OF A COMBINATION OF THE DESIGN ELEMENTS SHOWN OR DESCRIBED IN THIS PLAN. DESIGN ELEMENTS INCLUDE, AS EXAMPLES, THE BUILDING COLORS, MASSING, FACADE TREATMENTS, WINDOWS AND DOORS, AWNING, SHADE CANOPIES, DECKS AND PORTALS. THESE DESIGN ELEMENTS NEED NOT BE ARRANGED AS SHOWN ON THIS PLAN, BUT MAY BE FREELY INTERCHANGED TO ACCOMMODATE FUTURE TENANTS.
- B. ENTRY STOREFRONTS TO THE BUILDING MAY BE MODIFIED TO ACCOMMODATE SPECIFIC NEEDS OF FUTURE TENANTS. THESE STOREFRONTS ARE TO MAINTAIN THE OVERALL DESIGN INTENT OF THE BUILDING AS SHOWN AND MUST BE COMPATIBLE WITH THE BUILDING FACADES IN TERMS OF QUALITY OF MATERIALS AND SYSTEMS.
- C. BUILDING SIGNAGE AS SHOWN IS FOR ILLUSTRATIVE PURPOSES AND MAY CHANGE TO MEET FUTURE TENANT REQUIREMENTS.
- D. THE TOP OF ALL MECHANICAL EQUIPMENT FOR ALL NEW BUILDINGS WILL BE LOWER THAN THE LOWEST BUILDING PARAPET HEIGHT AS MEASURED BY A HORIZONTAL LINE.
- E. BUILDING ARTICULATION, HEIGHT, MATERIALS, MASSING AND OTHER DESIGN ELEMENTS SHALL COMPLY WITH THE DESIGN REGULATIONS OF THE UPTOWN SECTOR DEVELOPMENT PLAN.
- F. WHEN KEYNOTES REFER TO 'FIELD COLORS', THESE MAY INCLUDE - TAN, BEIGE, LIGHT BROWN, OFF-WHITE, LIGHT GREEN, LIGHT YELLOW, WARM GREY.
- G. WHEN KEYNOTES REFER TO 'ACCENT COLORS', THESE MAY INCLUDE - SADE GREEN, GOLD-YELLOW, DARK RED, REDDISH BROWN, BLUE, DARK GREY.
- H. EXTERIOR WALL TILE WILL BE A SOLID COLOR AND PATTERN AND SHALL COMPLEMENT BUILDING 'FIELD COLORS'. THE HEIGHT AND LIMITS OF WALL TALL MAY VARY IN FINAL DESIGN.
- J. SIGNAGE SHOWN ON BUILDING ELEVATIONS IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS POTENTIAL LOCATIONS OF FUTURE BUILDING SIGNS. SIGNAGE LOCATION, SIZE, STYLE AND NAMES ARE SUBJECT TO CHANGE BASED ON TENANT REQUIREMENTS. ALL SIGNS SHALL COMPLY WITH 'UPTOWN SECTOR DEVELOPMENT PLAN' REGULATIONS.
- K. ALL MECHANICAL AREAS, TRASH RECEPTACLES, LOADING DOCKS & PUBLIC UTILITY STRUCTURES TO BE PROPERLY SCREENED.

**SHEET KEYED NOTES**

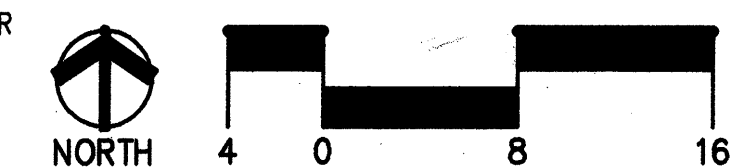
- 1. STUCCO/EIPS FINISH WITH LIGHT SAND TEXTURE & 'FIELD' COLOR
- 2. STUCCO/EIPS FINISH WITH LIGHT SAND TEXTURE & 'ACCENT' COLOR
- 3. EXTERIOR WALL TILE
- 4. STOREFRONT GLAZING W/ ALUMINUM FRAMES
- 5. FIXED GLAZING W/ ALUMINUM FRAMES
- 6. MULTI-LITE FIXED GLAZING W/ ALUMINUM FRAMES
- 7. METAL SUNSHADE CANOPY
- 8. AWNING
- 9. METAL GUARDRAIL
- 10. STUCCO/EIPS RECESS
- 11. ALUMINUM FRAME DOOR(S) W/ FULL LITE
- 12. DECORATIVE 'CANALE' DETAIL
- 13. DECORATIVE 'NICHO' DETAIL
- 14. DECORATIVE SCIENCE
- 15. RETRACTABLE MULTI-LITE BAY DOOR
- 16. STUCCO/EIPS EXPANSION JOINT
- 17. METAL DOOR, PAINT TO MATCH ADJACENT FIELD COLOR
- 18. METAL SUNSHADE TRELIS
- 19. SPLIT FACE CMU BLOCK WITH INTEGRAL COLOR TO MATCH BUILDING 'FIELD' COLOR
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**Winrock**  
TOWN CENTER

OWNER/DEVELOPER  
WINROCK PARTNERS, LLC

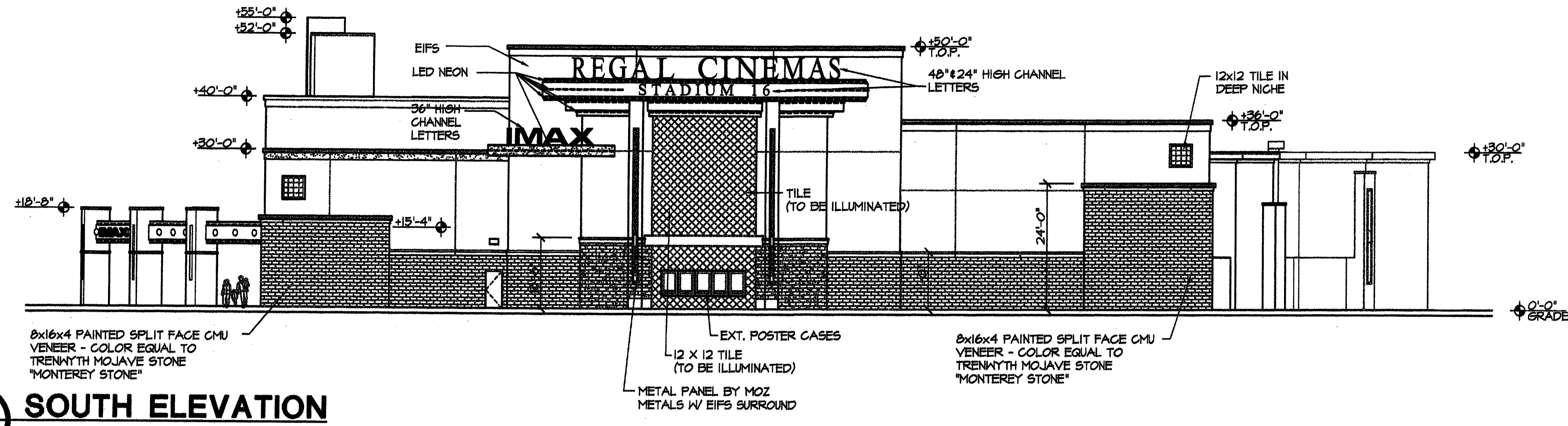
PROJECT TEAM  
ENGINEERING  
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STUDIO SOUTHWEST ARCHITECTS

SITE DEVELOPMENT PLAN BUILDING PERMIT  
EXTERIOR ELEVATIONS

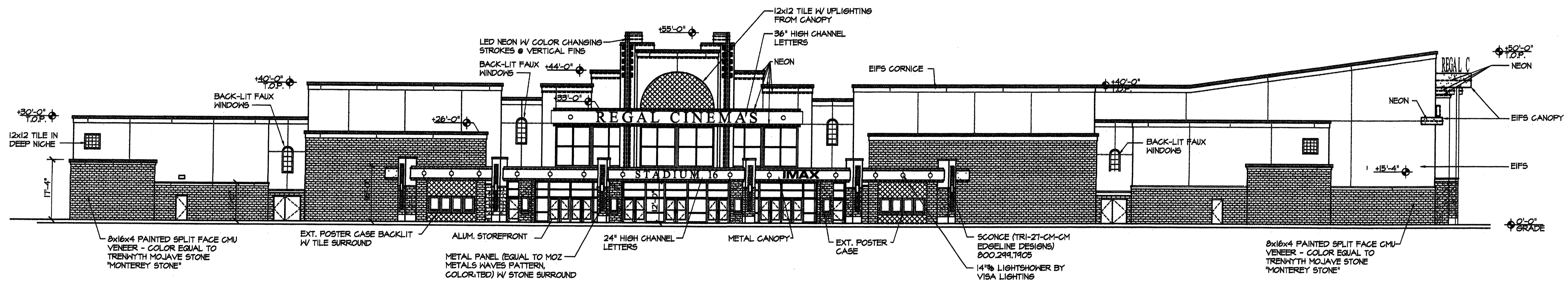


SHEET A-104  
JUNE 14, 2011

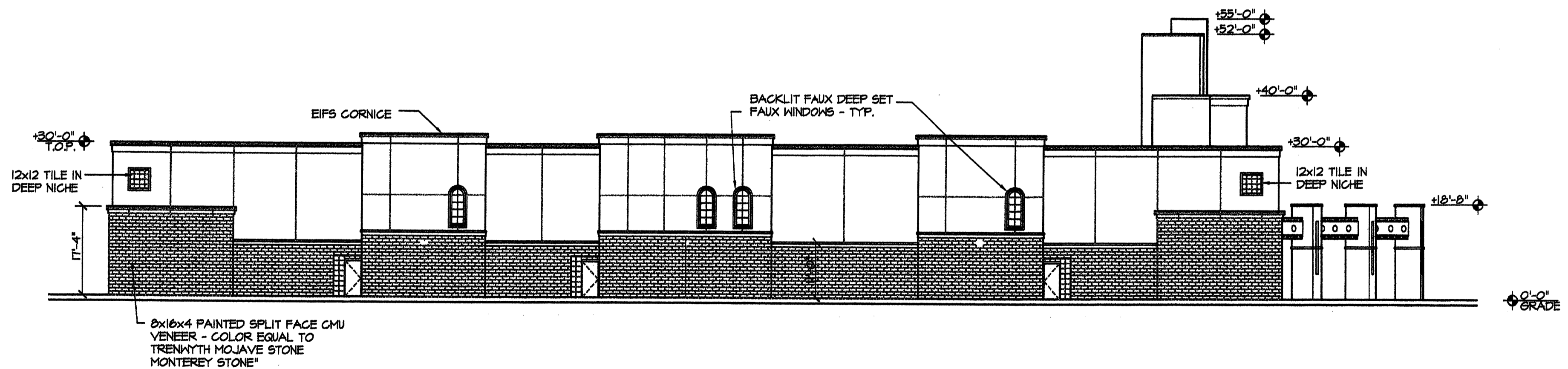




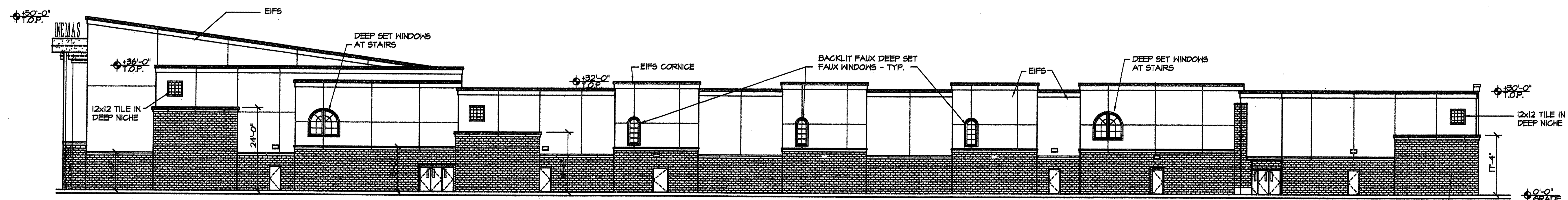
**A SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**B WEST ELEVATION (ENTRANCE)**  
SCALE: 1/16" = 1'-0"



**B NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**B EAST ELEVATION**  
SCALE: 1/16" = 1'-0"

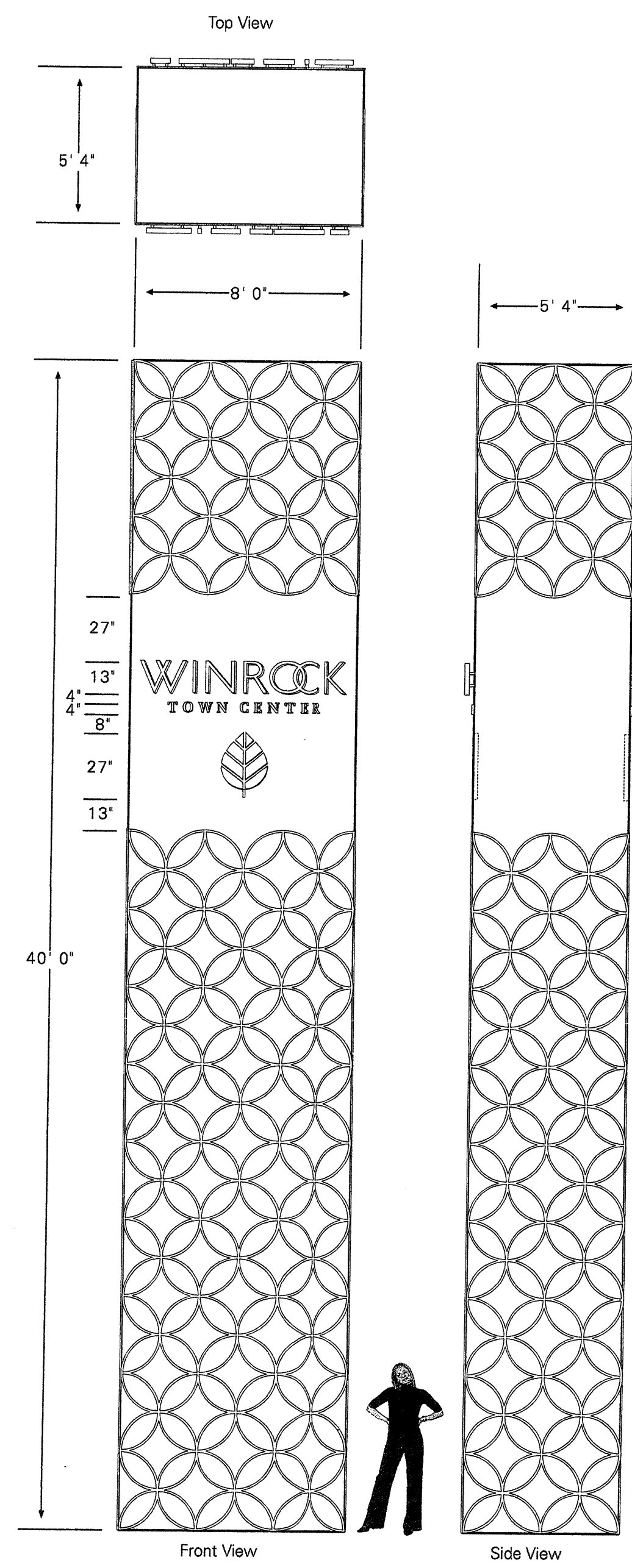
**Winrock**  
TOWN CENTER

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SITE DEVELOPMENT PLAN BUILDING PERMIT  
EXTERIOR ELEVATIONS





**Site Monument 40**

1/4" = 1'

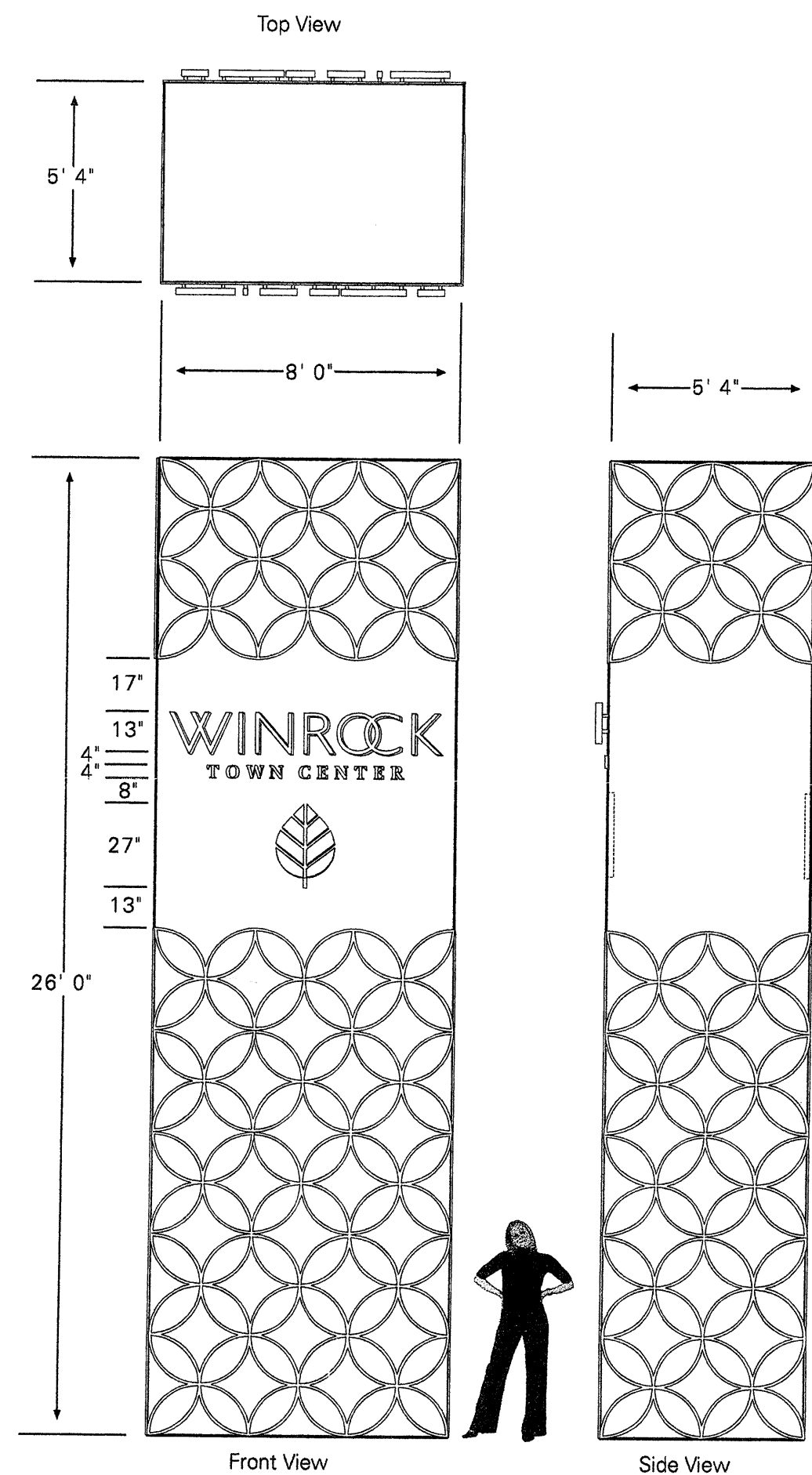
**Site Monument**

**Overall Description:** The site monument will announce and welcome visitors to Winrock Town Center as a beacon and/or landmark.

**Materials:** The column structure may be made from concrete, wood or metal. The exterior surface may be made from natural or cultured stone, marble, granite, concrete or stucco. The letters and decorative icon may be made of metal or etched into surface or combination of both. Other materials may include, but may not necessarily be limited to: granite, marble, stone stucco, tile, porcelain enamel, cast concrete, bricks, glass blocks, acrylic, metal or fiberglass.

**Lighting:** Monument may be internally lit or externally lit from the ground or structure supported/mounted lighting following signage regulations.

**Colors:** The colors used may include, but may not necessarily be limited to, Base Colors: white, grey, black, copper, bronze, silver, gold, brown, tan. Accent Colors: cream, green, blue, sage, ochre, red, purple, orange and yellow.



**Site Monument 26**

1/4" = 1'

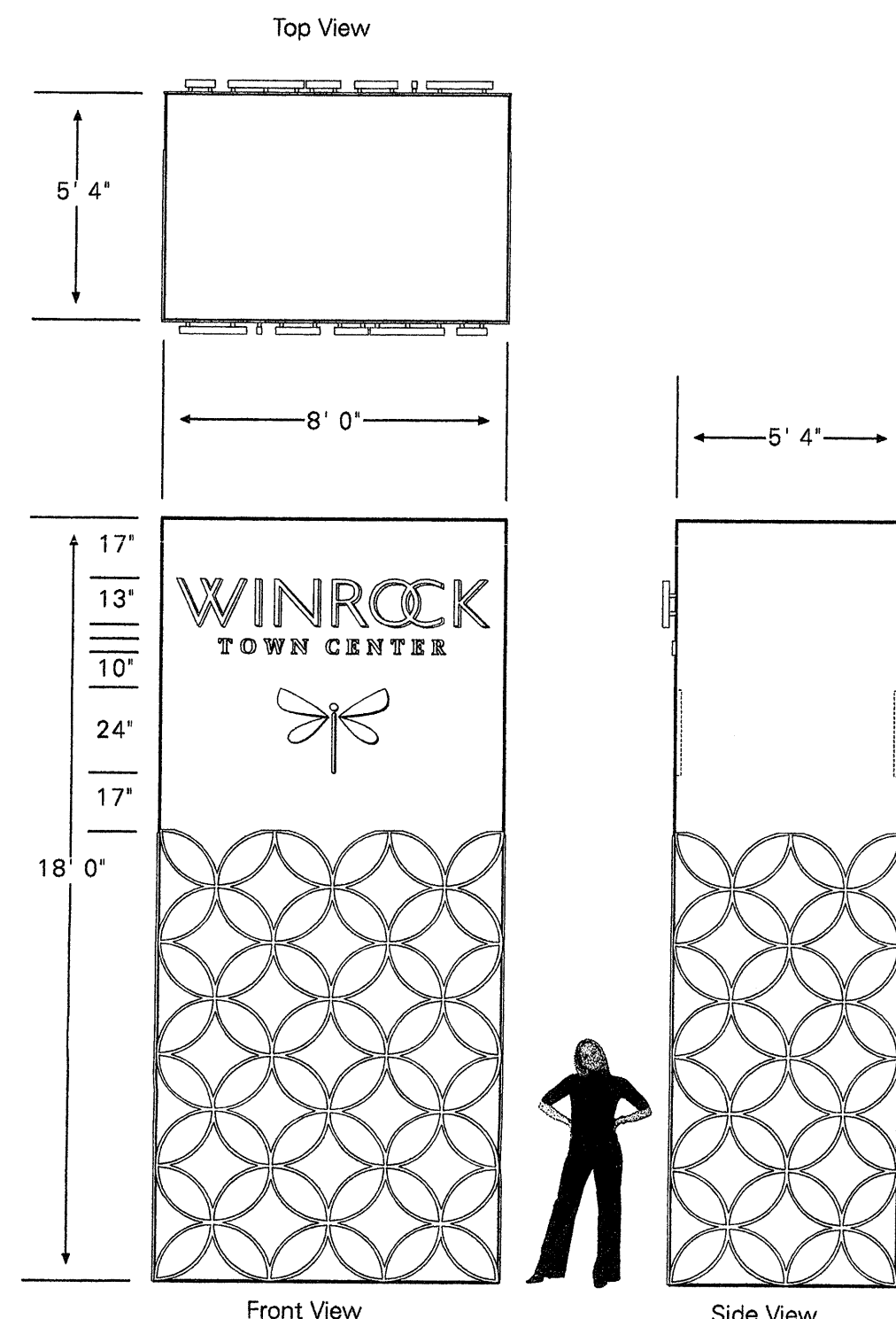
**Site Monument**

**Overall Description:** The site monument will announce and welcome visitors to Winrock Town Center as a beacon and/or landmark.

**Materials:** The column structure may be made from concrete, wood or metal. The exterior surface may be made from natural or cultured stone, marble, granite, concrete or stucco. The letters and decorative icon may be made of metal or etched into surface or combination of both. Other materials may include, but may not necessarily be limited to: granite, marble, stone stucco, tile, porcelain enamel, cast concrete, bricks, glass blocks, acrylic, metal or fiberglass.

**Lighting:** Monument may be internally lit or externally lit from the ground or structure supported/mounted lighting following signage regulations.

**Colors:** The colors used may include, but may not necessarily be limited to, Base Colors: white, grey, black, copper, bronze, silver, gold, brown, tan. Accent Colors: cream, green, blue, sage, ochre, red, purple, orange and yellow.



**Entry Monument**

1/4" = 1'

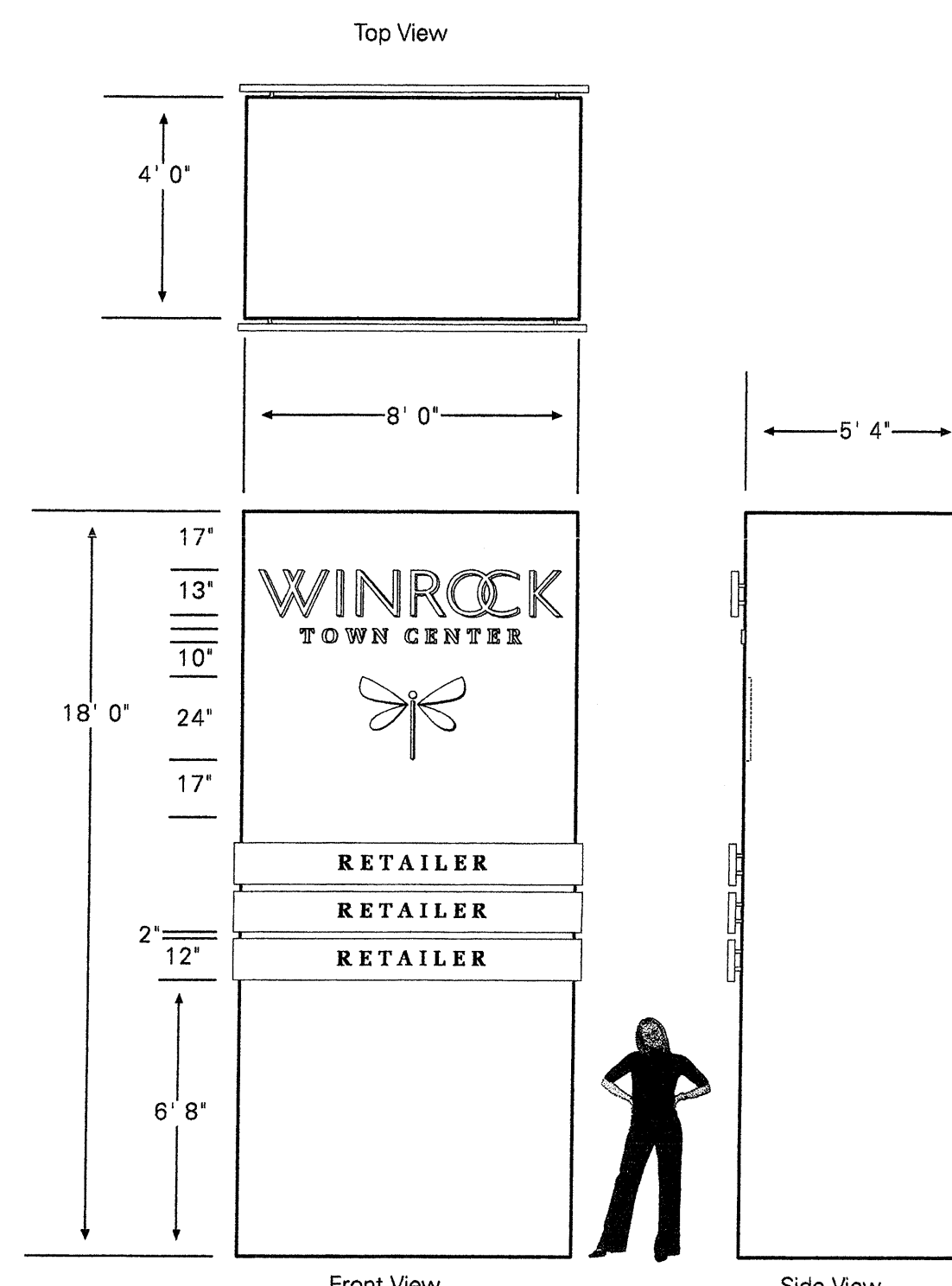
**Entry Monument**

**Overall Description:** The entry sign will designate major entry points into the site as well as welcome visitors to Winrock Town Center.

**Materials:** The column structure may be made from concrete, wood or metal. The exterior surface may be made from natural or cultured stone, marble, granite, concrete or stucco. The letters and decorative icon may be made of metal or etched into surface or combination of both. Other materials may include, but may not necessarily be limited to: granite, marble, stone stucco, tile, porcelain enamel, cast concrete, bricks, glass blocks, acrylic, metal or fiberglass.

**Lighting:** Monument may be internally lit or externally lit from the ground or structure supported/mounted lighting following signage regulations.

**Colors:** The colors used may include, but may not necessarily be limited to, Base Colors: white, grey, black, copper, bronze, silver, gold, brown, tan. Accent Colors: cream, green, blue, sage, ochre, red, purple, orange and yellow.



**Directional Entry Monument**

1/4" = 1'

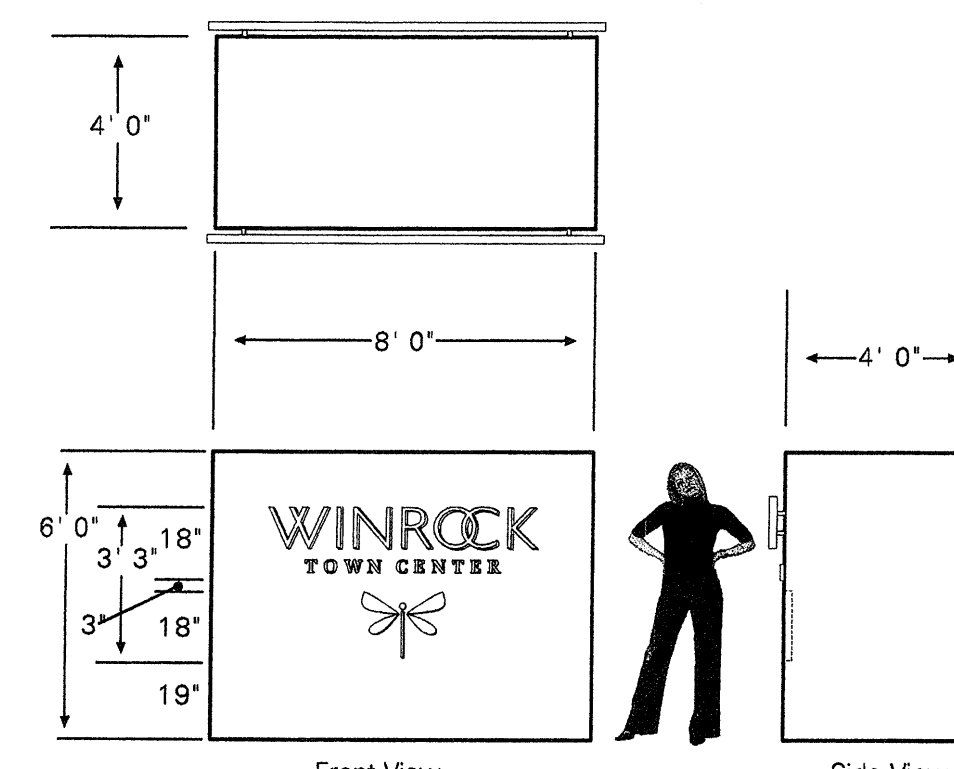
**Directional Entry Monument**

**Overall Description:** The entry sign will designate major entry points into the site as well as welcome visitors to Winrock Town Center. The sign will include directional information to guide visitors to site specific locations.

**Materials:** The column structure may be made from concrete, wood or metal. The exterior surface may be made from natural or cultured stone, marble, granite, concrete or stucco. The letters and decorative icon may be made of metal or etched into surface or combination of both. Other materials may include, but may not necessarily be limited to: granite, marble, stone stucco, tile, porcelain enamel, cast concrete, bricks, glass blocks, acrylic, metal or fiberglass.

**Lighting:** Monument may be internally lit or externally lit from the ground or structure supported/mounted lighting following signage regulations.

**Colors:** The colors used may include, but may not necessarily be limited to, Base Colors: white, grey, black, copper, bronze, silver, gold, brown, tan. Accent Colors: cream, green, blue, sage, ochre, red, purple, orange and yellow.



**Low Entry Monument**

1/4" = 1'

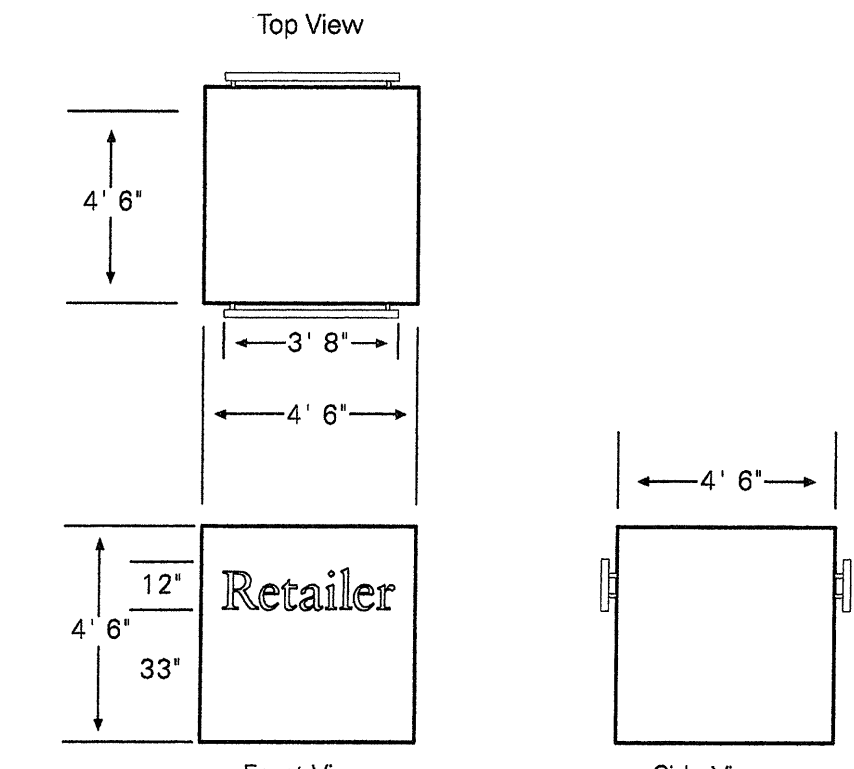
**Low Entry Monument**

**Overall Description:** The low entry monument will welcome visitors to Winrock Town Center, and can be used to designate minor entry points as well as indicate suggested parking areas for specific site locations.

**Materials:** The column structure may be made from concrete, wood or metal. The exterior surface may be made from natural or cultured stone, marble, granite, concrete or stucco. The letters and decorative icon may be made of metal or etched into surface or combination of both. Other materials may include, but may not necessarily be limited to: granite, marble, stone stucco, tile, porcelain enamel, cast concrete, bricks, glass blocks, acrylic, metal or fiberglass.

**Lighting:** Monument may be internally lit or externally lit from the ground or structure supported/mounted lighting following signage regulations.

**Colors:** The colors used may include, but may not necessarily be limited to, Base Colors: white, grey, black, copper, bronze, silver, gold, brown, tan. Accent Colors: cream, green, blue, sage, ochre, red, purple, orange and yellow.



**Retail Monument**

1/4" = 1'

**Retail Monument**

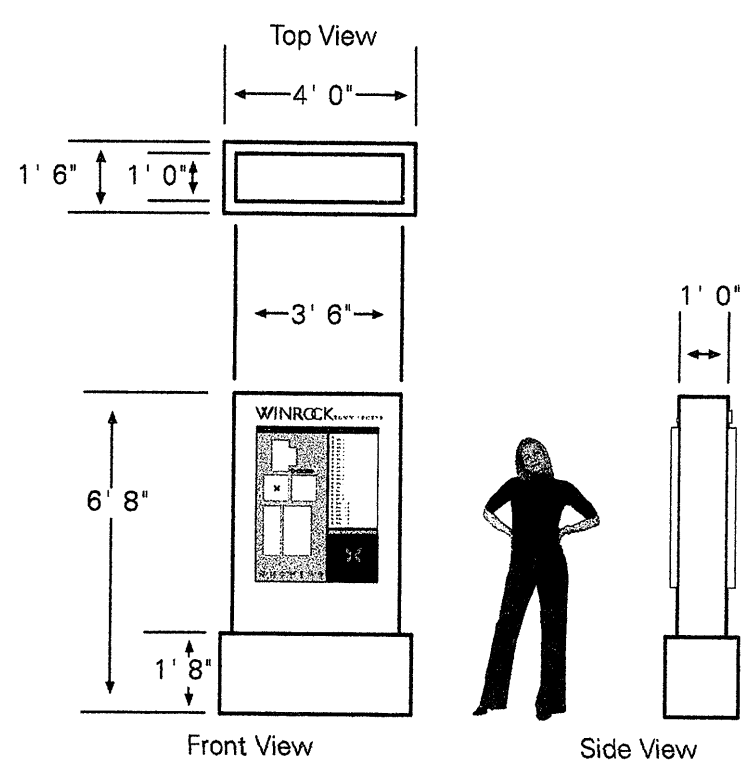
**Overall Description:** The retail monument will welcome and direct visitors to specific retail locations. The individual retail monuments could be paired with an 18'-0" Winrock entry monument for anchor stores.

**Materials:** The column structure may be made from concrete, wood or metal. The exterior surface may be made from natural or cultured stone, marble, granite, concrete or stucco. The letters and decorative icon may be made of metal or etched into surface or combination of both. Other materials may include, but may not necessarily be limited to: granite, marble, stone stucco, tile, porcelain enamel, cast concrete, bricks, glass blocks, acrylic, metal or fiberglass.

**Lighting:** Monument may be internally lit or externally lit from the ground or structure supported/mounted lighting following signage regulations.

**Colors:** The colors used may include, but may not necessarily be limited to, Base Colors: white, grey, black, copper, bronze, silver, gold, brown, tan. Accent Colors: cream, green, blue, sage, ochre, red, purple, orange and yellow.

**Lettering:** \*Size will vary with retailer name and/or logo/mark but will stay within monument dimensions.



**Pedestrian Kiosk**

1/4" = 1'

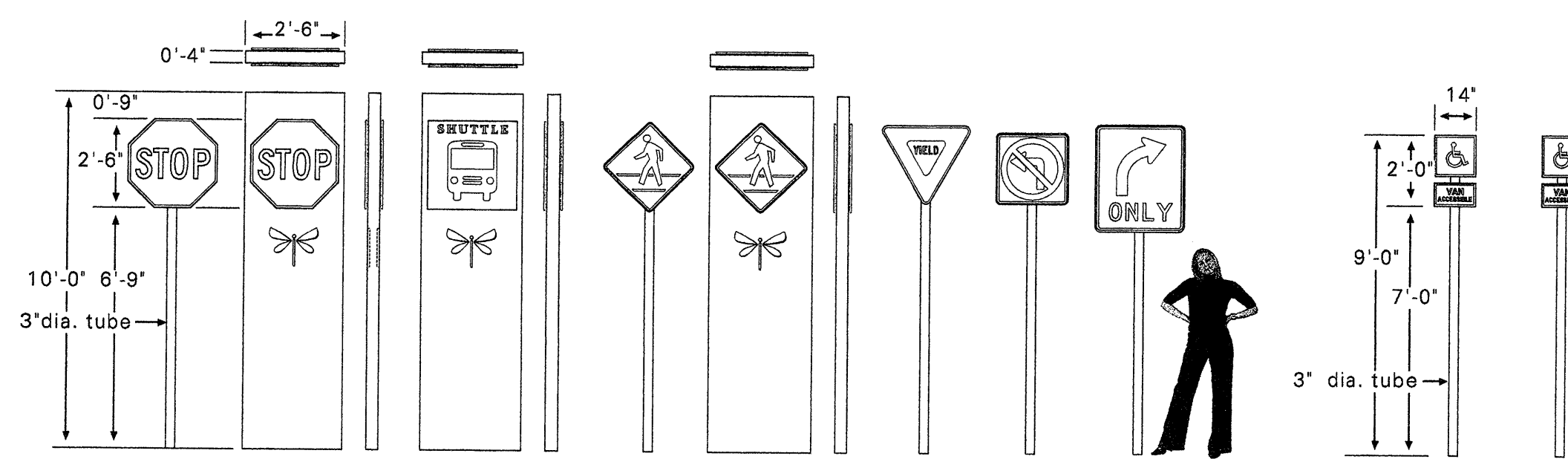
**Pedestrian Kiosk Map/Directory**

**Overall Description:** The kiosk map/directory will welcome and direct visitors throughout the Winrock Town Center on a pedestrian level.

**Materials:** The kiosk base may be made with wood, stone, marble, granite, concrete or stucco. The support structure may be made from concrete, wood or metal. The exterior surface may be made from stone, marble, granite, concrete or stucco. The map/directory panels may be made of phenolic material or inkjet printing on outdoor material. The letters may be made of metal. Other materials may include, but may not necessarily be limited to: granite, marble, stone stucco, tile, porcelain enamel, cast concrete, bricks, glass blocks, acrylic, metal or fiberglass.

**Lighting:** Monument may be internally lit or externally lit from the ground or structure supported/mounted lighting following signage regulations.

**Colors:** The colors used may include, but may not necessarily be limited to, Base Colors: white, grey, black, copper, bronze, silver, gold, brown, tan. Accent Colors: cream, green, blue, sage, ochre, red, purple, orange and yellow. Colors reflecting Tenant or regulatory elements on the map may vary. Wood may be either natural, stained or painted.



**Traffic Safety**

1/8" = 1'

**R - Traffic Safety**

**Materials:** All Traffic Safety signs are single-faced aluminum panels mounted to 3" aluminum square, painted posts. Stop, Yield, and Yield signs may be mounted on natural or cultured stone, marble, concrete, stucco, or metal structures.

**Lighting:** Pole mounted signs are non-illuminated. Column or structure mounted signs may be internally lit or externally lit from the ground or structure supported/mounted lighting following signage regulations.

**Colors:** Reflective 3M white, red, yellow, blue or black paint and/or vinyl overlay. Paint, porcelain enamel or powder-coat colors to match specified PMS colors).

# WINROCK

TOWN CENTER

OWNER/DEVELOPER  
**WINROCK PARTNERS, LLC**

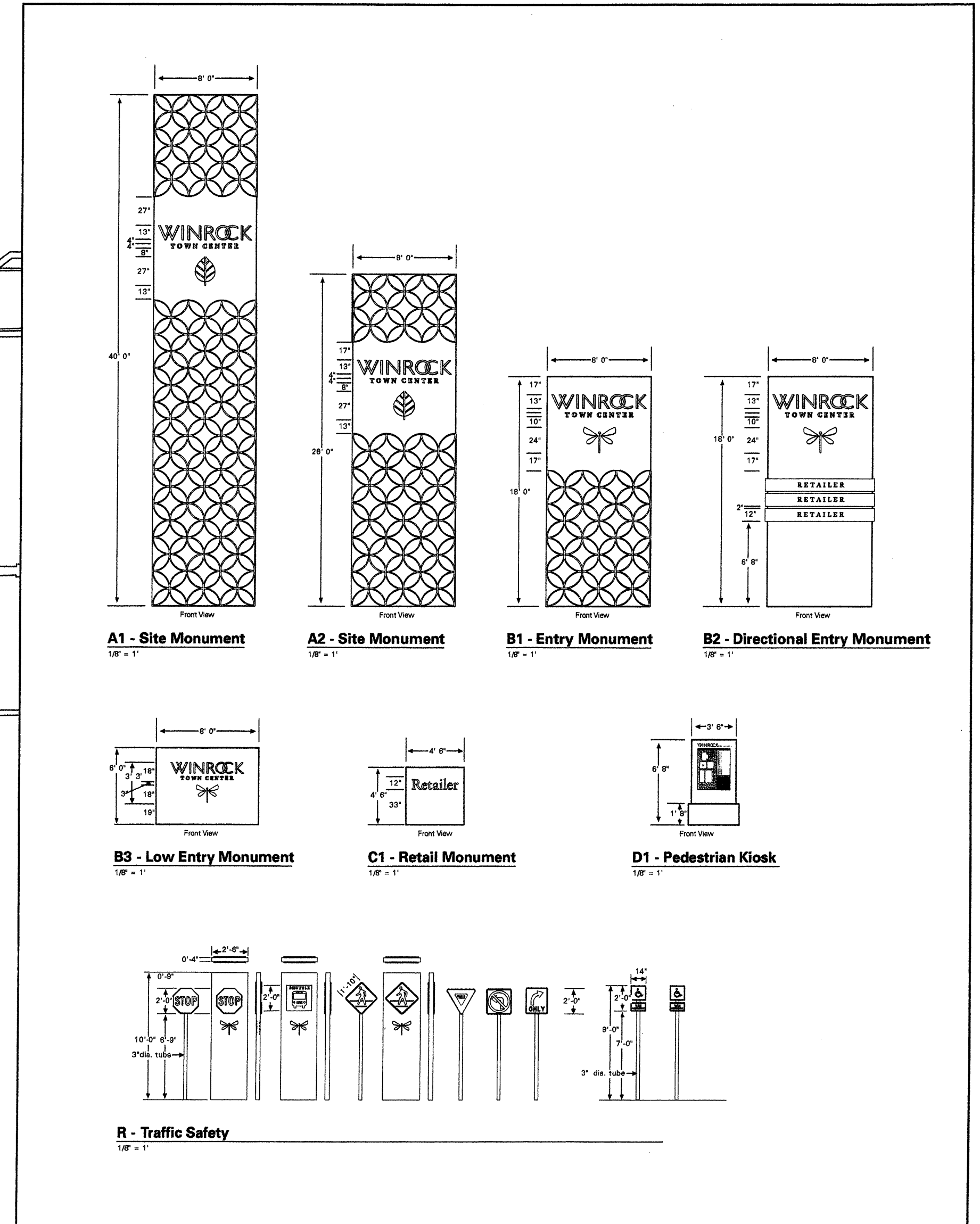
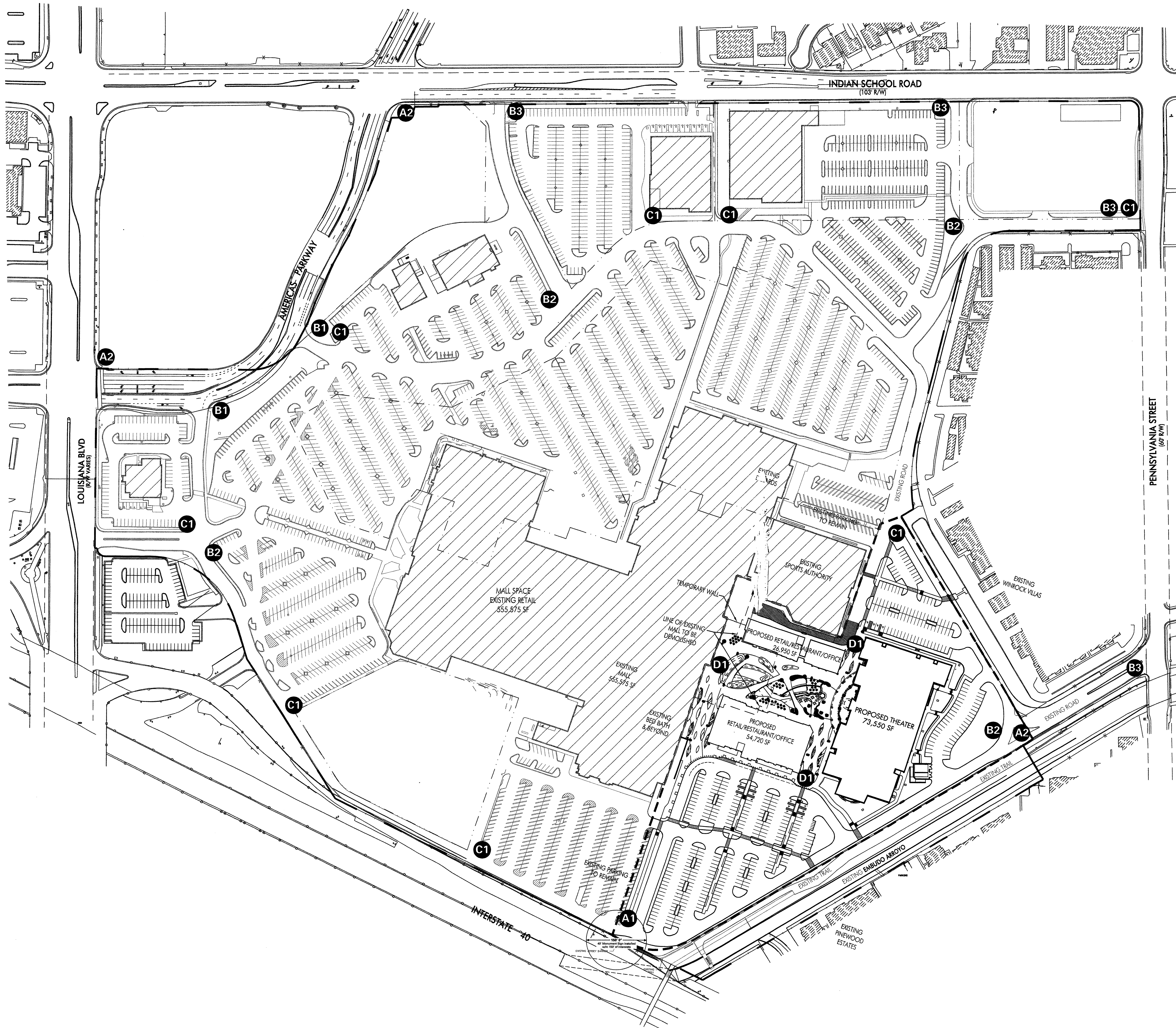
PROJECT TEAM  
 ENGINEERING  
**HUITT-ZOLLARS**

PLANNING/LANDSCAPE ARCHITECTURE  
**CONSENSUS PLANNING**  
**SURROUNDINGS STUDIO**

ARCHITECTURE  
**STUDIO SOUTHWEST ARCHITECTS**  
 SIGNAGE & WAYFINDING  
**VVK**

SITE DEVELOPMENT PLAN BUILDING PERMIT  
**SIGN ELEVATIONS & WAYFINDING**





WAYFINDING AND ROADWAY SIGNS LOCATION SHALL BE DETERMINED AT THE FINAL PHASE OF REDEVELOPMENT OF THE WINROCK SITE AND SHOWN ON THE FINAL SIGNAGE PLAN IN THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

# WINROCK

TOWN CENTER

OWNER/DEVELOPER  
**WINROCK PARTNERS, LLC**

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 ENGINEERING  
**HUITT-ZOLLARS**

PLANNING/LANDSCAPE ARCHITECTURE  
**CONSENSUS PLANNING SURROUNDINGS STUDIO**

ARCHITECTURE  
**STUDIO SOUTHWEST ARCHITECTS**

SIGNAGE & WAYFINDING  
**VWK**

SITE DEVELOPMENT PLAN BUILDING PERMIT  
**SIGN LOCATIONS & WAYFINDING**

