

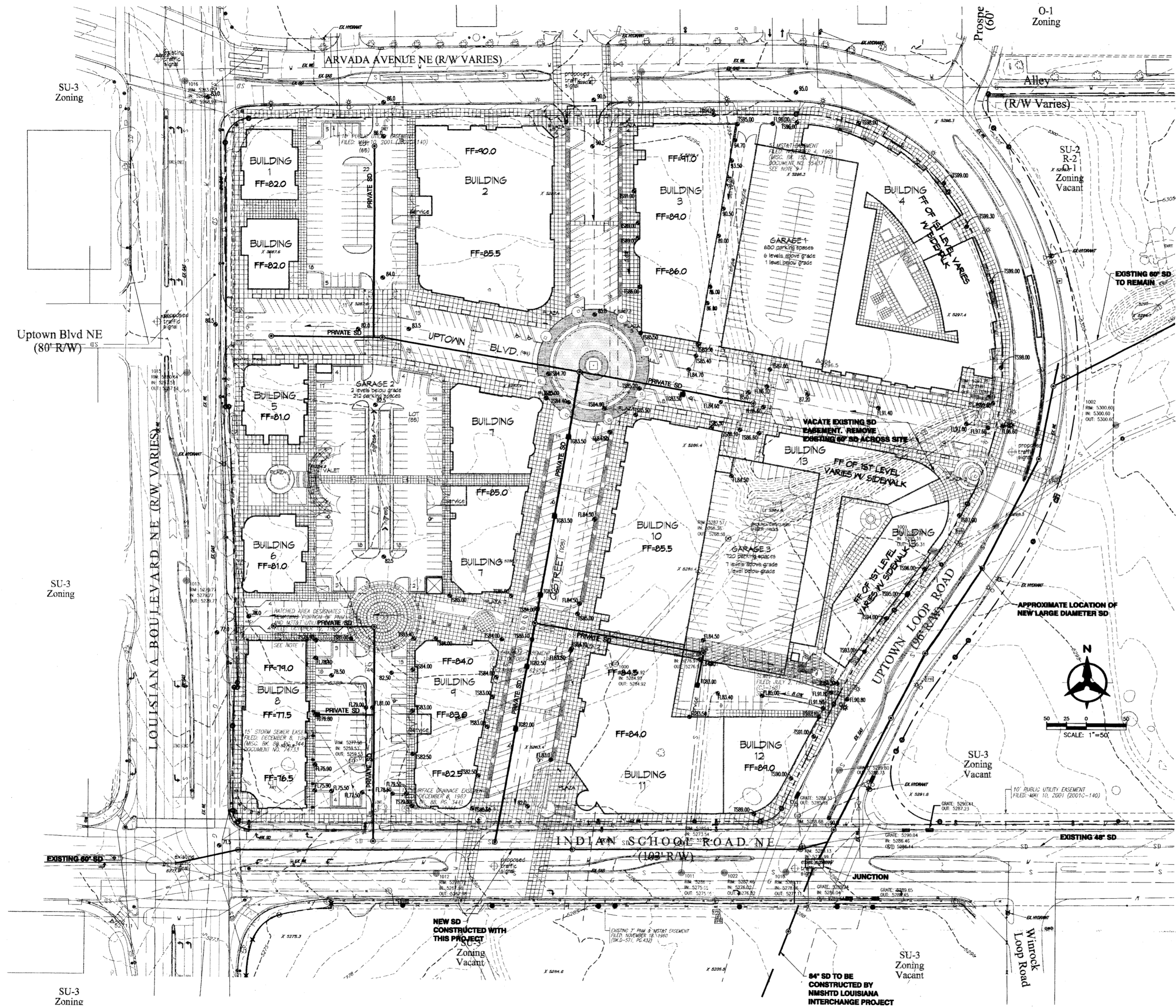
Owner Hunt-Uptown, LLC
 Planning Consultant Denish + Kline Assoc., Inc.
 Project Architect Dekker/Perich/Sabatini
 Project Engineer Bohannon-Huston
 Project Identity Vaughn Wedeen Creative



DRB Submittal
 Site Development Plan for Building Permit

Utility Plan 14 of 14

RText (RText)



Topography and Grading Narrative

Existing Site Topography

The site currently slopes from east to west at approximately 2%. The highest point on the site is along Uptown Loop Road at the northeast corner of the site. The lowest point is at the corner of Louisiana and Indian School. The site is completely surrounded by public streets. Indian School on the south slopes from east to west. Uptown Loop Road on the east slopes from north to south, and on the north side of the site, the slope of Uptown Loop Road is from east to west. Louisiana, on the west edge of the site, also slopes from north to south.

Proposed Site Grading

The slope of the site under proposed conditions is similar to existing. Most of the buildings around the perimeter of the site will be set up above the adjacent sidewalk grade - this is shown on the conceptual grading and drainage plan. No grading beyond the property lines is proposed with this project. The drainage from the project is addressed in the Uptown Drainage report prepared by Bohannon Huston Inc., and approved by city hydrology.

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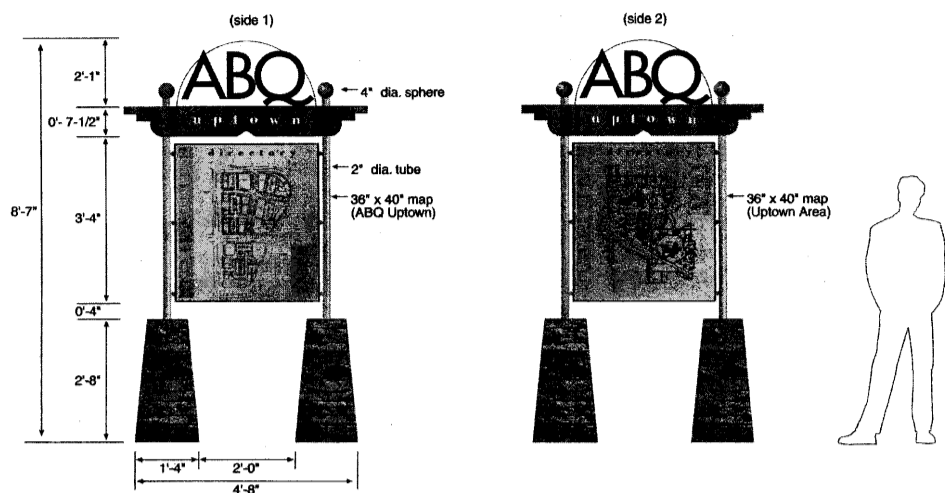


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Grading & Drainage Plan 13 of 14



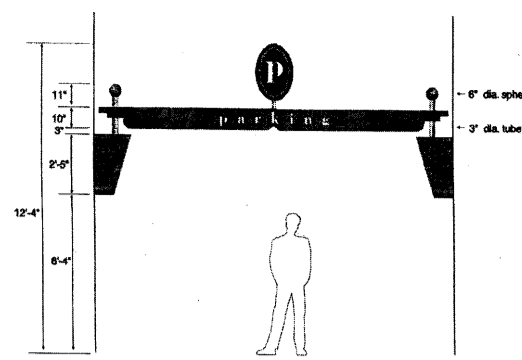
D Elevation - Parking Gateway
1/4" = 1'-0"



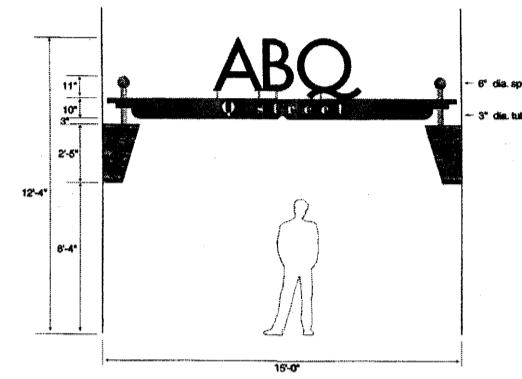
D Elevation - Kiosk Map/ Directory, Side 1 & Side 2
1/2" = 1'-0"



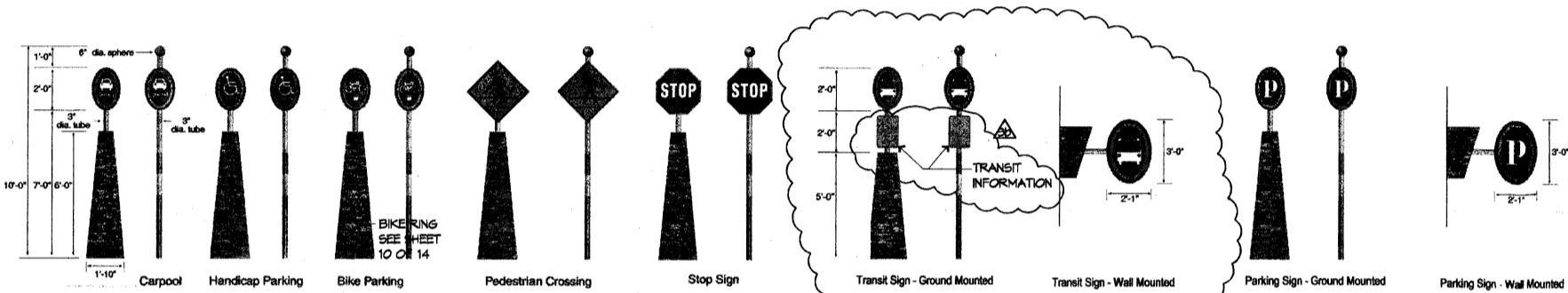
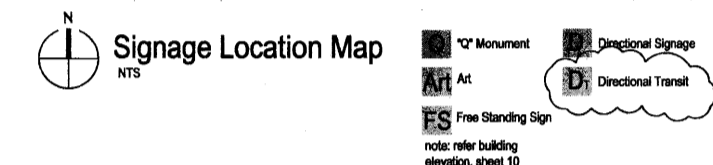
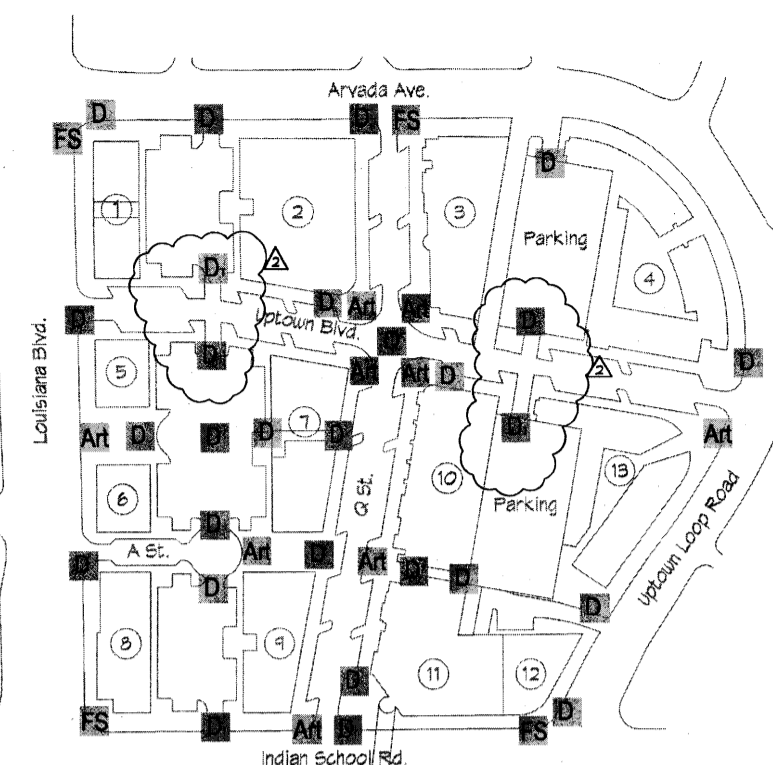
D Elevation - Vehicular Gateway
1/4" = 1'-0"



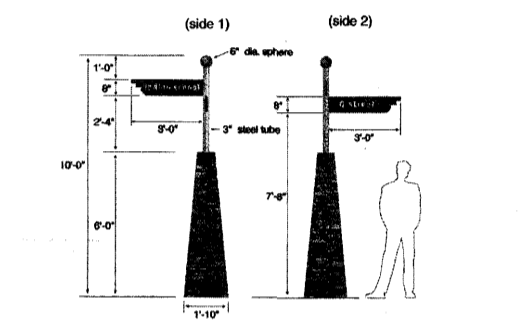
D Elevation - Pedestrian Gateway (to Parking)
1/4" = 1'-0"



D Elevation - Pedestrian Gateway (to Q Street)
1/4" = 1'-0"



D Elevation - Directional Signage
1/4" = 1'-0"

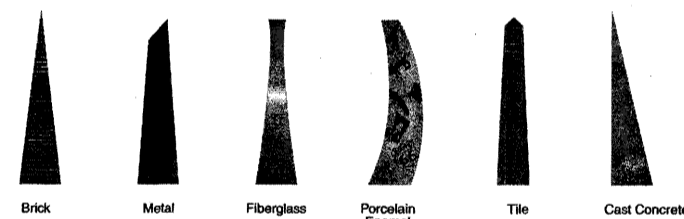


D Elevation - Directional Signage
1/4" = 1'-0"

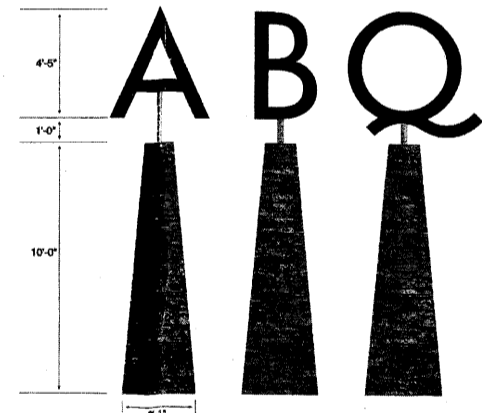
DIRECTIONAL SIGNAGE



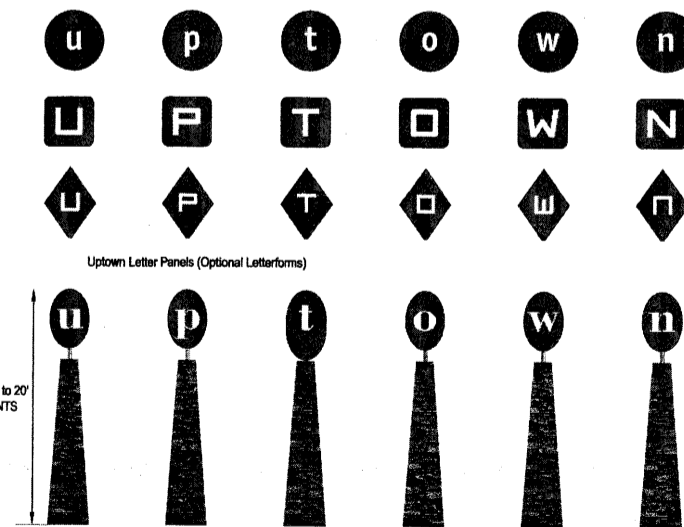
Art "ABQ Uptown" Text Options
NTS



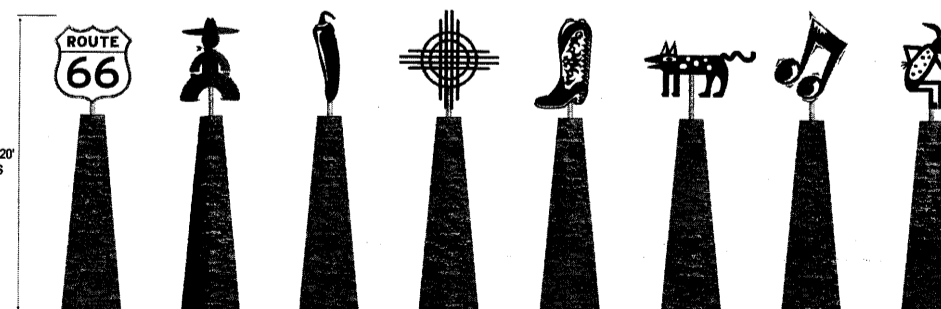
Art Pylon Material and Shape Options
NTS



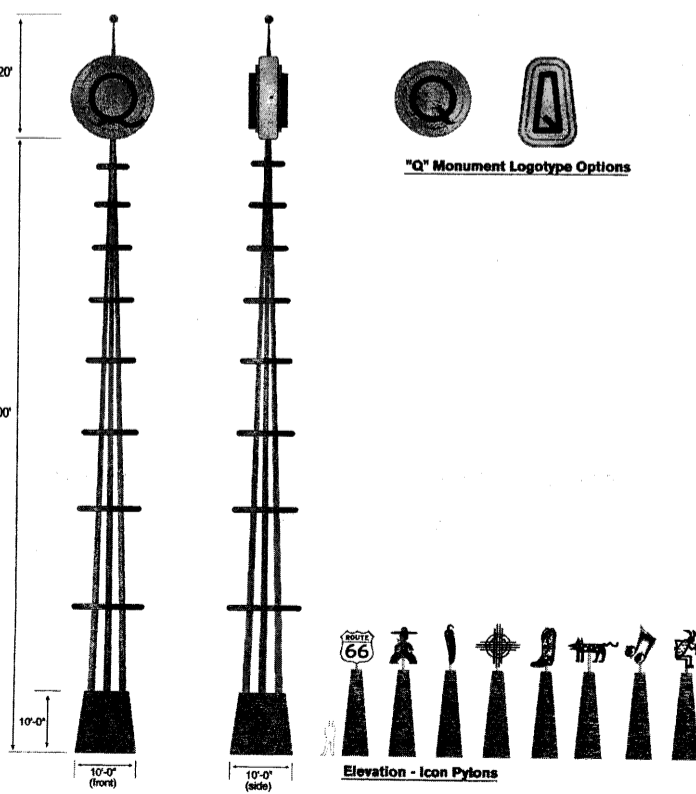
Art Elevation - Sculptural Monuments
1/4" = 1'-0"



Art Elevation - Uptown Pylon Art
NTS



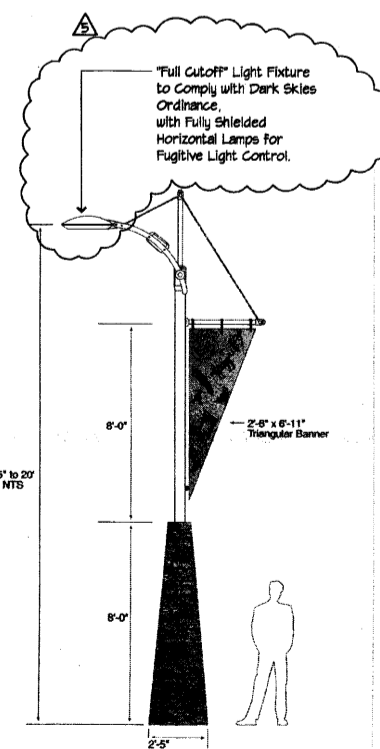
Art Elevation - Icon Pylons
NTS



Art Elevation - "Q" Monument - at Plaza 3
1/16" = 1'-0"



Art Elevation - Sculptural Letterforms
NTS



Art Elevation - Light Pole with Banner (Typical)
1/4" = 1'-0"

GENERAL NOTE
1. All Signage shall comply with USDP as set out on pages 21 and 22.

Directional Signage and Art Design Statement

In designing the ABQ Uptown directional signage and art elements, the design team worked with intentions of representing elements from New Mexico's ancient past, recent past, present, and future. From Chaco Canyon to Route 66 and beyond, our state has left its impression.

It is important to note that this thinking has influenced and affected not only the design, but also the selection of materials, lighting and colors. This being said, ABQ Uptown material lighting and colors include, but are not limited to the following:

Materials - stacked stone, metal, stucco, tile, terra-cotta, wood, porcelain enamel, cast concrete, bricks, glass blocks, acrylic, fiberglass, canvas or outdoor vinyl.

Lighting - street lamp, neon, internal, ground mounted, LED light strips, projected light, exposed decorative bulbs, or fiber optics. Lighting is to comply with relevant Dark Skies Ordinance.

Colors - brownish red, dark red, red, pink, reddish orange, orange, peach, light yellow, cream, yellow, green, grey, light green, turquoise, dark blue, blue, purple, brown, tan, black, grey, white, silver, and gold. Wood may be either natural, stained or painted.

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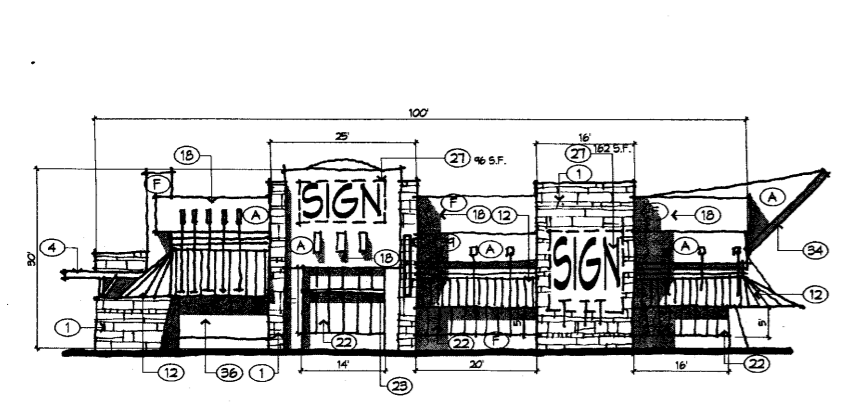


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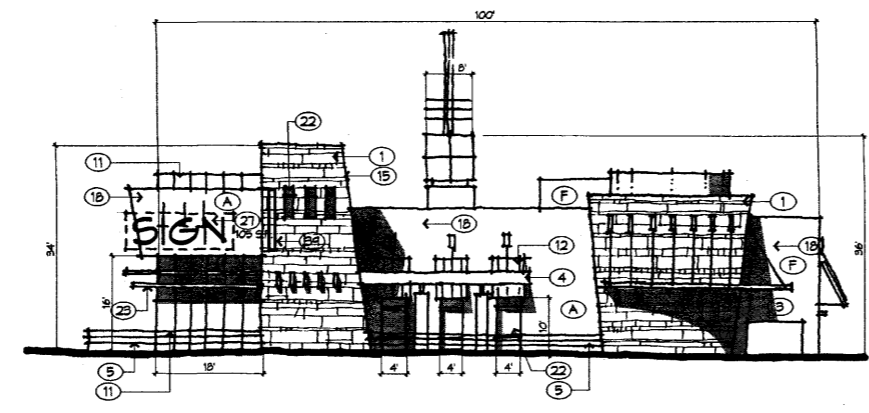
Directional Signage and Art 12 of 14

General Notes

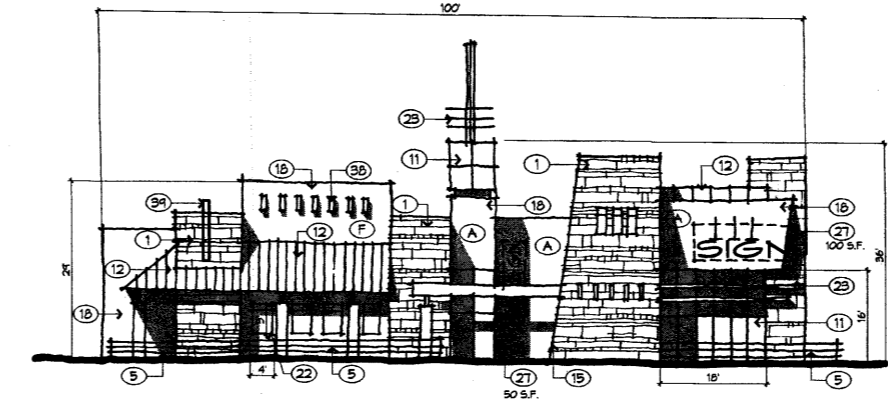
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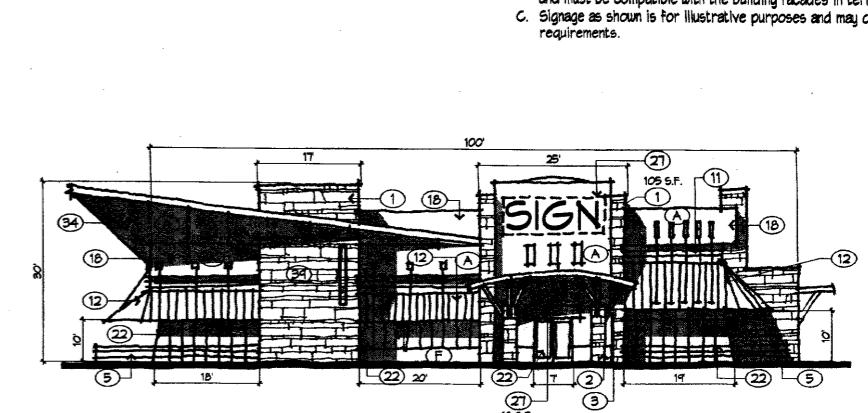
(A) Building 5 - West Elevation
1/16" = 1'-0"



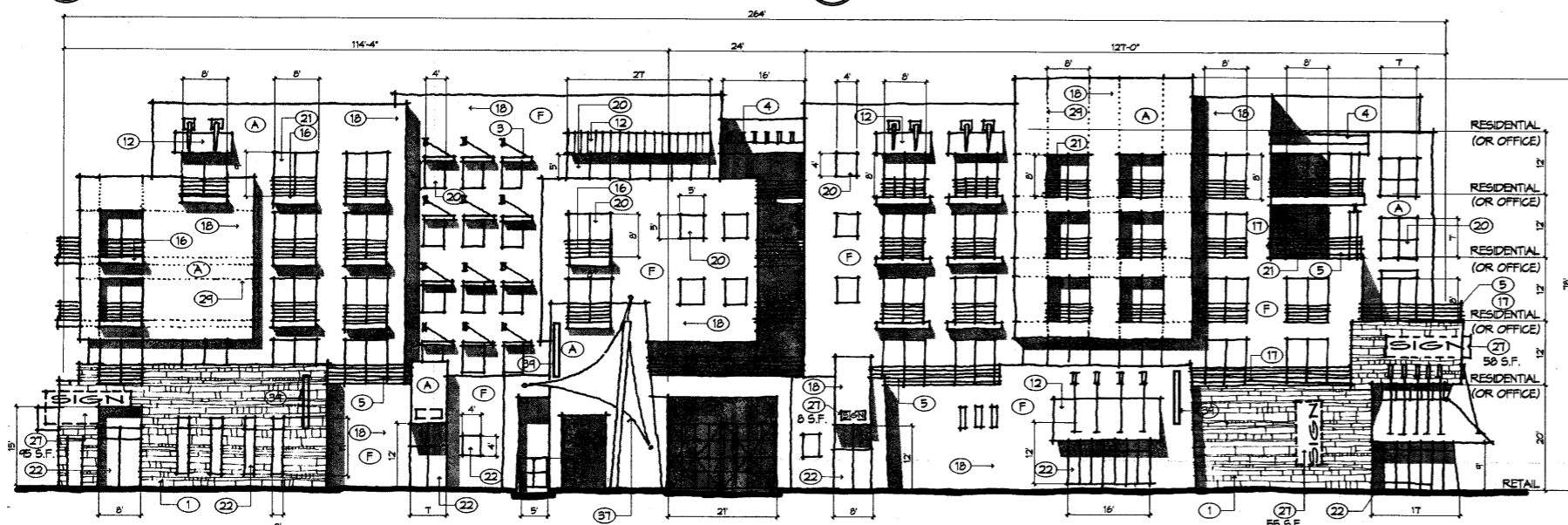
(A) Building 6 - West Elevation
1/16" = 1'-0"



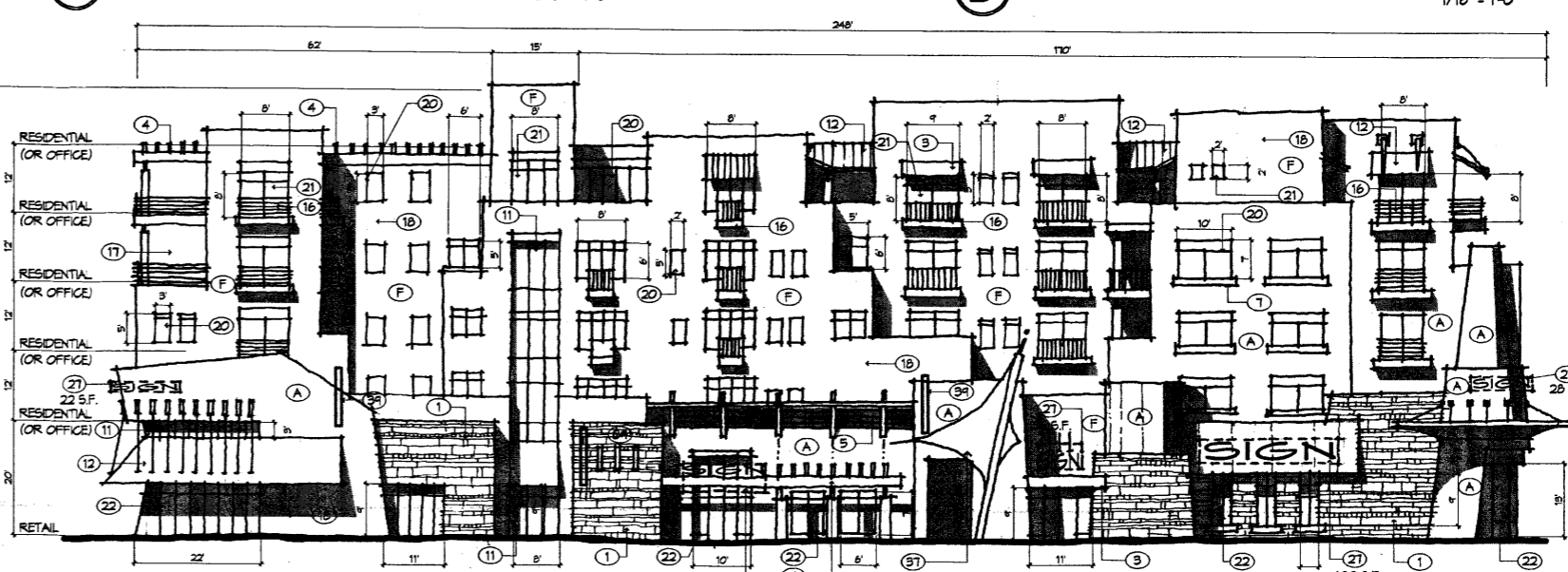
(B) Building 6 - East Elevation
1/16" = 1'-0"



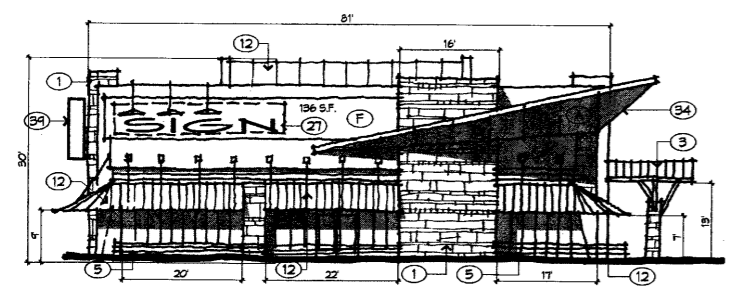
(B) Building 5 - East Elevation
1/16" = 1'-0"



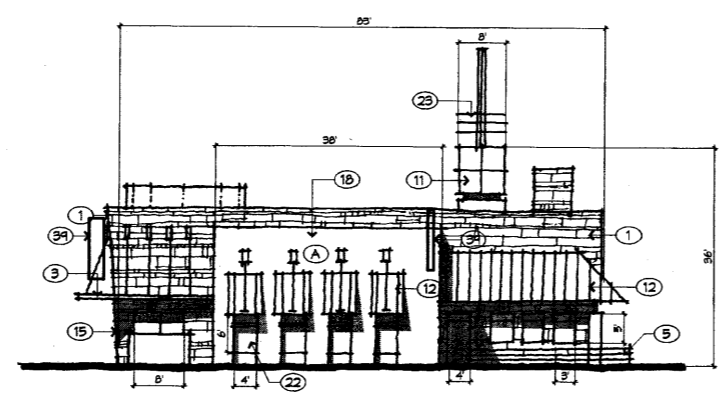
(C) Building 7 - West Elevation
1/16" = 1'-0"



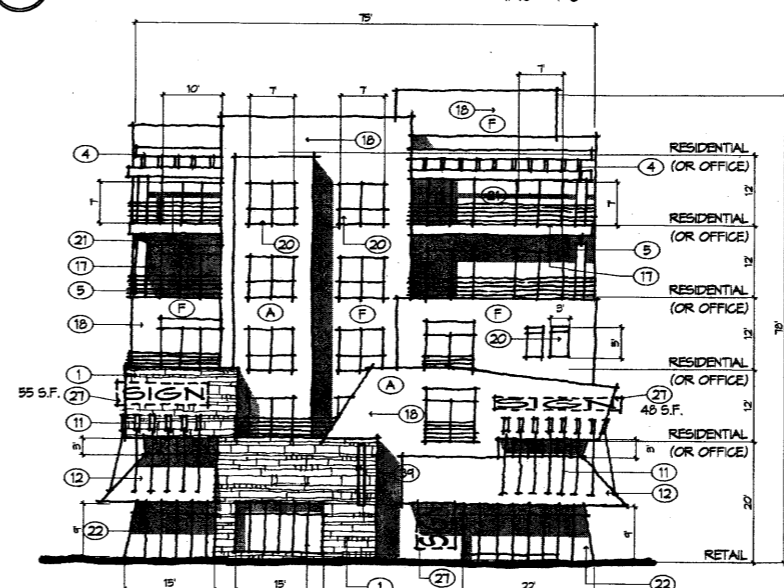
(D) Building 7 - East Elevation
1/16" = 1'-0"



(E) Building 5 - South Elevation
1/16" = 1'-0"



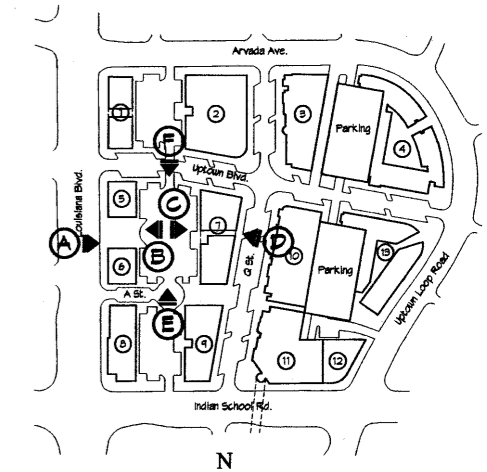
(E) Building 6 - South Elevation
1/16" = 1'-0"



(E) Building 7 - South Elevation
1/16" = 1'-0"

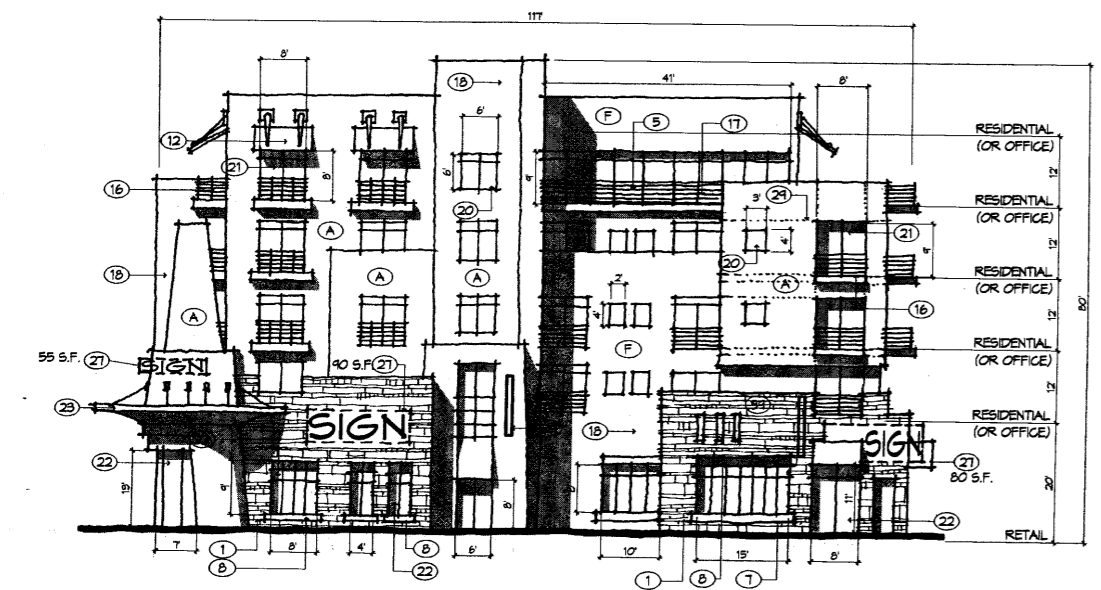
Exterior Color Notes

F. FIELD COLOR	A. ACCENT COLOR
Tan	Red
Gray	Orange
Mauve	Purple
Yellow	Green
Brown	Yellow
	Blue

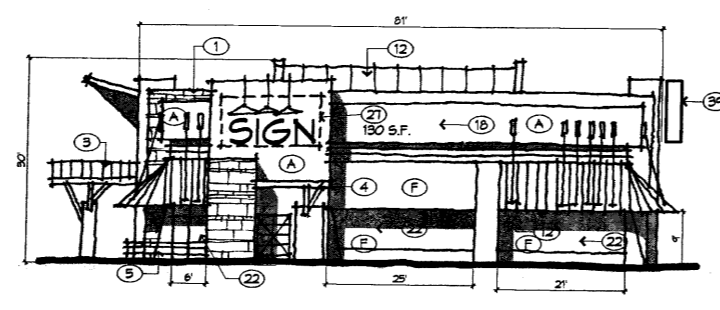


Key Plan

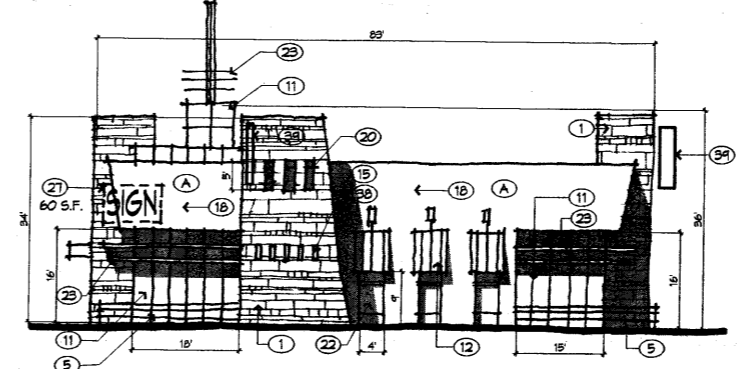
N.T.S.



(F) Building 7 - North Elevation
1/16" = 1'-0"



(F) Building 5 - North Elevation
1/16" = 1'-0"



(F) Building 6 - North Elevation
1/16" = 1'-0"

Keyed Notes

1. STACKED STONE OR CULTURED STONE VENEER
2. STACKED STONE OR CULTURED STONE VENEER COLUMN
3. PAINTED STEEL SHADE CANOPY
4. PAINTED STEEL RAILING
5. PAINTED STEEL RAILING
6. STUCCO OR STONE COPING
7. STUCCO OR STONE COPING
8. STUCCO OR STONE LINTEL
9. STUCCO OR WOOD CORBEL
10. PRE-FINISHED METAL VERTICAL BRACKETS
11. TRANSLUCENT WINDOW GLAZING SYSTEM
12. METAL ROOF/ANNING
13. PRE-FINISHED METAL ROOF COPING
14. RECESSED OPENING IN PARAPET
15. BATTERED WALL ELEMENT
16. CANTILEVERED BALCONY WITH PAINTED METAL RAIL
17. BALCONY STRUCTURE
18. STUCCO
19. OPENING IN WALL PLANE
20. TYPICAL ALUMINUM WINDOW UNIT, SIZE AS NOTED ON DRAWING
21. TYPICAL PATIO DOOR/WINDOW UNIT SIZE AS NOTED ON DRAWING
22. TYPICAL COMMERCIAL ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM SIZE AS NOTED ON DRAWING
23. ALUMINUM SHADE FIN
24. PARKING SIGNAGE
25. OPENINGS BETWEEN BUILDINGS
26. STAIRS WITH PAINTED METAL RAIL
27. WALL MOUNTED SIGNAGE, INTERNALLY OR EXTERNALLY LIT TO COMPLY WITH DARK SKIES ORDINANCE
28. PEDESTRIAN BRIDGE, DESIGN AS SHOWN IS FOR ILLUSTRATIVE PURPOSE ONLY.
29. PEDESTRIAN WALKWAY BETWEEN BUILDINGS
30. PAINTED METAL GRILLE AT OPENING IN WALL
31. 3'x6' RESIDENTIAL DOOR
32. PARKING GARAGE AUTOMOBILE DOOR
33. HORIZONTAL METAL ROOF STRUCTURE
34. GLASS OVERHEAD GARAGE DOOR
35. DISPLAY WINDOW
36. TENSILE SHADE STRUCTURE
37. EXPOSED BEAMS
38. BLADE SIGN
39. NARROW FLANGED ALUMINUM WINDOW

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Building Elevations 5 11 of 14

General Notes

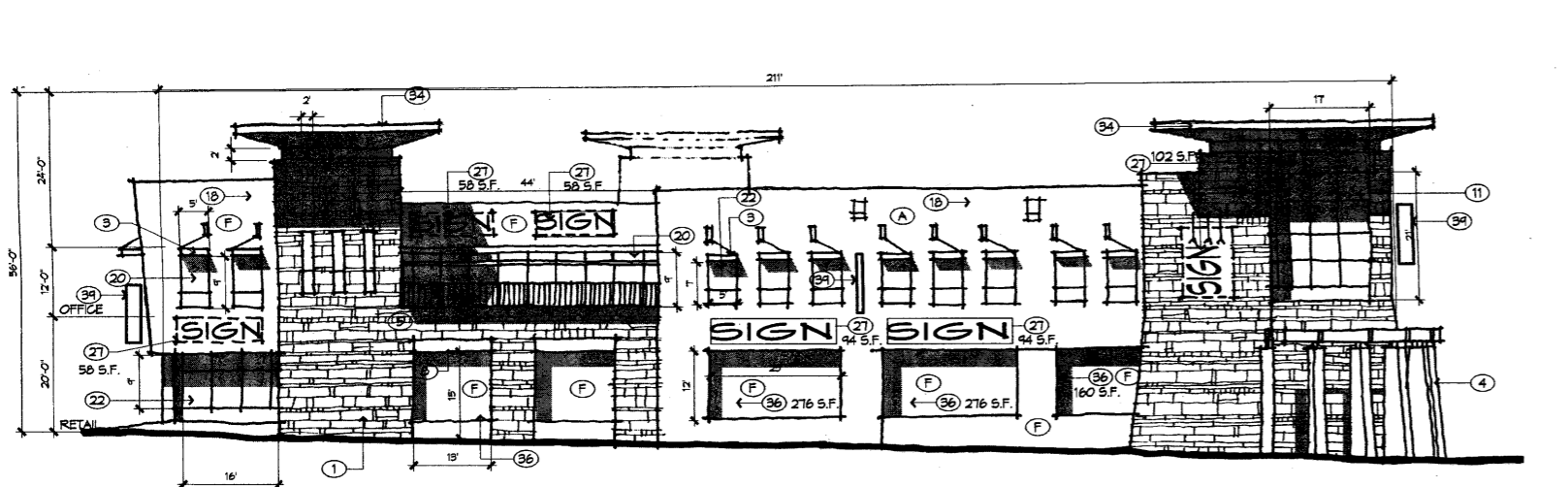
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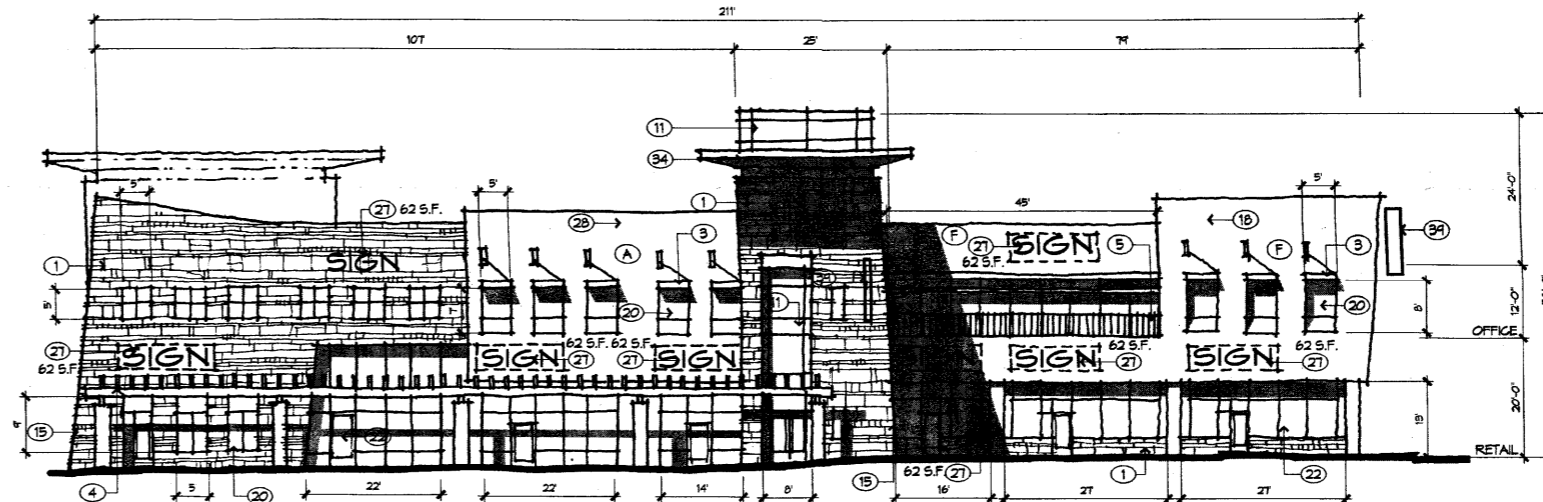
1. STACKED STONE OR CULTURED STONE VENEER
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11. TRANSLUCENT WINDOW GLAZING SYSTEM
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13. PRE-FINISHED METAL ROOF COPING
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37. TENSILE SHADE STRUCTURE
38. EXPOSED BEAMS
39. BLADE SIGN
40. NARROW PUNCHED ALUMINUM WINDOW

Exterior Color Notes

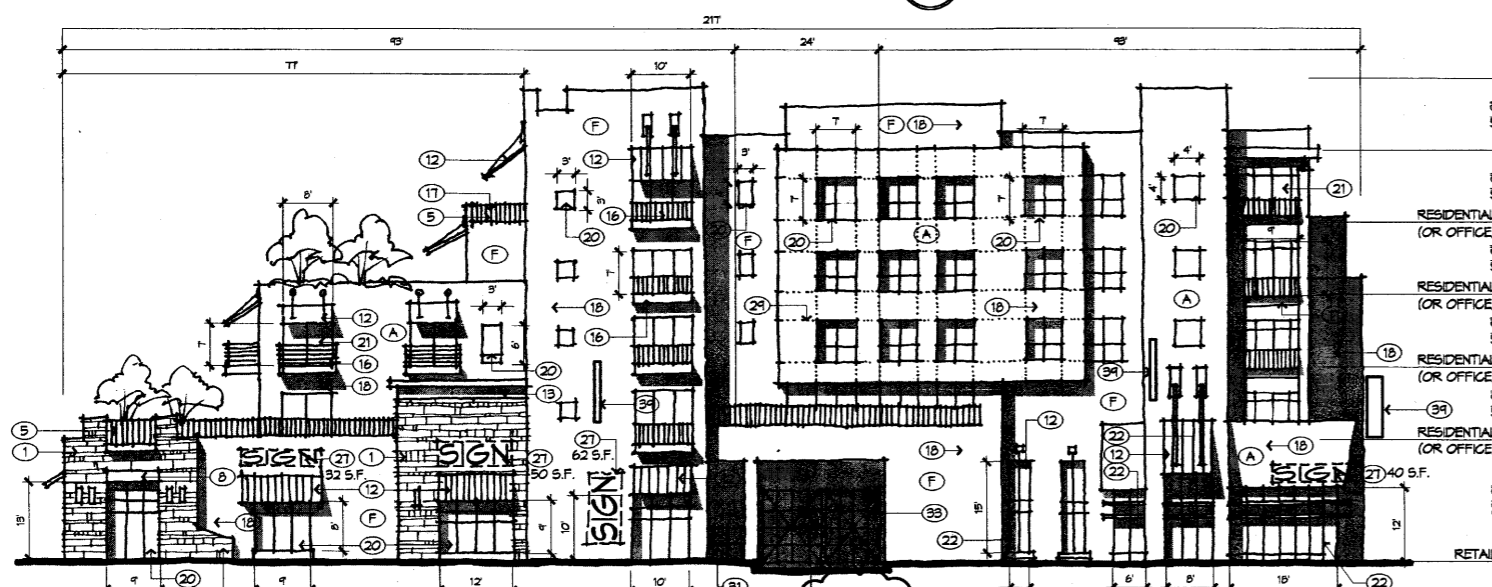
F. FIELD COLOR	A. ACCENT COLOR
Tan	Red
Grey	Orange
Maive	Purple
Yellow	Green
Brown	Yellow
	Blue



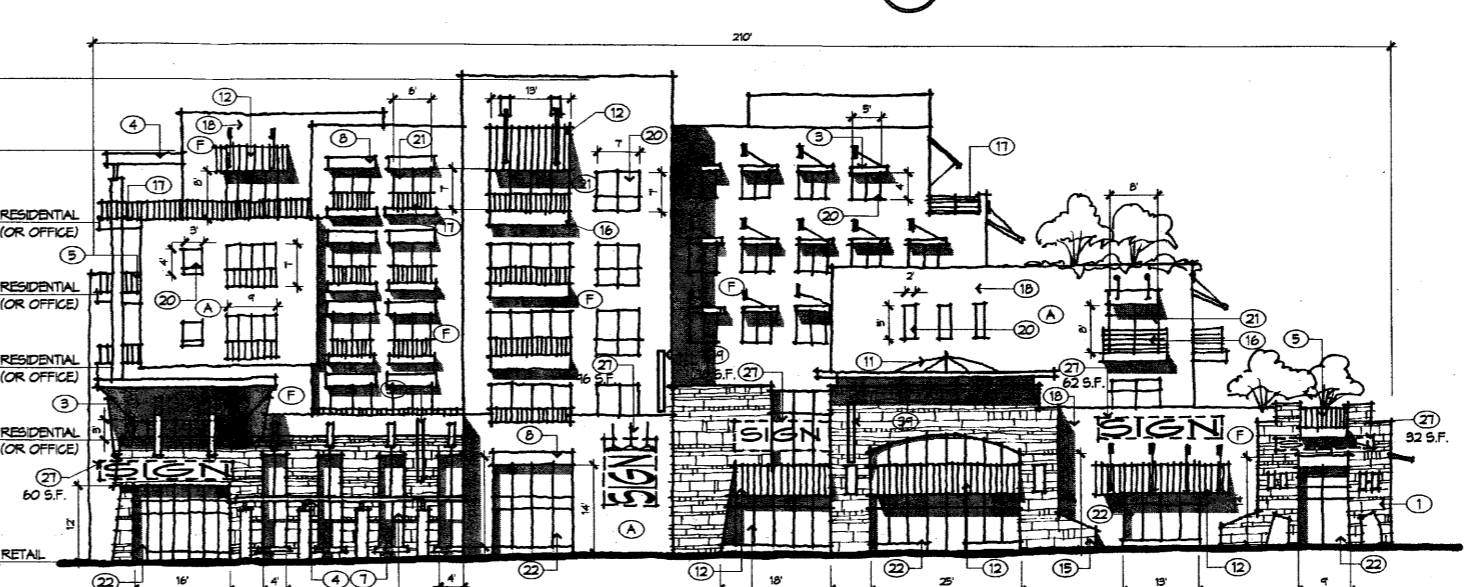
A Building 8 - West Elevation
1/16" = 1'-0"



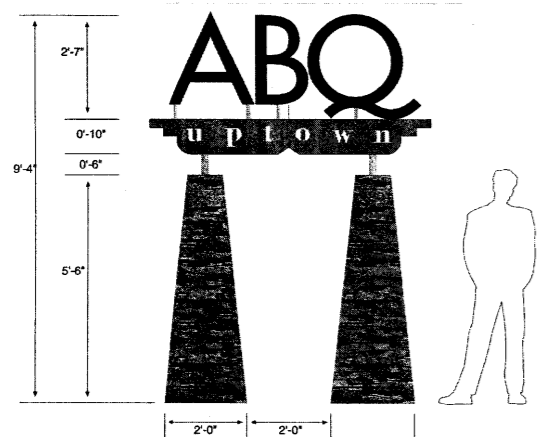
B Building 8 - East Elevation
1/16" = 1'-0"



C Building 9 - West Elevation
1/16" = 1'-0"



D Building 9 - East Elevation
1/16" = 1'-0"



D Elevations - Entry Sign / Free Standing Monument Sign
1/16" = 1'-0"

Entry Sign

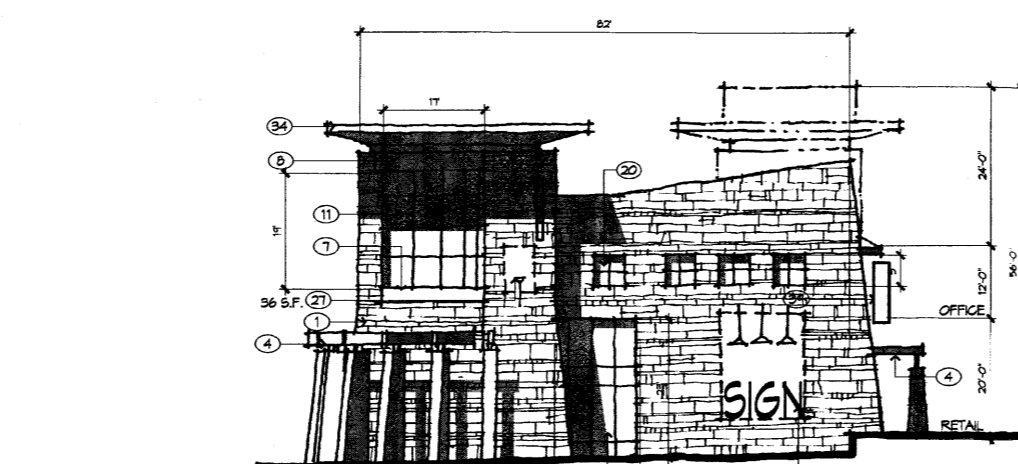
Overall Description:
The entry sign will welcome visitors to ABQ Uptown.

Materials:
The pylon base may be made with stacked stone. The support column may be made from metal. The "truss" may be made from wood. The letters may be made of metal. Other materials may include, but may not necessarily be limited to: stone, tile, terra cotta, porcelain enamel, cast concrete, bricks, glass blocks, acrylic or fiberglass.

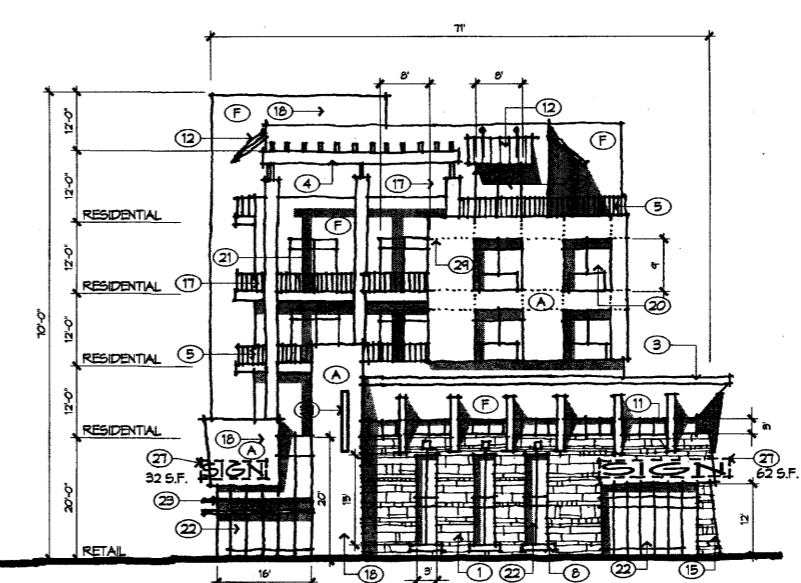
Lighting: (to comply with Dark Skies Ordinance)
The entry sign may be internally lit or externally lit from the ground. Neon lighting may be used to accent the pylon base, support columns, header and logo/typography letters. Other lighting may include, but may not necessarily be limited to: LED light strips, projected light, exposed decorative bulbs or fiber optics.

Colors:
The colors used may include, but may not necessarily be limited to: brownish red, dark red, red, pink, reddish orange, orange, peach, light yellow, cream, yellow, green, grey green, light green, turquoise, dark blue, blue, purple, brown, tan, black, grey, white, silver, and gold. Wood may be either natural, stained or painted.

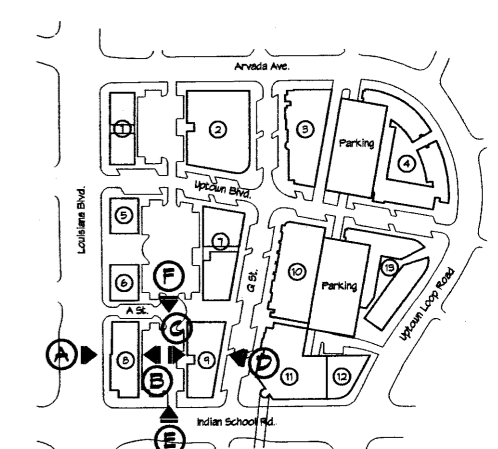
Entry Sign/Free Standing Monument Sign
1/2" = 1'-0"



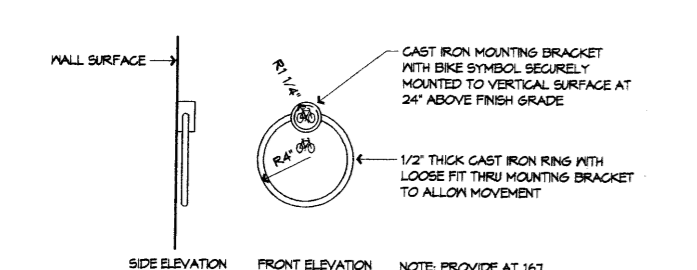
E Building 8 - South Elevation
1/16" = 1'-0"



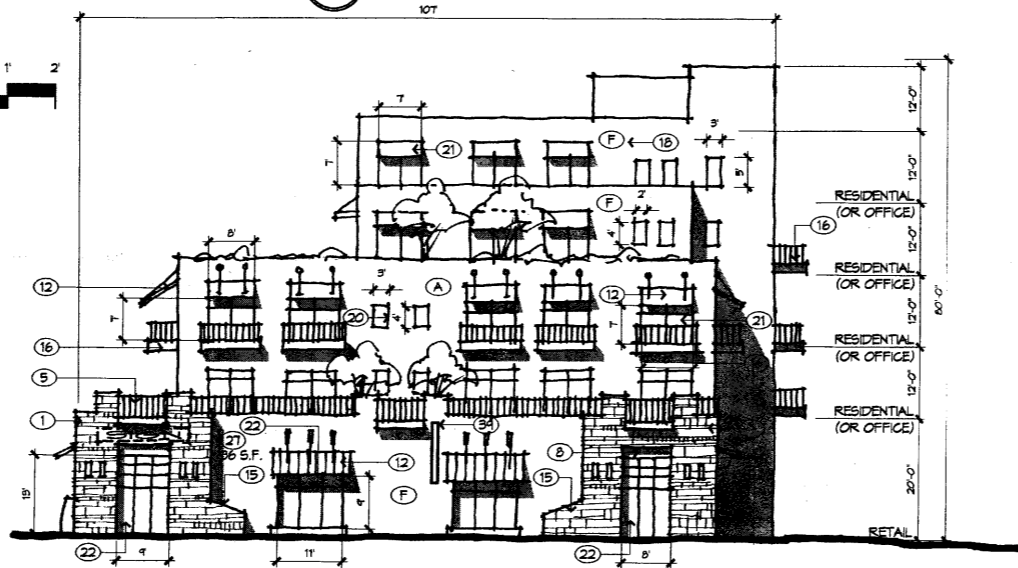
E Building 9 - South Elevation
1/16" = 1'-0"



Key Plan N.T.S.



BIKE LOCK RING
1 1/2" = 1'-0"



F Building 9 - North Elevation
1/16" = 1'-0"



F Building 8 - North Elevation
1/16" = 1'-0"

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Building Elevations 4 10 of 14

General Notes

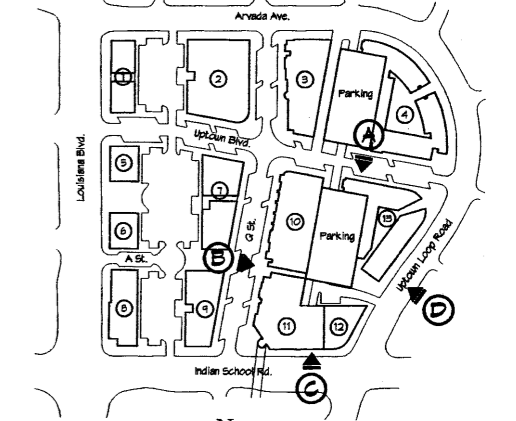
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- 2. STACKED STONE OR CULTURED STONE VENEER COLUMN
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- 4. PAINTED STEEL TRELLIS
- 5. PAINTED STEEL RAILING
- 6. STUCCO OR STONE COPING
- 7. STUCCO OR STONE WINDOW SILL
- 8. STUCCO OR STONE LINTEL
- 9. STUCCO OR WOOD CORBEL
- 10. FINISHED METAL VERTICAL BRACKETS
- 11. TRANSLUCENT WINDOW GLAZING SYSTEM
- 12. METAL ROOF/ANNING
- 13. FINISHED METAL ROOF COPING
- 14. RECESSED OPENING IN PARAPET
- 15. BATTERED WALL ELEMENT
- 16. CANTILEVERED BALCONY WITH PAINTED METAL RAIL
- 17. BALCONY STRUCTURE
- 18. STUCCO
- 19. OPENING IN WALL PLANE
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- 21. TYPICAL PATIO DOOR/WINDOW UNIT SIZE AS NOTED ON DRAWING
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- 23. ALUMINUM SHADE FIN
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- 35. GLASS OVERHEAD GARAGE DOOR
- 36. DISPLAY WINDOW
- 37. TENSILE SHADE STRUCTURE
- 38. EXPOSED BEAMS
- 39. BLADE SIGN
- 40. WAGON WHEEL ALUMINUM WINDOW

Exterior Color Notes

F. FIELD COLOR	A. ACCENT COLOR
Tan	Red
Grey	Orange
White	Purple
Yellow	Green
Brown	Yellow
	Blue



Key Plan

N.T.S.

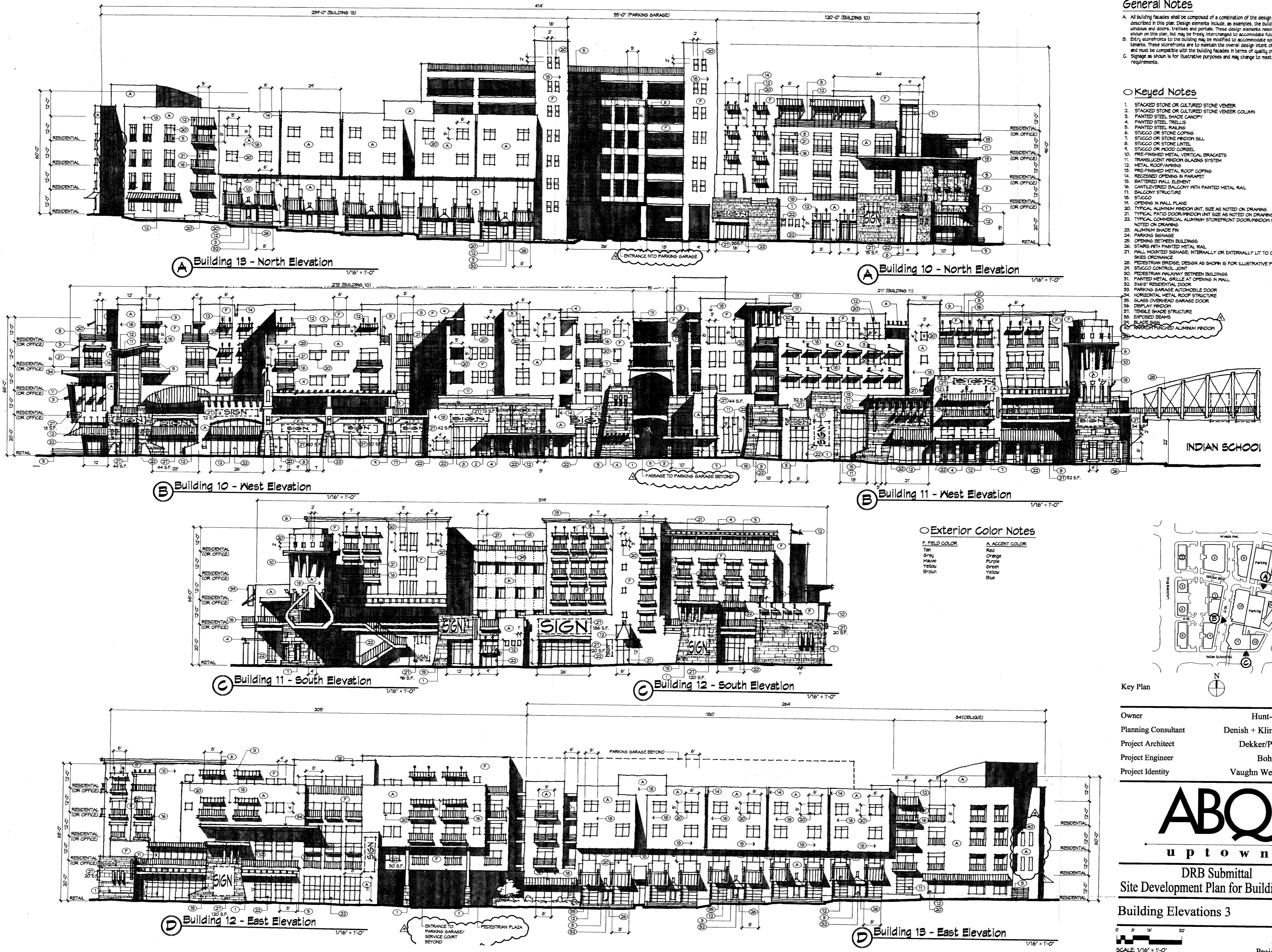
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Building Elevations 3 09 of 14

SCALE: 1/16" = 1'-0"
 23 June 2004
 Project #1002247



A Building 10 - North Elevation
 1/16" = 1'-0"

A Building 11 - North Elevation
 1/16" = 1'-0"

B Building 10 - West Elevation
 1/16" = 1'-0"

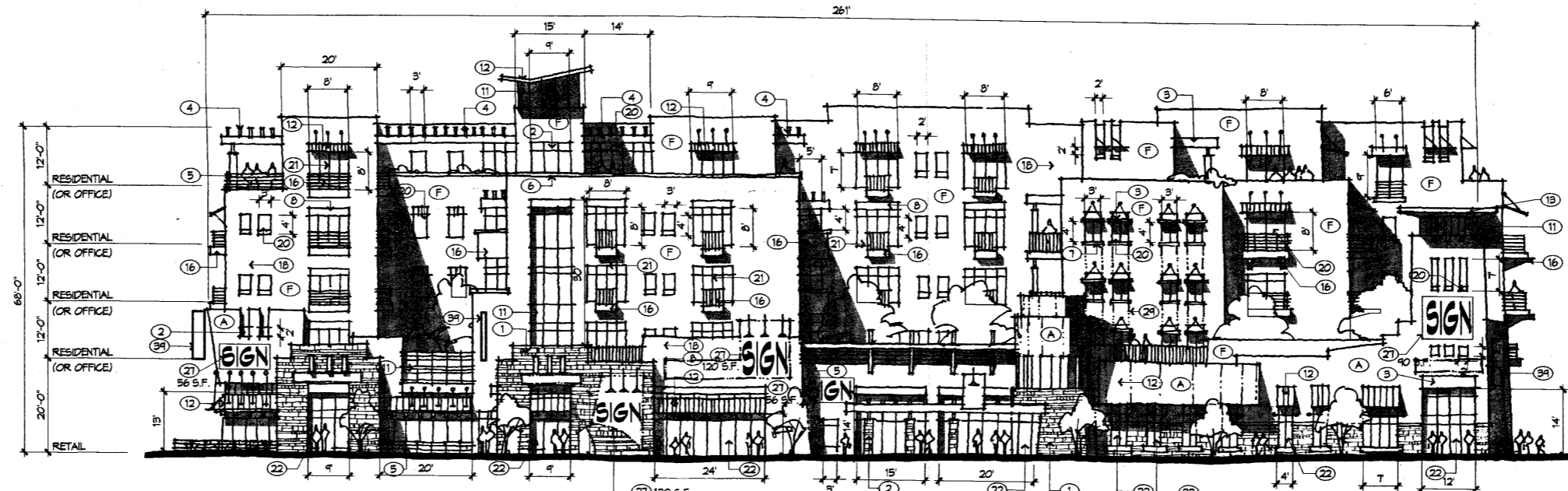
B Building 11 - West Elevation
 1/16" = 1'-0"

C Building 11 - South Elevation
 1/16" = 1'-0"

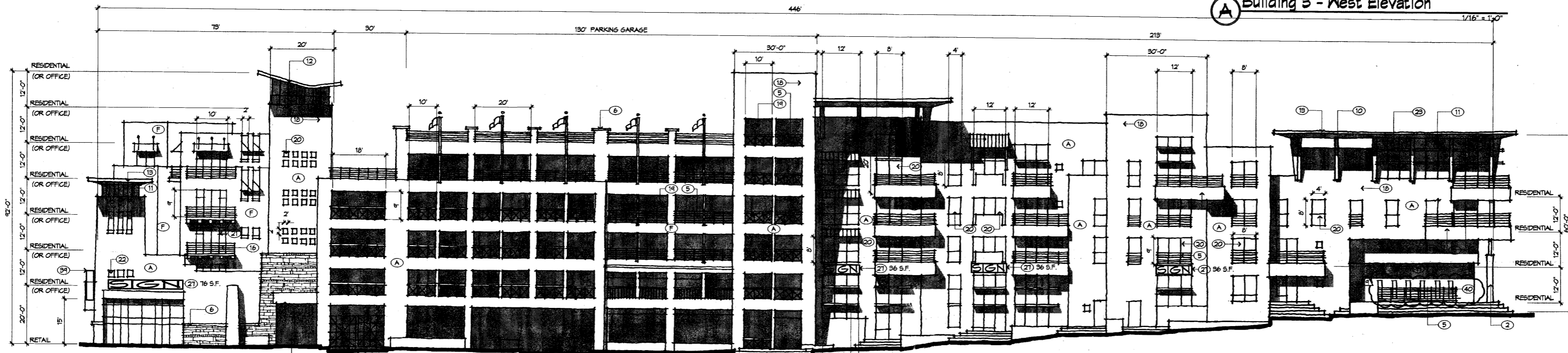
C Building 12 - South Elevation
 1/16" = 1'-0"

D Building 12 - East Elevation
 1/16" = 1'-0"

D Building 13 - East Elevation
 1/16" = 1'-0"

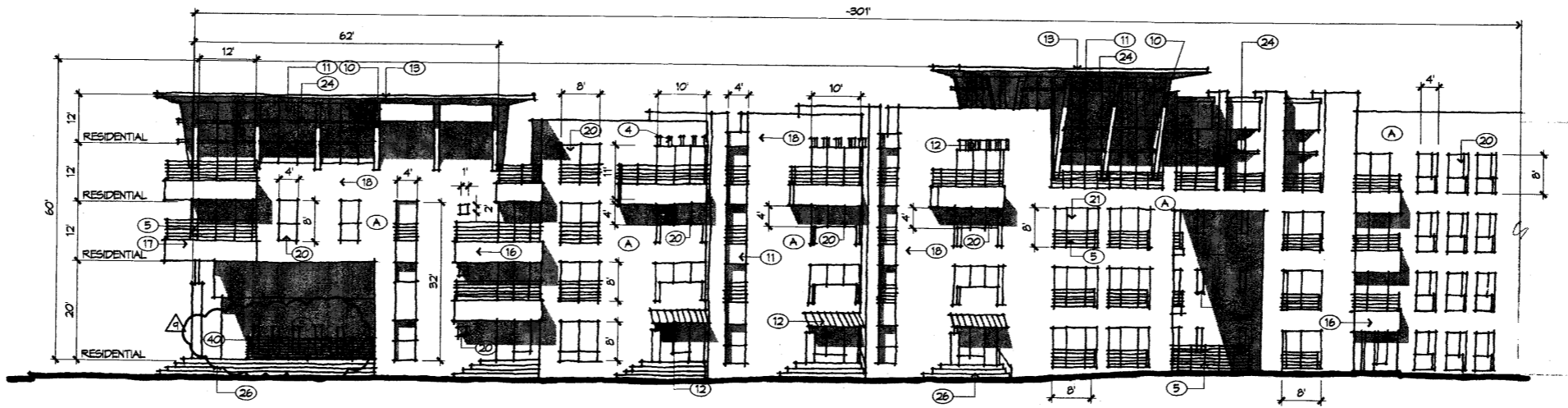


A Building 3 - West Elevation
1/16" = 1'-0"

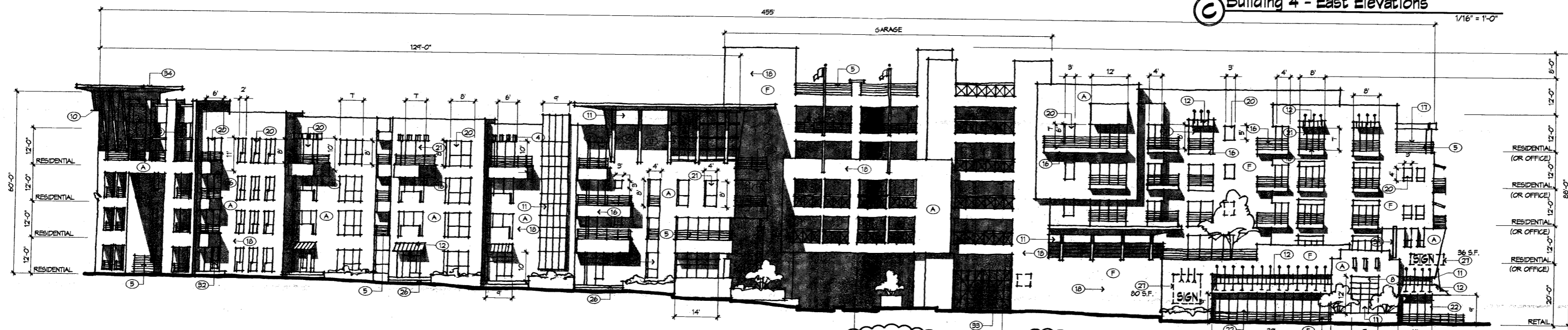


B Building 4 - South Elevation
1/16" = 1'-0"

B Building 3 - South Elevation
1/16" = 1'-0"



C Building 4 - East Elevations
1/16" = 1'-0"



D Building 4 - North Elevation
1/16" = 1'-0"

D Building 3 - North Elevation
1/16" = 1'-0"

General Notes

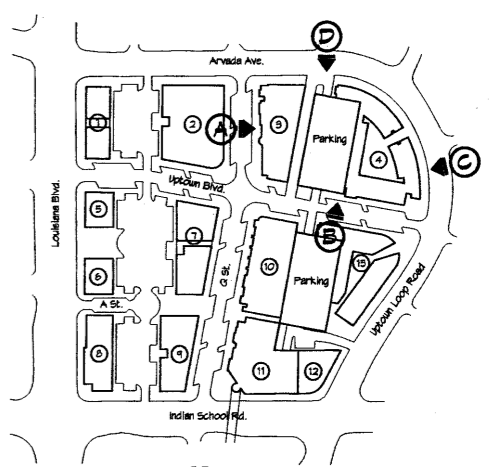
- A. All building facades shall be composed of a combination of the design elements shown or described in this plan. Design elements include, as examples, the building colors, masonry, windows and doors, lintels and portals. These design elements need not be arranged as shown on this plan, but may be freely interchanged to accommodate future tenants.
- B. Entry storefronts to the building may be modified to accommodate specific needs of future tenants. These storefronts are to maintain the overall design intent of the buildings as shown and must be compatible with the building facades in terms of quality of materials and systems.
- C. Signage as shown is for illustrative purposes and may change to meet future tenant requirements.

Keyed Notes

1. STACKED STONE OR CULTURED STONE VENEER
2. STACKED STONE OR CULTURED STONE VENEER COLUMN
3. PAINTED STEEL SHADE CANOPY
4. PAINTED STEEL TRELLIS
5. PAINTED STEEL RAILING
6. STUCCO OR STONE CORNICE
7. STUCCO OR STONE WINDOW SILL
8. STUCCO OR STONE LINTEL
9. STUCCO OR WOOD CORSEL
10. PRE-FINISHED METAL VERTICAL BRACKETS
11. TRANSLUCENT WINDOW GLAZING SYSTEM
12. METAL ROOF/RAINING
13. PRE-FINISHED METAL ROOF COPING
14. RECESSED OPENING IN PARAPET
15. BATTERED WALL ELEMENT
16. CANTILEVERED BALCONY WITH PAINTED METAL RAIL
17. BALCONY STRUCTURE
18. STUCCO
19. OPENING IN WALL PLANE
20. TYPICAL ALUMINUM WINDOW UNIT, SIZE AS NOTED ON DRAWING
21. TYPICAL PATIO DOOR/WINDOW UNIT SIZE AS NOTED ON DRAWING
22. TYPICAL COMMERCIAL ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM, SIZE AS NOTED ON DRAWING
23. ALUMINUM SHADE FIN
24. PARKING SIGNAGE
25. OPENING BETWEEN BUILDINGS
26. STAIRS WITH PAINTED METAL RAIL
27. WALL MOUNTED SIGNAGE, INTERNALLY OR EXTERNALLY LIT TO COMPLY WITH DARK SKIES ORDINANCE
28. PEDESTRIAN BRIDGE DESIGN AS SHOWN IS FOR ILLUSTRATIVE PURPOSE ONLY.
29. STUCCO CONTROL JOINT
30. PEDESTRIAN WALKWAY BETWEEN BUILDINGS
31. PAINTED METAL GRILLE AT OPENING IN WALL
32. SHARP RESIDENTIAL DOOR
33. PARKING GARAGE AUTOMOBILE DOOR
34. HORIZONTAL METAL ROOF STRUCTURE
35. GLASS OVERHEAD GARAGE DOOR
36. DISPLAY WINDOW
37. TRELLIS SHADE STRUCTURE
38. EXPOSED BEAMS
39. BLADE SIGN
40. NARROW PAINTED ALUMINUM WINDOW

Exterior Color Notes

FIELD COLOR	ACCENT COLOR
Tan	Red
Grey	Orange
Malve	Purple
Yellow	Green
Brown	Yellow
	Blue



Key Plan

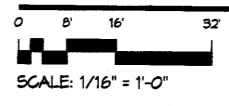
N.T.S.

Owner: Hunt-Uptown, LLC
 Planning Consultant: Denish + Kline Assoc., Inc.
 Project Architect: Dekker/Perich/Sabatini
 Project Engineer: Bohannan-Huston
 Project Identity: Vaughn Wedden Creative

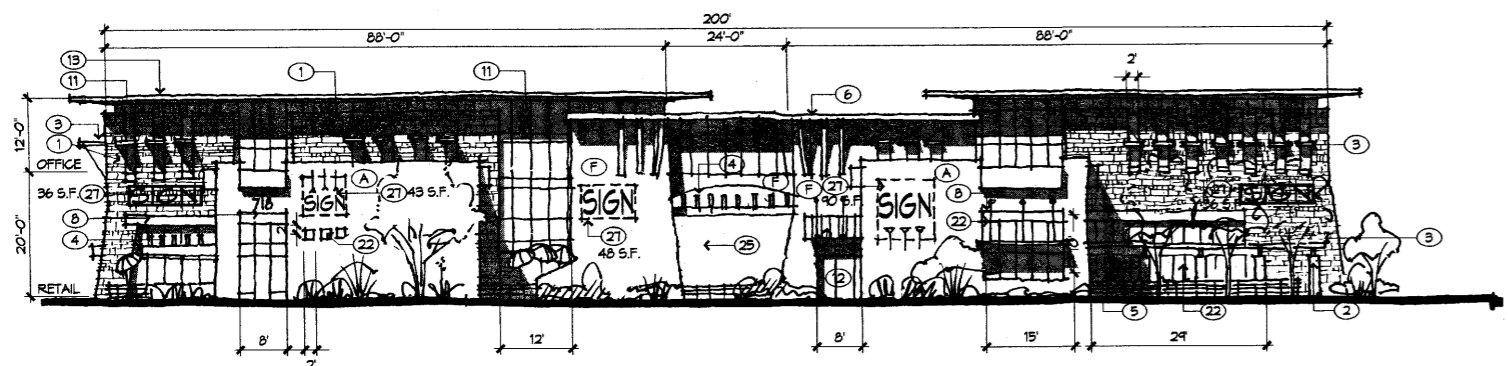


DRB Submittal
 Site Development Plan for Building Permit

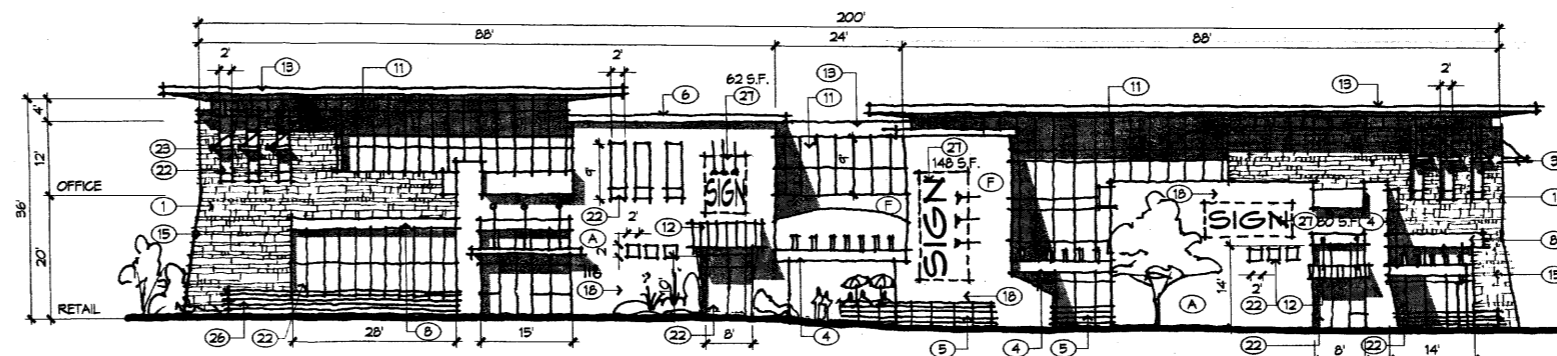
Building Elevations 2 08 of 14



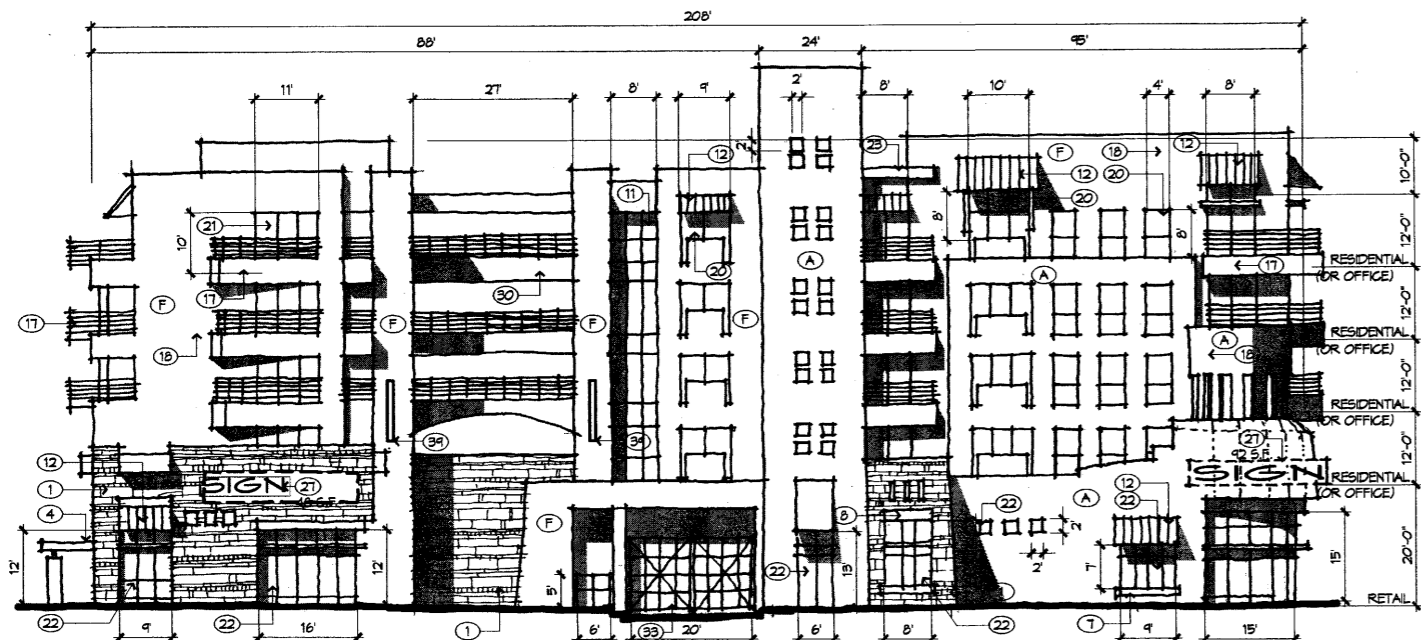
23 June 2004
 Project #1002247



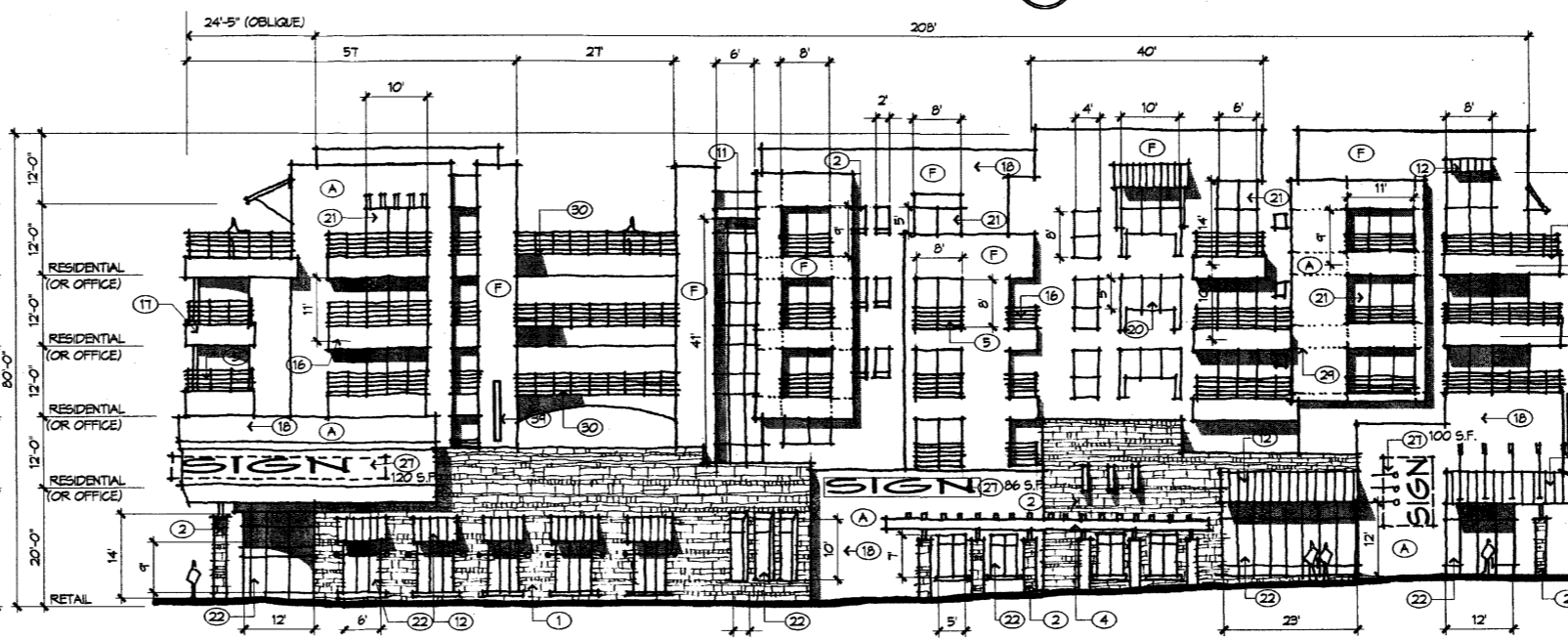
A Building 1 - West Elevation
1/16" = 1'-0"



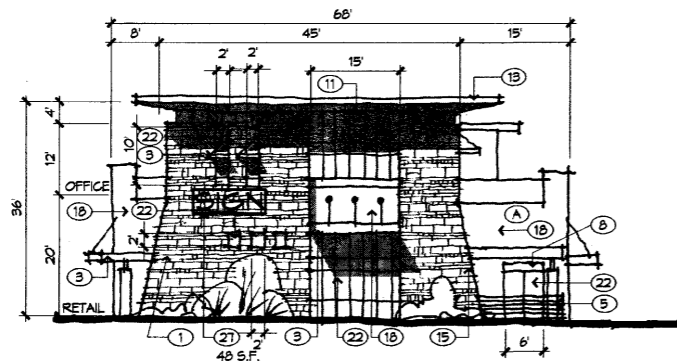
B Building 1 - East Elevation
1/16" = 1'-0"



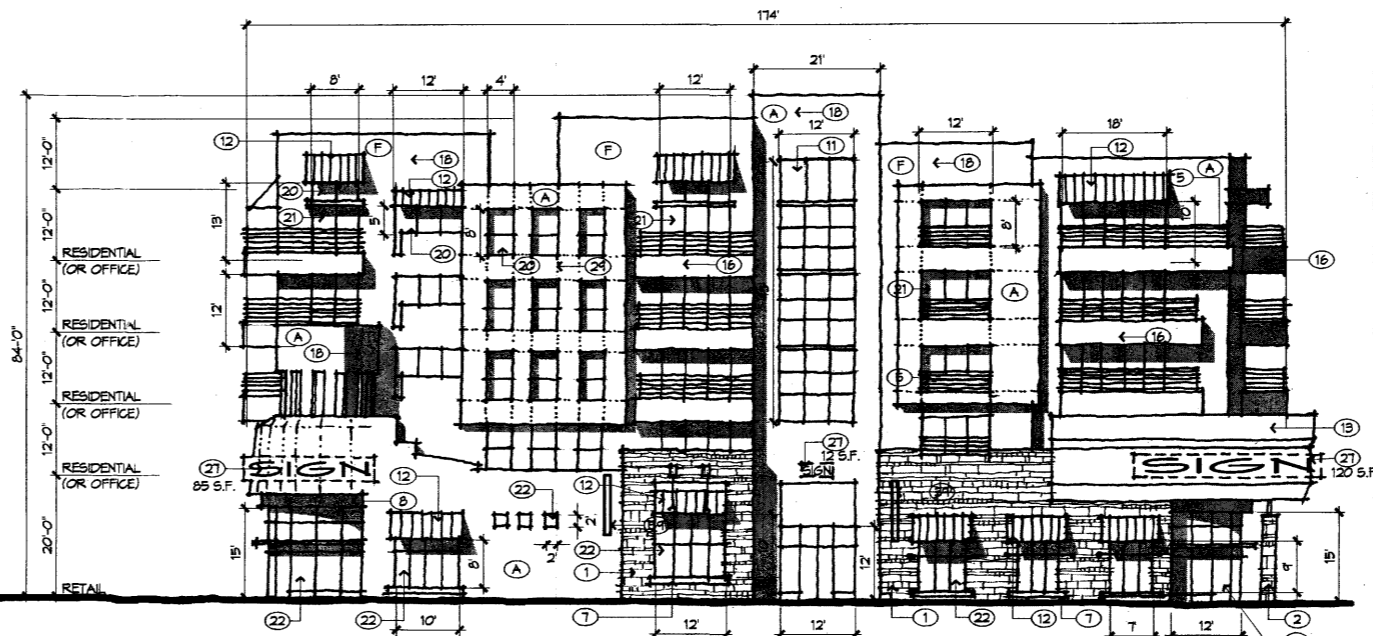
C Building 2 - West Elevation
1/16" = 1'-0"



D Building 2 - East Elevation
1/16" = 1'-0"



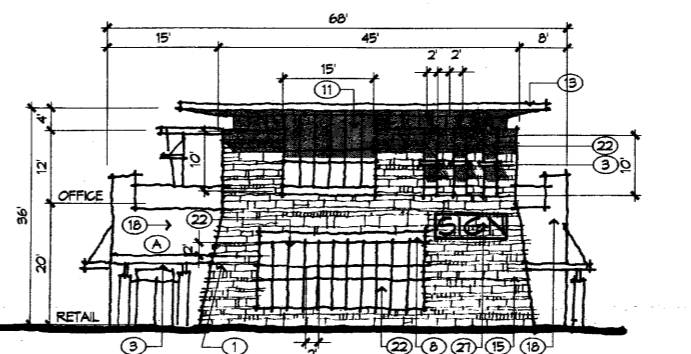
E Building 1 - South Elevation
1/16" = 1'-0"



E Building 2 - South Elevation
1/16" = 1'-0"



F Building 2 - North Elevation
1/16" = 1'-0"



F Building 1 - North Elevation
1/16" = 1'-0"

General Notes

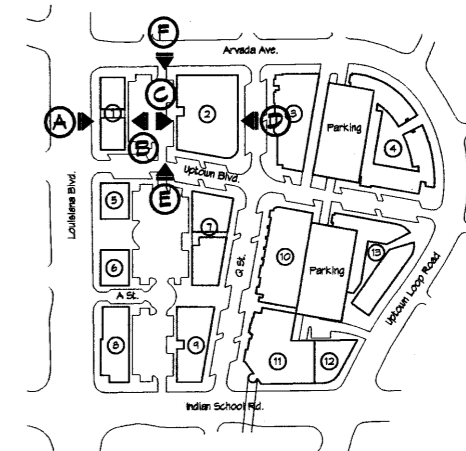
- A. All building facades shall be composed of a combination of the design elements shown or described in this plan. Design elements include, for example, the building colors, massing, windows and doors, trellises and portals. These design elements need not be arranged as shown on this plan, but may be freely interchanged to accommodate future tenants.
- B. Entry storefronts to the building may be modified to accommodate specific needs of future tenants. These storefronts are to maintain the overall design intent of the buildings as shown and must be compatible with the building facades in terms of quality of materials and systems.
- C. Signage as shown is for illustrative purposes and may change to meet future tenant requirements.

Keyed Notes

- 1. STACKED STONE OR CULTURED STONE VENEER
- 2. STACKED STONE OR CULTURED STONE VENEER COLUMN
- 3. PAINTED STEEL SHADE CANOPY
- 4. PAINTED STEEL TRELLIS
- 5. PAINTED STEEL RAILING
- 6. STUCCO OR STONE COPING
- 7. STUCCO OR STONE WINDOW SILL
- 8. STUCCO OR STONE LINTEL
- 9. STUCCO OR WOOD CORBEL
- 10. PRE-FINISHED METAL VERTICAL BRACKETS
- 11. TRANSLUCENT WINDOW GLAZING SYSTEM
- 12. METAL ROOF FINISH
- 13. PRE-FINISHED METAL ROOF COPING
- 14. RECESSED OPENING IN PARAPET
- 15. BATTERED WALL ELEMENT
- 16. CANTILEVERED BALCONY WITH PAINTED METAL RAIL
- 17. BALCONY STRUCTURE
- 18. STUCCO
- 19. OPENING IN WALL PLANE
- 20. TYPICAL ALUMINUM WINDOW UNIT, SIZE AS NOTED ON DRAWING
- 21. TYPICAL PATIO DOOR/WINDOW UNIT SIZE AS NOTED ON DRAWING
- 22. TYPICAL COMMERCIAL ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM SIZE AS NOTED ON DRAWING
- 23. ALUMINUM SHADE FIN
- 24. PARKING SIGNAGE
- 25. OPENING BETWEEN BUILDINGS
- 26. STAIRS WITH PAINTED METAL RAIL
- 27. WALL MOUNTED SIGNAGE; INTERNALLY OR EXTERNALLY LIT TO COMPLY WITH DARK SKIES ORDINANCE
- 28. PEDESTRIAN BRIDGE, DESIGN AS SHOWN IS FOR ILLUSTRATIVE PURPOSE ONLY.
- 29. STUCCO CONTROL JOINT
- 30. PEDESTRIAN WALKWAY BETWEEN BUILDINGS
- 31. PAINTED METAL GRILLE AT OPENING IN WALL
- 32. 5'x6' RESIDENTIAL DOOR
- 33. PARKING GARAGE AUTOMOBILE DOOR
- 34. HORIZONTAL METAL ROOF STRUCTURE
- 35. GLASS OVERHEAD GARAGE DOOR
- 36. DISPLAY WINDOW
- 37. TENSILE SHADE STRUCTURE
- 38. EXPOSED BEAMS
- 39. BLADE SIGN

Exterior Color Notes

F. FIELD COLOR	A. ACCENT COLOR
Tan	Red
Grey	Orange
Maize	Purple
Yellow	Green
Brown	Yellow
	Blue



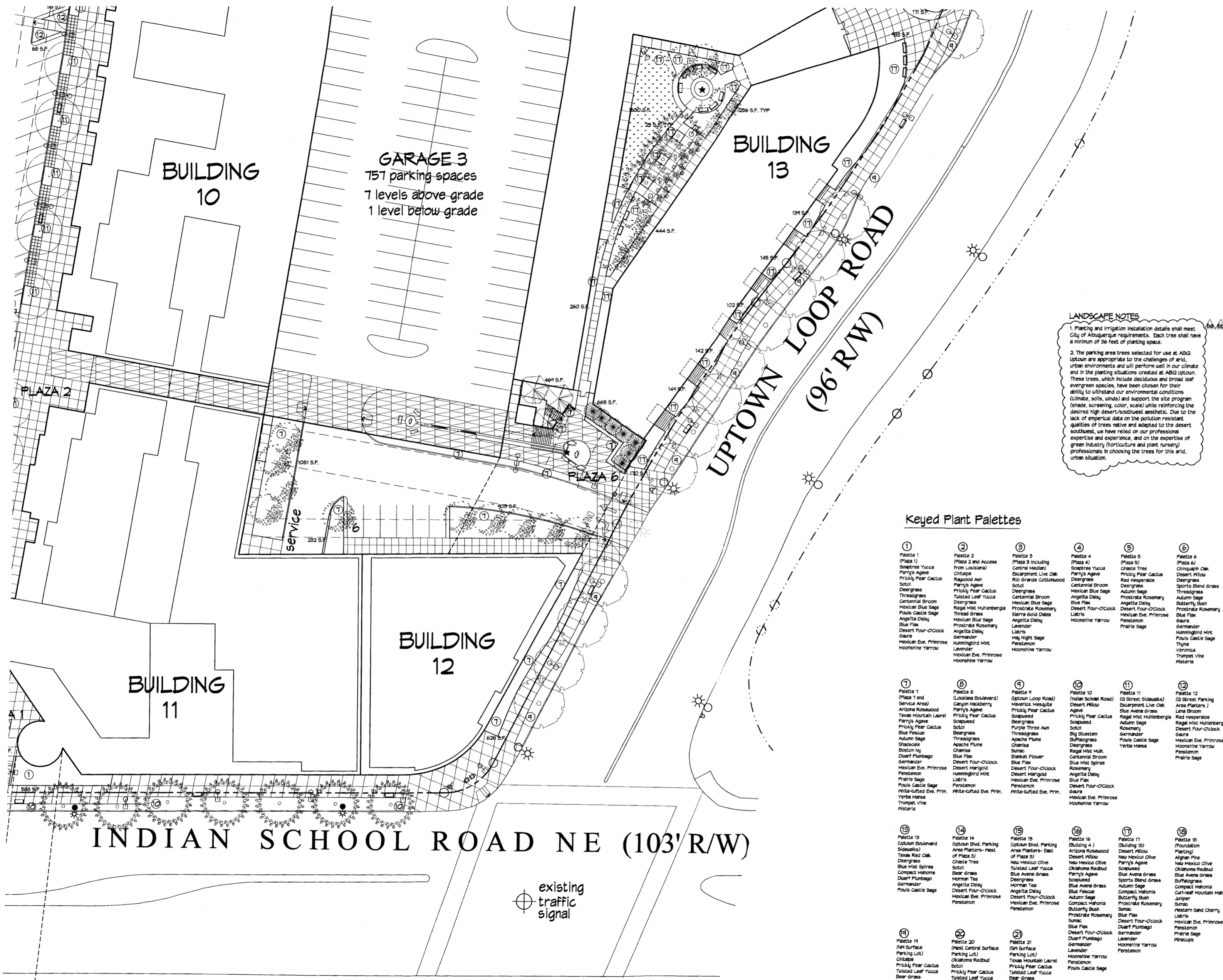
Key Plan N.T.S.

Owner: Hunt-Uptown, LLC
 Planning Consultant: Denish + Kline Assoc., Inc.
 Project Architect: Dekker/Perich/Sabatini
 Project Engineer: Bohannan-Huston
 Project Identity: Vaughn Wedene Creative

ABQ
 uptown
 DRB Submittal
 Site Development Plan for Building Permit

Building Elevations 1 07 of 14

SCALE: 1/16" = 1'-0"
 23 June 2004
 Project #1002247



Tree Legend

- | | |
|------|---|
| sym. | botanical name/
common name |
| ○ | TRIS |
| ○ | Celtis reticulata/
Ganyon Hackberry |
| ○ | Cercis reniformis/
Oklahoma Redbud |
| ○ | Chilopsis linearis/
Desert Willow |
| ○ | Chilopsis lasiocarpa 'Pink Dawn'/
Pink Dawn Chilopsis |
| ○ | Forestiera neomexicana/
New Mexico Olive |
| ○ | Fraxinus angustifolia 'Raywood'/
Raywood Ash |
| ○ | Pinus edulis/
Alghan Pine |
| ○ | Populus fremontii 'Nizalini'/
Rio Grande Valley Cottonwood |
| ○ | Prosopis glandulosa 'Maverick'/
Maverick-Thornless Texas
Honey Mesquite |
| ○ | Quercus buckleyi/
Texas Red Oak |
| ○ | Quercus fusiformis/
Escarpment Live Oak |
| ○ | Quercus muhlenbergii/
Chinquapin Oak |
| ○ | Sophora secundiflora/
Texas Mountain Laurel |
| ○ | Vauquelinia californica/
Arizona Rosewood |
| ○ | Yucca elata/
Chaste Tree |
| ○ | Yucca elata/
Soaptree Yucca |

LANDSCAPE NOTES

1. Planting and irrigation installation details shall meet City of Albuquerque requirements. Each tree shall have a minimum of 36 feet of planting space.

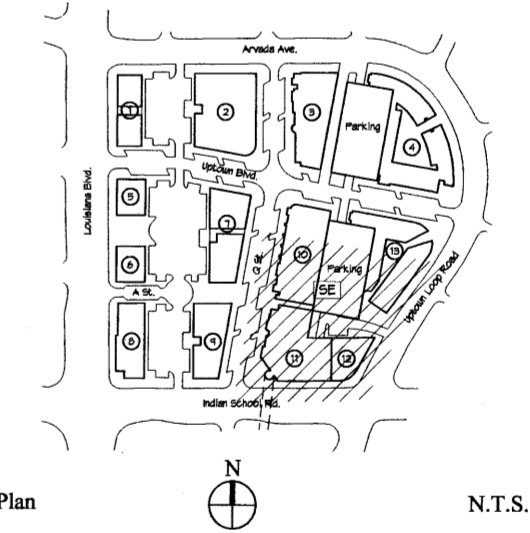
2. The parking area trees selected for use at ABQ Uptown are appropriate to the challenges of arid, urban environments and will perform well in our climate and in the planting situations created at ABQ Uptown. These trees, which include deciduous and broad leaf evergreen species, have been chosen for their ability to withstand our environmental conditions (climate, soils, winds) and support the site program (shade, screening, color, social) while reinforcing the desired high desert/southwest aesthetic. Due to the lack of empirical data on the pollution resistant qualities of trees native and adapted to the desert southwest, we have relied on our professional expertise and experience, and on the expertise of green industry (horticulture and plant nursery) professionals in choosing the trees for this arid, urban situation.

Furnishings Legend

- | | | | |
|---|-----------------------------|---|-------------------------|
| ○ | Pedestrian Scale Pole Light | □ | 5' Bench |
| ○ | Height: 12'-0" | □ | 2' wide Fixed Seating |
| ○ | Area Pole Light | ★ | Water Feature |
| ○ | Height: 20'-0" | □ | Monument or Sign or Art |
| ○ | Existing Street Pole Light | | |

Keyed Plant Palettes

- | | | | | | |
|---|---|--|---|--|---|
| <p>1
Palette 1
(Plaza 1)
Soaptree Yucca
Parrly Agave
Prickly Pear Cactus
Sotol
Diegrass
Threatgrass
Centennial Broom
Mexican Blue Sage
Pouss Castle Sage
Angelita Daisy
Blue Flax
Desert Four-O'Clock
Gaia
Mexican Eve. Primrose
Moonshine Yarrow</p> | <p>2
Palette 2
(Plaza 2 and Access
from Louisiana)
Chilopsis
Raywood Ash
Parrly Agave
Prickly Pear Cactus
Diegrass
Tulsted Leaf Yucca
Sotol
Regal Mist Muhlenbergia
Thread Grass
Mexican Blue Sage
Prostrate Rosemary
Angelita Daisy
Lavender
Hummingbird Mint
Penstemon
Mexican Eve. Primrose
Moonshine Yarrow</p> | <p>3
Palette 3
(Plaza 3 including
Central Mexican)
Escarpment Live Oak
Rio Grande Cottonwood
Sotol
Diegrass
Centennial Broom
Mexican Blue Sage
Prostrate Rosemary
Lavender
Liatris
Moj Night Sage
Penstemon
Moonshine Yarrow</p> | <p>4
Palette 4
Soaptree Yucca
Desert Willow
Escarpment Live Oak
Centennial Broom
Diegrass
Autumn Sage
Angelita Daisy
Desert Four-O'Clock
Liatris
Moonshine Yarrow</p> | <p>5
Palette 5
Chaste Tree
Prickly Pear Cactus
Rio Hesperis
Diegrass
Autumn Sage
Prostrate Rosemary
Butterfly Bush
Desert Four-O'Clock
Mexican Eve. Primrose
Gaia
Parrly Sage</p> | <p>6
Palette 6
(Plaza 6)
Chinquapin Oak
Desert Willow
Diegrass
Sports Blend Grass
Autumn Sage
Butterfly Bush
Prostrate Rosemary
Blue Flax
Gaia
Germander
Hummingbird Mint
Thyme
Yucca
Trumpet Vine
Nestiera</p> |
| <p>7
Palette 7
(Plaza 7 and
Service Area)
Arizona Rosewood
Parrly Agave
Prickly Pear Cactus
Sotol
Diegrass
Autumn Sage
Shadscale
Blossom Ivy
Dwarf Flumbago
Germander
Mexican Eve. Primrose
Penstemon
Parrly Sage
Pouss Castle Sage
White-tufted Eve. Prim.
Yerba Mansa
Trumpet Vine
Nestiera</p> | <p>8
Palette 8
(Louisiana Boulevard)
Ganyon Hackberry
Parrly Agave
Prickly Pear Cactus
Sotol
Diegrass
Apache Plume
Craniole
Blue Flax
Desert Four-O'Clock
Desert Marigold
Hummingbird Mint
Liatris
Penstemon
White-tufted Eve. Prim.
Beer Grass</p> | <p>9
Palette 9
(Uptown Loop Road)
Mexican Blue Sage
Prickly Pear Cactus
Sotol
Purple Three Sun
Diegrass
Apache Plume
Chilopsis
Blanket Flower
Blue Flax
Desert Four-O'Clock
Desert Marigold
Liatris
Penstemon
White-tufted Eve. Prim.
Mexican Eve. Primrose
Moonshine Yarrow</p> | <p>10
Palette 10
(Indian School Road)
Desert Willow
Escarpment Live Oak
Agave
Prickly Pear Cactus
Sotol
Big Bluestem
Apache Plume
Chilopsis
Blanket Flower
Blue Flax
Desert Four-O'Clock
Desert Marigold
Angelita Daisy
Sotol
Penstemon
Desert Four-O'Clock
Gaia
Mexican Eve. Primrose
Moonshine Yarrow</p> | <p>11
Palette 11
(G Street Sidewalk)
Escarpment Live Oak
Blue Brom
Parrly Sage
Regal Mist Muhlenbergia
Rosemary
Germander
Pouss Castle Sage
Yerba Mansa</p> | <p>12
Palette 12
(G Street Parking
Area Planters)
Lima Broom
Red Hesperis
Regal Mist Muhlenbergia
Desert Four-O'Clock
Gaia
Mexican Eve. Primrose
Moonshine Yarrow
Parrly Sage</p> |
| <p>13
Palette 13
(Indian Boulevard
Sidewalk)
Texas Red Oak
Diegrass
Blue Mist Spiraea
Compact Mahonia
Dwarf Flumbago
Germander
Pouss Castle Sage</p> | <p>14
Palette 14
(Ostman Blvd. Parking
Area Planters - East
of Plaza 2)
Chaste Tree
Sotol
New Mexico Olive
Tulsted Leaf Yucca
Blue Avenue Grass
Norman Tea
Angelita Daisy
Desert Four-O'Clock
Mexican Eve. Primrose
Penstemon</p> | <p>15
Palette 15
(Ostman Blvd. Parking
Area Planters - East
of Plaza 3)
New Mexico Olive
Tulsted Leaf Yucca
Blue Avenue Grass
Norman Tea
Angelita Daisy
Desert Four-O'Clock
Mexican Eve. Primrose
Penstemon</p> | <p>16
Palette 16
(Building 4)
Desert Willow
Parrly Agave
Sotol
Parrly Agave
Sotol
Blue Avenue Grass
Blue Avenue Grass
Compact Mahonia
Autumn Sage
Compact Mahonia
Butterfly Bush
Prostrate Rosemary
Sotol
Blue Flax
Desert Four-O'Clock
Dwarf Flumbago
Germander
Moonshine Yarrow
Penstemon
Pouss Castle Sage</p> | <p>17
Palette 17
(Building 10)
Desert Willow
New Mexico Olive
New Mexico Olive
Sotol
Blue Avenue Grass
Sports Blend Grass
Autumn Sage
Compact Mahonia
Butterfly Bush
Prostrate Rosemary
Blue Flax
Desert Four-O'Clock
Germander
Moonshine Yarrow
Penstemon</p> | <p>18
Palette 18
(Foundation
Planting)
Alghan Pine
New Mexico Olive
Oklahoma Redbud
Blue Avenue Grass
Compact Mahonia
Curt-leaf Mountain Manogony
Juniper
Sotol
Newman Sand Cherry
Liatris
Mexican Eve. Primrose
Penstemon
Parrly Sage
Nestiera</p> |
| <p>19
Palette 19
(New Surface
Parking Lot)
Chilopsis
Prickly Pear Cactus
Tulsted Leaf Yucca
Beer Grass
Bird of Paradise
Centennial Broom
Lima Broom
Mexican Blue Sage
Angelita Daisy
Blue Flax
Mexican Eve. Primrose
Penstemon</p> | <p>20
Palette 20
(New Surface
Parking Lot)
Oklahoma Redbud
Sotol
Prickly Pear Cactus
Tulsted Leaf Yucca
Beer Grass
Bird of Paradise
Threatgrass
Mexican Blue Sage
Anilacanthus
Prostrate Rosemary
Angelita Daisy
Blanket Flower
Mexican Eve. Primrose
Penstemon</p> | <p>21
Palette 21
(New Surface
Parking Lot)
Texas Mountain Laurel
Tulsted Leaf Yucca
Beer Grass
Bird of Paradise
Centennial Broom
Shadscale
Blanket Flower
Desert Four-O'Clock
Mexican Eve. Primrose
Penstemon</p> | | | |



Owner Hunt-Uptown, LLC
Planning Consultant Denish + Kline Assoc., Inc.
Project Architect Dekker/Perich/Sabatini
Project Engineer Bohannon-Huston
Project Identity Vaughn Wedden Creative

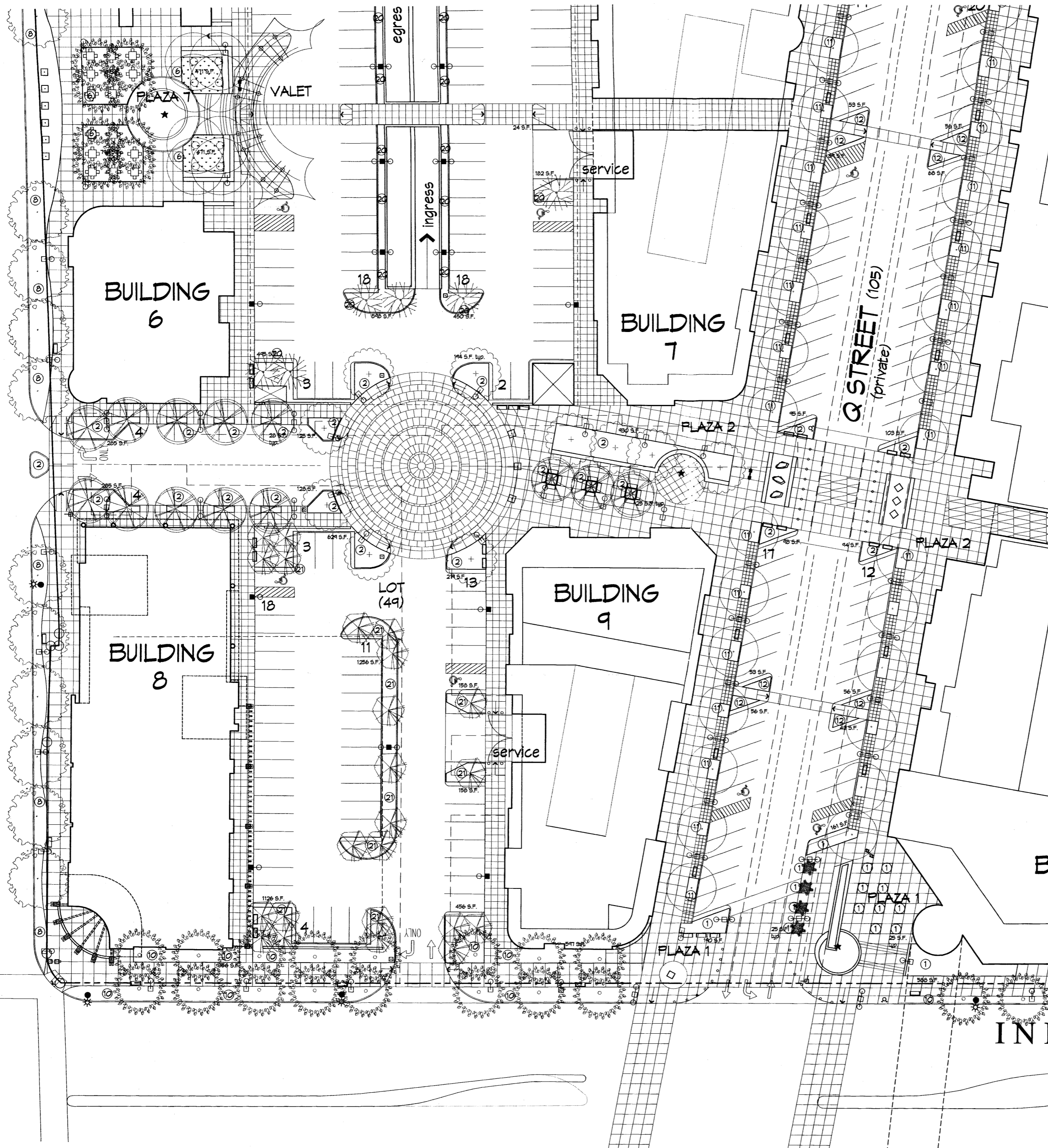
ABQ
u p t o w n

DRB Submittal
Site Development Plan for Building Permit
Enlarged Landscape and Plaza Plans (SE Quadrant) 06 of 14

23 June 2004
Project #1002247

INDIAN SCHOOL ROAD NE (103' R/W)

existing traffic signal



Keyed Plant Palettes

- | | | | | | |
|--|--|--|--|---|--|
| <p>1 Palette 1 (Plaza 1) Soaptree Yucca Prickly Pear Cactus Diegrass Threadgrass Centennial Broom Mexican Blue Sage Pousie Castle Sage Agellita Daisy Blue Flax Desert Four-O'Clock Sunn Mexican Eve Primrose Moonshine Yarrow</p> | <p>2 Palette 2 (Plaza 2 and Access From Lot 105) Chitalpa Raywood Ash Soapgrass Prickly Pear Cactus Threadgrass Regal Mist Muhlenbergia Thrass Grass Mexican Blue Sage Agellita Daisy Germander Hummingbird Mint Lavender Mexican Eve Primrose Moonshine Yarrow</p> | <p>3 Palette 3 (Plaza 3 including Central Median) Escarpment Live Oak Rio Grande Cottonwood Spotted Prickly Pear Cactus Centennial Broom Mexican Blue Sage Prostrate Rosemary Sierra Gold Daisies Agellita Daisy Lavender Liatris May Night Sage Penstemon</p> | <p>4 Palette 4 (Plaza 4) Cholla Tree Prickly Pear Cactus Red Hesperaloe Spotted Broom Mexican Blue Sage Agellita Daisy Blue Flax Moonshine Yarrow</p> | <p>5 Palette 5 (Plaza 5) Cholla Tree Prickly Pear Cactus Red Hesperaloe Spotted Broom Mexican Blue Sage Agellita Daisy Blue Flax Moonshine Yarrow</p> | <p>6 Palette 6 (Plaza 6) Cholla Tree Prickly Pear Cactus Red Hesperaloe Spotted Broom Mexican Blue Sage Agellita Daisy Blue Flax Moonshine Yarrow</p> |
| <p>7 Palette 7 (Plaza 7 and Service Area) Arizona Rosewood Texas Mountain Laurel Prickly Pear Cactus Blue Fescue Autumn Sage Shadblow Boston Ivy Dwarf Plumbago Germander Mexican Eve Primrose Penstemon Prairie Sage Pousie Castle Sage White-tufted Eve Primrose Yarrow Trumpet Vine Aster</p> | <p>8 Palette 8 (Louisa Boulevard) Canyon Hackberry Prickly Pear Cactus Soapgrass Prickly Pear Cactus Blue Fescue Autumn Sage Shadblow Boston Ivy Dwarf Plumbago Germander Mexican Eve Primrose Penstemon Prairie Sage Pousie Castle Sage White-tufted Eve Primrose Yarrow Trumpet Vine Aster</p> | <p>9 Palette 9 (Autumn Blvd. Road) Mexican Blue Sage Prickly Pear Cactus Soapgrass Purple Three Aun Threadgrass Apache Plume Chamae Cistus Blanket Flower Blue Flax Desert Four-O'Clock Desert Marigold Mexican Eve Primrose Penstemon White-tufted Eve Primrose</p> | <p>10 Palette 10 (Indian School Road) Prickly Pear Cactus Agave Prickly Pear Cactus Soapgrass Spotted Broom Big Bluestem Buffalgrass Desertgrass Regal Mist Muli Centennial Broom Blue Flax Mexican Eve Primrose Agellita Daisy Blue Flax Desert Four-O'Clock Gaia Mexican Eve Primrose Moonshine Yarrow</p> | <p>11 Palette 11 (Q Street Sidewalk) Escarpment Live Oak Blue Avena Grass Regal Mist Muhlenbergia Rosemary Big Bluestem Pousie Castle Sage Yarrow</p> | <p>12 Palette 12 (Q Street Parking Area Planters) Lime Broom Prickly Pear Cactus Regal Mist Muhlenbergia Desert Four-O'Clock Gaia Mexican Eve Primrose Moonshine Yarrow Prairie Sage</p> |
| <p>13 Palette 13 (Upton Blvd. Parking Sidewalk) Texas Red Oak Diegrass Blue Mist Sprays Compact Mahonia Dwarf Plumbago Compact Mahonia Pousie Castle Sage</p> | <p>14 Palette 14 (Upton Blvd. Parking Area Planters - West of Plaza 3) Chaste Tree Tufted Leaf Yucca Bear Grass Norman Tea Agellita Daisy Desert Four-O'Clock Mexican Eve Primrose Penstemon</p> | <p>15 Palette 15 (Upton Blvd. Parking Area Planters - East of Plaza 3) New Mexico Olive Tufted Leaf Yucca Bear Grass Diegrass Norman Tea Agellita Daisy Desert Four-O'Clock Mexican Eve Primrose Penstemon</p> | <p>16 Palette 16 (Building 4) Arizona Rosewood Desert Willow New Mexico Olive Oklahoma Redbud Prickly Pear Cactus Blue Avena Grass Soapgrass Compact Mahonia Blue Fescue Autumn Sage Butterfly Bush Compact Mahonia Butterfly Bush Prostrate Rosemary Sunn Blue Flax Desert Four-O'Clock Dwarf Plumbago Germander Lavender Moonshine Yarrow Penstemon Pousie Castle Sage</p> | <p>17 Palette 17 (Building 11) Arizona Rosewood New Mexico Olive Prickly Pear Cactus Blue Avena Grass Sports Blend Grass Compact Mahonia Cur-leaf Mountain Mahogany Juniper Sunn Western Sand Cherry Liatris Mexican Eve Primrose Prairie Sage Pinosage</p> | <p>18 Palette 18 (Foundation) Prickly Pear Cactus Afghan Pine New Mexico Olive Oklahoma Redbud Prickly Pear Cactus Blue Avena Grass Soapgrass Compact Mahonia Cur-leaf Mountain Mahogany Juniper Sunn Western Sand Cherry Liatris Mexican Eve Primrose Prairie Sage Pinosage</p> |
| <p>19 Palette 19 (N/S Surface Parking Lot) Chitalpa Prickly Pear Cactus Tufted Leaf Yucca Bear Grass Bird of Paradise Centennial Broom Lime Broom Mexican Blue Sage Agellita Daisy Blue Flax Mexican Eve Primrose Penstemon</p> | <p>20 Palette 20 (N/S Surface Parking Lot) Oklahoma Redbud Prickly Pear Cactus Tufted Leaf Yucca Bear Grass Threadgrass Bird of Paradise Shadblow Asteraceae Prostrate Rosemary Agellita Daisy Blanket Flower Mexican Eve Primrose Penstemon</p> | <p>21 Palette 21 (N/S Surface Parking Lot) Texas Mountain Laurel Prickly Pear Cactus Tufted Leaf Yucca Bear Grass Autumn Sage Bird of Paradise Centennial Broom Shadblow Blanket Flower Desert Four-O'Clock Mexican Eve Primrose Penstemon</p> | | | |

LANDSCAPE NOTES

1. Planting and irrigation installation details shall meet City of Albuquerque requirements. Each tree shall have a minimum of 36 feet of planting space.

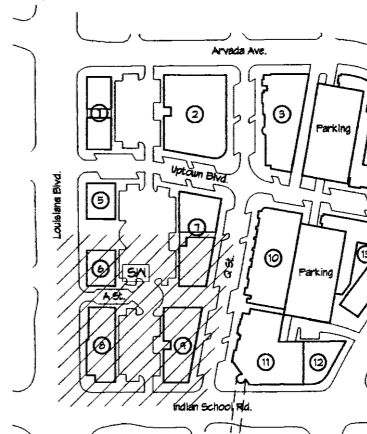
2. The parking area trees selected for use at ABQ Uptown are appropriate to the challenges of arid, urban environments and will perform well in our climate and in the planting situations created at ABQ Uptown. These trees, which include deciduous and broad leaf evergreen species, have been chosen for their ability to withstand our environmental conditions (climate, soils, winds) and support the site program (shade, screening, color, scale) while reinforcing the desired high desert/sonoran aesthetic. Due to the lack of empirical data on the pollution resistant qualities of trees native and adapted to the desert southwest, we have relied on our professional expertise and experience, and on the expertise of green industry (horticulture and plant nursery) professionals in choosing the trees for this arid, urban situation.

Tree Legend

- | | |
|------|--|
| sym. | botanical name/
common name |
| | TREES |
| | Cercia reticulata/
Canyon Hackberry |
| | Cercia reniformis/
Oklahoma Redbud |
| | Chilopsis linearis/
Desert Willow |
| | Chilopsis laschkenensis "Pink Dawn"/
Pink Dawn Chitalpa |
| | Forestiera neomexicana/
New Mexico Olive |
| | Frapinus angustifolia "Raywood"/
Raywood Ash |
| | Pinus edulis/
Alfian Pine |
| | Populus fremontii "Hazelini"/
Rio Grande Valley Cottonwood |
| | Prosopis glandulosa "Maverick"/
Maverick Thornless Texas
Sage Mesquite |
| | Quercus buckleyi/
Texas Red Oak |
| | Quercus rubiformis/
Escarpment Live Oak |
| | Quercus muhlenbergia/
Chinquapin Oak |
| | Sophora secundiflora/
Texas Mountain Laurel |
| | Vauquelinia californica/
Arizona Rosewood |
| | Vitex agnus-castus/
Chaste Tree |
| | Yucca elata/
Soaptree Yucca |

Furnishings Legend

- | | | | |
|--|-----------------------------|--|-------------------------|
| | Pedestrian Scale Pole Light | | 5' Bench |
| | Area Pole Light | | 2' wide Fixed Seating |
| | Height 20'-0" | | Water Feature |
| | Existing Street Pole Light | | Monument or Sign or Art |



Key Plan N.T.S.

Owner: Hunt-Uptown, LLC

Planning Consultant: Denish + Kline Assoc., Inc.

Project Architect: Dekker/Perich/Sabatini

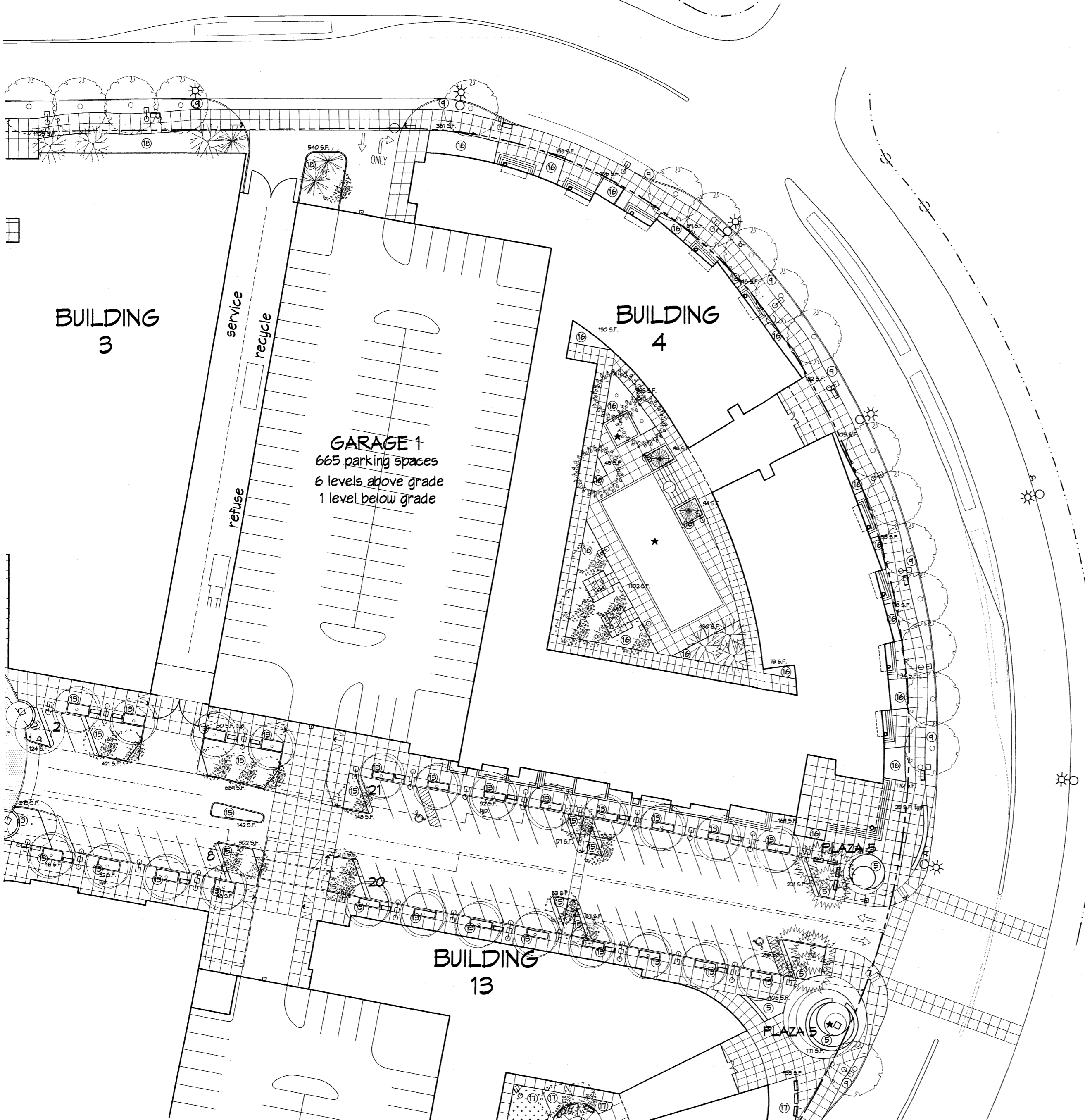
Project Engineer: Bohannon-Huston

Project Identity: Vaughn Wedden Creative



DRB Submittal
 Site Development Plan for Building Permit
 Enlarged Landscape and Plaza Plans (SW Quadrant) 05 of 14
 SCALE: 1" = 20'-0"
 23 June 2004
 Project #1002247

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ffic
nal



Keyed Plant Palettes

- | | | | | | |
|--|---|--|---|---|---|
| <p>1
Palette 1
(Plaza 1)
Sagebrush Yucca
Parr's Agave
Prickly Pear Cactus
Sotol
Deergrass
Threegrass
Centennial Broom
Mexican Blue Sage
Pouls Castle Sage
Angelita Daisy
Blue Flax
Desert Four-O'Clock
Sage
Mexican Eve. Primrose
Moonshine Yarrow</p> | <p>2
Palette 2
(Plaza 3 and Access from Louisiana)
Chilapa
Raywood Ash
Parr's Agave
Prickly Pear Cactus
Tufted Leaf Yucca
Deergrass
Regal Mist Muhlenbergia
Thread Grass
Mexican Blue Sage
Prostrate Rosemary
Angelita Daisy
Germander
Hummingbird Mint
Lavender
Mexican Eve. Primrose
Moonshine Yarrow</p> | <p>3
Palette 3
(Plaza 3 including Central Median)
Escarpment Live Oak
Rio Grande Cottonwood
Sotol
Deergrass
Centennial Broom
Mexican Blue Sage
Prostrate Rosemary
Sierra Gold Dalea
Angelita Daisy
Lavender
Liatris
Mag. Night Sage
Penstemon
Moonshine Yarrow</p> | <p>4
Palette 4
(Plaza 4)
Sagebrush Yucca
Chaste Tree
Prickly Pear Cactus
Red Yucca
Deergrass
Centennial Broom
Angelita Daisy
Butterfly Bush
Desert Four-O'Clock
Mexican Eve. Primrose
Lavender
Prairie Sage</p> | <p>5
Palette 5
(Plaza 5)
Chicagon Oak
Chicagon Oak
Deergrass
Sports Blend Grass
Autumn Sage
Prostrate Rosemary
Angelita Daisy
Desert Four-O'Clock
Mexican Eve. Primrose
Penstemon
Prairie Sage</p> | <p>6
Palette 6
(Plaza 6)
Chicagon Oak
Chicagon Oak
Deergrass
Sports Blend Grass
Autumn Sage
Butterfly Bush
Prostrate Rosemary
Blue Flax
Sage
Hummingbird Mint
Pouls Castle Sage
Thyme
Veronica
Trumpet Vine
Nasturtium</p> |
| <p>7
Palette 7
(Plaza 7 and Service Area)
Arizona Rosewood
Texas Mountain Laurel
Parr's Agave
Prickly Pear Cactus
Sotol
Beargrass
Autumn Sage
Shadesicle
Boston N.
Dwarf Flambago
Germander
Mexican Eve. Primrose
Penstemon
Prairie Sage
Pouls Castle Sage
White-tufted Eve. Prim.
Yarrow
Trumpet Vine
Mistery</p> | <p>8
Palette 8
(Louisiana Boulevard)
Canyon Hackberry
Parr's Agave
Prickly Pear Cactus
Sotol
Beargrass
Threegrass
Apache Plume
Chenille
Chenille
Blue Flax
Desert Four-O'Clock
Desert Marigold
Hummingbird Mint
Liatris
Mexican Eve. Primrose
Penstemon
White-tufted Eve. Prim.</p> | <p>9
Palette 9
(Uptown Loop Road)
Maverick Mesquite
Prickly Pear Cactus
Sotol
Beargrass
Purple Three Aun
Threegrass
Apache Plume
Chenille
Sunk
Blanket Flower
Blue Flax
Desert Four-O'Clock
Desert Marigold
Hummingbird Mint
Liatris
Mexican Eve. Primrose
Penstemon
White-tufted Eve. Prim.</p> | <p>10
Palette 10
(Indian School Road)
Desert Willow
Agave
Prickly Pear Cactus
Sotol
Big Bluestem
Buffalograss
Deergrass
Regal Mist Muh.
Centennial Broom
Blue Flax
Desert Four-O'Clock
Sage
Mexican Eve. Primrose
Moonshine Yarrow</p> | <p>11
Palette 11
(G Street Sidewalks)
Escarpment Live Oak
Blue Avens Grass
Red Yucca
Autumn Sage
Rosemary
Germander
Pouls Castle Sage
Blue Flax
Desert Four-O'Clock
Sage
Mexican Eve. Primrose
Moonshine Yarrow</p> | <p>12
Palette 12
(G Street Parking Area Planters)
Lava Broom
Red Yucca
Regal Mist Muhlenbergia
Desert Four-O'Clock
Sage
Mexican Eve. Primrose
Moonshine Yarrow
Prairie Sage</p> |
| <p>13
Palette 13
(Uptown Boulevard Sidewalks)
Texas Red Oak
Deergrass
Blue Mist Spines
Compact Manilla
Dwarf Flambago
Germander
Pouls Castle Sage
Penstemon</p> | <p>14
Palette 14
(Uptown Blvd. Parking Area Planters - West of Plaza 3)
Chaste Tree
Sotol
Bear Grass
Mormon Tea
Angelita Daisy
Desert Four-O'Clock
Mexican Eve. Primrose
Penstemon</p> | <p>15
Palette 15
(Uptown Blvd. Parking Area Planters - East of Plaza 3)
New Mexico Olive
Oklahoma Redbud
Blue Avens Grass
Deergrass
Mormon Tea
Angelita Daisy
Desert Four-O'Clock
Mexican Eve. Primrose
Penstemon</p> | <p>16
Palette 16
(Building 4)
Arizona Rosewood
New Mexico Olive
New Mexico Olive
Oklahoma Redbud
Blue Avens Grass
Sotol
Blue Avens Grass
Blue Fescue
Autumn Sage
Compact Manilla
Butterfly Bush
Prostrate Rosemary
Sunk
Blue Flax
Desert Four-O'Clock
Dwarf Flambago
Germander
Moonshine Yarrow
Penstemon
Pouls Castle Sage</p> | <p>17
Palette 17
(Building 13)
Desert Willow
New Mexico Olive
Parr's Agave
Sotol
Sports Blend Grass
Autumn Sage
Compact Manilla
Curly-leaf Mountain Mahogany
Juniper
Sunk
Western Sand Cherry
Liatris
Mexican Eve. Primrose
Penstemon
Prairie Sage
Mesquite</p> | <p>18
Palette 18
(Foundation Planting)
Alghan Pine
New Mexico Olive
Oklahoma Redbud
Blue Avens Grass
Buffalograss
Compact Manilla
Curly-leaf Mountain Mahogany
Juniper
Sunk
Western Sand Cherry
Liatris
Mexican Eve. Primrose
Penstemon
Prairie Sage
Mesquite</p> |
| <p>19
Palette 19
(Nth Surface Parking Lot)
Chilapa
Prickly Pear Cactus
Tufted Leaf Yucca
Bear Grass
Bird of Paradise
Centennial Broom
Lava Broom
Mexican Blue Sage
Angelita Daisy
Blue Flax
Mexican Eve. Primrose
Penstemon</p> | <p>20
Palette 20
(West Central Surface Parking Lot)
Oklahoma Redbud
Sotol
Prickly Pear Cactus
Tufted Leaf Yucca
Bear Grass
Bird of Paradise
Mexican Flare
Arborescens
Prostrate Rosemary
Angelita Daisy
Blanket Flower
Mexican Eve. Primrose
Penstemon</p> | <p>21
Palette 21
(Bth Surface Parking Lot)
Texas Mountain Laurel
Prickly Pear Cactus
Tufted Leaf Yucca
Bear Grass
Autumn Sage
Bird of Paradise
Centennial Broom
Shadesicle
Blanket Flower
Desert Four-O'Clock
Mexican Eve. Primrose
Penstemon</p> | | | |

Furnishings Legend

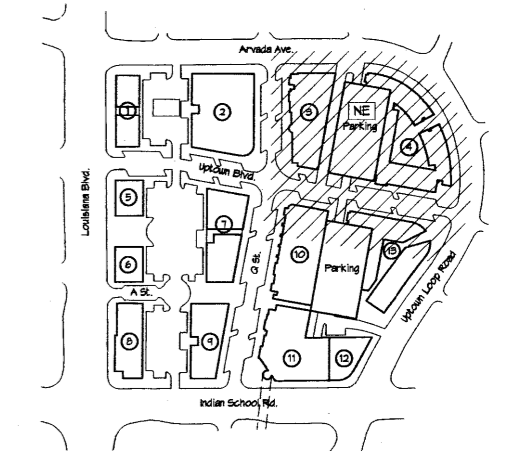
- Pedestrian Scale Pole Light
- Area Pole Light
- Existing Street Pole Light
- 5' Bench
- 2' wide Fixed Seating
- ★ Water Feature
- Monument or Sign or Art

LANDSCAPE NOTES

1. Planting and Irrigation installation details shall meet City of Albuquerque requirements. Each tree shall have a minimum of 36 feet of planting space.
2. The parking area trees selected for use at ABO Uptown are appropriate to the challenges of arid, urban environments and will perform well in our climate and in the planting situations created at ABO Uptown. These trees, which include deciduous and broad leaf evergreen species, have been chosen for their ability to withstand our environmental conditions (climate, soils, winds) and support the site program (shade, screening, color, scale) while reinforcing the desired high desert/southwest aesthetic. Due to the lack of empirical data on the pollution resistant qualities of trees native and adapted to the desert southwest, we have relied on our professional expertise and experience, and on the expertise of green industry (horticulture and plant nursery) professionals in choosing the trees for this arid, urban situation.

Tree Legend

- | | |
|------|--|
| sym. | botanical name/
common name |
| ○ | TREES |
| ○ | Cercis reticulata/
Canyon Hackberry |
| ○ | Cercis reticulata/
Oklahoma Redbud |
| ○ | Chilopsis linearis/
Desert Willow |
| ○ | Chilapa tashkentensis "Pink Dawn"/
Pink Dawn Chilapa |
| ○ | Forestiera neomexicana/
New Mexico Olive |
| ○ | Fraxinus angustifolia "Raywood"/
Raywood Ash |
| ○ | Pinus edulis/
Alghan Pine |
| ○ | Populus fremontii "Hilizenii"/
Rio Grande Valley Cottonwood |
| ○ | Prosopis glandulosa "Maverick"/
Maverick/Tombes Texas
Honey Mesquite |
| ○ | Quercus buckleyi/
Texas Red Oak |
| ○ | Quercus fusiformis/
Escarpment Live Oak |
| ○ | Quercus muhlenbergia/
Chicagon Oak |
| ○ | Sophora secundiflora/
Texas Mountain Laurel |
| ○ | Vauquelinia californica/
Arizona Rosewood |
| ○ | Vitex agnus-castus/
Chaste Tree |
| ○ | Yucca elata/
Sagebrush Yucca |



Key Plan N.T.S.

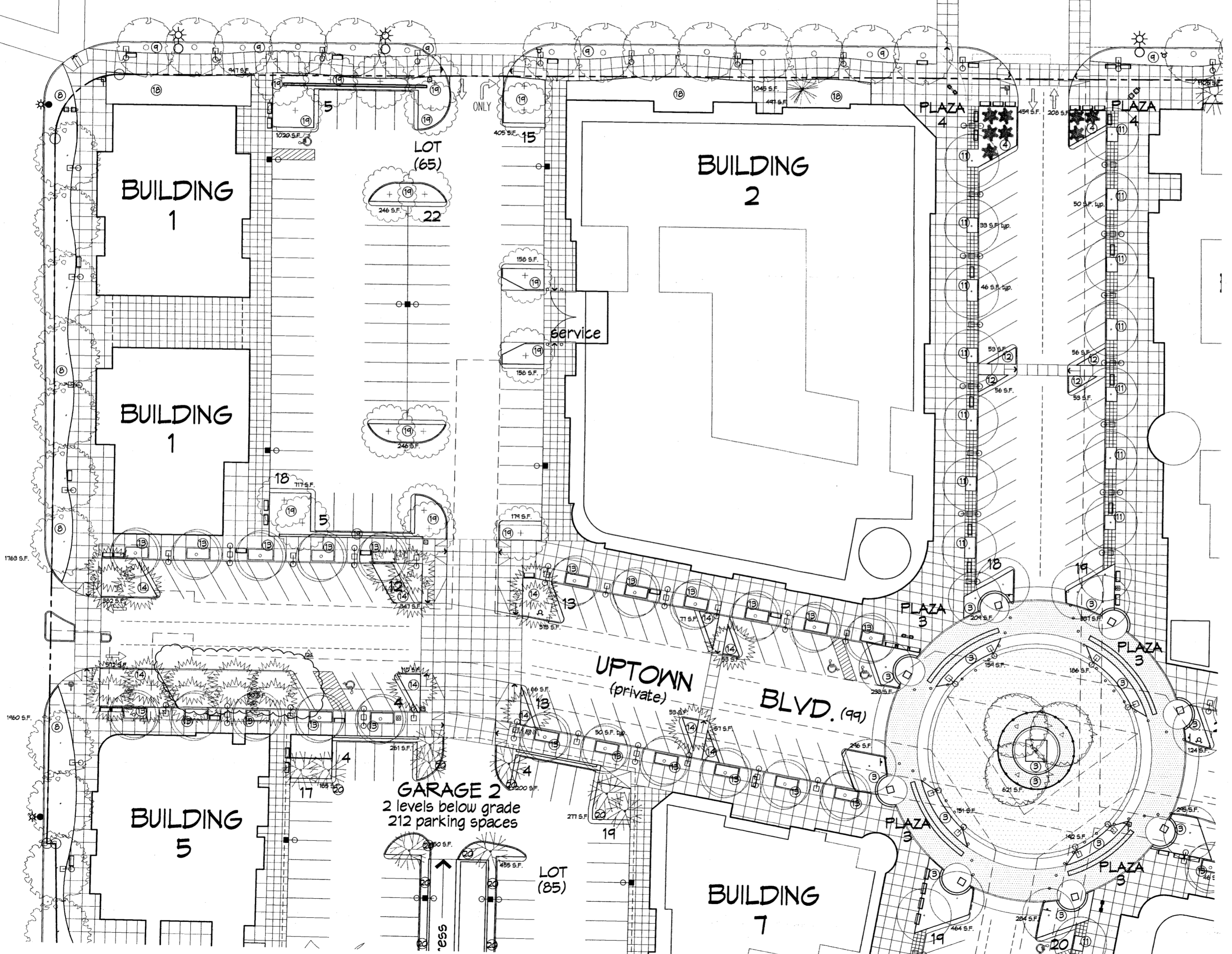
Owner: Hunt-Uptown, LLC
 Planning Consultant: Denish + Kline Assoc., Inc.
 Project Architect: Dekker/Perich/Sabatini
 Project Engineer: Bohannon-Huston
 Project Identity: Vaughn Wedeen Creative



**DRB Submittal
Site Development Plan for Building Permit**

Enlarged Landscape and Plaza Plans (NE Quadrant) 04 of 14

ARVADA AVENUE NE (R/W VARIES)



Keyed Plant Palettes

- ① Palette 1 (Plaza 1)
Sagebrush Yucca
Pinyon Agave
Prickly Pear Cactus
Sotol
Desertgrass
Threadgrass
Centennial Broom
Luna Broom
Mexican Blue Sage
Pouli Castle Sage
Angelita Daisy
Blue Flax
Desert Four-O'clock
Gaura
Mexican Eve. Primrose
Moonshine Yarrow
- ② Palette 2 (Plaza 2 and Access from Louisiana)
Rajwood Ash
Pinyon Agave
Prickly Pear Cactus
Sotol
Twisted Leaf Yucca
Ragwort
Rippled Mint Muhlenbergia
Thread Grass
Mexican Blue Sage
Prostrate Rosemary
Angelita Daisy
Lavender
Hummingbird Mint
Lamb's Ear
Mexican Eve. Primrose
Moonshine Yarrow
- ③ Palette 3 (Plaza 3 including Central Median)
Escarpment Live Oak
Rio Grande Cottonwood
Sotol
Desertgrass
Centennial Broom
Mexican Blue Sage
Prostrate Rosemary
Sierra Gold Daisies
Angelita Daisy
Lavender
Liatris
May Night Sage
Penstemon
Moonshine Yarrow
- ④ Palette 4 (Plaza 4)
Sagebrush Yucca
Pinyon Agave
Desertgrass
Centennial Broom
Mexican Blue Sage
Blue Flax
Desert Four-O'clock
Liatris
Moonshine Yarrow
- ⑤ Palette 5 (Plaza 5)
Chaste Tree
Prickly Pear Cactus
Red Hesperaloe
Desertgrass
Adam Sage
Prostrate Rosemary
Angelita Daisy
Desert Four-O'clock
Mexican Eve. Primrose
Blue Flax
Prairie Sage
- ⑥ Palette 6 (Plaza 6)
Chinquapin Oak
Desert Willow
Desertgrass
Sports Blend Grass
Threadgrass
Adam Sage
Prostrate Rosemary
Butterfly Bush
Prostrate Rosemary
Blue Flax
Gaura
Germander
Hummingbird Mint
Pouli Castle Sage
Thyme
Veronica
Trumpet Vine
Mexilia

- ⑦ Palette 7 (Plaza 7 and Service Area)
Arizona Rosewood
Texas Mountain Laurel
Pinyon Agave
Prickly Pear Cactus
Sotol
Beargrass
Threadgrass
Apache Plume
Chama
Blue Flax
Desert Four-O'clock
Desert Marigold
Hummingbird Mint
Liatris
Penstemon
White-tufted Eve. Prim.
Yema Mesa
Trumpet Vine
Mexilia
- ⑧ Palette 8 (Louisiana Boulevard)
Canyon Hackberry
Pinyon Agave
Prickly Pear Cactus
Sotol
Beargrass
Threadgrass
Apache Plume
Chama
Blue Flax
Desert Four-O'clock
Desert Marigold
Hummingbird Mint
Liatris
Penstemon
White-tufted Eve. Prim.
Yema Mesa
Trumpet Vine
Mexilia
- ⑨ Palette 9 (Uptown Loop Road)
Haverick Mesquite
Prickly Pear Cactus
Sotol
Beargrass
Threadgrass
Apache Plume
Chama
Blue Flax
Desert Four-O'clock
Desert Marigold
Hummingbird Mint
Liatris
Penstemon
White-tufted Eve. Prim.
Yema Mesa
Trumpet Vine
Mexilia
- ⑩ Palette 10 (Indian School Road)
Escarpment Live Oak
Blue Arava Grass
Ragwort
Muhlenbergia
Adam Sage
Prostrate Rosemary
Angelita Daisy
Desert Four-O'clock
Mexican Eve. Primrose
Moonshine Yarrow
- ⑪ Palette 11 (G Street Sidewalks)
Escarpment Live Oak
Blue Arava Grass
Ragwort
Muhlenbergia
Adam Sage
Prostrate Rosemary
Angelita Daisy
Desert Four-O'clock
Mexican Eve. Primrose
Moonshine Yarrow
- ⑫ Palette 12 (G Street Parking Area Planters)
Luna Broom
Red Hesperaloe
Ragwort
Muhlenbergia
Adam Sage
Prostrate Rosemary
Angelita Daisy
Desert Four-O'clock
Gaura
Mexican Eve. Primrose
Moonshine Yarrow
Penstemon
Prairie Sage

- ⑬ Palette 13 (Uptown Boulevard Sidewalks)
Texas Red Oak
Desertgrass
Blue Mist Spirea
Compact Mahonia
Dwarf Fumbago
Pouli Castle Sage
- ⑭ Palette 14 (Uptown Blvd. Parking Area Planters - West of Plaza 3)
Chaste Tree
New Mexico Olive
Oklahoma Redbud
Blue Arava Grass
Pinyon Agave
Sotol
Adam Sage
Desert Four-O'clock
Angelita Daisy
Mexican Eve. Primrose
Penstemon
- ⑮ Palette 15 (Uptown Blvd. Parking Area Planters - East of Plaza 3)
New Mexico Olive
Oklahoma Redbud
Blue Arava Grass
Pinyon Agave
Sotol
Adam Sage
Desert Four-O'clock
Angelita Daisy
Mexican Eve. Primrose
Penstemon
- ⑯ Palette 16 (Building 4)
Arizona Rosewood
New Mexico Olive
Pinyon Agave
Sotol
Sports Blend Grass
Butterfly Bush
Compact Mahonia
Jumper
Prostrate Rosemary
Sunic
Blue Flax
Desert Four-O'clock
Dwarf Fumbago
Lamb's Ear
Moonshine Yarrow
Penstemon
Pouli Castle Sage
- ⑰ Palette 17 (Building 13)
Desert Willow
Alghan Pine
New Mexico Olive
Oklahoma Redbud
Blue Arava Grass
Butterfly Bush
Compact Mahonia
Jumper
Prostrate Rosemary
Sunic
Blue Flax
Mexican Eve. Primrose
Penstemon
Prairie Sage
Pincops
- ⑱ Palette 18 (Foundation Planting)
Alghan Pine
New Mexico Olive
Oklahoma Redbud
Blue Arava Grass
Butterfly Bush
Compact Mahonia
Jumper
Prostrate Rosemary
Sunic
Blue Flax
Mexican Eve. Primrose
Penstemon
Prairie Sage
Pincops

- ⑲ Palette 19 (NN Surface Parking Lot)
Grass
Prickly Pear Cactus
Twisted Leaf Yucca
Bear Grass
Bird of Paradise
Centennial Broom
Luna Broom
Mexican Blue Sage
Angelita Daisy
Blue Flax
Mexican Eve. Primrose
Penstemon
- ⑳ Palette 20 (West Central Surface Parking Lot)
Texas Mountain Laurel
Prickly Pear Cactus
Sotol
Prickly Pear Cactus
Bear Grass
Twisted Leaf Yucca
Bear Grass
Threadgrass
Bird of Paradise
Mexican Flame
Anacardium
Prostrate Rosemary
Angelita Daisy
Blunt Flower
Mexican Eve. Primrose
Penstemon
- ㉑ Palette 21 (East Surface Parking Lot)
Texas Mountain Laurel
Prickly Pear Cactus
Twisted Leaf Yucca
Bear Grass
Adam Sage
Bird of Paradise
Centennial Broom
Shadescale
Blanket Flower
Desert Four-O'clock
Mexican Eve. Primrose
Penstemon

LANDSCAPE NOTES

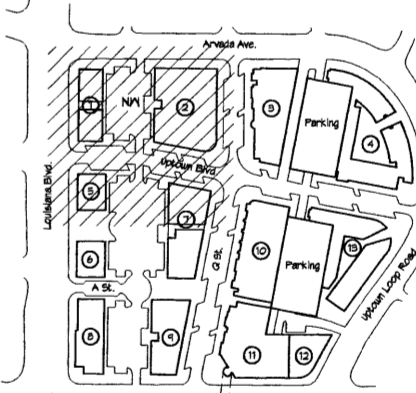
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Tree Legend

- | sym. | botanical name/
common name |
|------|---|
| ○ | TREES |
| ○ | Celtis reticulata/
Canyon Hackberry |
| ○ | Cercis reniformis/
Oklahoma Redbud |
| ○ | Chilopsis linearis/
Desert Willow |
| ○ | Chitappa leucocarpa "Pink Dawn"/
Pink Dawn Chitappa |
| ○ | Forsyelia noveboracensis/
New Mexico Olive |
| ○ | Fraxinus angustifolia "Rajwood"/
Rajwood Ash |
| ○ | Pinus edulis/
Alghan Pine |
| ○ | Populus fremontii "Missilzenii"/
Rio Grande Valley Cottonwood |
| ○ | Prosopis glandulosa "Maverick"/
Maverick Thornless Texas
Honey Mesquite |
| ○ | Quercus buckleyi/
Texas Red Oak |
| ○ | Quercus reiformis/
Escarpment Live Oak |
| ○ | Quercus muhlenbergii/
Chinquapin Oak |
| ○ | Sophora secundiflora/
Texas Mountain Laurel |
| ○ | Vauquelinia californica/
Arizona Rosewood |
| ○ | Vitex agnus-castus/
Chaste Tree |
| ○ | Yucca elata/
Sagebrush Yucca |

Furnishings Legend

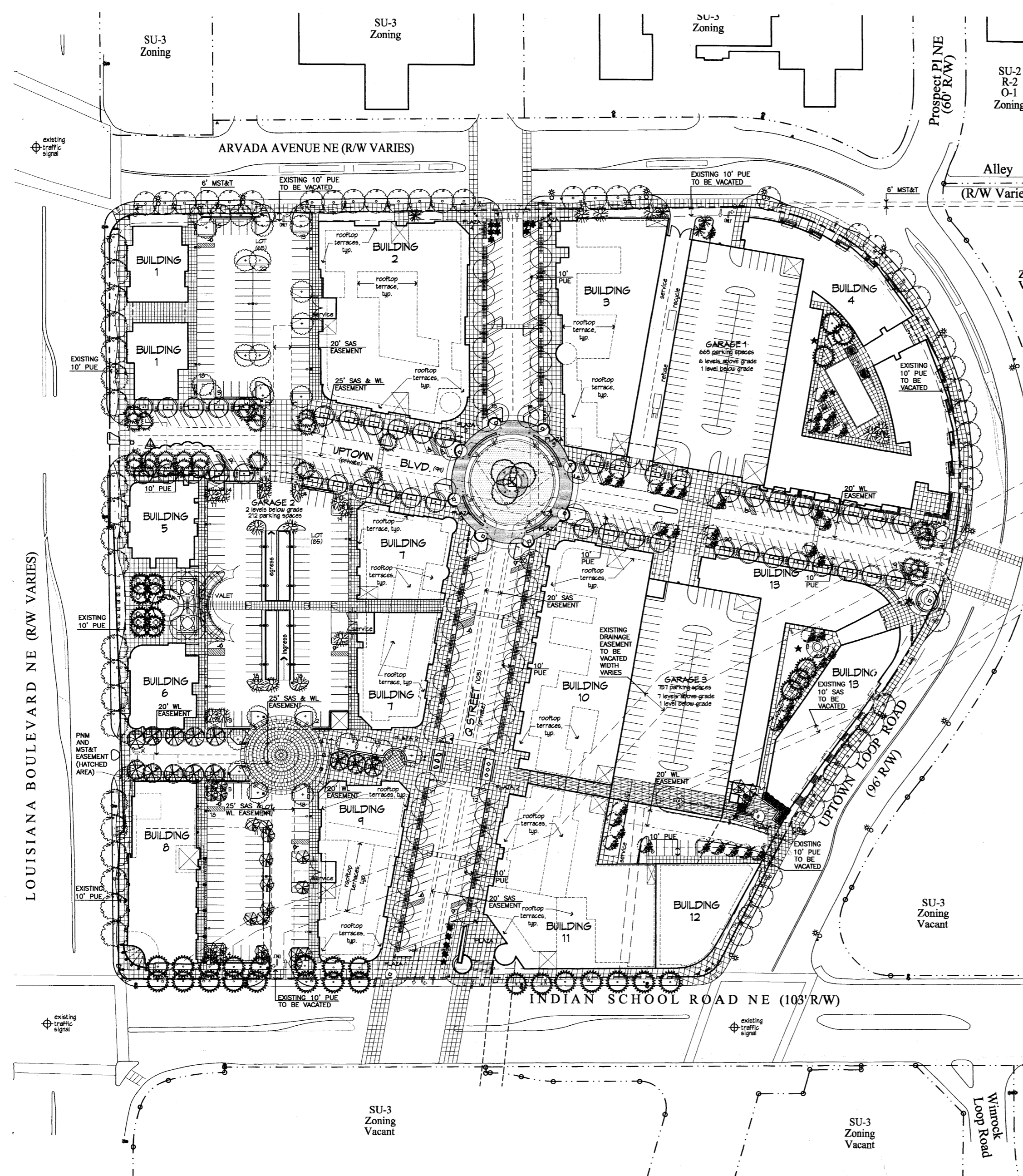
- Pedestrian Scale Pole Light
- Area Pole Light
- Existing Street Pole Light
- 5' Bench
- 2' Wide Fixed Seating
- ★ Water Feature
- Monument or Sign or Art



Owner	Hunt-Uptown, LLC
Planning Consultant	Denish + Kline Assoc., Inc.
Project Architect	Dekker/Perich/Sabatini
Project Engineer	Bohannan-Huston
Project Identity	Vaughn Wedeen Creative



DRB Submittal Site Development Plan for Building Permit Enlarged Landscape and Plaza Plans (NW Quadrant) 03 of 14



LOUISIANA BOULEVARD NE (R/W VARIES)

Prospect PINE (60' R/W)

Alley (R/W VARIES)

SU-2 R-2 O-1 Zoning Vacant

SU-2 R-2 O-1 Zoning Vacant

SU-3 Zoning Vacant

SU-3 Zoning Vacant

Furnishings Legend

- Pedestrian Scale Pole Light Height 15'-0"
- Area Pole Light Height 20'-0"
- Existing Street Pole Light
- Bench
- 2' Wide Fixed Seating
- ★ Water Feature
- Monument or Sign or Art
- ◆ Table and Chairs

MASTER PLANT SCHEDULE

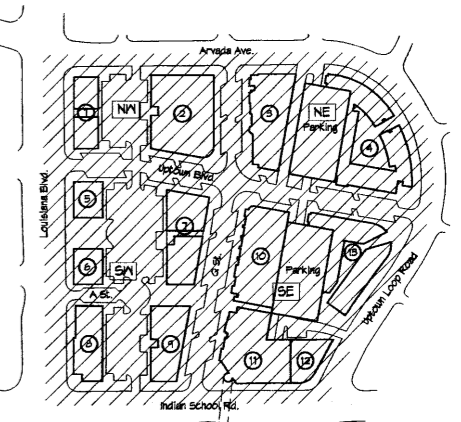
sym.	approx. qty.	botanical name/ common name	condition	mature size (HxW)/ water use	approx. qty.	botanical name/ common name	condition	mature size (HxW)/ water use
TREES								
21	21	Celtis reticulata/ Garden Hackberry	48" Box/ Multi-trunked	30x30/ Medium	250	Achillea x 'Moonshine'/ Moonshine Yarrow	1 Gal. Cont.	18x24/ Medium
22	21	Cercis reniformis/ Oklahoma Redbud	2" Gal./B&B Multi-trunked	25x18/ Medium	100	Agastache cana/ Hummingbird Mint	1 Gal. Cont.	30x18/ Medium
23	37	Chilopsis linearis/ Desert Willow	48" Box/ Multi-trunked	25x35/ Low	250	Artemisia californica/ Yerba de Mansa	1 Gal. Cont.	18x24/ Medium
24	24	Chilopsis benthiana's 'Pink Dalm'/ Pink Dalm Chilopsis	48" Box/ Multi-trunked	25x35/ Low	200	Artemisia ludoviciana/ Prairie Sage	1 Gal. Cont.	36x30/ Medium
25	24	Forestiera neomexicana/ New Mexico Olive	48" Box/ Multi-trunked	20x20/ Medium	200	Artemisia x 'Pouls Castle'/ Pouls Castle Sage	1 Gal. Cont.	36x30/ Medium
26	18	Fraxinus angustifolia 'Raywood'/ Raywood Ash	2" Gal./B&B	35x30/ Medium	50	Aster bipennis/ Purple Aster	1 Gal. Cont.	36x30/ Low
27	4	Pinus eldarica/ Afghan Pine	6" High/B&B	40x15/ Medium	80	Belleja multiradiata/ Desert Marigold	1 Gal. Cont.	18x18/ Low
28	3	Populus fremontii 'Haltzen'/ Rio Grande Valley Cottonwood	2" Gal./B&B	50x30/ High	80	Calliopsis involucrata/ Pincopops	1 Gal. Cont.	18x18/ Low
29	44	Prosopis glandulosa 'Haverlick'/ Haverlick/Thomas Texas Honey Mesquite	48" Box Minimum	30x35/ High	75	Calliopsis aristata/ Blanketflower	1 Gal. Cont.	12x18/ Medium
30	46	Quercus buckleyi/ Texas Red Oak	2" Caliper	25x25/ Medium	125	Gaura lindheimeri/ Gaura	1 Gal. Cont.	36x36/ Medium
31	54	Quercus fusiformis/ Escarpment Live Oak	48" Box Minimum	40x35/ Medium	500	Gymnocallis scutellariifolia/ Angelita Daisy	1 Gal. Cont.	12x12/ Low
32	8	Quercus muhlenbergii/ Chinquapin Oak	48" Box Minimum	30x30/ Medium	300	Lavandula angustifolia 'Hidcote Superior'/ Hidcote Superior Lavender	1 Gal. Cont.	16x18/ Medium
33	26	Sophora secundiflora/ Texas Mountain Laurel	24" Box Minimum	18x15/ Low	80	Liatis punctata/ Liatris (Spafisher)	1 Gal. Cont.	18x18/ Low
34	9	Vauquelinia californica/ Arizona Rosewood	24" Box/ Multi-trunked	12x8/ Low	125	Lium lewisii 'Apper'/ Apper Blue Flax	1 Gal. Cont.	18x18/ Medium
35	22	Vitex agnus-castus/ Chaste Tree	48" Box/ Multi-trunked	25x25/ Low	200	Mirabilis multiflora/ Desert Four-O'Clock	1 Gal. Cont.	18x30/ Medium
36	12	Yucca elata/ Scaevola Yucca	24" Box/ Multi-trunked	12x8/ Low	300	Oenothera biennis/ Mexican Evening Primrose	1 Gal. Cont.	12x24/ Low
ACCENTS								
37	80	Agave parryi/ Parry's Agave	1 Gal. Cont.	36x36/ Low	40	Penstemon ambiguus/ Light Pink Penstemon	1 Gal. Cont.	36x36/ Low
38	200	Dasylirion wheeleri/ Sotol	1 Gal. Cont.	48x60/ Medium	80	P. barbatus/ Red Penstemon	1 Gal. Cont.	50x36/ Low
39	250	Hesperaloe parviflora/ Red Spire Lichen	1 Gal. Cont.	48x48/ Medium	80	P. patens/ Palmer's Penstemon	1 Gal. Cont.	48x60/ Medium
40	80	Opuntia basilaris/ Beavertail Prickly Pear	1 Gal. Cont.	12x48/ Medium	80	P. pseudospectabilis/ Desert Penstemon	1 Gal. Cont.	36x36/ Medium
41	80	Opuntia engelmannii/ Engelmann's Prickly Pear	1 Gal. Cont.	48x60/ Low	150	Penstemon strictus/ Rocky Mountain Penstemon	1 Gal. Cont.	24x36/ Medium
42	80	Opuntia lindheimeri/ Forma Ingaformis/ Cock's Tongue Prickly Pear	1 Gal. Cont.	48x60/ Low	80	Salvia nemerosa 'May Night'/ May Night Sage	1 Gal. Cont.	18x18/ Medium
43	125	Yucca glauca/ Soquel	1 Gal. Cont.	36x60/ Low	300	Teucrium chamaedrys/ Trailing Germander	1 Gal. Cont.	12x24/ Medium
44	80	Yucca rupicola/ Tulested Leaf Yucca	1 Gal. Cont.	36x36/ Low	400	Thymus sp./ Thyme	4" Pots	6x24/ Medium
45	400	Veronica sp./ Veronica	4" Pots	36x36/ Low	400	Veronica sp./ Veronica	4" Pots	6x24/ Medium
GRASSES								
46	80	Andropogon gerardii/ Big Bluestem	1 Gal. Cont.	60x48/ Low	60	Yucca radiata/ Orange Trumpet Vine	1 Gal. Cont.	Vine/ Medium
47	80	Aristida purpurea/ Purple Three Aun	1 Gal. Cont.	24x24/ Low	30	P. tricuspidata/ Boston Ivy	1 Gal. Cont.	Vine/ Medium
48	150	Festuca idahoensis 'Siakiyou Blue'/ Siakiyou Blue Festuca	1 Gal. Cont.	18x18/ Medium	10	Platycodon grandiflorus/ Chinese Platycodon	1 Gal. Cont.	Vine/ Medium
49	150	Helictotrichon sempervirens/ Blue Area Grass	1 Gal. Cont.	48x24/ Medium				
50	300	Muhlenbergia capillaris 'Regal Mist'/ Regal Mist Muhlenbergia	1 Gal. Cont.	36x42/ Medium				
51	500	Muhlenbergia rigens/ Deer Grass	1 Gal. Cont.	42x48/ Medium				
52	200	Nolina microcarpa/ Beargrass	1 Gal. Cont.	36x48/ Medium				
53	250	Stipa tenuissima/ Threadgrass	1 Gal. Cont.	24x18/ Low				
GRASS SEED/SOD								
54	1500	Buchloe dactyloides/ Buffalograss	Sod or Plugs	4'-6" Low				
55	2300	Sports Park Grass Blend/ Tall Fescue, Kest. Bluegrass, Ryegrass (note: illustrated on 20 scale plans)	Seed	12" medium-high				
SHRUBS								
56	15	Amorpha fruticosa 'V. upright'/ Mexican Flame/Mexican Flame Amaranthus	1 Gal. Cont.	48x48/ Low				
57	30	Atriplex confertifolia/ Shadscale	1 Gal. Cont.	24x30/ Low				
58	250	Baccharis x 'Centennial'/ Centennial Broom	1 Gal. Cont.	36x42/ Low				
59	25	Buddleia davidii var./ Butterfly Bush	1 Gal. Cont.	48x36/ Medium				
60	30	Caesalpinia gillesii/ Bird of Paradise	1 Gal. Cont.	48x12/ Low				
61	100	Caryopteris clandestina 'Dark Knight'/ Dark Night Blue Mist Spirea	1 Gal. Cont.	48x48/ Medium				
62	15	Cercocarpus leifolius/ Cork Tree	1 Gal. Cont.	60x60/ Low				
63	125	Chrysothamnus nauseosus/ Chamisa	1 Gal. Cont.	54x34/ Low				
64	100	Cytisus x 'Lena'/ Lena Broom	1 Gal. Cont.	24x36/ Low				
65	30	Dalea capitata Sierra Gold/ Sierra Gold Dalea	1 Gal. Cont.	8x36/ Low				
66	75	Ephedra viridis/ Horned Tea	1 Gal. Cont.	24x42/ Low				
67	25	Falga paradoxa/ Apache Plum	1 Gal. Cont.	48x48/ Low				
68	25	Juniperus horizontalis sp./ Prostrate Juniper	1 Gal. Cont.	12x56/ Low				
69	150	Mahonia aquifolium 'Compactum'/ Compact Mahonia	1 Gal. Cont.	24x48/ Medium				
70	15	Prunus besseyi/ Western Sand Cherry	1 Gal. Cont.	48x48/ Low				
71	50	Rhus aromatica 'Smo-lou'/ Smo-lou Fragrant Sumac	1 Gal. Cont.	24x12/ Medium				
72	50	Rhus trilobata/ Three-leaf Sumac	1 Gal. Cont.	48x48/ Medium				
73	300	Rosa rugosa 'Princess Diana'/ Princess Diana Rose	1 Gal. Cont.	24x12/ Medium				
74	150	Salvia chamaedryoides/ Mexican Blue Sage	1 Gal. Cont.	30x30/ Low				
75	75	Salvia greggii/ Autumn Sage	1 Gal. Cont.	30x36/ Low				

LANDSCAPE CALCULATIONS

Total Area: 164891 SF
Building Area: 384112 SF
Net Area (including streets outside of ROW): 418114 SF
Net Area (minus 20% for streets): 332098 SF
Required Landscape Area (15% of Net Area): 49814 SF
Allowable High Net Use Turf (20% of Landscape Area): 9962 SF
Required Total Plaza Area = 14,490 SF
Required Total Plaza Landscape Area = 40% of Required Plaza Area = 5796 SF
Provided Landscape Area = 52069 SF
Provided High Net Use Turf Area = 2380 SF
(This sum represents landscaped areas at street level only. This sum does not include landscape areas of plazas or upper level terraces, etc.)
Provided Total Plaza Area = 48,819 SF
Includes planter areas (12,691 SF) and tree canopies (30,148 SF)

LANDSCAPE NOTES

- Landscape design is illustrated on five (5) sheets - this 50-scale overall landscape plan and 4 sheets of 20-scale enlarged plans. Due to the property's large size, the 50-scale plan illustrates trees exclusively, and includes the Master Plant Schedule. The 20-scale plans illustrate high water use turf locations and the plant palettes for specific landscape beds using a keyed note system. The plant palettes are listed on each sheet.
- Design: The planting design includes a diverse palette of desert and high desert plants that will complement the architecture of the project. The intent is to landscape this mixed-use, urban environment with desert and high desert plants that reinforce a sense of place and are appropriate to Albuquerque's climate. Grasses and accent plants such as yucca, sotol and prickly pear cactus will be used in highly visible and appropriate locations. The use of nationally native trees for street trees, unless otherwise noted, will reinforce the sense of place, buffer pedestrians from vehicular areas and provide a comfortable pedestrian scale to the streets.
- Planting and irrigation design and installation shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance. Landscape beds shall achieve minimum 75% live vegetative coverage upon plant maturity. Noted plant quantities are approximate, and reflect the estimated number of plants necessary to achieve the design intent and the required coverage at plant maturity.
- Planting and irrigation installation details shall meet City of Albuquerque requirements. Each tree shall have a minimum of 36 feet of planting space.
- Planting and irrigation maintenance shall be the responsibility of the Property Owner.
- Controller: The irrigation system shall be run with a fully automated irrigation controller. The run time for the various zones shall be approximately 45 minutes for the drip zones and 20 minutes for the spray zones. Run time will be adjusted according to season, location, and plant performance. Drip emitters shall be used for all plant material except sod and perennial ground cover areas. These areas shall be irrigated with spray emitters appropriately designed to avoid overspray onto impermeable surfaces and adjacent paving.
- Point of Connection: There is likely to be more than one point of connection for this project. The water connection locations will be coordinated with the overall water service design for the site. The exact locations for connections and controllers is unknown at this time.
- Mulch: All planting beds shall be covered with mulch. Gravel, bark and peccan shell mulches will be used appropriately to add visual interest and protect soil moisture.
- The parking area trees selected for use at ABQ Uptown are appropriate to the challenges of arid, urban environments and will perform well in our climate and in the planting situations created at ABQ Uptown. These trees, which include deciduous and broad leaf evergreen species, have been chosen for their ability to withstand our environmental conditions (climate, soils, wind) and support the site program (shade, screening, color, scale) while reinforcing the desired high desert/outwest aesthetic. Due to the lack of empirical data on the pollution resistant qualities of trees native and adapted to the desert southwest, we have relied on our professional expertise and experience, and on the expertise of green industry, horticulture and plant nursery professionals in choosing the trees for this arid, urban situation.



Key Plan



N.T.S.

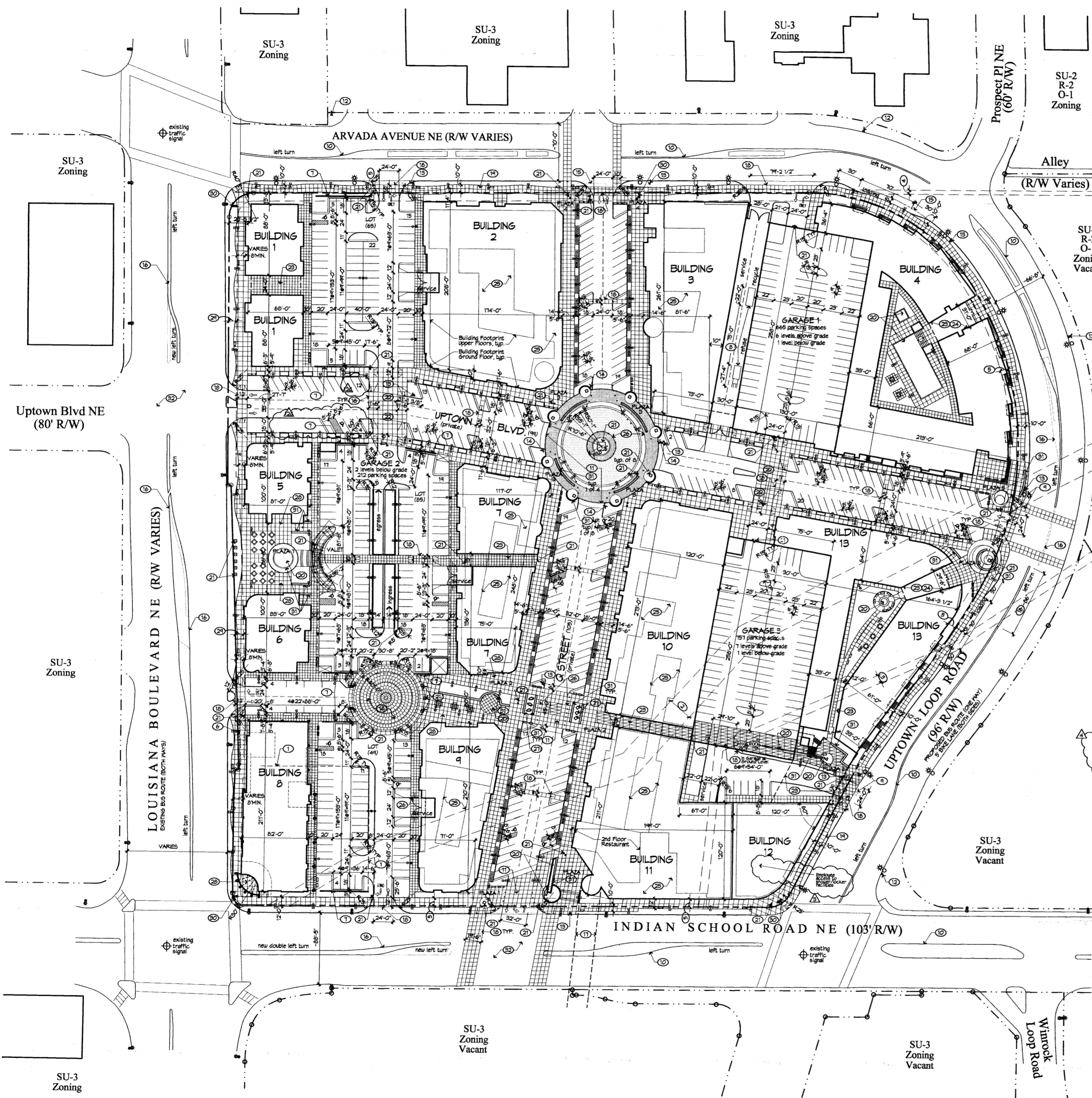
Owner Hunt-Uptown, LLC
Planning Consultant Denish + Kline Assoc., Inc.
Project Architect Dekker/Perich/Sabatini
Project Engineer Bohannon-Huston
Project Identity Vaughn Wedeen Creative



DRB Submittal
Site Development Plan for Building Permit

Landscape Plan 02 of 14

SCALE: 1" = 50'-0"
23 June 2004
Project #1002247



Site Data

SITE AREA: 116,124 ACRES 164,831,524 SF
 FAR: MIN. 27 MAX. 1.5 ACTUAL FAR: 1,023,100 GSF/164,832 SF = 1.39
 NOTE: GROSS SQUARE FOOTAGE (GSF) INCLUDES CORRIDORS, VERTICAL CIRCULATION AND INTERIOR
 RETAIL SERVICE AREAS. THE SF IS SHOWN FOR THE PURPOSE OF CALCULATING THE FLOOR AREA
 RATIO (FAR) - GROSS HEATED FLOOR AREA (GFA) - NET LEASABLE SQUARE FOOTAGE (NSF) IS
 USED FOR ALL OTHER CALCULATIONS.

Building Data

BUILDING	USE	NSF	DUS
BUILDING 1	RETAIL OR RESTAURANT	25,600 GSF (gross square footage)	110 DUS (dwelling units)
BUILDING 2	RETAIL OR RESTAURANT	12,000 NSF (net leasable square footage) (GROUND FLOOR)	
BUILDING 3	RETAIL OR RESTAURANT	184,100 GSF	
BUILDING 4	RETAIL OR RESTAURANT	95,500 NSF (GROUND FLOOR)	
BUILDING 5	MULTI-FAMILY OR OFFICE	12,300 NSF (2ND - 5TH FLOORS)	
BUILDING 6	RETAIL OR RESTAURANT	95,000 GSF	
BUILDING 7	RETAIL OR RESTAURANT	65,000 NSF (GROUND FLOOR)	76 DUS
BUILDING 8	MULTI-FAMILY OR OFFICE	150,000 GSF	
BUILDING 9	MULTI-FAMILY OR OFFICE	122,000 NSF (GROUND - 4TH FLOORS)	141 DUS
BUILDING 10	RETAIL OR RESTAURANT	8,000 NSF	
BUILDING 11	RETAIL OR RESTAURANT	8,000 NSF (GROUND FLOOR)	
BUILDING 12	RETAIL OR RESTAURANT	42,400 NSF (GROUND - 5TH FLOORS)	51 DUS
BUILDING 13	RETAIL OR RESTAURANT	32,000 GSF	
BUILDING 14	RETAIL OR RESTAURANT	14,400 NSF (GROUND FLOOR)	
BUILDING 15	MULTI-FAMILY OR OFFICE	14,400 NSF (2ND FLOOR)	
BUILDING 16	RETAIL OR RESTAURANT	65,800 GSF	
BUILDING 17	RETAIL OR RESTAURANT	18,500 NSF (GROUND FLOOR)	
BUILDING 18	MULTI-FAMILY OR OFFICE	22,000 NSF (2ND - 5TH FLOORS)	50 DUS
BUILDING 19	RETAIL OR RESTAURANT	118,100 GSF	
BUILDING 20	RETAIL OR RESTAURANT	28,400 NSF (GROUND FLOOR)	
BUILDING 21	MULTI-FAMILY OR OFFICE	54,200 NSF (2ND - 5TH FLOORS)	94 DUS
BUILDING 22	RETAIL OR RESTAURANT	115,000 GSF	
BUILDING 23	RETAIL OR RESTAURANT	24,500 NSF (GROUND FLOOR)	
BUILDING 24	RESTAURANT	7,500 NSF (2ND FLOOR)	
BUILDING 25	MULTI-FAMILY OR OFFICE	10,800 NSF (2ND - 5TH FLOORS)	65 DUS
BUILDING 26	OFFICE	48,900 GSF	
BUILDING 27	SERVICE RETAIL (GYM)	20,000 NSF (GROUND AND 2ND FLOORS)	
BUILDING 28	MULTI-FAMILY OR OFFICE	27,800 NSF (3RD - 4TH FLOORS)	
BUILDING 29	MULTI-FAMILY	122,000 NSF (GROUND - 4TH FLOORS)	113 DUS
BUILDING 30	MULTI-FAMILY	96,000 NSF (GROUND - 4TH FLOORS)	
BUILDING 31	GARAGE 1 (7 levels)	234,180 GSF	
BUILDING 32	GARAGE 2 (12 levels)	48,914 GSF	
BUILDING 33	GARAGE 3 (8 levels)	248,300 GSF	
TOTALS		1,023,100 GSF	1,023,100 GSF
RETAIL OR RESTAURANT		167,600 NSF (11)	19%
RESTAURANT		15,500 NSF	1%
SERVICE RETAIL		50,000 NSF	5%
OFFICE		28,400 NSF	3%
MULTI-FAMILY OR OFFICE		428,500 NSF (12)	41%
MULTI-FAMILY		216,000 NSF	21%
		844,500 NSF	82%

(1) MAXIMUM RETAIL AREA PERMITTED BASED UPON NET AREA OF DEVELOPMENT APPROVED BY THIS PLAN
 (2) OF THIS TOTAL, NO MORE THAN AN AGGREGATE TOTAL OF 21,600 NSF CAN BE PERMITTED FOR OFFICE USES BEFORE A REVISION TO THE TRAFFIC IMPACT STUDY IS REQUIRED. THE PLANNING DIRECTOR MUST RECEIVE WRITTEN CONCURRENCE FROM THE DIRECTORS OF PUBLIC WORKS AND MUNICIPAL DEVELOPMENT BEFORE CONSIDERING PERMITTING OFFICE DEVELOPMENT EXCEEDING 21,600 NSF IN THIS CATEGORY OR 54,000 NSF TOTAL FOR THE SITE.
 (3) ASSUMES AVERAGE OF 850SF PER DWELLING UNIT.

Parking

VEHICULAR PARKING REQUIRED USES	RATIO	SF/DUS	REQUIRED
RETAIL OR RESTAURANT	1/300	167,600 NSF	55
RESTAURANT	1/200	7,500 NSF	25
SERVICE RETAIL	1/200	50,000 NSF	202
OFFICE	1/300	54,000 NSF	180
MULTI-FAMILY OR OFFICE	15/20	464 DUS	104
MULTI-FAMILY	15/20	254 DUS	58
			2,091

VEHICULAR PARKING PROVIDED
 SURFACE PARKING: 412 (INCLUDES 13 ACCESSIBLE, 3 VAN)
 GARAGE 1: 661 (INCLUDES 1 ACCESSIBLE, 2 VAN)
 GARAGE 2: 214 (INCLUDES 4 ACCESSIBLE, 2 VAN)
 GARAGE 3: 3,075 (INCLUDES 31 ACCESSIBLE, 4 30 CAR POOL, REFER GENERAL NOTE D)

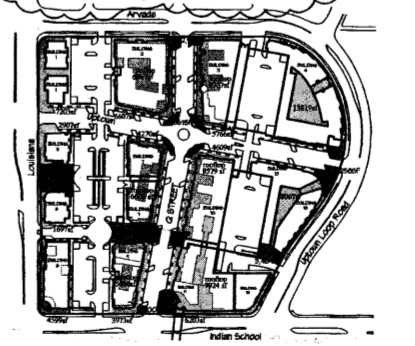
BICYCLE PARKING REQUIRED USES	RATIO	PARKING/DUS	REQUIRED
RETAIL OR RESTAURANT	1/20	594 SPACES	28
RESTAURANT	1/20	25 SPACES	2
SERVICE RETAIL	1/20	202 SPACES	10
OFFICE	1/20	100 SPACES	4
MULTI-FAMILY OR OFFICE	5/20	464 DUS	238
MULTI-FAMILY	5/20	254 DUS	127
			411

BICYCLE PARKING PROVIDED
 SURFACE PARKING: 111 REFER BIKE RING DETAIL ON BUILDING ELEVATIONS, SHEET 10
 BUILDING 2: 30 360SF ROOM IN MULTI-FAMILY
 BUILDING 3: 30 360SF ROOM IN MULTI-FAMILY
 BUILDING 4: 30 360SF ROOM IN MULTI-FAMILY
 BUILDING 7: 30 360SF ROOM IN MULTI-FAMILY
 BUILDING 8: 30 360SF ROOM IN MULTI-FAMILY
 BUILDING 10: 30 360SF ROOM IN MULTI-FAMILY
 BUILDING 11: 30 360SF ROOM IN MULTI-FAMILY
 BUILDING 13: 30 360SF ROOM IN MULTI-FAMILY
 411 10% COVERED BIKE PARKING
 GARAGE 1: 15
 GARAGE 2: 15
 GARAGE 3: 41

Open Space/Plaza Diagram

Upper Components - 100% Residential (most stringent)
 Required: 108,450sf Provided: 128,940 (open space) + 41,894 (plaza) = 170,834sf
 Open Space: 150sf/1000 = 150,450sf Open Space: 150 x 122525 = 18,378,750sf (balcony, average) = 14,466sf
 Plazas: 15sf/non-res. parking space: residential rooftops & courtyards = 66,676sf
 (for urban sector plan section 162), in response (min 10' side street) landscape/amenity pedestrian zone = 47,884sf
 core plaza req. credit toward open space req. Plazas: 41,894sf
 128,940sf

The Site Plan satisfies the (1) linear foot of seating for each foot of plaza perimeter:
 Total Plaza Area Required = 14,466 SF
 USOP Recommended Amount of Plaza Seating = 1000 LF*
 (calculated by taking the perimeters from Plazas 2 and 4 which have a total area of 14,466 SF)
 Total Plaza Seating Provided = 2101 LF



PROJECT NUMBER: #1002247
 DRB NUMBER:
 DRB SITE DEVELOPMENT PLAN APPROVAL:
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE
 UTILITIES DIVISION DATE
 PARKS AND RECREATION DEPARTMENT DATE
 CITY ENGINEER DATE
 SOLID WASTE MANAGEMENT DATE
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

Index to Drawings

- 01 Site Development Plan for Building Permit
- 02 Landscape Plan
- 03 Enlarged Landscape and Plaza Plans (NW Quadrant)
- 04 Enlarged Landscape and Plaza Plans (NE Quadrant)
- 05 Enlarged Landscape and Plaza Plans (SW Quadrant)
- 06 Enlarged Landscape and Plaza Plans (SE Quadrant)
- 07 Building Elevations 1
- 08 Building Elevations 2
- 09 Building Elevations 3
- 10 Building Elevations 4
- 11 Building Elevations 5
- 12 Directional Signage and Art
- 13 Grading and Drainage Plan
- 14 Utility Plan

General Notes

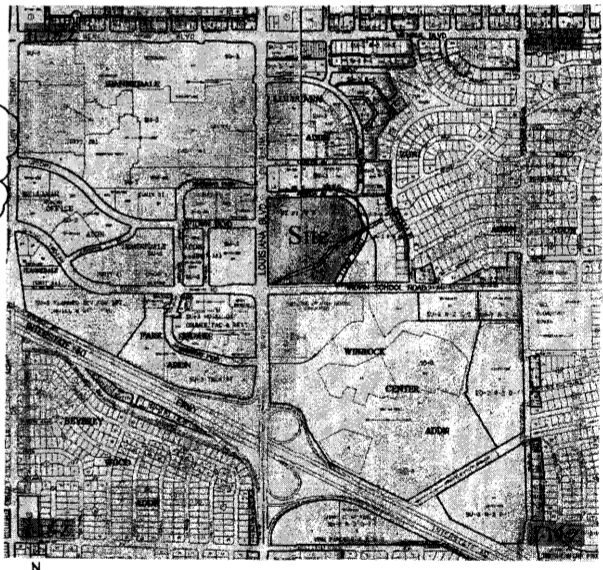
- A. Approval of development proposals consistent with this Site Plan for Building Permit shall be by the Planning Director or his/her designee, and the City Engineer.
- B. No Single Retail Tenant shall exceed 25,000sf net leasable area per establishment.
- C. Refer to the Utility Plan for Fire Hydrant Distribution Lines, Proposed and Existing Water/Sewer Storm Drainage Facilities and Proposed PUEs.
- D. 20 Total Spaces to be dedicated Employee Carpool Parking located in employee designated parking areas in each garage.
- E. The site plan complies with the Traffic Mitigation Plan approved by the Applicant and Transit Department.
- F. Streets, Parking Spaces and Associated Driveways to be Asphal. Unless Noted Otherwise.
- G. Access to be provided to all existing and proposed easements.
- H. Design Regulations for Water Conservation Landscaping and Water Waste (Design Regulations for Water Conservation Landscaping and Water Waste) of the Albuquerque Code of Ordinances, which is to minimize the evaporation of irrigation water used for water features.

Keyed Notes

1. EXISTING 3'-4" HIGH BRICK RETAINING WALL TO BE REMOVED.
2. EXISTING DRAINAGE EASEMENT TO BE VACATED. WIDTH VARIES.
3. EXISTING ABANDONED 10' SANITARY SEWER EASEMENT TO BE VACATED.
4. EXISTING 6' MSTIT.
5. EXISTING 10' PUE TO BE VACATED.
6. HATCHED AREA DESIGNATES EXISTING PNM AND MSTIT EASEMENT.
7. 50'-42" TALL METAL PANEL SCREEN WALL.
8. CENTRAL TRASH COMPACTOR AND RECYCLE COLLECTION FOR ENTIRE DEVELOPMENT. ENCLOSED IN ALLEY. REFER TO ELEVATIONS FOR DECORATIVE FACE ENCLOSURE. INDIVIDUAL COLLECTION CARTS LOCATED INTERNALLY AT EACH BUILDING.
9. RELOCATE EXISTING STREET POLE LIGHT FIXTURE AS INDICATED.
10. EXISTING MEDIAN.
11. RAISED PEDESTRIAN CROSSING, COLORED, DECORATIVE PAVING.
12. EXISTING FIRE HYDRANT.
13. PROPOSED FIRE HYDRANT.
14. STOP SIGN, REFER DIRECTIONAL SIGNAGE AND ART, SHEET 12.
15. EXISTING CONCRETE DRIVE PADS TO BE REMOVED.
16. MOOPY EXISTING MEDIAN AS INDICATED.
17. PEDESTRIAN SKY BRIDGE OVER INDIAN SCHOOL ROAD, SHOWN FOR ILLUSTRATIVE PURPOSES. (NOT PART OF THIS PROJECT)
18. PEDESTRIAN CROSSING, COLORED, DECORATIVE PAVING.
19. 10' WIDE MEANDERING SIDEWALK ALONG UPTOWN LOOP ROAD, TYP.
20. WATER FEATURE REFER TO GENERAL NOTE H.
21. DIRECTIONAL SIGNAGE OR ART, REFER SHEET 12.
22. PROPOSED CITY BUS STOP.
23. BREEZEWAY AT GROUND FLOOR, COVERED BY UPPER FLOORS ABOVE.
24. COURTYARD VIEW TO SANDALS.
25. ROOFTOP TERRACES (TO BE USED SOLELY AS OPEN SPACE).
26. BOLLARDS, TYP.
27. ROCK WALLS, TYP.
28. OUTDOOR DINING.
29. EXISTING 10' PUE.
30. ENTRY SIGN/FREE STANDING MONUMENT SIGN, REFER BUILDING ELEVATIONS, SHEET 10.
31. SEATBALL.
32. ANY PROPOSAL BY THE APPLICANT TO CHANGE ACCESS, MOVEMENTS PERMITTED, OR TRAFFIC CONTROL AT UPTOWN BLVD/LOUISIANA BLVD, OR AT G STREET/INDIAN SCHOOL RD INTERSECTIONS WILL REQUIRE THE WRITTEN CONCURRENCE OF THE DIRECTORS OF PUBLIC WORKS, MUNICIPAL DEVELOPMENT, AND PLANNING PRIOR TO APPROVAL. ADDITIONAL TRAFFIC ANALYSIS MAY BE REQUIRED BEFORE SUCH CHANGES ARE CONSIDERED. THE CITY MAY MAKE SUCH MODIFICATIONS AS A PART OF ITS AUTHORITY TO MANAGE THE SYSTEM. SUCH CHANGES BY THE CITY WILL NOT REQUIRE AMENDMENTS TO THE SURROUNDING SITE DEVELOPMENT PLANS BUT WILL REQUIRE THE WRITTEN CONCURRENCE OF THE DIRECTORS OF PUBLIC WORKS AND MUNICIPAL DEVELOPMENT.

Furnishings Legend

- Pedestrian Scale Pole Light
- to comply w/ Dark Skies Ordinance
- Refer Directional Signage and Art, Sheet 12
- Height: 15'-0"
- Area Pole Light
- to comply w/ Dark Skies Ordinance
- Refer Directional Signage and Art, Sheet 12
- Height: 20'-0"
- Existing Street Pole Light
- 5' Bench
- ◆ Table and Chairs

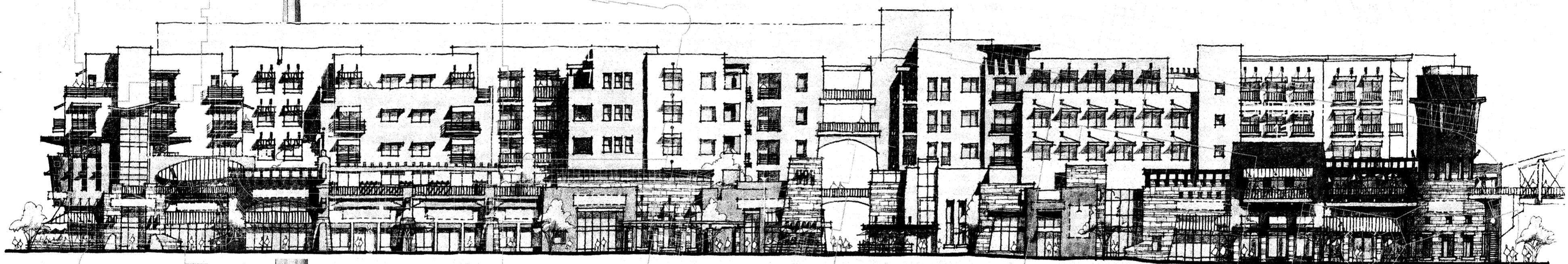
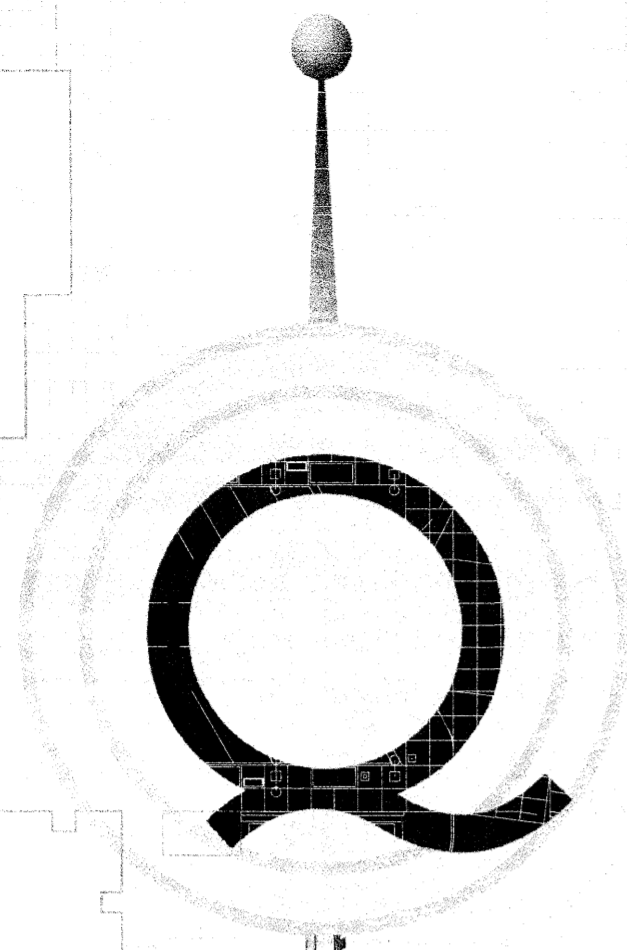


VICINITY MAP
 1"=1000' 0 250 500 1000
 COA Zone Atlas Index Maps H-18-Z, J-18-Z, H-19-Z, J-19-Z

Owner: Hunt-Uptown, LLC
 Planning Consultant: Denish + Kline Assoc., Inc.
 Project Architect: Dekker/Perich/Sabatini
 Project Engineer: Bohannon-Huston
 Project Identity: Vaughn Wedeen Creative

ABQ
 uptown
 DRB Submittal
 Site Development Plan for Building Permit
 Site Plan 01 of 14
 SCALE: 1" = 50'
 23 June 2004
 Project #1002247

Proj
1002247



△ Conditions for Approval of Site Plan for Building Permit
Changes made to the original submittal per the findings and conditions of the Official Notification of Decision, August 15, 2003, project # 1002247, OSBPC-00414 Site Development Plan - Building Permit.

Index to Drawings

- 01 Site Development Plan for Building Permit
- 02 Landscape Plan
- 03 Enlarged Landscape and Plaza Plans (NW Quadrant)
- 04 Enlarged Landscape and Plaza Plans (NE Quadrant)
- 05 Enlarged Landscape and Plaza Plans (SW Quadrant)
- 06 Enlarged Landscape and Plaza Plans (SE Quadrant)
- 07 Building Elevations 1
- 08 Building Elevations 2
- 09 Building Elevations 3
- 10 Building Elevations 4
- 11 Building Elevations 5
- 12 Directional Signage and Art
- 13 Grading and Drainage Plan
- 14 Utility Plan

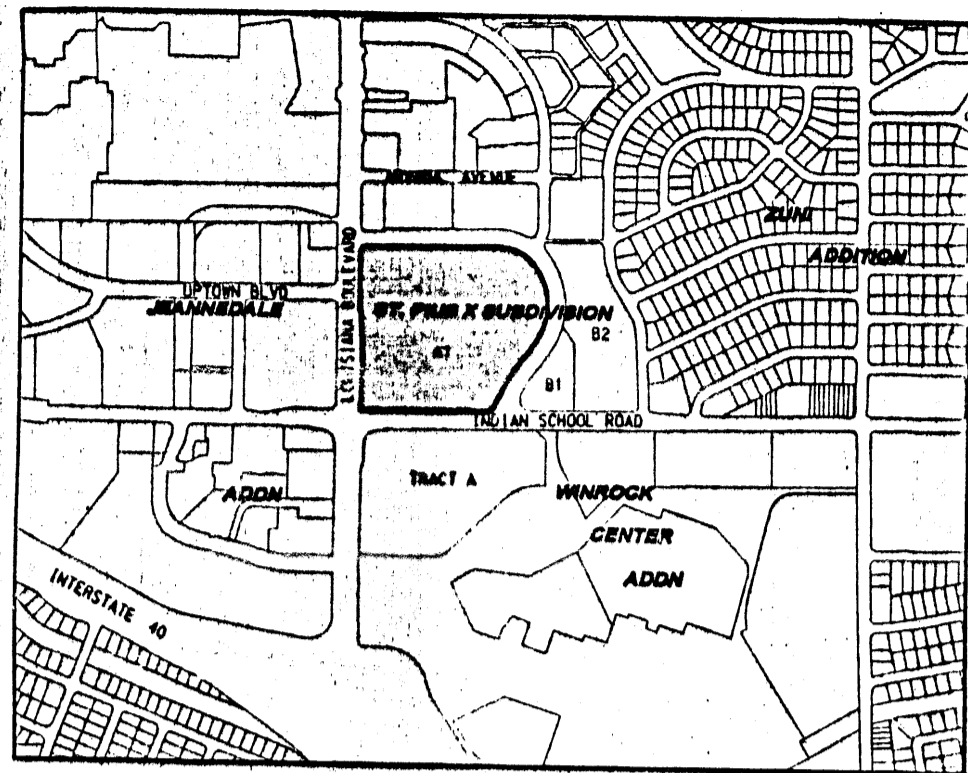
Owner	Hunt-Uptown, LLC
Planning Consultant	Denish + Kline Assoc., Inc.
Project Architect	Dekker/Perich/Sabatini
Project Engineer	Bohannon-Huston
Project Identity	Vaughn Wedeen Creative



DRB Submittal
Site Development Plan for Building Permit

Cover Sheet 0 of 14

SP-2004232173



LOCATION MAP

ZONE ATLAS INDEX MAP No. H-18-Z
NOT TO SCALE

SUBMISSION DATA

- 1. DRB PROJECT NO.
2. ZONE ATLAS INDEX NO. H-18-Z
3. GROSS SUBDIVISION ACREAGE: 17.6729 ACRES
4. TOTAL NUMBER OF TRACTS CREATED: ONE (1) TRACT
5. DATE OF SURVEY: JUNE 2004
6. PLAT IS LOCATED WITHIN THE SOUTHWEST ONE-QUARTER (SW1/4) OF SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE TRACT A-1 OF THE PLAT OF TRACTS A-1, B-1 AND B-2 ST. PLUS X SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 10, 2001 IN BOOK 2001C, PAGE 140 AS DOCUMENT NO. 2001053735 INTO ONE (1) TRACT AND TO VACATE EASEMENTS.

NOTES

- 1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 1927 DATUM). BASIS OF BEARINGS: N00°49'31"W BETWEEN ACS MONUMENTS "20-H18" AND "15-H18"
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS ().

DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN THE SOUTHWEST ONE-QUARTER (SW1/4) OF SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL TRACT A-1 OF THE PLAT OF TRACTS A-1, B-1 AND B-2 ST. PLUS X SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 10, 2001 IN BOOK 2001C, PAGE 140 AS DOCUMENT NO. 2001053735 AND BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 1927) AND GROUND DISTANCES AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF LOUISIANA BOULEVARD NE, WHENCE THE ALBUQUERQUE CITY SURVEY (ACS) MONUMENT "20-H18, 1989" A 3 1/4 INCH ALUMINUM TABLET SET IN TOP OF A CONCRETE CURB, HAVING NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE NAD 1927) OF X=404,802.33 AND Y=1493,092.39 BEARS N40°41'56"W, A DISTANCE OF 94.99 FEET AND FROM SAID POINT OF BEGINNING RUNNING THENCE ALONG THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, N00°03'35"W, A DISTANCE OF 329.97 FEET TO A POINT OF CURVATURE; THENCE, 46.85 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET AND A CHORD WHICH BEARS N44°40'54"E, A DISTANCE OF 42.23 FEET TO A POINT OF TANGENCY ON THE NORTHERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF ARVADA AVE NE, THENCE RUNNING ALONG THE NORTHERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, N89°25'22"E, A DISTANCE OF 688.82 FEET TO A POINT OF CURVATURE; THENCE, 221.18 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 233.41 FEET AND A CHORD WHICH BEARS S63°25'48"E, A DISTANCE OF 213.00 FEET TO A POINT OF COMPOUND CURVATURE (NON-TANGENT) ON THE EASTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF UPTOWN LOOP ROAD NE, THENCE RUNNING ALONG THE EASTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, 411.59 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 361.00 FEET AND A CHORD WHICH BEARS S03°35'30"E, A DISTANCE OF 389.65 FEET TO A POINT OF COMPOUND CURVATURE; THENCE, 134.85 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 888.16 FEET AND A CHORD WHICH BEARS S33°25'13"W, A DISTANCE OF 134.72 FEET TO A POINT OF TANGENCY; THENCE, S37°42'11"W, A DISTANCE OF 27.12 FEET TO A POINT OF CURVATURE; THENCE, 141.10 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 748.00 FEET AND A CHORD WHICH BEARS S32°21'57"W, A DISTANCE OF 140.89 FEET TO A POINT OF TANGENCY; THENCE, S26°57'43"W, A DISTANCE OF 146.23 TO A POINT OF CURVATURE; THENCE, 32.75 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET AND A CHORD WHICH BEARS S58°14'01"W, A DISTANCE OF 31.15 FEET TO A POINT OF TANGENCY ON THE SOUTHERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF INDIAN SCHOOL ROAD NE, THENCE RUNNING ALONG THE SOUTHERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, S89°30'18"W, A DISTANCE OF 655.95 FEET TO A POINT OF CURVATURE (NON-TANGENT); THENCE, 16.88 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 18.67 FEET AND A CHORD WHICH BEARS N20°29'08"W, A DISTANCE OF 16.30 FEET TO A POINT OF NON-TANGENCY ON THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF LOUISIANA BOULEVARD NE, THENCE RUNNING ALONG THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, N00°21'07"W, A DISTANCE OF 106.13 FEET TO A POINT; THENCE, N01°54'12"E, A DISTANCE OF 4.88 FEET TO A POINT; THENCE, N87°25'03"E, A DISTANCE OF 4.00 FEET TO A POINT; THENCE, N01°45'58"E, A DISTANCE OF 6.07 FEET TO A POINT; THENCE, N01°57'55"W, A DISTANCE OF 34.68 FEET TO A POINT; THENCE, N89°37'02"W, A DISTANCE OF 4.04 FEET TO THE POINT AND PLACE OF BEGINNING.

TRACT CONTAINS 17.6729 ACRES, MORE OR LESS.

FREE CONSENT AND DEDICATION

THE FOREGOING PLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE SOUTHWEST ONE-QUARTER (SW1/4) OF SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF TRACT A-1 OF THE PLAT OF TRACTS A-1, B-1 AND B-2 ST. PLUS X SUBDIVISION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 10, 2001 IN BOOK 2001C, PAGE 140 AS DOCUMENT NUMBER 2001053735, NOW COMPRISING TRACT A OF ABQ UPTOWN SITE, ALBUQUERQUE, NEW MEXICO IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS PLAT IS THEIR FREE ACT AND DEED.

HUNT UPTOWN, LLC

BY: Gary B. Sapp, Executive Vice President, Hunt Uptown, LLC

STATE OF NEW MEXICO)
) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 4th June 2004 BY GARY B. SAPP, EXECUTIVE VICE PRESIDENT OF HUNT UPTOWN, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY.

My Commission Expires 11-18-2005 Karen Lee DeFornor, Notary Public

NOTARY PUBLIC
11-18-2005

PLAT OF TRACT A ABQ UPTOWN SITE (A REPLAT OF TRACT A-1, ST. PLUS X SUBDIVISION) ALBUQUERQUE, NEW MEXICO JUNE, 2004

PROJECT NUMBER
APPLICATION NUMBER

PLAT APPROVAL

Table with columns for Utility Approvals (Quest, Comcast, PNM Electric, PNM Gas, New Mexico Utilities), City Approvals (City Surveyor, Traffic Engineering, Utilities Development, Parks & Recreation, A.M.A.P.C.A., City Engineer, DRB Chairperson, Real Property Division, Environmental Health Department) and Date.

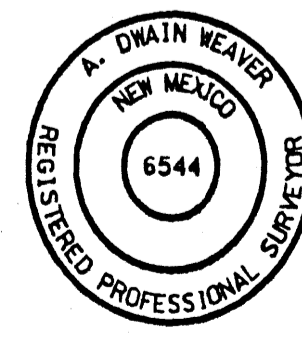
TAX CERTIFICATION

PROPERTY OWNER OF RECORD
BERNALILLO COUNTY TREASURER'S OFFICE DATE

PRELIMINARY PLAT APPROVED BY DRB ON 6/23/04

SURVEYOR'S CERTIFICATION

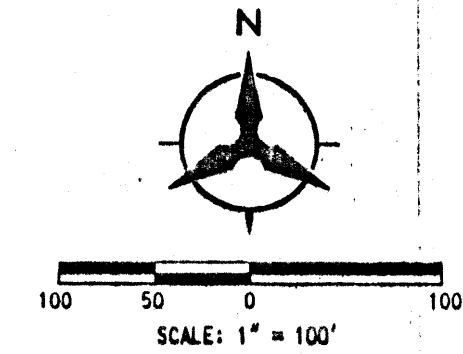
I, A. DWAIN WEAVER, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



A. Dwain Weaver
A. DWAIN WEAVER
NEW MEXICO PROFESSIONAL SURVEYOR 6544
DATE: June 3, 2004

Bohannon & Huston logo and address: Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. Engineering - Spatial Data - Advanced Technologies.

**PLAT OF TRACT A
ABQ UPTOWN SITE
(A REPLAT OF TRACT A-1, ST. PIUS X SUBDIVISION)
ALBUQUERQUE, NEW MEXICO
JUNE, 2004**



LEGEND

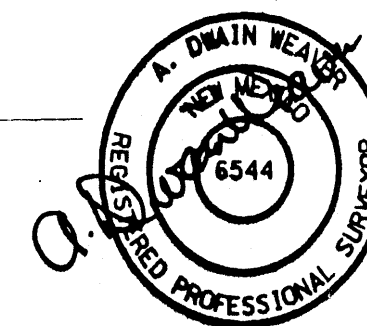
- SUBDIVISION BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- SET 3/4" REBAR WITH 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- ✕ FOUND CHISELED "X" IN CONCRETE
- ⊕ FOUND 1/2" REBAR WITH RED SURVEY CAP STAMPED "X" IN CONCRETE

TANGENT DATA

ID	BEARING	DISTANCE
T1	S37°46'11"W	27.12'
T11	S37°44'39"W	27.12'
T2	N01°54'12"E	48.08'
T21	N01°53'14"E	48.13'
T3	N87°25'03"E	4.00'
T31	N87°41'42"E	4.00'
T4	N01°45'58"E	6.07'
T41	N02°18'22"E	6.04'
T5	N89°37'02"W	4.04'
T51	N89°37'02"W	4.04'

CURVE DATA

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRC
C1	89°28'57"	29.73'	46.85'	30.00'	42.23'	M44°40'54"E
	(89°28'57")	(46.85')	(30.00')	(42.23')	(M44°40'54"E)	
C2	54°17'40"	119.68'	221.88'	233.41'	213.00'	S63°25'48"E
	(54°17'40")	(119.68')	(221.88')	(233.41')	(212.99')	(S63°25'53"E)
C3	65°19'28"	231.42'	411.59'	361.00'	389.65'	S03°35'30"E
	(65°19'50")	(411.62')	(361.00')	(389.68')	(S03°37'13"E)	
C4	08°41'57"	67.55'	134.85'	888.16'	134.72'	S33°25'13"W
	(08°41'57")	(134.85')	(888.16')	(134.72')	(S33°23'40"W)	
C5	10°48'28"	70.76'	141.10'	748.00'	140.89'	S32°21'57"W
	(10°48'28")	(141.10')	(748.00')	(140.89')	(S32°20'25"W)	
C6	62°32'35"	18.22'	32.75'	30.00'	31.15'	S58°14'01"W
	(62°34'07")	(32.76')	(30.00')	(31.16')	(S58°13'15"W)	
C7	51°44'57"	9.06'	16.86'	18.67'	16.30'	N26°29'08"W
	(52°15'36")	(17.03')	(18.67')	(16.45')	(N26°40'49"W)	



DATE: JUNE 3, 2004

SHEET 2 OF 2

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

P:\020110\survey\002\graphics\020110_stpusReplat.dgn 13-JUN-2004 13:10 mcle JOB NO. 020110 002

ACS ALUMINUM CAP STAMPED "15-H18, 1989"
GEOGRAPHIC POSITION (NAD 1927)
NW STATE PLANE COORDINATES (CENTRAL ZONE)
X=404,773.95 Y=1,495,049.22
GROUND TO GRID FACTOR = 0.99965691
DELTA ALPHA = -0°10'59"
NGVD 1929 ELEVATION = 5300.769

TRACT A
LA MESA
MEDICAL
CENTER
FILED: 12/29/58
(BK. C4, PG. 62)

TRACT B-1
LA MESA MEDICAL CENTER
FILED: JULY 15, 1996
(196C-314)

PLAT OF TRACTS
B-2-A AND B-2-B
LA MESA MEDICAL CENTER
FILED: JULY 15, 1997
(197C-218)

ARVADA AVENUE NE (R/W VARIES)
(N89°25'22"E 688.61')
(N89°25'22"E 688.82')

ALLEY (R/W VARIES)

UNIT NO. 8
JEANNEDALE
ADDITION
FILED: MAY 20, 1977
(C13-62)

UPTOWN
BOULEVARD NE
(80' R/W)

UNIT 1-A
JEANNEDALE
ADDITION
FILED: APRIL 18, 1977
(C12-24)

(R/W VARIES)

LOUISIANA BOULEVARD NE

INDIAN SCHOOL ROAD NE
(103' R/W)

ACS ALUMINUM CAP STAMPED "20-H18, 1989"
GEOGRAPHIC POSITION (NAD 1927)
NW STATE PLANE COORDINATES (CENTRAL ZONE)
X=404,802.37 Y=1,493,092.39
GROUND TO GRID FACTOR = 0.99965788
DELTA ALPHA = -0°10'59"
NGVD 1929 ELEVATION = 5280.592

PORTION OF EXISTING 5' MST&T EASEMENT
WITHIN TRACT A-1-A
FILED: NOVEMBER 4, 1969
(MISC. BK. 155, PG. 147)
DOCUMENT NO. 55437 VACATED BY
VACATION ACTION V-

EXISTING 5' MST&T EASEMENT
FILED: NOVEMBER 4, 1969
(MISC. BK. 155, PG. 147)
DOCUMENT NO. 55437
TO REMAIN

TRACT A
17.6729 Acres

EXISTING 10' PUBLIC UTILITY EASEMENT
FILED: OCTOBER 12, 1988
(MISC. BK. 673A, PGS. 571-572)
DOCUMENT NO. 08891992
VACATED BY VACATION ACTION V-

EXISTING 10' SANITARY SEWER EASEMENT
FILED: JULY 2, 1988 (C3-168)
VACATED BY VACATION ACTION V-

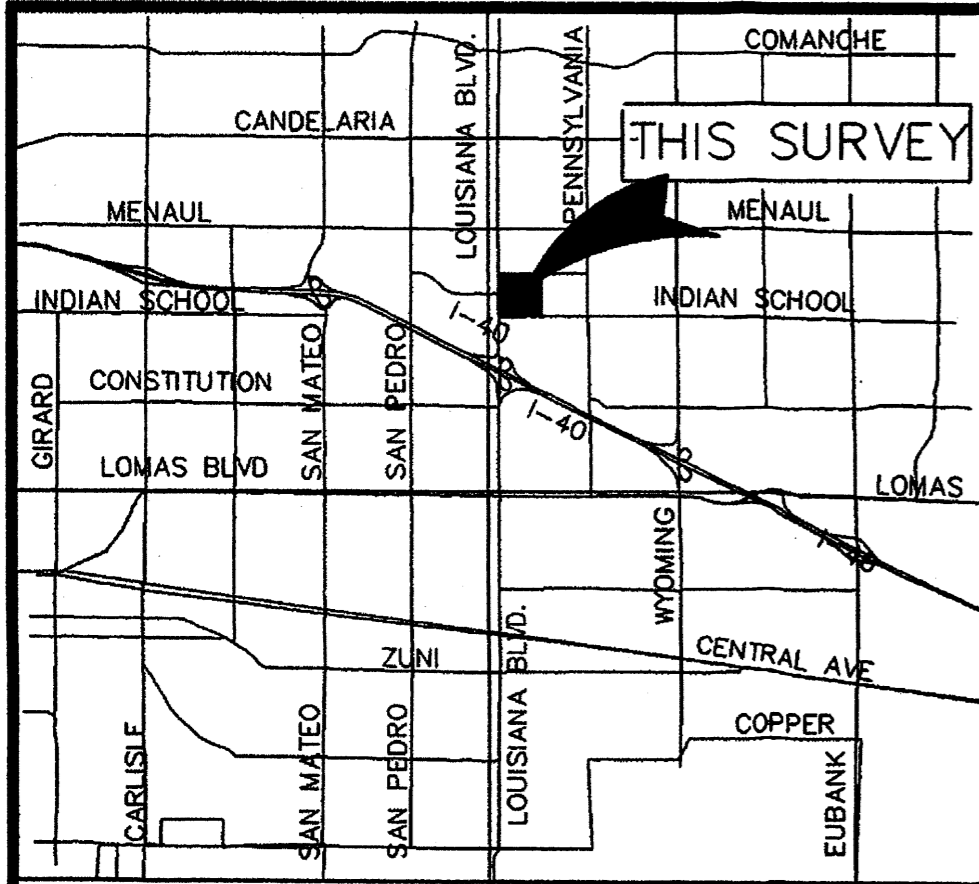
PORTION OF EXISTING PNM
AND MST&T EASEMENT
FILED: OCTOBER 12, 1988
(MISC. BK. 673A, PGS. 571-572)
DOCUMENT NO. 08891992
VACATED BY VACATION ACTION V-

EXISTING 15' STORM SEWER EASEMENT
FILED: DECEMBER 8, 1967
(MISC. BK. 88, PG. 344)
DOCUMENT NO. 74733
VACATED BY VACATION ACTION V-

EXISTING 30' DRAINAGE EASEMENT
FILED: OCTOBER 15, 1963
(C5-187) DOCUMENT NO. 62958
VACATED BY VACATION ACTION V-

EXISTING 15' SURFACE
DRAINAGE EASEMENT
FILED: DECEMBER 8, 1967
(MISC. BK. 88, PG. 344)
DOCUMENT NO. 74733
VACATED BY VACATION
ACTION V-

HATCHED AREA DESIGNATES
EXISTING 100 YEAR FLOOD PLAIN
ZONE AD
FIRM MAP NUMBER 35001C0352D



VICINITY MAP
ZONE ATLAS INDEX MAP NO. H-19-Z
NOT TO SCALE

PLAT OF TRACTS A-1, B-1 and B-2 ST. PIUS X SUBDIVISION (Replat of Tracts A & B & Lots 1-11)

Project # 1001104
APPROVALS:

ALBUQUERQUE, NEW MEXICO
JANUARY, 2001

Application # 01440-0000-00460

2001053735
5554686
Page: 1 of 2
85/18/2001 10:37A
Mary Herrera Bern. Co. PLRT R 12.00 BK-2001C Pg-148

PLANNING DIRECTOR, CITY OF ALBUQUERQUE, NEW MEXICO	5/13/01	DATE
UTILITY DEVELOPMENT, CITY OF ALBUQUERQUE, NEW MEXICO	4/2/01	DATE
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO	4/2/01	DATE
A.M.A. C.A.	4/2/01	DATE
TRANSPORTATION DEVELOPMENT, CITY OF ALBUQUERQUE, NEW MEXICO	4-02-01	DATE
PARKS DESIGN & DEVELOPMENT, C.I.P., CITY OF ALBUQUERQUE, NEW MEXICO	4/2/01	DATE
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO	4-02-01	DATE
PNM GAS SERVICES	N/A	DATE
PNM ELECTRIC SERVICES	N/A	DATE

TREASURER'S CERTIFICATE

This is to certify that the taxes are current and paid on 4-23-2001
U.P.C. # 101905901005530134
Property owner(s) of record: Archdiocese of Santa Fe
Bernalillo County Treasurer's Office: Mona Jean 4-23-2001
By: _____ Date: 4-23-2001
For: _____

COUNTY CLERK FILING DATA

Notes:

- A boundary survey was performed in January, 2001. Property corners were found as shown.
- All distances are ground distances.
- Site location within Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico.
- Bearings shown hereon are based upon the found ASC monuments 20-H18 and 15-H18. All bearings shown are Grid New Mexico SPC (C).
- Record data from A.S.C.I. Alta survey, see note 8. o., is shown in parenthesis.
- Uptown Loop Road was created by this plat and is dedicated to the City of Albuquerque for public use.
- The purpose of this plat is to:
 - Replat the ST. PIUS SUBDIVISION into three Tracts.
 - Dedicate in fee simple with warranty covenants the necessary public street right-of-way, grant necessary easements as shown and vacate easements as shown.
- The following documents and instruments were used for the performance and preparation of this plat:
 - Warranty Deed, filed December 6, 1957 in Book D407, page 276 as Document No. 47720, records of Bernalillo County, New Mexico.
 - Plat, filed July 2, 1958 in Volume C3, folio 168, records of Bernalillo County, New Mexico.
 - Plat, filed October 15, 1963 in Volume C5, folio 187, records of Bernalillo County, New Mexico.
 - Warranty Deed, filed February 6, 1967 in Book D823, page 136 as Document No. 38561, records of Bernalillo County, New Mexico.
 - Ordinance No. 141-1967, filed October 31, 1967 in Book Misc. 84, page 643 as Document No. 70248, records of Bernalillo County, New Mexico.
 - Plat, filed December 8, 1967 in Volume Misc. 88, folio 34-44 as Document No. 74733, records of Bernalillo County, New Mexico.
 - Right-of-way Easement, filed November 4, 1969 in Book Misc. 155, page 147 as Document No. 55437, records of Bernalillo County, New Mexico.
 - Quitclaim Deed, filed August 22, 1985 in Book D248-A, page 488-489 as Document No. 85-70356, records of Bernalillo County, New Mexico.
 - Warranty Deed, filed August 22, 1985 in Book D248-A, page 490-492 as Document No. 85-70357, records of Bernalillo County, New Mexico.
 - Quitclaim Deed, filed December 21, 1987 in Book D321-A, page 797-801 as Document No. 87127813, records of Bernalillo County, New Mexico.
 - Quitclaim Deed, filed December 21, 1987 in Book D321-A, page 802-804 as Document No. 87127814, records of Bernalillo County, New Mexico.
 - Quitclaim Deed, filed December 28, 1987 in Book D321-A, page 977-979 as Document No. 87128561, records of Bernalillo County, New Mexico.
 - Quitclaim Deed, filed December 28, 1987 in Book D321-A, page 980-982 as Document No. 87128562, records of Bernalillo County, New Mexico.
 - Underground Easement, filed October 12, 1988 in Book MS 673-A, page 571-572 as Document No. 08891992, records of Bernalillo County, New Mexico.
 - An unrecorded ALTA/ACSM LAND TITLE SURVEY plat prepared by Albuquerque Surveying Company Incorporated, dated 6/94 and revised 10/19/94.
 - AGREEMENT BETWEEN CITY OF ALBUQUERQUE AND ROMAN CATHOLIC CHURCH ARCHDIOCESE OF SANTA FE DATED 4-10-01 FOR CONVEYANCE AND CONSTRUCTION OF UPTOWN LOOP ROAD.

LEGAL DESCRIPTION

Being that certain parcel of land situated within Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico, and being identified as 1) Tract A, Tract B and Lots 1 thru 11, St. Pius X Subdivision, as said Tracts A & B and Lots 1 thru 11 are shown and designated on "ST. PIUS X SUBDIVISION REPLAT, ALBUQUERQUE, NEW MEXICO," filed in the Office of the County Clerk, Bernalillo County, New Mexico, on October 15, 1963, in Volume C5, Folio 187; together with a portion of Espanola Street NE, as described in Quitclaim Deed Doc. #87127814, filed in the Office of the County Clerk, Bernalillo County, New Mexico, on December 21, 1987, in Book D321A, Page 802; together with a portion of Arvada Avenue NE and Espanola Street NE, as described in Quitclaim Deed Doc. #87127813, filed in the Office of the County Clerk, Bernalillo County, New Mexico, on December 21, 1987, in Book D321A, Page 797; together with a portion of the northerly 17 feet of Indian School Road NE between Louisiana Boulevard NE and Espanola Street NE vacated by City Ordinance No. 141-1967, filed in the Office of the County Clerk, Bernalillo County, New Mexico, on October 31, 1967, as Doc. #70248 in Volume Misc. 84, Folio 643; and excluding therefrom the land described in the following documents: 2) a portion of Indian School Road NE as described in Quitclaim Deed Doc. # 87128562, filed in the Office of the County Clerk, Bernalillo County, New Mexico, on December 23, 1987, in Book D321A, Page 980; an easterly portion of St. Pius X Subdivision (C5-187), as described in Quitclaim Deed Doc. #87128561, filed in the Office of the County Clerk, Bernalillo County, New Mexico, on December 23, 1987, in Book D321A, Page 977; a portion of Tract A, St. Pius X Subdivision, (C5-187), as described in Warranty Deed Doc. #38561, filed in the Office of the County Clerk, Bernalillo County, New Mexico, on February 6, 1967, in Volume D823, Folio 136; and Parcels A and B as described in Warranty Deed Doc. #8570357, filed in the Office of the County Clerk, Bernalillo County, New Mexico, on August 22, 1985, in Book D248A, Page 490; and being more particularly described by metes and bounds survey as follows:

Beginning at the southwest corner of the parcel of land herein described being a point at the intersection of the northerly right-of-way line of Indian School Road NE and the easterly right-of-way line of Louisiana Boulevard NE, whence the NMSHC Control Station "1-40-7" bears S 02° 06' 58" W, 1,810.92 feet distance; thence,

Northwesterly, 17.03 feet distance along the arc of a non-radial curve bearing to the right (said arc having a radius of 18.67 feet, a central angle of 52° 15' 35" and a chord which bears N 26° 40' 49" W, 16.45 feet distance) to a point; thence,

N 00° 22' 12" W, 106.11 feet distance to a point; thence,

N 01° 53' 14" E, 48.13 feet distance to a point; thence,

N 87° 41' 42" E, 4.00 feet distance to a point; thence,

N 02° 18' 22" E, 6.04 feet distance to a point; thence,

N 01° 57' 45" W, 347.68 feet distance to a point; thence,

S 89° 37' 02" W, 4.04 feet distance to a point; thence,

N 00° 03' 35" W, 358.92 feet distance to a point of curvature; thence,

Northeasterly, 39.04 feet distance along the arc of a non-radial curve bearing to the right (said arc having a radius of 25.00 feet, a central angle of 89°28' 52" and a chord which bears N 44° 40' 56" E, 35.19 feet distance) to the northwest corner of the parcel of land herein described being a point at the intersection of the easterly right-of-way line of Louisiana Boulevard NE and the Southerly right-of-way line of Arvada Avenue NE; thence,

Dedication and Free Consent

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby dedicate in fee simple with warranty covenants the public street right-of-way to the City of Albuquerque and grant the easements as shown, including the rights of ingress and egress for maintenance purposes.

Michael J. Sherman, Archbishop of Santa Fe 4/10/01
Roman Catholic Church
Archdiocese of Santa Fe
a corporation sole

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)
This instrument was acknowledged before me on this 10th day of April, 2001, by Archbishop Michael J. Sherman
John A. Huchman Notary Public
My commission expires: 9/16/03

N 89°25' 13" E, 1,218.28 feet distance to a point of curvature; thence,

Southeasterly, 44.99 feet distance along the arc of a non-radial curve bearing to the right (said arc having a radius of 28.66 feet, a central angle of 89° 56' 31" and a chord which bears S 45° 36' 22" E, 40.51 feet distance) to the point of reverse curve being a point at the intersection of the southerly right-of-way of Arvada Avenue NE and the westerly right-of-way line of Espanola Street NE; thence,

Southeasterly, 229.93 feet distance along the arc of a non-radial curve bearing to the left (said arc having a radius of 448.71 feet, a central angle of 29° 21' 33" and a chord which bears S 15° 18' 27" E, 227.42 feet distance) to a point; thence,

S 29° 58' 07" E, 153.00 feet distance to a point of curvature; thence,

Southeasterly, 122.84 feet distance along the arc of a non-radial curve bearing to the right (said arc having a radius of 256.47 feet, a central angle of 27° 26' 28" and a chord which bears S 16° 14' 53" E, 121.66 feet distance) to a point; thence,

S 02° 35' 25" E, 383.87 feet distance to a point of curvature; thence,

Southwesterly, 40.18 feet distance along the arc of a non-radial curve bearing to the right (said arc having a radius of 25.00 feet, a central angle of 92° 05' 09" and a chord which bears S 43° 27' 09" W, 35.99 feet distance) to a point being at the intersection of the westerly right-of-way line of Espanola Street NE and the northerly right-of-way line of Indian School Road NE; thence,

S 89° 30' 18" W, 1,416.50 feet distance to the southwest corner and the point of beginning of the parcel of land herein described and containing 1,257,666 square feet (28.8720 acres), more or less.

LEEDSHILL - HERKENHOFF, INC.
ARCHITECTS ENGINEERS SURVEYORS
500 COPPER AVE. SUITE 500 ALBUQUERQUE, N.M. 87102
LH PROJECT MANAGER ANDY POTTS SHEET S1 OF S2

LEGEND

- FOUND 1" RED PLASTIC CAP NO. 10464 (ACCEPTED POSITION)
- ⊗ FOUND "X" CHIESELD IN CONC. (ACCEPTED POSITION)
- ⊙ SET PK NAIL/SHINNER LS 13983 OR AS NOTED
- ⊕ SET YELLOW PLASTIC CAP LS 13983
- ⊖ EXISTING SANITARY SEWER OR STORM DRAIN MANHOLE
- () DATA FROM A.C.S.I. ALTA SURVEY (SEE NOTE 8.o.)

PLAT OF TRACTS A-1, B-1 and B-2 ST. PIUS X SUBDIVISION
(Replat of Tracts A & B & Lots 1-11)

ALBUQUERQUE, NEW MEXICO
JANUARY, 2001

2001053735
5584668
Page: 2 of 2
85/10/2001 10:37A
Harry Herrera Bern. Co. PLAT R 12.00 Bk-2881C Pg-140

COUNTY CLERK FILING DATA

TRACT B-2 CURVE DATA

CURVE	DELTA	RADIUS	ARC LEN.	CHORD	CHORD BEARING
C3	89°56'31"	28.66'	44.99'	40.51'	S45°36'22"E
C4	29°21'33"	448.71'	229.93'	227.42'	S15°18'27"E
C5	27°26'33"	256.47'	122.84'	121.66'	S16°14'53"E
C6	92°05'08"	25.00'	40.18'	35.99'	S43°27'09"W
C17	50°47'08"	457.00'	405.07'	391.94'	N10°53'34"W
C18	05°11'46"	339.50'	30.79'	30.78'	N38°53'01"W
C19	38°34'36"	62.90'	42.35'	41.55'	N08°43'45"W

TRACT A-1 CURVE DATA

CURVE	DELTA	RADIUS	ARC LEN.	CHORD	CHORD BEARING
C1	52°15'36"	18.67'	17.03'	16.45'	N26°40'49"W
C2	89°28'52"	25.00'	39.04'	35.19'	N44°40'56"E
C7	89°28'52"	30.00'	46.85'	42.23'	N44°40'54"E
C8	54°17'30"	233.41'	221.17'	212.99'	S63°25'53"E
C9	65°19'50"	361.00'	411.62'	389.68'	S03°37'13"E
C10	08°41'57"	888.16'	134.85'	134.72'	S33°23'40"W
C11	10°48'28"	748.00'	141.10'	140.89'	S32°20'25"W
C12	62°34'07"	30.00'	32.76'	31.16'	S58°13'15"W

TRACT A-1
769,828 SQ. FT.
17.6728 ACRES
Zoning SU-3

GROSS AREA
1,257,666 SQ. FT.
28.8720 ACRES

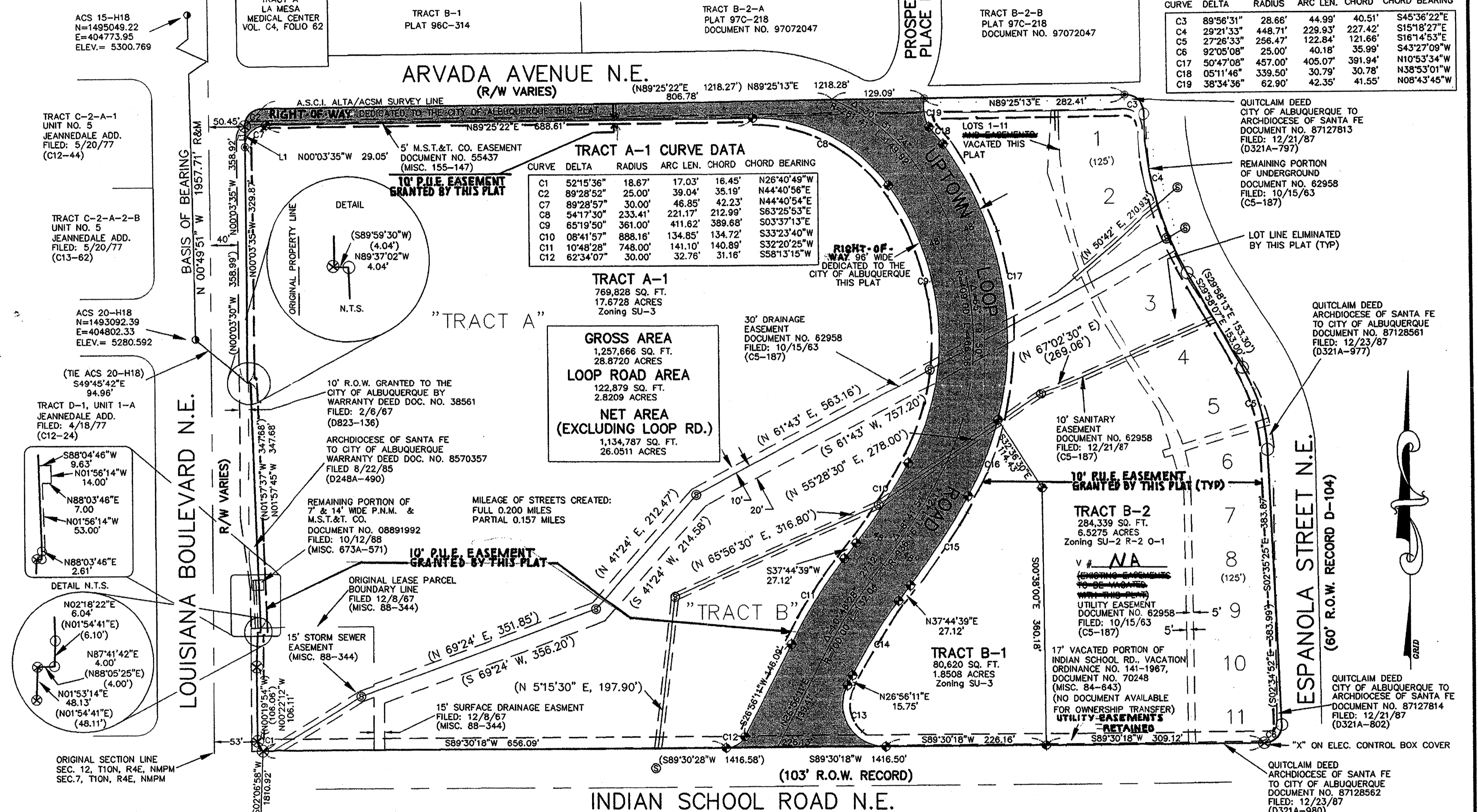
LOOP ROAD AREA
122,879 SQ. FT.
2.8209 ACRES

NET AREA (EXCLUDING LOOP RD.)
1,134,787 SQ. FT.
26.0511 ACRES

TRACT B-2
284,339 SQ. FT.
6.5275 ACRES
Zoning SU-2 R-2 O-1

V # NA
(ENGINEERING EASEMENTS TO BE VACATED WITH THIS PLAT)
UTILITY EASEMENT DOCUMENT NO. 62958 FILED: 10/15/63 (C5-187)

17' VACATED PORTION OF INDIAN SCHOOL RD., VACATION ORDINANCE NO. 141-1967, DOCUMENT NO. 70248 (MISC. 84-643) (NO DOCUMENT AVAILABLE FOR OWNERSHIP TRANSFER) **UTILITY EASEMENTS - RETAINED**

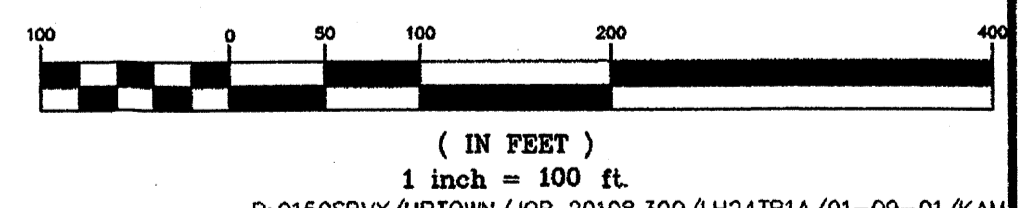


ACS NMSHC Brass Tablet stamped "1-40-7 1969"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
Δ = -0° 10' 59"
N=1490699.59
E=404826.08
NGVD 1929 ELEV.= 5296.870
Ground to Grid Factor = 0.99965704

REMAINING PORTION OF TRACT A, N.W. 1/4 SECTION 18 (VACATED MONROE JR. HS) (D1-86)

WINDROCK CENTER (D9-184) & (D5-7)

GRAPHIC SCALE



TRACT B-1 CURVE DATA

CURVE	DELTA	RADIUS	ARC LEN.	CHORD	CHORD BEARING
C13	117°25'53"	60.00'	122.97'	102.55'	N31°46'45"W
C14	10°48'28"	652.00'	122.99'	122.80'	N32°20'25"E
C15	08°41'57"	984.16'	149.43'	149.28'	N33°23'40"E
C16	14°32'41"	457.00'	116.01'	115.70'	N21°46'21"E



SURVEYOR'S CERTIFICATE

I, Andrew F. Potts, a registered Professional Surveyor under the laws of State of New Mexico do hereby certify, that I conducted and am responsible for this plat; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing and interest; that the survey meets the minimum requirement for Monumentation and surveys of the Albuquerque Subdivision Ordinance; that the survey complies with the minimum standards for surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Date 3/23/01 Registration Number LS 13983
Andrew F. Potts
Andrew F. Potts, NMPS 13983

LEEDSHILL - HERKENHOFF, INC.
ARCHITECTS ENGINEERS SURVEYORS
500 COPPER AVE. SUITE 500 ALBUQUERQUE, N.M. 87102

LH PROJECT MANAGER **ANDY POTTS** SHEET **S2 OF S2**

I, William T. Stevens, City Engineer of the City of Albuquerque, New Mexico, do hereby certify that I have examined the plat of ST. PIUS X SUBDIVISION, upon which this certificate appears, and approved the same this 28th day of April, 1958

William T. Stevens
City Engineer

Approved: May 5, 1958 Plat No. S-915

City Planning Commission
Albuquerque, New Mexico

By: *[Signature]*
Chairman

By: *[Signature]*
Planning Director

I, Ida V. Malone, City Clerk of the City of Albuquerque, New Mexico do hereby certify that the plat of ST. PIUS X SUBDIVISION, upon which this certificate appears, was approved and accepted for filing by the City Commission of the City of Albuquerque, New Mexico, at its meeting held on the 27 day of May, 1958.

[Signature]
City Clerk

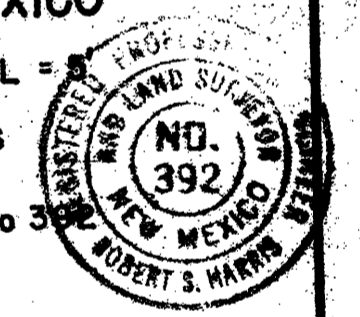
ST. PIUS X SUBDIVISION

BEING A REPLAT OF
ZUNI PARK ADDITION

ALBUQUERQUE, NEW MEXICO

SCALE 1"=100' CONTOUR INTERVAL = 5'
SURVEY & PLAT R. S. HARRIS

P.E. & L.S. No. 30



State of New Mexico
County of Bernalillo, ss.

This instrument was filed for record on

JUL 2 - 1958

[Signature]
County Clerk & Recorder
Deputy Clerk

Note:
The sanitary sewer easement shown hereon is for maintenance purposes and will revert to the land owner upon abandonment of the sanitary sewer line.

The foregoing subdivision of that certain tract of land situate in the City of Albuquerque, New Mexico, being and comprising a replat of Blocks A, B, C, D, E, F, G, and H, together with all, or portions of, the rights-of-way of Alcazar Street, Chama Street, Morrow Road, Luck Avenue, and Mesilla Street of Zuni Park Addition to the City of Albuquerque, New Mexico, as shown and designated on the plat of said Zuni Park Addition filed in the office of the County Clerk of Bernalillo County, New Mexico, on the 31st day of July, 1955, said tract of land being more particularly described as follows:

Beginning at the southwest corner, corner No. 1, from which corner the section corner common to sections 12 and 13, T 10 N, R 3 E, NMPM and sections 7 and 13, T 10 N, R 4 E, NMPM bears S 26°10' W a distance of 89.71 feet; thence N 0°19' W a distance of 844.18 feet to corner No. 2; thence around a curve to the right of radius 25.00 feet a distance of 59.12 feet to corner No. 3; thence S 89°22' E a distance of 1227.71 feet to corner No. 4; thence around a curve to the right of radius 28.66 feet a distance of 45.02 feet to corner No. 5; thence around a curve to the left of radius 419.41 feet a distance of 234.06 feet to corner No. 6; thence S 32°36' 30" E a distance of 120.74 feet to corner No. 7; thence around a curve to the right of radius 25.00 feet a distance of 39.52 feet to corner No. 8; thence S 89°15' W a distance of 1340.32 feet to corner No. 1, the point of beginning, and re surveyed and replatted as shown hereon, comprising Tracts "A" and "B" and Lots 1 to 11, inclusive, and including the easement shown hereon for drainage and easements for public utilities, including easements for overhead wires on pole-type utilities, including the rights of ingress and egress to from, and across said easements and the right to trim interfering trees thereon, all of St. Pius X Subdivision, an addition to the City of Albuquerque, New Mexico, is with the free consent and in accordance with the desire of the undersigned owner and proprietor thereof.

ROMAN CATHOLIC CHURCH OF THE ARCHDIOCESE
OF SANTA FE, A CORPORATION SOLE

APPROVED AS TO UTILITY EASEMENTS
MOUNTAIN STATES TELEPHONE & TELEGRAPH CO.

I, Francis C. Burton, Traffic Engineer of the City of Albuquerque, New Mexico, do hereby certify that I have examined the plat of ST. PIUS X SUBDIVISION, upon which this certificate appears, and approved the same this 18 day of April, 1958

[Signature]
Traffic Engineer

STATE OF NEW MEXICO
COUNTY OF SANTA FE ss.
On this 17 day of March 1958, before me personally appeared Edwin V. Byrne, to me personally known, who being by me duly sworn, did say that he is Archbishop of Santa Fe, a corporation sole, organized under the laws of the State of New Mexico, and that the seal affixed to said instrument is the corporate seal of said corporation, and that said instrument was signed and sealed in behalf of said corporation, and said Edwin V. Byrne acknowledged said instrument to be the free act and deed of said corporation.

[Signature]
EDWIN V. BYRNE, ARCHBISHOP

BY *[Signature]*
PUBLIC SERVICE COMPANY OF NEW MEXICO

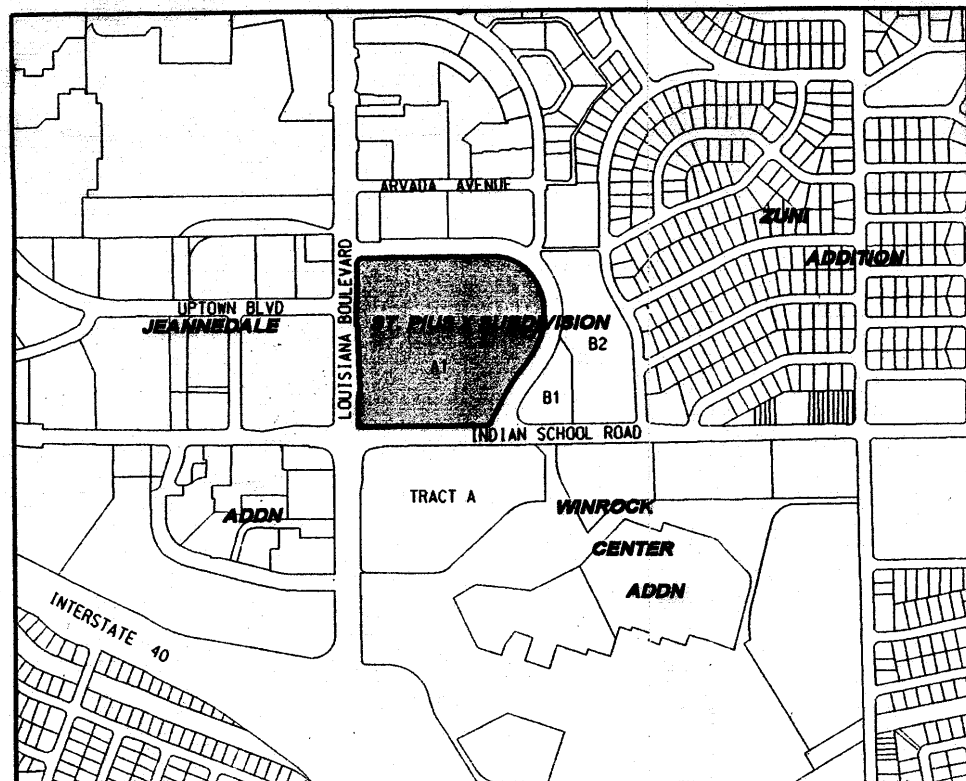
BY *[Signature]*

Witness my hand and seal the day and year last above written.



My commission expires Aug. 3, 1960 R. Rev. F. G. [Signature] Notary Public

SP-2004232173



LOCATION MAP
ZONE ATLAS INDEX MAP No. H-19-Z
NOT TO SCALE

SUBDIVISION DATA

1. DRB PROJECT NO.
2. ZONE ATLAS INDEX NO. H-19-Z.
3. GROSS SUBDIVISION ACREAGE: 17.6729 ACRES.
4. TOTAL NUMBER OF TRACTS CREATED: ONE (1) TRACT.
5. DATE OF SURVEY: JUNE 2004.
6. PLAT IS LOCATED WITHIN THE SOUTHWEST ONE-QUARTER (SW1/4) OF SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE TRACT A-1 OF THE PLAT OF TRACTS A-1, B-1, AND B-2 ST. PIUS X SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 10, 2001 IN BOOK 2001C, PAGE 140 AS DOCUMENT NO. 2001053735 INTO ONE (1) TRACT AND TO VACATE EASEMENTS.

NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 1927 DATUM). BASIS OF BEARINGS: N00°49'51"W BETWEEN ACS MONUMENTS "20-H18" AND "15-H18"
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS ().

DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN THE SOUTHWEST ONE-QUARTER (SW1/4) OF SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL TRACT A-1 OF THE PLAT OF TRACTS A-1, B-1 AND B-2 ST. PIUS X SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 10, 2001 IN BOOK 2001C, PAGE 140 AS DOCUMENT NO. 2001053735 AND BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 1927) AND GROUND DISTANCES AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF LOUISIANA BOULEVARD NE, WHENCE THE ALBUQUERQUE CITY SURVEY (ACS) MONUMENT "20-H18, 1989" A 3 1/4 INCH ALUMINUM TABLET SET IN TOP OF A CONCRETE CURB, HAVING NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE NAD 1927) OF X=404,802.33 AND Y=1,493,092.39 BEARS N49°41'56"W, A DISTANCE OF 94.99 FEET AND FROM SAID POINT OF BEGINNING RUNNING THENCE ALONG THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, N00°03'35"W, A DISTANCE OF 329.97 FEET TO A POINT OF CURVATURE; THENCE, 46.85 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET AND A CHORD WHICH BEARS N44°40'54"E, A DISTANCE OF 42.23 FEET TO A POINT OF TANGENCY ON THE NORTHERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF ARVADA AVENUE NE, THENCE RUNNING ALONG THE NORTHERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, N89°25'22"E, A DISTANCE OF 688.82 FEET TO A POINT OF CURVATURE; THENCE, 221.18 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 233.41 FEET AND A CHORD WHICH BEARS S63°25'48"E, A DISTANCE OF 213.00 FEET TO A POINT OF COMPOUND CURVATURE (NON-TANGENT) ON THE EASTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF UPTOWN LOOP ROAD NE, THENCE RUNNING ALONG THE EASTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, 411.59 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 361.00 FEET AND A CHORD WHICH BEARS S03°35'30"E, A DISTANCE OF 389.65 FEET TO A POINT OF COMPOUND CURVATURE; THENCE, 134.85 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 888.16 FEET AND A CHORD WHICH BEARS S33°25'13"W, A DISTANCE OF 134.72 FEET TO A POINT OF TANGENCY; THENCE, S37°46'11"W, A DISTANCE OF 27.12 FEET TO A POINT OF CURVATURE; THENCE, 141.10 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 748.00 FEET AND A CHORD WHICH BEARS S32°21'57"W, A DISTANCE OF 140.89 FEET TO A POINT OF TANGENCY; THENCE, S26°57'43"W, A DISTANCE OF 146.23 TO A POINT OF CURVATURE; THENCE, 32.75 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET AND A CHORD WHICH BEARS S58°14'01"W, A DISTANCE OF 31.15 FEET TO A POINT OF TANGENCY ON THE SOUTHERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF INDIAN SCHOOL ROAD NE, THENCE RUNNING ALONG THE SOUTHERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, S89°30'18"W, A DISTANCE OF 655.96 FEET TO A POINT OF CURVATURE (NON-TANGENT); THENCE, 16.86 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 18.67 FEET AND A CHORD WHICH BEARS N26°29'08"W, A DISTANCE OF 16.30 FEET TO A POINT OF NON-TANGENCY ON THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF LOUISIANA BOULEVARD NE, THENCE RUNNING ALONG THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 AND ALSO ALONG SAID RIGHT-OF-WAY LINE, N00°21'07"W, A DISTANCE OF 106.13 FEET TO A POINT; THENCE, N01°54'12"E, A DISTANCE OF 48.08 FEET TO A POINT; THENCE, N87°25'03"E, A DISTANCE OF 4.00 FEET TO A POINT; THENCE, N01°45'58"E, A DISTANCE OF 6.07 FEET TO A POINT; THENCE, N01°57'55"W, A DISTANCE OF 34.76 FEET TO A POINT; THENCE, N89°37'02"W, A DISTANCE OF 4.04 FEET TO THE POINT AND PLACE OF BEGINNING.

TRACT CONTAINS 17.6729 ACRES, MORE OR LESS.

FREE CONSENT AND DEDICATION

THE FOREGOING PLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE SOUTHWEST ONE-QUARTER (SW1/4) OF SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO, BEING AND COMPRISING ALL OF TRACT A-1 OF THE PLAT OF TRACTS A-1, B-1 AND B-2 ST. PIUS X SUBDIVISION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 10, 2001 IN BOOK 2001C, PAGE 140 AS DOCUMENT NUMBER 2001053735, NOW COMPRISING TRACT A OF ABQ UPTOWN SITE, ALBUQUERQUE, NEW MEXICO IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS PLAT IS THEIR FREE ACT AND DEED.

HUNT UPTOWN, LLC

BY: *Gary B. Sapp*
GARY B. SAPP
EXECUTIVE VICE PRESIDENT
HUNT UPTOWN, LLC

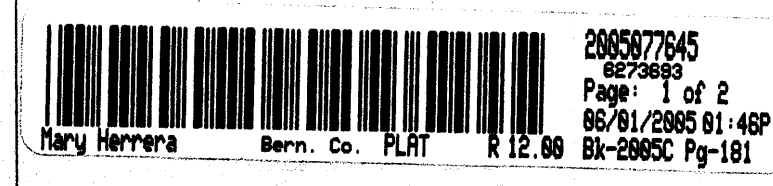
STATE OF NEW MEXICO)
 SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 4th DAY OF June, 2004 BY GARY B. SAPP, EXECUTIVE VICE PRESIDENT OF HUNT UPTOWN, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY.

MY COMMISSION EXPIRES: 11-18-2005 *Roxanne Lee Anderson*
NOTARY PUBLIC

NOTARY SEAL
ROXANNE LEE ANDERSON
NOTARY PUBLIC STATE OF NEW MEXICO
My commission expires: 11-18-2005

* I, do hereby grant all access, Utility and Drainage Easements herein including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and communication Services for buried and overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If Work affects any improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or Encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the improvements or Encroachments. Said owner(s) warrant that he/she holds complete and indefeasible title in fee simple to the land subdivided.



PLAT OF
TRACT A
ABQ UPTOWN SITE
(A REPLAT OF TRACT A-1, ST. PIUS X SUBDIVISION)
ALBUQUERQUE, NEW MEXICO
JUNE, 2004

PROJECT NUMBER 1002247
APPLICATION NUMBER 04DRB-00890

PLAT APPROVAL

UTILITY APPROVALS:	DATE
<i>Shane Hunt</i>	7-29-04
<i>John Sapp</i>	3-1-05
<i>John Sapp</i>	4-11-05
<i>John Sapp</i>	4-11-05
<i>N/A</i>	
NEW MEXICO UTILITIES, INC.	DATE
CITY APPROVALS:	DATE
<i>John Sapp</i>	6-8-04
<i>John Sapp</i>	5-25-05
TRAFFIC ENGINEERING, URBANIZATION DIVISION	DATE
<i>John Sapp</i>	4-20-04
UTILITIES DEVELOPMENT	DATE
<i>Christina Dandoval</i>	4/20/05
PARKS & RECREATION DEPARTMENT	DATE
<i>Bradley R. Bigham</i>	4/20/05
A. A. F. C. A.	DATE
<i>Bradley R. Bigham</i>	5/25/05
CITY ENGINEER	DATE
<i>Andrew Garcia</i>	4-20-05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
<i>N/A</i>	
REAL PROPERTY DIVISION	DATE
<i>N/A</i>	
ENVIRONMENTAL HEALTH DEPARTMENT	DATE

TAX CERTIFICATION

PROPERTY OWNER OF RECORD *Hunt Uptown Dev. LLC*
Phadinos 06/05
BERNALILLO COUNTY TREASURER'S OFFICE DATE

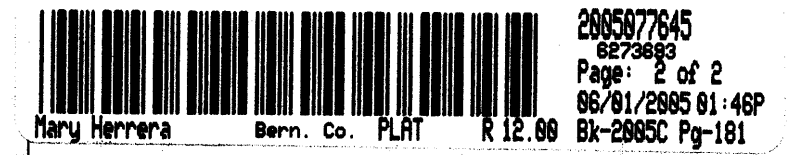
SURVEYOR'S CERTIFICATION

I, A. DWAIN WEAVER, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

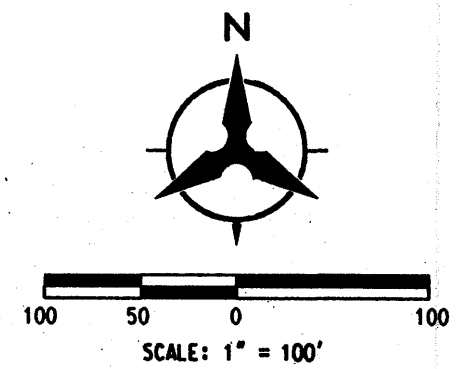


A. Dwain Weaver
A. DWAIN WEAVER
NEW MEXICO PROFESSIONAL SURVEYOR 6544
DATE: June 3, 2004

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING ■ SPATIAL DATA ■ ADVANCED TECHNOLOGIES



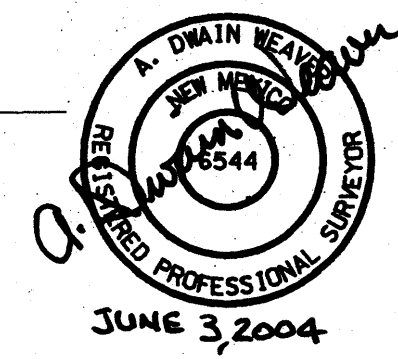
**PLAT OF TRACT A
ABQ UPTOWN SITE
(A REPLAT OF TRACT A-1, ST. PIUS X SUBDIVISION)
ALBUQUERQUE, NEW MEXICO
MAY, 2005**



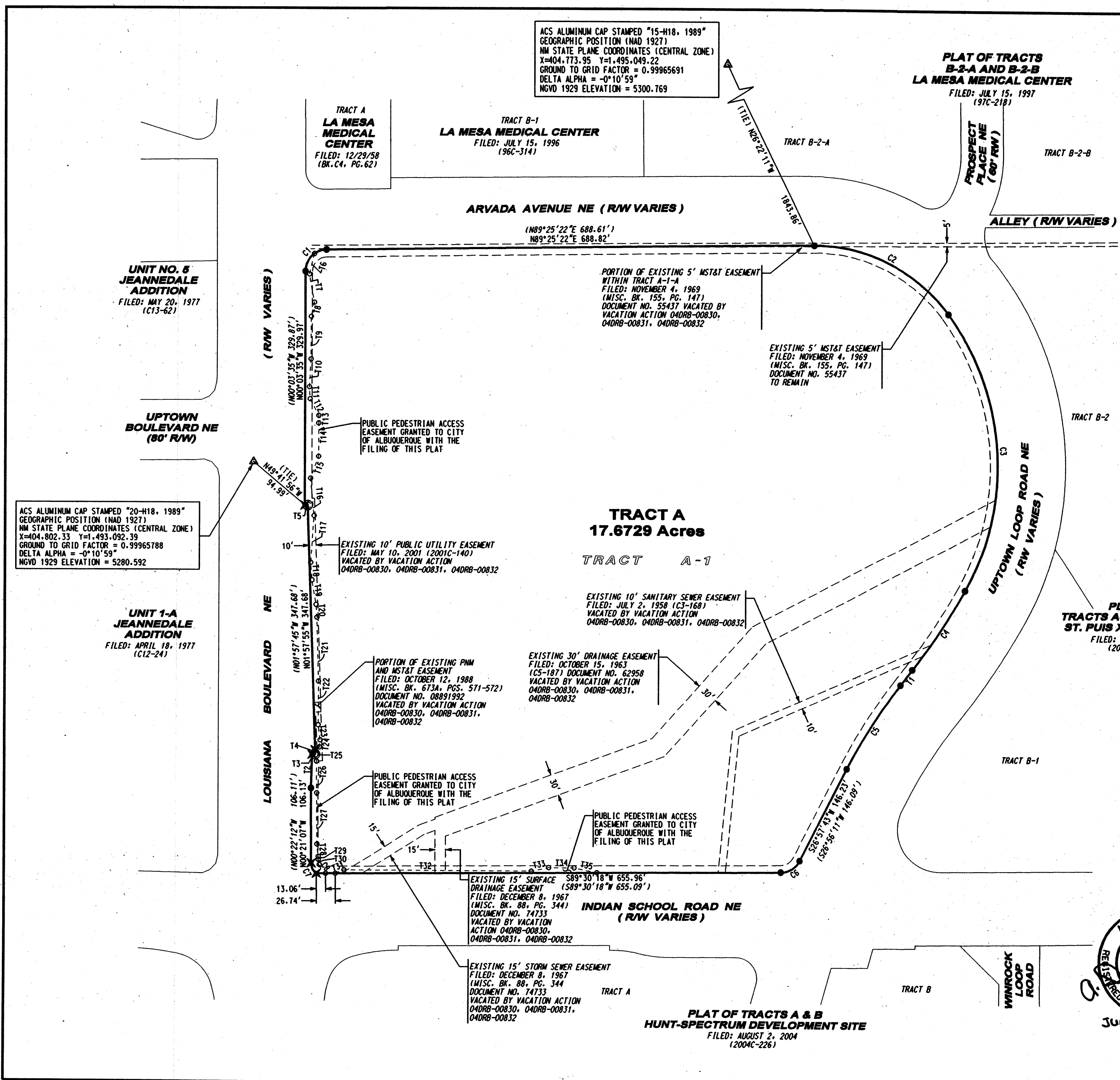
CURVE DATA						TANGENT DATA			
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	BEARING	DISTANCE
C1	89°28'57"	29.73'	46.85'	30.00'	42.23'	N44°40'54"E	T1	S37°46'11"W	27.12'
C2	54°17'40"	119.68'	221.18'	233.41'	213.00'	N44°40'54"E	T11	S37°44'39"W	27.12'
C3	65°19'28"	231.42'	411.59'	361.00'	389.65'	S63°25'48"E	T2	N01°54'12"E	48.08'
C4	08°41'57"	67.55'	134.85'	888.16'	134.72'	S63°25'53"E	T3	N87°25'03"E	4.00'
C5	10°48'28"	70.76'	141.10'	748.00'	140.89'	S03°37'13"E	T4	N01°45'58"E	6.07'
C6	62°32'35"	18.22'	32.75'	30.00'	31.15'	S33°23'40"W	T5	N89°37'02"W	4.04'
C7	51°44'57"	9.06'	16.86'	16.30'	16.30'	S32°20'25"W	T6	S14°00'41"W	29.17'
C8	45°21'12"	8.15'	15.44'	19.51'	15.04'	S58°14'01"W	T7	S10°01'12"E	40.62'
						S03°35'15"E	T8	S12°26'39"W	20.48'
						N26°29'08"W	T9	S00°05'10"W	60.00'
						N26°40'49"W	T10	S03°04'09"W	39.04'
						S35°33'40"E	T11	S03°09'22"E	17.10'
							T12	S27°46'04"E	26.49'
							T13	S00°33'17"W	10.50'
							T14	S00°00'00"E	47.07'
							T15	S19°49'45"W	32.94'
							T16	S05°33'32"E	53.11'
							T17	S03°47'33"W	67.23'
							T18	S04°09'25"E	25.07'
							T19	S09°33'17"E	35.49'
							T20	S03°55'15"E	18.37'
							T21	S01°35'35"E	90.40'
							T22	S00°00'00"E	61.76'
							T23	S07°41'13"E	21.60'
							T24	S06°15'14"W	9.94'
							T25	S11°10'12"W	20.51'
							T26	S00°31'20"E	45.00'
							T27	S00°28'30"E	72.43'
							T28	S05°49'15"E	17.56'
							T29	S00°00'00"E	4.43'
							T30	S12°53'04"E	7.50'
							T31	N69°15'18"E	13.42'
							T32	S90°00'00"E	264.59'
							T33	N78°29'03"E	25.05'
							T34	N90°00'00"E	35.90'
							T35	S78°29'12"E	32.85'

LEGEND

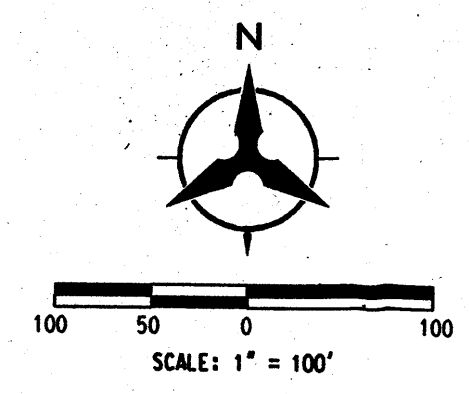
- SUBDIVISION BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- SET 3/4" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- ✕ FOUND CHISELED "+" IN CONCRETE
- ⊙ FOUND 1/2" REBAR WITH RED SURVEY CAP STAMPED "PS 10464"



Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



**PLAT OF TRACT A-1
 ABQ UPTOWN SITE
 (A REPLAT OF TRACT A ABQ UPTOWN SITE)
 ALBUQUERQUE, NEW MEXICO
 DECEMBER, 2006**



ACS ALUMINUM CAP STAMPED "15-H18, 1989"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=404,773.95 Y=1,495,049.22
 GROUND TO GRID FACTOR = 0.99965691
 DELTA ALPHA = -0°10'59"
 NGVD 1929 ELEVATION = 5300.769

**PLAT OF TRACTS
 B-2-A AND B-2-B
 LA MESA MEDICAL CENTER
 FILED: JULY 15, 1997
 (97C-218)**

**TRACT A
 LA MESA MEDICAL CENTER
 FILED: 12/29/58
 (BK.C4, PG.62)**

**TRACT B-1
 LA MESA MEDICAL CENTER
 FILED: JULY 15, 1996
 (96C-314)**

**UNIT NO. 5
 JEANNEDALE
 ADDITION
 FILED: MAY 20, 1977
 (C13-62)**

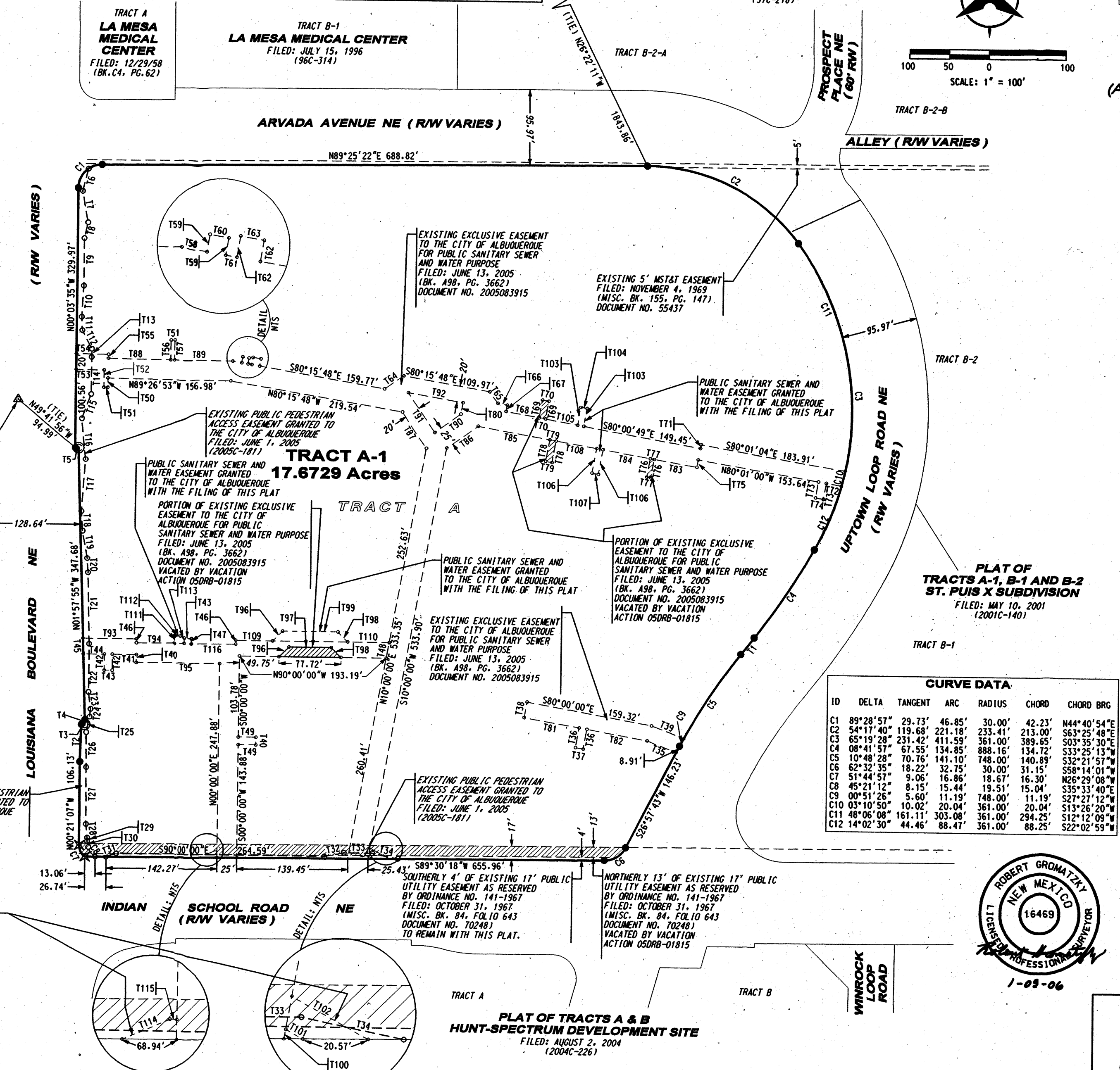
**UPTOWN
 BOULEVARD NE
 (80' RW)**

ACS ALUMINUM CAP STAMPED "20-H18, 1989"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=404,802.33 Y=1,493,092.39
 GROUND TO GRID FACTOR = 0.99965788
 DELTA ALPHA = -0°10'59"
 NGVD 1929 ELEVATION = 5280.592

**UNIT 1-A
 JEANNEDALE
 ADDITION
 FILED: APRIL 18, 1977
 (C12-24)**

EXISTING PUBLIC PEDESTRIAN
 ACCESS EASEMENT GRANTED TO
 THE CITY OF ALBUQUERQUE
 FILED: JUNE 1, 2005
 (2005C-181)

PUBLIC SANITARY SEWER AND
 WATER EASEMENT GRANTED
 TO THE CITY OF ALBUQUERQUE
 WITH THE FILING OF THIS PLAT



TANGENT DATA

NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
T1	S37°46'11"W	27.12'	T59	N09°44'12"E	7.44'
T2	N01°54'12"E	48.08'	T60	S80°15'48"E	8.00'
T3	N87°25'03"E	4.00'	T61	S80°15'48"E	4.79'
T4	N01°45'58"E	6.07'	T62	N09°44'12"E	9.12'
T5	N89°37'02"W	4.04'	T63	S80°15'48"E	10.00'
T6	S14°00'41"W	29.17'	T64	N54°51'19"E	29.48'
T7	S10°01'12"E	40.62'	T65	S35°08'41"E	17.93'
T8	S12°26'39"W	20.48'	T66	S80°15'48"E	11.86'
T9	S00°05'10"W	60.00'	T67	S09°44'12"W	8.21'
T10	S03°04'09"W	39.04'	T68	S80°00'54"E	42.44'
T11	S03°09'22"E	17.10'	T69	N09°59'06"E	22.92'
T12	S27°46'04"E	26.49'	T70	S80°00'54"E	8.00'
T13	S00°33'17"E	47.01'	T71	N09°59'06"E	5.00'
T14	S00°00'00"E	10.50'	T72	N80°01'00"W	19.07'
T15	S19°49'45"W	32.94'	T73	S09°59'06"W	20.83'
T16	S05°33'32"E	53.11'	T74	N80°00'54"W	10.00'
T17	S03°47'33"W	67.23'	T75	S09°59'06"W	10.02'
T18	S04°09'25"E	25.07'	T76	S10°00'00"W	24.63'
T19	S09°33'17"E	35.49'	T77	N80°00'00"W	5.00'
T20	S03°55'15"E	18.37'	T78	S10°00'00"W	28.67'
T21	S01°35'35"E	90.40'	T79	N80°00'00"W	8.00'
T22	S00°00'00"E	61.76'	T80	S09°51'19"W	14.89'
T23	S07°41'13"E	21.60'	T81	N80°00'00"W	70.33'
T24	S06°15'14"W	9.94'	T82	N80°00'00"W	77.02'
T25	S11°10'12"W	20.51'	T83	N80°00'34"W	54.50'
T26	S00°33'20"E	45.00'	T84	N80°00'54"W	60.78'
T27	S00°28'30"E	43.42'	T85	N80°00'05"W	91.57'
T28	S05°49'15"E	17.56'	T86	S33°54'20"W	48.46'
T29	S00°00'00"E	4.43'	T87	N33°53'45"W	55.32'
T30	S12°53'04"E	7.50'	T88	S89°26'53"E	78.20'
T31	N69°15'18"E	13.42'	T89	S89°26'53"E	75.78'
T32	N78°29'03"E	25.05'	T90	S53°54'20"W	40.10'
T33	N90°00'00"E	35.90'	T91	N33°53'45"W	60.52'
T34	S78°29'12"E	32.85'	T92	S80°08'41"E	69.73'
T35	N68°45'00"W	39.37'	T93	S90°00'00"E	67.37'
T36	S10°00'00"W	25.74'	T94	S90°00'00"E	47.96'
T37	N80°00'00"W	10.00'	T95	N90°00'00"W	107.36'
T38	N10°00'00"E	20.00'	T96	N45°00'00"E	17.47'
T39	S68°45'00"E	43.42'	T97	S90°00'00"E	53.07'
T40	N00°00'00"E	10.00'	T98	S45°00'00"E	17.47'
T41	N90°00'00"W	30.22'	T99	S90°00'00"W	69.58'
T42	S00°00'00"W	20.61'	T100	N10°00'00"E	3.03'
T43	N90°00'00"W	10.00'	T101	S61°24'00"E	6.13'
T44	N90°00'00"W	26.46'	T102	N81°24'00"E	27.47'
T45	N01°57'55"W	20.01'	T103	N10°00'01"E	22.91'
T46	S00°00'00"E	5.00'	T104	S79°59'59"E	8.00'
T47	N00°00'00"E	6.73'	T105	S80°00'49"E	41.10'
T48	S10°00'00"W	20.31'	T106	S09°58'59"W	32.65'
T49	S80°00'00"E	22.00'	T107	S80°01'01"E	8.00'
T50	S00°34'23"W	11.85'	T108	N80°00'54"W	52.06'
T51	N80°00'00"W	5.00'	T109	S90°00'00"E	46.46'
T52	N00°34'23"E	21.90'	T110	S90°00'00"E	52.44'
T53	N89°26'53"W	35.18'	T111	N80°00'00"E	9.31'
T54	S89°26'53"E	40.40'	T112	N80°00'00"E	8.41'
T55	S00°33'07"W	5.00'	T113	S62°45'46"E	6.63'
T56	N00°33'07"E	24.97'	T114	S66°22'52"W	65.17'
T57	S00°33'07"W	25.02'	T115	S90°00'00"W	9.22'
T58	S80°15'48"E	11.60'	T116	S90°00'00"E	56.00'

CURVE DATA

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	89°28'57"	29.73'	46.85'	30.00'	42.23'	N44°40'54"E
C2	54°17'40"	119.68'	221.18'	233.41'	213.00'	S63°25'48"E
C3	65°19'28"	231.42'	411.59'	361.00'	389.65'	S03°35'30"E
C4	08°41'57"	67.55'	134.85'	888.16'	134.72'	S33°25'13"W
C5	10°48'28"	70.76'	141.10'	748.00'	140.89'	S32°21'57"W
C6	62°32'35"	18.22'	32.75'	30.00'	31.15'	S58°14'01"W
C7	51°44'57"	9.06'	16.96'	18.67'	16.30'	N26°29'08"W
C8	45°21'12"	8.15'	15.44'	19.51'	15.04'	S35°33'40"E
C9	00°51'26"	5.60'	11.19'	748.00'	11.19'	S27°21'12"W
C10	03°10'50"	10.02'	20.04'	361.00'	20.04'	S13°26'20"W
C11	48°06'08"	161.11'	303.08'	361.00'	294.25'	S12°12'09"W
C12	14°02'30"	44.46'	88.47'	361.00'	88.25'	S22°02'59"W

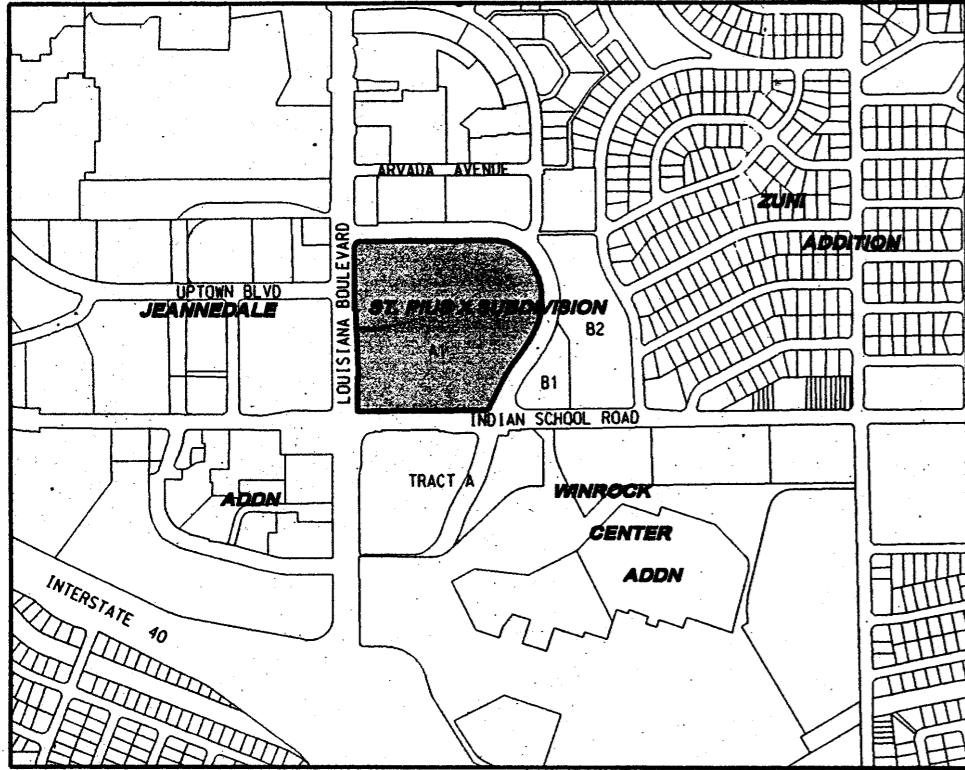
LEGEND

- SUBDIVISION BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - NEW EASEMENT LINE
- ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND 5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
- ✕ FOUND CHISEL "X" IN CONCRETE
- ⊙ FOUND 1/2" REBAR WITH RED SURVEY CAP STAMPED "PS 10464"



1-09-06

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



LOCATION MAP

ZONE ATLAS INDEX MAP No. H-19-Z

NOT TO SCALE

SUBDIVISION DATA

- 1. DRB Project No.
2. Zone Atlas Index No. H-19-Z.
3. Gross Subdivision Acreage: 17.6729 Acres.
4. Total Number of Tracts created: One (1) Tract.
5. Date of Survey: August 2005
6. Plat is located within the Southwest One-quarter (SW1/4) of Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico.
7. ZONING IS SU-3.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO VACATE PORTIONS OF EASEMENTS AS THE SAME IS SHOWN ON THE PLAT OF TRACT A ABQ UPTOWN SITE, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 1, 2005 IN BOOK 2005C, PAGE 181 AS DOCUMENT NO. 2005077645, AND TO GRANT EASEMENTS.

NOTES

- 1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 1927 DATUM). RECORD BEARINGS AND DISTANCES ARE THE SAME AS SHOWN ON THE PLAT OF TRACT A ABQ UPTOWN SITE, FILED ON JUNE 1, 2005 IN BOOK 2005C, PAGE 181.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.

DESCRIPTION

A certain tract of land situate within the Southwest One-quarter (SW1/4) of Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all Tract A of the PLAT OF TRACT A ABQ UPTOWN SITE, recorded in the office of the Bernalillo County Clerk as Book 2005C, Page 181 on June 1, 2005 as Document No. 2005077645.

Tract contains 17.6729 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Southwest One-quarter (SW1/4) of Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque New Mexico, being and comprising all of Tract A of the PLAT OF TRACTS A, ABQ UPTOWN SITE, Albuquerque, New Mexico as the same is shown and designated on the Plat thereof, recorded in the Office of the County Clerk of Bernalillo County, New Mexico on June 1, 2005 in Book 2005C, Page 181 as Document Number 2005077645, now comprising TRACT A-1 of ABQ UPTOWN SITE, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant all access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and communication Services for buried and overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantees Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If Work affects any improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or Encroachments. If in the opinion of the City, the Work to be performed by the Grantee shall, at its own expense take whatever protective measures are required to safeguard the improvements or Encroachments. Said owner(s) warrant that he/she holds complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

BY: Tom Pillely

State of New Mexico, County of Bernalillo. This instrument was acknowledged before me on 3 day of January, 2006 by Gary D. Goss, Vice President of Hunt Uptown, LLC, a New Mexico Limited Liability Company.

My Commission Expires: Kathy Brummel 1-31-08 Notary Public Tom Pillely

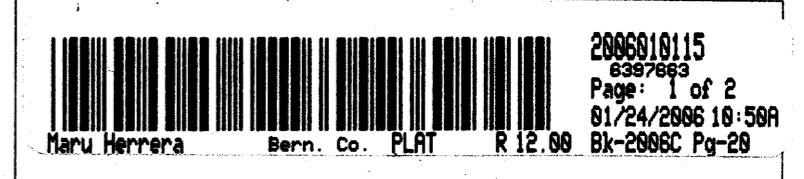


SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



Robert Gromatzky, Robert Gromatzky, New Mexico Professional Surveyor 16469, Date: 12-29-05



PLAT OF TRACT A-1 ABQ UPTOWN SITE (A REPLAT OF TRACT A ABQ UPTOWN SITE) ALBUQUERQUE, NEW MEXICO DECEMBER, 2005

PROJECT NUMBER 1002247 APPLICATION NUMBER 06 DRB 00052

PLAT APPROVAL

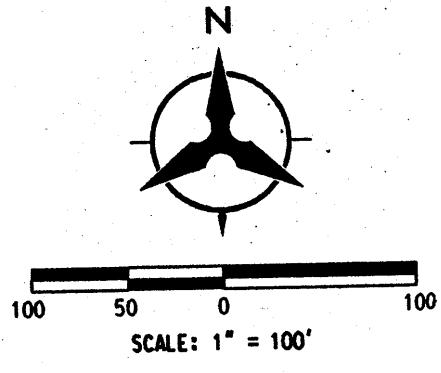
Table with columns for Utility Approvals, City Approvals, Traffic/Engineering, and Real Property Division. Includes signatures and dates for various departments like PNM Electric Services, City Surveyor, and Planning Department.

TAX CERTIFICATION. PROPERTY OWNER OF RECORD Hunt Uptown Development LLC. BERNALILLO COUNTY TREASURER'S OFFICE DATE 1/24/06

Bohannon & Huston logo and address: Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

ACS ALUMINUM CAP STAMPED "15-H18, 1989"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=404.773.95 Y=1.495.049.22
 GROUND TO GRID FACTOR = 0.99965691
 DELTA ALPHA = -0°10'59"
 NGVD 1929 ELEVATION = 5300.769

**PLAT OF TRACTS
 B-2-A AND B-2-B
 LA MESA MEDICAL CENTER**
 FILED: JULY 15, 1997
 (197C-218)



**PLAT OF
 TRACT A-1
 ABQ UPTOWN SITE**
 (A REPLAT OF TRACT A ABQ UPTOWN SITE)
 ALBUQUERQUE, NEW MEXICO
 DECEMBER, 2005

TANGENT DATA

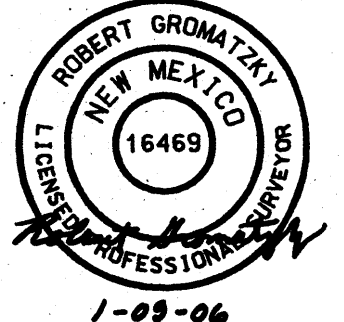
NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
T1	S37°46'11"W	27.12'	T59	N09°44'12"E	7.44'
T2	N01°54'12"E	48.08'	T60	S80°15'48"E	8.00'
T3	N87°25'03"E	4.00'	T61	S80°15'48"E	4.79'
T4	N01°45'58"E	6.07'	T62	N09°44'12"E	9.12'
T5	N89°37'02"W	4.04'	T63	S80°15'48"E	10.00'
T6	S14°00'41"W	29.17'	T64	N54°51'19"E	29.48'
T7	S10°01'12"E	40.62'	T65	S80°15'48"E	11.86'
T8	S12°26'39"W	20.48'	T66	S35°08'41"E	17.93'
T9	S00°05'10"W	60.00'	T67	S09°44'12"W	8.21'
T10	S03°04'09"W	39.04'	T68	S80°00'54"E	42.44'
T11	S03°09'22"E	17.10'	T69	N09°59'06"E	22.92'
T12	S27°46'04"E	26.49'	T70	S80°00'54"E	8.00'
T13	S00°33'17"W	10.50'	T71	N09°59'06"E	5.00'
T14	S00°00'00"E	47.07'	T72	N80°01'00"W	19.01'
T15	S19°49'45"W	32.94'	T73	S09°59'06"W	20.83'
T16	S05°33'32"E	53.11'	T74	N80°00'54"W	10.00'
T17	S03°47'33"W	67.23'	T75	S09°59'06"W	10.02'
T18	S04°09'25"E	25.07'	T76	S10°00'00"W	24.63'
T19	S09°33'17"E	35.49'	T77	N80°00'00"W	5.00'
T20	S03°55'15"E	18.37'	T78	S10°00'00"W	28.67'
T21	S01°35'35"E	90.40'	T79	N80°00'00"W	8.00'
T22	S00°00'00"E	61.76'	T80	S09°51'19"W	14.89'
T23	S07°41'13"E	21.60'	T81	N80°00'00"W	70.33'
T24	S06°15'14"W	9.94'	T82	N80°00'00"W	77.02'
T25	S11°10'12"W	20.51'	T83	N80°00'34"W	54.50'
T26	S00°31'20"E	45.00'	T84	N80°00'54"W	60.78'
T27	S00°28'30"E	72.43'	T85	N80°00'05"W	91.57'
T28	S05°49'15"E	17.56'	T86	S53°54'20"W	48.46'
T29	S00°00'00"E	4.43'	T87	N33°53'45"E	55.32'
T30	S12°53'04"E	7.50'	T88	S89°26'53"E	78.20'
T31	N69°15'18"E	13.42'	T89	S89°26'53"E	75.78'
T32	N78°29'03"E	25.05'	T90	S53°54'20"W	40.10'
T33	N90°00'00"E	35.90'	T91	N33°53'45"E	60.52'
T34	S78°29'12"E	32.85'	T92	S80°08'41"E	69.73'
T35	N68°45'00"W	39.37'	T93	S90°00'00"E	67.37'
T36	S10°00'00"E	25.74'	T94	S90°00'00"E	47.96'
T37	N80°00'00"W	10.00'	T95	N90°00'00"W	107.36'
T38	N10°00'00"E	20.00'	T96	N45°00'00"E	17.47'
T39	S68°45'00"E	43.42'	T97	S90°00'00"E	53.07'
T40	N00°00'00"E	10.00'	T98	S45°00'00"E	17.47'
T41	N90°00'00"W	20.21'	T99	S90°00'00"E	69.58'
T42	S00°00'00"W	30.22'	T100	N10°00'00"E	3.03'
T43	N90°00'00"W	10.00'	T101	S61°24'00"E	6.13'
T44	N80°00'00"W	26.46'	T102	N61°24'00"E	27.47'
T45	N01°57'55"W	20.01'	T103	N10°00'01"E	22.91'
T46	S00°00'00"W	5.00'	T104	S79°59'59"E	8.00'
T47	N00°00'00"E	6.73'	T105	S80°00'49"E	41.10'
T48	S10°00'00"W	20.31'	T106	S09°58'59"W	32.65'
T49	S90°00'00"E	22.00'	T107	S80°01'01"E	8.00'
T50	S00°34'23"W	11.85'	T108	N80°00'54"W	52.06'
T51	N80°00'00"W	5.00'	T109	S90°00'00"E	46.46'
T52	N00°34'23"E	21.90'	T110	S90°00'00"E	52.44'
T53	N89°26'53"W	35.18'	T111	N00°00'00"W	9.31'
T54	S89°26'53"E	40.40'	T112	N90°00'00"E	8.41'
T55	S00°33'07"W	5.00'	T113	S62°45'46"E	5.63'
T56	N00°33'07"E	24.97'	T114	S66°22'52"W	65.17'
T57	S00°33'07"W	25.02'	T115	S90°00'00"W	9.22'
T58	S80°15'48"E	11.60'	T116	S90°00'00"E	56.00'

CURVE DATA

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	89°28'57"	29.73'	46.85'	30.00'	42.23'	N44°40'54"E
C2	54°17'40"	119.68'	221.18'	233.41'	213.00'	S63°25'48"E
C3	65°19'28"	231.42'	411.59'	361.00'	389.65'	S03°35'30"E
C4	08°41'57"	67.55'	134.85'	888.16'	134.72'	S33°25'13"W
C5	10°48'28"	70.76'	141.10'	748.00'	140.89'	S32°21'57"W
C6	62°32'35"	18.22'	32.75'	30.00'	31.15'	S58°14'01"W
C7	51°44'57"	9.06'	16.86'	18.67'	16.30'	N26°29'08"W
C8	45°21'12"	8.15'	15.44'	19.51'	15.04'	S35°33'40"W
C9	00°51'26"	5.60'	11.19'	748.00'	11.19'	S27°27'12"W
C10	03°10'50"	10.02'	20.04'	361.00'	20.04'	S13°26'20"W
C11	48°06'08"	161.11'	303.08'	361.00'	294.25'	S12°12'09"W
C12	14°02'30"	44.46'	88.47'	361.00'	88.25'	S22°02'59"W

LEGEND

- SUBDIVISION BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - NEW EASEMENT LINE
- ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND 5/8" REBAR WITH 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"
- ✕ FOUND CHISELED "+" IN CONCRETE
- ⊙ FOUND 1/2" REBAR WITH RED SURVEY CAP STAMPED "PS 10464"



**UNIT NO. 5
 JEANNEDALE
 ADDITION**
 FILED: MAY 20, 1977
 (C13-62)

ACS ALUMINUM CAP STAMPED "20-H18, 1989"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=404.802.33 Y=1.493.092.39
 GROUND TO GRID FACTOR = 0.99965788
 DELTA ALPHA = -0°10'59"
 NGVD 1929 ELEVATION = 5280.592

**UNIT 1-A
 JEANNEDALE
 ADDITION**
 FILED: APRIL 18, 1977
 (C12-24)

**TRACT A
 LA MESA
 MEDICAL
 CENTER**
 FILED: 12/29/58
 (BK. C4, PG. 62)

**TRACT B-1
 LA MESA MEDICAL CENTER**
 FILED: JULY 15, 1996
 (196C-314)

(R/W VARIES)

**UPTOWN
 BOULEVARD NE
 (80' R/W)**

LOUISIANA BOULEVARD NE

EXISTING PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE FILED: JUNE 1, 2005 (2005C-181)

PUBLIC SANITARY SEWER AND WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

ARVADA AVENUE NE (R/W VARIES)

ALLEY (R/W VARIES)

**TRACT A-1
 17.6729 Acres**

EXISTING PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE FILED: JUNE 1, 2005 (2005C-181)

PUBLIC SANITARY SEWER AND WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

PORTION OF EXISTING EXCLUSIVE EASEMENT TO THE CITY OF ALBUQUERQUE FOR PUBLIC SANITARY SEWER AND WATER PURPOSE FILED: JUNE 13, 2005 (BK. A98, PG. 3662) DOCUMENT NO. 2005083915 VACATED BY VACATION ACTION 0508B-01815

EXISTING EXCLUSIVE EASEMENT TO THE CITY OF ALBUQUERQUE FOR PUBLIC SANITARY SEWER AND WATER PURPOSE FILED: JUNE 13, 2005 (BK. A98, PG. 3662) DOCUMENT NO. 2005083915

EXISTING 5' MST&T EASEMENT FILED: NOVEMBER 4, 1969 (MISC. BK. 155, PG. 147) DOCUMENT NO. 55437

PUBLIC SANITARY SEWER AND WATER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

EXISTING EXCLUSIVE EASEMENT TO THE CITY OF ALBUQUERQUE FOR PUBLIC SANITARY SEWER AND WATER PURPOSE FILED: JUNE 13, 2005 (BK. A98, PG. 3662) DOCUMENT NO. 2005083915

EXISTING PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE FILED: JUNE 1, 2005 (2005C-181)

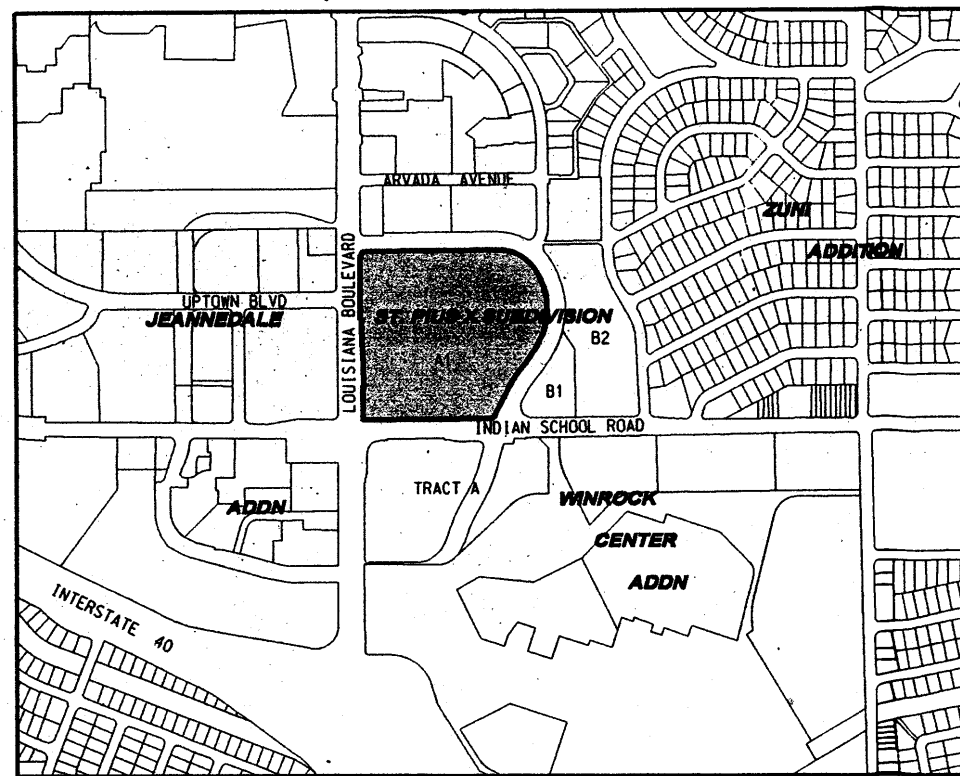
SOUTHERLY 4' OF EXISTING 17' PUBLIC UTILITY EASEMENT AS RESERVED BY ORDINANCE NO. 141-1967 FILED: OCTOBER 31, 1967 (MISC. BK. 84, FOLIO 643 DOCUMENT NO. 70248) TO REMAIN WITH THIS PLAT.

NORTHERLY 13' OF EXISTING 17' PUBLIC UTILITY EASEMENT AS RESERVED BY ORDINANCE NO. 141-1967 FILED: OCTOBER 31, 1967 (MISC. BK. 84, FOLIO 643 DOCUMENT NO. 70248) VACATED BY VACATION ACTION 0508B-01815

**PLAT OF TRACTS A & B
 HUNT-SPECTRUM DEVELOPMENT SITE**
 FILED: AUGUST 2, 2004
 (2004C-226)

Bohannon & Huston
 Courtyard | 7500 Jefferson St NE Albuquerque, NM 87109-4335
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

SP-2005513785



LOCATION MAP

ZONE ATLAS INDEX MAP No. H-19-Z
NOT TO SCALE

SUBDIVISION DATA

1. DRB Project No.
2. Zone Atlas Index No. H-19-Z.
3. Gross Subdivision Acreage: 17.6729 Acres.
4. Total Number of Tracts created: One (1) Tract.
5. Date of Survey: August 2005
6. Plat is located within the Southwest One-quarter (SW1/4) of Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO VACATE PORTIONS OF EASEMENTS AS THE SAME IS SHOWN ON THE PLAT OF TRACT A ABQ UPTOWN SITE, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 1, 2005 IN BOOK 2005C, PAGE 181 AS DOCUMENT NO. 2005077645, AND TO GRANT EASEMENTS.

NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 1927 DATUM). RECORD BEARINGS AND DISTANCES ARE THE SAME AS SHOWN ON THE PLAT OF TRACT A ABQ UPTOWN SITE, FILED ON JUNE 1, 2005 IN BOOK 2005C, PAGE 181.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.

DESCRIPTION

A certain tract of land situate within the Southwest One-quarter (SW1/4) of Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all Tract A of the PLAT OF TRACT A ABQ UPTOWN SITE, recorded in the office of the Bernalillo County Clerk as Book 2005C, Page 181 on June 1, 2005 as Document No. 2005077645.

Tract contains 17.6729 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Southwest One-quarter (SW1/4) of Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract A of the PLAT OF TRACTS A, ABQ UPTOWN SITE, Albuquerque, New Mexico as the same is shown and designated on the Plat thereof, recorded in the Office of the County Clerk of Bernalillo County, New Mexico on June 1, 2005 in Book 2005C, Page 181 as Document Number 2005077645, now comprising TRACT A-1 of ABQ UPTOWN SITE, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant all access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and communication Services for buried and overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If Work affects any improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or Encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) warrant that he/she holds complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

BY:

Tom Philey

State of TEXAS
(~~New Mexico~~)
SS
County of Bernalillo
(~~Bernalillo~~)

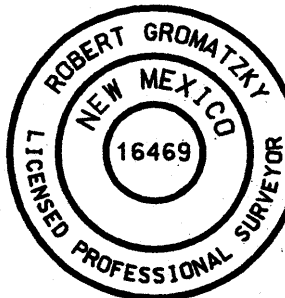
This instrument was acknowledged before me on 3 day of January, 2006 by Tom Philey Vice President of Hunt Uptown, LLC, a New Mexico Limited Liability Company.

My Commission Expires: 1-31-08
Kathy Brummal
Notary Public



SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: 12-29-05

PLAT OF
TRACT A-1
ABQ UPTOWN SITE
(A REPLAT OF TRACT A ABQ UPTOWN SITE)
ALBUQUERQUE, NEW MEXICO
DECEMBER, 2005

PROJECT NUMBER

APPLICATION NUMBER

UTILITY APPROVALS:

QUEST

COMCAST CABLE

PNM ELECTRIC SERVICES

PNM GAS SERVICES

ABQWIA

CITY APPROVALS:

CITY SURVEYOR

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

UTILITIES DEVELOPMENT

PARKS & RECREATION DEPARTMENT

A. M. A. F. C. A.

CITY ENGINEER

DRB CHAIRPERSON, PLANNING DEPARTMENT

REAL PROPERTY DIVISION

PRELIMINARY PLAT APPROVAL BY DRB ON 1/18/06

TAX CERTIFICATION

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE

DATE

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

I, William T. Stevens, City Engineer of the City of Albuquerque, New Mexico, do hereby certify that I have examined the plat of St. Pius X Subdivision, upon which this certificate appears the same this 4th day of Oct., 1962.

William T. Stevens
City Engineer

Approved: _____ Plat No. S-915-2

City Planning Commission
Albuquerque, New Mexico

By: [Signature]
Chairman
By: [Signature]
Planning Director

I, Ida V. Malone, City Clerk of the City of Albuquerque, New Mexico, do hereby certify that the plat of St. Pius X Subdivision, upon which this certificate appears, was approved and accepted for filing by the City Commission of the City of Albuquerque, New Mexico, at the meeting held on the 16 day of October 1962.

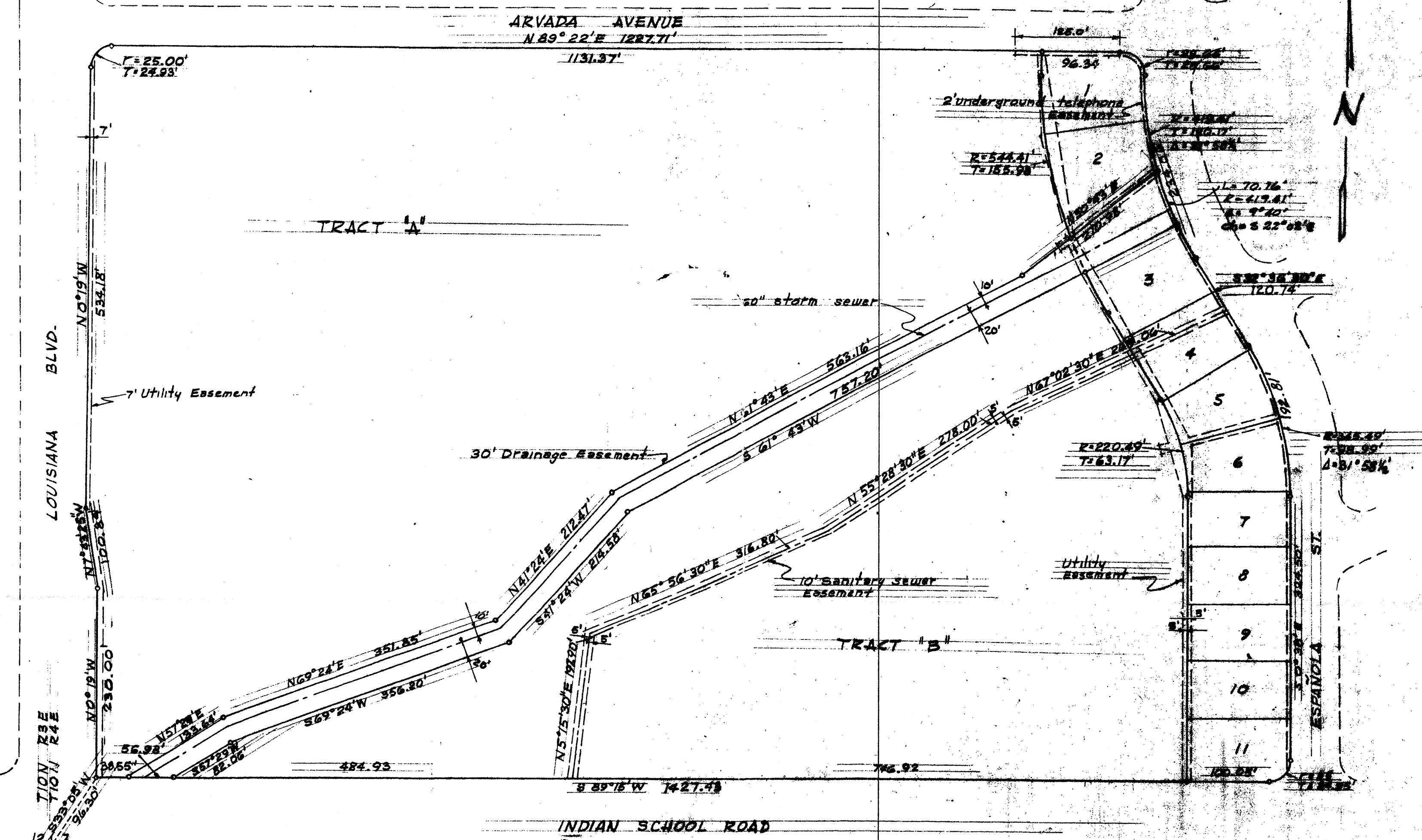
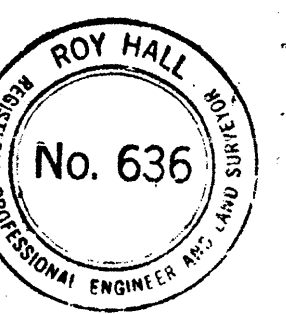
[Signature]
City Clerk

ST. PIUS X SUBDIVISION REPLAT

ALBUQUERQUE NEW MEXICO
SCALE 1" = 100' JUNE 16, 1962

FRANCIS E. STANLEY & ASSOCIATES, INC.

Original Survey and Plat by R. S. Harris, P. E. & L. S. No. 392
Drainage Easement Survey and Replat by Roy Hall, P. E. & L. S. No. 696



The foregoing subdivision of that certain tract of land situated in the City of Albuquerque, New Mexico, being and comprising a replat of Blocks A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, and including all or portions of the right-of-way of Alcazar Street, Chama Street, Morrow Road, Leah Avenue, and Mesilla Street of Zuni Park addition to the City of Albuquerque, New Mexico, as shown and designated on the plat of said Zuni Park Addition filed in the office of the County Clerk of Bernalillo County, New Mexico, on the 31st day of July, 1957, said tract of land being more particularly described as follows:

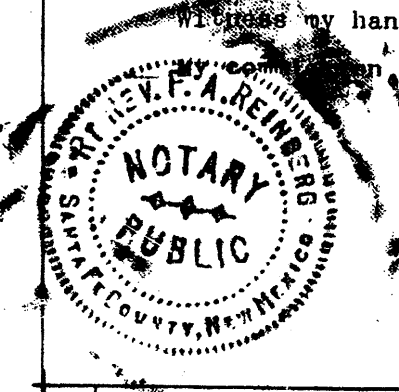
Beginning at the southwest corner, corner No. 1-A, from which corner the section corner common to Sections 12 and 13, T10N23E, R16E and Sections 7 and 18, T10N23E, R16E, is a distance of 230.00 feet, thence N 0°19'W a distance of 230.00 feet to corner No. 1-B, thence N 7°43'20" W a distance of 100.94 feet to corner No. 1-C, thence N 0°19' W a distance of 594.15 feet to corner No. 2, thence S 89°15' W a distance of 45.02 feet to Corner No. 3; thence N 89°15' W a distance of 1227.71 feet to corner No. 4; thence around a curve to the right of radius 345.49 feet a distance of 192.91 feet to Corner No. 5; thence around a curve to the left of radius 419.41 feet a distance of 204.06 feet to Corner No. 6; thence S 32°30'30" E a distance of 120.74 feet to Corner No. 7; thence around a curve to the right of radius 345.49 feet a distance of 192.91 feet to Corner No. 8; thence S 89°15' W a distance of 1,427.43 feet to Corner No. 9; thence around a curve to the right of radius 345.49 feet and lots 1 to 11, inclusive, and including the easement shown hereon for drainage and easement for public utilities including easements for overhead or buried service wires, all of St. Pius X Subdivision, an ingress and egress to, from, and across said easement and the right to trim interfering trees thereon, said including the easements for underground or buried service wires, all of St. Pius X Subdivision, an addition to the City of Albuquerque, New Mexico, is with the free consent and in accordance with the desire of the undersigned, owner and proprietor thereof.

State of New Mexico)
County of Santa Fe)
On this 17 day of August, 1962, before me personally appeared Edwin V. Byrne, to me personally known, who being by me duly sworn, did say that he is Archbishop of Santa Fe, a Corporation sole, organized under the laws of the State of New Mexico, and that the seal affixed to said instrument is the Corporate Seal of said corporation, and that said instrument was signed and sealed in behalf of said corporation, and said Edwin V. Byrne acknowledged said instrument to be the free act and deed of said corporation.

Roman Catholic Church of the Archdiocese of Santa Fe, a Corporation sole.

[Signature]
Edwin V. Byrne, Archbishop

[Signature]
Notary Public.



State of New Mexico)
County of Bernalillo) SS
This instrument was filed for record on
9:58 OCT 15 1962
At _____ o'clock P.M. Recorded in Vol. _____
of records of said County File No. _____
[Signature]
Deputy Clerk

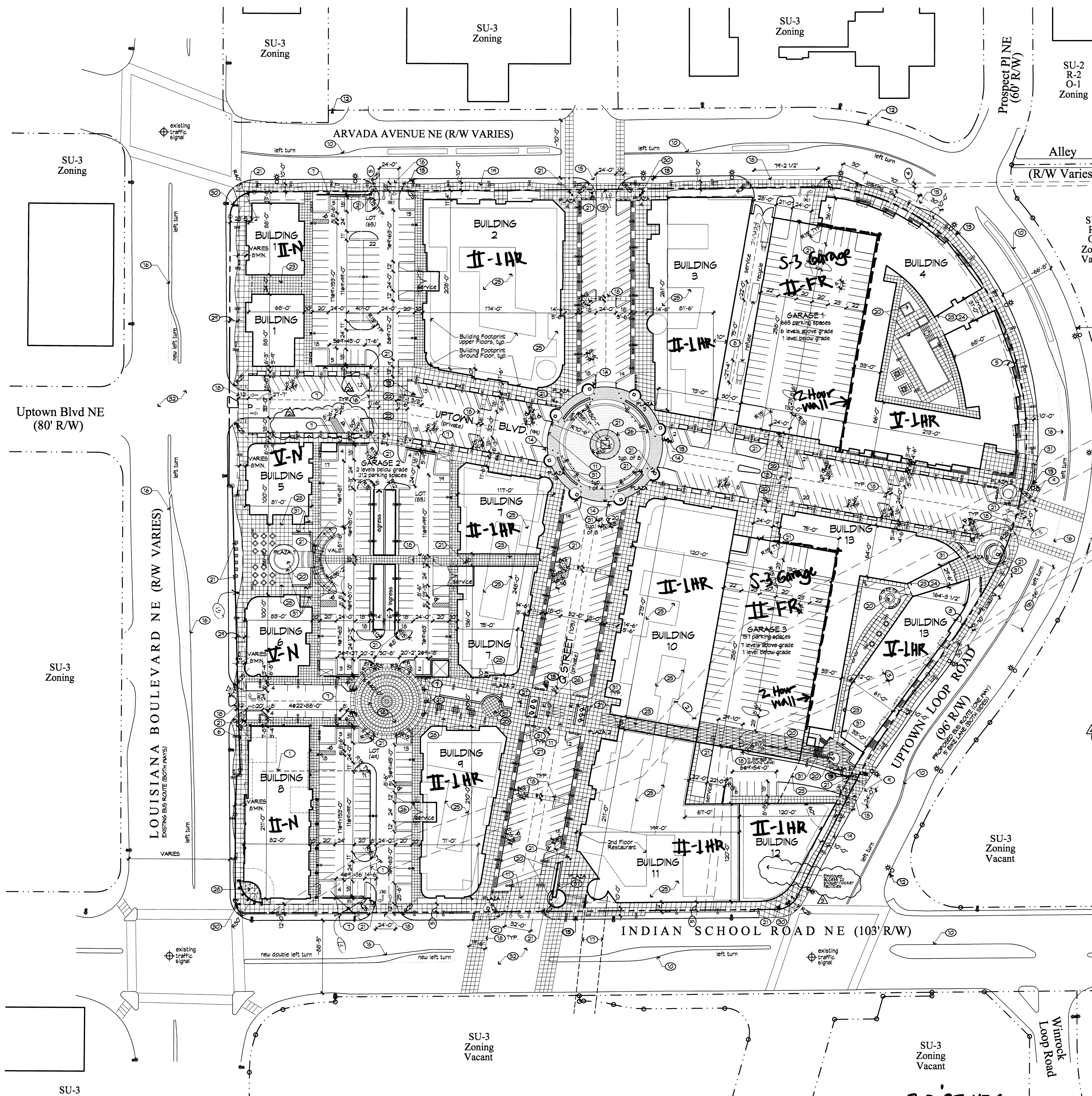
Approved as to utility easements
Mountain States Telephone & Telegraph Co.

By: [Signature] 7-2-62
Public Service Company of New Mexico

By: [Signature] 7-2-62

I, Edwin L. Beck, Traffic Engineer of the City of Albuquerque, New Mexico do hereby certify that I have examined the plat of St. Pius X Subdivision upon which this certificate appears, and approved the same this 4 day of October 1962.

[Signature]
Traffic Engineer



Site Data

SITE AREA: 11.6124 ACRES, 504,831.524 SF
 FAR: MIN. 0.71 MAX. 1.5 ACTUAL FAR: 1,023,100 GSF/16,832 SF = 1.93
 NOTE: GROSS SQUARE FOOTAGE (GSF) INCLUDES CORRIDORS, VERTICAL CIRCULATION AND INTERIOR RETAIL SERVICE AREAS. THE GSF IS SHOWN FOR THE PURPOSE OF CALCULATING THE FLOOR AREA RATIO (FAR). NET LEASABLE FLOOR AREA/PREMISE AREA, NET LEASABLE SQUARE FOOTAGE (NSF) IS USED FOR ALL OTHER CALCULATIONS.

Building Data

BUILDING	USE	GSF	NSF	DUS
BUILDING 1	RETAIL OR RESTAURANT	25,000	25,000	110
BUILDING 2	RETAIL OR RESTAURANT	12,000	12,000	51
BUILDING 3	RETAIL OR RESTAURANT	150,000	150,000	141
BUILDING 4	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 5	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 6	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 7	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 8	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 9	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 10	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 11	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 12	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 13	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 14	RETAIL OR RESTAURANT	8,000	8,000	35
BUILDING 15	RETAIL OR RESTAURANT	8,000	8,000	35

Parking

VEHICULAR PARKING REQUIRED	RATIO	SF/DUS	REQUIRED
RETAIL OR RESTAURANT	1/200	161,600 NSF	594
OFFICE	1/200	254,000 NSF	252
MULTI-FAMILY OR OFFICE	1/200	50,800 NSF	254
MULTI-FAMILY	1/200	50,800 NSF	254

Open Space/Plaza Diagram

Upper Component - 100% Residential (most stringent)	Provided	N.T.S.
Required: 108,450 SF	128,490 (open space) + 41,869 (plaza) = 170,359 SF	
Open Space: 150 SF/DU = 128,490 SF	128 units x 20 SF (average) = 25,696 SF	
Plazas: 15 SF/non-res. parking spaces = 14,440 SF	landscaped/amenity pedestrian zone = 41,869 SF	
(Per Uptown Sector Plan Section 10.1), in increments of 12' side setbacks	Plazas: 41,869 SF	

General Notes

- Approval of development proposals consistent with this Site Plan for Building Permit shall be by the Planning Director or his/her designee, and the City Engineer.
- No Single Retail Tenants shall exceed 25,000 SF net leasable area per establishment.
- Refer to the Utility Plan for Fire Hydrant Distribution Lines, Proposed and Existing Water/Storm Drainage Facilities and Proposed PUEs.
- 20 Total Spaces to be dedicated Employee Carpool Parking located in employee designated parking areas in each garage.
- The site plan complies with the Traffic Mitigation Plan agreed to by the Applicant and the City Engineer.
- Streets, Parking Spaces and Associated Drives to be Asphalt Unless Noted Otherwise.
- Plazas to be Segregated from Sidewalk Concrete Unless Noted Otherwise.
- The Design of the Fountains will comply with the intent of 6-1-14 (Design Regulations for Water Conservation/Landscaping and Water Waste) of the Albuquerque Code of Ordinances, which is to minimize the evaporation of municipal water being used for water features.

Keyed Notes

- EXISTING 9'-6" HIGH BRICK RETAINING WALL TO BE REMOVED.
- EXISTING DRAINAGE EASEMENT TO BE VACATED, WITH VARIES.
- EXISTING ABANDONED 10' SANITARY SEWER EASEMENT TO BE VACATED.
- EXISTING 4' W/ST.
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- HATCHED AREA DESIGNATES EXISTING FPM AND M&T&T EASEMENT.
- 30'-42" TALL METAL PANEL SCREEN WALL.
- CENTRAL TRASH COMPACTOR AND RECYCLE COLLECTION FOR ENTIRE DEVELOPMENT, ENCLOSED IN ALLEY. REFER TO ELEVATIONS FOR DECORATIVE GATE ENCLOSURE.
- INDIVIDUAL COLLECTION CARTS LOCATED INTERNALLY AT EACH BUILDING.
- RELOCATE EXISTING STREET POLE LIGHT FIXTURE AS INDICATED.
- EXISTING MEDIAN.
- RAISED PEDESTRIAN CROSSING, COLORED, DECORATIVE PAVING.
- EXISTING FIRE HYDRANT.
- PROPOSED FIRE HYDRANT.
- STOP SIGN, REFER DIRECTIONAL SIGNAGE AND ART, SHEET 12.
- EXISTING CONCRETE DRIVE PADS TO BE REMOVED.
- MODIFY EXISTING MEDIAN AS INDICATED.
- PEDESTRIAN SKY BRIDGE OVER INDIAN SCHOOL ROAD, SHOWN FOR ILLUSTRATIVE PURPOSES. (NOT PART OF THIS REQUEST).
- PEDESTRIAN CROSSING, COLORED, DECORATIVE PAVING.
- 1/2" WIDE MEANDERING SIDEWALK ALONG UPTOWN LOOP ROAD, TYP.
- WATER FEATURE REFER TO GENERAL NOTE 4.
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- PROPOSED CITY BUS STOP.
- BREEZEWAY AT GROUND FLOOR, COVERED BY UPPER FLOORS ABOVE.
- COURTYARD VERT TO SANDIAS.
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- BOLLARDS, TYP.
- ROCK GARDEN.
- OUTDOOR DINING.
- ENTRY SIGN/ FREE STANDING MONUMENT SIGN, REFER BUILDING ELEVATIONS, SHEET 10.
- SEATWALL.
- ANY PROPOSAL BY THE APPLICANT TO CHANGE ACCESS, MOVEMENTS PERMITTED, OR TRAFFIC CONTROL AT UPTOWN BLVD/LOUISIANA BLVD, OR AT G STREET/INDIAN SCHOOL RD, INTERSECTIONS WILL REQUIRE THE WRITTEN CONCURRENCE OF THE DIRECTORS OF PUBLIC WORKS, MUNICIPAL DEVELOPMENT AND PLANNING PRIOR TO APPROVAL. TRAFFIC ANALYSIS MAY BE REQUIRED BEFORE SUCH CHANGES ARE CONSIDERED. THE CITY MAY MAKE SUCH MODIFICATIONS AS A PART OF ITS AUTHORITY TO MANAGE THE SYSTEM. SUCH CHANGES BY THE CITY WILL NOT REQUIRE AMENDMENTS TO THE SURROUNDING SITE DEVELOPMENT PLANS BUT WILL REQUIRE THE WRITTEN CONCURRENCE OF THE DIRECTORS OF PUBLIC WORKS AND MUNICIPAL DEVELOPMENT.

Index to Drawings

- 01 Site Development Plan for Building Permit
- 02 Landscape Plan
- 03 Enlarged Landscape and Plaza Plans (NW Quadrant)
- 04 Enlarged Landscape and Plaza Plans (NE Quadrant)
- 05 Enlarged Landscape and Plaza Plans (SW Quadrant)
- 06 Enlarged Landscape and Plaza Plans (SE Quadrant)
- 07 Building Elevations 1
- 08 Building Elevations 2
- 09 Building Elevations 3
- 10 Building Elevations 4
- 11 Building Elevations 5
- 12 Directional Signage and Art
- 13 Grading and Drainage Plan
- 14 Utility Plan

General Notes

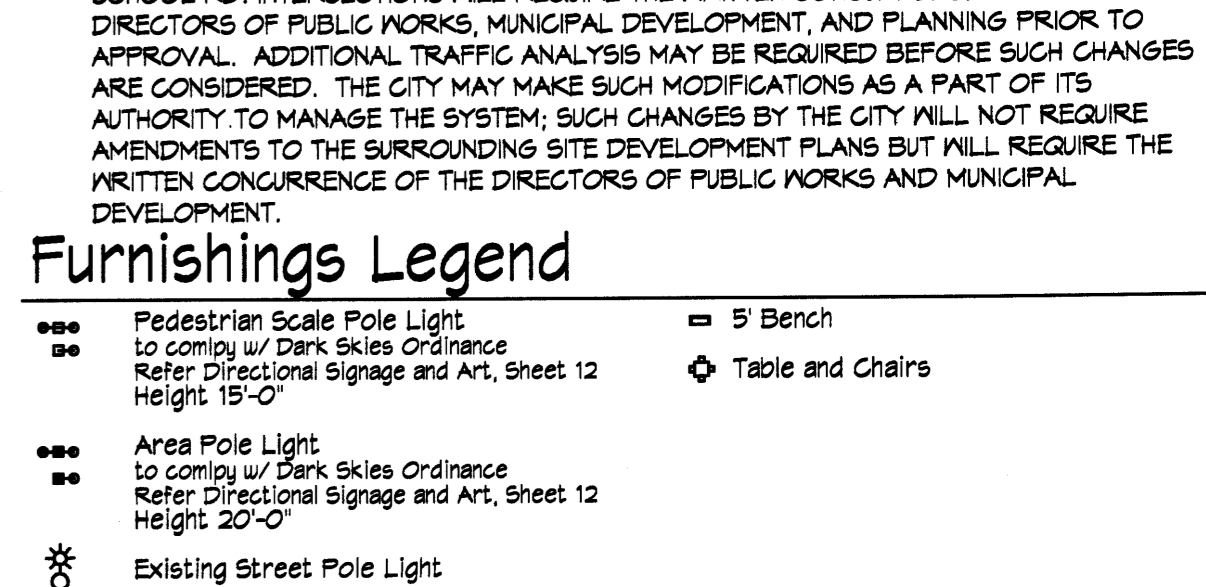
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Furnishings Legend

- Pedestrian Scale Pole Light
- Area Pole Light
- Existing Street Pole Light
- 5' Bench
- ◆ Table and Chairs



VICINITY MAP

Scale: 1" = 1000'
 COA Zone Atlas Index Maps H-18-Z, J-18-Z, H-19-Z, J-19-Z

OWNER: Hunt-Uptown, LLC
 PLANNING CONSULTANT: Denish + Kline Assoc., Inc.
 PROJECT ARCHITECT: Dekker/Perich/Sabatini
 PROJECT ENGINEER: Bohannan-Huston
 PROJECT IDENTITY: Vaughn Wedeen Creative

PROJECT NUMBER:	#1002247
DRB NUMBER:	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

ABQ
 u p t o w n
 DRB Submittal
 Site Development Plan for Building Permit
 Site Plan 01 of 14
 SCALE: 1" = 50'
 23 June 2004
 Project #1002247

Per 97 UBC

