

**PARCEL 1-A-1A  
WINROCK CENTER ADDITION**  
First Subdivision 20, 1998 in Plat Book 460, Page 448

- KEYED NOTE:**
- ① 8' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A11
  - ①A 8' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 8/A13
  - ①B 10' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN STREET SIDEWALK RE: DETAIL 9/A13
  - ② 30' LIGHT POLE LOCATION RE: DETAIL 3/A11
  - ②A 4 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION RE: DETAIL 1/A13 TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL =
  - ③ CONC. SIDEWALK RE: DET 1/A11 RE: SITE PLAN FOR JOINT LAYOUT
  - ④ HANDICAP RAMP PER COA STD DWS 9426 AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
  - ④A INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
  - ⑤ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 1/A12 TYPICAL BIKE RACK GRAPHIC SYMBOL =
  - ⑥ BENCH LOCATION RE: DETAIL 5/A13 TYPICAL BENCH GRAPHIC SYMBOL =
  - ⑦ TRASH RECEPTACLE RE: DET. 3A/A13
  - ⑧ 18" HIGH INTEGRALLY COLORED CONC. RAISED BED/SEATING LANDSCAPE AREA RE: DETAIL 10/A13 TYPICAL PLANTING BED GRAPHIC SYMBOL =
  - ⑨ HANDICAP RAMP RE: 15/A11
  - ⑩ HANDICAP RAMP RE: 16/A11
  - ⑪ HANDICAP RAMP RE: 12/A11
  - ⑫ HANDICAP RAMP RE: 11/A11
  - ⑬ INDICATES "OPEN SPACE" LANDSCAPE AREAS G.C. TO PROVIDE/COORDINATE REQ. BLEEVING FOR EA WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
  - ⑭ INDICATES "DEVELOPED OPEN SPACE AREA LOCATION RE: PLAN AND LANDSCAPE PLAN FOR INFO
  - ⑭A INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE / SEATING AREA RE: KEYED NOTE B
  - ⑭B INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE AREA
  - ⑭C INDICATES "DEVELOPED OPEN SPACE 15% LANDSCAPE SHADE TREE LOCATION RE: LANDSCAPE PLAN FOR SHADE TREE INFO
  - ⑭D INDICATES "DEVELOPED OPEN SPACE 15% CANOPY SHADE STRUCTURE
  - ⑭E INDICATES "DEVELOPED OPEN SPACE ACTIVE WATER HARVESTING CONTAINMENT TANK 6 DIA. 2' 12" HIGH TANK W/ RUBBER MEMBRANE BLADDER TO ACCEPT ADJACENT ROOF WATER RUNOFF TANK SHALL BE ELEVATED A MIN. OF 4' OFF ADJACENT GRADE TO ALLOW FOR GRAVITY FLOW TO ADJACENT PLANT BEDS
  - ⑭F INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A11 FOR .NOTCH DETAIL
  - ⑭G INDICATES PROPOSED B.U.'S OUTDOOR OPEN AIR PATIO WITH NON FIXED SEATING RE: DETAIL SHEET PLAN A12 FOR PATIO DETAIL INFO
  - ⑮ NOT A PART-FUTURE REDEVELOPMENT PHASE
  - ⑮ 6" HIGH CONC. ISLAND RE: DET 4/A11 RE: SITE GRADING PLAN FOR INFO
  - ⑰ SERVICE YARD. RE: DETAIL PLAN SHEET A60 FOR YARD DETAILS
  - ⑱ H.C. PARKING STALL RE: DET 5/A12
  - ⑲ DUAL CONFIGURATION H.C. PARKING STALL RE: DET 9/A12
  - ⑲ WHEELSTOP RE: DET 5/A12 NOTE: WHEEL STOPS OCCUR AT EACH PARKING SPACE AS REQUIRED BY USDP
  - ⑲ INDICATES MOTORCYCLE PARKING STALL LOCATION NOTE: EACH ON-SITE STALL MEASURES 4' X 8' IN SIZE RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12 FOR "MOTOR CYCLE PARKING" SIGN DETAIL
  - ⑲ COMBINATION PET-HUMAN WATER FOUNTAIN RE: DETAIL 1/A13
  - ⑲ EXTERIOR 12" X 24" BRAZILIAN SLATE TILE AT B.U.'S (LOT 6) MAIN BUILDING ENTRY PATHWAY
  - ⑲ PROPOSED CENTER ID SIGN RE: DETAIL 1/A14 FOR SIGN ELEV.
  - ⑲ PERIMETER CONCRET STREET SIDEWALK WITH DECORATIVE BORDER RE: DETAIL 9/A13
  - ⑲ INDICATES PROPOSED OUTDOOR DEVELOPED PLAZA AREA ON THE SOUTHEAST CORNER OF THE B.U.'S RESTAURANT. AREA SHALL CONTAIN LANDSCAPE PLANTING BEDS ADJACENT TO CONCRETE WALKWAYS. THE CENTER PORTION OF THE PLAZA AREA SHALL CONTAIN RAISED CONCRETE PLANTERS AND A DRINKING FOUNTAIN FOR PET AND PEDESTRIAN USE. THE NORTHERN PART OF THE PROPOSED PLAZA AREA SHALL BE FURTHER ENHANCED WITH SLATE TILE BETWEEN THE ENTRY FACADE AND FACE OF CURB RE: ENLARGED DETAIL 5/A14 FOR INFO
  - ⑲ PLAZA SIDEWALK EDGE DETAIL RE: DETAIL 2/A14
  - ⑲ PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 3/A14 FOR INFO
  - ⑲ PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 4/A14 FOR INFO

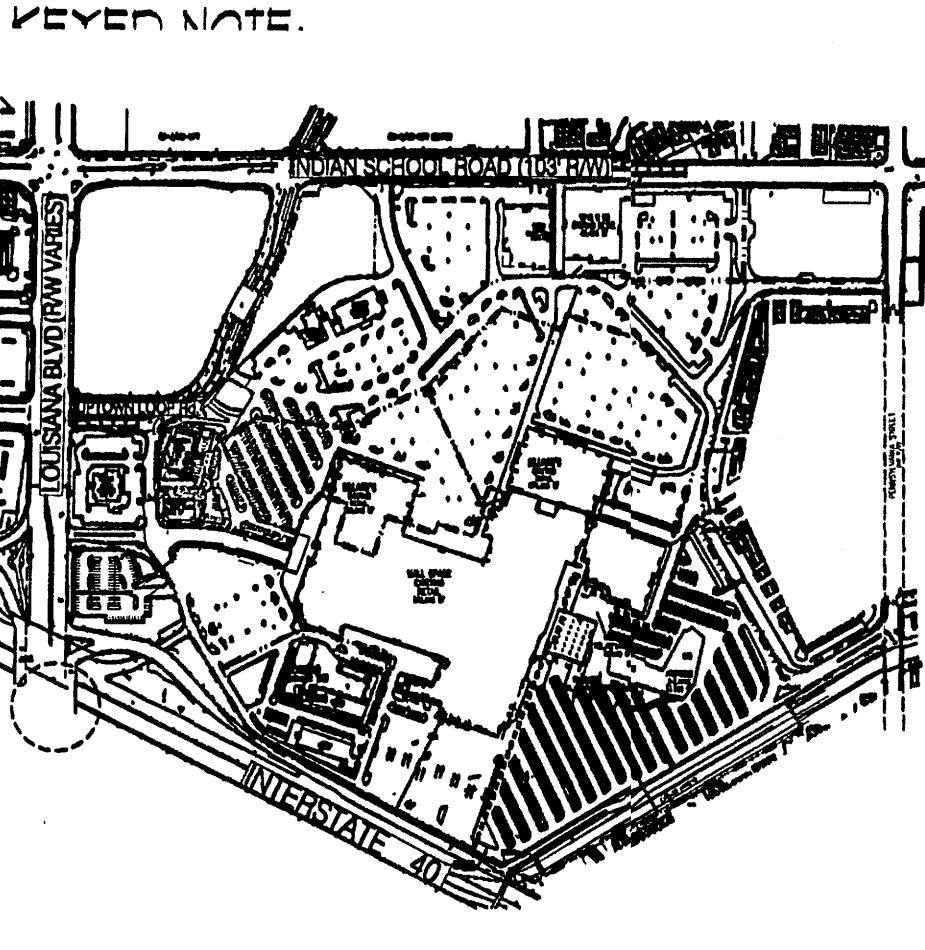
PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB AECQWA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Public Works Management	Date
DRB Chairperson, Planning Department	Date

Environmental Health, if necessary



**PEDESTRIAN SEATING TABULATION**

PEDESTRIAN SEATING TABULATION (LOT-6 B.U.) WITHIN B.U.'S DEVELOPED OPEN SPACE

- (4) 4 PERSON BENCHES
- (3) 15 PERSON RAISED PLANTER BED WALLS
- 55 TOTAL PROVIDED PUBLIC SEATS

PEDESTRIAN SEATING TABULATION (LOT-5 PHASE 2-C FUTURE BUILDING AREA) WITHIN FUTURE SHOPS DEVELOPED OPEN SPACE

- (2) 4 PERSON BENCHES
- 8 TOTAL PROVIDED PUBLIC SEATS

TOTAL PROVIDED PUBLIC SEATS LOT-6/LOT 5 PHASE 2-C: 63 SEATS

NOTE: ALL CROSS WALK LOCATIONS SHALL BE MAINTAINED BY THE LANDOWNER

NOTE: ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTCHES

NOTE: PROPOSED PEDESTRIAN ACCESS ALONG THE UPTOWN LOOP ROW SHALL BE PROVIDED BY A SERIES OF RAMPS AND TEXTURED PAVING SECTIONS FROM THE NORTHWEST CORNER OF LOT-6 TO THE PROPOSED MASS TRANSIT STOP LOCATED AT THE SIGNALIZED INTERSECTION AS SHOWN ON THE OVERALL SITE PLAN FOR BUILDING PERMIT

NOTE: LOT 5 AND LOT 5 PHASE-2A SHALL BE COMPLETED CONCURRENTLY UNDER LOT 6 IMPROVEMENTS

NOTE: LOT - 6 AND LOT 5 PARKING AREAS SHALL HAVE SHARED PARKING AGREEMENTS IN PLACE

**LINE TYPE LEGEND**

INTERNAL PHASE LINE	
PROPOSED LOT LINE	
PROJECT AREA AND OUTER PHASE AREA LIMITS	
EXISTING PROPERTY LINE	
EXISTING CURB LINE	
PROPOSED CURB LINE	

SITE DATA TABLE	B.U.'S RESTAURANT (LOT-6)	FUTURE BLDG AREA	PHASE AREA TOTAL (LOT 5-P2 AND 6)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION		
TOTAL ACREAGE:	RE: SITE PLAN FOR SUBDIVISION		
EXISTING ZONING:	8U-3 MU-UPT		
PROPOSED USE:	RESTAURANT AND GENERAL RETAILING		
BUILDING SIZE:	9,556 SF + 1,582 SF PATIO + 10,138	1,000 SF TOTAL	
TOTAL PARKING PROVIDED:	11 SPACES	51 SPACES	68 PROVIDED SPACES
TOTAL PARKING REQ.:	18 SPACES	14 SPACES	2 PER 1,000+32 SPACES
HC PROVIDED:	4 SPACES	4 SPACES	8 HC (INCLUDING 8 VAN ACCESSIBLE)
HC REQUIRED:	1 SPACES	4 SPACES	5 HC SPACES
BIKE SPACES PROVIDED:	5 SPACES	5 SPACES	5 BIKE SPACES
BIKE SPACES REQUIRED:	1 SPACES	3 SPACES	1 PER 20 CAR SPACES + 3
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES	4 SPACES
MOTORCYCLE SPACES REQUIRED:			

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

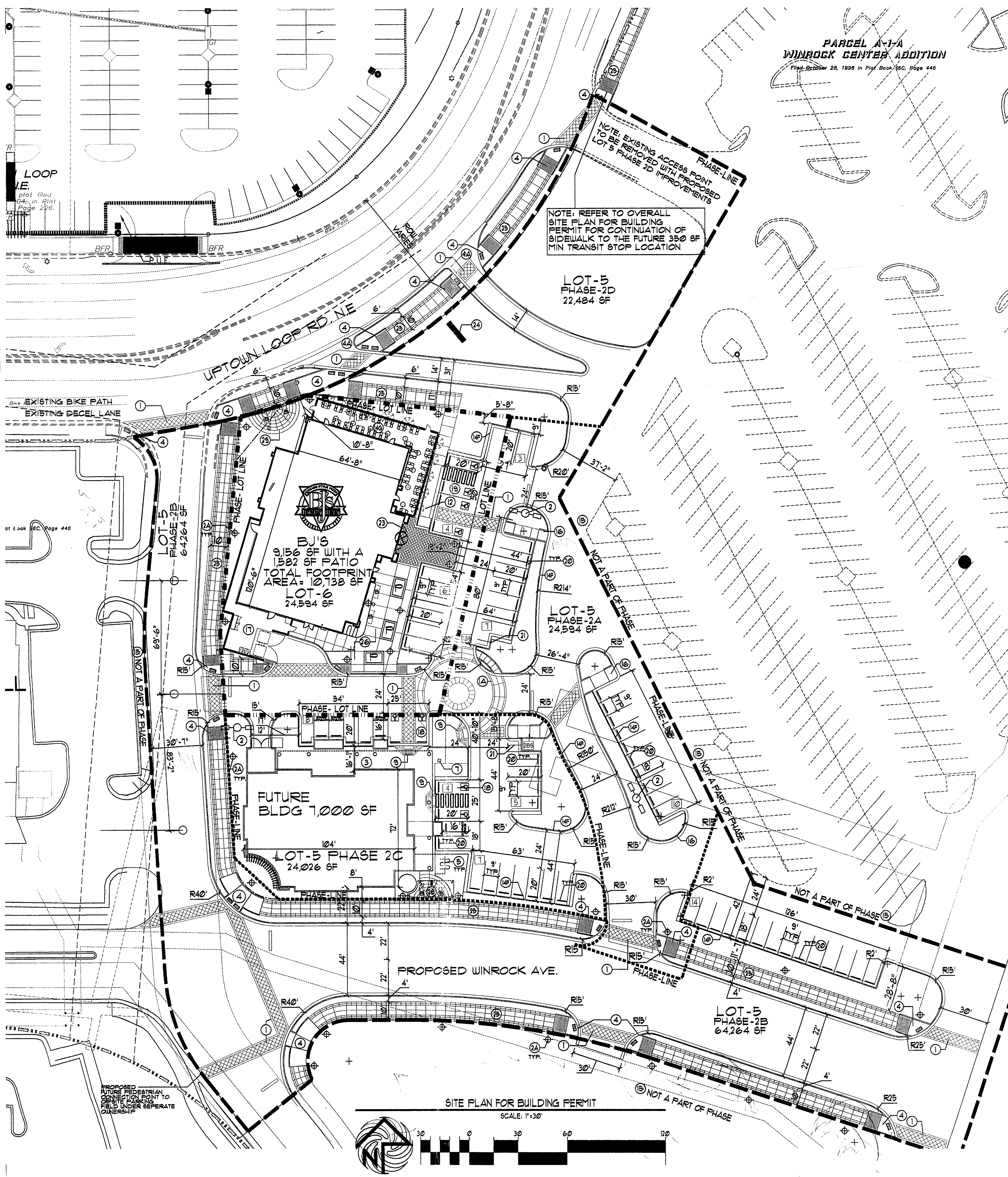
3 PLANS CHECKED BY: \_\_\_\_\_  
 824-0311  
 APPROVED FOR PERMIT  
 (SIGNATURE) ONLY  
 DATE: 4/16/12

PROJECT TITLE: WINROCK TOWN CENTER  
 2200 LOUISIANA BLVD. NE  
 ALBUQUERQUE NEW MEXICO

PROJECT NUMBER: \_\_\_\_\_  
 JOB NO.: \_\_\_\_\_  
 PROJECT MANAGER: STEPHEN DUNEAR, AIA  
 DRAWN BY: \_\_\_\_\_  
 DATE: 4/16/12

SCALE: AS NOTED

**SITE PLAN FOR BUILDING PERMIT**



**PARCEL A-1A  
WINROCK CENTER ADDITION**  
File: October 20, 1998 in Plat Book 66C, Page 448

**KEYED NOTE:**

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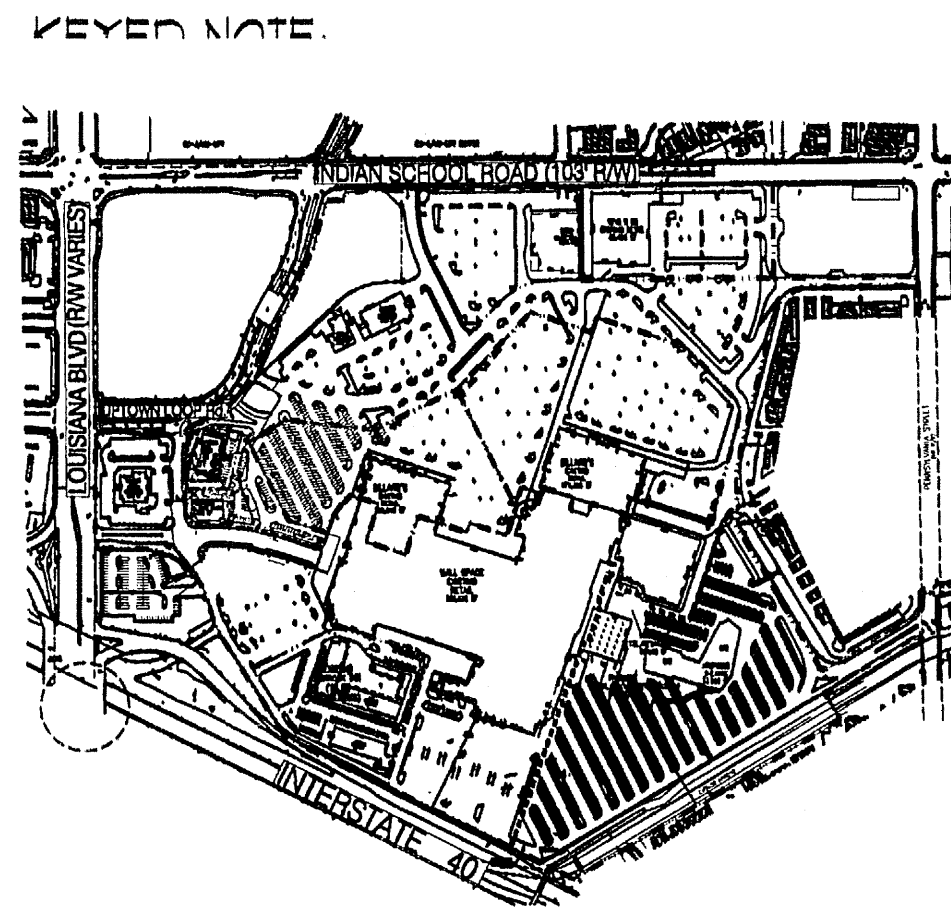
PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB AECOM ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary



**PEDESTRIAN SEATING TABULATION**

PEDESTRIAN SEATING TABULATION (LOT-6 BJ'S) WITHIN BJ'S DEVELOPED OPEN SPACE

- (1) 4 PERSON BENCHES
- (3) 15 PERSON RAISED PLANTER BED WALLS
- 55 TOTAL PROVIDED PUBLIC SEATS

PEDESTRIAN SEATING TABULATION (LOT-5 PHASE 2-C FUTURE BUILDING AREA) WITHIN FUTURE SHOPS DEVELOPED OPEN SPACE

- (2) 4 PERSON BENCHES
- 8 TOTAL PROVIDED PUBLIC SEATS

TOTAL PROVIDED PUBLIC SEATS LOT-6/LOT 5 PHASE 2-C: 63 SEATS

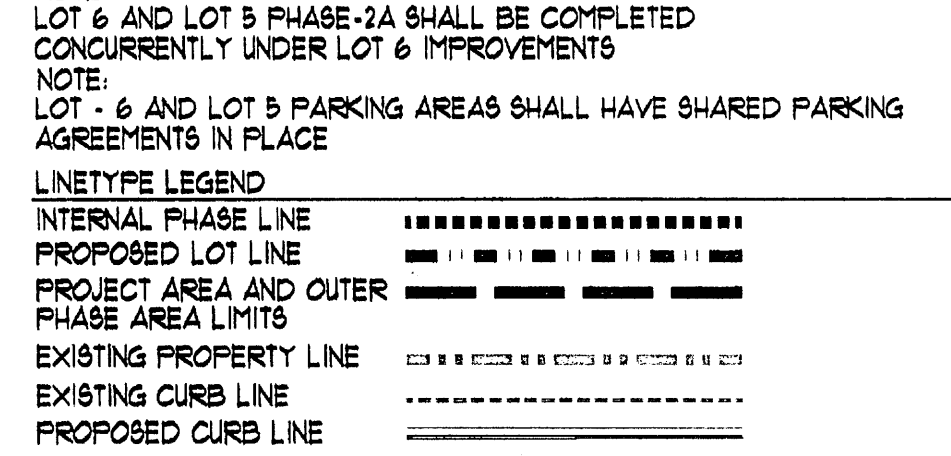
NOTE: ALL CROSS WALK LOCATIONS SHALL BE MAINTAINED BY THE LANDOWNER

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NOTE: LOT 6 AND LOT 5 PHASE-2A SHALL BE COMPLETED CONCURRENTLY UNDER LOT 6 IMPROVEMENTS

NOTE: LOT 6 AND LOT 5 PARKING AREAS SHALL HAVE SHARED PARKING AGREEMENTS IN PLACE



SITE DATA TABLE	BJ'S RESTAURANT (LOT-6)	FUTURE BLDG AREA	PHASE AREA TOTALS (LOT 5-P2 AND 6)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION		
TOTAL ACREAGE:	RE: SITE PLAN FOR SUBDIVISION		
EXISTING ZONING:	SU-3 MU-UPT		
PROPOSED USE:	RESTAURANT AND GENERAL RETAILING		
BUILDING SIZE:	9,156 SF + 1582 SF PATIO = 10,738	1,000 SF TOTAL	
TOTAL PARKING PROVIDED:	11 SPACES	51 SPACES	68 PROVIDED SPACES
TOTAL PARKING REQ.:	18 SPACES	14 SPACES	2 PER 1000 = 32 SPACES
HC PROVIDED:	4 SPACES	4 SPACES	8 HC (INCLUDING 8 VAN ACCESSIBLE)
HC REQUIRED:	1 SPACES	4 SPACES	5 HC SPACES
BIKE SPACES PROVIDED:	5 SPACES	5 SPACES	5 BIKE SPACES
BIKE SPACES REQUIRED:	1 SPACES	3 SPACES	1 PER 20 CAR SPACES = 3
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES	4 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACES	2 SPACES	3 SPACES

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

DATE: 4/6/12  
 SCALE: AS NOTED

PROJECT TITLE: WINROCK TOWN CENTER  
 2700 LOUISIANA BLVD. NE  
 ALBUQUERQUE NEW MEXICO

JOB NO.: WIN-BJ

PROJECT MANAGER: STEPHEN DUNBAR, AIA

DRAWN BY: S-J

SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

INDIAN SCHOOL ROAD (103' R/W)

LOUISIANA BLVD (RW VARIES)

PROPOSED FUTURE 350 SF MINIMUM TRANSIT STOP LOCATION

PROPOSED BJ'S RESTAURANT LOCATED WITHIN LOT 6

PROPOSED 7,000 SF BUILDING LOCATED WITHIN LOT 5 PHASE 2

RE: BP1 FOR ENLARGED PLAN

UPTOWN LOOP Rd

PROPOSED BJ'S 9,156 SF LOT 6

PROPOSED FUTURE BLDG 7,000 SF

MACARONI GRILL EXISTING RESTAURANT 1,140 SF

EXISTING RESTAURANT 6,607 SF

GARDINO'S EXISTING RESTAURANT 8,105 SF

LOT-5

LOT-1

DILLARD'S EXISTING RETAIL 105,849 SF

MALL SPACE EXISTING RETAIL 555,575 SF

LOT-5

EXISTING WINROCK INN (TO BE DEMOLISHED)

LOT-5

PROPOSED RETAIL/RESTAURANT/OFFICE 26,950 SF

PROPOSED RETAIL/RESTAURANT/OFFICE 54,120 SF

PROPOSED THEATRE 73,550 SF

LOT-5 PHASE-1

LOT-3

TOYS R US EXISTING RETAIL 42,469 SF

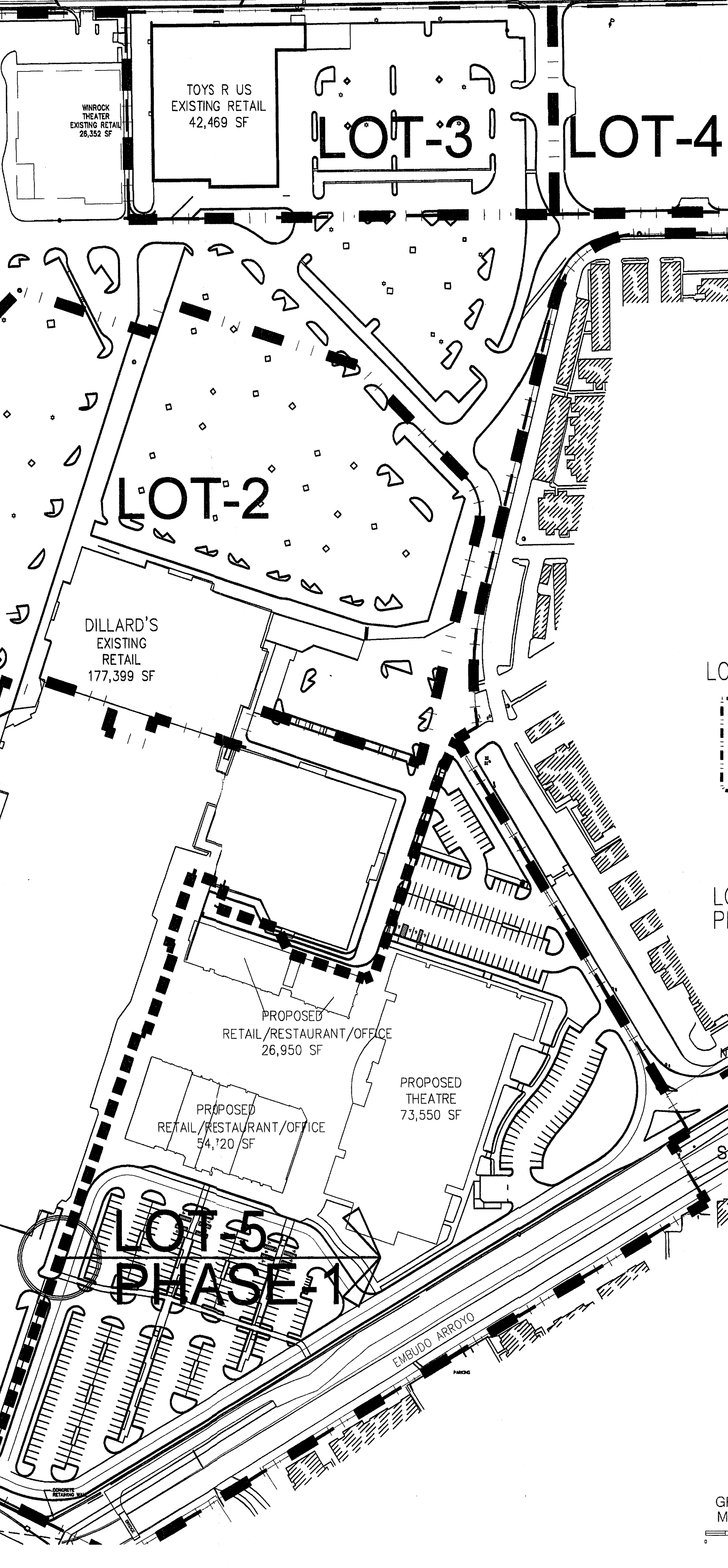
LOT-4

WINROCK THEATER EXISTING RETAIL 28,352 SF

LOT-5

LOT-5 PHASE-2

INTERSTATE 40



PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

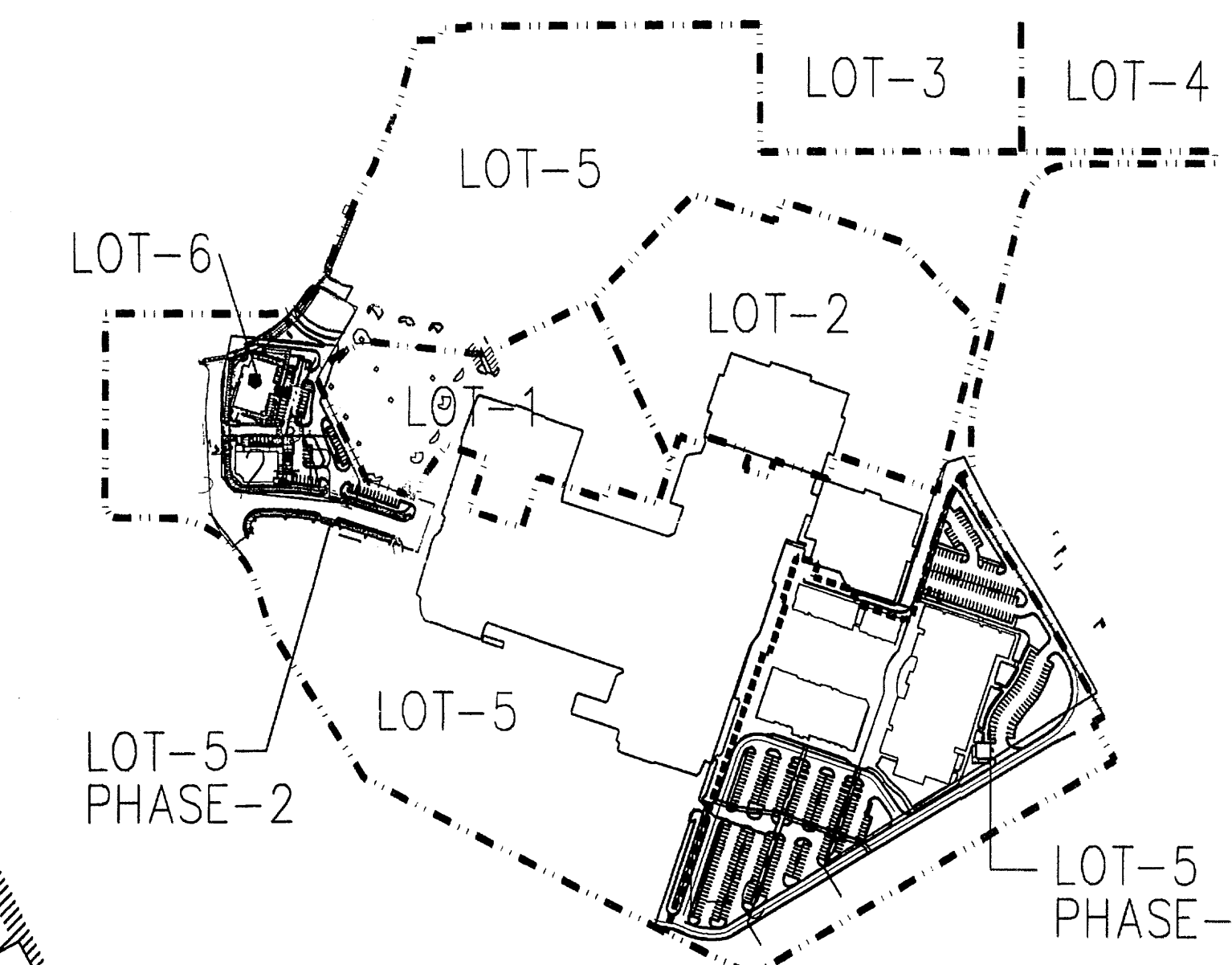
Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public Improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB ADOPTED ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

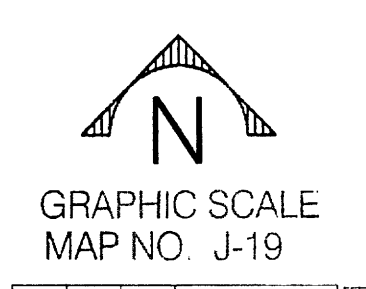
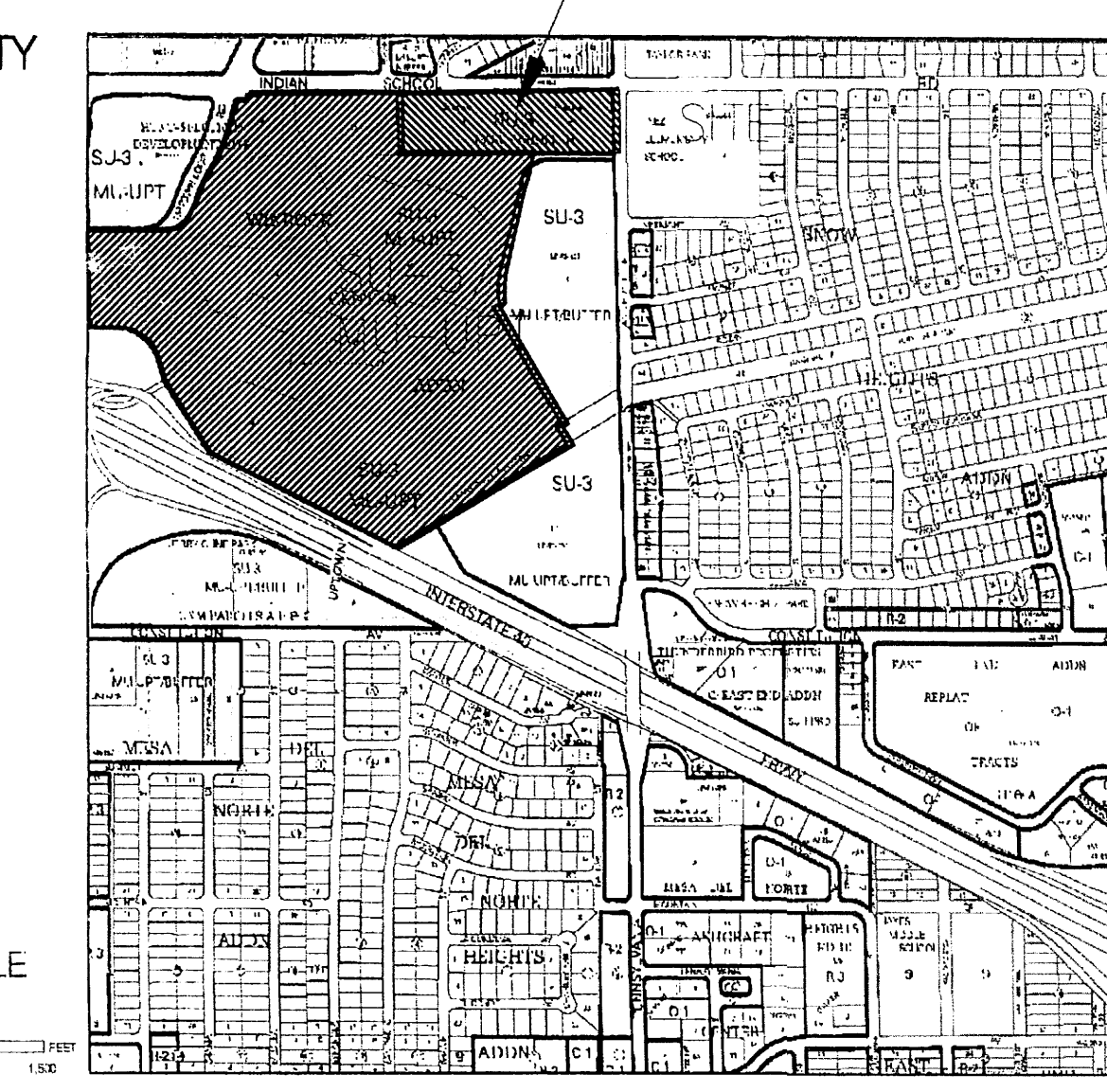
\* Environmental Health, if necessary

PHASING PLAN



SCALE: 1" = 100' SU-3/  
 MU-UPT BUFFER

SITE VICINITY



REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

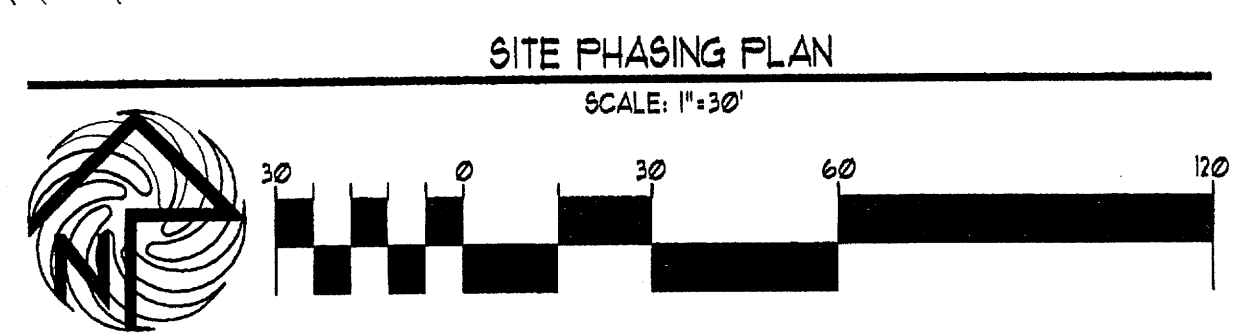
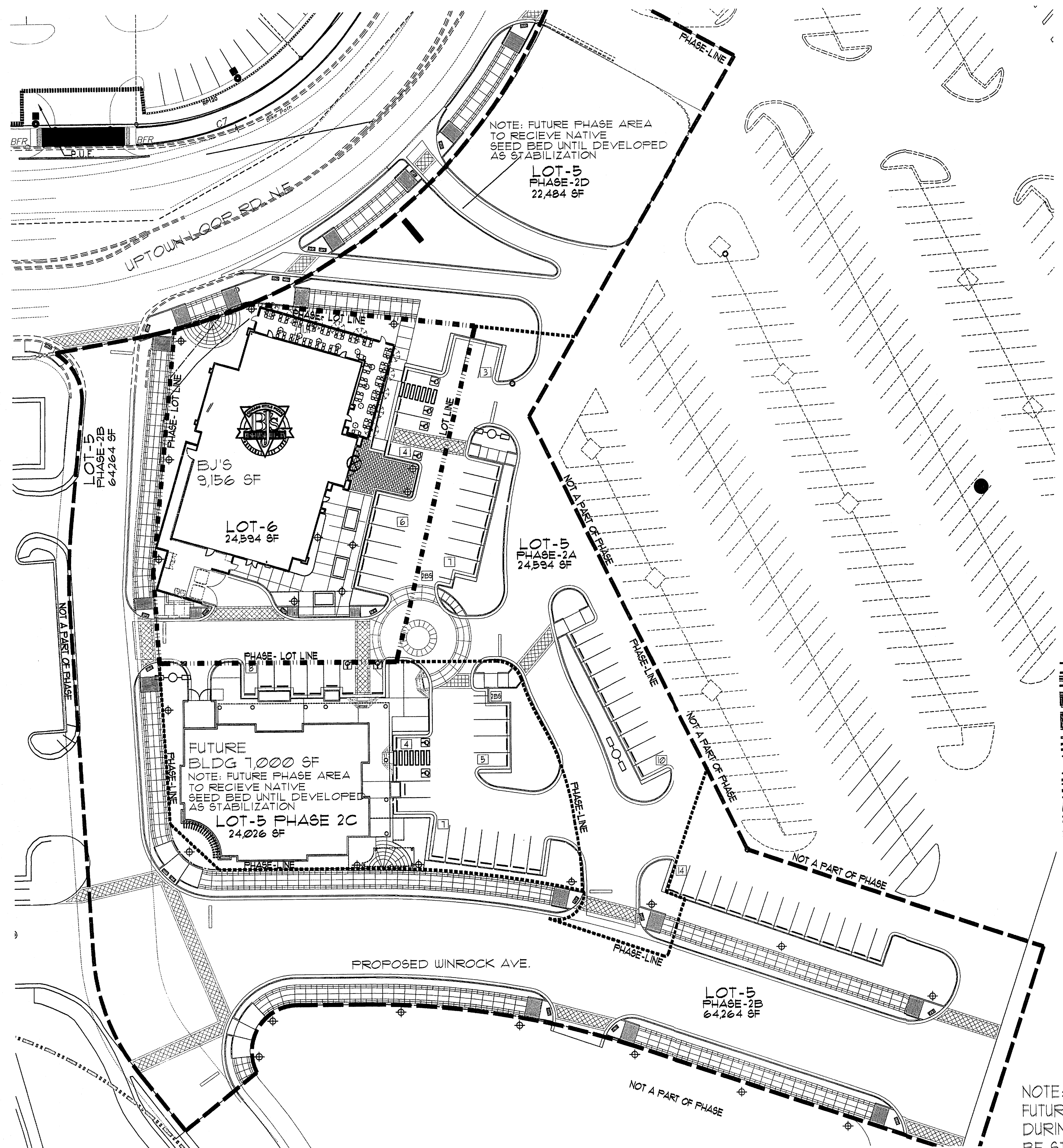
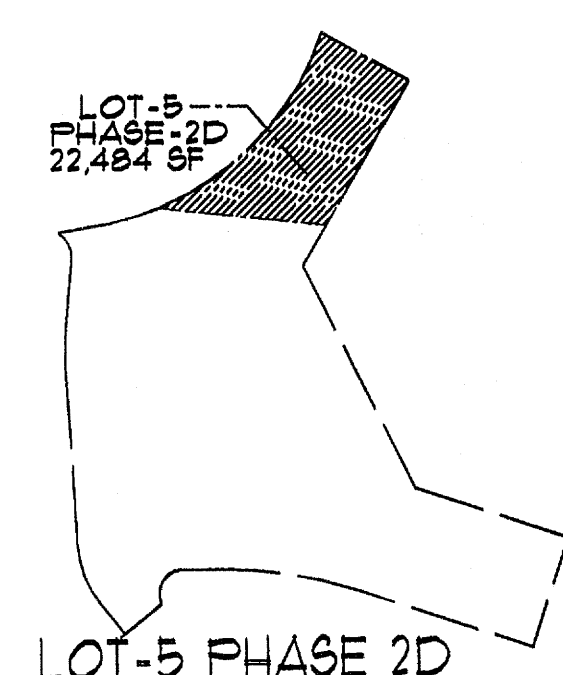
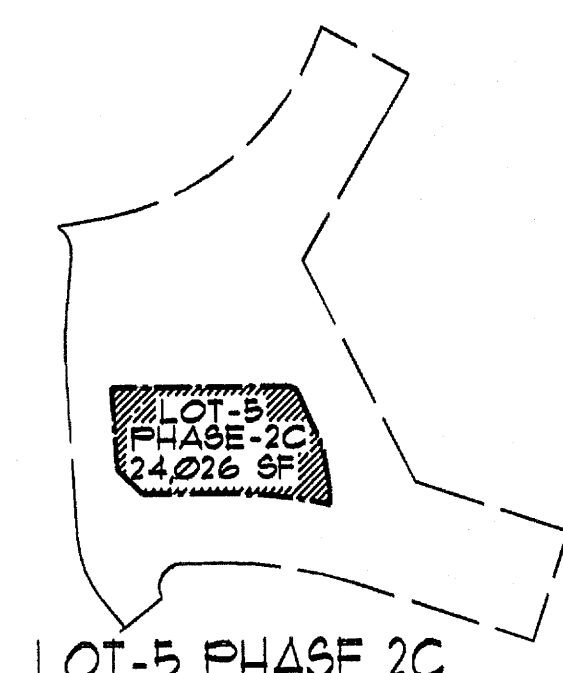
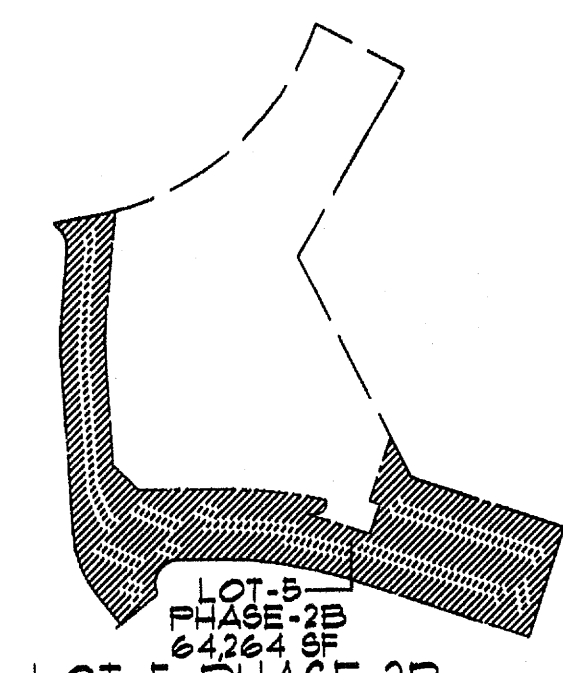
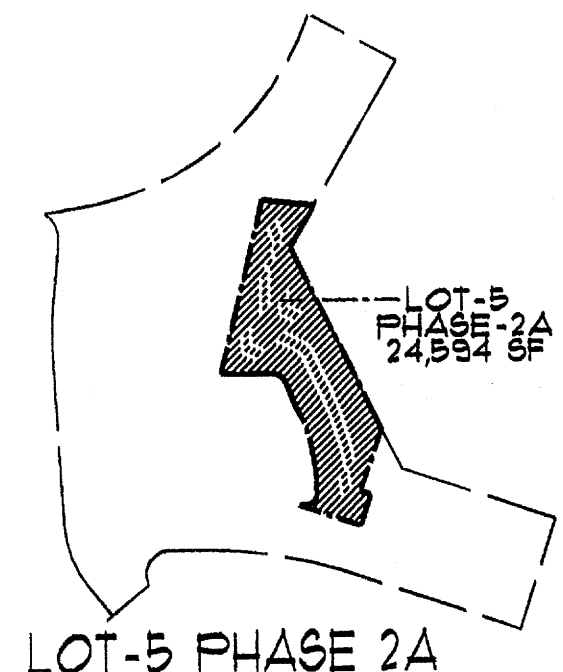
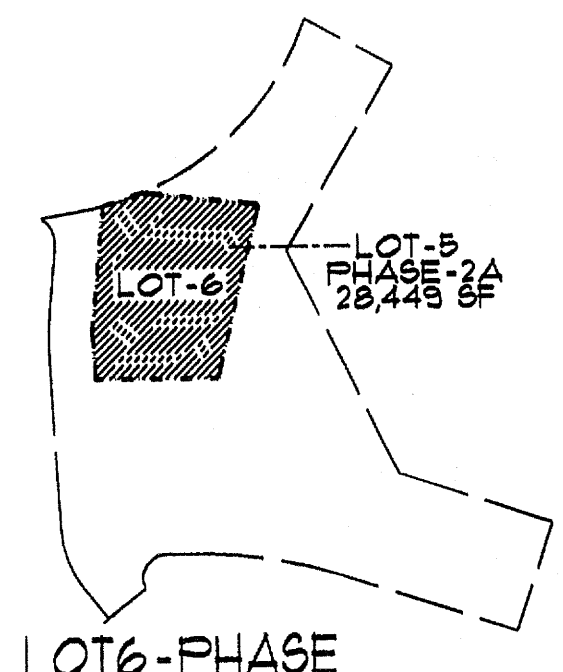
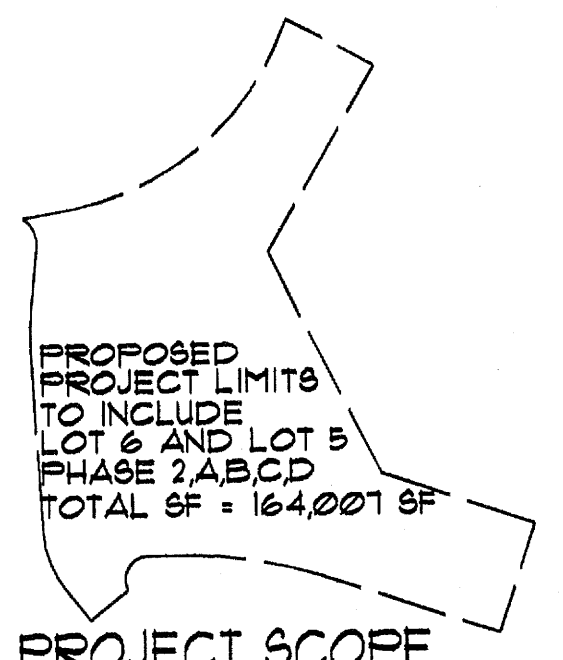
PROJECT TITLE: WINROCK TOWN CENTER  
 2200 LOUISIANA BLVD. NE  
 ALBUQUERQUE NEW MEXICO

PROJECT MANAGER: STEPHEN DUNBAR AIA  
 JOB NO.: WIN-BU

DRAWN BY: S-J  
 SHEET TITLE: OVERALL SITE PLAN FOR BUILDING PERMIT

DATE: 4/6/12  
 SCALE: AS NOTED

BP1A



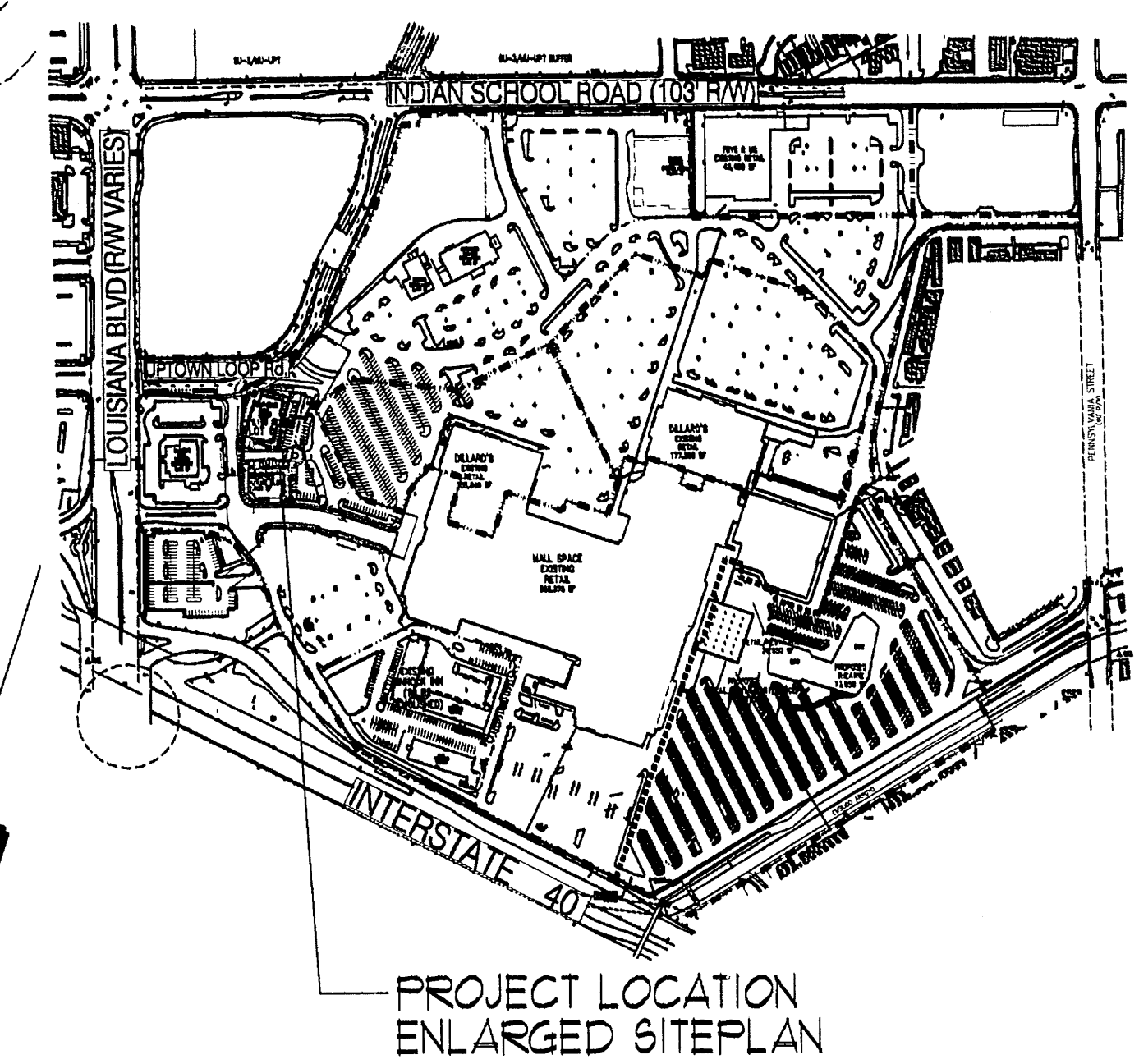
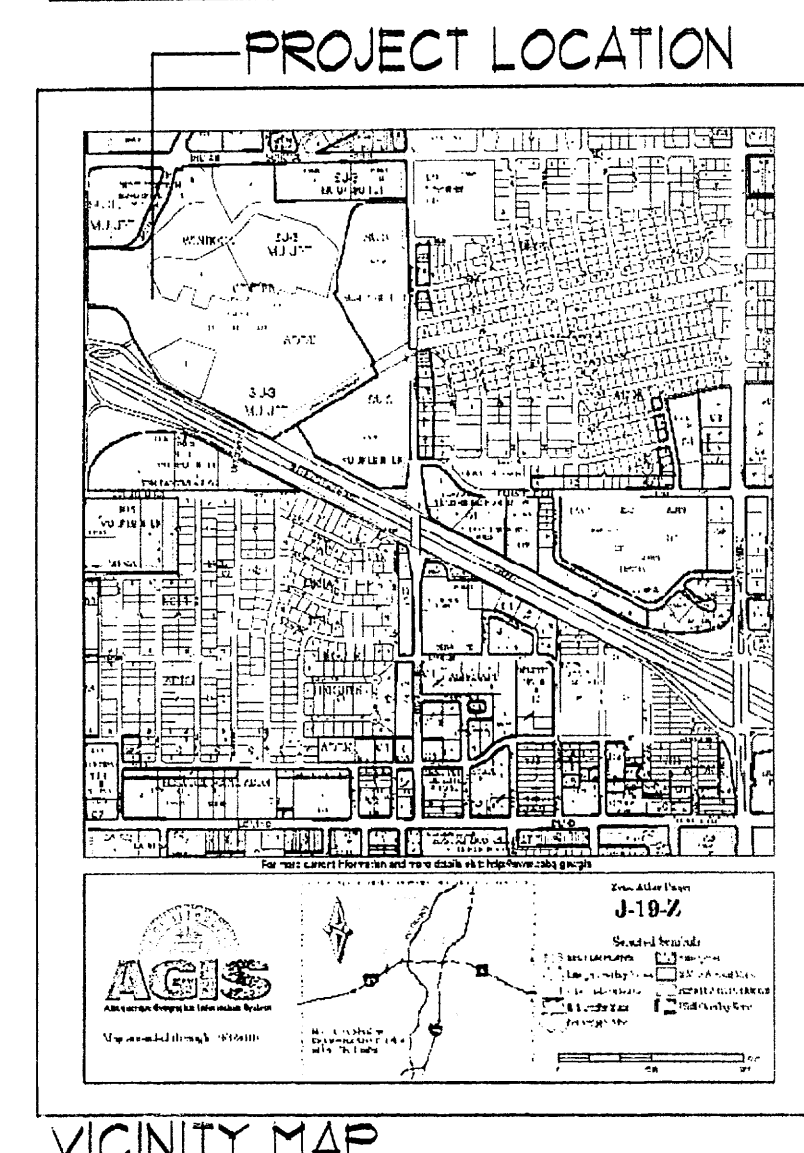
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DRB ABQ/UA ENGINEER	Date
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Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

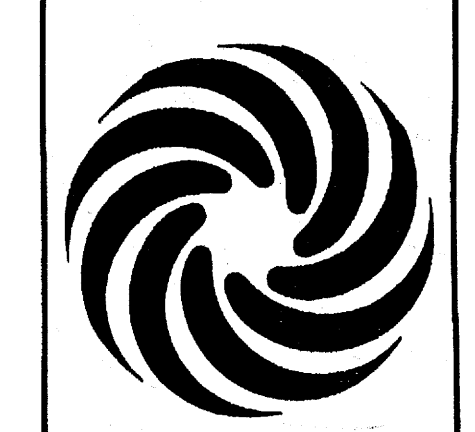
\* Environmental Health, if necessary



NOTE:  
FUTURE PHASE IMPROVEMENT AREAS MODIFIED DURING PREVIOUS PHASE IMPROVEMENTS SHALL BE STABILIZED BY USE OF NATIVE SEED LANDSCAPING UNTIL COMMENCEMENT OF PROPOSED PHASE IMPROVEMENT AREA

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



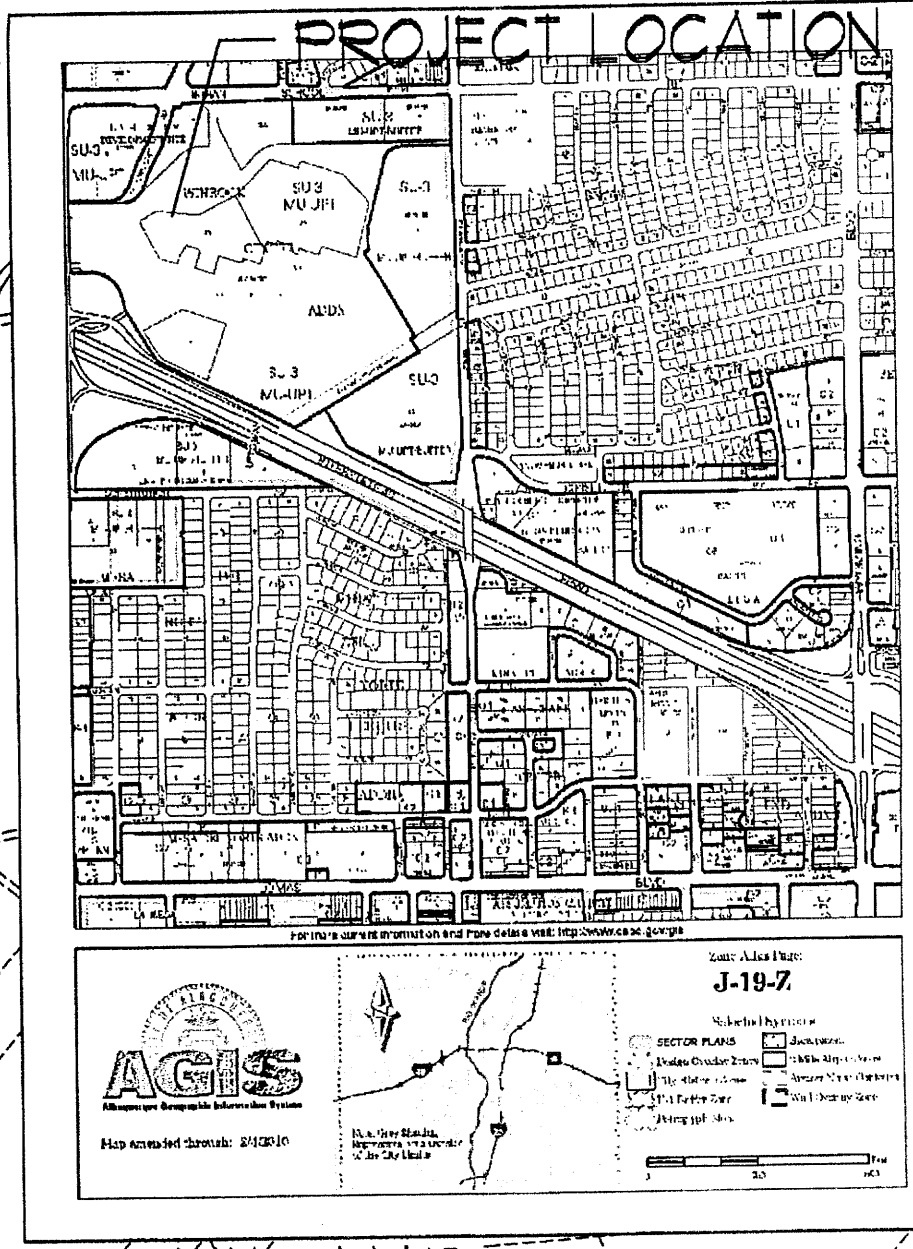
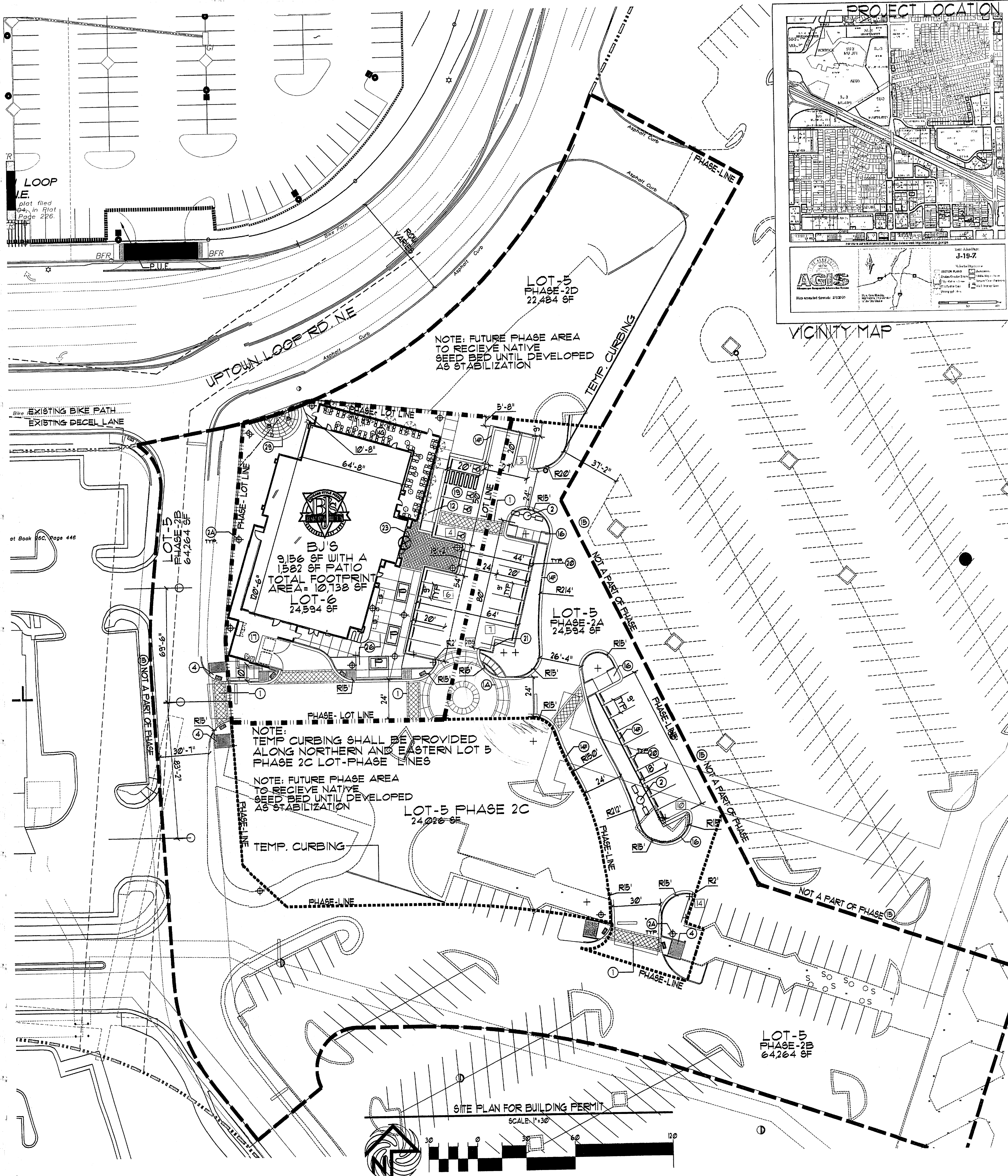
PROJECT TITLE  
WINROCK TOWN CENTER  
2200 LOUISIANA BLVD. NE  
ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER  
JOB NO.  
STEPHEN DUNBAR, AIA  
WIN-BU

DRAWN BY:  
S-J

SHEET TITLE  
SITE PHASE PLAN

DATE: 4/6/12  
SCALE: AS NOTED  
BPIB



- KEYED NOTE:**
- 1) 8' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A1
  - 2) 8' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 2/A1/3
  - 3) 10' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN STREET SIDEWALK RE: DETAIL 3/A1
  - 4) 30' LIGHT POLE LOCATION RE: DETAIL 3/A1
  - 5) 4 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION RE: DETAIL 1/A1/3 TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL = [Symbol]
  - 6) CONC. SIDEWALK RE: DET 14/A1 RE: SITE PLAN FOR JOINT LAYOUT
  - 7) HANDICAP RAMP PER COA STD DUG 2426 AT 1/2 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
  - 8) INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
  - 9) INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 1/A1/2 TYPICAL BIKE RACK GRAPHIC SYMBOL = [Symbol]
  - 10) BENCH LOCATION RE: DETAIL 5/A1/3 TYPICAL BENCH GRAPHIC SYMBOL = [Symbol]
  - 11) TRASH RECEPTACLE RE: DET. 3/A1/3
  - 12) 18" HIGH INTEGRALLY COLORED CONC. RAISED BED/SEATING LANDSCAPE AREA RE: DETAIL 10/A1/3 TYPICAL PLANTING BED GRAPHIC SYMBOL = [Symbol]
  - 13) HANDICAP RAMP RE: 15/A1
  - 14) HANDICAP RAMP RE: 16/A1
  - 15) HANDICAP RAMP RE: 12/A1
  - 16) HANDICAP RAMP RE: 17/A1
  - 17) INDICATES "OPEN SPACE" LANDSCAPE AREAS GC TO PROVIDE/COORDINATE REQ. SLEEPING FOR EA WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
  - 18) INDICATES "DEVELOPED OPEN SPACE AREA LOCATION RE: PLAN AND LANDSCAPE PLAN FOR INFO
  - 19) INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE / SEATING AREA RE: KEYED NOTE 8
  - 20) INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE AREA
  - 21) INDICATES "DEVELOPED OPEN SPACE 15% LANDSCAPE SHADE TREE LOCATION RE: LANDSCAPE PLAN FOR SHADE TREE INFO
  - 22) INDICATES "DEVELOPED OPEN SPACE 15% CANOPY SHADE STRUCTURE
  - 23) INDICATES "DEVELOPED OPEN SPACE ACTIVE WATER HARVESTING CONTAINMENT TANK 6 DIA. 2' HIGH TANK W/ RUBBER MEMBRANE BLADDER TO ACCEPT ADJACENT ROOF WATER RUNOFF TANK SHALL BE ELEVATED A MIN. OF 1' ABOVE ADJACENT GRADE TO ALLOW FOR GRAVITY FLOW TO ADJACENT PLANT BEDS
  - 24) INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A1 FOR NOTCH DETAIL
  - 25) INDICATES PROPOSED BUS OUTDOOR OPEN AIR PATIO WITH NON FIXED SEATING RE: DETAIL SHEET PLAN A10 FOR PATIO DETAIL INFO
  - 26) NOT A PART-FUTURE REDEVELOPMENT PHASE
  - 27) 6" HIGH CONC. ISLAND RE: DET 4/A1 RE: SITE GRADING PLAN FOR INFO
  - 28) SERVICE YARD RE: DETAIL PLAN SHEET A6.0 FOR YARD DETAILS
  - 29) HC PARKING STALL RE: DET 5/A1/2
  - 30) DUAL CONFIGURATION HC PARKING STALL RE: DET 9/A1/2
  - 31) WHEELSTOP RE: DET 5/A1/2 NOTE: WHEEL STOPS OCCUR AT EACH PARKING SPACE AS REQUIRED BY USDP
  - 32) INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION NOTE: EACH ONSITE STALL MEASURES 4' X 8' IN SIZE RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A1/2 FOR "MOTOR CYCLE PARKING" SIGN DETAIL
  - 33) COMBINATION PET-HUMAN WATER FOUNTAIN RE: DETAIL 1/A1/3
  - 34) EXTERIOR 12" X 24" BRAZILIAN SLATE TILE AT BU'S (LOT 6) MAIN BUILDING ENTRY PATHWAY
  - 35) PROPOSED CENTER ID SIGN RE: DETAIL 1/A1/4 FOR SIGN ELEV.
  - 36) PERIMETER CONCRETE STREET SIDEWALK WITH DECORATIVE BORDER RE: DETAIL 9/A1/3
  - 37) INDICATES PROPOSED OUTDOOR DEVELOPED PLAZA AREA ON THE SOUTHEAST CORNER OF THE BU'S RESTAURANT. AREA SHALL CONTAIN LANDSCAPE PLANTING BEDS ADJACENT TO CONCRETE WALKWAYS. THE CENTER PORTION OF THE PLAZA AREA SHALL CONTAIN RAISED CONCRETE PLANTERS AND A DRINKING FOUNTAIN FOR PET AND PEDESTRIAN USE. THE NORTHERN PART OF THE PROPOSED PLAZA AREA SHALL BE FURTHER ENHANCED WITH SLATE TILE BETWEEN THE ENTRY FACADE AND FACE OF CURB RE: ENLARGED DETAIL 5/A1/4 FOR INFO
  - 38) PLAZA SIDEWALK EDGE DETAIL RE: DETAIL 2/A1/4
  - 39) PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 3/A1/4 FOR INFO
  - 40) PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 4/A1/4 FOR INFO

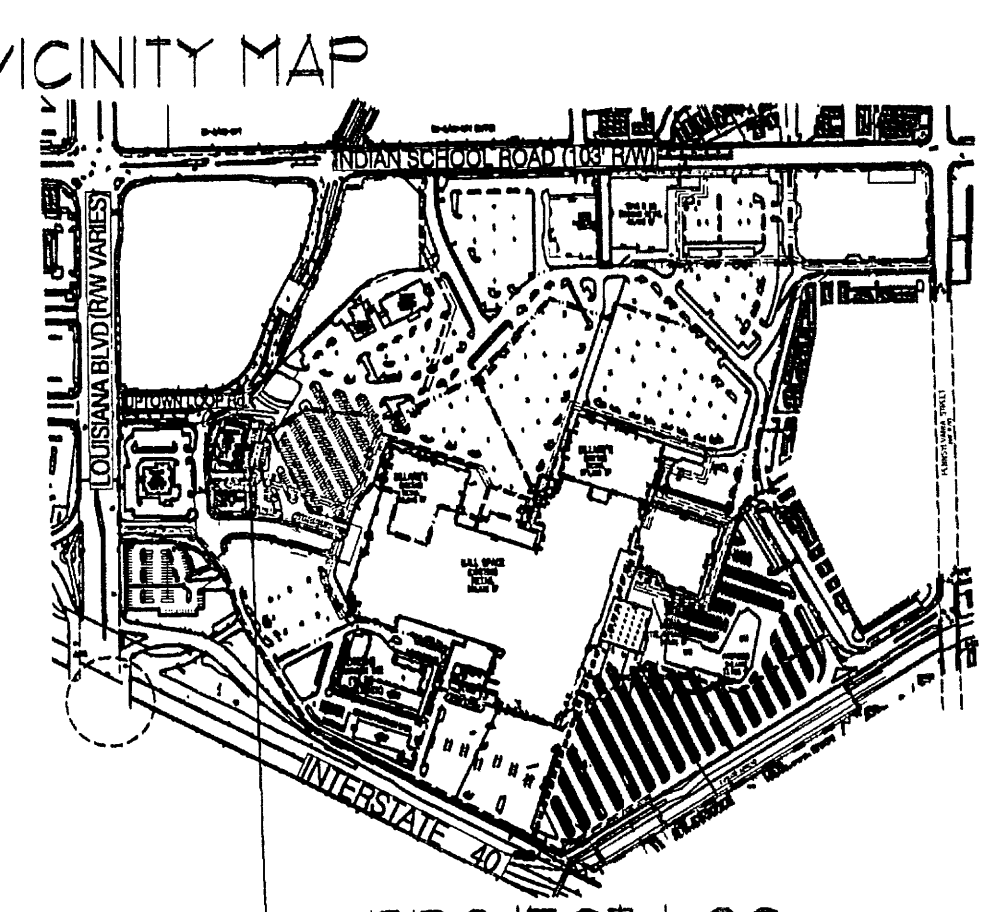
**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB AECOM ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary



**PROJECT LOC. OVERALL SITE MAP**

**PEDESTRIAN SEATING TABULATION**

PEDESTRIAN SEATING TABULATION (LOT-6 BUS) WITHIN BUS DEVELOPED OPEN SPACE  
 (4) 4 PERSON BENCHES  
 (3) 13 PERSON RAISED PLANTER BED WALLS  
 55 TOTAL PROVIDED PUBLIC SEATS

PEDESTRIAN SEATING TABULATION (LOT-5 PHASE 2-C FUTURE BUILDING AREA) WITHIN FUTURE SHOPS DEVELOPED OPEN SPACE  
 (2) 4 PERSON BENCHES  
 8 TOTAL PROVIDED PUBLIC SEATS

TOTAL PROVIDED PUBLIC SEATS LOT-6/LOT 5 PHASE 2-C = 63 SEATS

NOTE:  
 ALL CROSS WALK LOCATIONS SHALL BE MAINTAINED BY THE LANDOWNER  
 NOTE:  
 ALL LANDSCAPED AREAS TO BE DEPRESSURED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS  
 NOTE:  
 PROPOSED PEDESTRIAN ACCESS ALONG THE UPTOWN LOOP ROW SHALL BE PROVIDED BY 4 SETS OF RAMPS AND TEXTURED PAVING SECTIONS FROM THE NORTHWEST CORNER OF LOT-6 TO THE PROPOSED MASS TRANSIT STOP LOCATED AT THE SIGNALIZED INTERSECTION AS SHOWN ON THE OVERALL SITE PLAN FOR BUILDING PERMIT  
 NOTE:  
 LOT 6 AND LOT 5 PHASE-2A SHALL BE COMPLETED CONCURRENTLY UNDER LOT 6 IMPROVEMENTS  
 NOTE:  
 LOT 6 AND LOT 5 PHASE-2A SHALL HAVE SHARED PARKING AGREEMENTS IN PLACE

**LINE TYPE LEGEND**

INTERNAL PHASE LINE	[Symbol]
PROPOSED LOT LINE	[Symbol]
PROJECT AREA AND OUTER PHASE AREA LIMITS	[Symbol]
EXISTING PROPERTY LINE	[Symbol]
EXISTING CURB LINE	[Symbol]
PROPOSED CURB LINE	[Symbol]

SITE DATA TABLE	BU'S RESTAURANT (LOT-6)	FUTURE BLDG AREA	PHASE AREA TOTALS (LOT 5-F2 AND 6)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION		
TOTAL ACREAGE	RE: SITE PLAN FOR SUBDIVISION		
EXISTING ZONING	SU-3 MU-UPT		
PROPOSED USE	RESTAURANT AND GENERAL RETAILING		
BUILDING SIZE	9,156 SF + 1,582 SF PATIO = 10,738	1,000 SF TOTAL	
TOTAL PARKING PROVIDED:	11 SPACES	51 SPACES	68 PROVIDED SPACES
TOTAL PARKING REQ:	18 SPACES	14 SPACES	2 PER 1000 + 32 SPACES
HC PROVIDED:	4 SPACES	4 SPACES	8 HC (INCLUDING 8 VAN ACCESSIBLE)
HC REQUIRED:	1 SPACES	4 SPACES	5 HC SPACES
BIKE SPACES PROVIDED:	5 SPACES	5 SPACES	5 BIKE SPACES
BIKE SPACES REQUIRED:	1 SPACES	3 SPACES	1 PER 20 CAR SPACES = 3
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES	4 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACES	2 SPACES	3 SPACES

REV	DATE	BY	REVISION
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2			
3			
4			
5			

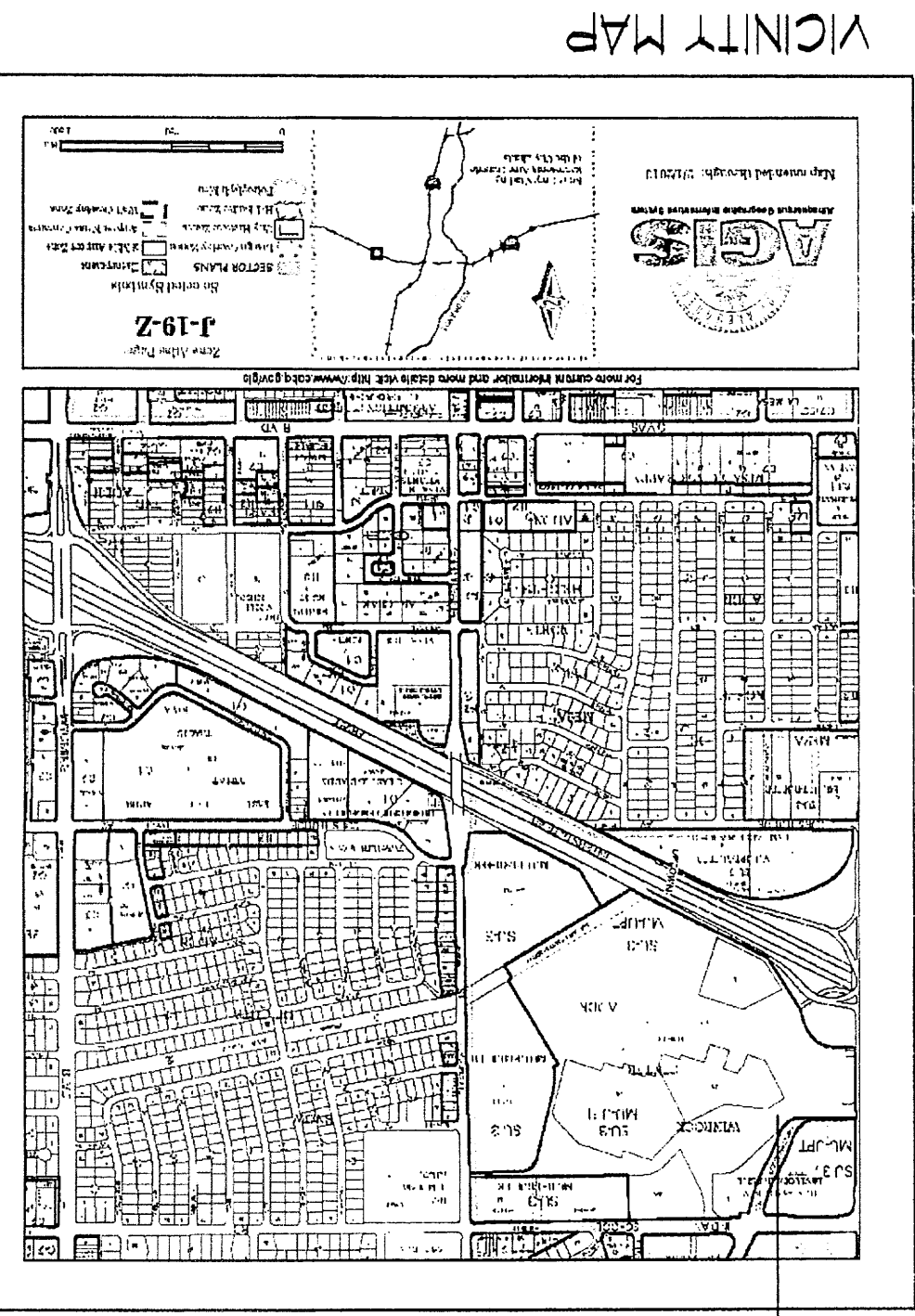
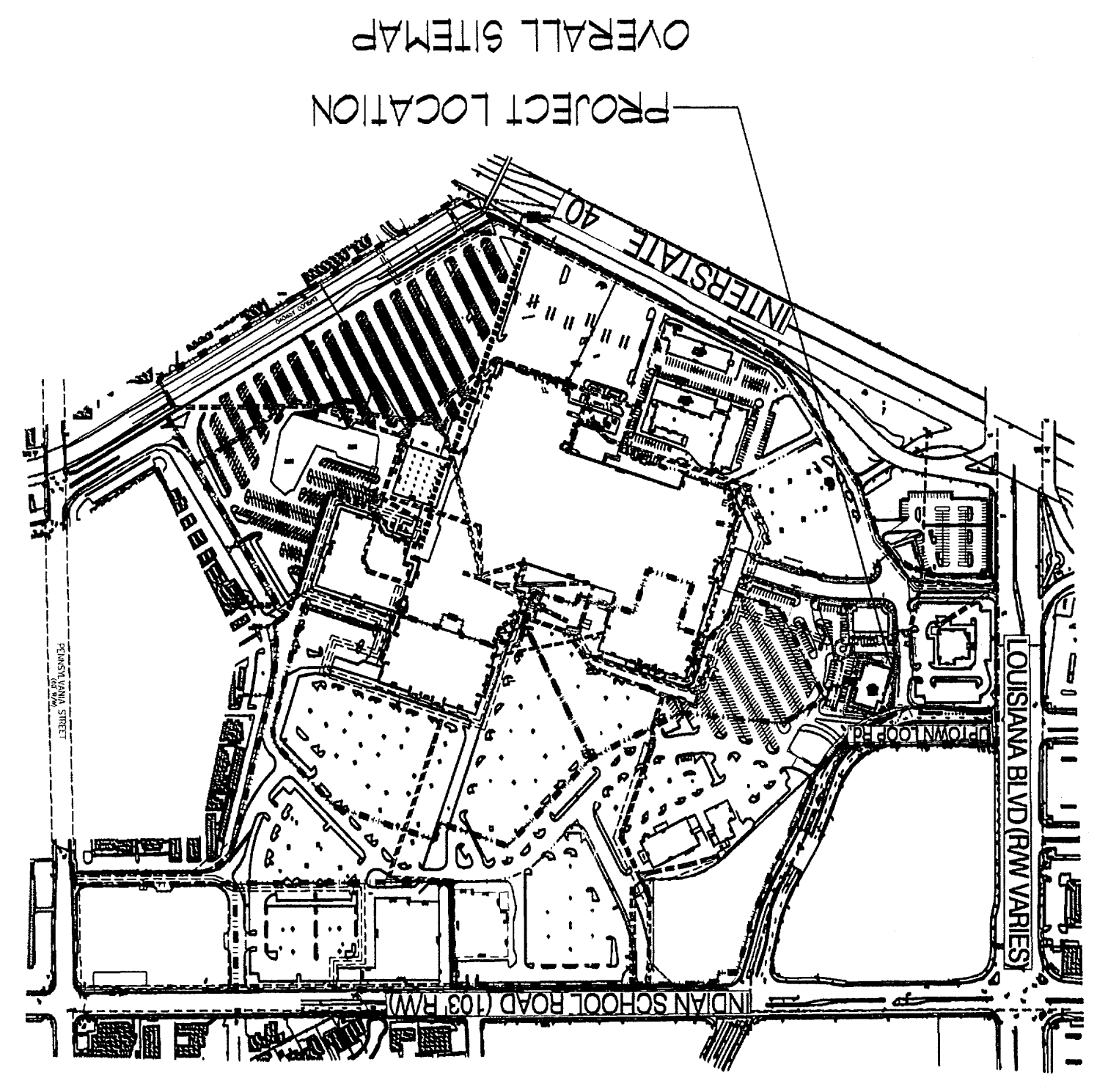
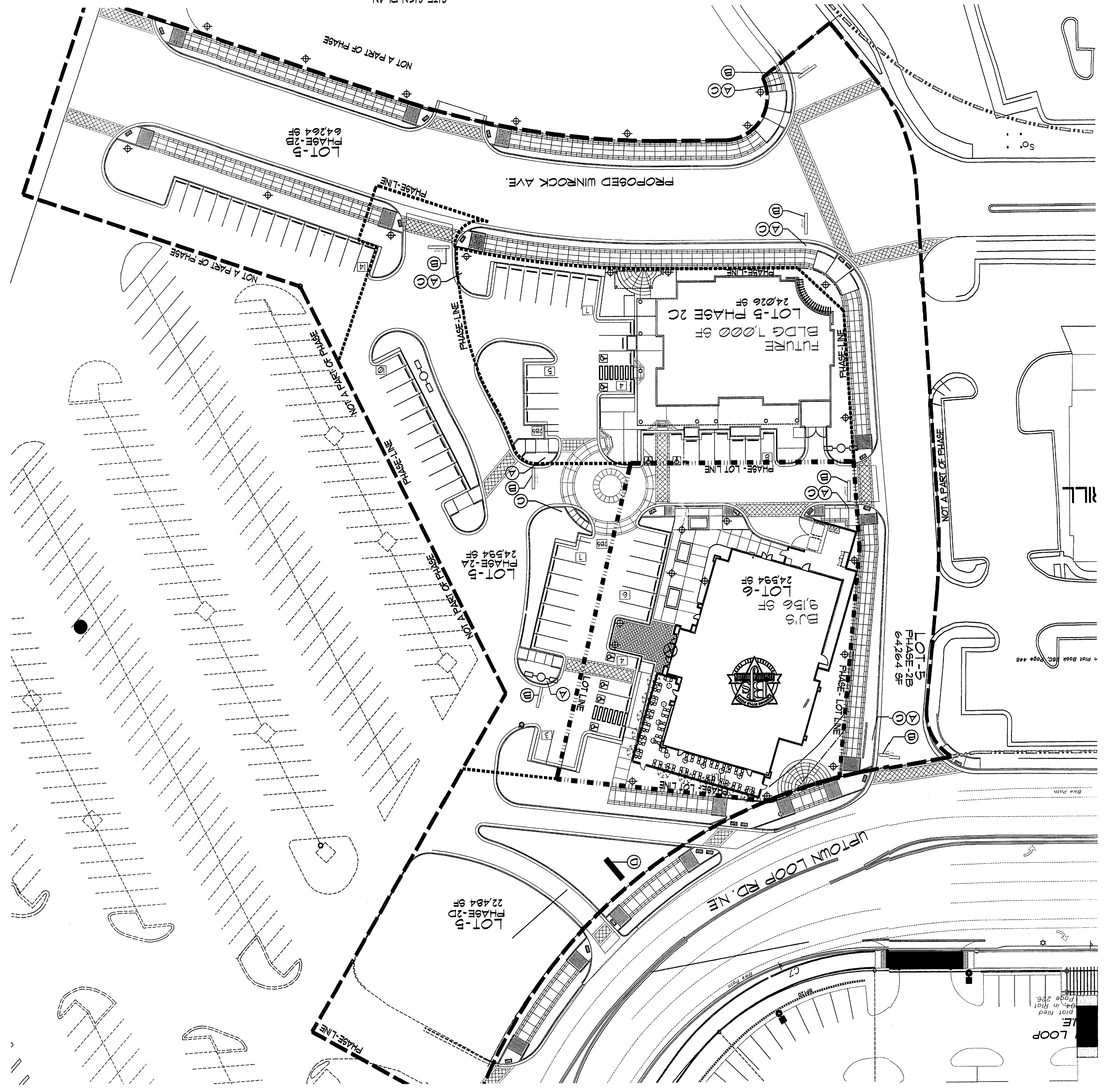
**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

**WINROCK TOWN CENTER**  
 2700 LOUISIANA BLVD. NE  
 ALBUQUERQUE NEW MEXICO

PROJECT NUMBER: WIN-EU  
 JOB NO.: WIN-EU  
 DRAWN BY: B-J  
 SHEET TITLE: LOT 5 PHASE 2A LOT 6 SITE PLAN

DATE: 4/6/12  
 SCALE: AS NOTED

STEPHEN DUNBAR, AIA  
 BPC



PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

Is an alternative lot required? (YES / NO) If yes, then a set of approved PDC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

PDC SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

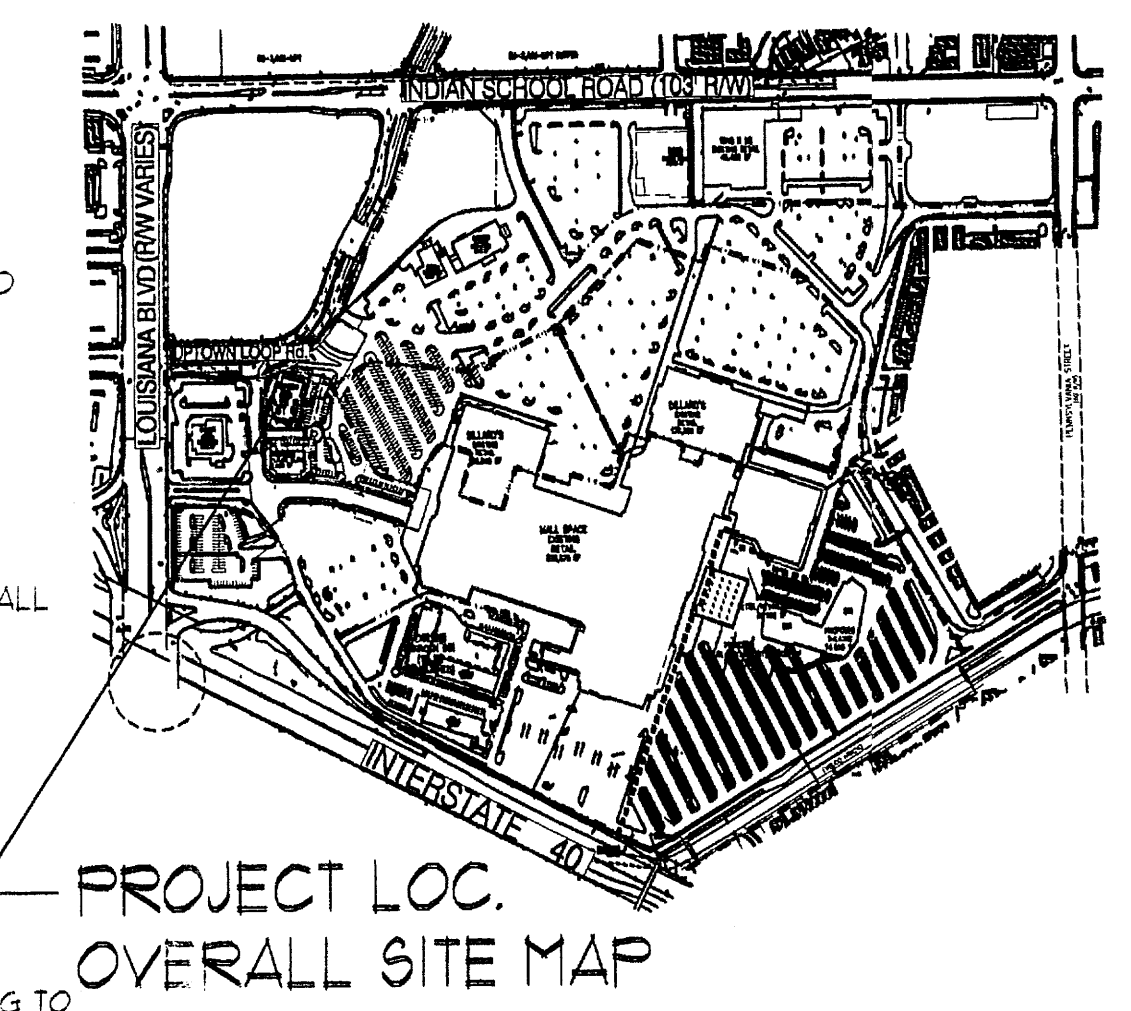
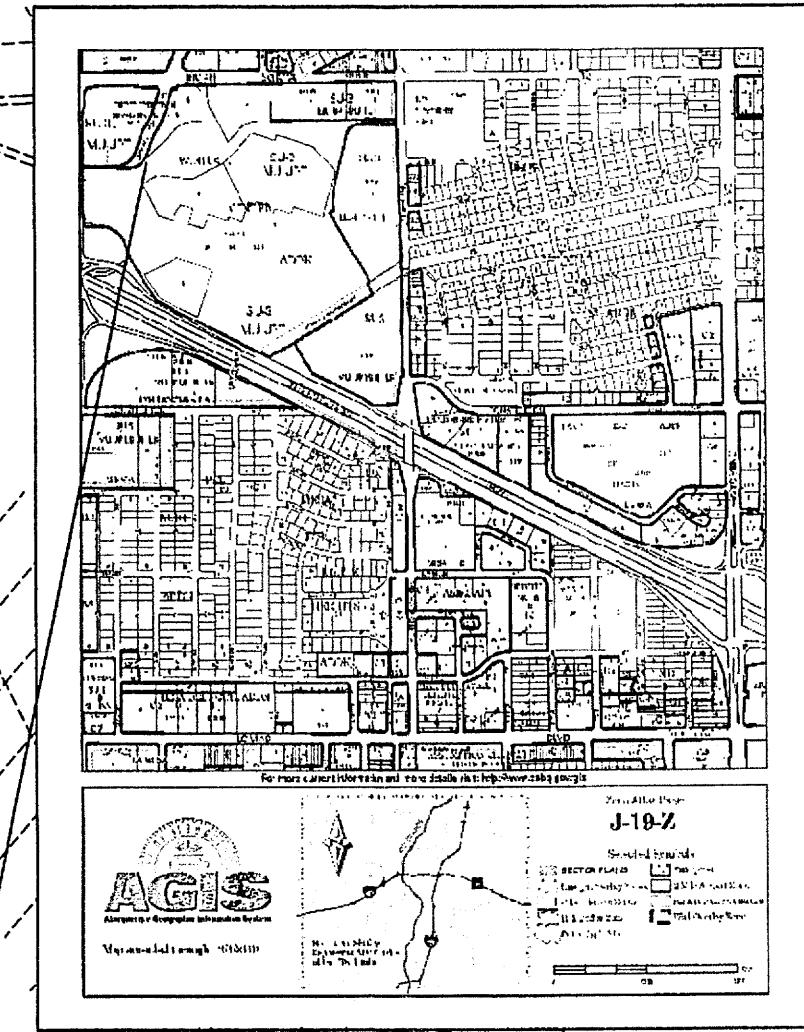
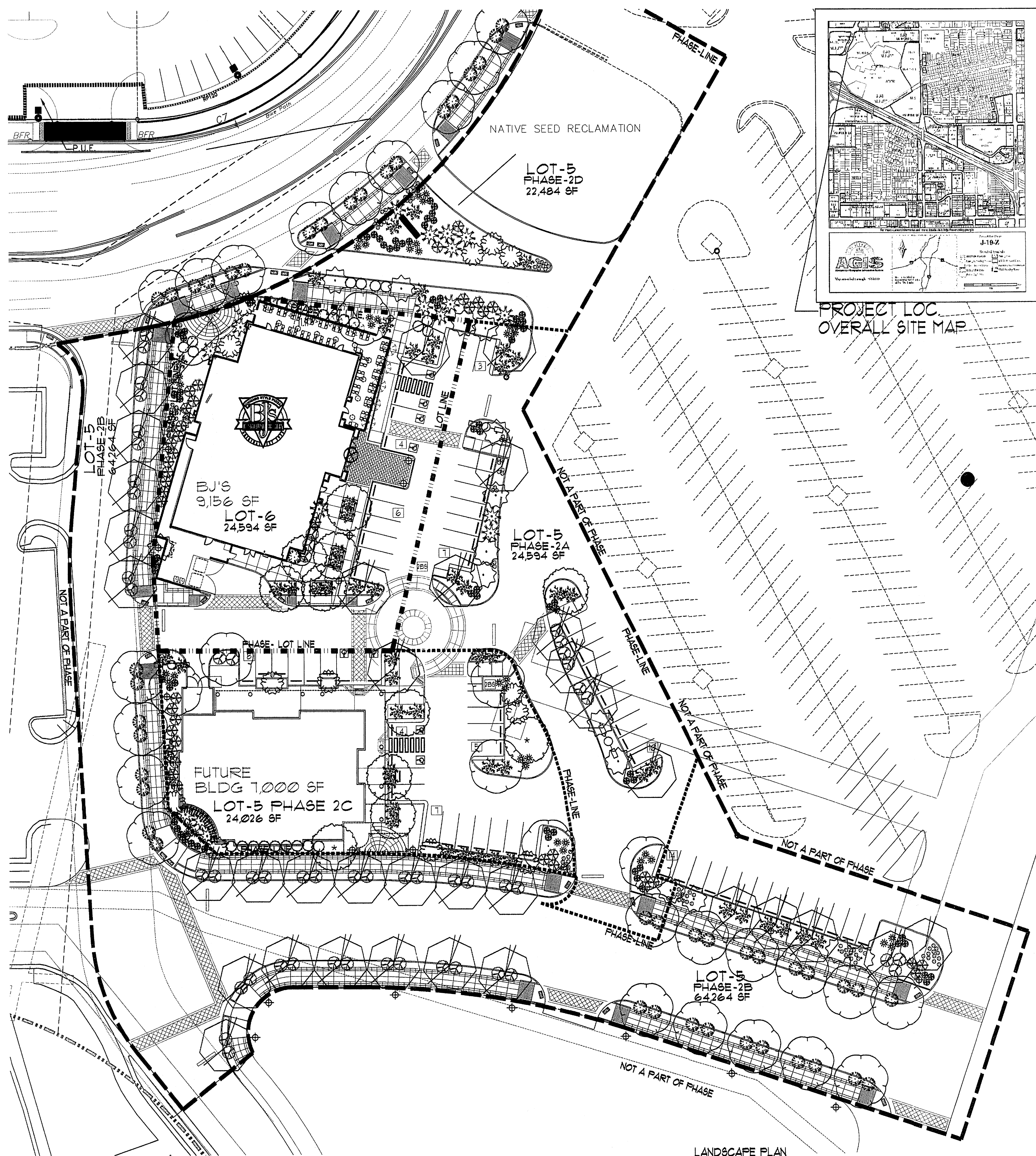
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
PDS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DEB CHAIRPERSON, PLANNING DEPARTMENT	DATE
ENVIRONMENTAL HEALTH (IF NEEDED)	DATE

- KEYED NOTE:
- (A) STOP SIGN, RE DETAIL 3A/A12
  - (B) PAINTED STOP BAR, RE DETAIL 1A/12
  - (C) PEDESTRIAN CROSSING SIGN, RE DETAIL 3A/12
  - (D) PROPOSED CENTER ID SIGN, RE DETAIL 1A/4 FOR SIGN EL.

DATE	4/6/12
SCALE	AS NOTED
PROJECT TITLE	WINROCK TOWN CENTER 2200 LOUISIANA BLVD. NE ALBUQUERQUE, NEW MEXICO
PROJECT NUMBER	STEPHEN DUNBAR, AIA
JOB NO.	WIN-01
DRAWN BY:	S-J
SHEET TITLE	SITE SIGN PLAN

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

REV	DATE	BY	REVISION



**LANDSCAPE CALCULATIONS:**

TOTAL LOT-5 AND 6 PHASE AREAS	164,001 SF
REQUIRED 10% OPEN SPACE =	16,400 SF
REQUIRED 40% LANDSCAPING AREA WITHIN 10% OPEN SPACE =	6,560 SF
PROVIDED 40% LANDSCAPING WITHIN 10% OPEN SPACE =	29,715 SF
PROVIDED DEVELOPED OPEN SPACE WITHIN 10% OPEN SPACE =	4,380 SF
REQUIRED 15% SHADE WITHIN DEVELOPED OPEN SPACE =	651 SF
PROVIDED 15% SHADE WITHIN DEVELOPED OPEN SPACE =	2,940 SF
NOTE: ASSUMED FULL TREE CANOPY AT MATURITY	
<b>RESERVED EXCESS OPEN SPACE FOR FUTURE PHASES = 23,715 SF 6F</b>	
NOTE: THE 10% OF SITE OPEN SPACE WAS ACHIEVED BY: 1. ALL LANDSCAPE AREAS OTHER THAN THOSE SPECIFICALLY EXCLUDED WITHIN CHAPTER V - SECTION D NUMBER 15 OF THE UBDP 2. PEDESTRIAN PLAZAS/DEVELOPED OPEN SPACE)	
NOTE: A MINIMUM OF 15% OF DEVELOPED OPEN SPACE SHALL BE SHADED WITH LANDSCAPING (TREES) OR SHADE STRUCTURES	
NOTE: PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY. 10% OF THE REQUIRED 75% LIVE GROUND COVER LANDSCAPE AREA SHALL BE PLANTED IN NATIVE FLOWERS AND FLOWERING PLANTS	
NOTE: REFER TO SITE CIVIL GRADING AND DRAINAGE PLANS FOR GRADE CONTOUR INFORMATION	
NOTE: EACH PHASED LANDSCAPE BED SHALL RECEIVE LANDSCAPING WITHIN ITS BED FOR EACH PHASED AREA AND TERMINATED ALONG PHASE LINE WITH A TEMPORARY METAL LANDSCAPE EDGE	
NOTE: ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTCHES	

**LANDSCAPE PHASE AREA CALCULATIONS:**

LOT-6 SITE AREA	28,449 SF
LOT-6 OPEN SPACE AREA	1,311 SF
LOT-5 PHASE 2A SITE AREA	24,594 SF
LOT-5 PHASE 2A OPEN SPACE AREA	3,714 SF
LOT-5 PHASE 2B SITE AREA	64,264 SF
LOT-5 PHASE 2B OPEN SPACE AREA	2,955 SF
LOT-5 PHASE 2C SITE AREA	24,026 SF
LOT-5 PHASE 2C OPEN SPACE AREA	6,435 SF
LOT-5 PHASE 2D SITE AREA	22,484 SF
LOT-5 PHASE 2D OPEN SPACE AREA	12,803 SF

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Shredded bark mulch over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netfam spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netfam shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque  
Street Tree Ordinance are as follows:  
Required 32 Provided 32

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**  
Shade trees required under the City of Albuquerque  
Parking Lot Tree Ordinance are as follows:  
Required 9 Provided 33

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infill change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB AECOM ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation site sheet indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

<b>SHADE TREES</b>	
CHINESE PISTACHE 35 Pistacia chinensis 12" Cal., 14" Inst., 60' x 60' maturity Water (M) Allergy (L) 0sf	
LACED BARK ELM 34 Ulmus parviflorus 12" Cal., 14" Inst., 40' x 40' maturity Water (M) Allergy (H) 0sf	
EASTERN REDBUD 11 Koenigseya coccinea 10" Cal., 10" Inst., 30' x 30' maturity Water (M) Allergy (L) 0sf	
<b>SHRUBS/ORNAMENTAL TREES</b>	
CREPE MYRTLE 14 Lagerströmia speciosa 10" Cal., 10" Inst., 20' x 20' maturity Water (M) Allergy (L) 225sf	
WASHINGTON HAWTHORN 15 Crataegus phaenopynum 15" Cal., 4"-10" Inst., 25' x 25' maturity Water (M) Allergy (L) 500sf	
<b>SHRUBS/ORNAMENTAL GRASSES</b>	
ROSE OF SHARON 17 Hibiscus syriacus 8" Cal., 2"-4" Inst., 10' x 10' maturity Water (M) Allergy (L) 100sf	
TRIE MOUNTAIN MAHODANY 40 Cercocarpus pentanervium 5" Cal., 15"-3" Inst., 10' x 6' maturity Water (L) Allergy (L) 36sf	
THREE-LEAF SUMAC 27 Rhus trilobata 5" Cal., 15"-3" Inst., 16' x 6' maturity Water (L) Allergy (L) 36sf	
DEER GRASS 35 Muhlenbergia rigida 1" Cal., 6"-12" Inst., 4' x 4' maturity Water (M) Allergy (L) 16sf	
REGAL MIST 68 Muhlenbergia capillaris 3" Cal., 15" Inst., 3' x 3' maturity Water (M) Allergy (L) 9sf	
WILDFLOWER 115 1" Cal., 3"-15" Inst., varies of maturity Water (varies) Allergy (varies) 4sf	
<b>GROUNDCOVERS</b>	
GREYLEAF COTONEASTER 54 Cotoneaster glaberrima 5" Cal., 24"-3" Inst., 7' x 9' maturity Water (M) Allergy (L) 81sf	
WINTER JASMINE 48 Yopon japonica 1" Cal., 15" Inst., 12' maturity Water (L) Allergy (L) 144sf	
HONEYSUCKLE 54 Lonicera japonica 'Halliana' 1" Cal., 6"-15" Inst., 12' maturity Water (M) Allergy (L) 144sf Unstaked-Groundcover	
<b>MULCHES</b>	
SUBSTRATED BARK MULCH 10% UNDECOMPOSED OVERSIZED GRAVEL & BOULDERS	
SENOTES EVERGREEN PLANT MATERIAL & SENOTES FLOWERING PLANT MATERIAL	

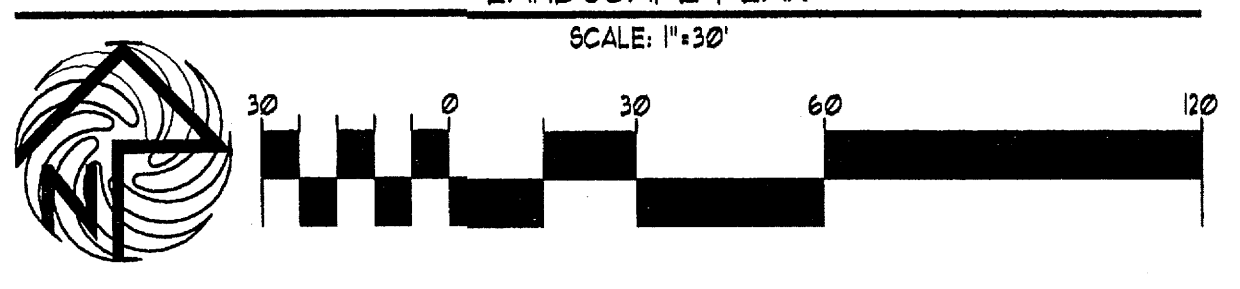
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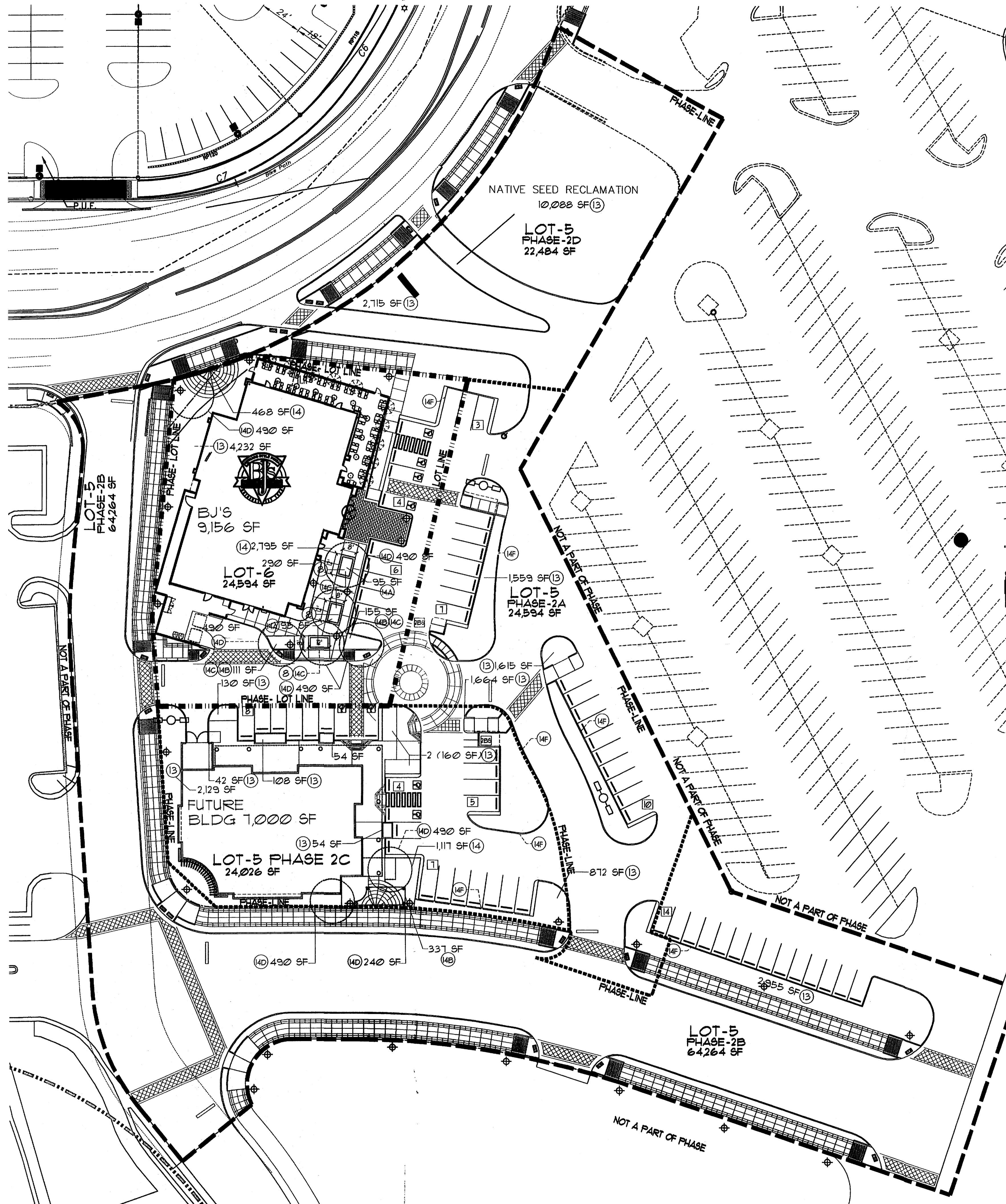
**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

**WINROCK TOWN CENTER**  
2200 LOUISIANA BLVD. NE  
ALBUQUERQUE, NEW MEXICO

**PROJECT NUMBER:** WIN-EU  
**JOB NO.:** WIN-EU  
**DRAWN BY:** S-J  
**SHEET TITLE:** LANDSCAPE PLAN

**DATE:** 4/6/12  
**SCALE:** AS NOTED





**LANDSCAPE CALCULATIONS:**

TOTAL LOT-5 AND 6 PHASE AREAS	16,400 SF
REQUIRED 10% OPEN SPACE =	1,640 SF
REQUIRED 40% LANDSCAPING AREA WITHIN 10% OPEN SPACE =	6,560 SF
PROVIDED 40% LANDSCAPING WITHIN 10% OPEN SPACE =	29,115 SF
PROVIDED DEVELOPED OPEN SPACE WITHIN 10% OPEN SPACE =	4,380 SF
REQUIRED 15% SHADE WITHIN DEVELOPED OPEN SPACE =	651 SF
PROVIDED 15% SHADE WITHIN DEVELOPED OPEN SPACE =	2,940 SF
NOTE: ASSUMED FULL TREE CANOPY AT MATURITY	

BJ'S- PROPOSED LOT-6 AND LOT 5 PHASE 2 A AREA	
TOTAL LOT-6 AREA (PROPOSED BJ'S LOT-6)	28,449 SF
TOTAL LOT-5 PHASE 2 A AREA =	24,594 SF
TOTAL =	53,043 SF
REQUIRED LOT 5 PHASE 2A AND LOT-6 10% OPEN SPACE =	5,304 SF
PROVIDED =	10,959 SF

REQUIRED PHASE-1 LOT AREA 40% LANDSCAPING AREA WITHIN 10% OPEN SPACE =	4,383 SF
REQUIRED BJ'S-LOT-6 15% SHADE WITHIN DEVELOPED OPEN SPACE =	490 SF
PROVIDED BJ'S-LOT-6 15% SHADE WITHIN DEVELOPED OPEN SPACE =	2,940 SF
NOTE: ASSUMED FULL TREE CANOPY AT MATURITY	

RESERVED EXCESS OPEN SPACE FOR FUTURE PHASES= 23,115 SF

NOTE:  
THE 10% OF SITE OPEN SPACE WAS ACHIEVED BY:  
1. ALL LANDSCAPE AREAS OTHER THAN THOSE SPECIFICALLY EXCLUDED WITHIN CHAPTER -V - SECTION D NUMBER 15 OF THE USDP  
2. PEDESTRIAN PLAZAS(DEVELOPED OPEN SPACE)

NOTE:  
A MINIMUM OF 15% OF DEVELOPED OPEN SPACE SHALL BE SHADED WITH LANDSCAPING(TREES), OR SHADE STRUCTURES

NOTE:  
PLANT BEDS SHALL ACHIEVE 15% LIVE GROUND COVER AT MATURITY. 10% OF THE REQUIRED 15% LIVE GROUND COVER LANDSCAPE AREA SHALL BE PLANTED IN NATIVE FLOWERS AND FLOWERING PLANTS

NOTE:  
REFER TO SITE CIVIL GRADING AND DRAINAGE PLANS FOR GRADE CONTOUR INFORMATION

NOTE:  
EACH PHASED LANDSCAPE BED SHALL RECEIVE LANDSCAPING WITHIN ITS BED FOR EACH PHASED AREA AND TERMINATED ALONG PHASE LINE WITH A TEMPORARY METAL LANDSCAPE EDGE

NOTE:  
ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTHS

**LANDSCAPE PHASE AREA CALCULATIONS:**

LOT-6 SITE AREA	28,449 SF
LOT-6 OPEN SPACE AREA	7,311 SF
LOT-5 PHASE 2A SITE AREA	24,594 SF
LOT-5 PHASE 2A OPEN SPACE AREA	3,114 SF
LOT-5 PHASE 2B SITE AREA	6,426 SF
LOT-5 PHASE 2B OPEN SPACE AREA	2,955 SF
LOT-5 PHASE 2C SITE AREA	24,026 SF
LOT-5 PHASE 2C OPEN SPACE AREA	6,435 SF
LOT-5 PHASE 2D SITE AREA	22,484 SF
LOT-5 PHASE 2D OPEN SPACE AREA	12,803 SF

- (2) 18" HIGH INTEGRALLY COLORED CONC. WALL/RAISED BED LANDSCAPE AREA RE: DETAIL 10/113  
NOTE: EACH BED PROVIDES 12 SEATS
- (13) INDICATES "OPEN SPACE" LANDSCAPE AREAS GC TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
- (14) INDICATES "DEVELOPED OPEN SPACE AREA LOCATION RE: PLAN AND LANDSCAPE PLAN FOR INFO
- (14A) INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE / SEATING AREA RE: KEYED NOTE 8
- (14B) INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE AREA
- (14C) INDICATES "DEVELOPED OPEN SPACE 15% LANDSCAPE SHADE TREE LOCATION RE: LANDSCAPE PLAN FOR SHADE TREE INFO
- (14D) INDICATES "DEVELOPED OPEN SPACE 15% CANOPY SHADE STRUCTURE OF TREE
- (14E) INDICATES 1" CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/111 FOR NOTCH DETAIL

NOTE:  
ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS

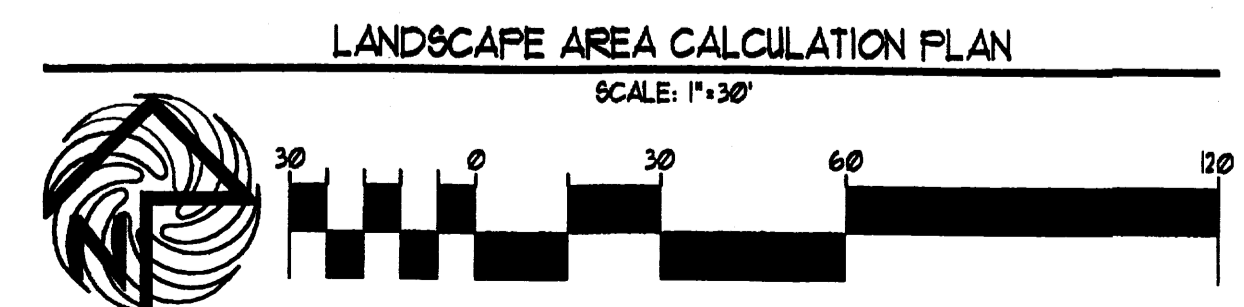
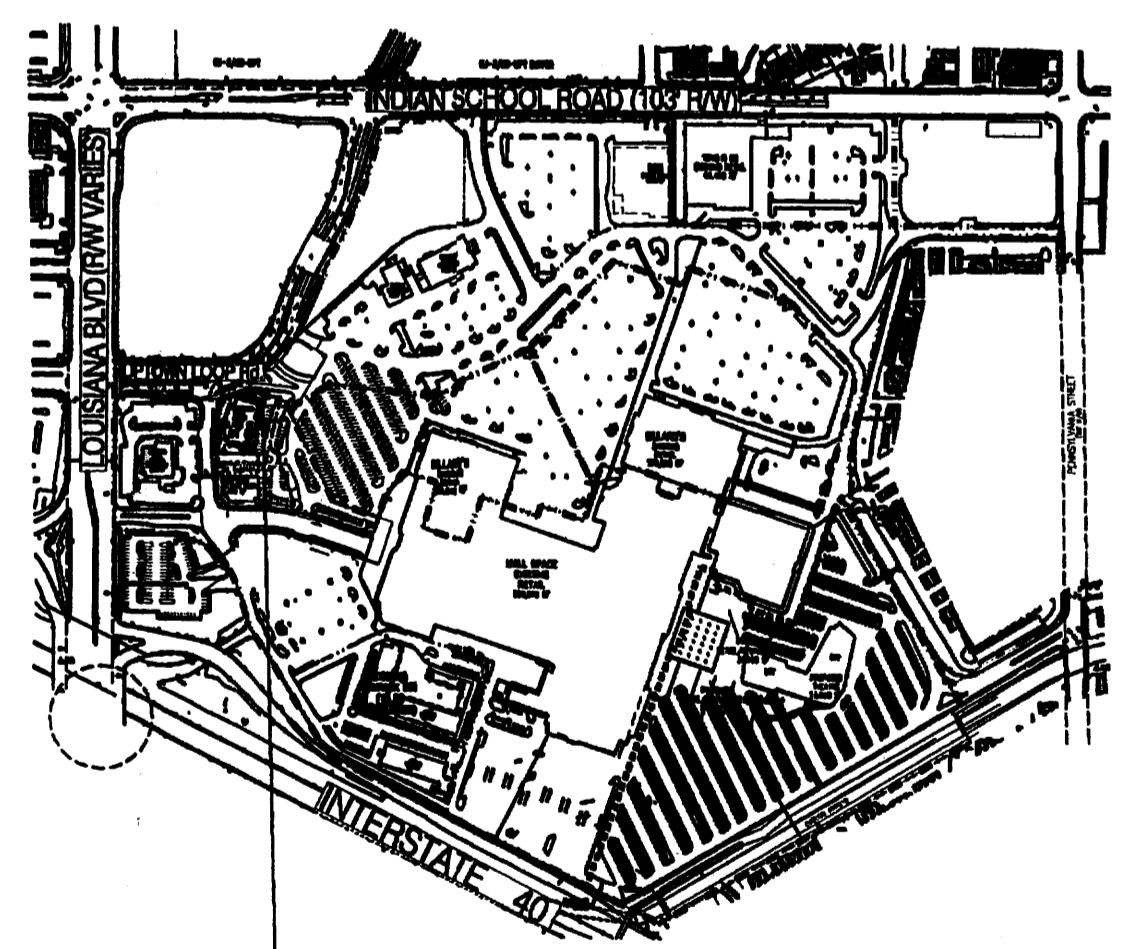
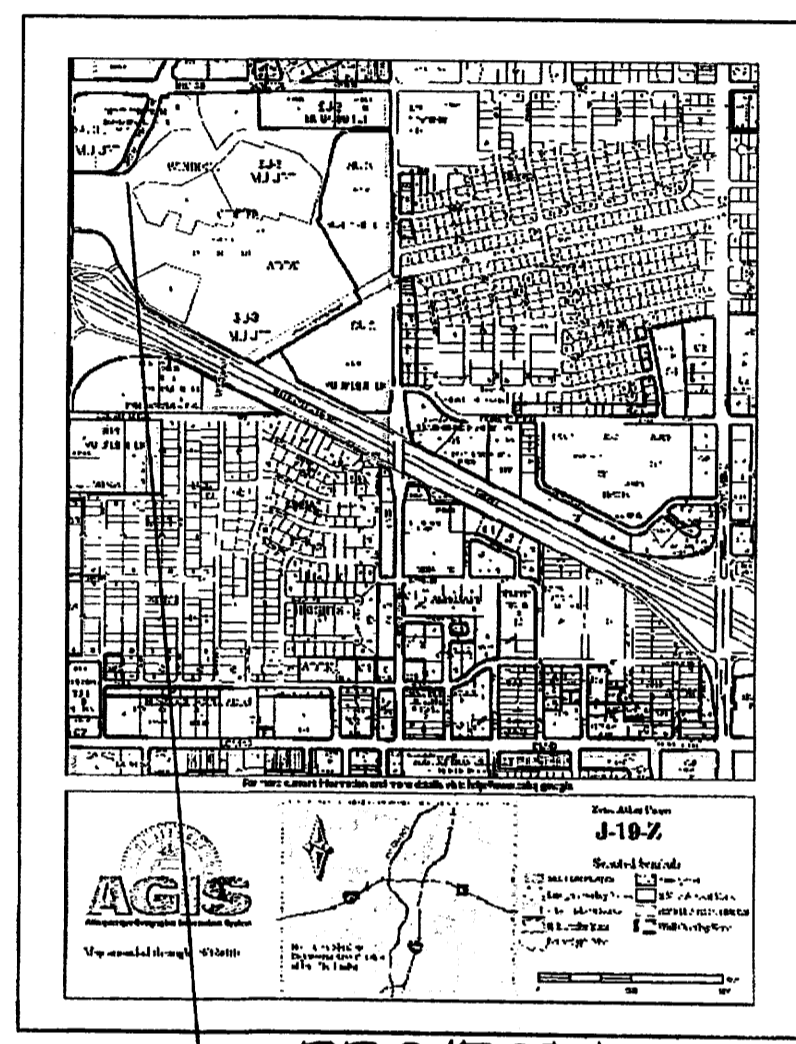
PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB AECOM ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary



REV	DATE	BY	REVISION
1			
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**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

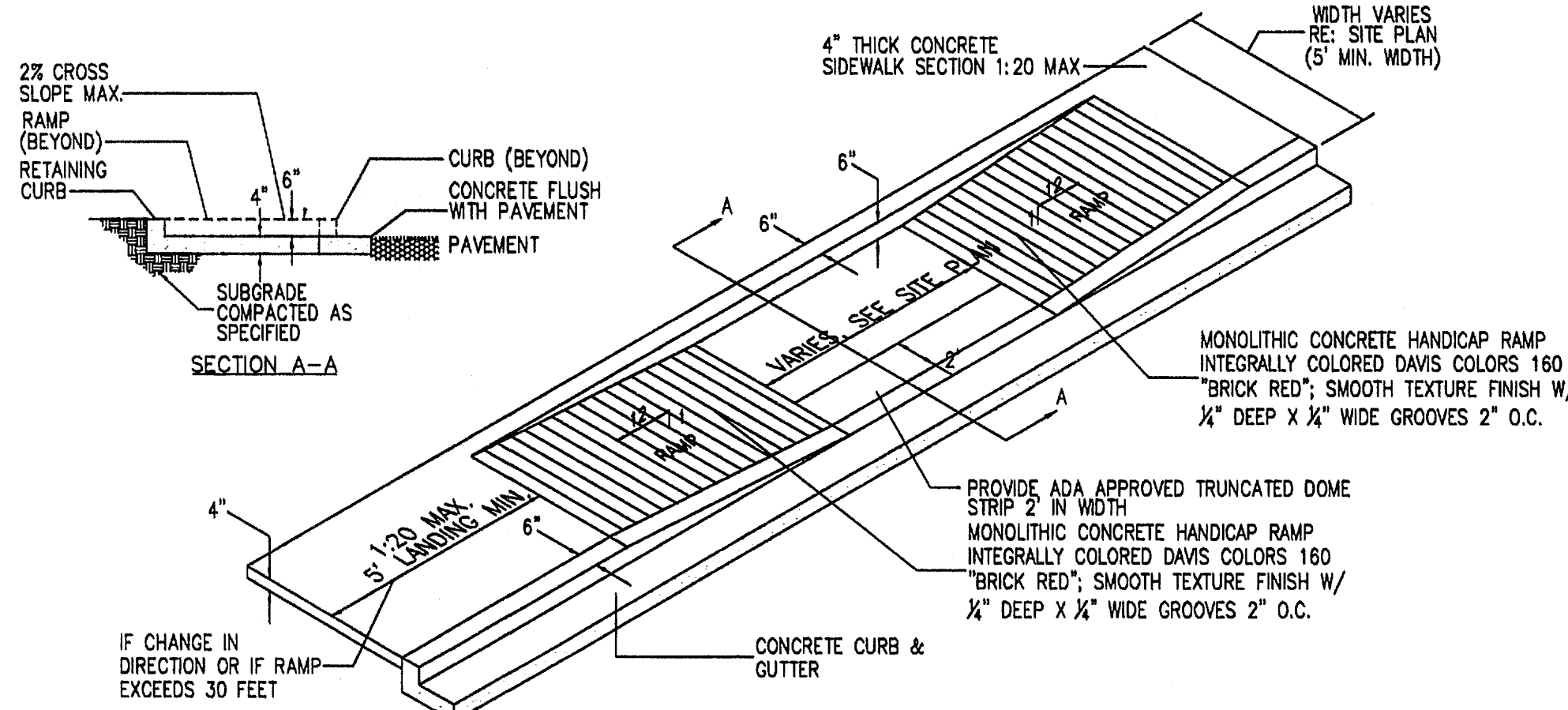
PROJECT TITLE: WINROCK TOWN CENTER  
2200 LOUISIANA BLVD. NE  
ALBUQUERQUE NEW MEXICO

JOB NO.: WIN-EU  
DRAWN BY: S-J

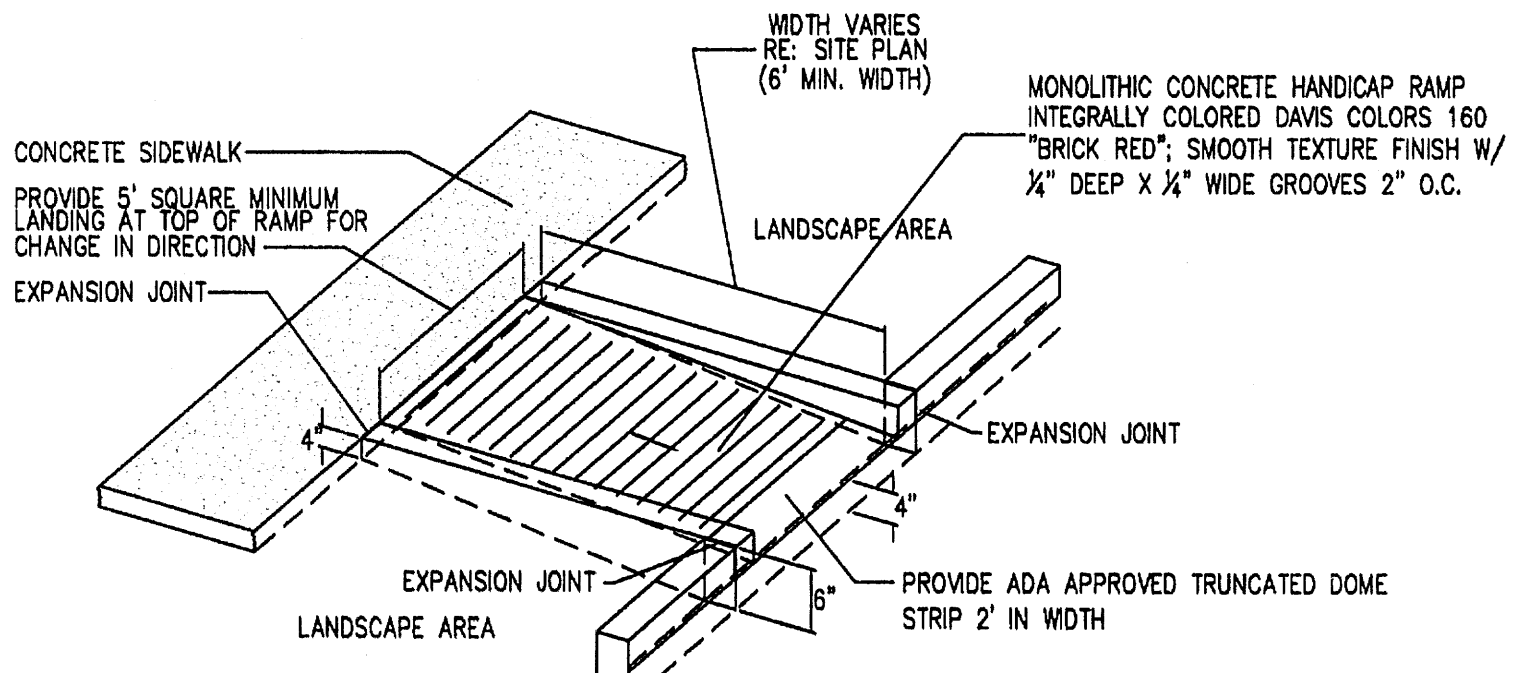
PROJECT MANAGER: STEPHEN DANBAR, AIA  
SHEET TITLE: LANDSCAPE PLAN AREA CALCULATIONS

DATE:	4/6/12
SCALE:	AS NOTED
DR:	LIA

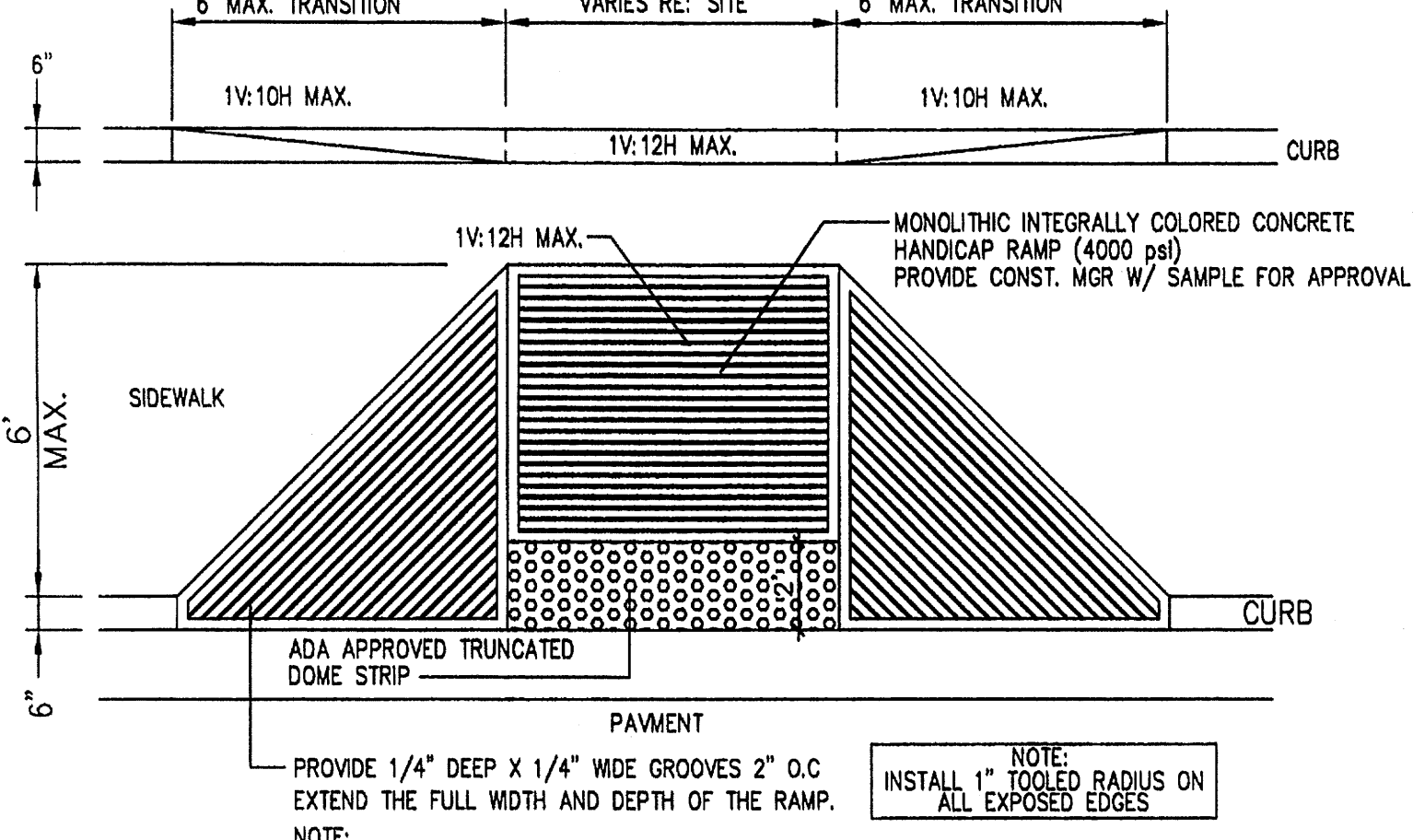




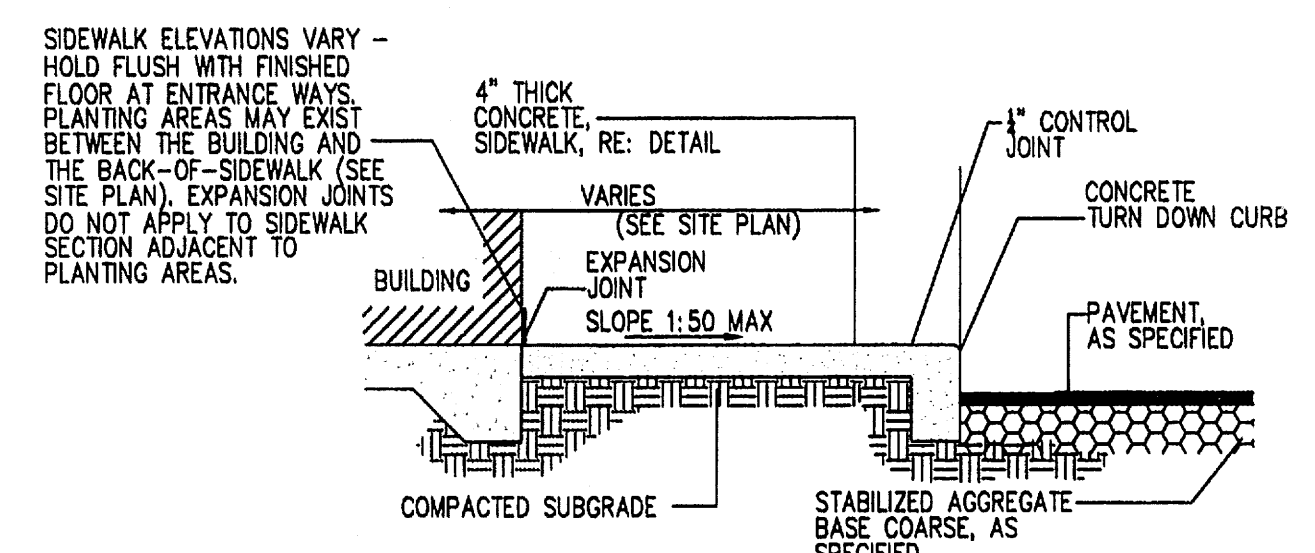
**17 TAPERED H.C RAMP**  
Scale: N.T.S.



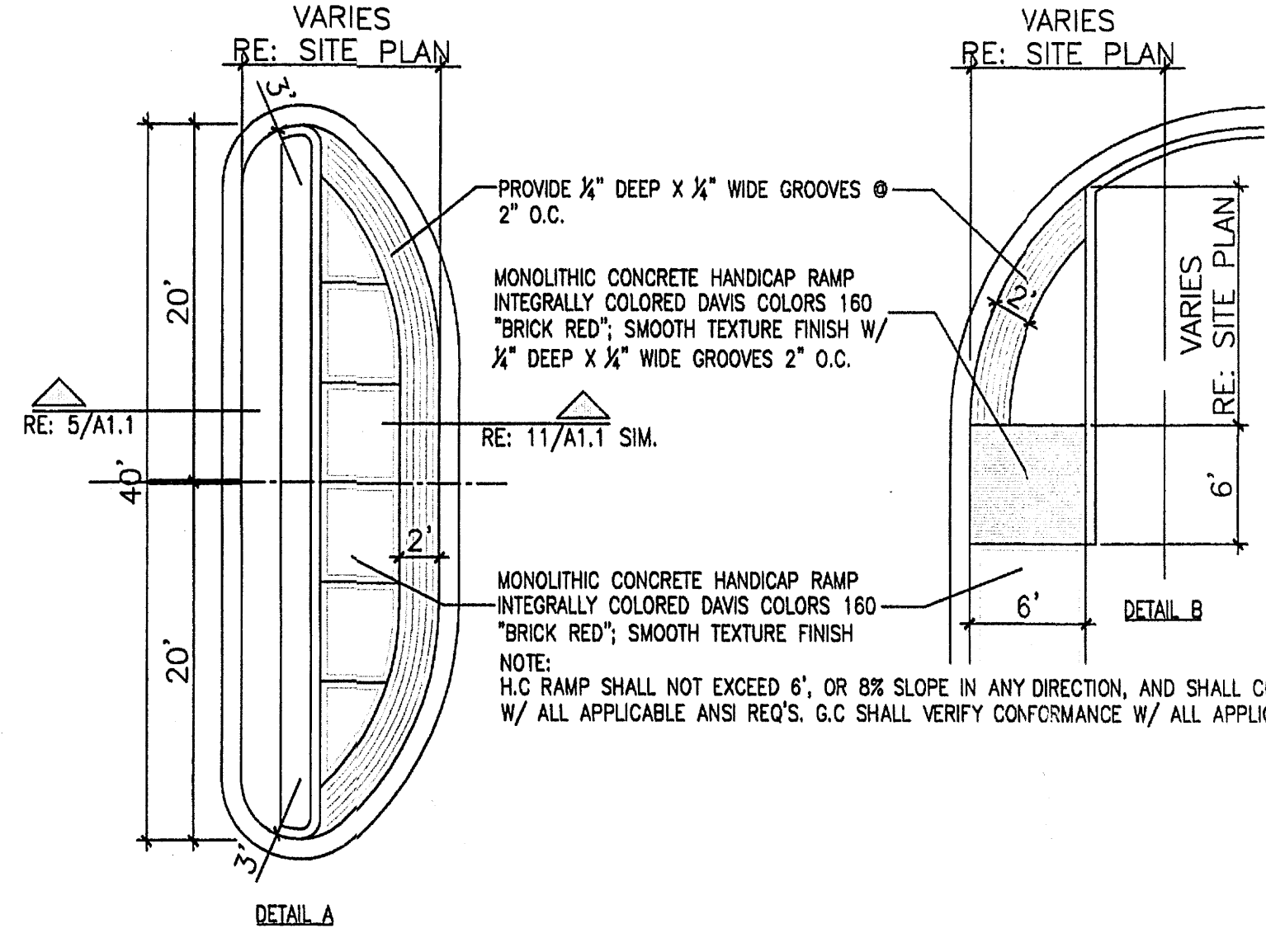
**16 CURBED H.C RAMP**  
Scale: N.T.S.



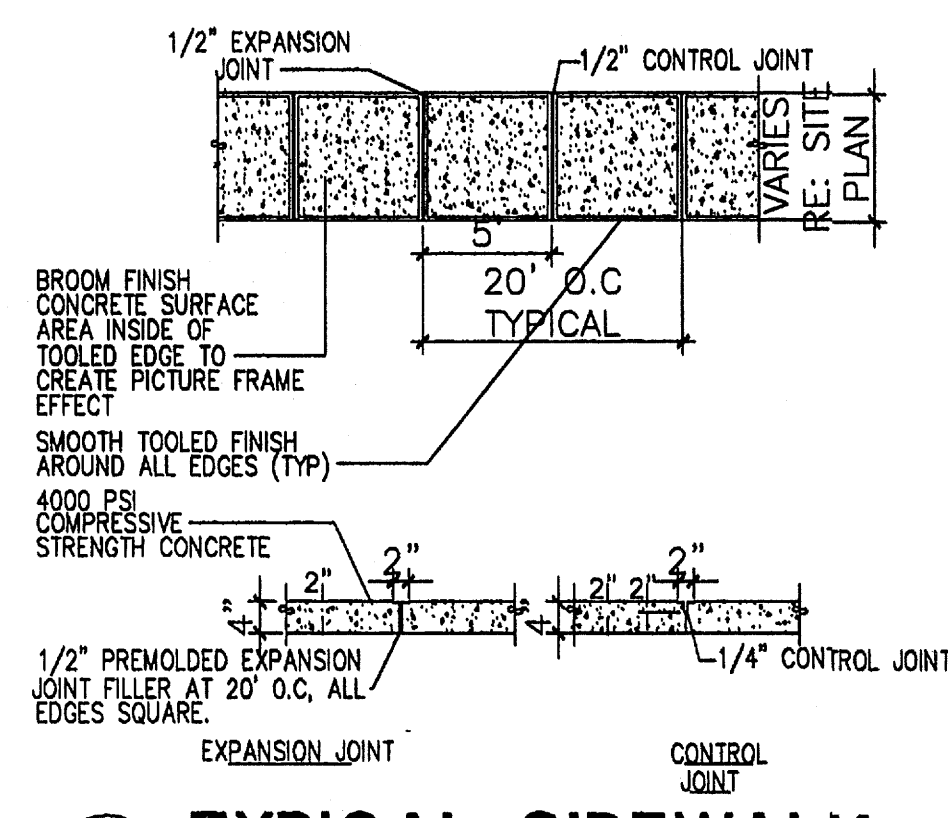
**15 FLARED H.C RAMP**  
Scale: N.T.S.



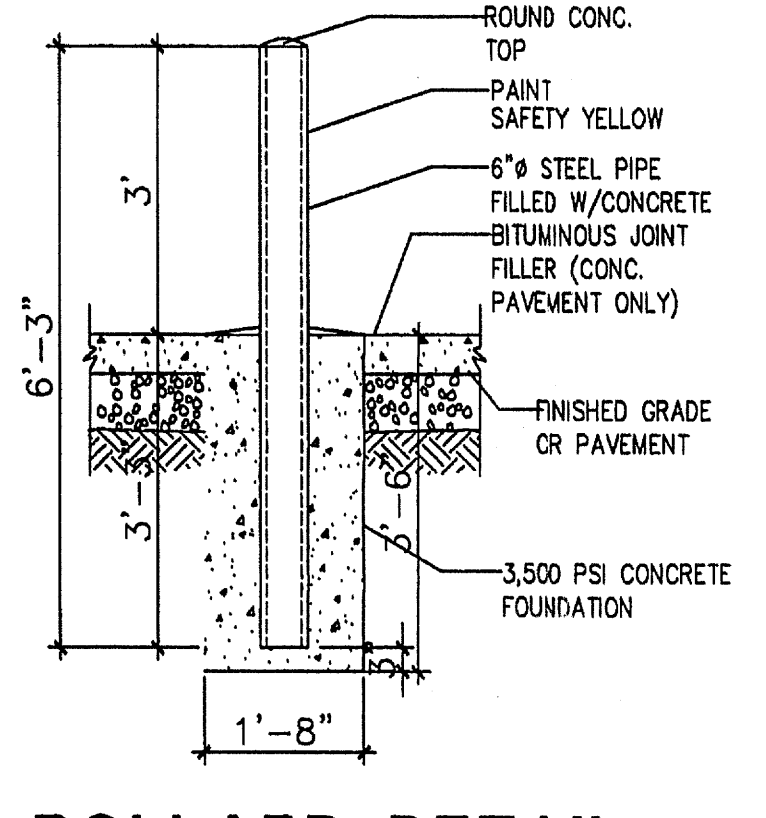
**14 SIDEWALK W/ TURNDOWN CURB SECTION**  
Scale: N.T.S.



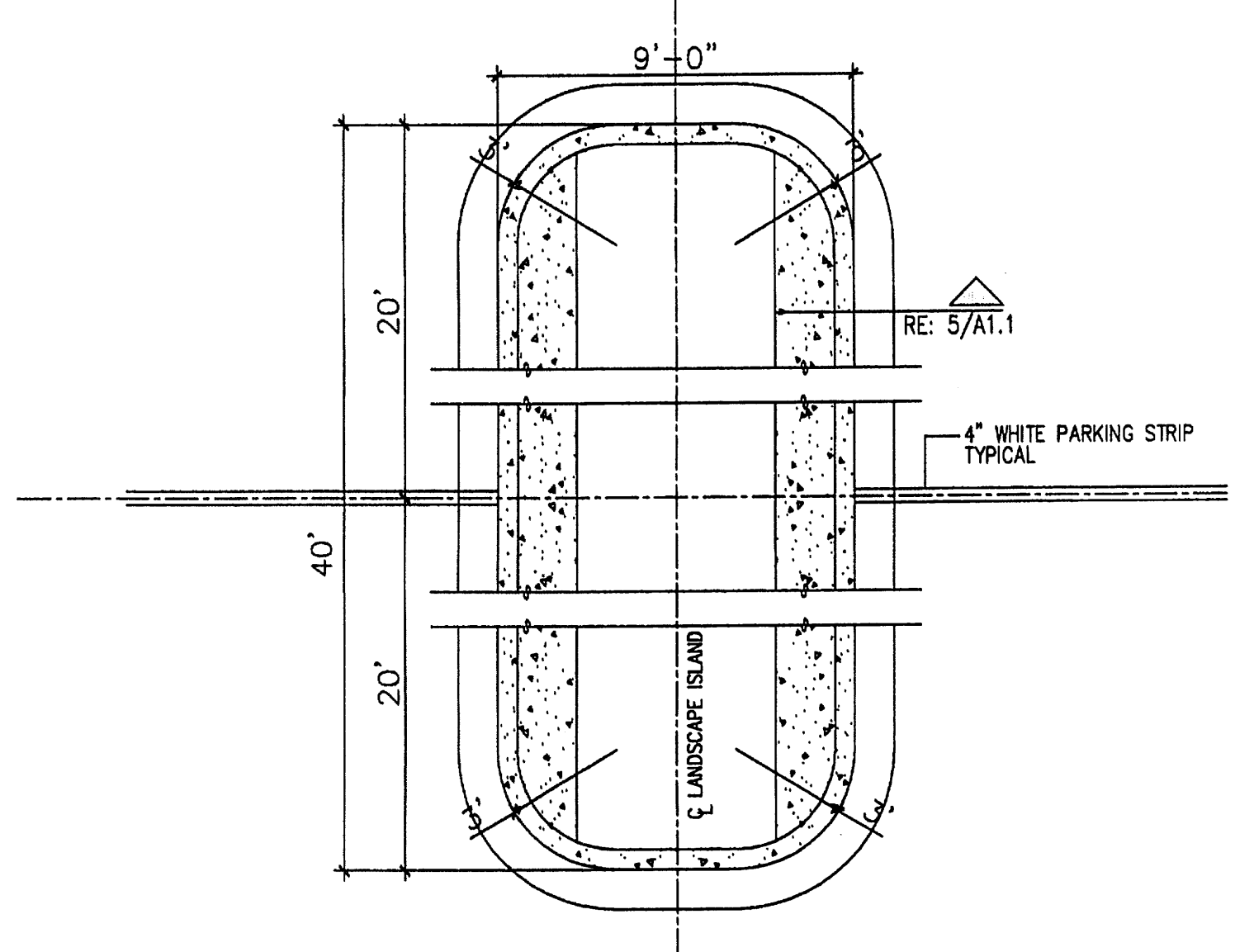
**12 TYP. END ISLAND W/ WALK**  
Scale: N.T.S.



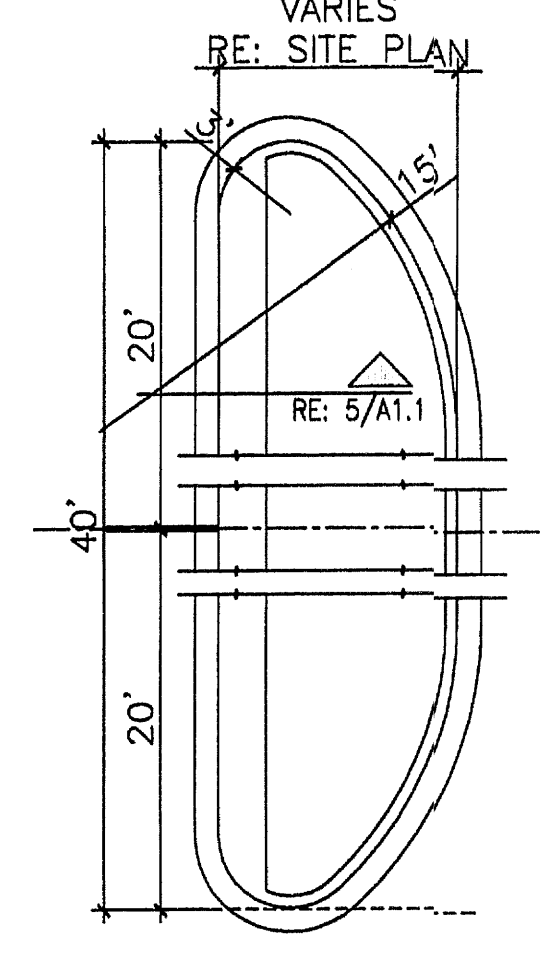
**11 TYPICAL SIDEWALK**  
Scale: N.T.S.



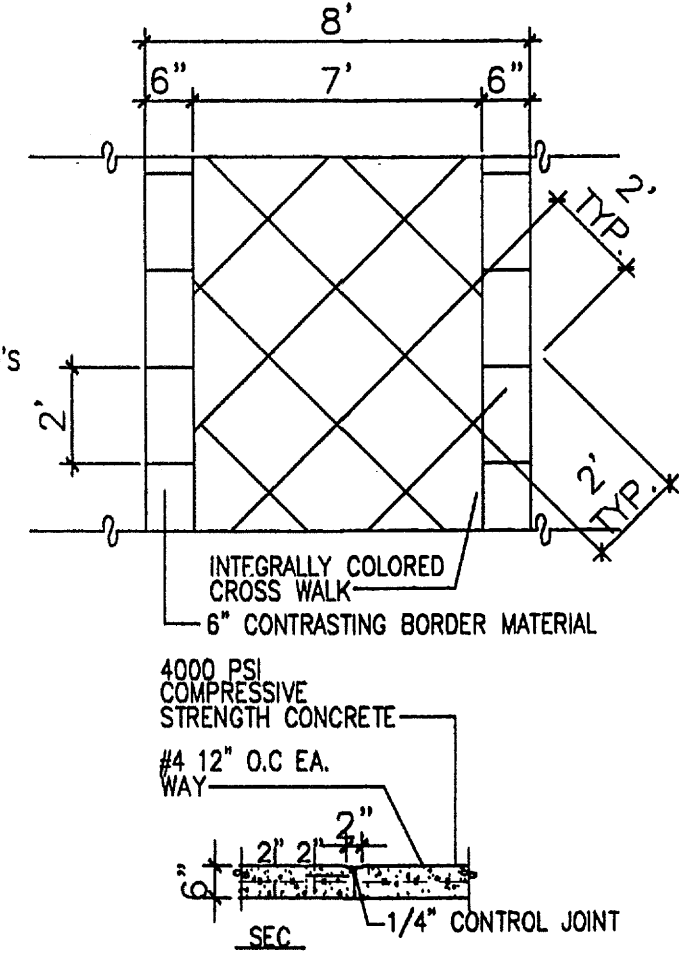
**10 BOLLARD DETAIL**  
Scale: 1/2"=1'-0"



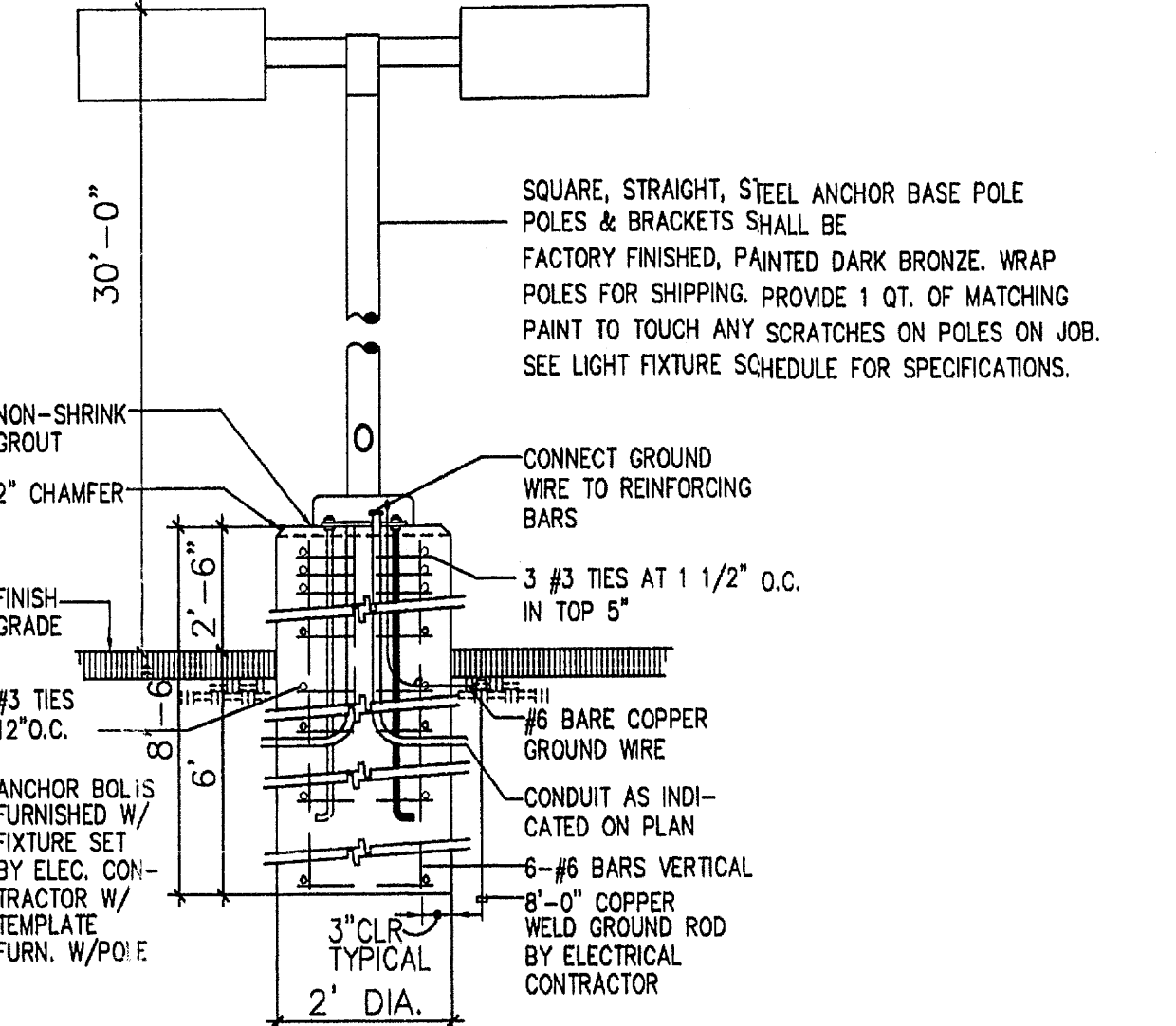
**8 ISLAND DETAIL**  
Scale: N.T.S.



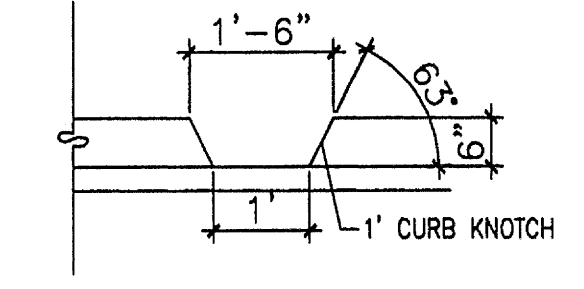
**4 END ISLAND DETAIL**  
Scale: N.T.S.



**7 CONC. CROSSWALK**  
Scale: N.T.S.



**3 LIGHT POLE DETAIL**  
Scale: N.T.S.




**1 CURB KNOTCH**  
Scale: N.T.S.

**NOTE:**  
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY, FIXTURES, POLE, BASE, SHALL WITH STAND MIN. 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY, WHICH EVER IS GREATER.  
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODE REQUIREMENTS  
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22' GENERAL CONTRACTOR SHALL VERIFY W/ ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL.

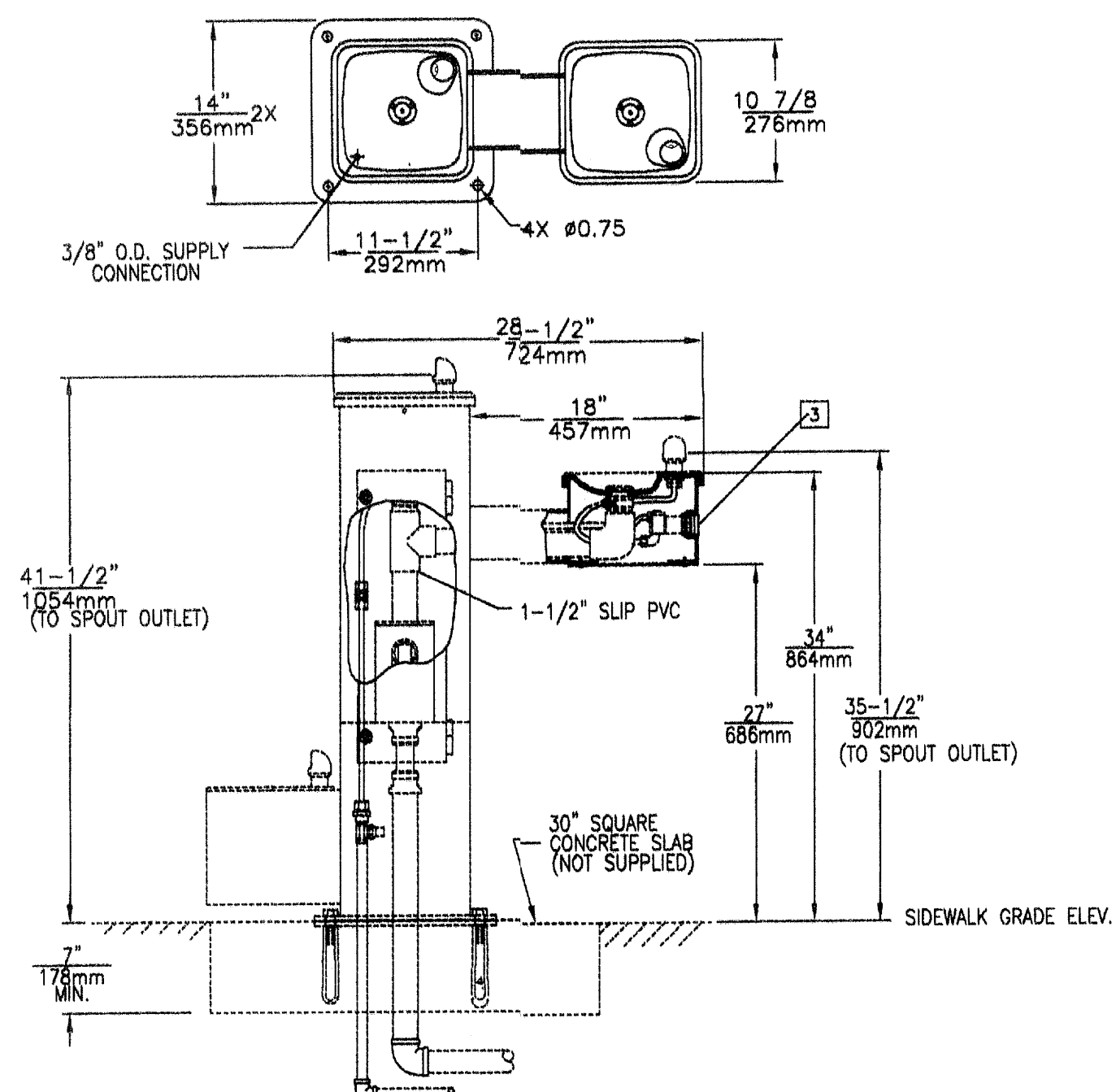
REV	DATE	BY	REVISION
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**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

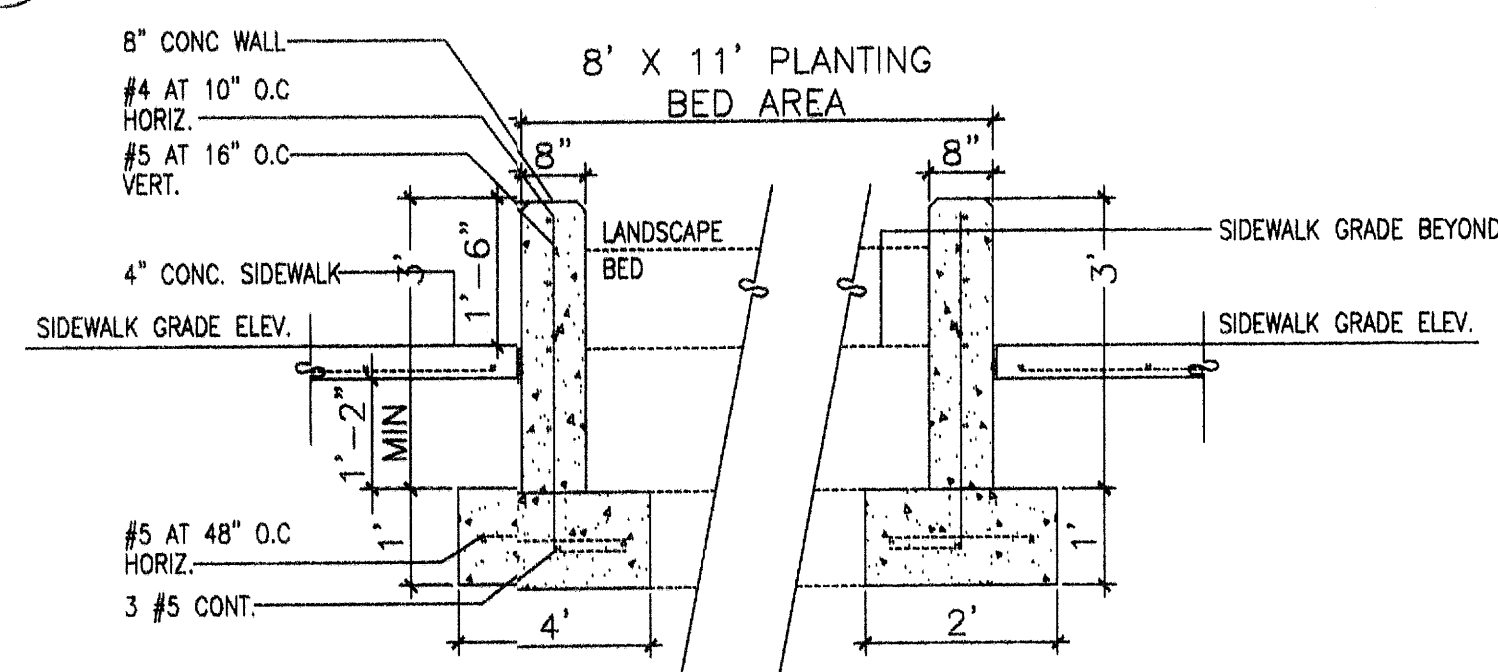


PROJECT TITLE	WINROCK TOWN CENTER
JOB NO.	WIN-EU
DRAWN BY:	S-J
PROJECT MANAGER	STEPHEN DINEGAR, AIA
SHEET TITLE	SITE DETAILS
DATE:	4/6/12
SCALE:	AS NOTED
DRG#	A11

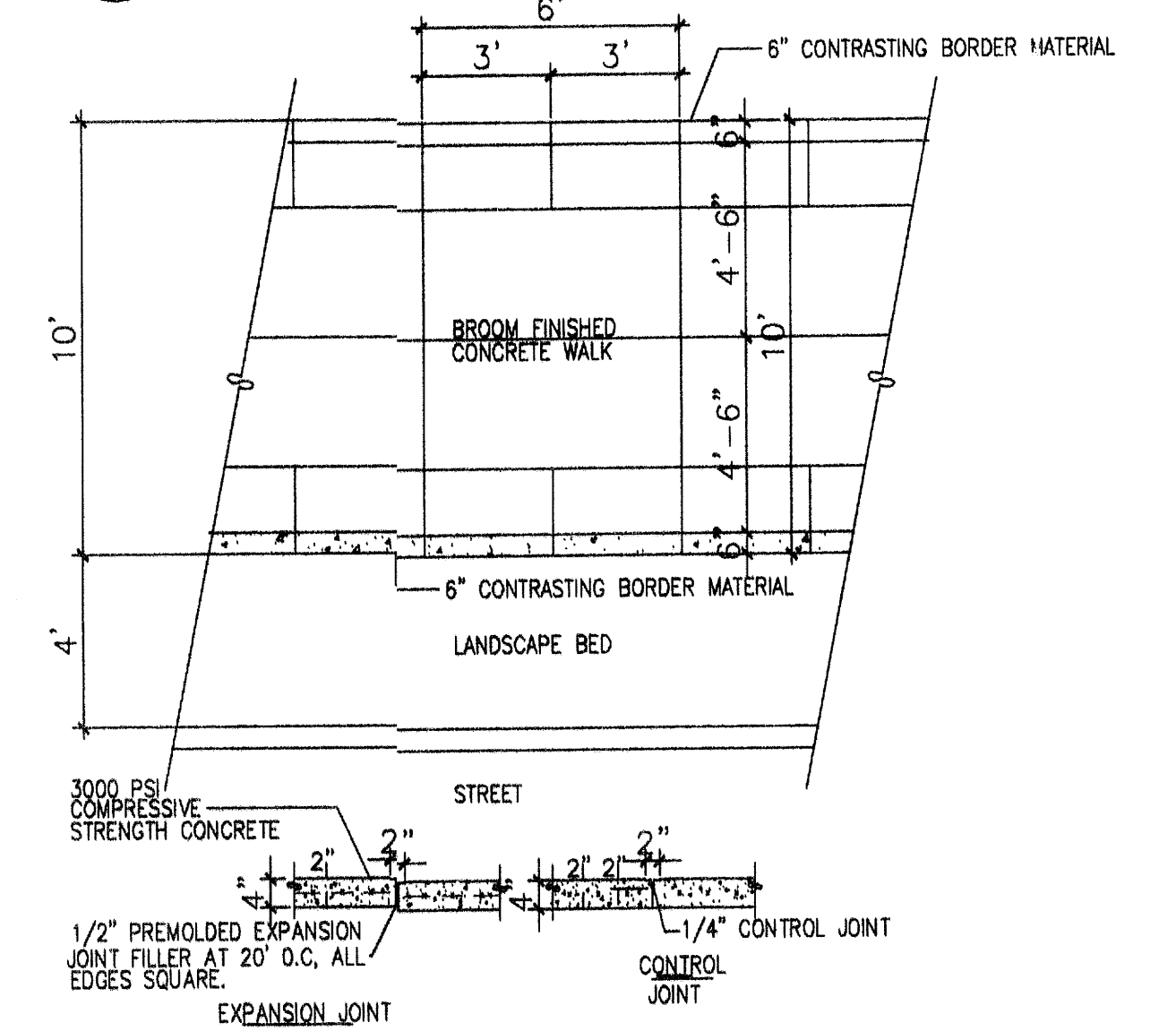




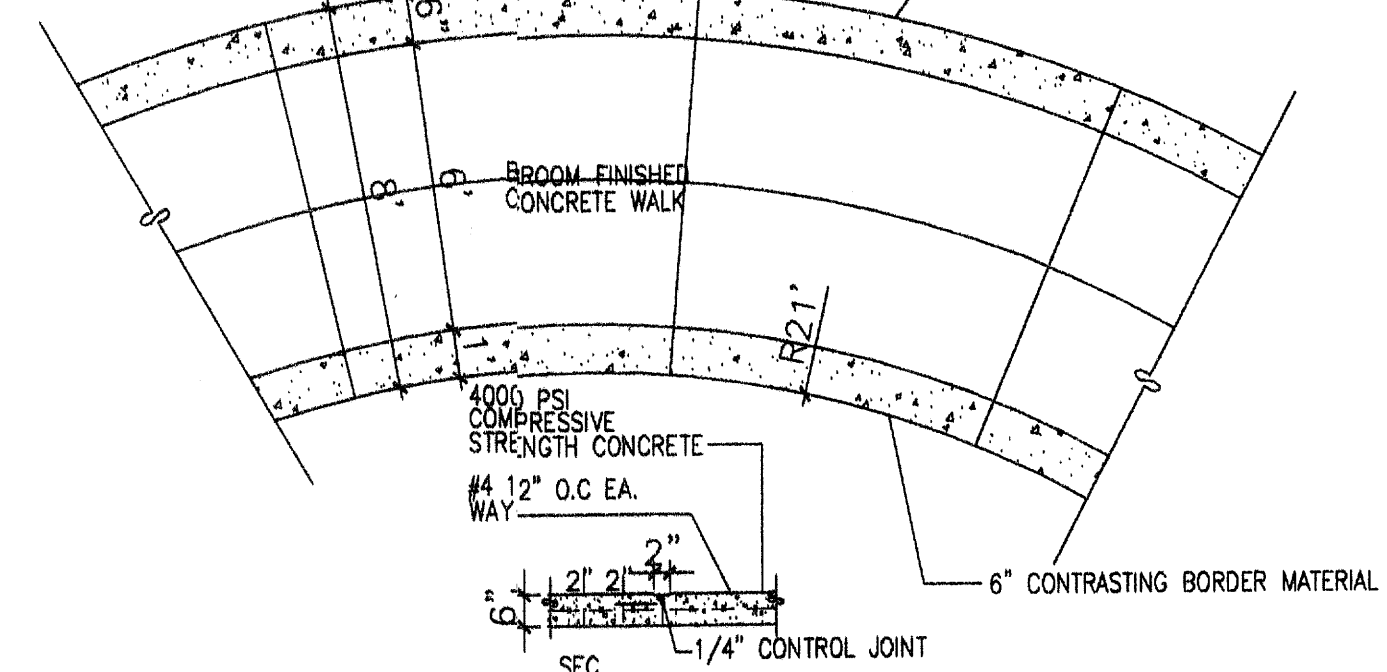
**11 COMBINATION PET/HUMAN DRINKING FOUNTAIN**  
Scale: N.T.S.



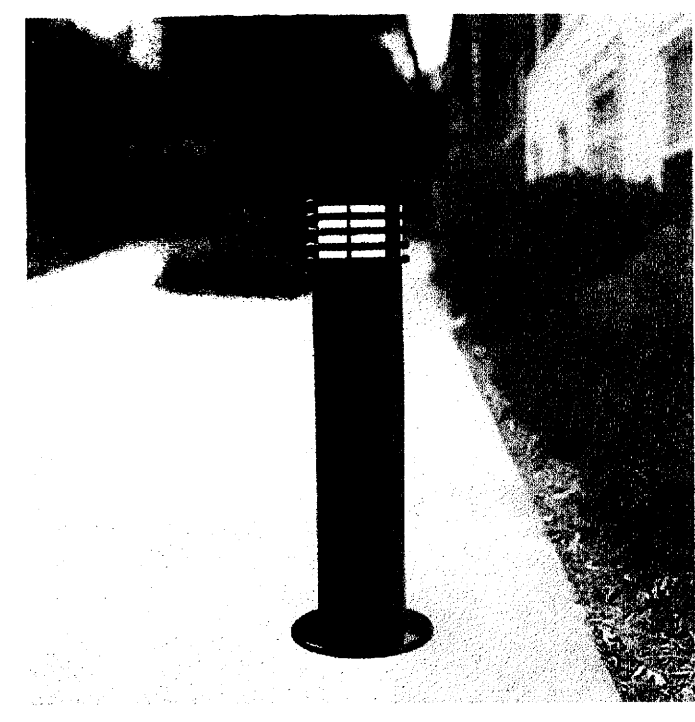
**10 RAISED PLANTING BED DETAIL**  
Scale: N.T.S.



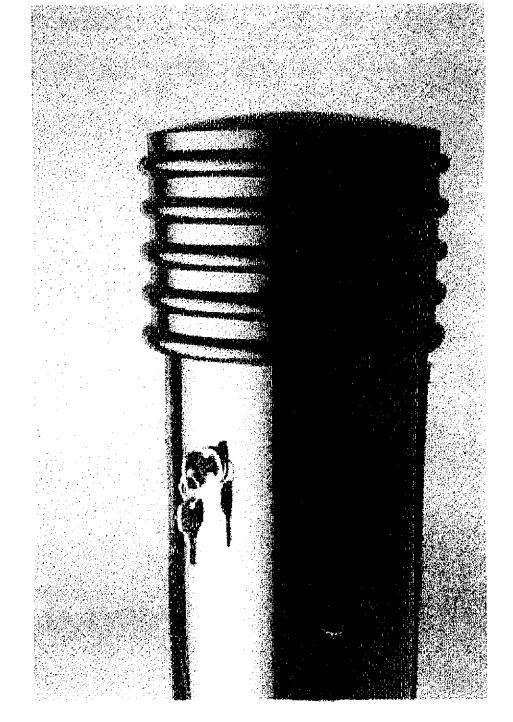
**9 TYPICAL STREET SIDEWALK**  
Scale: N.T.S.



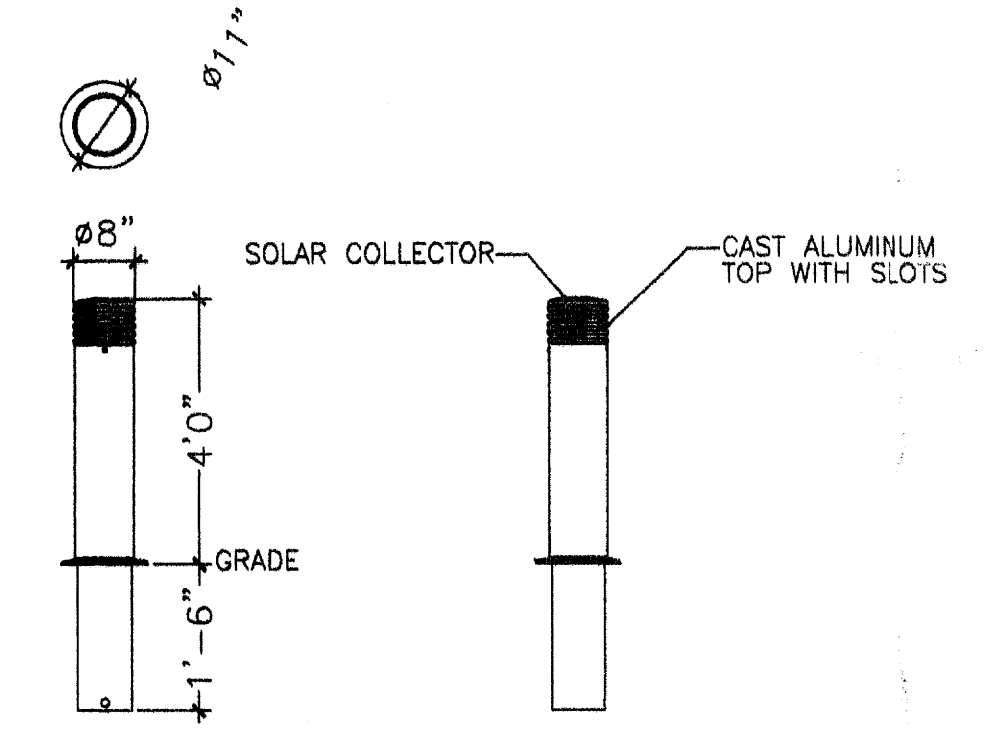
**8 RADIUS CONC. CROSSWALK**  
Scale: N.T.S.



**7B PERSPECTIVE VIEW**  
Scale: N.T.S.



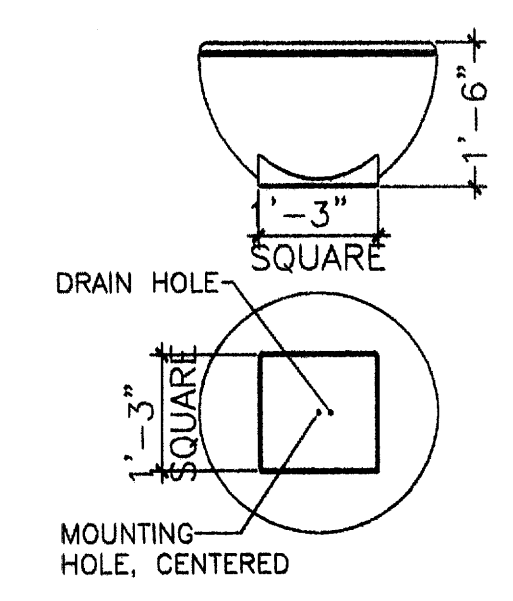
**7A PERSPECTIVE VIEW**  
Scale: N.T.S.



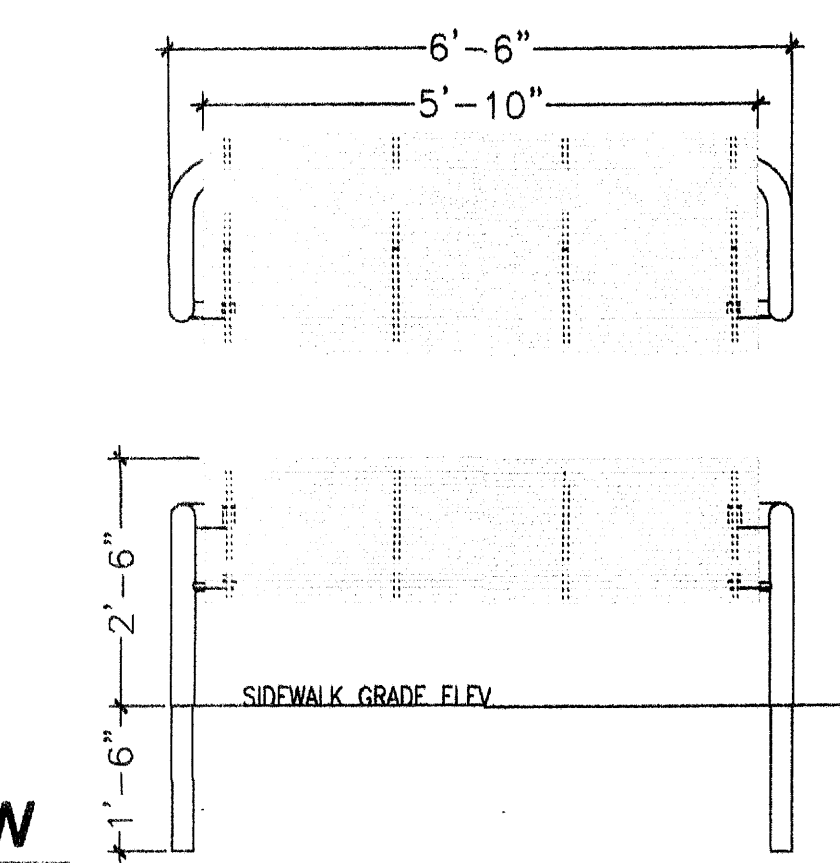
**7 PEDESTRIAN LIGHTING DETAIL**  
Scale: N.T.S.



**6A PERSPECTIVE VIEW**  
Scale: N.T.S.



**6 PLANTER DETAIL**  
Scale: N.T.S.

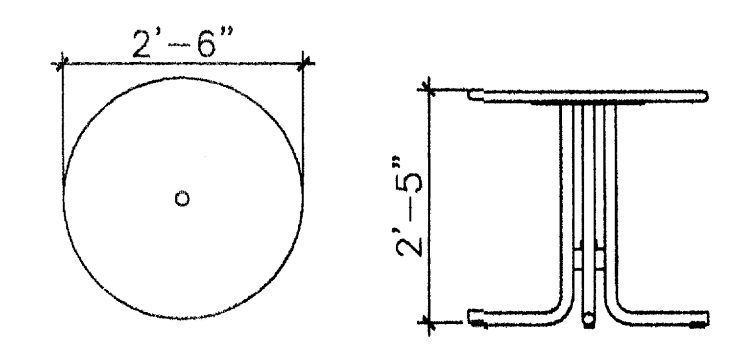


**5 OUTDOOR BENCH**  
Scale: N.T.S.

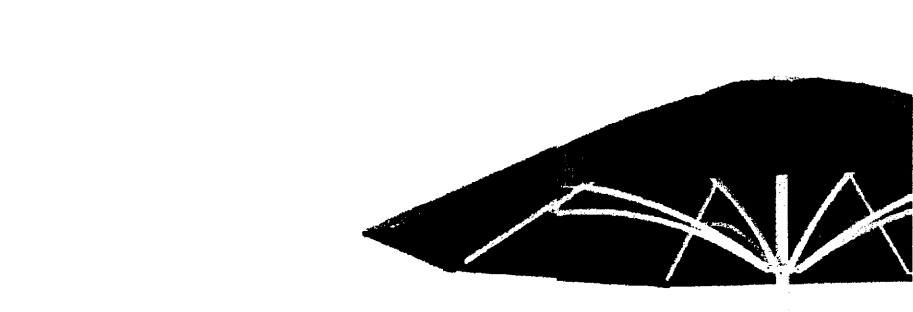
**5 OUTDOOR BENCH**  
Scale: N.T.S.



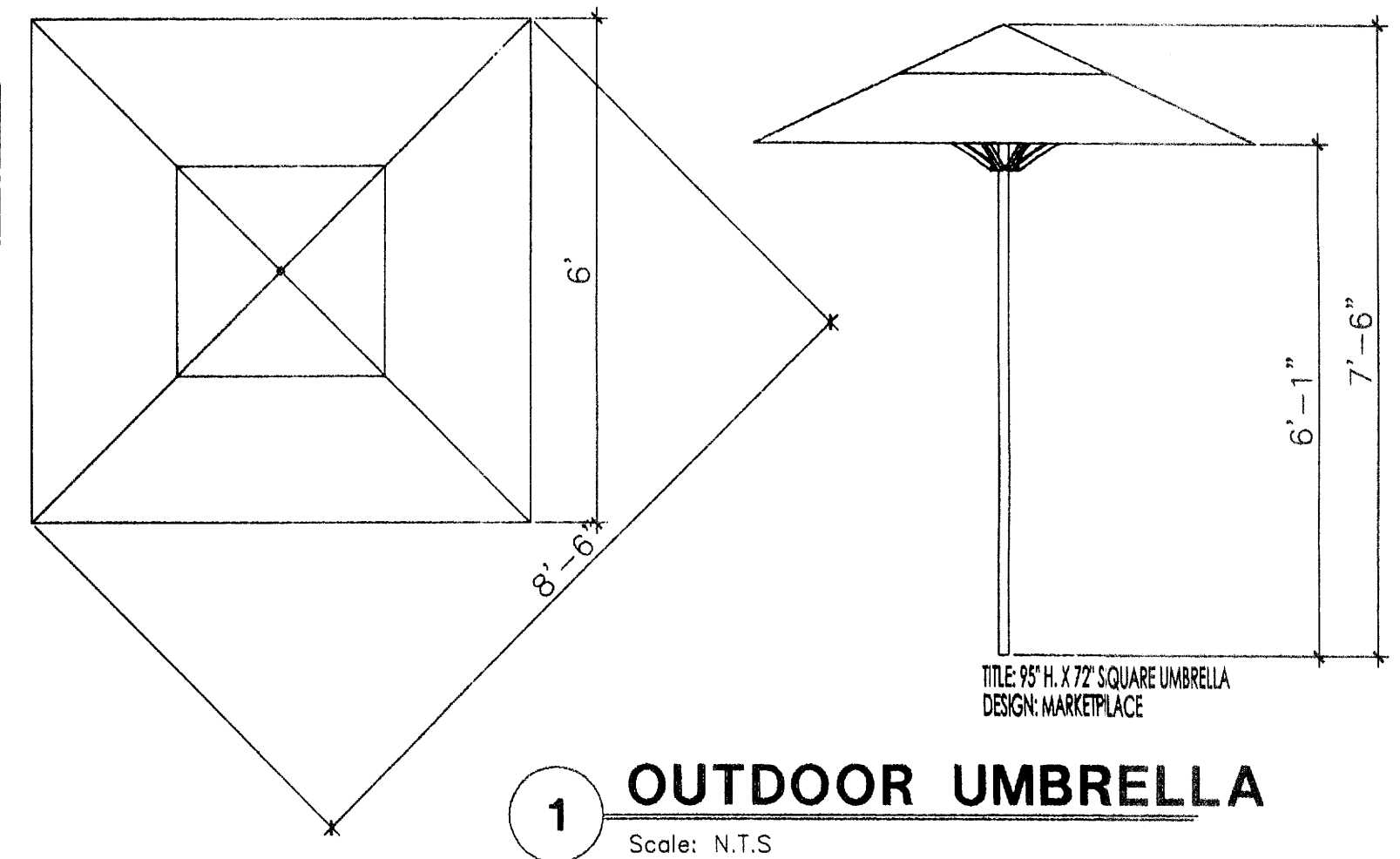
**4 OUTDOOR TABLE**  
Scale: N.T.S.



TITLE: 30" ROUND CATENA TABLE - QUAD SURFACE MOUNT OR FREESTANDING DESIGN: CATENA

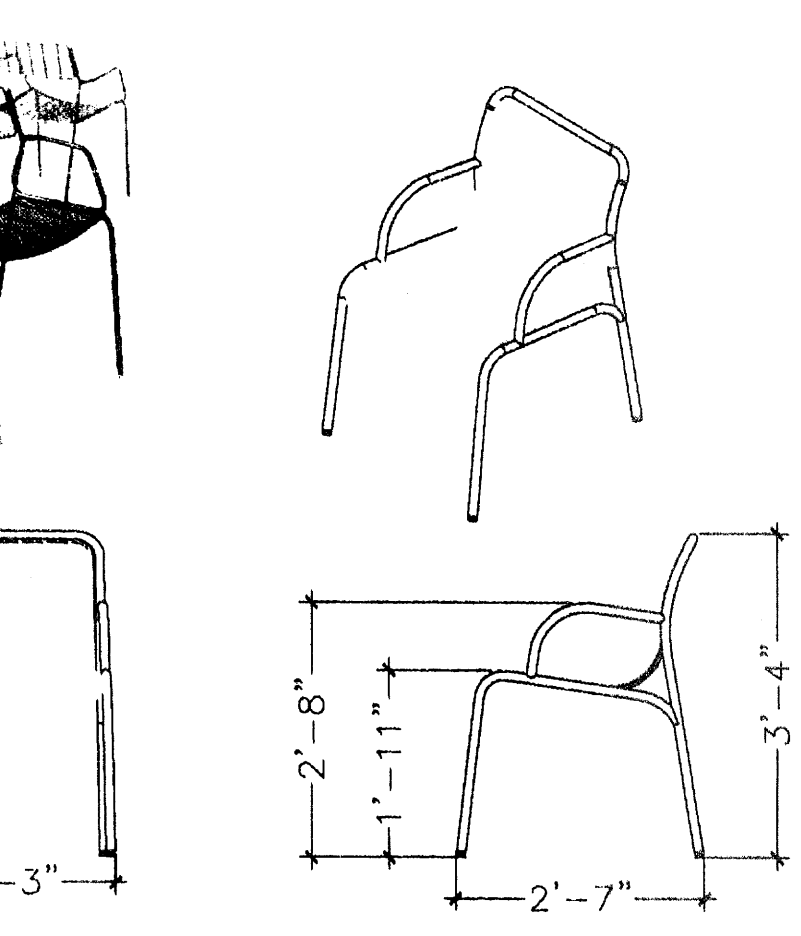


**1A OUTDOOR UMBRELLA**  
Scale: N.T.S.



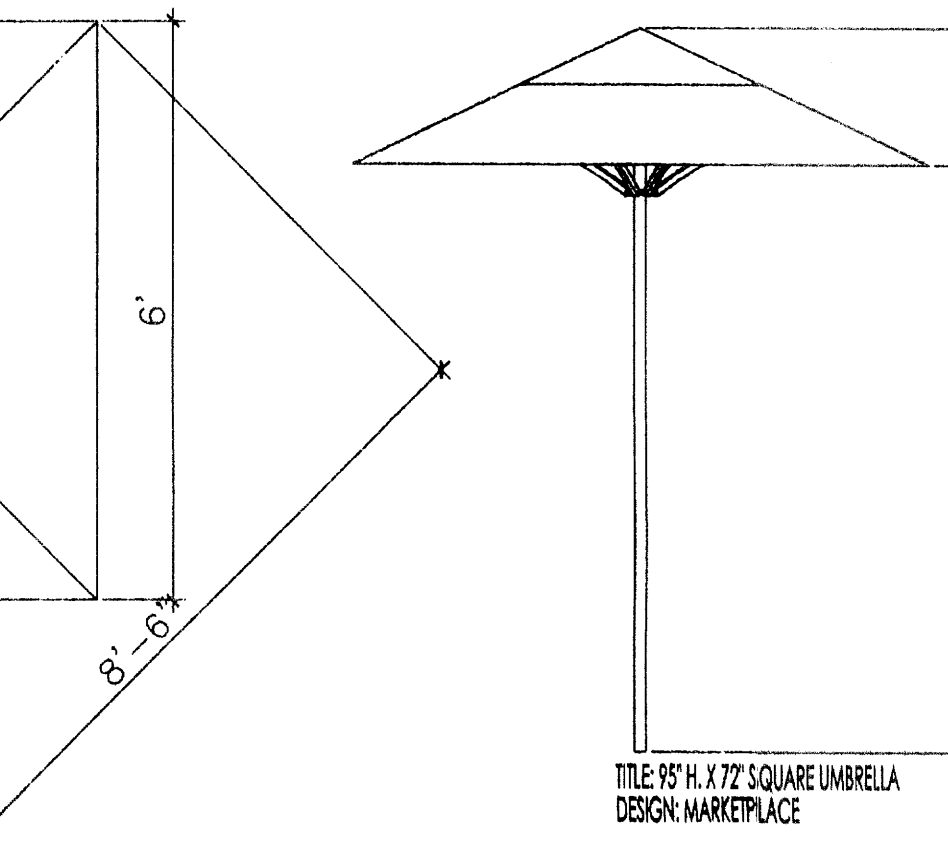
**1 OUTDOOR UMBRELLA**  
Scale: N.T.S.

**3 OUTDOOR REFUSE**  
Scale: N.T.S.



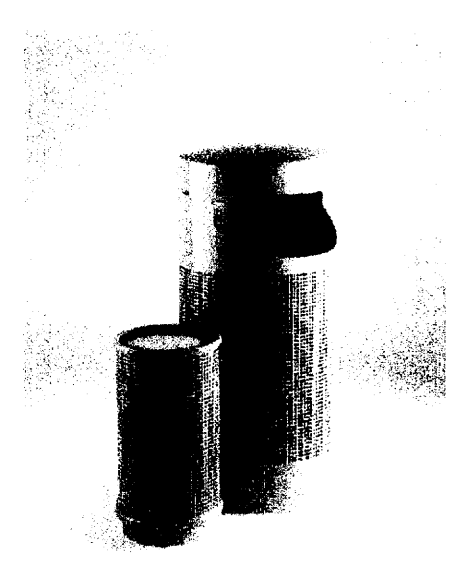
DESCRIPTION: TRAVERSE CHAIR, GRID, W/ ARMS

**2 OUTDOOR SEATING**  
Scale: N.T.S.



**3A OUTDOOR REFUSE**  
Scale: N.T.S.

DESIGN: PETOSKEY REFUSE CONTAINER



landscapeforms®  
431 LAWNDALE AVE. PHONE: 800-521-2546  
KALAMAZOO, MI 49048 FAX: 269-381-3455  
DESIGN GROUP: BANCAL  
DESCRIPTION: BACKED BENCH 88", EMBEDDED, WOOD

REV	DATE	BY	REVISION
6			
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**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: WINROCK TOWN CENTER  
2200 LOUISIANA BLVD. NE  
ALBUQUERQUE NEW MEXICO

PROJECT NUMBER: STEPHEN DUNBAR, AIA  
JOB NO.: WIN-BJ

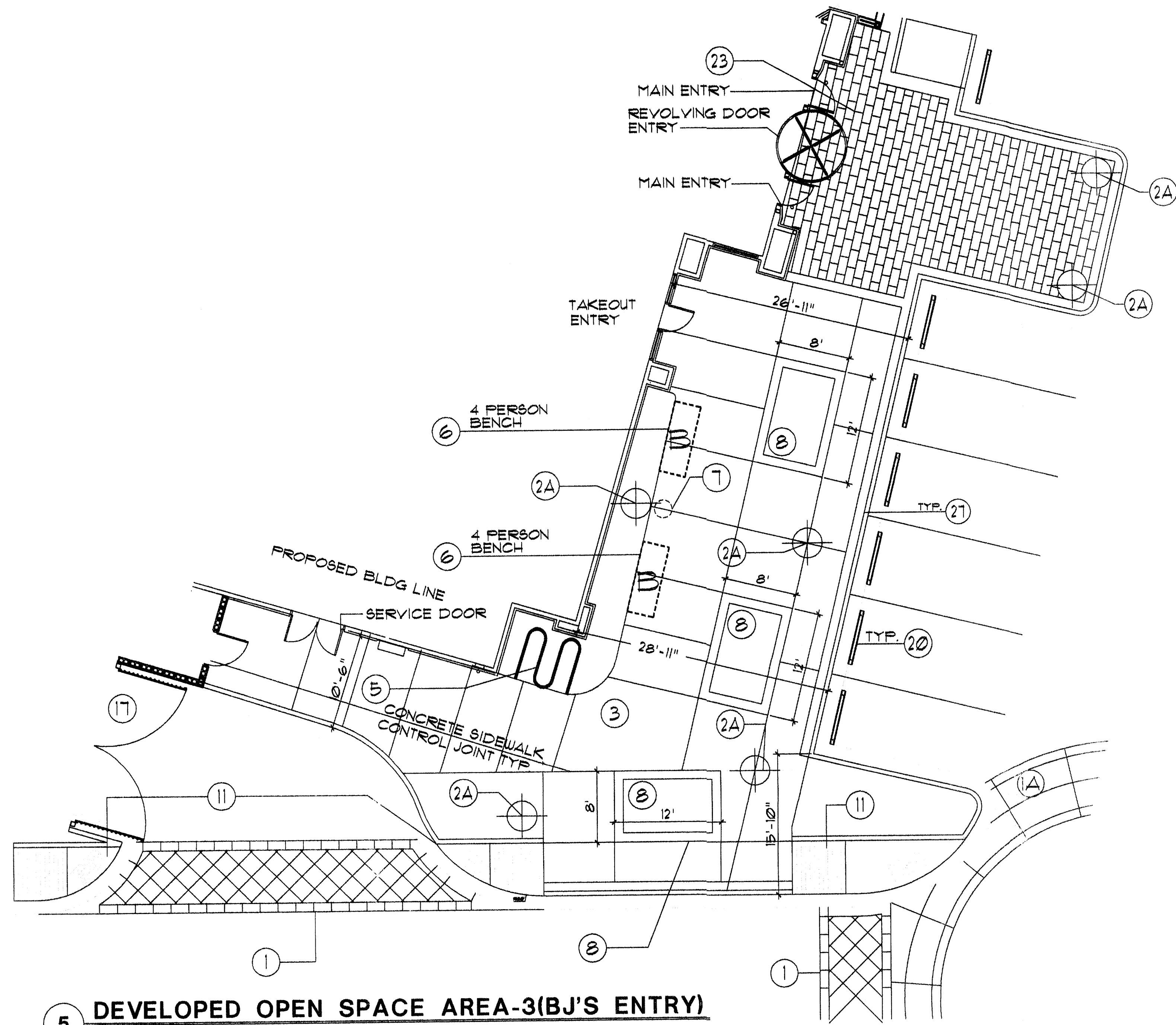
DRAWN BY: 9-J

SHEET TITLE: SITE DETAILS

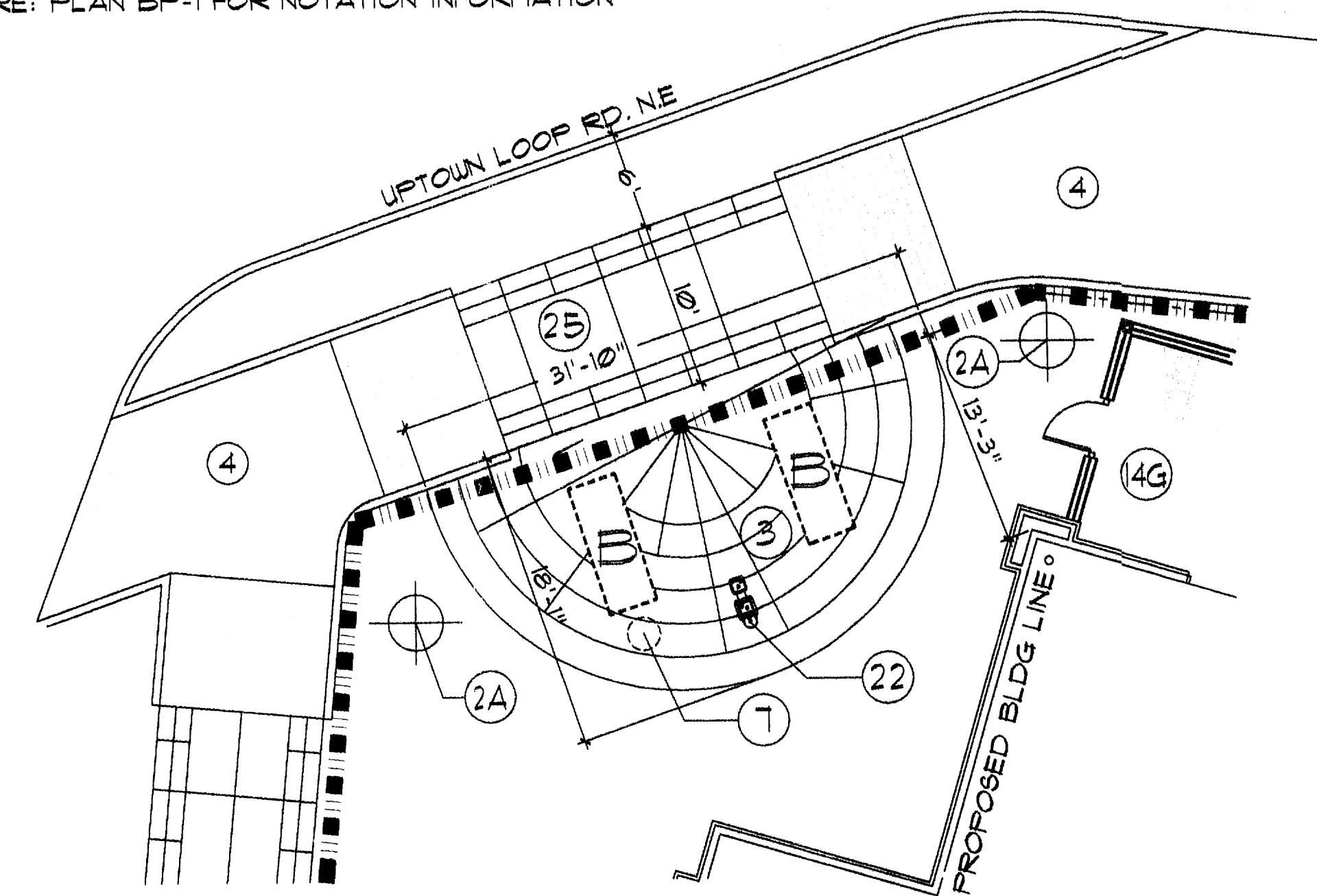
DATE: 4/6/12

SCALE: AS NOTED

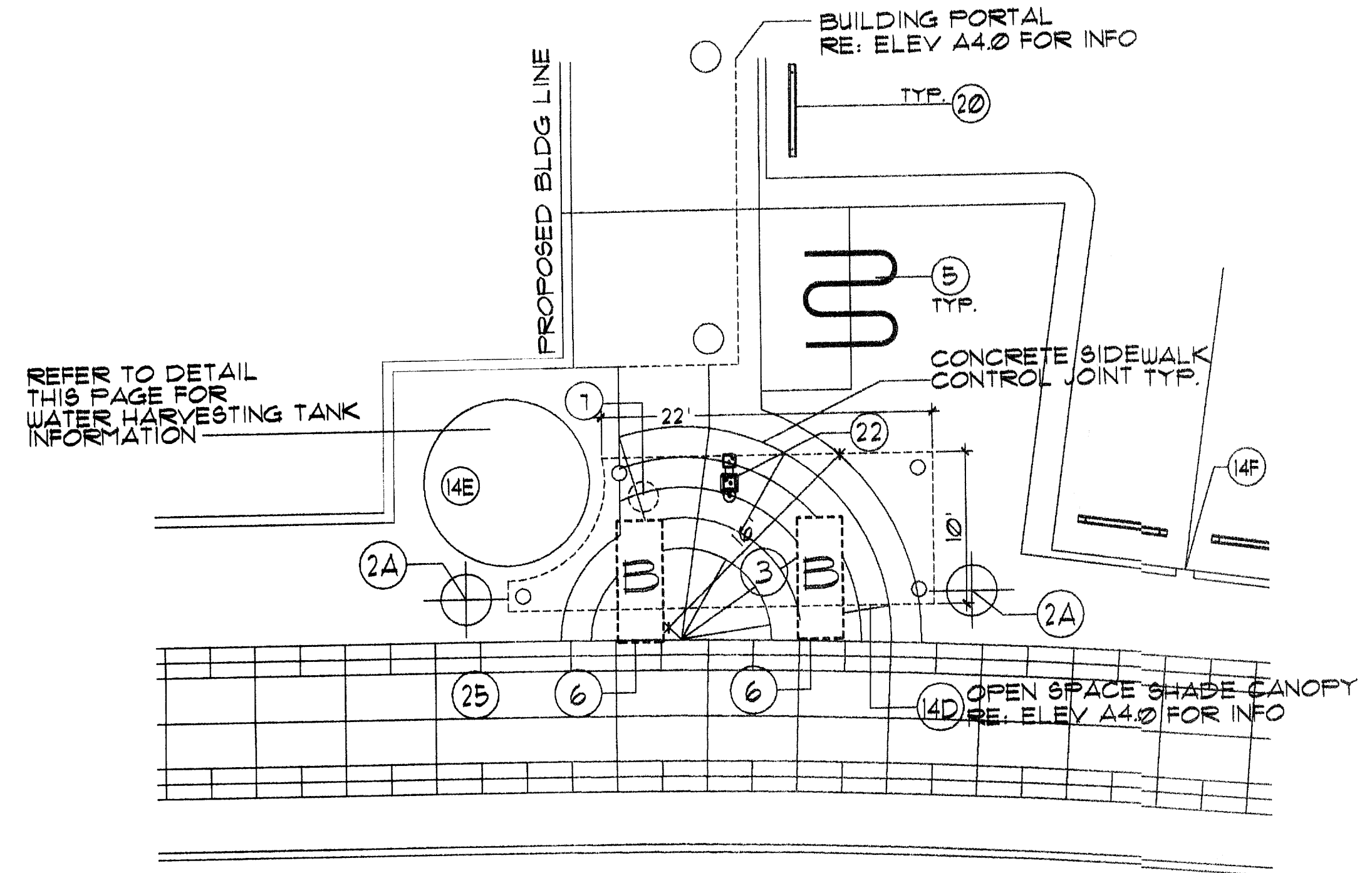
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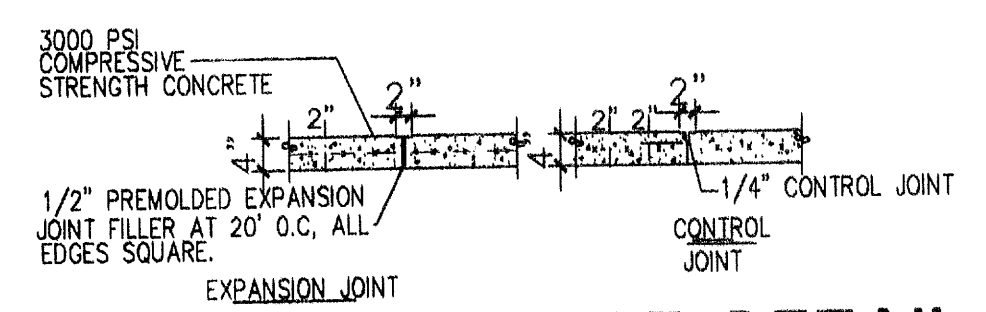
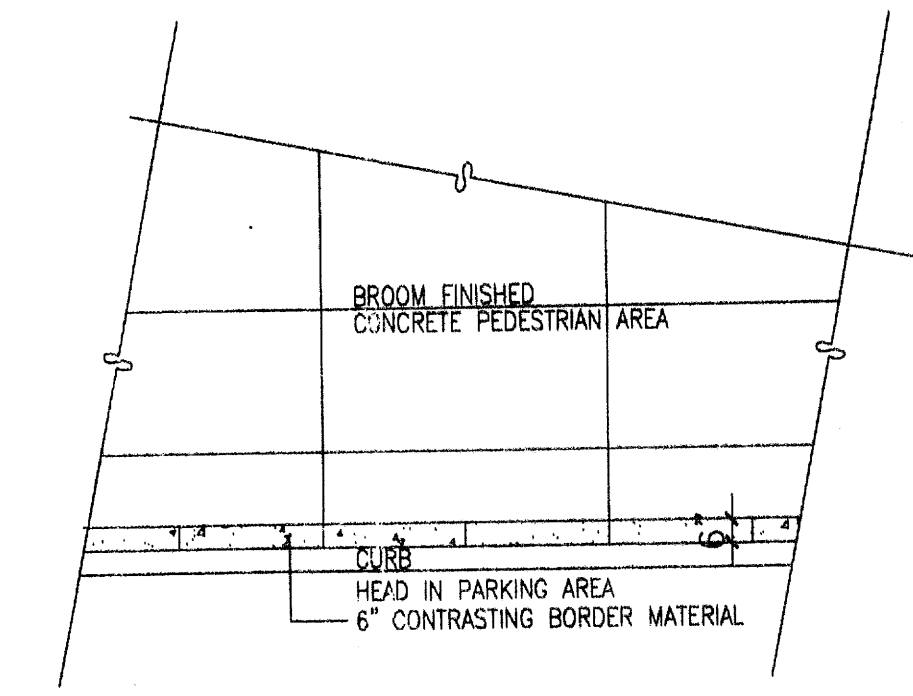
**5 DEVELOPED OPEN SPACE AREA-3(BJ'S ENTRY)**  
 Scale: N.T.S.  
 NOTE:  
 RE: PLAN BP-1 FOR NOTATION INFORMATION



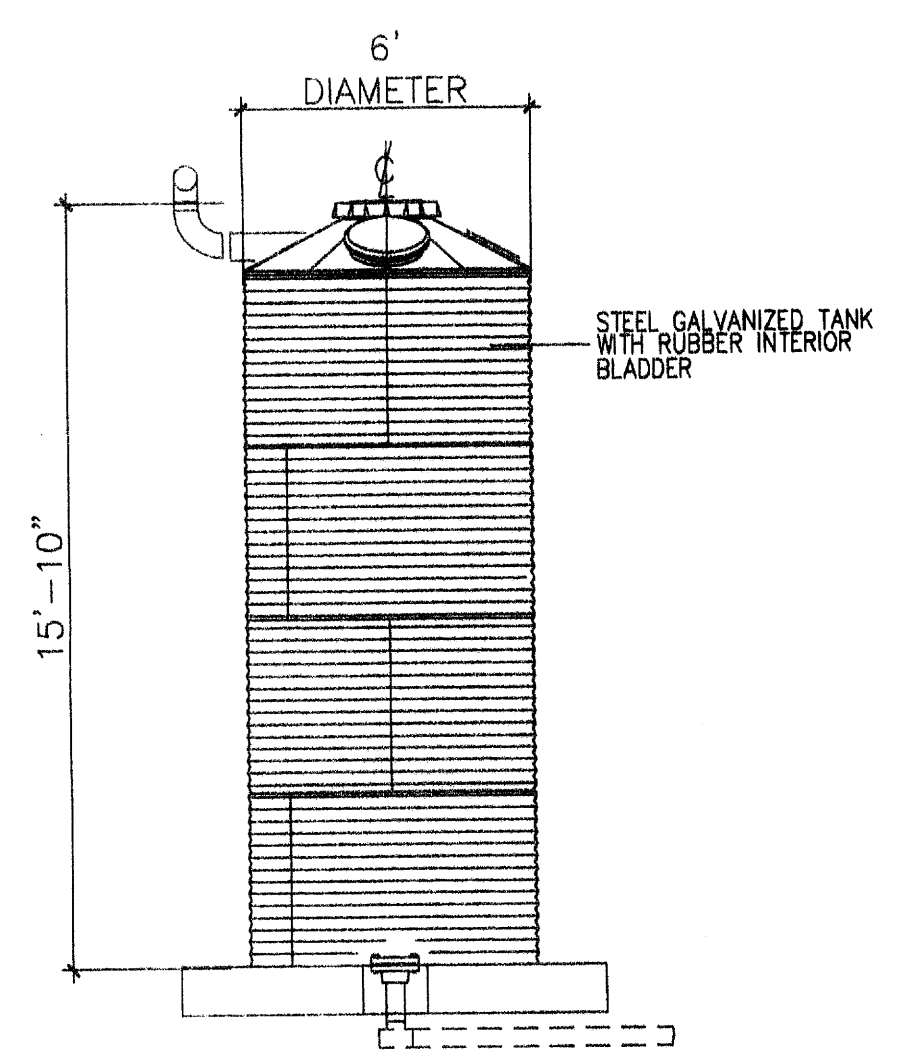
**4 DEVELOPED OPEN SPACE AREA-2**  
 Scale: N.T.S.  
 NOTE:  
 RE: PLAN BP-1 FOR NOTATION INFORMATION



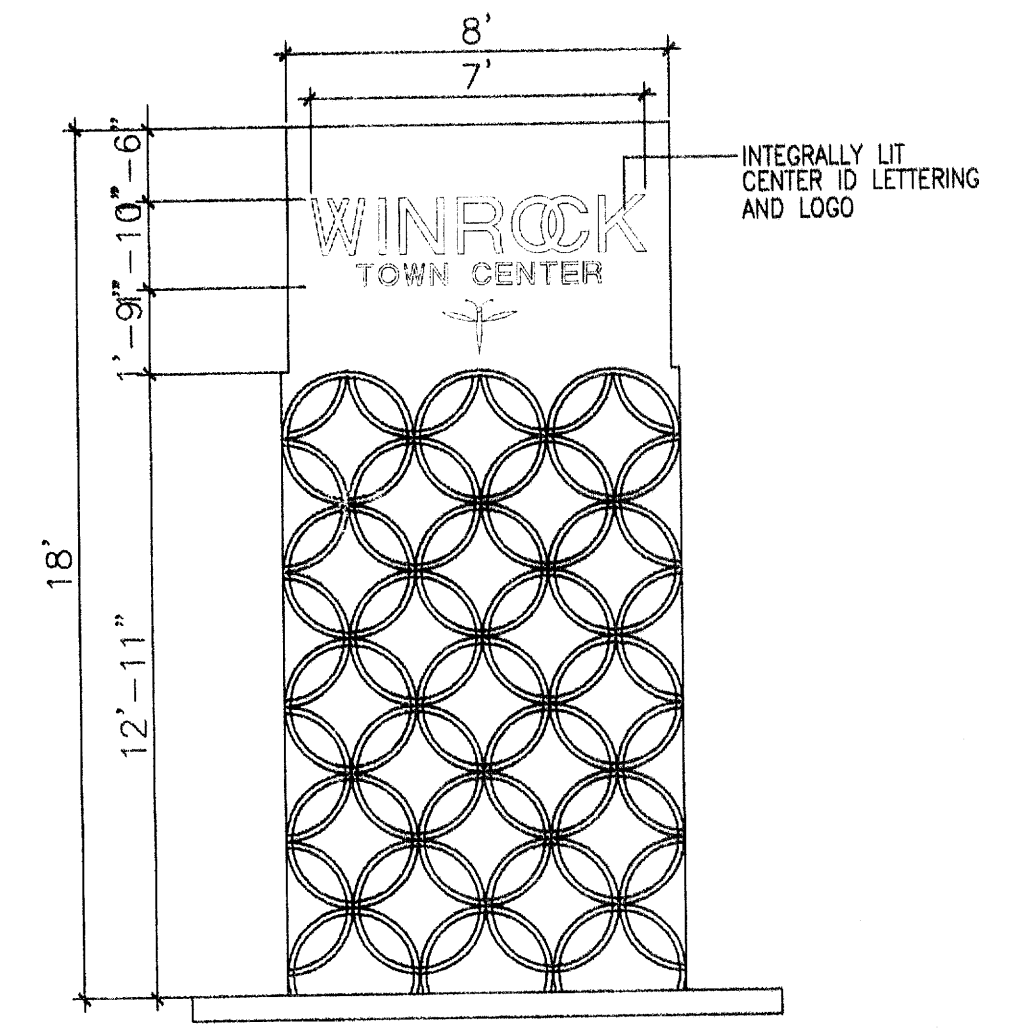
**3 DEVELOPED OPEN SPACE AREA-1**  
 Scale: N.T.S.  
 NOTE:  
 RE: PLAN BP-1 FOR NOTATION INFORMATION



**2 TYPICAL EDGE DETAIL**  
 Scale: N.T.S.



**6 WATER HARVESTING TANK**  
 Scale: N.T.S.



**1 CENTER ID MONUMENT SIGN**  
 Scale: N.T.S.

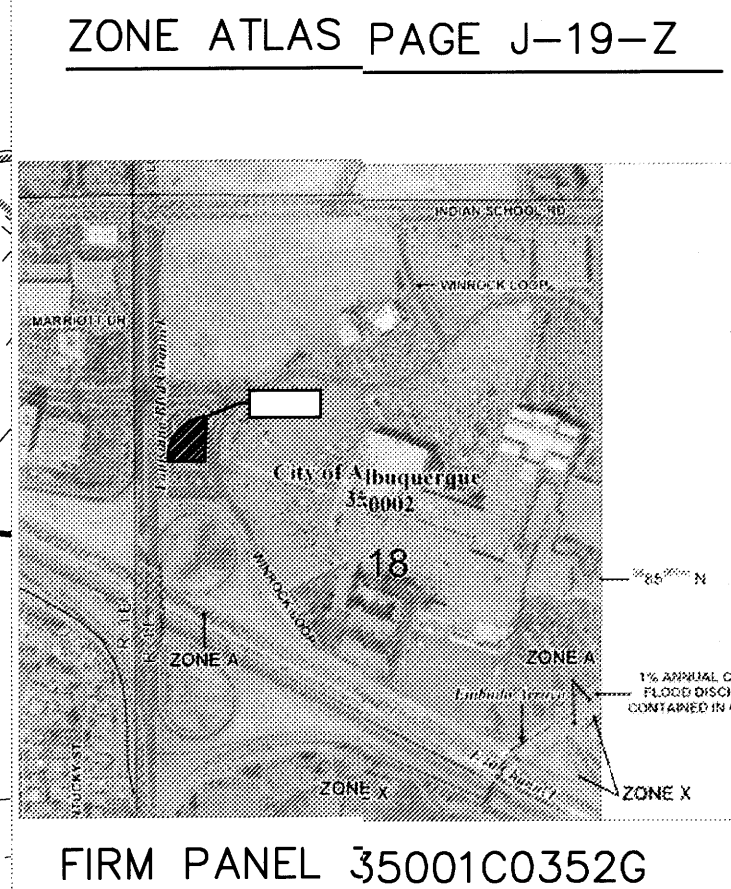
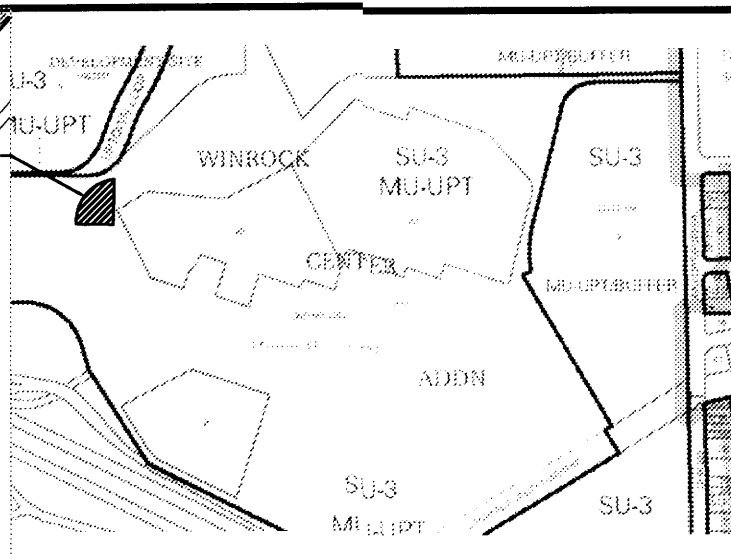
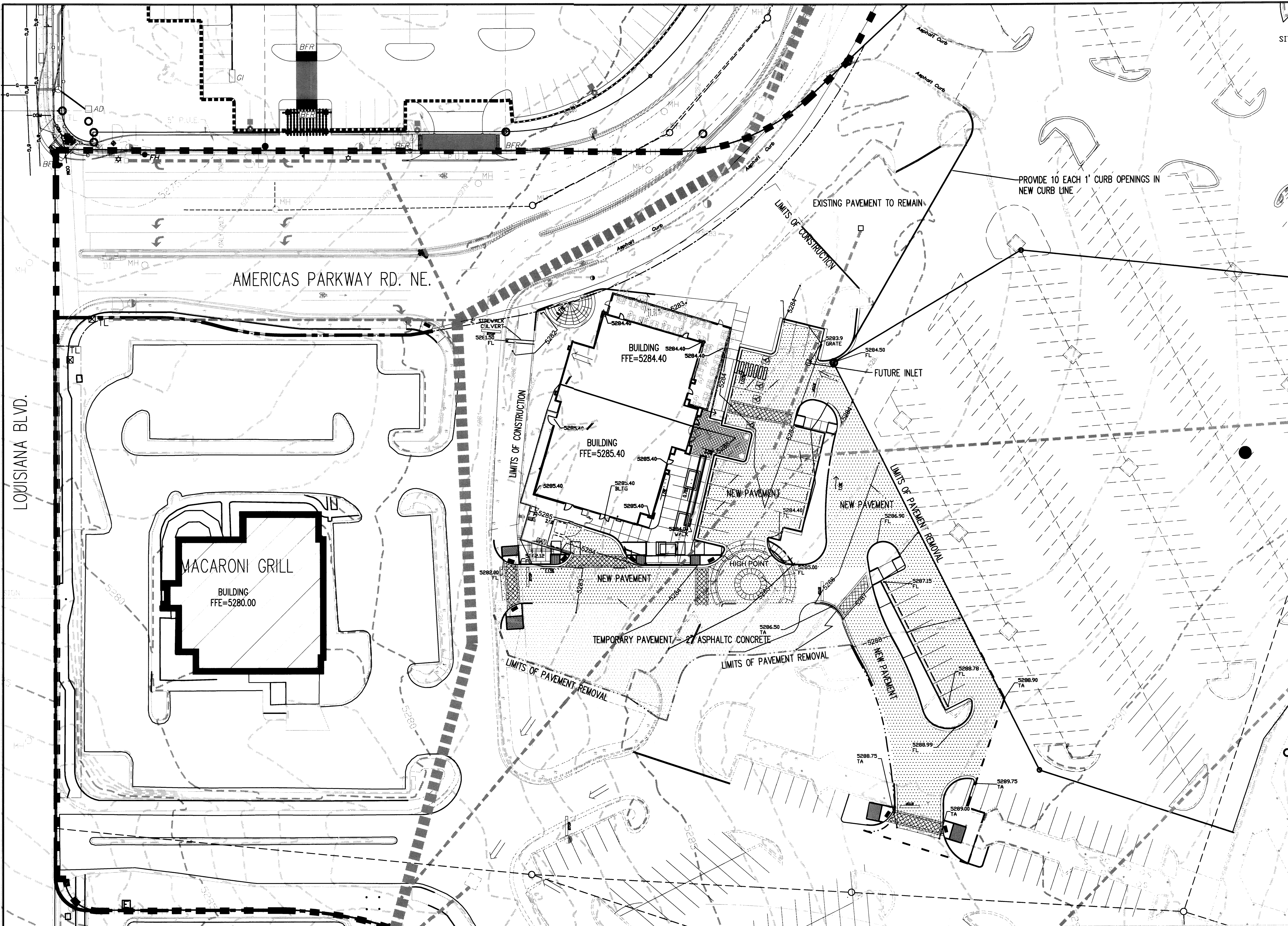
REV	DATE	BY	REVISION
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**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	WINROCK TOWN CENTER
PROJECT NUMBER	2200 LOUISIANA BLDG. NE ALBUQUERQUE NEW MEXICO
JOB NO.	WIN-EU
PROJECT NUMBER	STEPHEN DUNBAR, AIA
DRAWN BY:	S-J
SITE DETAILS	

DATE:	4/6/12
SCALE:	A1.4
AS NOTED	



**GENERAL NOTES**

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES IN PLANNING AND CONDUCTING EXCAVATIONS. THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

**ENGINEER'S SEAL**

SOLOTTI ENGINEERING INC. REGISTERED PROFESSIONAL ENGINEER IN NEW MEXICO 12806

4/13/12

NO.	DATE	REVISIONS	BY
		DESIGN	

DESIGNED BY: **HUITT-ZOLIARS**  
 Huitt-Zoliars, Inc. Rio Rancho  
 333 Rio Rancho Drive NE, Suite 101  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

DESIGNED BY: DATE: \_\_\_\_\_  
 DRAWN BY: DATE: \_\_\_\_\_  
 DWG NAME: PROJ # 17-0935-01  
 CHECKED BY: DATE: \_\_\_\_\_

**EXISTING DRAINAGE CONDITIONS**

THIS PORTION OF THE WINROCK PARKING SLOPE FROM SOUTHEAST TO NORTHWEST. OVERLAND STORMWATER IS DIRECT TO STORM DRAIN INLET NUMBER 1. OVERFLOWS AND ADDITIONAL PAVEMENT PARING AREAS SLOPE TO PARKING LOTS EXTERIOR CURB AND GUTTER. CONCENTRATED FLOWS ARE DIRECTED TO CONCRETE RUNDOWN NUMBER 1 DISCHARGING INTO A SMALL LANDSCAPE AREA. THE LANDSCAPE AREA IS GRADED TO SOUTH WHERE STORMWATER IS DISCHARGED ONTO THE RING ROAD AND ENTERS THE 84" STORM DRAIN.

**PROPOSED DRAINAGE CONDITIONS**

THIS PORTION OF THE SITE DISCHARGES INTO THE 84" STORM DRAIN WITHIN THE RING ROAD. THAT WILL NOT CHANGE WITH THIS DEVELOPMENT. A NEW AREA DRAIN SHALL BE INSTALLED WITHIN THE PROPOSED BJ RESTAURANT ON-SITE PARKING LOT. OVERFLOWS SHALL BY-PASS THE PROPOSED INLET AND FLOW AROUND THE BUILDING IN AN EARTHEN SWALE TO A PROPOSED SIDEWALK CULVERT DISCHARGING ONTO THE RING ROAD.

IT IS ANTICIPATED THAT THE RESTAURANT ROOF DRAINS SHALL BE LOCATED ON THE AMERICAS PARKWAY SIDE OF THE BUILDING. ROOF DRAINS SHALL BE EXTENDED TO DISCHARGE ROOF RUNOFF WATER AT OR NEAR THE SIDEWALK CULVERT PLACEMENT.

**FLOOD ZONE**

PER THE FEMA MAP NUMBER 35001 C0352G DATED SEPTEMBER 26, 2008 SHOWS THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

**ENGINEER'S CERTIFICATION**

I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

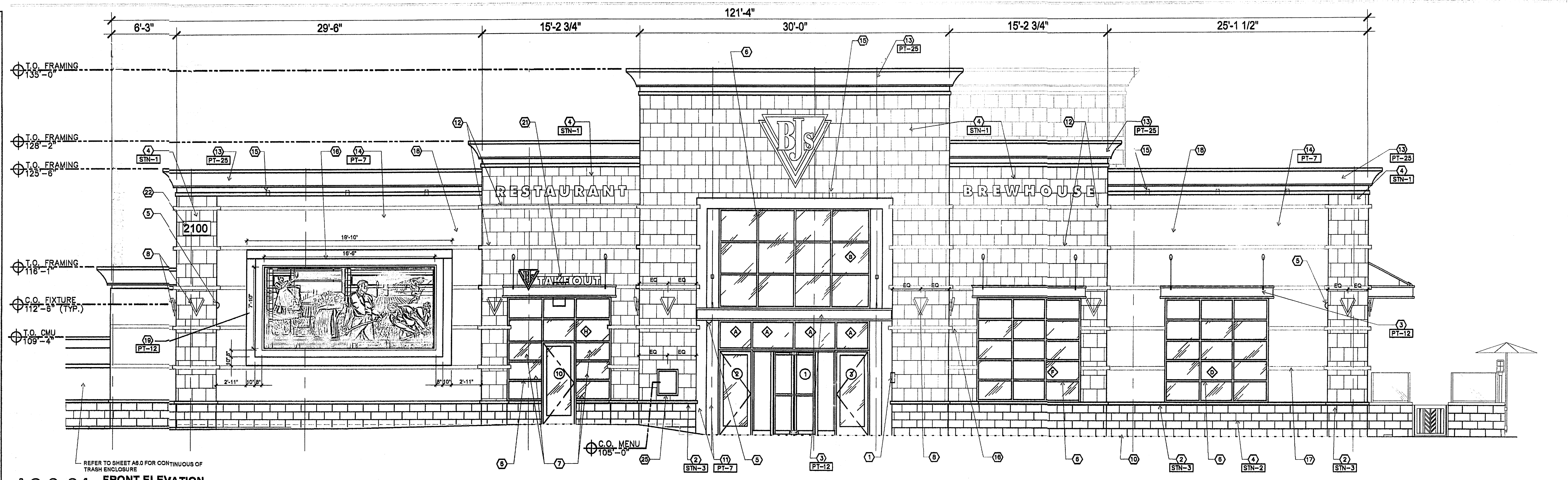
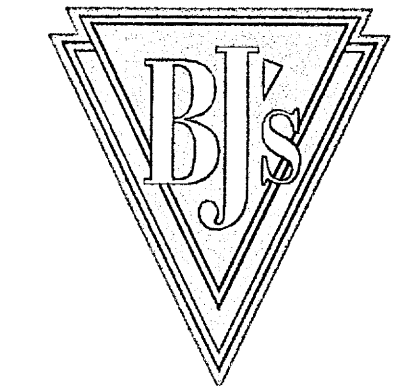
THIS SITE DISTURBS APPROXIMATELY 38,000 SF.

City Project No. \_\_\_\_\_ Zone Map No. J-19-Z Sheet C101 Of \_\_\_\_\_

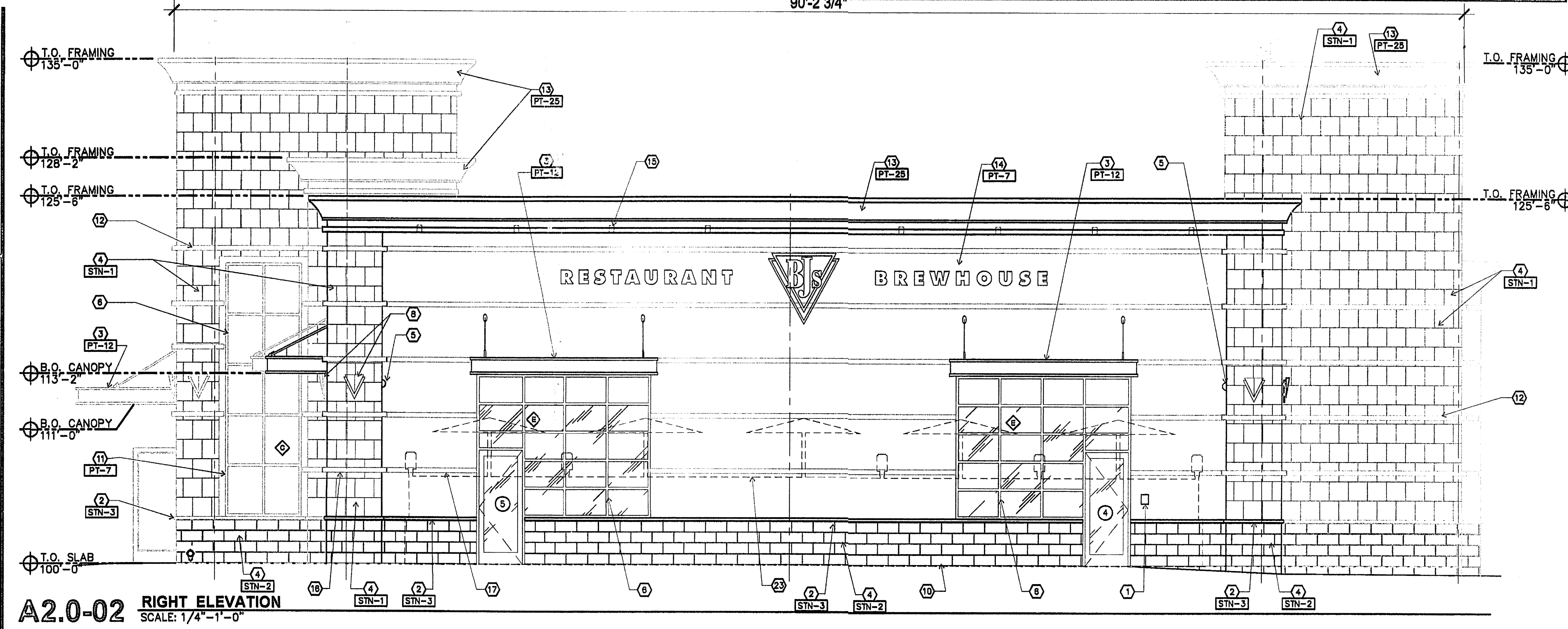
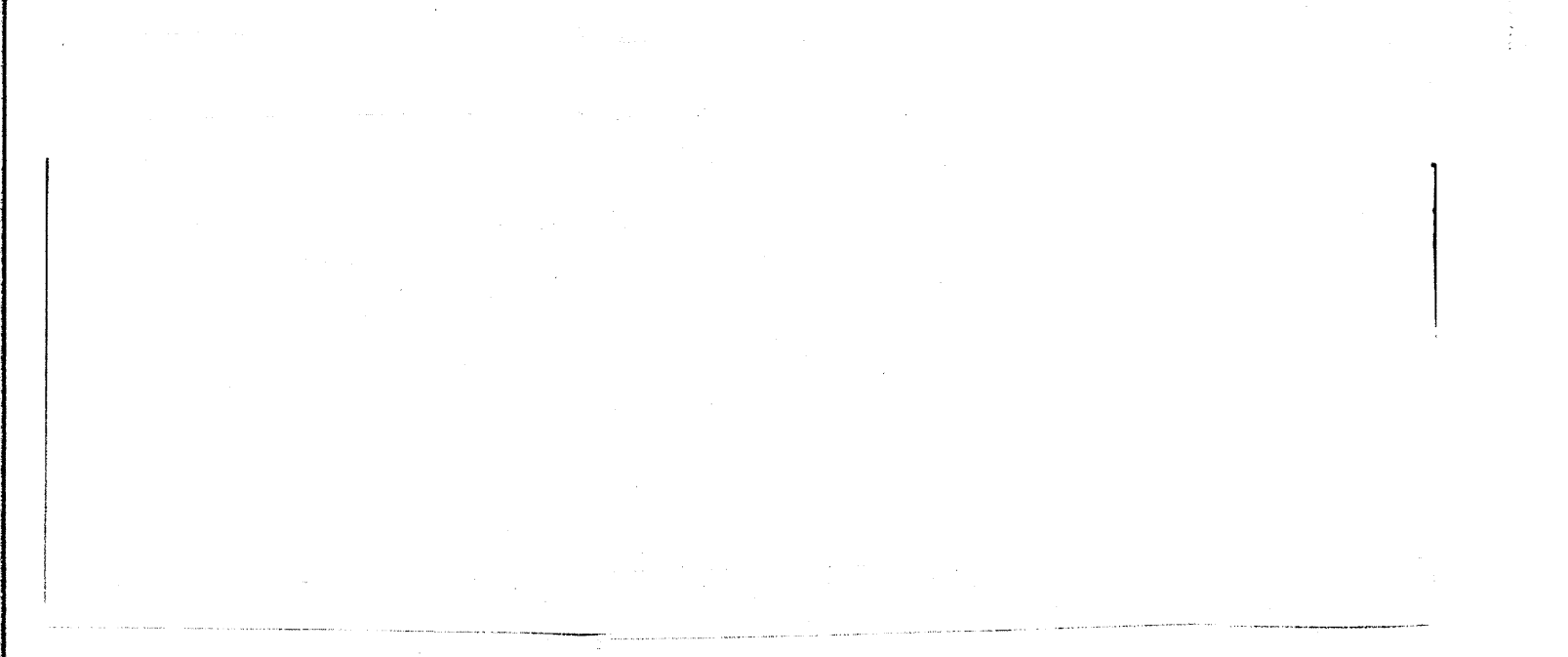
Apr 13, 2012 9:36:01 am - User: readings  
 C:\PROJ\17-0935\DWG\17-0935-01-DRB-BUILDING PERMIT SUBMITTAL.DWG  
 Name: (C:\PROJ\17-0935\DWG\17-0935-01-DRB-BUILDING PERMIT SUBMITTAL.DWG) FILED:WINROCK, EXISTING BASE - BJ (B.P) (DWG)



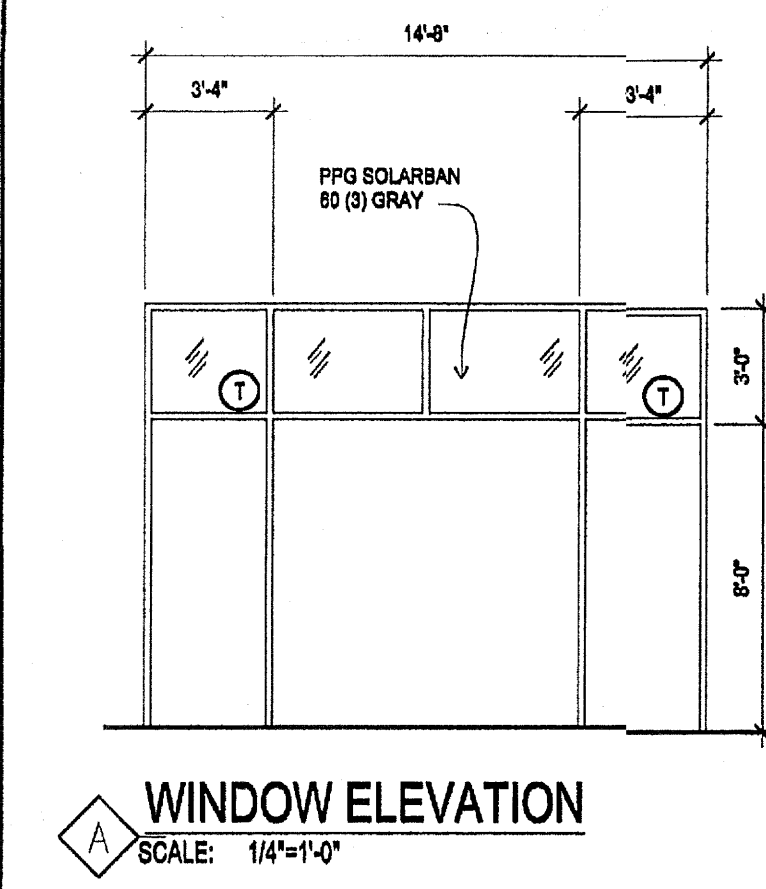




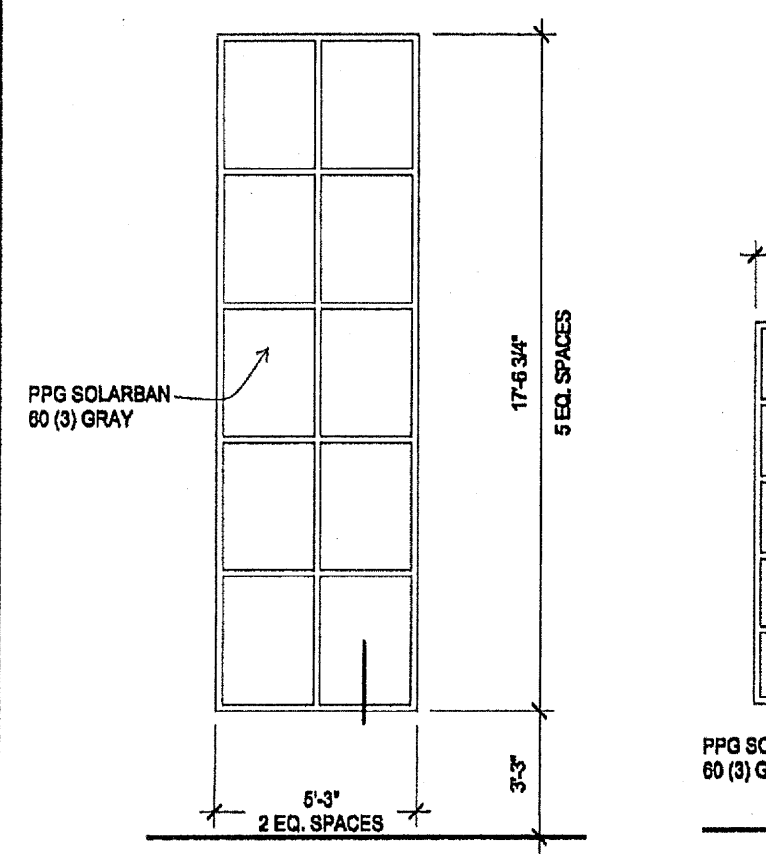
**A2.0-01 FRONT ELEVATION**  
 SCALE: 1/4"=1'-0"



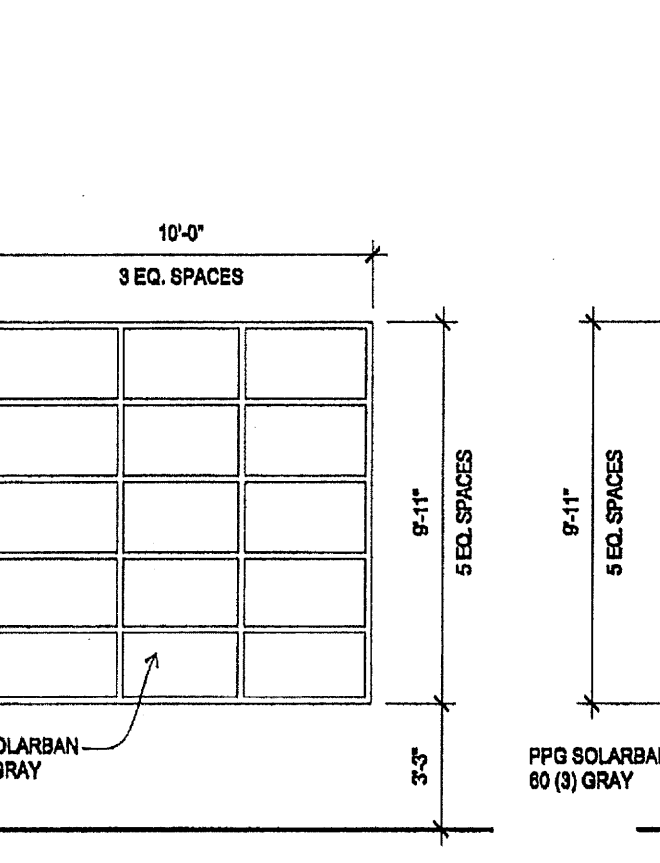
**A2.0-02 RIGHT ELEVATION**  
 SCALE: 1/4"=1'-0"



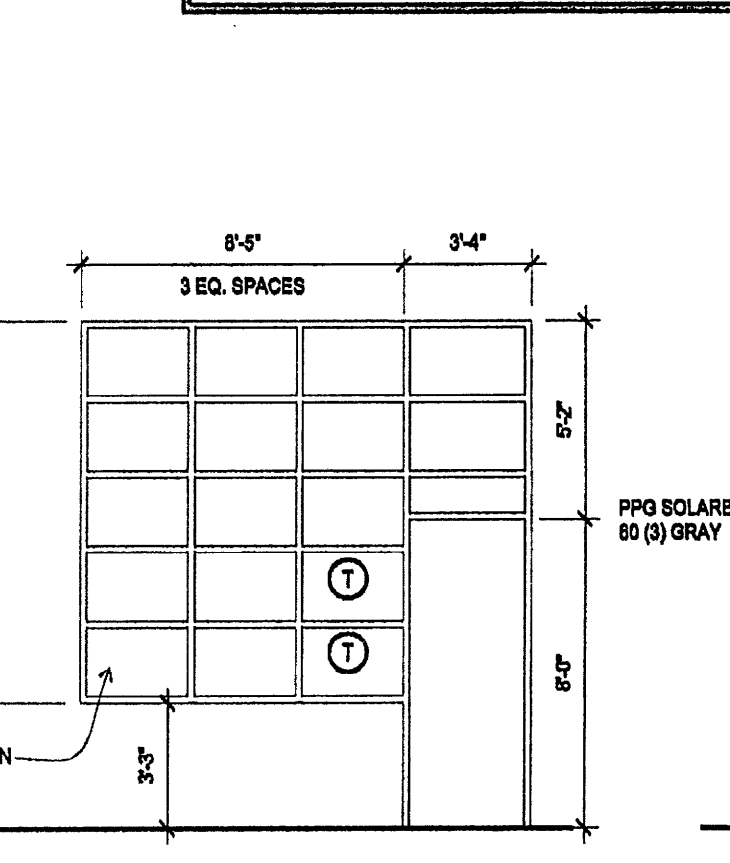
**WINDOW ELEVATION**  
 SCALE: 1/4"=1'-0"



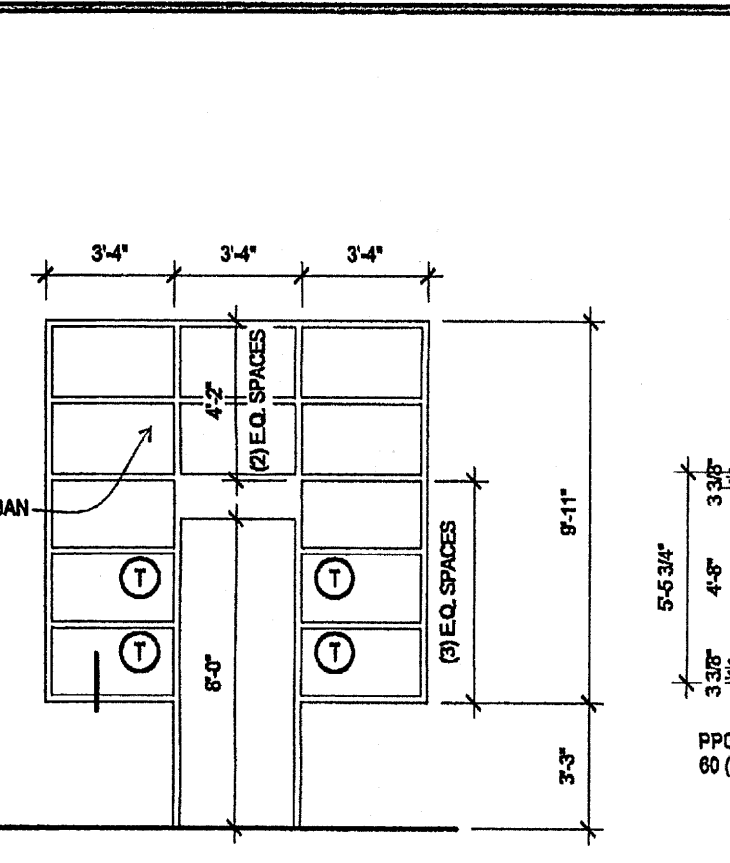
**WINDOW ELEVATION**  
 SCALE: 1/4"=1'-0"



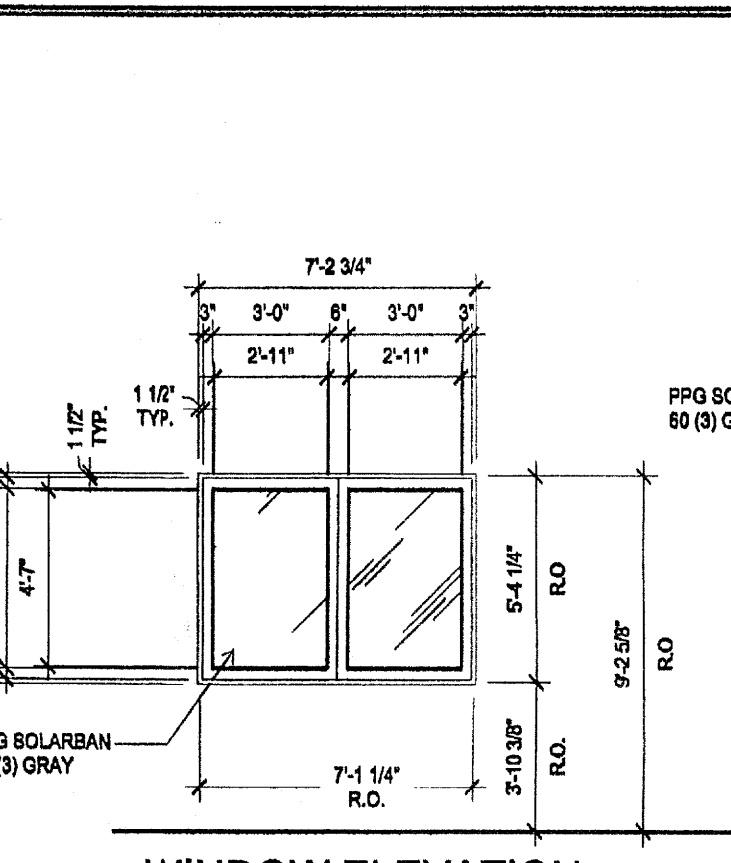
**WINDOW ELEVATION**  
 SCALE: 1/4"=1'-0"



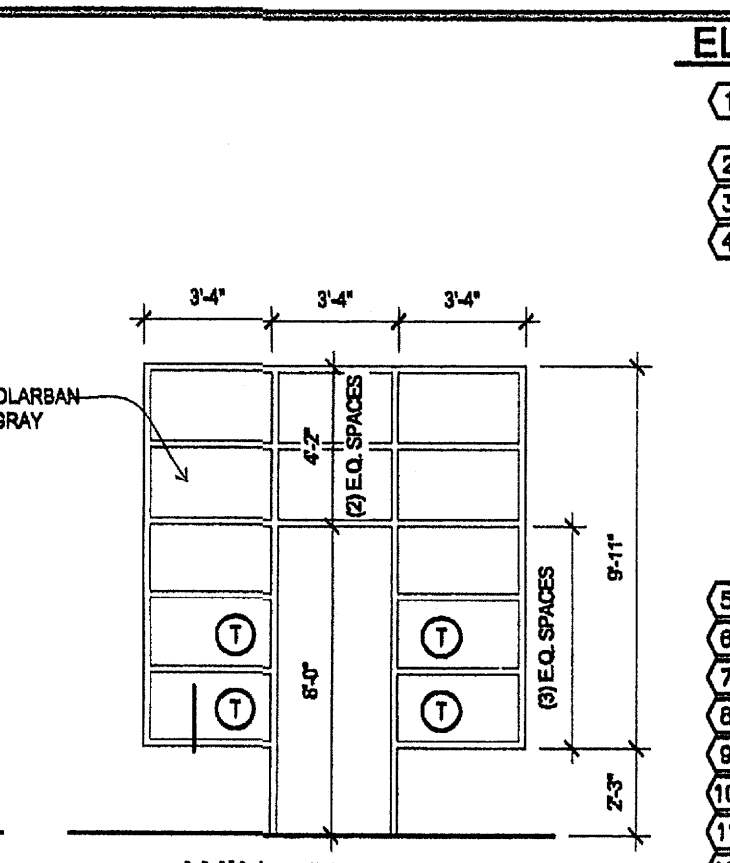
**WINDOW ELEVATION**  
 SCALE: 1/4"=1'-0"



**WINDOW ELEVATION**  
 SCALE: 1/4"=1'-0"



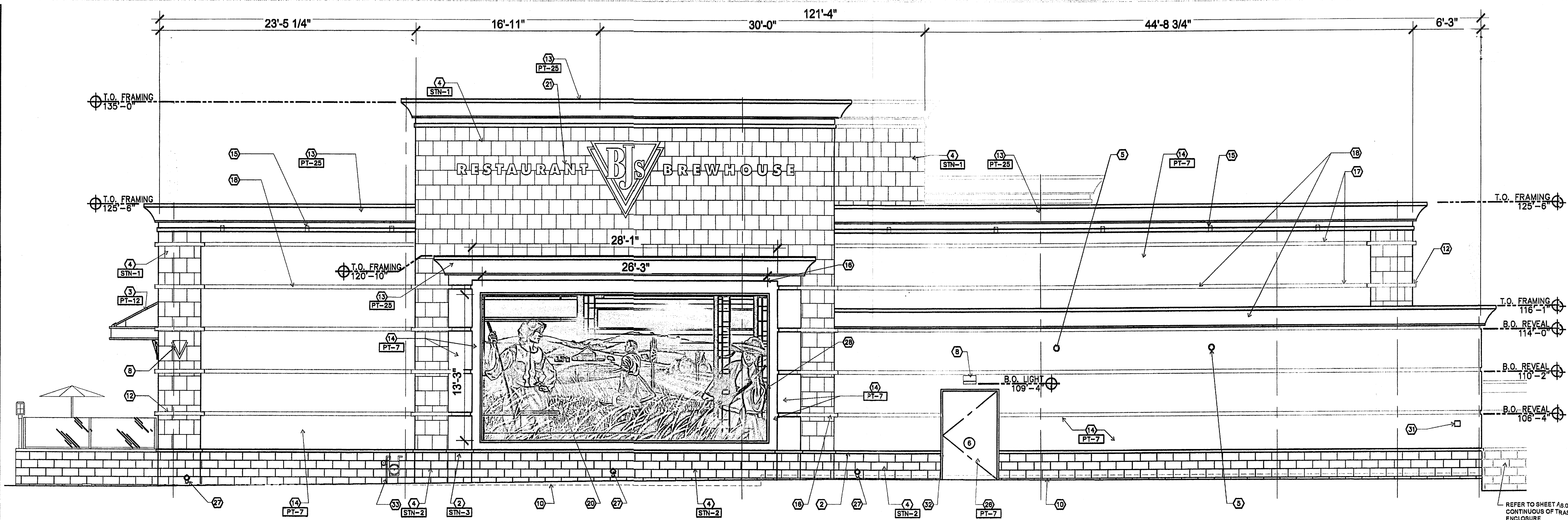
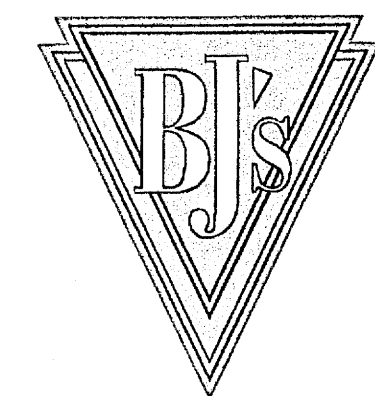
**WINDOW ELEVATION**  
 SCALE: 1/4"=1'-0"



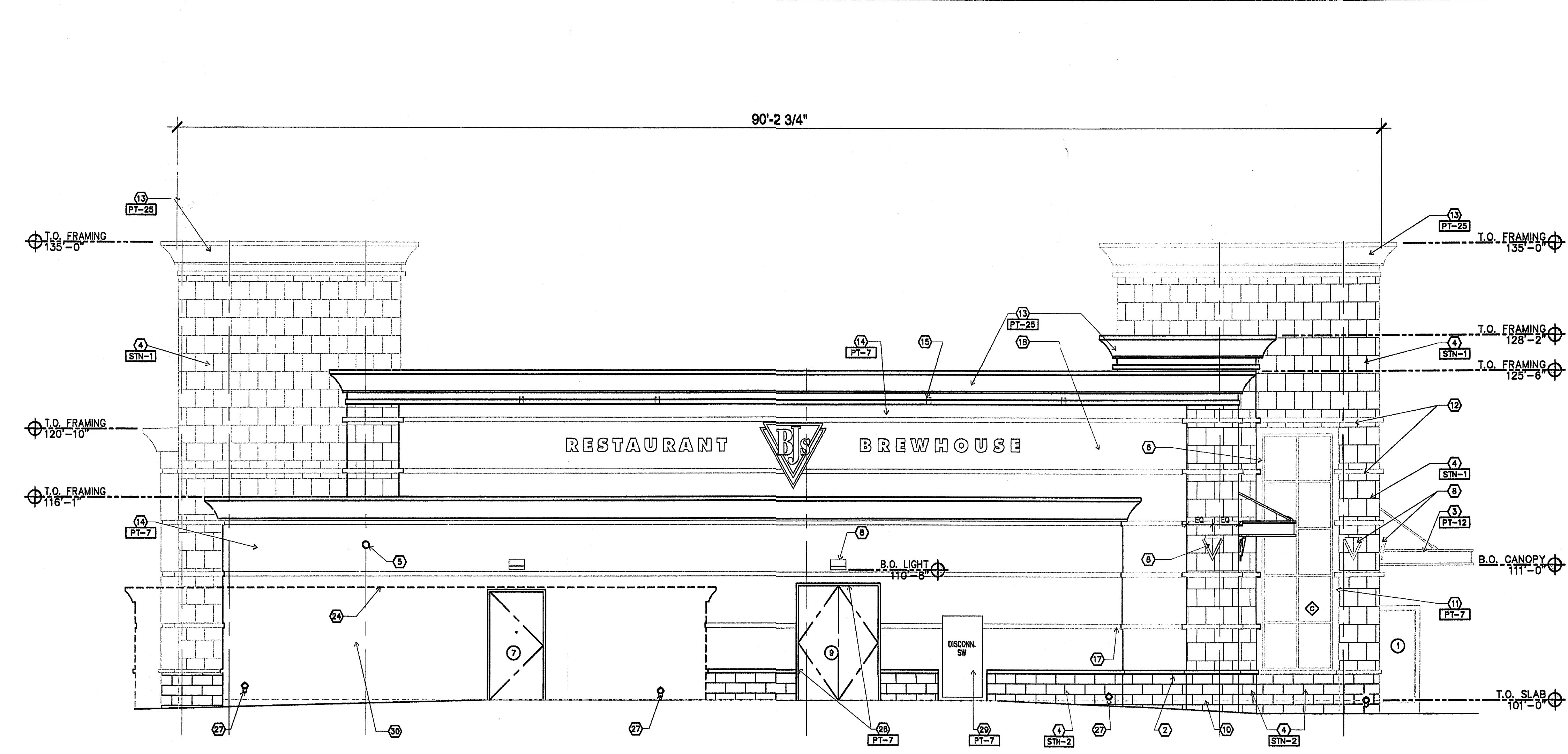
**WINDOW ELEVATION**  
 SCALE: 1/4"=1'-0"

- ELEVATION KEYED NOTES:**
- 1 KNOX BOX SERIES #3200 RECESSED AT 5'-0" A.F.F. PROVIDE WITH FIRE DEPT. REFLECTIVE ALERT DECAL.
  - 2 STONE SILL, REFER TO A&E-33
  - 3 STEEL CANOPY
  - 4 CUSTOM STONE VENEER. TYPICAL APPLICATION OF ADHERED STONE VENEER (PER BUILDING CODE) ADHERED VENEER SHALL BE ADHERED BY MEANS OF PORTLAND CEMENT PLASTER ON METAL LATH. METAL LATH SHALL BE FASTENED TO THE SUPPORTS. MORTAR SHALL BE APPLIED TO THE BACKING AS A SETTING BED. THE SETTING BED SHALL BE A MINIMUM OF 3/4 INCH (19MM) THICK AND A MAXIMUM OF 3/4 INCH (19MM) THICK. A PASTE OF NEAT PORTLAND CEMENT OR ONE-HALF PORTLAND CEMENT AND ONE-HALF GRADED SAND SHALL BE APPLIED TO THE BACK OF THE EXTERIOR VENEER UNITS AND TO THE SETTING BED AND THE VENEER PRESSED AND TAPPED INTO PLACE TO PROVIDE COMPLETE COVERAGE BETWEEN THE MORTAR BED AND VENEER UNIT. A CEMENT MORTAR SHALL BE USED TO POINT THE VENEER.
  - 5 SECURITY CAMERA, MOUNTED AT 12'-0" A.F.F.
  - 6 ALUM. STOREFRONT DARK BRONZE FINISH
  - 7 TEMP. INSULATED GLASS
  - 8 LIGHT FIXTURE, REFER TO ELECTRICAL
  - 9 NOT USED
  - 10 EXTEND STONE TO 1" ABOVE FINISH GRADE, TYP.
  - 11 STUCCO JAHS
  - 12 METAL LIGHT COVE (B.O.) REFER TO DETAIL 8&A7
  - 13 PAINTED CORNICE AND COPING CAP TYP.
  - 14 STUCCO WALL FINISH
  - 15 RECESS LIGHT, REFER TO ELEC.
  - 16 LED LIGHT STRIP BEHIND COVE REF. TO SIGNAGE DWGS. FOR INFO (TYP. @ ALL SLATE WALLS).
  - 17 PAINTED PLASTER REVEALS REFER TO 3&A7 (TYP. @ ALL STUCCO WALLS.)
  - 18 LINE OF ROOF DECK BEYOND
  - 19 STUCCO MURAL FRAME
  - 20 WALL MURAL 1/2" BLACK FRAME (BY OWNER)
  - 21 SIGNAGE, REFER TO SIGNAGE DWGS
  - 22 ADDRESS SIGN WITH 1'-0" HIGH LETTERS (HIC)
  - 23 OUTLINE OF PATIO ELEVATION, SEE SHEET A7X
  - 24 TRASH ENCLOSURE, REFER TO 3&E7
  - 25 BLACK POWDER COAT BOX MENU BOARD. CONTACT BJ'S CONSTRUCTION MANAGER FOR MANUFACTURER'S MODEL NUMBER AND CONTACT INFORMATION.
  - 26 HOLLOW METAL DOOR AND FRAME. REFER TO DOOR SCHE
  - 27 DOWNSPOUT COVER, SEE PLUMBING DWGS.
  - 28 CONCEALED LED STRIP LIGHTS, REFER TO ELEC. DWGS.
  - 29 ELECTRICAL UTILITY, REFER TO ELEC. DWGS.
  - 30 OMIT WATER TABLE, WAINSCOT AND REVEALS BEHIND SERVICE WALLS
  - 31 CO2 FILL PORT, REFER TO KITCHEN DRAWINGS
  - 32 2" CHAMFER STONE AT HINGE SIDE
  - 33 PROVIDE COMPLETE GAS METER ASSEMBLY PAINTED TO MATCH ADJACENT SURFACES. COORDINATE REQUIREMENT





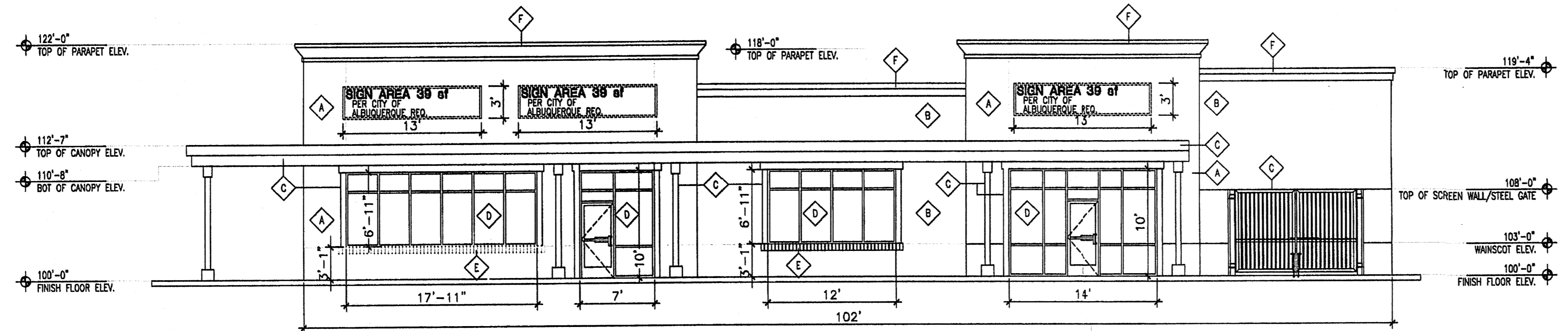
A2.1-01 REAR ELEVATION  
SCALE: 1/4"=1'-0"



A2.1-02 LEFT ELEVATION  
SCALE: 1/4"=1'-0"

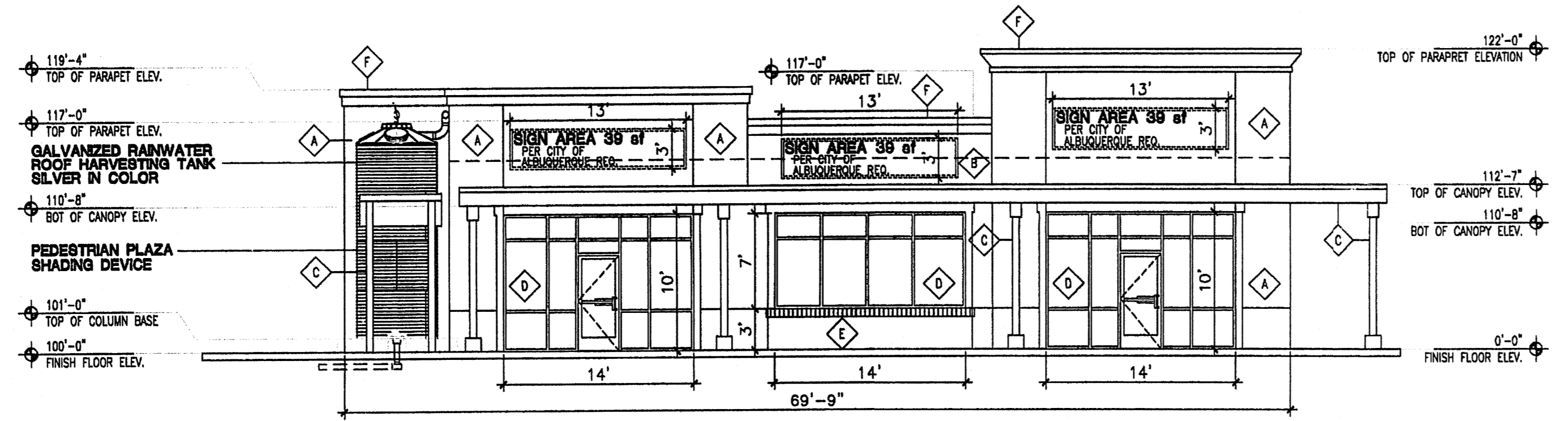
FINISH SCHEDULE				
PAINT / STAINS				
KEY:	COLOR:	APPLICATION:	MANUFACTURER / SOURCE	DESCRIPTION
PT-7	ARABIAN RED	EXTERIOR STUCCO/PIERCED DOORS	DUNN-EDWARDS	DEA 155
PT-12	BLACK	AV CABINET DOOR FRAME, HWAD DUCTWORK, METAL AWNING AND MURK FRAME	DUNN-EDWARDS	SUNN-EDWARDS "BLACK" SEMI-GLOSS DEA 167
PT-15	FLAT BLACK	CEILING	DUNN-EDWARDS	SUNN-EDWARDS "BLACK" FLAT
PT-25	DARK CHOCOLATE	EXTERIOR STUCCO CORNICE	DUNN-EDWARD	DE 6014 - LRV/50 FLAT
TILE / STONE / FLOORING / CEILING				
KEY:	COLOR:	APPLICATION:	MANUFACTURER / SOURCE	DESCRIPTION
STN-1	ROSE LIMESTONE	TOWER PARAPETS/INTERIOR WALLS W/GROUT BY CUSTOM BUILDING PRODUCTS-ANTIQUE WHITE, BANDED, 3/4" JOINT SIZE. SEALER: MIRACLE 611 SEAL AND ENHANCE (IMPERMEATING COLOR ENHANCER)	RESOURCE BUILDING MATERIALS CONTACT: CARY HAGEN P: 1.949.878.3242 AMERICAN SLATE CONTACT: TANYA WILSON P: 1.888.802.7033	SLATE 10'-10" NOTE DISCARD TILES THAT HAVE PREDOMINATELY GREEN PATINA.
STN-2	AMBER GOLD	BASEWAINSCOT/INTERIOR WALLS W/GROUT BY CUSTOM BUILDING PRODUCTS-ANTIQUE WHITE, BANDED, 3/4" JOINT SIZE.	RESOURCE BUILDING MATERIALS CONTACT: CARY HAGEN P: 1.949.878.3242 AMERICAN SLATE CONTACT: TANYA WILSON P: 1.888.802.7033	SLATE BASE AND 8'X16"
STN-3	CHISELED CREAM	WATERTABLE / CAP	CORNADO STONE	SLAB
SC-1	SEALED CONCRETE	MESH / ELEC / CURBS / TRASH ENCLOSURE SLAB		

- ELEVATION KEYED NOTES:**
- 1) KNOX BOX SERIES #3200 RECESSED AT 5'-0" A.F.F. PROVIDE WITH FIRE DEPT. REFLECTIVE ALERT DECAL
  - 2) STONE SILL REFER TO 8A.0-T3
  - 3) STEEL CANOPY
  - 4) CUSTOM STONE VENEER  
TYPICAL APPLICATION OF ADHERED STONE VENEER (PER BUILDING CODE) ADHERED VENEER SHALL BE ADHERED BY MEANS OF PORTLAND CEMENT. BACKING SHALL BE PORTLAND CEMENT PLASTER ON METAL LATH. METAL LATH SHALL BE FASTENED TO THE SUPPORTS. MORTAR SHALL BE APPLIED TO THE BACKING AS A SETTING BED. THE SETTING BED SHALL BE A MINIMUM OF 3/4 INCH (19MM) THICK AND A MAXIMUM OF 3/4 INCH (19MM) THICK. A PASTE OF NEAT PORTLAND CEMENT OR ONE-HALF PORTLAND CEMENT AND ONE-HALF GRADED SAND SHALL BE APPLIED TO THE BACK OF THE EXTERIOR VENEER UNITS AND TO THE SETTING BED AND THE VENEER PRESSED AND TAPPED INTO PLACE TO PROVIDE COMPLETE COVERAGE BETWEEN THE MORTAR BED AND VENEER UNIT. A CEMENT MORTAR SHALL BE USED TO POINT THE VENEER.
  - 5) SECURITY CAMERA, MOUNTED AT 12'-6" A.F.F.
  - 6) ALUM. STOREFRONT DARK BRONZE FINISH
  - 7) TEMP. INSULATED GLASS
  - 8) LIGHT FIXTURE, REFER TO ELECTRICAL
  - 9) NOT USED
  - 10) EXTEND STONE TO 1" ABOVE FINISH GRADE, TYP.
  - 11) STUCCO JAMB
  - 12) METAL LIGHT COVE (B.O.) REFER TO DETAIL 8A.0-T4
  - 13) PAINTED CORNICE AND COPING CAP TYP.
  - 14) STUCCO WALL FINISH
  - 15) RECESS LIGHT, REFER TO ELEC.
  - 16) LED LIGHT STRIP BEHIND COVE REF. TO SIGNAGE DWGS. FOR INFO (TYP. @ ALL SLATE WALLS).
  - 17) PAINTED PLASTER REVEALS REFER TO 8A.0-T4 (TYP. @ ALL STUCCO WALLS).
  - 18) LINE OF ROOF DECK BEYOND
  - 19) STUCCO MURAL FRAME
  - 20) WALL MURAL W 2" BLACK FRAME (BY OWNER)
  - 21) SIGNAGE. REFER TO SIGNAGE DWGS
  - 22) ADDRESS SIGN WITH 1'-0" HIGH LETTERS (NIC)
  - 23) OUTLINE OF PATIO ELEVATION. SEE SHEET 8A.0
  - 24) TRASH ENCLOSURE. REFER TO 8A.0
  - 25) BLACK POWDER COAT BOX MENU BOARD. CONTACT BJS CONSTRUCTION MANAGER FOR MANUFACTURER'S MODEL NUMBER AND CONTACT INFORMATION.
  - 26) HOLLOW METAL DOOR AND FRAME. REFER TO DOOR SPEC
  - 27) DOWNSPOUT COVER. SEE PLUMBING DWGS.
  - 28) CONCEALED LED STRIP LIGHTS. REFER TO ELEC. DWGS.
  - 29) ELECTRICAL UTILITY, REFER TO ELEC. DWGS
  - 30) OMT WATER TABLE, WAINSCOT AND REVEALS BEHIND SERVICE WALLS
  - 31) CO2 FILL PORT. REFER TO KITCHEN DRAWINGS
  - 32) 2" CHAMFER STONE AT HINGE SIDE
  - 33) PROVIDE COMPLETE GAS METER ASSEMBLY PAINTED TO MATCH ADJACENT SURFACES. COORDINATE REQUIREMENT

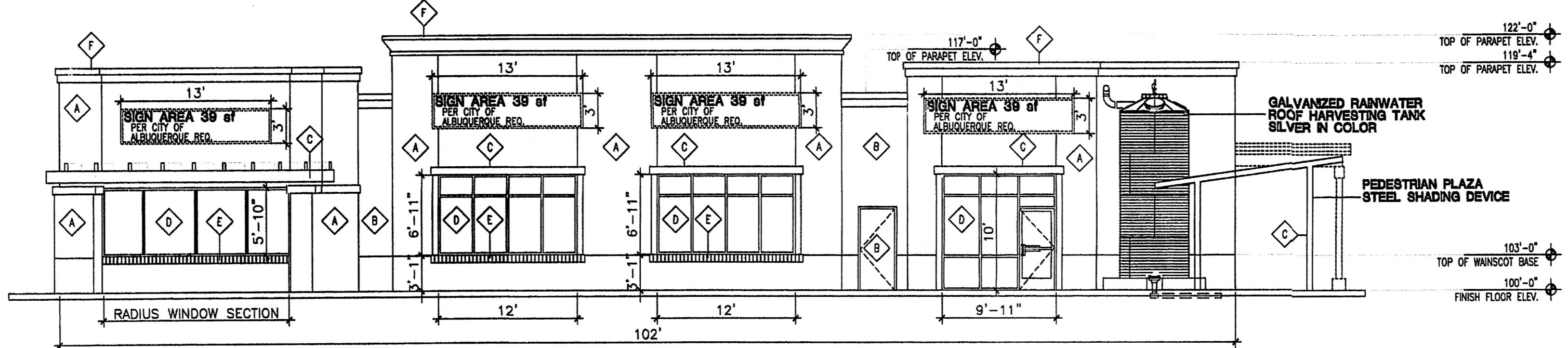


**1 NORTH ELEVATION**  
 Scale: 1/8"=1'  
 NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR  
 TOTAL ALLOWABLE SIGNAGE= 477 SF  
 TOTAL ALLOWABLE SIGNAGE= 117 SF

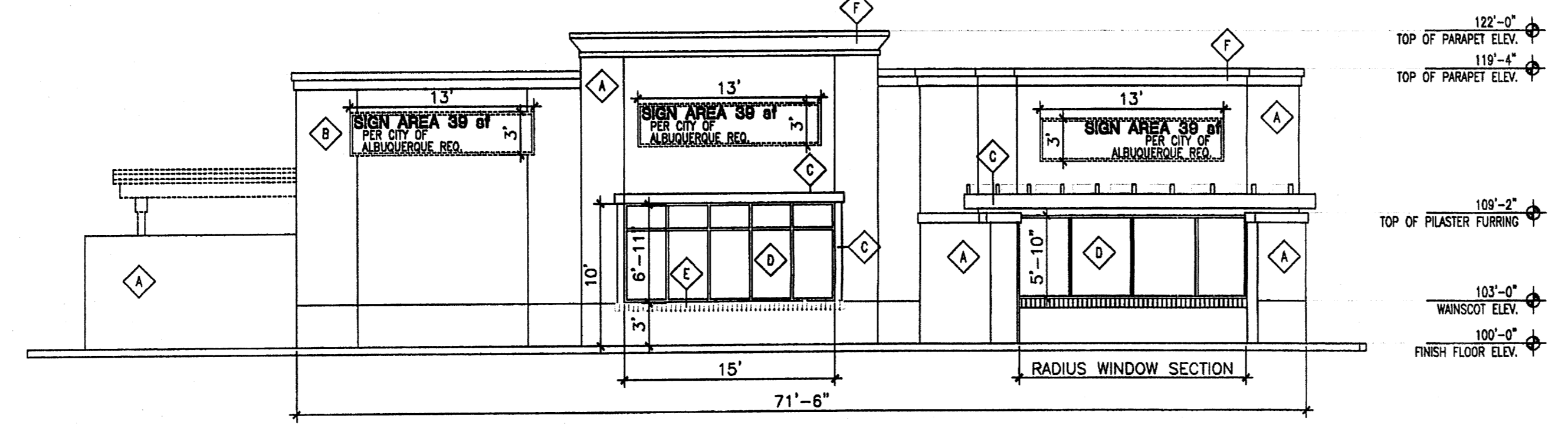
Keyed Color / Material Schedule	
A	STUCCO SYSTEM DARK BROWN TO MATCH ADJACENT B/S BROWN COLOR
B	STUCCO SYSTEM LIGHT TAN
C	MISC STEEL/SERVICE GATES PAINT IN COLOR PORTAL CANOPY WINDOW TRIM
D	STOREFRONT SYSTEM ALUMINUM STOREFRONT W/ POWDERCOAT WHITE KYNAR 500 FINISH
E	WINDOW SILL BRICK SUMMIT BRICK ALBUQUERQUE "INCA" (RUST RED IN COLOR)
F	CORNICE DARK BROWN NOTE: CORNICE TO MATCH PROPOSED B/S PROFILE



**2 EAST ELEVATION**  
 Scale: 1/8"=1'  
 NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR  
 TOTAL ALLOWABLE SIGNAGE= 489 SF  
 TOTAL ALLOWABLE SIGNAGE= 117 SF



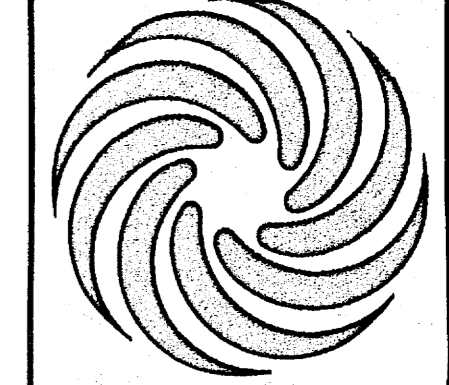
**3 SOUTH ELEVATION**  
 Scale: 1/8"=1'  
 NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR  
 TOTAL ALLOWABLE SIGNAGE= 489 SF  
 TOTAL ALLOWABLE SIGNAGE= 117 SF



**4 WEST ELEVATION**  
 Scale: 1/8"=1'  
 NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR  
 TOTAL ALLOWABLE SIGNAGE= 489 SF  
 TOTAL ALLOWABLE SIGNAGE= 117 SF

REV	DATE	BY	REVISION
▲			
▲			
▲			
▲			
▲			
▲			

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

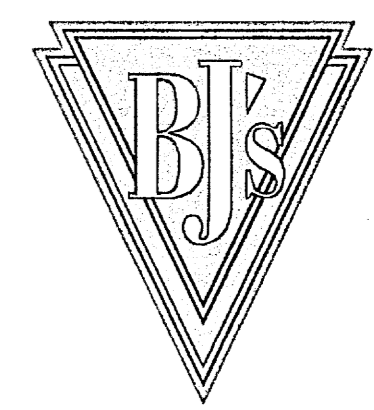


PROJECT TITLE	WINROCK TOWN CENTER 7200 LOUISIANA BLVD. NE ALBUQUERQUE, NEW MEXICO	JOB NO.	WIN-BJ	DRAWN BY:	S-J
PROJECT MANAGER	STEPHEN DUNBAR, AIA	SHEET TITLE	FUTURE BUILDING ELEVATIONS		
DATE:	4/6/12	SHEET:	A4.0		
SCALE:	AS NOTED	BY:			



6A PROTOTYPE  
 OPEN CEILING

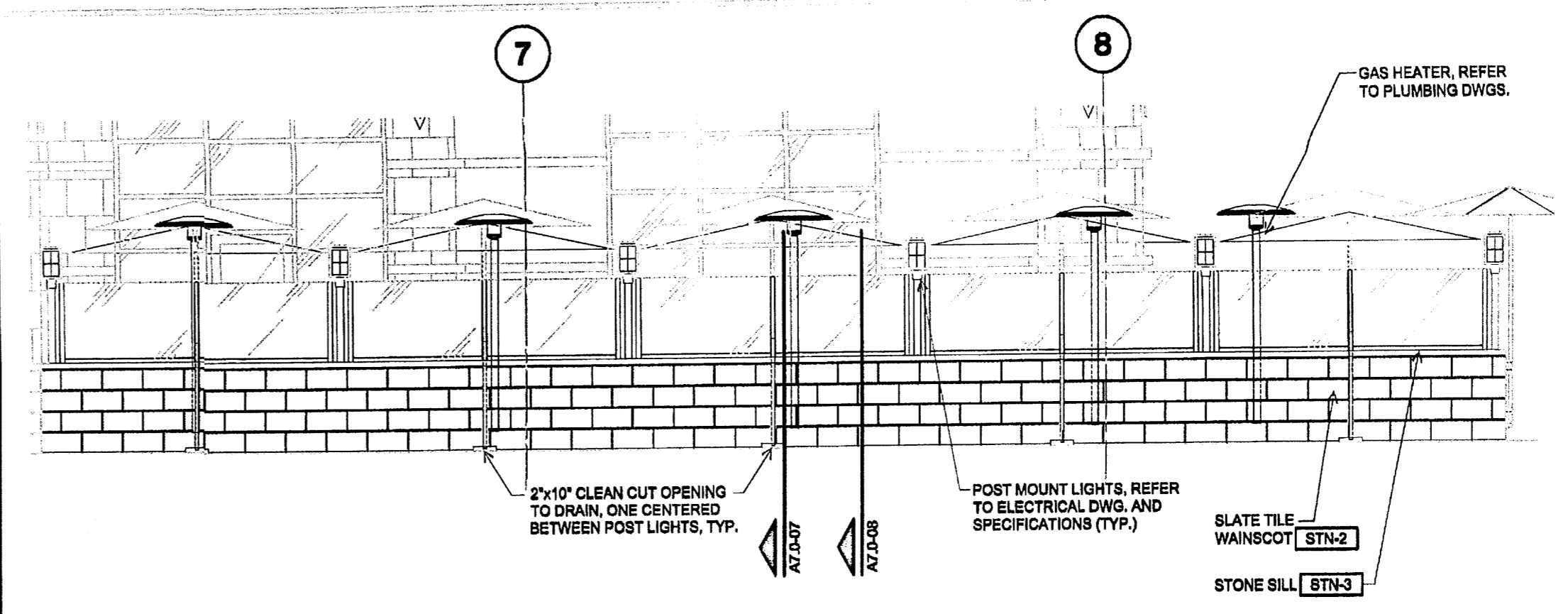
**BJ'S RESTAURANT & BREWHOUSE**  
**'WINROCK TOWN CENTER'**  
 2100 LOUISIANA BLVD.  
 ALBUQUERQUE, NM



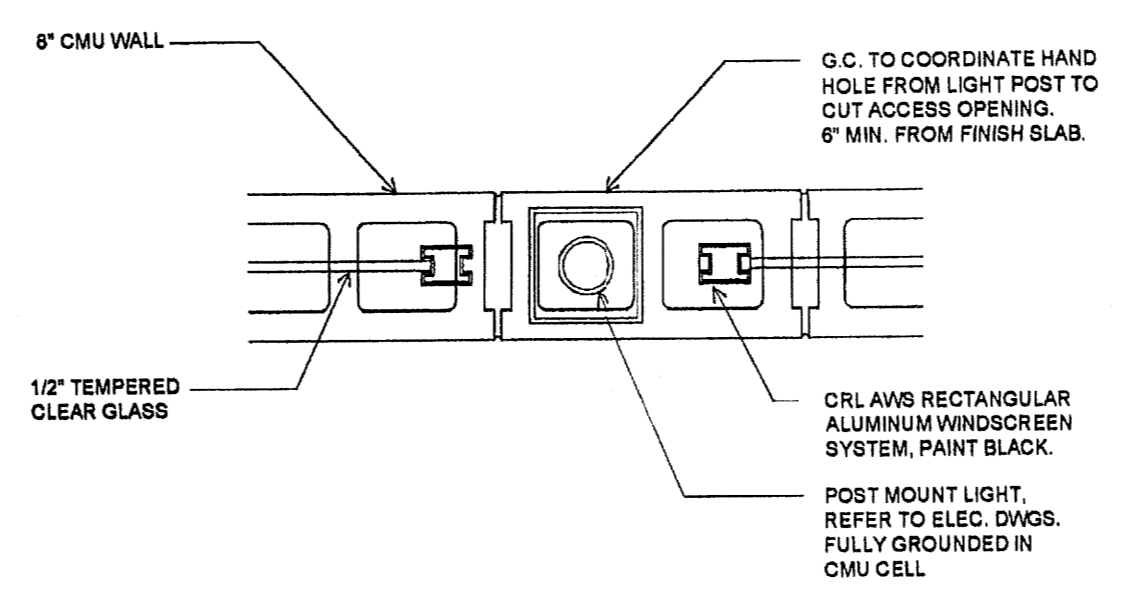
REVISIONS

WID PROJECT: BJSB0188  
 PERMIT ISSUE DATE: 03/08/12  
 HEALTH SUBMITTAL:  
 BID ISSUE DATE:  
 CONSTRUCTION SET:

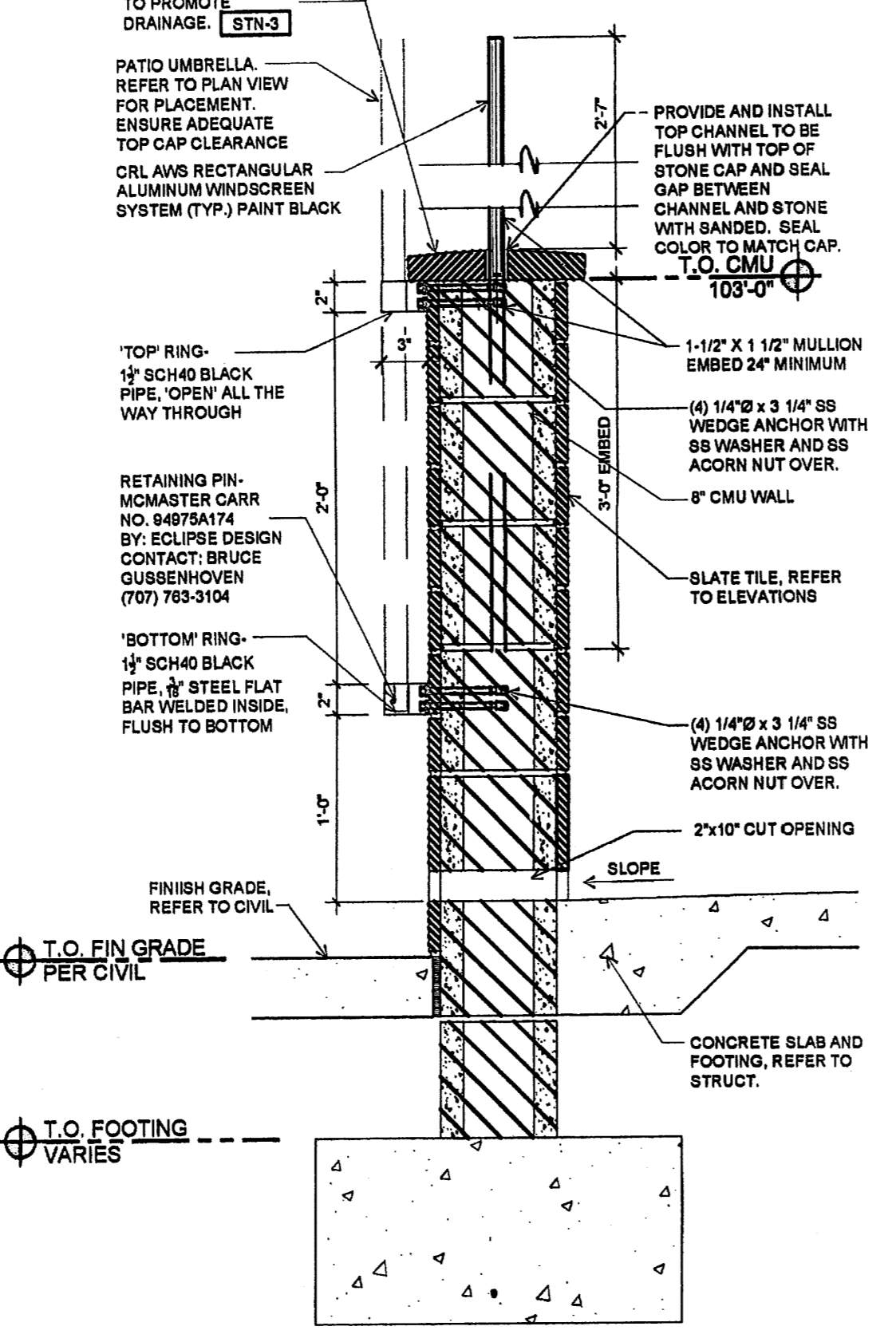
**A7.0** DINING PATIO



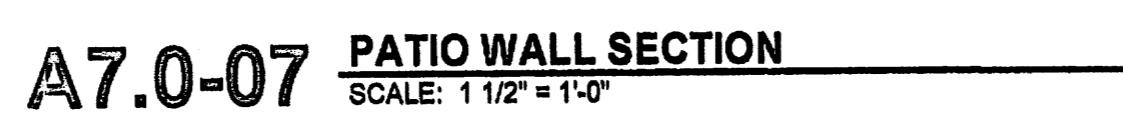
**A7.0-02 PATIO ELEVATION**  
 SCALE: 1/4" = 1'-0"



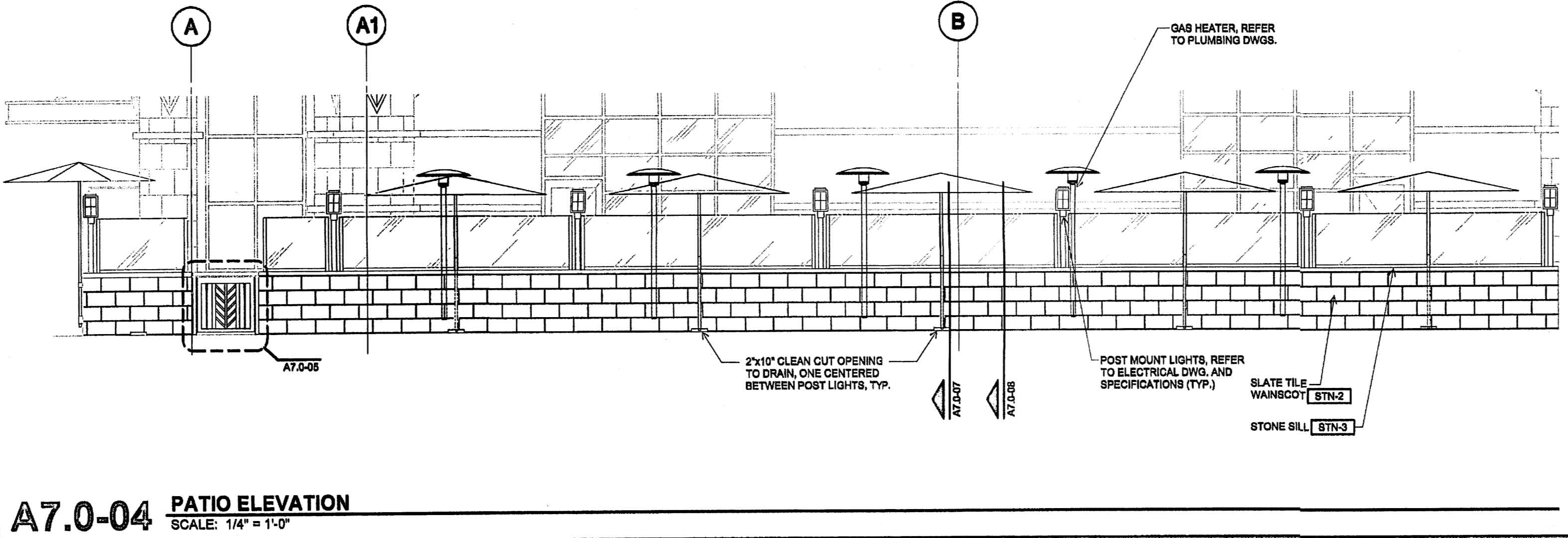
**A7.0-05 PATIO GATE DETAIL**  
 SCALE: 1" = 1'-0"



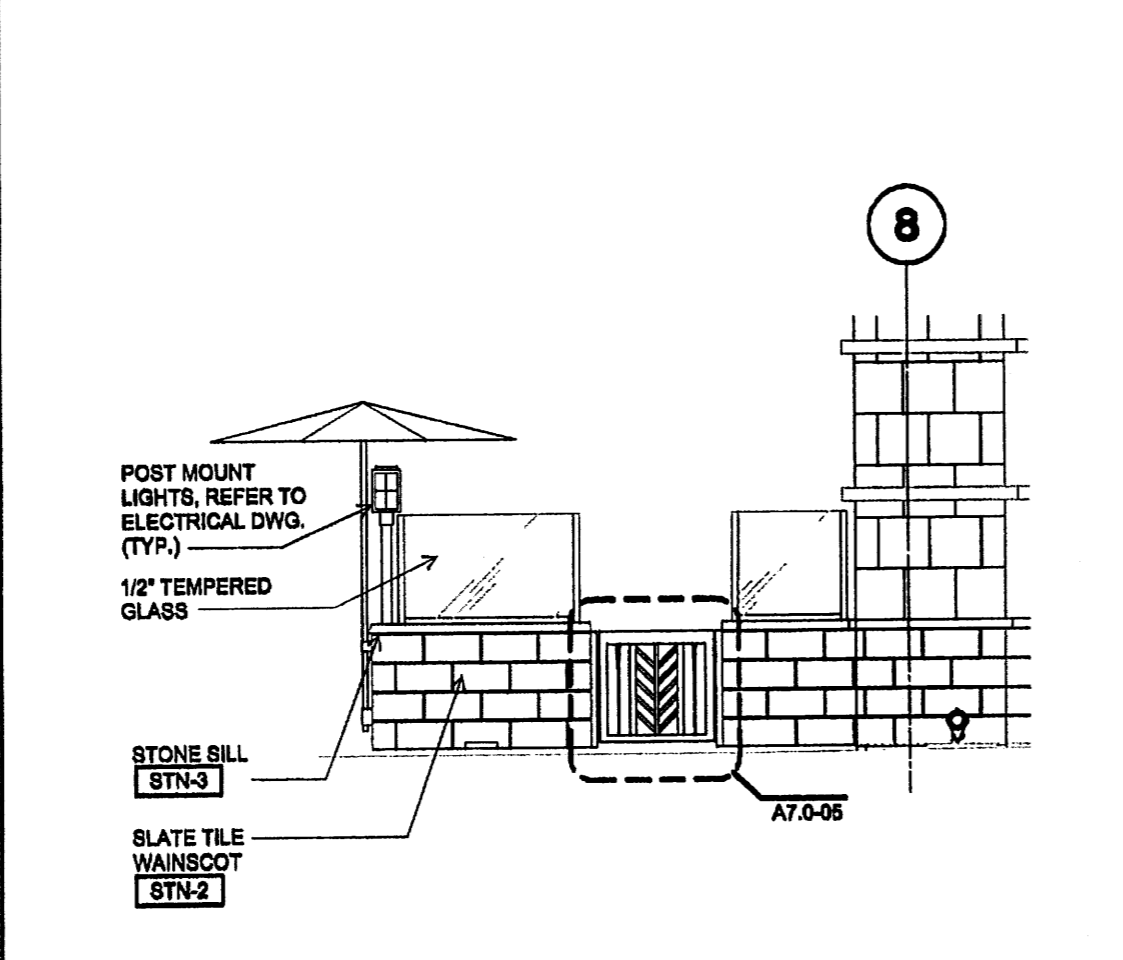
**A7.0-06 PLAN DETAIL**  
 SCALE: 1 1/2" = 1'-0"



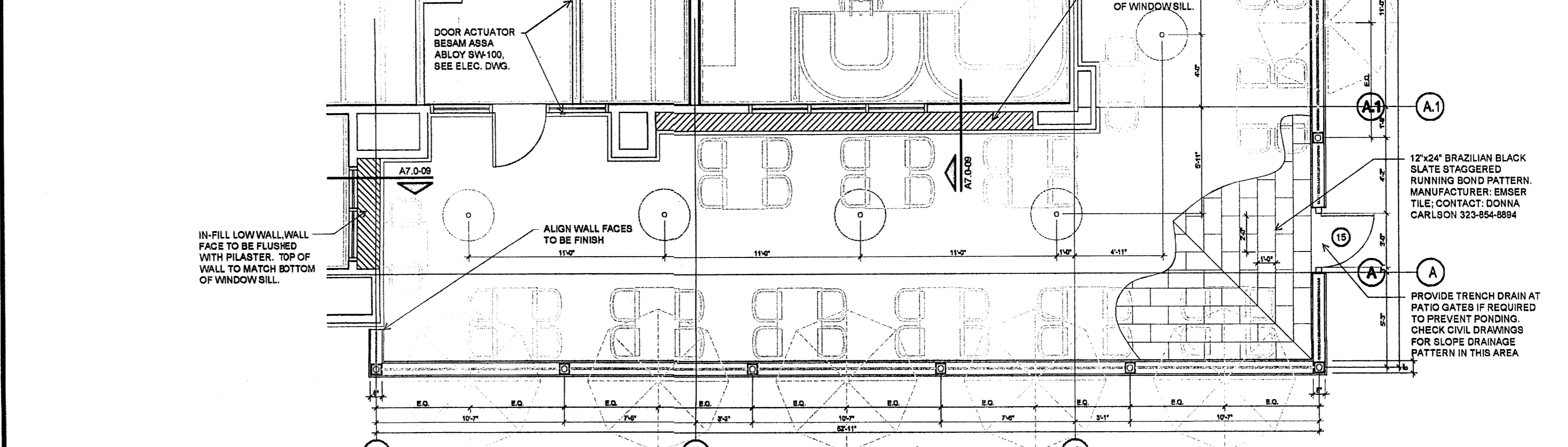
**A7.0-07 PATIO WALL SECTION**  
 SCALE: 1 1/2" = 1'-0"



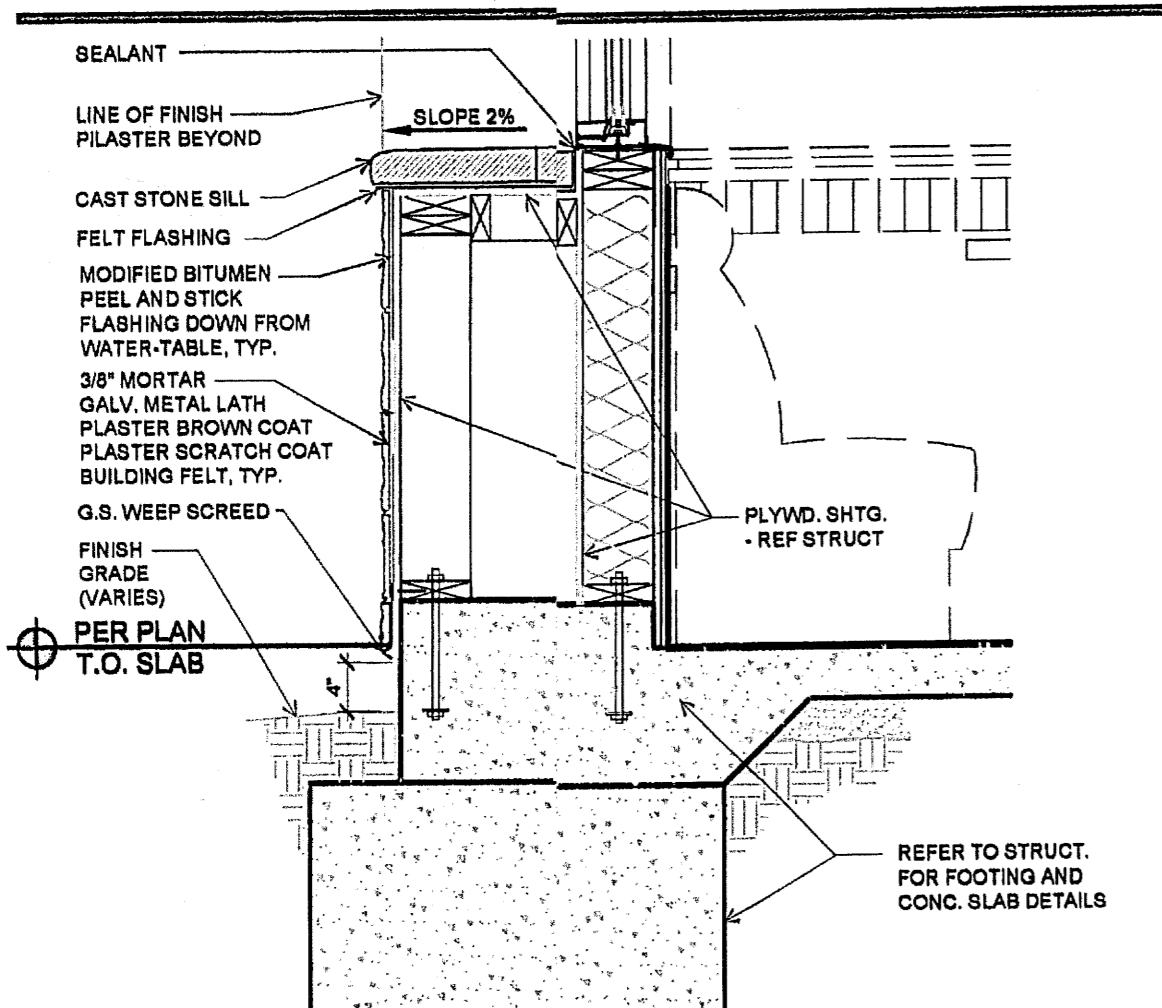
**A7.0-04 PATIO ELEVATION**  
 SCALE: 1/4" = 1'-0"



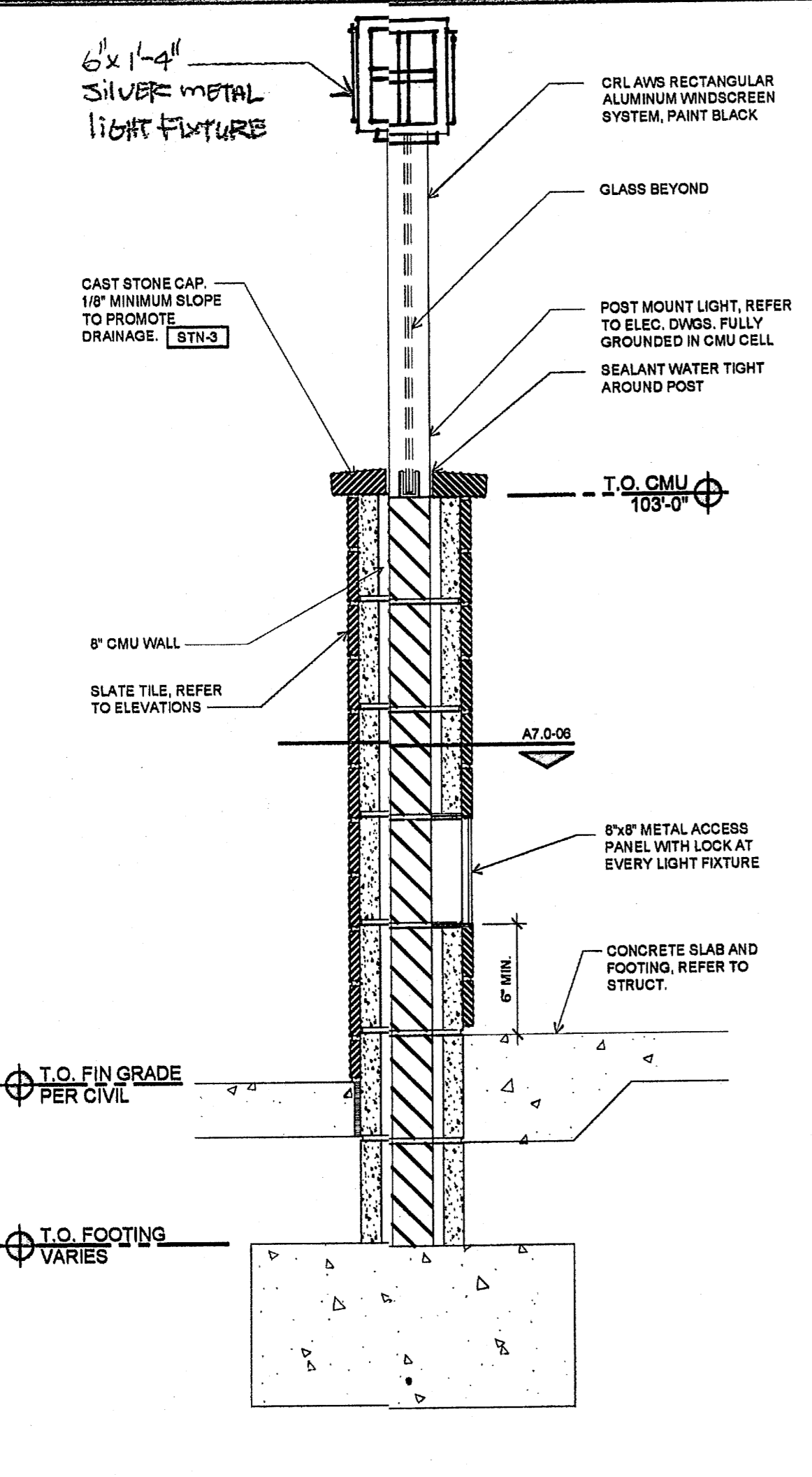
**A7.0-03 PATIO ELEVATION**  
 SCALE: 1/4" = 1'-0"



**A7.0-01 PATIO PLAN**  
 SCALE: 1/4" = 1'-0"



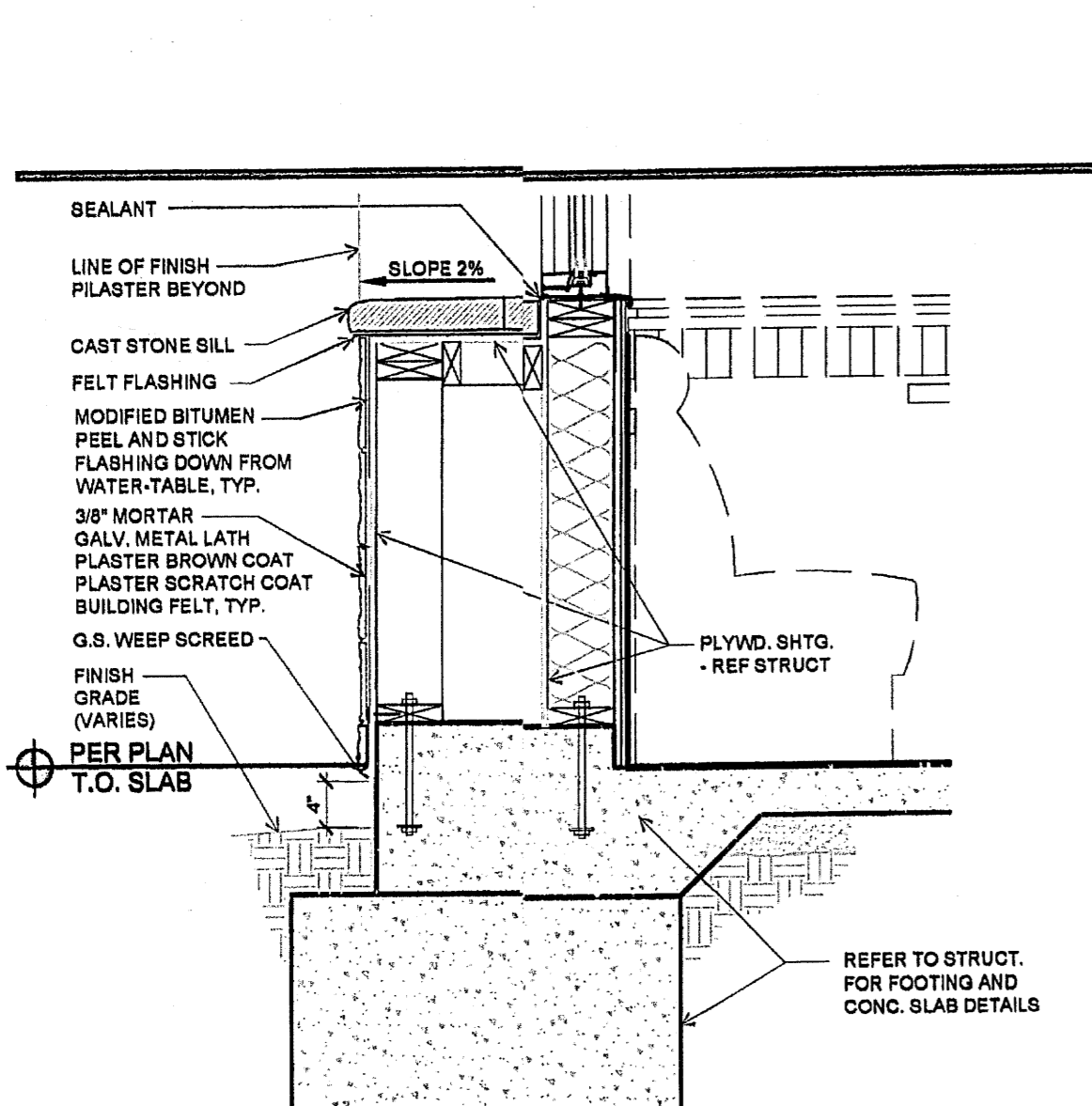
**A7.0-09 LOW WALL INFILL DETAIL**  
 SCALE: 1 1/2" = 1'-0"



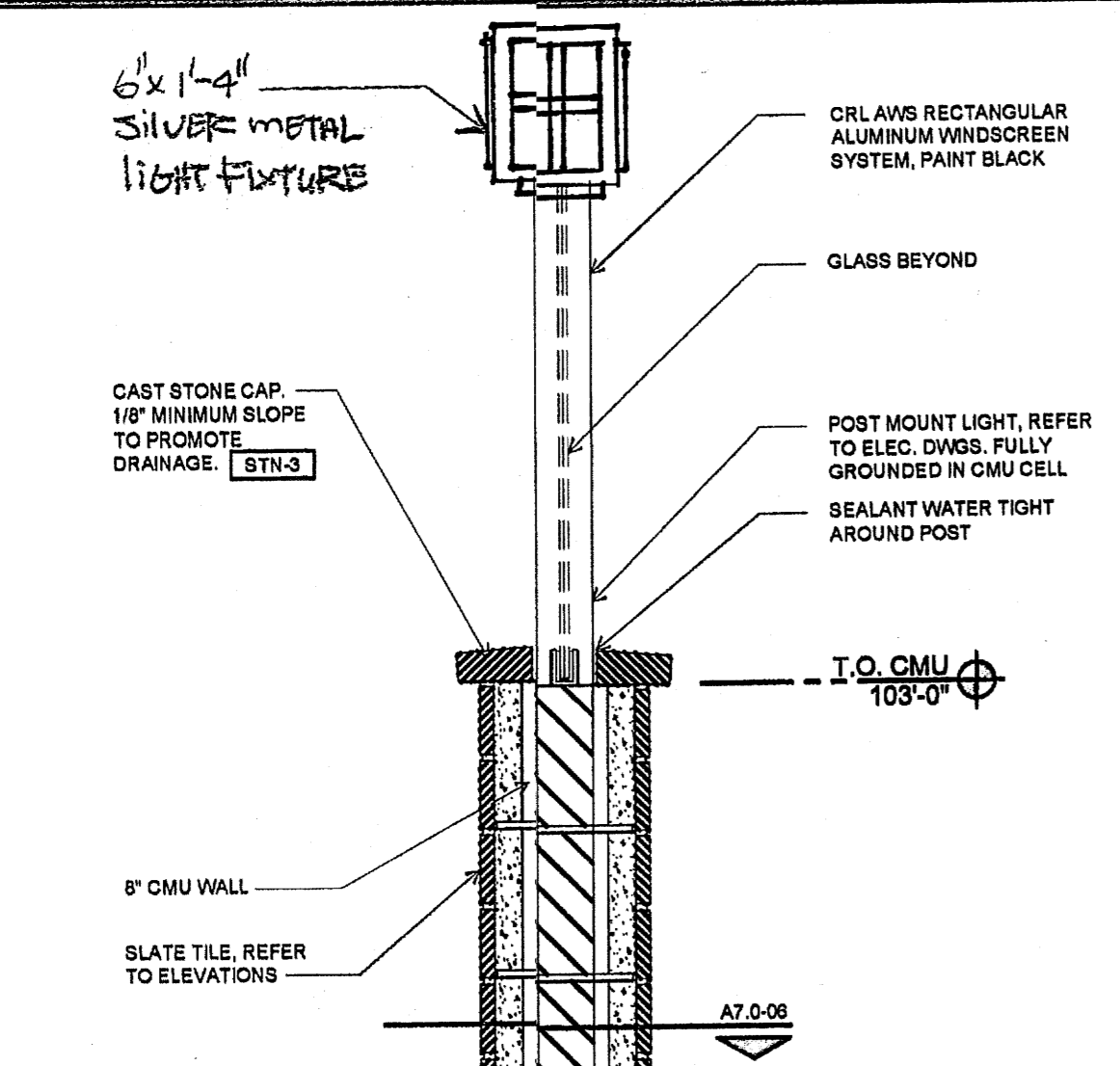
**A7.0-08 WALL SECTION AT LIGHT POST**  
 SCALE: 1 1/2" = 1'-0"



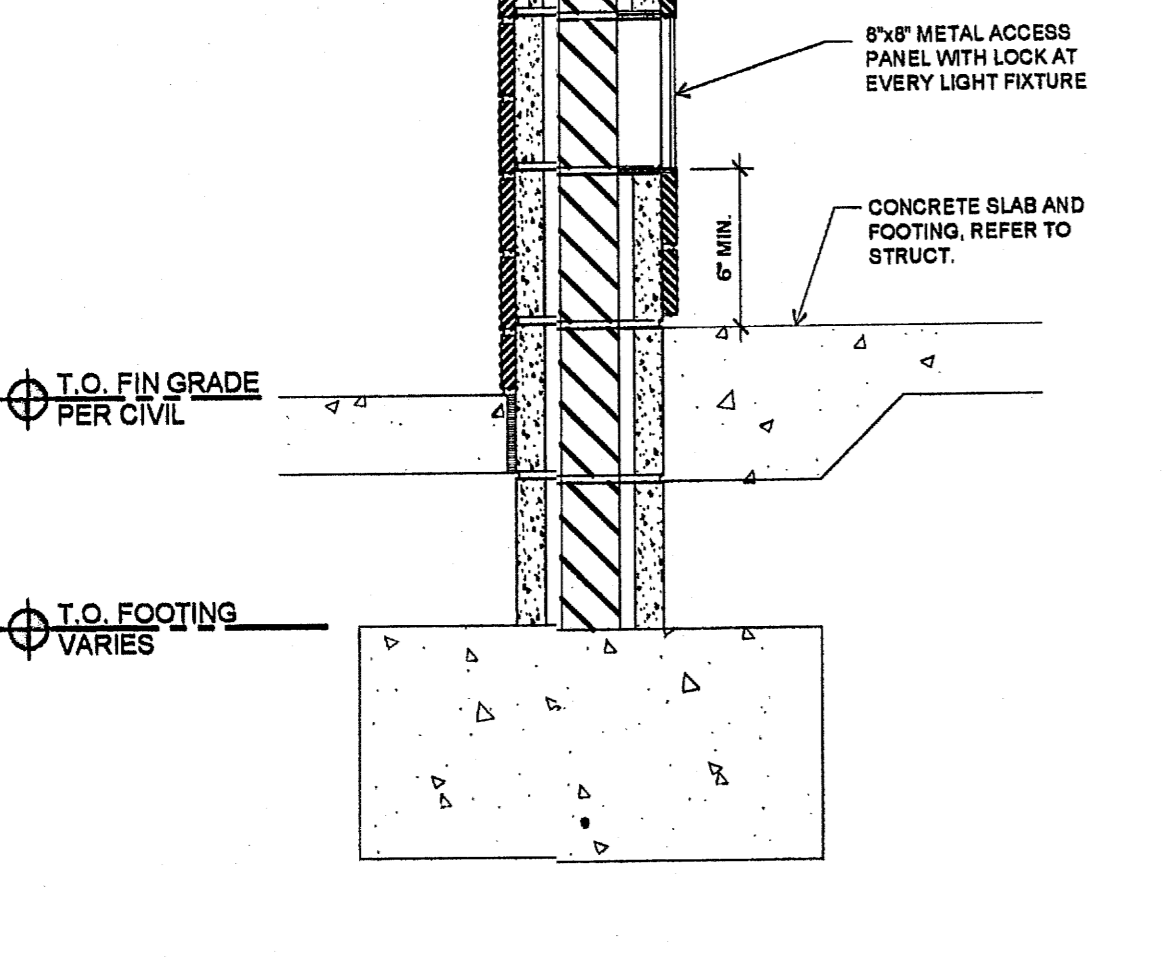
**A7.0-02 PATIO ELEVATION**  
 SCALE: 1/4" = 1'-0"



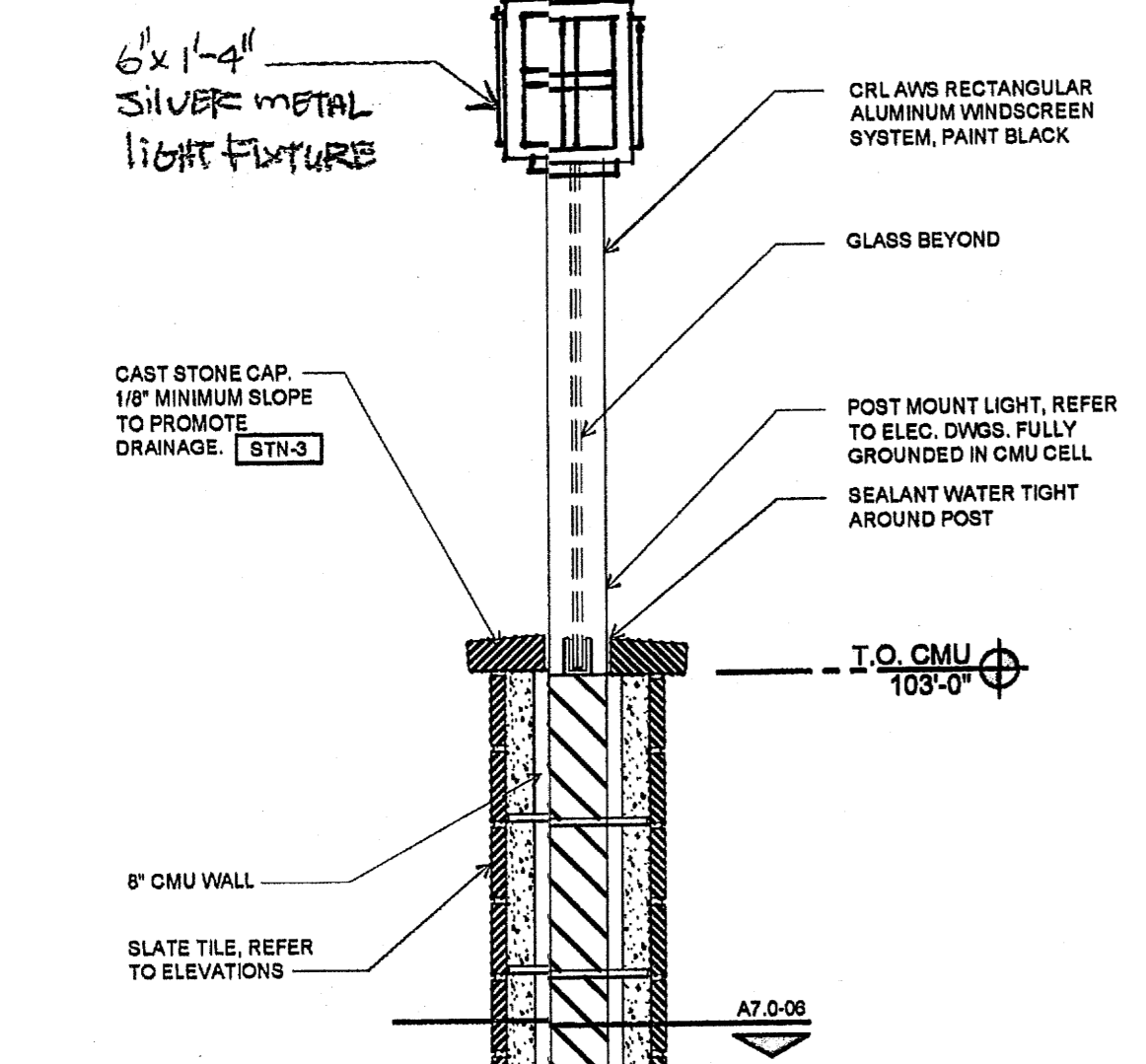
**A7.0-05 PATIO GATE DETAIL**  
 SCALE: 1" = 1'-0"



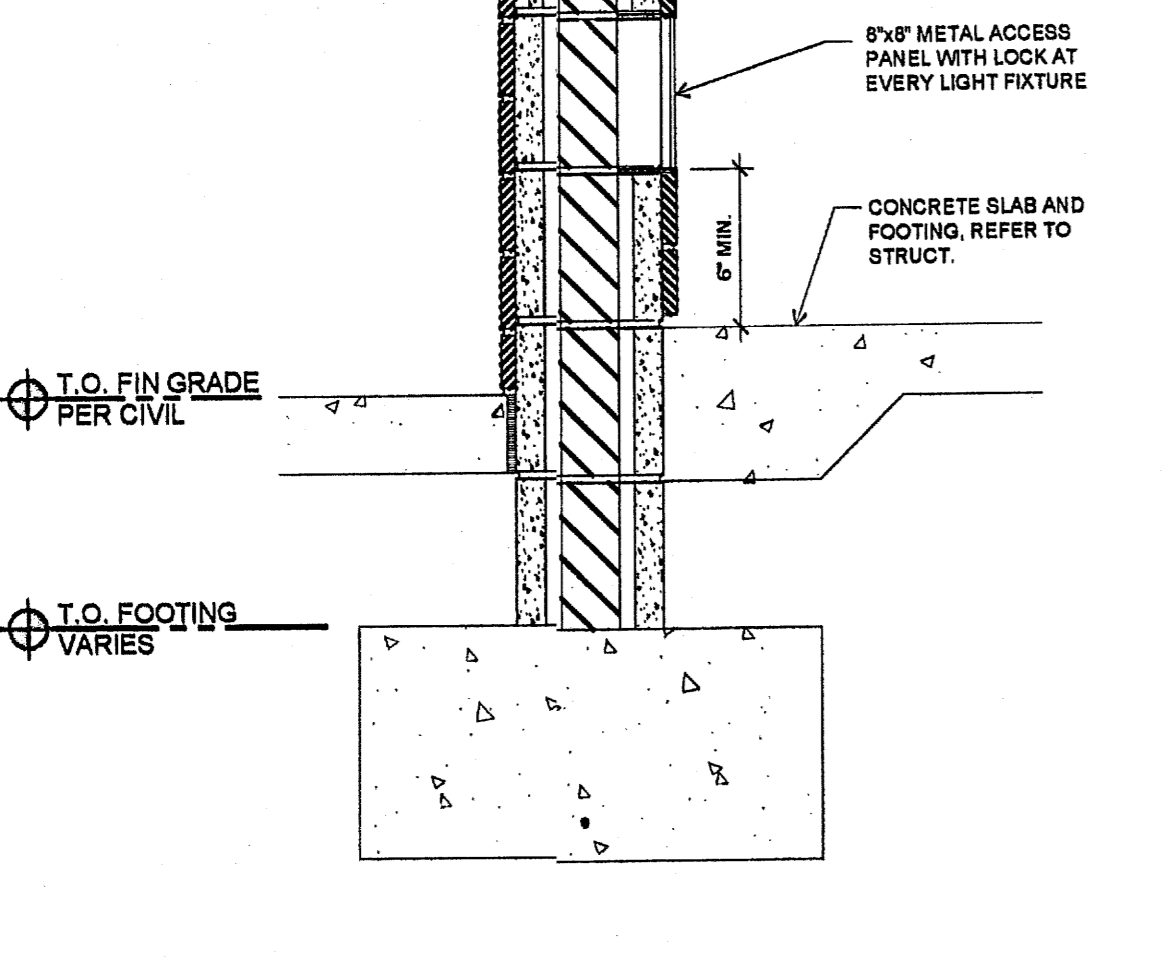
**A7.0-06 PLAN DETAIL**  
 SCALE: 1 1/2" = 1'-0"



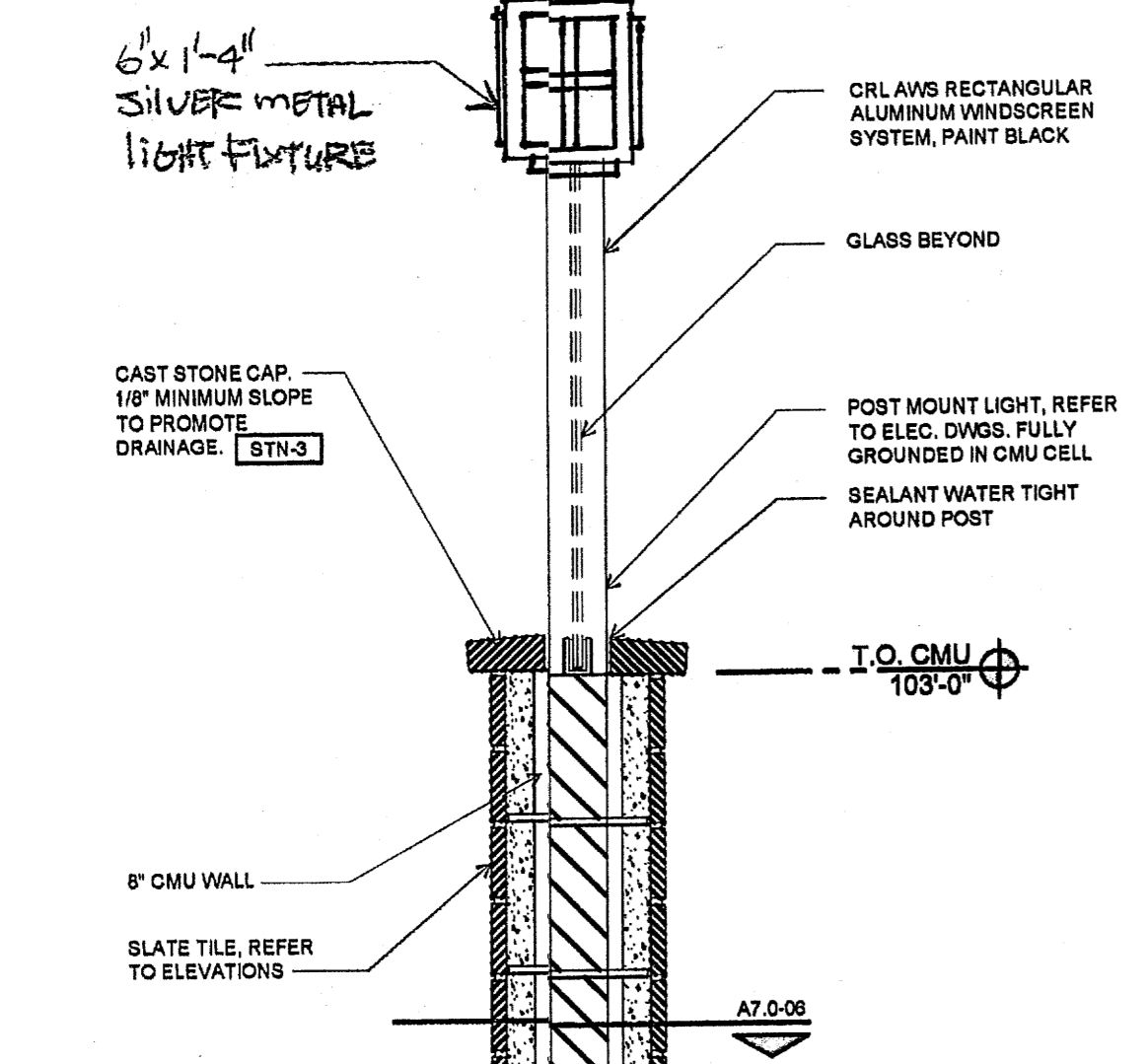
**A7.0-07 PATIO WALL SECTION**  
 SCALE: 1 1/2" = 1'-0"



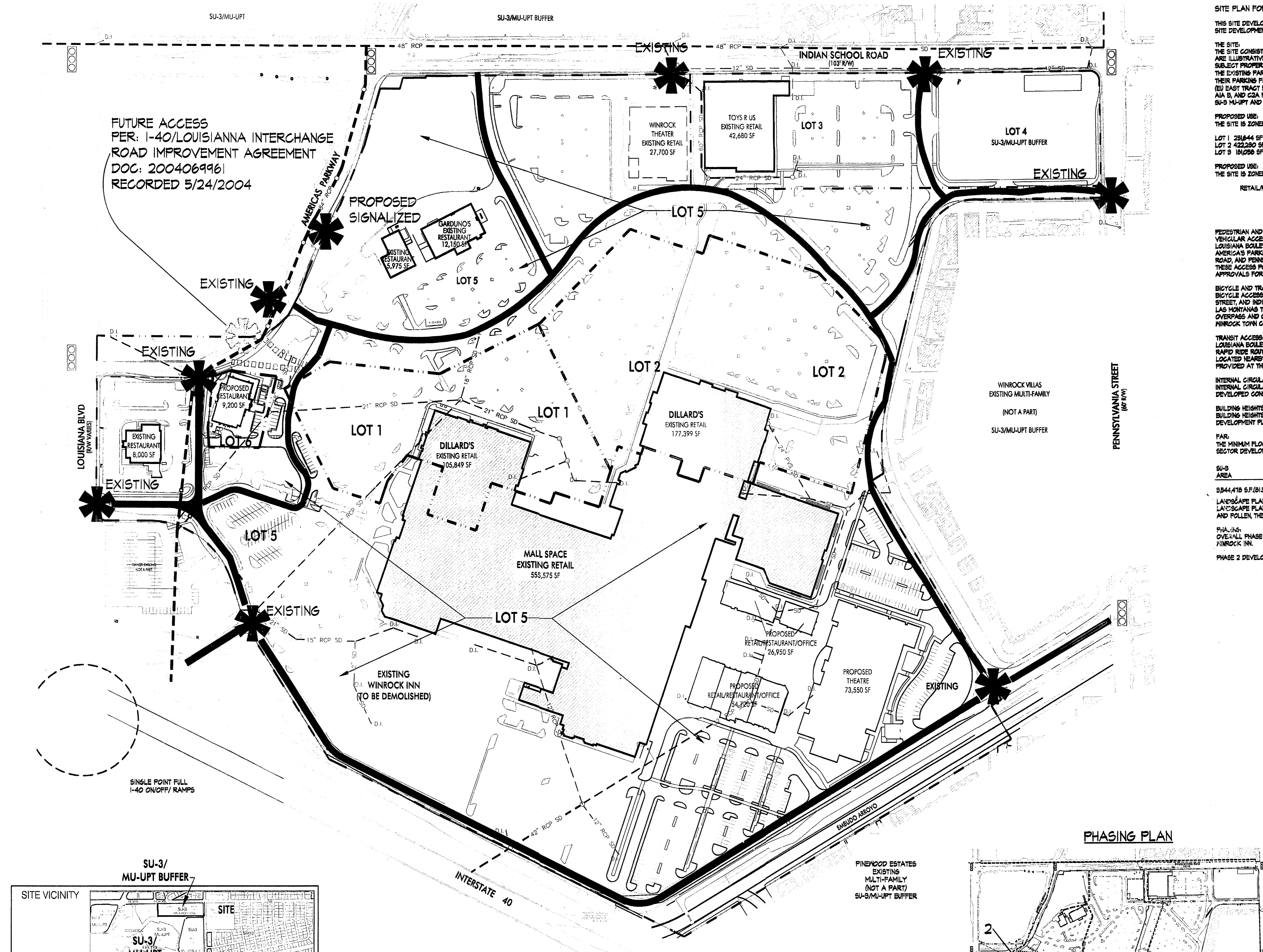
**A7.0-04 PATIO ELEVATION**  
 SCALE: 1/4" = 1'-0"



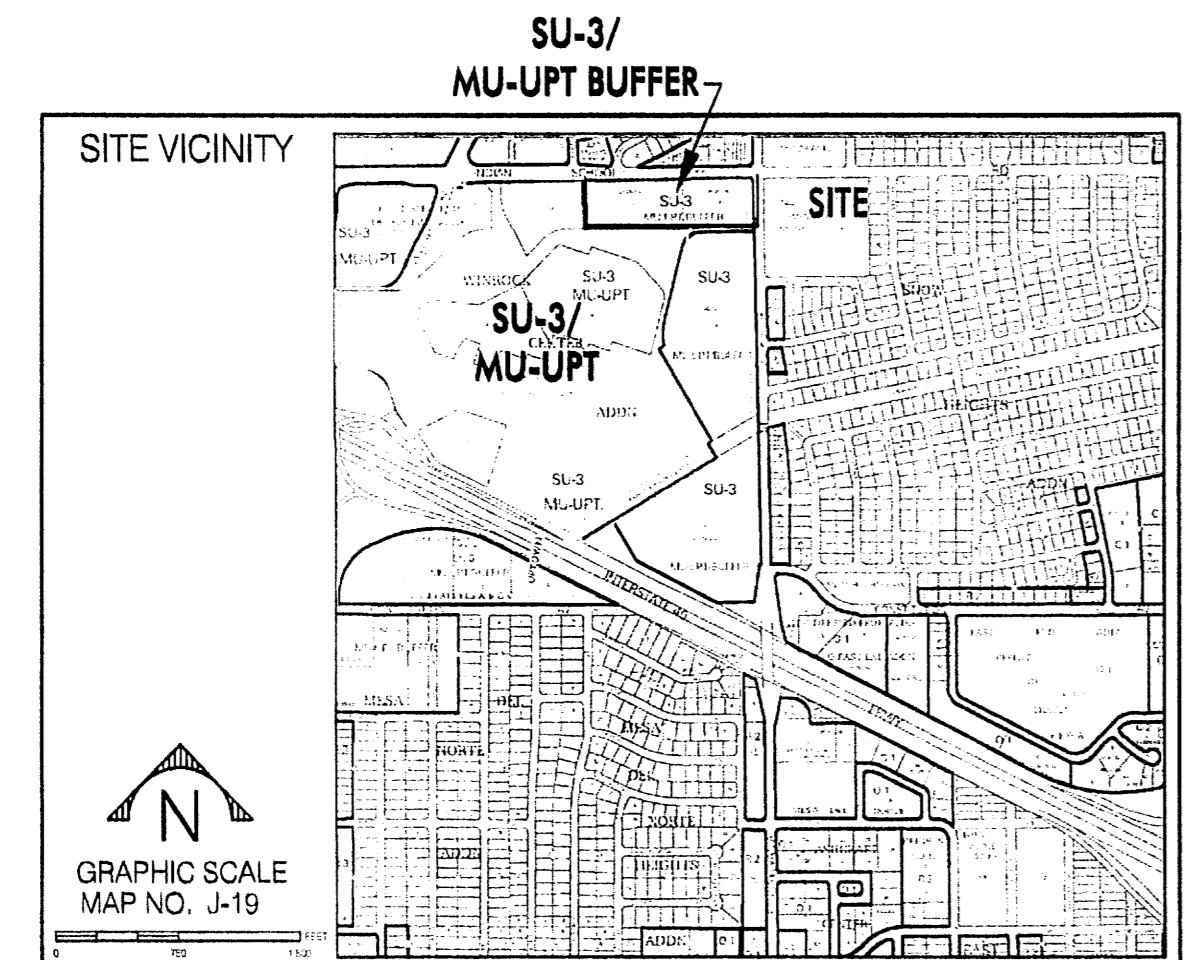
**A7.0-03 PATIO ELEVATION**  
 SCALE: 1/4" = 1'-0"



**A7.0-01 PATIO PLAN**  
 SCALE: 1/4" = 1'-0"



FUTURE ACCESS  
PER: I-40/LOUISIANA INTERCHANGE  
ROAD IMPROVEMENT AGREEMENT  
DOC. 200406996  
RECORDED 5/24/2004



- ★ APPROVED ACCESS POINTS PER PREVIOUS SITE DEVELOPMENT PLAN FOR SUBDIVISION. ACCESS POINTS TO BE DEVELOPED IN CONJUNCTION WITH FUTURE PHASES.
- GENERAL NOTES:
- LOT LINES ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL PLATTING FOR THE WINROCK TOWN CENTER SHALL OCCUR AT THE END OF SITE AND BUILDING CONSTRUCTION WITH INDIVIDUAL LOT BOUNDARIES FOR THE SU-3 AREAS AS AGREED TO WITH THE PLANNING DIRECTOR.
  - PHASING AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE UPTOWN SECTOR DEVELOPMENT PLAN.
  - FUTURE APPROVALS FOR SPECIFIC DEVELOPMENT PROJECTS SHALL BE IN COMPLIANCE WITH THE UPTOWN SECTOR DEVELOPMENT PLAN AND THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION.
  - PARKING AS SHOWN IS ILLUSTRATIVE AND SUBJECT TO COMPLIANCE WITH THE UPTOWN SECTOR DEVELOPMENT PLAN. A SHARED PARKING AGREEMENT WILL BE REQUIRED FOR THE SITE TENANTS.
  - WINROCK MANAGEMENT SHALL PROVIDE SUFFICIENT ON-SITE SECURITY.
  - SUFFICIENT WAYFINDING SIGNAGE AND RING ROAD STRIPING SHALL BE PROVIDED TO DIRECT USERS TO TENANT LOCATIONS AS WELL AS TO PROJECT EXITS.
  - SURPLUS PARKING AND OPEN SPACE IN PHASE 1 SHALL BE ATTRIBUTABLE TO FUTURE PHASES.

**SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION**

THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDS THE PRIOR APPROVED WINROCK MARKET CENTER SITE DEVELOPMENT PLAN FOR SUBDIVISION 08EPC00916, PROJECT NO. 1002202.

THE SITE:  
THE SITE CONSISTS OF APPROXIMATELY 61.51 ACRES. THE INTERIOR PARCEL LINES SHOWN ON THIS SITE PLAN ARE ILLUSTRATIVE. FINAL PLATTING WILL OCCUR AS SPECIFIC DEVELOPMENT PROJECTS ARE PROPOSED. THE SUBJECT PROPERTY IS PROPOSED TO BE SUBDIVIDED INTO SIX SEPARATE TRACTS. TRACT 1 AND TRACT 2 ARE THE EXISTING PARCELS (A-3 AND A-2) FOR THE MEN'S AND WOMEN'S DILLARD'S STORES AND A PORTION OF THEIR PARKING FIELDS. TRACT 3 IS THE EXISTING TOP'S R US LOT (D-1A). TRACT 4 IS THE EXISTING VACANT LOT (E) EAST TRACT 5 IS THE REMAINING LOT COMPRISING THE REST OF THE WINROCK CENTER ADDITION PARCELS AIA B, AND C2A PLUS PARCEL B OF THE HAT-SPECTRUM DEVELOPMENT SITE. TRACTS 1, 2 AND 3 ARE ZONED SU-3 MU-UPT AND TRACTS 3-4 ARE ZONED MU-UPT/BUFFER.

PROPOSED USE:  
THE SITE IS ZONED SU-3 (MU-UPT AND MU-UPT BUFFER) AS FOLLOWS:  
LOT 1 251,644 SF 3.78 AC. LOT 4 154,810 SF 3.10 AC.  
LOT 2 422,280 SF 6.61 AC. LOT 5 252,551 SF 3.74 AC.  
LOT 3 184,255 SF 4.16 AC. LOT 6 25,914 SF 0.48 AC.

PROPOSED USE:  
THE SITE IS ZONED SU-3 (MU-UPT AND MU-UPT BUFFER) LAND USES ARE AS FOLLOWS:  
RETAIL/RESTAURANT/THEATER 415,482 SF. \*USES AND SQUARE FOOTAGES ARE APPROVED PER PREVIOUS SITE DEVELOPMENT PLAN FOR SUBDIVISION.  
OFFICE 24,000 SF. \*HOTEL, 174 ROOMS  
MULTI-FAMILY 66 UNITS (AREA - 5.11 AC, 67055 DENSITY-2/11 DW/AC.)

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:  
VEHICULAR ACCESS:  
LOUISIANA BOULEVARD PROVIDES THE MAJOR SIGNALIZED ACCESS INTO WINROCK TOWN CENTER VIA AMERICAN PARKWAY. ADDITIONAL ACCESS POINTS ARE PROVIDED AT LOUISIANA BOULEVARD, INDIAN SCHOOL ROAD, AND PENNSYLVANIA STREET. THERE IS DIRECT ACCESS FROM WINROCK TOWN CENTER TO I-40 WEST. THESE ACCESS POINTS ARE CONSISTENT WITH THE UPTOWN SECTOR DEVELOPMENT PLAN AND PREVIOUS APPROVALS FOR WINROCK.

BICYCLE AND TRAIL ACCESS:  
BICYCLE ACCESS IS PROVIDED BY 6 FOOT ON-STREET BIKE LANES IN LOUISIANA BOULEVARD, PENNSYLVANIA STREET, AND INDIAN SCHOOL ROAD. TRAIL ACCESS IS PROVIDED ACROSS PENNSYLVANIA VIA THE PAVED DE LAS MONTANAS TRAIL, AND CONTINUES ALONGS WINROCK'S SOUTHERN EDGE AND CONNECTS TO THE PEDESTRIAN OVERPASS AND CONTINUES ACROSS I-40. SIDEWALKS WILL PROVIDE PEDESTRIAN CONNECTIVITY WITHIN WINROCK TOWN CENTER CONSISTENT WITH THE REQUIREMENTS OF THE UPTOWN SECTOR DEVELOPMENT PLAN.

TRANSIT ACCESS:  
LOUISIANA BOULEVARD IS DESIGNATED A MAJOR TRANSIT CORRIDOR, WITH A REGULAR BUS ROUTE AND A RAPID RIDE ROUTE AND INDIAN SCHOOL ROAD INCLUDES A COMMUTER ROUTE. THE UPTOWN TRANSIT CENTER IS LOCATED NEARBY OFF INDIAN SCHOOL ROAD, WEST OF LOUISIANA BOULEVARD. A TRANSIT FACILITY IS PROVIDED AT THE SOUTHWEST CORNER OF WINROCK TOWN CENTER WITH 18 PARKING SPACES PROVIDED.

INTERNAL CIRCULATION REQUIREMENTS:  
INTERNAL CIRCULATION IS PROVIDED THROUGH THE SITE VIA A RING ROAD SYSTEM. SIDEWALKS SHALL BE DEVELOPED CONSISTENT WITH THE REQUIREMENTS OF THE UPTOWN SECTOR DEVELOPMENT PLAN.

BUILDING HEIGHTS AND SETBACKS:  
BUILDING HEIGHTS AND SETBACKS SHALL BE CONSISTENT WITH THE REQUIREMENTS IN THE UPTOWN SECTOR DEVELOPMENT PLAN AND THE CITY COMPREHENSIVE ZONING CODE.

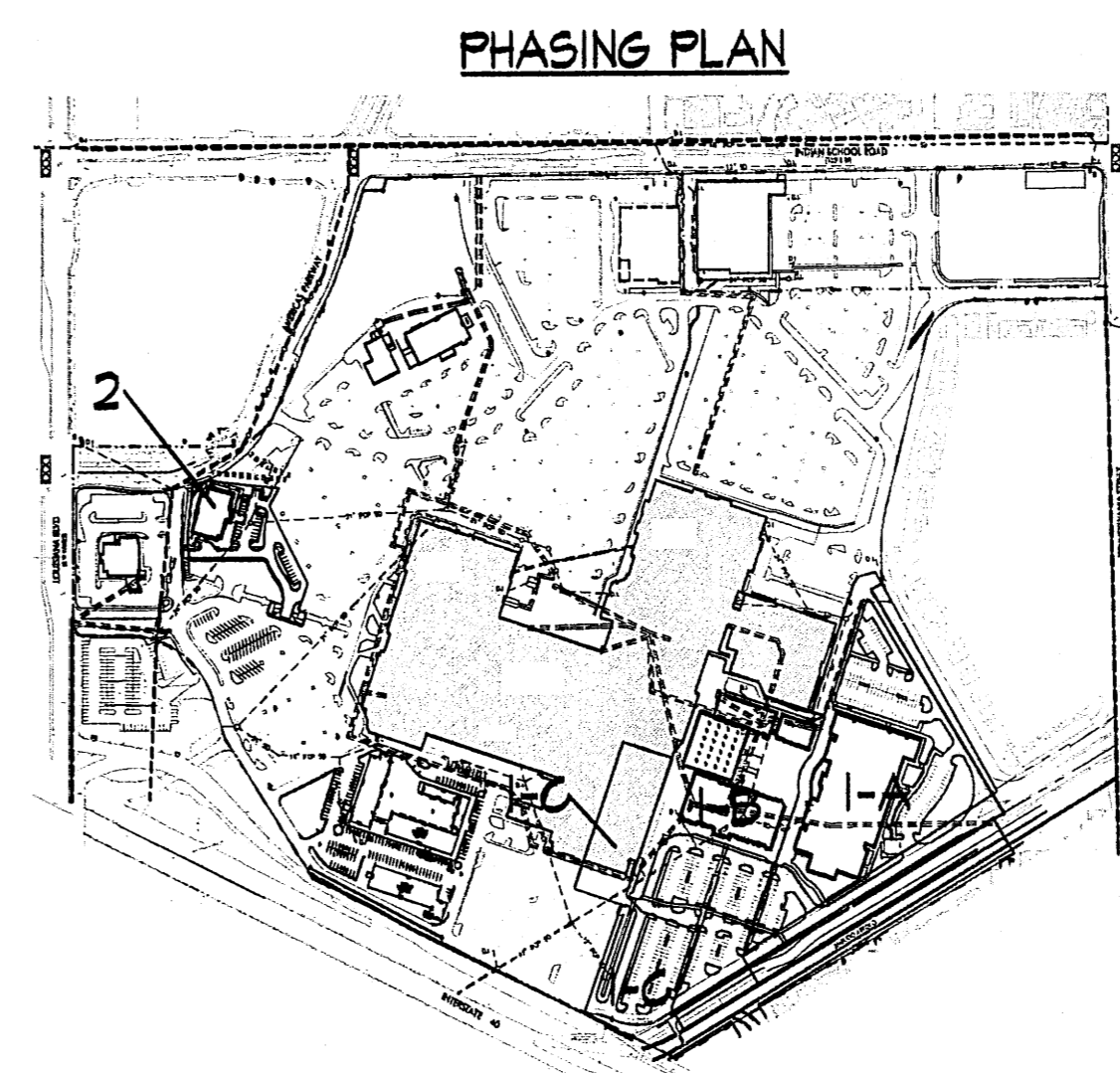
FAR:  
THE MINIMUM FLOOR AREA RATIO (FAR) IS .30 FOR WINROCK TOWN CENTER AS REQUIRED BY THE UPTOWN SECTOR DEVELOPMENT PLAN.

SU-3 AREA	BUILDING	F.A.R.
554,475 S.F.(8.151 AC.)	1,106,205 S.F.	.31

LANDSCAPE PLAN:  
LANDSCAPE PLANS SHALL BE CONSISTENT WITH CITY STANDARDS AND POLICIES REGARDING WATER CONSERVATION AND POLLEN, THE UPTOWN SECTOR DEVELOPMENT PLAN, AND THE CITY'S COMPREHENSIVE ZONING CODE.

PLANNING:  
OVERALL PHASE 1 DEVELOPMENT INCLUDES THE DEMOLITION OF THE MONTGOMERY WARD BUILDING AND THE WINROCK INN.

PHASE 2 DEVELOPMENT INCLUDES REALIGNING PORTIONS OF THE RING ROAD.



**Winrock**  
TOWN CENTER

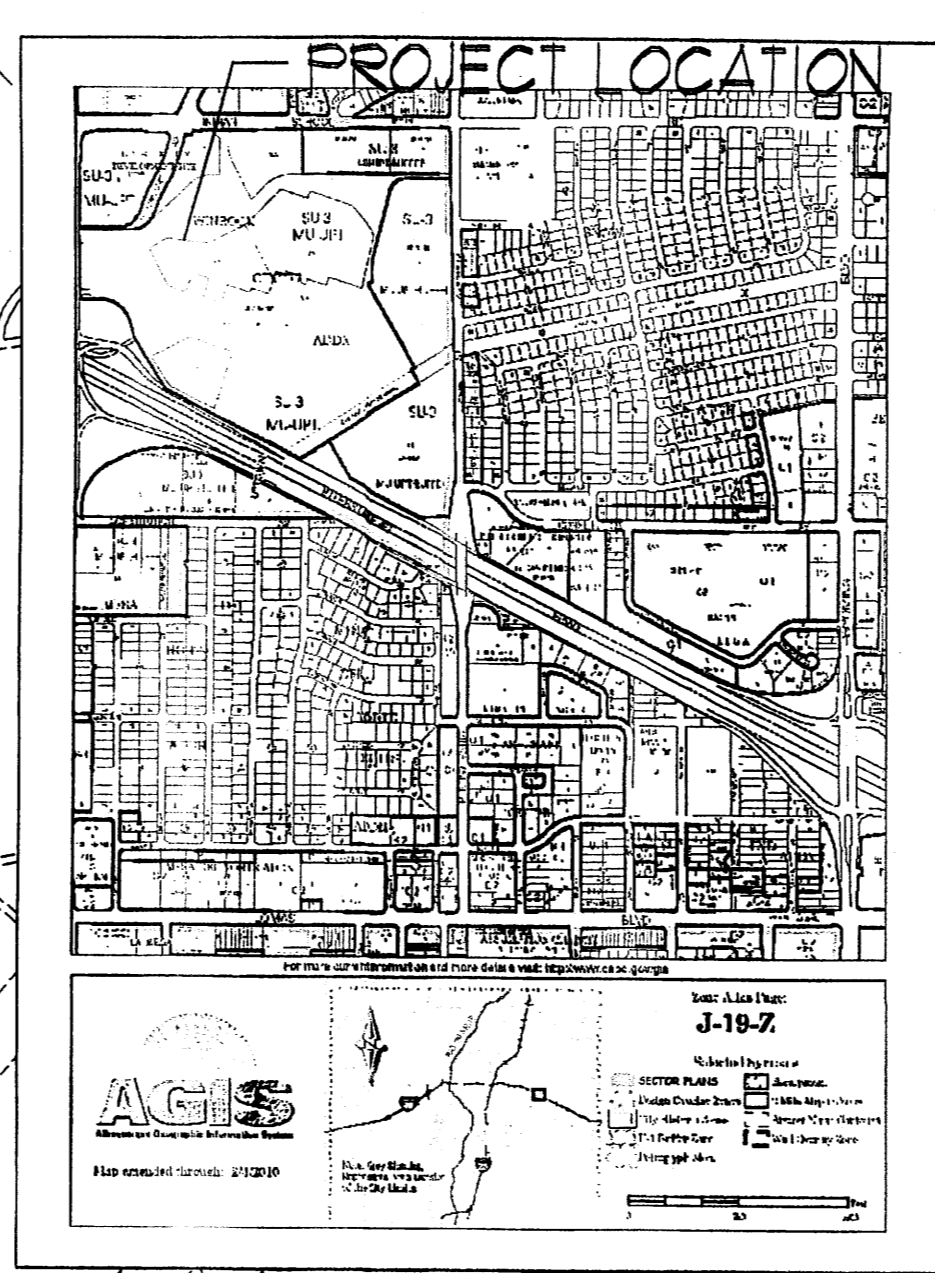
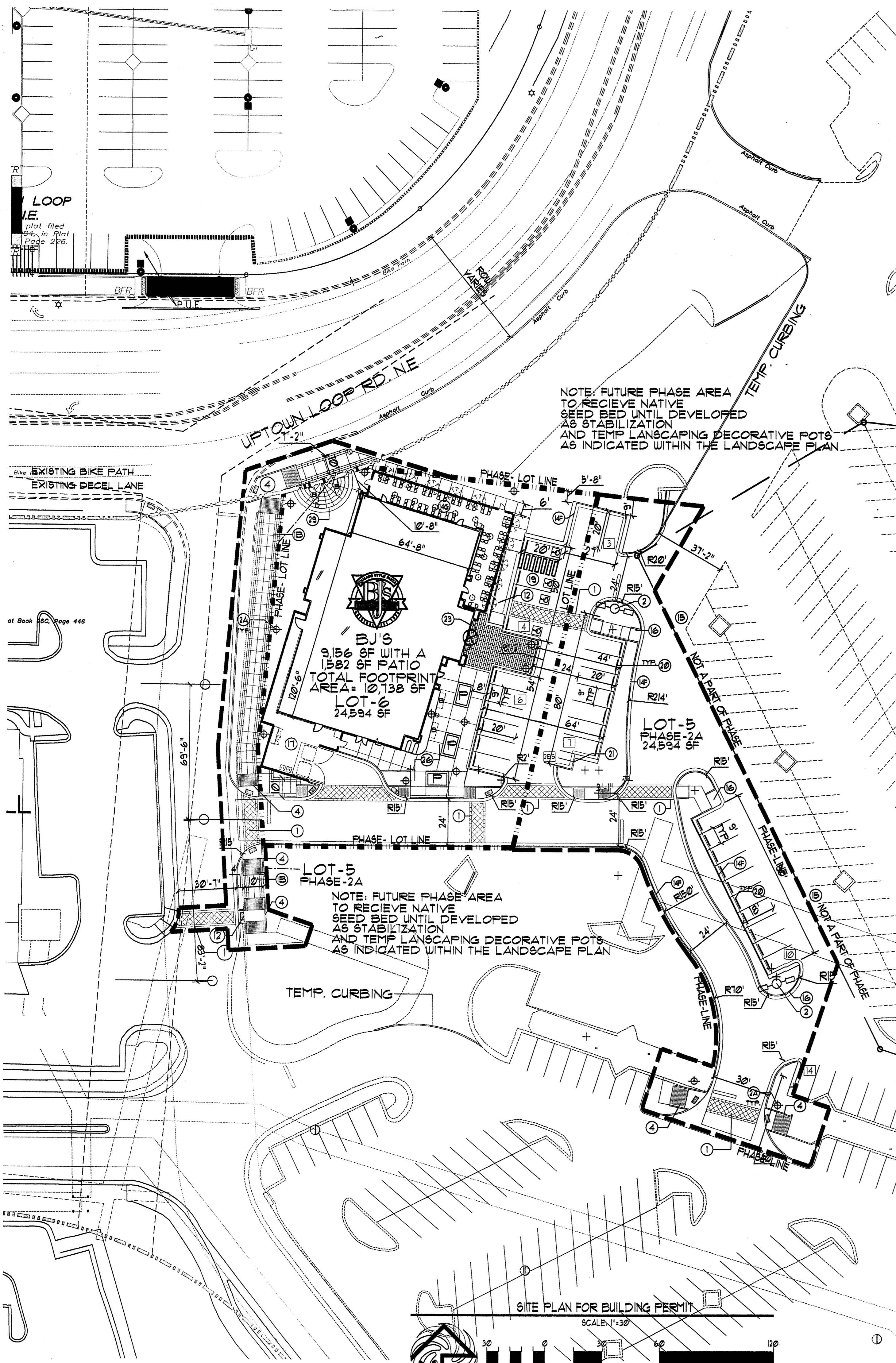
OWNER/DEVELOPER  
**GOODMAN REALTY**

PROJECT TEAM  
ENGINEERING/SURVEYING  
**HUITT-ZOLLARS**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION  
**SITE PLAN**

NORTH  
50 0 100 200  
SCALE: 1" = 100'

SHEET S-100  
MAY 9, 2012



- KEYED NOTE:
- ① 8' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A/1
  - ② 10' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN STREET SIDEWALK RE: DETAIL 9/A/3
  - ③ 30' LIGHT POLE LOCATION RE: DETAIL 3/A/1
  - ④ 4 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION RE: DETAIL 1/A/3 TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL =
  - ⑤ CONC. SIDEWALK RE: DET 1/A/1 RE: SITE PLAN FOR JOINT LAYOUT
  - ⑥ HANDICAP RAMP PER COA STD DUG 2426 AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
  - ⑦ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 1/A/2 TYPICAL BIKE RACK GRAPHIC SYMBOL =
  - ⑧ BENCH LOCATION RE: DETAIL 5/A/3 TYPICAL BENCH GRAPHIC SYMBOL =
  - ⑨ TRASH RECEPTACLE RE: DET. 3/A/1/3
  - ⑩ 18" HIGH INTEGRALLY COLORED CONC. RAISED BED/SEATING LANDSCAPE AREA RE: DETAIL 10/A/3 TYPICAL PLANTING BED GRAPHIC SYMBOL =
  - ⑪ HANDICAP RAMP RE: 15/A/1
  - ⑫ HANDICAP RAMP RE: 12/A/1
  - ⑬ HANDICAP RAMP RE: 17/A/1
  - ⑭ INDICATES "OPEN SPACE" LANDSCAPE AREAS G.C TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
  - ⑮ INDICATES "DEVELOPED OPEN SPACE AREA" LOCATION RE: PLAN AND LANDSCAPE PLAN FOR INFO
  - ⑯ INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE / SEATING AREA RE: KEYED NOTE 8
  - ⑰ INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE AREA
  - ⑱ INDICATES "DEVELOPED OPEN SPACE 15% LANDSCAPE SHADE TREE LOCATION RE: LANDSCAPE PLAN FOR SHADE TREE INFO
  - ⑲ INDICATES "DEVELOPED OPEN SPACE 15% CANOPY SHADE STRUCTURE
  - ⑳ INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A/1 FOR KNOTCH DETAIL
  - ㉑ INDICATES PROPOSED BUS OUTDOOR OPEN AIR PATIO WITH NON FIXED SEATING RE: DETAIL SHEET PLAN A12 FOR PATIO DETAIL INFO
  - ㉒ NOT A PART-FUTURE REDEVELOPMENT PHASE
  - ㉓ 6" HIGH CONC. ISLAND RE: DET 4/A/1 RE: SITE GRADING PLAN FOR INFO
  - ㉔ SERVICE YARD. RE: DETAIL PLAN SHEET A60 FOR YARD DETAILS
  - ㉕ HC PARKING STALL RE: DET 5/A/2
  - ㉖ DUAL CONFIGURATION HC PARKING STALL RE: DET 9/A/2
  - ㉗ WHEELSTOP RE: DET 5/A/2 NOTE: WHEEL STOPS OCCUR AT EACH PARKING SPACE AS REQUIRED BY USDP
  - ㉘ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION NOTE: EACH ON SITE STALL MEASURES 4' X 8' IN SIZE RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A/2 FOR "MOTOR CYCLE PARKING" SIGN DETAIL
  - ㉙ COMBINATION PET-HUMAN WATER FOUNTAIN RE: DETAIL 1/A/3
  - ㉚ EXTERIOR 12" X 24" BRAZILIAN SLATE TILE AT BUS (LOT 6) MAIN BUILDING ENTRY PATHWAY
  - ㉛ PROPOSED CENTER ID SIGN RE: DETAIL 1/A/4 FOR SIGN ELEV.
  - ㉜ PERIMETER CONCRETE STREET SIDEWALK WITH DECORATIVE BORDER RE: DETAIL 9/A/3
  - ㉝ INDICATES PROPOSED OUTDOOR DEVELOPED PLAZA AREA ON THE SOUTHEAST CORNER OF THE BUS RESTAURANT. AREA SHALL CONTAIN LANDSCAPE PLANTING BEDS ADJACENT TO CONCRETE WALKWAYS. THE CENTER PORTION OF THE PLAZA AREA SHALL CONTAIN RAISED CONCRETE PLANTERS AND A DRINKING FOUNTAIN FOR PET AND PEDESTRIAN USE. THE NORTHERN PART OF THE PROPOSED PLAZA AREA SHALL BE FURTHER ENHANCED WITH SLATE TILE BETWEEN THE ENTRY FACADE AND FACE OF CURB RE: ENLARGED DETAIL 5/A/4 FOR INFO
  - ㉞ PLAZA SIDEWALK EDGE DETAIL RE: DETAIL 2/A/4
  - ㉟ PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 3/A/4 FOR INFO
  - ㊱ PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 4/A/4 FOR INFO

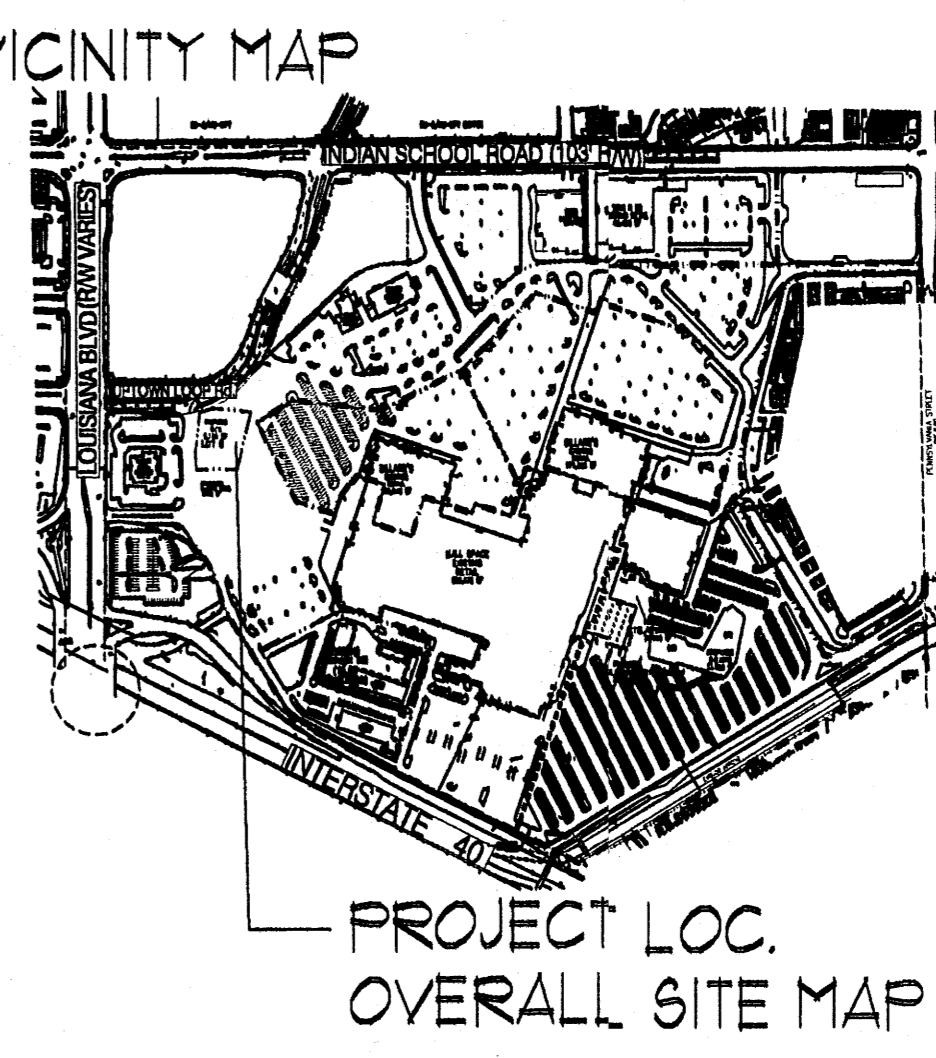
PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB AQUIVA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary



PEDESTRIAN SEATING TABULATION

PEDESTRIAN SEATING TABULATION (LOT-6 BUS) WITHIN BUS DEVELOPED OPEN SPACE

(4) 4 PERSON BENCHES  
 (3) 19 PERSON RAISED PLANTER BED WALLS  
 55 TOTAL PROVIDED PUBLIC SEATS

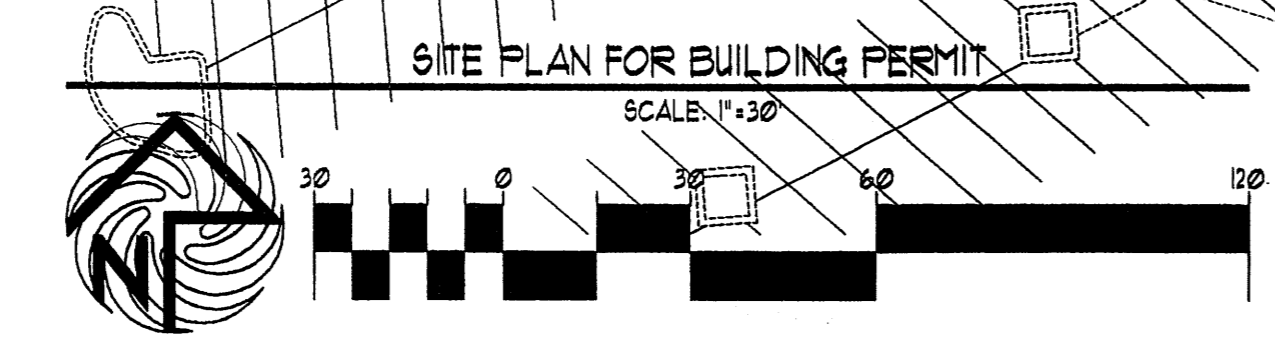
TOTAL PROVIDED PUBLIC SEATS LOT-6/LOT 5 PHASE 2-A: 55 SEATS

NOTE:  
 ALL CROSS WALK LOCATIONS SHALL BE MAINTAINED BY THE LANDOWNER  
 NOTE:  
 ALL LANDSCAPED AREAS TO BE DEPRESSURED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTCHES  
 NOTE:  
 PROPOSED PEDESTRIAN ACCESS ALONG THE UPTOWN LOOP ROW SHALL BE PROVIDED BY A SERIES OF RAMPS AND TEXTURED PAVING SECTIONS FROM THE NORTHEAST CORNER OF LOT-6 TO THE PROPOSED MASS TRANSIT STOP LOCATED AT THE SIGNALIZED INTERSECTION AS SHOWN ON THE OVERALL SITE PLAN FOR BUILDING PERMIT  
 NOTE:  
 LOT 6 AND LOT 5 PHASE-2A SHALL BE COMPLETED CONCURRENTLY UNDER LOT 6 IMPROVEMENTS  
 NOTE:  
 LOT - 6 AND LOT 5 PARKING AREAS SHALL HAVE SHARED PARKING AGREEMENTS IN PLACE

LINE TYPE LEGEND

INTERNAL PHASE LINE	-----
PROPOSED LOT LINE	-----
PROJECT AREA AND OUTER PHASE AREA LIMITS	-----
EXISTING PROPERTY LINE	-----
EXISTING CURB LINE	-----
PROPOSED CURB LINE	-----

SITE DATA TABLE	BU'S RESTAURANT (LOT-6)	PHASE AREA TOTALS (LOT 5-P2A AND 6)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION	
TOTAL ACREAGE:	RE: SITE PLAN FOR SUBDIVISION	
EXISTING ZONING:	BU-3 MU-UPT	
PROPOSED USE:	RESTAURANT AND GENERAL RETAILING	
BUILDING SIZE:	9,156 SF + 1,582 SF PATIO = 10,738	
TOTAL PARKING PROVIDED:	11 SPACES	30 PROVIDED SPACES
TOTAL PARKING REQ:	18 SPACES	2 PER 1,000 = 32 SPACES
HC PROVIDED:	4 SPACES	4 HC (INCLUDING 4 VAN ACCESSIBLE)
HC REQUIRED:	1 SPACES	4 HC SPACES
BIKE SPACES PROVIDED:	5 SPACES	5 BIKE SPACES
BIKE SPACES REQUIRED:	1 SPACES	1 PER 20 CAR SPACES = 2
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACES	2 SPACES



REVISION

REV	DATE	BY

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: WINROCK TOWN CENTER  
 2200 LOUISIANA BLVD. NE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: STEPHEN DUNBAR AIA  
 JOB NO.: WIN-BJ-5-J

DRAWN BY: S-J

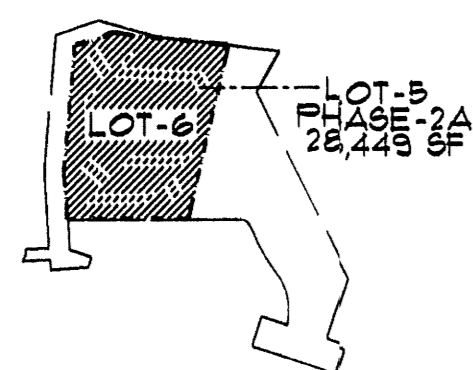
SHEET TITLE: SITEPLAN FOR BUILDING PERMIT

DATE: 5/4/12

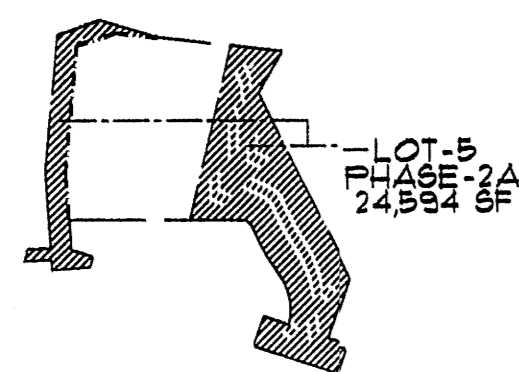
SCALE: AS NOTED

PROPOSED  
PROJECT LIMITS  
TO INCLUDE  
LOT 6 AND LOT 5  
PHASE 2A  
TOTAL SF = 49,188 SF

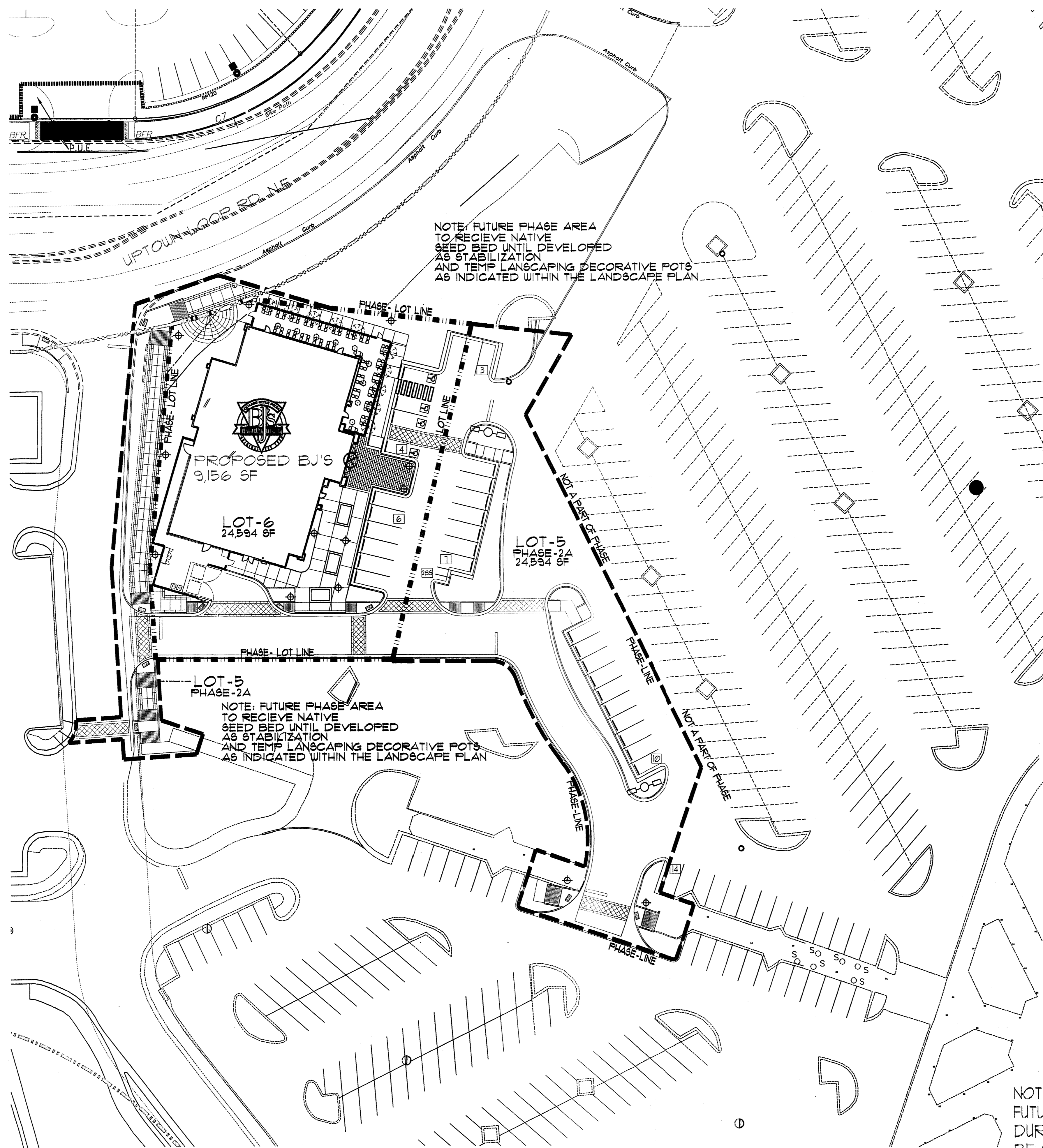
PROJECT SCOPE



LOT 6 - PHASE

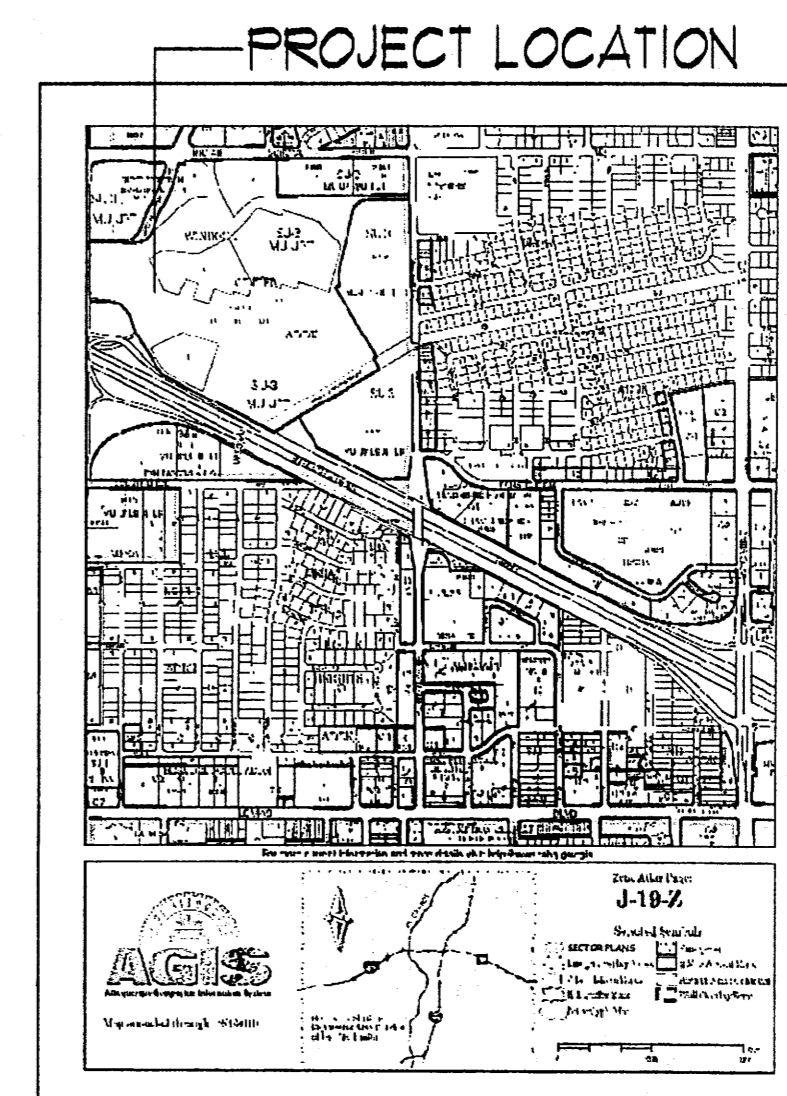
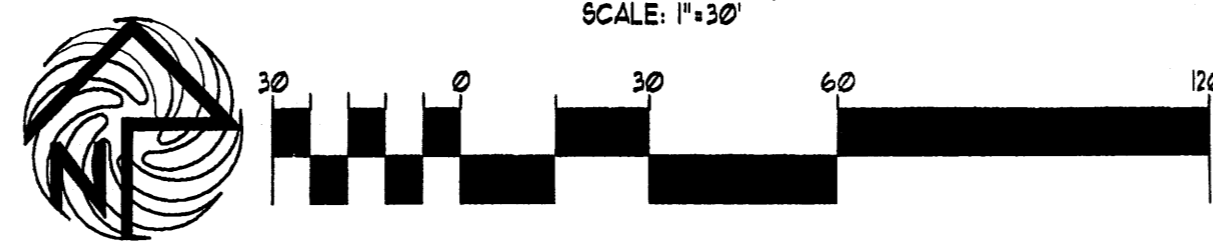


LOT 5 PHASE 2A

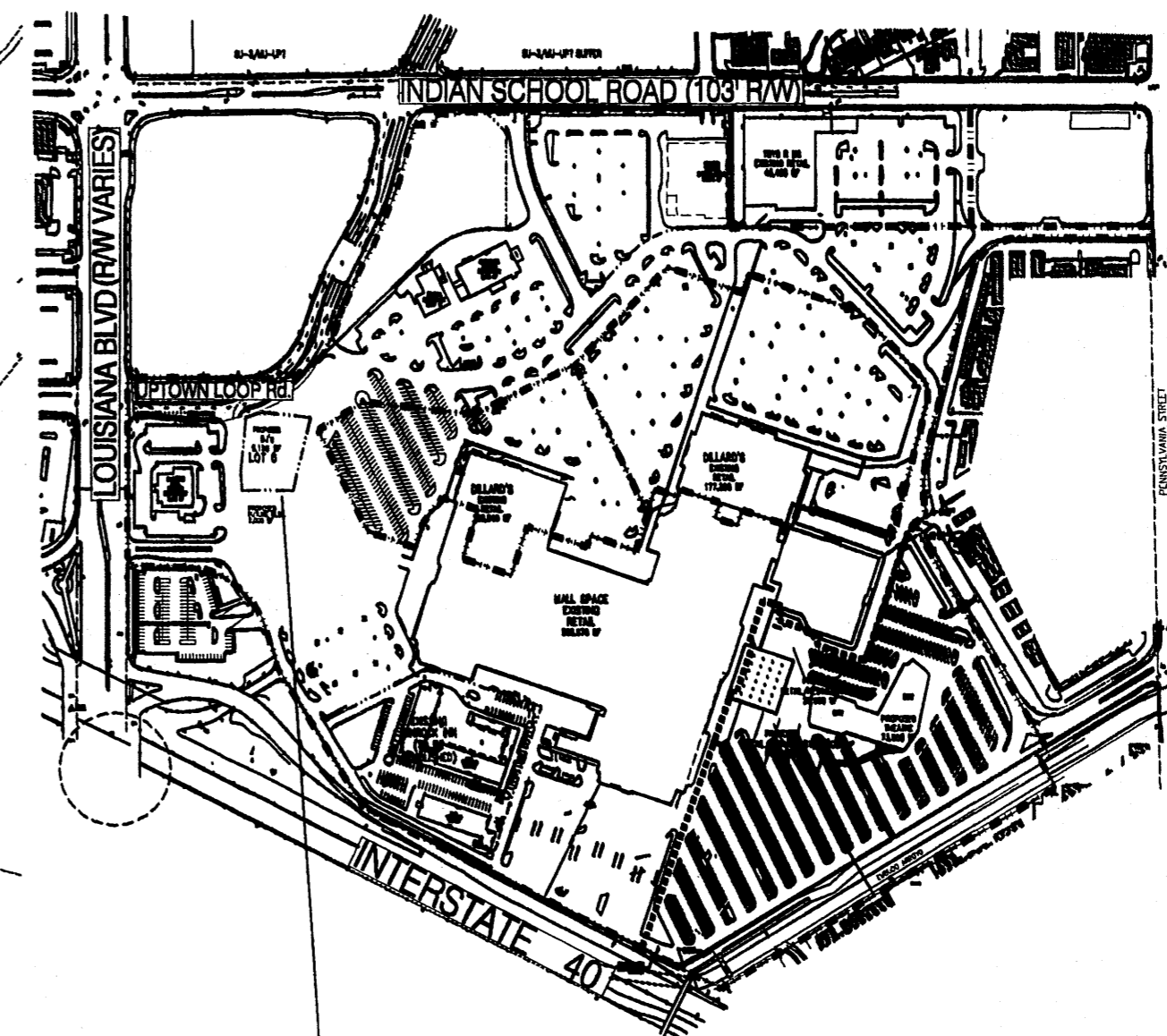


SITE PHASING PLAN

SCALE: 1"=30'



VICINITY MAP



PROJECT LOCATION ENLARGED SITEPLAN

NOTE:  
FUTURE PHASE IMPROVEMENT AREAS MODIFIED DURING PREVIOUS PHASE IMPROVEMENTS SHALL BE STABILIZED BY USE OF NATIVE SEED LANDSCAPING UNTIL COMMENCEMENT OF PROPOSED PHASE IMPROVEMENT AREA

REV	DATE	BY	REVISION
1			
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**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER  
2200 LOUISIANA BLVD. NE ALBUQUERQUE NEW MEXICO  
JOB NO.: WIN-EJ  
PROJECT NUMBER: STEPHEN DUNEAR, AIA  
DRAWN BY: S-J  
SHEET TITLE: SITE PHASE PLAN

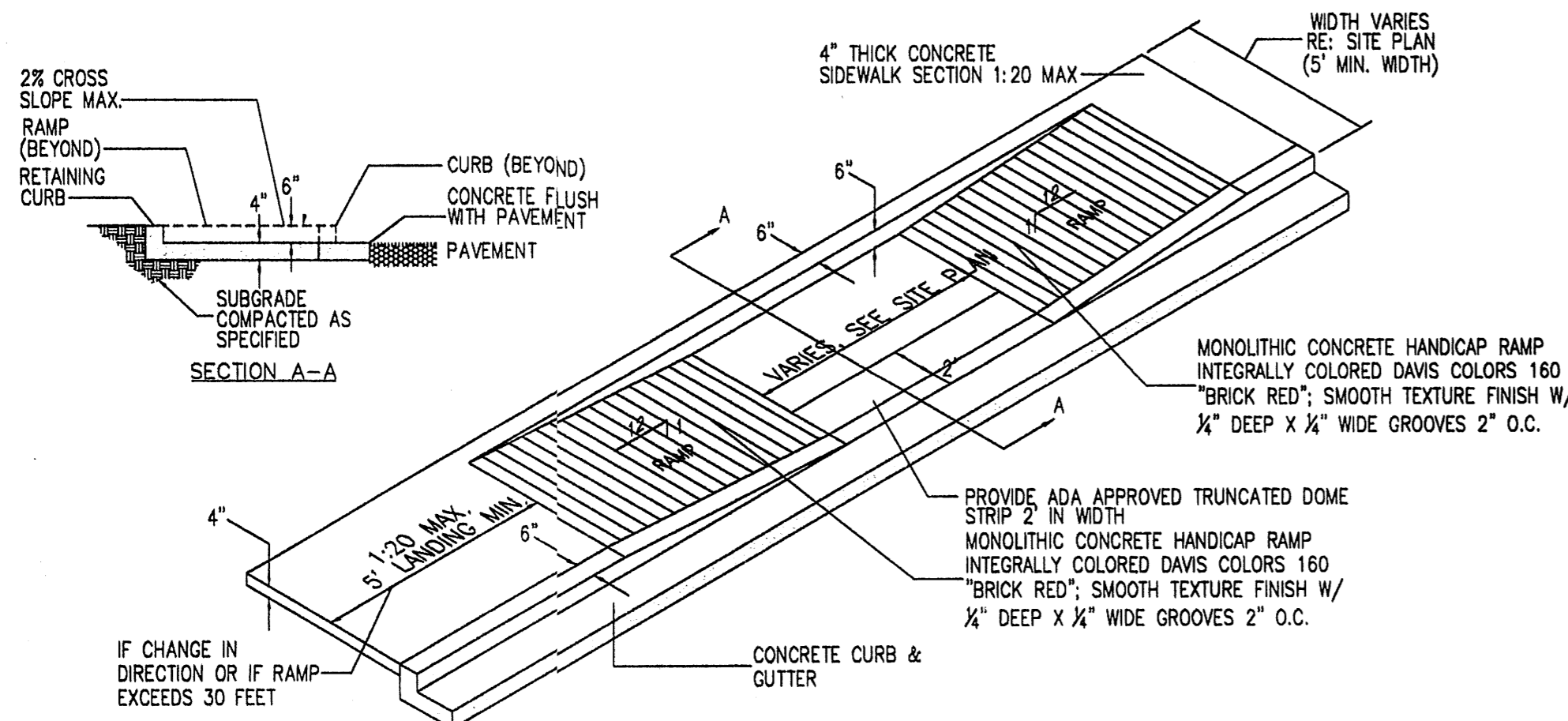
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SCALE: AS NOTED  
BPIB



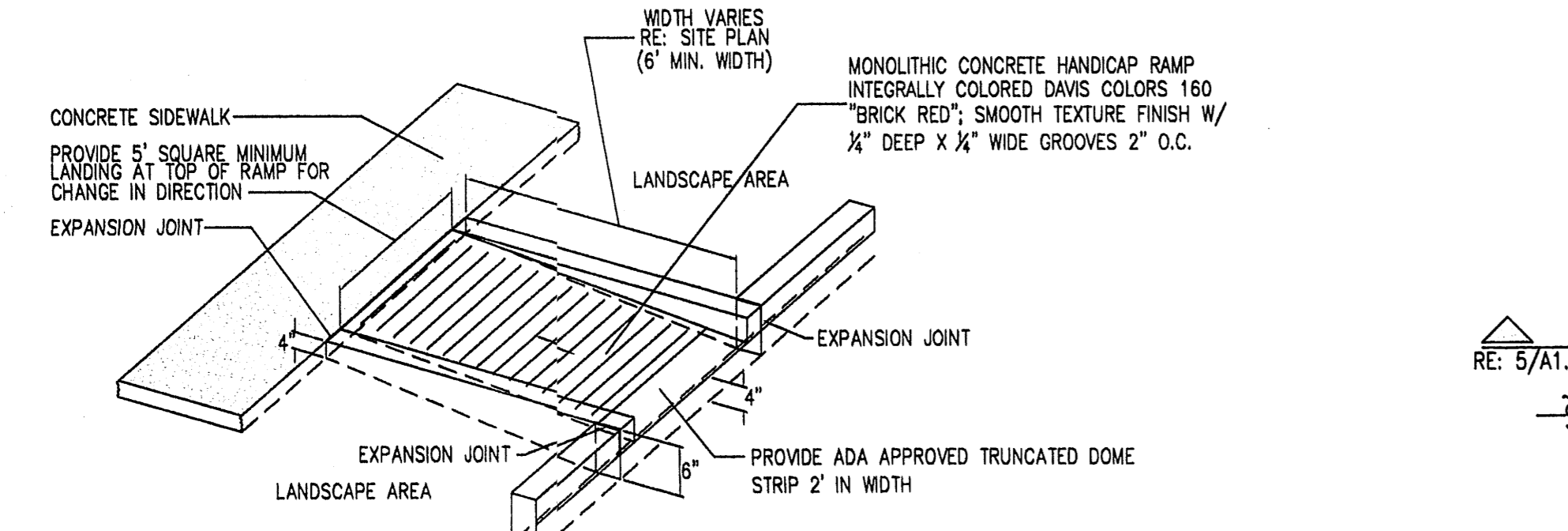




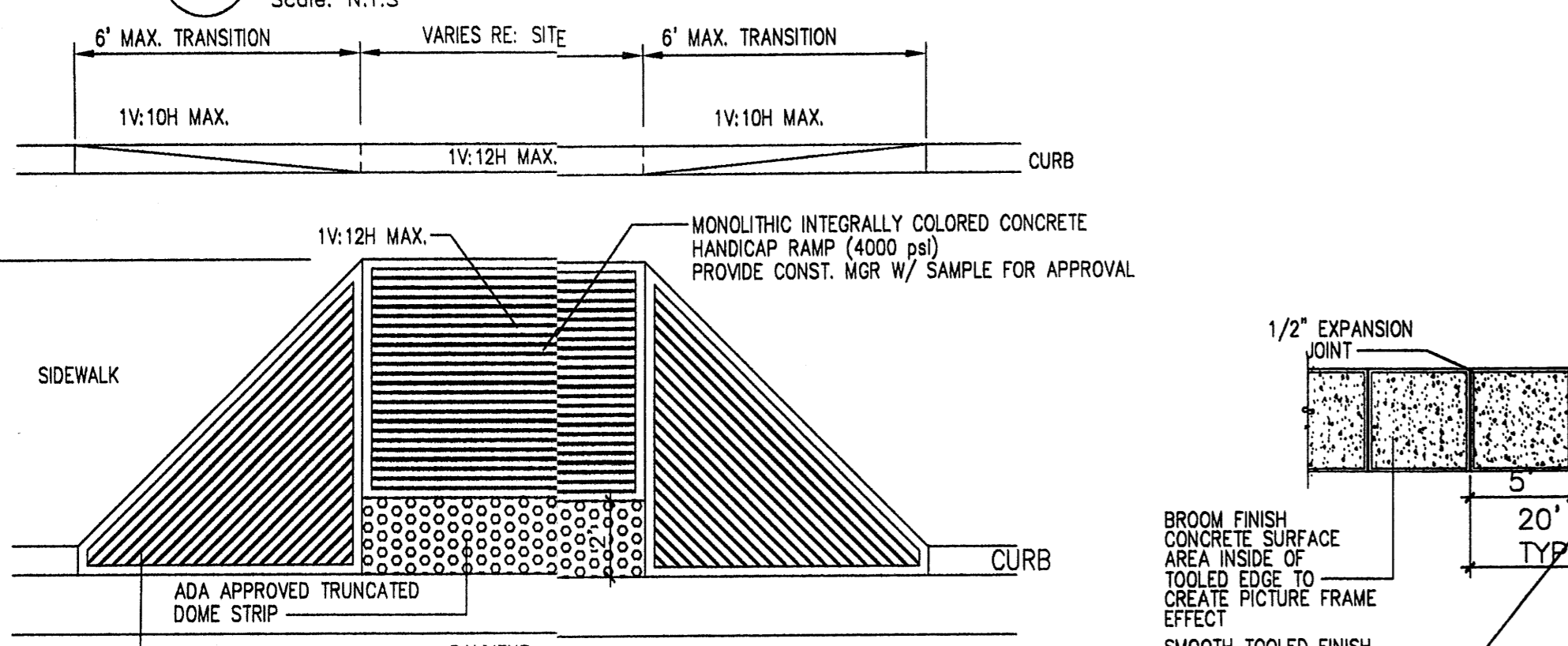




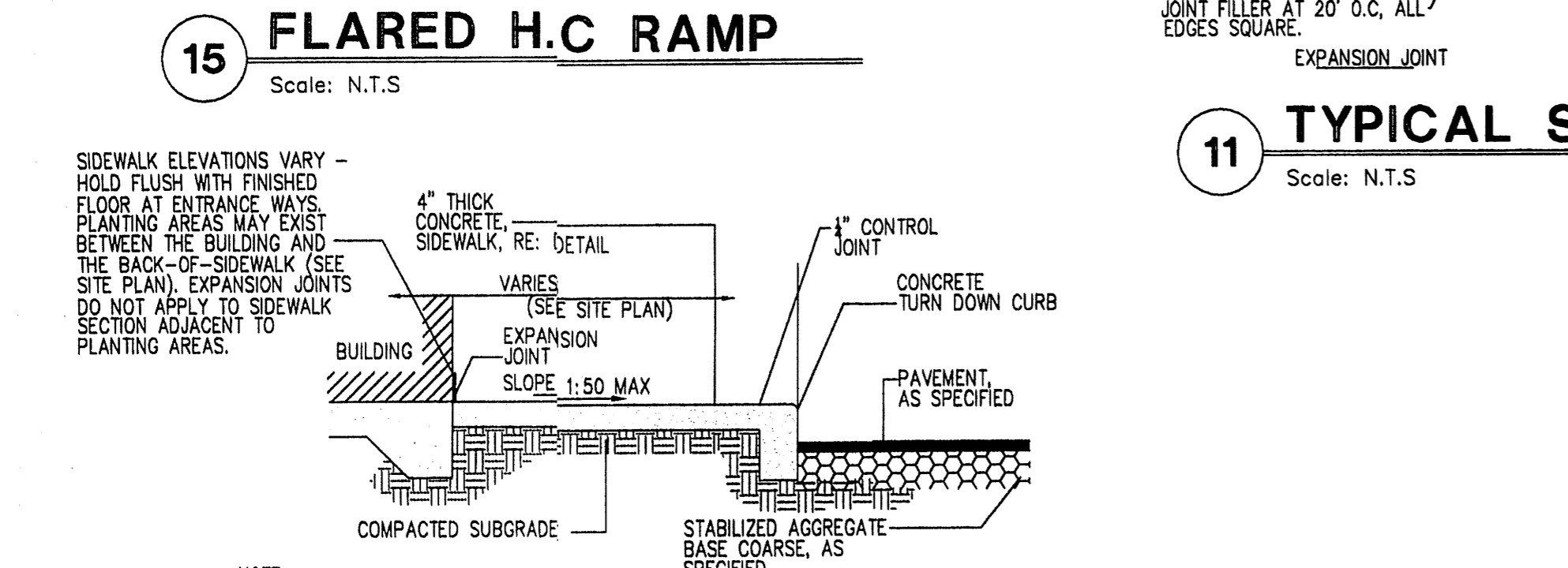
**17 TAPERED H.C RAMP**  
Scale: N.T.S.



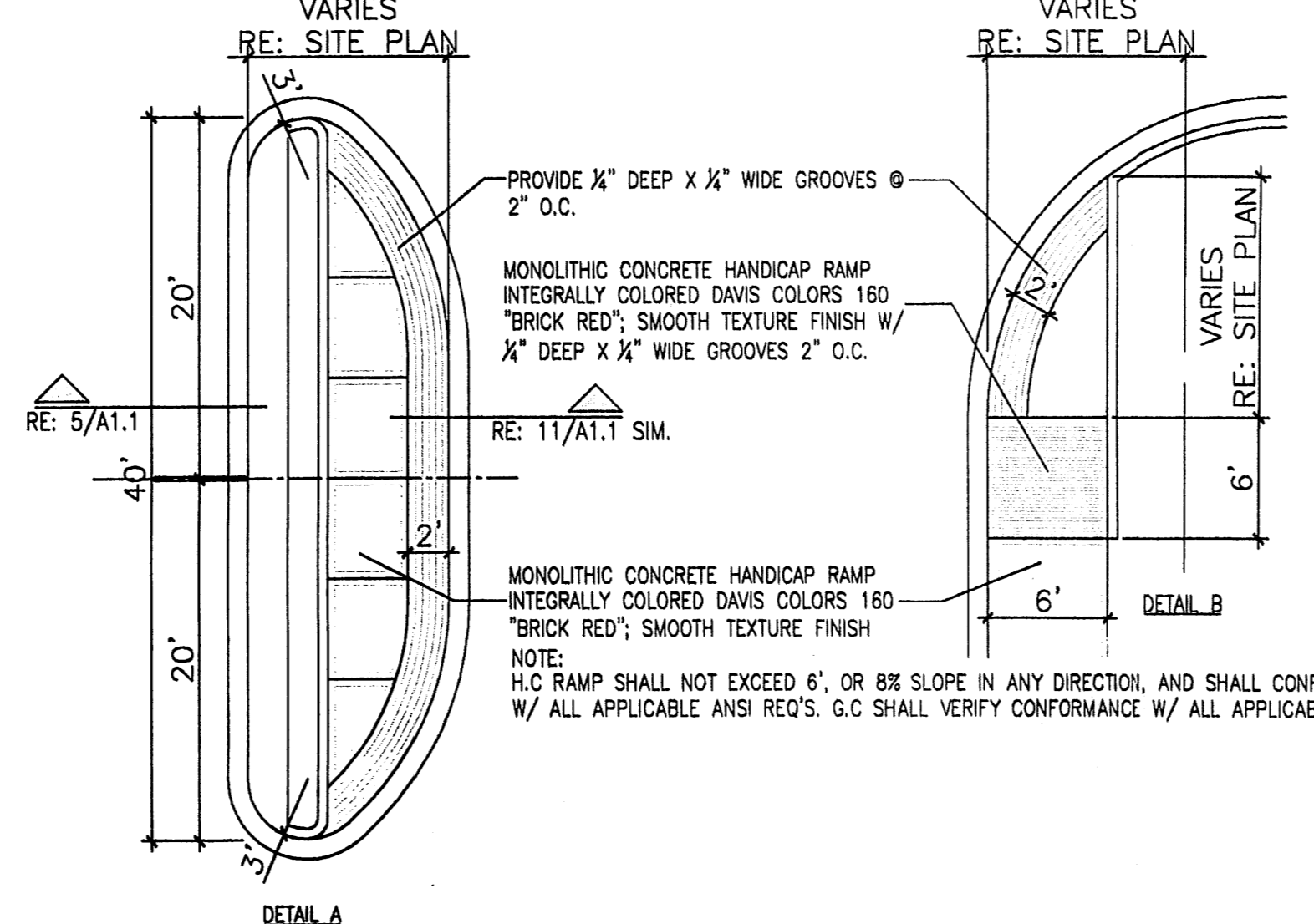
**16 CURBED H.C RAMP**  
Scale: N.T.S.



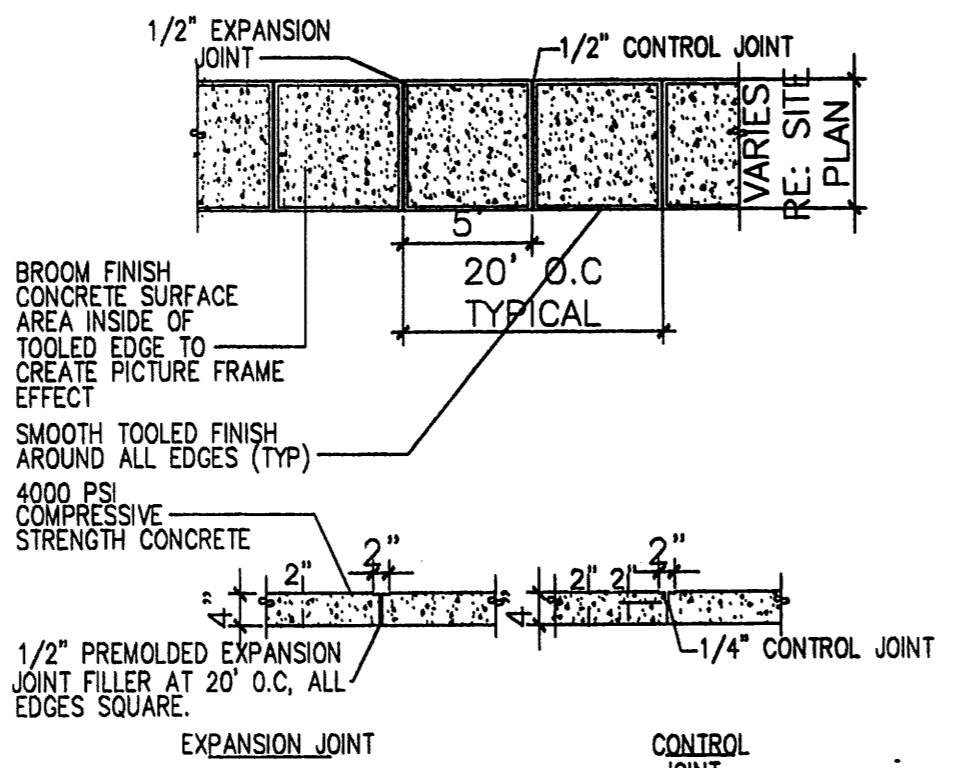
**15 FLARED H.C RAMP**  
Scale: N.T.S.



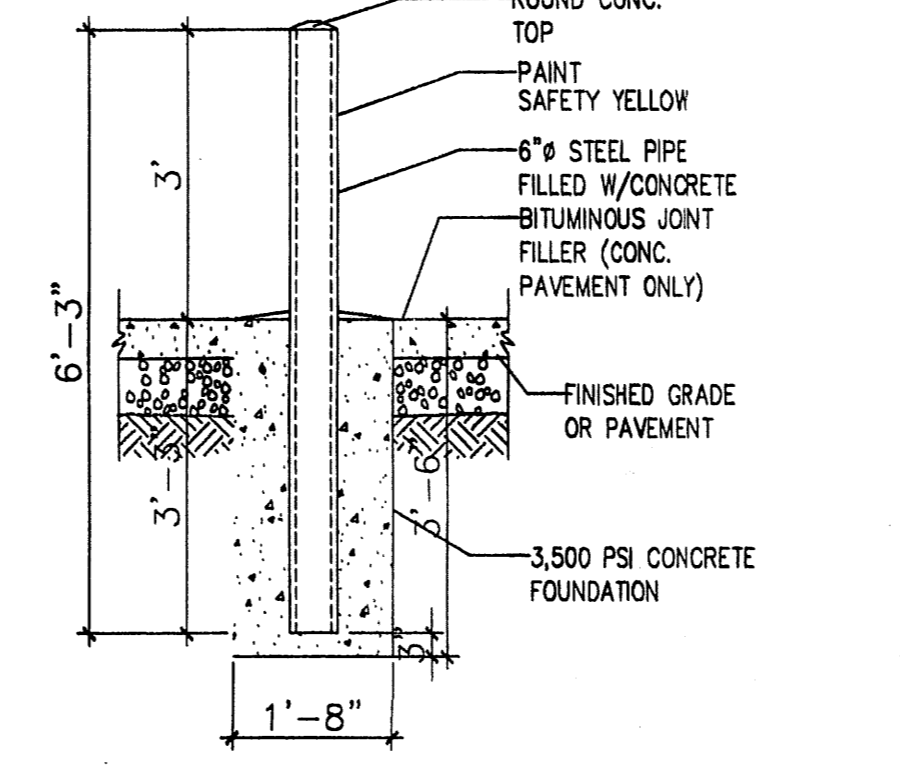
**14 SIDEWALK W/ TURNDOWN CURB SECTION**  
Scale: N.T.S.



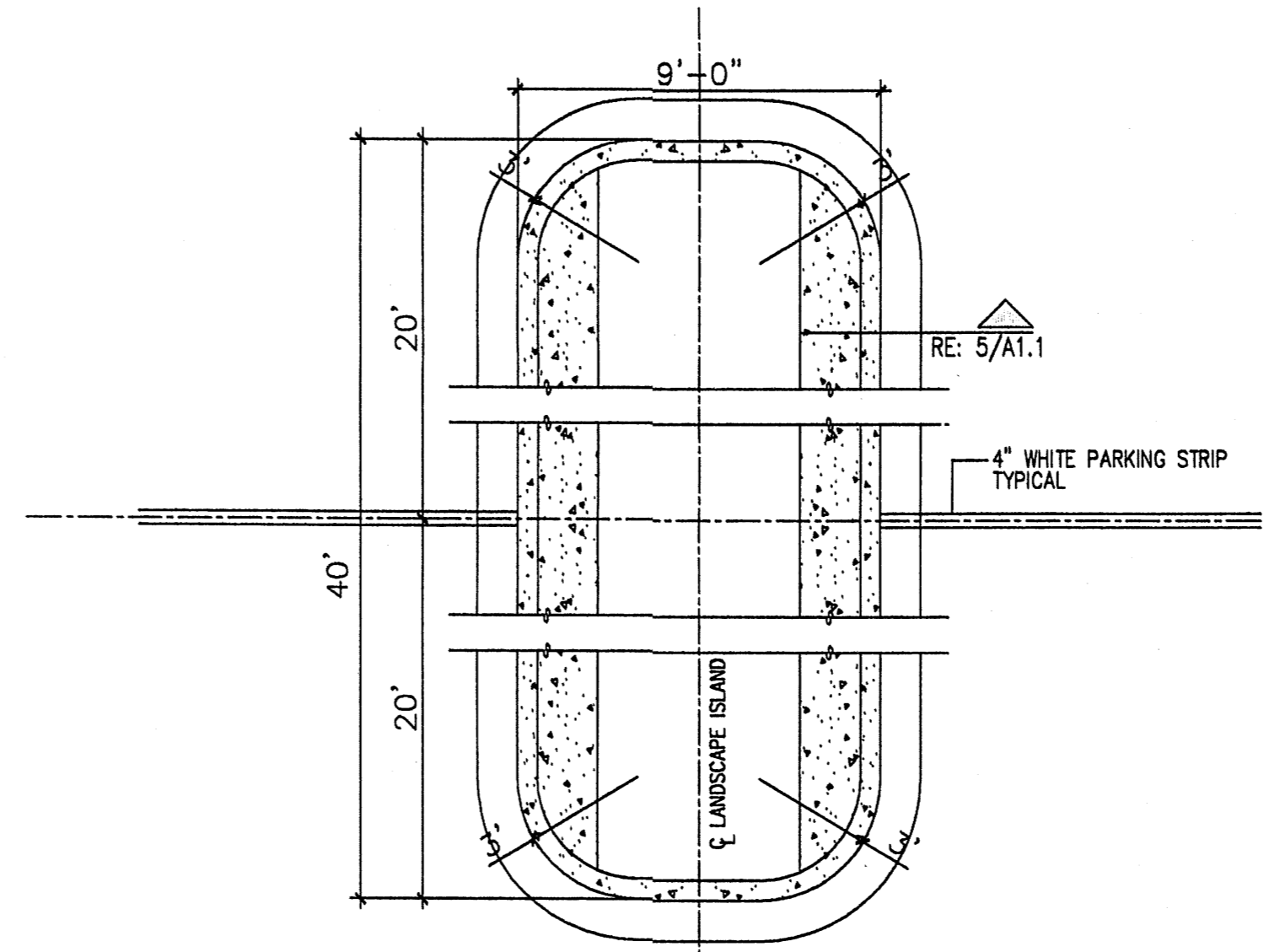
**12 TYP. END ISLAND W/ WALK**  
Scale: N.T.S.



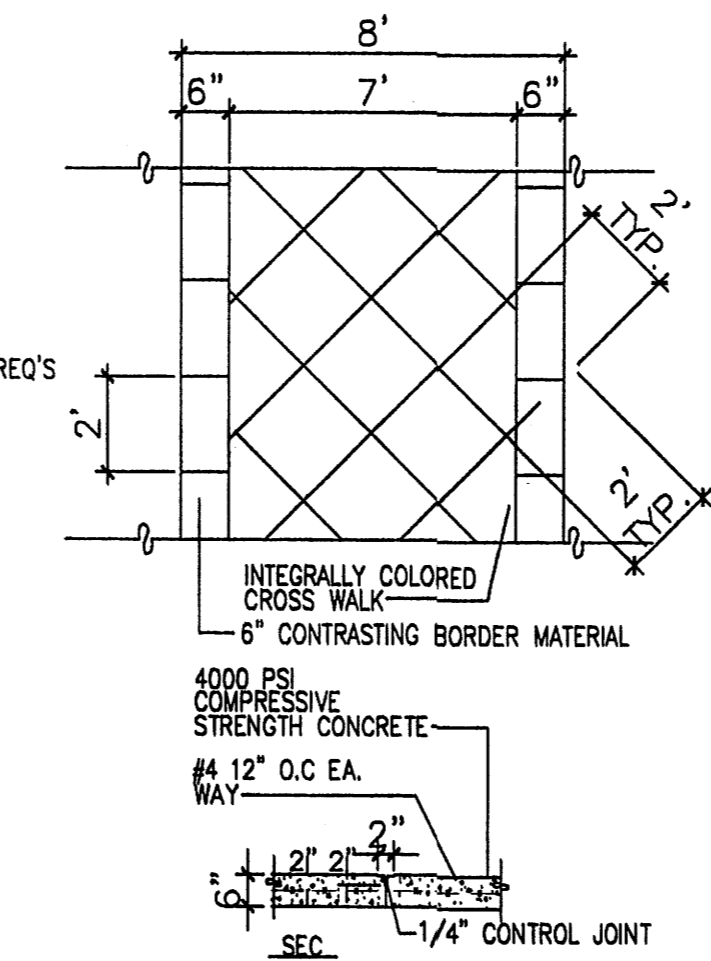
**11 TYPICAL SIDEWALK**  
Scale: N.T.S.



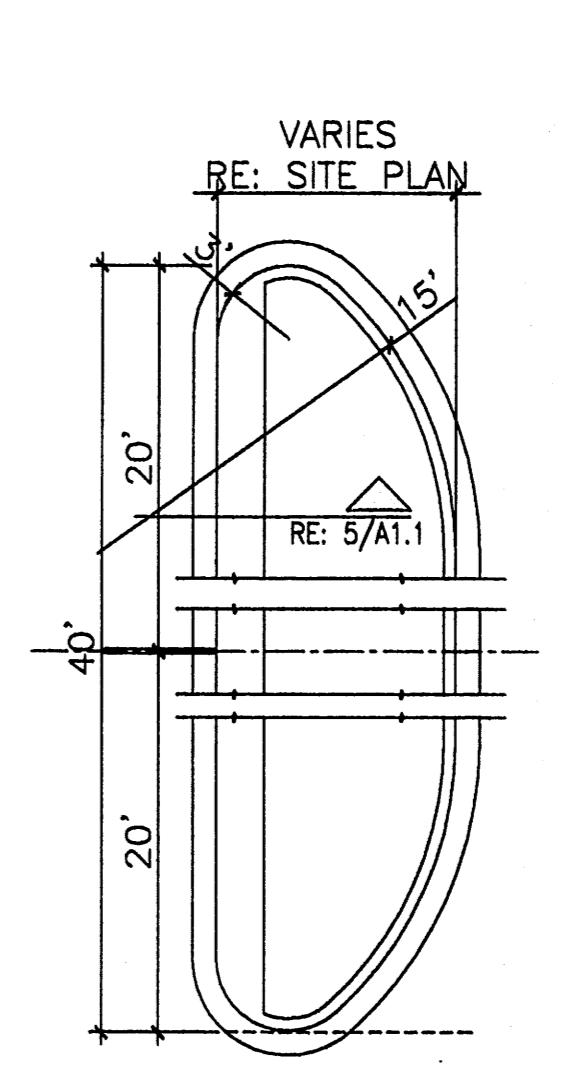
**10 BOLLARD DETAIL**  
Scale: 1/2"=1'-0"



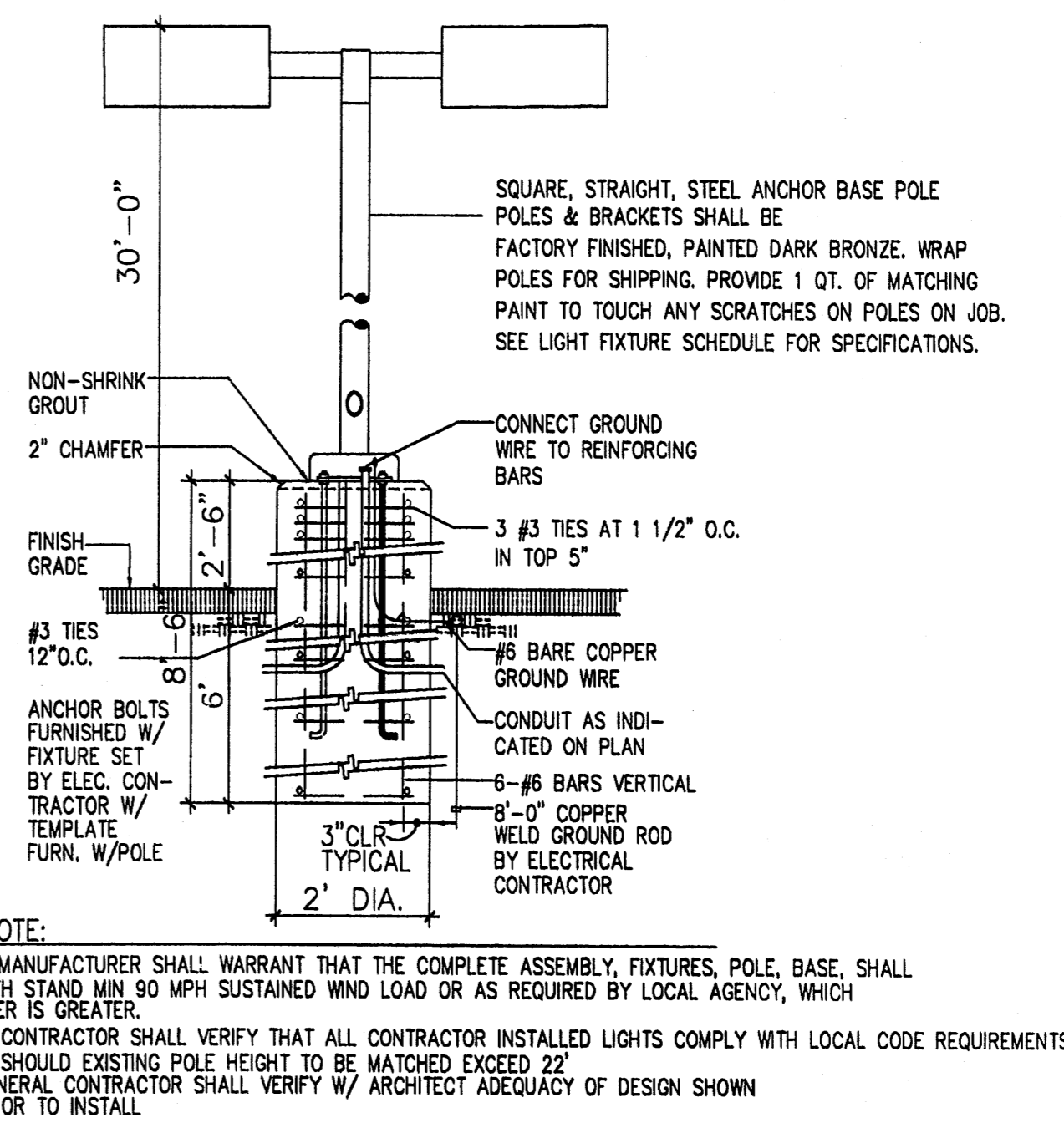
**8 ISLAND DETAIL**  
Scale: N.T.S.



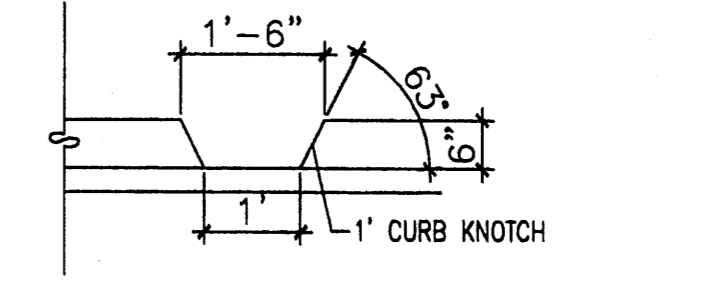
**7 CONC. CROSSWALK**  
Scale: N.T.S.



**4 END ISLAND DETAIL**  
Scale: N.T.S.



**3 LIGHT POLE DETAIL**  
Scale: N.T.S.



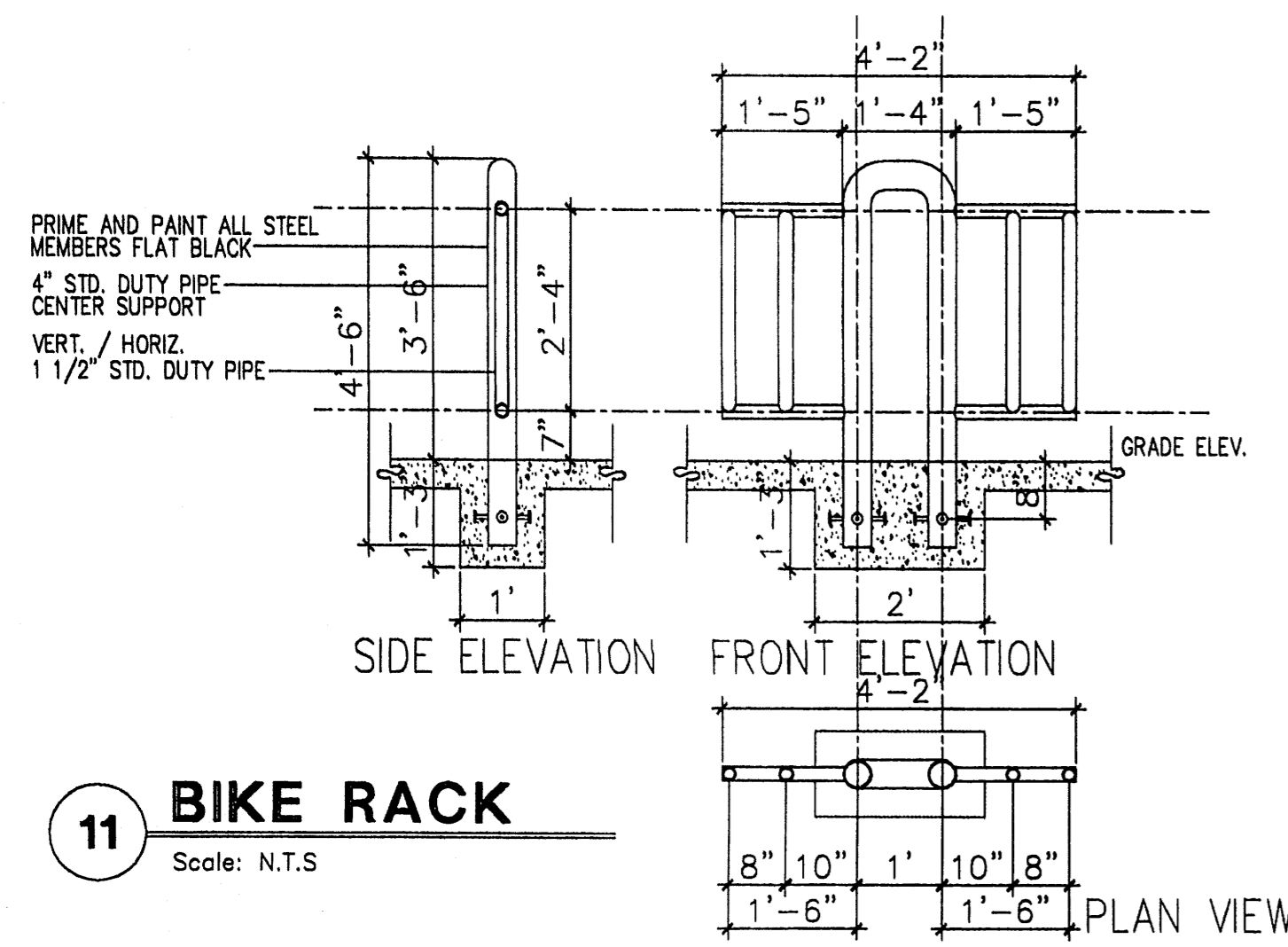
**1 CURB KNOTCH**  
Scale: N.T.S.

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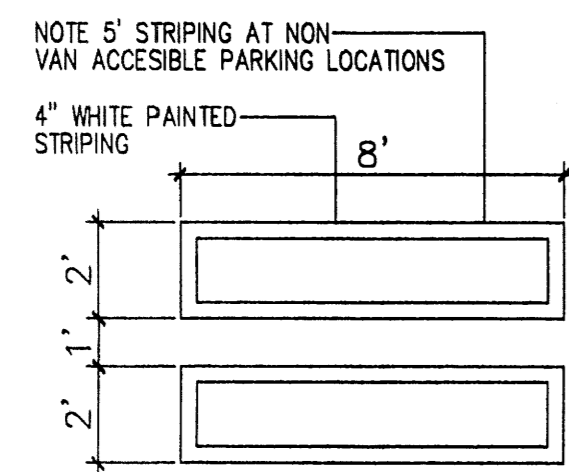
**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



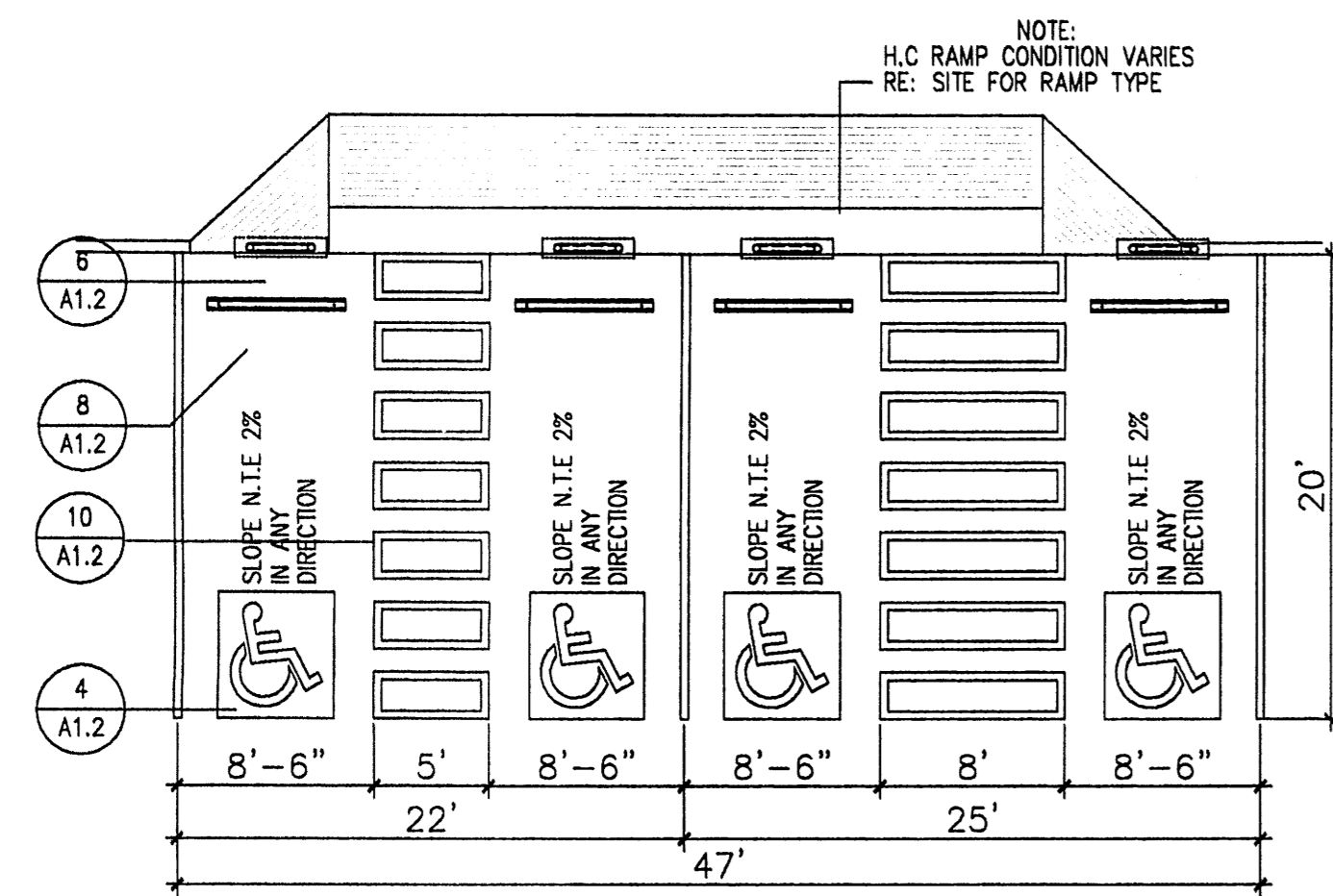
PROJECT TITLE	WINROCK TOWN CENTER	DRAWN BY	S-J
	7200 LOUISIANA BLVD. NE	JOB NO.	WIN-BJ
	ALBUQUERQUE NEW MEXICO	PROJECT MANAGER	STEPHEN DUNBAR, AIA
		SHEET TITLE	SITE DETAILS
DATE	4/6/12	DATE	
SCALE	AS NOTED		



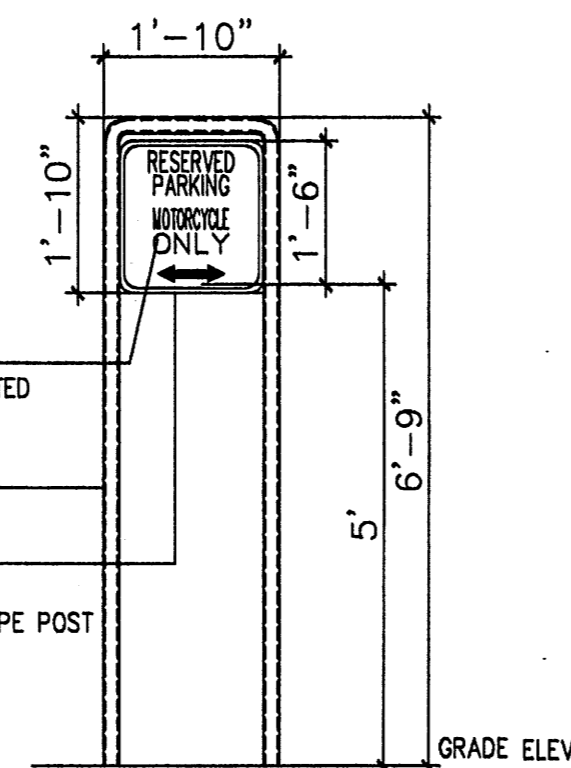
**11 BIKE RACK**  
 Scale: N.T.S



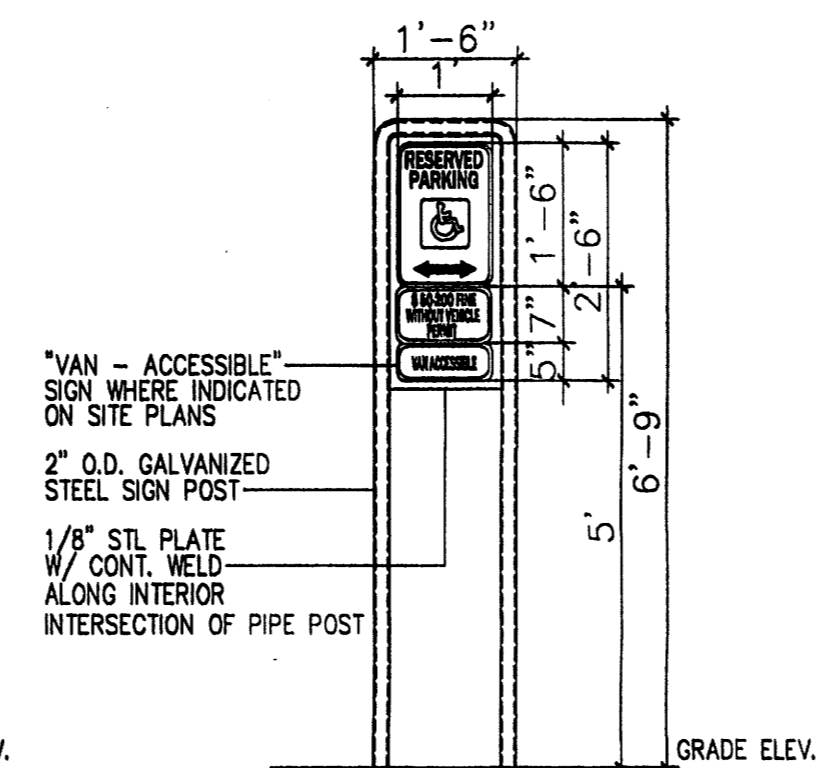
**10 H.C. PARKING-WALK PAINT DETAIL**  
 Scale: N.T.S



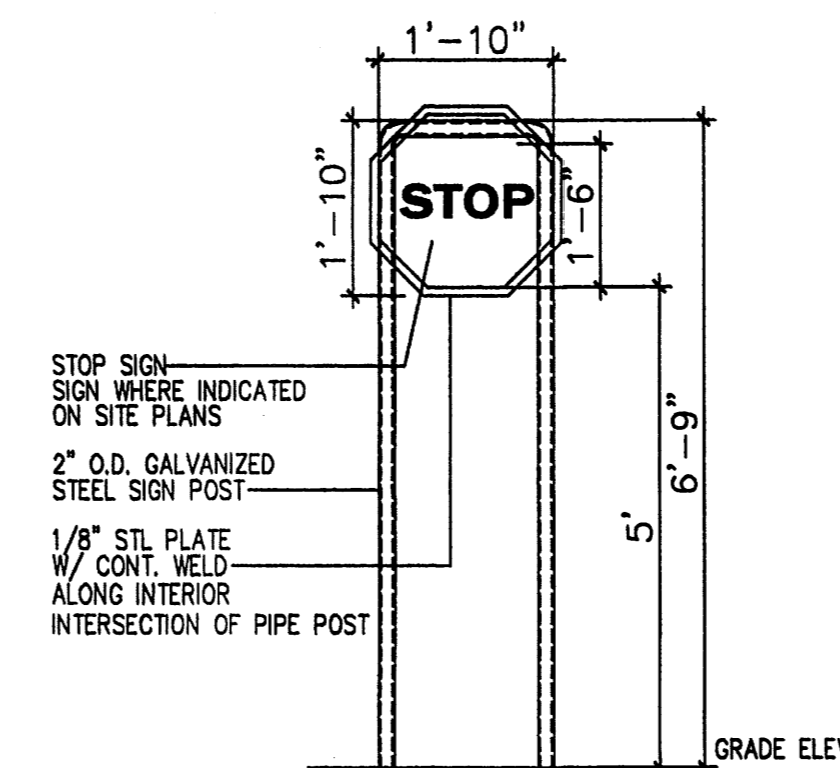
**9 H.C. PARKING(DUAL CONFIGURATION)**  
 Scale: N.T.S



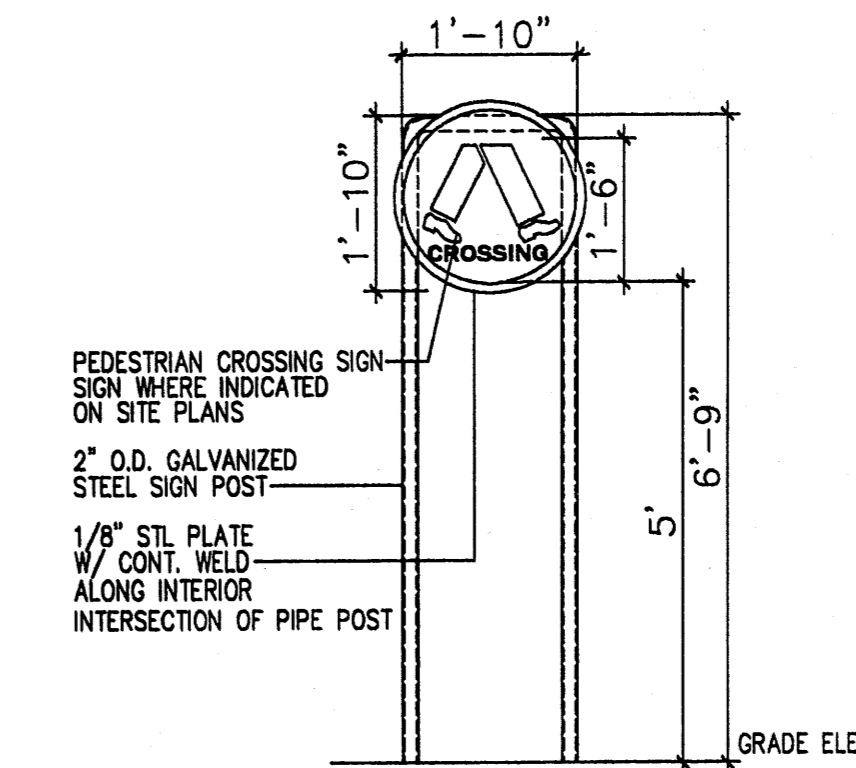
**7 MISC SIGNAGE**  
 Scale: N.T.S



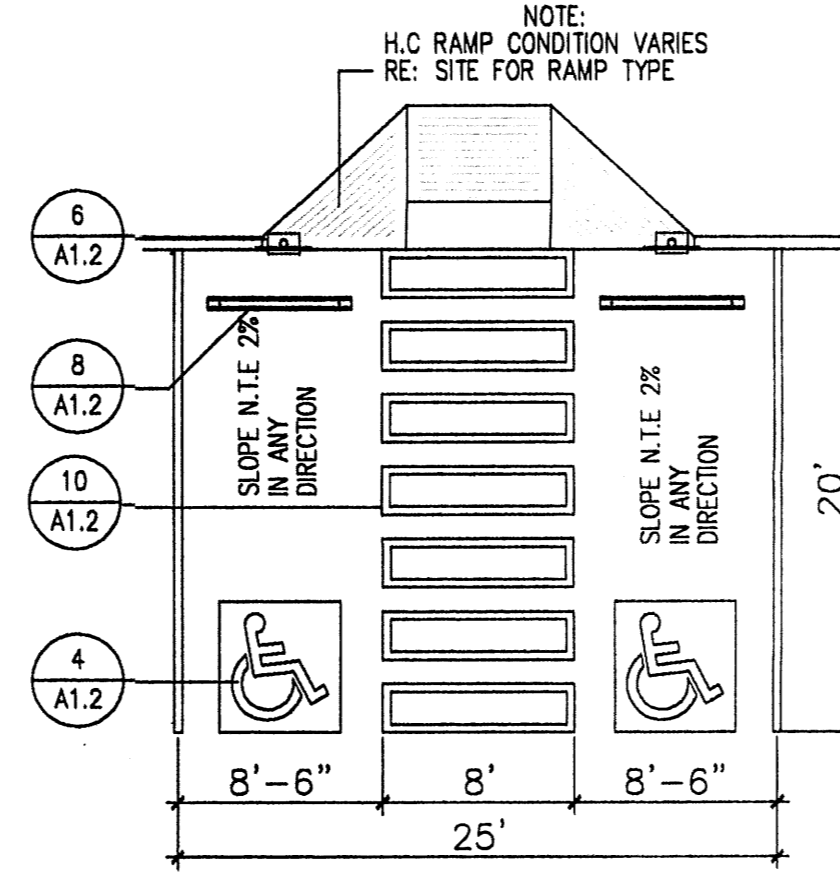
**6 H.C SIGNAGE**  
 Scale: N.T.S



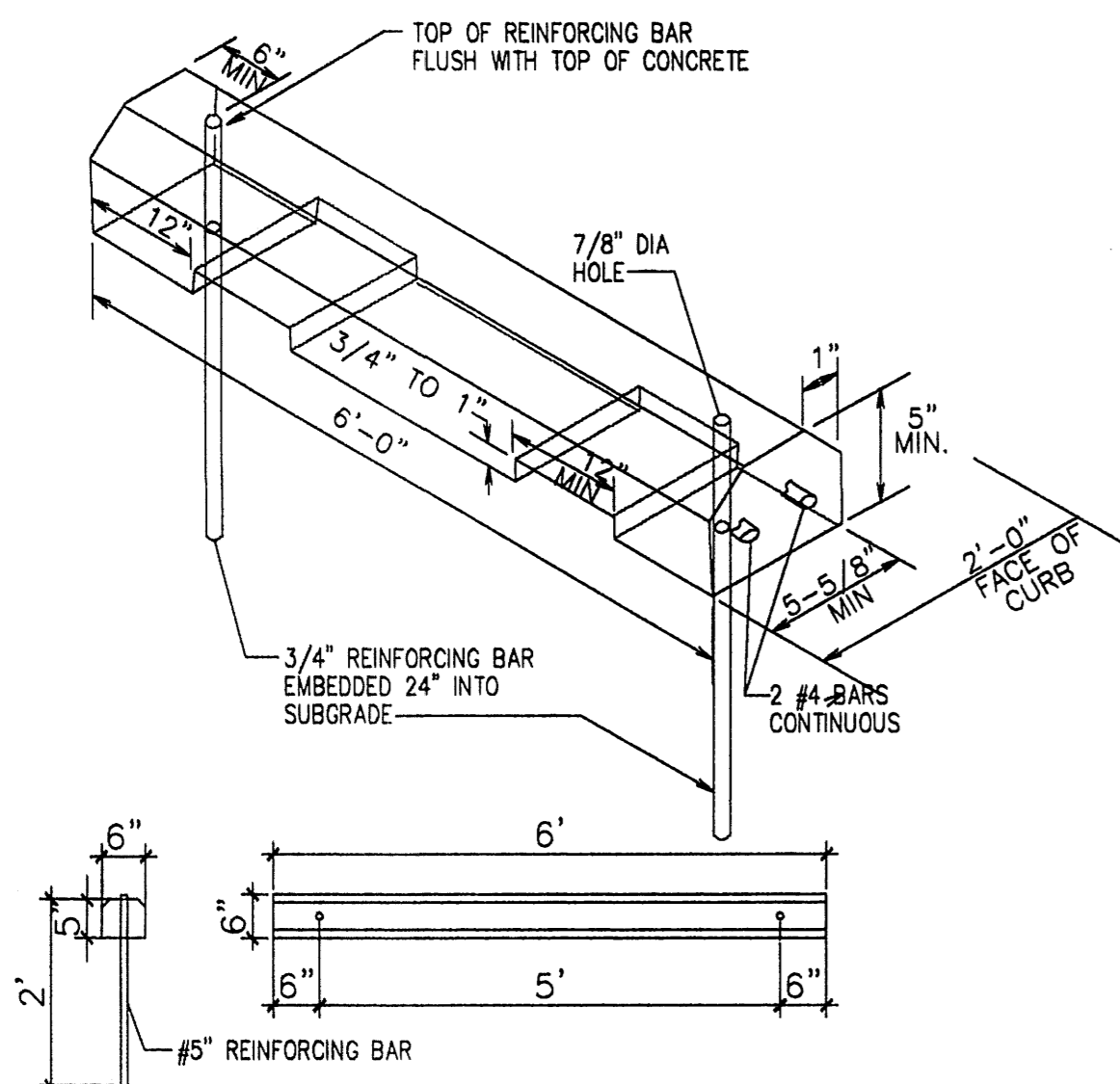
**3A STOP SIGNAGE**  
 Scale: N.T.S



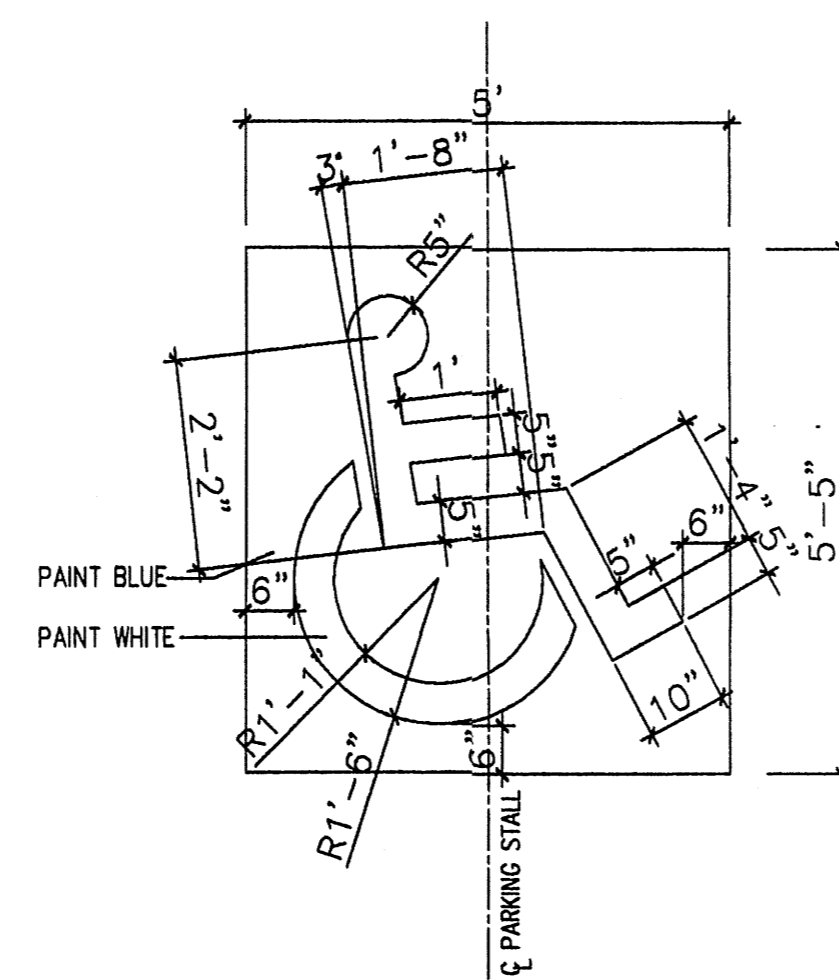
**3 PEDESTRIAN SIGNAGE**  
 Scale: N.T.S



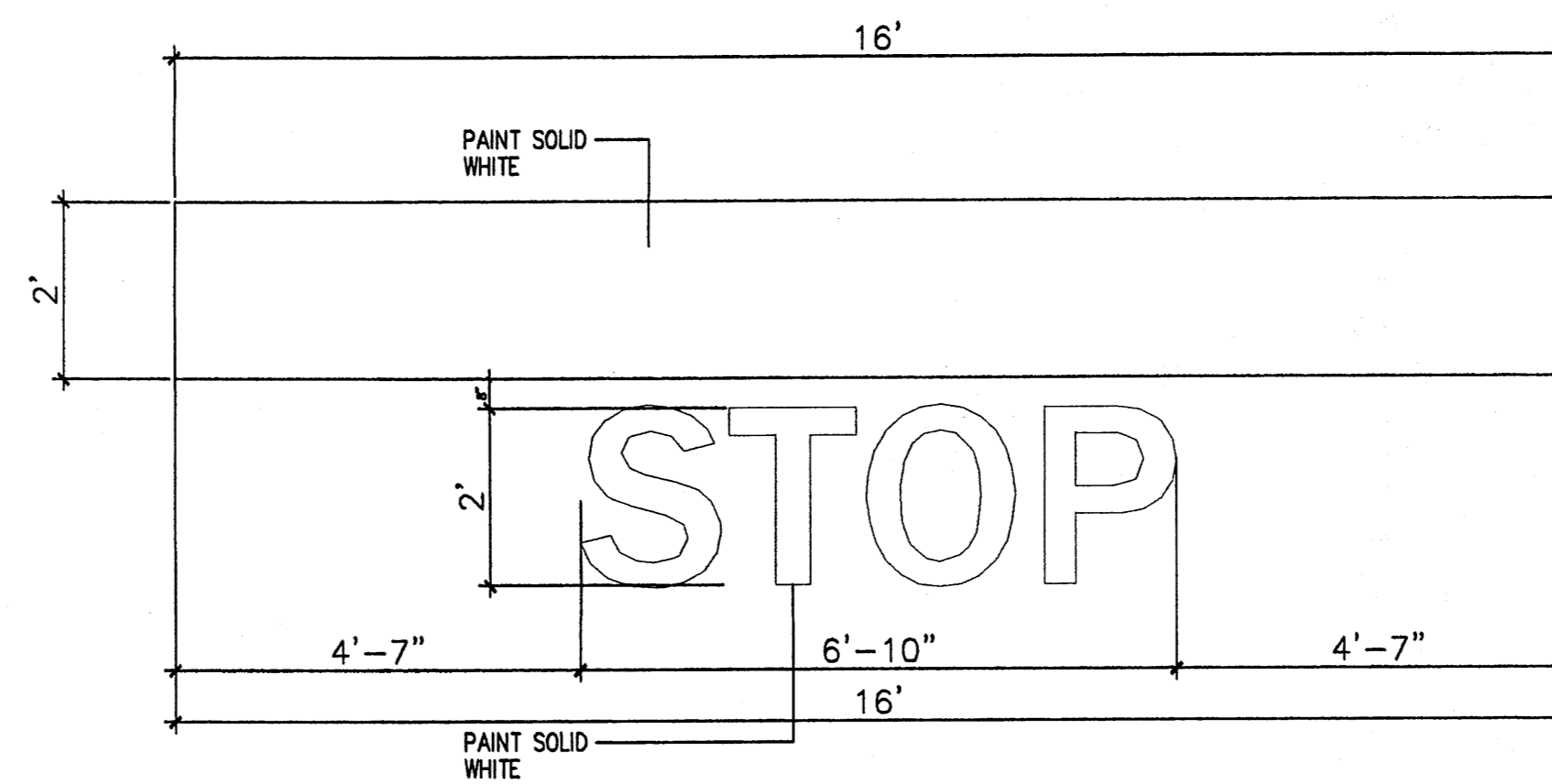
**5 H.C. PARKING(VAN ACCESSIBLE ONLY)**  
 Scale: N.T.S



**8 H.C. WHEELSTOP**  
 Scale: 1/2"=1'-0"



**4 H.C SIGNAGE**  
 Scale: 1/2"=1'-0"



**1 STOP BAR DETAIL**  
 Scale: N.T.S

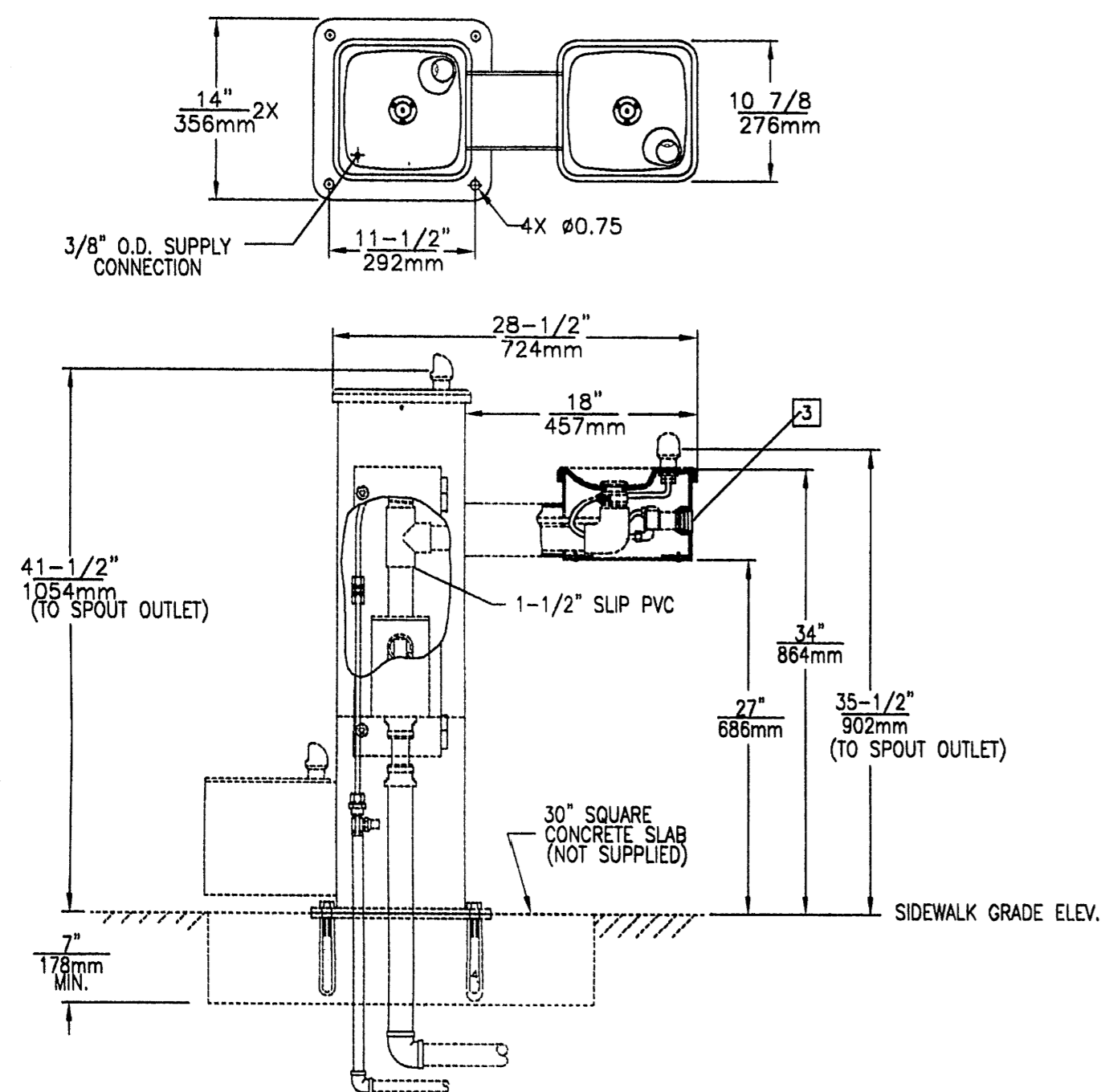
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**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

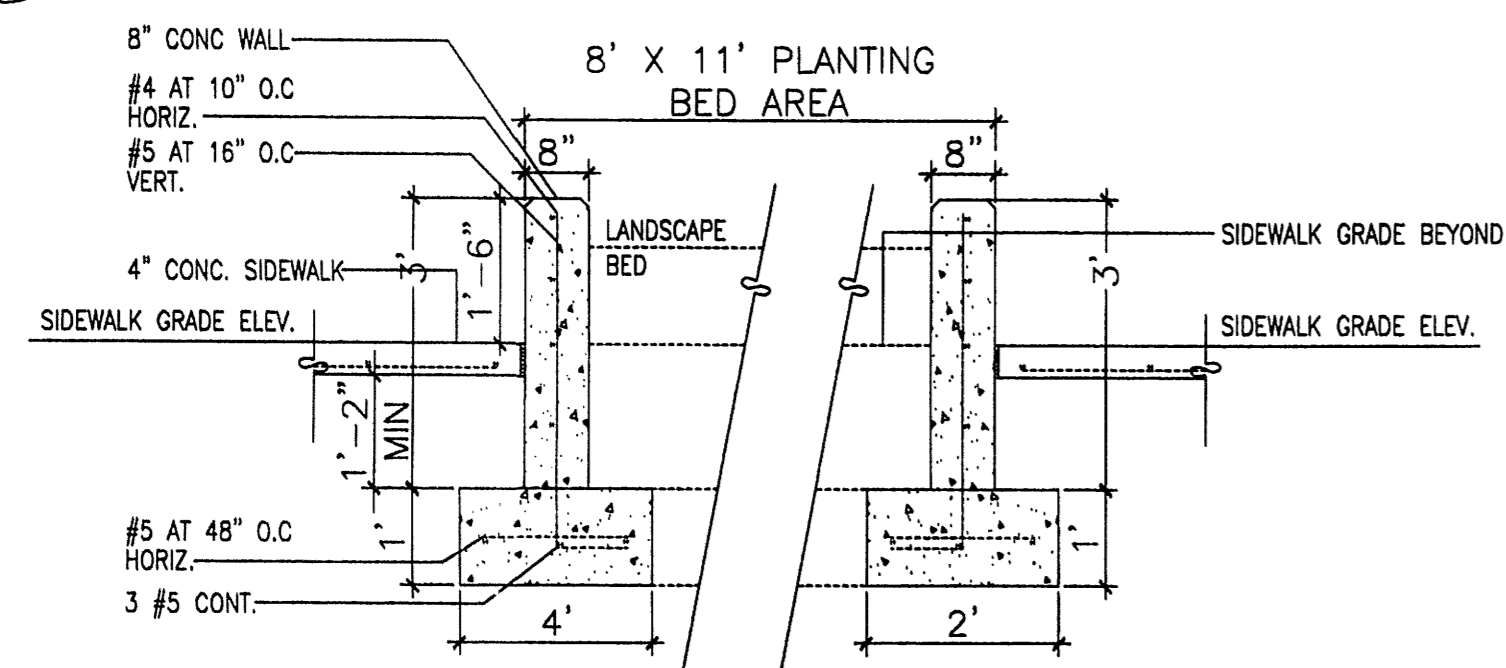


PROJECT TITLE: WINROCK TOWN CENTER  
 2200 LOUISIANA BLVD. NE  
 ALBUQUERQUE NEW MEXICO  
 PROJECT NUMBER: WIN-EU  
 DRAWN BY: S-J  
 PROJECT MANAGER: AIA  
 SHEET TITLE: SITE DETAILS

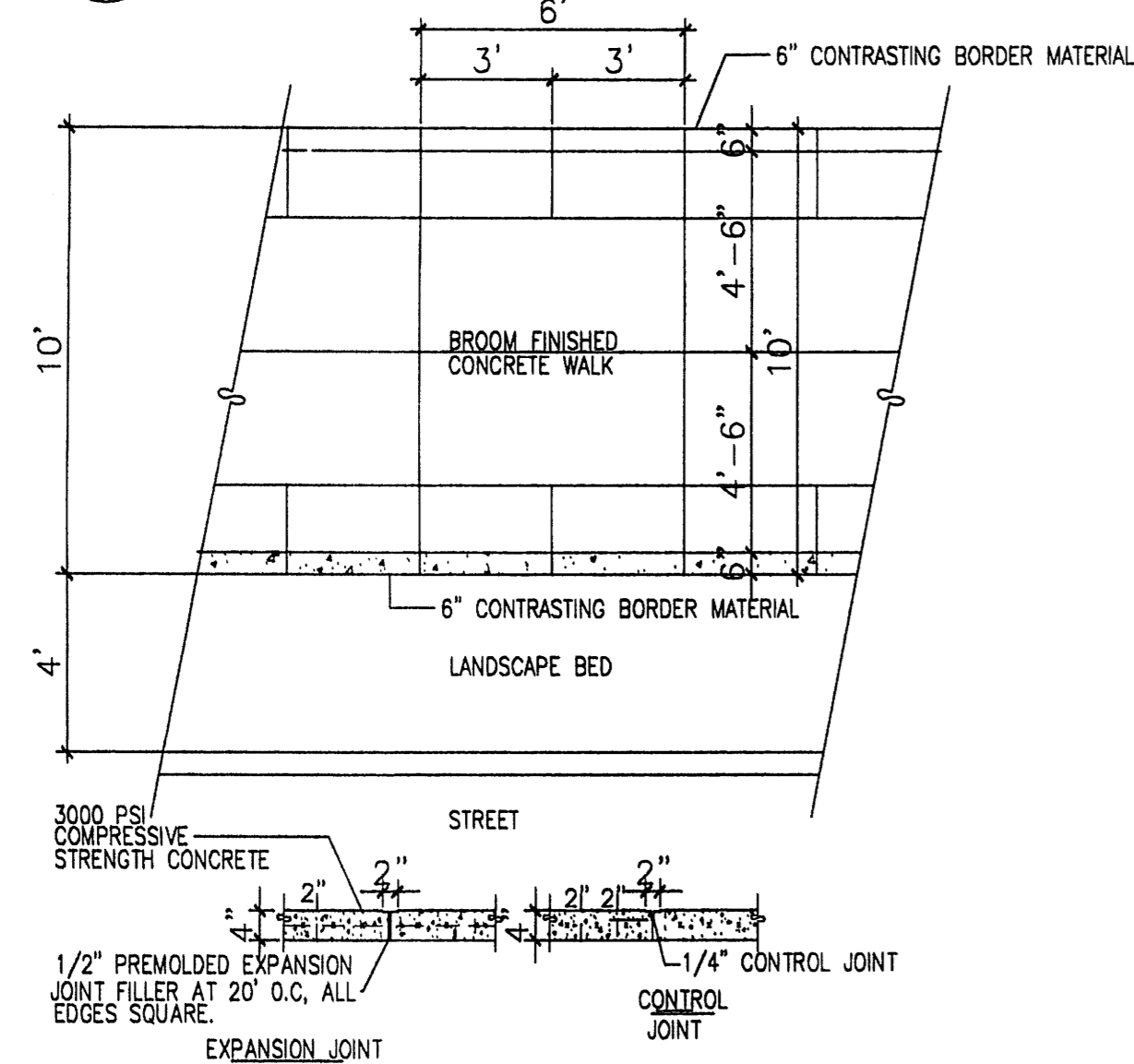
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 SCALE: AS NOTED  
 SHEET: A12



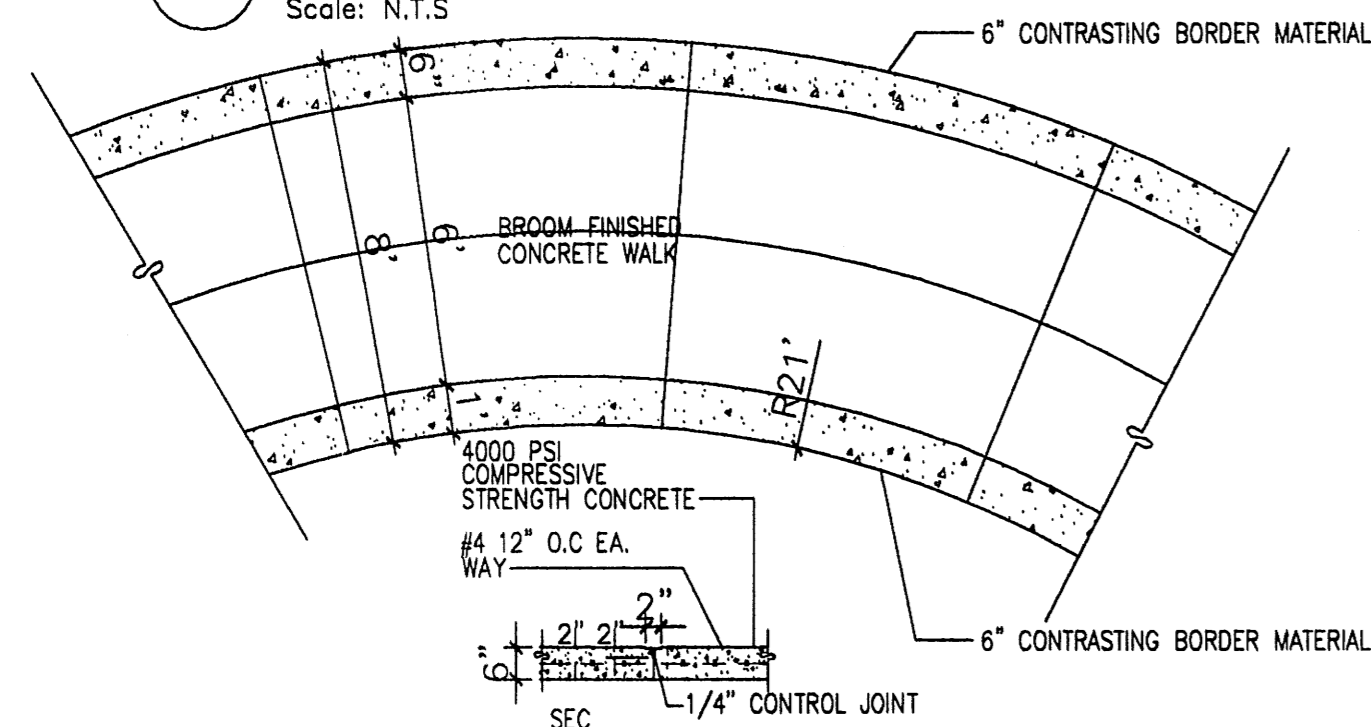
**11 COMBINATION PET/HUMAN DRINKING FOUNTAIN**  
Scale: N.T.S



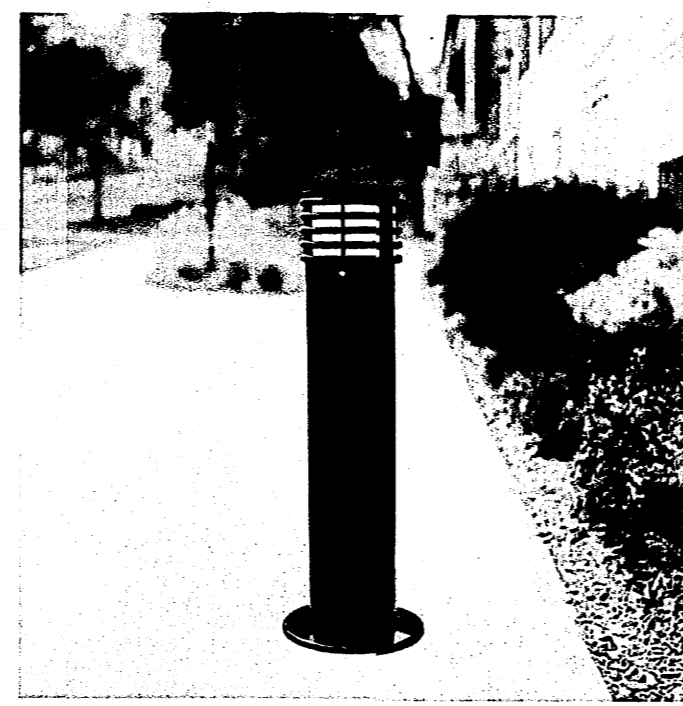
**10 RAISED PLANTING BED DETAIL**  
Scale: N.T.S



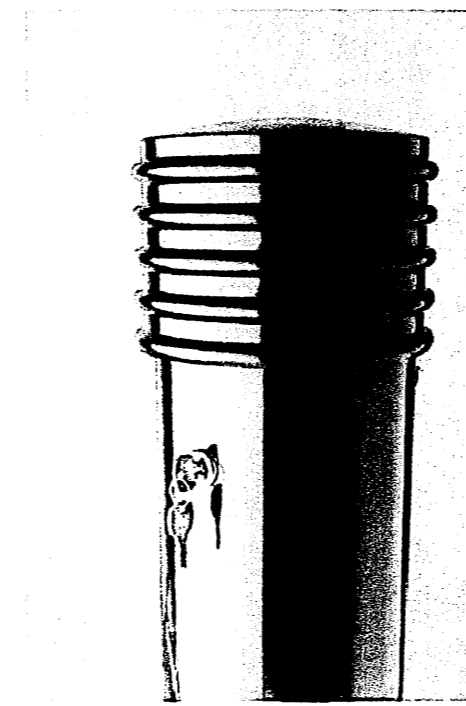
**9 TYPICAL STREET SIDEWALK**  
Scale: N.T.S



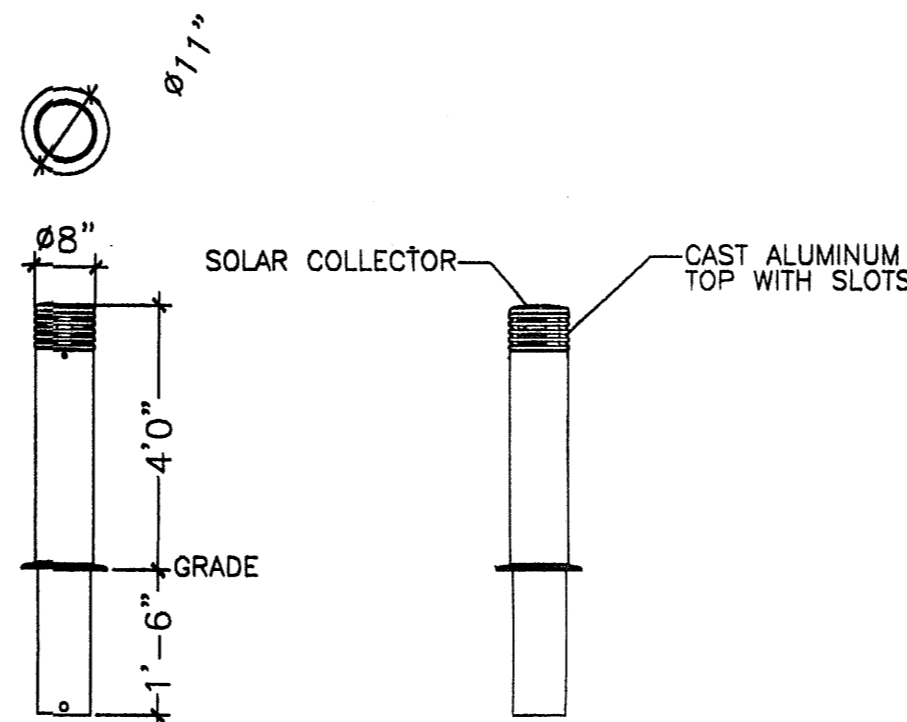
**8 RADIUS CONC. CROSSWALK**  
Scale: N.T.S



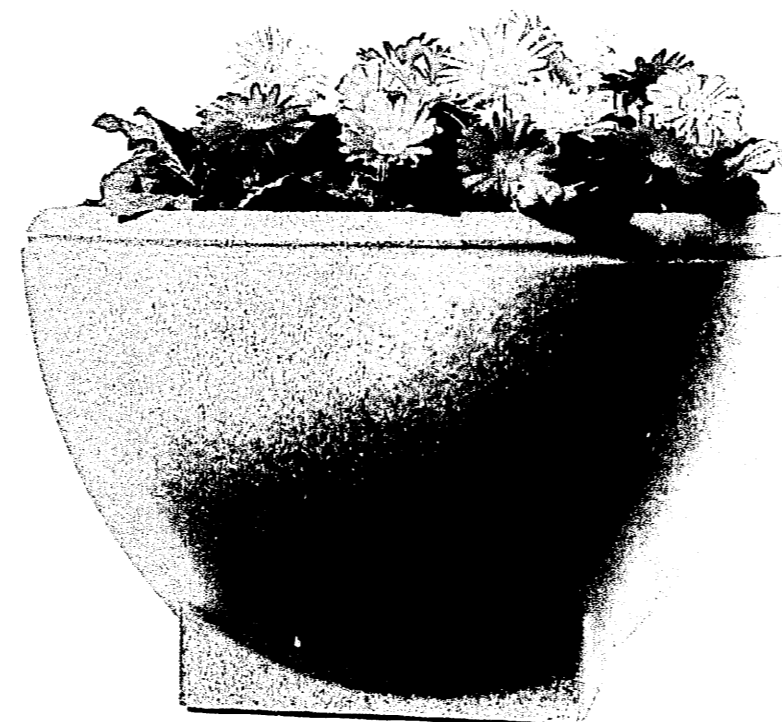
**7B PERSPECTIVE VIEW**  
Scale: N.T.S



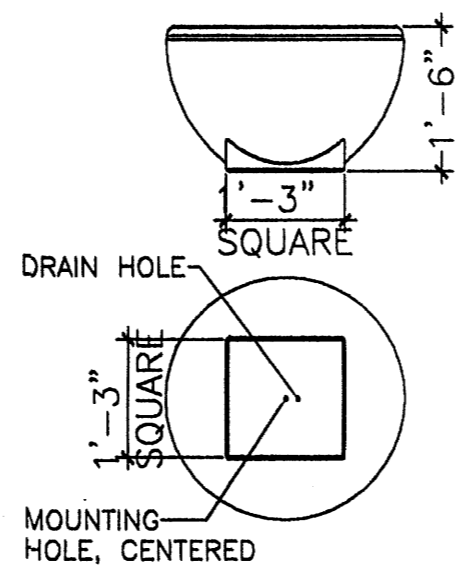
**7A PERSPECTIVE VIEW**  
Scale: N.T.S



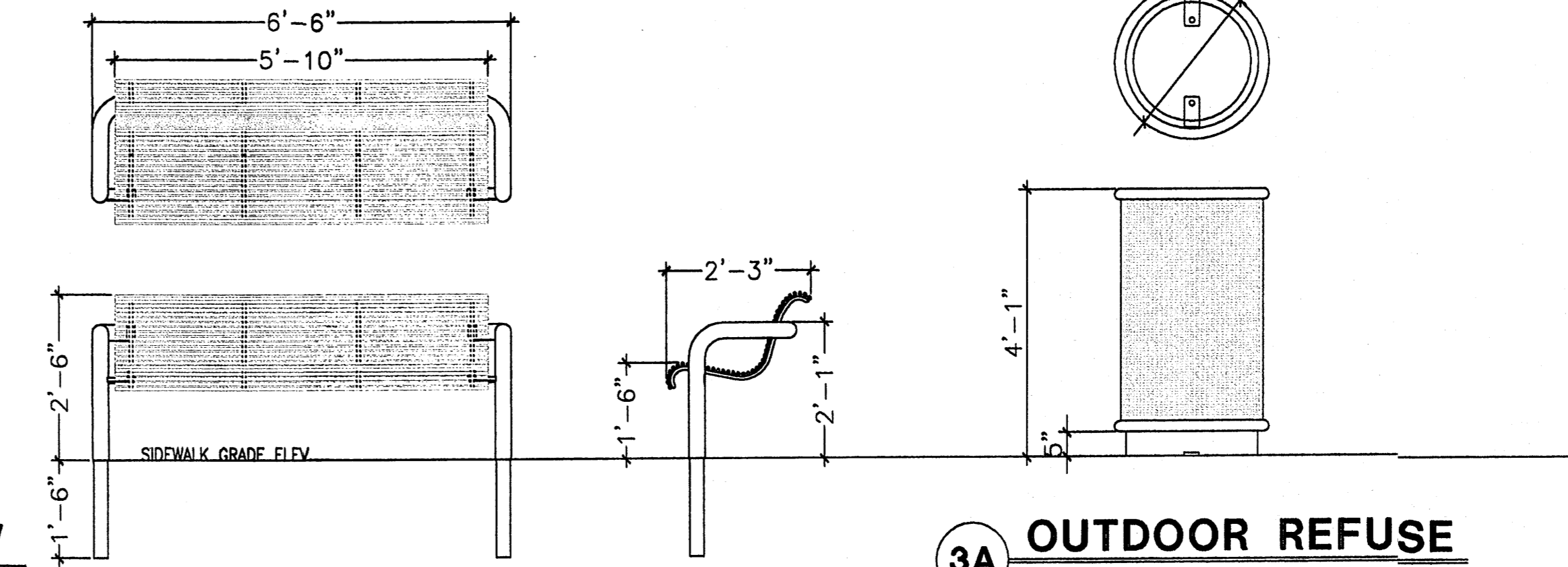
**7 PEDESTRIAN LIGHTING DETAIL**  
Scale: N.T.S



**6A PERSPECTIVE VIEW**  
Scale: N.T.S

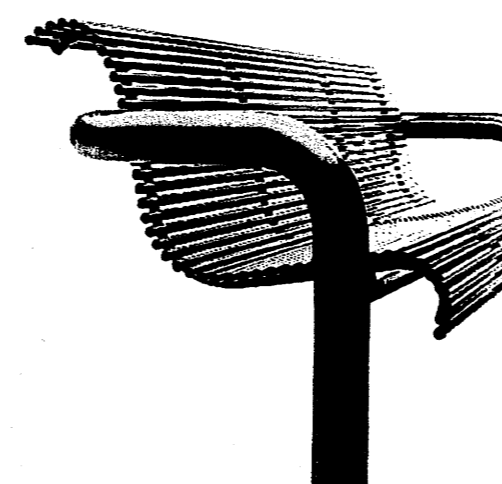


**6 PLANTER DETAIL**  
Scale: N.T.S

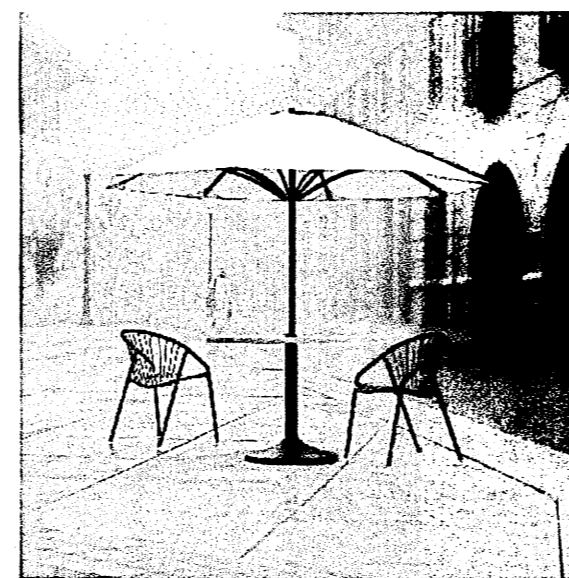


**3A OUTDOOR REFUSE**  
Scale: N.T.S

landscapeforms®  
431 LAWDALE AVE. PHONE: 800-521-2546  
KALAMAZOO, MI 49048 FAX: 269-381-3455  
DESIGN GROUP: BANCAL  
DESCRIPTION: BACKED BENCH 88", EMBEDDED, WOOD

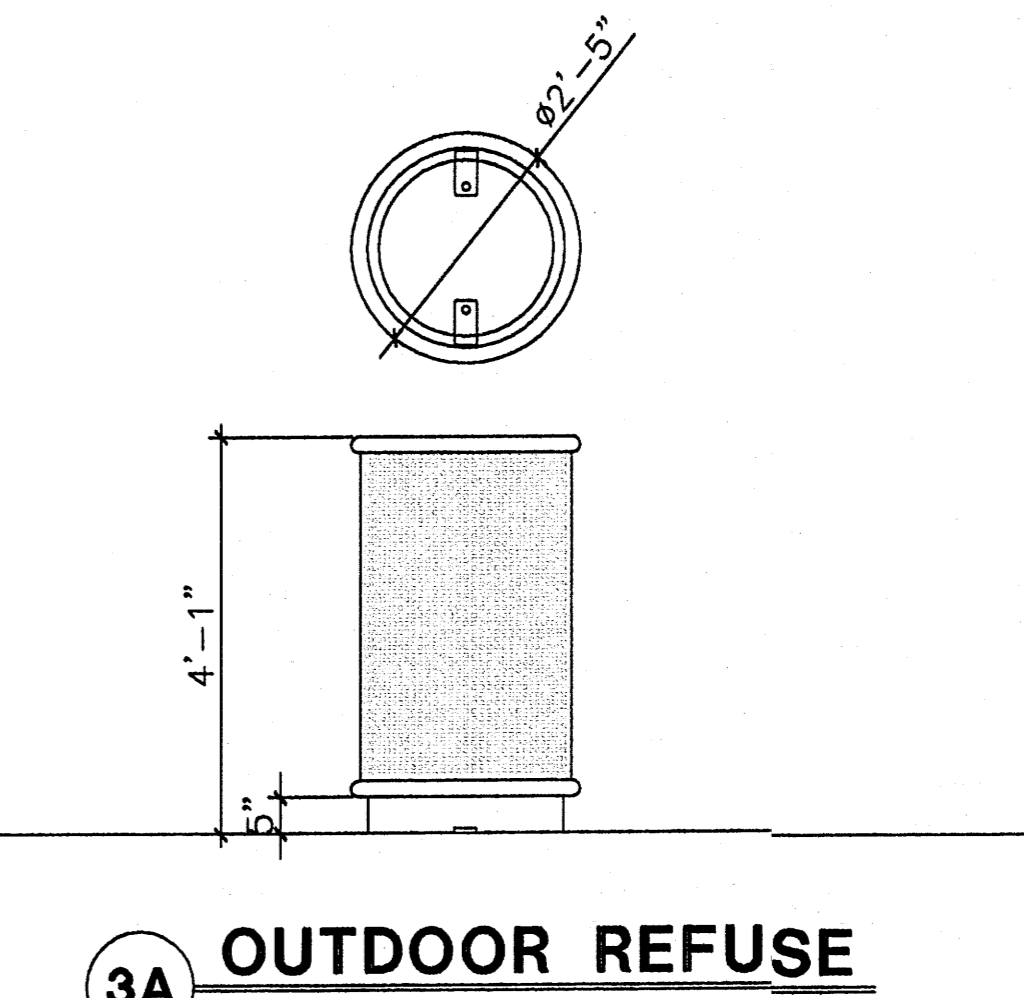
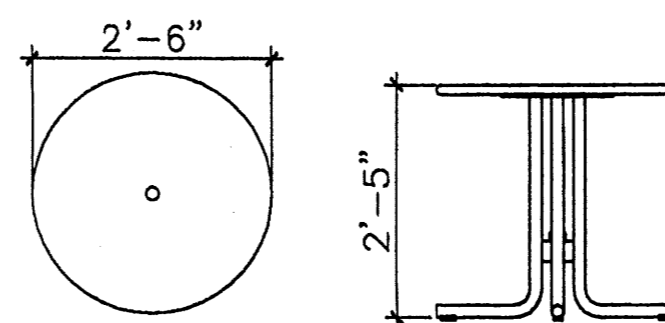


**5 OUTDOOR BENCH**  
Scale: N.T.S

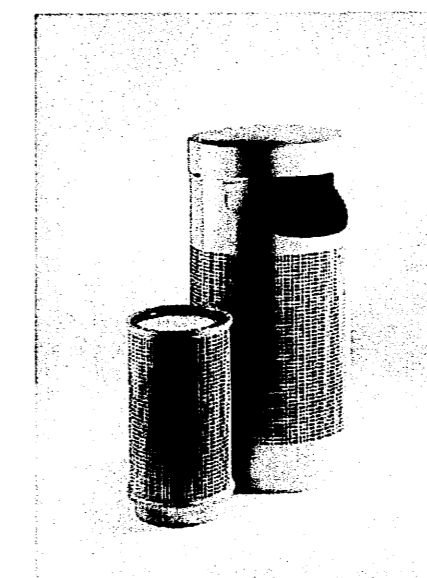


TITLE: 30" ROUND CATERINA TABLE - QUAD SURFACE MOUNT OR FREESTANDING  
DESIGN: CATERINA

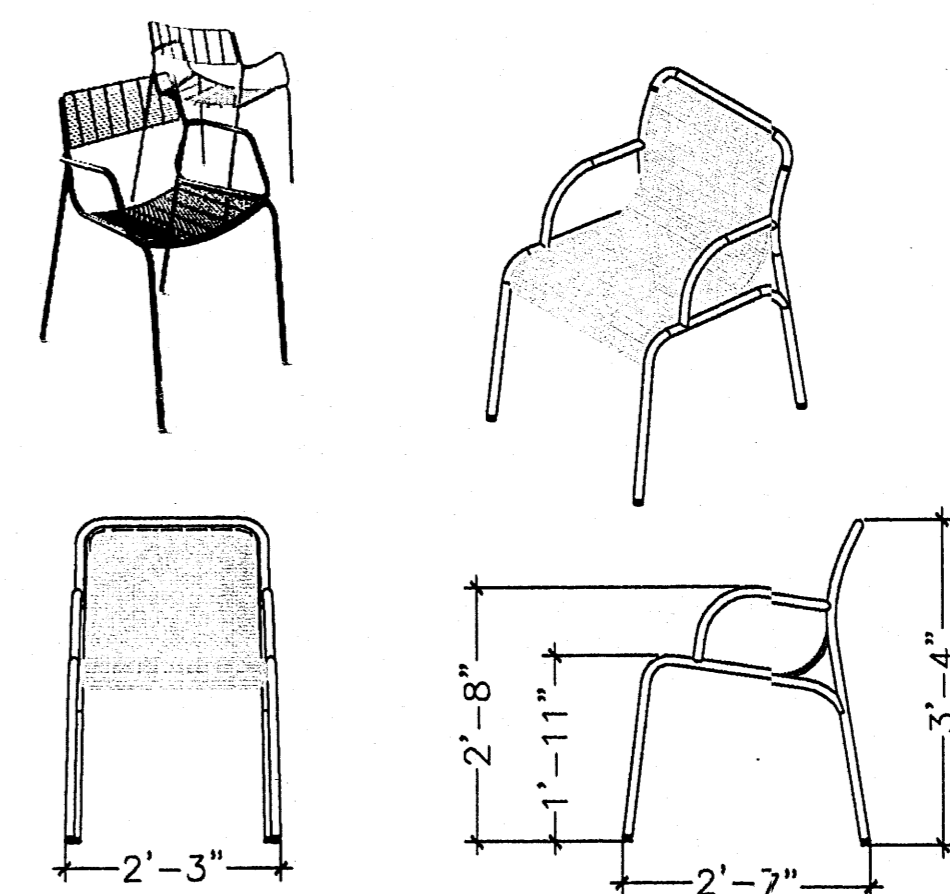
**4 OUTDOOR TABLE**  
Scale: N.T.S



**3 OUTDOOR REFUSE**  
Scale: N.T.S



**3 OUTDOOR REFUSE**  
Scale: N.T.S

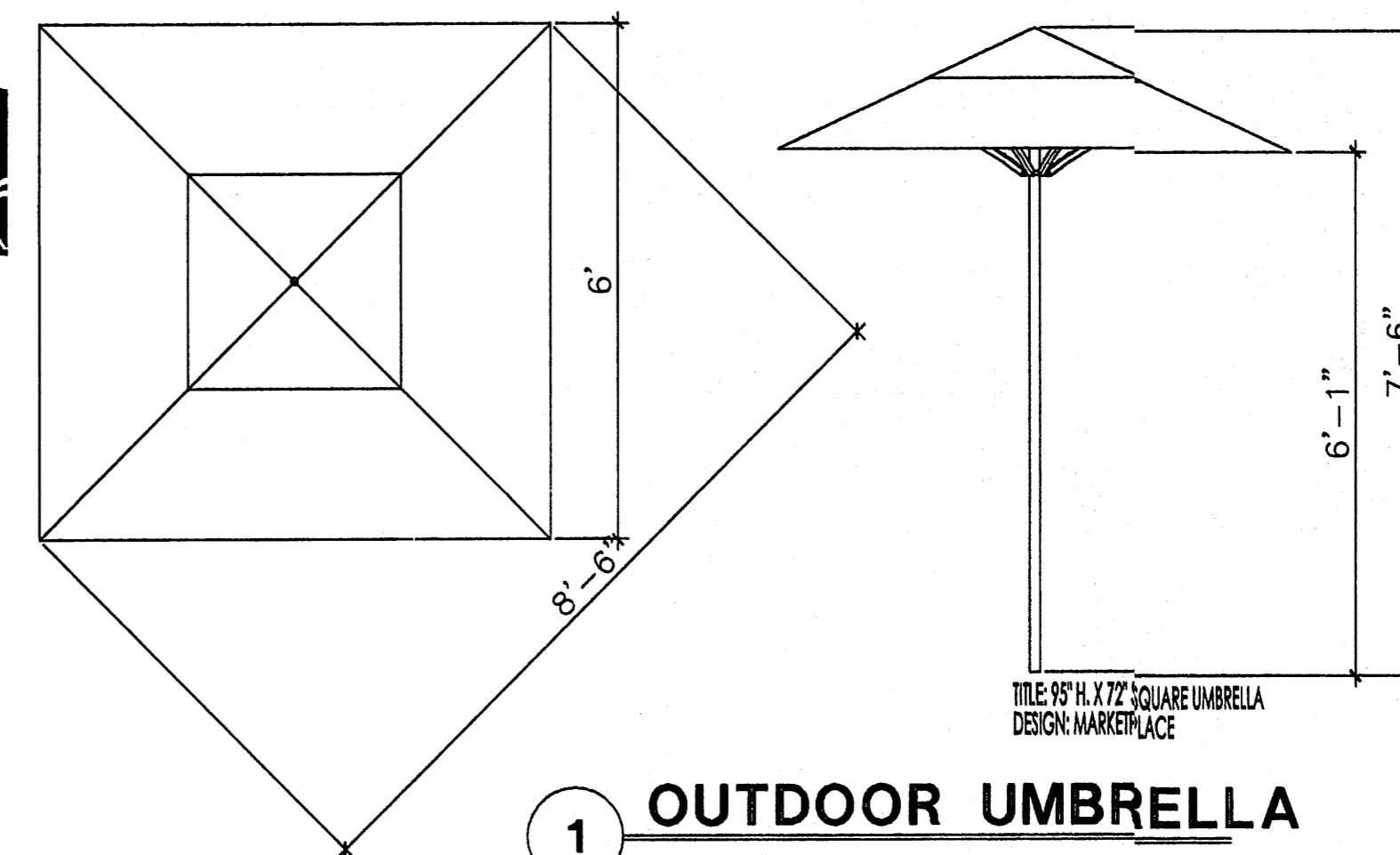


DESCRIPTION: TRAVERSE CHAIR, GRID, W/ ARMS

**2 OUTDOOR SEATING**  
Scale: N.T.S



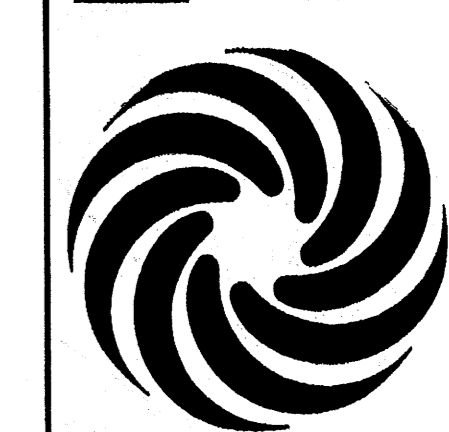
**1A OUTDOOR UMBRELLA**  
Scale: N.T.S



**1 OUTDOOR UMBRELLA**  
Scale: N.T.S

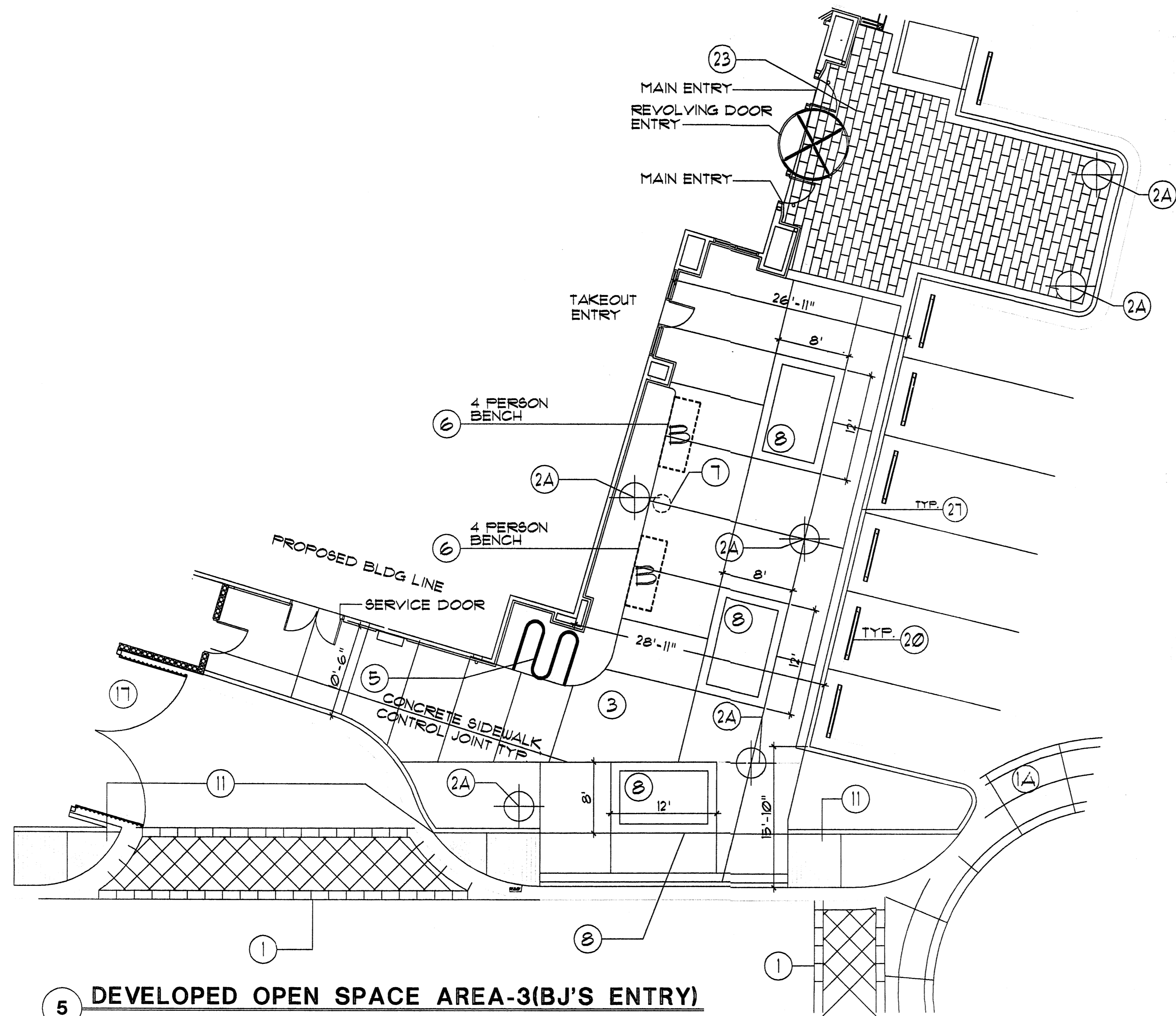
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

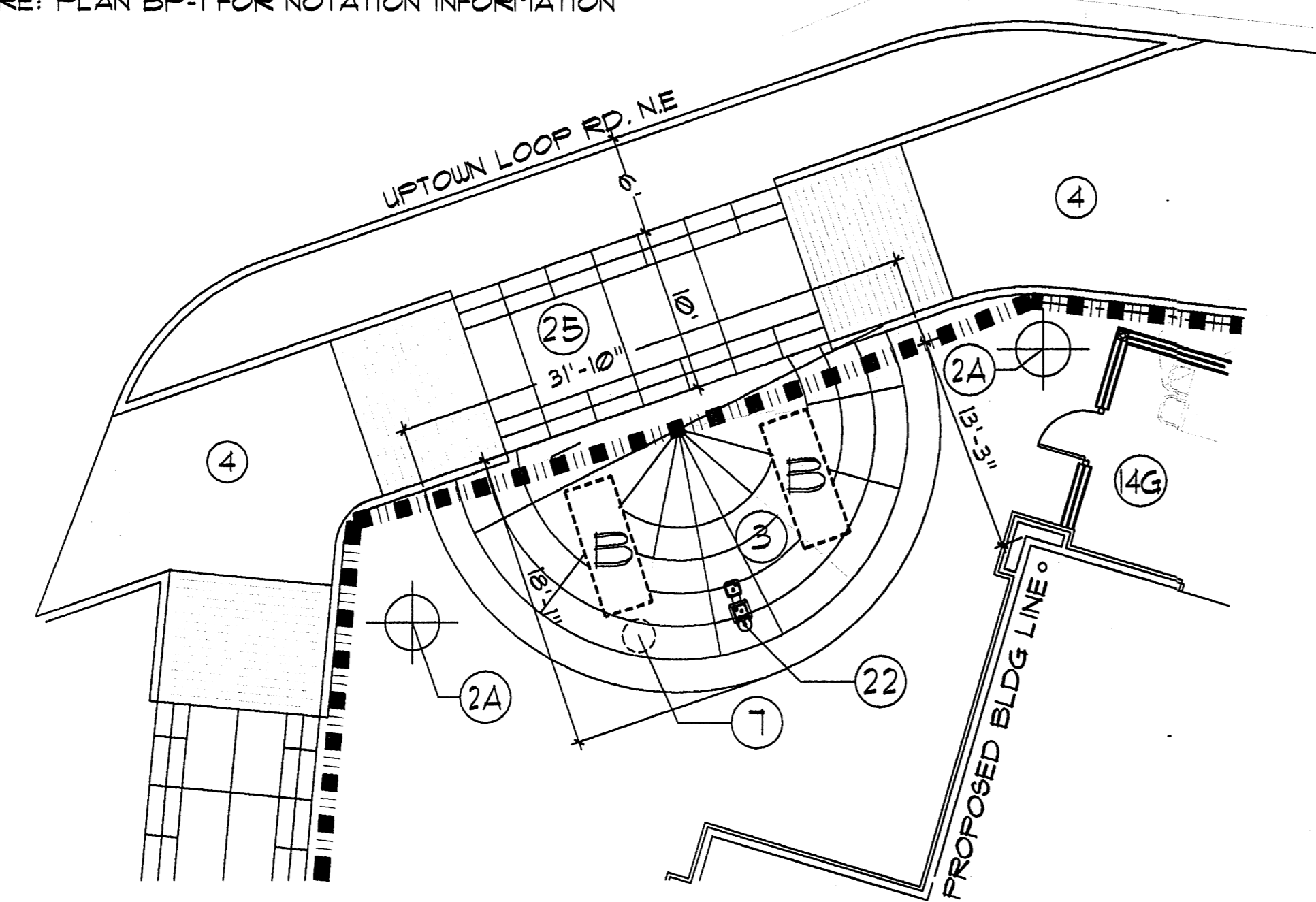


PROJECT TITLE	WINROCK TOWN CENTER
PROJECT NUMBER	22002 LOUISIANA BLVD. NE ALBUQUERQUE NEW MEXICO
PROJECT MANAGER	STEPHEN DUNEAR, AIA
JOB NO.	WIN-EJ
DRAWN BY:	S-J
SHEET TITLE	SITE DETAILS

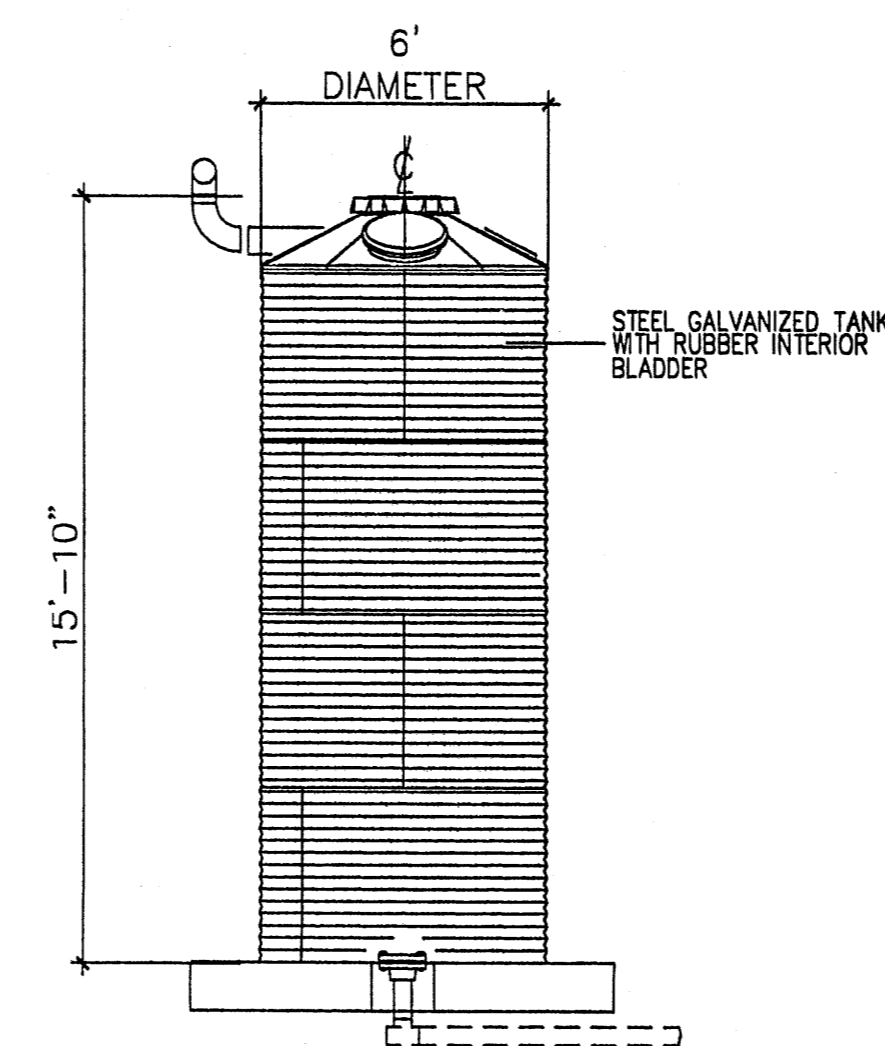
DATE:	4/6/12	DRW:	
SCALE:	AS NOTED	SHEET:	A13



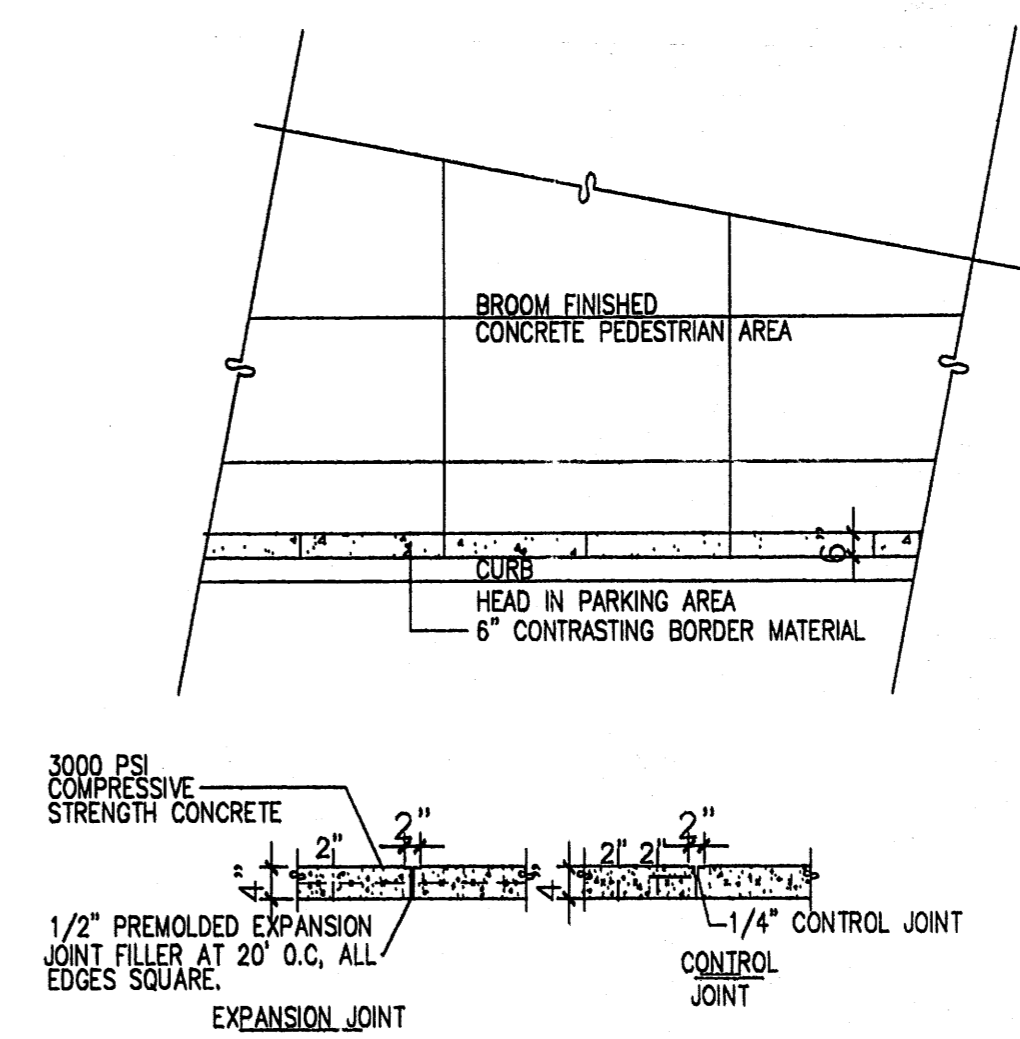
**5 DEVELOPED OPEN SPACE AREA-3(BJ'S ENTRY)**  
 Scale: N.T.S.  
 NOTE:  
 RE: PLAN BP-1 FOR NOTATION INFORMATION



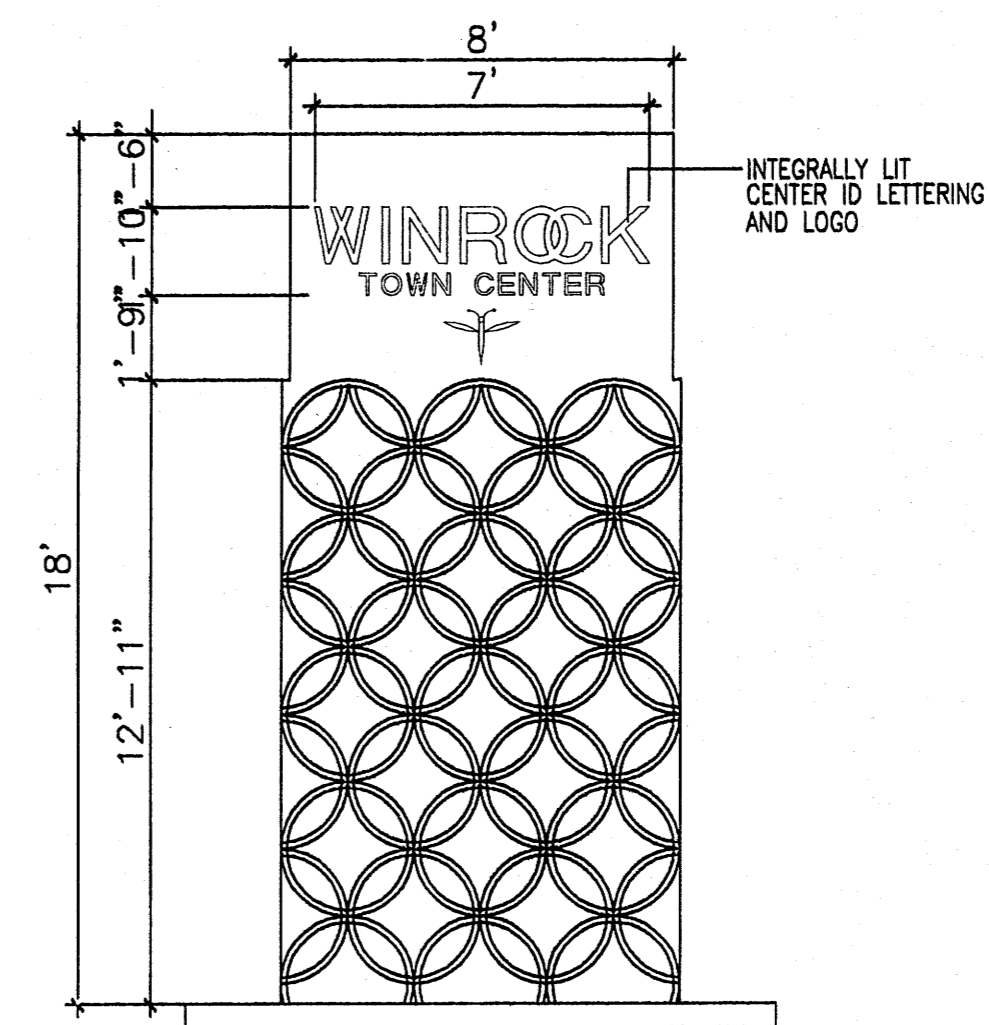
**4 DEVELOPED OPEN SPACE AREA-2**  
 Scale: N.T.S.  
 NOTE:  
 RE: PLAN BP-1 FOR NOTATION INFORMATION



**6 WATER HARVESTING TANK**  
 Scale: N.T.S.



**2 TYPICAL EDGE DETAIL**  
 Scale: N.T.S.



**1 CENTER ID MONUMENT SIGN**  
 Scale: N.T.S.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE  
 WINROCK TOWN CENTER  
 2200 LOUISIANA BLVD. NE  
 ALBUQUERQUE NEW MEXICO

PROJECT MANAGER  
 STEPHEN DUNBAR, AIA  
 JOB NO.  
 WIN-EJ  
 DRAWN BY:  
 S-J  
 SHEET TITLE  
 SITE DETAILS

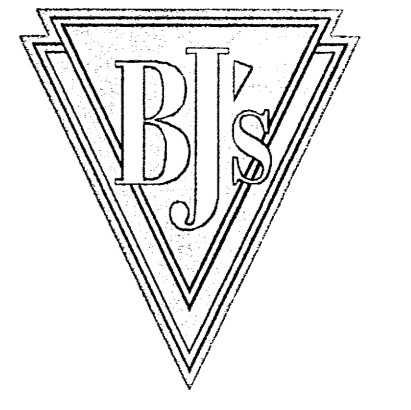
DATE:  
 4/6/12  
 SCALE:  
 AS NOTED  
 SHEET:  
 A14





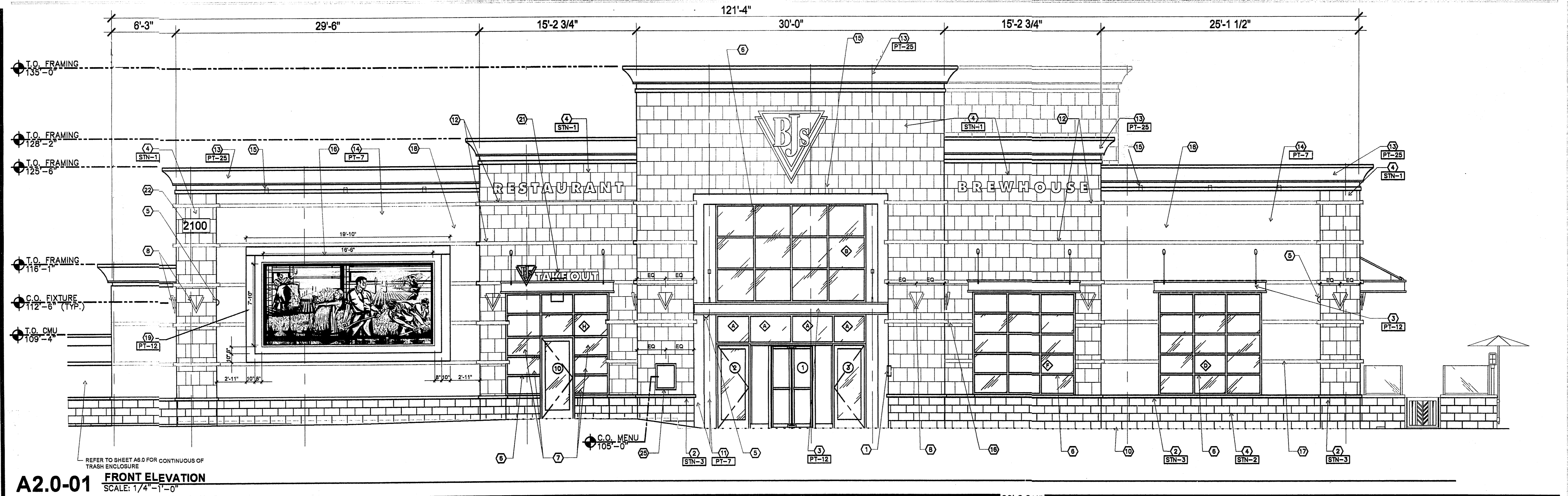




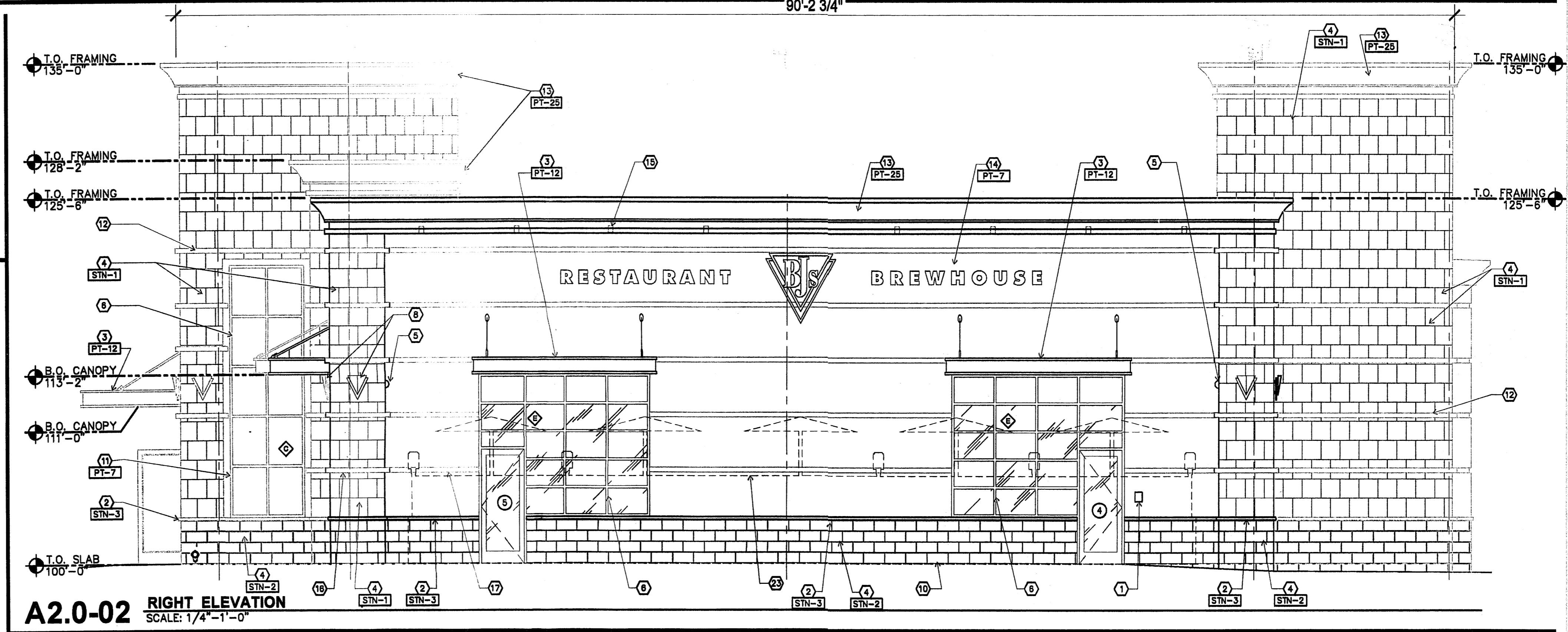


REVISIONS

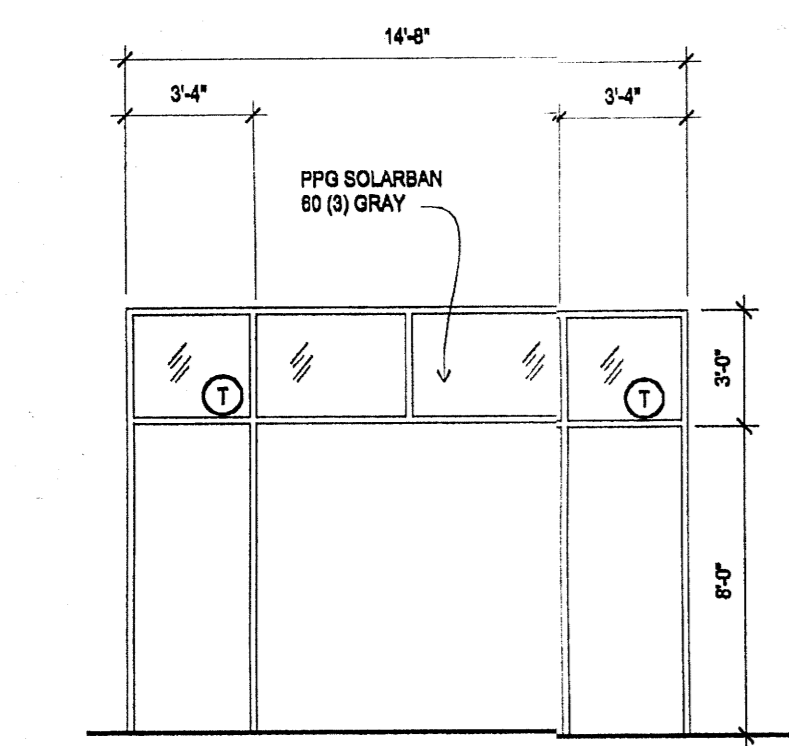
WD PROJECT: BJS0166  
 PERMIT ISSUE DATE: 02/10/2012  
 HEALTH SUBMITTAL:  
 BID ISSUE DATE:  
 CONSTRUCTION SET:



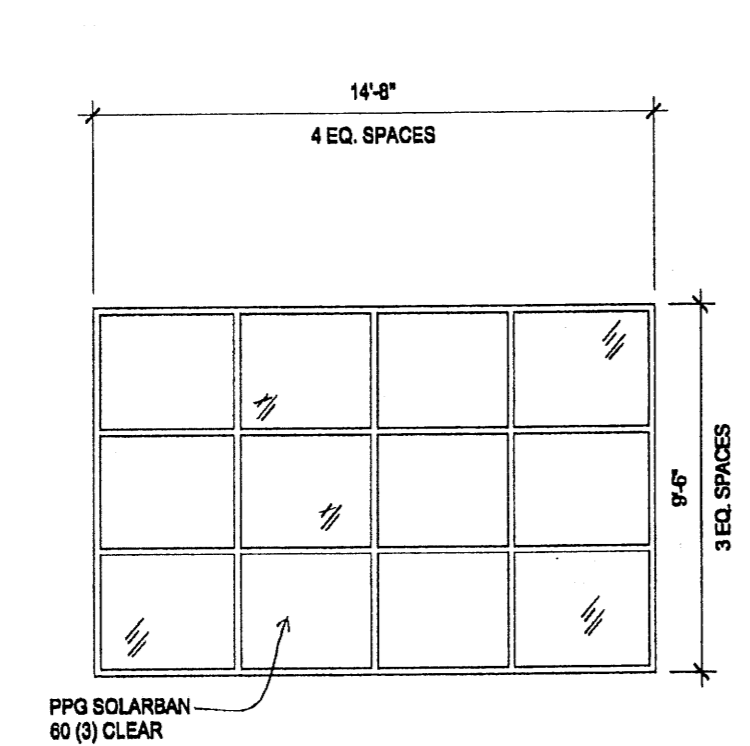
**A2.0-01 FRONT ELEVATION**  
 SCALE: 1/4"=1'-0"



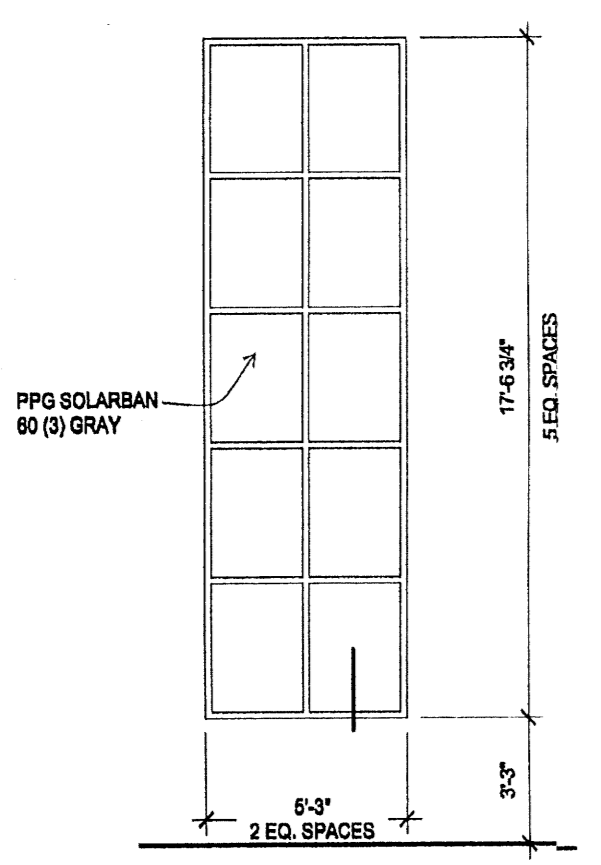
**A2.0-02 RIGHT ELEVATION**  
 SCALE: 1/4"=1'-0"



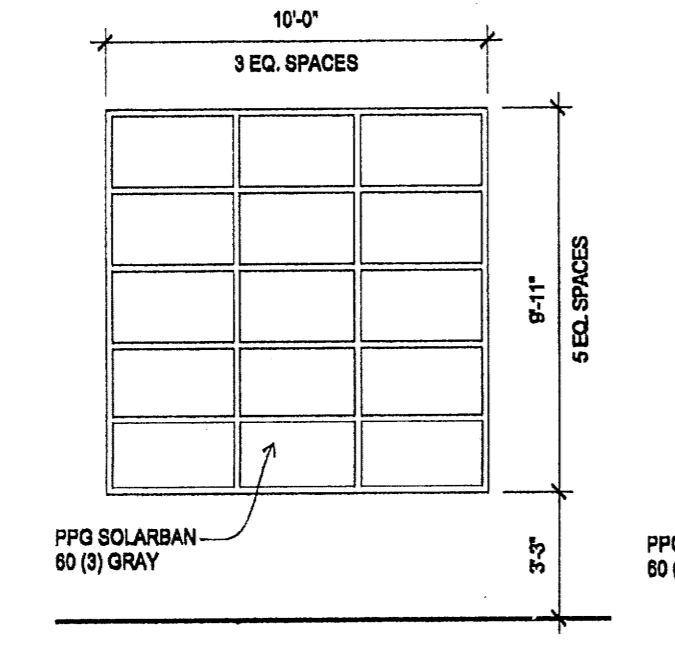
**WINDOW ELEVATION A**  
 SCALE: 1/4"=1'-0"



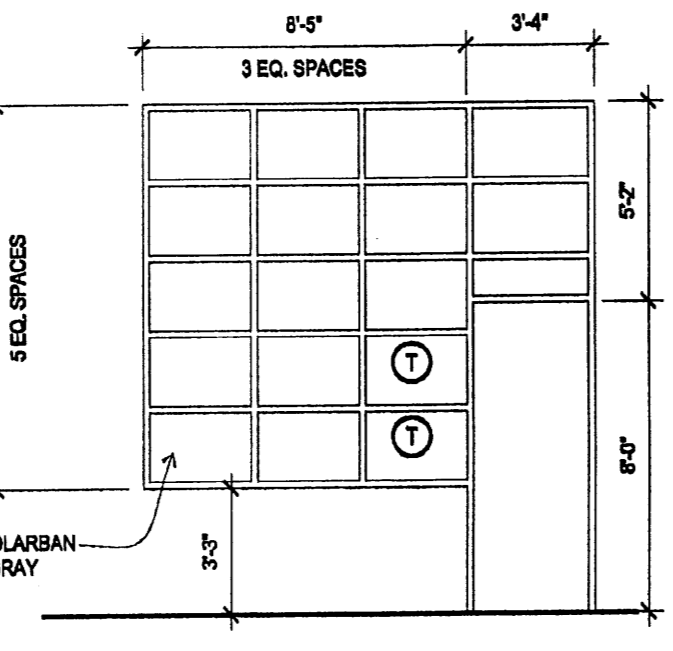
**WINDOW ELEVATION B**  
 SCALE: 1/4"=1'-0"



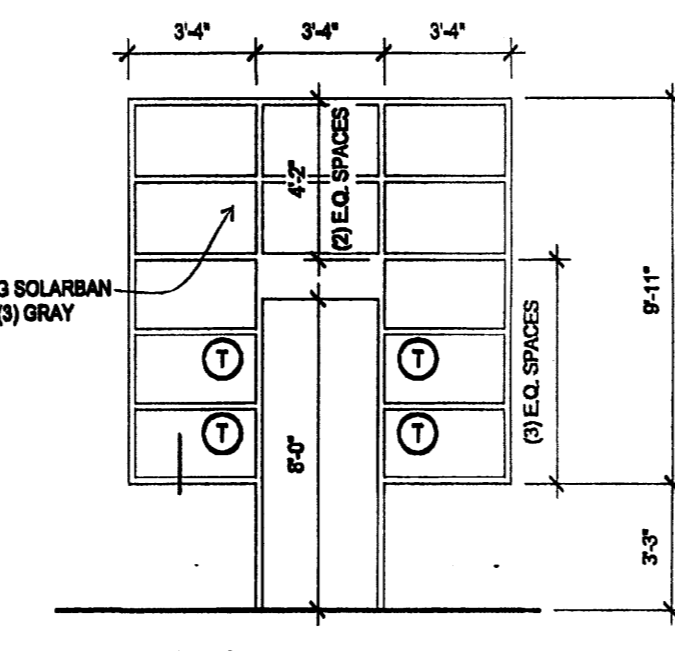
**WINDOW ELEVATION C**  
 SCALE: 1/4"=1'-0"



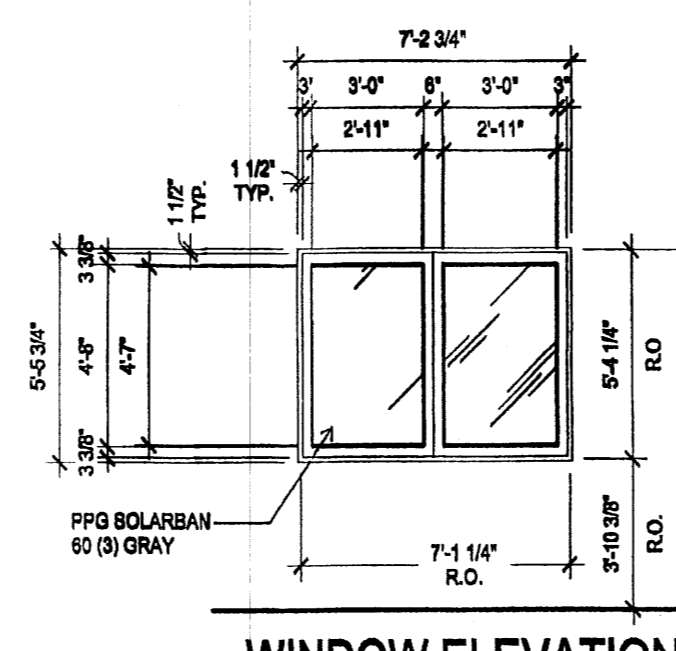
**WINDOW ELEVATION D**  
 SCALE: 1/4"=1'-0"



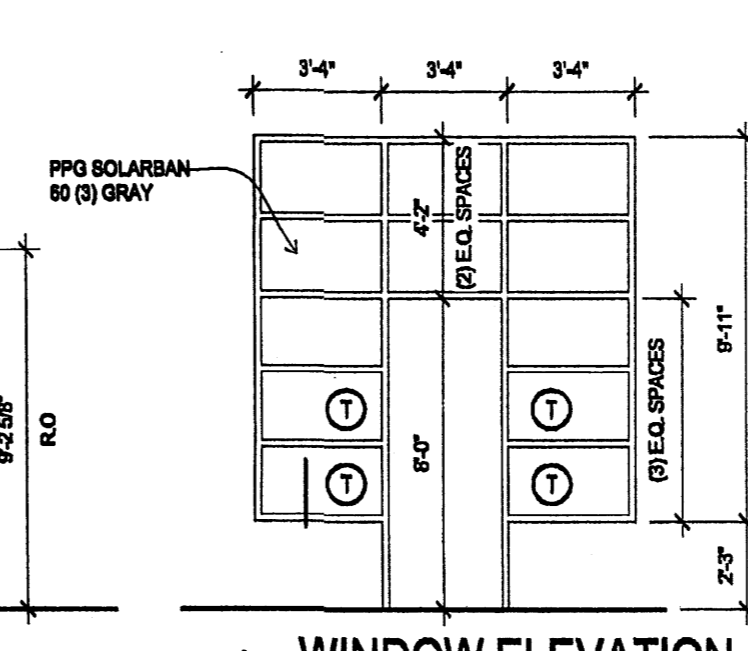
**WINDOW ELEVATION E**  
 SCALE: 1/4"=1'-0"



**WINDOW ELEVATION F**  
 SCALE: 1/4"=1'-0"



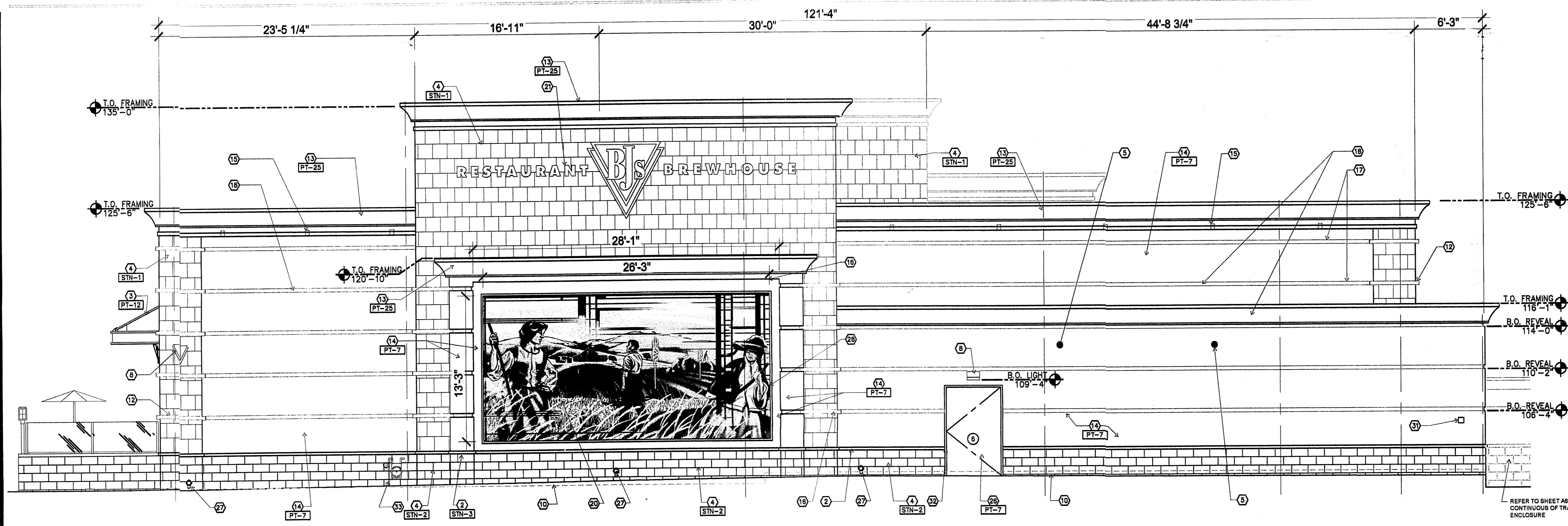
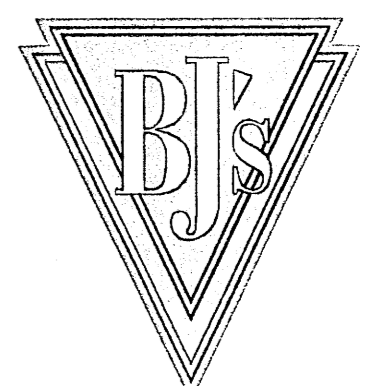
**WINDOW ELEVATION G**  
 SCALE: 1/4"=1'-0"



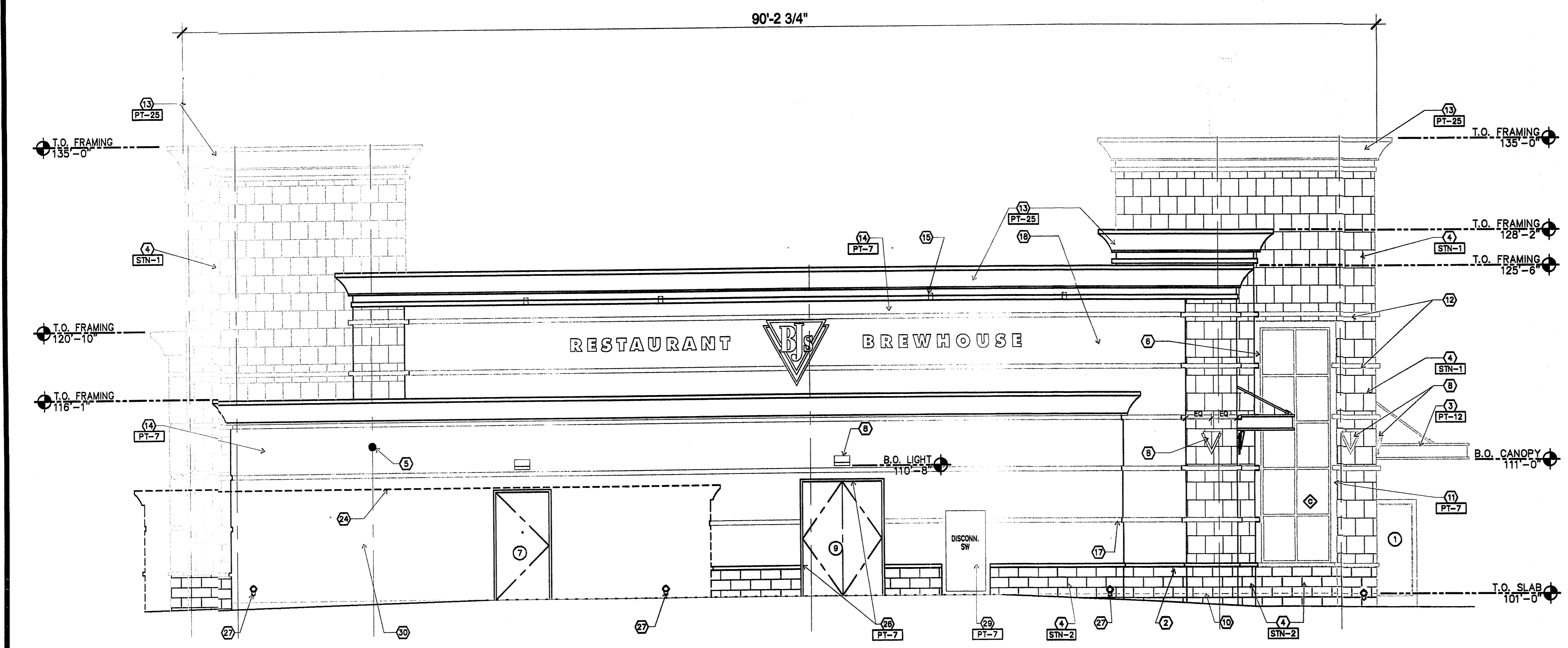
**WINDOW ELEVATION H**  
 SCALE: 1/4"=1'-0"

**ELEVATION KEYED NOTES:**

- 1 KNOX BOX SERIES #3200 RECESSED AT 5'-0" A.F.F. PROVIDE WITH FIRE DEPT. REFLECTIVE ALERT DECAL
- 2 STONE SILL, REFER TO A&S-13
- 3 STEEL CANOPY
- 4 CUSTOM STONE VENEER  
 TYPICAL APPLICATION OF ADHERED STONE VENEER (PER BUILDING CODE) ADHERED VENEER SHALL BE ADHERED BY MEANS OF PORTLAND CEMENT. BACKING SHALL BE PORTLAND CEMENT PLASTER ON METAL LATH. METAL LATH SHALL BE PARTENED TO THE SUPPORTS. MORTAR SHALL BE APPLIED TO THE BACKING AS A SETTING BED. THE SETTING BED SHALL BE A MINIMUM OF 3/4" (10MM) THICK AND A MAXIMUM OF 3/4" (10MM) THICK. A PART OF NEAT PORTLAND CEMENT OR ONE-HALF PORTLAND CEMENT AND ONE-HALF GRADED SAND SHALL BE APPLIED TO THE BACK OF THE VENEER VENEER UNITS AND TO THE SETTING BED AND THE VENEER PRESSED AND TAPPED INTO PLACE TO PROVIDE COMPLETE COVERAGE BETWEEN THE MORTAR BED AND VENEER UNIT. A CEMENT MORTAR SHALL BE USED TO POINT THE VENEER.
- 5 SECURITY CAMERA, MOUNTED AT 12'-0" A.F.F.
- 6 ALUM. STOREFRONT DARK BRONZ/L FINISH
- 7 TEMP. INSULATED GLASS
- 8 LIGHT FIXTURE, REFER TO ELECTRICAL
- 9 NOT USED
- 10 EXTEND STONE TO 1" ABOVE FINISH GRADE, TYP.
- 11 STUCCO JAMB
- 12 METAL LIGHT COVE (B.O.) REFER TO DETAIL 04&T
- 13 PAINTED CORNICE AND COPING CAP TYP.
- 14 STUCCO WALL FINISH
- 15 RECESS LIGHT, REFER TO ELEC.
- 16 LED LIGHT STRIP BEHIND COVE REF. TO SIGNAGE DWGS. FOR INFO (TYP. @ ALL SLATE WALLS).
- 17 PAINTED PLASTER REVEALS REFER TO S&T (TYP. @ ALL STUCCO WALLS)
- 18 LINE OF ROOF DECK BEYOND
- 19 STUCCO MURAL FRAME
- 20 WALL MURAL W/ 2" BLACK FRAME (BY OWNER)
- 21 SIGNAGE, REFER TO SIGNAGE DWGS
- 22 ADDRESS SIGN WITH 1'-0" HIGH LETTERS (N/C)
- 23 OUTLINE OF PATIO ELEVATION, SEE SHEET A75
- 24 TRASH ENCLOSURE, REFER TO A&S
- 25 BLACK POWDER COAT BOX MENU BOARD.  
 CONTACT BJS CONSTRUCTION MANAGER FOR MANUFACTURER'S MODEL NUMBER AND CONTACT INFORMATION.
- 26 HOLLOW METAL DOOR AND FRAME, REFER TO DOOR BOEC
- 27 DOWNSPOUT COVER, SEE PLUMBING DWGS.
- 28 CONCEALED LED STRIP LIGHTS, REFER TO ELEC. DWGS.
- 29 ELECTRICAL UTILITY, REFER TO ELEC. DWGS.
- 30 OMIT WATER TABLE, WAINSCOT AND REVEALS BEHIND SERVICE WALLS
- 31 CO2 FILL PORT, REFER TO KITCHEN DRAWINGS
- 32 2" CHAMFER STONE AT HINGE SIDE
- 33 PROVIDE COMPLETE GAS METER ASSEMBLY PAINTED TO MATCH ADJACENT SURFACES. COORDINATE REQUIREMENT



**A2.1-01 REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**A2.1-02 LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

FINISH SCHEDULE				
PAINT / STAINS				
KEY:	COLOR:	APPLICATION:	MANUFACTURER / SOURCE	DESCRIPTION
PT-7	RED	EXTERIOR STUCCO/PREST DOORS	DUNN-EDWARDS	DEA 165
PT-12	BLACK	AV CABINET DOOR FRAME, HVAC DUCTWORK, METAL AWNING AND MURAL FRAME	DUNN-EDWARDS	DUNN-EDWARDS "BLACK" SEMI-GLOSS DEA 197
PT-15	FLAT BLACK	CEILING	DUNN-EDWARDS	DUNN-EDWARDS "BLACK" FLAT
PT-25	DARK BROWN	EXTERIOR STUCCO CORNICE	DUNN-EDWARD	DE 6014 - LRV50 FLAT
TILE / STONE / FLOORING / CEILING				
KEY:	COLOR:	APPLICATION:	MANUFACTURER / SOURCE	DESCRIPTION
STN-1	GRAY	TOWER/PARAPETS/INTERIOR WALLS W/ GROUT BY CUSTOM BUILDING PRODUCTS- ANTIQUE WHITE, SANDED, 3/4" JOINT SIZE. SEALER: MIRACLE 611 SEAL AND ENHANCE. IMPREGNATING COLOR ENHANCER	RESOURCE BUILDING MATERIALS CONTACT: CARY HAGEN P: 1.948.876.3242 AMERICAN SLATE CONTACT: TANYA WILSON P: 1.888.892.7033	SLATE: 16"x18" NOTE: DISCARD TILES THAT HAVE PREDOMINATELY GREEN PATINA.
STN-2	LIGHT TAN	BASE/WAINSCOT/INTERIOR WALLS W/ GROUT BY CUSTOM BUILDING PRODUCTS- ANTIQUE WHITE, SANDED, 3/4" JOINT SIZE.	RESOURCE BUILDING MATERIALS CONTACT: CARY HAGEN P: 1.948.876.3242 AMERICAN SLATE CONTACT: TANYA WILSON P: 1.888.892.7033	SLATE BASE AND 8"x18"
STN-3	CREAM	WATERTABLE / CAP	CORONADO STONE	SLAB
SC-1	SEALED CONCRETE	MECH/ELEC/ CURBS / TRASH ENCLOSURE SLAB		

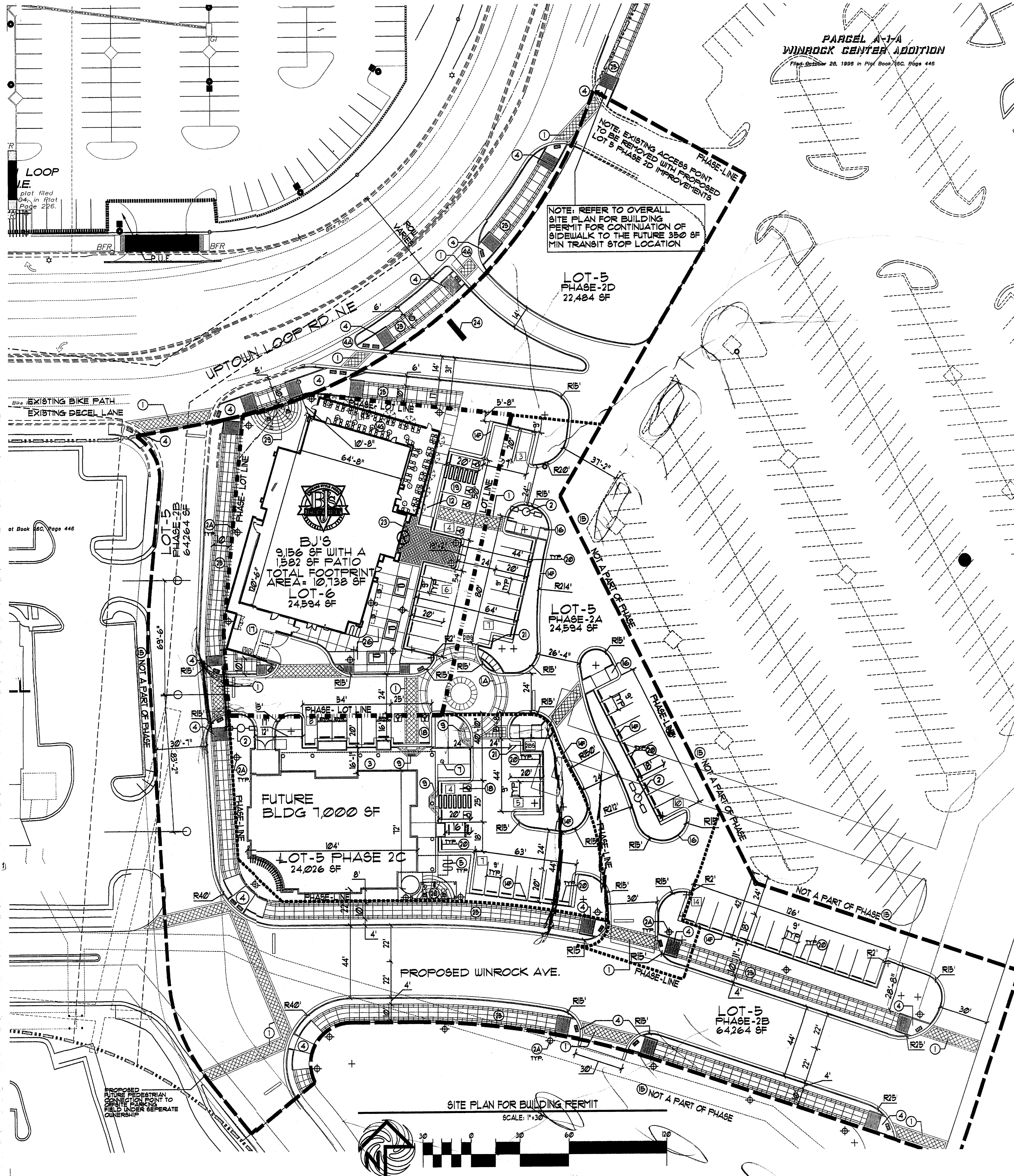
**ELEVATION KEYED NOTES:**

- 1 KNOX BOX SERIES #3200 RECESSED AT 5'-0" A.F.F. PROVIDE WITH FIRE DEPT. REFLECTIVE ALERT DECAL
- 2 STONE SILL, REFER TO A4.2.3
- 3 STEEL CANOPY
- 4 CUSTOM STONE VENEER  
TYPICAL APPLICATION OF ADHERED STONE VENEER (PER BUILDING CODE) ADHERED VENEER SHALL BE ADHERED BY MEANS OF PORTLAND CEMENT. BACKING SHALL BE PORTLAND CEMENT PLASTER ON METAL LATH. METAL LATH SHALL BE FASTENED TO THE SUPPORTS. MORTAR SHALL BE APPLIED TO THE BACKING AS A SETTING BED. THE SETTING BED SHALL BE A MINIMUM OF 3/4" (19MM) THICK AND A MAXIMUM OF 3/4" (19MM) THICK. A PASTE OF NEAT PORTLAND CEMENT OR ONE-HALF PORTLAND CEMENT AND ONE-HALF GRADED SAND SHALL BE APPLIED TO THE BACK OF THE EXTERIOR VENEER UNITS AND TO THE SETTING BED AND THE VENEER PRESSED AND TAPPED INTO PLACE TO PROVIDE COMPLETE COVERAGE BETWEEN THE MORTAR BED AND VENEER UNIT. A CEMENT MORTAR SHALL BE USED TO POINT THE VENEER.
- 5 SECURITY CAMERA, MOUNTED AT 12'-8" A.F.F.
- 6 ALUM. STOREFRONT DARK BRONZE FINISH
- 7 TEMP. INSULATED GLASS
- 8 LIGHT FIXTURE, REFER TO ELECTRICAL
- 9 NOT USED
- 10 EXTEND STONE TO 1" ABOVE FINISH GRADE, TYP.
- 11 STUCCO JAMB
- 12 METAL LIGHT COVE (B.O.) REFER TO DETAIL B.14.1
- 13 PAINTED CORNICE AND COPING CAP TYP.
- 14 STUCCO WALL FINISH
- 15 RECESS LIGHT, REFER TO ELEC.
- 16 LED LIGHT STRIP BEHIND COVE REF. TO SIGNAGE DWGS. FOR INFO (TYP. @ ALL SLATE WALLS).
- 17 PAINTED PLASTER REVEALS REFER TO B.14.1 (TYP. @ ALL STUCCO WALLS.)
- 18 LINE OF ROOF DECK BEYOND
- 19 STUCCO MURAL FRAME
- 20 WALL MURAL W/ 2" BLACK FRAME (BY OWNER)
- 21 SIGNAGE, REFER TO SIGNAGE DWGS
- 22 ADDRESS SIGN WITH 1/2" HIGH LETTERS (NIC)
- 23 OUTLINE OF PATIO ELEVATION, SEE SHEET A7.2
- 24 TRASH ENCLOSURE, REFER TO A8.0
- 25 BLACK POWDER COAT BOX MENU BOARD. CONTACT BJ'S CONSTRUCTION MANAGER FOR MANUFACTURER'S MODEL NUMBER AND CONTACT INFORMATION.
- 26 HOLLOW METAL DOOR AND FRAME. REFER TO DOOR SPEC
- 27 DOWNSPOUT COVER, SEE PLUMBING DWGS.
- 28 CONCEALED LED STRIP LIGHTS. REFER TO ELEC. DWGS.
- 29 ELECTRICAL UTILITY, REFER TO ELEC. DWGS.
- 30 OMIT WATER TABLE, WAINSCOT AND REVEALS BEHIND SERVICE WALLS
- 31 CO2 FILL PORT, REFER TO KITCHEN DRAWINGS
- 32 2" CHAMFER STONE AT HINGE SIDE
- 33 PAINTED COMPLETE GAS METER ASSEMBLY PAINTED TO MATCH ADJACENT SURFACES. COORDINATE REQUIREMENT





**PARCEL A-1A  
WINROCK CENTER ADDITION**  
File: 5/20/04 20, 1995 in Plot Book/EC Page 446



**KEYED NOTE:**

- ① 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A11
- ② 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 8/A13
- ③ 10" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN STREET SIDEWALK RE: DETAIL 9/A13
- ④ 30' LIGHT POLE LOCATION RE: DETAIL 3/A11
- ⑤ 4 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION RE: DETAIL 1/A13
- ⑥ TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL: [Symbol]
- ⑦ CONC. SIDEWALK RE: DET 14/A11
- ⑧ RE: SITE PLAN FOR JOINT LAYOUT
- ⑨ HANDICAP RAMP PER COA STD DUG 2426
- ⑩ AT 1:2 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
- ⑪ INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
- ⑫ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
- ⑬ RE: DETAIL 11/A12
- ⑭ TYPICAL BIKE RACK GRAPHIC SYMBOL: [Symbol]
- ⑮ BENCH LOCATION RE: DETAIL 5/A13
- ⑯ TYPICAL BENCH GRAPHIC SYMBOL: [Symbol]
- ⑰ TRASH RECEPTACLE RE: DET. 3/A1/3
- ⑱ 18" HIGH INTEGRALLY COLORED CONC. RAISED BED/SEATING LANDSCAPE AREA RE: DETAIL 10/A13
- ⑲ TYPICAL PLANTING BED GRAPHIC SYMBOL: [Symbol]
- ⑳ HANDICAP RAMP RE: 15/A11
- ㉑ HANDICAP RAMP RE: 16/A11
- ㉒ HANDICAP RAMP RE: 12/A11
- ㉓ HANDICAP RAMP RE: 11/A11
- ㉔ INDICATES "OPEN SPACE" LANDSCAPE AREAS GC TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
- ㉕ INDICATES "DEVELOPED OPEN SPACE AREA LOCATION RE: PLAN AND LANDSCAPE PLAN FOR INFO
- ㉖ INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE / SEATING AREA RE: KEYED NOTE 8
- ㉗ INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE AREA
- ㉘ INDICATES "DEVELOPED OPEN SPACE 15% LANDSCAPE SHADE TREE LOCATION RE: LANDSCAPE PLAN FOR SHADE TREE INFO
- ㉙ INDICATES "DEVELOPED OPEN SPACE 15% CANOPY SHADE STRUCTURE
- ㉚ INDICATES "DEVELOPED OPEN SPACE ACTIVE WATER HARVESTING CONTAINMENT TANK
- ㉛ 6 DIA. 2' HIGH TANK W/ RUBBER MEMBRANE BLADDER TO ACCEPT ADJACENT ROOF WATER RUNOFF
- ㉜ TANK SHALL BE ELEVATED A MIN. OF 4" OFF ADJACENT GRADE TO ALLOW FOR GRAVITY FLOW TO ADJACENT PLANT BEDS
- ㉝ INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A11 FOR NOTCH DETAIL
- ㉞ INDICATES PROPOSED BJ'S OUTDOOR OPEN AIR PATIO WITH NON FIXED SEATING RE: DETAIL SHEET PLAN A12 FOR PATIO DETAIL INFO
- ㉟ NOT A PART-FUTURE REDEVELOPMENT PHASE
- ㊱ 6" HIGH CONC. ISLAND RE: DET 4/A11
- ㊲ RE: SITE GRADING PLAN FOR INFO
- ㊳ SERVICE YARD. RE: DETAIL PLAN SHEET A6.0 FOR YARD DETAILS
- ㊴ HC PARKING STALL RE: DET 5/A12
- ㊵ DUAL CONFIGURATION HC PARKING STALL RE: DET 9/A12
- ㊶ WHEELSTOP RE: DET 5/A12
- ㊷ NOTE: WHEEL STOPS OCCUR AT EACH PARKING SPACE AS REQUIRED BY USDP
- ㊸ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
- ㊹ NOTE: EACH ON-SITE STALL MEASURES 4' X 8' IN SIZE
- ㊺ RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12
- ㊻ FOR "MOTOR CYCLE PARKING" SIGN DETAIL
- ㊼ COMBINATION PET-HUMAN WATER FOUNTAIN RE: DETAIL 11/A13
- ㊽ EXTERIOR 12" X 24" BRAZILIAN SLATE TILE AT BJ'S (LOT 6)
- ㊾ MAIN BUILDING ENTRY PATHWAY
- ㊿ PROPOSED CENTER ID SIGN RE: DETAIL 11/A14 FOR SIGN ELEV.
- ① PERIMETER CONCRETE STREET SIDEWALK WITH DECORATIVE BORDER RE: DETAIL 9/A13
- ② INDICATES PROPOSED OUTDOOR DEVELOPED PLAZA AREA ON THE SOUTHEAST CORNER OF THE BJ'S RESTAURANT. AREA SHALL CONTAIN LANDSCAPE PLANTING BEDS ADJACENT TO CONCRETE WALKWAYS. THE CENTER PORTION OF THE PLAZA AREA SHALL CONTAIN RAISED CONCRETE PLANTERS AND A DRINKING FOUNTAIN FOR PET AND PEDESTRIAN USE. THE NORTHERN PART OF THE PROPOSED PLAZA AREA SHALL BE FURTHER ENHANCED WITH SLATE TILE BETWEEN THE ENTRY FACADE AND FACE OF CURB RE: ENLARGED DETAIL 9/A14 FOR INFO
- ③ PLAZA SIDEWALK EDGE DETAIL RE: DETAIL 2/A14
- ④ PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 3/A14 FOR INFO
- ⑤ PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 4/A14 FOR INFO

PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_

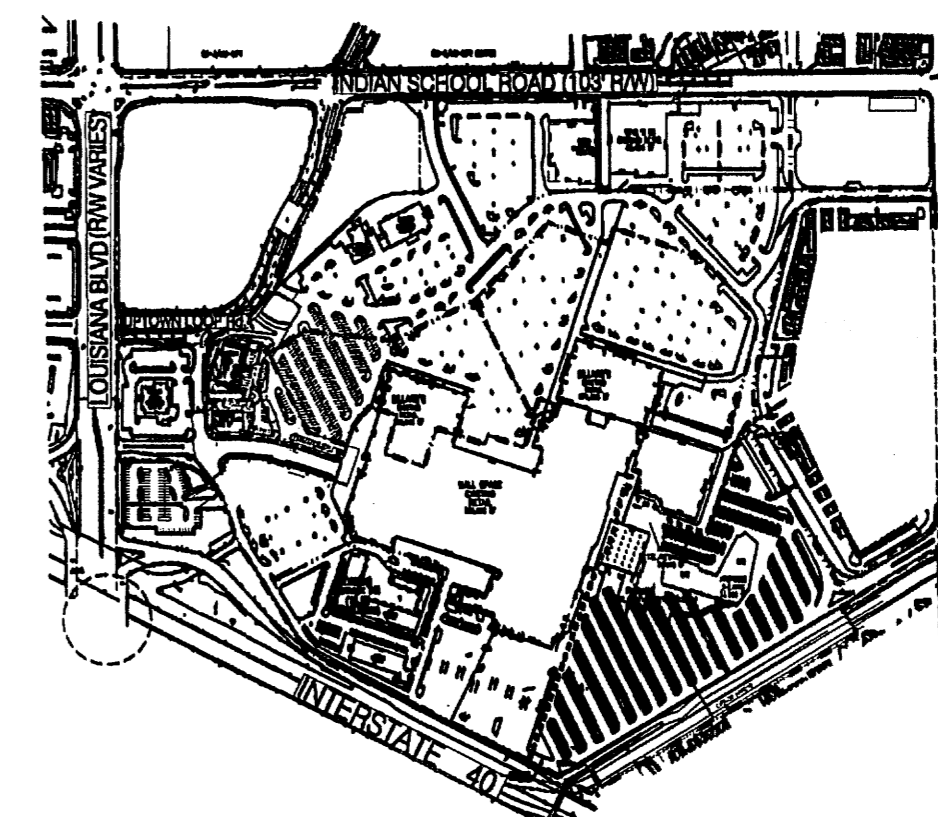
Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB AECOM ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

**KEYED NOTE:**



**PEDESTRIAN SEATING TABULATION**

PEDESTRIAN SEATING TABULATION (LOT-6 BJ'S) WITHIN BJ'S DEVELOPED OPEN SPACE

- (4) 4 PERSON BENCHES
- (2) 15 PERSON RAISED PLANTER BED WALLS
- 55 TOTAL PROVIDED PUBLIC SEATS

PEDESTRIAN SEATING TABULATION (LOT-5 PHASE 2-C FUTURE BUILDING AREA) WITHIN FUTURE SHOPS DEVELOPED OPEN SPACE

- (2) 4 PERSON BENCHES
- 8 TOTAL PROVIDED PUBLIC SEATS

TOTAL PROVIDED PUBLIC SEATS LOT-6/LOT 5 PHASE 2-C = 63 SEATS

NOTE: ALL CROSS WALK LOCATIONS SHALL BE MAINTAINED BY THE LANDOWNER

NOTE: ALL LANDSCAPED AREAS TO BE DEPRESSURED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTCHES

NOTE: PROPOSED PEDESTRIAN ACCESS ALONG THE UPTOWN LOOP ROW SHALL BE PROVIDED BY A SERIES OF RAMPS AND TEXTURED PAVING SECTIONS FROM THE NORTHWEST CORNER OF LOT-6 TO THE PROPOSED MASS TRANSIT STOP LOCATED AT THE SIGNALIZED INTERSECTION AS SHOWN ON THE OVERALL SITE PLAN FOR BUILDING PERMIT

NOTE: LOT 6 AND LOT 5 PHASE-2A SHALL BE COMPLETED CONCURRENTLY UNDER LOT 6 IMPROVEMENTS

NOTE: LOT 6 AND LOT 5 PARKING AREAS SHALL HAVE SHARED PARKING AGREEMENTS IN PLACE

**LINE/TYPE LEGEND**

INTERNAL PHASE LINE	-----
PROPOSED LOT LINE	-----
PROJECT AREA AND OUTER PHASE AREA LIMITS	-----
EXISTING PROPERTY LINE	-----
EXISTING CURB LINE	-----
PROPOSED CURB LINE	-----

SITE DATA TABLE	BJ'S RESTAURANT (LOT-6)	FUTURE BLDG AREA	PHASE AREA TOTALS (LOT 5-P2 AND 6)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION		
TOTAL ACREAGE:	RE: SITE PLAN FOR SUBDIVISION		
EXISTING ZONING:	SU-3 MI-UPD		
PROPOSED USE:	RESTAURANT AND GENERAL RETAILING		
BUILDING SIZE:	9,156 SF + 1,582 SF PATIO = 10,738	1,000 SF TOTAL	
TOTAL PARKING PROVIDED:	11 SPACES	51 SPACES	68 PROVIDED SPACES
TOTAL PARKING REQ.:	18 SPACES	14 SPACES	2 PER 1000 = 32 SPACES
HC PROVIDED:	4 SPACES	4 SPACES	8 HC (INCLUDING 8 VAN ACCESSIBLE)
HC REQUIRED:	1 SPACES	4 SPACES	5 HC SPACES
BIKE SPACES PROVIDED:	5 SPACES	5 SPACES	5 BIKE SPACES
BIKE SPACES REQUIRED:	1 SPACES	3 SPACES	1 PER 20 CAR SPACES = 3
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES	4 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACES	2 SPACES	3 SPACES

REVISION	DATE	BY

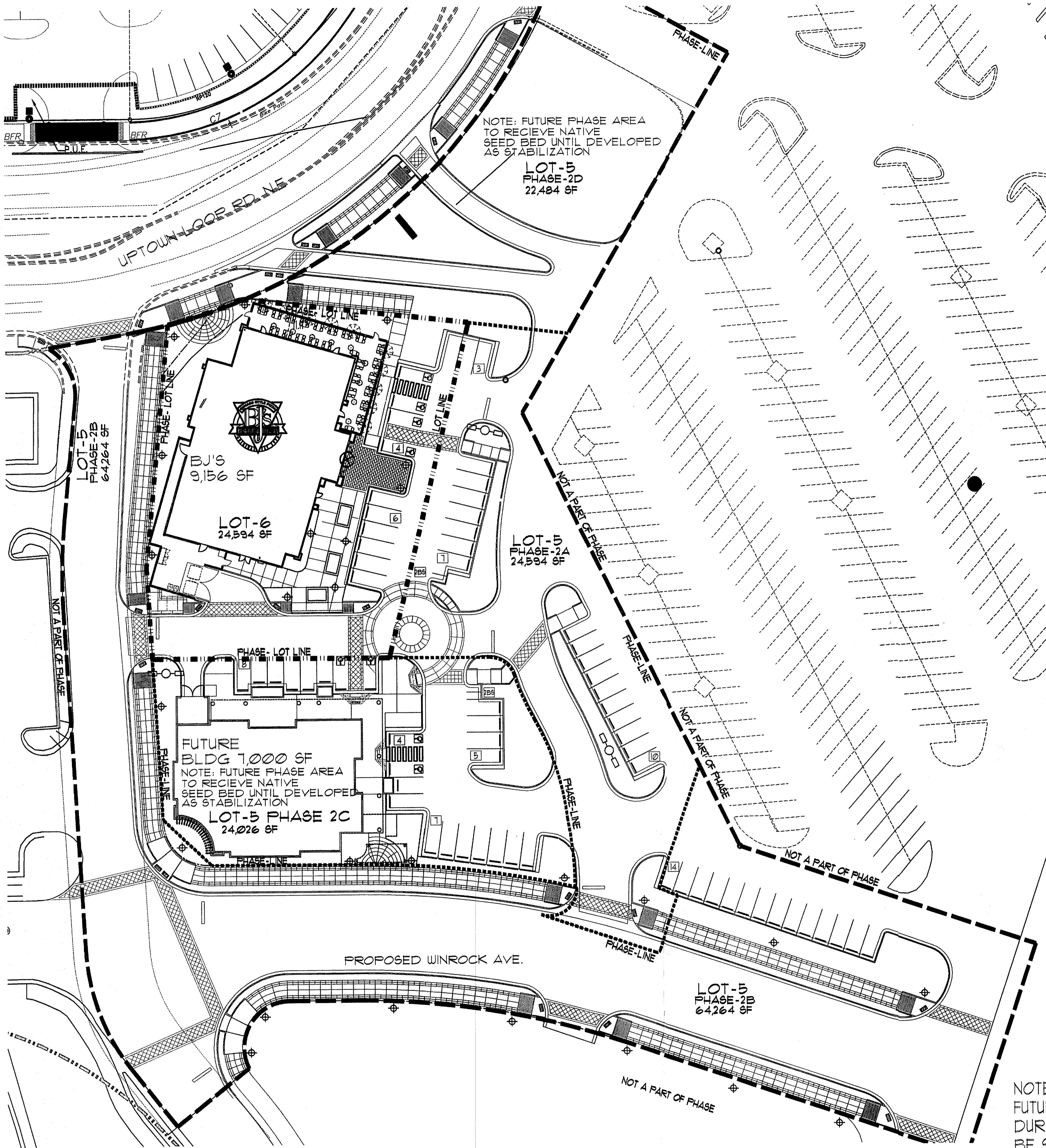
**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: WINROCK TOWN CENTER  
2200 LOUISIANA BLVD. NE  
ALBUQUERQUE, NEW MEXICO

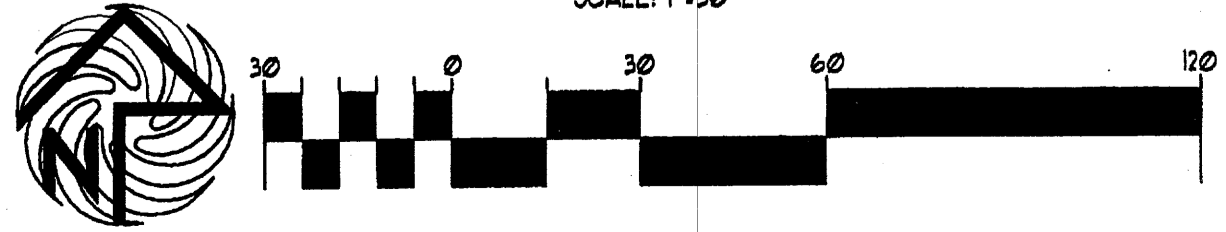
PROJECT NUMBER: 5-1  
JOB NO.: WIN-01  
DRAWN BY: S-J  
CHECKED BY: S-J

DATE: 4/6/12  
SCALE: AS NOTED

**SITE PLAN FOR BUILDING PERMIT**



SITE PHASING PLAN  
SCALE: 1"=30'



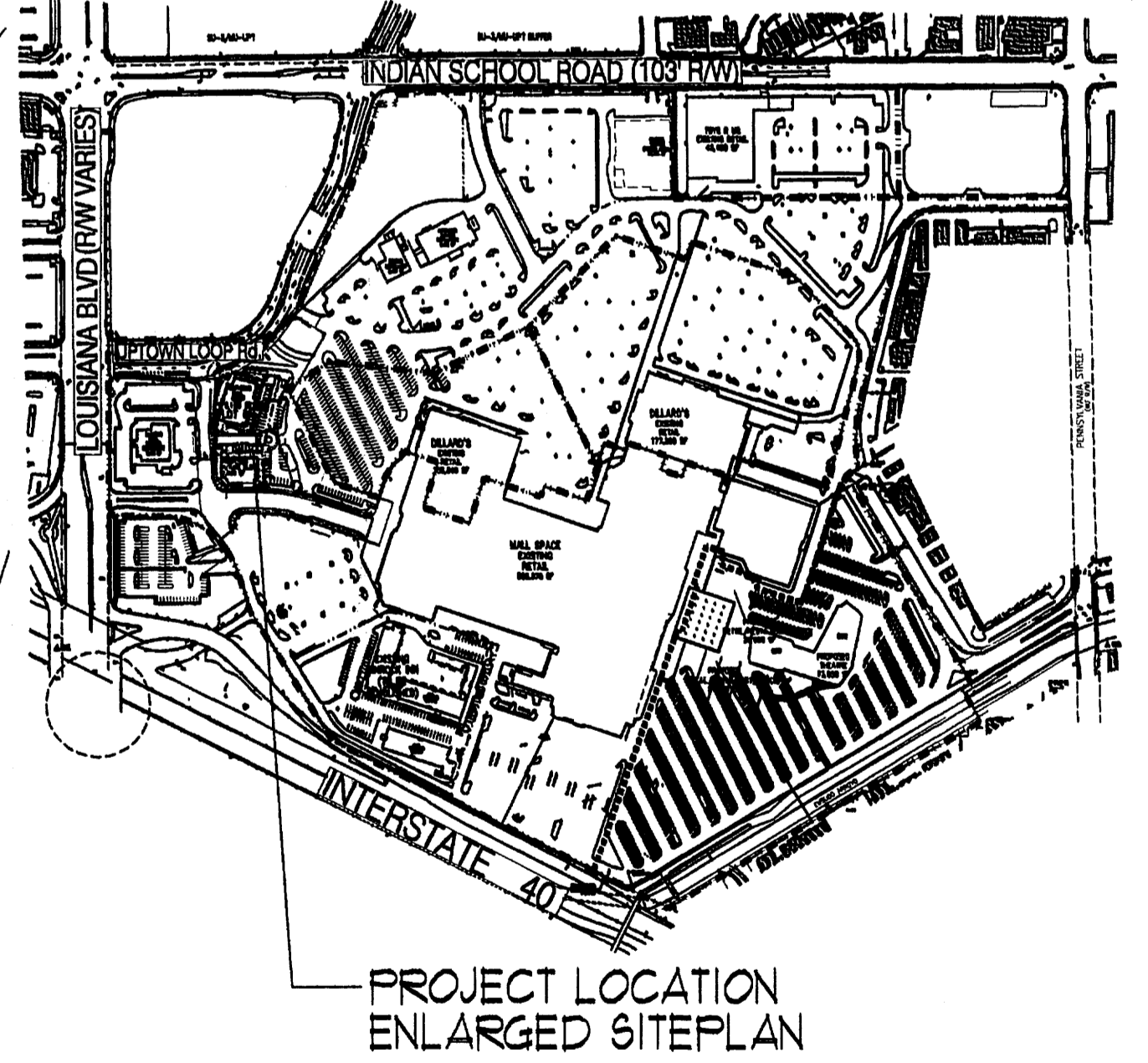
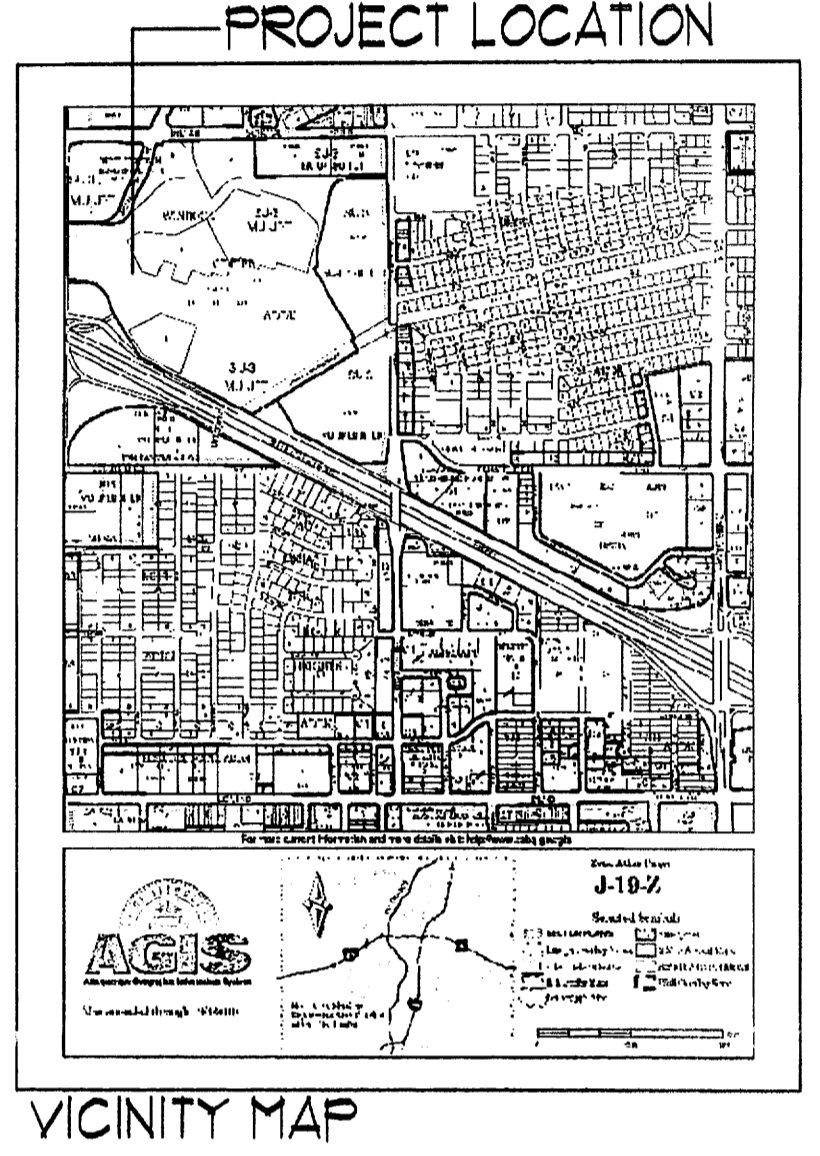
PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB AGENCY ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary



NOTE:  
 FUTURE PHASE IMPROVEMENT AREAS MODIFIED DURING PREVIOUS PHASE IMPROVEMENTS SHALL BE STABILIZED BY USE OF NATIVE SEED LANDSCAPING UNTIL COMMENCEMENT OF PROPOSED PHASE IMPROVEMENT AREA

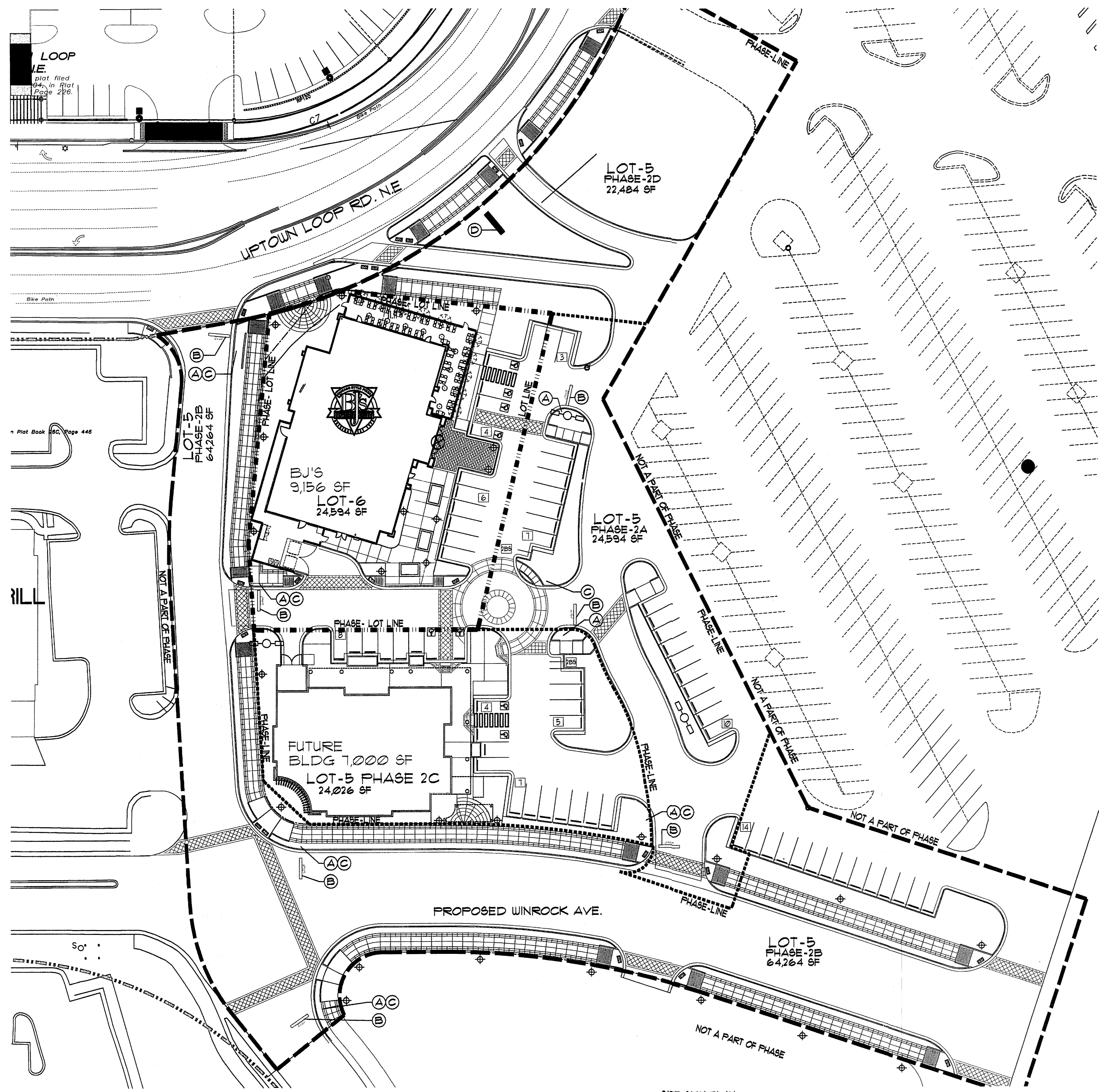
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE WINROCK TOWN CENTER 2200 LOUISIANA BLVD. NE ALBUQUERQUE NEW MEXICO	JOB NO. WIN-EJ	DRAWN BY: S-J
PROJECT MANAGER STEPHEN DUNEAR, AIA	SHEET TITLE SITE PHASE PLAN	
DATE: 4/6/12	SCALE: AS NOTED	







- KEYED NOTE:**
- (A) STOP SIGN, RE DETAIL 3A/A12
  - (B) PAINTED STOP BAR, RE DETAIL 1/A12
  - (C) PEDESTRIAN CROSSING SIGN, RE DETAIL 3/A12
  - (D) PROPOSED CENTER ID SIGN, RE: DETAIL 1/A14 FOR SIGN EL.

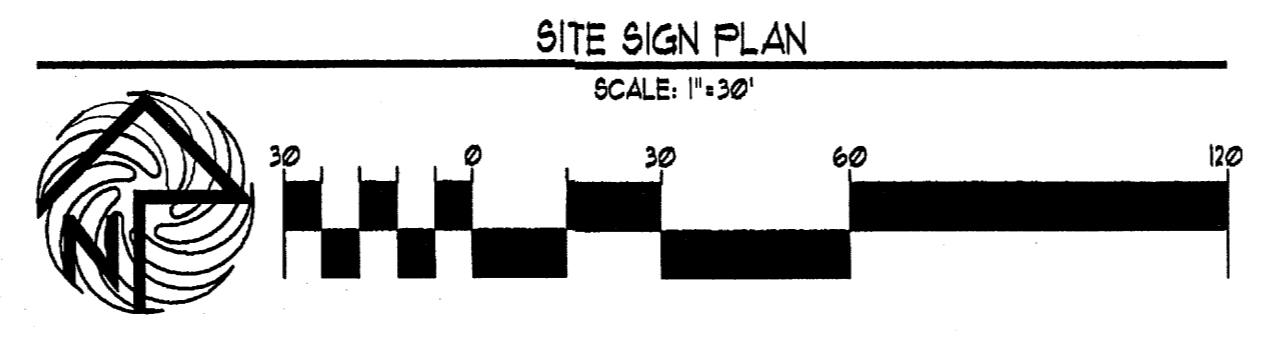
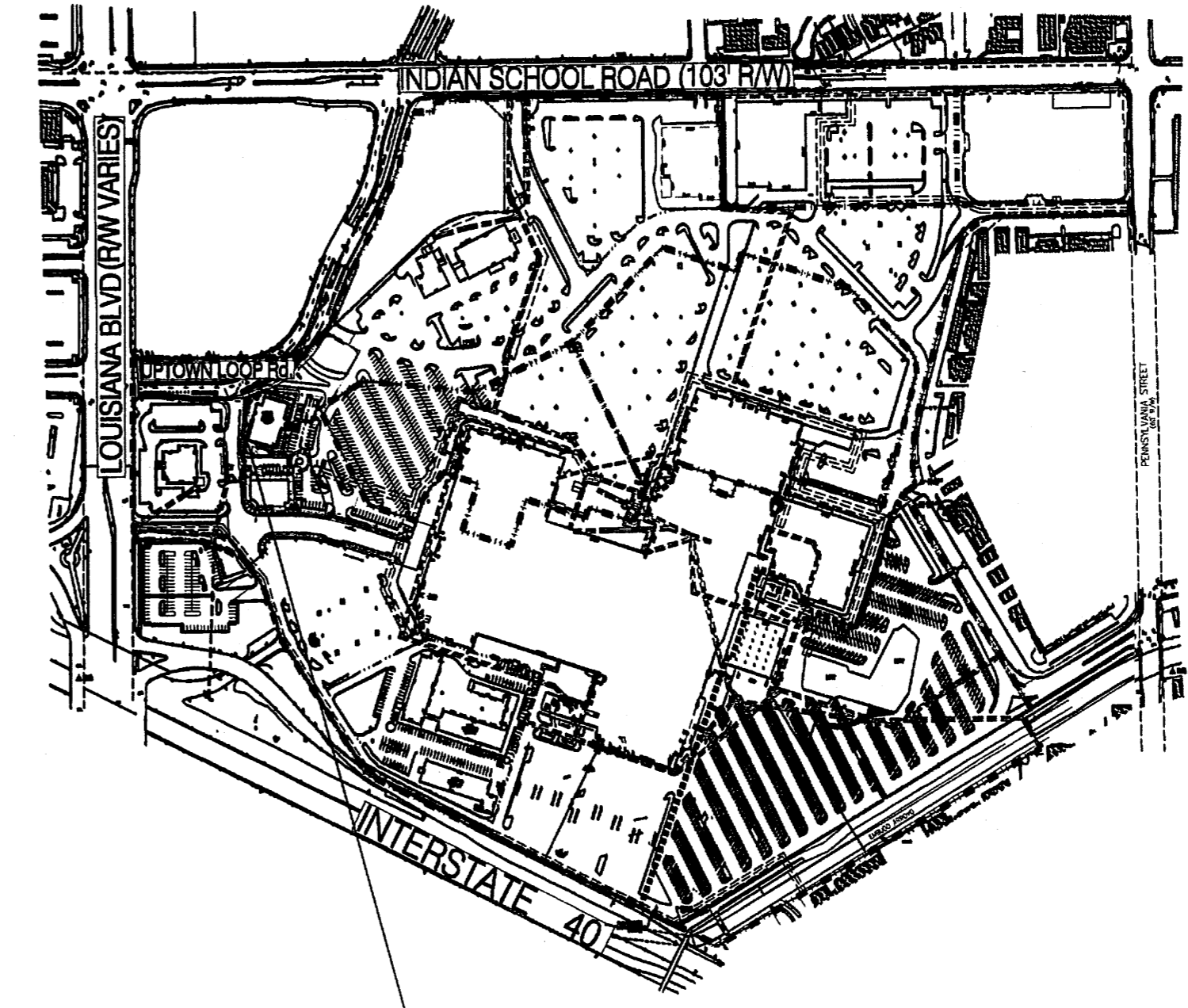
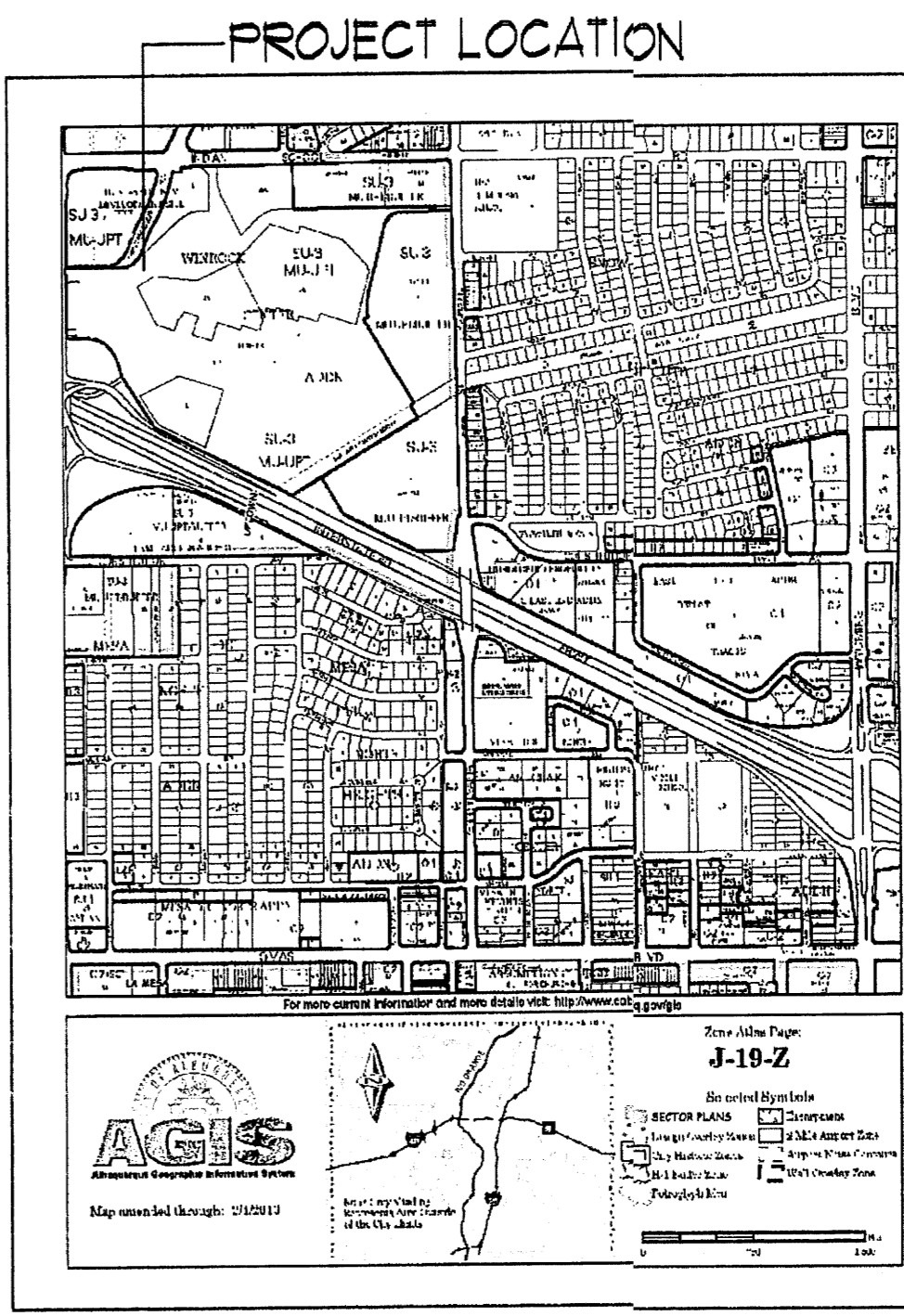
PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, when a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB ARCHITECT ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

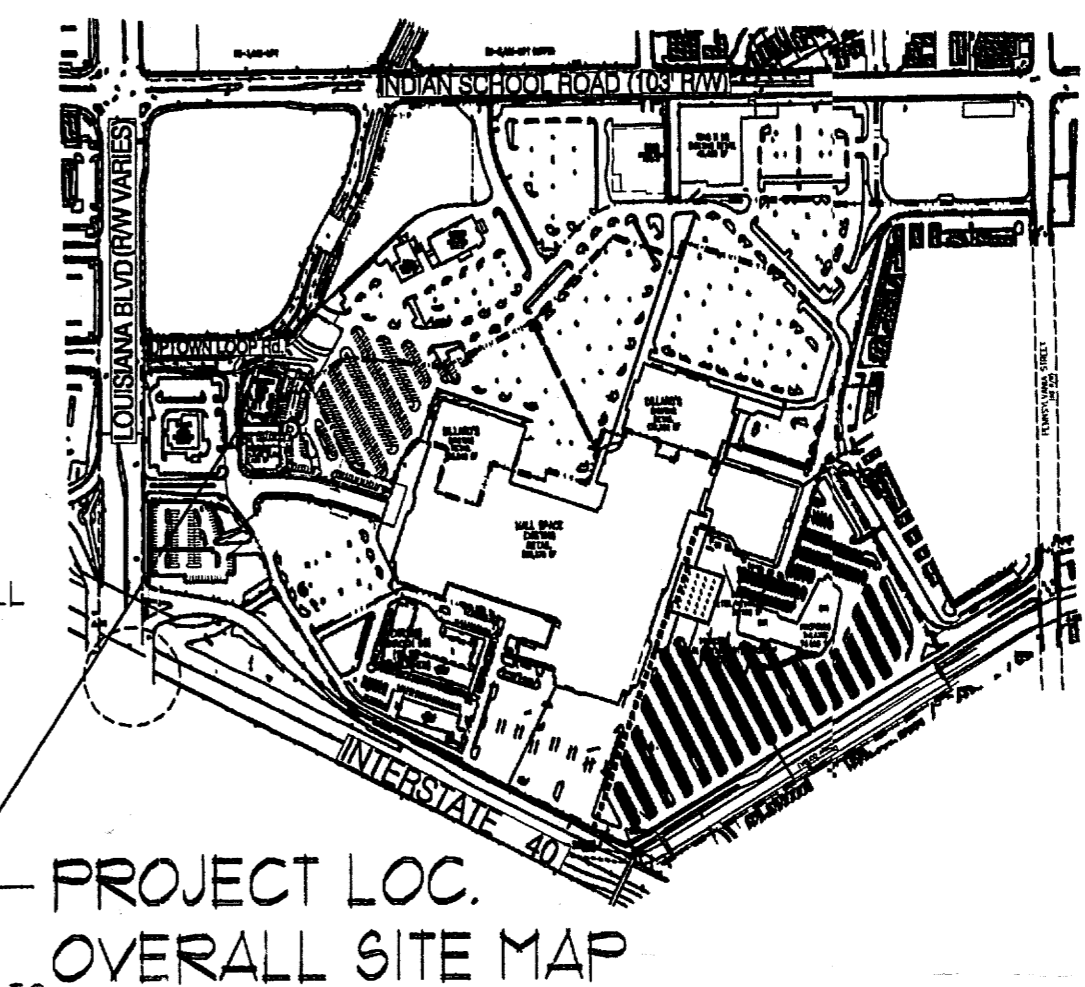
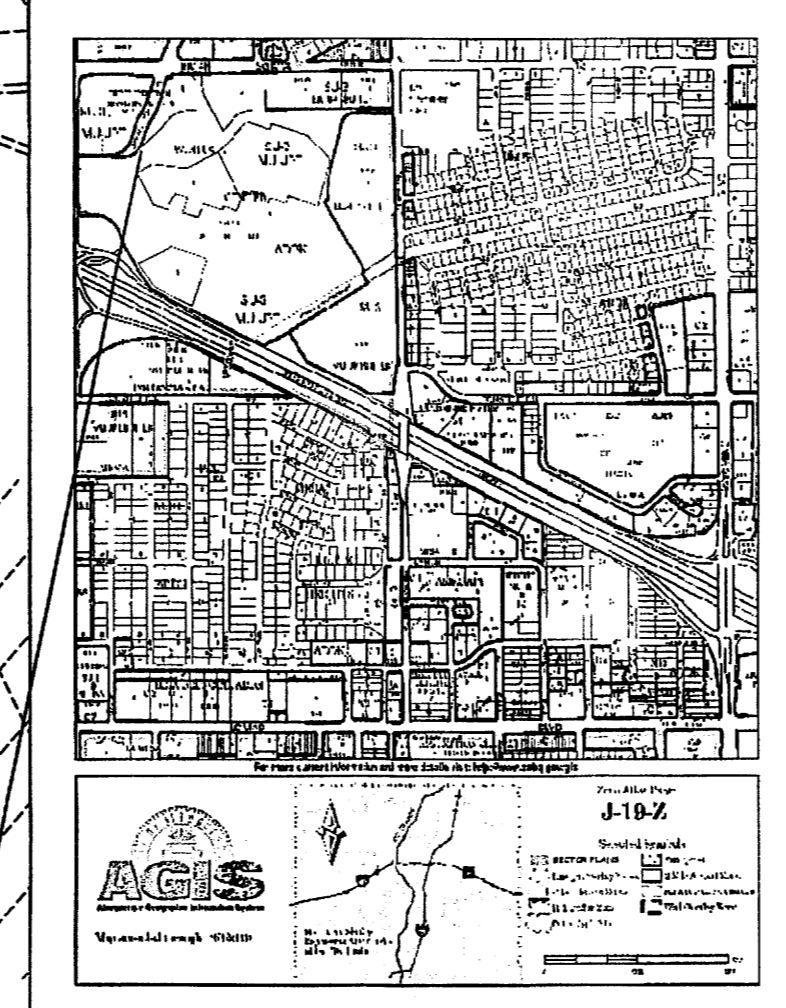
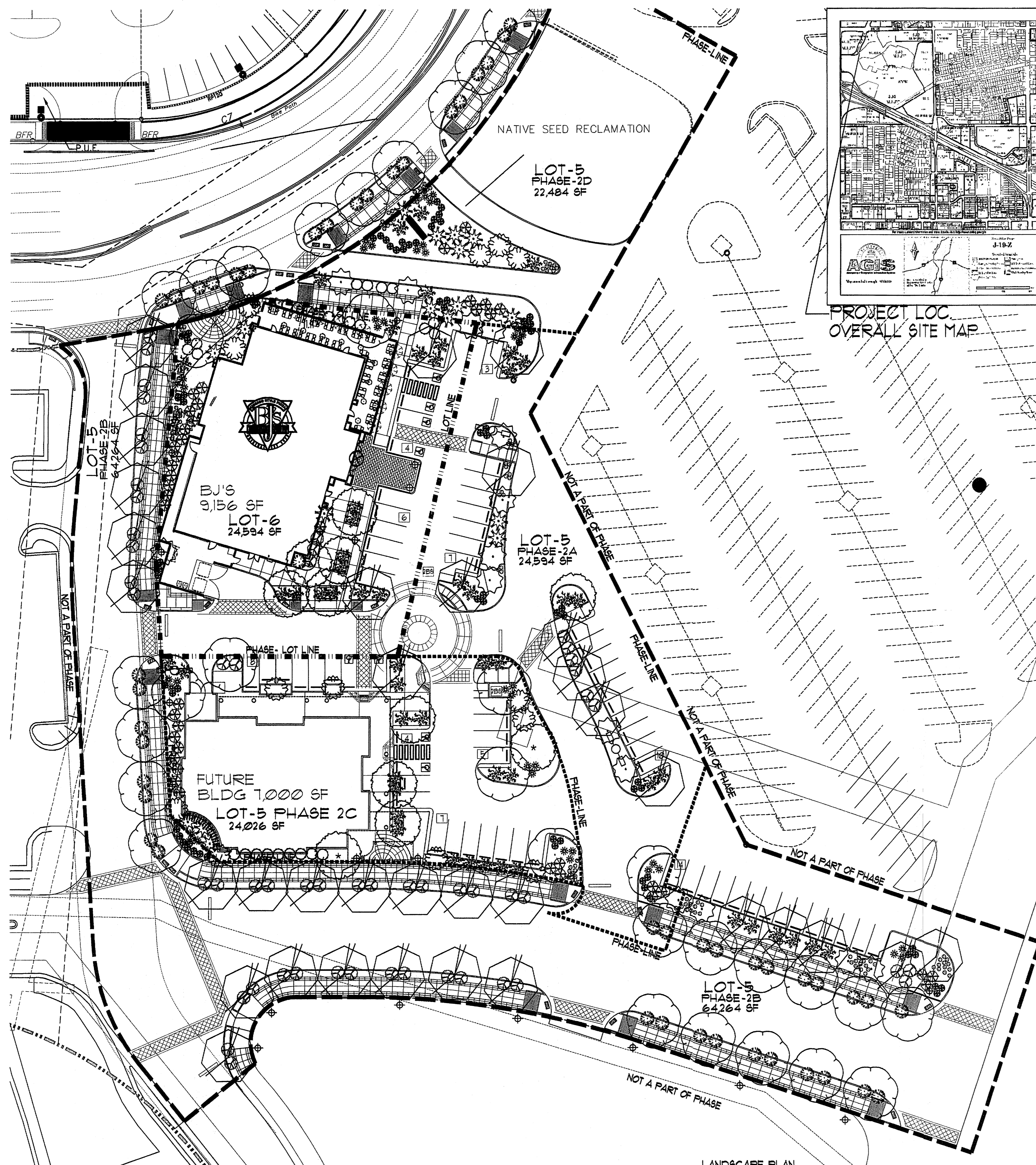
\* Environmental Health, if necessary



REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE WINROCK TOWN CENTER 2200 LOUISIANA BLVD. NE ALBUQUERQUE, NEW MEXICO	JOB NO. WIN-EU	DRAWN BY: S-J
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE SITE SIGN PLAN	
DATE 4/16/12	SCALE AS NOTED	DATE 4/16/12



**LANDSCAPE CALCULATIONS:**

TOTAL LOT-5 AND 6 PHASE AREAS	164,001 SF
REQUIRED 10% OPEN SPACE=	16,400 SF
REQUIRED 40% LANDSCAPING AREA WITHIN 10% OPEN SPACE=	6,560 SF
PROVIDED 40% LANDSCAPING WITHIN 10% OPEN SPACE=	29,115 SF
PROVIDED DEVELOPED OPEN SPACE WITHIN 10% OPEN SPACE=	4,380 SF
REQUIRED 15% SHADE WITHIN DEVELOPED OPEN SPACE=	651 SF
PROVIDED 15% SHADE WITHIN DEVELOPED OPEN SPACE=	2,940 SF
NOTE: ASSUMED FULL TREE CANOPY AT MATURITY	

BJS- PROPOSED LOT-6 AND LOT 5 PHASE 2 A AREA	
TOTAL LOT-6 AREA (PROPOSED BJS LOT-6)	28,449 SF
TOTAL LOT-5 PHASE 2 A AREA=	24,594 SF
TOTAL=	53,043 SF
REQUIRED LOT 5 PHASE 2A AND LOT-6 10% OPEN SPACE=	5,304 SF
PROVIDED=	10,359 SF

REQUIRED PHASE-1 LOT AREA 40% LANDSCAPING AREA WITHIN 10% OPEN SPACE=	4,383 SF
REQUIRED BJS-LOT-6 15% SHADE WITHIN DEVELOPED OPEN SPACE=	490 SF
PROVIDED BJS-LOT-6 15% SHADE WITHIN DEVELOPED OPEN SPACE=	2,940 SF
NOTE: ASSUMED FULL TREE CANOPY AT MATURITY	

RESERVED EXCESS OPEN SPACE FOR FUTURE PHASES= 23,115 SF SF

NOTE:  
THE 10% OF SITE OPEN SPACE WAS ACHIEVED BY:  
1. ALL LANDSCAPE AREAS OTHER THAN THOSE SPECIFICALLY EXCLUDED WITHIN CHAPTER - V - SECTION D NUMBER 15 OF THE USDP  
2. PEDESTRIAN PLAZAS/DEVELOPED OPEN SPACE)

NOTE:  
A MINIMUM OF 15% OF DEVELOPED OPEN SPACE SHALL BE SHADED WITH LANDSCAPING(TREES), OR SHADE STRUCTURES

NOTE:  
PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY. 10% OF THE REQUIRED 75% LIVE GROUND COVER LANDSCAPE AREA SHALL BE PLANTED IN NATIVE FLOWERS AND FLOWERING PLANTS

NOTE:  
REFER TO SITE CIVIL GRADING AND DRAINAGE PLANS FOR GRADE CONTOUR INFORMATION

NOTE:  
EACH PHASED LANDSCAPE BED SHALL RECEIVE LANDSCAPING WITHIN ITS BED FOR EACH PHASED AREA AND TERMINATED ALONG PHASE LINE WITH A TEMPORARY METAL LANDSCAPE EDGE

NOTE:  
ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTCHES

**LANDSCAPE PHASE AREA CALCULATIONS:**

LOT-6 SITE AREA	28,449 SF
LOT-6 OPEN SPACE AREA	1,311 SF
LOT-5 PHASE 2A SITE AREA	24,594 SF
LOT-5 PHASE 2A OPEN SPACE AREA	3,114 SF
LOT-5 PHASE 2B SITE AREA	64,264 SF
LOT-5 PHASE 2B OPEN SPACE AREA	2,955 SF
LOT-5 PHASE 2C SITE AREA	24,026 SF
LOT-5 PHASE 2C OPEN SPACE AREA	6,435 SF
LOT-5 PHASE 2D SITE AREA	22,484 SF
LOT-5 PHASE 2D OPEN SPACE AREA	12,803 SF

LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Shredded bark mulch over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:  
Irrigation shall be a complete underground system with Trees to receive 1 Netam spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netam shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:  
Required 32 Provided 32

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**  
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 8 spaces  
Required 9 Provided 33

**NOTE TO CLIENT:**  
Should the Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, the Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an initial change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
DRB ALCUIA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

REV	DATE	BY	REVISION

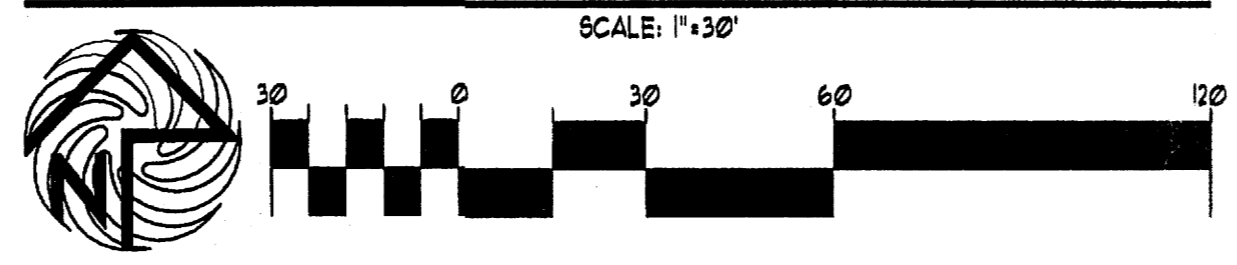
**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Tree ID plants have been provided for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- SHADE TREES**
  - CHINESE PISTACHE 35  
Platanus chinensis  
Water (M) Allergy (L) 60' x 60' maturity
  - LACERBARK ELM 31  
Fraxinus pennsylvanica  
3" Cal. 12-14" Inst. 40' x 40' maturity  
Water (M+) Allergy (H) 0sf
  - EASTERN REDBUD 11  
Erythrina condensata  
1.5 Gal. 4-10" Inst. 30' x 30' maturity  
Water (M) Allergy (L) 0sf
- SHRUBS/ORNAMENTAL TREES**
  - C ORCHID WHITE 14  
Lagerströmia indica  
Water (M) Allergy (L) 20' x 20' maturity
  - WASHINGTON HAWTHORN 15  
Crataegus phaenopynum  
1.5 Gal. 4-10" Inst. 25' x 25' maturity  
Water (M+) Allergy (L) 500sf
- SHRUBS/ORNAMENTAL GRASSES**
  - C ROSE OF SHARON 17  
Hibiscus syriacus  
5 Gal. 2-4" Inst. 10' x 10' maturity  
Water (M) Allergy (L) 100sf
  - TRUE MOUNTAIN MANOGANY 40  
Cercocarpus montana  
1 Gal. 18-23" Inst. 10' x 6' maturity  
Water (L+) Allergy (L) 36sf
  - THREE-LEAF SUMAC 27  
Rhus trilobata  
1 Gal. 6-15" Inst. 6' x 6' maturity  
Water (L+) Allergy (L) 36sf
  - DEER GRASS 39  
Muhlenbergia capillaris  
1 Gal. 6-15" Inst. 4' x 4' maturity  
Water (M) Allergy (L) 15sf
  - REGAL WIST 60  
Muhlenbergia capillaris  
3 Gal. 18-23" Inst. 3' x 3' maturity  
Water (M) Allergy (L) 8sf
  - C WILDFLOWER 116  
1 Gal. 3-15" Inst./varies of maturity  
Water (varies) Allergy (varies) 4sf
- GROUNDCOVERS**
  - C GREYLEAF COTONEASTER 54  
Cotoneaster glochophyllus  
5 Gal. 2-4" Inst. 7' x 9' maturity  
Water (M) Allergy (L) 81sf
  - C WINTER JASMINE 48  
Jasminum nudiflorum  
1 Gal. 4-15" Inst. 4' x 12' maturity  
Water (L+) Allergy (L) 144sf
  - C HONEYSUCKLE 54  
Lonicera japonica 'Nagina'  
1 Gal. 6-15" Inst. 3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-Groundcover
- HARDSCAPES**
  - SHREDDED BARK MULCH TO A MINIMUM 3" DEPTH
  - OVERSIZED GRAVEL
  - DENOTES EVERGREEN PLANT MATERIAL
  - DENOTES FLOWERING PLANT MATERIAL



PROJECT TITLE: WINROCK TOWN CENTER  
2009 LOUISIANA BLVD. NE  
ALBUQUERQUE, NEW MEXICO

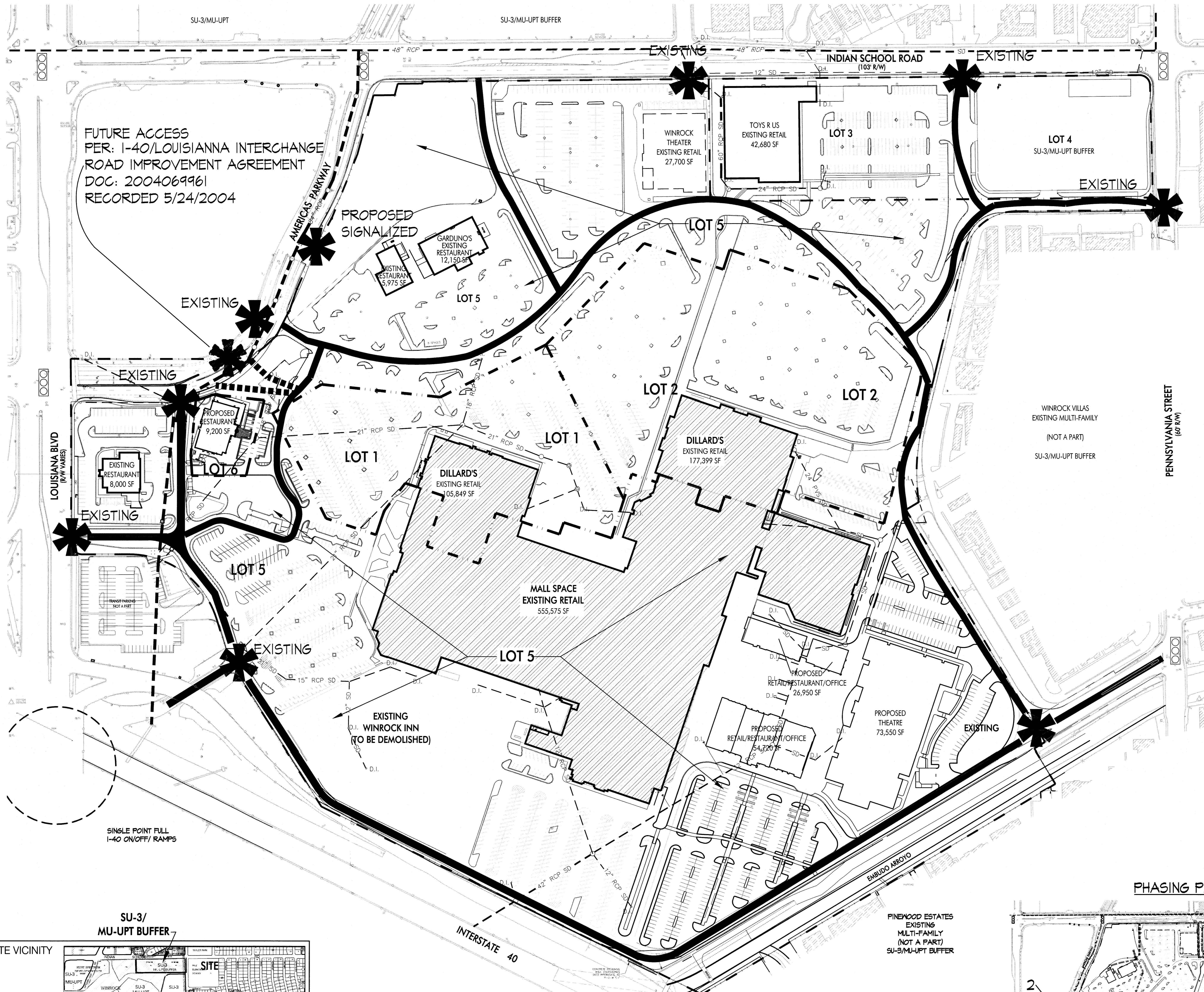
PROJECT NUMBER: 5-STEPHEN DUNBAR, AIA  
JOB NO. WIN-EU  
JOB DATE: 5-3

DRAWN BY: 5-J

SHEET TITLE: LANDSCAPE PLAN

DATE: 4/6/12

SCALE: AS NOTED



**SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION**

THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDS THE PRIOR APPROVED WINROCK MARKET CENTER SITE DEVELOPMENT PLAN FOR SUBDIVISION 05EPC00876, PROJECT NO. 1002202.

**THE SITE:**  
THE SITE CONSISTS OF APPROXIMATELY 21.31 ACRES. THE INTERIOR PARCEL LINES SHOWN ON THIS SITE PLAN ARE ILLUSTRATIVE. FINAL PLATTING WILL OCCUR AS SPECIFIC DEVELOPMENT PROJECTS ARE PROPOSED. THE SUBJECT PROPERTY IS PROPOSED TO BE SUBDIVIDED INTO SIX SEPARATE TRACTS, TRACT 1 AND TRACT 2 ARE THE EXISTING PARCELS (A-3 AND A-2) FOR THE MEN'S AND WOMEN'S DILLARD'S STORES AND A PORTION OF THEIR PARKING LOT. TRACT 3 IS THE EXISTING TOYS R US LOT (D-1A). TRACT 4 IS THE EXISTING VACANT LOT (E) EAST TRACT 5 IS THE REMAINING LOT COMPRISING THE REST OF THE WINROCK MARKET CENTER ADDITION (PARCELS A1A, B, AND C2A PLUS PARCEL B OF THE HUNT-SPECTRUM DEVELOPMENT SITE. TRACTS 1, 2 AND 5 ARE ZONED SU-3 MU-UPT AND TRACTS 3-4 ARE ZONED MU-UPT/BUFFER.

**PROPOSED USE:**  
THE SITE IS ZONED SU-3 (MU-UPT AND MU-UPT BUFFER) AS FOLLOWS:  
 LOT 1 251,644 SF 5.78 AC. LOT 4 154,810 SF 3.10 AC.  
 LOT 2 422,250 SF 9.64 AC. LOT 5 252,621 SF 57.14 AC.  
 LOT 3 181,050 SF 4.16 AC. LOT 6 28,314 SF 0.65 AC.

**PROPOSED USE:**  
THE SITE IS ZONED SU-3 (MU-UPT AND MU-UPT BUFFER) LAND USES ARE AS FOLLOWS:  
 RETAIL/RESTAURANT/THEATER 415,482 S.F. \*USES AND SQUARE FOOTAGES ARE APPROVED PER PREVIOUS SITE DEVELOPMENT PLAN FOR SUBDIVISION.  
 \*OFFICE 24,000 S.F.  
 \*HOTEL 174 ROOMS  
 \*MULTI-FAMILY 66 UNITS (AREA - 9.11 AC, GROSS DENSITY-21.11 DU/AC)

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
**VEHICULAR ACCESS:**  
 LOUISIANA BOULEVARD PROVIDES THE MAJOR SIGNALIZED ACCESS INTO WINROCK TOWN CENTER VIA AMERICA'S PARKWAY. TRACT 3 ACCESS POINTS ARE PROVIDED AT LOUISIANA BOULEVARD, INDIAN SCHOOL ROAD, AND PENNSYLVANIA STREET. THERE IS DIRECT ACCESS FROM WINROCK TOWN CENTER TO I-40 WEST. THESE ACCESS POINTS ARE CONSISTENT WITH THE UPTOWN SECTOR DEVELOPMENT PLAN AND PREVIOUS APPROVALS FOR WINROCK.

**BICYCLE AND TRAIL ACCESS:**  
 BICYCLE ACCESS IS PROVIDED BY 6 FOOT ON-STREET BIKE LANES IN LOUISIANA BOULEVARD, PENNSYLVANIA STREET, AND INDIAN SCHOOL ROAD. TRAIL ACCESS IS PROVIDED ACROSS PENNSYLVANIA VIA THE PASEO DE LAS MONTANAS TRAIL, AND CONTINUES ALONG WINROCK'S SOUTHERN EDGE AND CONNECTS TO THE PEDESTRIAN OVERPASS AND CONTINUES ACROSS I-40. SIDEWALKS WILL PROVIDE PEDESTRIAN CONNECTIVITY WITHIN WINROCK TOWN CENTER CONSISTENT WITH THE REQUIREMENTS OF THE UPTOWN SECTOR DEVELOPMENT PLAN.

**TRANSIT ACCESS:**  
 LOUISIANA BOULEVARD IS DESIGNATED A MAJOR TRANSIT CORRIDOR, WITH A REGULAR BUS ROUTE AND A RAPID RIDE ROUTE AND INDIAN SCHOOL ROAD INCLUDES A COMMUTER ROUTE. THE UPTOWN TRANSIT CENTER IS LOCATED NEARBY OFF INDIAN SCHOOL ROAD, WEST OF LOUISIANA BOULEVARD. A TRANSIT FACILITY IS PROVIDED AT THE SOUTHWEST CORNER OF WINROCK TOWN CENTER, WITH 113 PARKING SPACES PROVIDED.

**INTERNAL CIRCULATION REQUIREMENTS:**  
 INTERNAL CIRCULATION IS PROVIDED THROUGH THE SITE VIA A RING ROAD SYSTEM. SIDEWALKS SHALL BE DEVELOPED CONSISTENT WITH THE REQUIREMENTS OF THE UPTOWN SECTOR DEVELOPMENT PLAN.

**BUILDING HEIGHTS AND SETBACKS:**  
 BUILDING HEIGHTS AND SETBACKS SHALL BE CONSISTENT WITH THE REQUIREMENTS IN THE UPTOWN SECTOR DEVELOPMENT PLAN AND THE CITY COMPREHENSIVE ZONING CODE.

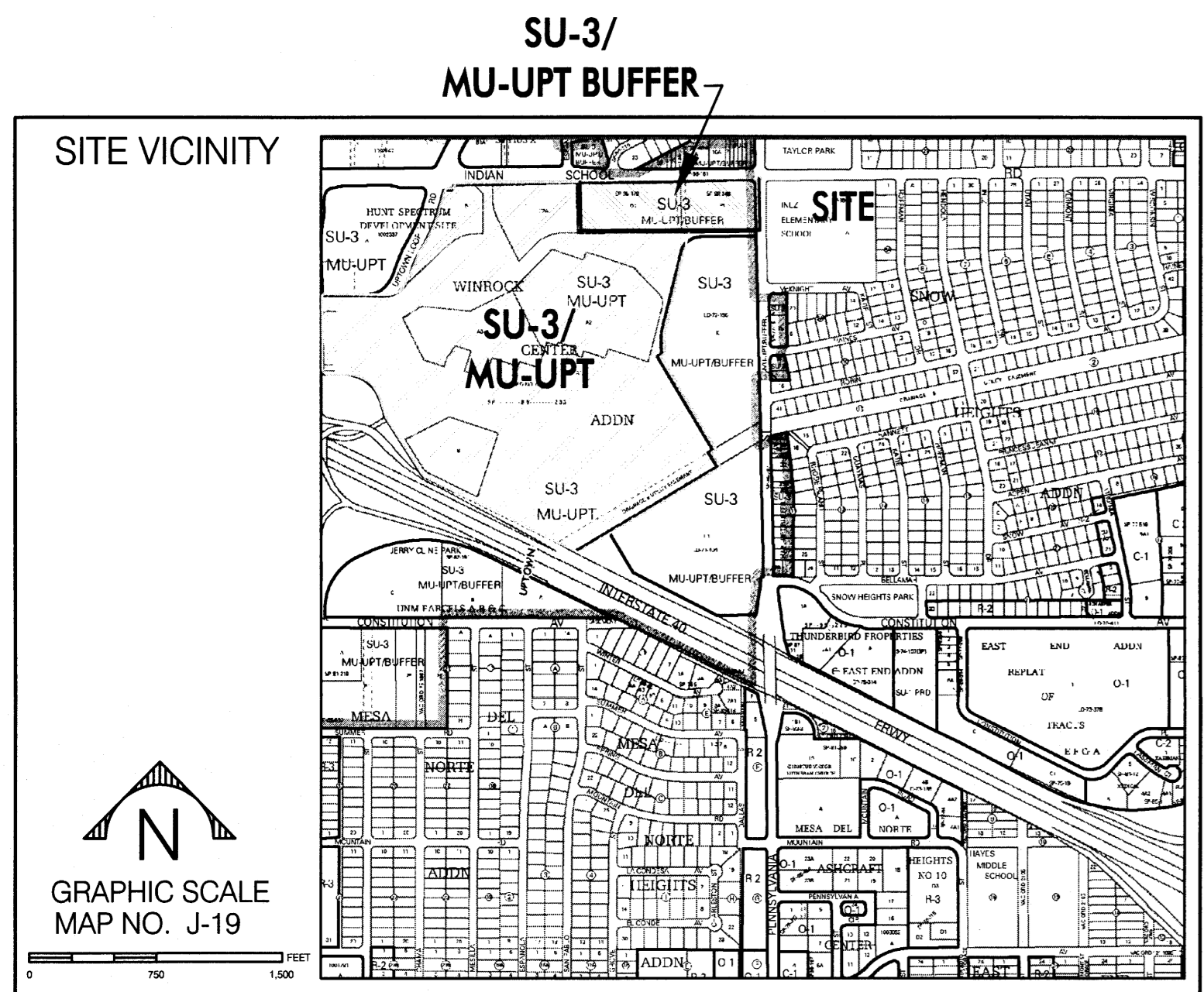
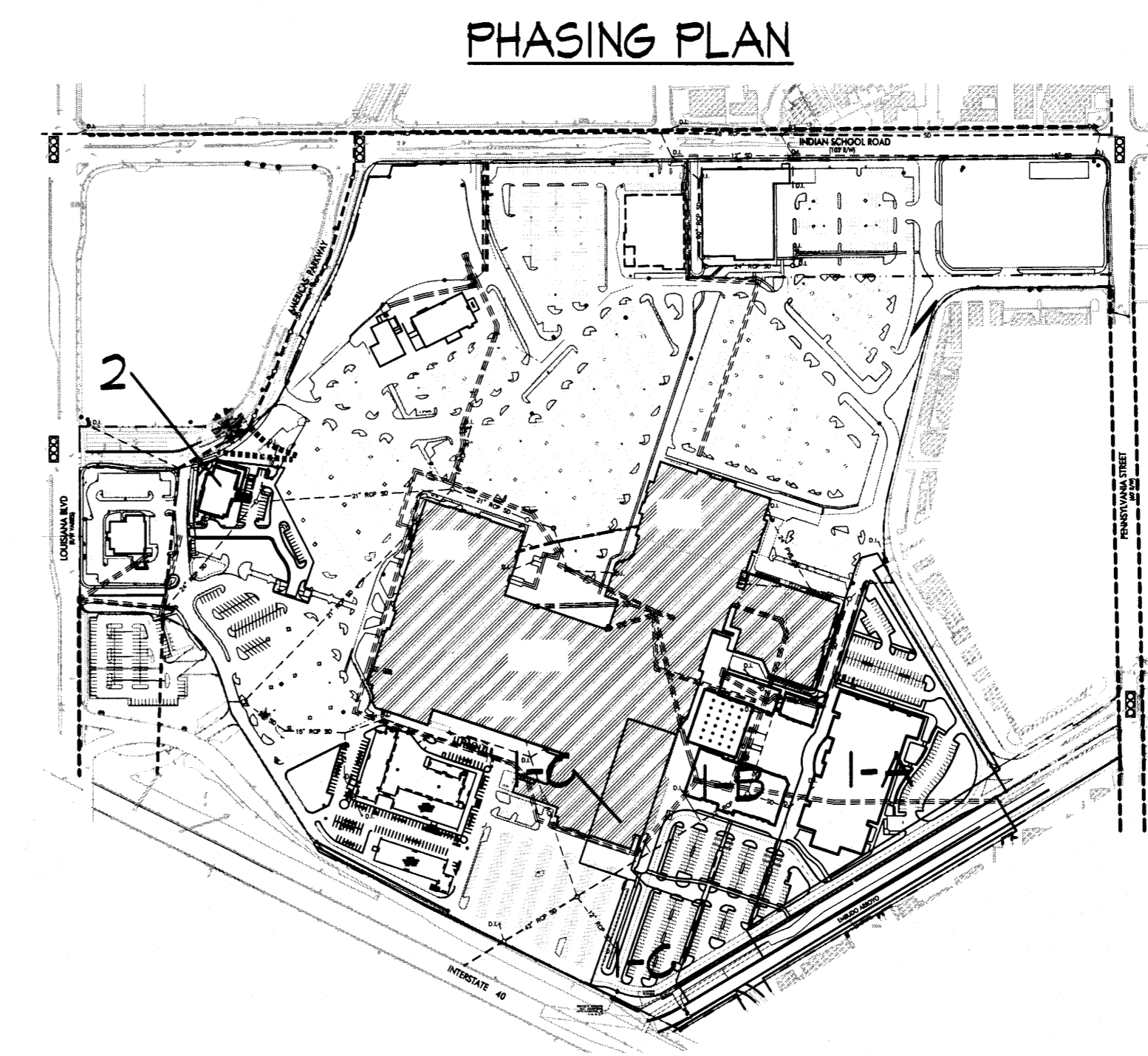
**FAR:**  
 THE MINIMUM FLOOR AREA RATIO (FAR) IS 30 FOR WINROCK TOWN CENTER AS REQUIRED BY THE UPTOWN SECTOR DEVELOPMENT PLAN.

SU-3 AREA	BUILDING	F.A.R.
954,478 SF (21.31 AC)	1,106,208 SF.	21

**LANDSCAPE PLAN:**  
 LANDSCAPE PLANS SHALL BE CONSISTENT WITH CITY STANDARDS AND POLICIES REGARDING WATER CONSERVATION AND FOLIAGE. THE UPTOWN SECTOR DEVELOPMENT PLAN, AND THE CITY'S COMPREHENSIVE ZONING CODE.

**PHASING:**  
 OVERALL PHASE 1 DEVELOPMENT INCLUDES THE DEMOLITION OF THE MONTGOMERY WARD BUILDING AND THE WINROCK INN.  
 PHASE 2 DEVELOPMENT INCLUDES REALIGNING PORTIONS OF THE RING ROAD.

PROJECT NUMBER:	1002202
APPLICATION NUMBER:	
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABGMA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



- ★ APPROVED ACCESS POINTS PER PREVIOUS SITE DEVELOPMENT PLAN FOR SUBDIVISION. ACCESS POINTS TO BE DEVELOPED IN CONJUNCTION WITH FUTURE PHASES.**
- GENERAL NOTES:**
- LOT LINES ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL PLATTING FOR THE WINROCK TOWN CENTER SHALL OCCUR AT THE END OF SITE AND BUILDING CONSTRUCTION WITH INDIVIDUAL LOT BOUNDARIES FOR THE SU-3 AREAS AS AGREED TO WITH THE PLANNING DIRECTOR.
  - PHASING AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE UPTOWN SECTOR DEVELOPMENT PLAN.
  - FUTURE APPROVALS FOR SPECIFIC DEVELOPMENT PROJECTS SHALL BE IN COMPLIANCE WITH THE UPTOWN SECTOR DEVELOPMENT PLAN AND THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION.
  - PARKING AS SHOWN IS ILLUSTRATIVE AND SUBJECT TO COMPLIANCE WITH THE UPTOWN SECTOR DEVELOPMENT PLAN. A SHARED PARKING AGREEMENT WILL BE REQUIRED FOR THE SITE TENANTS.
  - WINROCK MANAGEMENT SHALL PROVIDE SUFFICIENT ON-SITE SECURITY.
  - SUFFICIENT WAYFINDING SIGNAGE AND RING ROAD STRIPINGS SHALL BE PROVIDED TO DIRECT USERS TO TENANT LOCATIONS AS WELL AS TO PROJECT EXITS.
  - SURPLUS PARKING AND OPEN SPACE IN PHASE 1 SHALL BE ATTRIBUTABLE TO FUTURE PHASES.

**Winrock TOWN CENTER**

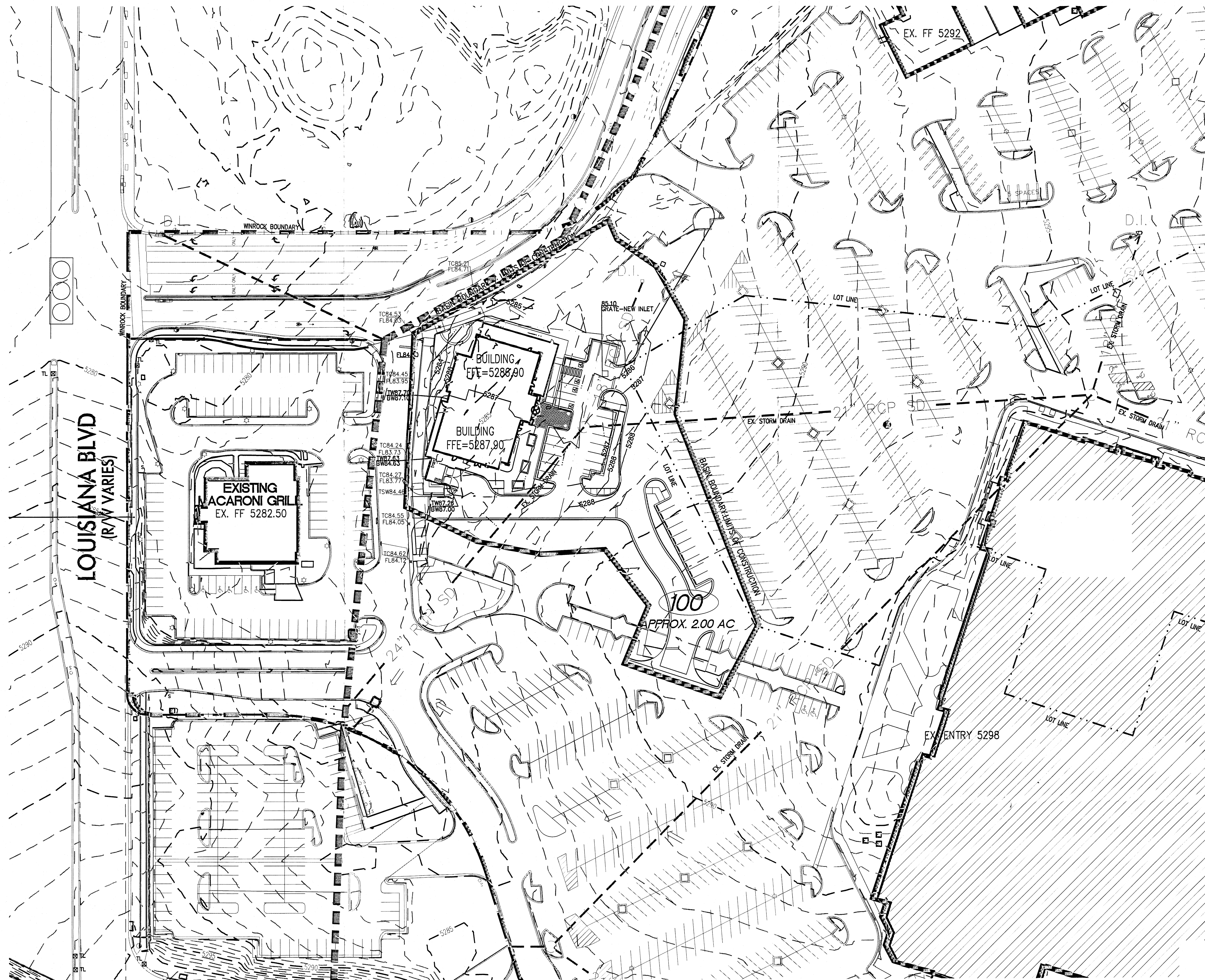
**OWNER/DEVELOPER  
GOODMAN REALTY**

**PROJECT TEAM  
ENGINEERING/SURVEYING  
HUITT-ZOLLARS**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION  
**SITE PLAN**

NORTH  
50 0 100 200  
SCALE: 1" = 100'

SHEET S-100  
MAY 9, 2012



**HYDROLOGY**  
 CURRENTLY THE SITE CONSISTS PREDOMINANTLY OF ASPHALT PAVEMENTS AND BUILDINGS AND THE DISTURBED AREA IS APPROXIMATELY 2.8 AC.

A DETAILED DRAINAGE REPORT SHALL BE PREPARED, SUBMITTED, AND PROCESSED FOR THE SITE PLAN FOR BUILDING PERMIT. IT IS ANTICIPATED THAT STORMWATER DISCHARGE WITHIN THE LIMITS OF THIS PROJECT SHALL BE BELOW HISTORIC DISCHARGE RATES.

CONCEPTUAL GRADING SHOWN ON THIS PLAN DO NOT DISRUPT OR ALTER HISTORICAL STORM WATER FLOW PATTERNS ON THE WINROCK SITE.

THE SITE PLAN IMPACTS AN EXISTING STORM DRAIN WHICH SHALL BE RELOCATED AS PART OF THE SITE DEVELOPMENT PROCESS.

SITE GRADING WILL IMPLEMENT LID TECHNIQUES TO THE MAXIMUM EXTENT POSSIBLE. LANDSCAPE AREAS SHALL BE DEPRESSED. DRAINAGE FROM ROOF DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPE AREAS.

# Winrock

TOWN CENTER

**OWNER/DEVELOPER**  
 GOODMAN REALTY

**PROJECT TEAM**  
 ENGINEERING/SURVEYING  
 HUITT-ZOLLARS

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION  
 CONCEPTUAL GRADING PLAN

**EXISTING DRAINAGE CONDITIONS**

THIS PORTION OF THE WINROCK PARKING SLOPE FROM SOUTHEAST TO NORTHWEST. OVERLAND STORMWATER IS DIRECT TO STORM DRAIN INLET NUMBER 1. OVERFLOWS AND ADDITIONAL PAVEMENT PARING AREAS SLOPE TO PARKING LOTS EXTERIOR CURB AND GUTTER. CONCENTRATED FLOWS ARE DIRECTED TO CONCRETE RUNDOWN NUMBER 1 DISCHARGING INTO A SMALL LANDSCAPE AREA. THE LANDSCAPE AREA IS GRADED TO SOUTH WHERE STORMWATER IS DISCHARGED ONTO THE RING ROAD AND ENTERS THE 84" STORM DRAIN.

**PROPOSED DRAINAGE CONDITIONS**

THIS PORTION OF THE SITE DISCHARGES INTO THE 84" STORM DRAIN WITHIN THE RING ROAD. THAT WILL NOT CHANGE WITH THIS DEVELOPMENT. A NEW AREA DRAIN SHALL BE INSTALLED WITHIN THE PROPOSED BU RESTAURANT ON-SITE PARKING LOT. OVERFLOWS SHALL BY-PASS THE PROPOSED INLET AND FLOW AROUND THE BUILDING IN AN EARTHEN SWALE TO A PROPOSED SIDEWALK CULVERT DISCHARGING ONTO THE RING ROAD.

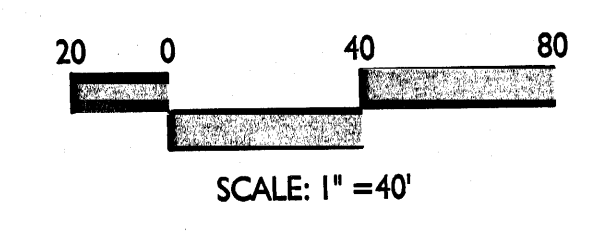
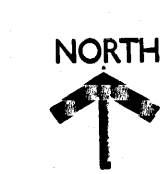
IT IS ANTICIPATED THAT THE RESTAURANT ROOF DRAINS SHALL BE LOCATED ON THE AMERICAS PARKWAY SIDE OF THE BUILDING. ROOF DRAINS SHALL BE EXTENDED TO DISCHARGE ROOF RUNOFF WATER AT OR NEAR THE SIDEWALK CULVERT PLACEMENT.

FINAL LOCATIONS SHALL BE ESTABLISHED AND INCLUDED IN THE BUILDING PERMIT SUBMITTAL.

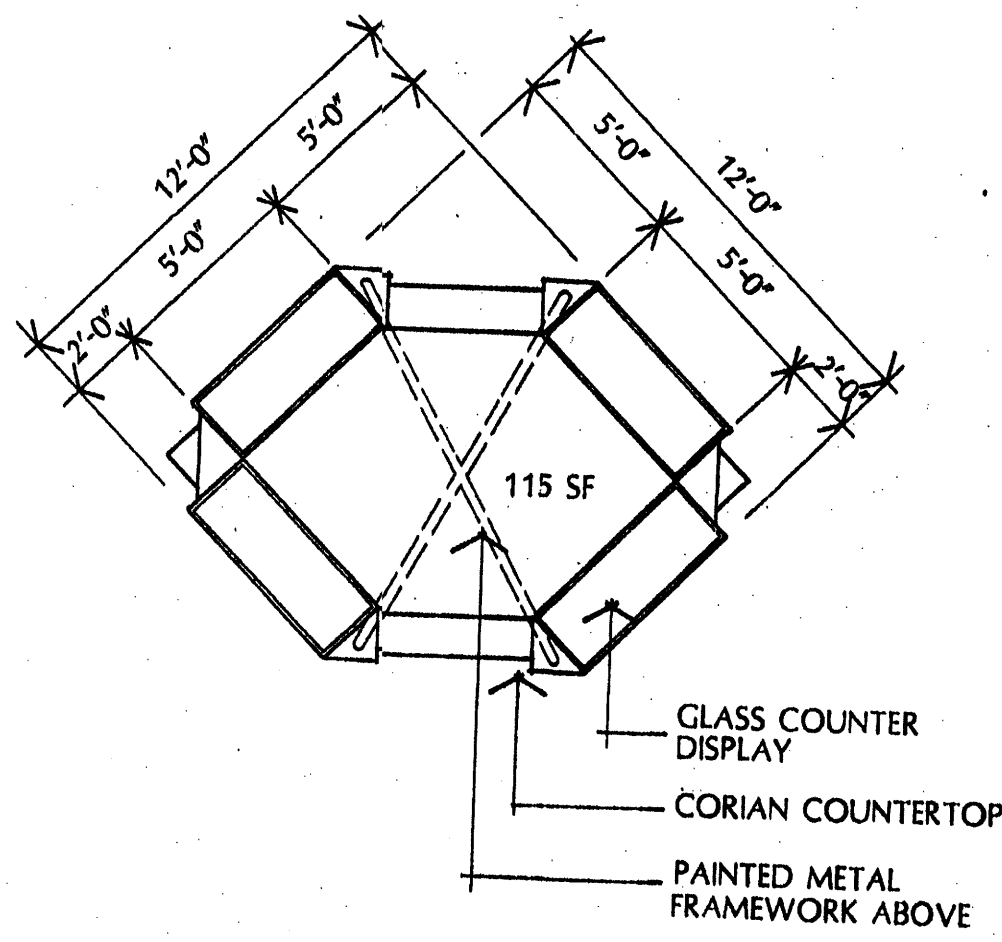
FINAL LOCATIONS SHALL BE ESTABLISHED AND INCLUDED IN THE BUILDING PERMIT SUBMITTAL.

**LEGEND**

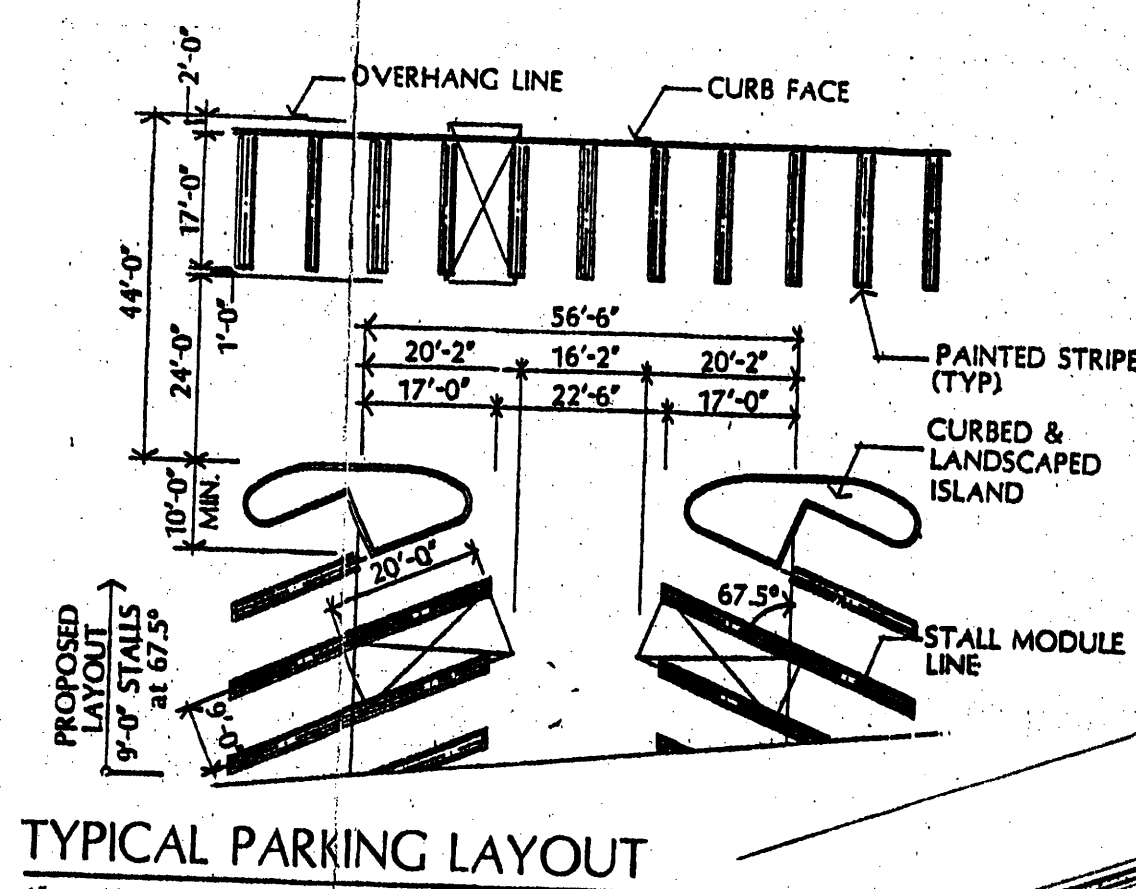
- EXISTING BUILDING
- BASIN BOUNDARY LINE
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PROPOSED CURB AND GUTTER
- 5285 PROPOSED CONTOUR (5' INTERVAL)
- FLOW DIRECTION
- TYPE 'D' DRAINAGE INLET
- TYPE 'C' DRAINAGE INLET
- STORM DRAIN MANHOLE
- EXISTING CURB AND GUTTER
- 5285 EXISTING COUNTOURS



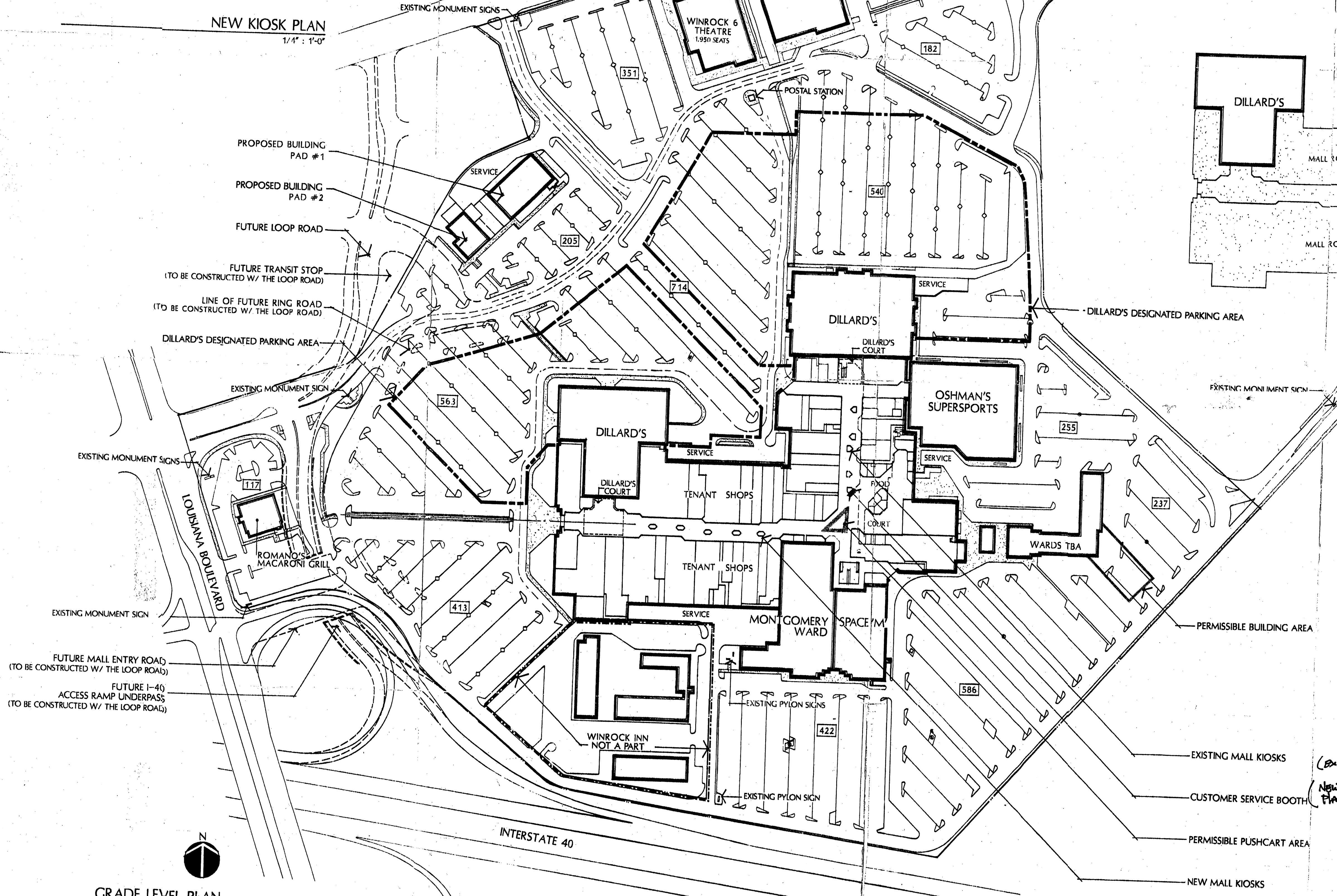
SHEET C-100  
 MAY 9 2012



NEW KIOSK PLAN  
1/4" = 1'-0"



TYPICAL PARKING LAYOUT  
1" = 20'-0"

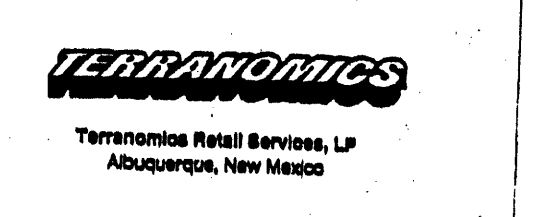
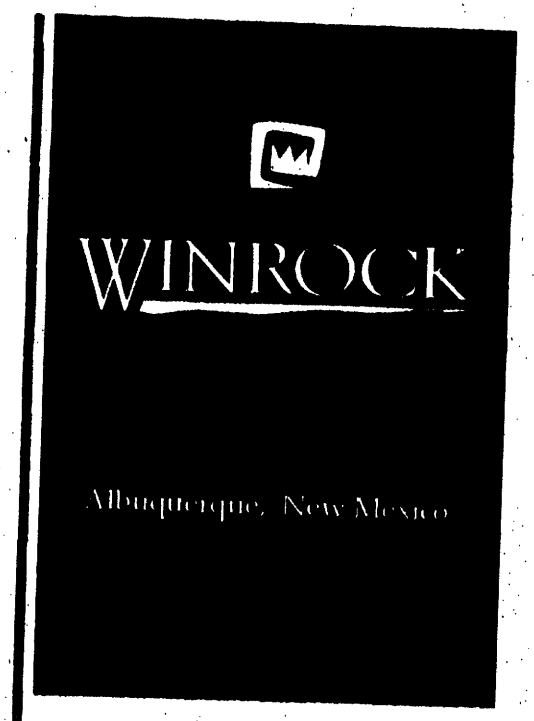


UPPER LEVEL PLAN  
1" = 100'-0"

Building	Area	Required Parking
Dillard's North	180,000	900
Dillard's West	100,000	500
Montgomery Ward	160,000	780
Oshman's Supersports	80,460	283
Space 'M'	31,000	155
Mall Tenants Lower Level (incl. Kiosks)	228,878	1,144
Mall Tenants Upper Level	38,227	177
Toys 'R' Us	41,883	210
Romano's Macaroni Grill	7,150	35
Proposed Building Pad #1	12,800	63
Proposed Building Pad #2	7,000	35
Winrock 6 Theatre (1,950 Seats)	28,466	488
<b>Total Building Area</b>	<b>870,574</b>	<b>4,711</b>
<b>Total Parking Required</b>		<b>4,780</b>
<b>Total Parking Provided</b>		<b>4,780</b>

TABULATION

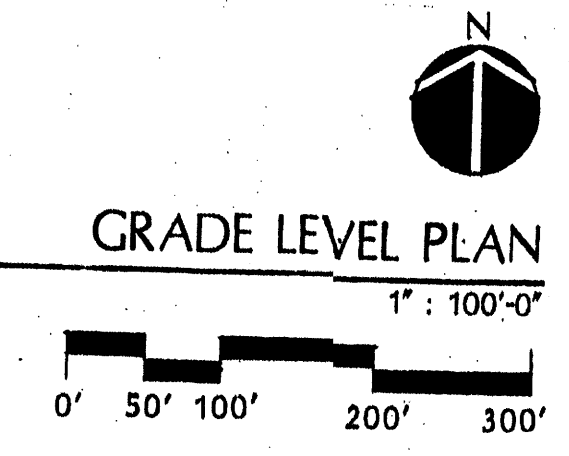
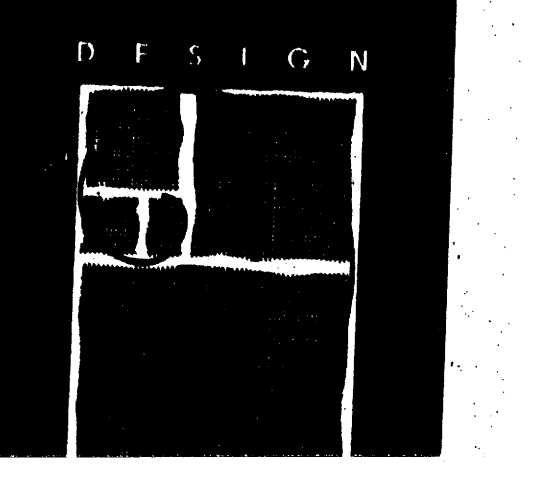
CURRENT RATIO = 5.49 CARS PER 1,000 SF OF BLDG  
 NEW UPPER LEVEL SECTOR PLAN RATIO = 2.0 CARS PER 1,000 SF OF BLDG  
 (EXISTING) 5.49 PER THOUSAND = 4,780 CARS  
 (NEW SECTOR PLAN RATIO) 2.0 PER THOUSAND = 1,740.8 CARS  
 EXCESS CARS BASED ON NEW PARKING RATIO = 3,039.2



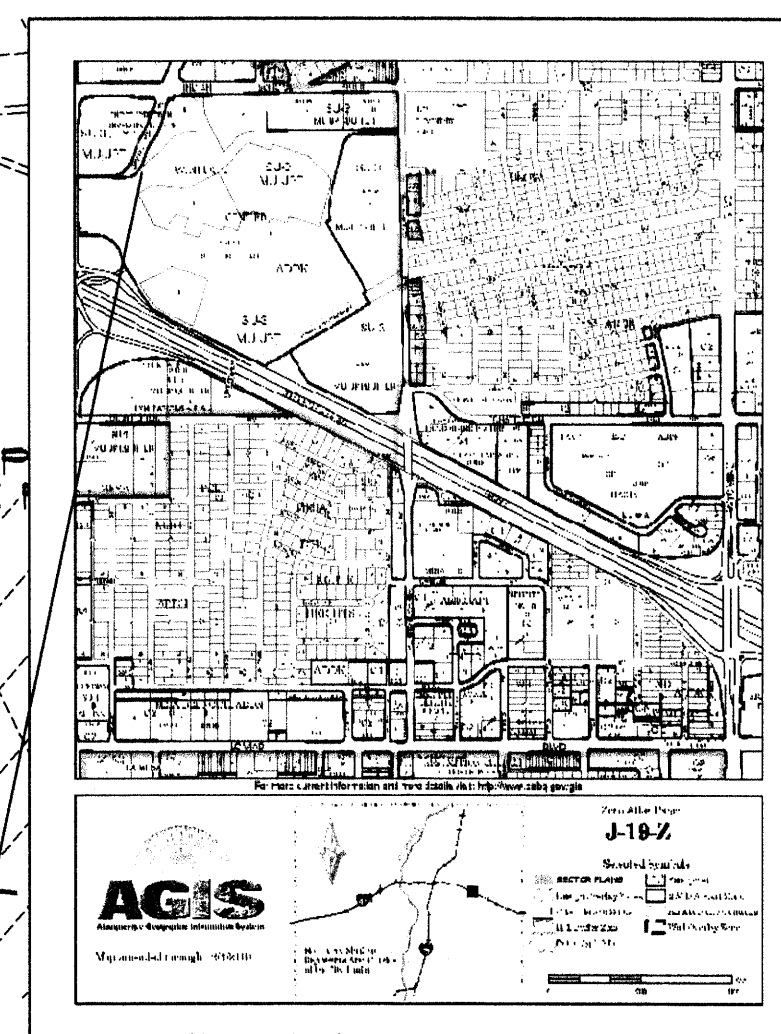
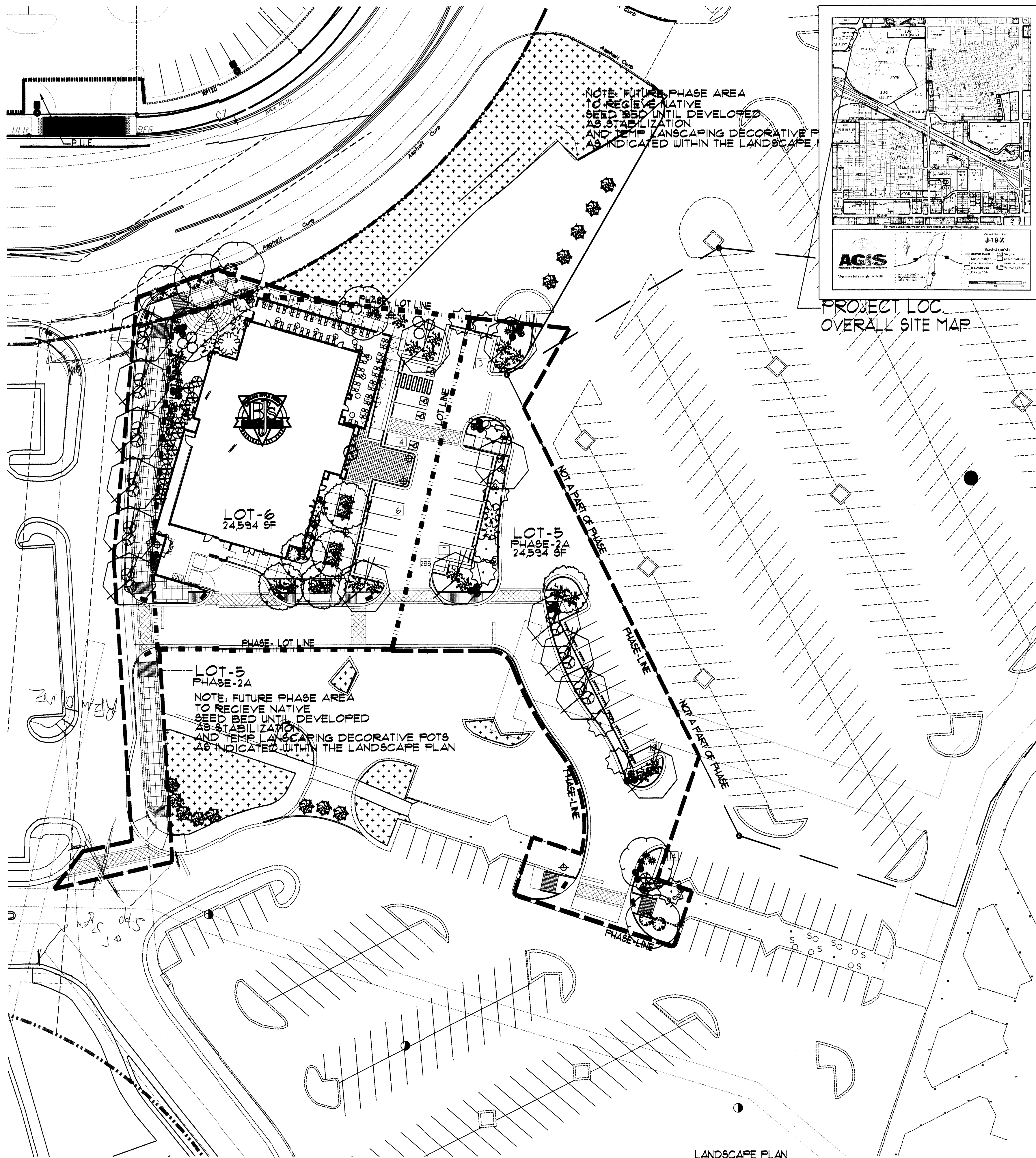
DESIGN RESPONSE  
 2700 Fairmount Suite 300  
 Dallas Texas 75201 1994  
 214 953 2200 Tel  
 214 953 2234 Fax  
 ©1992 DESIGN RESPONSE INC

SITE PLAN  
 EXHIBIT 'B'

Project Number 92022-01  
 Date 10/28/92  
 Sheet Number 1 of 1



GRADE LEVEL PLAN  
1" = 100'-0"



**LANDSCAPE CALCULATIONS:**

TOTAL LOT-5 AND 6 PHASE 2A AREAS	49,188 SF
REQUIRED 10% OPEN SPACE:	4,919 SF
REQUIRED 40% LANDSCAPING AREA WITHIN 10% OPEN SPACE:	6,560 SF
PROVIDED 40% LANDSCAPING WITHIN 10% OPEN SPACE:	9,804 SF
PROVIDED DEVELOPED OPEN SPACE WITHIN 10% OPEN SPACE:	3,263 SF
REQUIRED 15% SHADE WITHIN DEVELOPED OPEN SPACE:	489 SF
PROVIDED 15% SHADE WITHIN DEVELOPED OPEN SPACE:	2,940 SF

**NOTE:**  
THE 10% OF SITE OPEN SPACE WAS ACHIEVED BY:  
1. ALL LANDSCAPE AREAS OTHER THAN THOSE SPECIFICALLY EXCLUDED WITHIN CHAPTER -V - SECTION D NUMBER 15 OF THE USDP  
2. PEDESTRIAN PLAZAS/DEVELOPED OPEN SPACE)

**NOTE:**  
A MINIMUM OF 15% OF DEVELOPED OPEN SPACE SHALL BE SHADED WITH LANDSCAPING (TREES), OR SHADE STRUCTURES

**NOTE:**  
PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY. 10% OF THE REQUIRED 75% LIVE GROUND COVER LANDSCAPE AREA SHALL BE PLANTED IN NATIVE FLOWERS AND FLOWERING PLANTS

**NOTE:**  
REFER TO SITE CIVIL GRADING AND DRAINAGE PLANS FOR GRADE CONTOUR INFORMATION

**NOTE:**  
EACH PHASED LANDSCAPE BED SHALL RECEIVE LANDSCAPING WITHIN ITS BED FOR EACH PHASED AREA AND TERMINATED ALONG PHASE LINE WITH A TEMPORARY METAL LANDSCAPE EDGE

**NOTE:**  
ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTCHES

**LANDSCAPE PHASE AREA CALCULATIONS:**

LOT-6 SITE AREA	28,449 SF
LOT-6 OPEN SPACE AREA	1,311 SF
LOT-5 PHASE 2A SITE AREA	24,594 SF
LOT-5 PHASE 2A OPEN SPACE AREA	3,174 SF

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Fallen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Shredded bark mulch over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

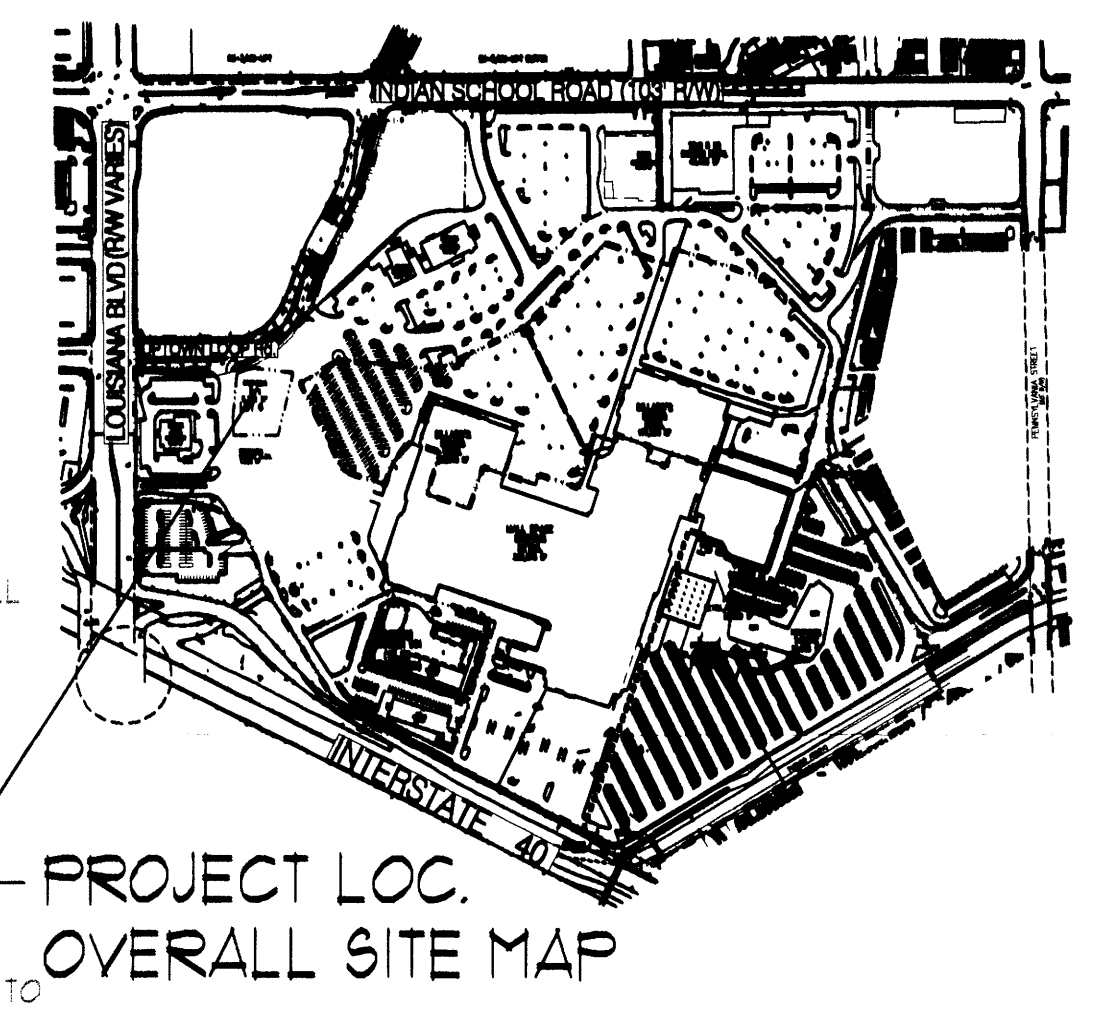
Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:  
Required 32 Provided 32

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**  
Parking Lot Tree Ordinance are as follows:  
Required 9 Provided 33

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

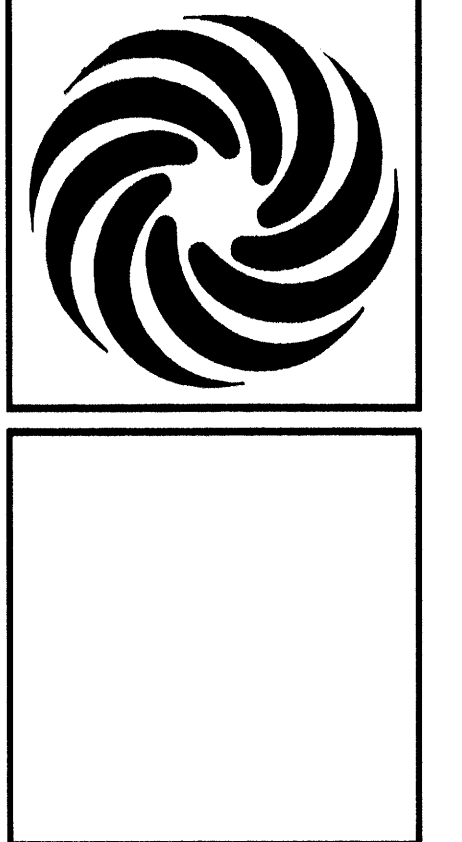


**PLANT LEGEND**

- All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type 0 plants have been planted for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.
- SHRUB TREES**
    - CHINESE PISTACHE 15  
Platanus chinensis  
5 Gal. 14" inst./60" x 60" maturity  
Water (W) Allergy (A) 100sf
    - LACEBARK ELM 6  
Ulmus parviflorus  
5 Gal. 7" x 4" inst./40" x 40" maturity  
Water (W+) Allergy (H) 10sf
    - EASTERN REDBUD 6  
Kousa chinensis  
5 Gal. 4" x 10" inst./30" x 30" maturity  
Water (W) Allergy (L) 10sf
  - SHRUBS/CORNAMENTAL TREES**
    - CREPE MYRTLE 3  
Coprosma chinensis  
10" Gal. 10" x 10" inst./20" x 20" maturity  
Water (W) Allergy (L) 20sf
    - WASHINGTON HAWTHORN 6  
Cotoneaster chinensis  
5 Gal. 4" x 10" inst./25" x 25" maturity  
Water (W+) Allergy (L) 500sf
  - SHRUBS/CORNAMENTAL GRASSES**
    - ROSE OF SHARON 5  
Rosa chinensis  
5 Gal. 3" x 3" inst./10" x 10" maturity  
Water (W) Allergy (L) 100sf
    - TRUE MOUNTAIN MANGOVANY 14  
Cercocarpus montana  
5 Gal. 18" x 3" inst./75" x 6" maturity  
Water (L+) Allergy (L) 16sf
    - THREE-LEAF SUMAC 13  
Rhus trilobata  
5 Gal. 18" x 3" inst./75" x 6" maturity  
Water (L+) Allergy (L) 36sf
    - DEER GRASS 22  
Muhlenbergia rigens  
5 Gal. 18" x 3" inst./75" x 6" maturity  
Water (M) Allergy (L) 16sf
    - REGAL MIST 45  
Lonicera japonica  
5 Gal. 18" x 3" inst./75" x 6" maturity  
Water (W) Allergy (L) 9sf
    - WEDDFLOWER 90  
Lonicera japonica  
5 Gal. 18" x 3" inst./75" x 6" maturity  
Water (varies) Allergy (varies) 4sf
  - GROUNDCOVERS**
    - GREY-LEAF COTONEASTER 34  
Cotoneaster japonicus  
5 Gal. 24" x 2" inst./75" x 9" maturity  
Water (W) Allergy (L) 51sf
    - WINTER JASMINE 24  
Jasminum nudiflorum  
1 Gal. 6" x 15" inst./4" x 12" maturity  
Water (L+) Allergy (L) 14sf
    - HONEYBUCKLE 31  
Lonicera japonica  
5 Gal. 18" x 3" inst./75" x 6" maturity  
Water (M) Allergy (L) 14sf  
Unstaked-Groundcover
  - HARDSCAPES**
    - SHREDDED BARK MULCH TO A MINIMUM 3" DEPTH
    - COVERED GRAVEL & BOULDER
    - NATIVE SEED PLANTING AREA
  - LEGEND**
    - ♦ EVERGREEN PLANT MATERIAL
    - GENETS FLOWERING PLANT MATERIAL

REV	DATE	BY	REASON
1	5/4/12	UN-BU	
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	UNIROCK TOWN CENTER	JOB NO.	UN-BU
PROJECT NUMBER	7200 LOUISIANA BLVD NE	DRAWN BY:	S-J
SHEET NUMBER	ALBUQUERQUE NEW MEXICO	SHEET TITLE	LANDSCAPE PLAN
DATE:	5/4/12	SCALE:	AS NOTED