

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1002249**  
10DRB-70271 EPC APPROVED SDP  
FOR BUILD PERMIT
- MIKE JACKSON agent(s) for SRI HOLDINGS LLC request(s) the above action(s) for all or a portion of Lot(s) , Block(s) , Tract(s) F-2-B-2, **AMERICAN SQUARE Unit(s)** , zoned C-2, located on CARLISE BLVD NE BETWEEN CLAREMONT AVE NE AND MENAUL BLVD NE containing approximately .52 acre(s). [REF: 10EPC-40038] (H-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR PARKING ENCROACHMENT AGREEMENT AND TO PLANNING FOR 3 COPIES OF THE APPROVED SITE PLAN.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

5. **Project# 1005029**  
10DRB-70258 EXT OF MAJOR  
PRELIMINARY PLAT
- GARRETT DEVELOPMENT CORP agent(s) for DOUGLAS WILSON COMPANY request(s) the above action(s) for all or a portion of Lot(s) , Block(s) , Tract(s) B & J OF THE CROSSINGS, **STORM CLOUD Unit(s) 4 & 5**, zoned SU-2 RLT, located on TIERRA PINTADA BLVD NW BETWEEN CALLE AZUELO NW AND ARKANSAS NW containing approximately 55.24 acre(s). [REF: ] (H-09) **DEFERRED TO 12/1/10 AT THE AGEN'TS REQUEST.**
6. **Project# 1008311**  
10DRB-70270 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- JACK D'AMBROSIO request(s) the above action(s) for all or a portion of Lot(s) 9, Block(s) 4, Tract(s) , **FOUR HILLS VILLAGE Unit(s) 14**, zoned R-1, located on HIDEAWAY LANE BETWEEN STAGE COACH RD HIDEAWAY LANE containing approximately 1.4 acre(s). [REF: ] (M-23) **DEFERRED TO 9/29/10 AT THE AGEN'TS REQUEST.**
7. **Project# 1008489**  
10DRB-70248 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- JACKS HIGH COUNTRY INC agent(s) for TIM & TRACY JAVAMILLO request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-P-1& 1-B-1-P-1, Block(s) 7, **CRYSTAL RIDGE SUBDIVISION Unit(s) 3**, zoned A-1, located on MAGIC SKY CT NW AND LA CANADA NW containing approximately .6638 acre(s). (B-13) [*Deferred from 9/8/10*] **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR OWNER ACKNOWLEDGEMENT OF EASEMENT AND FOR AGIS DXF FILE.**



**DRB CASE ACTION LOG**  
REVISED 10/08/07

*(Site Plan - Building Permit)*

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 10DRB-70771 Project # 1002249  
Project Name: American Square  
Agent: Mike Jackson Phone No.: \_\_\_\_\_

Your request was approved on 9-22-10 by the DRB with delegation of signature(s) to the following departments.

**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: - Parking encroachment Agreement

UTILITIES: \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

PLANNING (Last to sign): \_\_\_\_\_

- Planning must record this plat. Please submit the following items:
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
  - Property Management's signature must be obtained prior to Planning Department's signature.
  - AGIS DXF File approval required.
  - Copy of recorded plat for Planning.

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1002249**  
10DRB-70271 EPC APPROVED SDP  
FOR BUILD PERMIT
- MIKE JACKSON agent(s) for SRI HOLDINGS LLC request(s) the above action(s) for all or a portion of Lot(s) , Block(s) , Tract(s) F-2-B-2, **AMERICAN SQUARE Unit(s)** , zoned C-2, located on CARLISE BLVD NE BETWEEN CLAREMONT AVE NE AND MENAUL BLVD NE containing approximately .52 acre(s). [REF: 10EPC-40038] (H-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR PARKING ENCROACHMENT AGREEMENT AND TO PLANNING FOR 3 COPIES OF THE APPROVED SITE PLAN.**

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10DRB-70258 EXT OF MAJOR  
PRELIMINARY PLAT
- GARRETT DEVELOPMENT CORP agent(s) for DOUGLAS WILSON COMPANY request(s) the above action(s) for all or a portion of Lot(s) , Block(s) , Tract(s) B & J OF THE CROSSINGS, **STORM CLOUD Unit(s) 4 & 5**, zoned SU-2 RLT, located on TIERRA PINTADA BLVD NW BETWEEN CALLE AZUELO NW AND ARKANSAS NW containing approximately 55.24 acre(s). [REF: ] (H-09) **DEFERRED TO 12/1/10 AT THE AGEN'TS REQUEST.**
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10DRB-70270 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- JACK D'AMBROSIO request(s) the above action(s) for all or a portion of Lot(s) 9, Block(s) 4, Tract(s) , **FOUR HILLS VILLAGE Unit(s) 14**, zoned R-1, located on HIDEAWAY LANE BETWEEN STAGE COACH RD HIDEAWAY LANE containing approximately 1.4 acre(s). [REF: ] (M-23) **DEFERRED TO 9/29/10 AT THE AGEN'TS REQUEST.**
7. **Project# 1008489**  
10DRB-70248 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- JACKS HIGH COUNTRY INC agent(s) for TIM & TRACY JAVAMILLO request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-P-1& 1-B-1-P-1, Block(s) 7, **CRYSTAL RIDGE SUBDIVISION Unit(s) 3**, zoned A-1, located on MAGIC SKY CT NW AND LA CANADA NW containing approximately .6638 acre(s). (B-13) [*Deferred from 9/8/10*] **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR OWNER ACKNOWLEDGEMENT OF EASEMENT AND FOR AGIS DXF FILE.**

HEARING DATE 9-22-10 (SBP)





# DRB CASE ACTION LOG

REVISED 10/08/07

(PRELIMINARY/FINAL)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70188 Project # 1002749  
 Project Name: AMERICAN SQUARE  
 Agent: The Survey Office LLC Phone No.: \_\_\_\_\_

Your request was approved on 06-03-09 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- PLANNING (Last to sign): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - AGIS DXF File approval required.**
  - Copy of recorded plat for Planning.**

Created On:



**COMPLETED 06/11/09 - SA**  
**DRB CASE ACTION LOG** (PRELIMINARY / FINAL)  
 REVISED 10/08/07

**This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.**

DRB Application No.: 09DRB-70188 Project # 1002749  
 Project Name: AMERICAN SQUARE  
 Agent: The Survey Office LLC Phone No.: \_\_\_\_\_

Your request was approved on 06-03-09 by the DRB with delegation of signature(s) to the following departments.

**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
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- PARKS / CIP: \_\_\_\_\_  
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- PLANNING (Last to sign): \_\_\_\_\_  
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    - Property Management's signature must be obtained prior to Planning Department's signature.**
    - AGIS DXF File approval required.**
    - Copy of recorded plat for Planning.**

→

Created On:

**2249**

### DXF Electronic Approval Form

DRB Project Case #: 1002249

Subdivision Name: AMERICAN SQUARE TRACTS F1B1 & F1B2

Surveyor: ANTHONY L HARRIS

Contact Person: SARAH AMATO

Contact Information: 998-0303

DXF Received: 5/26/2009

Hard Copy Received: 5/26/2009

Coordinate System: Ground rotated to NMSP Grid

  
Approved

05.27.2009  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**AGIS Use Only**  
Copied fc 2249 to agiscov on 5/27/2009 Contact person notified on 5/27/2009

10. **Project# 1006516**  
 07DRB-70030 BULK LAND VARIANCE  
 07DRB-70031 MAJOR - PRELIMINARY  
 PLAT APPROVAL  
 07DRB-70032 MINOR - TEMP DEFR  
 SWDK CONST  
 07DRB-70033 SIDEWALK WAIVER  
 07DRB-70034 VACATION OF PUBLIC  
 EASEMENT  
 07DRB-70085 MINOR - PRELIMINARY/  
 FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) PORTION OF TRACT 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD. SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). (R15, R16, S15, AND S16) [*Deferred from 6/27/07, 7/25/07, 7/22/07, 8/22/07 & 9/26/07, 1/30/08, 3/5/08, 4/9/08, 5/14/08, 5/28/08, 6/4/08, 6/11/08, 6/25/08, 7/16/08, 8/6/08, 8/20/08, 9/3/0, 9/24/08, 11/5/08, 12/17/08, 1/21/09, 2/4/09, 3/11/09, 4/1/09*] **DEFERRED TO 8/5/09 AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. ~~Project# 1002249~~  
 09DRB-70188 MINOR - PRELIMINARY/  
 FINAL PLAT APPROVAL

THE SURVEY OFFICE LLC agent(s) for SRI HOLDINGS LLC request(s) the above action(s) for all or a portion of Tract(s) F-1-B, **AMERICAN SQUARE**, zoned C-2, located on CLAREMONT AVE NE BETWEEN CARLISLE BLVD NE AND RICHMOND DR NE containing approximately 1.1731 acre(s). (H-16) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR A COPY OF THE RECORDED PLAT.**

12. **Project# 1003285**  
 09DRB-70189 EXT OF SIA FOR TEMP  
 DEFR SDWK CONST

WESTLAND DEV CO LP request(s) the above action(s) for all or a portion of **SUNDORO SOUTH UNIT 6 Unit(s) 6**, located on SILICA AVE NW BETWEEN 94TH ST NW AND TUMULUS NW containing approximately 10.7 acre(s). (J-9) **A TWO YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

13. Other Matters: None.

ADJOURNED: 10:00





COMPLETED 05/27/09

DRB CASE ACTION LOG (Site Plan - Building Permit)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70171 Project # 1002249
Project Name: American Square
Agent: Mike Jackson P Phone No.:

Your request was approved on 5-27-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

OK

TRANSPORTATION: revise sheets for comments

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

OK

PLANNING (Last to sign): revise sheets

OK
5-27-09

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE:
Tax printout from the County Assessor.

OK

- 3 copies of the approved site plan. Include all pages.
County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
Property Management's signature must be obtained prior to Planning Department's signature.
AGIS DXF File approval required.
Copy of recorded plat for Planning.



# DRB CASE ACTION LOG

REVISED 10/08/07

*(Site Plan - Building Permit)*

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70171

Project # 1002249

Project Name: American Square

Agent: Mike Jackson

Phone No.:

Your request was approved on 5-27-09 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: revise sheets for comments

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): revise sheets

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
    - 3 copies of the approved site plan. Include all pages.**
    - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
    - Property Management's signature must be obtained prior to Planning Department's signature.**
    - AGIS DXF File approval required.**
    - Copy of recorded plat for Planning.**

Created On:



COMPLETED 05/27/09 stt  
DRB CASE ACTION LOG (Site Plan - Subdivision)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70172 Project # 1002249  
Project Name: American Square  
Agent: Mike Jackson Phone No.:

Your request was approved on 5-27-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

OK

TRANSPORTATION: revise sheets for comments

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

OK

PLANNING (Last to sign): revise sheets

OK  
5-27-09

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Created On:





# DRB CASE ACTION LOG (Site Plan - Subdivision)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09 DRB-70172 Project # 1002249  
 Project Name: American Square  
 Agent: Mike Jackson Phone No.:

Your request was approved on 5-27-09 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Review sheets for comments

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

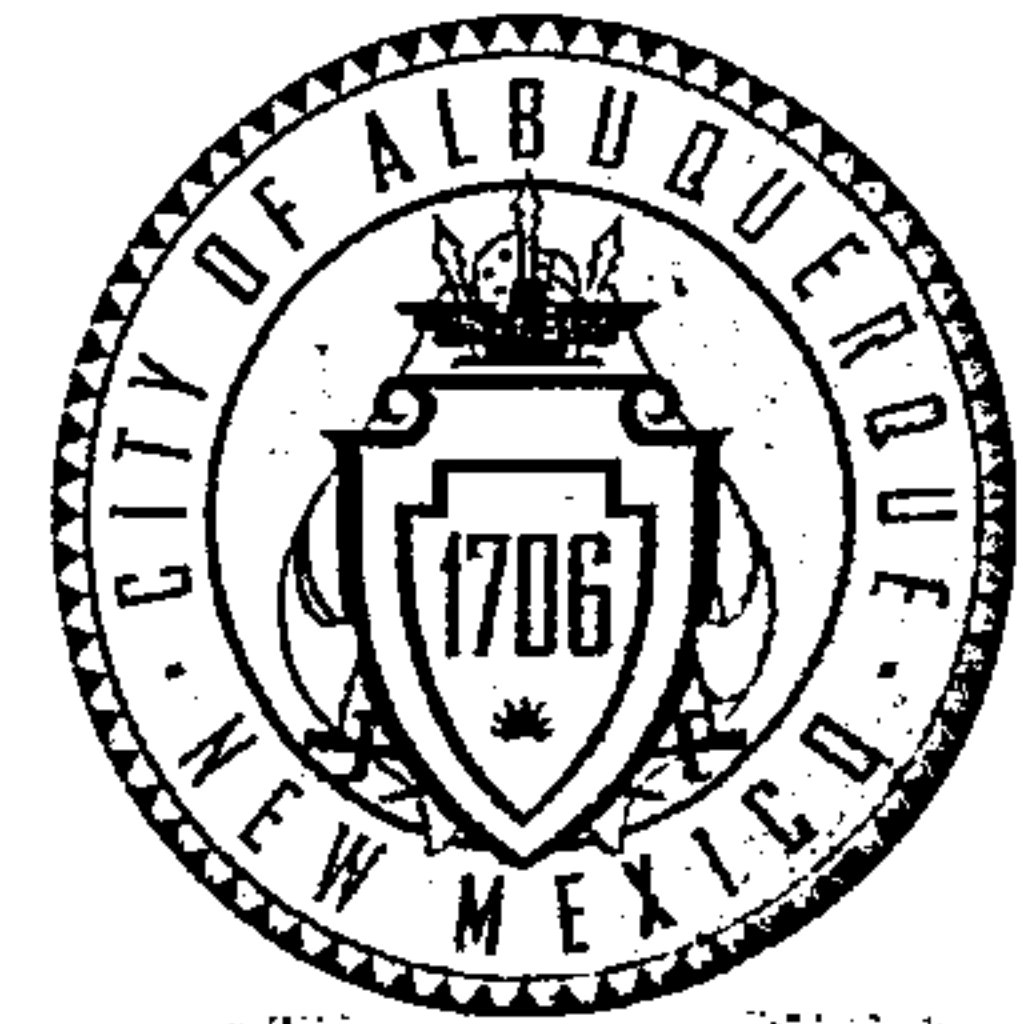
PLANNING (Last to sign): Review sheets

- Planning must record this plat. Please submit the following items:
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
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  - 3 copies of the approved site plan. Include all pages.
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  - Property Management's signature must be obtained prior to Planning Department's signature.
  - AGIS DXF File approval required.
  - Copy of recorded plat for Planning.

Created On:



# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002249**

**AGENDA ITEM NO: 11**

**SUBJECT:**

Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

No adverse comments.

NM 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** June 3, 2009



# DRB CASE ACTION LOG (SDP - BUILD. P.)

REVISED 10/08/07

*[Handwritten signature]*

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70459	Project # 1002249
Project Name: AMERICAN SQUARE	
Agent: BOHANNAN HUSTON INC.	Phone No.: 823 1000

Your request was approved on 11-5-08 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - comments / mark-up

\_\_\_\_\_

\_\_\_\_\_

UTILITIES: - comments / mark-up

\_\_\_\_\_

\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_

\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

\_\_\_\_\_

PLANNING (Last to sign): \_\_\_\_\_

\_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
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  - 3 copies of the approved site plan. Include all pages.**
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  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - AGIS DXF File approval required.**
  - Copy of recorded plat for Planning.**

Created On:



# DRB CASE ACTION LOG (SDP – SUBDIVISION)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70461 Project # 1002249  
 Project Name: AMERICAN SQUARE  
 Agent: BOHANNAN HUSTON INC. Phone No.: 828-1000

Your request was approved on 11-5-08 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:

City of Albuquerque  
Planning Department  
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair  
FROM: Randall Falkner, Planner  
SUBJECT: Project # 1002249

On August 22, 2008, the Environmental Planning Commission approved Project # 1002249 07EPC-40069/40070, a Site Development Plan for Building Permit, and an amendment to the Site Development Plan for Building Permit, for all or a portion of Lot F-1-B, American Square, zoned C-2, located on Carlisle NE between Menaul Blvd NE and Claremont NE containing approximately 1.172 acres.

The applicant has satisfied all of the EPC conditions of approval for the site development plan for building permit.

A note of clarification for Condition #3, which requests that parking spaces provided be changed from 16 to 14. This is for when the future right-of-way is built, which would eliminate 11 spaces. Until the future right-of-way is built, there will be 25 parking spaces provided, which is shown on the site plan.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.



7. **Project# 1007140**  
 08DRB-70297 VACATION OF PUBLIC EASEMENT  
 08DRB-70300 SIDEWALK WAIVER  
 08DRB-70301 MINOR - TEMP DEFR SWDK CONST  
 08DRB-70302 MAJOR - SDP FOR SUBDIVISION  
 08DRB-70303 MAJOR - PRELIMINARY PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for JUAN TABO HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2-A, A-C, **JUAN TABO HILLS, UNIT 1**, zoned AD, SU-1, located on JUAN TABO BLVD BETWEEN VIA POSADA RD AND JULFSTREAM DR containing approximately 41.0242 acre(s). (M-22) [*Deferred from 7/30/08, 8/20/08 8/27/08, 9/3/08, 9/17/08, 10/1/08, 10/22/08*] **DEFERRED TO 11/26/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

8. **Project#-1002249**  
 08DRB-70459 EPC APPROVED SDP FOR BUILD PERMIT  
 08DRB-70461 EPC APPROVED SDP FOR SUBDIVISION

BOHANNAN HUSTON INC agent(s) for CRT PARTNERS-SOUTHERN ARIZONA FRANCHISE request(s) the above action(s) for all or a portion of Lot(s) F-1-B, **AMERICAN SQUARE** zoned C-2, located on CARLISLE NW BETWEEN MENUAL NE AND CLAREMONT NE containing approximately 1.172 acre(s). (H-16) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND ABCWUA FOR REVISED UTILITY PLAN. 3 COPIES OF THE SITY PLAN MUST BE PROVIDED TO PLANNING.**

9. **Project# 1000171**  
 08DRB-70453 EPC APPROVED SDP FOR BUILD PERMIT

GARRET SMITH LTD agent(s) for CITY OF ALBUQUERQUE ANIMAL WELFARE DEPARTMENT request(s) the above action(s) for all or a portion of Tract(s) 1-A, **MUNICIPAL ADDITION #2** zoned SU-1 ANIMAL SHELTER & MAINT YD, located on LOMAS BLVD BETWEEN WYOMING BLVD AND I-40 containing approximately 6.1 acre(s). (K-20) [*Deferred from 10/29/08*] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING FOR CASE PLANNER APPROVAL.**

10. **Project# 1002455**  
08DRB-70446 EPC APPROVED SDP  
FOR BUILD PERMIT  
08DRB-70447 EPC APPROVED SDP  
FOR SUBDIVISION

08DRB-70448 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
08DRB-70467 VACATION OF PRIVATE  
EASEMENT

TIM M OTT request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **JJ SUBDIVISION**, zoned SU-1 FOR C1, located on SAN ANTONIO DR NE BETWEEN I-25 AND SAN PEDRO NE containing approximately 2.6548 acre(s). (E-18) [Deferred from 10/22/08, 10/29/08] **DEFERRED TO 11/12/08 AT THE AGENT'S REQUEST.**

**BORDENAVE DESIGNS** agent(s) for TIM M OTT request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **JJ SUBDIVISION**, zoned SU-1 FOR C1, located on SAN ANTONIO DR NE BETWEEN I-25 AND SAN PEDRO NE containing approximately 2.6548 acre(s). (E-18) [Deferred from 10/22/08, 10/29/08] **DEFERRED TO 11/12/08 AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project# 1003057**  
08DRB-70464 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

COMMUNITY SCIENCES CORP agent(s) for JEHOVAH'S WITNESS WEST CONGREGATION request(s) the above action(s) for all or a portion of Tract(s) A-2-A- & A-2-B, **CLIFFORD WEST BUSINESS PARK Unit(s) 3**, zoned IP, located on SW CORNER LOS VOLCANES NW AND UNSER NW containing approximately 1.6979 acre(s). (K-9) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR EXHIBIT INDICATING LOCATION OF SIDEWALK AND DISTANCE OF FACE OF CURB TO PROPERTY LINE AND TO PLANNING FOR SOLAR COLLECTORS NOTE. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**

12. **Project# 1003094**  
08DRB-70457 MAJOR - FINAL PLAT  
APPROVAL

ISAACSON AND ARFMAN PA agent(s) for ALVARADO - SG, LLC request(s) the above action(s) for all or a portion of Lot(s) 1-24, Block(s) 30, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE** zoned SU-3 HOUSING FOCUS, located on SILVER AVE SW BETWEEN 2ND ST SW AND 3RD ST SW containing approximately 1.9535 acre(s). (K-14) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTOR NOTE, INDICATION OF HOME OWNERS ASSOCIATION OWNING AND MAINTAINING TRACTS, AND TO RECORD.**





Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRELIM/FINAL

V

P

L

D

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

Professional/Agent (if any): THE SURVEY OFFICE LLC PHONE: 998-0303  
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0305  
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_

APPLICANT: MIKE JACKSON, SRI HOLDINGS LLC PHONE: 602-273-7500  
 ADDRESS: 432 N. 44<sup>TH</sup> STREET, SUITE 353 FAX: 602-273-7505  
 CITY: PHOENIX STATE AZ ZIP 85008 E-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: DIVIDE ONE EXISTING TRACT INTO TWO NEW TRACTS.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. TRACT F-1-B Block: N/A Unit: N/A  
 Subdiv/Addn/TBKA: AMERICAN SQUARE  
 Existing Zoning: C-2 Proposed zoning: N/A  
 Zone Atlas page(s): H-16-Z UPC Code: 1-016-059-516-383-10920 MRGCD Map No N/A

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
PROJ# 1002249, 09DRB-70171, 09DRB-70172

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 2 Total area of site (acres): 1.1731 AC.

LOCATION OF PROPERTY BY STREETS: On or Near: CLAREMONT AVENUE  
 Between: CARLISLE BLVD NE and RICHMOND DR. NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE M. Maple DATE 5-22-09  
 (Print) Gary D. Maple Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>09DRB 70188</u>	<u>P&amp;F</u>	<u>5(3)</u>	<u>\$ 285.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>06/03/09</u>			Total <u>\$ 305.00</u>

Sandy Handley 05/26/09  
 Planner signature / date

Project # 1002249

Form revised 4/07



FORM S(3): SUBDIVISION .R.B. MEETING (UNADVERTISED OR INTERNAL ROUTING)

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

*Gary D. Maple*

Applicant name (print)  
*M. Maple 5-21-9*  
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

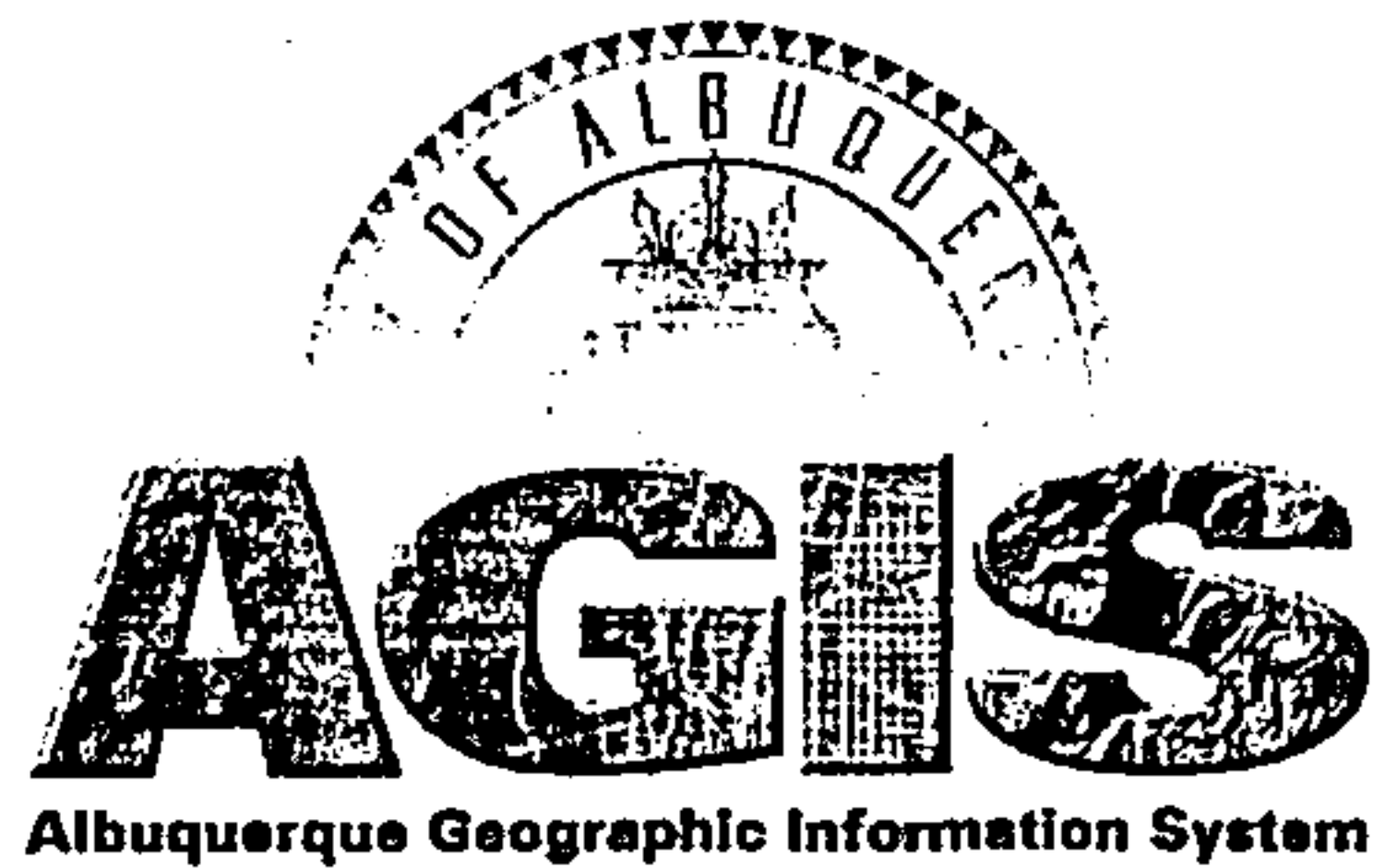
Application case numbers  
*09DRB - 70188*

*Sandy Handley 05/26/09*  
Planner signature / date  
Project # *1002249*

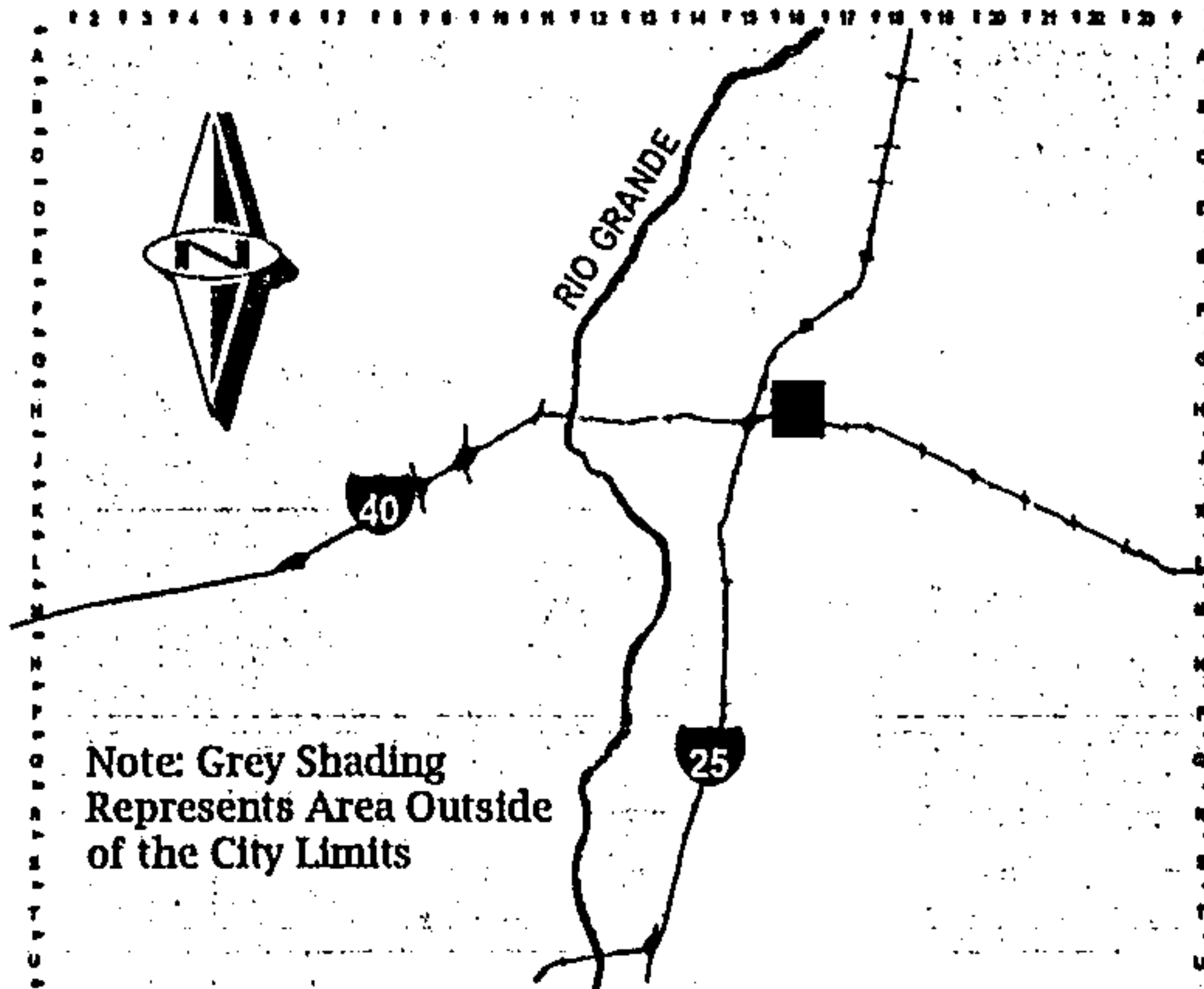




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 3/10/2009



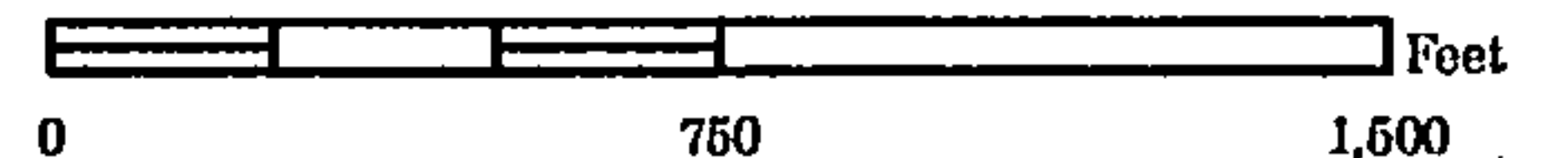
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

**H-16-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



# *The Survey Office, LLC*

*333 Lomas Blvd., NE \* Albuquerque, New Mexico 87102 \* 998-0303 \* Fax 998-0305*

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May 22, 2009

DEVELOPMENT REVIEW BOARD MEMBERS  
PLAZA DEL SOL  
600 SECOND STREET NW  
ALBUQUERQUE, NM 87103

REF: TRACTS F-1-B-1 & F-1-B-2, AMERICAN SQUARE

Dear Board Members:

The Survey Office, LLC is requesting preliminary/final plat approval to divide One (1) existing tract into Two (2) new tracts for the above referenced property.

The property is currently vacant. The owner is proposing future commercial development (retail shops and a restaurant).

If you have any questions please feel free to contact me.

Sincerely,



Gary Maple  
President

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

05/26/2009 Issued By: PLNSDH

-----  
**Permit Number: 2009 070 188** **Category Code 910**

**Application Number:** 09DRB-70188, Minor - Preliminary/ Final Plat Approval

**Address:**

**Location Description:** CLAREMONT AVE NE BETWEEN CARLISLE BLVD NE AND RICHMOND DR NE

**Project Number:** 1002249

**Applicant**

Sri Holdings Llc  
Mike Jackson  
432 N 44th St Ste 353  
Phoenix AZ 85008  
602-273-7500

**Agent / Contact**

The Survey Office Llc  
333 Lomas Blvd Ne  
Albuquerque NM 87102  
998-0303

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$285.00
<b>TOTAL:</b>		<b>\$305.00</b>

City Of Albuquerque  
Treasury Division

5/26/2009 9:47AM LOC: ANN  
WSH 008 TRANS# 0006  
RECEIPT# 00105821-00105821  
PERMIT# 2009070188 TRSASR  
Trans Amt \$305.00  
Conflict Maneg. Fee \$20.00  
DRB Actions \$285.00  
CK \$305.00  
CHANGE \$0.00

Thank You



**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

05/11/2009 Issued By: PLNSDH

-----  
**Permit Number: 2009 070 171** **Category Code 910**

**Application Number:** 09DRB-70171, Epc Approved Sdp For Build Permit

**Address:**

**Location Description:** CLAREMONT NE BETWEEN CARLISLE NE AND MENCIAL BLVD NE

**Project Number:** 1002249

**Applicant**  
Sri Holdings Llc

**Agent / Contact**  
Mike Jackson

1919 Queen Anne Ave N # 300  
Seattle WA 98109  
206-818-3400

432 N 44th St # 353  
Phonenix AZ 87008  
602-273-7500

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
<b>TOTAL:</b>		<b>\$20.00</b>

City Of Albuquerque  
Treasury Division

5/11/2009 10:21AM LOC: ANN  
WSH 008 TRANSH 0005  
RECEIPT# 00105310-00105310  
PERMIT# 2009070171 TREASR  
Trans Amt \$20.00  
Conflict Manaq. Fee \$20.00  
VI \$20.00  
CHANGE \$0.00

Thank You





Search Mail Search the Web Show search options Create a filter

Compose Mail

ESRI - www.retailsolutionsonline.com/ - Geographic information system (GIS) technologySponsored Link

Inbox

Starred

Chats

Sent Mail

Drafts

All Mail

Spam

Trash

Contacts

Sarah Gibson

Search, add, or invite

Labels

Edit labels

Invite a friend

Give Gmail to:

Empty text input field for inviting a friend.

Send Invite 50 left

preview invite

« Back to Inbox Archive Report Spam Delete More actions... 1 of 9 Older »

Project No. 1002249 Inbox

"Zamora, David M." <dmzamora@cabq.gov> show details 12:06 pm (15 minutes ago) Reply

The .dxf file for project no. 1002249 (American Square) has been approved.

David M. Zamora
GIS Coordinator - AGIS
City of Albuquerque
Planning Department
924-3929 phone
924-3812 fax
www.cabq.gov/gis
dmzamora@cabq.gov

Reply Forward Invite David to Gmail

Empty text input field for replying or forwarding.

« Back to Inbox Archive Report Spam Delete More actions... 1 of 9 Older »

Open the conversation, compose, or reply pane in a new window by clicking

You are currently using 6 MB (0%) of your 7331 MB.

Gmail view: standard with chat | standard without chat | basic HTML Learn more

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Item# 11  
Project# 1002249  
Hearing Date: June 3, 2009





# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): MIKE JACKSON PHONE: 602.273.7500  
 ADDRESS: 432 N. 44<sup>th</sup> Street #353 FAX: 602.273.7505  
 CITY: Phoenix STATE AZ ZIP 85008 E-MAIL: mjackson@pacland.com

APPLICANT: SRI Holdings, LLC PHONE: 206.816.3400  
 ADDRESS: 1919 Queen Anne Avenue N #300 FAX: 206.816.3401  
 CITY: Seattle STATE WA ZIP 98109 E-MAIL: \_\_\_\_\_

Proprietary interest in site: \_\_\_\_\_ List all owners: SRI Holdings, LLC

DESCRIPTION OF REQUEST: Split lot F-1-B and develop retail shops on southern portion.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No: F-1-B Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: American Square  
 Existing Zoning: C-2 Proposed zoning: C-2 MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): H-16-Z UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): 1002249

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 1 No. of proposed lots: 2 Total area of site (acres): 1.17  
 LOCATION OF PROPERTY BY STREETS: On or Near: SWC Claremont & Carlisle NE  
 Between: Claremont Ave NE and Manual Blvd NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 5-11-09  
 (Print) Mike Jackson Applicant:  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>09DRB 70171</u>	<u>SBP</u>	<u>R(3)</u>	<u>\$ 0</u>
<u>09DRB 70172</u>	<u>SPS</u>		<u>\$ 0</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$20.00</u>

Hearing date 05/20/09  
Sandy Handley 05/11/09 Project # 1002249  
 Planner signature / date

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
  - \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Completed Site Plan for Subdivision Checklist
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - \_\_\_ Solid Waste Management Department signature on Site Plan
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
  - \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
  - \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Solid Waste Management Department signature on Site Plan for Building Permit
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Mike Jackson  
Applicant name (print)  
[Signature] 5-11-09  
Applicant signature / date



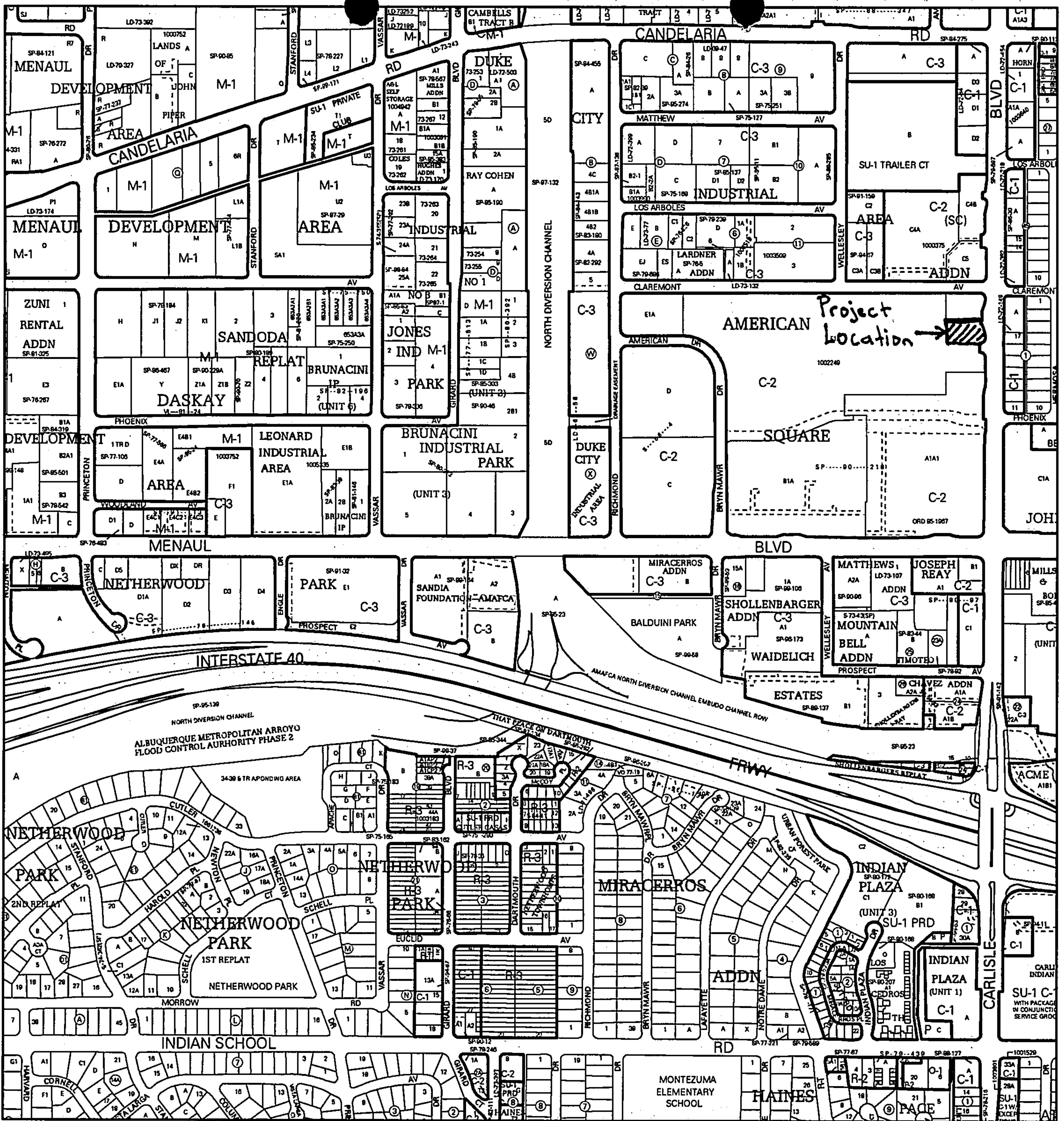
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

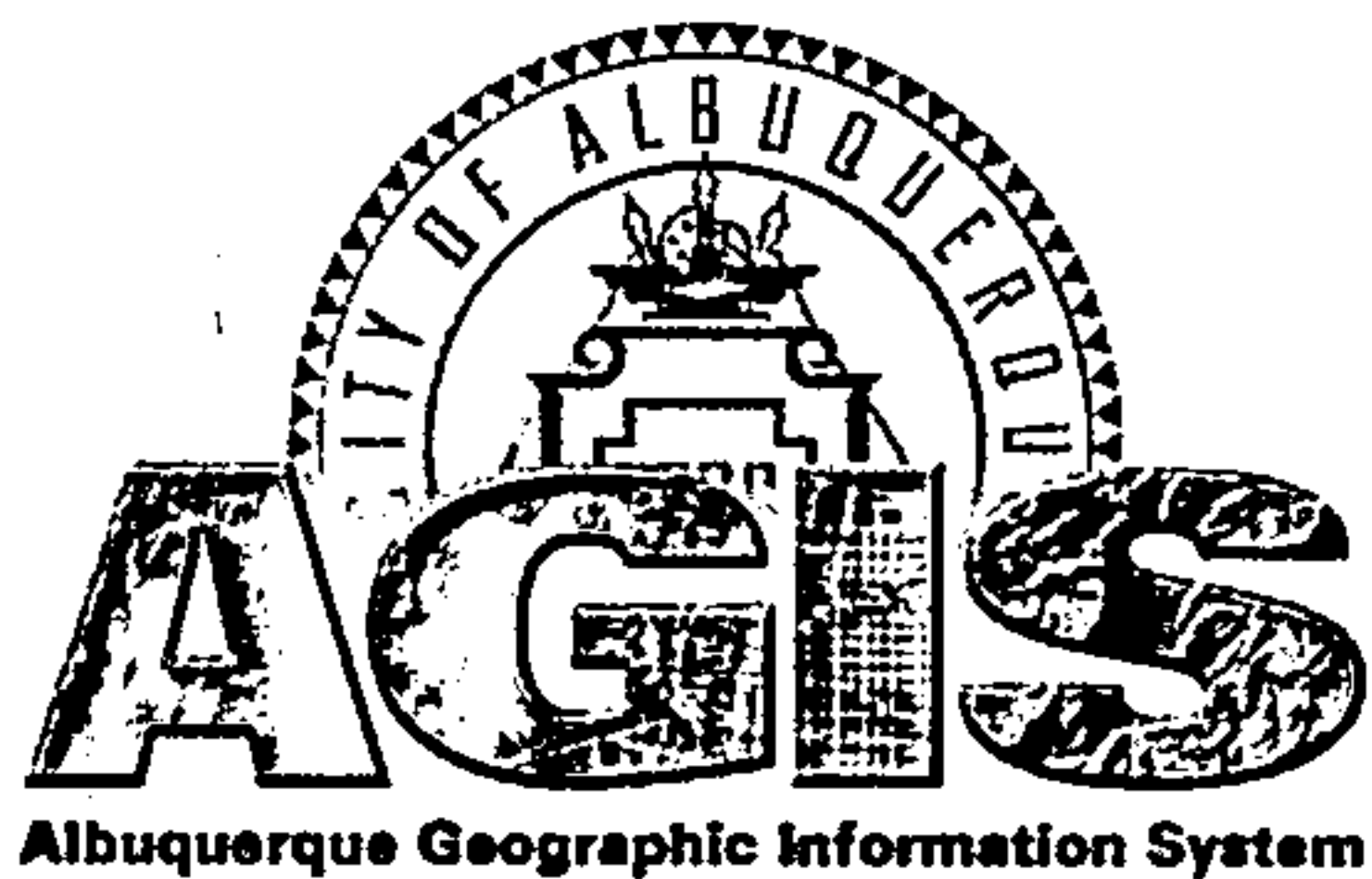
Application case numbers  
09DRB 70171  
09DRB 70172

Sandy Handley 05/11/09  
Planner signature / date  
Project # 100 2249

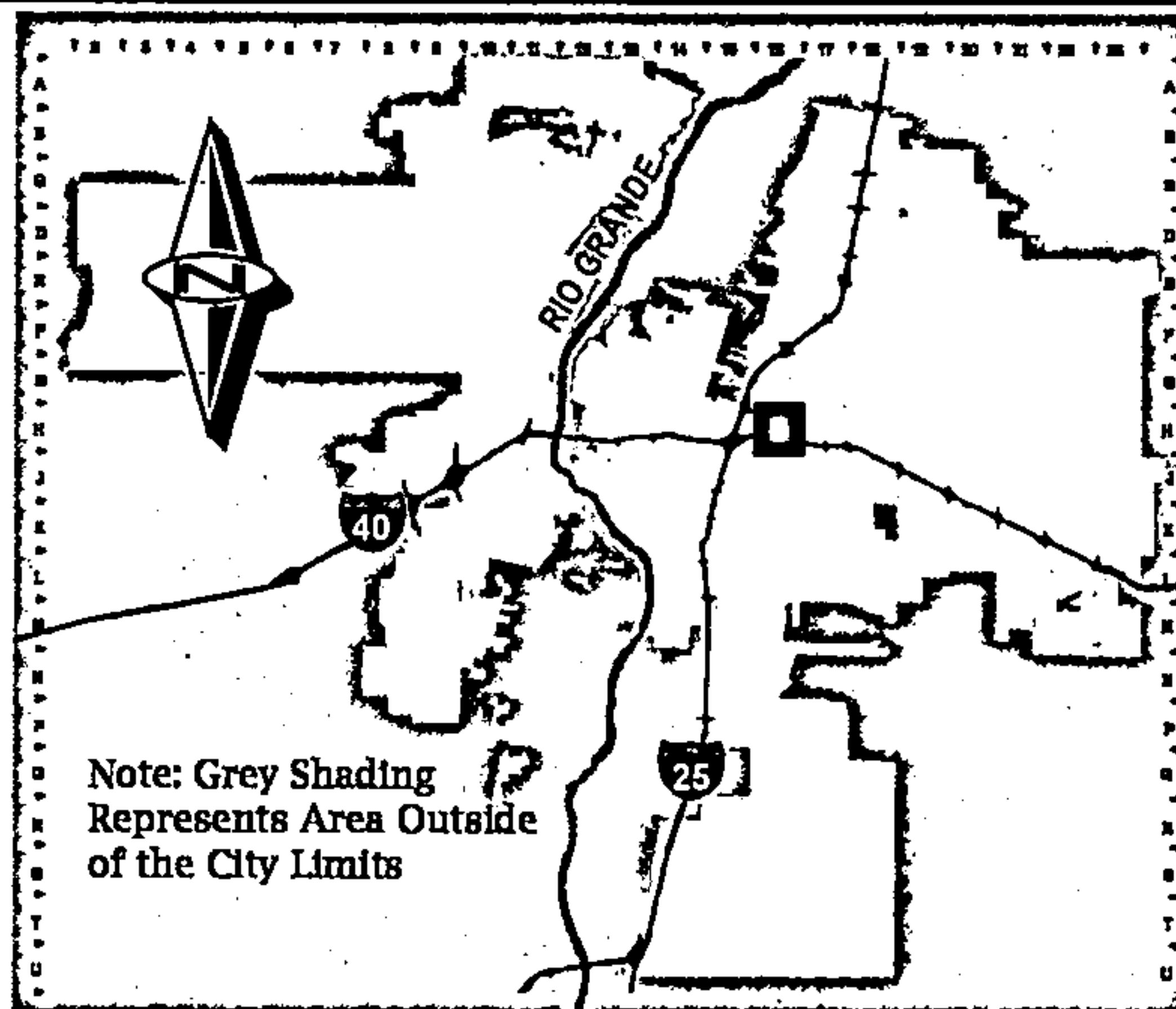




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



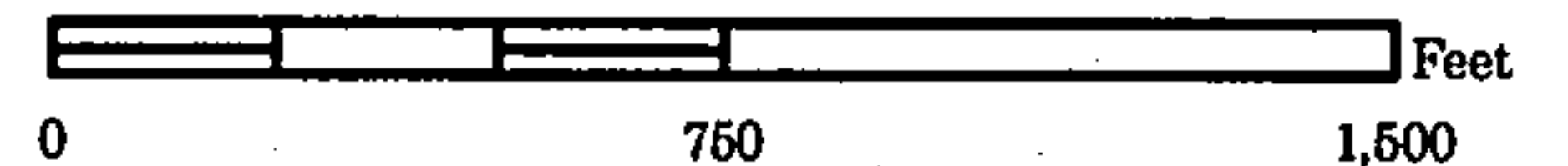
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

**H-16-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



**Summary of Resolutions for EPC Conditions of Approval**  
Retail Shops at SWC of Claremont and Carlisle  
EPC Project Number 1002249  
09EPC-40012 / 40013

May 10, 2009

DRB  
City of Albuquerque  
Planning Department  
Albuquerque, NM 87103

To Whom It May Concern:

This letter is to briefly describe, explain, and clarify how each condition of EPC Approval has been met.

The conditions and resolutions for 09EPC-40013 are as follows:

1. The first condition is to provide this summary letter indicating how each condition has been met on the site plan.
2. The second condition was to meet with our planner prior to submittal. We reviewed the revised site plan set with Randall Falkner via conference call.
3. Condition 3 required that the north property line get shifted to the north to include the new trash enclosure, parking stalls and landscaping associated with the project. The condition also required that the landscape and parking calculations get updated to reflect the change. The property line has been moved north of the new parking area and trash enclosure and the plan sheets have been updated to reflect the change.
4. Condition 4 required that the parking calculations get updated such that they are consistent throughout the set. Additionally, there were some minor revisions to the verbiage in the parking calculation table. These changes have been made to the sheets to make the parking tables consistent throughout the plans and to match the verbiage that the planner requested.
5. Condition 5 was a list of conditions provided by the City Engineer, Municipal Development, and NMDOT:
  - a. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the DRB. No site plan changes are required as part of this condition.
  - b. A Trip Generation Comparison is required. This has been completed and submitted. The comparison indicated that there was no additional traffic impact from what was originally proposed for this site.
  - c. Label refuse enclosure for future restaurant north of this site. This has been labeled on the site plan.
  - d. Delete the single parallel parking stall on the north side of drive aisle. This has been done.
  - e. Keyway at end of north / south drive aisle should be 5'. This has been done.
  - f. Site plan shall comply and be designed per DPM standards. To our knowledge, the site plan meets DPM standards.

The conditions and resolutions for 09EPC-40012 are as follows:

1. The first condition is to provide this summary letter indicating how each condition has been met on the site plan.
2. The second condition was to meet with our planner prior to submittal. We reviewed the revised site plan set with Randall Falkner via conference call.
3. Condition 3 required that the north property line get shifted to the north to include the new trash enclosure, parking stalls and landscaping associated with the project. The condition also required that the landscape and



parking calculations get updated to reflect the change. The property line has been moved north of the new parking area and trash enclosure and the plan sheets have been updated to reflect the change.

4. Condition 4 required that the parking calculations get updated such that they are consistent throughout the set. Additionally, there were some minor revisions to the verbiage in the parking calculation table. These changes have been made to the sheets to make the parking tables consistent throughout the plans and to match the verbiage that the planner requested.
5. The refuse enclosure needs to be rotated to meet SWMD requirements. This has been done and the site plan has been approved by SWMD.
6. Note 12 shall be revised as follows: "Building elevations and information are shown on the attached elevation sheet A2.0. This has been done.
7. The symbol for Keynote 2 shall be removed from west of proposed building. This has been done.
8. Condition 8 was related to cleaning up the keynotes to eliminate some duplicates and some that were not used. The keynotes have been revised and renumbered as requested.
9. Keynote 20 shall be revised as follows: 6 foot wide pedestrian crossing with patterned colored concrete to connect to existing pedestrian route. This has been done.
10. The SDP for building permit shall show the entire site boundary. The plan sheet has been modified to include the entire property line.
11. The SDP shall show a detail for the dimensions of the proposed table and chairs. A detail has been added.
12. The elevations sheet (A2.0) shall show the common name colors of the building. This has been added.
13. Landscaping:
  - a. The symbol for Keynote 9 (on the SDP for building permit) shall be added on the east side of the building. This has been added.
  - b. The site needs to contain 75% living ground cover of the required landscape area. Additional living ground cover has been added to meet this requirement.
  - c. Landscape area provided within the property boundary shall be 5,279 s.f. instead of 5,552 s.f. This has been updated.
  - d. Landscape area as a percentage of net site area shall be 28% instead of 30%. This has been revised.
  - e. An appropriate shade tree from the City Forester's list shall be added to shade the public space area with table and chairs, and to replace the existing Honey Locust that will be removed. A new shade tree has been added as requested.
  - f. The Planting Note that states "Existing London Plan tree to be removed and disposed of due to root damage during construction of parking lot" shall add the following to the end of the existing sentence, "and will be replaced by a Desert Willow and various plants." The note has been revised as requested.
14. Signage details with dimensions, colors, materials, and lighting need to be provided on the elevations sheet with the following limitations: no signage on the east and west facades; no electronic display panels; and two wall mounted signs per tenant, one each on the north and south facades, with a maximum sign face area of 10% of the façade to which it is applied. The sign note on the elevation sheet has been revised to include this information.
15. A detail for the proposed pilasters shall be shown on the elevation sheet. All pilasters shall extend at least 6 inches from the building and be of a color to provide contrast to the main building. A pilaster detail has been added and the elevation has been revised to show the color of the pilasters.
16. All existing and proposed public utility easements shall be identified on all site development plans, utility plans and landscape plans. This has been done.
17. PNM requests coordination with the applicant concerning the following: tree height at maturity and placement of street trees in order to avoid interference with existing electric facilities, planting trees outside the PNM easement, and contracting PNM's New Service Delivery Department for electric service. We have attempted to contact PNM regarding the trees and new service. Additionally, the electrical subcontractor has contacted PNM regarding establishing new service. We will continue to work with PNM in order to resolve any tree issues and to establish new service.

18. Condition 18 was a list of conditions provided by the City Engineer, Municipal Development, and NMDOT:
- a. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the DRB. No site plan changes are required as part of this condition.
  - b. A Trip Generation Comparison is required. This has been completed and submitted. The comparison indicated that there was no additional traffic impact from what was originally proposed for this site.
  - c. Label refuse enclosure for future restaurant north of this site. This has been labeled on the site plan.
  - d. Delete the single parallel parking stall on the north side of drive aisle. This has been done.
  - e. Keyway at end of north / south drive aisle should be 5'. This has been done.
  - f. Site plan shall comply and be designed per DPM standards. To our knowledge, the site plan meets DPM standards.

We anticipate that the description of the conditions and the changes that were made in order to address each condition is adequate.

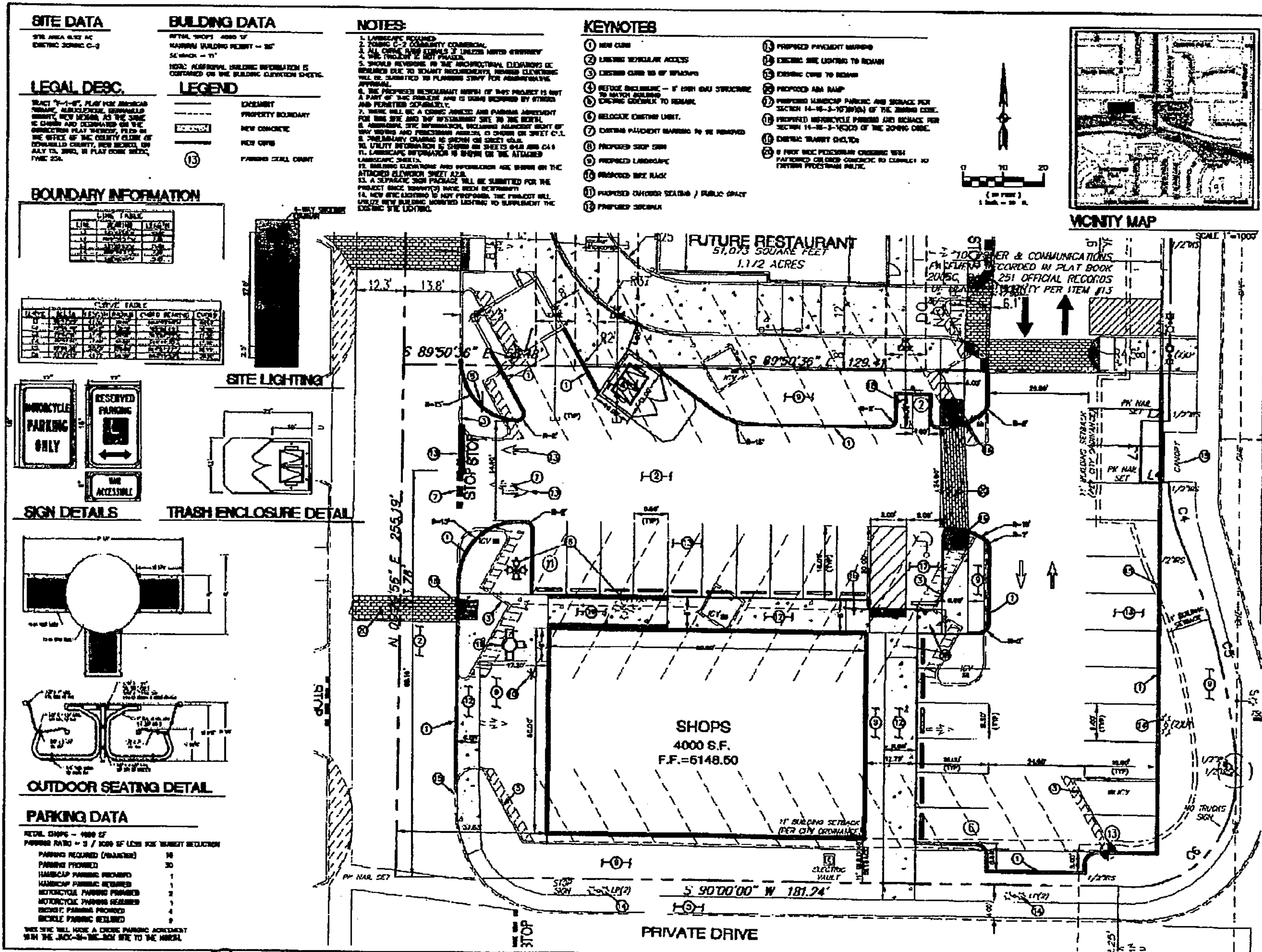
Sincerely,



Mike Jackson, PE, LEED AP  
PACLAND  
432 N. 44<sup>th</sup> Street, Suite 353  
Phoenix, AZ 85008



Z:\0072106 Abq\equa\Drawings\Construction\Community\C-11\STEP\A\dwg May 06, 2009 - 2:55:4pm



**SITE DATA**

SITE AREA 0.52 AC  
EXISTING ZONING C-2

**BUILDING DATA**

NETAL SHOP 4000 SF  
FUTURE RESTAURANT 51,073 SF  
SE WIND - 11'

**NOTES**

1. LANDSCAPE REQUIRED
2. ZONING C-2 COMMUNITY COMMERCIAL
3. ALL CHINA AND CERAMIC TILE UNLESS NOTED OTHERWISE
4. THE PROPOSED SIGNAGE SHALL BE SUBMITTED TO PLANNING DEPARTMENT FOR REVIEW AND APPROVAL
5. SHOULD REVISIONS TO THE ARCHITECTURAL ELEVATIONS BE REQUIRED DUE TO ZONING REQUIREMENTS, REVISIONS SHALL BE SUBMITTED TO PLANNING DEPARTMENT FOR APPROVAL
6. THE PROPOSED RESTAURANT PORTION OF THIS PROJECT IS NOT A PART OF THE PROPOSED SIGNAGE AND IS SUBJECT TO OTHER ZONING AND PERMITTED SEPARATELY
7. THERE WILL BE A CONCEPT SIGNAGE AND PARKING AGREEMENT FOR THIS SITE AND THE RESTAURANT SITE TO THE NORTH
8. ADDRESSING SITE INFORMATION INCLUDING ALIGNMENT RIGHT OF WAY WIDTHS AND PERMITS SHALL BE OBTAINED ON SHEET C-11
9. PRELIMINARY CHANGES TO SIGNAGE ON SHEET C-11
10. UTILITY INFORMATION IS SHOWN ON SHEETS C-11 AND C-12
11. LANDSCAPE INFORMATION IS SHOWN ON THE ATTACHED LANDSCAPE SHEETS
12. BUILDING ELEVATIONS AND OPERATIONS ARE SHOWN ON THE ATTACHED ELEVATION SHEET A22
13. A SEPARATE SIGN PACKAGE WILL BE SUBMITTED FOR THE PROJECT (SIGNAGE REVISIONS) HAVE BEEN DETERMINED
14. NEW SIGNAGE IS NOT PROPOSED. THE PROJECT WILL MAINTAIN EXISTING SIGNAGE TO SUPPLEMENT THE EXISTING SITE LIGHTING.

**KEYNOTES**

1. NEW CURB
2. EXISTING VEHICULAR ACCESS
3. EXISTING CURB AND SPACINGS
4. REFUSE ENCLOSURE - 11' HIGH GWA STRUCTURE TO MATCH EXISTING EXISTING CURB TO REMAIN
5. RELOCATE EXISTING LIGHT
6. EXISTING PAVEMENT MARKING TO BE REMOVED
7. PROPOSED STOP SIGN
8. PROPOSED LANDSCAPE
9. PROPOSED BIKE RACK
10. PROPOSED OUTDOOR SEATING / PUBLIC GRATE
11. PROPOSED SIGNAGE
12. PROPOSED PAVEMENT MARKING
13. EXISTING SITE LIGHTING TO REMAIN
14. EXISTING CURB TO REMAIN
15. PROPOSED ADA RAMP
16. PROPOSED HANDICAP PARKING AND STORAGE PER SECTION 14-16-3-107(B)(4) OF THE ZONING CODE
17. PROPOSED MOTORCYCLE PARKING AND STORAGE PER SECTION 14-16-3-107(C) OF THE ZONING CODE
18. EXISTING TRASHY OBJECTS
19. 8 FOOT HIGH PERMANENT CURBING WITH PAVED OR OTHER CONCRETE TO CONTACT TO FUTURE FUTURE PLAN

**LEGAL DESC.**

TRACT 7-1-87, PLAY HOLE MEMORIAL TRACT, SUBDIVISION, BERNALLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESCRIBED ON THE ORIGINAL PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALLO COUNTY, NEW MEXICO, ON JULY 17, 1990, IN PLAY HOLE TRACT, PAGE 224.

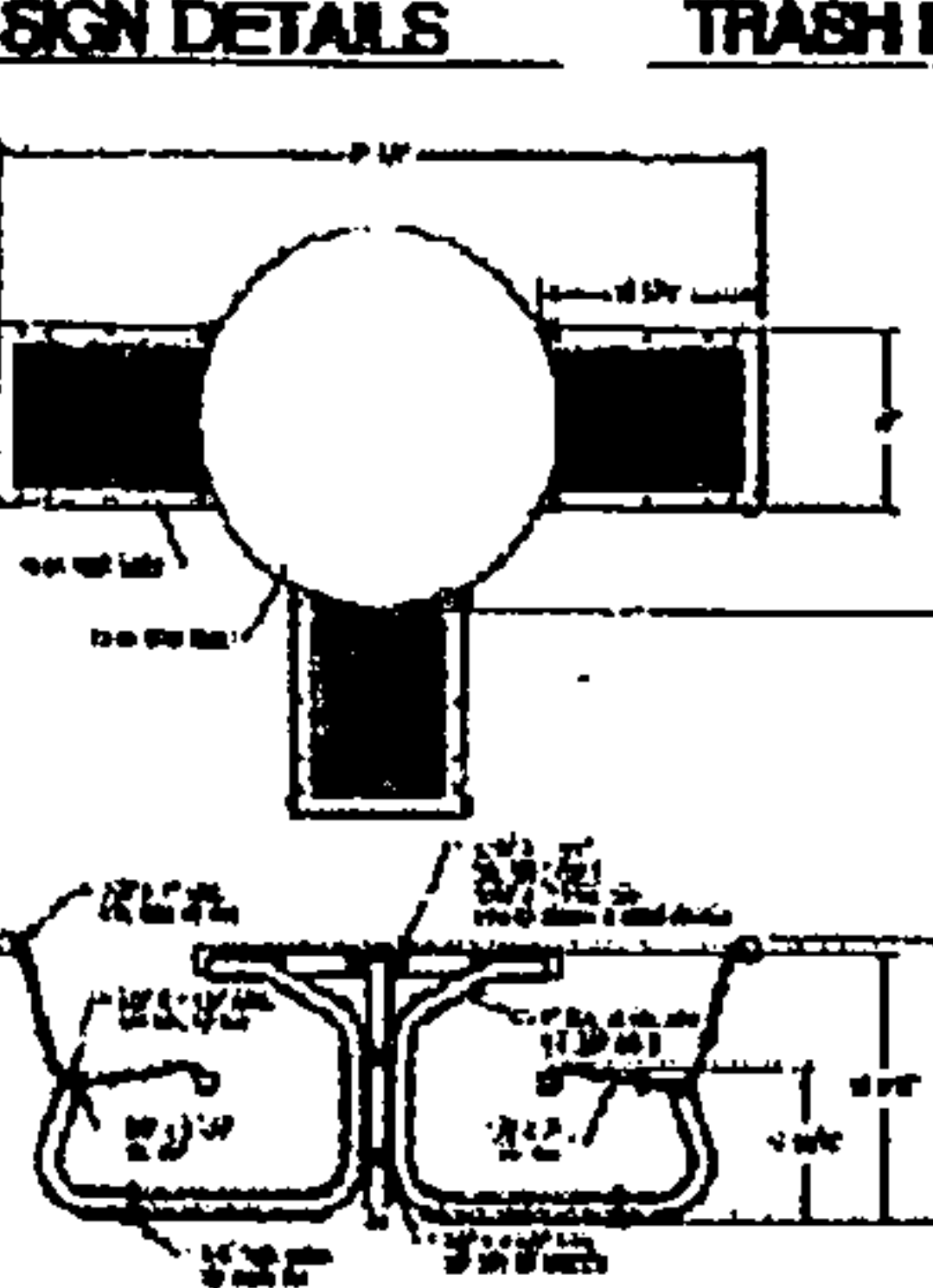
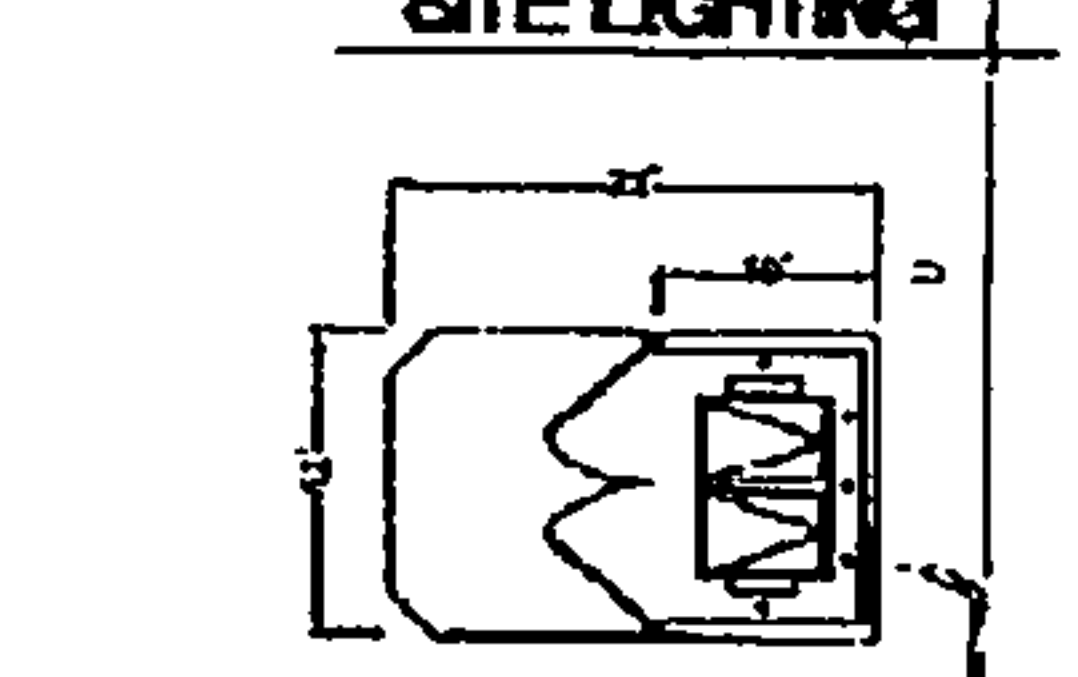
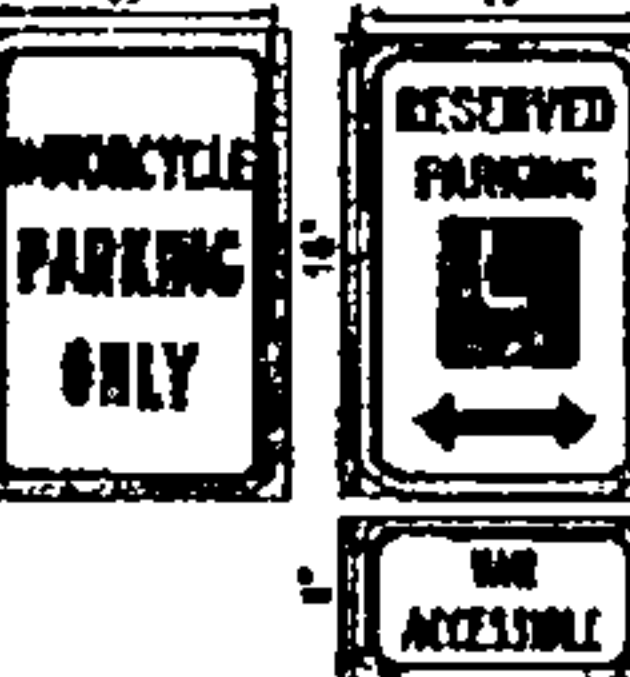
**LEGEND**

- EXISTING
- NEW CONCRETE
- NEW CURB
- PAVING SEAL COAT

**BOUNDARY INFORMATION**

LINE	TABLE	LEGEND
1	1	EXISTING
2	2	NEW CONCRETE
3	3	NEW CURB
4	4	PAVING SEAL COAT

LINE	TABLE	LEGEND
1	1	EXISTING
2	2	NEW CONCRETE
3	3	NEW CURB
4	4	PAVING SEAL COAT



**PARKING DATA**

TYPE	REQUIRED	PROVIDED
PARKING REQUIRED (TOTAL)	30	30
PARKING PROVIDED		30
HANDICAP PARKING PROVIDED	1	1
HANDICAP PARKING REQUIRED	1	1
MOTORCYCLE PARKING PROVIDED	2	2
MOTORCYCLE PARKING REQUIRED	2	2
BICYCLE PARKING PROVIDED	4	4
BICYCLE PARKING REQUIRED	4	4

THE SITE WILL HAVE A CONCEPT SIGNAGE AGREEMENT WITH THE JACK-IN-THE-BOX SITE TO THE NORTH

**PACILAND**  
 1000 S. 4TH ST.  
 ALBUQUERQUE, NM 87102  
 (505) 273-7505

RETAIL SHOPS  
 2701 CARLISLE AVE NE  
 ALBUQUERQUE, NM

SITE PLAN FOR BUILDING PERMIT

C-11

APPROVED: JAMES BACA SOLID WASTE DEPT  
5/7/19

602-273-7505



Item# 8  
Project# 1002249  
Hearing Date: May 20, 2009





**Summary of Resolutions for EPC Conditions of Approval**  
Retail Shops at SWC of Claremont and Carlisle  
EPC Project Number 1002249  
09EPC-40012 / 40013

May 10, 2009

DRB  
City of Albuquerque  
Planning Department  
Albuquerque, NM 87103

To Whom It May Concern:

This letter is to briefly describe, explain, and clarify how each condition of EPC Approval has been met.

The conditions and resolutions for 09EPC-40013 are as follows:

1. The first condition is to provide this summary letter indicating how each condition has been met on the site plan.
2. The second condition was to meet with our planner prior to submittal. We reviewed the revised site plan set with Randall Falkner via conference call.
3. Condition 3 required that the north property line get shifted to the north to include the new trash enclosure, parking stalls and landscaping associated with the project. The condition also required that the landscape and parking calculations get updated to reflect the change. The property line has been moved north of the new parking area and trash enclosure and the plan sheets have been updated to reflect the change.
4. Condition 4 required that the parking calculations get updated such that they are consistent throughout the set. Additionally, there were some minor revisions to the verbiage in the parking calculation table. These changes have been made to the sheets to make the parking tables consistent throughout the plans and to match the verbiage that the planner requested.
5. Condition 5 was a list of conditions provided by the City Engineer, Municipal Development, and NMDOT:
  - a. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the DRB. No site plan changes are required as part of this condition.
  - b. A Trip Generation Comparison is required. This has been completed and submitted. The comparison indicated that there was no additional traffic impact from what was originally proposed for this site.
  - c. Label refuse enclosure for future restaurant north of this site. This has been labeled on the site plan.
  - d. Delete the single parallel parking stall on the north side of drive aisle. This has been done.
  - e. Keyway at end of north / south drive aisle should be 5'. This has been done.
  - f. Site plan shall comply and be designed per DPM standards. To our knowledge, the site plan meets DPM standards.

The conditions and resolutions for 09EPC-40012 are as follows:

1. The first condition is to provide this summary letter indicating how each condition has been met on the site plan.
2. The second condition was to meet with our planner prior to submittal. We reviewed the revised site plan set with Randall Falkner via conference call.
3. Condition 3 required that the north property line get shifted to the north to include the new trash enclosure, parking stalls and landscaping associated with the project. The condition also required that the landscape and



parking calculations get updated to reflect the change. The property line has been moved north of the new parking area and trash enclosure and the plan sheets have been updated to reflect the change.

4. Condition 4 required that the parking calculations get updated such that they are consistent throughout the set. Additionally, there were some minor revisions to the verbiage in the parking calculation table. These changes have been made to the sheets to make the parking tables consistent throughout the plans and to match the verbiage that the planner requested.
5. The refuse enclosure needs to be rotated to meet SWMD requirements. This has been done and the site plan has been approved by SWMD.
6. Note 12 shall be revised as follows: "Building elevations and information are shown on the attached elevation sheet A2.0. This has been done.
7. The symbol for Keynote 2 shall be removed from west of proposed building. This has been done.
8. Condition 8 was related to cleaning up the keynotes to eliminate some duplicates and some that were not used. The keynotes have been revised and renumbered as requested.
9. Keynote 20 shall be revised as follows: 6 foot wide pedestrian crossing with patterned colored concrete to connect to existing pedestrian route. This has been done.
10. The SDP for building permit shall show the entire site boundary. The plan sheet has been modified to include the entire property line.
11. The SDP shall show a detail for the dimensions of the proposed table and chairs. A detail has been added.
12. The elevations sheet (A2.0) shall show the common name colors of the building. This has been added.
13. Landscaping:
  - a. The symbol for Keynote 9 (on the SDP for building permit) shall be added on the east side of the building. This has been added.
  - b. The site needs to contain 75% living ground cover of the required landscape area. Additional living ground cover has been added to meet this requirement.
  - c. Landscape area provided within the property boundary shall be 5,279 s.f. instead of 5,552 s.f. This has been updated.
  - d. Landscape area as a percentage of net site area shall be 28% instead of 30%. This has been revised.
  - e. An appropriate shade tree from the City Forester's list shall be added to shade the public space area with table and chairs, and to replace the existing Honey Locust that will be removed. A new shade tree has been added as requested.
  - f. The Planting Note that states "Existing London Plan tree to be removed and disposed of due to root damage during construction of parking lot" shall add the following to the end of the existing sentence, "and will be replaced by a Desert Willow and various plants." The note has been revised as requested.
14. Signage details with dimensions, colors, materials, and lighting need to be provided on the elevations sheet with the following limitations: no signage on the east and west facades; no electronic display panels; and two wall mounted signs per tenant, one each on the north and south facades, with a maximum sign face area of 10% of the façade to which it is applied. The sign note on the elevation sheet has been revised to include this information.
15. A detail for the proposed pilasters shall be shown on the elevation sheet. All pilasters shall extend at least 6 inches from the building and be of a color to provide contrast to the main building. A pilaster detail has been added and the elevation has been revised to show the color of the pilasters.
16. All existing and proposed public utility easements shall be identified on all site development plans, utility plans and landscape plans. This has been done.
17. PNM requests coordination with the applicant concerning the following: tree height at maturity and placement of street trees in order to avoid interference with existing electric facilities, planting trees outside the PNM easement, and contracting PNM's New Service Delivery Department for electric service. We have attempted to contact PNM regarding the trees and new service. Additionally, the electrical subcontractor has contacted PNM regarding establishing new service. We will continue to work with PNM in order to resolve any tree issues and to establish new service.

18. Condition 18 was a list of conditions provided by the City Engineer, Municipal Development, and NMDOT:
- a. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the DRB. No site plan changes are required as part of this condition.
  - b. A Trip Generation Comparison is required. This has been completed and submitted. The comparison indicated that there was no additional traffic impact from what was originally proposed for this site.
  - c. Label refuse enclosure for future restaurant north of this site. This has been labeled on the site plan.
  - d. Delete the single parallel parking stall on the north side of drive aisle. This has been done.
  - e. Keyway at end of north / south drive aisle should be 5'. This has been done.
  - f. Site plan shall comply and be designed per DPM standards. To our knowledge, the site plan meets DPM standards.

We anticipate that the description of the conditions and the changes that were made in order to address each condition is adequate.

Sincerely,



Mike Jackson, PE, LEED AP  
PACLAND  
432 N. 44<sup>th</sup> Street, Suite 353  
Phoenix, AZ 85008



City of Albuquerque  
Planning Department  
Current Planning Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: April 17, 2009

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002249**  
09EPC-40013 AMEND SITE DEVELOPMENT PLAN  
- SUBDVN  
09EPC-40012 AMEND SITE DEVELOPMENT PLAN  
- BLD PRMT

Mike Jackson, Pacland  
432 N 44<sup>th</sup> Street  
Suite 353  
Phoenix, AZ 85008

LEGAL DESCRIPTION: MIKE JACKSON agent for SRI Holdings, LLC requests the above actions for all or a portion of lot F1B, AMERICAN SQUARE zoned C-2 located on CARLISLE BLVD NE BETWEEN CLAREMONT AVE NE AND MENAUL BLVD NE containing approximately 1.17 acres. (H-16)  
Randall Falkner, Staff Planner

On April 16, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1002249 / 09EPC-40013, a request to amend a site development plan for subdivision for all or a portion of lot F1B, AMERICAN SQUARE zoned C-2, based on the following Findings and subject to the following Conditions:

### **FINDINGS:**

1. This is a request to amend a site development plan for subdivision. The applicant intends to subdivide the lot into two separate parcels, the northern portion and the southern portion. The subject site is the southern portion (0.52 acres) of a site that is 1.17 acres in total. The site comprises Tract F-1-B, American Square, is zoned C-2, and is located on Carlisle Blvd NE between Menaul Blvd NE and Claremont Ave NE.
2. This request is accompanied by a request to amend a site development plan for building permit.
3. The subject site is within the Established Urban area of the Comprehensive Plan.
4. The request partially furthers Policy II.B.5d for Developing and Established Urban areas. The request generally respects existing neighborhood values, natural environmental conditions, and carrying capacities. Pedestrian access is provided to the existing bus stop, to the larger shopping center, and to the surrounding neighborhoods. Although not opposed to the development, the Bel-Air Neighborhood



OFFICIAL NOTICE OF DECISION

APRIL 16, 2009

PROJECT 1002249

PAGE 2 OF 8

Association has voiced concerns about the Carlisle/Claremont intersection, hours of operation, and not having a definitive tenant for the proposed retail building.

5. The following Comprehensive Plan policies for Developing and Established Urban areas are furthered by the proposal:
  - a. Policy II.B.5e – This request will provide infill development in a large parking lot that will be contiguous to urban facilities, including utilities, transit, and a bike path. The subject site and most of the surrounding area are zoned C-2 and serve as a commercial center for the neighborhood.
  - b. Policy II.B.5i – The proposed use would provide employment opportunities to nearby residents, and adverse effects from the use would be minimized through appropriate site design.
  - c. Policy II.B.5j – The proposed development would be located at the far eastern edge of the existing Wal-Mart parking lot, which is adjacent to a Minor Arterial (Carlisle Boulevard) and provides pedestrian and bicycle access to local neighborhoods via sidewalks and an existing bicycle route along Claremont Avenue. Mass transit is available with good accessibility to the weather protected bus stop along Carlisle Blvd that serves route #5 (Montgomery/Carlisle).
6. The request furthers Economic Development Policy II.D.6a by providing new employment opportunities. New jobs will be convenient to those residents living close to the subject site.
7. A facilitated meeting was held on March 24, 2009 at the McKinley Community Center between the agent and interested parties (including the Bel-Air Neighborhood Association).
8. There is no known opposition to the project and no letters of opposition have been received.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Comprehensive City Zoning Code are incorporated herein by reference and made part of the record for all purposes.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

OFFICIAL NOTICE OF DECISION

APRIL 16, 2009

PROJECT 1002249

PAGE 3 OF 8

3. Before the applicant can proceed to DRB, a revision to the site development plan for subdivision is needed (09EPC 40013) to move the property line north to include the dumpster, parking, and landscaping, and then revising the landscaping and parking calculations for each site to show compliance with Zoning Code regulations.
4. Parking:
  - a. The revised parking calculations for the amended site development plan for subdivision (Sheet 1) and amended site plan for building permit (Sheets 2 and 3) shall be consistent.
  - b. The parking data on the site development plan for subdivision (C-1.0) shall delete "provided" and "standard parking (9 x 18)", and replace it with "parking provided". The parking provided shall be shown as 30.
5. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:

Conditions of approval for the proposed Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit Amendment shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- b. A Traffic Impact Study was previously completed for the existing Wal-Mart Supercenter. However, provide a trip generation comparison between the current proposal and what was previously approved under the Wal-Mart plan (include the recently approved fast food restaurant).
- c. For the retail site plan, label the refuse enclosure location for the future restaurant.
- d. Delete single parallel parking space on north side of drive aisle.
- e. Keyway, at the end of the north/south drive aisle, should be 5'.
- f. Site plan shall comply and be designed per DPM Standards.

---

On April 16, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1002249 / 09EPC-40012, a request to amend a site development plan for building permit for all or a portion of lot F1B, AMERICAN SQUARE zoned C-2, based on the following Findings and subject to the following Conditions:

**FINDINGS**

1. This is a request to amend a site development plan for building permit. The applicant intends to subdivide the lot into two separate parcels, the northern portion and the southern portion. The subject site is the southern portion (0.52 acres) of a site that is 1.17 acres in total. The site comprises Tract F-1-B, American Square, is zoned C-2, and is located on Carlisle Blvd NE between Menaul Blvd NE and Claremont Ave NE.

OFFICIAL NOTICE OF DECISION

APRIL 16, 2009

PROJECT 1002249

PAGE 4 OF 8

2. This request is accompanied by a request to amend a site development plan for subdivision.
3. The subject site is within the Established Urban area of the Comprehensive Plan.
4. The request partially furthers Policy II.B.5d for Developing and Established Urban areas. The request generally respects existing neighborhood values, natural environmental conditions, and carrying capacities. Pedestrian access is provided to the existing bus stop, to the larger shopping center, and to the surrounding neighborhoods. Although not opposed to the development, the Bel-Air Neighborhood Association has voiced concerns about the Carlisle/Claremont intersection, hours of operation, and not having a definitive tenant for the proposed retail building.
5. The following Comprehensive Plan policies for Developing and Established Urban areas are furthered by the proposal:
  - a. Policy II.B.5e – This request will provide infill development in a large parking lot that will be contiguous to urban facilities, including utilities, transit, and a bike path. The subject site and most of the surrounding area are zoned C-2 and serve as a commercial center for the neighborhood.
  - b. Policy II.B.5i – The proposed use would provide employment opportunities to nearby residents, and adverse effects from the use would be minimized through appropriate site design.
  - c. Policy II.B.5j – The proposed development would be located at the far eastern edge of the existing Wal-Mart parking lot, which is adjacent to a Minor Arterial (Carlisle Boulevard) and provides pedestrian and bicycle access to local neighborhoods via sidewalks and an existing bicycle route along Claremont Avenue. Mass transit is available with good accessibility to the weather protected bus stop along Carlisle Blvd that serves route #5 (Montgomery/Carlisle).
6. The request furthers Economic Development Policy II.D.6a by providing new employment opportunities. New jobs will be convenient to those residents living close to the subject site.
7. A facilitated meeting was held on March 24, 2009 at the McKinley Community Center between the agent and interested parties (including the Bel-Air Neighborhood Association).
8. There is no known opposition to the project and no letters of opposition have been received.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Comprehensive City Zoning Code are incorporated herein by reference and made part of the record for all purposes.



OFFICIAL NOTICE OF DECISION

APRIL 16, 2009

PROJECT 1002249

PAGE 5 OF 8

10. The subject site is within the American Square Community Activity Center as designated by the Comprehensive Plan. The Community Identity and Urban Design Goal, Policy D, states that projects should contribute buildings designed and arranged to reflect local architectural traditions, scale, height, massing and setbacks appropriate to the community served by the Activity Center and that support public transit and pedestrian activity. Appropriate signage and façade articulation should be reflected in this project.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Before the applicant can proceed to DRB, a revision to the site development plan for subdivision is needed (09EPC 40013) to move the property line north to include the dumpster, parking, and landscaping, and then revising the landscaping and parking calculations for each site to show compliance with Zoning Code regulations.
4. Parking:
  - a. The revised parking calculations for the amended site development plan for subdivision (Sheet 1) and amended site plan for building permit (Sheets 2 and 3) shall be consistent.
  - b. The parking data on the site development plan for building permit(C-1.1) shall delete "provided" and "standard parking", and replace it with "parking provided". The parking provided shall be shown as 30.
5. The refuse enclosure will have to be re-angled slightly and shall comply with all SWMD ordinances and requirements.
6. Note 12 shall be revised as follows: Building elevations and information are shown on the attached elevation sheet A2.0.
7. The symbol for Keynote 2 (existing vehicular access) that is shown immediately west of the retail building shall be removed, since the area is landscaped and not available to vehicles (however the Keynote itself shall remain).

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PROJECT 1002249

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8. The following Keynotes shall be noted as deleted from the site development plan for building permit: 7, 10, 11, 17, and 18. The Keynotes shall be re-numbered accordingly.
9. Keynote 20 shall be revised as follows: 6 foot wide pedestrian crossing with patterned colored concrete to connect to existing pedestrian route.
10. The site development plan for building permit shall show the entire boundary of the property line (including the southeast portion of the site).
11. A site detail showing the dimensions of the table and chairs shall be provided on the site development plan for building permit.
12. The elevations sheet (A2.0) shall show the common name colors of the building.
13. Landscaping:
  - a. The symbol for Keynote 9 (on the site development plan for building permit) shall be added in the area between the retail building and the 8 foot wide sidewalk to reflect landscaping that will exist in this location.
  - b. The site needs to contain 75% living ground cover of the required landscape area (Section 14-16-3-10 (G)(3)).
  - c. Landscape area provided within property boundary shall be 5,279 s.f., instead of 5,552.9 s.f.
  - d. Landscape area as a percentage of net site area shall be 28% instead of 30%.
  - e. An appropriate shade tree from the City Forester's list shall be added to shade the public space area with table and chairs, and to replace the existing Honey Locust that will be removed.
  - f. The Planting Note that states "Existing London Plane tree to be removed and disposed of due to root damage during construction of parking lot" shall add the following to the end of the existing sentence, "and will be replaced by a Desert Willow and various plants."
14. Signage details with dimensions, colors, materials, and lighting need to be provided on the elevations sheet with the following limitations: no signage on the east and west facades; no electronic display panels; and two wall mounted signs per tenant, one each on the north and south facades, with a maximum sign face area of 10% of the façade to which it is applied.
15. A detail for the proposed pilasters shall be shown on the Elevations Sheet, A2.0. All pilasters shall extend at least 6 inches from the building and be of a color to provide contrast to the main building color.



16. All existing and proposed public utility easements shall be identified on all site development plans, utility plans and landscape plans.
17. PNM requests coordination with the applicant concerning the following: tree height at maturity and placement of street trees in order to avoid interference with existing electric facilities, planting trees outside the PNM easement, and contacting PNM's New Service Delivery Department for electric service.
18. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:

Conditions of approval for the proposed Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit Amendment shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- b. A Traffic Impact Study was previously completed for the existing Wal-Mart Supercenter. However, provide a trip generation comparison between the current proposal and what was previously approved under the Wal-Mart plan (include the recently approved fast food restaurant).
- c. For the retail site plan, label the refuse enclosure location for the future restaurant.
- d. Delete single parallel parking space on north side of drive aisle.
- e. Keyway, at the end of the north/south drive aisle, should be 5'.
- f. Site plan shall comply and be designed per DPM Standards.

**PROTEST: IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION, WHICH IS BY MAY 1, 2009.**

**APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY MAY 1, 2009 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies

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PROJECT 1002249

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and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

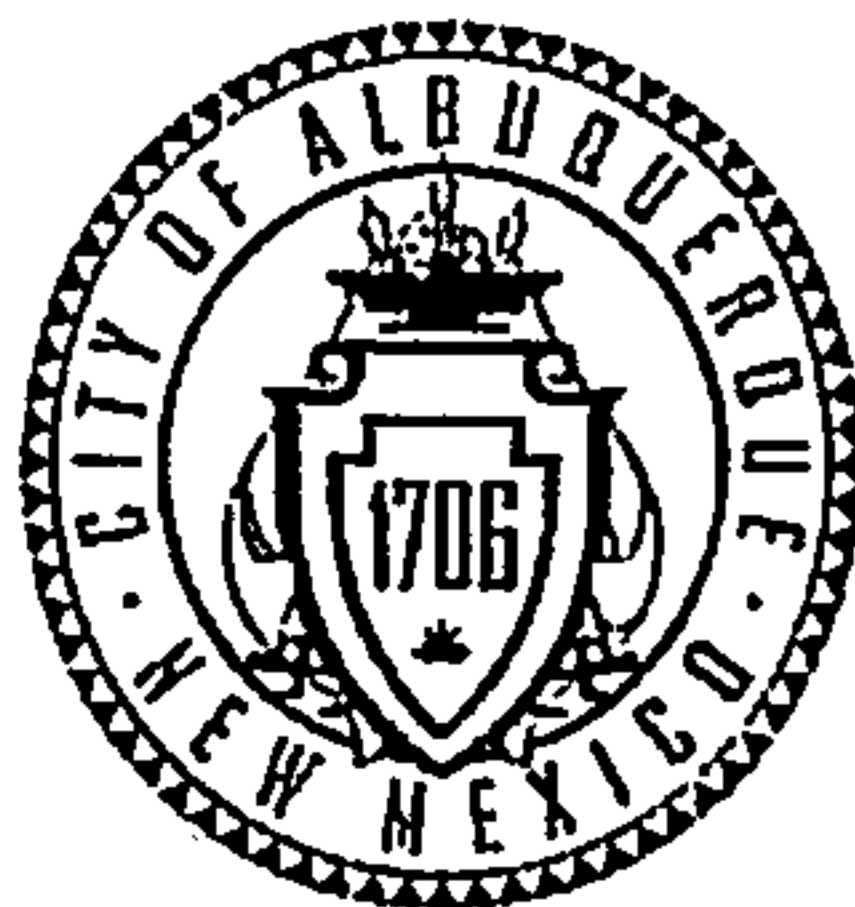
Sincerely,

  
For Richard Dineen  
Planning Director

RD/RF/ma

cc: Mike Jackson, Pacland, 432 N 44<sup>th</sup> Street, Suite 353, Phoenix, AZ 85008  
Barb Johnson, Bel-Air N.A., 2700 Hermosa NE, Albuquerque, NM 87110  
Lee Julian, Bel-Air N.A., 2724 Monroe NE, Albuquerque, NM 87110  
Chris Catechis, 5733 Guadalupe Tr. N.W., Albuquerque, NM 87107  
Claude Morelli, 7 Garden Park Cir. N.W., Albuquerque, NM 87107





City of Albuquerque  
Planning Department  
Current Planning Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: April 17, 2009

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project # 1002249**  
09EPC-40013 AMEND SITE DEVELOPMENT PLAN  
- SUBDVN  
09EPC-40012 AMEND SITE DEVELOPMENT PLAN  
- BLD PRMT

Mike Jackson, Pacland  
432 N 44<sup>th</sup> Street  
Suite 353  
Phoenix, AZ 85008

LEGAL DESCRIPTION: MIKE JACKSON agent for SRI Holdings, LLC requests the above actions for all or a portion of lot F1B, AMERICAN SQUARE zoned C-2 located on CARLISLE BLVD NE BETWEEN CLAREMONT AVE NE AND MENAUL BLVD NE containing approximately 1.17 acres. (H-16)  
Randall Falkner, Staff Planner

On April 16, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1002249 / 09EPC-40013, a request to amend a site development plan for subdivision for all or a portion of lot F1B, AMERICAN SQUARE zoned C-2, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request to amend a site development plan for subdivision. The applicant intends to subdivide the lot into two separate parcels, the northern portion and the southern portion. The subject site is the southern portion (0.52 acres) of a site that is 1.17 acres in total. The site comprises Tract F-1-B, American Square, is zoned C-2, and is located on Carlisle Blvd NE between Menaul Blvd NE and Claremont Ave NE.
2. This request is accompanied by a request to amend a site development plan for building permit.
3. The subject site is within the Established Urban area of the Comprehensive Plan.
4. The request partially furthers Policy II.B.5d for Developing and Established Urban areas. The request generally respects existing neighborhood values, natural environmental conditions, and carrying capacities. Pedestrian access is provided to the existing bus stop, to the larger shopping center, and to the surrounding neighborhoods. Although not opposed to the development, the Bel-Air Neighborhood

Association has voiced concerns about the Carlisle/Claremont intersection, hours of operation, and not having a definitive tenant for the proposed retail building.

5. The following Comprehensive Plan policies for Developing and Established Urban areas are furthered by the proposal:
  - a. Policy II.B.5e – This request will provide infill development in a large parking lot that will be contiguous to urban facilities, including utilities, transit, and a bike path. The subject site and most of the surrounding area are zoned C-2 and serve as a commercial center for the neighborhood.
  - b. Policy II.B.5i – The proposed use would provide employment opportunities to nearby residents, and adverse effects from the use would be minimized through appropriate site design.
  - c. Policy II.B.5j – The proposed development would be located at the far eastern edge of the existing Wal-Mart parking lot, which is adjacent to a Minor Arterial (Carlisle Boulevard) and provides pedestrian and bicycle access to local neighborhoods via sidewalks and an existing bicycle route along Claremont Avenue. Mass transit is available with good accessibility to the weather protected bus stop along Carlisle Blvd that serves route #5 (Montgomery/Carlisle).
6. The request furthers Economic Development Policy II.D.6a by providing new employment opportunities. New jobs will be convenient to those residents living close to the subject site.
7. A facilitated meeting was held on March 24, 2009 at the McKinley Community Center between the agent and interested parties (including the Bel-Air Neighborhood Association).
8. There is no known opposition to the project and no letters of opposition have been received.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Comprehensive City Zoning Code are incorporated herein by reference and made part of the record for all purposes.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.



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PROJECT 1002249

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3. Before the applicant can proceed to DRB, a revision to the site development plan for subdivision is needed (09EPC 40013) to move the property line north to include the dumpster, parking, and landscaping, and then revising the landscaping and parking calculations for each site to show compliance with Zoning Code regulations.
4. Parking:
  - a. The revised parking calculations for the amended site development plan for subdivision (Sheet 1) and amended site plan for building permit (Sheets 2 and 3) shall be consistent.
  - b. The parking data on the site development plan for subdivision (C-1.0) shall delete "provided" and "standard parking (9 x 18)", and replace it with "parking provided". The parking provided shall be shown as 30.
5. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:

Conditions of approval for the proposed Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit Amendment shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- b. A Traffic Impact Study was previously completed for the existing Wal-Mart Supercenter. However, provide a trip generation comparison between the current proposal and what was previously approved under the Wal-Mart plan (include the recently approved fast food restaurant).
- c. For the retail site plan, label the refuse enclosure location for the future restaurant.
- d. Delete single parallel parking space on north side of drive aisle.
- e. Keyway, at the end of the north/south drive aisle, should be 5'.
- f. Site plan shall comply and be designed per DPM Standards.

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On April 16, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1002249 / 09EPC-40012, a request to amend a site development plan for building permit for all or a portion of lot F1B, AMERICAN SQUARE zoned C-2, based on the following Findings and subject to the following Conditions:

**FINDINGS**

1. This is a request to amend a site development plan for building permit. The applicant intends to subdivide the lot into two separate parcels, the northern portion and the southern portion. The subject site is the southern portion (0.52 acres) of a site that is 1.17 acres in total. The site comprises Tract F-1-B, American Square, is zoned C-2, and is located on Carlisle Blvd NE between Menaul Blvd NE and Claremont Ave NE.

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2. This request is accompanied by a request to amend a site development plan for subdivision.
3. The subject site is within the Established Urban area of the Comprehensive Plan.
4. The request partially furthers Policy II.B.5d for Developing and Established Urban areas. The request generally respects existing neighborhood values, natural environmental conditions, and carrying capacities. Pedestrian access is provided to the existing bus stop, to the larger shopping center, and to the surrounding neighborhoods. Although not opposed to the development, the Bel-Air Neighborhood Association has voiced concerns about the Carlisle/Claremont intersection, hours of operation, and not having a definitive tenant for the proposed retail building.
5. The following Comprehensive Plan policies for Developing and Established Urban areas are furthered by the proposal:
  - a. Policy II.B.5e – This request will provide infill development in a large parking lot that will be contiguous to urban facilities, including utilities, transit, and a bike path. The subject site and most of the surrounding area are zoned C-2 and serve as a commercial center for the neighborhood.
  - b. Policy II.B.5i – The proposed use would provide employment opportunities to nearby residents, and adverse effects from the use would be minimized through appropriate site design.
  - c. Policy II.B.5j – The proposed development would be located at the far eastern edge of the existing Wal-Mart parking lot, which is adjacent to a Minor Arterial (Carlisle Boulevard) and provides pedestrian and bicycle access to local neighborhoods via sidewalks and an existing bicycle route along Claremont Avenue. Mass transit is available with good accessibility to the weather protected bus stop along Carlisle Blvd that serves route #5 (Montgomery/Carlisle).
6. The request furthers Economic Development Policy II.D.6a by providing new employment opportunities. New jobs will be convenient to those residents living close to the subject site.
7. A facilitated meeting was held on March 24, 2009 at the McKinley Community Center between the agent and interested parties (including the Bel-Air Neighborhood Association).
8. There is no known opposition to the project and no letters of opposition have been received.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Comprehensive City Zoning Code are incorporated herein by reference and made part of the record for all purposes.



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10. The subject site is within the American Square Community Activity Center as designated by the Comprehensive Plan. The Community Identity and Urban Design Goal, Policy D, states that projects should contribute buildings designed and arranged to reflect local architectural traditions, scale, height, massing and setbacks appropriate to the community served by the Activity Center and that support public transit and pedestrian activity. Appropriate signage and façade articulation should be reflected in this project.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Before the applicant can proceed to DRB, a revision to the site development plan for subdivision is needed (09EPC 40013) to move the property line north to include the dumpster, parking, and landscaping, and then revising the landscaping and parking calculations for each site to show compliance with Zoning Code regulations.
4. Parking:
  - a. The revised parking calculations for the amended site development plan for subdivision (Sheet 1) and amended site plan for building permit (Sheets 2 and 3) shall be consistent.
  - b. The parking data on the site development plan for building permit(C-1.1) shall delete "provided" and "standard parking", and replace it with "parking provided". The parking provided shall be shown as 30.
5. The refuse enclosure will have to be re-angled slightly and shall comply with all SWMD ordinances and requirements.
6. Note 12 shall be revised as follows: Building elevations and information are shown on the attached elevation sheet A2.0.
7. The symbol for Keynote 2 (existing vehicular access) that is shown immediately west of the retail building shall be removed, since the area is landscaped and not available to vehicles (however the Keynote itself shall remain).

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8. The following Keynotes shall be noted as deleted from the site development plan for building permit: 7, 10, 11, 17, and 18. The Keynotes shall be re-numbered accordingly.
9. Keynote 20 shall be revised as follows: 6 foot wide pedestrian crossing with patterned colored concrete to connect to existing pedestrian route.
10. The site development plan for building permit shall show the entire boundary of the property line (including the southeast portion of the site).
11. A site detail showing the dimensions of the table and chairs shall be provided on the site development plan for building permit.
12. The elevations sheet (A2.0) shall show the common name colors of the building.
13. Landscaping:
  - a. The symbol for Keynote 9 (on the site development plan for building permit) shall be added in the area between the retail building and the 8 foot wide sidewalk to reflect landscaping that will exist in this location.
  - b. The site needs to contain 75% living ground cover of the required landscape area (Section 14-16-3-10 (G)(3)).
  - c. Landscape area provided within property boundary shall be 5,279 s.f., instead of 5,552.9 s.f.
  - d. Landscape area as a percentage of net site area shall be 28% instead of 30%.
  - e. An appropriate shade tree from the City Forester's list shall be added to shade the public space area with table and chairs, and to replace the existing Honey Locust that will be removed.
  - f. The Planting Note that states "Existing London Plane tree to be removed and disposed of due to root damage during construction of parking lot" shall add the following to the end of the existing sentence, "and will be replaced by a Desert Willow and various plants."
14. Signage details with dimensions, colors, materials, and lighting need to be provided on the elevations sheet with the following limitations: no signage on the east and west facades; no electronic display panels; and two wall mounted signs per tenant, one each on the north and south facades, with a maximum sign face area of 10% of the façade to which it is applied.
15. A detail for the proposed pilasters shall be shown on the Elevations Sheet, A2.0. All pilasters shall extend at least 6 inches from the building and be of a color to provide contrast to the main building color.



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**PROJECT 1002249**

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16. All existing and proposed public utility easements shall be identified on all site development plans, utility plans and landscape plans.
17. PNM requests coordination with the applicant concerning the following: tree height at maturity and placement of street trees in order to avoid interference with existing electric facilities, planting trees outside the PNM easement, and contacting PNM's New Service Delivery Department for electric service.
18. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:**

Conditions of approval for the proposed Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit Amendment shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- b. A Traffic Impact Study was previously completed for the existing Wal-Mart Supercenter. However, provide a trip generation comparison between the current proposal and what was previously approved under the Wal-Mart plan (include the recently approved fast food restaurant).
- c. For the retail site plan, label the refuse enclosure location for the future restaurant.
- d. Delete single parallel parking space on north side of drive aisle.
- e. Keyway, at the end of the north/south drive aisle, should be 5'.
- f. Site plan shall comply and be designed per DPM Standards.

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**APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY MAY 1, 2009 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies

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and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

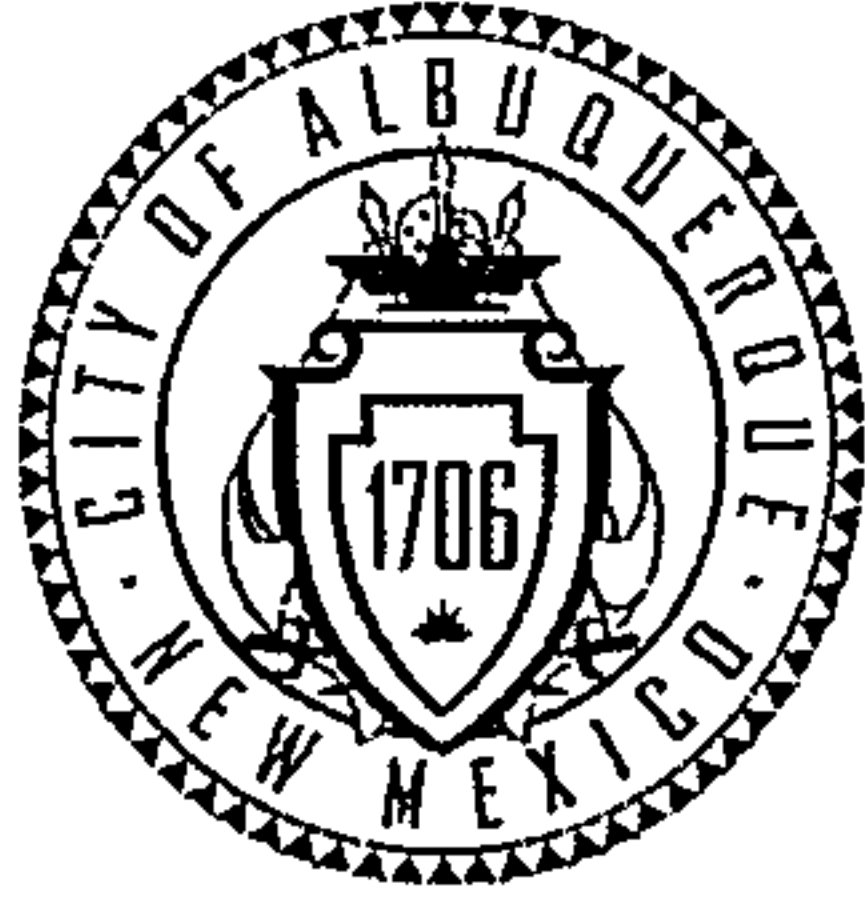
Sincerely,

  
for Richard Dineen  
Planning Director

RD/RF/ma

cc: Mike Jackson, Pacland, 432 N 44<sup>th</sup> Street, Suite 353, Phoenix, AZ 85008  
Barb Johnson, Bel-Air N.A., 2700 Hermosa NE, Albuquerque, NM 87110  
Lee Julian, Bel-Air N.A., 2724 Monroe NE, Albuquerque, NM 87110  
Chris Catechis, 5733 Guadalupe Tr. N.W., Albuquerque, NM 87107  
Claude Morelli, 7 Garden Park Cir. N.W., Albuquerque, NM 87107





City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: August 22, 2008

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project# 1002249**  
08EPC-40069 SITE DEVELOPMENT -  
BUILDG PRMT  
08EPC-40070 AMEND SITE DEVELOPMENT  
PLAN - BLD PRMT

CRT Partners-Southern Arizona Franchise  
616 W. Las Lomas Rd.  
Tucson, AZ, 85704

LEGAL DESCRIPTION: for all or a portion of  
lot F-1-B, AMERICAN SQUARE, zoned C-2,  
located on CARLISLE NE BETWEEN  
MENAUL BLVD NE AND CLAREMONT NE  
containing approximately 1.172 acres. (H-16)  
Randall Falkner, Staff Planner

On August 21, 2008 the Environmental Planning Commission voted to approve Project 1002249/ 08EPC 40070, to amend a site development plan for building permit, for lot F-1-B, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request to amend site development plan for building permit. The site is approximately 1.17 acres and is located on Carlisle Avenue NE between Menaul Boulevard NE and Claremont NE. The site comprises lot F-1-B and is zoned C-2. The applicant intends to build a 2,433 s.f. restaurant with a drive-up lane and service window on an existing platted parcel at the southwest corner of Carlisle and Claremont.
2. This request is accompanied by a request for site development plan for building permit.
3. The subject site is within the Established Urban area of the Comprehensive Plan.
4. The following Comprehensive Plan policies for Developing and Established Urban Areas are partially furthered by the proposal:

- a. Policy II.B.5d – The request is partially in accord with the surrounding neighborhood values, natural environmental conditions, and carrying capacities. The Bel-Air Neighborhood Association does not oppose the project, but expressed concerns about the Carlisle/Claremont intersection, additional traffic, and crime. A facilitated meeting and a subsequent meeting with the agent, municipal development, and the planning department allowed the neighborhood to work out their primary concerns.
  - b. Policy II.B.5i – The proposed use would provide some employment opportunities to nearby residents, and adverse effects from the use would be minimized through appropriate site design and landscaping.
  - c. Policy II.B.5l – The design is appropriate to the plan area in that the surrounding area is entirely commercial, and two other restaurants are across the street from the subject site. The design is not innovative in design, but rather plain corporate architecture.
  - d. Policy II.B.5m – The proposed building is 19 feet high, does not exceed height restrictions in a C-2 zone, generally maintains vistas and fits in with surrounding development along Carlisle and Claremont.
5. The following Comprehensive Plan policies for Developing and Established Urban Areas are furthered by the proposal:
- a. Policy II.B.5e – The development will occur on a portion of vacant land that is contiguous to existing urban facilities and services. The neighborhood has stated that it is not opposed to the project.
6. The request partially furthers Economic Development Policies II.D.6a and II.D.6b of the Comprehensive Plan because the request would present new employment opportunities and offer chances for improvement in occupational skills and advancement. However, the request does not accommodate a wide range of salary levels or help to develop a local business enterprise.
7. The Bel-Air N.A. has sent a letter outlining their concerns with the request.
8. A facilitated meeting was held on June 17, 2008 at the Christian Fellowship Church at 3901 Claremont between the agent and interested parties (including the Bel-Air Neighborhood Association).
9. A meeting of the Bel Air N.A., the agent, the property owner representative, and City Departments of Municipal Development and Planning was held on July 14 at the Christian Fellowship Church to discuss the Carlisle Boulevard Corridor Study.



**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The parking spaces provided shall be changed from 16 to 14 for the parking calculations on the site plan for building permit.
4. Additional fenestration and/or architectural features shall be provided on both the west and north sides of the building to break up the plain façade building mass, to enhance visual appearance, and to promote street and neighborhood character. Wall mounted mechanical equipment and electrical boxes shall be painted to match the wall color if possible.
5. Approved on condition will comply with all SWMD ordinances and requirements and have required recycle area and sanitary sewer drain.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - b. Drive thru lane width to be 12' minimum with 25' turning radii (inside edge) for all turns. 14' lane width may be used with turning radii of 15' – see DPM.
  - c. Place most current rendering of site plan for building permit on amended site plan for subdivision and amended site plan for building permit sheets that are to be signed by the DRB.

- d. To accommodate the future exclusive eastbound right-turn lane, as recommended in the Carlisle Corridor Study for the Claremont/Carlisle intersection, provide an adequate right-of-way dedication or public roadway and utility easement. Actual construction of the recommended improvements will be by others at a future date. In addition, area of right-of-way dedication or public roadway and utility easement shall be or used as landscaped or used as parking and maintained by the applicant, pending the building of the right turn lane. The site development plan shall indicate the right turn lane and adjacent sidewalk as illustrative including all related notes.
  - e. Site plan shall comply and be designed per DPM Standards.
7. Video cameras shall be installed to cover all parking areas, walkways, building entrances, exterior and interior and maintain locations; monitors shall be placed in high employment traffic areas and in site door loading to trash dumpsters.

---

On August 21, 2008 the Environmental Planning Commission voted to approve Project 1002249/ 08EPC 40069, a site development plan for building permit, for lot F-1-B, based on the following Findings and subject to the following Conditions;

**FINDINGS:**

1. This is a request for a site development plan for building permit. The site is approximately 1.17 acres and is located on Carlisle Avenue NE between Menaul Boulevard NE and Claremont NE. The site comprises lot F-1-B and is zoned C-2. The applicant intends to build a 2,433 s.f. restaurant with a drive-up lane and service window on an existing platted parcel at the southwest corner of Carlisle and Claremont.
2. This request is accompanied by a request to amend site development plan for building permit.
3. The subject site is within the Established Urban area of the Comprehensive Plan.
4. The following Comprehensive Plan policies for Developing and Established Urban Areas are partially furthered by the proposal:
  - a. Policy II.B.5d – The request is partially in accord with the surrounding neighborhood values, natural environmental conditions, and carrying capacities. The Bel-Air Neighborhood Association does not oppose the project, but expressed concerns about the Carlisle/Claremont intersection, additional traffic, and crime. A facilitated meeting and a subsequent meeting with the agent, municipal development, and the planning department allowed the neighborhood to work out their primary concerns.



- b. Policy II.B.5i – Policy II.B.5i – The proposed use would provide some employment opportunities to nearby residents, and adverse effects from the use would be minimized through appropriate site design and landscaping.
  - c. Policy II.B.5l – The design is appropriate to the plan area in that the surrounding area is entirely commercial, and two other restaurants are across the street from the subject site. The design is not innovative in design, but rather plain corporate architecture.
  - d. Policy II.B.5m – The proposed building is 19 feet high, does not exceed height restrictions in a C-2 zone, generally maintains vistas and fits in with surrounding development along Carlisle and Claremont.
5. The following Comprehensive Plan policies for Developing and Established Urban Areas are furthered by the proposal:
    - a. Policy II.B.5e – The development will occur on a portion of vacant land that is contiguous to existing urban facilities and services. The neighborhood has stated that it is not opposed to the project.
  6. The request partially furthers Economic Development Policies II.D.6a and II.D.6b of the Comprehensive Plan because the request would present new employment opportunities and offer chances for improvement in occupational skills and advancement. However, the request does not accommodate a wide range of salary levels or help to develop a local business enterprise.
  7. The Bel-Air N.A. has sent a letter outlining their concerns with the request.
  8. A facilitated meeting was held on June 17, 2008 at the Christian Fellowship Church at 3901 Claremont between the agent and interested parties (including the Bel-Air Neighborhood Association).
  9. A meeting of the Bel Air N.A., the agent, the property owner representative, and City Departments of Municipal Development and Planning was held on July 14 at the Christian Fellowship Church to discuss the Carlisle Boulevard Corridor Study.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION  
PROJECT #1002249  
AUGUST 21, 2008  
PAGE 6 OF 7

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The parking spaces provided shall be changed from 16 to 14 for the parking calculations on the site plan for building permit.
4. Additional fenestration and/or architectural features shall be provided on both the west and north sides of the building to break up the plain façade building mass, to enhance visual appearance, and to promote street and neighborhood character. Wall mounted mechanical equipment and electrical boxes shall be painted to match the wall color if possible.
5. Approved on condition will comply with all SWMD ordinances and requirements and have required recycle area and sanitary sewer drain.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - b. Drive thru lane width to be 12' minimum with 25' turning radii (inside edge) for all turns. 14' lane width may be used with turning radii of 15' – see DPM.
  - c. Place most current rendering of site plan for building permit on amended site plan for subdivision and amended site plan for building permit sheets that are to be signed by the DRB.
  - d. To accommodate the future exclusive eastbound right-turn lane, as recommended in the Carlisle Corridor Study for the Claremont/Carlisle intersection, provide an adequate right-of-way dedication or public roadway and utility easement. Actual construction of the recommended improvements will be by others at a future date. In addition, area of right-of-way dedication or public roadway and utility easement shall be or used as landscaped or used as parking and maintained by the applicant, pending the building of the right turn lane. The site development plan shall indicate the right turn lane and adjacent sidewalk as illustrative including all related notes.
  - e. Site plan shall comply and be designed per DPM Standards.
7. Video cameras shall be installed to cover all parking areas, walkways, building entrances, exterior and interior and maintain locations; monitors shall be placed in high employment traffic areas and in site door loading to trash dumpsters.



OFFICIAL NOTICE OF DECISION  
PROJECT #1002249  
AUGUST 21, 2008  
PAGE 7 OF 7

**PROTEST: IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION, WHICH IS BY SEPTEMBER 5, 2008.**

**APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY SEPTEMBER 5, 2008 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

**YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).**

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

Richard Dineen  
Planning Director

RD/RF/ac

cc: Paul Wymer, Bohannon Huston, Inc., 7500 Jefferson NE, Albuquerque, NM 87109  
Barb Johnson, Bel-Air NA, 2700 Hermosa NE, Albuquerque, NM 87110  
Ms. Lee Julian, Bel-Air NA, 2724 Monroe NE, Albuquerque, NM 87110

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

S Z

V

P

D

L A

**ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

**APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Bohannon Huston, Inc. Attn: Sally CDP1 PHONE: (505) 823-1000  
 ADDRESS: 7500 Jefferson NE FAX: (505) 898-7988  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ssalazar-cass@bhinc.com

APPLICANT: CRT Partners - Southern Arizona Franchise PHONE: (520) 327-7055 ext 271  
 ADDRESS: 616 W. Las Lomas Road FAX: (520) 327-2081  
 CITY: Tucson STATE AZ ZIP 85704 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Restaurant Owner List all owners: Sequim Retail Investments, LLC

DESCRIPTION OF REQUEST: Final Sign-Off for Amended SDP for Building Permit & SDP for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. F-1-B Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: AMERICAN SQUARE  
 Existing Zoning: C-2 Proposed zoning: N/A MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): H-16 UPC Code: 101605951638310920

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): \_\_\_\_\_  
1002249, 08EPC-40069, 08EPC-40070

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.172

LOCATION PROPERTY BY STREETS: On or Near: Carlisle NE  
 Between: Menaul Blvd. NE and Claremont NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Kevin Murtagh, P.E. DATE 10/28/2008  
 (Print) \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

**INTERNAL ROUTING**

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB - 70459</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$0</u>
<u>08DRB - 70461</u>	<u>SPS</u>	<u>P(3)</u>	<u>\$0</u>
_____	<u>CMF</u>	_____	<u>\$20.00</u>
_____	_____	_____	\$
_____	_____	_____	\$
Hearing date <u>11/05/08</u>	_____	_____	Total <u>\$20.00</u>

Sandy Hardley 10/28/08  
 Planner signature / date

Project # 1002249



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
  - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
  - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
  - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
  - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Solid Waste Management Department signature on Site Plan for Building Permit
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Kevin Murtagh 10-28-07  
 Applicant name (print)  
[Signature]  
 Applicant signature / date



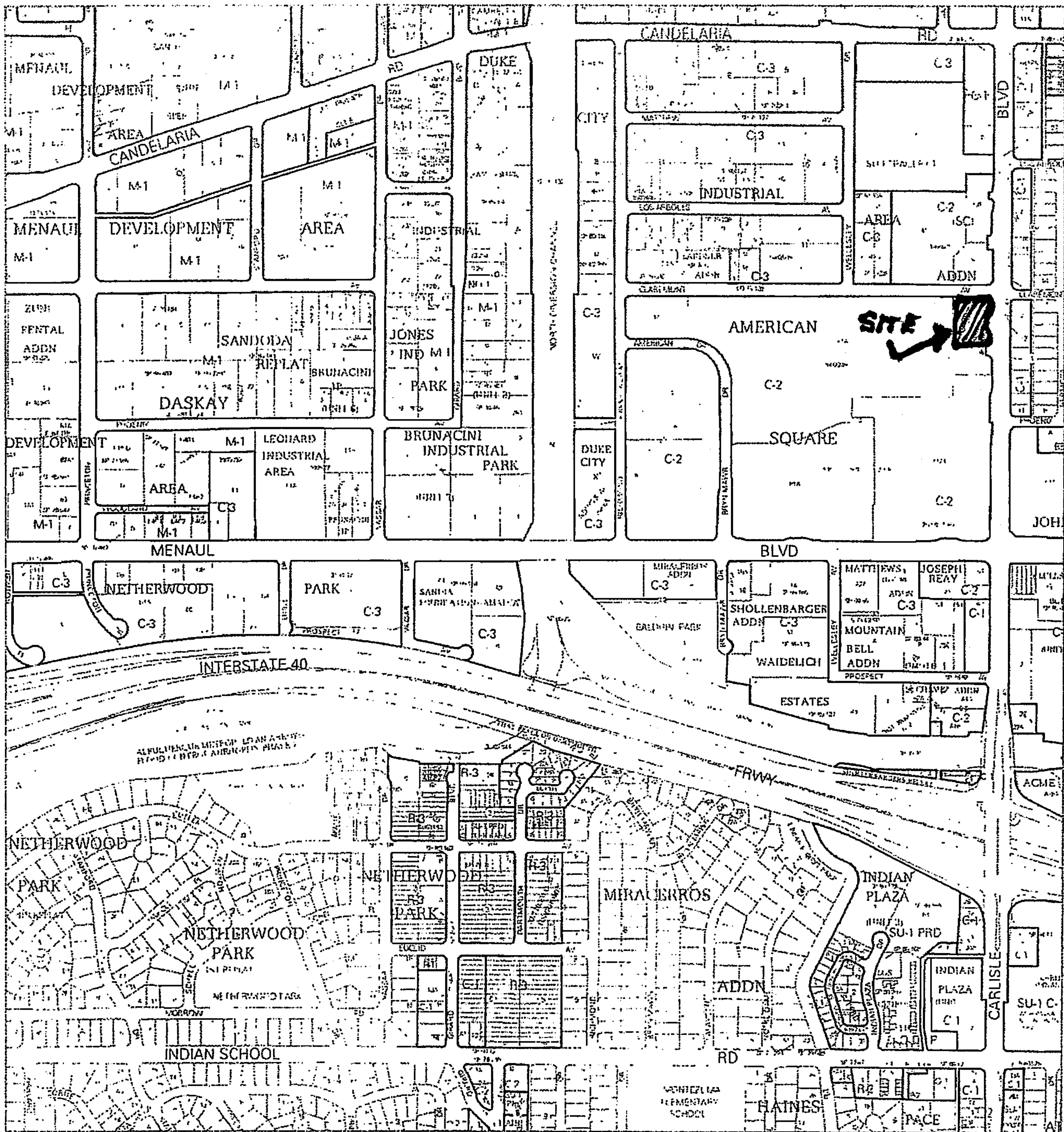
Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 08DRB- \_\_\_\_\_ - 70459

Sandy Handley 10/28/08  
 Planner signature / date  
 Project # 1002249



190038



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/1/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**H-16-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1500 Feet



October 28, 2008

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW - 1<sup>st</sup> Floor  
Albuquerque, NM 87102

Re: Jack-in-the-Box Restaurant: - Carlisle Site Located at lot F-1-B, American Square Subdivision;  
Final Sign-off by D.R.B. for Amended Site Development Plan for Building Permit and Site Development Plan  
for Building Permit, Project # 1002249, 08EPC 40070 and 40069.

Dear Mr. Cloud:

The purpose of this letter is to provide a description of the modifications made to the subject plans to bring them into conformance with E.P.C. conditions as described in the Official Notification of Decision (OND) dated August 22, 2008. The subject site is located at the southwest corner of the intersection of Carlisle Blvd. and Claremont. This request is to construct a new restaurant on a proposed new pad site at this intersection.

The following list of plan modifications corresponds to the numerical sequence of the OND discussed above:

**A. Amended Site Plan for Building Permit (08EPC-40070):**

1. This letter serves as the required description of modifications made to the submittal documents.
2. A meeting was held on Monday October 27th, 2008 with Mr. Randal Falkner to discuss the document changes.
3. The parking space calculations have been modified on Sheet 1 to reflect 25 spaces which will be a part of this project. This condition was added by the E.P.C. prior to condition 6d being drafted. Condition 6d allows for 11 parking spaces to remain and be utilized until such time as a future dedicated right turn lane on Claremont is built. Because of this, the current plan will result in 14 spaces plus 11 additional spaces that will be utilized in the interim. This issue was discussed with Mr. Falkner during the meeting of Monday, October 27<sup>th</sup>.
4. Additional architectural features have been added to Sheets 3 and 4. This detailing includes continuous wainscoting around the base of the entire building. Wall mounted mechanical equipment has also been relocated into a mechanical room that has been added to the west elevation, also adding additional relief to this façade.
5. SWMD staff has reviewed and approved the plans and have signed Sheet 1 indicating this approval.
6.
  - a. No permanent public improvements will be required as a part of this project.
  - b. The drive thru lane has been increased in width to 12' and the radius of the curb in this area increased to 25'. These changes are shown on Sheet 1.
  - c. The Amended Site Development Plan Sheets have been changed to reflect the most current version of the proposed site improvements and building location.
  - d. A public roadway and utility easement has been created and submitted to Mr. Tony Lloyd for review. Sheet 1 has also been modified to depict the future Claremont right turn lane in an illustrative drawing. See also note 3 above for further discussion on this condition.
  - e. The site plan conforms to DPM standards.

**ENGINEERING ▲**

**SPATIAL DATA ▲**

**ADVANCED TECHNOLOGIES ▲**

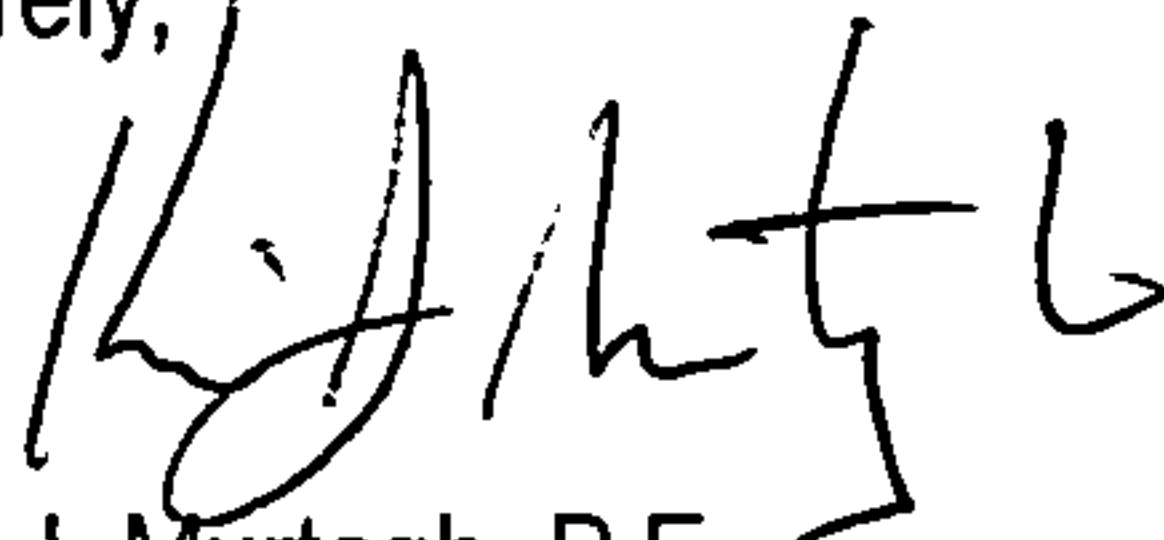
7. A note has been added to Sheet 1 describing conformance to condition 7.

**B. Site Plan for Building Permit (08EPC-40069):**

Conditions 1 thru 7 are identical to those described in Paragraph A for the Amended Site Plan for Building Permit discussed above.

Please review the enclosed submittal and contact me if additional information is necessary. Please schedule this request to be heard at the November 5, 2008 DRB hearing.

Sincerely,



Kevin J. Murtagh, P.E.  
Project Manager  
Community Development and Planning

KJM/ssc  
Enclosures

cc: Laura Olguin, CRT Partners  
Larry Click, L J Click and Assoc.  
Lisa Urea, Sedberry and Assoc.  
Paul Wymer, BHI  
Bruce Stidworthy, BHI





Sally Salazar-Cass

090038-008  
100 2249

**From:** Bingham, Brad L. [BBingham@cabq.gov]  
**Sent:** Monday, September 08, 2008 2:17 PM  
**To:** Kevin Murtagh  
**Cc:** Sally Salazar-Cass; Paul Wymer  
**Subject:** RE: Draining and Graidng Plan for DRB

These projects will not require a grading plan prior to Site Plan approval at DRB. There will be a requirement for a grading plan prior to Building Permit signoff by Hydrology.

---

**From:** Kevin Murtagh [mailto:kmurtagh@bhinc.com]  
**Sent:** Monday, September 08, 2008 2:06 PM  
**To:** Bingham, Brad L.  
**Cc:** Sally Salazar-Cass; Paul Wymer  
**Subject:** RE: Draining and Graidng Plan for DRB

#1003658  
Jack in the Box at the Burlington Coat Factory on NM 525 just west of Coors.

#1002249  
Jack in the Box on the SE corner of Central and Conchas just west of Eubank.

*Kevin J. Murtagh, P.E.*  
*Bohannon Huston Inc*  
*505-823-1000*

---

**From:** Bingham, Brad L. [mailto:BBingham@cabq.gov]  
**Sent:** Monday, September 08, 2008 1:54 PM  
**To:** Kevin Murtagh  
**Subject:** RE: Draining and Graidng Plan for DRB

Please be more specific on locations.

I.E.  
#1003658  
JIB on the corner of Eubank and Central in the shopping center that used to be an old Furr's...

Thanks

---

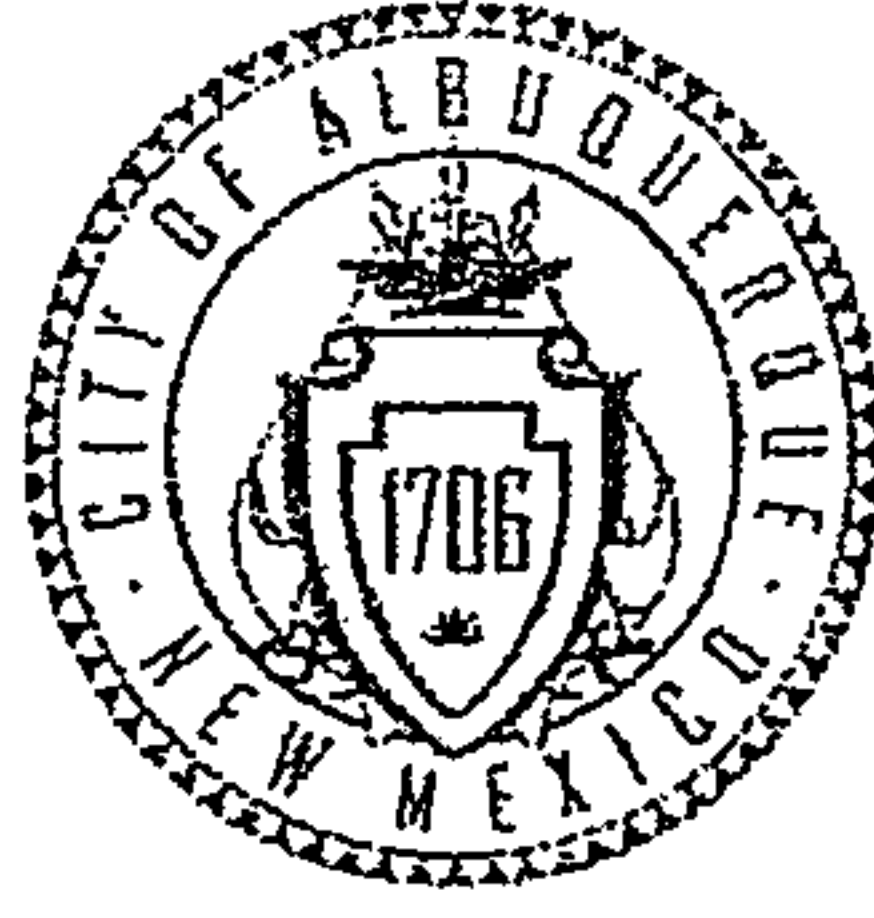
**From:** Kevin Murtagh [mailto:kmurtagh@bhinc.com]  
**Sent:** Monday, September 08, 2008 1:51 PM  
**To:** Bingham, Brad L.  
**Cc:** Paul Wymer; Sally Salazar-Cass  
**Subject:** Draining and Graidng Plan for DRB

Brad we have 2 sites approved at EPC heading to DRB (Jack in the Box # 1003658 and Jack in the Box# 1002249. Each are about 1 ac in size and are existing asphalt parking lots being replaced with a building, some landscaping and parking. Will you please confirm that approved grading and drainage plans will not be required for the submittals to DRB. We are aware that an approved G & D Plan is required for building permit approval.

Let us know (Reply to All). Thanks

*Kevin J. Murtagh, P.E.*

9/8/2008



City of Albuquerque  
 Planning Department  
 Development Review Division  
 P.O. Box 1293  
 Albuquerque, New Mexico 87103

Date: August 22, 2008

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project# 1002249**  
 08EPC-40069 SITE DEVELOPMENT -  
 BLDG PRMT  
 08EPC-40070 AMEND SITE DEVELOPMENT  
 PLAN - BLD PRMT

CRT Partners-Southern Arizona Franchise  
 616 W. Las Lomas Rd.  
 Tucson, AZ, 85704

LEGAL DESCRIPTION: for all or a portion of  
 lot F-1-B, AMERICAN SQUARE, zoned C-2,  
 located on CARLISLE NE BETWEEN  
 MENAUL BLVD NE AND CLAREMONT NE  
 containing approximately 1.172 acres. (H-16)  
 Randall Falkner, Staff Planner.

On August 21, 2008 the Environmental Planning Commission voted to approve Project 1002249/ 08EPC 40070, to amend a site development plan for building permit, for lot F-1-B, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request to amend site development plan for building permit. The site is approximately 1.17 acres and is located on Carlisle Avenue NE between Menaul Boulevard NE and Claremont NE. The site comprises lot F-1-B and is zoned C-2. The applicant intends to build a 2,433 s.f. restaurant with a drive-up lane and service window on an existing platted parcel at the southwest corner of Carlisle and Claremont.
2. This request is accompanied by a request for site development plan for building permit.
3. The subject site is within the Established Urban area of the Comprehensive Plan.
4. The following Comprehensive Plan policies for Developing and Established Urban Areas are partially furthered by the proposal:



- a. Policy II.B.5d -- The request is partially in accord with the surrounding neighborhood values, natural environmental conditions, and carrying capacities. The Bel-Air Neighborhood Association does not oppose the project, but expressed concerns about the Carlisle/Claremont intersection, additional traffic, and crime. A facilitated meeting and a subsequent meeting with the agent, municipal development, and the planning department allowed the neighborhood to work out their primary concerns.
  - b. Policy II.B.5i -- The proposed use would provide some employment opportunities to nearby residents, and adverse effects from the use would be minimized through appropriate site design and landscaping.
  - c. Policy II.B.5l -- The design is appropriate to the plan area in that the surrounding area is entirely commercial, and two other restaurants are across the street from the subject site. The design is not innovative in design, but rather plain corporate architecture.
  - d. Policy II.B.5m -- The proposed building is 19 feet high, does not exceed height restrictions in a C-2 zone, generally maintains vistas and fits in with surrounding development along Carlisle and Claremont.
5. The following Comprehensive Plan policies for Developing and Established Urban Areas are furthered by the proposal:
- a. Policy II.B.5e -- The development will occur on a portion of vacant land that is contiguous to existing urban facilities and services. The neighborhood has stated that it is not opposed to the project.
6. The request partially furthers Economic Development Policies II.D.6a and II.D.6b of the Comprehensive Plan because the request would present new employment opportunities and offer chances for improvement in occupational skills and advancement. However, the request does not accommodate a wide range of salary levels or help to develop a local business enterprise.
7. The Bel-Air N.A. has sent a letter outlining their concerns with the request.
8. A facilitated meeting was held on June 17, 2008 at the Christian Fellowship Church at 3901 Claremont between the agent and interested parties (including the Bel-Air Neighborhood Association).
9. A meeting of the Bel Air N.A., the agent, the property owner representative, and City Departments of Municipal Development and Planning was held on July 14 at the Christian Fellowship Church to discuss the Carlisle Boulevard Corridor Study.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The parking spaces provided shall be changed from 16 to 14 for the parking calculations on the site plan for building permit.
4. Additional fenestration and/or architectural features shall be provided on both the west and north sides of the building to break up the plain façade building mass, to enhance visual appearance, and to promote street and neighborhood character. Wall mounted mechanical equipment and electrical boxes shall be painted to match the wall color if possible.
5. Approved on condition will comply with all SWMD ordinances and requirements and have required recycle area and sanitary sewer drain.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - b. Drive thru lane width to be 12' minimum with 25' turning radii (inside edge) for all turns. 14' lane width may be used with turning radii of 15' – see DPM.
  - c. Place most current rendering of site plan for building permit on amended site plan for subdivision and amended site plan for building permit sheets that are to be signed by the DRB.



- d. To accommodate the future exclusive eastbound right-turn lane, as recommended in the Carlisle Corridor Study for the Claremont/Carlisle intersection, provide an adequate right-of-way dedication or public roadway and utility easement. Actual construction of the recommended improvements will be by others at a future date. In addition, area of right-of-way dedication or public roadway and utility easement shall be or used as landscaped or used as parking and maintained by the applicant, pending the building of the right turn lane. The site development plan shall indicate the right turn lane and adjacent sidewalk as illustrative including all related notes.
  - e. Site plan shall comply and be designed per DPM Standards.
7. Video cameras shall be installed to cover all parking areas, walkways, building entrances, exterior and interior and maintain locations; monitors shall be placed in high employment traffic areas and in site door loading to trash dumpsters.

---

On August 21, 2008 the Environmental Planning Commission voted to approve Project 1002249/ 08EPC 40069, a site development plan for building permit, for lot F-1-B, based on the following Findings and subject to the following Conditions;

**FINDINGS:**

1. This is a request for a site development plan for building permit. The site is approximately 1.17 acres and is located on Carlisle Avenue NE between Menaul Boulevard NE and Claremont NE. The site comprises lot F-1-B and is zoned C-2. The applicant intends to build a 2,433 s.f. restaurant with a drive-up lane and service window on an existing platted parcel at the southwest corner of Carlisle and Claremont.
2. This request is accompanied by a request to amend site development plan for building permit.
3. The subject site is within the Established Urban area of the Comprehensive Plan.
4. The following Comprehensive Plan policies for Developing and Established Urban Areas are partially furthered by the proposal:
  - a. Policy II.B.5d – The request is partially in accord with the surrounding neighborhood values, natural environmental conditions, and carrying capacities. The Bel-Air Neighborhood Association does not oppose the project, but expressed concerns about the Carlisle/Claremont intersection, additional traffic, and crime. A facilitated meeting and a subsequent meeting with the agent, municipal development, and the planning department allowed the neighborhood to work out their primary concerns.

- b. Policy II.B.5i – Policy II.B.5i – The proposed use would provide some employment opportunities to nearby residents, and adverse effects from the use would be minimized through appropriate site design and landscaping.
  - c. Policy II.B.5l – The design is appropriate to the plan area in that the surrounding area is entirely commercial, and two other restaurants are across the street from the subject site. The design is not innovative in design, but rather plain corporate architecture.
  - d. Policy II.B.5m – The proposed building is 19 feet high, does not exceed height restrictions in a C-2 zone, generally maintains vistas and fits in with surrounding development along Carlisle and Claremont.
5. The following Comprehensive Plan policies for Developing and Established Urban Areas are furthered by the proposal:
    - a. Policy II.B.5e – The development will occur on a portion of vacant land that is contiguous to existing urban facilities and services. The neighborhood has stated that it is not opposed to the project.
  6. The request partially furthers Economic Development Policies II.D.6a and II.D.6b of the Comprehensive Plan because the request would present new employment opportunities and offer chances for improvement in occupational skills and advancement. However, the request does not accommodate a wide range of salary levels or help to develop a local business enterprise.
  7. The Bel-Air N.A. has sent a letter outlining their concerns with the request.
  8. A facilitated meeting was held on June 17, 2008 at the Christian Fellowship Church at 3901 Claremont between the agent and interested parties (including the Bel-Air Neighborhood Association).
  9. A meeting of the Bel Air N.A., the agent, the property owner representative, and City Departments of Municipal Development and Planning was held on July 14 at the Christian Fellowship Church to discuss the Carlisle Boulevard Corridor Study.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.



2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The parking spaces provided shall be changed from 16 to 14 for the parking calculations on the site plan for building permit.
4. Additional fenestration and/or architectural features shall be provided on both the west and north sides of the building to break up the plain façade building mass, to enhance visual appearance, and to promote street and neighborhood character. Wall mounted mechanical equipment and electrical boxes shall be painted to match the wall color if possible.
5. Approved on condition will comply with all SWMD ordinances and requirements and have required recycle area and sanitary sewer drain.
6. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - b. Drive thru lane width to be 12' minimum with 25' turning radii (inside edge) for all turns. 14' lane width may be used with turning radii of 15' – see DPM.
  - c. Place most current rendering of site plan for building permit on amended site plan for subdivision and amended site plan for building permit sheets that are to be signed by the DRB.
  - d. To accommodate the future exclusive eastbound right-turn lane, as recommended in the Carlisle Corridor Study for the Claremont/Carlisle intersection, provide an adequate right-of-way dedication or public roadway and utility easement. Actual construction of the recommended improvements will be by others at a future date. In addition, area of right-of-way dedication or public roadway and utility easement shall be or used as landscaped or used as parking and maintained by the applicant, pending the building of the right turn lane. The site development plan shall indicate the right turn lane and adjacent sidewalk as illustrative including all related notes.
  - e. Site plan shall comply and be designed per DPM Standards.
7. Video cameras shall be installed to cover all parking areas, walkways, building entrances, exterior and interior and maintain locations; monitors shall be placed in high employment traffic areas and in site door loading to trash dumpsters.

OFFICIAL NOTICE OF DECISION  
PROJECT #1002249  
AUGUST 21, 2008  
PAGE 7 OF 7

PROTEST: IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION, WHICH IS BY **SEPTEMBER 5, 2008**.

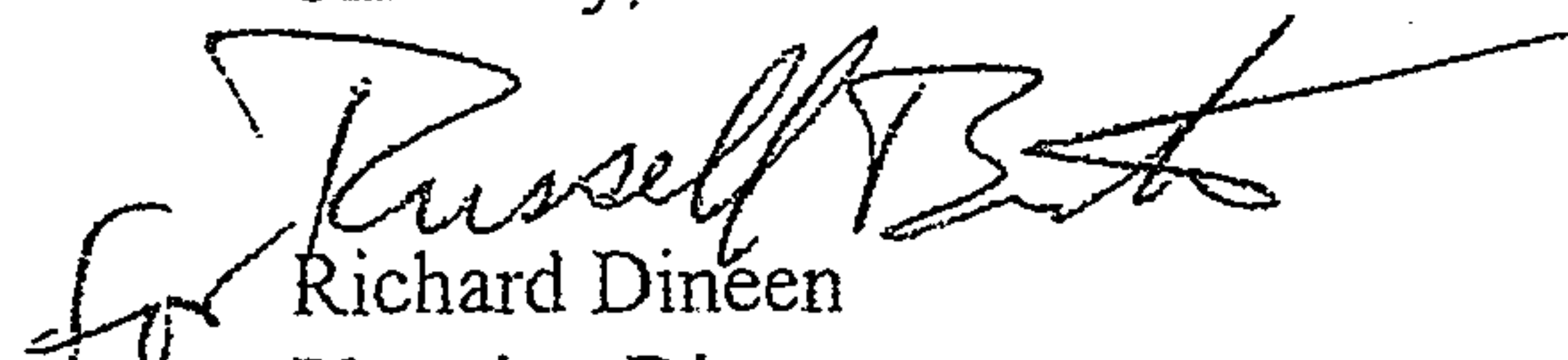
APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY **SEPTEMBER 5, 2008** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
Richard Dineen  
Planning Director

RD/RF/ac

cc: Paul Wymer, Bohannon Huston, Inc., 7500 Jefferson NE, Albuquerque, NM 87109  
Barb Johnson, Bel-Air NA, 2700 Hermosa NE, Albuquerque, NM 87110  
Ms. Lee Julian, Bel-Air NA, 2724 Monroe NE, Albuquerque, NM 87110



DECLARATION OF PUBLIC UTILITY EASEMENT

THIS INDENTURE made this 17 day of OCTOBER, 2008 by and between SRI ALBUQUERQUE, LLC

WITNESSETH:

Grantor does hereby create, dedicate and grant an easement to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for delivery of electric power, natural gas, communications, water, sewer and other public utilities, including the right to install equipment, fixtures and structures necessary to maintain such facilities on, over, beneath, through and across the easement herein after described, together with free access to, from and over said easement, with the right and privilege of going upon, over and across lands of Grantor for the purposes set forth herein, and with the right to trim and remove any trees, shrubs, bushes or vegetation and remove any structures which interfere with the purposes set forth herein. The easement granted herein is within lands situate in BERNALILLO County, New Mexico, and is more particularly described as follows, to wit:

PNM ROWT Number 1 016 059 516 383 10920

TR F-1-B CORR PLAT OF TRACTS E-1-A, F-1-A & F-1-B AMERICAN SQUARE CONT 1.1725 AC

All as generally shown on the drawing attached hereto and made a part hereof as Exhibit "A".

Grantor hereby covenants that Grantor is the true and lawful owner of the land described herein.

Grantor shall have the right to use the above described easement for purposes not inconsistent with the rights hereby granted, provided that Grantor shall not erect nor construct any building, pool or other structure thereon, nor drill nor operate any well thereon, nor conduct any activity which violates provisions of the National Electric Safety Code.

The provisions hereof shall inure to the benefit of and bind the heirs, executors, mortgagees, lessees, tenants, successors and assigns of the Grantor and valid users of the easement described herein.

WITNESS [Signature] and seal this \_\_\_ day of \_\_\_, 20\_\_ (SEAL) (SEAL) (SEAL) (SEAL)

ACKNOWLEDGMENT

STATE OF WA COUNTY OF KING

This instrument was acknowledged before me on October 17, 2008.

By JOE GEIVETT My commission expires: 11-23-09 (Seal)

[Signature]

Notary Public

ACKNOWLEDGMENT FOR CORPORATION

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on

\_\_\_\_\_, 20\_\_

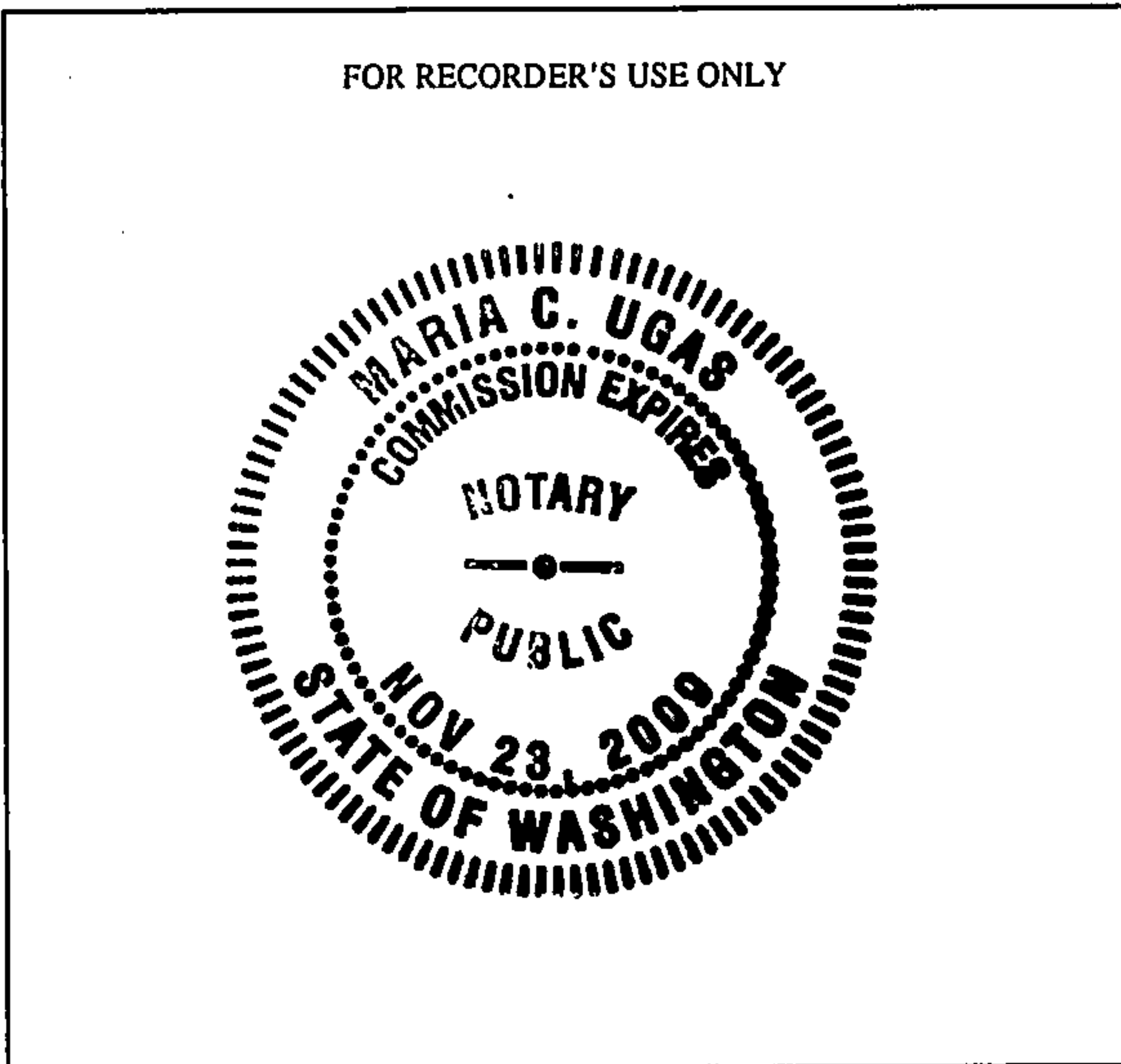
By \_\_\_\_\_ (Name of Officer) \_\_\_\_\_ (Title of Officer)

of \_\_\_\_\_ (Corporation Acknowledgment)

a \_\_\_\_\_ corporation, on behalf of said corporation. (State of Incorporation)

My Commission Expires: (Seal)

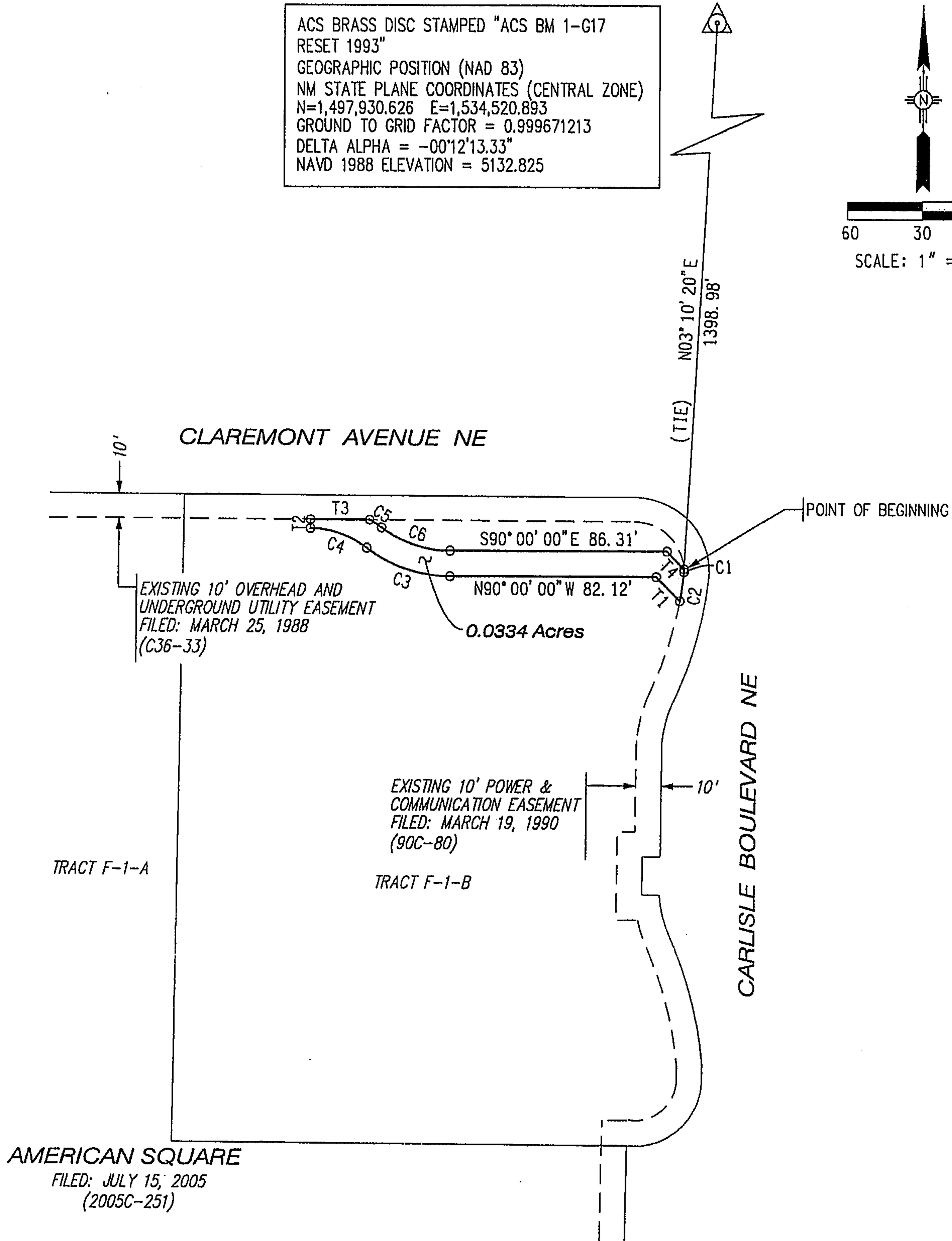
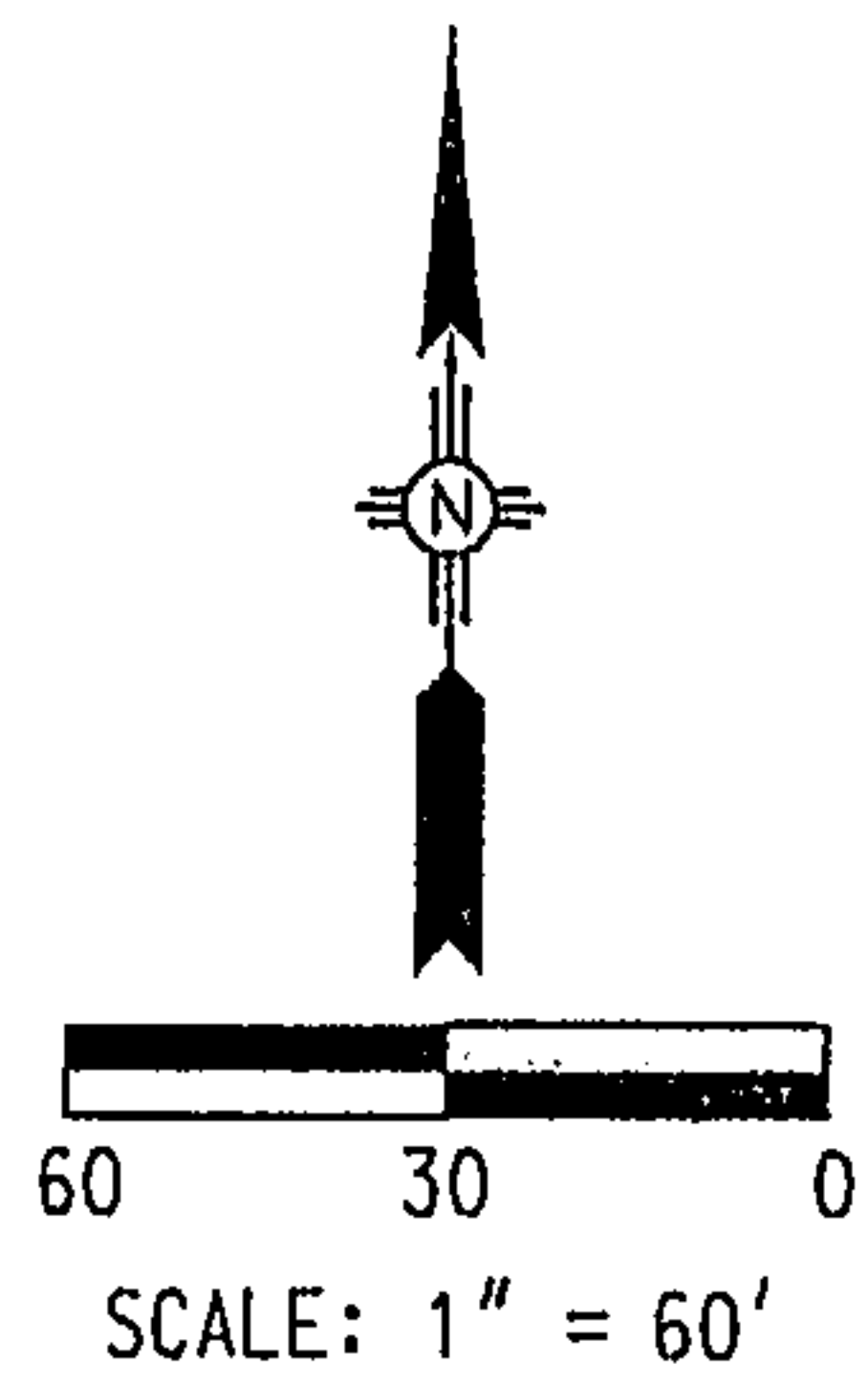
Notary Public



PNM REFERENCE NUMBER [ ]

# EXHIBIT "A"

ACS BRASS DISC STAMPED "ACS BM 1-G17  
 RESET 1993"  
 GEOGRAPHIC POSITION (NAD 83)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 N=1,497,930.626 E=1,534,520.893  
 GROUND TO GRID FACTOR = 0.999671213  
 DELTA ALPHA = -00°12'13.33"  
 NAVD 1988 ELEVATION = 5132.825



NOTE: BASIS OF BEARINGS IS BETWEEN ACS STATIONS 1-G17R & 1-H17  
 BEARING = S25°54'32"E

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	03° 17' 02"	0.57'	1.15'	20.00'	1.15'	S02° 05' 11" E
C2	04° 45' 25"	5.82'	11.62'	140.00'	11.62'	S07° 57' 57" W
C3	36° 34' 17"	18.47'	35.68'	55.90'	35.08'	N71° 42' 52" W
C4	35° 31' 04"	12.48'	24.16'	38.98'	23.78'	N71° 11' 15" W
C5	06° 47' 11"	2.90'	5.80'	48.98'	5.80'	S56° 49' 18" E
C6	36° 34' 17"	15.17'	29.30'	45.90'	28.80'	S71° 42' 52" E

Tangent Data		
ID	BEARING	DISTANCE
T1	N44° 35' 20" W	13.31'
T2	N00° 11' 00" E	3.61'
T3	S89° 49' 00" E	23.60'
T4	S44° 35' 20" E	9.59'

**Bohannon & Huston** INC.

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



# EXHIBIT "A"

## DESCRIPTION

A tract of land located in Section 10, Township 10 North, Range 3 East, N.M.P.M, City of Albuquerque, Bernalillo County, New Mexico and being a portion of Tract F-1-B of the Correction Plat of Tracts E-1-A, F-1-A, and F-1-B American Square, filed in Book 2005C, Page 251 on July 15, 2005 in the office of the Bernalillo County Clerk and being more particularly described as follows:

BEGINNING at the northeast corner of this tract, WHENCE a found brass disc stamped "ACS BM 1-G17" having New Mexico State Plane Central Zone coordinates (NAD 83) of N= 1,497,930.626', E= 1,534,520.893' bears N03°10'20"E a distance of 1398.98 feet;

THENCE along the arc of a curve to the right having an arc length of 1.15 feet, a radius of 20.00 feet, a central angle of 3°17'02" and a chord of S02°05'11"E a distance of 1.15 feet to a point of compound curvature;

THENCE along the arc of a curve to the right having an arc length of 11.62 feet, a radius of 140.00 feet, a central angle of 4°45'25", and a chord of S07°57'57"W a distance of 11.62 feet to a point of non-tangency;

THENCE N44°35'20"W a distance of 13.31 feet;

THENCE S90°00'00"W a distance of 82.12 feet to a point of curvature;

THENCE along the arc of a curve to the right having an arc length of 35.68 feet, a radius of 55.90 feet, a central angle of 36°34'17", and a chord of N71°42'52"W a distance of 35.08 feet to a point of reverse curvature;

THENCE along the arc of a curve to the left having an arc length of 24.16 feet, a radius of 38.98 feet, a central angle of 35°31'04", and a chord of N71°11'15"W a distance of 23.78 feet to a point of non-tangency;

THENCE N00°11'00"E a distance of 3.61 feet;

THENCE S89°49'00" a distance of 23.60 feet to a point of non-tangent curvature;

THENCE along the arc of a curve to the right having an arc length of 5.80 feet, a radius of 48.98 feet, a central angle of 6°47'11", and a chord of S56°49'18"E a distance of 5.80 feet to a point of reverse curvature;

THENCE along the arc of a curve to the left having an arc length of 29.30 feet, a radius of 45.90 feet, a central angle of 36°34'17", and a chord of S71°42'52"E a distance of 28.80 feet to a point of tangency;

THENCE S90°00'00"E a distance of 86.31 feet;

THENCE S44°35'20"E a distance of 9.59 feet to the POINT OF BEGINNING.

Tract contains 0.0334 acres of land, more or less.

## SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, New Mexico Professional Surveyor No. 16469, do hereby certify that this Legal Description and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets the Minimum Standards for Surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act.



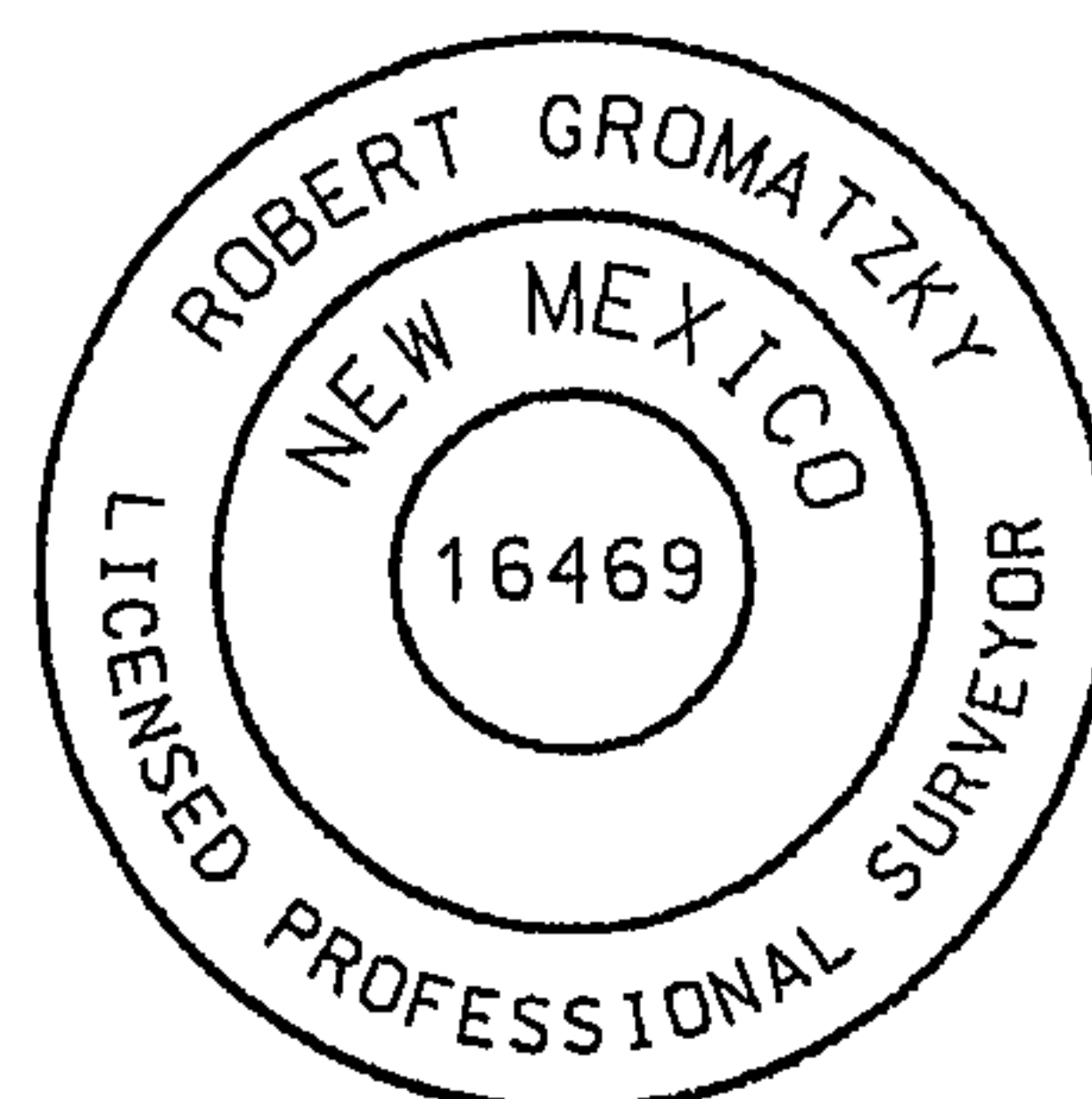
Robert Gromatzky  
New Mexico Professional Surveyor No. 16469

Date: October 8, 2008

**Bohannon**  **Huston** INC.

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING  SPATIAL DATA  ADVANCED TECHNOLOGIES



PERMANENT EASEMENT

Grant of Permanent Easement between SRI Albuquerque, LLC("Grantor"), whose address is 1919 Queen Anne Ave N, Seattle WA 98109 and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Subject to existing rights of record, Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of Public Roadway Easement, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantors property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer in the signature block below.

WITNESS my hand and seal this 17 day of October, 2008.

APPROVED:

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Dated

GRANTOR: 

\_\_\_\_\_  
(Individual)

GRANTOR: 

By: \_\_\_\_\_

Its: SRI Albuquerque, LLC  
(Corporation or Partnership)



INDIVIDUAL

STATE OF \_\_\_\_\_ )  
 )ss  
COUNTY OF \_\_\_\_\_ )

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_

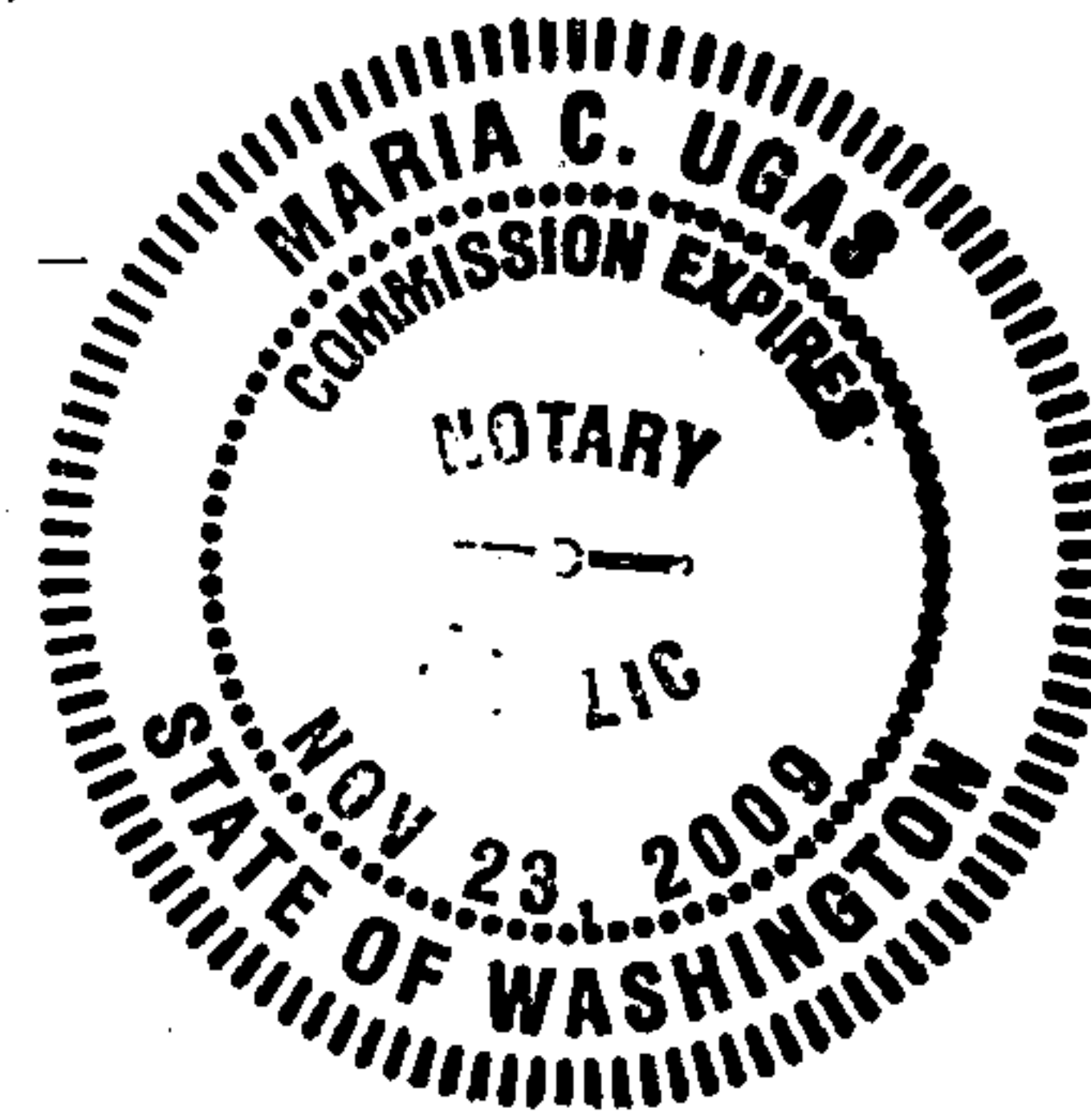
CORPORATION

STATE OF NEW MEXICO )  
 )ss  
COUNTY OF BERNALILLO )

This instrument was acknowledged before me on 17 day of OCTOBER, 2008, by JOE GEIVETT Of SRI ALBUQUERQUE, a LLC corporation, on behalf of the corporation.

  
\_\_\_\_\_  
Notary Public

My Commission Expires:  
11.23.09



PARTNERSHIP

STATE OF NEW MEXICO )  
 )ss  
COUNTY OF BERNALILLO )

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by \_\_\_\_\_, partner(s), on behalf of \_\_\_\_\_, a partnership.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_

CITY'S ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
 )ss  
COUNTY OF BERNALILLO )

This instrument was acknowledged before me on \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_, City Engineer, Planning Department, for the City of Albuquerque, a New Mexico municipal corporation, on behalf of the corporation.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_

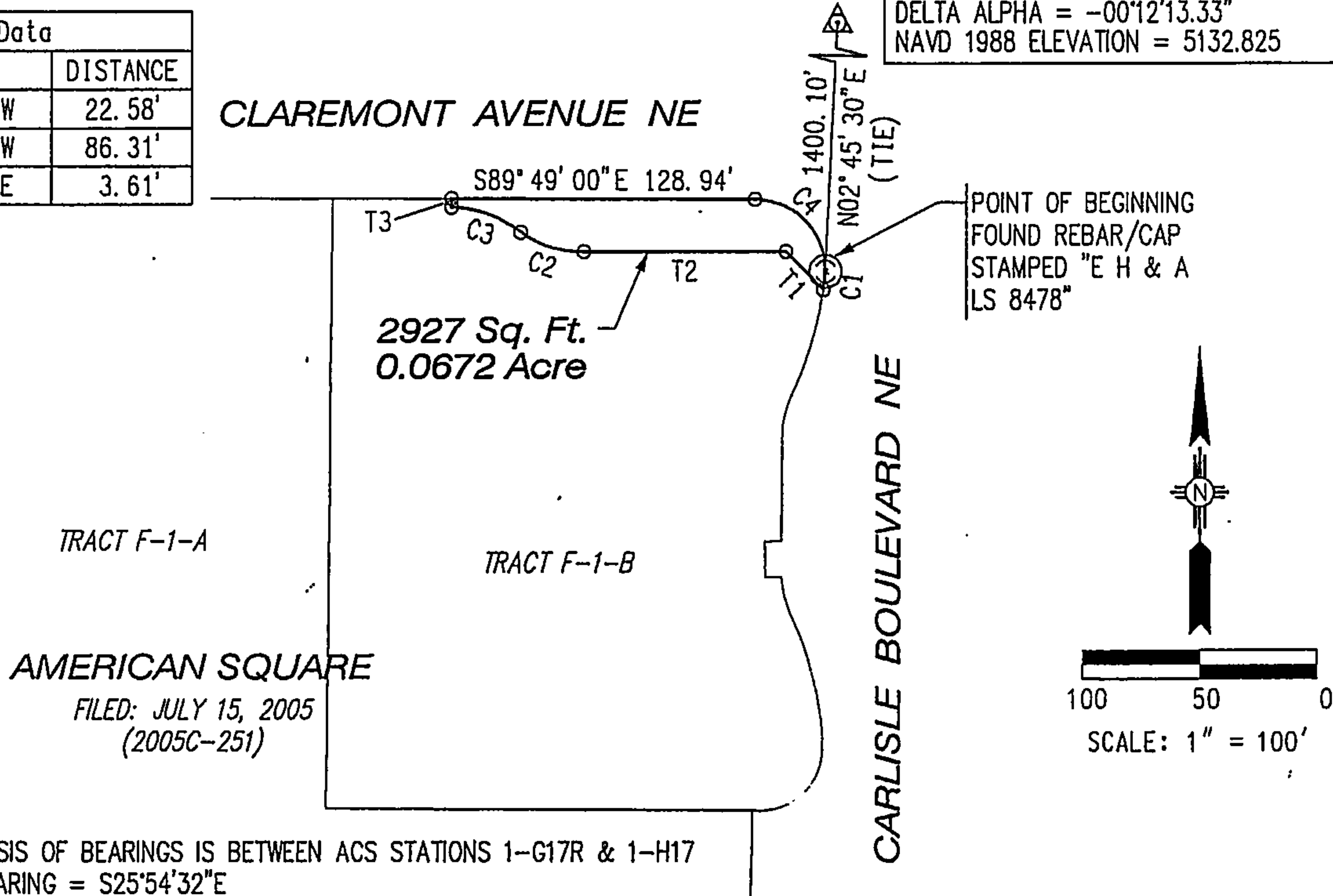
(EXHIBIT "A" ATTACHED)

# EXHIBIT "A"

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	02° 55' 50"	3.84'	7.67'	150.00'	7.67'	S06° 52' 06" W
C2	36° 34' 17"	15.17'	29.30'	45.90'	28.80'	N71° 42' 52" W
C3	35° 41' 44"	15.77'	30.51'	48.98'	30.02'	N71° 16' 35" W
C4	90° 28' 11"	30.25'	47.37'	30.00'	42.60'	S44° 35' 20" E

Tangent Data		
ID	BEARING	DISTANCE
T1	N44° 35' 20" W	22.58'
T2	N90° 00' 00" W	86.31'
T3	N00° 11' 00" E	3.61'

ACS BRASS DISC STAMPED "ACS BM 1-G17  
RESET 1993"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1,497,930.626 E=1,534,520.893  
GROUND TO GRID FACTOR = 0.999671213  
DELTA ALPHA = -00°12'13.33"  
NAVD 1988 ELEVATION = 5132.825



NOTE: BASIS OF BEARINGS IS BETWEEN ACS STATIONS 1-G17R & 1-H17  
BEARING = S25°54'32"E

## DESCRIPTION

A certain tract of land situate within Section 10, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising a northerly portion of Tract F-1-B of American Square as the same is shown and designated on the plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 15, 2005 in Book 2005C, page 251 as document number 2005101717 and being more particularly described by New Mexico State Plane Grid Bearings (NAD 83, Central Zone) and ground distances as follows:

**BEGINNING** at a point of curvature marked by a found rebar and survey cap stamped "E H & A, LS 8478" at the most easterly corner of the tract herein described, identical to the south southwest point of return at the intersection of Carlisle Boulevard NE and Claremont Avenue NE, and a corner on the easterly boundary of said Tract F-1-B, WHENCE the City of Albuquerque survey monument "1-G17R", having New Mexico State Plane Grid Coordinates (NAD83 Central Zone) N=1,497,930.626 and E=1,534,520.893 bears N02°45'30"E a distance of 1400.10 feet;

**THENCE** along the easterly boundary of the tract herein described, coincident with the easterly boundary of said Tract F-1-B and the westerly right-of-way of Carlisle Boulevard NE, 7.67 feet along the arc of a curve to the right having a radius of 150.00 feet, a central angle of 2°55'50" and a chord bearing S06°52'06"W a distance of 7.67 feet to the southeast corner of the tract herein described;

**THENCE** leaving said westerly right-of-way of Carlisle Boulevard NE and said easterly boundary of Tract F-1-B along the southerly boundary of the tract herein described, the following four (4) courses;

N44°35'20"W a distance of 22.58 feet to a point;  
S90°00'00"W a distance of 86.31 feet to a point of curvature;  
29.30 feet along the arc of a curve to the right having a radius of 45.90 feet, a central angle of 36°34'17" and a chord bearing N71°42'52"W a distance of 28.80 feet to a point of reverse curvature;  
30.51 feet along the arc of a curve to the left having a radius of 48.98 feet, a central angle of 35°41'44" and a chord bearing N71°16'35"W a distance of 30.02 feet to the southwest corner of the tract herein described;

**THENCE** along the westerly boundary of the tract herein described, N00°11'00"E a distance of 3.61 feet to the northwest corner of the tract herein described, also being a point on the northerly boundary of said Tract F-1-B and the southerly right-of-way of Claremont Avenue NE;

**THENCE** along the northerly boundary of the tract herein described, coincident with said northerly boundary of Tract F-1-B and said southerly right-of-way of Claremont Avenue NE, S89°49'00"E a distance of 128.94 feet to a point of curvature (non-tangent) at the northeast corner of the tract herein described, identical to the northeast corner of said Tract F-1-B and the west southwest point of return at the intersection of Claremont Avenue NE and Carlisle Boulevard NE;

**THENCE** along said return 47.37 feet along the arc of a curve to the right having a radius of 30.00 feet, a central angle of 90°28'11" and a chord bearing S44°35'20"E a distance of 42.60 feet to the POINT OF BEGINNING.

This tract contains 2927 square feet or 0.0672 acre, more or less.

## SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, New Mexico Professional Surveyor No. 16469, do hereby certify that this Legal Description and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets the Minimum Standards for Surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act.

  
Robert Gromatzky

New Mexico Professional Surveyor No. 16469

Date: October 1, 2008

**Bohannon & Huston** INC.

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

