

1002249

SITE DATA

SITE AREA 0.52 AC
EXISTING ZONING C-2

BUILDING DATA

RETAIL SHOPS 4000 SF
MAXIMUM BUILDING HEIGHT = 26'
SETBACK = 11'
CONSTRUCTION TYPE VB (NON-SPRINKLED)
NOTE: ADDITIONAL BUILDING INFORMATION IS CONTAINED ON THE BUILDING ELEVATION SHEETS.

LEGAL DESC.

TRACT "F-1-B", PLAT FOR AMERICAN SQUARE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 15, 2005, IN PLAT BOOK 2005C, PAGE 251.

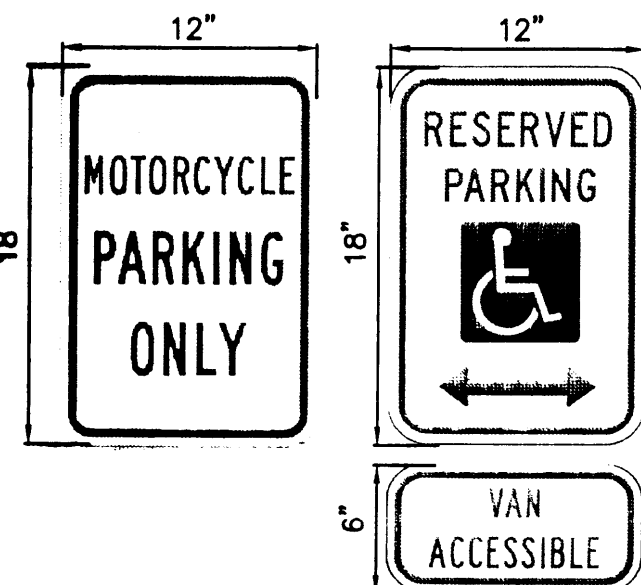
LEGEND

- EASEMENT
- PROPERTY BOUNDARY
- NEW CONCRETE
- NEW CURB
- PARKING STALL COUNT

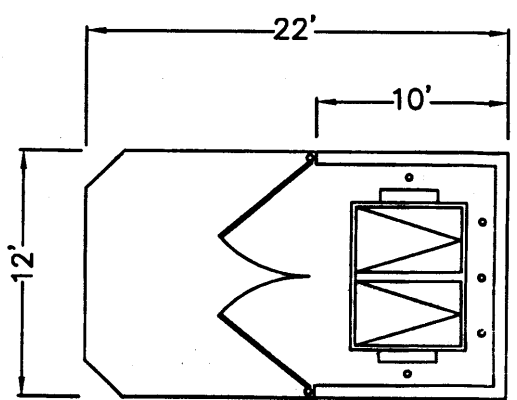
BOUNDARY INFORMATION

LINE	BEARING	LENGTH
L1	S00°05'03"W	45.00
L2	N89°54'57"W	7.00
L3	S00°05'03"W	15.00
L4	S89°54'57"E	7.00
L5	S00°05'03"W	5.18

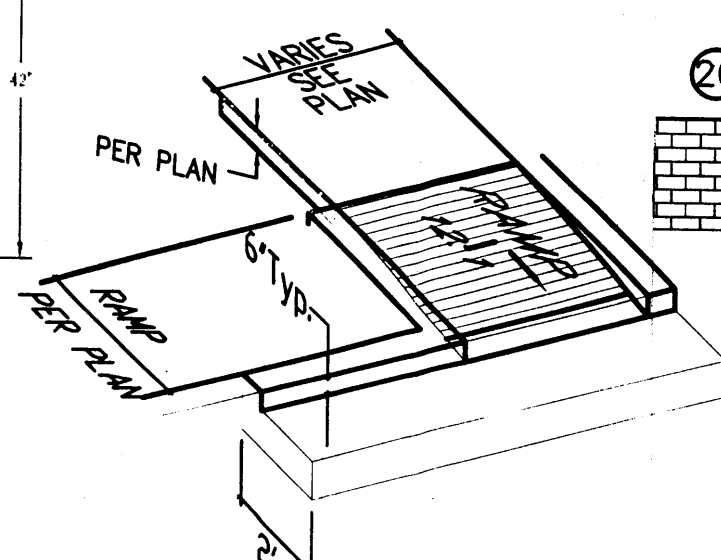
CURVE	DELTA	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	90°27'23"	47.36	39.00	N44°55'08"W	48.60
C2	19°56'48"	92.42	153.00	N15°04'49"E	51.96
C3	19°57'01"	7.41	50.00	S15°04'45"W	17.32
C4	19°57'01"	17.41	50.00	S14°44'38"E	17.32
C5	19°04'16"	74.14	176.88	N14°57'27"W	51.99
C6	97°23'13"	44.27	26.30	N48°15'53"E	39.51



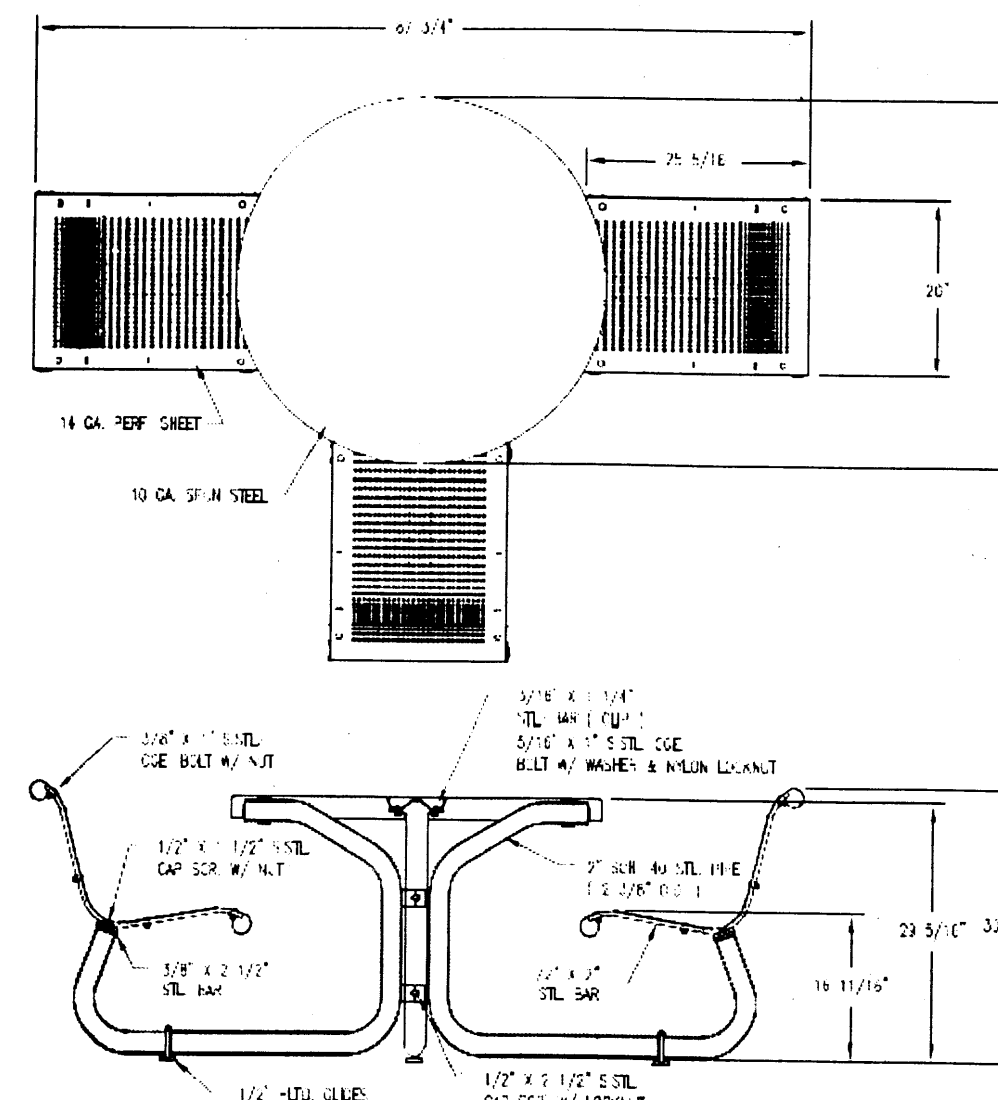
SITE LIGHTING



TRASH ENCLOSURE DETAIL



SIDEWALK RAMP DETAIL



OUTDOOR SEATING DETAIL

PARKING DATA

RETAIL SHOPS = 4000 SF
PARKING RATIO = 5 / 1000 SF LESS 10% TRANSIT REDUCTION

PARKING REQUIRED (ADJUSTED)	18
PARKING PROVIDED	30
HANDICAP PARKING PROVIDED	1
HANDICAP PARKING REQUIRED	1
MOTORCYCLE PARKING PROVIDED	2
MOTORCYCLE PARKING REQUIRED	1
BICYCLE PARKING PROVIDED	4
BICYCLE PARKING REQUIRED	2

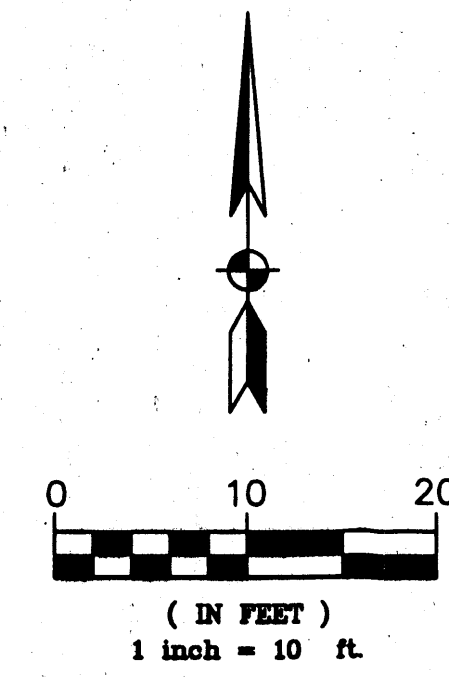
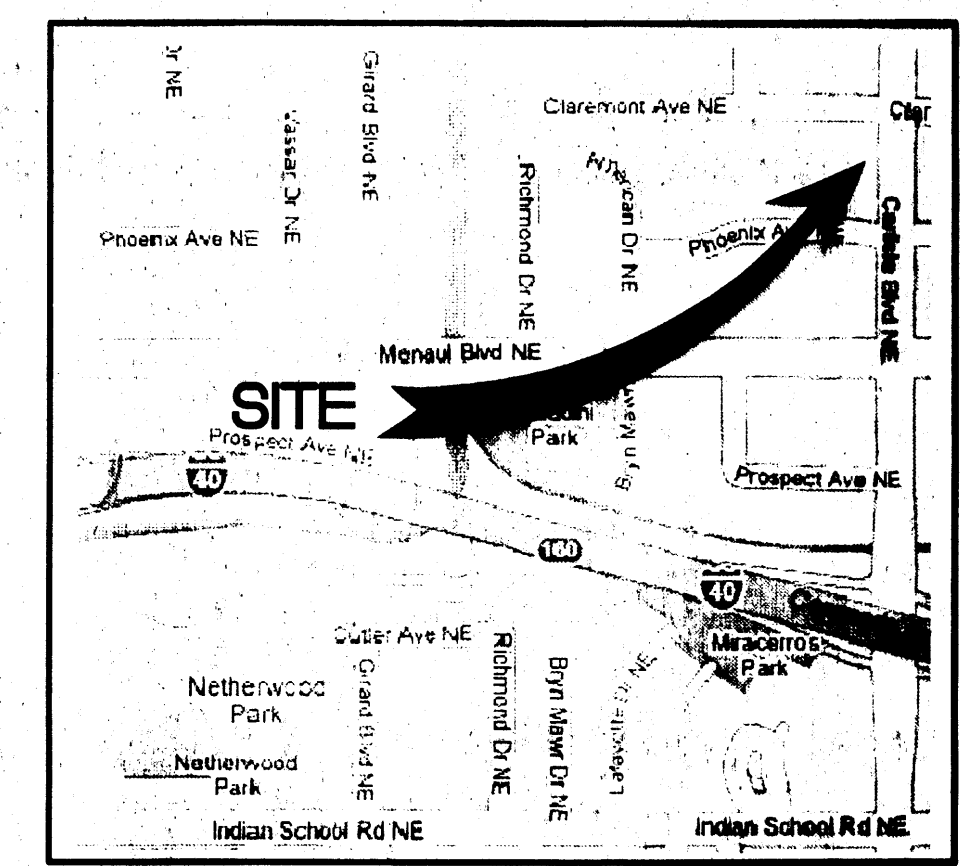
THIS SITE WILL HAVE A CROSS PARKING AGREEMENT WITH THE JACK-IN-THE-BOX SITE TO THE NORTH.
THIS SITE WILL HAVE A CROSS ACCESS AGREEMENT WITH THE JACK-IN-THE-BOX SITE TO THE NORTH.

NOTES:

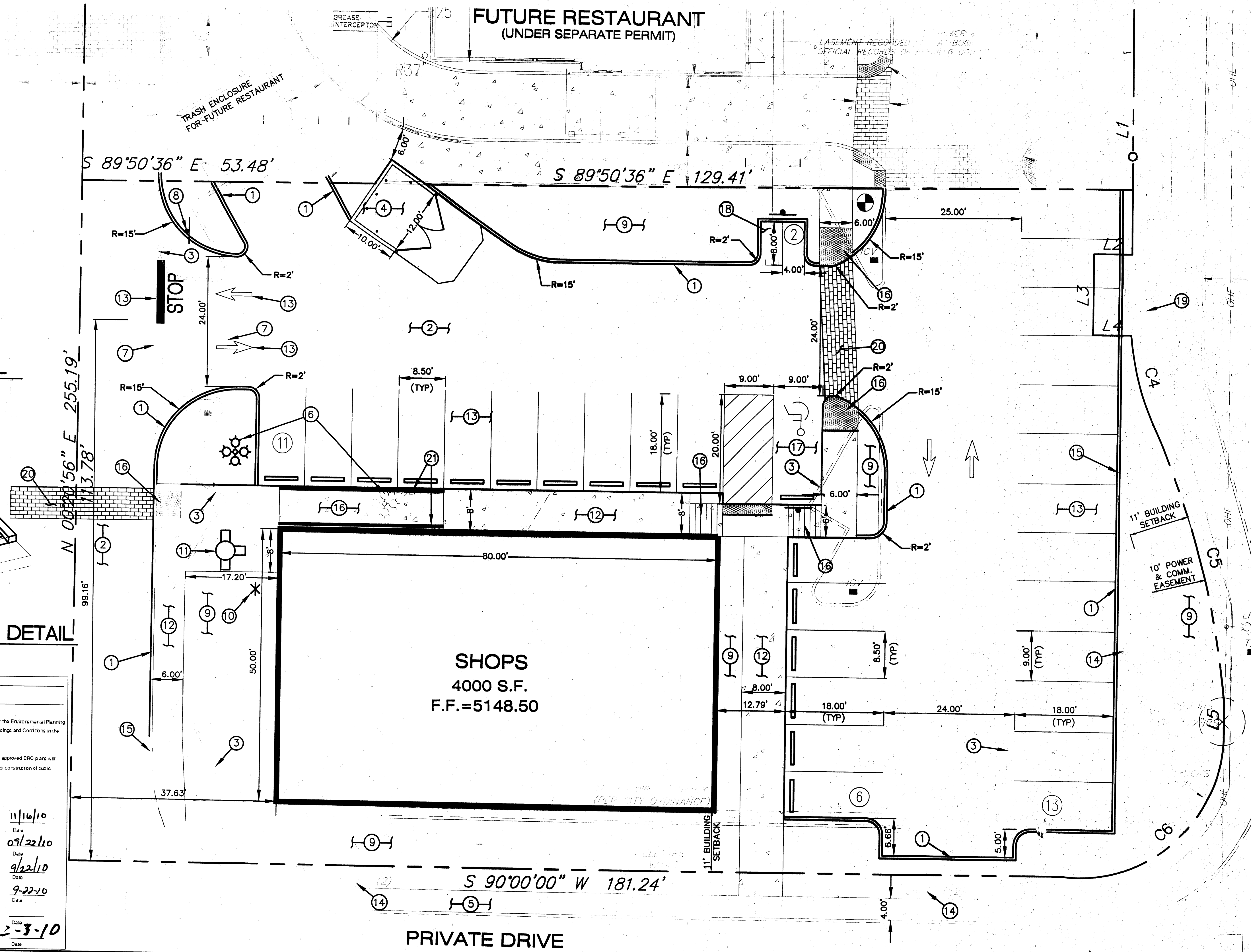
- LANDSCAPE REQUIRED
- ZONING C-2 COMMUNITY COMMERCIAL
- ALL CURVE RADII EQUALS 3' UNLESS NOTED OTHERWISE
- THIS PROJECT IS NOT PHASED
- SHOULD REVISIONS TO THE ARCHITECTURAL ELEVATIONS BE REQUIRED DUE TO TENANT REQUIREMENTS, REVISED ELEVATIONS WILL BE SUBMITTED TO PLANNING STAFF FOR ADMINISTRATIVE APPROVAL
- THE PROPOSED RESTAURANT NORTH OF THIS PROJECT IS NOT A PART OF THIS PROJECT AND IS BEING DESIGNED BY OTHERS AND PERMITTED SEPARATELY
- THERE WILL BE A CROSS ACCESS AND PARKING AGREEMENT FOR THIS SITE AND THE RESTAURANT SITE TO THE NORTH
- ADDITIONAL SITE INFORMATION, INCLUDING ADJACENT RIGHT OF WAY WIDTHS AND PEDESTRIAN ACCESS, IS SHOWN ON SHEET C1.1
- PRELIMINARY GRADING IS SHOWN ON SHEET C3.0
- UTILITY INFORMATION IS SHOWN ON SHEETS C4.0 AND C4.1
- LANDSCAPE INFORMATION IS SHOWN ON THE ATTACHED LANDSCAPE SHEETS
- BUILDING ELEVATIONS AND INFORMATION ARE SHOWN ON THE ATTACHED ELEVATION SHEET A2.0
- A SEPARATE SIGN PACKAGE WILL BE SUBMITTED FOR THE PROJECT ONCE TENANT(S) HAVE BEEN DETERMINED
- NEW SITE LIGHTING IS NOT PROPOSED. THE PROJECT WILL UTILIZE NEW BUILDING MOUNTED LIGHTING TO SUPPLEMENT THE EXISTING SITE LIGHTING.

KEYNOTES

- NEW CURB
- EXISTING VEHICULAR ACCESS
- EXISTING CURB TO BE REMOVED
- REFUGE ENCLOSURE - 6' HIGH CMU STRUCTURE TO MATCH BUILDING
- EXISTING SIDEWALK TO REMAIN
- RELOCATE EXISTING LIGHT
- EXISTING PAVEMENT MARKING TO BE REMOVED
- PROPOSED STOP SIGN
- PROPOSED LANDSCAPE
- PROPOSED BIKE RACK
- PROPOSED OUTDOOR SEATING / PUBLIC SPACE
- PROPOSED SIDEWALK
- PROPOSED PAVEMENT MARKING
- EXISTING SITE LIGHTING TO REMAIN
- EXISTING CURB TO REMAIN
- PROPOSED ADA RAMP
- PROPOSED HANDICAP PARKING AND SIGNAGE PER SECTION 14-16-3-1(F)(9)(b) OF THE ZONING CODE
- PROPOSED MOTORCYCLE PARKING AND SIGNAGE PER SECTION 14-16-3-1(C)(2) OF THE ZONING CODE
- EXISTING TRANSIT SHELTER
- 6 FOOT WIDE PEDESTRIAN CROSSING WITH PATTERNED COLORED CONCRETE TO CONNECT TO EXISTING PEDESTRIAN ROUTE
- HANDRAILS PER ADAAG GUIDELINES



VICINITY MAP SCALE 1"=1000'



PROJECT NUMBER: 1002249

Application Number: _____

The plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision dated _____.

Is an infrastructure list required? Yes No If yes, then a set of approved CRC plans with a work order is required for any construction within Public Right-of-Way, or for construction of public improvements.

DEVELOPER APPROVAL: *[Signature]* 11/16/10

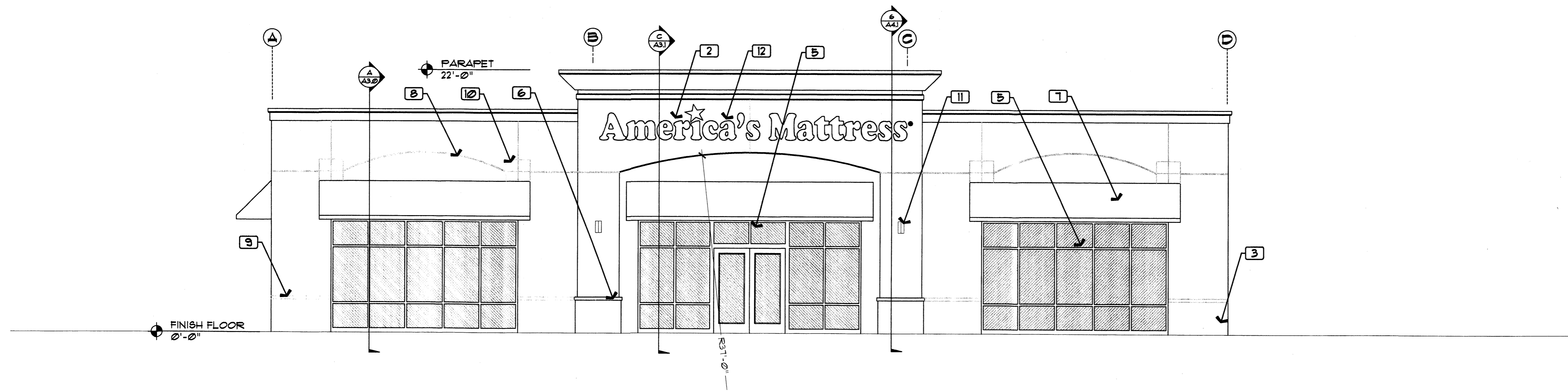
Traffic Engineering/Transportation Engineer: *[Signature]* 09/22/10

Water Authority: *[Signature]* 9/22/10

Parks and Recreation Department: *[Signature]* 9-22-10

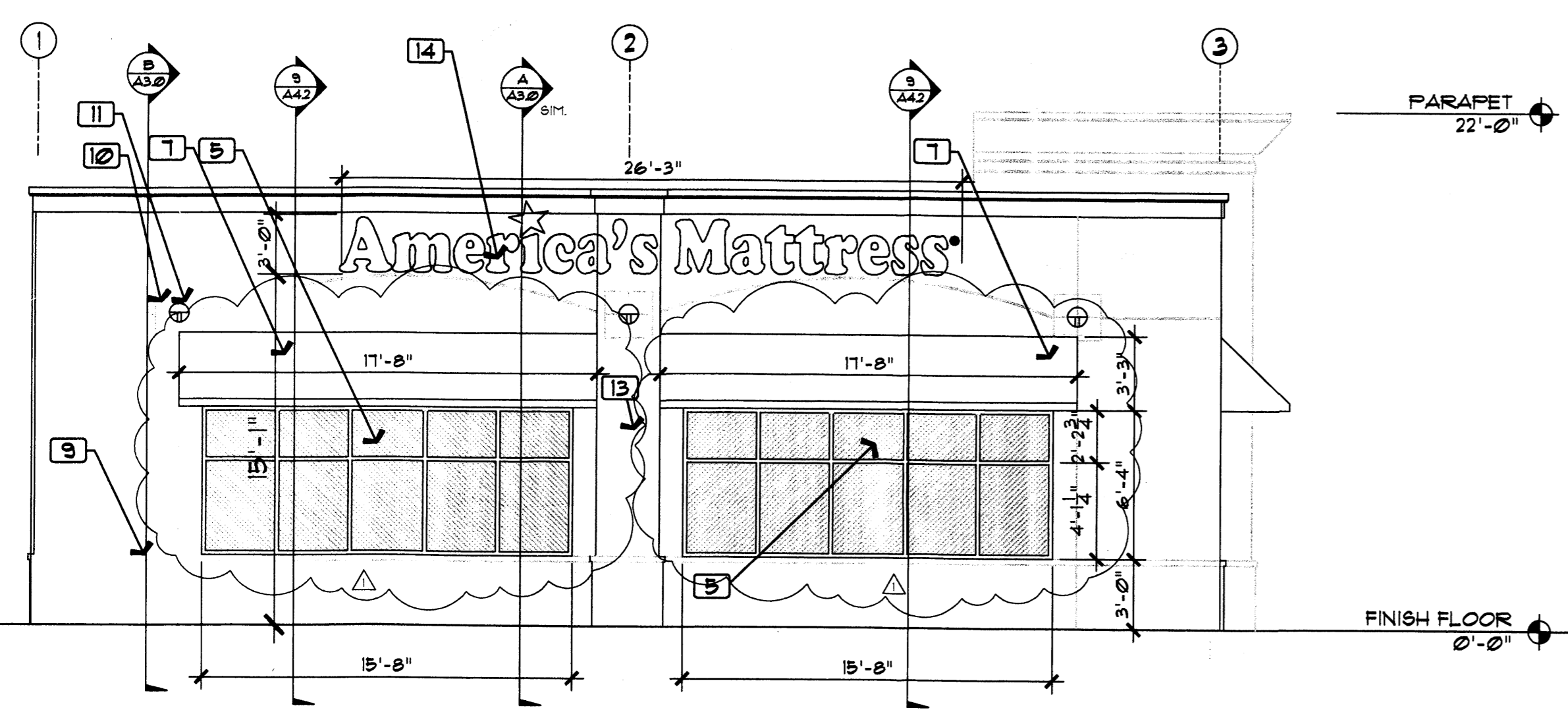
City Engineer: *[Signature]* 12-3-10

City Engineer: *[Signature]* 12-3-10



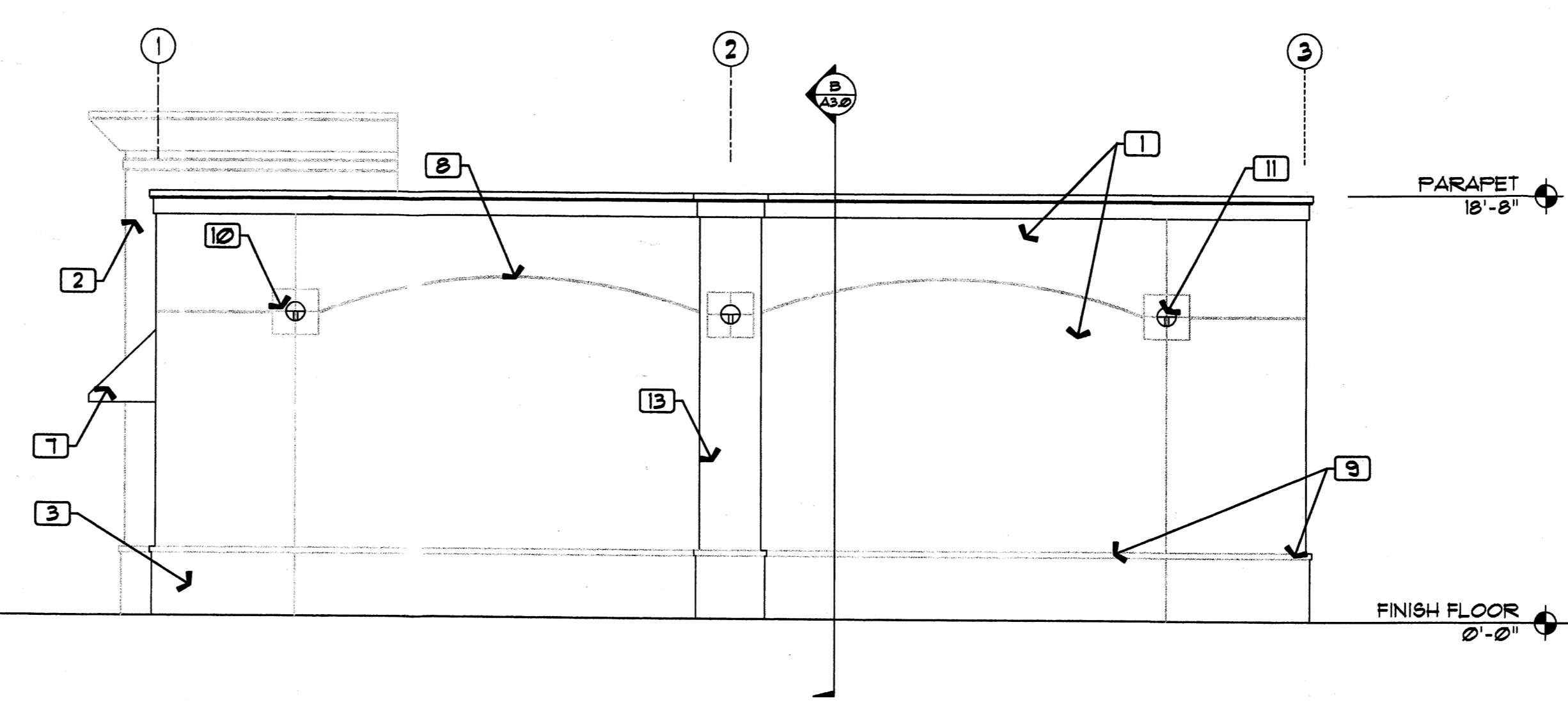
1 NORTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



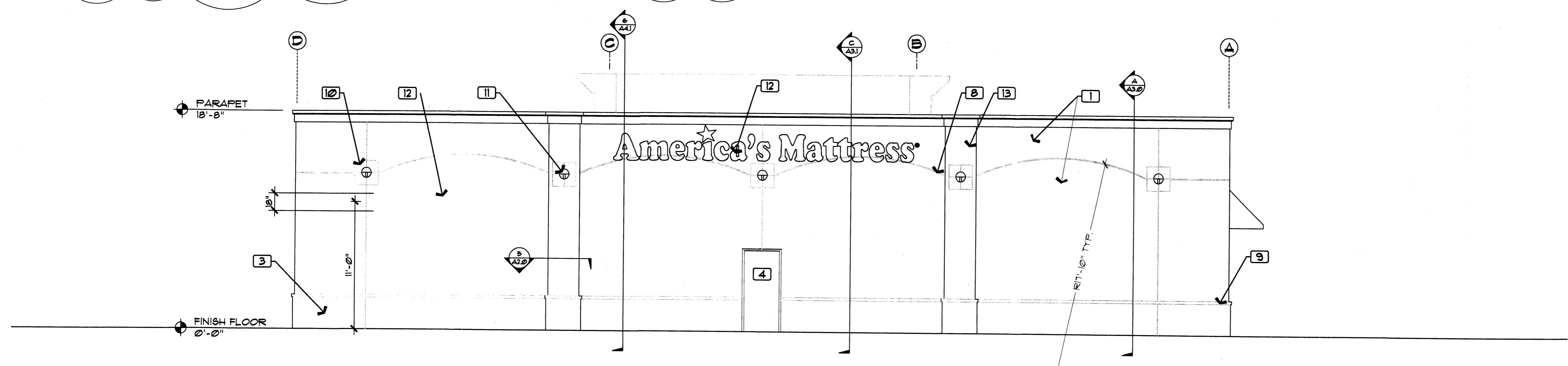
2 EAST BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



3 WEST BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



4 SOUTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"

KEYNOTES:

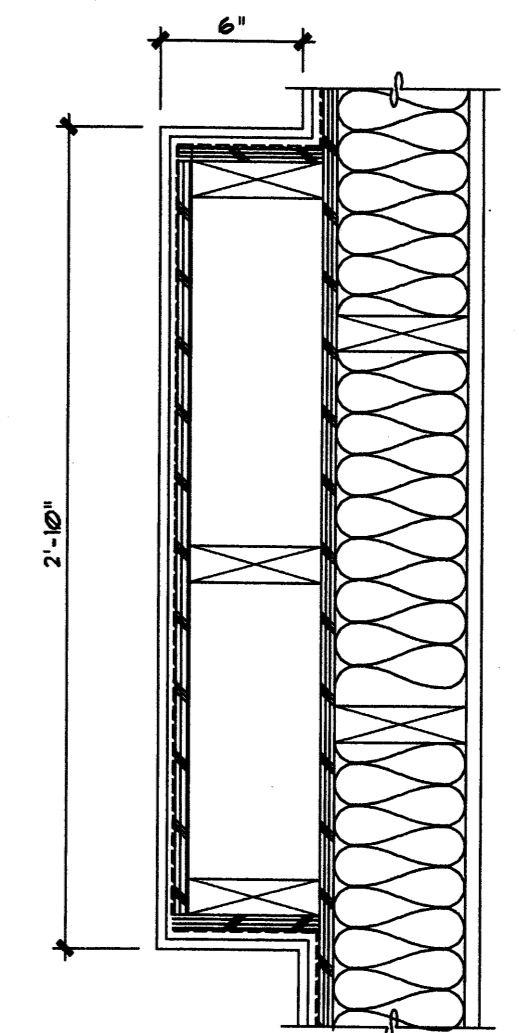
- 1 CEMENT STUCCO SYSTEM - COLOR #1
- 2 CEMENT STUCCO SYSTEM - COLOR #2
- 3 CEMENT STUCCO SYSTEM - COLOR #3
- 4 H.M. DOOR & FRAME, PAINTED TO MATCH.
- 5 DARK BRONZE ALUMINUM STOREFRONT & TINTED GLAZING SYSTEM.
- 6 STUCCO CAP
- 7 FABRIC AWNING WITH PRE-FINISHED STEEL TUBE FRAME (DESIGN - BUILD BY SUPPLIER). COLOR OF AWNING TO BE SUNBRELLA CANVAS PAPRIKA #5451-0000 SOLID DECORATIVE.
- 8 STUCCO REVEAL TYPE #1
- 9 STUCCO REVEAL TYPE #2
- 10 1'x1' CERAMIC TILE INSERT
- 11 BUILDING LIGHTING
- 12 INTERNALLY ILLUMINATED FIBERGLASS FACED SIGNAGE BY OTHERS NOT TO EXCEED 10% OF TOTAL SURFACE AREA. ACTUAL SIGNAGE IS 3.03' X 26.21' = 79.42 SF WHICH IS LESS THAN 5% OF BUILDING ELEVATION SURFACE AREA.
- 13 PILASTER - SEE DETAIL.
- 14 INTERNALLY ILLUMINATED FIBERGLASS FACED SIGNAGE BY OTHERS NOT TO EXCEED 10% OF TOTAL SURFACE AREA. ACTUAL SIGNAGE IS 3.03' X 26.21' = 79.42 SF WHICH IS LESS THAN 5% OF BUILDING ELEVATION SURFACE AREA.

GENERAL NOTES:

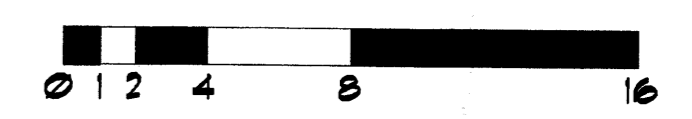
1. IF THERE ARE ANY SIGNIFICANT CHANGES TO THE APPROVED BUILDING ELEVATIONS REQUESTED BY FUTURE TENANTS, THESE REVISIONS WILL BE SUBMITTED TO THE ZONING DEPARTMENT FOR ADMINISTRATIVE APPROVAL ONLY.
2. ALL BUILDING SIGNAGE IS TO BE SUBMITTED FOR REVIEW UNDER THE CITY OF ALBUQUERQUE ORDINANCES GOVERNING THE APPLICATION OF SUCH SIGNAGE. SIGNAGE DIMENSIONS, COLORS, MATERIALS, AND LIGHTING WILL BE PROVIDED BY TENANTS. NO SIGNAGE WILL BE ALLOWED ON THE WEST FACADE. THERE WILL BE NO ELECTRONIC DISPLAY PANELS AND WALL SIGNS WILL BE ALLOWED ON THE NORTH, SOUTH AND EAST FACADES THAT WILL TAKE UP NO MORE THAN 10% OF THE FACADE TO WHICH IT IS APPLIED.
3. ALL ROOF TOP MOUNTED MECHANICAL EQUIPMENT WILL BE EFFECTIVELY SCREENED FROM PUBLIC SIGHT BY THE USE OF THE PROPOSED BUILDING PARAPETS.

STUCCO COLORS:

- COLOR 1 - FIELD STUCCO - SW 6070 'HERON PLUME' (OFF WHITE)
- COLOR 2 - ACCENT - SW 6142 'MACADAMIA' (LIGHT BROWN)
- COLOR 3 - ACCENT - SW 6082 'COBBLE BROWN' (DARK BROWN)
- COLOR 4 - PARAPET - SW 1006 'EXTRA WHITE' (WHITE)



5 PILASTER DETAIL PLAN VIEW



DATE:
03 APR 09

FRANCIS H. HOFFHEINS
NM LICENSED ARCHITECT
NO. 4120
MY LICENSE EXPIRES
DEC 31, 2011

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F. H. HOFFHEINS, JR. - ARCHITECT

RETAIL SHOPS BUILDING
 CARLISLE & CLAREMONT
 ALBUQUERQUE, NM
PROPOSED EXTERIOR ELEVATIONS

NO	REVISION	DATE
1	ADD WINDOW TO EAST ELEV	1/15/2009
2		
3		

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PROJECT NUMBER:	A3006	SHEET #	
DRAWN BY:	SSM	CHECKED BY:	FHH
DATE:	03 APR 09		A2.0