

PROJECT NUMBER: **1002249**
 Application Number: **08 EPC-40069**

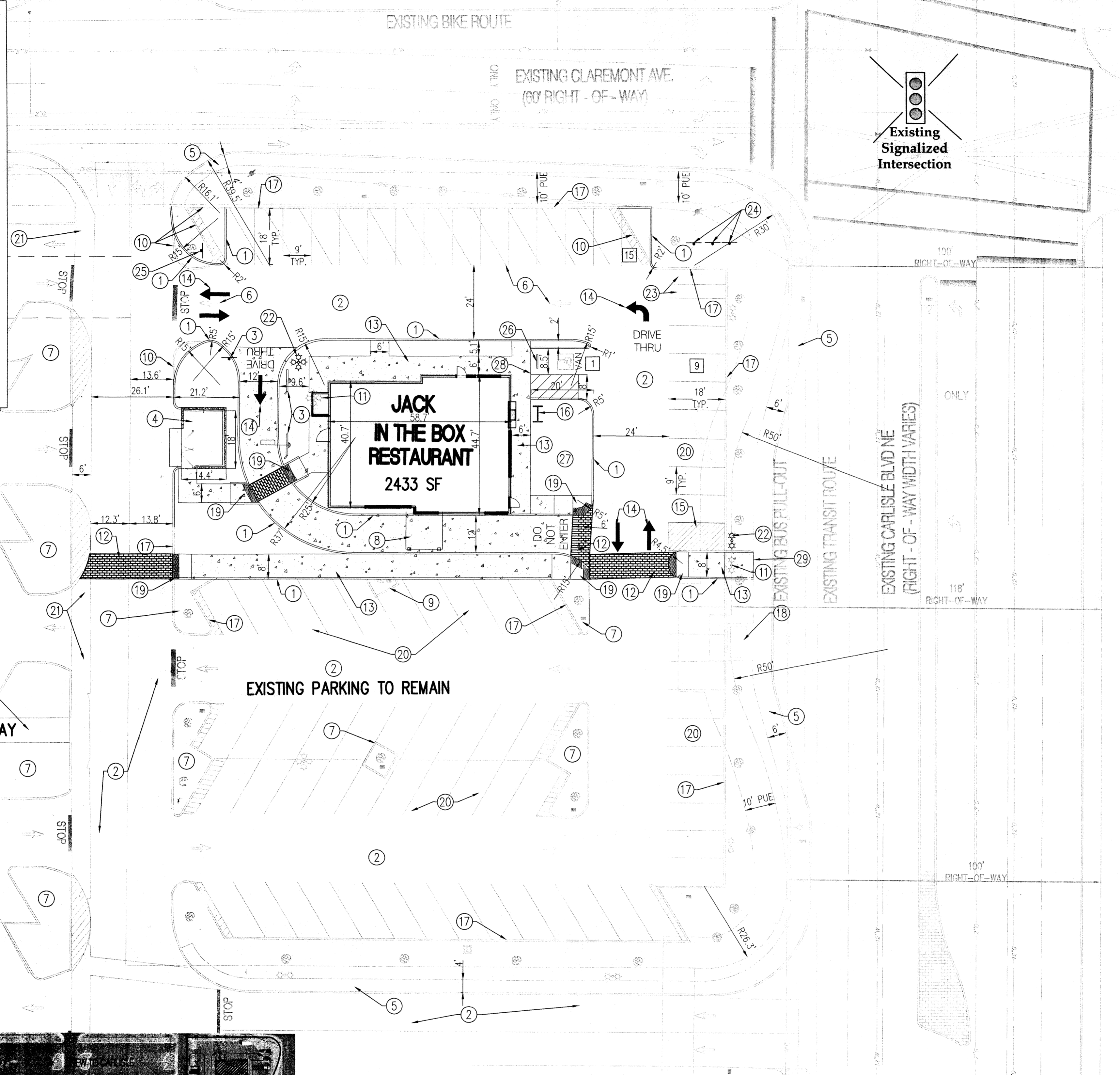
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated **06/21/2008** and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

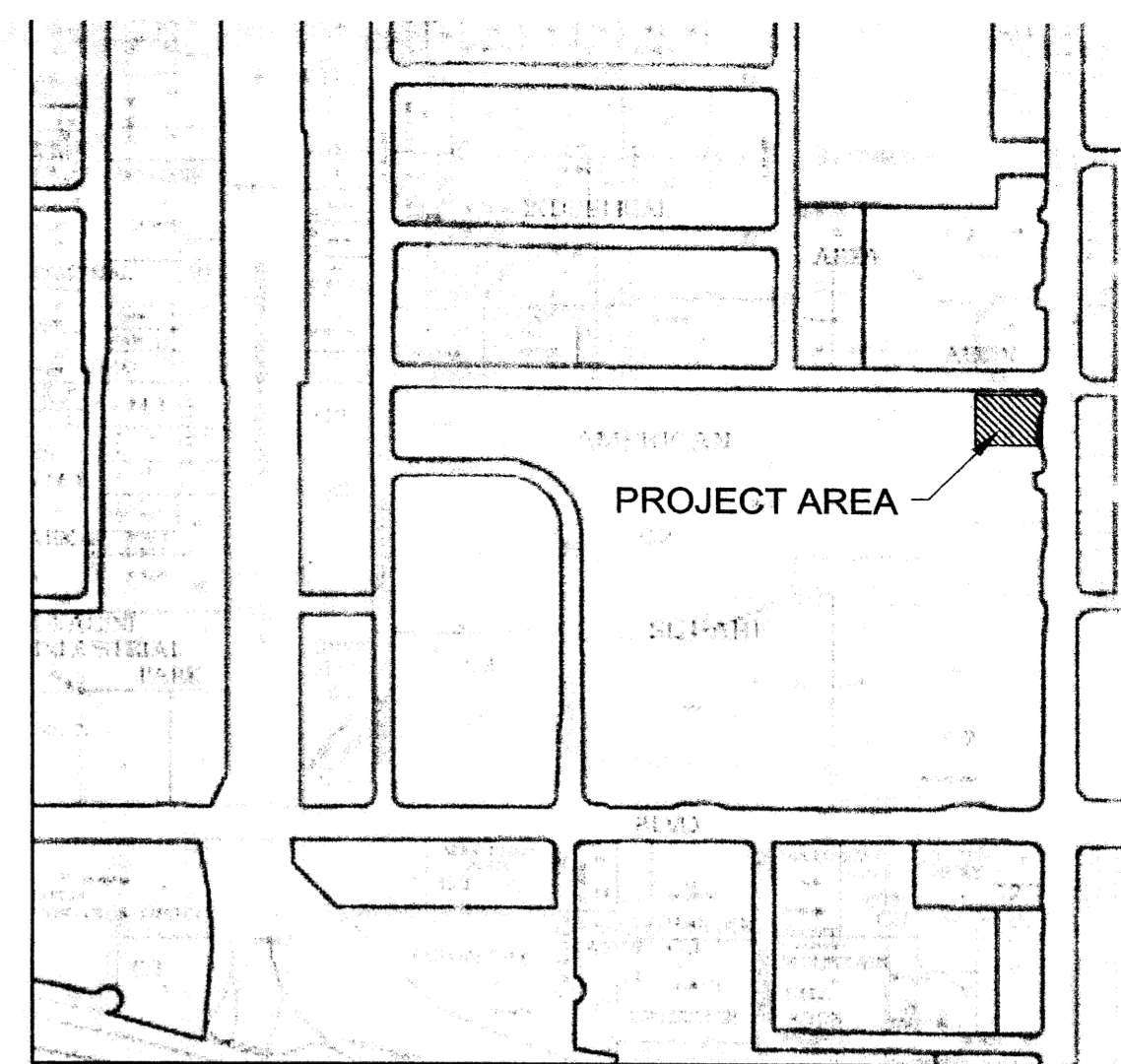
11-13-08
 Date
11-17-08
 Date
11/5/08
 Date
11/9/08
 Date
11-19-08
 Date

Traffic Engineering, Transportation Division
 Water Authority
 Parks and Recreation Department
 City Engineer
 Solid Waste Management
 Chairperson, Planning Department



Jack-In-The-Box Parking Calcs
 Required=1 space/4 seats
 48 seats.
 Base required parking=12
 10% transit reduction, adj required parking=11
 Parking provided=25
 Handicap parking required: 1
 Motorcycle parking provided: 2
 Motorcycle parking required: 1
 Bicycle parking provided: 4
 Bicycle parking required: 2

Drive-thru queue length: 115 ft



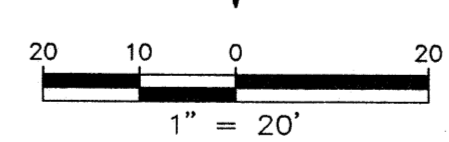
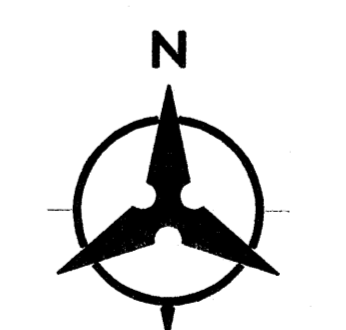
VICINITY MAP
 ZONE ATLAS PAGE H-16-Z
 SCALE: 1" = 500'

KEYED NOTES

- NEW CURB
- EXISTING VEHICULAR DRIVE AISLE
- MENU BOARD/SIGN
- REFUSE ENCLOSURE - 6' HIGH CMU STRUCTURE COLOR TO MATCH BUILDING - SEE ELEVATION THIS SHEET-
- EXISTING SIDEWALK TO REMAIN
- EXISTING PAINTED PARKING STRIPE/DIRECTIONAL ARROW TO BE REMOVED.
- EXISTING LANDSCAPE ISLAND TO REMAIN
- DRIVE UP WINDOW
- EXISTING LANDSCAPE ISLAND TO BE REMOVED
- EXISTING CURB TO BE REMOVED
- EXISTING LIGHT AND POLE TO BE RELOCATED
- PATTERNED COLORED CONCRETE
- NEW SIDEWALK PLAN SYMBOL
- NEW PAINTED DIRECTIONAL ARROW
- STRIPED TEMPORARY PARKING AREA FOR DRIVE UP WINDOW.
- BICYCLE RACK FOR 4 BIKES
- EXISTING CURB TO REMAIN
- EXISTING BUS STOP AND SHELTER
- WHEEL CHAIR RAMP - SEE SHEET 1.1 FOR DETAILS
- EXISTING ASPHALT PARKING TO REMAIN (9'X18' TYPICAL)
- EXISTING CONCRETE PEDESTRIAN WALKWAY
- RELOCATED LIGHT POLE. SEE DETAIL THIS SHEET. SHALL COMPLY WITH ZONING CODE 14.6.3.9.
- (2) MOTORCYCLE PARKING SPACES: 18'X4.5'
- TEMPORARY CONSTRUCTION SIGNAGE LOCATIONS
- NEW STOP SIGN
- WHEEL STOP
- OUTDOOR SPACE
- HANDICAP ACCESS AND PARKING FLUSH TO SIDEWALK
- THE NEW SIDEWALK TO EXISTING SIDEWALK

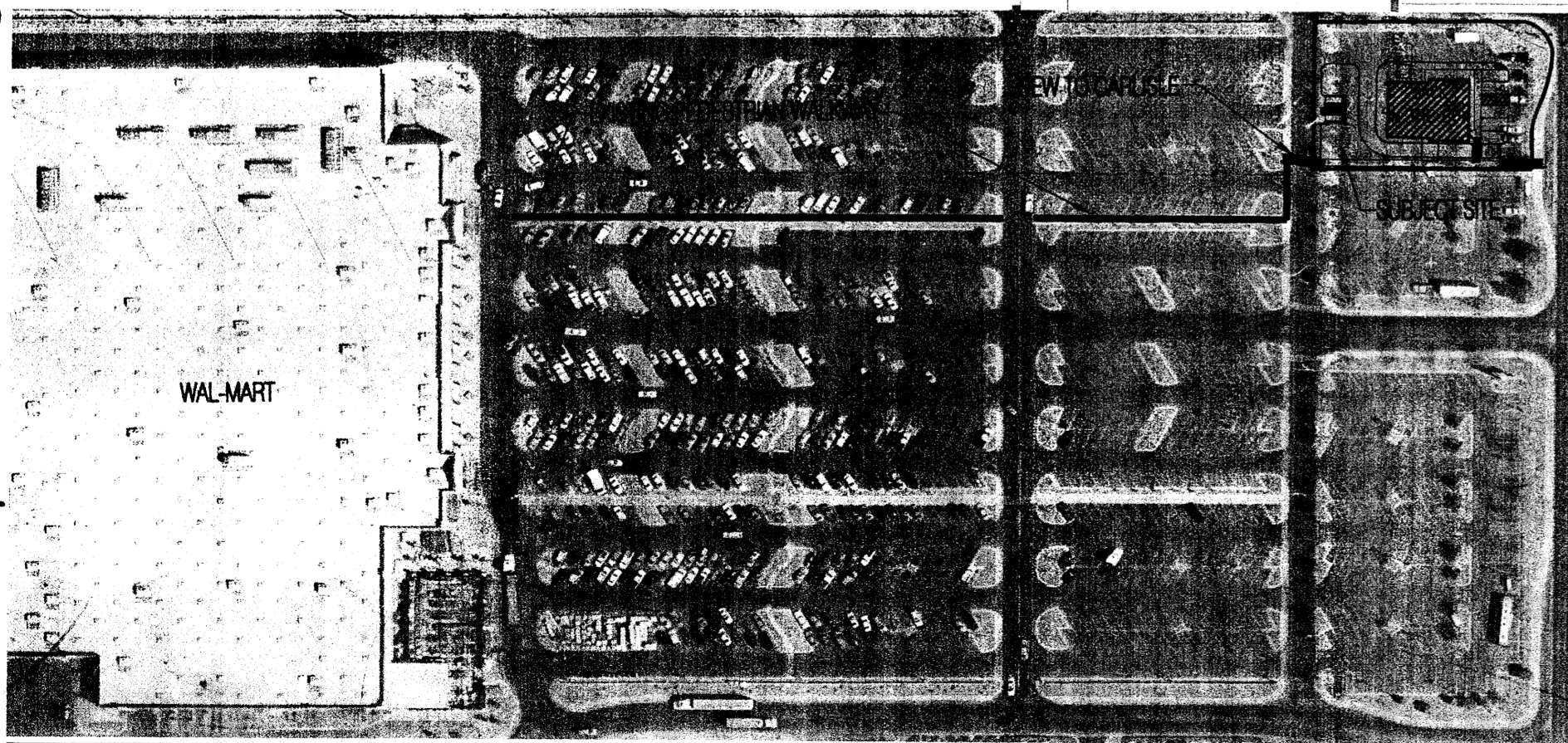
GENERAL NOTES

1. VIDEO CAMERAS SHALL BE INSTALLED TO COVER ALL PARKING AREAS, WALKWAYS, BUILDING ENTRANCES, EXTERIOR AND INTERIOR AND MAINTAIN LOCATIONS; MONITORS SHALL BE PLACED IN HIGH EMPLOYMENT TRAFFIC AREAS AND IN SIGHT OF DOOR LEADING TO TRASH DUMPSTER.

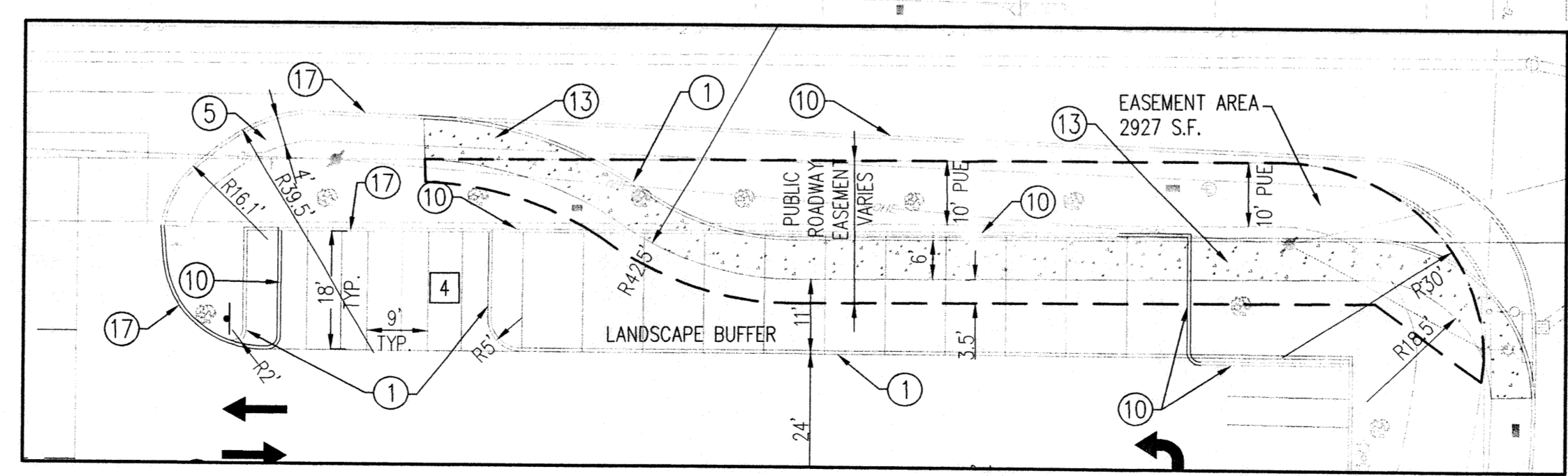


LEGEND

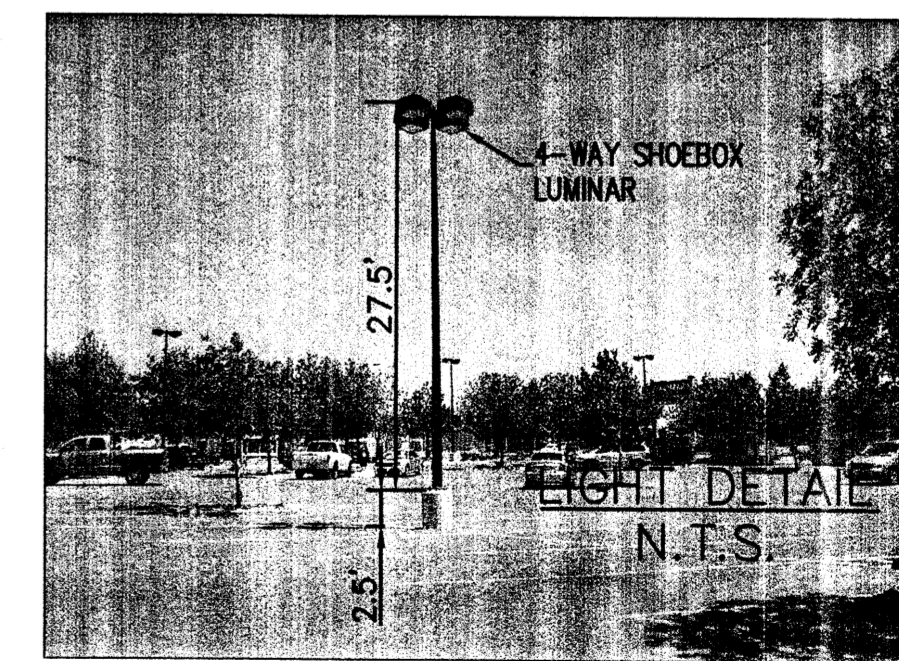
- PROPERTY BOUNDARY
- NEW CURB AND GUTTER
- NEW CONCRETE
- PARKING TOTAL PER AISLE
- EXISTING LANDSCAPING
- EXISTING LIGHT AND POLE TO REMAIN



PEDESTRIAN CONNECTION EXHIBIT
 N.T.S.



ILLUSTRATIVE FUTURE RIGHT TURN LANE (NOT FOR CONSTRUCTION)
 1" = 20'

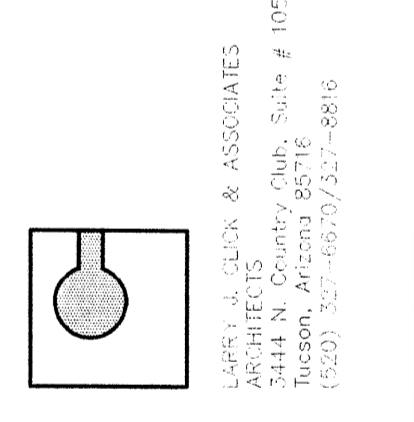
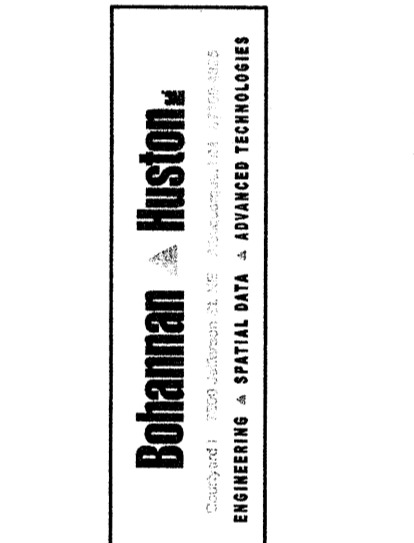
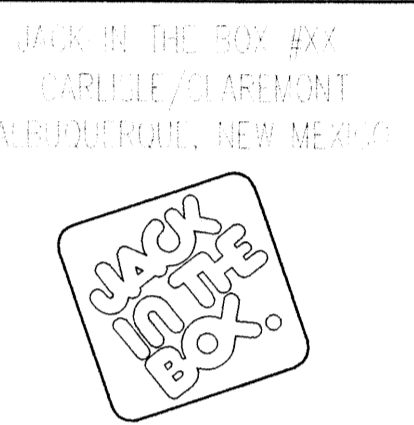


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 SAN DIEGO, CA 92123
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DATES

RELEASE: _____
 P.M. UPDATES: _____
 PERMIT: _____
 BID: _____
 CONSTRUCTION: _____

REVISIONS

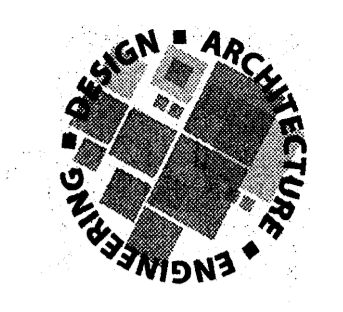
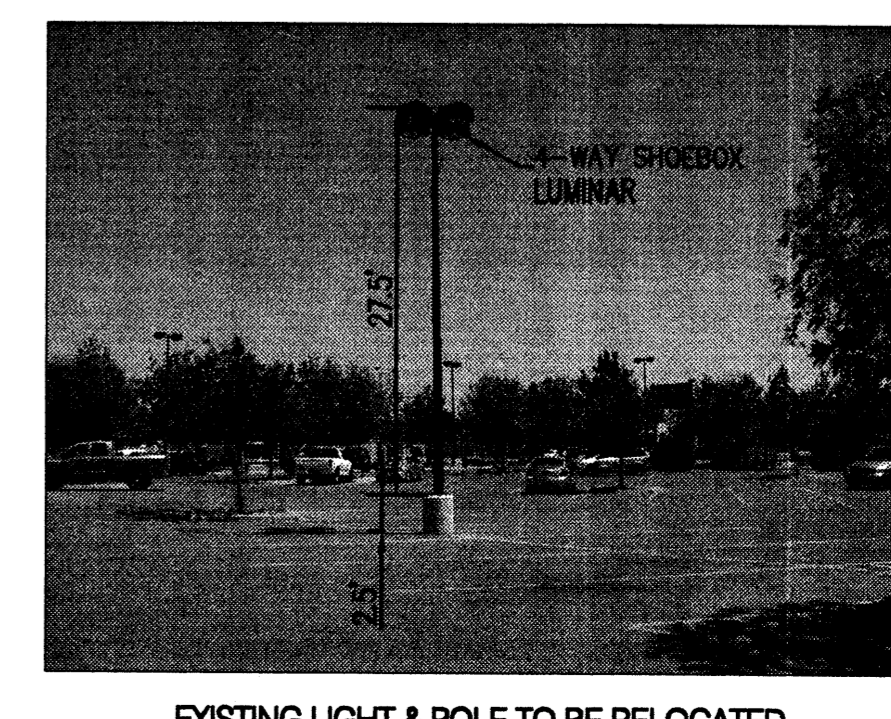
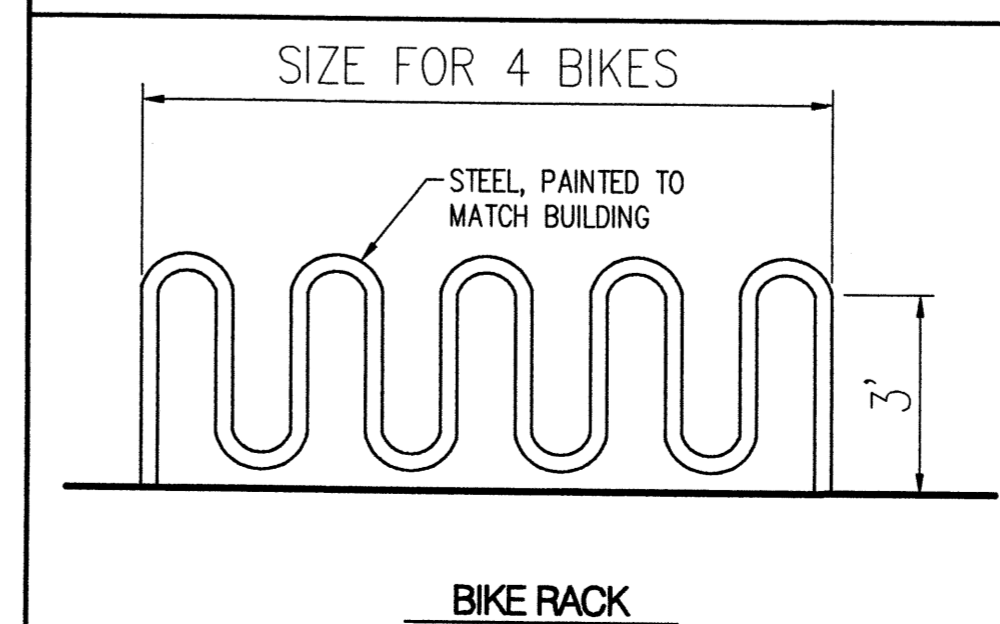
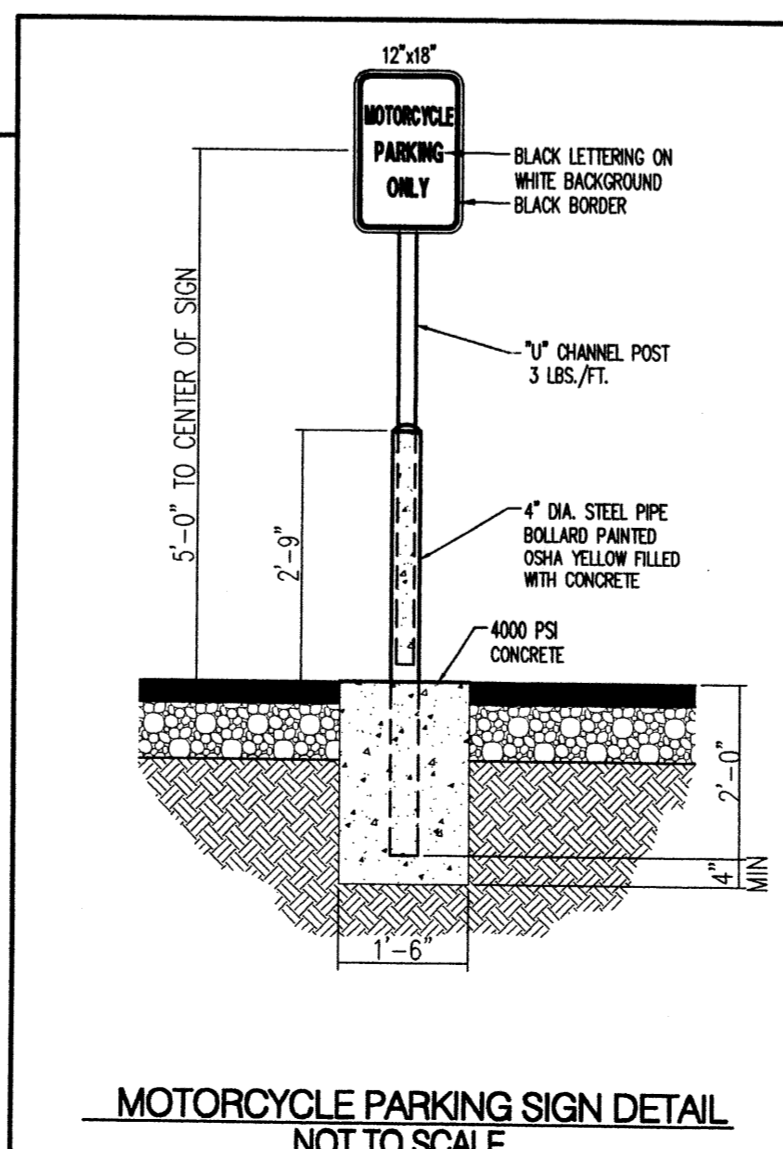
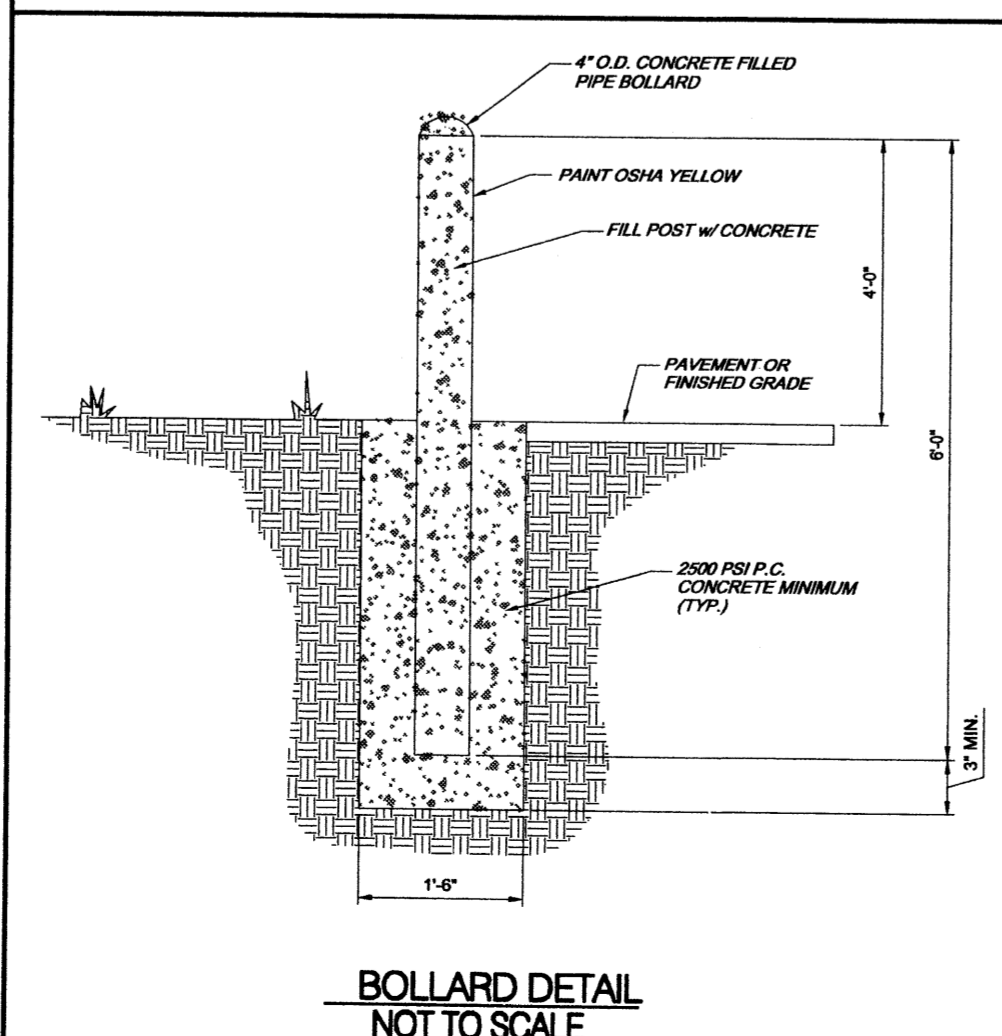
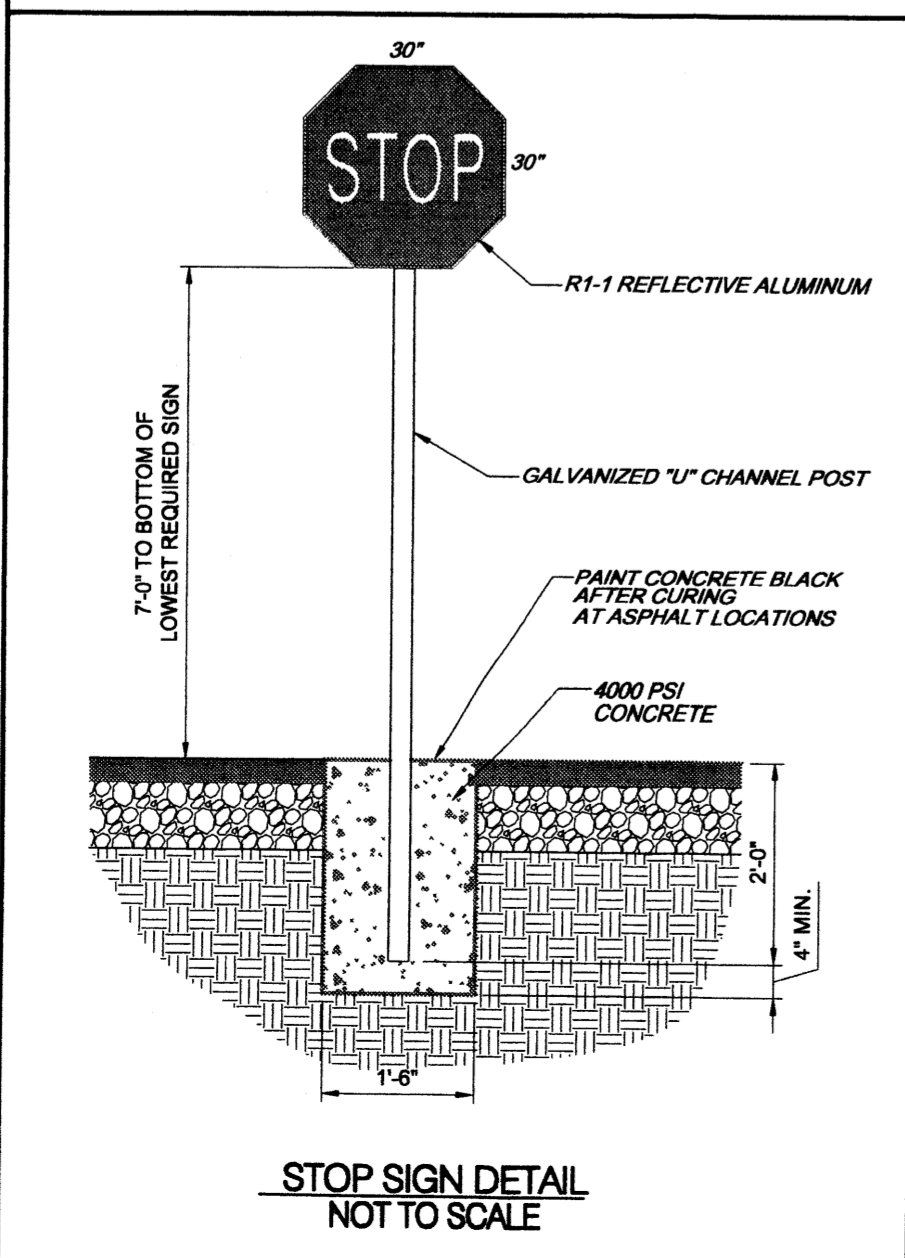
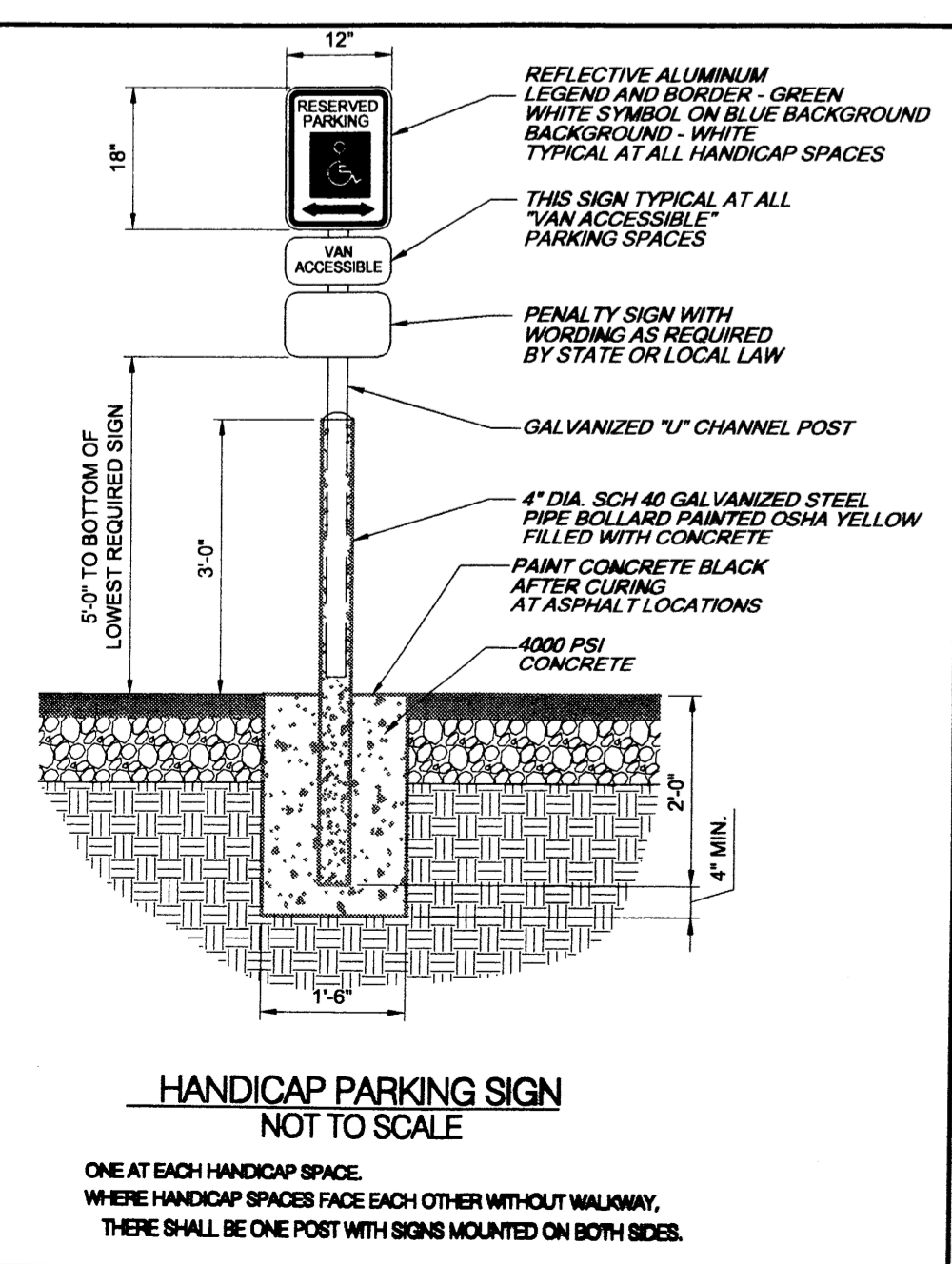
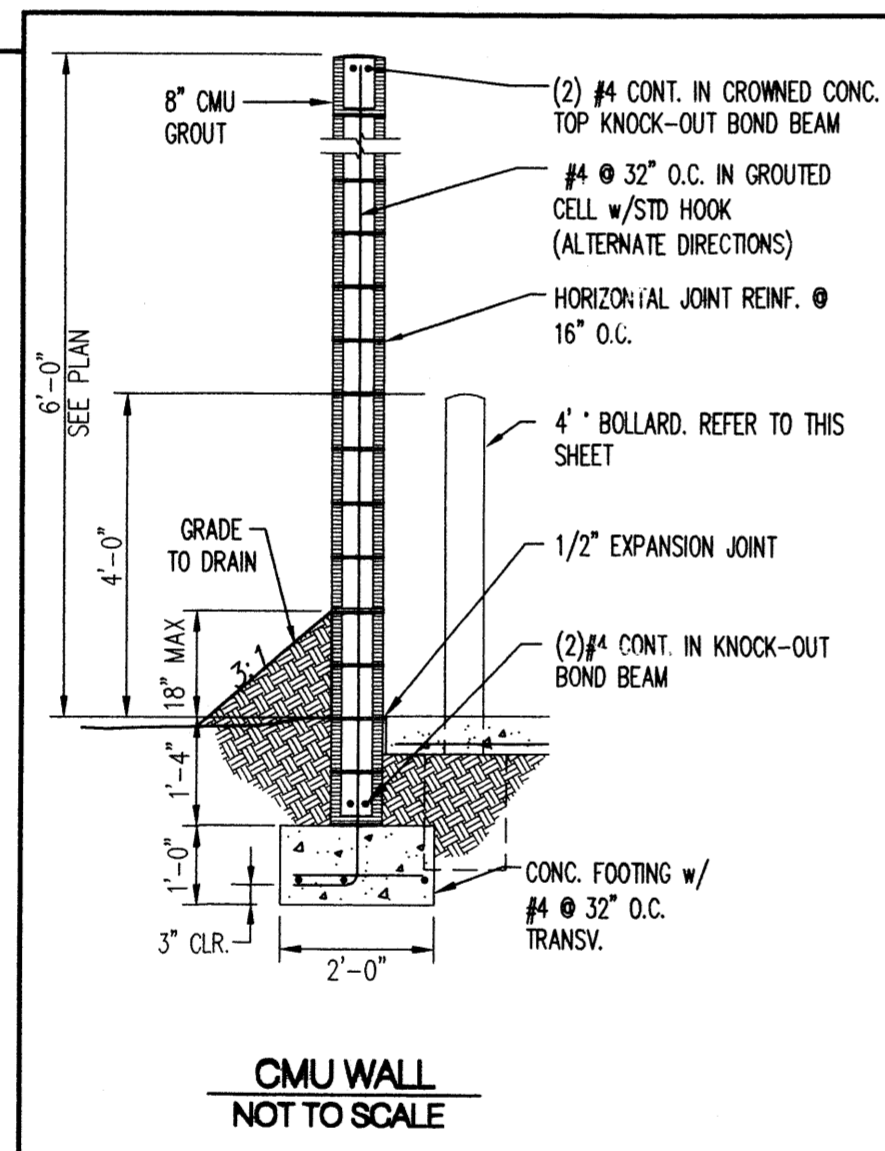
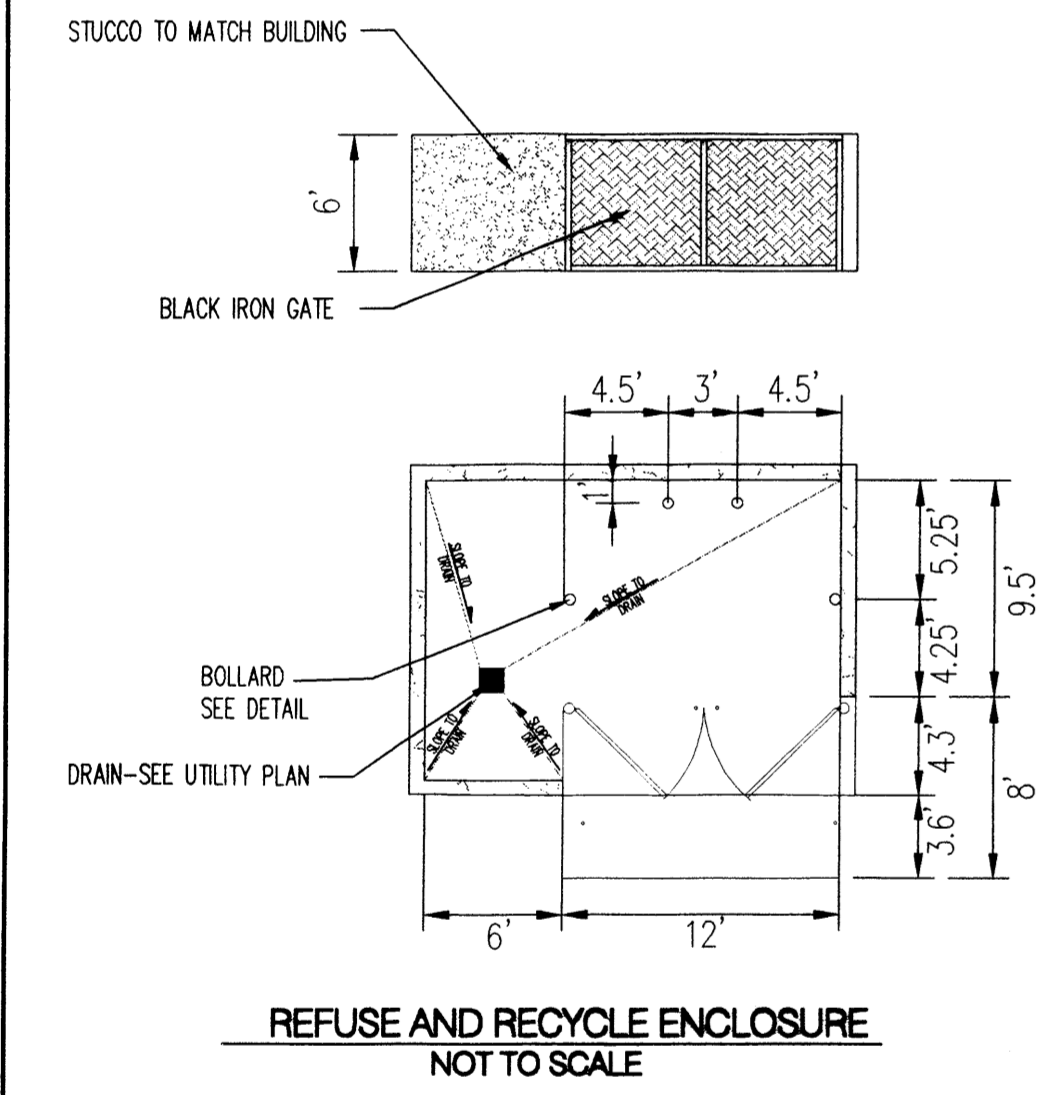
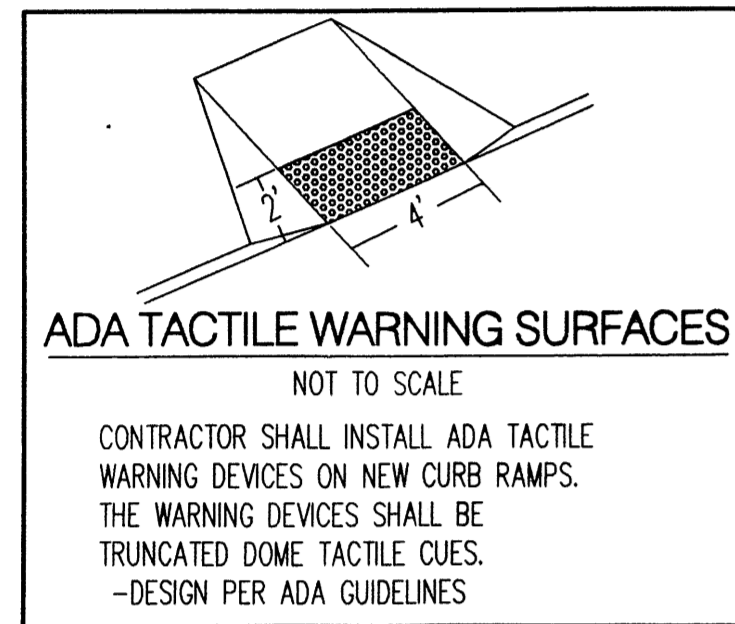
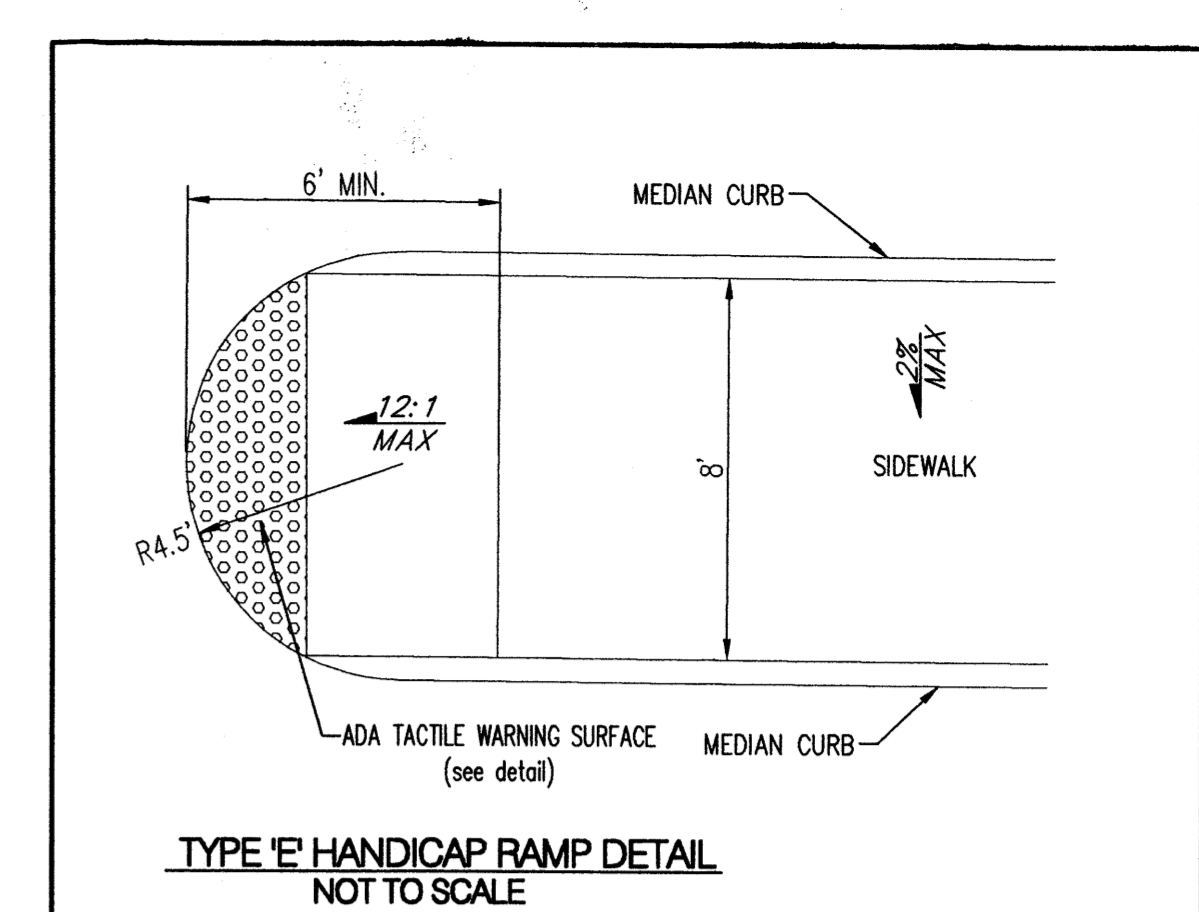
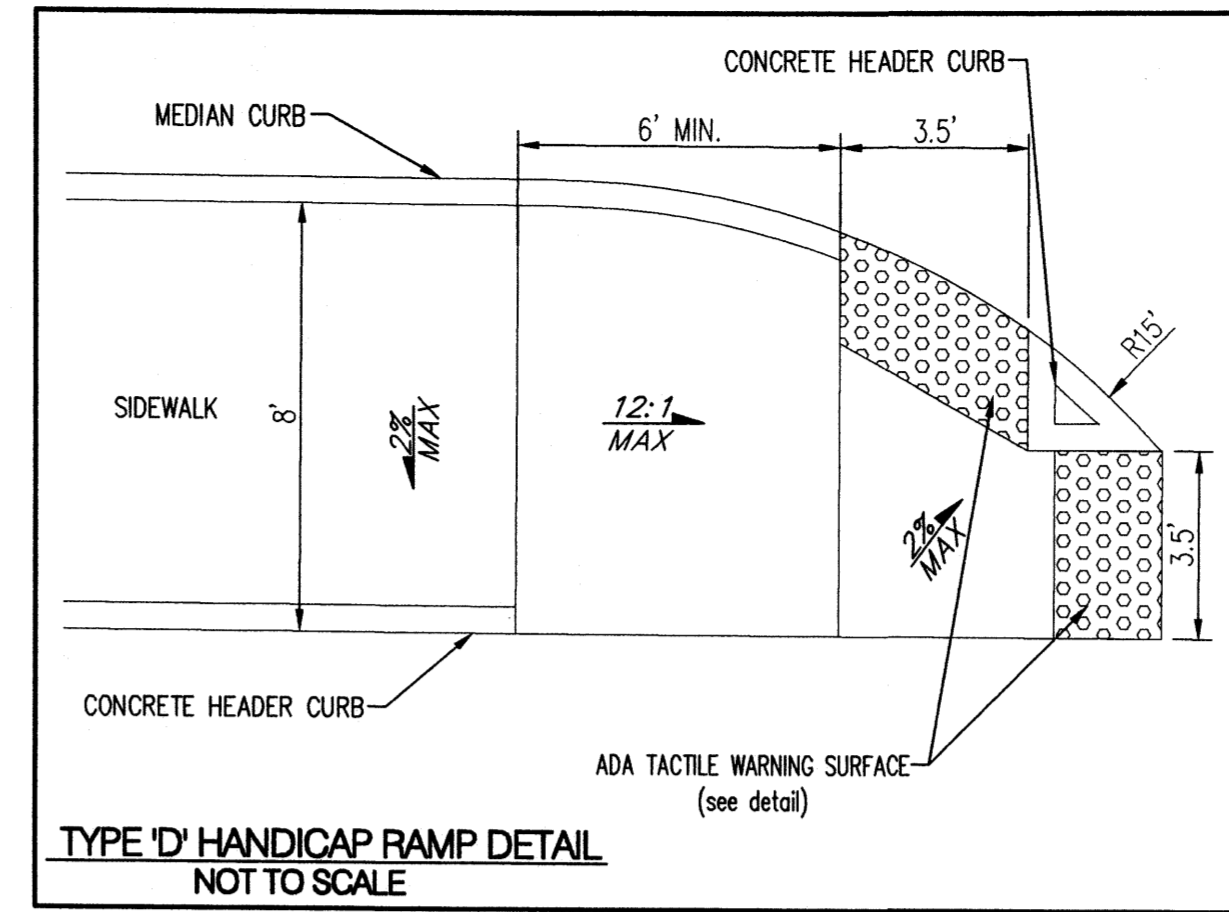
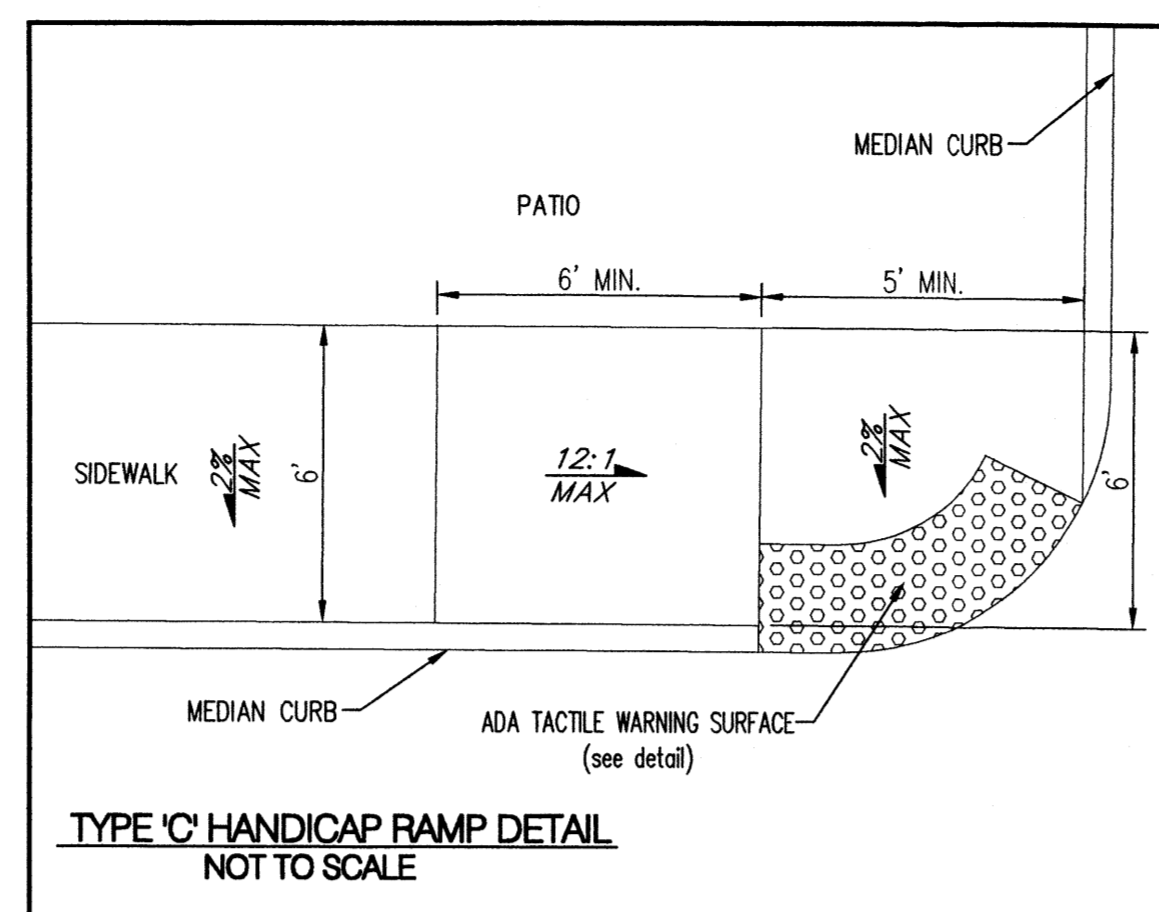
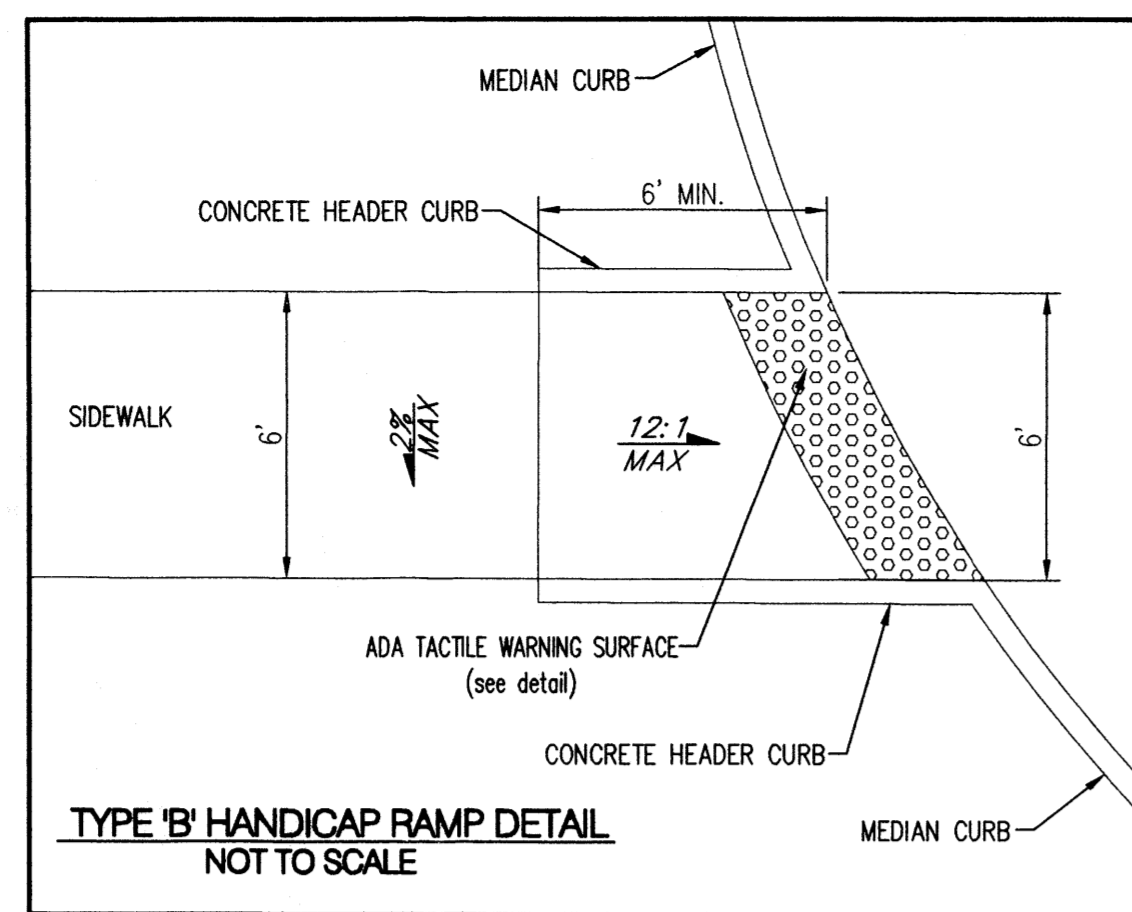
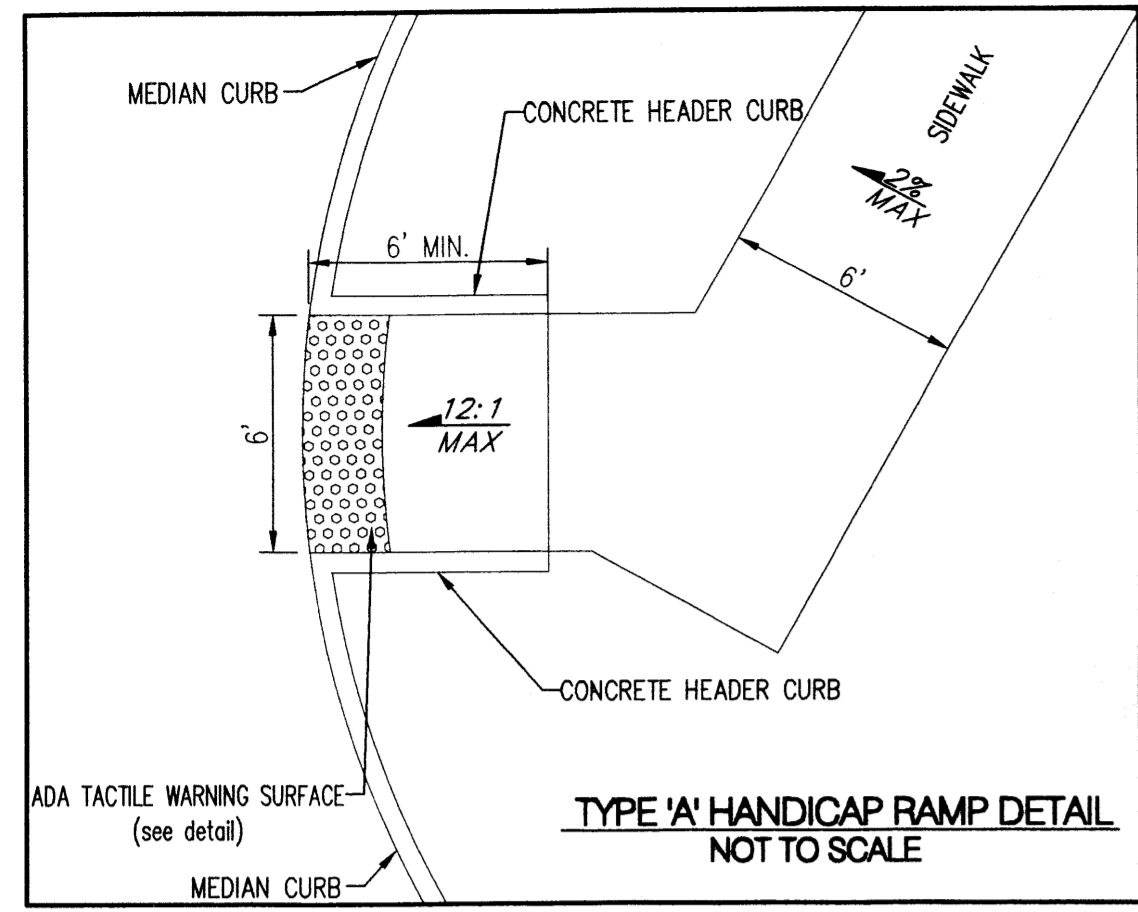


SITE INFORMATION

MK TYPE: XX
 JIB #: XX
 ADDRESS: CARLISLE/CLAREMONT ALBUQUERQUE, NM
 DRAWN BY: XX
 SCALE: 1:20

Site Plan
 October 2008
 Sheet 1

1002249



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SAN DIEGO, CA 92123
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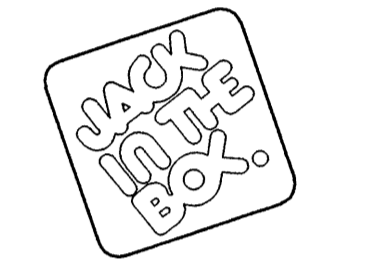
DATES

RELEASE: _____
P.M. UPDATES: _____
PERMIT: _____
BID: _____
CONSTRUCTION: _____

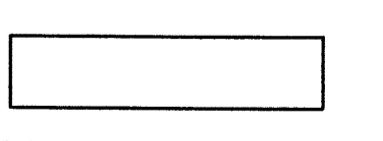
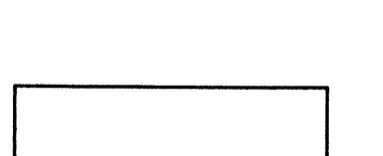
REVISIONS

△	
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JACK IN THE BOX #XX
CARLISLE/CLAREMONT
ALBUQUERQUE, NEW MEXICO



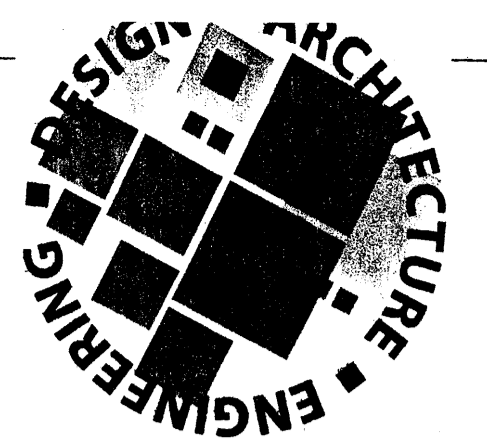
BOHANNON & HUSTON & ASSOCIATES
ARCHITECTS
3444 N. Country Club, Suite # 105
Tucson, Arizona 85718-8816
(520) 327-0810/321-8816



SITE INFORMATION

MK TYPE: XX
JIB #: XX
ADDRESS: CARLISLE/CLAREMONT
ALBUQUERQUE, NM
DRAWN BY: XX
SCALE: _____

Site Details
October 2008
Sheet 1.1



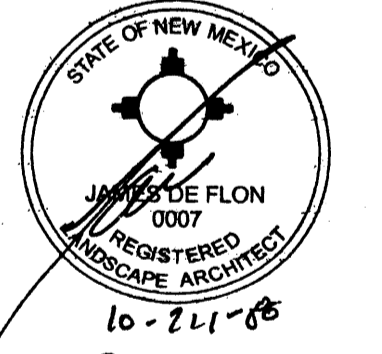
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LANDSCAPE

MK TYPE: 9
JOB #: XXXX
ADDRESS:
XXXX CARLISLE NE
ALBUQUERQUE, NM 87XXX
DRAWN BY: RMC
SCALE: 1"=20'



JACK IN THE BOX #1261
ALBUQUERQUE, NEW MEXICO



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

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LANDSCAPE PLAN FOR BUILDING PERMIT

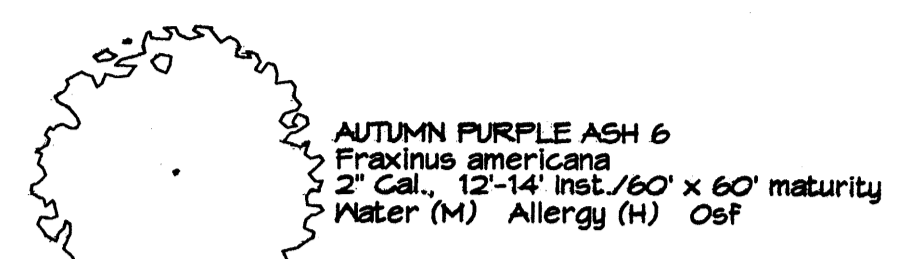
DATE: MAY 29, 2008

Bohannon & Huston
Consultant 7800 Jefferson St. NE Albuquerque, NM 87109-4385
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

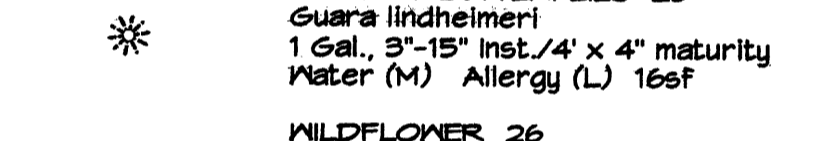
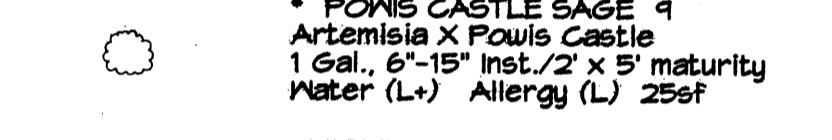
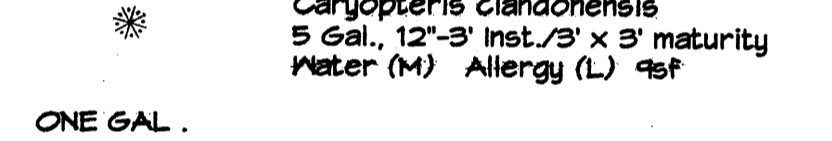
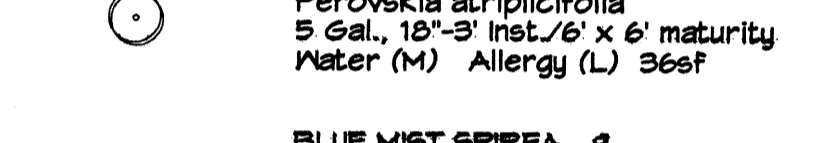
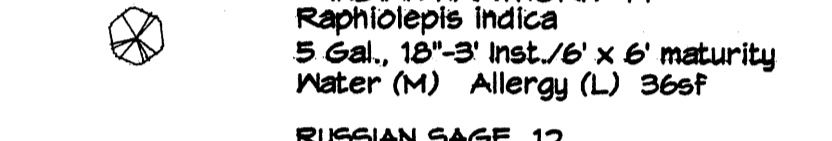
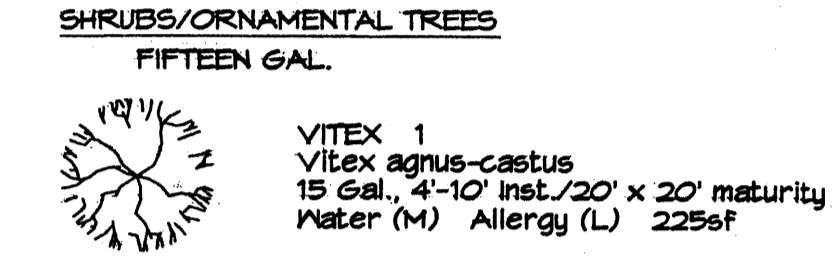
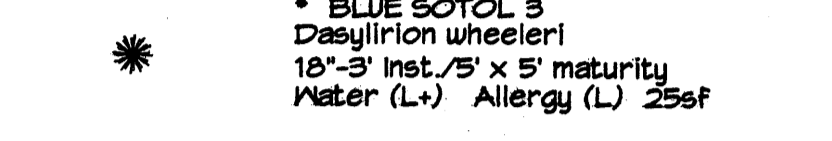
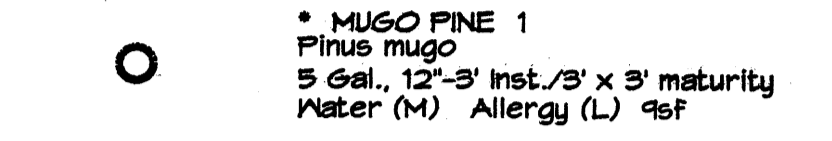
SHEET 2

PLANT LEGEND

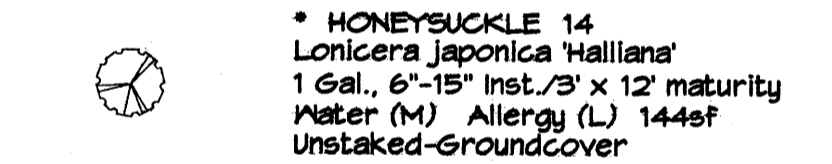
New
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.



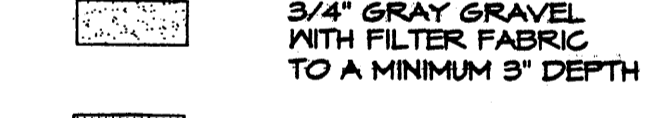
DESERT ACCENTS



GROUNDCOVERS



HARDSCAPES



* DENOTES EVERGREEN PLANT MATERIAL

LANDSCAPE CALCULATIONS

TOTAL SITE AREA	26400	square feet
TOTAL BUILDINGS AREA	2433	square feet
NET SITE AREA	23967	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	3595	square feet
TOTAL BED PROVIDED	6281	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	4711	square feet
EXISTING NEW	4211	square feet
	2070	square feet
TOTAL GROUNDCOVER PROVIDED	5021 (80%)	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	6281 (26%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Claremont
Required # 6 Provided # 6

Name of Street: Carlisle
Required # 5 Provided # 5

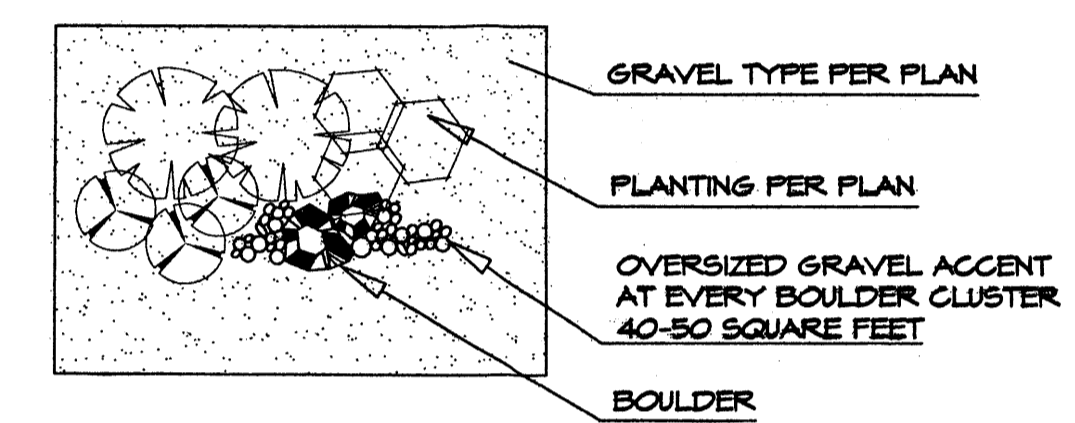
PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 3 Provided # 3

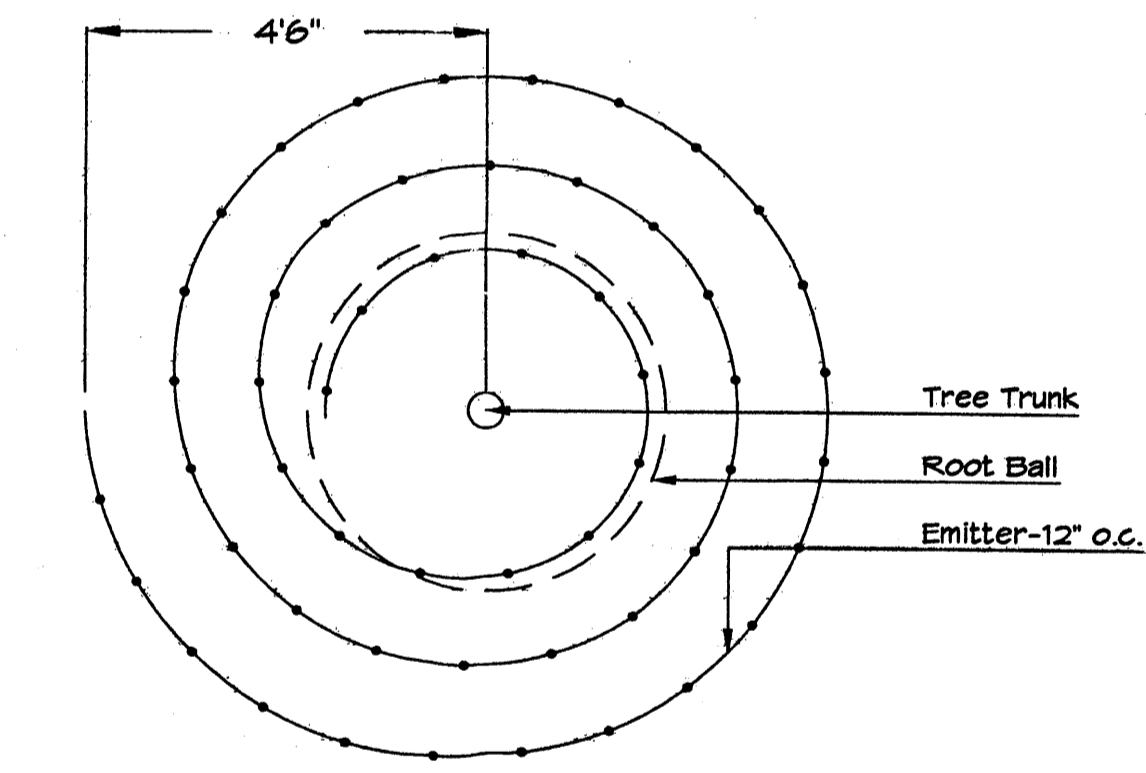
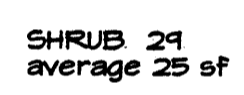
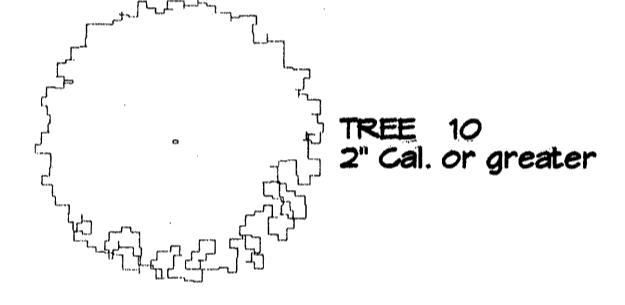
NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

GRAVEL ACCENT DETAIL

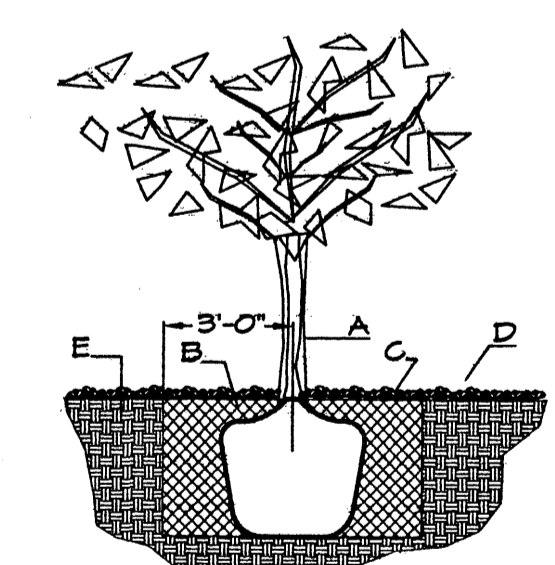


PLANT LEGEND

Existing



Netafim Spiral Detail

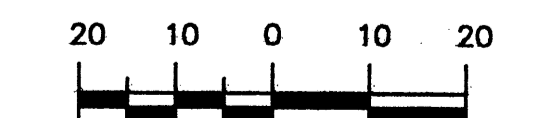


TREE PLANTING DETAIL

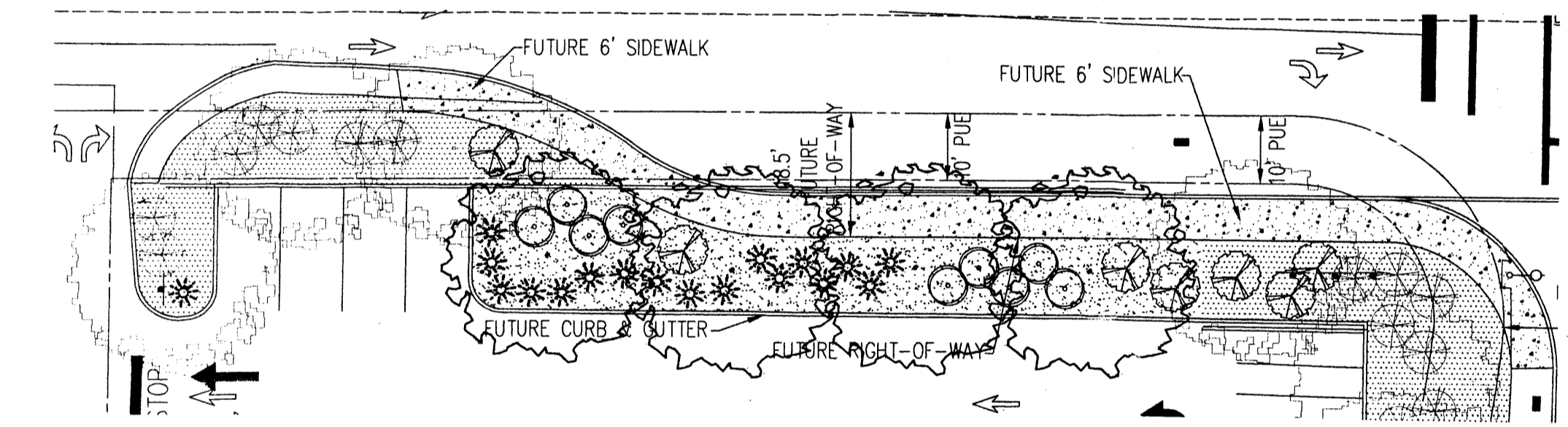
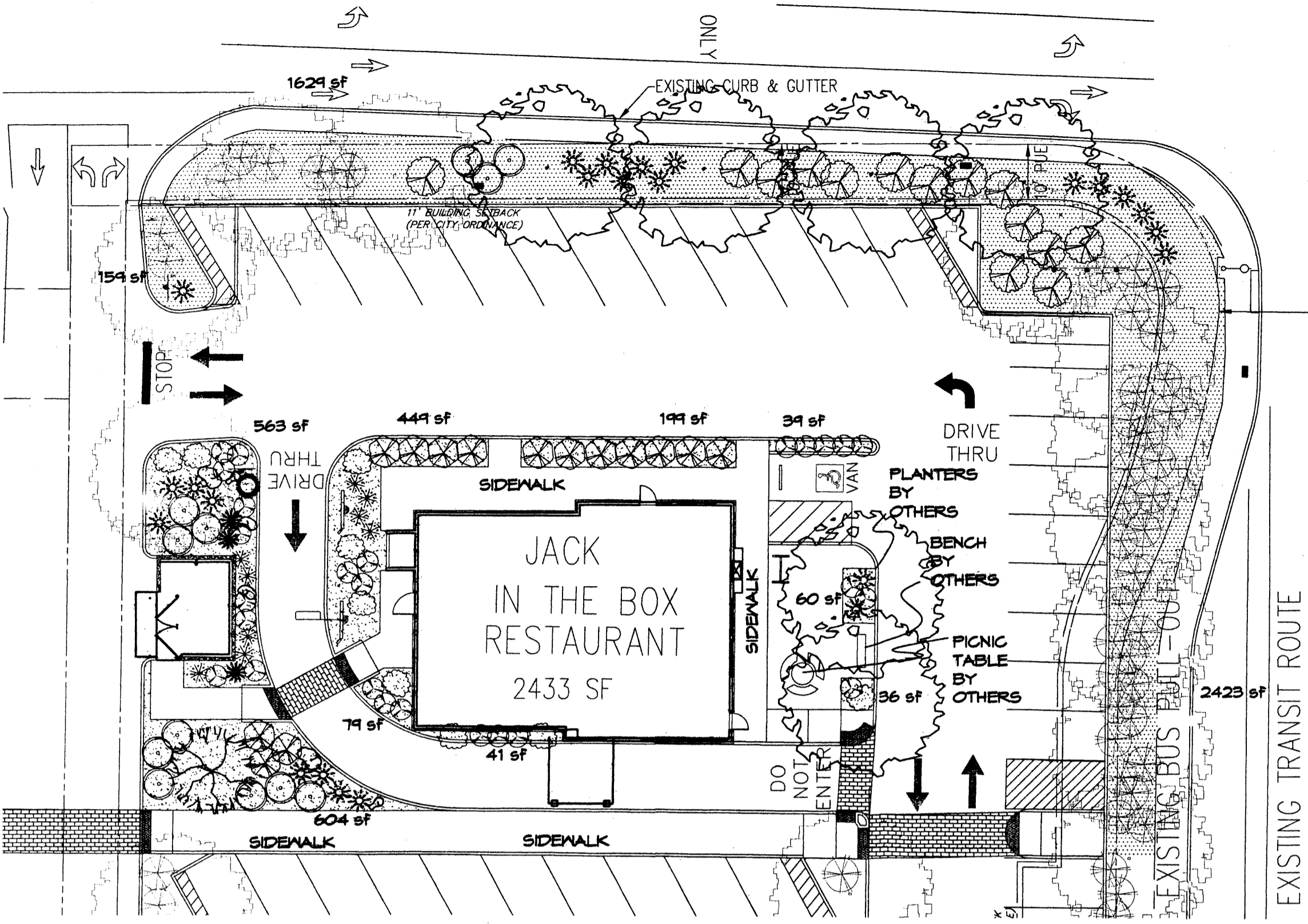
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3\"/>

GRAPHIC SCALE



SCALE: 1"=20'



ILLUSTRATIVE FUTURE RIGHT TURN LANE

1" = 20'

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Crushed Grey gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

- 10-23-08 revised site plan rmc
- 7-25-08 revised site plan rmc

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

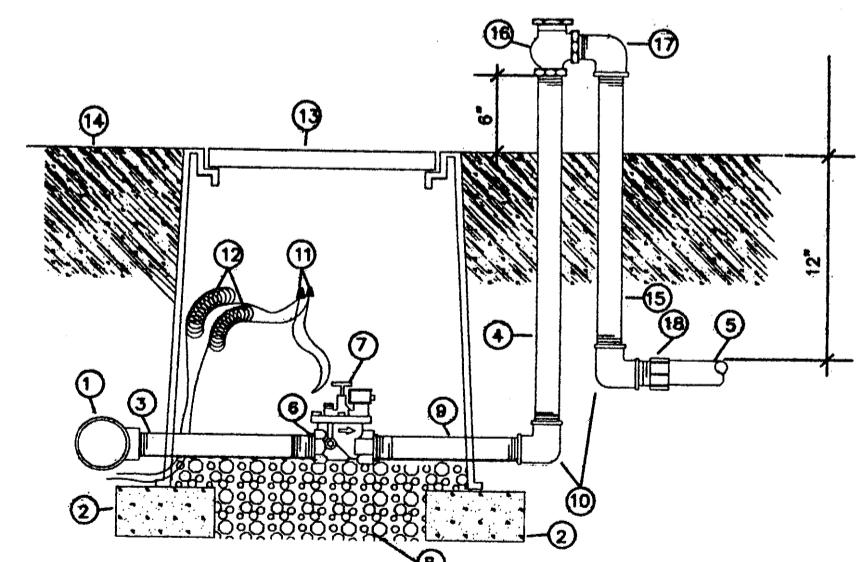
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

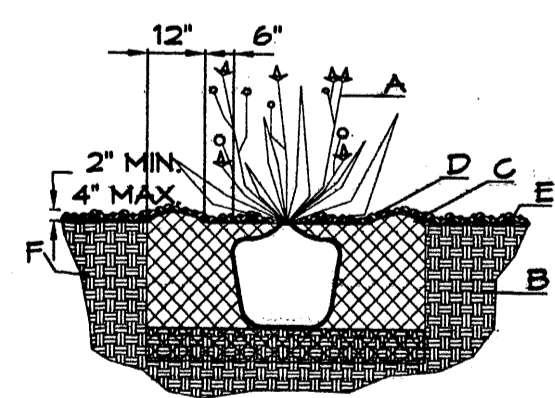
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



- 1. MAINLINE FITTING
- 2. CWI BLOCK
- 3. GALVANIZED NIPPLE
- 4. 24" TO 36" GALVANIZED NIPPLE
- 5. LATERAL PIPE
- 6. REDUCER BUSHING
- 7. AUTOMATIC VALVE (SEE LEGEND)
- 8. GRAVEL
- 9. GALVANIZED NIPPLE
- 10. GALVANIZED NIPPLE
- 11. WATERPROOF WIRE CONNECTOR
- 12. WIRE EXPANSION LOOPS
- 13. VALVE BOX
- 14. FINISH GRADE
- 15. GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16. ATMOSPHERIC VACUUM BREAKER
- 17. GALVANIZED STREET ELL
- 18. TEE NIPPLE OR MALE ADAPTER

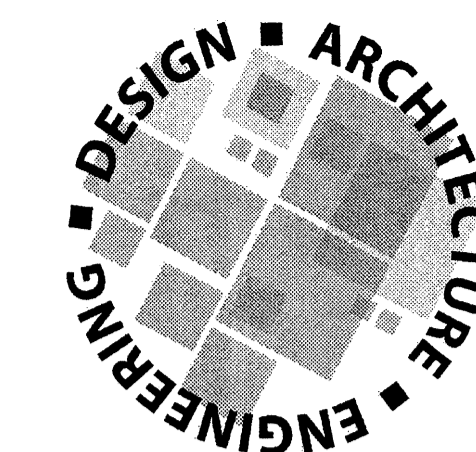
AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



SHRUB PLANTING DETAIL

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

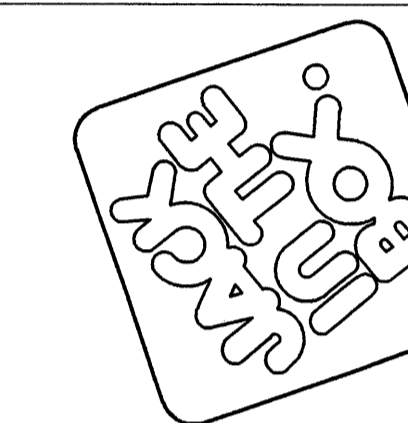
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.



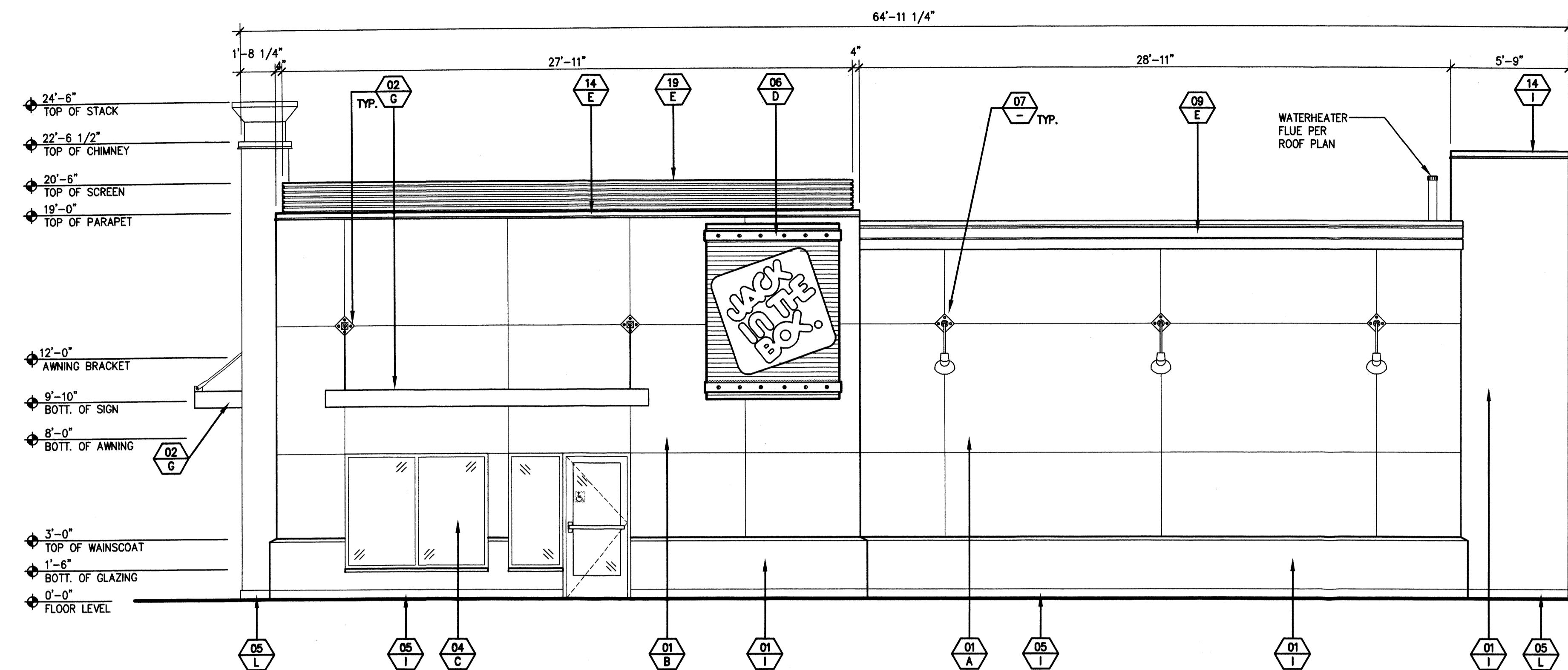
9330 BALBOA AVENUE
SAN DIEGO, CA 92123
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site information

MK TYPE: MK9ALG
JOB #: 1261
ADDRESS:
STREET
CITY, STATE, ZIP
DRAWN BY: LJCA
SCALE: 1/4"=1'-0"

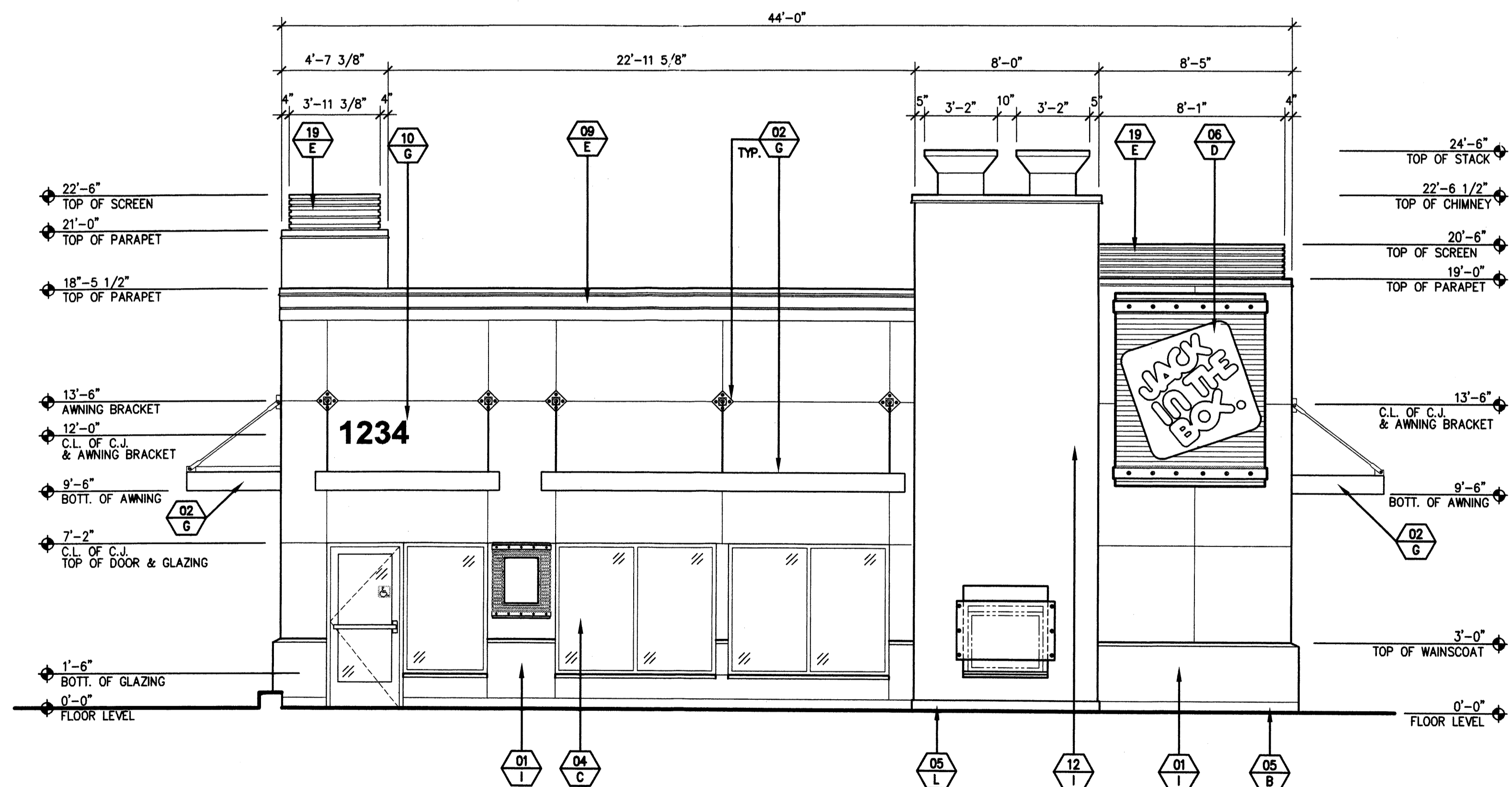


JACK IN THE BOX CONCEPT
#1264 CARLISLE
ALBUQUERQUE, NEW MEXICO



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

01 MATERIAL/FINISH
A COLOR

MATERIAL/FINISH:

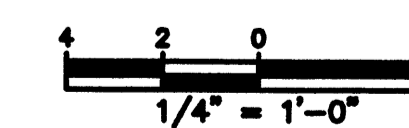
- 01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH
- 02 METAL AWNING & SUPPORT (O.F.C.I.)
- 03 24" x 36" S.S. FLASHING AT GREASE RECOVERY TAP IN
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
- 1" CLEAR INSULATED GLASS
- 1/4" CLEAR GLASS
- 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
- ANTI-GRAFFITI FILM
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I.)
- 07 WALL MOUNTED LIGHTING FIXTURE, SEE DETAIL 16/A9.3 FOR ATTACHMENT.
- 08 NOT USED
- 09 PREFORMED GALVANIZED METAL FASCIA
- 10 BUILDING ADDRESS LETTERS
- 11 NOT USED
- 12 NOT USED
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 GALVANIZED METAL COPING
- 15 CO2 FILL BOX METAL COVER
- 16 SERVICE DOOR BUZZER
- 17 NOT USED
- 18 NOT USED
- 19 PREFORMED GALVANIZED METAL SCREEN
- 20 GALVANIZED METAL TRIM
- 21 NOT USED
- 22 NOT USED
- 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
- 24 NOT USED

COLOR:

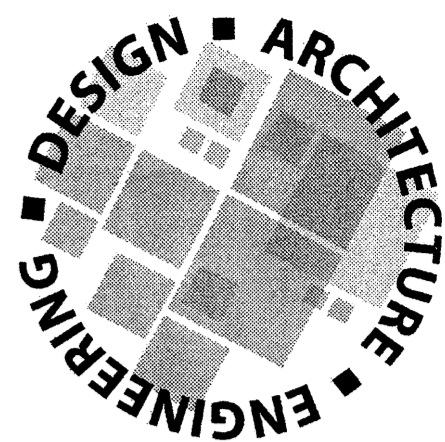
- A COLOR TO MATCH SHERWIN WILLIAMS: SW 7037 "BALANCED BEIGE"
- B SHERWIN WILLIAMS: SW 6328 "FIREWEED"
- C STANDARD STOREFRONT; #33 BLACK ANODIZED
- D WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SURROUND TRIM
- E DARK GRAY - GALV. FINISH
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVIAR".
- H MIL FINISH ALUMINUM
- I SHERWIN WILLIAMS: SW 7039 "VIRTUAL TAUPE"
- K SHERWIN WILLIAM EXTERIOR ACCENTS COLOR: SW 6990 "CAVIAR"
- L NATURAL CONCRETE, GRAY
- M STAINLESS STEEL

NOTES:

1. C.J. = PLASTER CONTROL JOINT PER 9/A9.2
2. ALL PLASTER ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.)
3. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.



PRELIMINARY. NOT FOR CONSTRUCTION. 10-22-08



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site information

MK TYPE: MK9ALG

JIB #: 1261

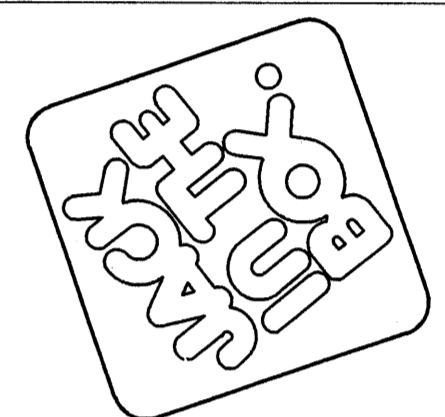
ADDRESS:

STREET

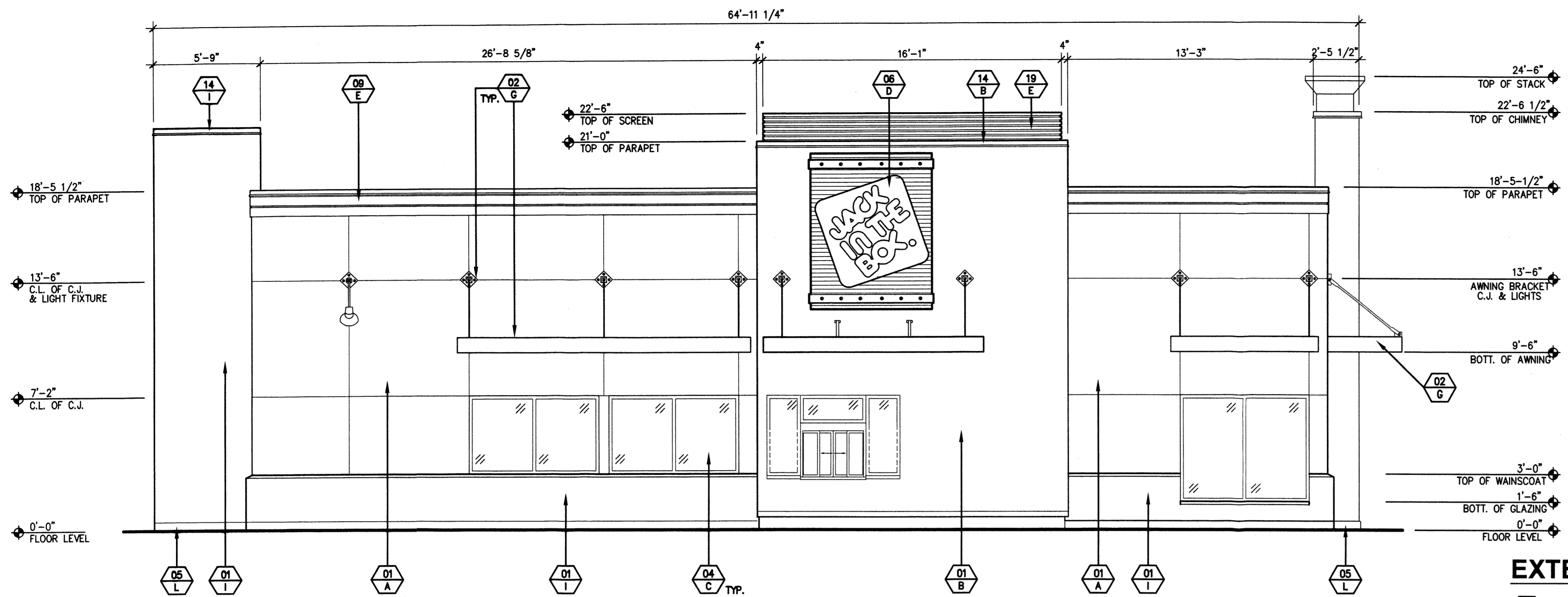
CITY, STATE, ZIP

DRAWN BY: LUCA

SCALE: 1/4" = 1'-0"



JACK IN THE BOX CONCEPT
#1264 CARLISLE
ALBUQUERQUE, NEW MEXICO



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

01 — MATERIAL/FINISH
A — COLOR

MATERIAL/FINISH:

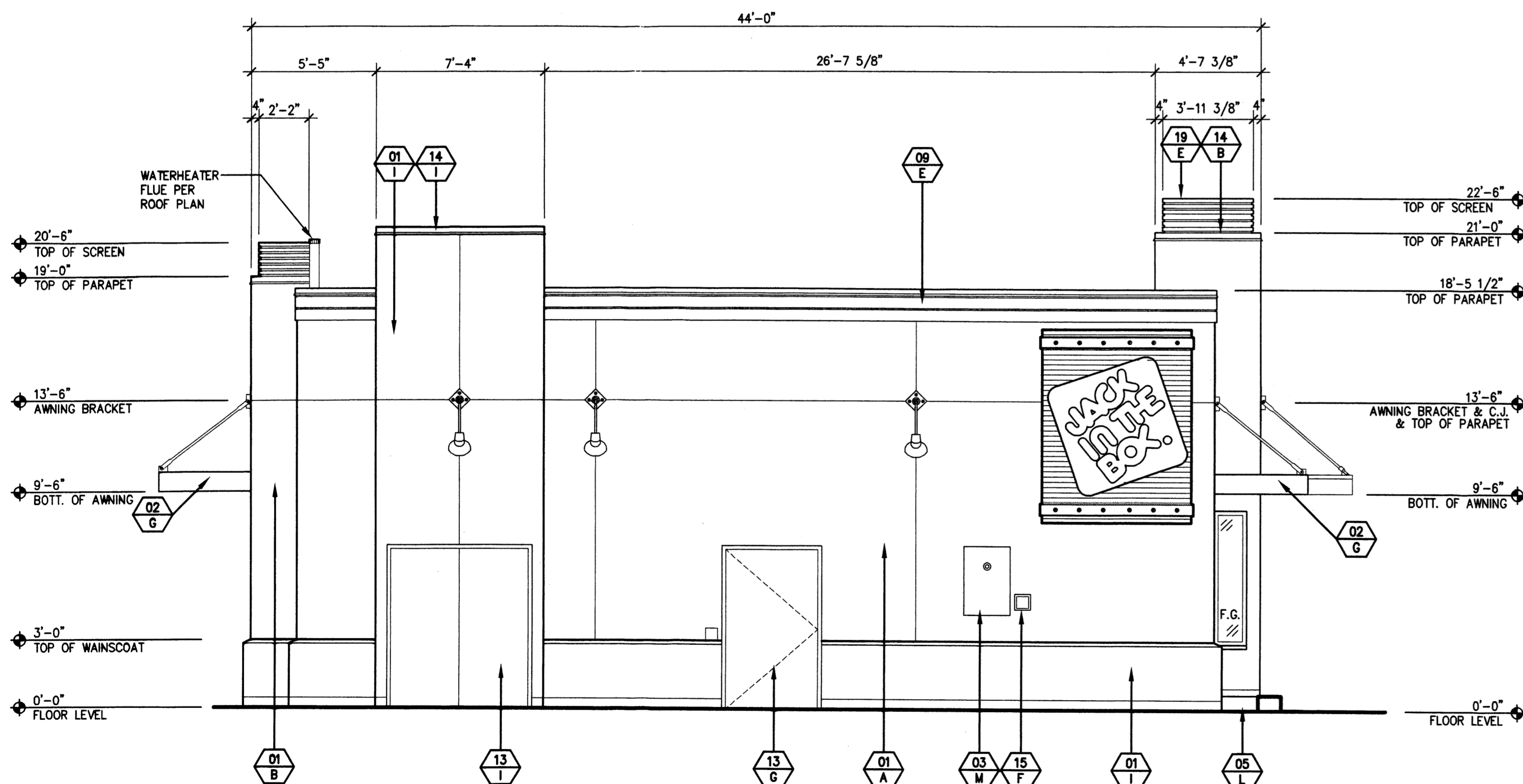
- 01 EXTERIOR CEMENT PLASTER— SAND FLOAT FINISH
- 02 METAL AWNING & SUPPORT (O.F.C.I.)
- 03 24" x 36" S.S. FLASHING AT GREASE RECOVERY TAP IN
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
 - 1" CLEAR INSULATED GLASS
 - 1/4" CLEAR GLASS
 - 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
 - ANTI-GRAFFITI FILM
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I.)
- 07 WALL MOUNTED LIGHTING FIXTURE, SEE DETAIL 16/A9.3 FOR ATTACHMENT.
- 08 NOT USED
- 09 PREFORMED GALVANIZED METAL FASCIA
- 10 BUILDING ADDRESS LETTERS
- 11 NOT USED
- 12 NOT USED
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 GALVANIZED METAL COPING
- 15 CO2 FILL BOX METAL COVER
- 16 SERVICE DOOR BUZZER
- 17 NOT USED
- 18 NOT USED
- 19 PREFORMED GALVANIZED METAL SCREEN
- 20 GALVANIZED METAL TRIM
- 21 NOT USED
- 22 NOT USED
- 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
- 24 NOT USED

COLOR:

- A COLOR TO MATCH SHERWIN WILLIAMS: SW 7037 "BALANCED BEIGE"
- B SHERWIN WILLIAMS: SW 6328 "FIREWEED"
- C STANDARD STOREFRONT; #33 BLACK ANODIZED
- D WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SURROUND TRIM
- E DARK GRAY — GALV. FINISH
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVIAR".
- H MIL FINISH ALUMINUM
- I SHERWIN WILLIAMS: SW 7039 "VIRTUAL TAUPE"
- K SHERWIN WILLIAM EXTERIOR ACCENTS COLOR: SW 6990 "CAVIAR"
- L NATURAL CONCRETE, GRAY
- M STAINLESS STEEL

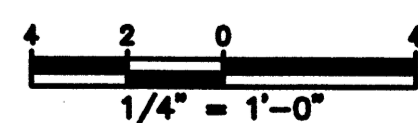
NOTES:

1. C.J. = PLASTER CONTROL JOINT PER 9/A9.2
2. ALL PLASTER ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.)
3. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.



WEST ELEVATION

SCALE: 1/4" = 1'-0"



PRELIMINARY. NOT FOR CONSTRUCTION. 10-22-08

CLIENT



PROJECT
JACK IN THE BOX #1264

LOCATION
CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM

SHEET TITLE
SITE PLAN AND SIGN KEY

ACCT. REP.
RACHEL MAUCK
DESIGNER
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

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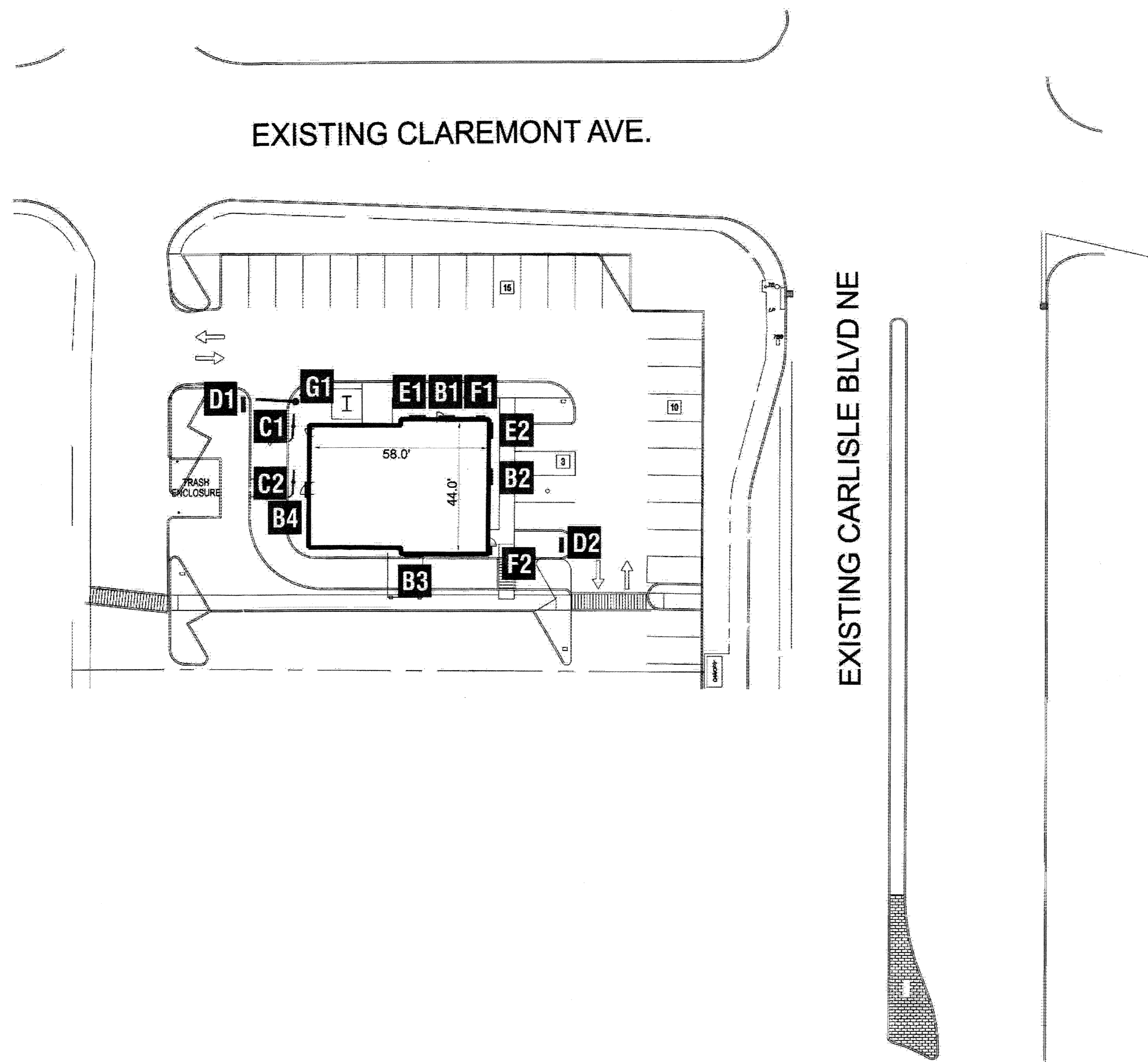
DWG#	PROJECT #
08-330	305689
REVISION NO.	WD#
0	000000

REVISIONS			
NO.	DATE	DESIGNER	DATE
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2			8
3			8
4			10
5			11
6			12

KEY NO.

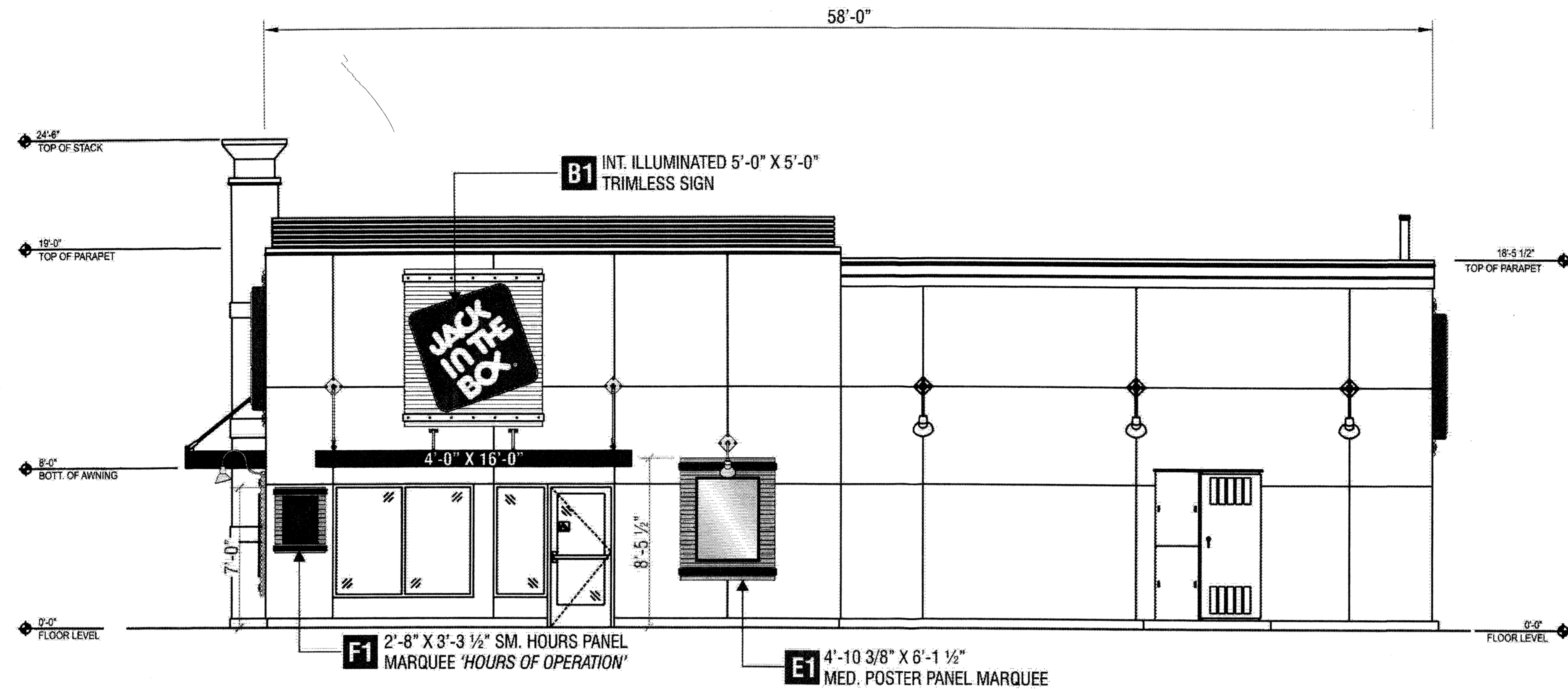
KEY

- B1** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" TRIMLESS WALL SIGN ("JIB").
- B2** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" TRIMLESS WALL SIGN ("JIB").
- B3** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" TRIMLESS WALL SIGN ("JIB").
- B4** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" TRIMLESS WALL SIGN ("JIB").
- C1** INTERNALLY ILLUMINATED 4'-0" X 7'-0" PREVIEW BOARD @ 5'-8" OVERALL HEIGHT.
- C2** INTERNALLY ILLUMINATED 4'-0" X 7'-0" SPEAKER STATION @ 5'-8" OVERALL HEIGHT.
- D1** D/F INTERNALLY ILLUMINATED 1'-8" X 1'-8" DIRECTIONAL SIGN @ 3'-0" O.A. HT. ("DRIVE THRU").
- D2** D/F INTERNALLY ILLUMINATED 1'-8" X 1'-8" DIRECTIONAL SIGN @ 3'-0" O.A. HT. ("THANK YOU/DO NOT ENTER").
- E1** 4'-10 3/8" X 6'-1 1/2" MEDIUM POSTER MARQUEE.
- E2** 4'-10 3/8" X 6'-1 1/2" MEDIUM POSTER MARQUEE..
- F1** 2'-8" X 3'-3 1/2" HOURS PANEL MARQUEE. "HOURS OF OPERATION"
- F2** 2'-8" X 3'-3 1/2" HOURS PANEL MARQUEE. "HOURS OF OPERATION"
- G1** HEIGHT DETECTOR. (SIGN PERMIT NOT REQUIRED).



SITE PLAN
SCALE: 1" = 25'-0"

PRODUCTION APPROVAL	
APPROVED BY:	DATE:



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

CLIENT



PROJECT
JACK IN THE BOX #1264

LOCATION
CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM

SHEET TITLE
ELEVATIONS

ACCT. REP.
RACHEL MAUCK
DESIGNER
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

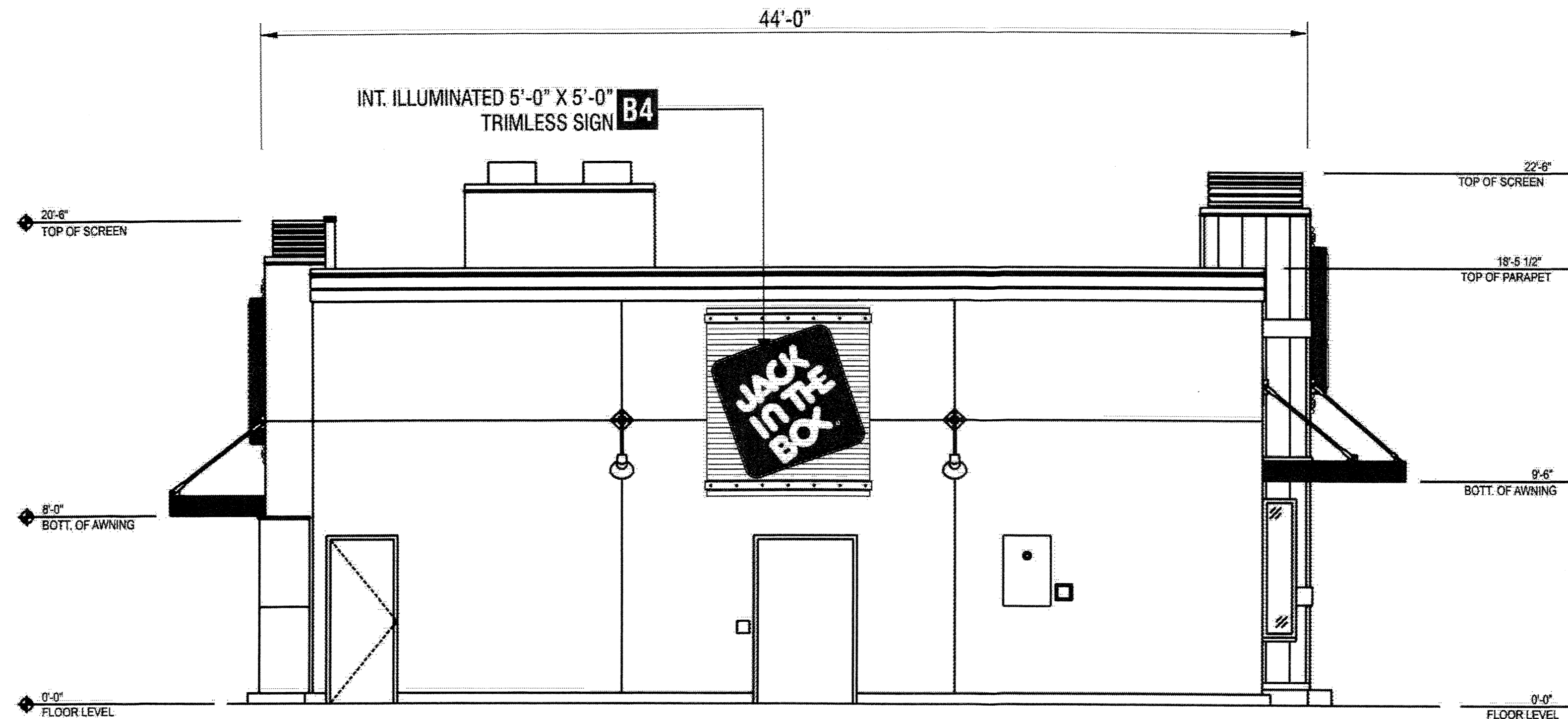
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DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WD#	000000

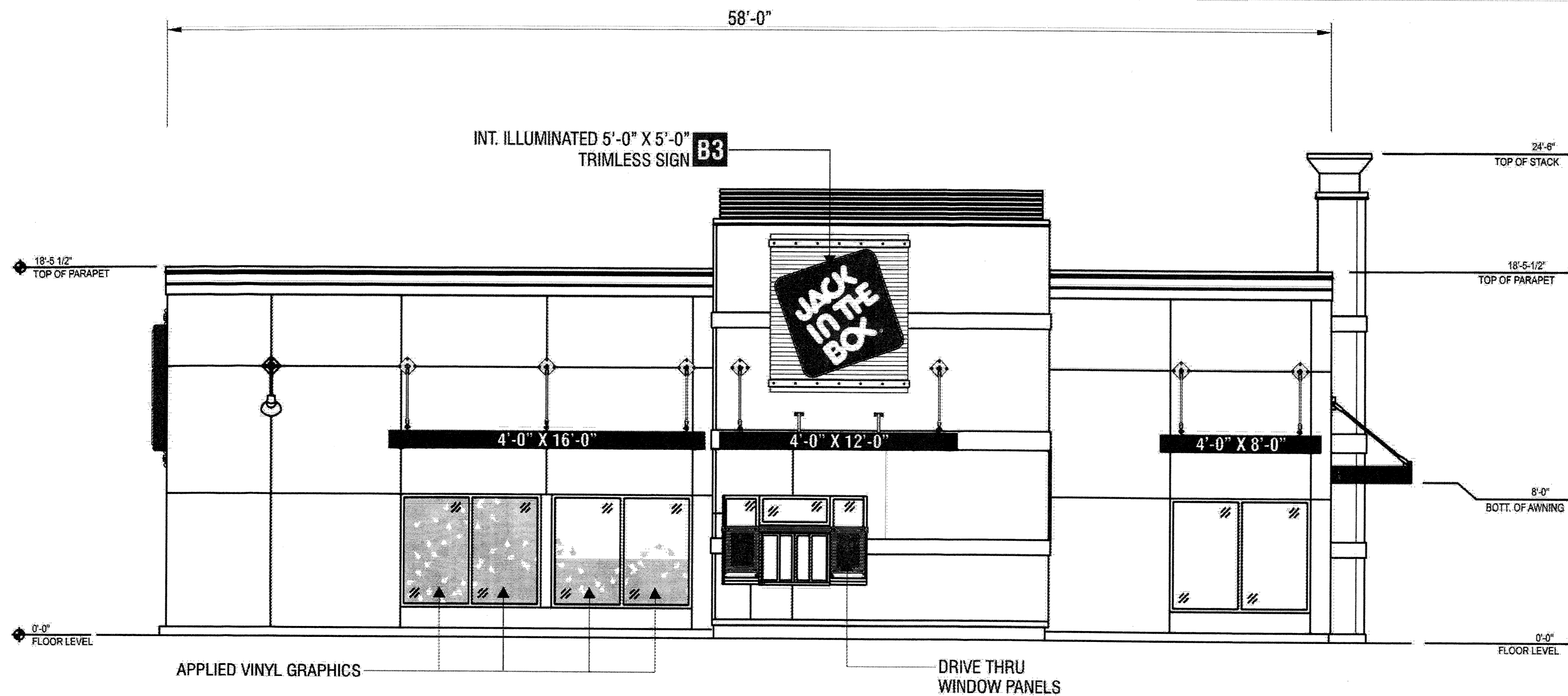
REVISIONS			
1		7	
2		8	
3		9	
4		10	
5		11	
6		12	

KEY NO.
B1 B2 E1 E2 F1 F2



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

CNP

SIGNS & GRAPHICS

4530 Mission Gorge Place
San Diego, CA 92120
Tel: 619.283.2191
Fax: 619.283.9503
Web: www.cnpsigns.com

CLIENT



PROJECT
JACK IN THE BOX #1264

LOCATION
CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM

SHEET TITLE
ELEVATIONS

ACCT. REP.
RACHEL MAUCK
DESIGNER
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

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DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WC#	000000

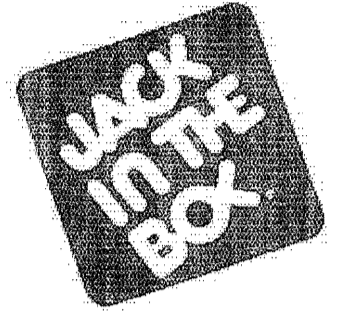
REVISIONS			
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4		10	
5		11	
6		12	

KEY NO.

B3 B4

SHEET 7

CLIENT



PROJECT
JACK IN THE BOX #1264

LOCATION
CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM

SHEET TITLE
WALL SIGNS

ACCT. REP.
RACHEL MAUCK
DESIGNER
ANDY LIBERTO

DATE
5/30/08
SCALE
NOTED

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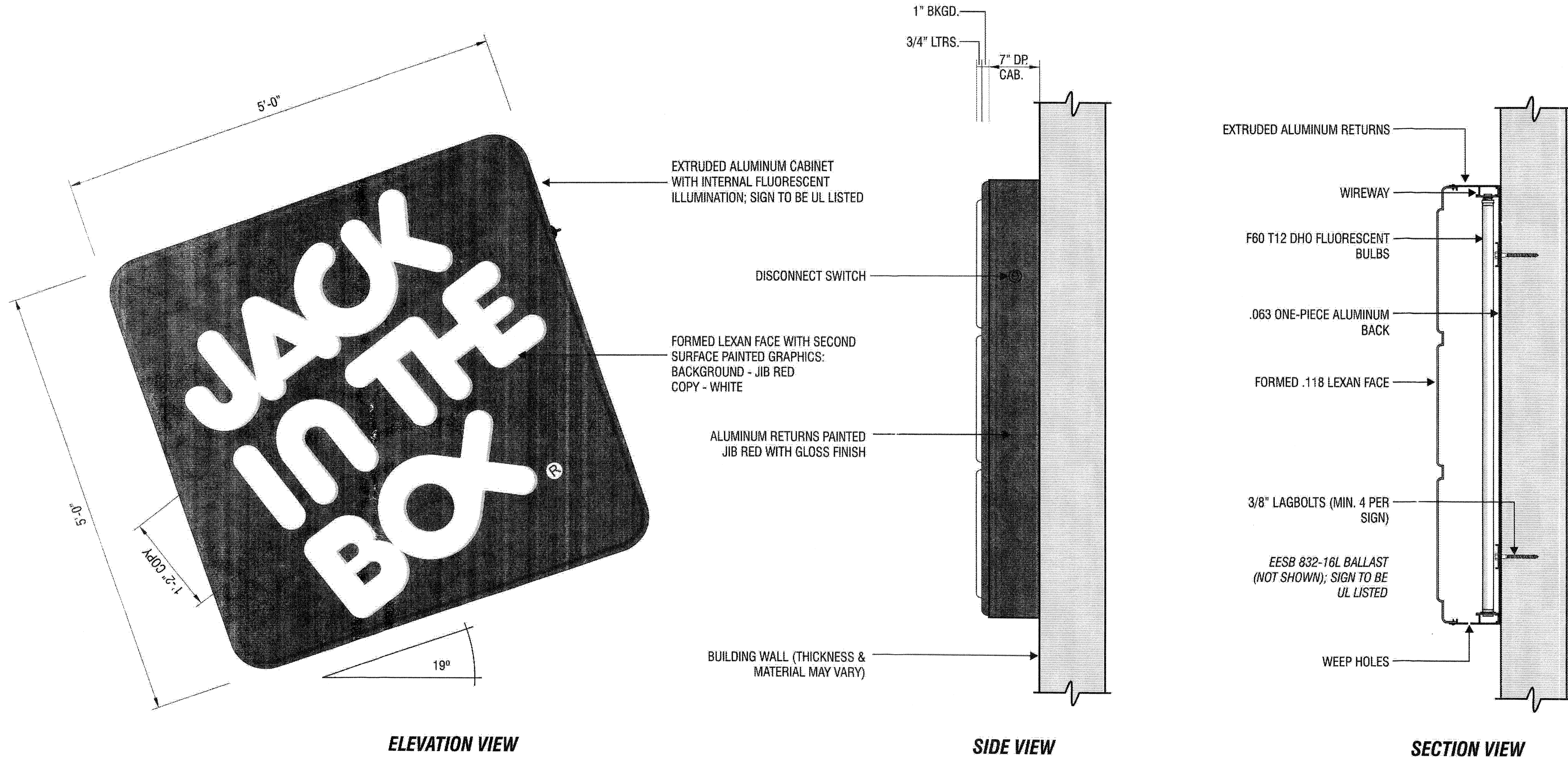
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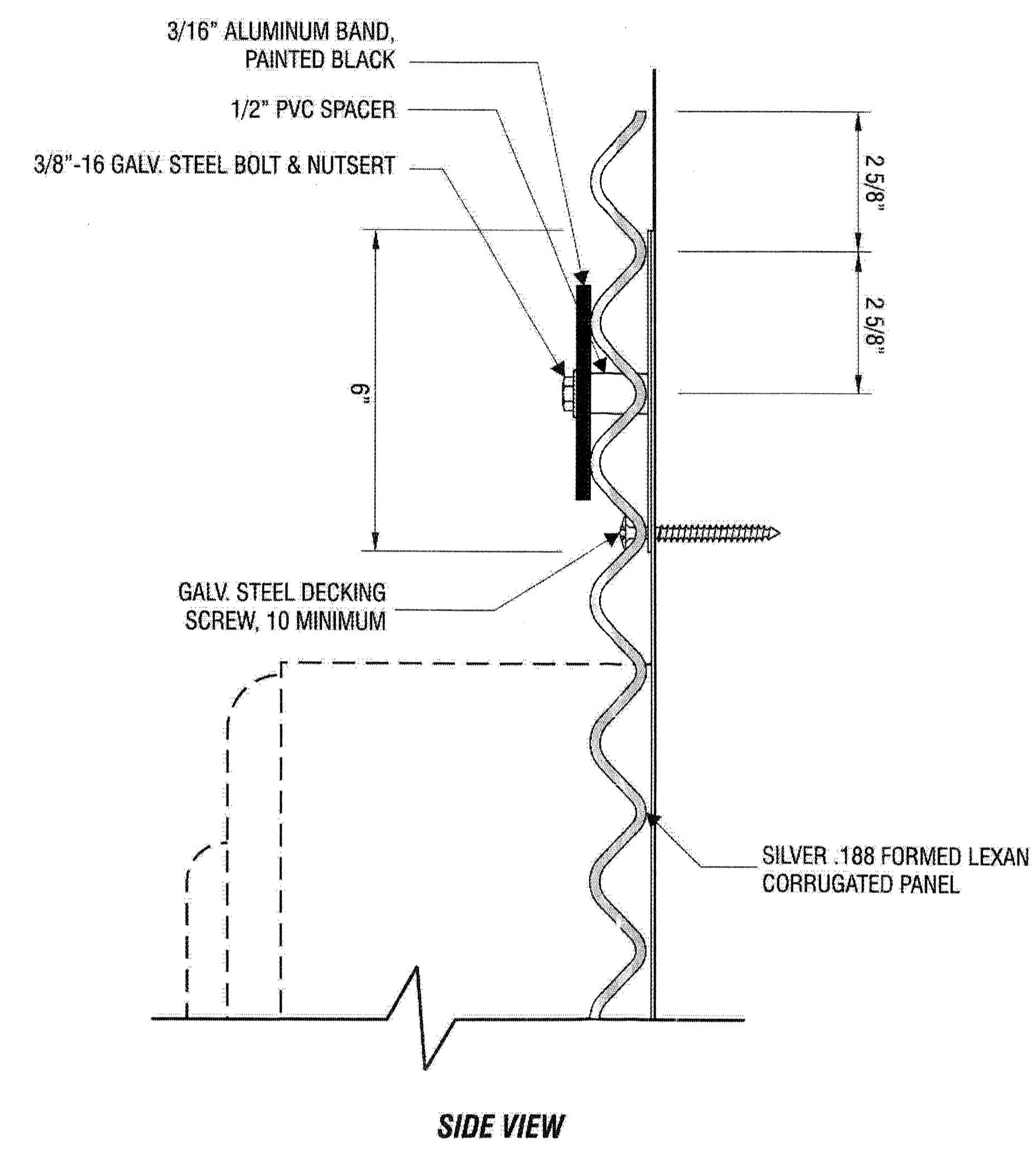
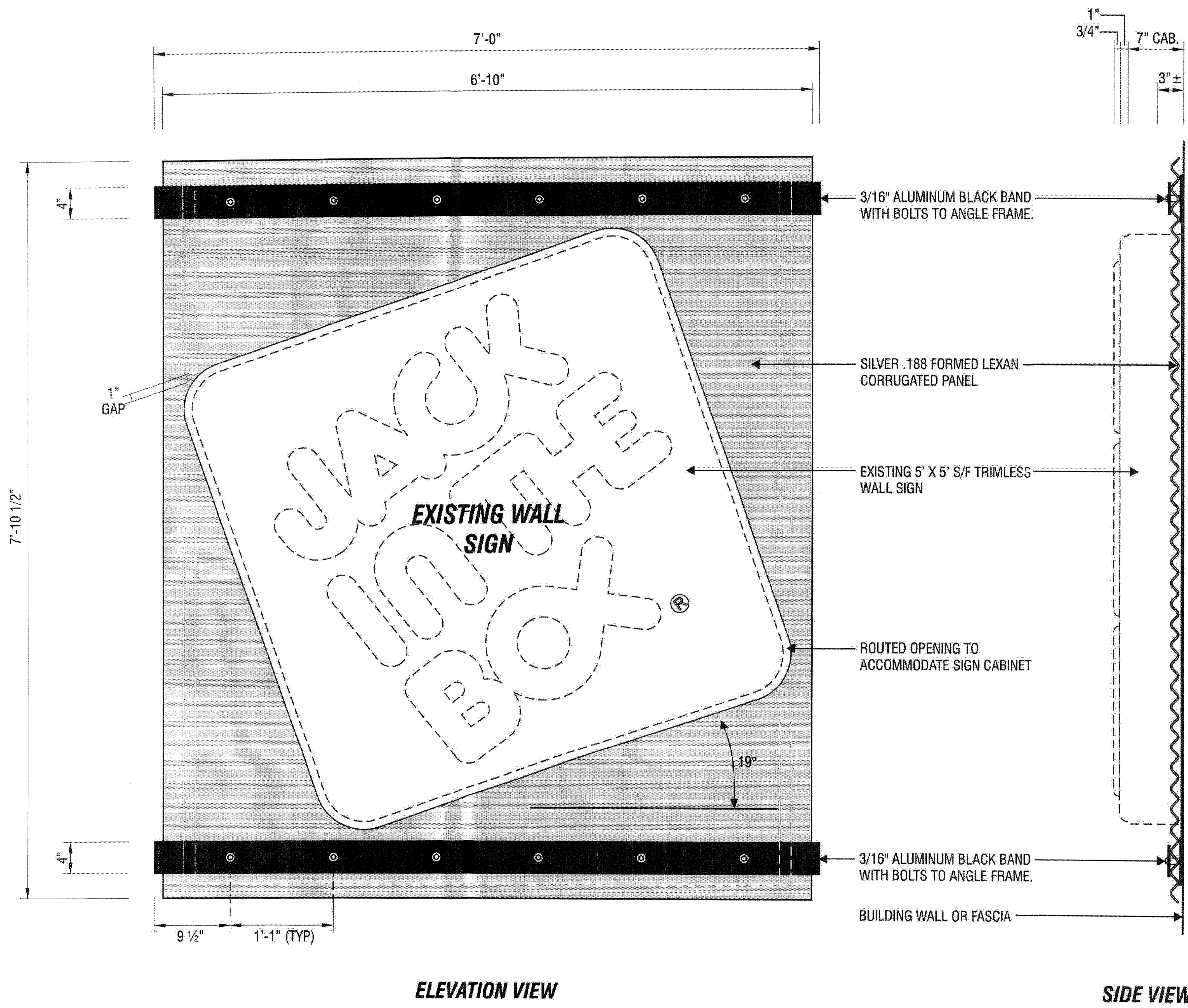
DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WO#	000000

REVISIONS			
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4		10	
5		11	
6		12	

KEY NO.
B1 B2 B3 B4



5' X 5' S/F TRIMLESS BUILDING SIGN
SCALE: 1 1/2" = 1'-0"



ATTACHMENT & FRAME/ BRACKET DETAIL
SCALE: 6" = 1'-0"

CLIENT
JACK IN THE BOX
PROJECT
JACK IN THE BOX #1264

LOCATION
CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM
SHEET TITLE
CORRUGATED PANELS

ACCT. REP.
RACHEL MAUCK
DESIGNER
ANDY LIBERTO
DATE
5/30/08
SCALE
NOTED

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DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WD#	000000

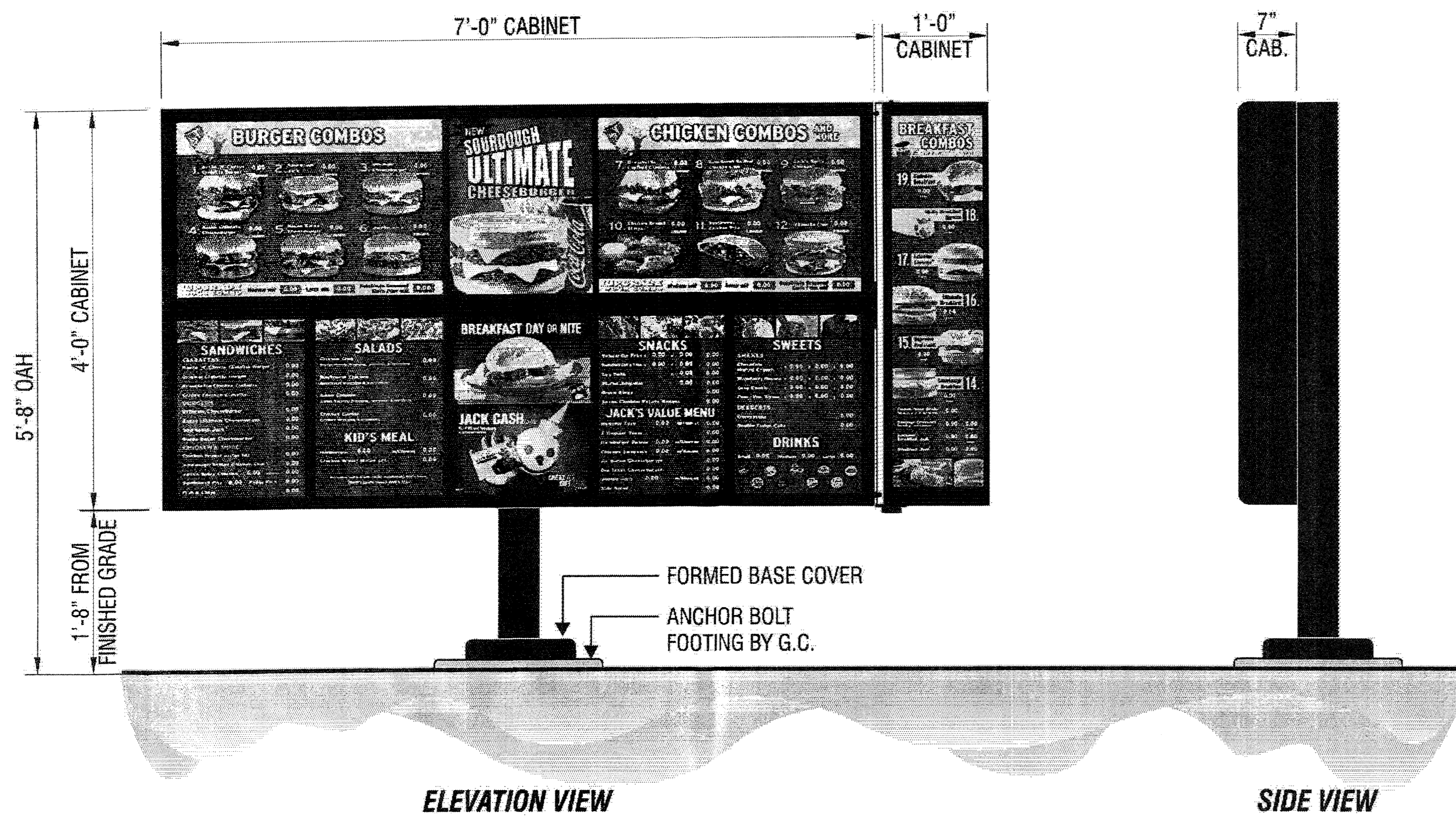
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KEY NO.

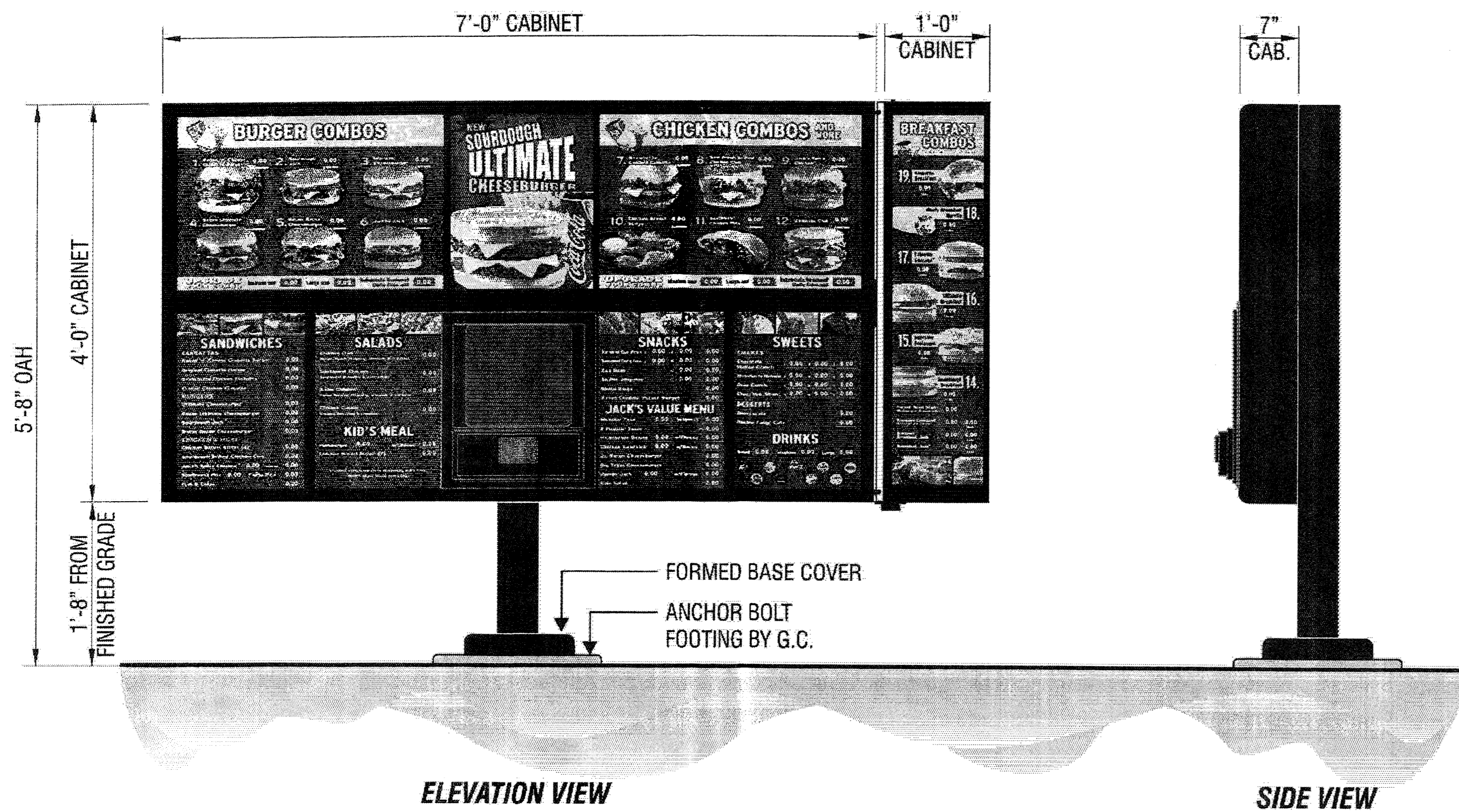
CORRUGATED SURROUND - 5' X 5' TRIMLESS WALL SIGN

SCALE: 1 1/2" = 1'-0"



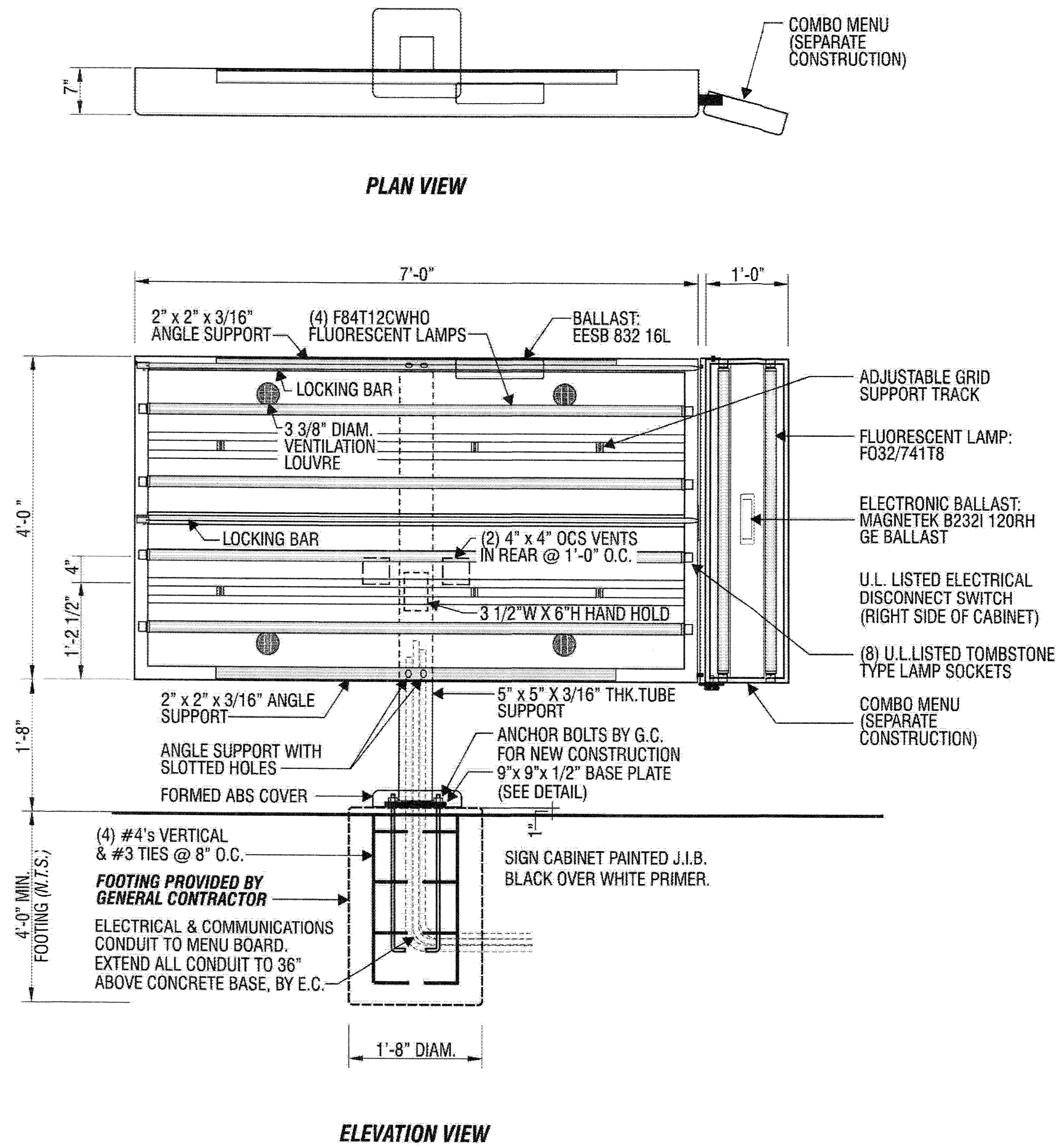
S/F PREVIEW MENU

SCALE: 1" = 1'-0"



S/F SPEAKER STATION

SCALE: 1" = 1'-0"



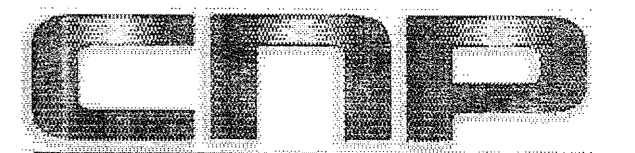
TYPICAL CONSTRUCTION & FOOTING DETAIL

SCALE: 1" = 1'-0"

GENERAL SPECIFICATIONS

EXTRUDED ALUMINUM CABINET WITH FLUORESCENT ILLUMINATION. CABINET PAINTED JIB BLACK WITH SATIN FINISH; FACES TO BE U.V. POLYCARBONATE OVER JIB MENU GRIDS.

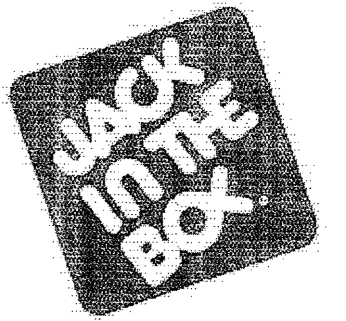
SQUARE TUBE STEEL SUPPORT POLE PAINTED JIB BLACK WITH SATIN FINISH.



SIGNS & GRAPHICS

4530 Mission Gorge Place
San Diego, CA 92120
Tel: 619.283.2191
Fax: 619.283.9503
Web: www.cnpsigns.com

CLIENT



PROJECT
JACK IN THE BOX #1264

LOCATION
CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM

SHEET TITLE
MENUS

ACCT. REP.
RACHEL MAUCK
DESIGNER
ANDY LIBERTO

DATE
5/30/08
SCALE
NOTED

CUSTOMER APPROVAL

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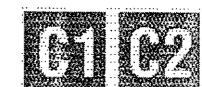
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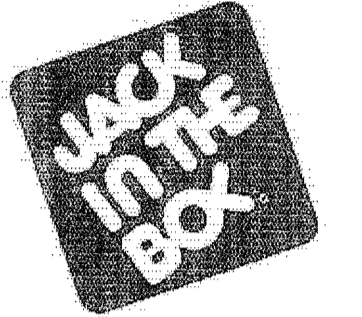
DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WOP	000000

REVISIONS			
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2		8	
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6		12	

KEY NO.



CLIENT



PROJECT
JACK IN THE BOX #1264

LOCATION
CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM

SHEET TITLE
DIRECTIONAL SIGNS

ACCT. REP.
RACHEL MAUCK
DESIGNER
ANDY LIBERTO

DATE
5/30/08
SCALE
NOTED

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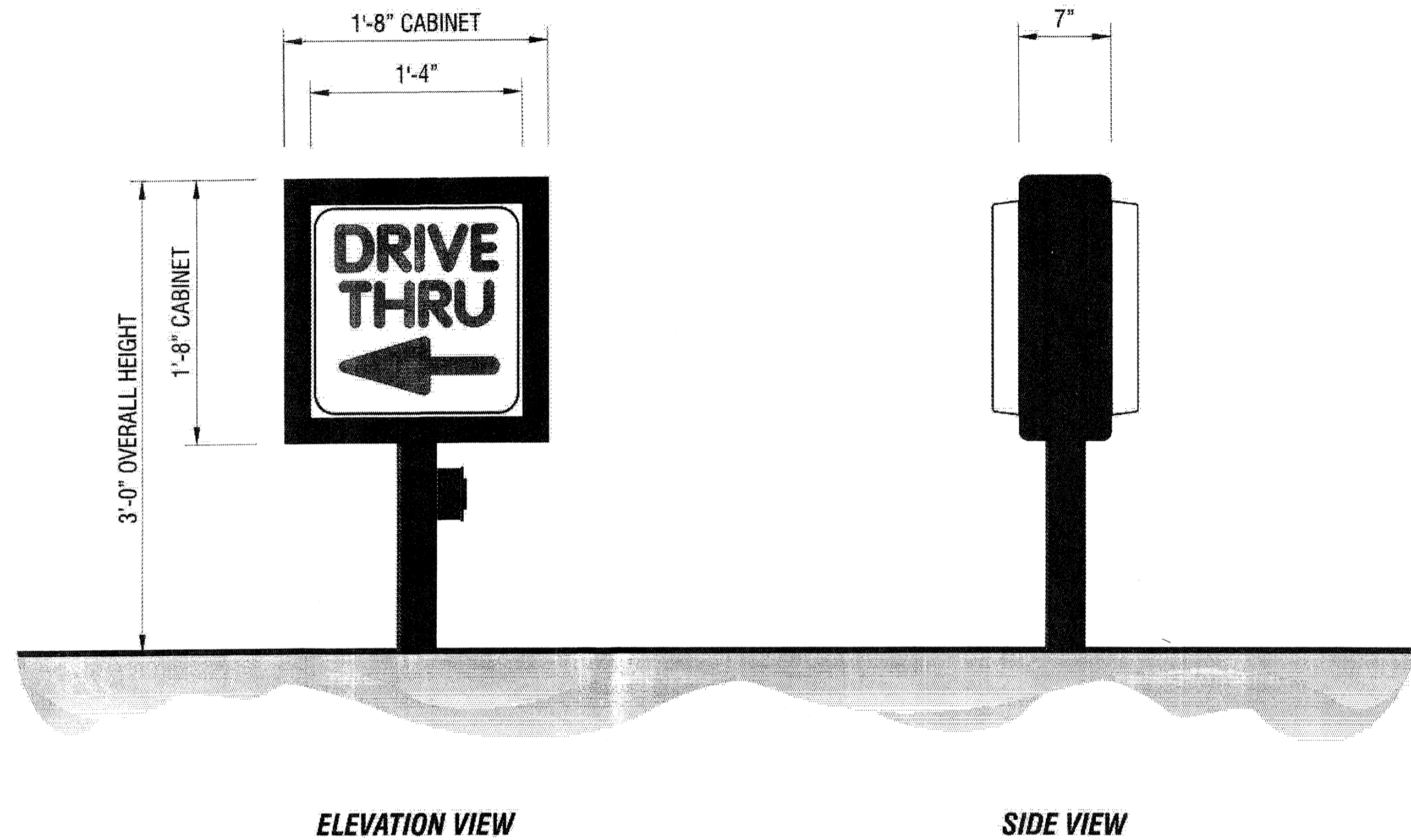
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DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WD#	000000

REVISIONS			
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3		9	
4		10	
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6		12	

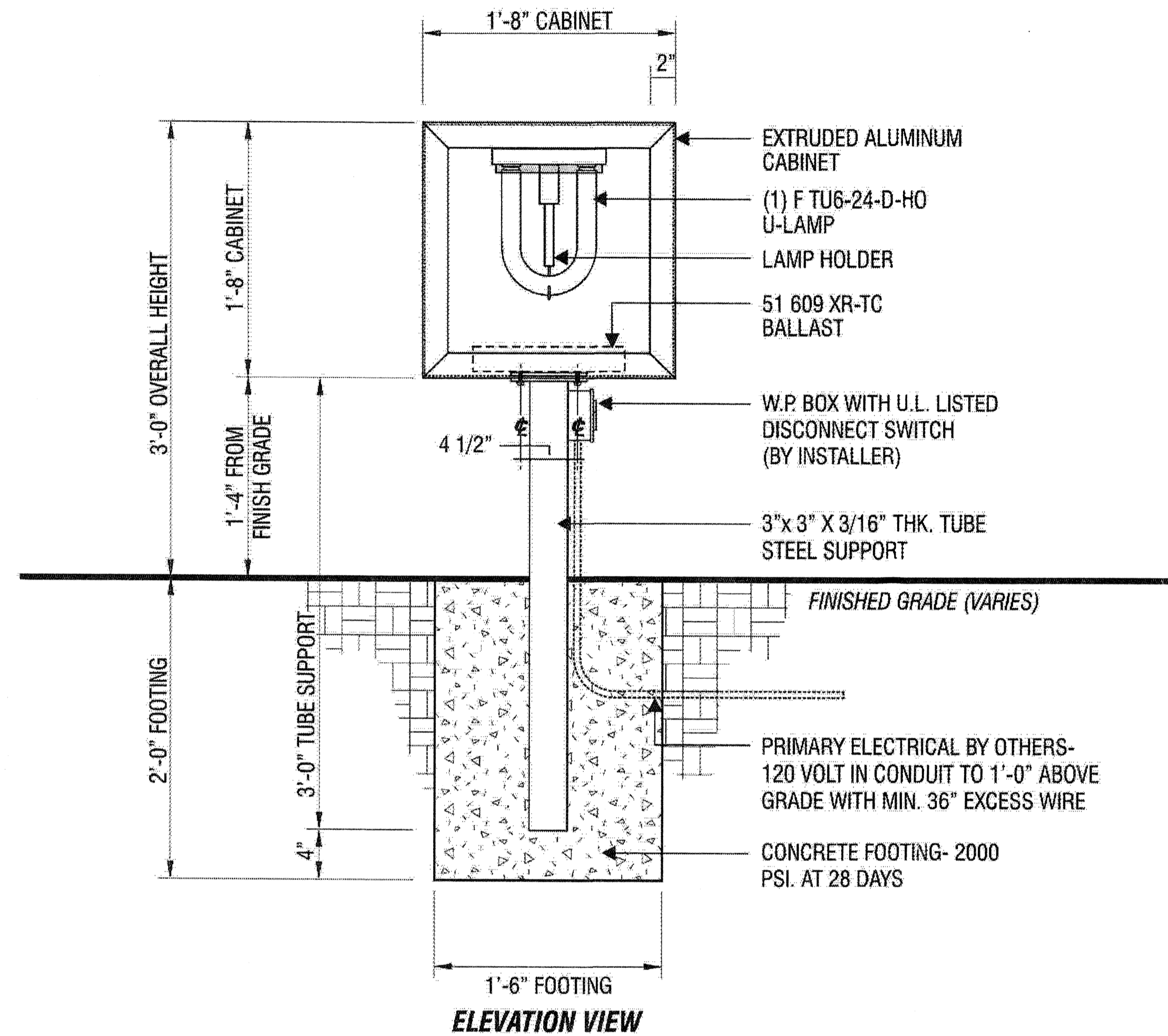
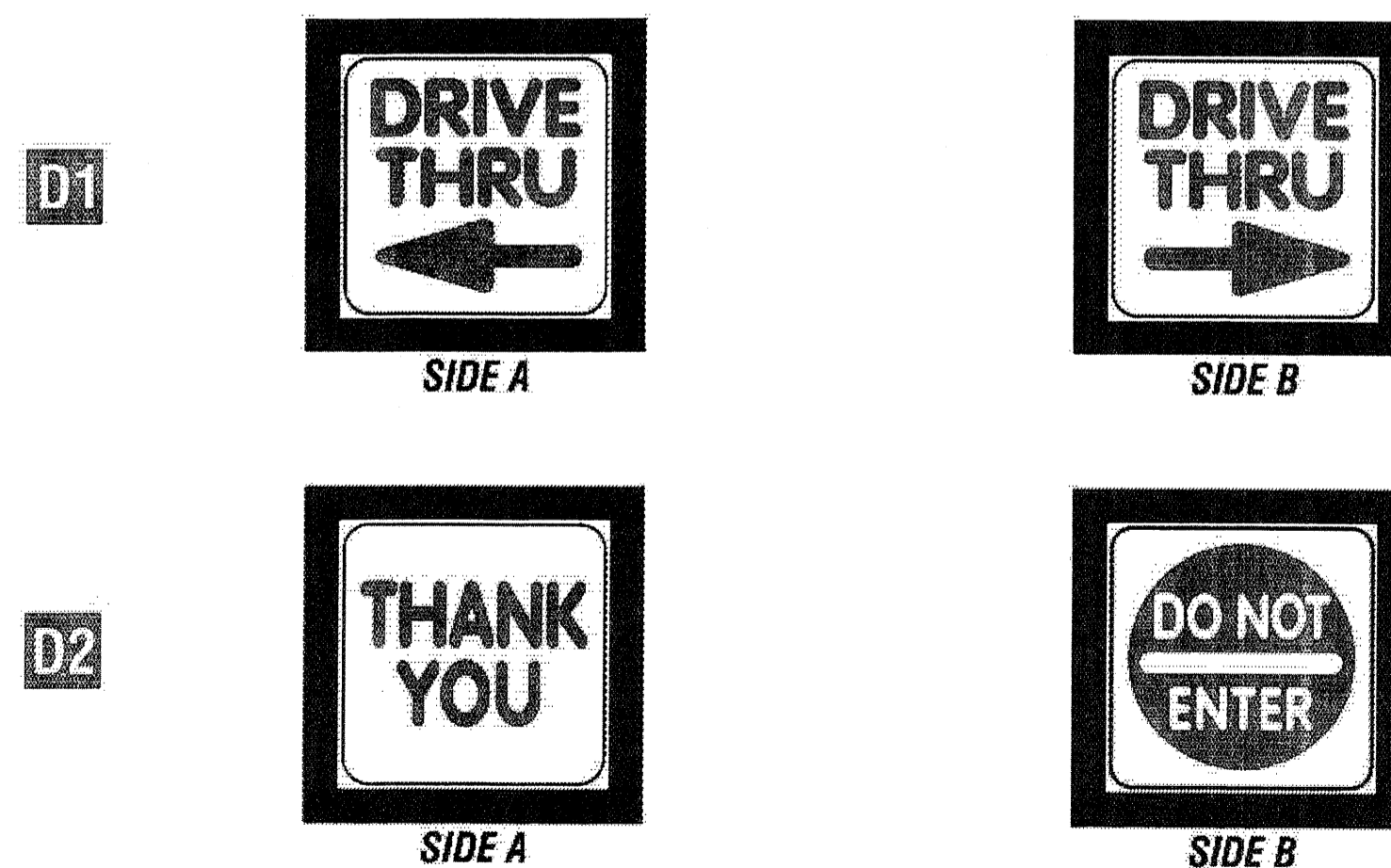
KEY NO.

D1 D2



D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN

SCALE: 1 1/2" = 1'-0"



D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN STRUCTURAL DETAIL

SCALE: 1 1/2" = 1'-0"

MATERIALS:

SIGN FACE: U.V. POLYCARBONATE WITH FORMED PAN AND APPLIED GRAPHICS
CABINET: EXTRUDED ALUMINUM
POLE: STRUCTURAL STEEL SQ. TUBE

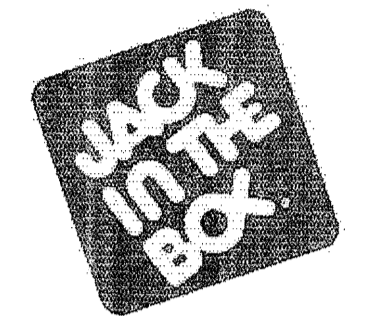
ILLUMINATION:

FLUORESCENT

COLORS:

SIGN FACE (FIELD): WHITE
LETTERS: FIRST-SURFACE APPLIED JIB RED (3M VQ 9406)
SIGN CABINET: JIB BLACK
POLE: JIB BLACK

CLIENT



PROJECT
JACK IN THE BOX #1264

LOCATION
CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM

SHEET TITLE
MEDIUM MARQUEE

ACCT. REP
RACHEL MAUCK
DESIGNER
ANDY LIBERTO

DATE
5/30/08
SCALE
NOTED

CUSTOMER APPROVAL

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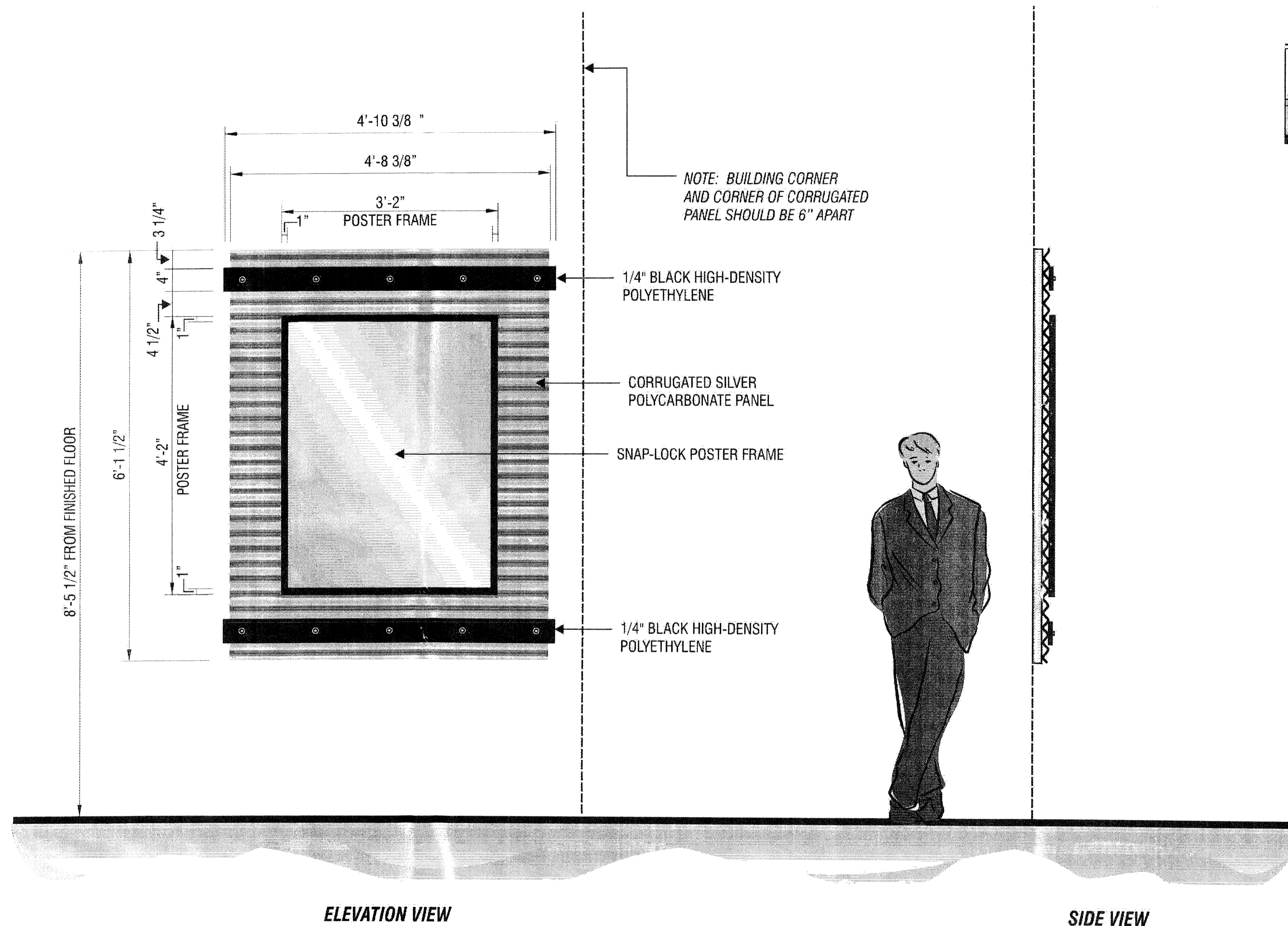
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DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WOP#	000000

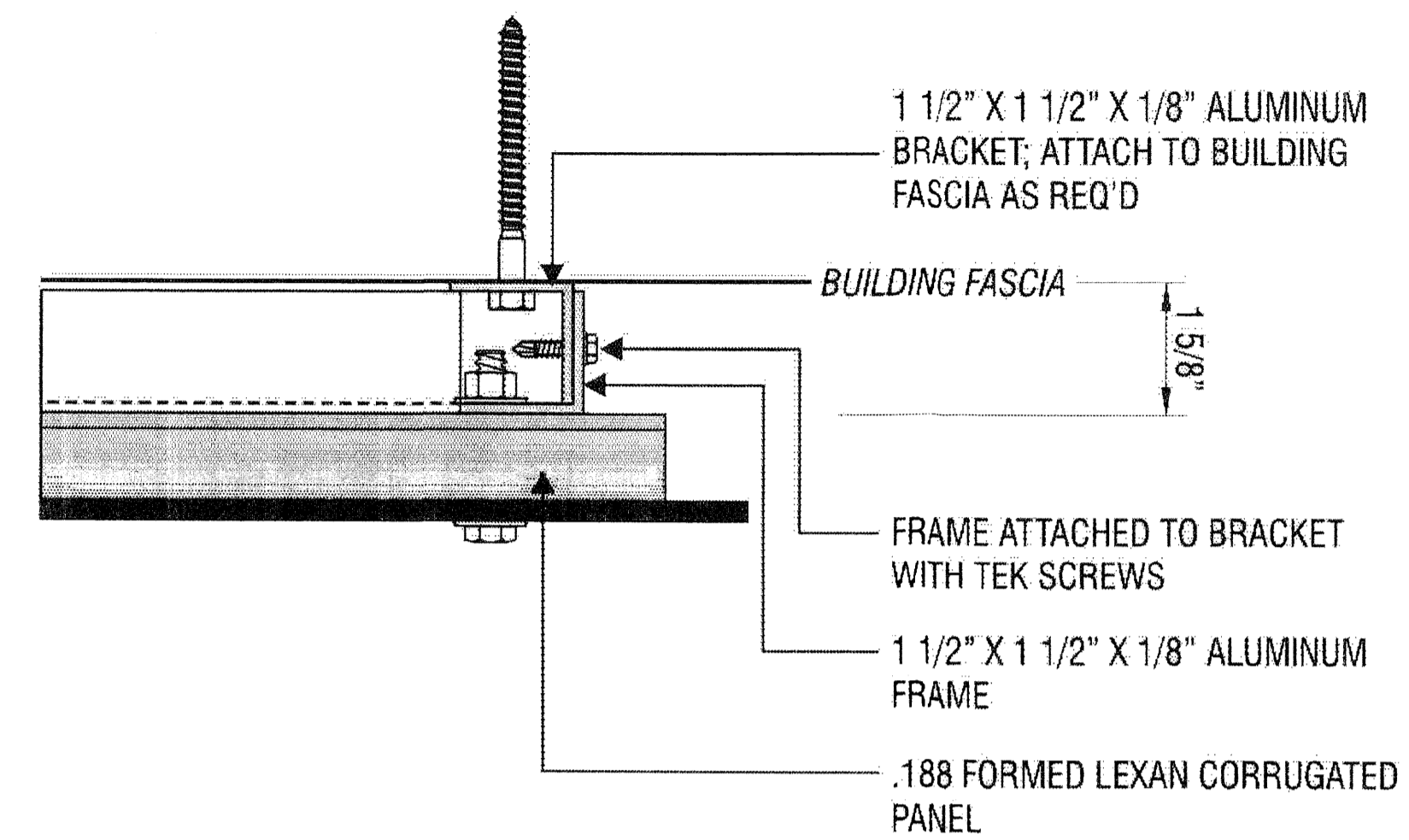
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KEY NO.

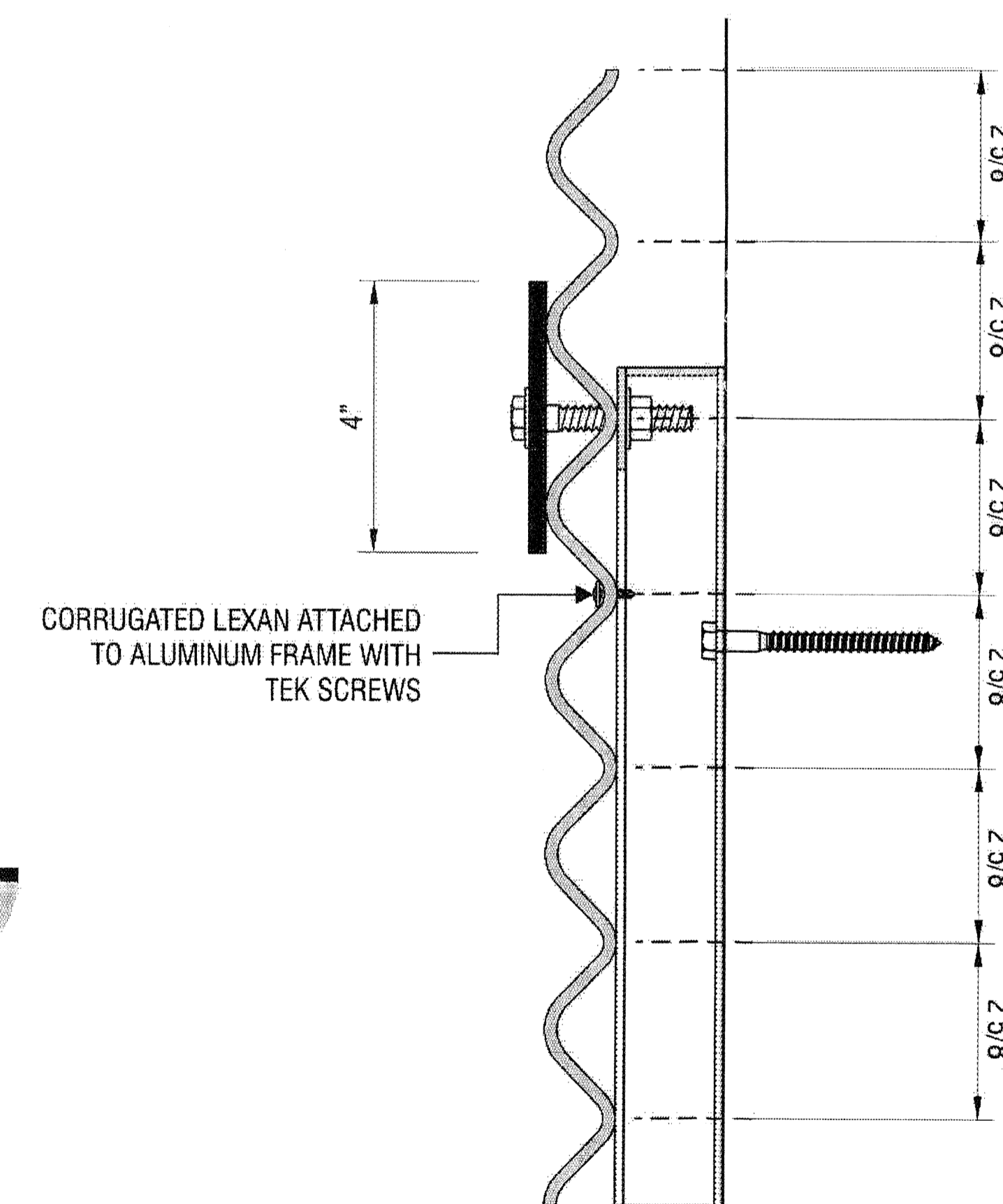


MEDIUM POSTER MARQUEE BUILDING PANEL

SCALE: 1" = 1'-0"



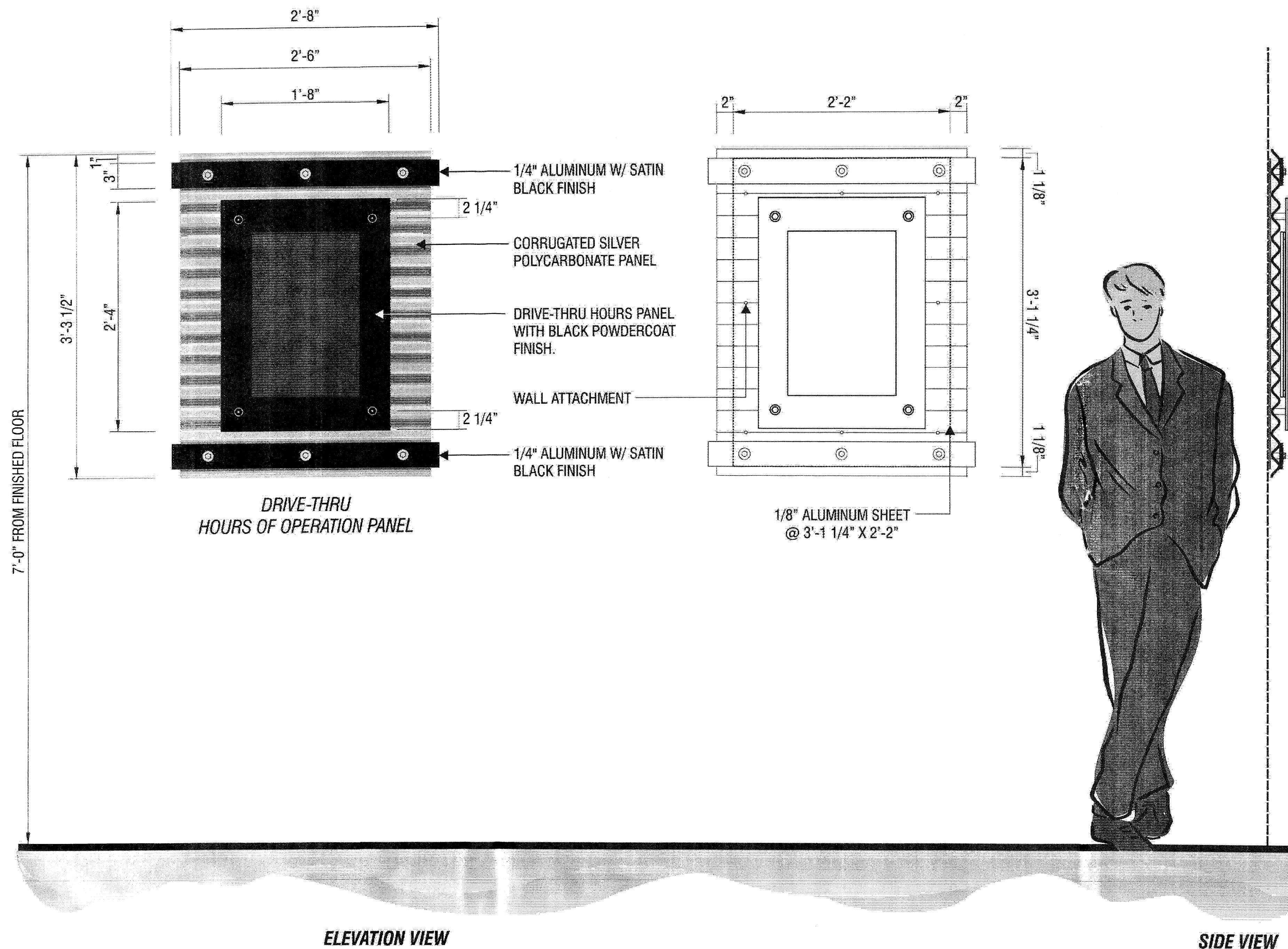
TOP VIEW



SIDE VIEW

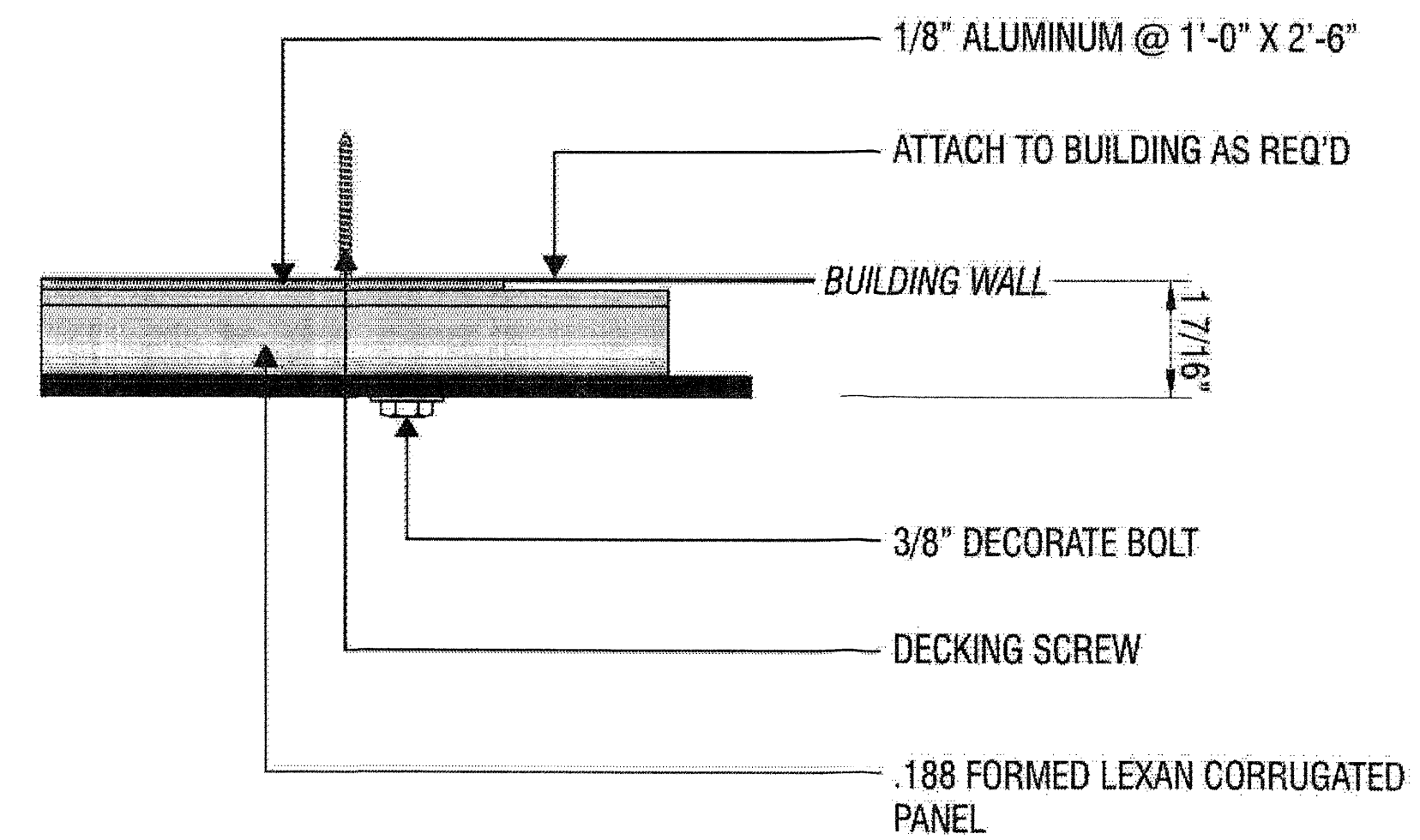
ATTACHMENT & FRAME/ BRACKET DETAIL

SCALE: 6" = 1'-0"

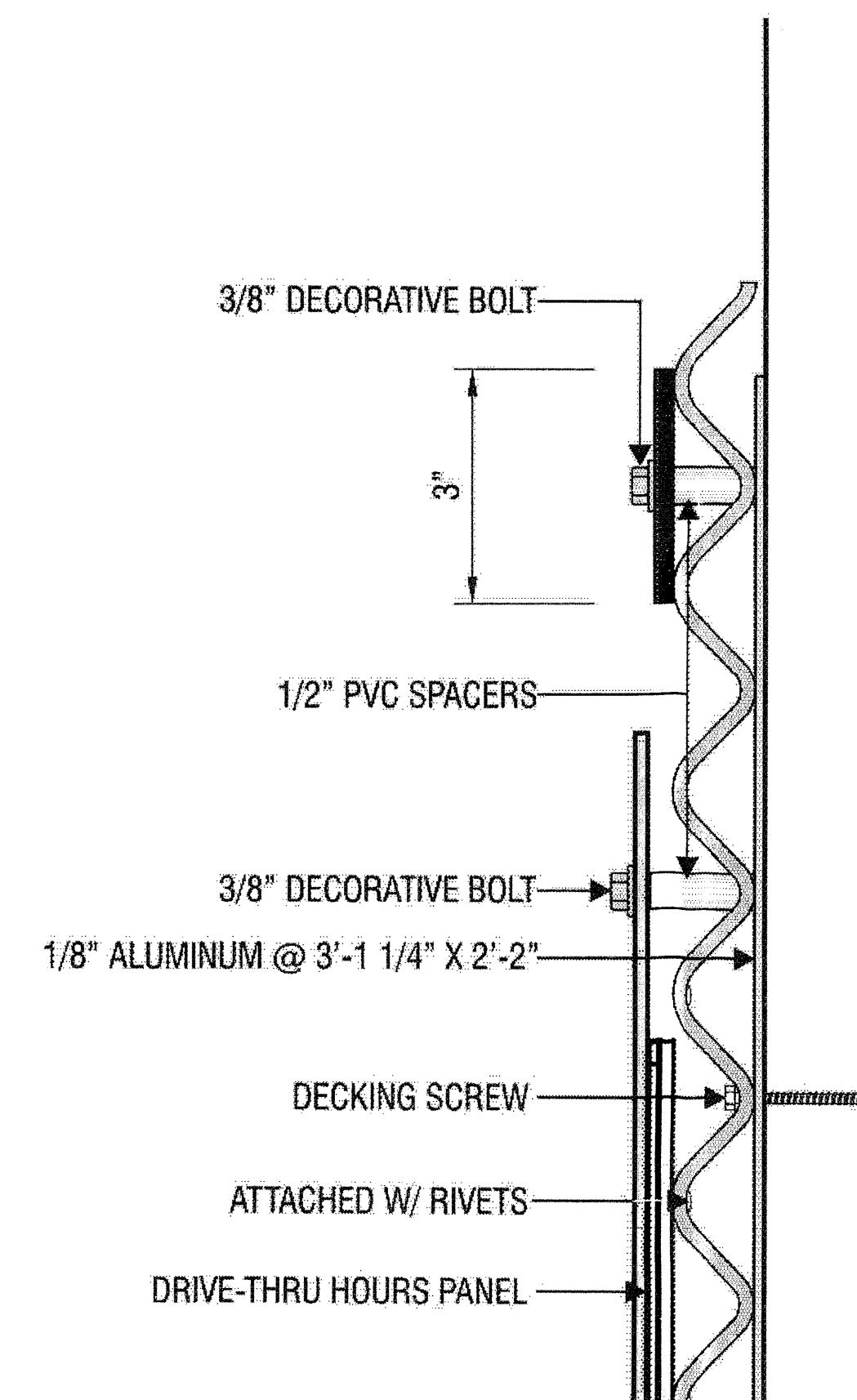


EXTERIOR HOURS PANEL MARQUEE - SMALL

SCALE: 1 1/2" = 1'-0"



TOP VIEW



SIDE VIEW

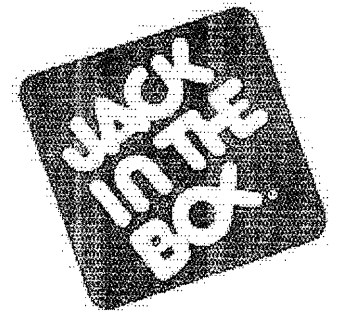
ATTACHMENT & FRAME/ BRACKET DETAIL

SCALE: 6" = 1'-0"

CNP
SIGNS & GRAPHICS

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San Diego, CA 92120
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Fax: 619.283.9503
Web: www.cnpsigns.com

CLIENT



PROJECT
JACK IN THE BOX #1264

LOCATION
CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM

SHEET TITLE
HOURS OF OPERATION
MARQUEE

ACCT. REP.
RACHEL MAUCK
DESIGNER
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

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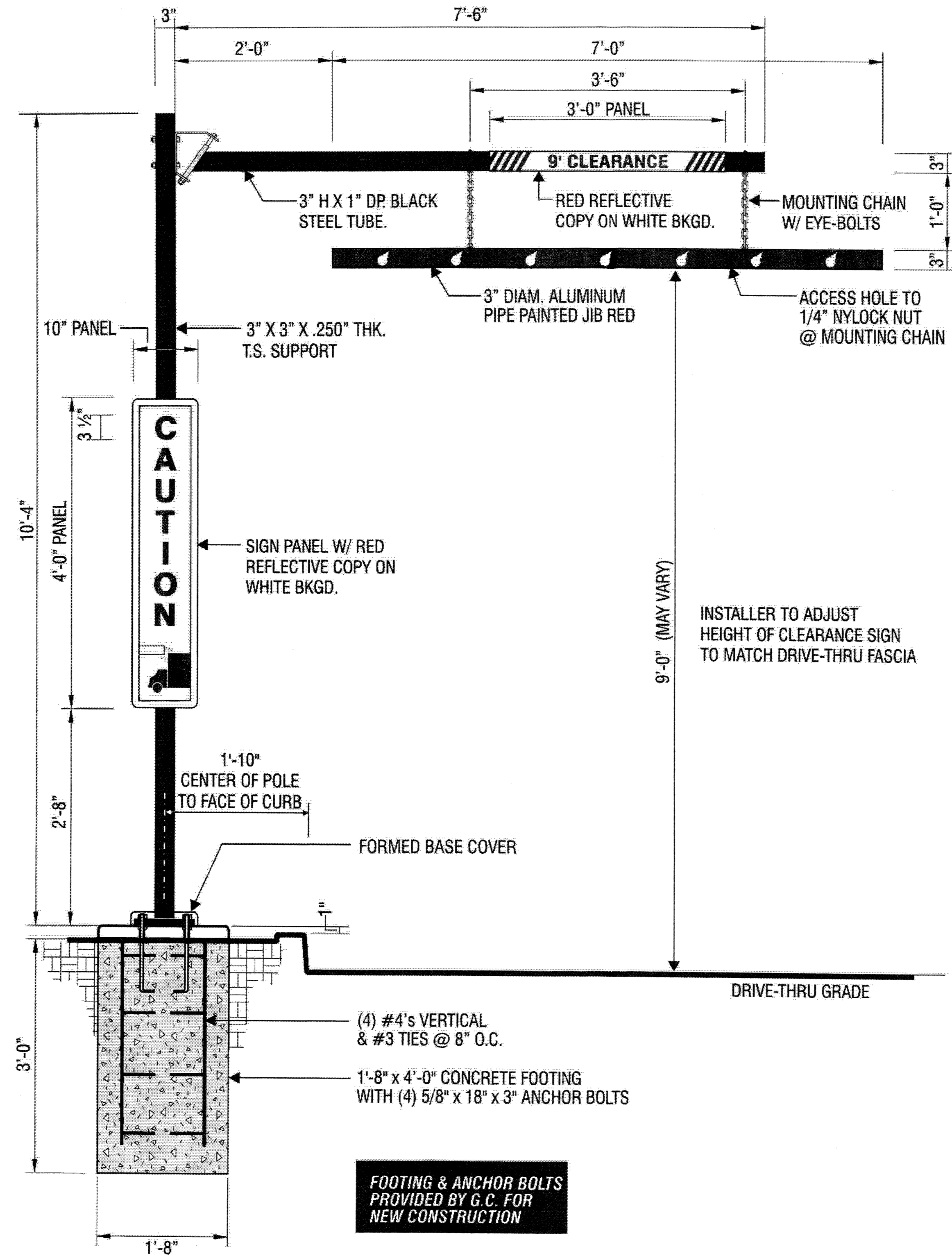
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DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WO#	000000

REVISIONS			
1		7	
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3		9	
4		10	
5		11	
6		12	

KEY NO.





HEIGHT DETECTOR

SCALE: 1" = 1'-0"

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CLIENT



PROJECT

JACK IN THE BOX #1264

LOCATION

CLAREMONT AVE. &
CARLISLE BLVD.,
ALBUQUERQUE, NM

SHEET TITLE

HEIGHT DETECTOR

ACCT. REP.

RACHEL MAUCK

DESIGNER

ANDY LIBERTO

DATE

5/30/08

SCALE

NOTED

CUSTOMER APPROVAL

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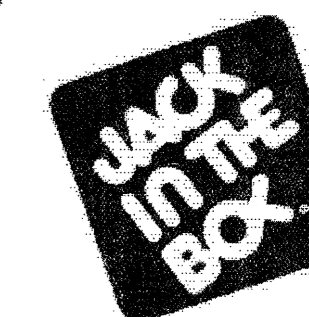
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REVISION NO.	0	WO#	000000

REVISIONS			
1		7	
2		8	
3		9	
4		10	
5		11	
6		12	

KEY NO.

G1

CLIENT



PROJECT
JACK IN THE BOX

LOCATION
VARIOUS

SHEET TITLE
D/T WINDOW PANELS

ACCT. REP.
PROJECT MANAGER
DESIGNER
DESIGNER

DATE
01/30/07
SCALE
NOTED

CUSTOMER APPROVAL

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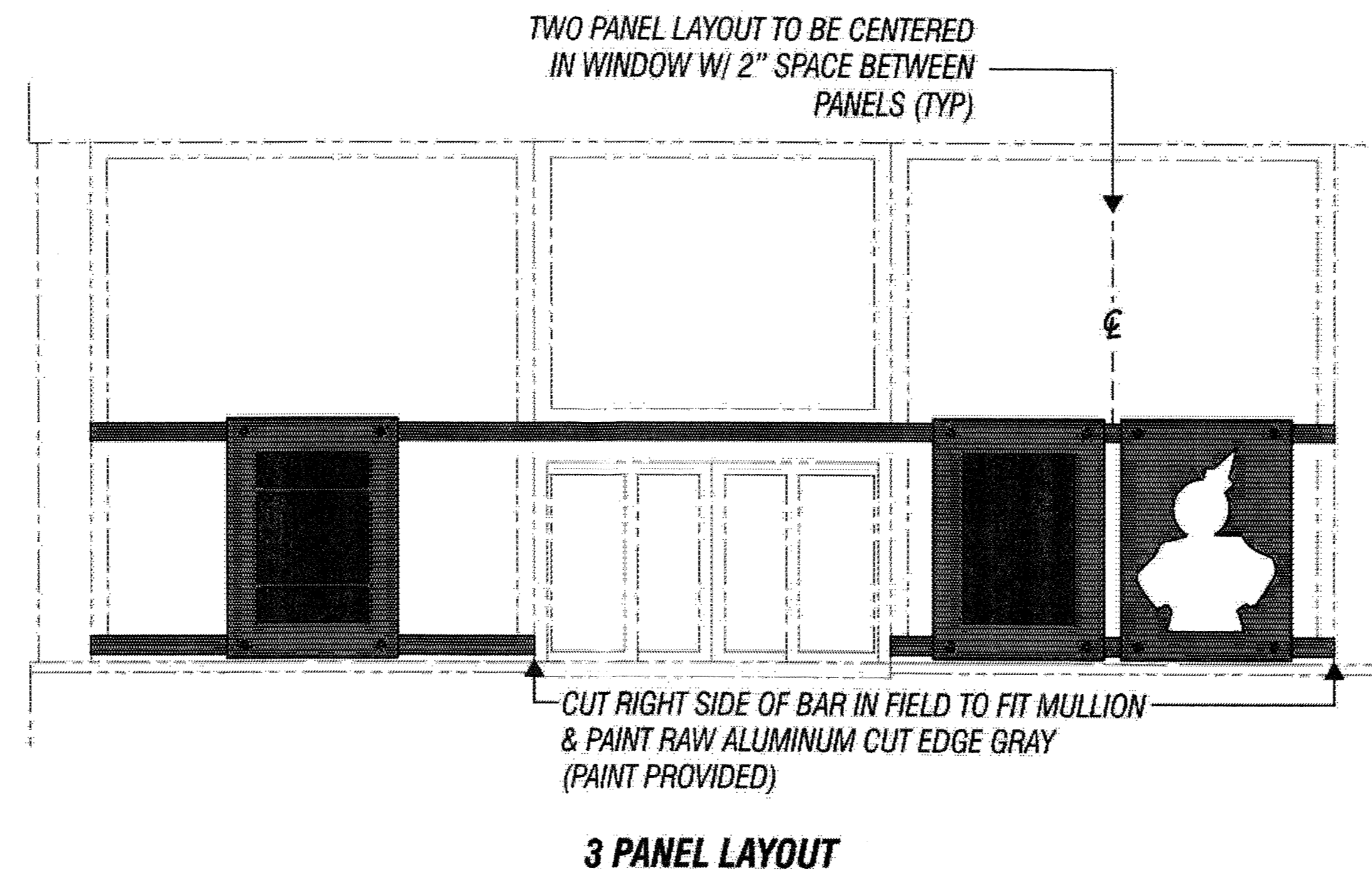
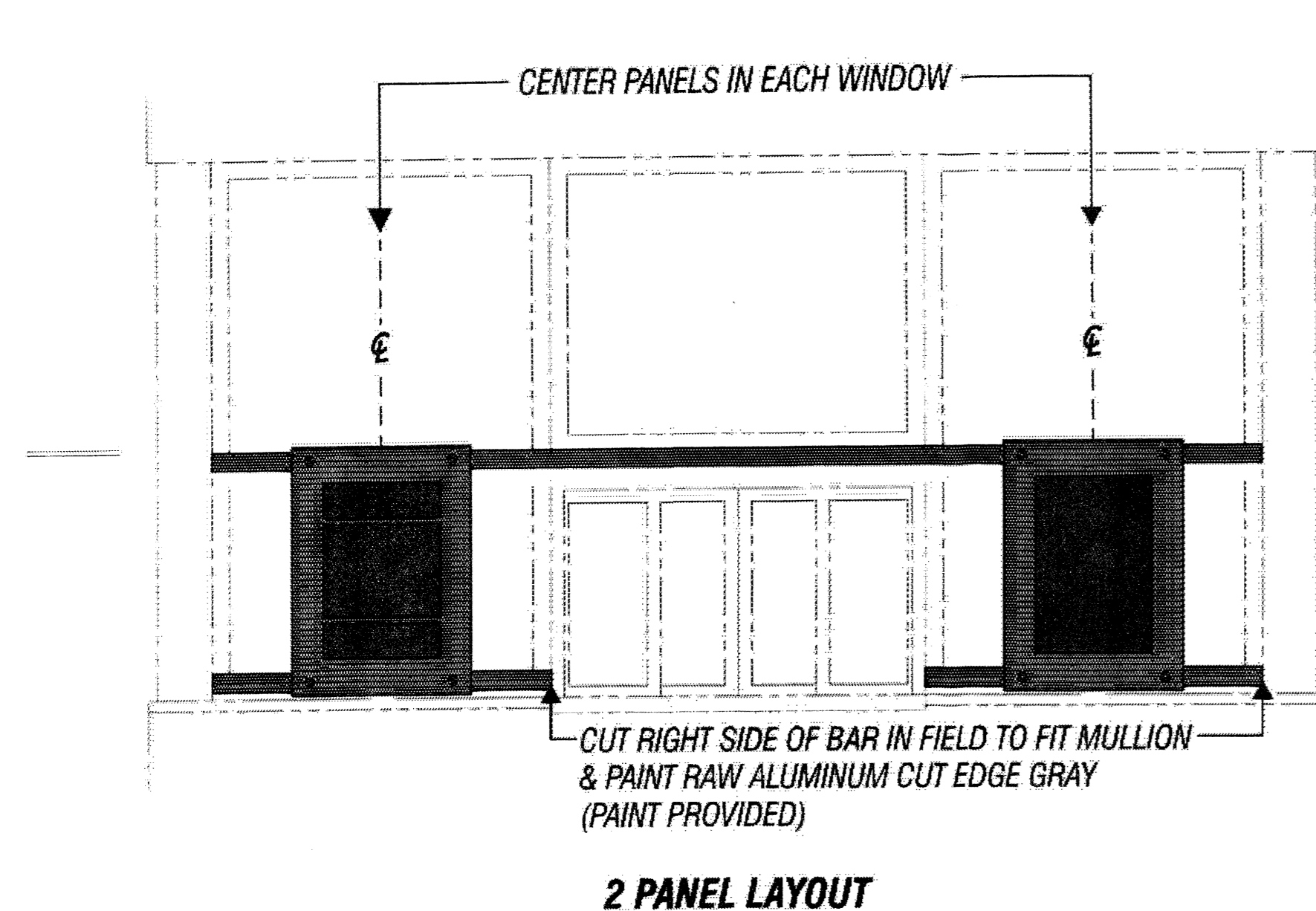
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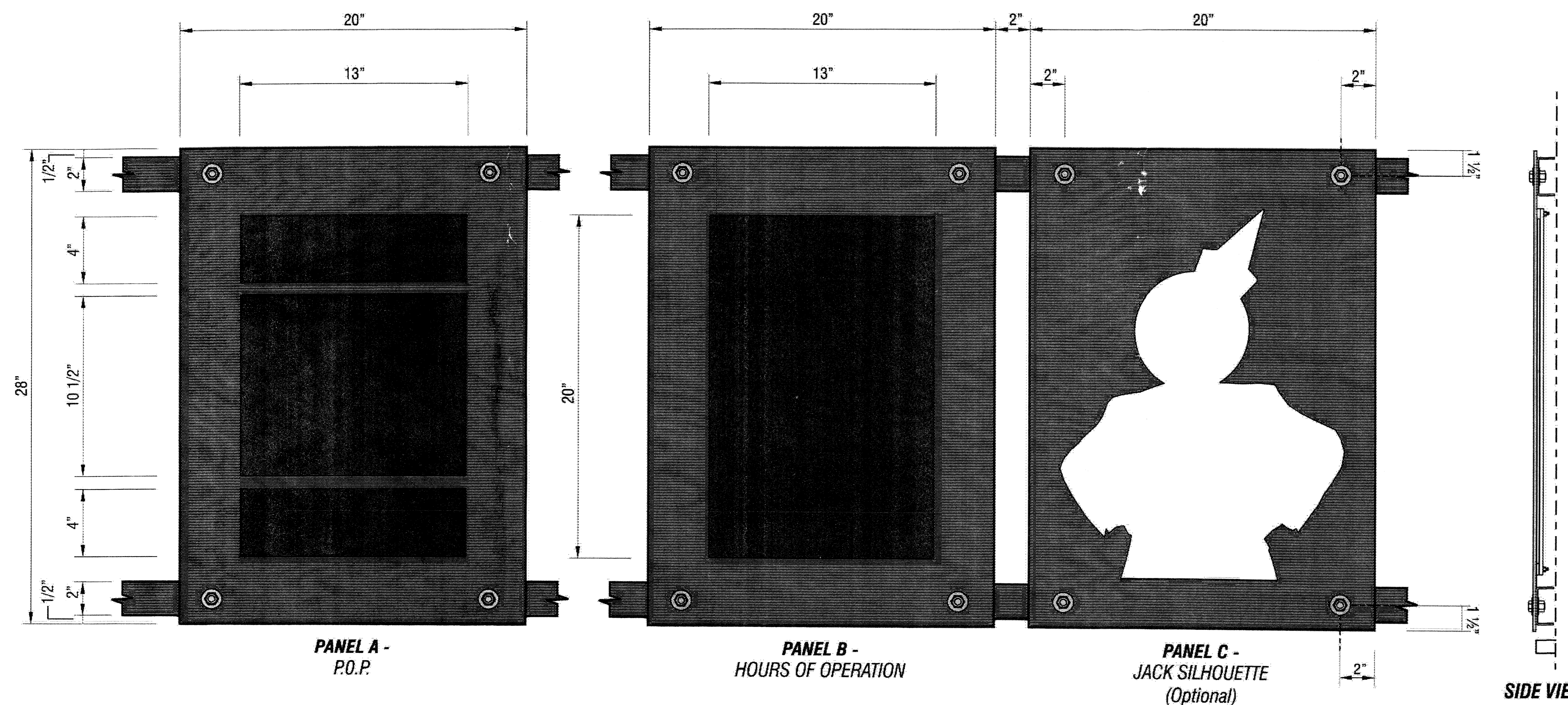
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REVISION NO.	1	WD#	000000

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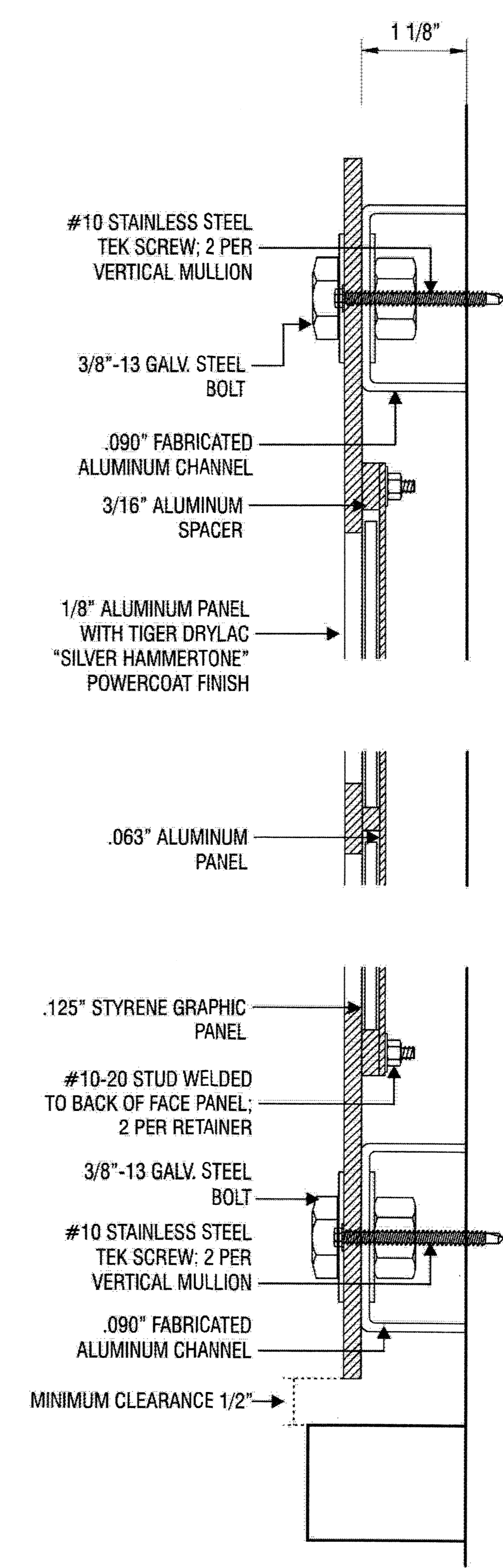
KEY NO.



PANEL POSITIONS TYPICAL DRIVE-THRU WINDOWS SHOWN/ SIZES MAY VARY
SCALE: 3/4" = 1'-0"

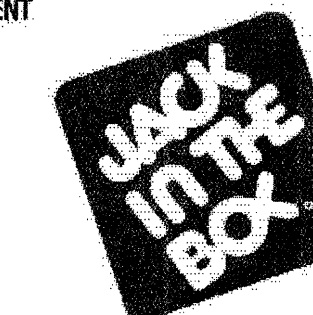


ALUMINUM DRIVE-THRU PANELS
SCALE: 3" = 1'-0"



ATTACHMENT DETAIL SECTION VIEW
SCALE: FULL SIZE

CLIENT



PROJECT
JACK IN THE BOX
MARK 9 WINDOW GRAPHICS
PRODUCT ID - 71174201

LOCATION
VARIOUS

SHEET TITLE
STANDARD PANEL LAYOUT

ACCT. REP.
JENNIFER GALVIN
DESIGNER
ANDY LIBERTO

DATE
1/29/08
SCALE
NOTED

CUSTOMER APPROVAL

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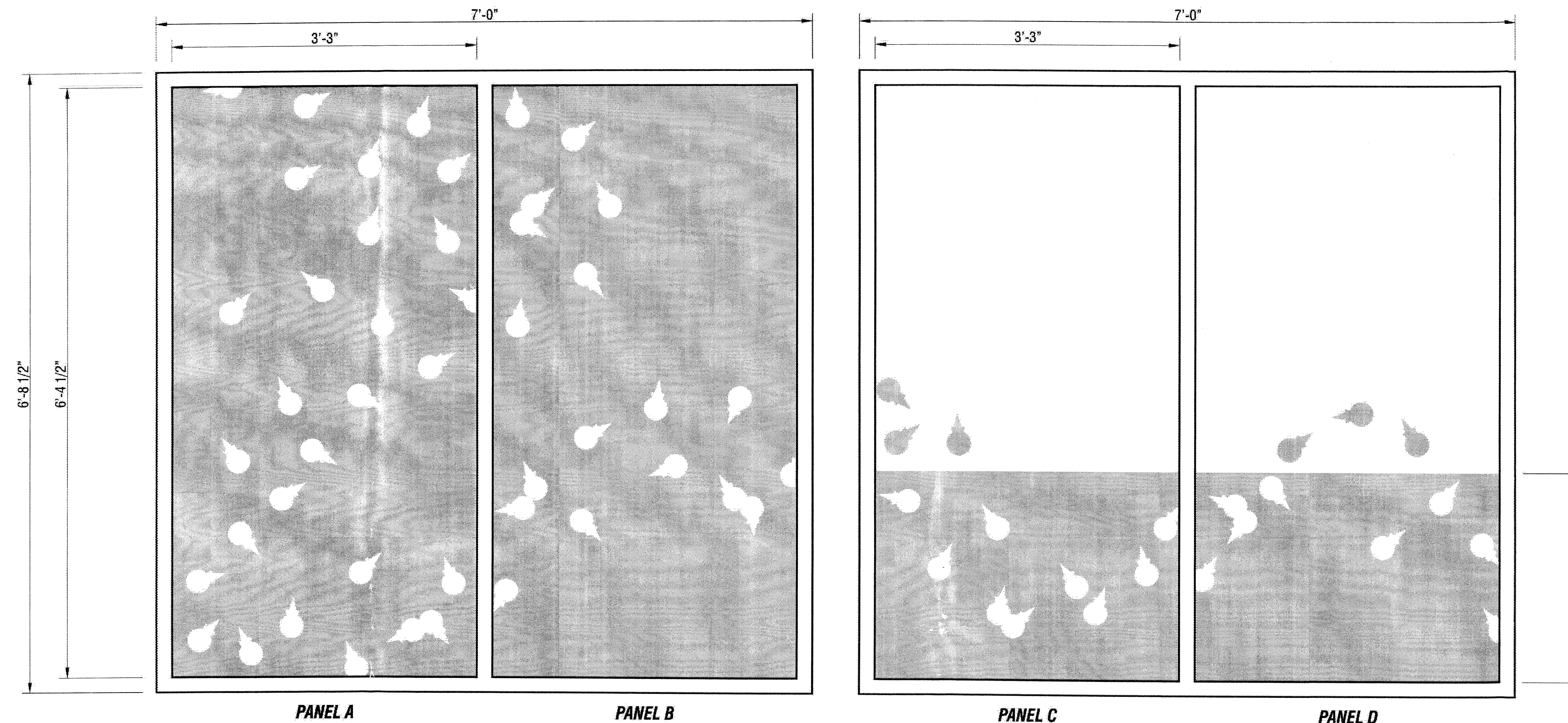
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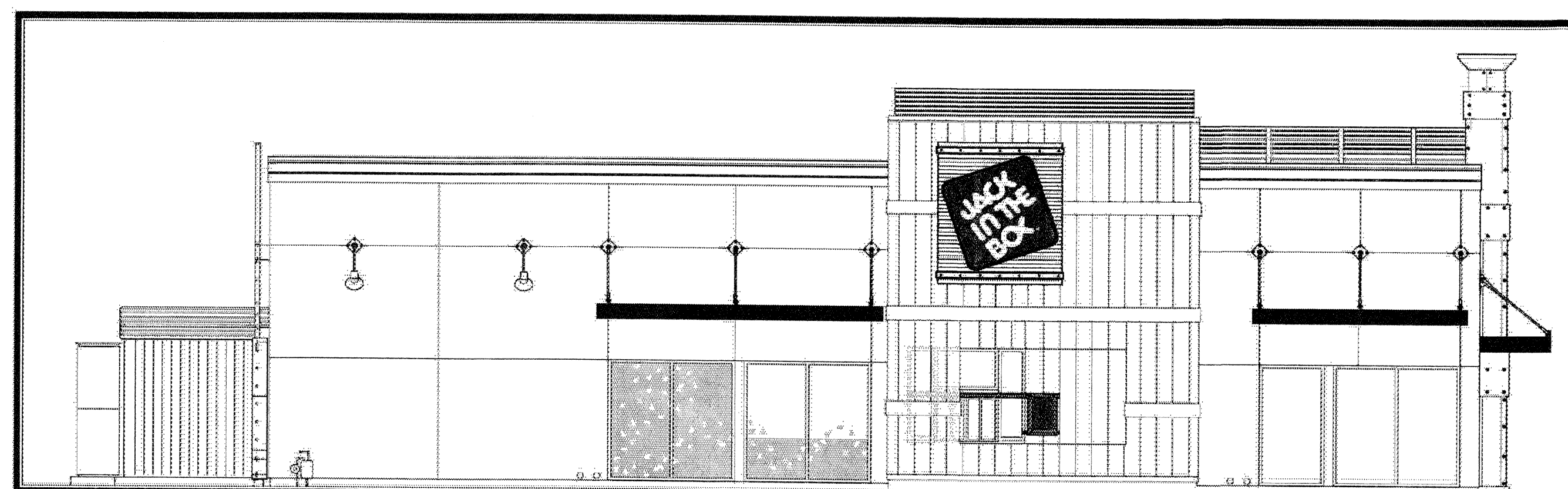
DWG#	08-054	PROJECT #	305655
REVISION NO.	2	WO#	000000

REVISIONS			
NO.	DATE	BY	DESIGNER
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2	03/24/08	JR	8
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4			10
5			11
6			12

KEY NO.



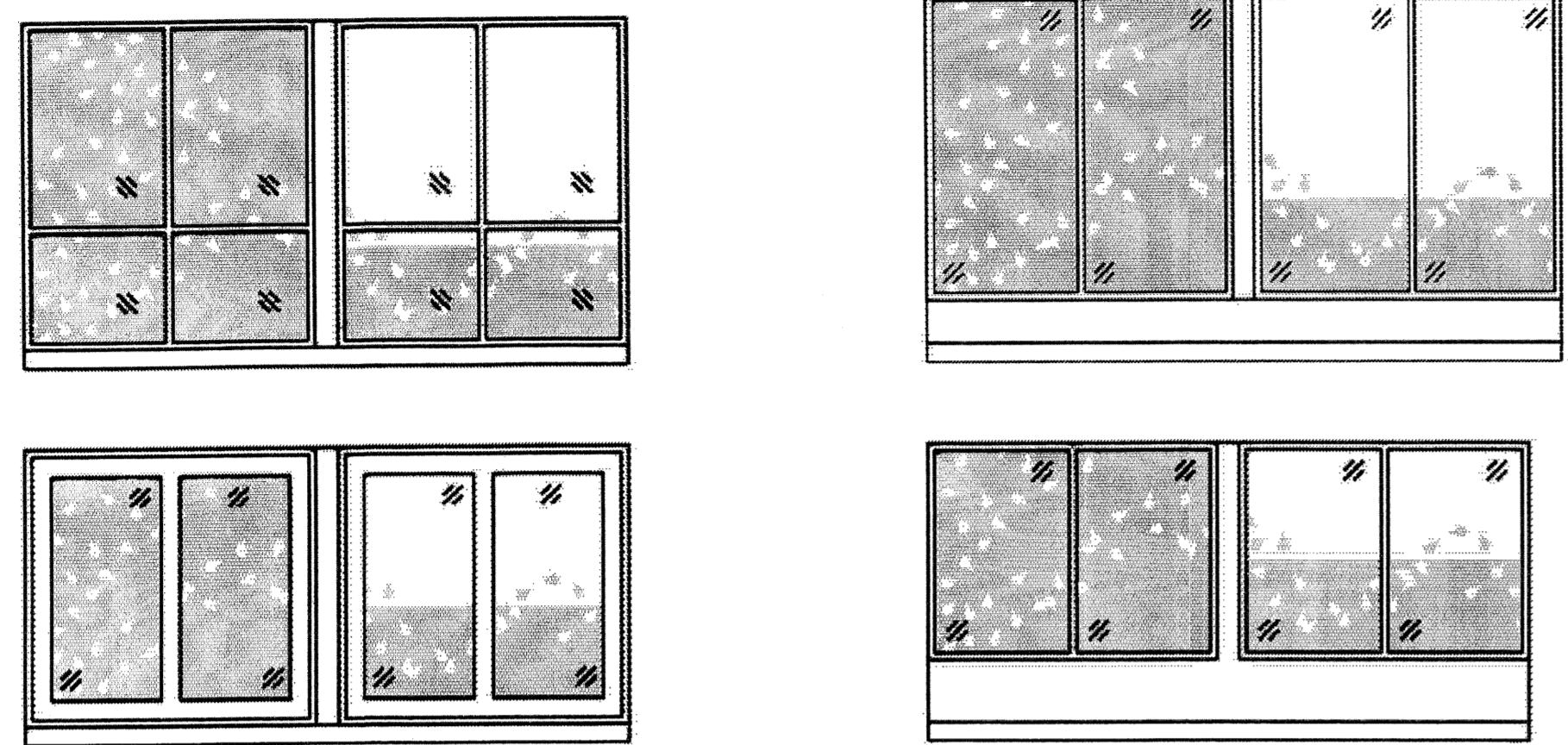
SPECIFICATIONS:
3M # 7725-314 "DUSTED CRYSTAL"
TRANSLUCENT WINDOW FILM.
APPLY FIRST SURFACE
REFERENCE INSTALLATION DETAIL.



ELEVATION EXAMPLE (NOTE: NOT TO SCALE)

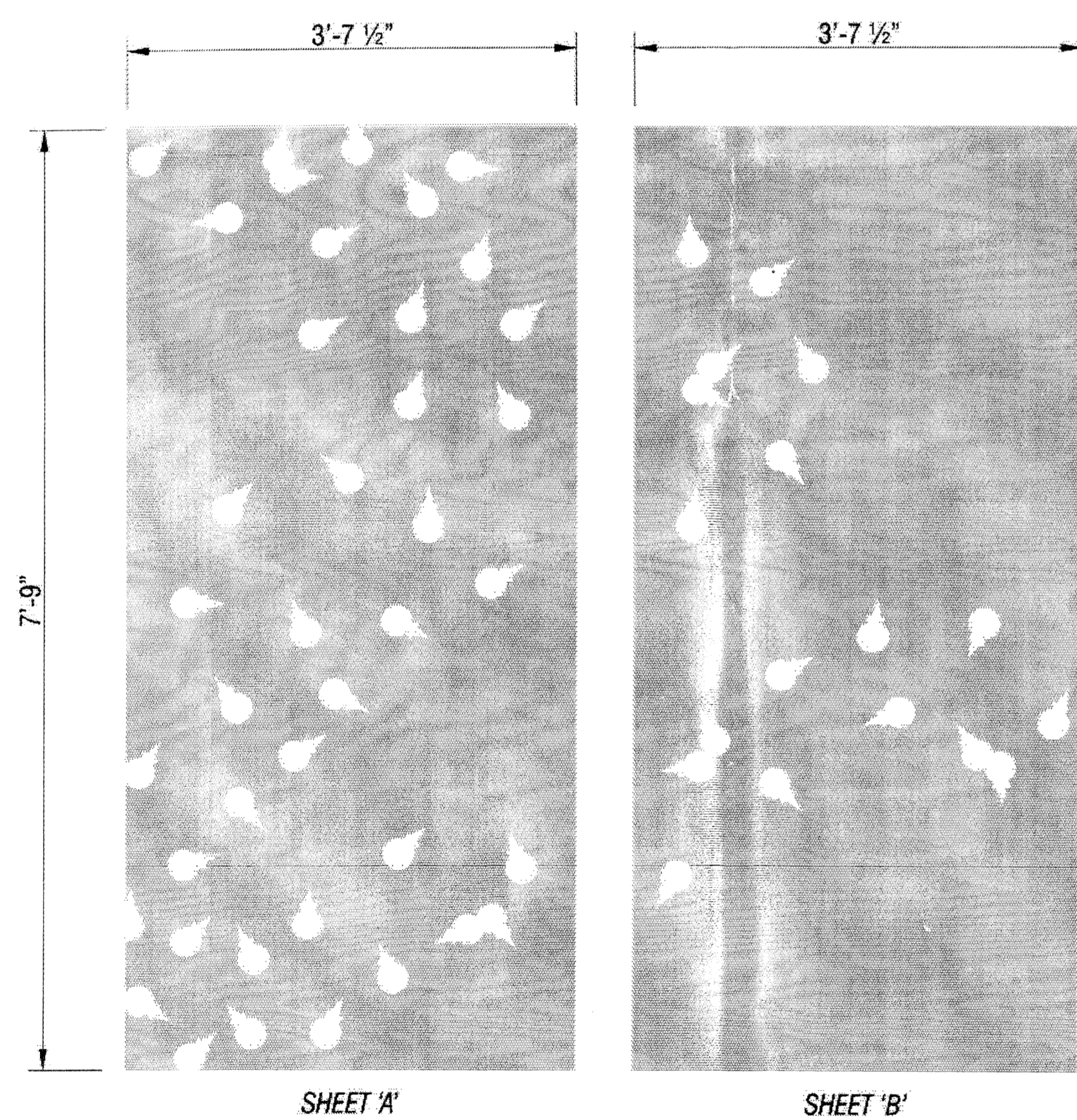
MARK 9 KITCHEN WINDOW GRAPHICS

SCALE: 1 1/2" = 1'-0"



MARK 9 KITCHEN WINDOW EXAMPLES

SCALE: 1/4" = 1'-0"

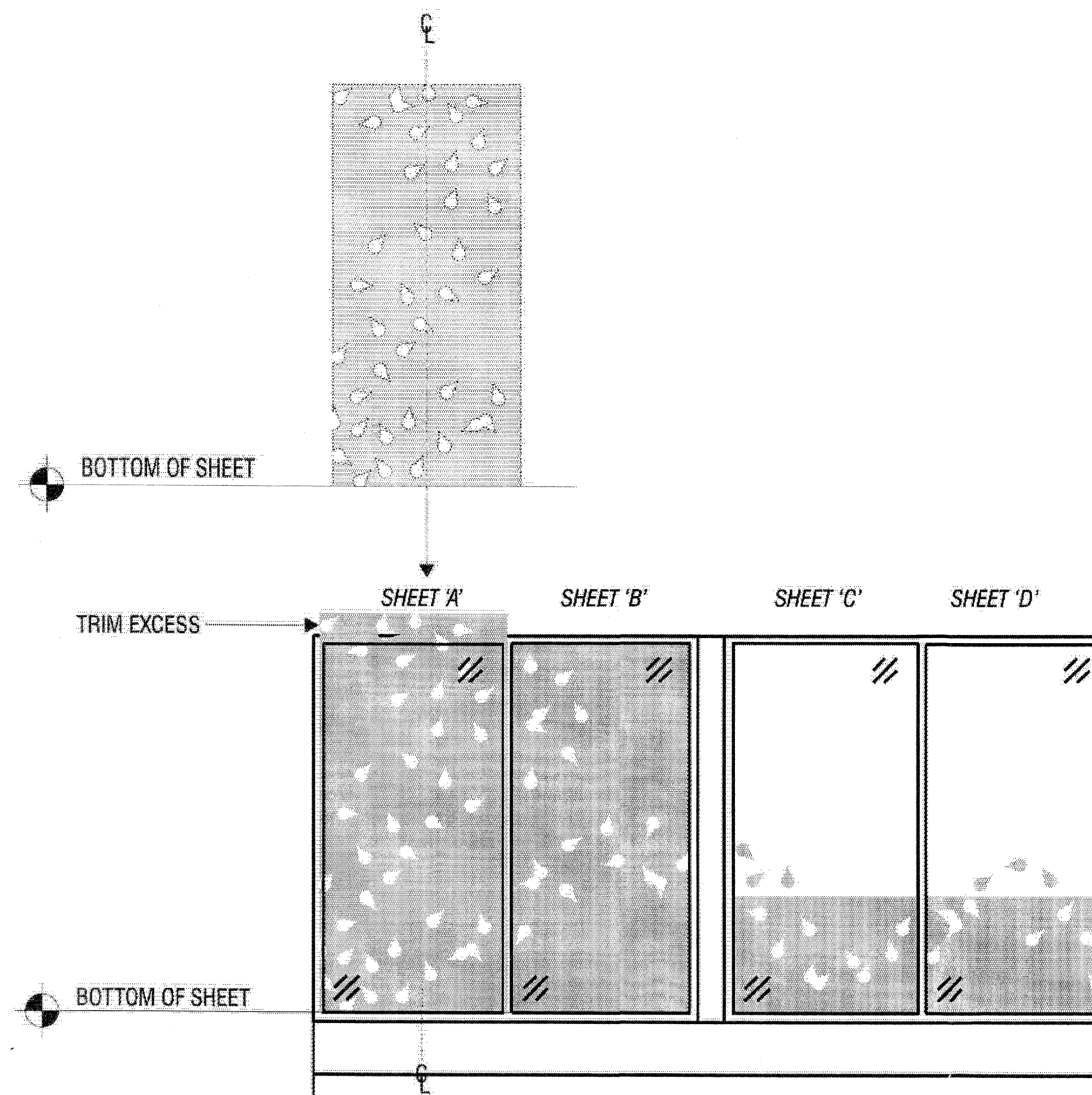


SHEET 'A'

SHEET 'B'

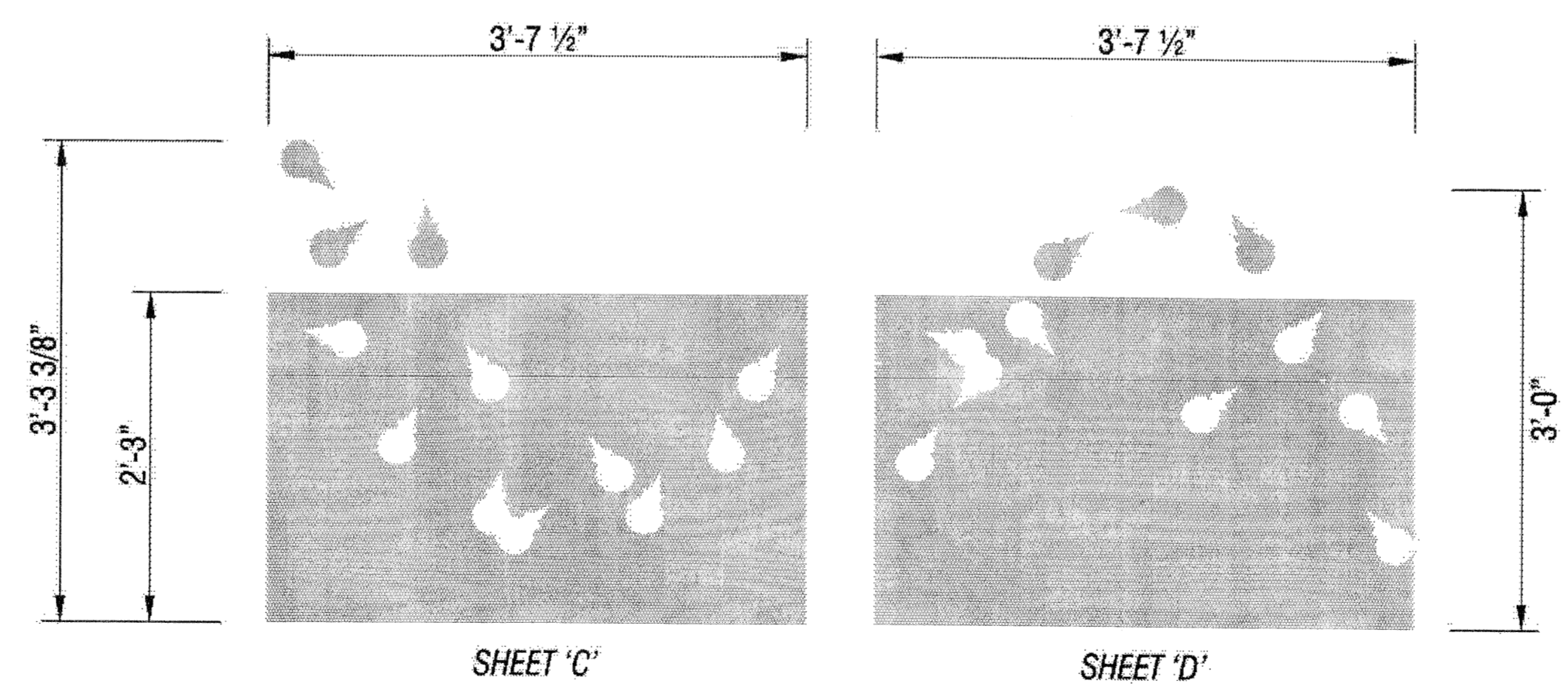
MARK 9 KITCHEN WINDOW GRAPHICS

SCALE: 1" = 1'-0"



MARK 9 KITCHEN WINDOW GRAPHICS - INSTALLATION EXAMPLE

SCALE: 1/2" = 1'-0"

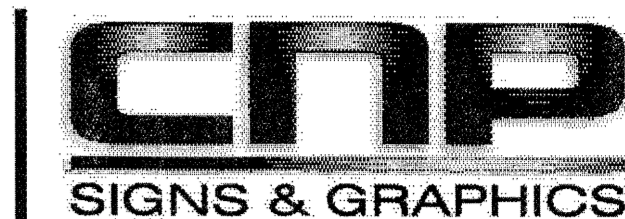


SHEET 'C'

SHEET 'D'

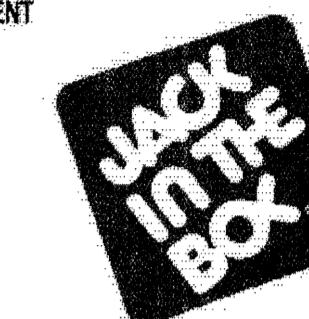
SPECIFICATIONS:
 TRANSLUCENT WINDOW FILM
 3M # 7725-314 "DUSTED CRYSTAL"

INSTALLATION:
 APPLY FIRST SURFACE IN ORDER SHOWN.
 EACH VINYL SHEET TO BE CENTERED & FLUSHED
 TO BOTTOM OF WINDOW. EXCESS VINYL TO BE
 TRIMMED TO FIT FLUSH WITH OUTSIDE OF WINDOW.



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PROJECT
 JACK IN THE BOX
 MARK 9 WINDOW GRAPHICS
 PRODUCT ID - 71174201

LOCATION
 VARIOUS

SHEET TITLE
 INSTALLATION DETAIL

ACCT. REP.
 JENNIFER GALVIN
 DESIGNER
 ANDY LIBERTO

DATE
 1/29/08 SCALE
 NOTED

CUSTOMER APPROVAL

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DWG#	08-054	PROJECT #	305655
REVISION NO.	2	WD#	000000

REVISIONS			
NO.	DATE	BY	DESCRIPTION
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2	03/24/08	JR	8
3			9
4			10
5			11
6			12

KEY NO.



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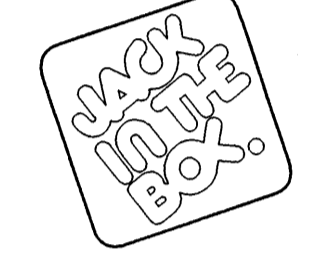
DATES

RELEASE: _____
P.M. UPDATES: _____
PERMIT: _____
BID: _____
CONSTRUCTION: _____

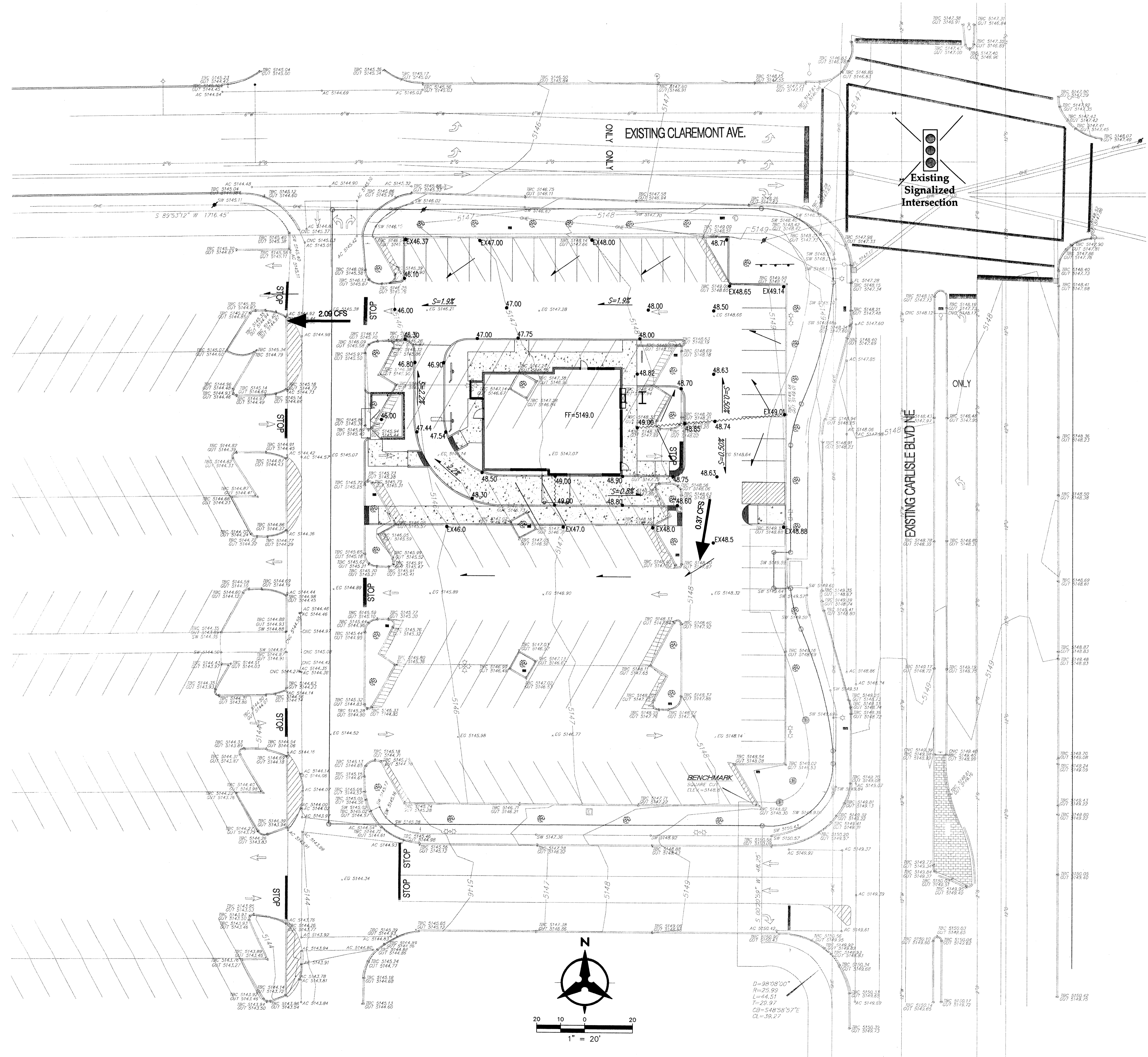
REVISIONS

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JACK IN THE BOX #XX
CARLISLE/CLAREMONT
ALBUQUERQUE, NEW MEXICO



LARRY J. CLUCK & ASSOCIATES
ARCHITECTS
10000 W. 10th Street, Suite # 105
Tucson, Arizona 85716
(520) 327-6670/327-8816



GRADING & DRAINAGE CONCEPT

THE DRAINAGE CONCEPT FOR THIS SITE WILL INCORPORATE MUCH OF THE SURROUNDING FEATURES. THE EXISTING SITE IS AN ASPHALT PARKING LOT WHICH DRAINS TO THE WEST AT ABOUT 2% EXISTING CURB AND GUTTER TO THE NORTH AND EAST WILL REMAIN. THE DRIVE LANE TO THE WEST AND THE ASPHALT PARKING LOT TO THE SOUTH WILL REMAIN OR BE RESTORED TO ITS EXISTING CONDITION.

THE DRAINAGE CONCEPT IS TO DRAIN THE SITE TO THE SOUTH AND WEST AROUND THE PROPOSED BUILDING AND SIDEWALKS WHERE THE DRAINAGE WILL CONTINUE ON ITS HISTORICAL PATH. DUE TO THE EXISTING IMPERVIOUS LAND TREATMENT NO ADDITIONAL FLOW WILL BE GENERATED BY THE PROPOSED DEVELOPMENT, THEREFORE NO PONDING IS REQUIRED AND NO DRAINAGE STRUCTURES ARE REQUIRED.

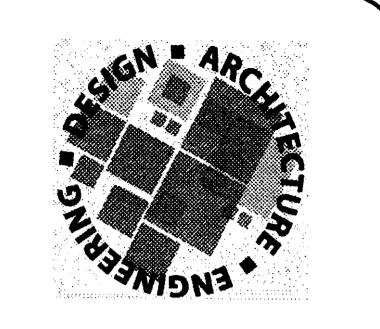
LEGEND

- PROPERTY LINE
- - - 5.30' - - - EXISTING CONTOURS
- X 5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED
- S=2.0% PROPOSED DIRECTION OF FLOW
- ▬ WATER BLOCK
- ▬▬ PROPOSED CURB & GUTTER
- - - EASEMENT
- PROPOSED STORM DRAIN INLET
- EXISTING MONUMENT

SITE INFORMATION

MK TYPE: XX
JIB #: XX
ADDRESS: CARLISLE/CLAREMONT ALBUQUERQUE, NM
DRAWN BY: XX
SCALE: 1:20

GRADING PLAN (DRB)
October 2008
Sheet 18



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SAN DIEGO, CA 92123
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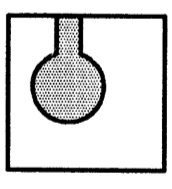
DATES	
RELEASE:	
P.M. UPDATES:	
PERMIT:	
BID:	
CONSTRUCTION:	

REVISIONS	
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JACK IN THE BOX #XX
CARLISLE/CLAREMONT
ALBUQUERQUE, NEW MEXICO



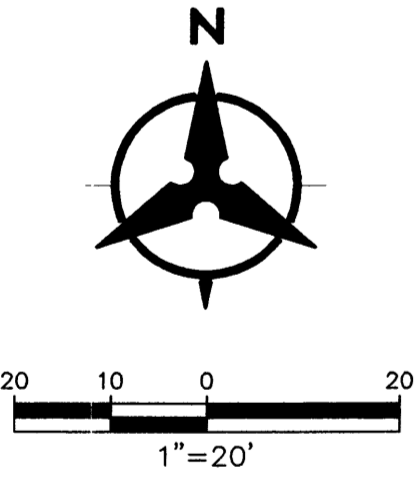
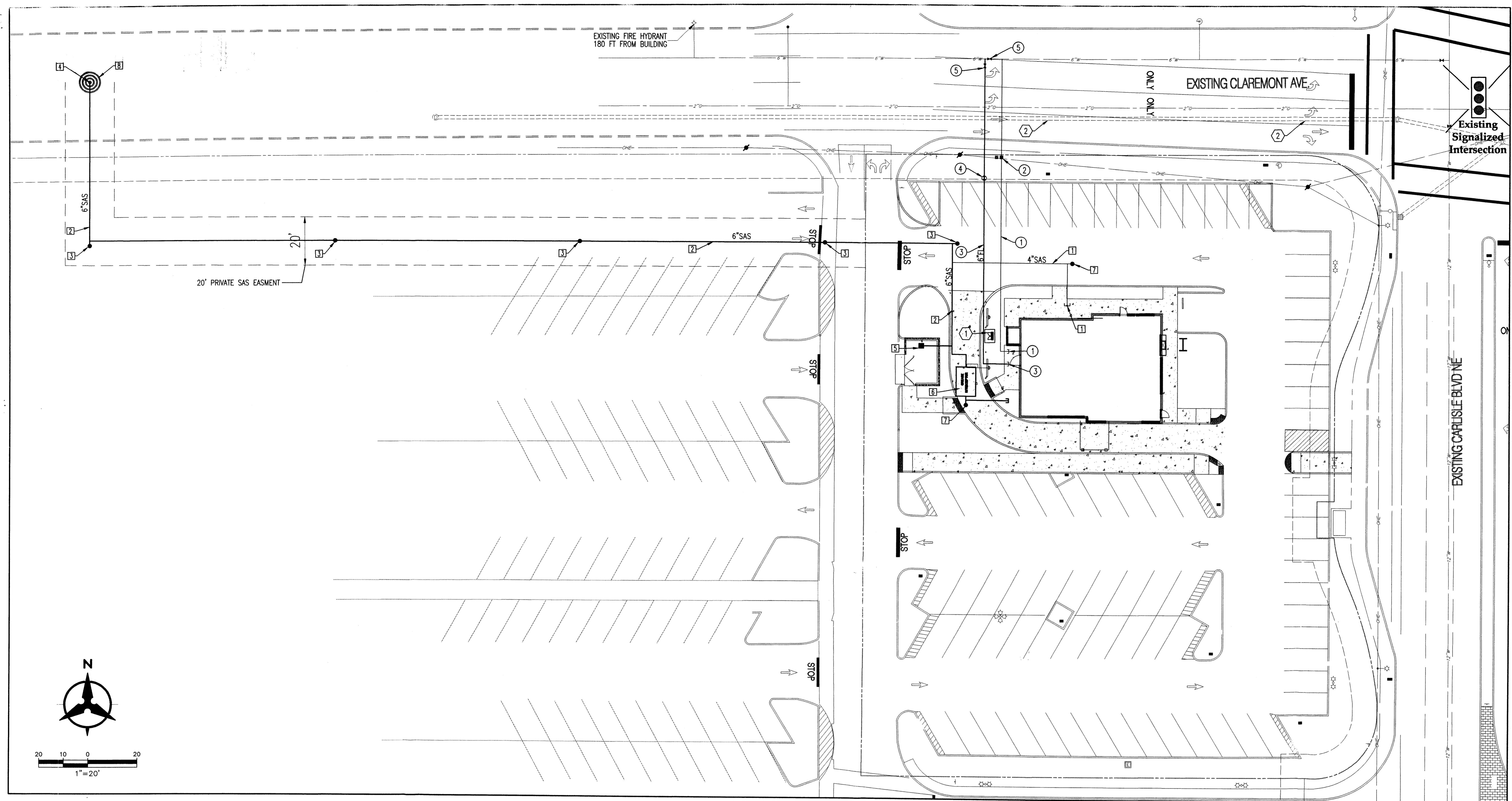
LARRY J. CLUCK & ASSOCIATES
3444 N. Country Club, Suite # 105
Tucson, Arizona 85716
(520) 327-8670/327-8616



SITE INFORMATION	
MK TYPE:	XX
JOB #:	XX
ADDRESS:	CARLISLE/CLAREMONT ALBUQUERQUE, NM
DRAWN BY:	XX
SCALE:	1:20

Utility Plan
October 2008

Sheet 19



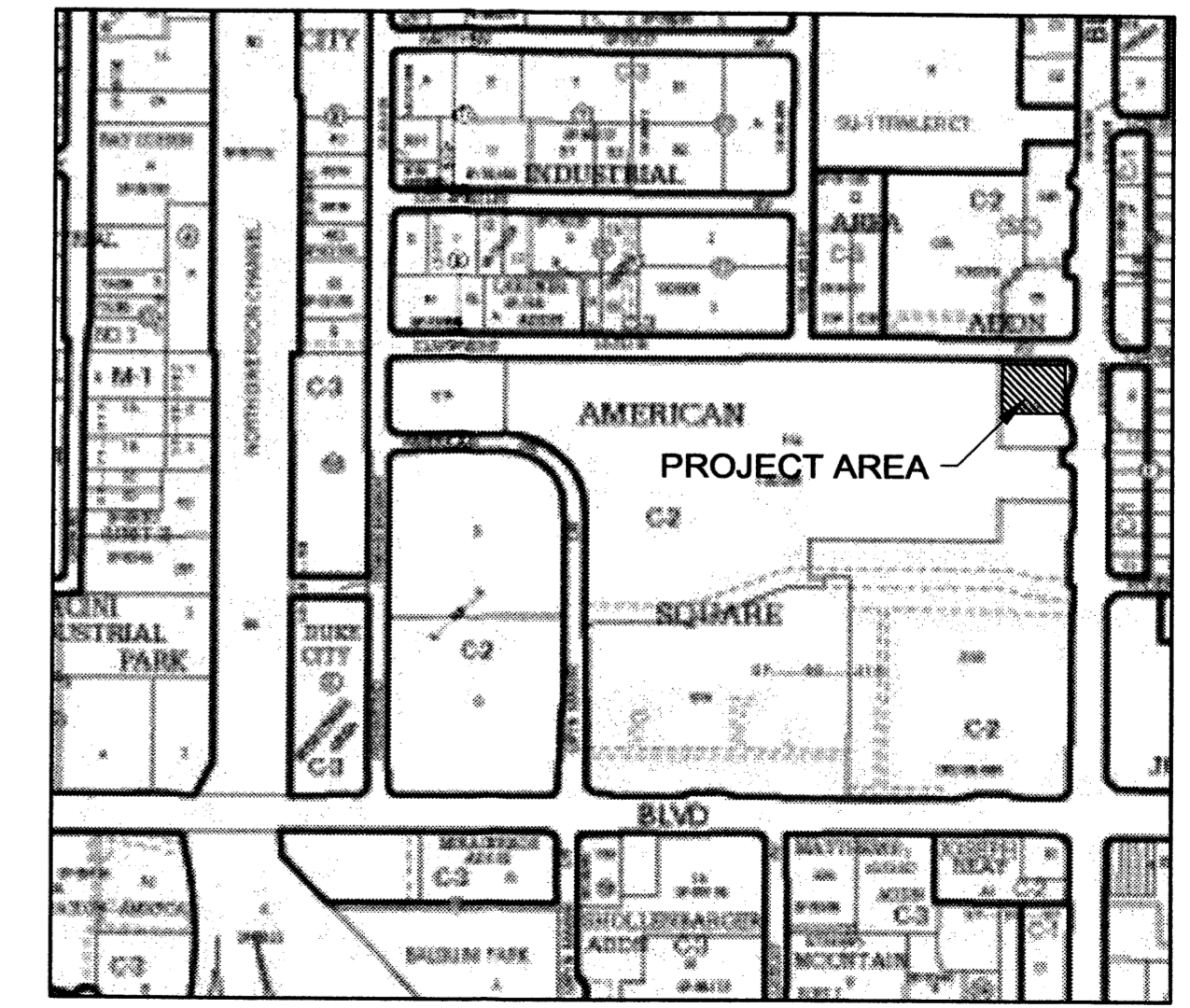
- WATER KEYED NOTES:**
- 2 1/2" DOMESTIC WATER SERVICE LINE
 - 1 1/2" DOMESTIC WATER METER AND BOX BY SEPARATE TAPPING PERMIT
 - 6" FIRE LINE BY SEPARATE WORK ORDER
 - POST INDICATOR VALVE
 - 6" GATE VALVE

- SEWER KEYED NOTES:**
- 4" SAS SERVICE LINE
 - 6" SAS SERVICE LINE
 - 6" SAS CLEAN OUT
 - CONNECT TO EXISTING SAS MANHOLE BY SEPARATE TAPPING PERMIT
 - INLET TO SAS
 - GREASE TRAP BY OTHERS
 - 4" SAS CLEAN OUT
 - EXISTING SAS MANHOLE

- MISC. KEYED NOTES:**
- ELECTICAL TRANSFORMER
 - EXISTING STORM DRAIN

- LEGEND**
- PROPERTY LINE
 - - - EXISTING EASEMENT
 - SAS --- EXISTING SANITARY SEWER
 - W --- EXISTING WATER LINE
 - EXISTING WATER METER
 - EXISTING CAP
 - ⊕ EXISTING VALVE
 - ⊕ & ⌘ EXISTING FIRE HYDRANTS
 - EXISTING SANITARY SEWER MANHOLE
 - ⊙ EXISTING STORM DRAIN MANHOLE
 - EXISTING INLET

- - - PROPOSED EASEMENT
- SAS --- PROPOSED SANITARY SEWER LINE
- GREASE INTERCEPTORY
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- W --- PROPOSED WATER LINE
- ⊕ PROPOSED VALVE
- FL --- PROPOSED FIRE LINE
- ⊕ PROPOSED HYDRANT
- PROPOSED CAP
- PROPOSED WATER METER
- PROPOSED TRANSFORMER



VICINITY MAP
ZONE ATLAS PAGE H-16-Z
SCALE: 1" = 500'