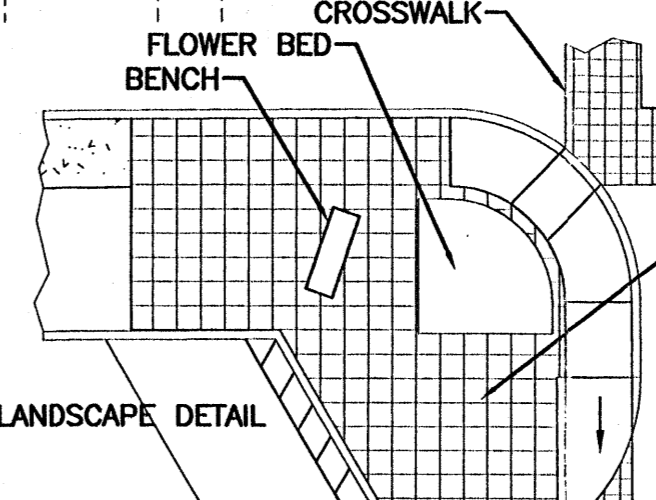


JOINT USE AREA PARKING DATA

PARKING WITHIN PARCEL I	11
PARKING WITHIN PARCEL II	34
PARKING WITHIN PARCEL III	48
PARKING WITHIN PARCEL IV	136
TOTAL SPACE WITHIN JOINT USE AREAS	229
SITE PARKING REQUIRED W/20% BUS CREDIT 834	
10% BUS BAY CREDIT	
5% BUS SHELTER CREDIT	
5% BUS CREDIT, OVER 5 AC SITE	
SITE PARKING PROVIDED	1063
SITE PARKING PROVIDED MINUS JOINT USE	831



SHEET INDEX

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT - A
3. SITE PLAN FOR BUILDING PERMIT - B
4. LANDSCAPE PLAN
5. ELEVATIONS
6. GRADING AND DRAINAGE PLAN - A
- 6A. GRADING AND DRAINAGE PLAN - B
7. MASTER UTILITY PLAN - A
- 7A. MASTER UTILITY PLAN - B
8. DETAILS
9. DETAILS
10. DETAILS
11. DETAILS
12. DETAILS

PROJECT NUMBER:

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [blank] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date:
Parks & General Services Department	Date:
Public Works, Water Utilities Division	Date:
City Engineer, Engineering Division / AMAFCA	Date:
Solid Waste	Date:
Approval and Conditional Acceptance: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date:

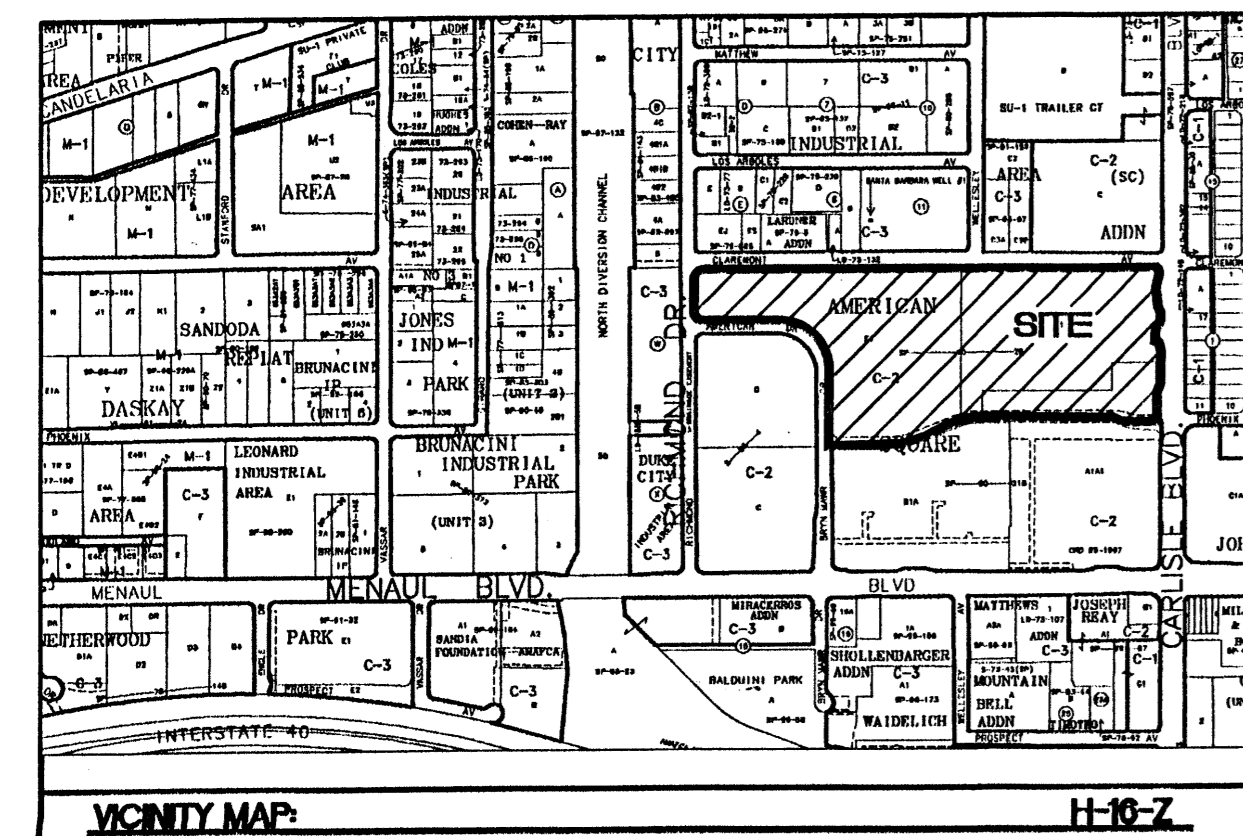
PLNZ (10706) 4/96

SITE DATA

PROPOSED USAGE:	PROPOSED EXPANSION
EXISTING ZONING:	C-2
LOT AREA:	
WAL-MART TRACT	20.5988 AC
OUT LOT 1	1.1916 AC
OUT LOT 2	1.6593 AC
TOTAL:	23.4497± AC.
BUILDING AREA:	
WITH GARDEN CENTER	221,041 SF
WITHOUT GARDEN CENTER	213,741 SF
LANDSCAPING:	
PROVIDED:	93,989 SF
REQUIRED:	86,340 SF
PARKING PROVIDED:	1059 SPACES
PARKING REQUIRED: RETAIL AREA	1042 SPACES
PARKING REQUIRED: GARDEN CENTER (7,300 SF)	18 SPACES
PARKING REQUIRED: STORAGE AREA (5,300 SF)	3 SPACES
TOTAL PARKING REQUIRED W/20% BUS CREDIT:	834 SPACES
PARKING RATIO: WITHOUT GARDEN CENTER	4.95
HC PARKING PROVIDED:	23 SPACES (4 VAN)
HC PARKING REQUIRED:	20 SPACES
	4 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	30 SPACES
BIKE SPACES REQUIRED: -	27 SPACES

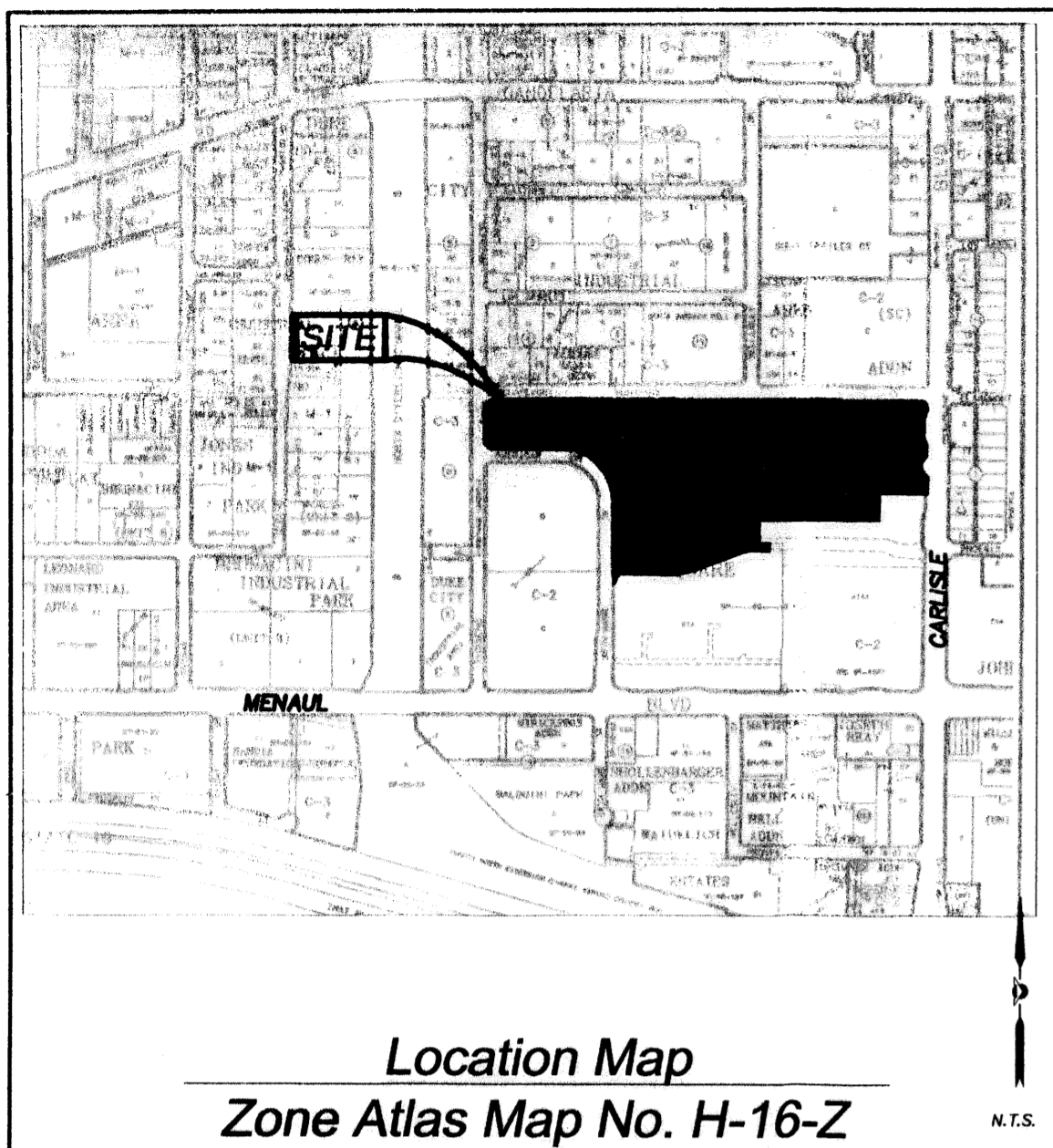
LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER
- PROPOSED LIGHT POLE
- ▨ PARCELS WITHIN JOINT USE AREAS



LEGAL DESCRIPTION:
BLOCK E1 AND F1, AMERICAN SQUARE.

	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY: BDG DATE: 04/09/03 2175SPS1.DWG
	SITE PLAN FOR SUBDIVISION	SHEET # 1 JOB # 21075



RECORDING STAMP

5/27/03 Plat of
 Tracts E-1-A, F-1-A and F-1-B
American Square
 Albuquerque, Bernalillo County, New Mexico
 April 2003

Legal Description

A TRACT OF LAND LYING AND BEING SITUATE WITHIN SECTION TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF BLOCKS E-1 AND F-1 OF THE PLAT FOR AMERICAN SQUARE AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 19, 1990, IN PLAT BOOK 90C, PAGE 80, CONTAINING 22.0953 ACRES MORE OR LESS, NOW COMPRISING TRACTS E-1-A, F-1-A AND F-1-B, AMERICAN SQUARE.

Approvals	Application No.
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER <i>[Signature]</i>	DATE 5-13-03
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST CORPORATION	DATE
COMCAST CABLE	DATE

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 22.0953 ACRES±
 ZONE ATLAS INDEX NO: H-16-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: FEBRUARY 2003

Notes:

- MISC. DATA: ZONING C2
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 10, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO BLOCKS INTO THREE NEW TRACTS AND VACATE EASEMENTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003091989

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature]
 JOHN CLARKE
 WAL-MART STORES EAST,
 A DELAWARE LIMITED PARTNERSHIP

5-5-03

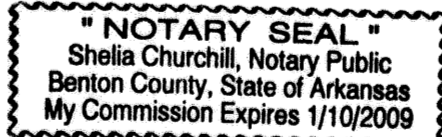
DATE

Acknowledgment

STATE OF ARKANSAS)
 COUNTY OF BENTON)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF May, 2003 BY JOHN CLARKE, WAL-MART STORES EAST, L.P., A DELAWARE LIMITED PARTNERSHIP

BY Shelia Churchill MY COMMISSION EXPIRES: 1-10-2009
 NOTARY PUBLIC



TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 5/28/2003
 LARRY W. MEDRANO
 N.M.P.S. No. 11993

DATE



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No.

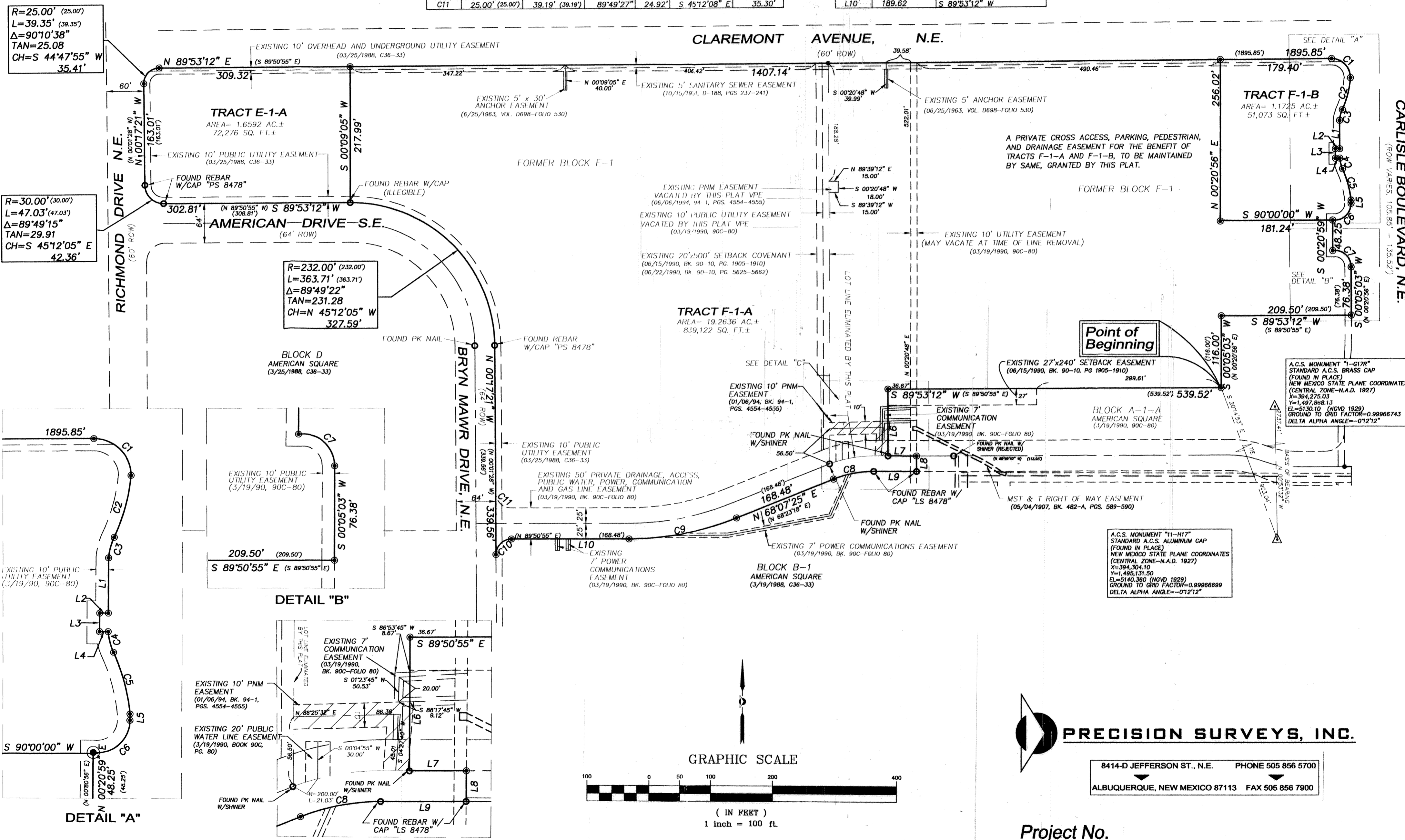
Plat of
Tracts E-1-A, F-1-A and F-1-B
American Square
Albuquerque, Bernalillo County, New Mexico
April 2003

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	DISTANCE
C1	30.00' (30.00')	47.36' (47.23')	90°27'29"	30.24'	S 44°53'08" E	42.60'
C2	150.00' (150.00')	52.22' (52.22')	19°56'48"	26.38'	S 15°04'49" W	51.96'
C3	50.00' (50.00')	17.41' (17.41')	19°57'01"	8.79'	S 15°04'55" W	17.32'
C4	50.00' (50.00')	17.41' (17.41')	19°57'01"	8.79'	S 14°44'38" E	17.32'
C5	156.88' (150.00')	52.23' (52.22')	19°04'36"	26.36'	S 14°57'27" E	51.99'
C6	26.30' (25.00')	44.70' (39.27')	97°23'13"	29.93'	S 48°15'53" W	39.51'
C7	25.99' (25.00')	44.51' (39.27')	98°08'00"	29.97'	S 48°58'57" E	39.27'
C8	175.00' (175.00')	66.53' (66.53')	21°46'56"	33.67'	S 79°00'55" W	66.13'
C9	470.00' (25.00')	178.52' (39.35')	21°45'46"	90.35'	S 79°00'18" W	177.45'
C10	25.00' (25.00')	39.35' (39.41')	90°10'38"	25.08'	S 44°47'55" W	35.41'
C11	25.00' (25.00')	39.19' (39.19')	89°49'27"	24.92'	S 45°12'08" E	35.30'

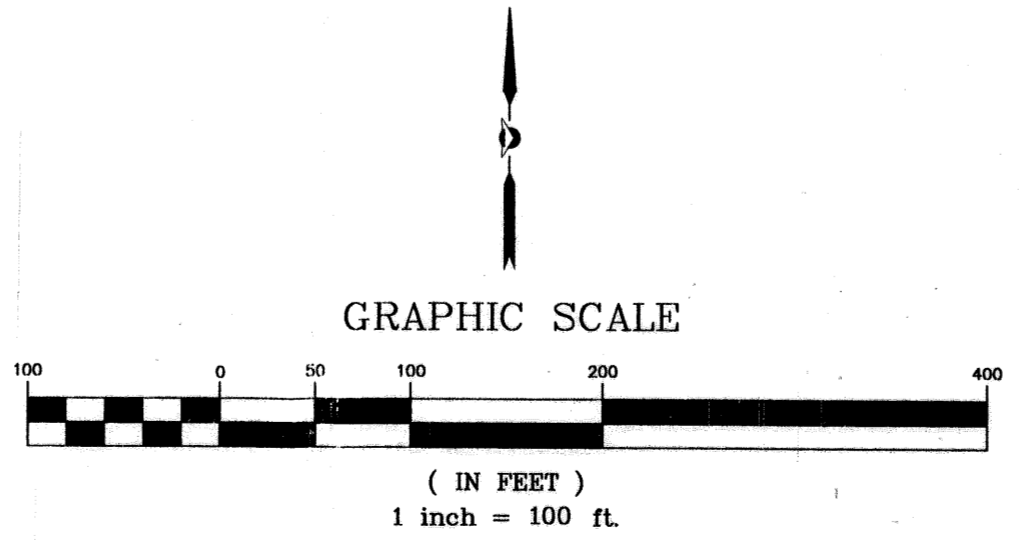
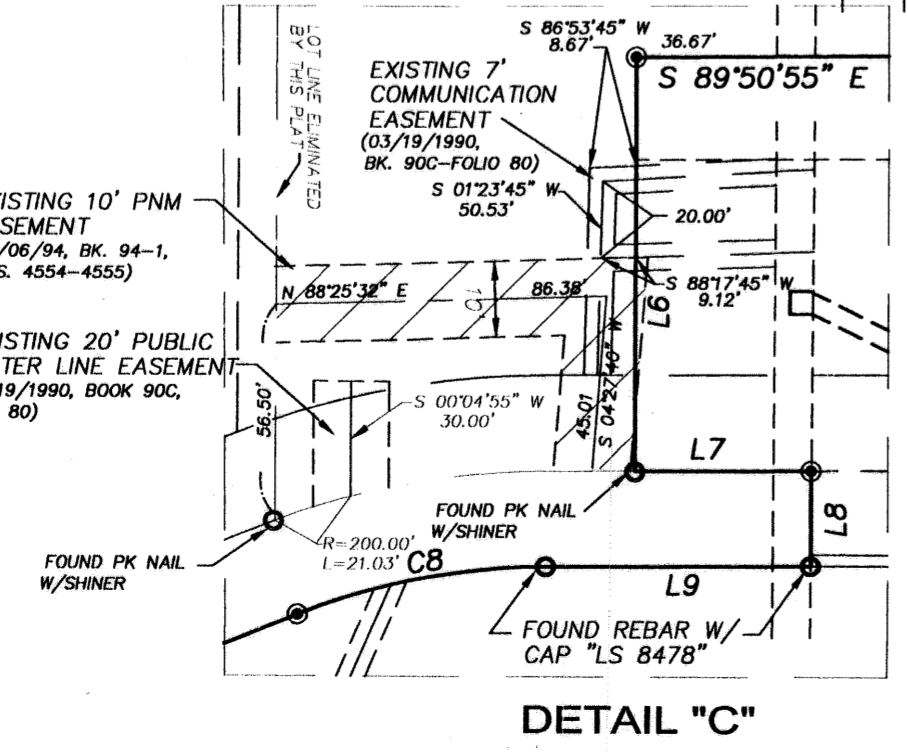
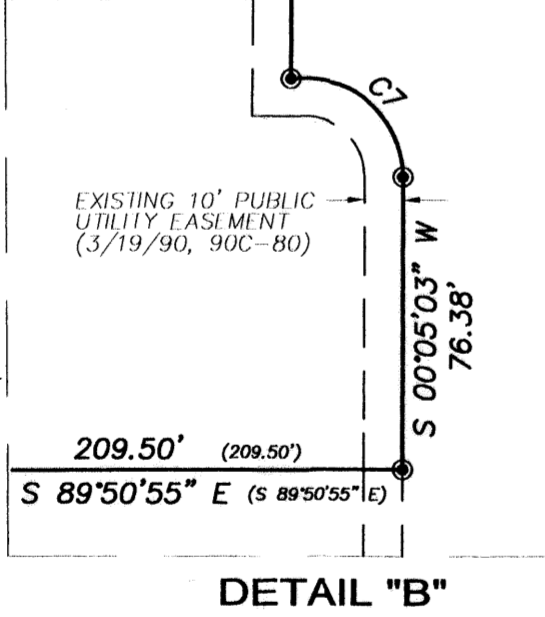
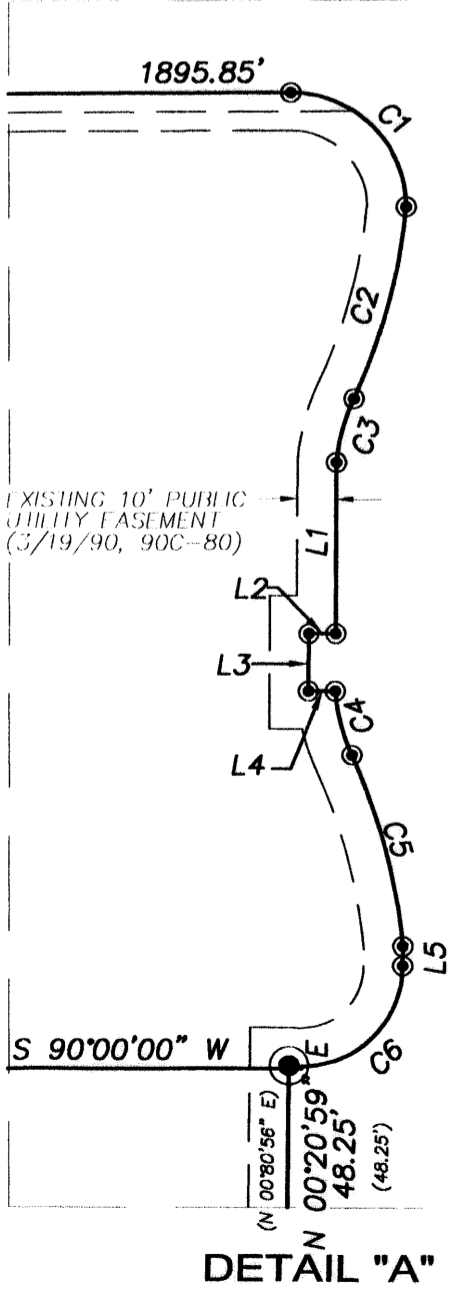
LINE TABLE		
LINE	LENGTH	BEARING
L1	45.00' (45.00')	S 00°05'03" W (N 00°20'56" E)
L2	7.00' (7.00')	N 89°54'57" W (N 89°39'04" W)
L3	15.00' (15.00')	S 00°05'03" W (S 00°20'56" E)
L4	7.00' (7.00')	S 89°54'57" E (S 89°39'04" E)
L5	5.65' (4.80')	S 00°05'03" W (S 00°20'56" E)
L6	108.34' (108.33')	S 00°04'55" W (N 00°20'48" E)
L7	46.05' (46.05')	N 89°54'24" E (S 89°49'42" E)
L8	25.00' (25.00')	S 00°04'55" W (S 00°20'48" W)
L9	69.09' (69.09')	S 89°54'25" W (N 89°49'42" W)
L10	189.62'	S 89°53'12" W



R=25.00' (25.00')
L=39.35' (39.35')
Δ=90°10'38"
TAN=25.08
CH=S 44°47'55" W
35.41'

R=30.00' (30.00')
L=47.03' (47.03')
Δ=89°49'15"
TAN=29.91
CH=S 45°12'05" E
42.36'

R=232.00' (232.00')
L=363.71' (363.71')
Δ=89°49'22"
TAN=231.28
CH=N 45°12'05" W
327.59'



PRECISION SURVEYS, INC.
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

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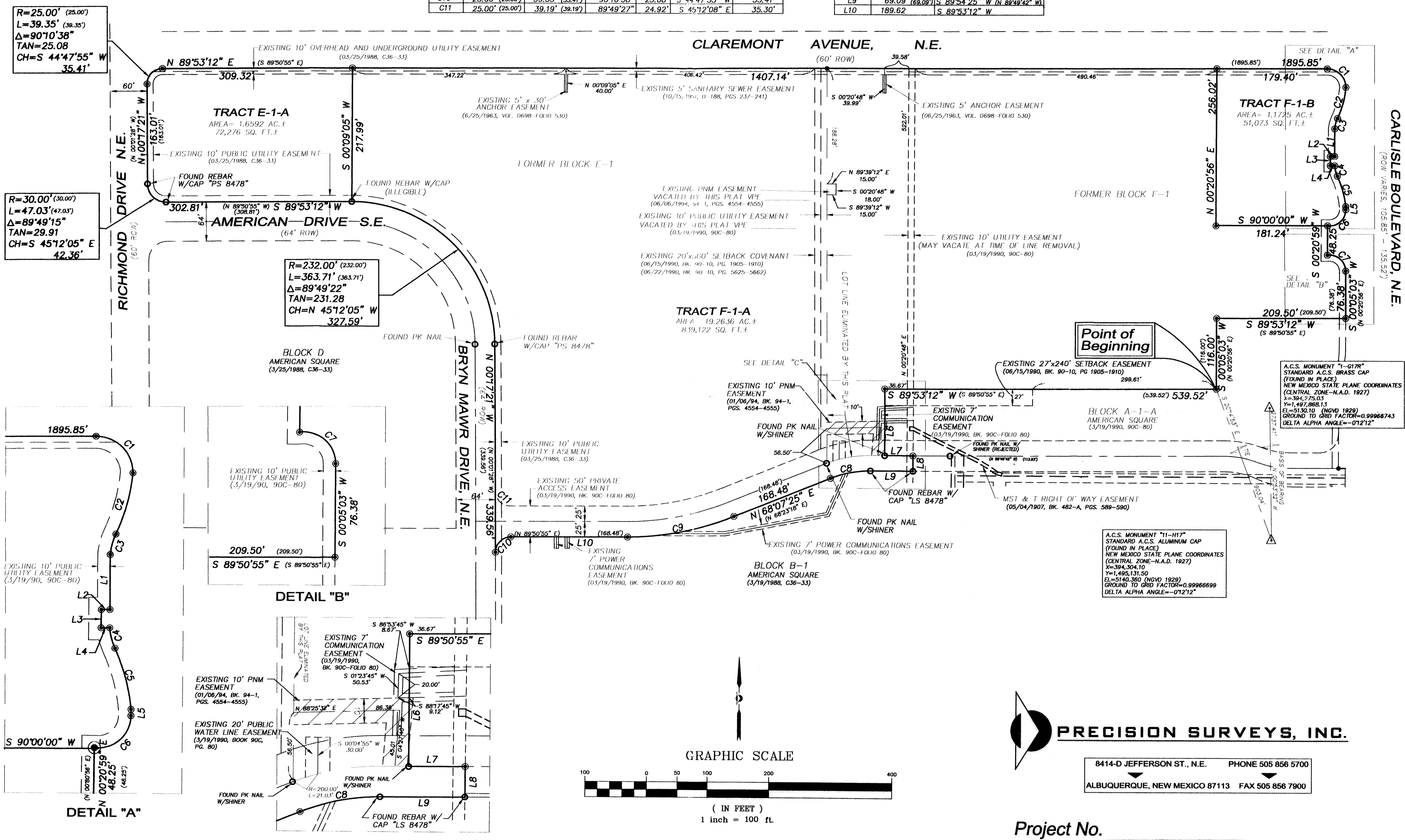
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 Albuquerque, Bernalillo County, New Mexico
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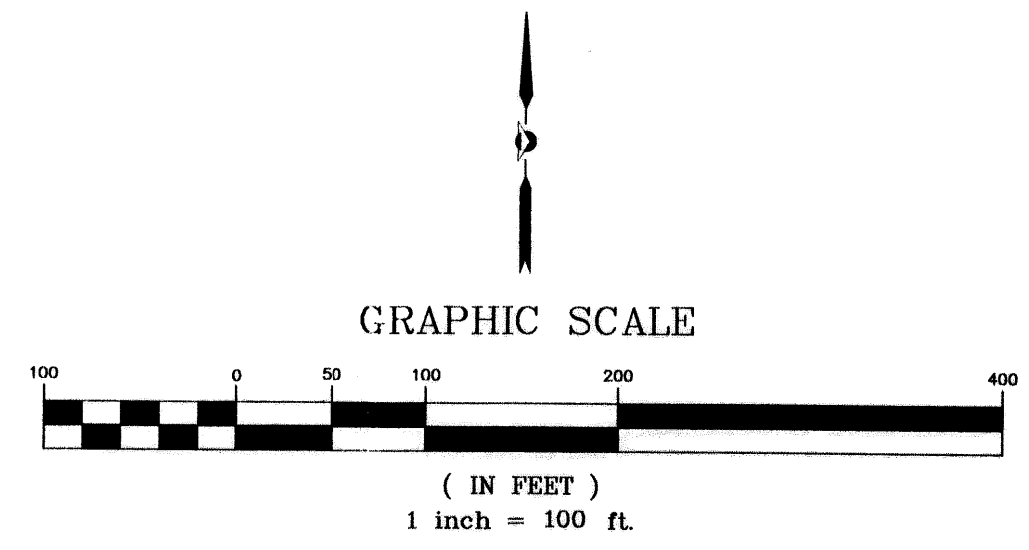
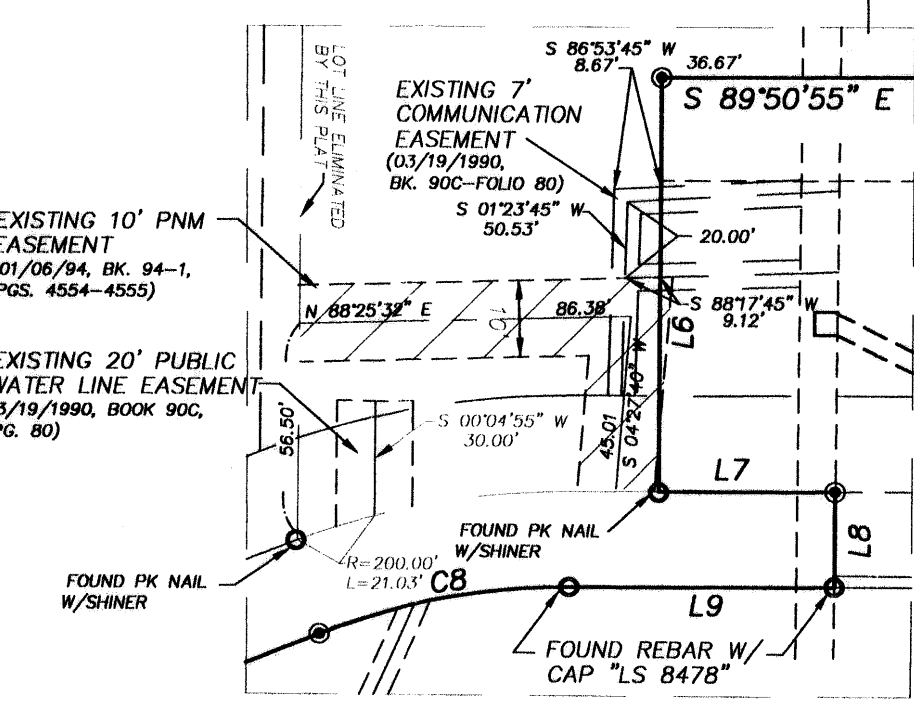
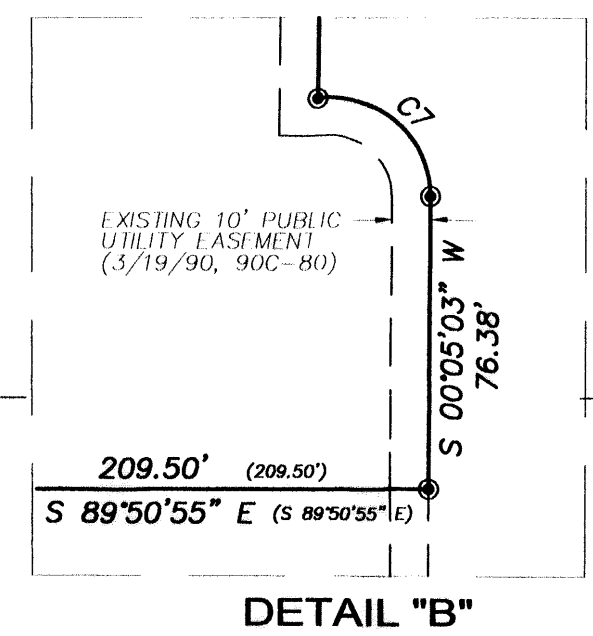
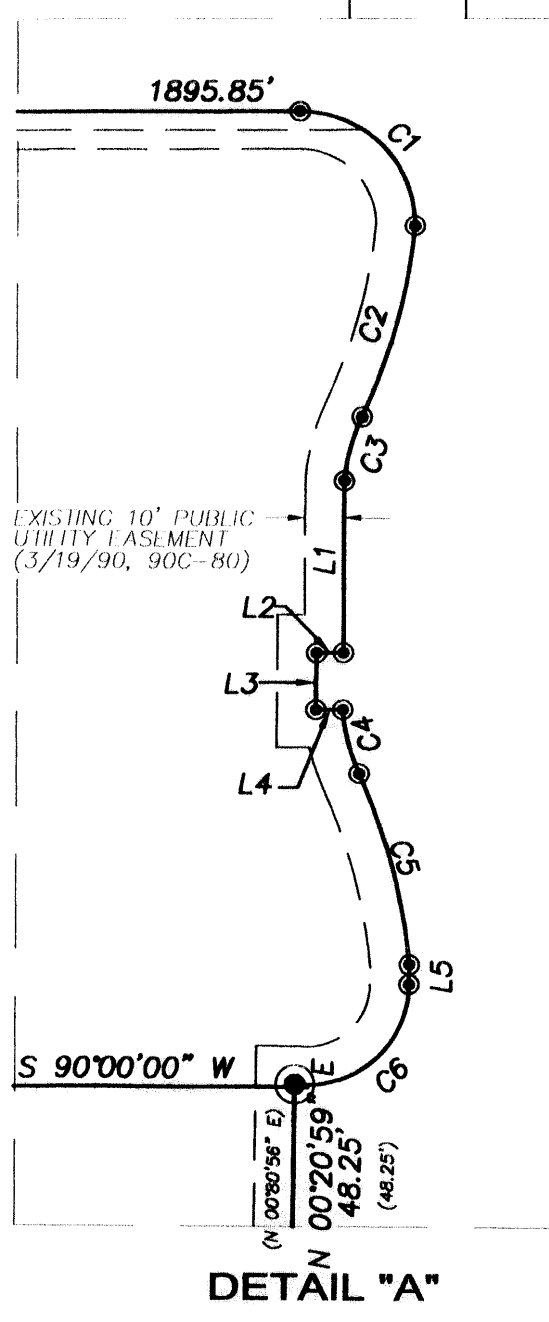
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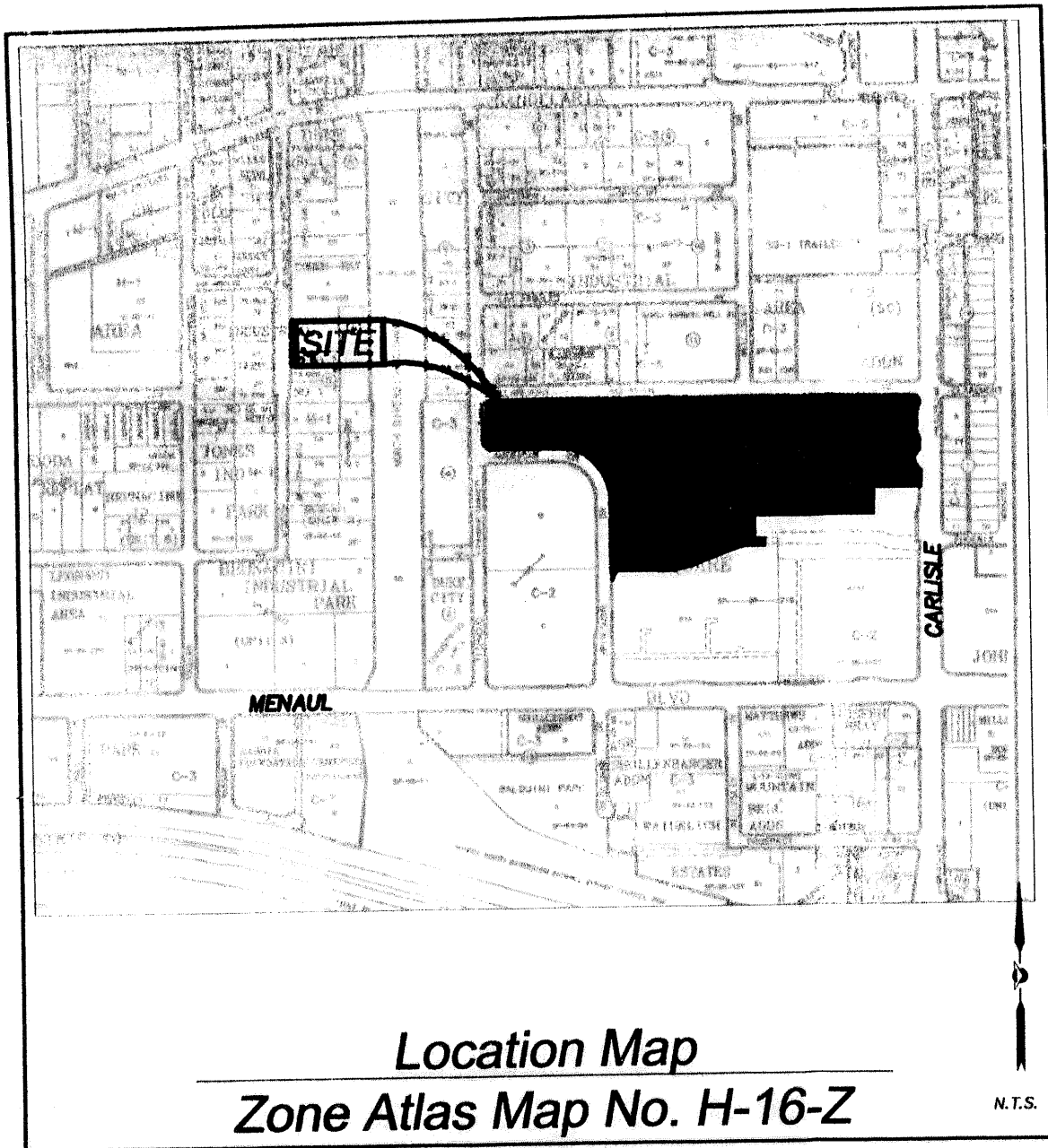
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PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. _____
 Sheet 2 of 2



RECORDING STAMP

Plat of
Tracts E-1-A, F-1-A and F-1-B
American Square
 Albuquerque, Bernalillo County, New Mexico
 April 2003

Legal Description

A TRACT OF LAND LYING AND BEING SITUATE WITHIN SECTION TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF BLOCKS E-1 AND F-1 OF THE PLAT FOR AMERICAN SQUARE AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 19, 1990, IN PLAT BOOK 90C, PAGE 80, CONTAINING 22.0953 ACRES MORE OR LESS, NOW COMPRISING TRACTS E-1-A, F-1-A AND F-1-B, AMERICAN SQUARE.

Approvals	Application No.
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER <i>[Signature]</i>	DATE 5-13-03
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST CORPORATION	DATE
COMCAST CABLE	DATE

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 22.0953 ACRES±
 ZONE ATLAS INDEX NO: H-16-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: FEBRUARY 2003

Notes:

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- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
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- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

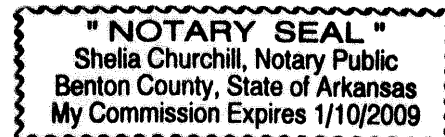
[Signature] 5-5-03
 JOHN CLARKE
 WAL-MART STORES EAST,
 A DELAWARE LIMITED PARTNERSHIP

Acknowledgment

STATE OF ARKANSAS)
 COUNTY OF BENTON)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF May, 2003 BY JOHN CLARKE, WAL-MART STORES EAST, L.P., A DELAWARE LIMITED PARTNERSHIP

BY Shelia Churchill MY COMMISSION EXPIRES: 1-10-2009
 NOTARY PUBLIC



TREASURER'S CERTIFICATE

Surveyor's Certificate

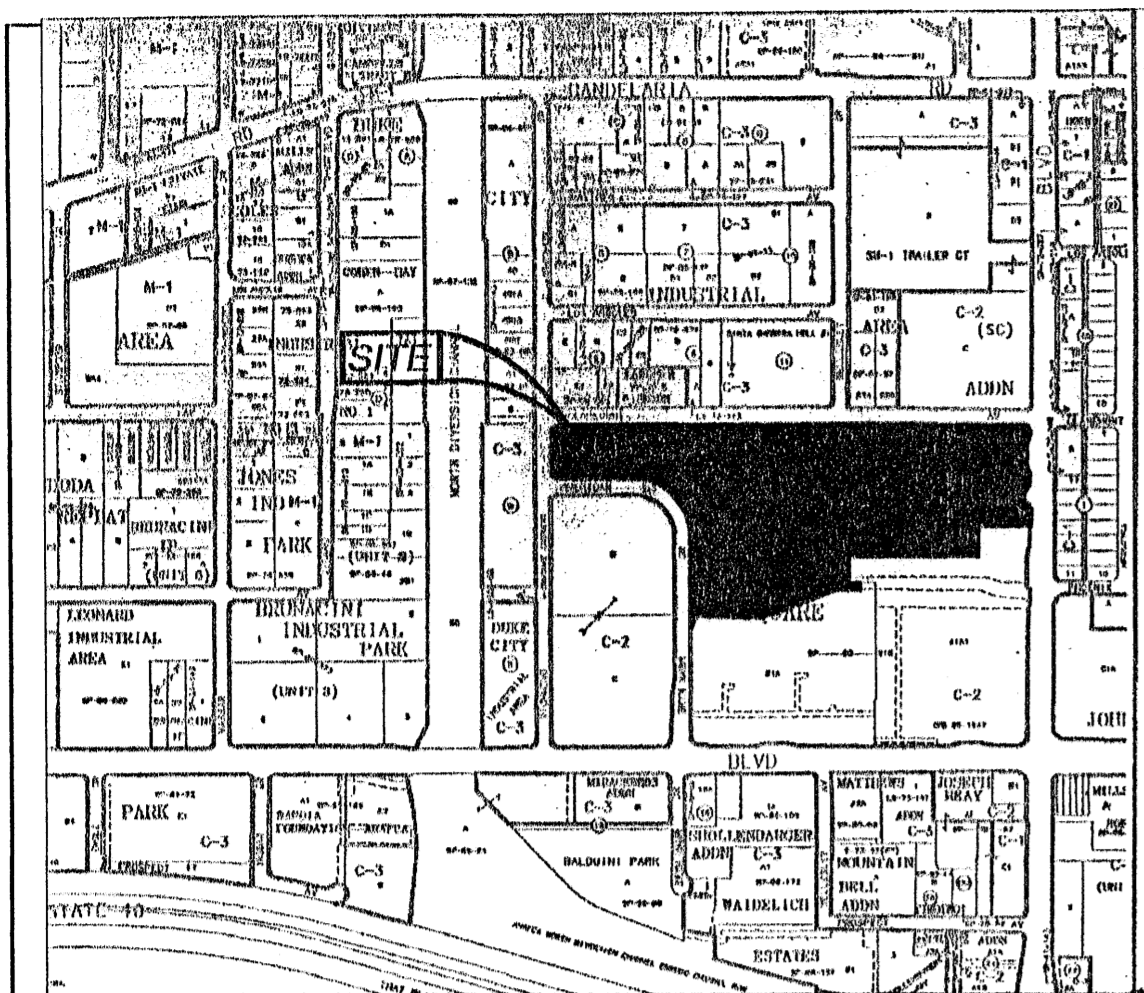
I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 4/28/2003
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Location Map
Zone Atlas Map No. H-16-Z

N.T.S.

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 22.0953 ACRES±
 ZONE ATLAS INDEX NO: H-16-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: FEBRUARY 2003

Notes:

- MISC. DATA: ZONING C2
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 10, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO BLOCKS INTO THREE NEW TRACTS, AND GRANT EASEMENTS
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003091989

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

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IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Plat of
 Tracts E-1-A, F-1-A and F-1-B
American Square
 Albuquerque, Bernalillo County, New Mexico
 February 2003

Legal Description

A TRACT OF LAND LYING AND BEING SITUATE WITHIN SECTION TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF BLOCKS E-1 AND F-1 OF THE PLAT FOR AMERICAN SQUARE AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 19, 1990, IN PLAT BOOK 90C, PAGE 80, CONTAINING 22.0953 ACRES MORE OR LESS, NOW COMPRISING TRACTS E-1-A, F-1-A AND F-1-B, AMERICAN SQUARE.

Approvals Application No. _____

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST CORPORATION	DATE
COMCAST CABLE	DATE

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
 N.M.P.S. No. 11993

DATE



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

ROBERT M. BEDARD
 WAL-MART STORES EAST, INC.
 AND ARKANSAS CORPORATION

DATE

Acknowledgment

STATE OF ARKANSAS)
 COUNTY OF)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2003 BY ROBERT M. BEDARD, WAL-MART STORES EAST, INC., AND ARKANSAS CORPORATION

BY _____ MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC

Project No. _____

Sheet 1 of 2

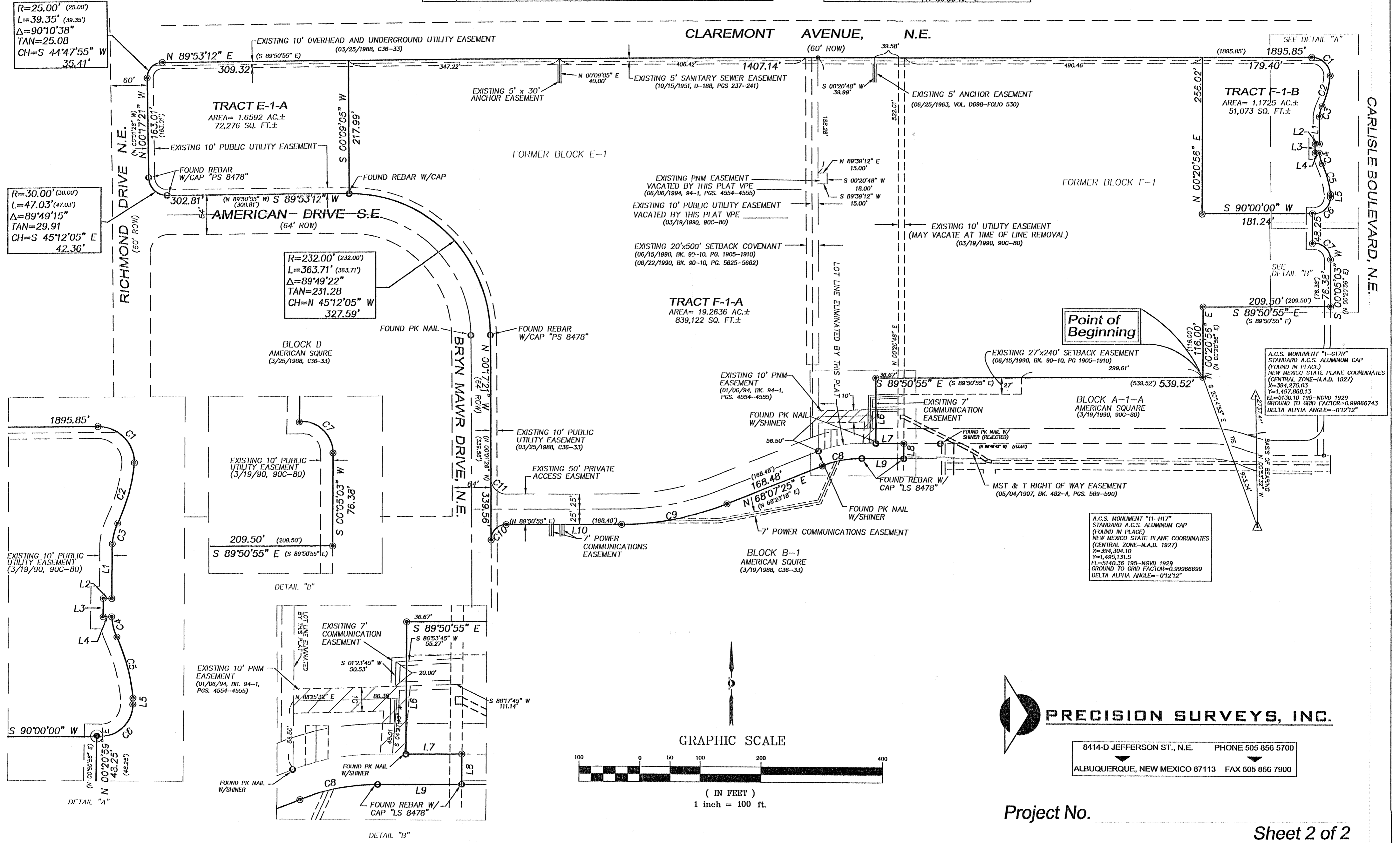
Plat of
Tracts E-1-A, F-1-A and F-1-B
American Square
Albuquerque, Bernalillo County, New Mexico
February 2003

Legend

- (N 00°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	DISTANCE
C1	30.00' (30.00')	47.36' (47.23')	90°27'29"	30.24'	N 44°53'08" W	42.60'
C2	150.00' (150.00')	52.22' (52.22')	19°56'48"	26.38'	N 15°04'49" E	51.96'
C3	50.00' (50.00')	17.41' (17.41')	19°57'01"	8.79'	S 15°04'55" W	17.32'
C4	50.00' (50.00')	17.41' (17.41')	19°57'01"	8.79'	S 14°44'38" E	17.32'
C5	156.88' (150.00')	52.23' (52.22')	19°04'36"	26.36'	N 14°57'27" W	51.99'
C6	26.30' (25.00')	44.70' (39.27')	97°23'13"	29.93'	N 48°15'53" E	39.51'
C7	25.99' (25.00')	44.51' (39.27')	98°08'00"	29.97'	N 48°58'57" W	39.27'
C8	175.00' (175.00')	66.53' (66.53')	21°46'56"	33.67'	S 79°00'55" W	66.13'
C9	470.00' (25.00')	178.52' (39.35')	21°45'46"	90.35'	N 79°00'18" E	177.45'
C10	25.00' (25.00')	39.35' (35.41')	90°10'38"	25.08'	S 44°47'55" W	35.41'
C11	25.00' (25.00')	39.19' (39.19')	89°49'27"	24.92'	S 45°12'08" E	35.30'

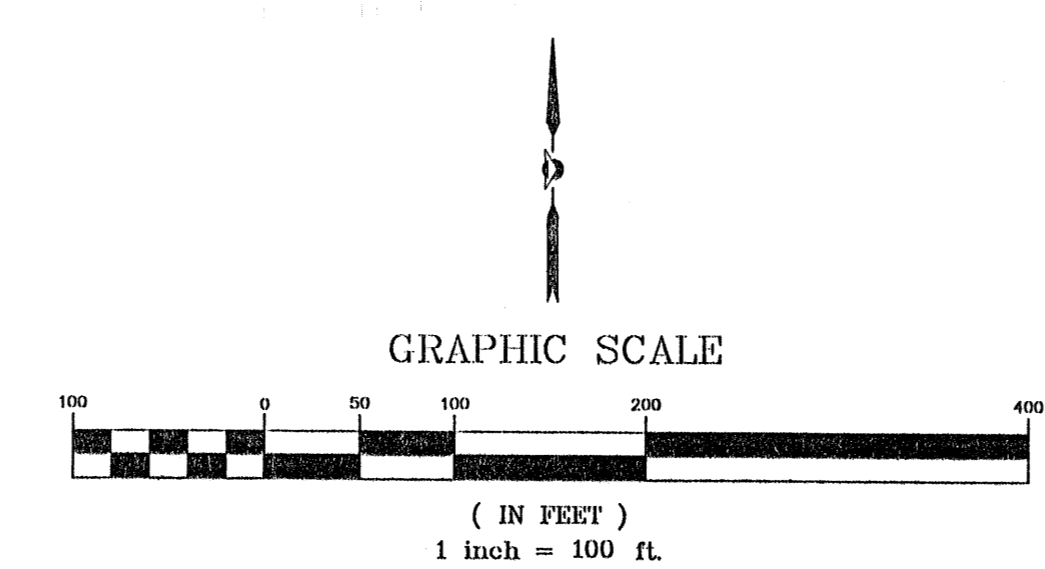
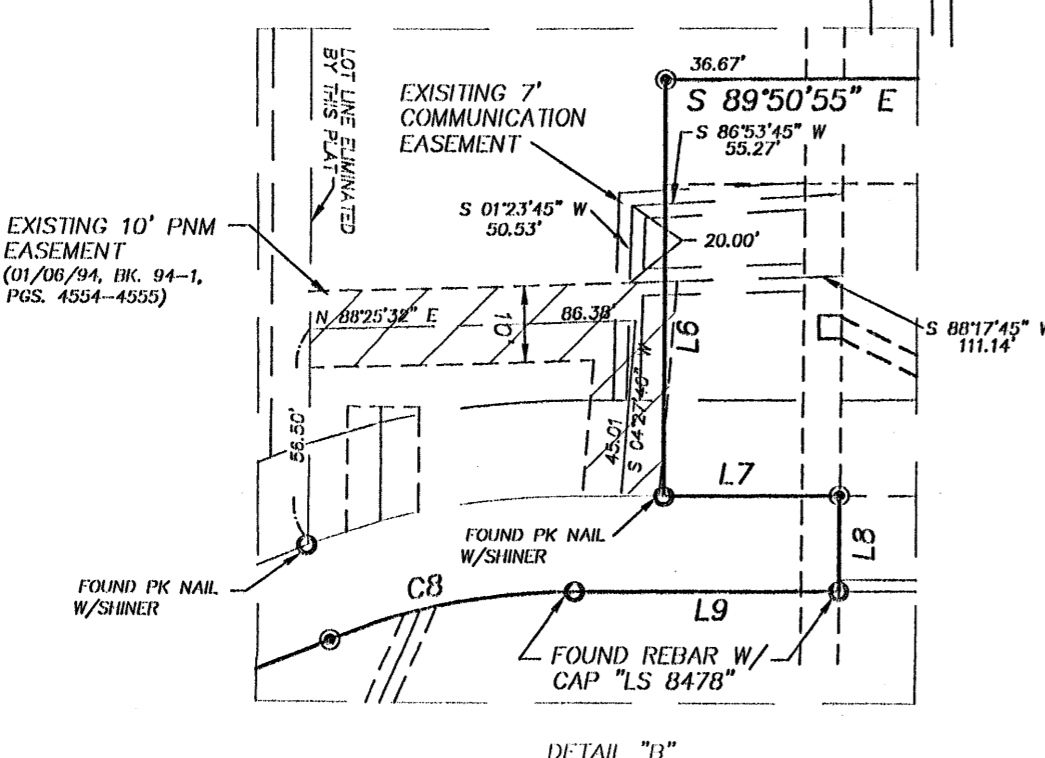
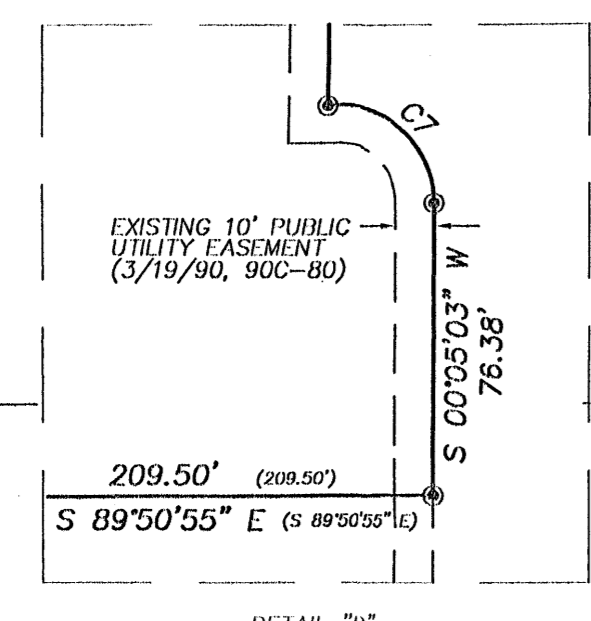
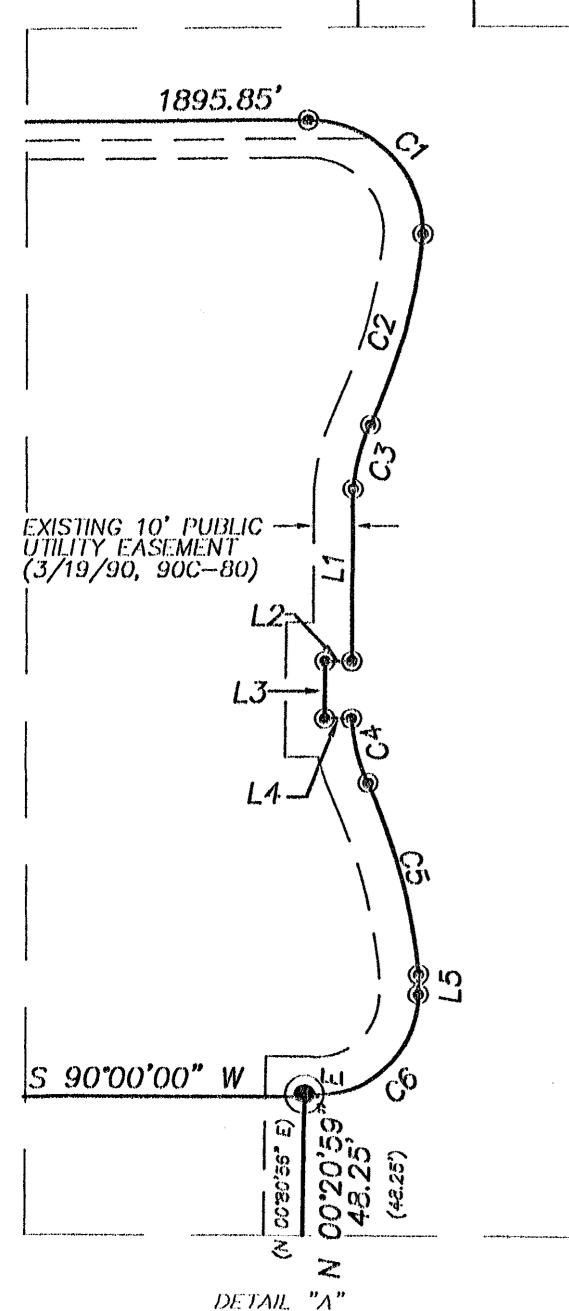
LINE	LENGTH	BEARING
L1	45.00' (45.00')	N 00°05'03" E (N 00°20'56" E)
L2	7.00' (7.00')	S 89°54'57" E (N 89°39'04" W)
L3	15.00' (15.00')	N 00°05'03" E (S 00°20'56" W)
L4	7.00' (7.00')	N 89°54'57" W (S 89°39'04" E)
L5	5.65' (4.80')	N 00°05'03" E (S 00°20'56" E)
L6	108.34' (108.33')	N 00°04'55" E (N 00°20'48" E)
L7	46.05' (46.05')	S 89°54'24" W (S 89°49'42" E)
L8	25.00' (25.00')	N 00°04'55" E (S 00°20'48" W)
L9	69.09' (69.09')	N 89°54'25" E (N 89°49'42" W)
L10	189.62'	N 89°53'12" E



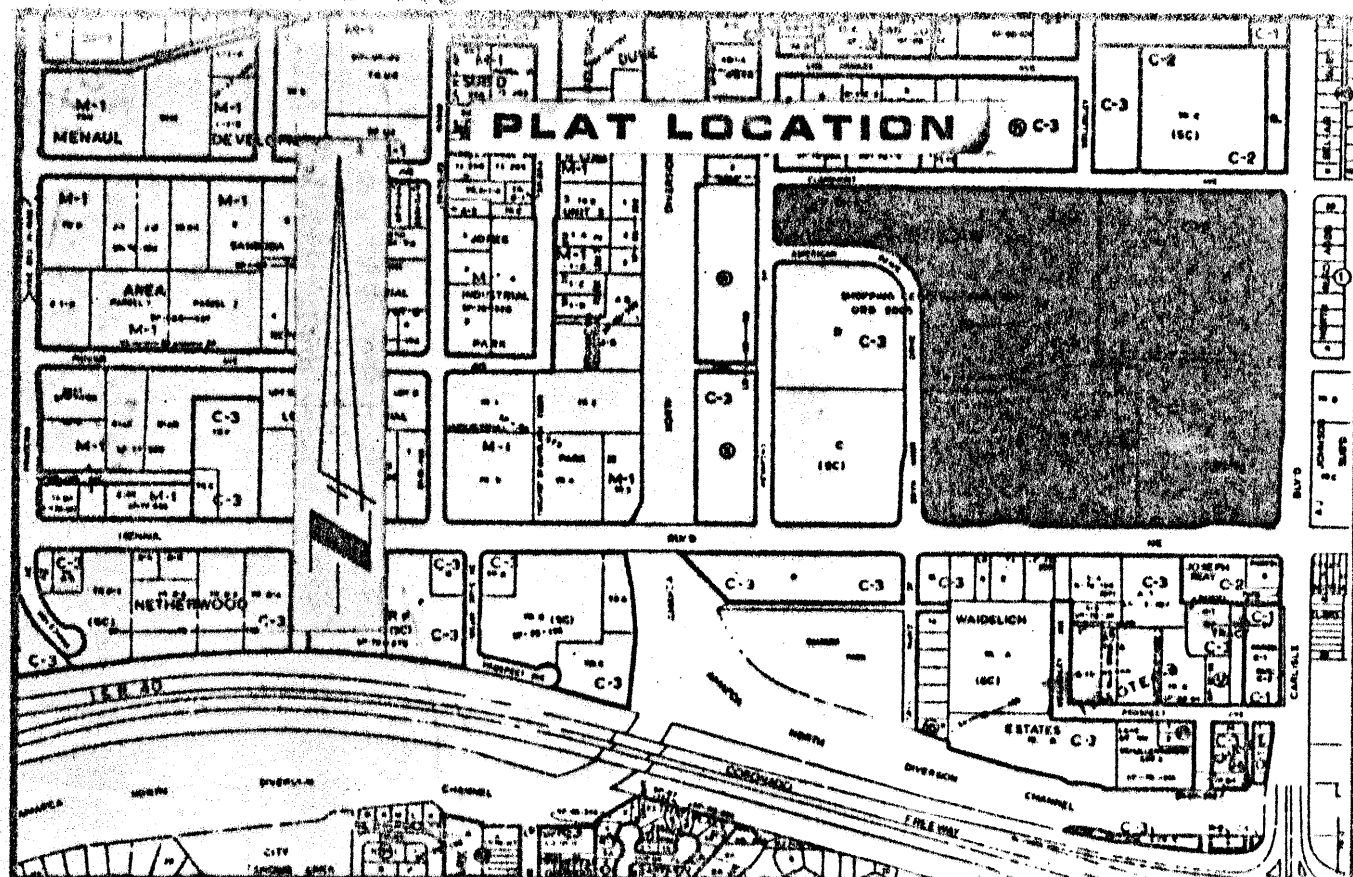
R=25.00' (25.00')
L=39.35' (39.35')
Δ=90°10'38"
TAN=25.08
CH=S 44°47'55" W
35.41'

R=30.00' (30.00')
L=47.03' (47.03')
Δ=89°49'15"
TAN=29.91
CH=S 45°12'05" E
42.36'

R=232.00' (232.00')
L=363.71' (363.71')
Δ=89°49'22"
TAN=231.28
CH=N 45°12'05" W
327.59'



PRECISION SURVEYS, INC.
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



VICINITY MAP
SCALE: 1" = 800'

H-16

SUBDIVISION DATA

1. DRB Case No.: 86-0020, S-86-40
2. Zone Atlas Index No.: H-16
3. Total Number Lots Created: 4
4. Gross Subdivision Acreage: 43.4068

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Unless otherwise indicated all points indicated thus "O" are set 5/8" rebar with cap "EH&A L.S. 8478".
4. Plat shows all easements of record.
5. Right-of-way dedication by this plat, Block A-1-A, 0.0392 acres; Block F-1, 0.0345 acres and 0.0338 acres.

The property is subject to cross parking and access rights as shown on the site development plan for the property as approved by the City of Albuquerque, or as subsequently amended by the City. Maintenance of the parking and access will be agreed to by the parties pursuant to a separate agreement of the parties to be recorded in the Bernalillo County Real Estate Records.

PURPOSE OF PLAT

Replat Blocks A-1, B, E and F of AMERICAN SQUARE into Blocks A-1-A, B-1, E-1 and F-1, AMERICAN SQUARE as shown hereon. Dedicate additional right-of-way, grant power and communication easements and public waterline easements as shown hereon.

LEGAL DESCRIPTION

A tract of land situate within Section 10, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being BLOCK A-1, AMERICAN SQUARE as the same is shown and designated on said map filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 3, 1988 (C37-164) together with BLOCKS B, E and F, AMERICAN SQUARE as the same is shown and designated on said map filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 25, 1988 (C36-33) and being more particularly described as follows:

BEGINNING at a point on the west right-of-way line of Carlisle Boulevard, NE whence ACS Brass Cap "6-H17A" bears S06°22'00"E, 430.69 feet;

THENCE along said right-of-way line S00°20'56"W, 685.24 feet to a point;

THENCE continuing N89°39'04"W, 3.05 feet to a point;

THENCE continuing 44.32 feet along a curve to the right, whose radius is 999.63 feet and whose long chord bears S02°12'44"W, 44.31 feet, through a central angle of 02°32'24" to a point of reverse curvature;

THENCE continuing 55.07 feet along a curve to the left, whose radius is 1007.00 feet, through a central angle of 03°08'00" to a point of tangency;

THENCE continuing S00°20'56"W, 419.71 feet to a point of curvature;

THENCE leaving said right-of-way line 54.75 feet along a curve to the right, whose radius is 35.00 feet, through a central angle of 89°37'21" to a point of tangency, said point being on the north right-of-way line of Menaul Boulevard, NE;

THENCE along said right-of-way line S89°58'17"W, 89.00 feet to a point of curvature;

THENCE continuing 49.79 feet along a curve to the right, whose radius is 143.00 feet, through a central angle of 19°56'54" to a point of reverse curvature;

THENCE continuing 19.85 feet along a curve to the left, whose radius is 57.00 feet, through a central angle of 19°56'54" to a point of tangency;

THENCE continuing S89°58'17"W, 60.00 feet to a point of curvature;

THENCE continuing 21.65 feet along a curve to the left, whose radius is 57.00 feet, through a central angle of 21°45'52" to a point of reverse curvature;

THENCE continuing 50.73 feet along a curve to the right, whose radius is 143.00 feet, through a central angle of 20°19'35" to a point of tangency;

THENCE continuing S88°32'00"W, 150.93 feet to a point;

THENCE continuing S89°58'17"W, 456.57 feet to a point of curvature;

THENCE continuing 49.79 feet along a curve to the right, whose radius is 143.00 feet, through a central angle of 19°56'54" to a point of reverse curvature;

THENCE continuing 19.85 feet along a curve to the left, whose radius is 57.00 feet, through a central angle of 19°56'54" to a point of tangency;

THENCE continuing S89°58'17"W, 60.00 feet to a point of curvature;

THENCE continuing 19.85 feet along a curve to the left, whose radius is 57.00 feet, through a central angle of 19°56'54" to a point of reverse curvature;

THENCE continuing 49.79 feet along a curve to the right, whose radius is 143.00 feet, through a central angle of 19°56'54" to a point of tangency;

THENCE continuing S89°58'17"W, 144.26 feet to a point of curvature;

THENCE continuing 40.58 feet along a curve to the right, whose radius is 143.00 feet, through a central angle of 16°15'37" to a point of reverse curvature;

THENCE continuing 34.47 feet along a curve to the left, whose radius is 157.00 feet, through a central angle of 12°34'50" to a point of reverse curvature;

THENCE leaving said right-of-way line 45.20 feet along a curve to the right, whose radius is 30.00 feet, through a central angle of 86°19'28" to a point of tangency, said point being on the east right-of-way line of Bryn Mavr Drive, NE;

THENCE along said right-of-way line N00°01'28"W, 788.54 feet to a point of curvature;

THENCE leaving said right-of-way line 363.71 feet along a curve to the left, whose radius is 232.00 feet, through a central angle of 89°49'27" to a point of tangency, said point being on the north right-of-way line of American Drive, NE;

THENCE along said right-of-way line N89°50'55"W, 302.81 feet to a point of curvature;

THENCE leaving said right-of-way line 47.03 feet along a curve to the right, whose radius is 30.00 feet, through a central angle of 89°49'27" to a point of tangency, said point being on the east right-of-way line of Richmond Drive, NE;

THENCE along said right-of-way line N00°01'28"W, 163.01 feet to a point of curvature;

THENCE leaving said right-of-way line 39.35 feet along a curve to the right, whose radius is 25.00 feet, through a central angle of 90°10'33" to a point of tangency, said point being on the south right-of-way line of Claremont Avenue, NE;

THENCE along said right-of-way line S89°50'55"E, 1895.85 feet to a point of curvature;

THENCE leaving said right-of-way line 47.23 feet along a curve to the right, whose radius is 30.00 feet, through a central angle of 90°11'51" to the point of beginning and containing 43.4068 acres more or less.

90-1102
PLAT FOR
AMERICAN SQUARE
BLOCKS A-1-A, B-1, E-1 AND F-1
ALBUQUERQUE, NEW MEXICO
MARCH, 1988

UTILITY COUNCIL LOCATION SYSTEM
LOG NO. SP#04-17-1686

APPROVED AND ACCEPTED BY:

Subdivision Case No. SA-90-29

Joel Clark 2/16/90
Planning Director, City of Albuquerque Date

Frank J. Aguirre 2/8/90
City Engineering Division, City of Albuquerque Date

Frank J. Aguirre 2/8/90
Albuquerque Metropolitan Arroyo Flood Control Authority Date

David W. Hoban 5/1/89
Traffic Division, City of Albuquerque Date

W. Whitman 5-16-89
Water Utilities Department, City of Albuquerque Date

John M. Stone 5-16-89
Parks Recreation Department, City of Albuquerque Date

W. Whitman 05/16/89
Chief City Surveyor, City of Albuquerque Date

Rosie Ellwell 5-16-89
Property Management, City of Albuquerque Date

Joe Apodaca 4-14-89
Gas Company of New Mexico Date

D. M. Pedroncelli 4-13-89
US West Telecommunications Date

Wally Berman 4-17-89
Public Service Company of New Mexico Date

SURVEYORS' CERTIFICATION

I, Bernard W. Seitz, Jr., do hereby certify specifically and only to the owners of Block A-1, B, E, and F as shown hereon. A field survey, under my supervision, was made on the ground using the normal standard of care of Professional Land Surveyors practicing in the State of New Mexico on this date. The field survey was made for the purpose of replatting. All notes shown hereon are a part of this certification and this map accurately depicts the results of said survey. I further certify that this plat meets the minimum requirements for monumentation and surveys of the City of Albuquerque.

Bernard W. Seitz, Jr.
Bernard W. Seitz, Jr., NHP
Survey Supervisor
EH&A Job No. : 11726-01
Date : 5-15-89

NEW MEXICO
BERNARD W. SEITZ, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR
No. 4478

NEW MEXICO
OFFICE OF THE
CLERK OF BERNALILLO COUNTY
RECORDED
MAR 19 1988
90C
80144

On this 15th day of May, 1988, the SURVEYOR'S CERTIFICATION was acknowledged before me by Bernard W. Seitz, Jr.

Karen R. Shilman
Notary Public
My Commission Expires 12/2/92

OFFICE OF REAL ESTATE
KAREN R. SHILMAN
NOTARY PUBLIC
STATE OF NEW MEXICO
12/2/92

THIS IS TO CERTIFY THAT TAXES ARE CURRENTLY PAID ON UPON THE PROPERTY OWNED BY THE SURVEYOR.
BERNALILLO COUNTY, NEW MEXICO
Chris Simpson 2-26-90

Job No. 11726
Office
Draft
F.B.
Date 5-89

ESPEY, HUSTON & ASSOC. INC.
Engineers • Planners • Surveyors
317 COMMERCIAL STREET N.E.
ALBUQUERQUE, NEW MEXICO 87102
(505) 242-1909

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent of and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby dedicate additional right-of-way to the City of Albuquerque in fee simple and do hereby grant public waterline easements for installation, service and maintenance of waterlines, valves, pumps, hydrants and/or other related equipment and facilities reasonably necessary to provide fire protection and potable water to the residents of the subdivision shown hereon in accordance with the plans and procedures of the City of Albuquerque. Said owner(s) and/or proprietor(s) do hereby grant electrical power and communication easements reserved for the common and joint use of:

- A. Public Service Company of New Mexico for the installation, maintenance and service of overhead and underground electrical line, transformers and other related equipment and related facilities reasonably necessary to provide electrical service.
- B. US West Communications for the installation, maintenance and service of all telephone lines, switching equipment and other related equipment and facilities reasonably necessary to provide telephone service.

Included in the right of ingress and egress for construction and maintenance, the right to trim interfering trees and shrubs and the right to install and maintain service line.

CO-OWNERS BLOCK E

Emanuel Blaugrund Date
 MONTECLAIRE LTD., Co-owners Block E
 Emanuel Blaugrund, General Partner
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 24TH day of APRIL, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Emanuel Blaugrund, General Partner, MONTECLAIRE LTD., co-owners Block E.
Dennis A. Lorenz
 Notary Public My Commission Expires 1-21-91

Joseph Grevey Date 4-17-1989
 Joseph Grevey Co-owner Block E
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 17TH day of April, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Joseph Grevey, co-owner
Dennis A. Lorenz
 My Commission Expires 7-28-91

Helen Grevey Date 4-21-89
 Helen Grevey, Co-owner Blocks E
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 21ST day of April, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Helen Grevey, co-owner
Dennis A. Lorenz
 My Commission Expires 7-28-91

Marianne Grevey Fischer, Attorney Date 4-21-89
 Marianne Grevey Fischer, Co-owner Block E
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 21ST day of April, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Marianne Grevey Fischer, Co-owner Block E
Dennis A. Lorenz
 My Commission Expires 7-28-91

Simone Grevey Date 4-17-89
 Simone Grevey, Co-owner Block E
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 17TH day of APRIL, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Simone Grevey, co-owner Block E.
Dennis A. Lorenz
 Notary Public My Commission Expires 1-21-91

Jack Grevey Date 4-18-89
 Jack Grevey, Co-owner Block E
 Trustee under a restatement of trust agreement
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 18TH day of APRIL, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Jack Grevey, Co-owner and Trustee Block E.
Dennis A. Lorenz
 Notary Public My Commission Expires 1-21-91

Joanne Grevey Date 4-21-89
 Joanne Grevey, Co-owner Block E
 Trustee under a restatement of trust agreement
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 21ST day of APRIL, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Joanne Grevey, Co-owner Trustee, Block E.
Dennis A. Lorenz
 Notary Public My Commission Expires 1-21-91

OWNERS BLOCK B
 MENUAL PROPERTIES, LTD.
 A New Mexico General Partnership
 Owners Block B
Emanuel Blaugrund, General Partner Date
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 24TH day of APRIL, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Emanuel Blaugrund, General Partner, Manual Properties, Ltd., a New Mexico General Partnership, owner Block B.
Dennis A. Lorenz
 Notary Public My Commission Expires 1-21-91

Joseph Grevey Date 4-17-1989
 Joseph Grevey, General Partner
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 17TH day of April, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Joseph Grevey, General Partner, Manual Properties, Ltd., a New Mexico General Partnership, owner Block B.
Dennis A. Lorenz
 My Commission Expires 7-28-91

PLAT FOR 90-1102
AMERICAN SQUARE
 BLOCKS A-1-A, B-1, E-1 AND F-1
 ALBUQUERQUE, NEW MEXICO
 MARCH, 1989

OWNERS BLOCK A-1
 THE BLAUGRUND CHILDREN'S TRUST
 Sunvest Bank of Albuquerque, Trustee
Jeff Kelly Date
 Jeff Kelly, Trust Officer
 Owners Block A-1
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 21ST day of April, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Jeff Kelly, Trust Officer, The Blaugrund Children's Trust, owner block A-1.
Dennis A. Lorenz
 Notary Public My Commission Expires 1-21-91

OWNERS BLOCK F
 THE TANGER COMPANY
 A New Mexico General Partnership
Lee Stuart Blaugrund Date
 Lee Stuart Blaugrund, General Partner
 Owners Block F
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 On this 24TH day of APRIL, 1989, the FREE CONSENT AND DEDICATION was acknowledged before me by Lee Stuart Blaugrund, General Partner, The Tanager Company, owner Block F.
Dennis A. Lorenz
 Notary Public My Commission Expires 1-21-91

NEW MEXICO
 BERNALILLO
 MAR 19 1989
 900
 80284

Job No.	ESPEY, HUSTON & ASSOC. INC. Engineers • Planners • Surveyors 517 COMMERCIAL STREET N.E. ALBUQUERQUE, NEW MEXICO 87102 (505) 242-1909
Office	
Draft	
F.B.	
Date	

90C-8063

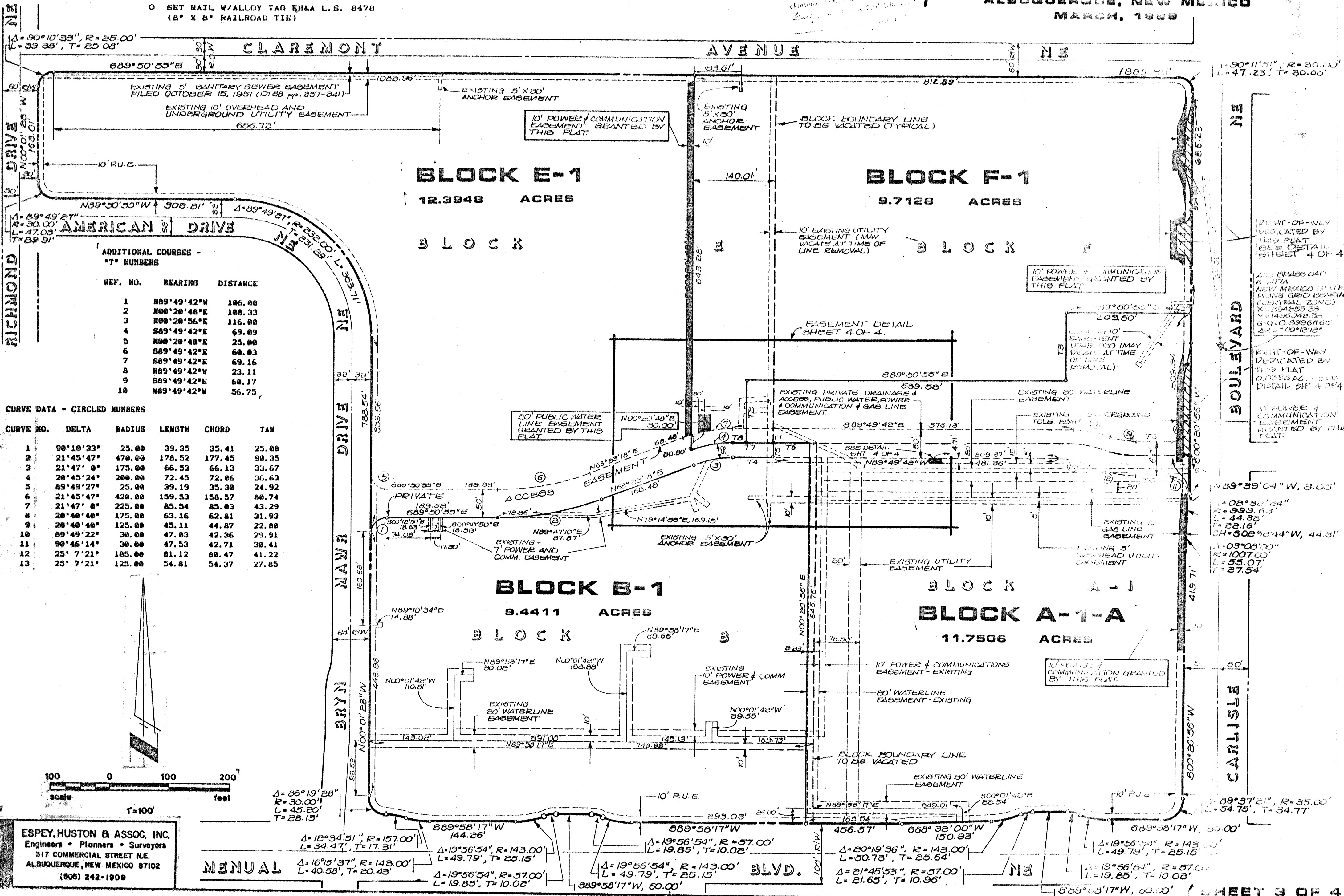
90C-806

LEGEND

- SET 5/8" REBAR W/CAP EH&A L.S. 8478
- △ SET "X" ON TOP RETAINING CURB/SIDEWALK
- SET PK & SHINER W/ALLOY TAG EH&A L.S. 8478
- ▲ FND PK & SHINER W/ALLOY TAG EH&A L.S. 8478
- SET NAIL W/ALLOY TAG EH&A L.S. 8478 (8" X 8" RAILROAD TIE)

State of New Mexico 1955
 County of Bernalillo
 This instrument was filed for record on
 19 MAR 19 1955
 At 1:00 PM
 of record in the County of Bernalillo
 90C 344

PLAT FOR
AMERICAN SQUARE
 BLOCKS A-1-A, B-1, E-1 AND F-1
 ALBUQUERQUE, NEW MEXICO
 MARCH, 1955

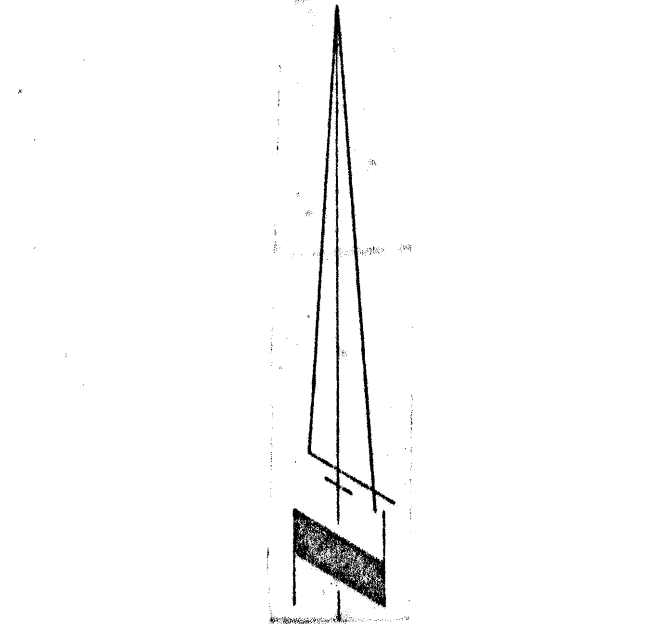


ADDITIONAL COURSES - *T* NUMBERS

REF. NO.	BEARING	DISTANCE
1	N89°49'42"W	106.00
2	N00°20'48"E	108.33
3	N00°28'56"E	116.00
4	S89°49'42"E	69.09
5	N00°20'48"E	25.00
6	S89°49'42"E	60.03
7	S89°49'42"E	69.16
8	N89°49'42"W	23.11
9	S89°49'42"E	60.17
10	N89°49'42"W	56.75

CURVE DATA - CIRCLED NUMBERS

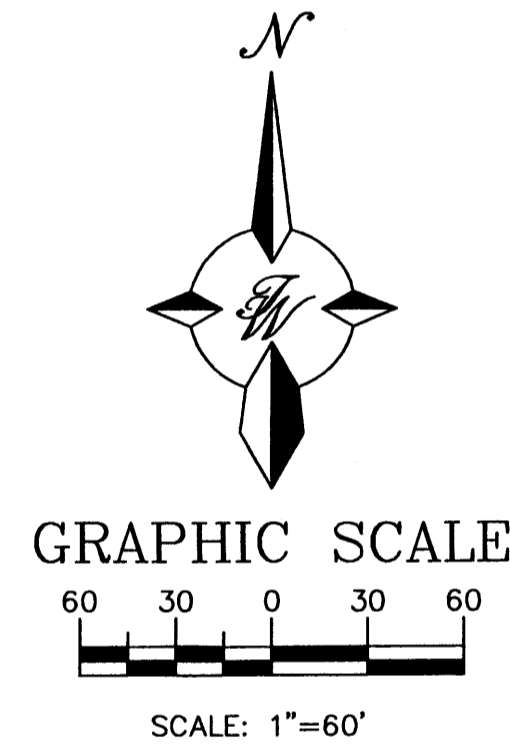
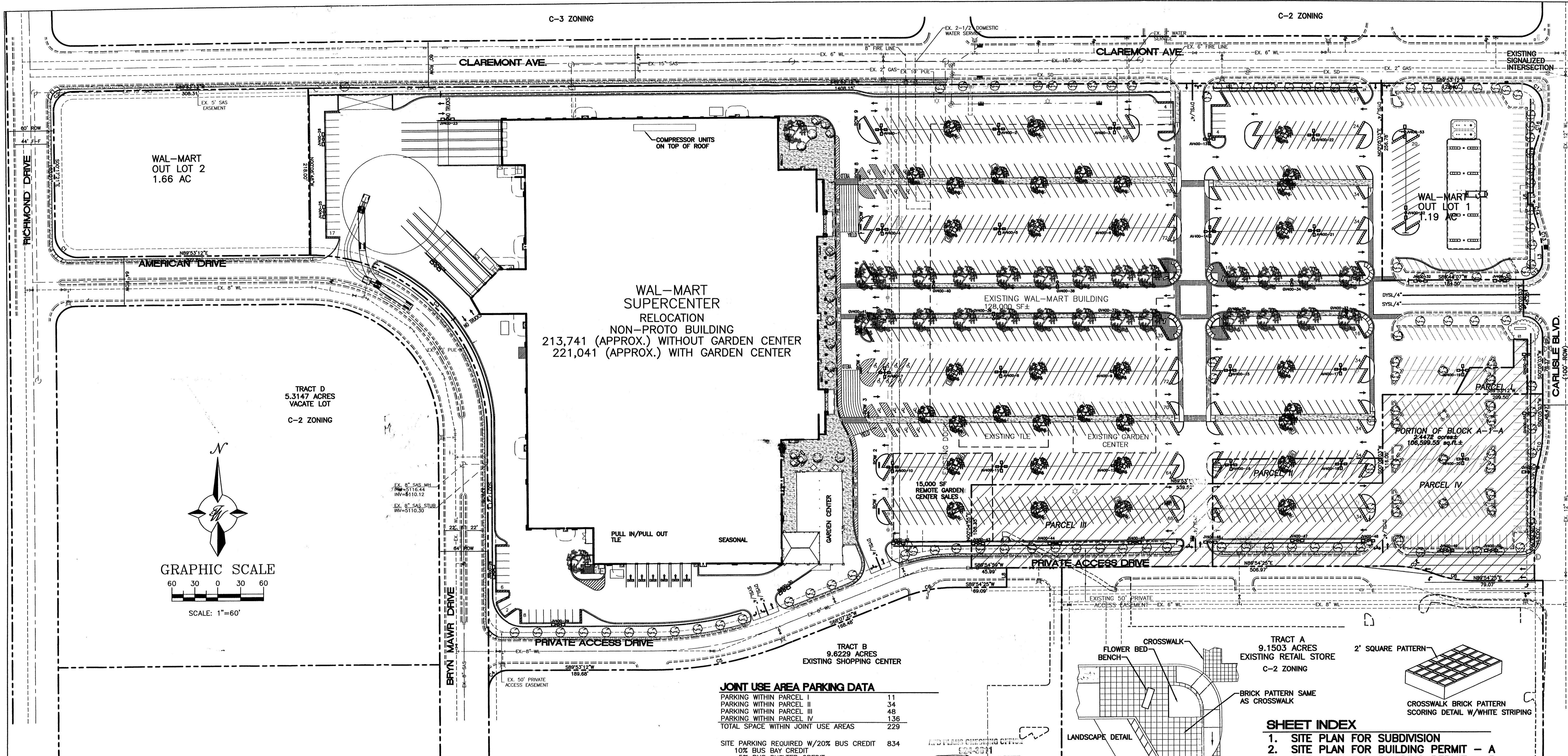
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	TAN
1	90°10'33"	25.00	39.35	35.41	25.00
2	21°45'47"	470.00	178.52	177.45	90.35
3	21°47'0"	175.00	66.53	66.13	33.67
4	20°45'24"	200.00	72.45	72.06	36.63
5	89°49'27"	25.00	39.19	35.30	24.92
6	21°45'47"	420.00	159.53	158.57	80.74
7	21°47'0"	225.00	85.54	85.03	43.29
8	20°40'40"	175.00	63.16	62.81	31.93
9	20°40'40"	125.00	45.11	44.87	22.80
10	89°49'22"	30.00	47.03	42.36	29.91
11	90°46'14"	30.00	47.53	42.71	30.41
12	25°7'21"	185.00	81.12	80.47	41.22
13	25°7'21"	125.00	54.81	54.37	27.85



ESPEY, HUSTON & ASSOC. INC.
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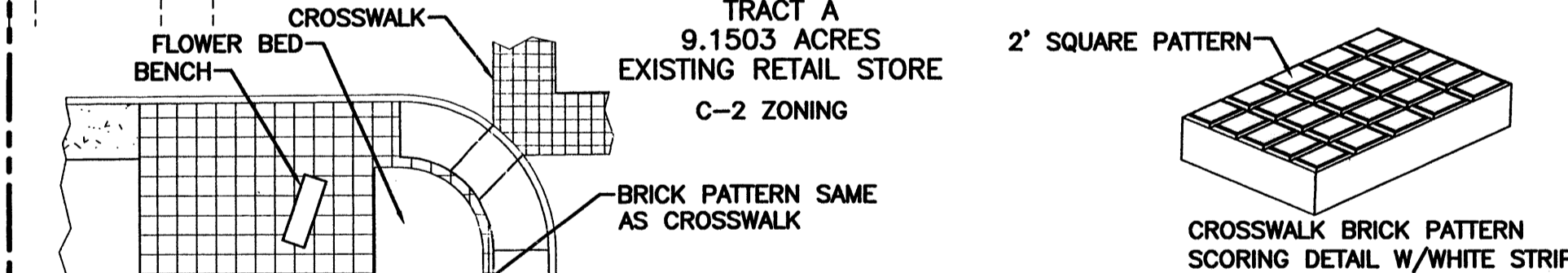
MENUAL

BLVD.



JOINT USE AREA PARKING DATA

PARKING WITHIN PARCEL I	11
PARKING WITHIN PARCEL II	34
PARKING WITHIN PARCEL III	48
PARKING WITHIN PARCEL IV	136
TOTAL SPACE WITHIN JOINT USE AREAS	229
SITE PARKING REQUIRED W/20% BUS CREDIT 834	
10% BUS BAY CREDIT	
5% BUS SHELTER CREDIT	
5% BUS CREDIT, OVER 5 AC SITE	
SITE PARKING PROVIDED	1063
SITE PARKING PROVIDED MINUS JOINT USE	831



SHEET INDEX

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT - A
3. SITE PLAN FOR BUILDING PERMIT - B
4. LANDSCAPE PLAN
5. ELEVATIONS
- 5A. ELEVATIONS
6. GRADING AND DRAINAGE PLAN - A
- 6A. GRADING AND DRAINAGE PLAN - B
7. MASTER UTILITY PLAN - A
- 7A. MASTER UTILITY PLAN - B
8. DETAILS
9. DETAILS
10. DETAILS
11. DETAILS
12. DETAILS

5/27/06

APPROVED FOR THE CITY OF ALBUQUERQUE
 MICHAEL HOLTEN
 4/24/03
 SIGNATURE & DATE

SITE DATA

PROPOSED USAGE:	PROPOSED EXPANSION
EXISTING ZONING:	C-2
LOT AREA:	
WAL-MART TRACT	20.5988 AC
OUT LOT 1	1.1916 AC
OUT LOT 2	1.6593 AC
TOTAL:	23.4497± AC.
BUILDING AREA:	
WITH GARDEN CENTER	221,041 SF
WITHOUT GARDEN CENTER	213,741 SF
LANDSCAPING:	
PROVIDED:	93,989 SF
REQUIRED:	86,340 SF
PARKING PROVIDED:	
PARKING REQUIRED: RETAIL AREA	1059 SPACES
PARKING REQUIRED: GARDEN CENTER (7,300 SF)	1042 SPACES
PARKING REQUIRED: STORAGE AREA (5,300 SF)	18 SPACES
PARKING REQUIRED: STORAGE AREA (5,300 SF)	3 SPACES
TOTAL PARKING REQUIRED W/20% BUS CREDIT:	834 SPACES
PARKING RATIO: WITHOUT GARDEN CENTER	4.95
HC PARKING PROVIDED:	
HC PARKING REQUIRED:	23 SPACES (4 VAN)
	20 SPACES
	4 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	
BIKE SPACES REQUIRED: -	30 SPACES
	27 SPACES

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- [CC] PROPOSED CART CORRALS
- [] ASSOCIATE PARKING AREA
- [] BIKE RACK
- [] BIKE LOCKER
- [] PROPOSED LIGHT POLE
- [] PARCELS WITHIN JOINT USE AREAS

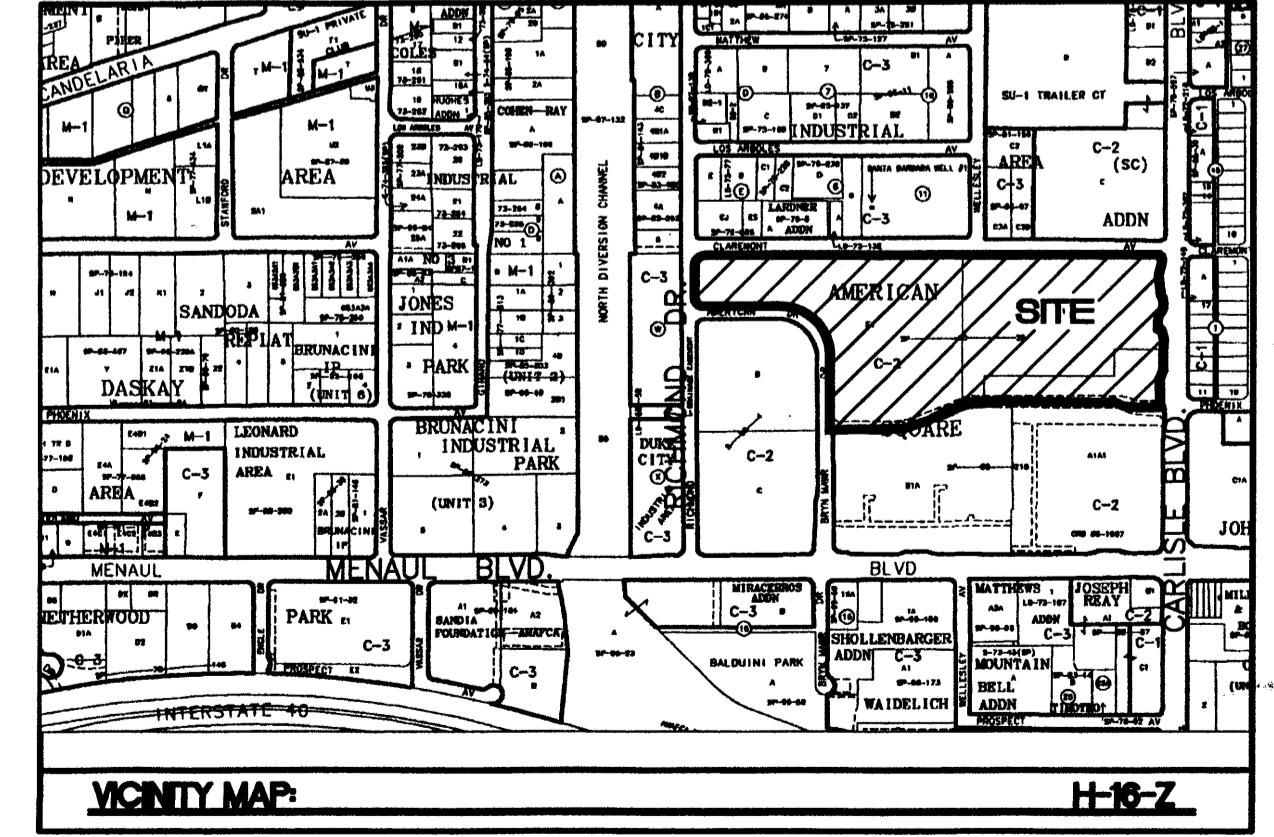
PROJECT NUMBER:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

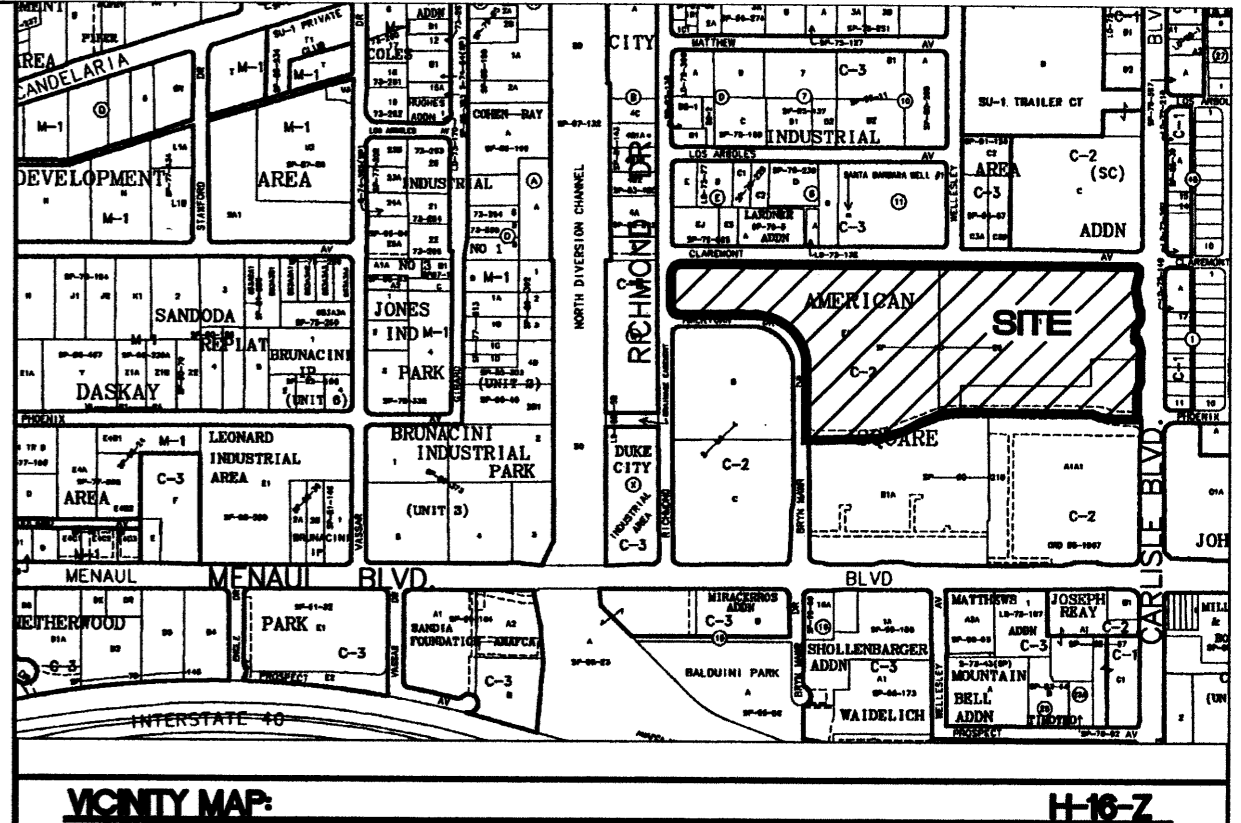
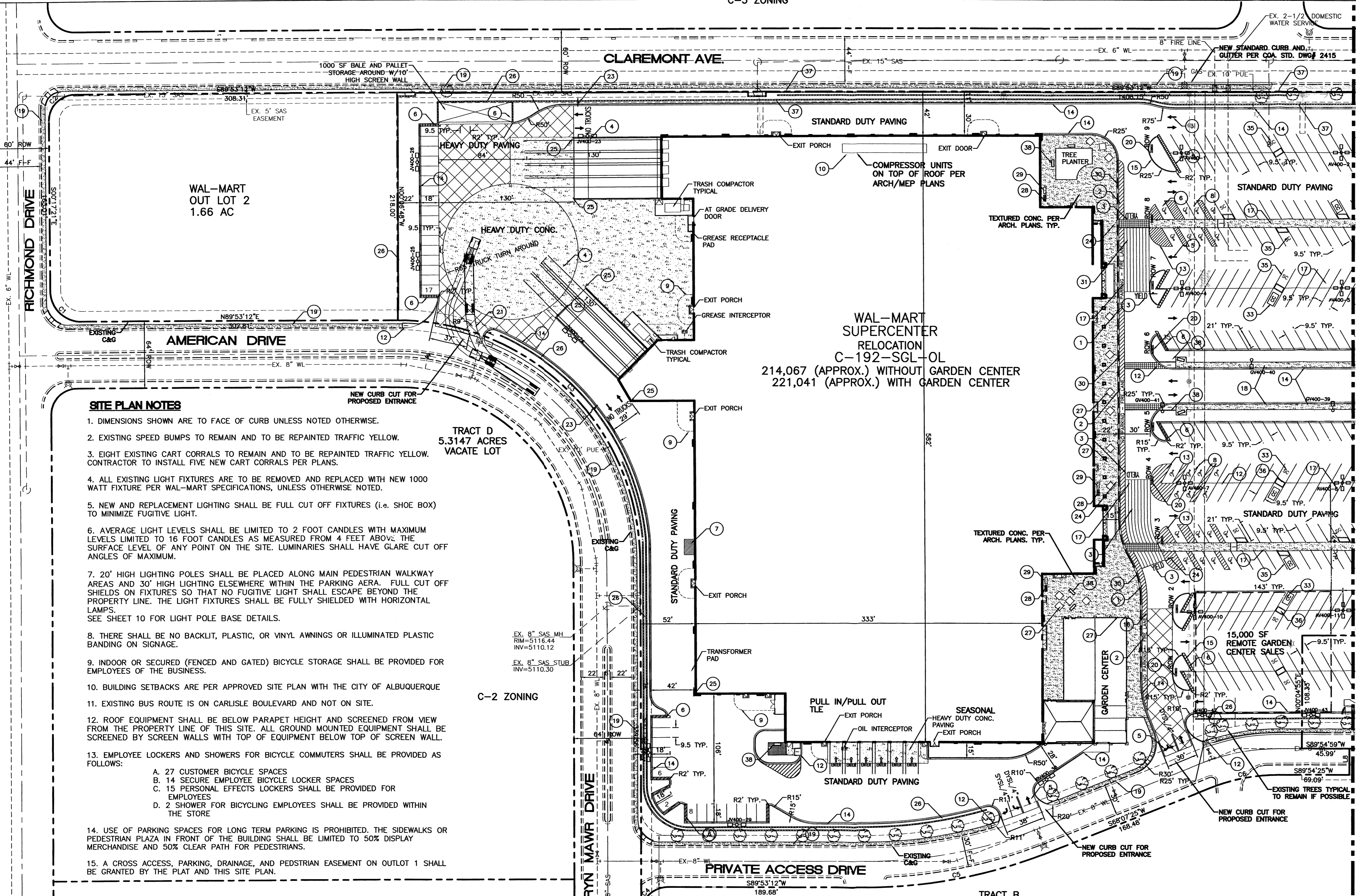
Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA Michael Holtten Solid Waste will comply w/ EPA specs	Date 4.24.03
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date

PLNz (10706) 4/96



LEGAL DESCRIPTION:
 BLOCK E1 AND F1, AMERICAN SQUARE.

	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY BDG
	SITE PLAN FOR SUBDIVISION	DATE 04/09/03
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2175SPS1.DWG SHEET # 1 JOB # 21075



VICINITY MAP H-16-Z

LEGAL DESCRIPTION
BLOCK E1 AND F1, AMERICAN SQUARE.

- SITE LEGEND**
- 1 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 9 OF 12)
 - 2 "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80" O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 9 OF 12)
 - 3 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 8 OF 12)
 - 4 PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
 - 5 PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 8 OF 12)
 - 6 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
 - 7 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
 - 8 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE). (SHT 8 OF 12)
 - 9 RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
 - 10 ROOF MOUNTED 16"x19" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
 - 11 SCREEN WALL PER ARCH. PLANS
 - 12 UNIDIRECTIONAL HC RAMP. (SHT 9 OF 12)
 - 13 PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
 - 14 6" CONCRETE CURB AND GUTTER TYPICAL.
 - 15 6" CONCRETE HEADER CURB TYPICAL. (SHT 8 OF 12)
 - 16 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8)
 - 17 8" WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 8 OF 12)
 - 18 6" CONCRETE SIDEWALK TYPICAL.
 - 19 4" CONCRETE SIDEWALK TYPICAL.
 - 20 AISLE INDICATOR SIGNS TYPICAL (SHT 8 OF 12)
 - 21 "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
 - 22 "STOP" SIGN. SEE PLAN FOR LOCATION.
 - 23 "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
 - 24 PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
 - 25 6" DIA. PIPE BOLLARD TYPICAL. (SHT 10 OF 12)
 - 26 3' HIGH SCREEN WALL (SHT 8 OF 12)
 - 27 6"x6" TREE PLANTER TYPICAL (SHT 9 OF 12)
 - 28 (3) 5 SPACE BIKE RACK TYPICAL (SHT 8 OF 10)
 - 29 BIKE LOCKERS (3 UNITS, 15 TOTAL LOCKERS SPACES). (SHT 8 OF 12)
 - 30 ZERO CURB PER ARCH. SECTIONS
 - 31 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
 - 32 PROPOSED LIGHTING.
 - 33 CART CORRALS TYPICAL. (SHT 9 OF 12)
 - 34 PROPOSED HC RAMP. (SHT 9 OF 12)
 - 35 SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
 - 36 TREE PLANTER TYPICAL. (SHT 9 OF 12)
 - 37 RETAINING WALL TYPICAL. (SHT 6 OF 10)
 - 38 WROUGHT IRON PARK BENCHES. TYPICAL.

SITE PLAN NOTES

1. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
2. EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
3. EIGHT EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLANS.
4. ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
5. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
6. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
7. 20' HIGH LIGHTING POLES SHALL BE PLACED ALONG MAIN PEDESTRIAN WALKWAY AREAS AND 30' HIGH LIGHTING ELSEWHERE WITHIN THE PARKING AREA. FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE SHEET 10 FOR LIGHT POLE BASE DETAILS.
8. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
9. INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
10. BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
11. EXISTING BUS ROUTE IS ON CARLISLE BOULEVARD AND NOT ON SITE.
12. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
13. EMPLOYEE LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
 - A. 27 CUSTOMER BICYCLE SPACES
 - B. 14 SECURE EMPLOYEE BICYCLE LOCKER SPACES
 - C. 15 PERSONAL EFFECTS LOCKERS SHALL BE PROVIDED FOR EMPLOYEES
 - D. 2 SHOWER FOR BICYCLING EMPLOYEES SHALL BE PROVIDED WITHIN THE STORE
14. USE OF PARKING SPACES FOR LONG TERM PARKING IS PROHIBITED. THE SIDEWALKS OR PEDESTRIAN PLAZA IN FRONT OF THE BUILDING SHALL BE LIMITED TO 50% DISPLAY MERCHANDISE AND 50% CLEAR PATH FOR PEDESTRIANS.
15. A CROSS ACCESS, PARKING, DRAINAGE, AND PEDSTRIAN EASEMENT ON OUTLOT 1 SHALL BE GRANTED BY THE PLAT AND THIS SITE PLAN.

SITE DATA

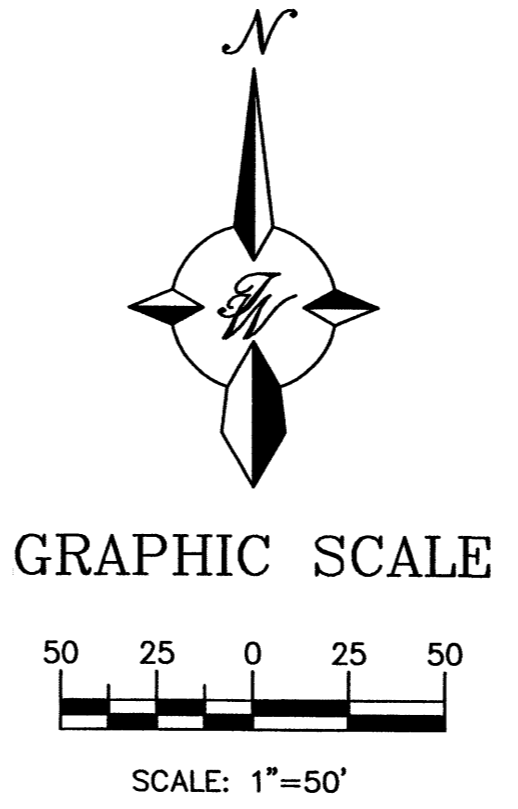
PROPOSED USAGE:	PROPOSED EXPANSION
EXISTING ZONING:	C-2
LOT AREA:	
WAL-MART TRACT	19.2558 AC
PORTION OF BLOCK A-1-A	2.4472 AC
OUT LOT 1	1.1916 AC
OUT LOT 2	1.6593 AC
TOTAL:	23.5539± AC.
BUILDING AREA:	
WITH GARDEN CENTER	221,041 SF
WITHOUT GARDEN CENTER	214,067 SF
LANDSCAPING:	
PROVIDED:	93,989 SF
REQUIRED:	86,340 SF
PARKING PROVIDED (OVERALL CENTER)	
PARKING PROVIDED (WAL-MART TRACT ONLY)	1059 SPACES
PARKING PROVIDED: RETAIL AREA	827 SPACES
PARKING REQUIRED: RETAIL AREA	1070 SPACES
PARKING REQUIRED: GARDEN CENTER (7,300 SF)	17 SPACES
PARKING REQUIRED: STORAGE AREA (5,300 SF)	3 SPACES
TOTAL PARKING REQUIRED W/20% BUS CREDIT:	834 SPACES
PARKING RATIO: WITHOUT GARDEN CENTER	4.95
HC PARKING PROVIDED:	
HC PARKING PROVIDED:	23 SPACES (4 VAN)
HC PARKING REQUIRED:	20 SPACES
	4 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	
BIKE SPACES PROVIDED:	30 SPACES
BIKE SPACES REQUIRED:	27 SPACES

PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- HEAVY DUTY PAVING
- HEAVY DUTY CONCRETE
- BIKE RACK
- BIKE LOCKER



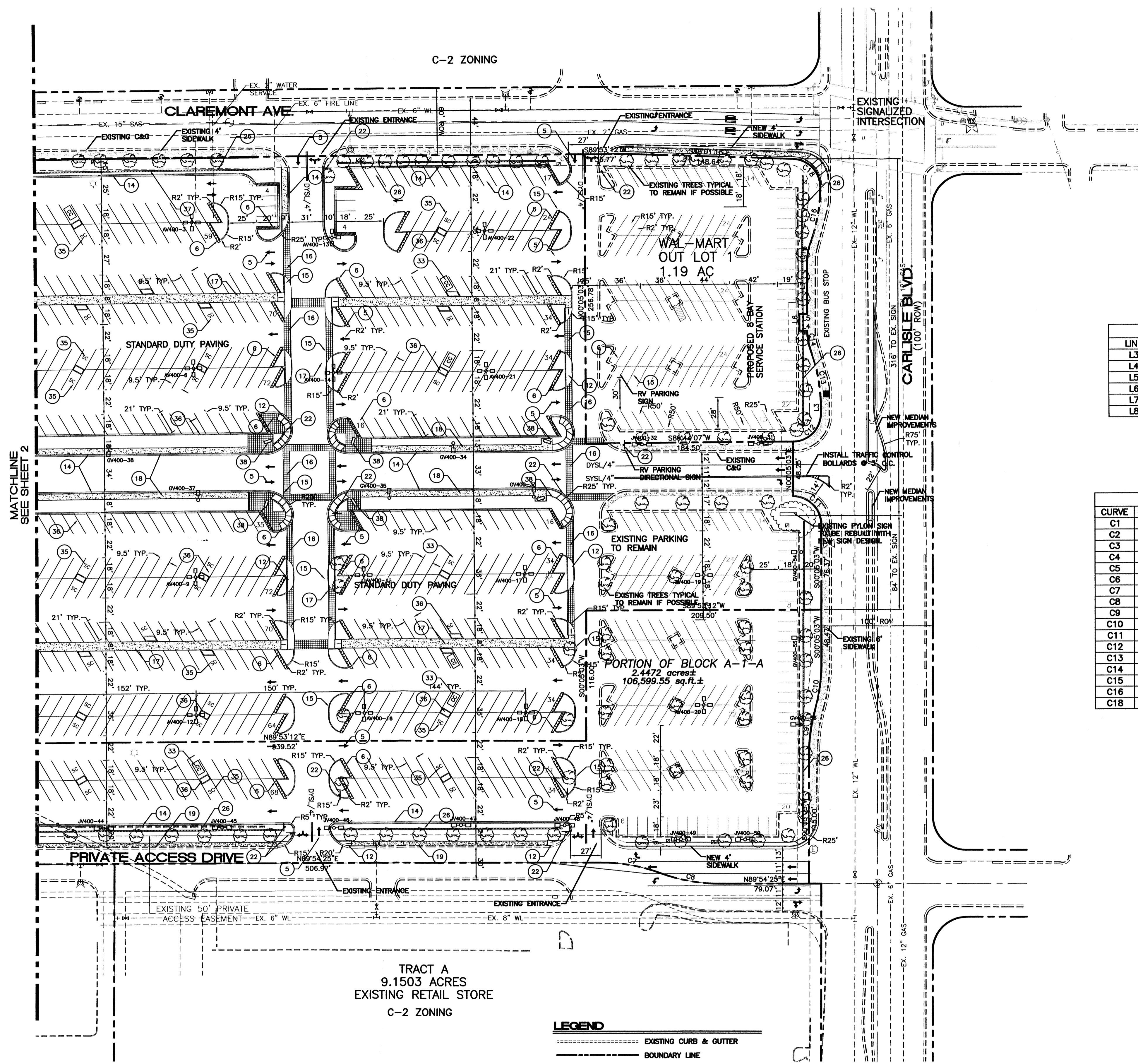
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

DRB SITE DEVELOPMENT PLAN APPROVAL:

Name	Date
Traffic Engineer, Transportation Division	
Utilities Development	
Parks & Recreation Department	
City Engineer	
Environmental Health Department (conditional)	
Solid Waste Management	
DRB Chairperson, Planning Department	

ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY BDG
	SITE PLAN FOR BUILDING PERMIT - A	DATE 05/23/03
		2175SP1.DWG
		SHEET # 2
		JOB # 21075

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100



C-2 ZONING

CLAREMONT AVE

EXISTING SIGNALIZED INTERSECTION

CARLISLE BLVD (100' ROW)

WAL-MART OUT LOT 1
1.19 AC

PORTION OF BLOCK A-1-A
2.4472 acres ±
106,599.55 sq. ft. ±

TRACT A
9.1503 ACRES
EXISTING RETAIL STORE
C-2 ZONING

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- ▨ PROPOSED PEDESTRIAN CROSSWALK
- ▨ PROPOSED CART CORRALS
- ▨ ASSOCIATE PARKING AREA
- ▨ BIKE RACK
- ▨ BIKE LOCKER

PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

LINE TABLE

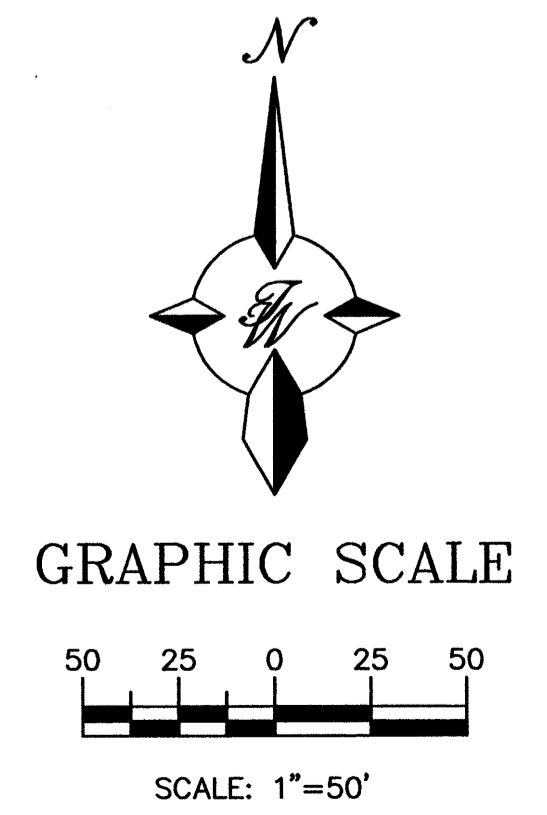
LINE	LENGTH	BEARING
L3	4.80	S00°05'03"W
L4	7.00	N89°54'59"W
L5	7.00	N89°54'59"W
L6	15.01	N00°05'01"E
L7	45.00	S00°05'03"W
L8	25.00	S00°04'55"W

CURVE TABLE

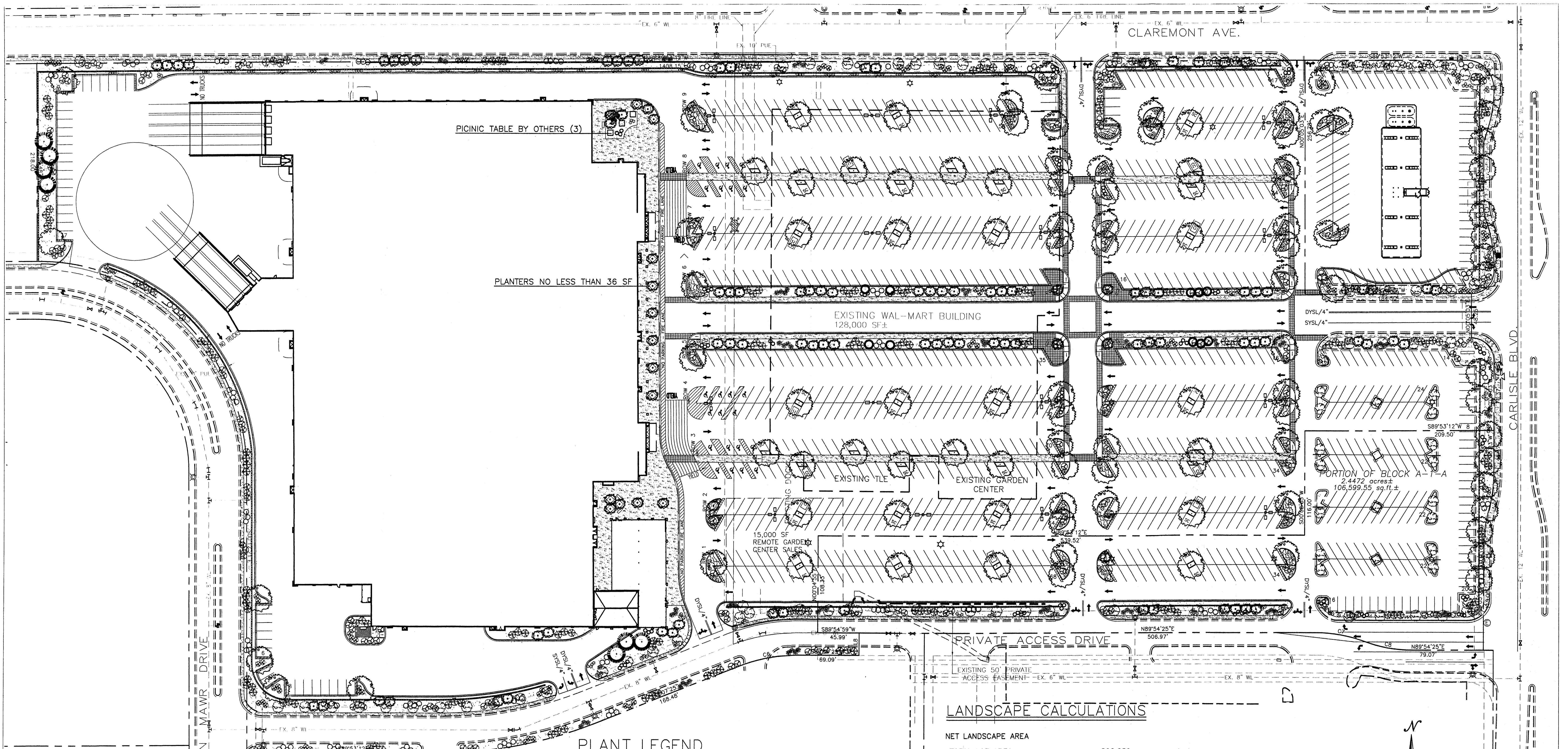
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	47.03	30.00	42.36	S45°11'58"E
C2	39.35	25.00	35.41	S44°47'42"W
C3	363.71	232.00	327.59	N45°12'05"W
C4	39.35	25.00	35.41	S44°47'56"W
C5	178.52	470.00	177.45	N79°00'18"E
C6	66.53	175.00	66.13	S79°00'57"W
C7	54.13	150.00	53.84	N79°45'18"E
C8	54.13	150.00	53.84	S79°45'18"E
C9	40.75	150.00	40.62	S07°52'01"W
C10	40.75	150.00	40.62	N07°52'01"E
C11	39.27	25.00	35.36	N44°54'56"W
C12	39.27	25.00	35.36	N45°05'03"E
C13	52.22	150.00	51.96	N09°53'20"W
C14	17.41	50.00	17.32	S09°53'13"E
C15	17.41	50.00	17.32	S10°03'20"W
C16	51.75	150.00	51.50	N10°08'49"E
C18	38.52	25.00	34.82	N43°52'44"W

SITE LEGEND

- 1 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL. CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 9 OF 12)
- 2 "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 9 OF 12)
- 3 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 8 OF 12)
- 4 PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- 5 PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 8 OF 12)
- 6 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 7 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS
- 8 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SHT 8 OF 12)
- 9 RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- 10 ROOF MOUNTED 16"x119" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- 11 SCREEN WALL PER ARCH. PLANS
- 12 UNIDIRECTIONAL HC RAMP. (SHT 9 OF 12)
- 13 PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 14 6" CONCRETE CURB AND GUTTER TYPICAL.
- 15 6" CONCRETE HEADER CURB TYPICAL. (SHT 8 OF 12)
- 16 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 8)
- 17 8" WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 8 OF 12)
- 18 6" CONCRETE SIDEWALK TYPICAL.
- 19 4" CONCRETE SIDEWALK TYPICAL.
- 20 AISLE INDICATOR SIGNS TYPICAL. (SHT 8 OF 12)
- 21 "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- 22 "STOP" SIGN. SEE PLAN FOR LOCATION.
- 23 "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
- 24 PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 25 6" DIA. PIPE BOLLARD TYPICAL. (SHT 10 OF 12)
- 26 3' HIGH SCREEN WALL. (SHT 8 OF 12)
- 27 6"x6" TREE PLANTER TYPICAL. (SHT 9 OF 12)
- 28 (3) 5 SPACE BIKE RACK TYPICAL. (SHT 8 OF 10)
- 29 BIKE LOCKERS (3 UNITS, 15 TOTAL LOCKERS SPACES). (SHT 8 OF 12)
- 30 ZERO CURB PER ARCH. SECTIONS
- 31 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- 32 PROPOSED LIGHTING.
- 33 CART CORRALS TYPICAL. (SHT 9 OF 12)
- 34 PROPOSED HC RAMP. (SHT 9 OF 12)
- 35 SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- 36 TREE PLANTER TYPICAL. (SHT 9 OF 12)
- 37 RETAINING WALL TYPICAL. (SHT 6 OF 10)
- 38 WROUGHT IRON PARK BENCHES. TYPICAL.



	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY: BDC DATE: 05/20/03 2175SP1.DWG
	SITE PLAN FOR BUILDING PERMIT - B	SHEET # 3 JOB # 21075
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

75% of landscape bed provided equals 77,264sf
Total spread of plants provided equals 78,872sf

Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

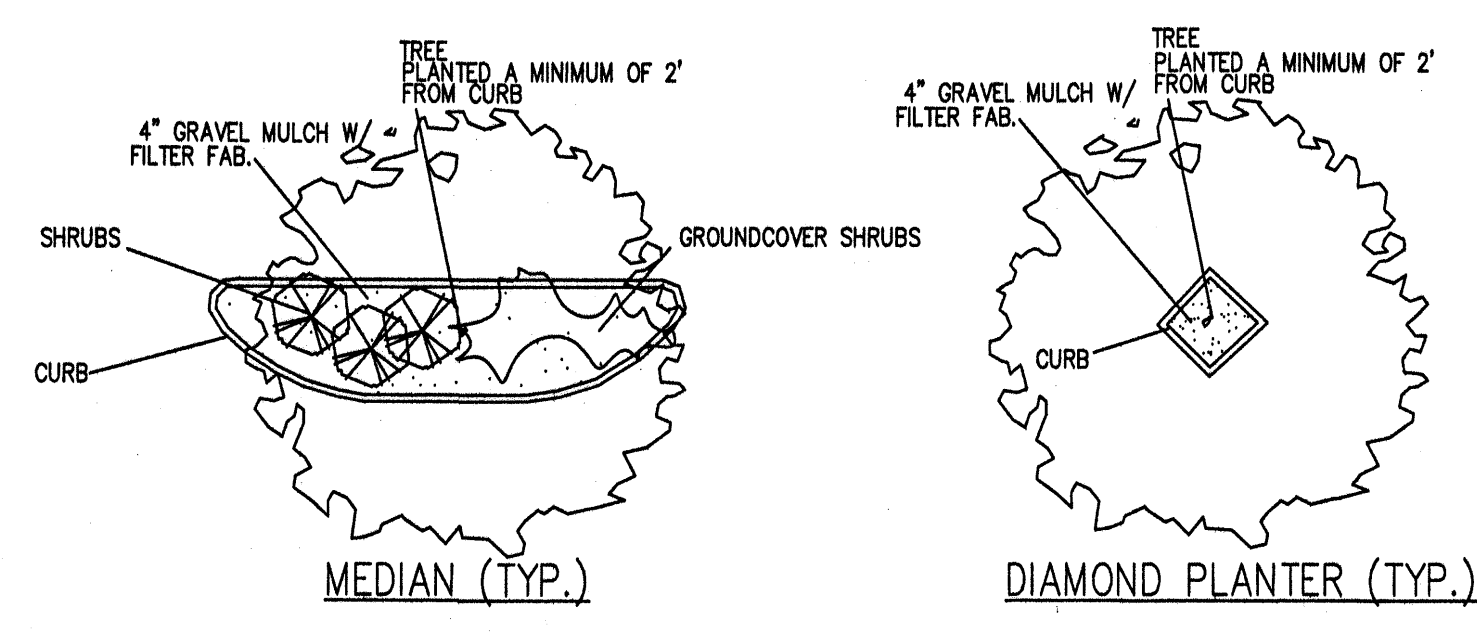
Irrigation maintenance shall be the responsibility of the Property Owner.

- ▲ Revision per Tierra West DLB 2/13/03
- ▲ Revision per Tierra West DLB 1/30/03
- ▲ Revision per Tierra West DLB 11/14/02
- ▲ Revision per Tierra West CMD 10/1/02
- ▲ Revision per Tierra West DLB 9-24-02

- PLANT LEGEND**
- | | |
|--|--|
| ASH (H) 27
Fraxinus pennsylvanica | AUSTRIAN PINE (H) 4
Pinus nigra |
| HONEY LOCUST (H) 27
Gleditsia triacanthos | AFGAN PINE (H) 3
Pinus nigra
8' Min. |
| CHINESE PISTACHE (M) 27
Pistachia chinensis | PINON PINE (M) 10
Pinus edulis
8' Min. |
| GOLDEN RAIN TREE (M) 27
Koeleruteria paniculata
2" Cal. | ROSEMARY (M) 89
Rosmarinus officinalis
2 Gal. 36sf |
| PURPLE-LEAF PLUM (M) 113
Prunus spp.
2" Cal. | POTENTILLA (M) 139
Potentilla fruticosa
2 Gal. 9sf |
| SILVERBERRY (M) 171
Elaeagnus pungens
5 Gal. 100sf | HONEYSUCKLE (M) 170
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover |
| THREE-LEAF SUMAC (L) 132
Rhus trilobata
5 Gal. 36sf | WILDFLOWER 335
1 Gal. 4sf |
| NANDINA (M) 74
Nandina domestica
5 Gal. 25sf | 3/4" GRAY GRAVEL WITH FILTER FABRIC |
| INDIAN HAWTHORN (M) 105
Raphiolepis indica
5 Gal. 25sf | OVERSIZED GRAVEL & 3 BOULDERS |
| TAM JUNIPER (M) 51
Juniperus sabina
5 Gal. 250sf
(symbol represents 3 plants) | |

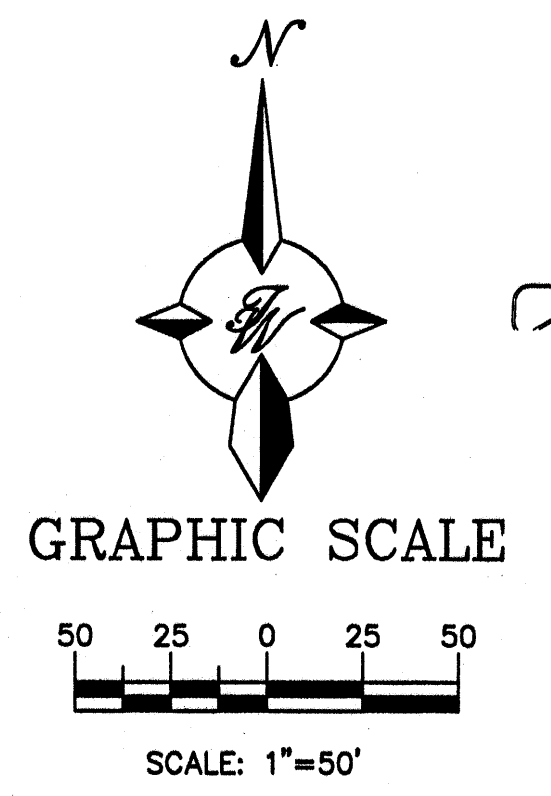
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	890,689 square feet
TOTAL BUILDINGS AREA	221,041 square feet
NET LOT AREA	669,648 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	102,531 square feet
TOTAL LANDSCAPE PROVIDED	103,019 square feet
TOTAL BED PROVIDED	103,019 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

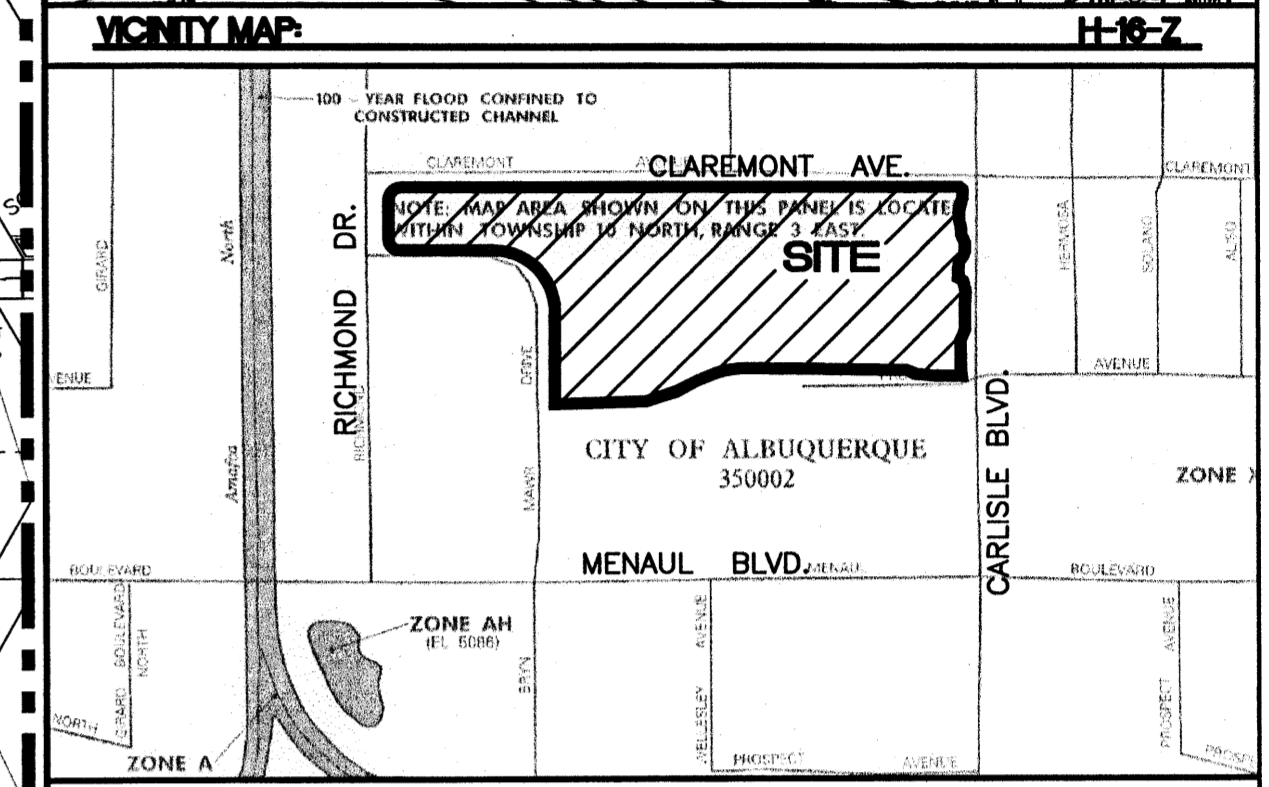
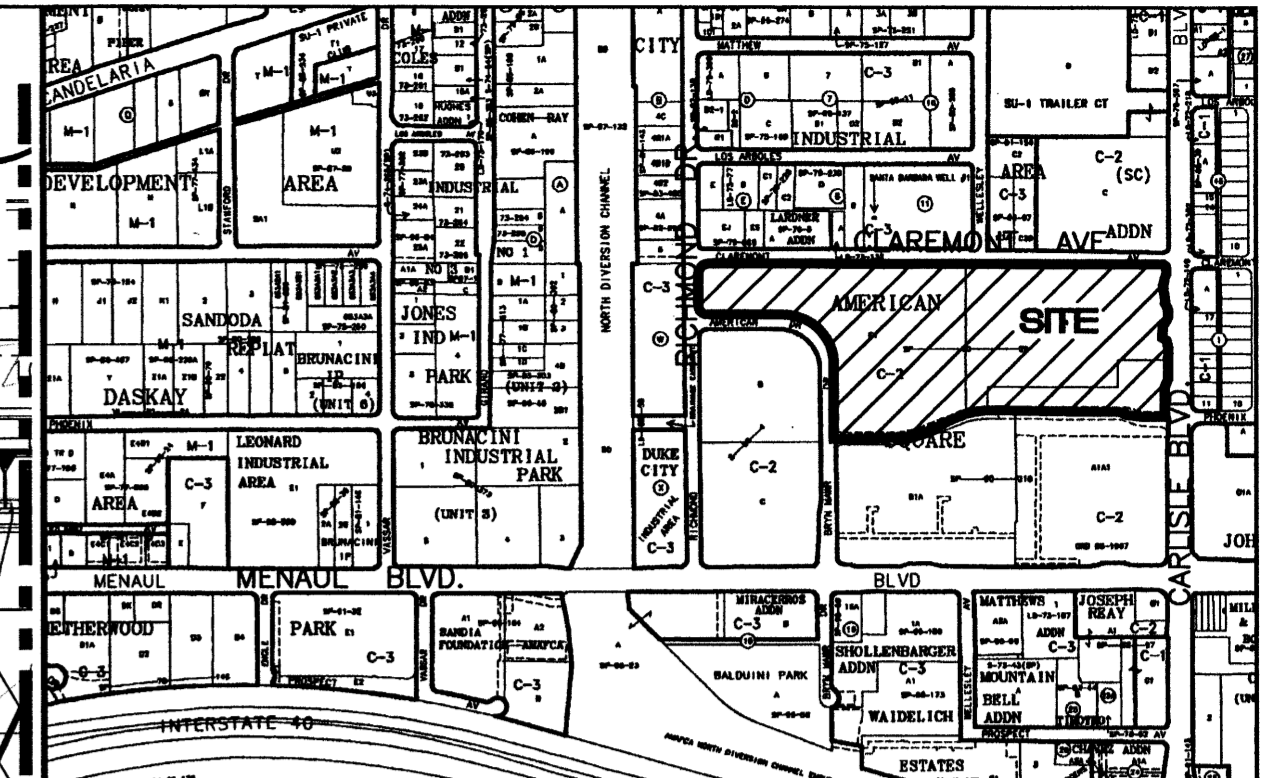
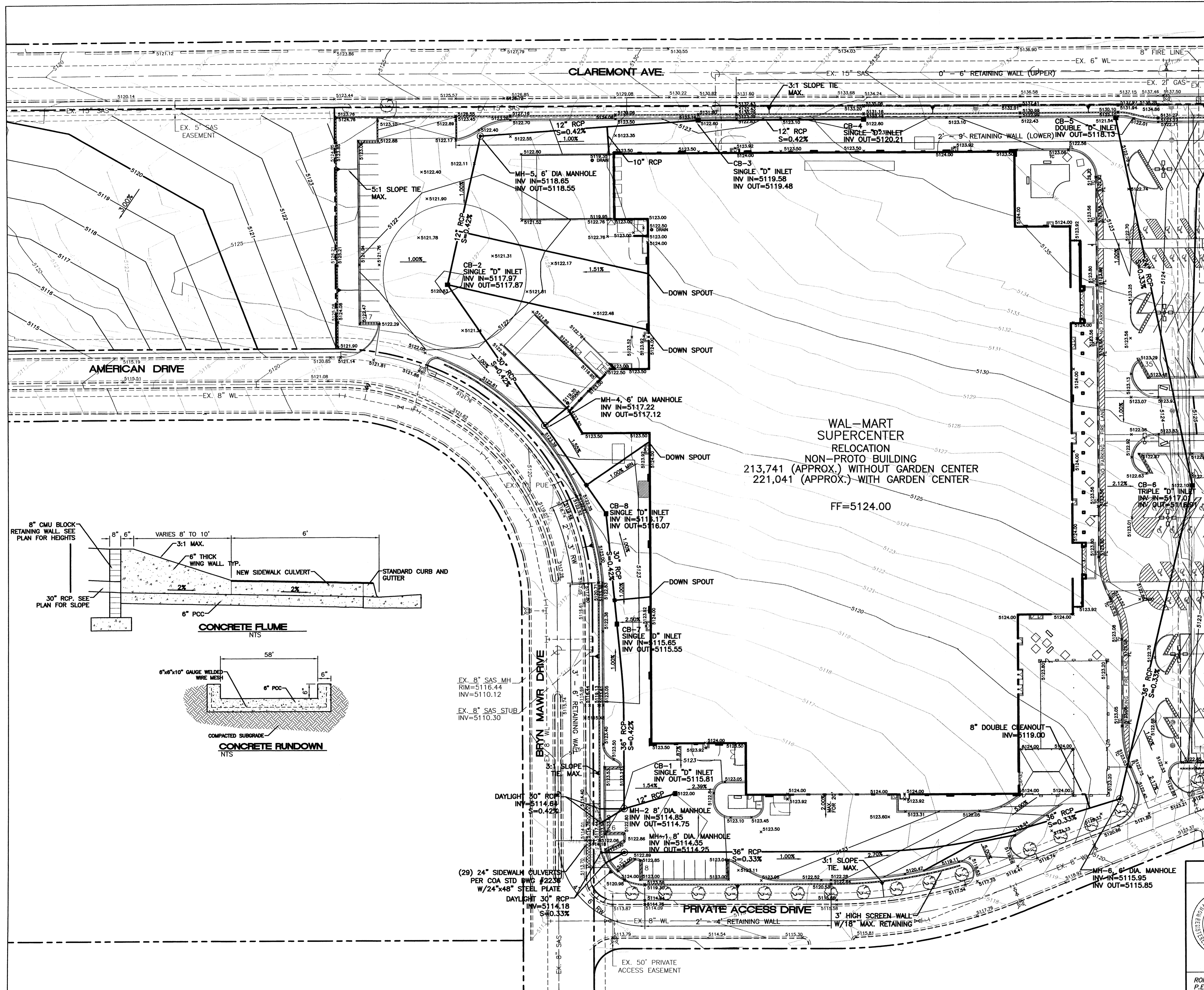


ALL TREES SHALL BE PLANTED AT A MINIMUM OF 2" CALIPER AND ALL EVERGREEN TREES MUST BE PLANTED AT A MINIMUM OF 8-FEET HIGH.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com



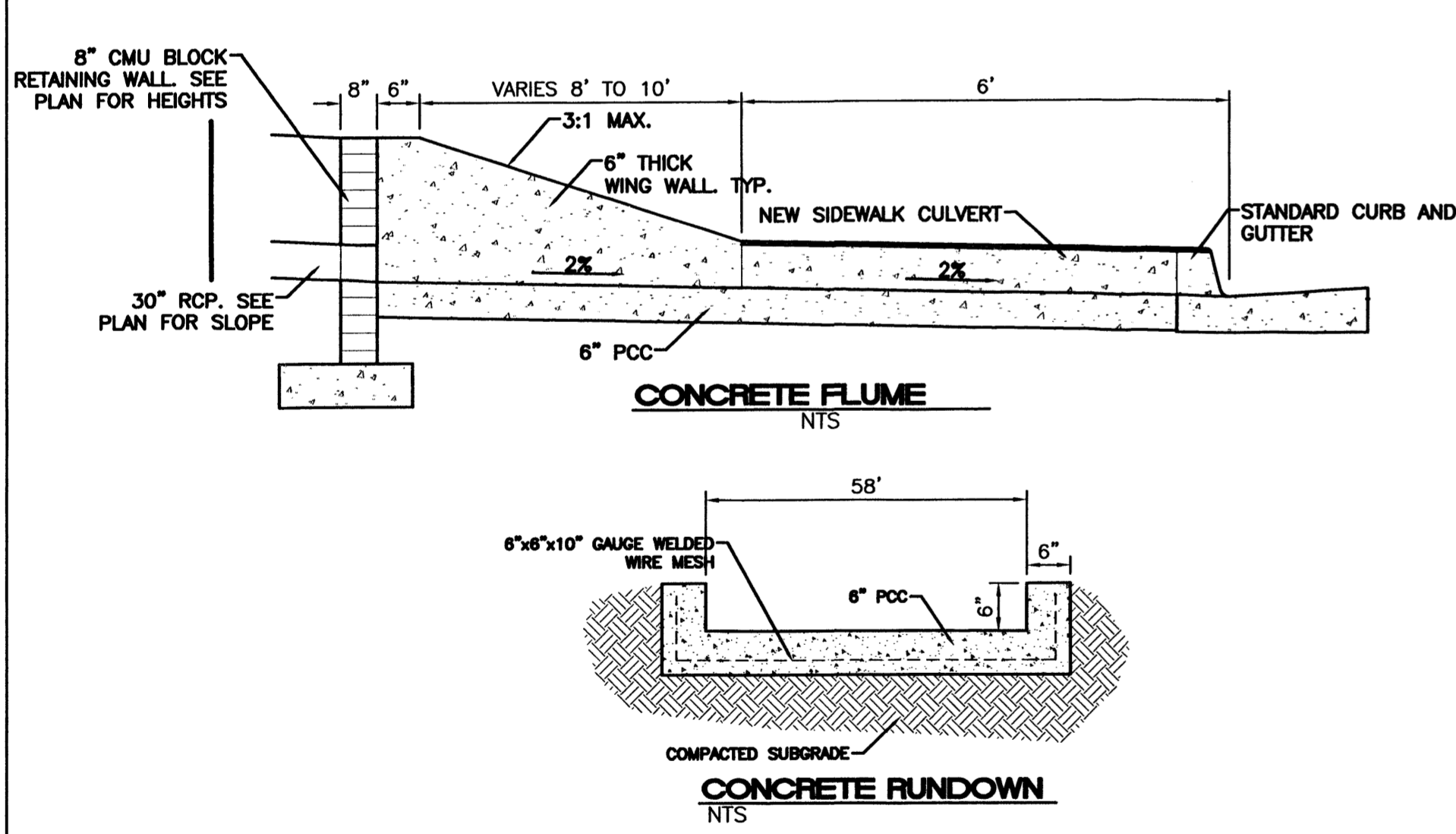
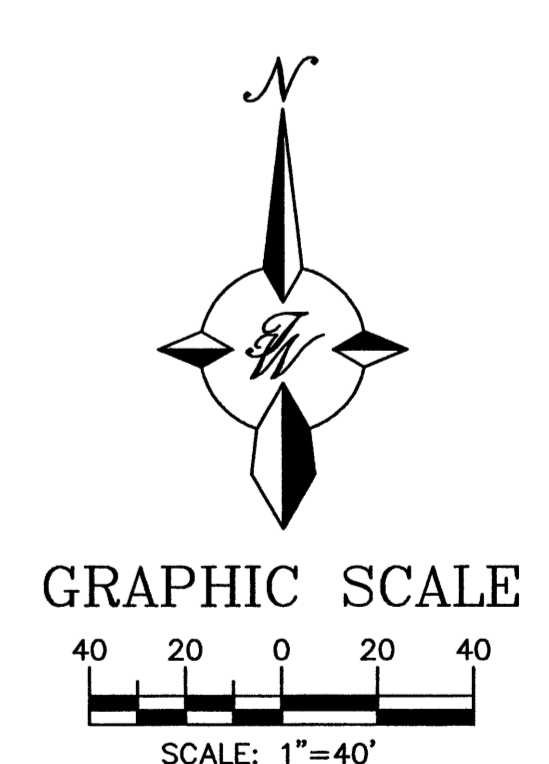
LANDSCAPE ARCHITECTS SEAL JAMES DE FLON 2.14.03	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY CMD DATE 8/28/02 HTLS-01
	LANDSCAPE PLAN	SHEET # L-1 JOB # 21075
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		



LEGAL DESCRIPTION:
 Lots One and Two, Wal-Mart Addition AND Lot "A", Block Twenty-One, Valley View Addition, Wal-Mart Stores East, Inc.

NOTES:
 SEE SHEET 11 & 12 FOR RETAINING WALL DETAILS.

- LEGEND**
- EXISTING CURB
 - - - FUTURE IMPROVEMENTS
 - ▭ EXISTING BUILDING
 - ▭ PROPOSED EXPANSION
 - ▭ PROPOSED CURB
 - ▭ BOUNDARY LINE
 - ▭ GRADE CHANGE
 - x 5257.73 PROPOSED GRADE ELEVATION
 - x 5257.18 EXISTING GRADE ELEVATION



CONCRETE FLUME
 NTS

CONCRETE RUNDOWN
 NTS

PRIVATE ACCESS DRIVE

WAL-MART SUPERCENTER RELOCATION
 NON-PROTO BUILDING
 213,741 (APPROX.) WITHOUT GARDEN CENTER
 221,041 (APPROX.) WITH GARDEN CENTER
 FF=5124.00

MANHOLE AND CATCH BASIN DATA:
 MH-5, 6" DIA MANHOLE INV IN=5118.65 INV OUT=5118.55
 CB-2 SINGLE "D" INLET INV IN=5117.97 INV OUT=5117.87
 MH-4, 6" DIA MANHOLE INV IN=5117.22 INV OUT=5117.12
 CB-8 SINGLE "D" INLET INV IN=5116.17 INV OUT=5116.07
 CB-1 SINGLE "D" INLET INV IN=5115.65 INV OUT=5115.55
 MH-2, 8" DIA MANHOLE INV IN=5114.85 INV OUT=5114.75
 MH-1, 8" DIA MANHOLE INV IN=5114.35 INV OUT=5114.25
 MH-6, 6" DIA MANHOLE INV IN=5115.95 INV OUT=5115.85

	ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02	DRAWN BY BDG
	GRADING AND DRAINAGE PLAN - A	DATE 04/10/03
TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 6	JOB # 21075

SITE GRADING NOTES

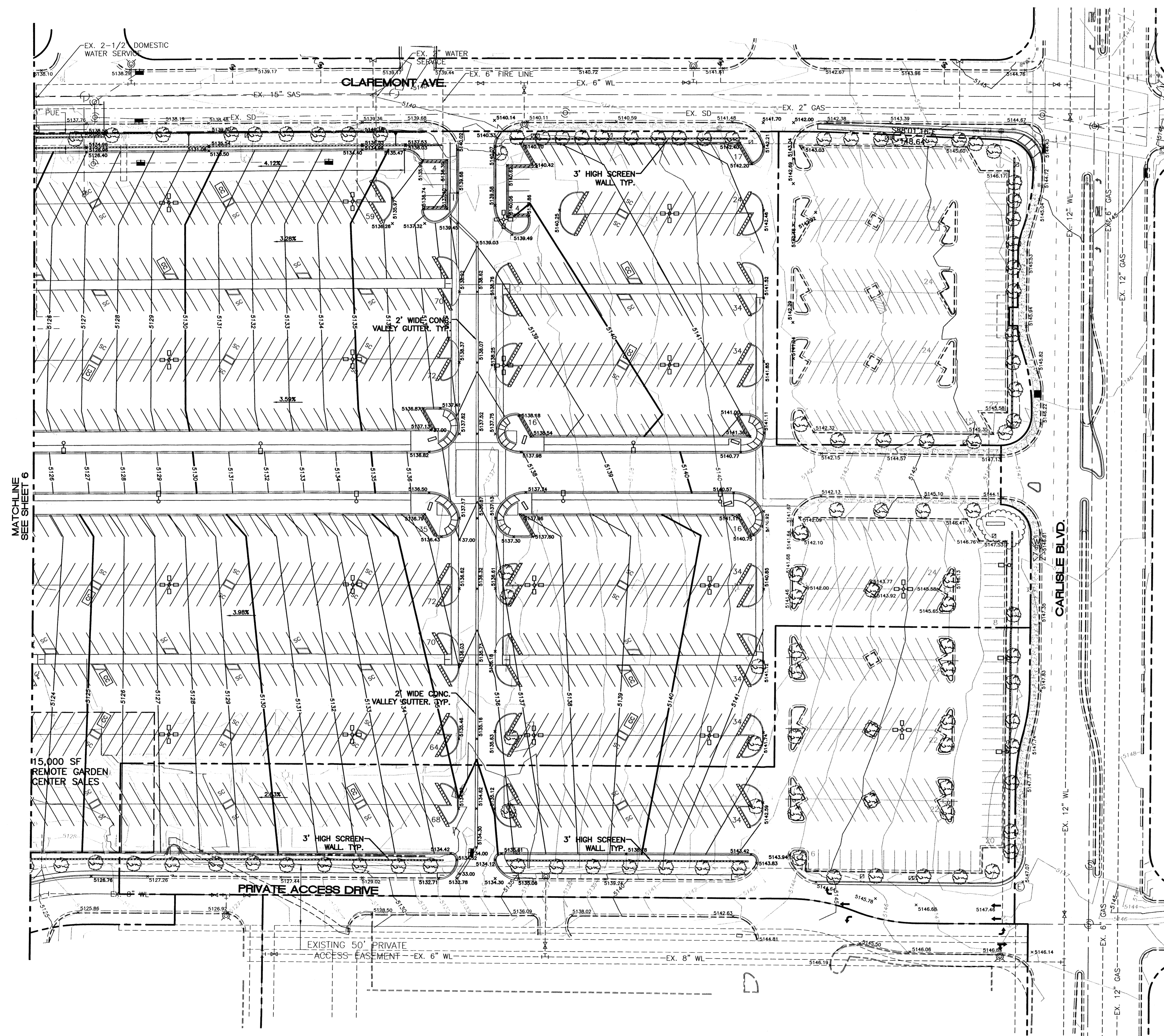
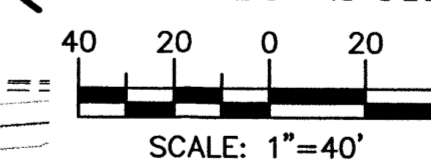
1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. ON THE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
5. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
TYPE 2: SPIRAL RIB METAL PIPE TYPE 1R: GALVANIZED, ALUMINIZED, OR BITUMINOUS COATED AS SPECIFIED ON CONSTRUCTION DRAWINGS. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON CONSTRUCTION DRAWINGS. PIPE ENDS SHALL BE RE-CORRUGATED AND INSTALLED WITH SEMI-CORRUGATED HUGGER-TYPE BANDS AND "O" RING GASKETS IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION REQUIREMENTS. SPIRAL RIB METAL PIPE MUST COMPLY WITH ASTM A 760 TYPE 1R, ACCEPTABLE MANUFACTURER: CONTECH, INC. ULTRA FLO OR ULTRA FLO II, CALDWELL CULVERT CO. "SMOOTH RIB", OR APPROVED EQUAL.
TYPE 3: POLY VINYL CHLORIDE (PVC) IN ACCORDANCE WITH ASTM D 1784
6. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
7. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS
8. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
9. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
10. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
11. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING LIDS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
13. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
14. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
15. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY ANY LAND SURVEYORS, IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
16. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL USE NATIVE SEEDING IN DISTURBED AREAS IN ACCORDANCE WITH CITY/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
17. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
18. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
19. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
20. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
21. SITEWORK SHALL MEET OR EXCEED WAL-MART SITE SPECIFICATIONS.
22. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
23. CONTRACTOR SHALL REFER TO GEOTECHNICAL INVESTIGATION PREPARED BY KLEINFELDER, PROJECT #59-000045 8/21/2000. (FOR INFORMATION ONLY)

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

LEGEND

- EXISTING CURB
- FUTURE IMPROVEMENTS
- EXISTING BUILDING
- PROPOSED EXPANSION
- PROPOSED CURB
- BOUNDARY LINE
- GRADE CHANGE
- x 5257.73 PROPOSED GRADE ELEVATION
- x 5257.18 EXISTING GRADE ELEVATION

GRAPHIC SCALE



ENGINEER'S SEAL

 RONALD R. BOHANNAN
 P.E. #7868

ALBUQUERQUE WAL-MART EXPANSION, NM: 831-02
GRADING AND DRAINAGE PLAN - B
 TIERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

DRAWN BY: BDG
 DATE: 04/10/03
 2175GR.DWG
 SHEET # **6A**
 JOB # 21075

SITE UTILITY NOTES

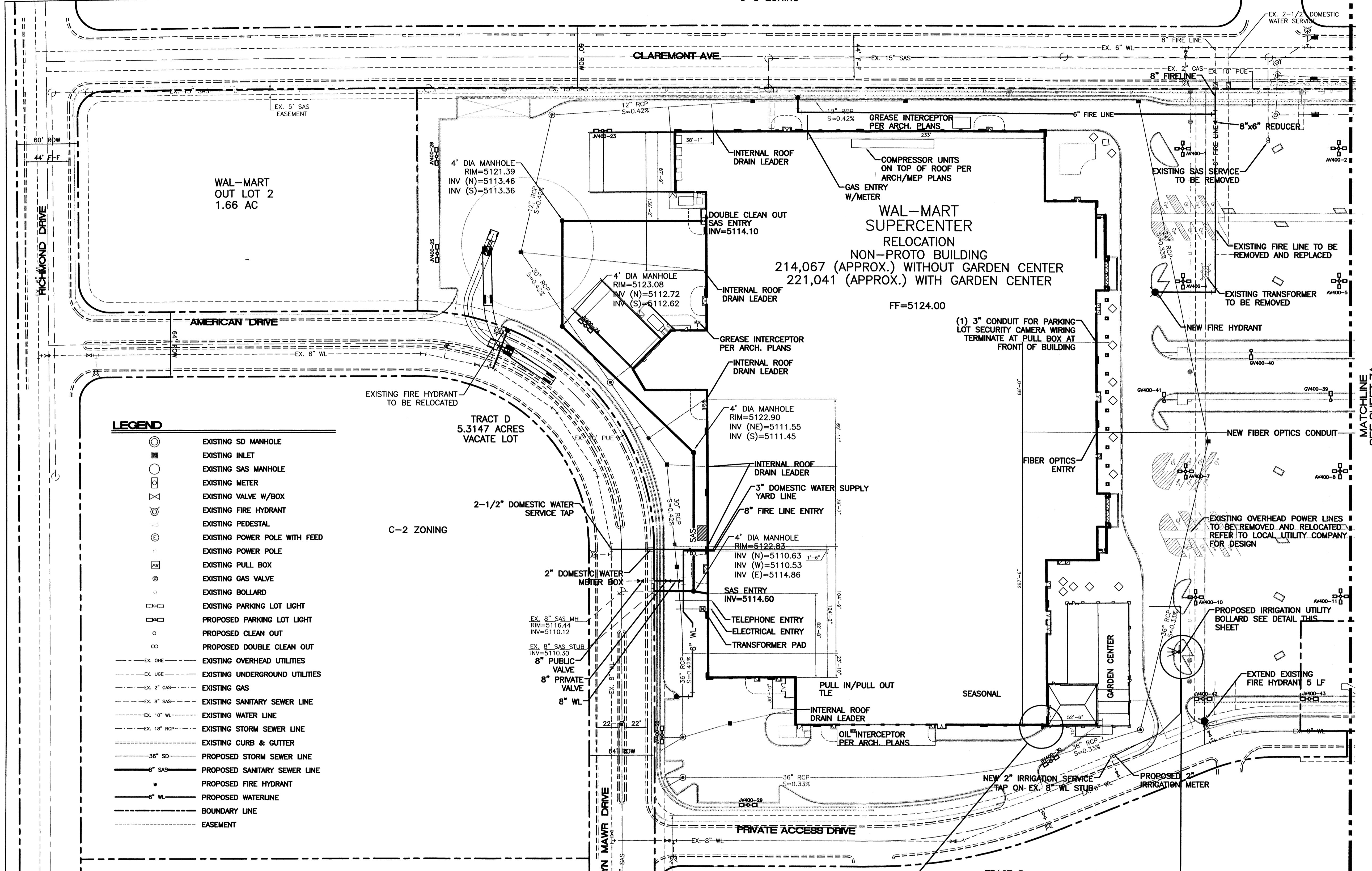
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGES TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE AND MANHOLE SHALL BE AS FOLLOWS:
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 - 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 - 6" PVC SCHEDULE 40
 - DUCTILE IRON PIPE PER AWWA C150
 - MANHOLES SHALL BE PRECAST CONCRETE W/BOOTS (TRAFFIC MODEL RING & COVER)
- WATERLINES SHALL BE AS FOLLOWS:
 - A. 4" AND LARGER SHALL BE C-900 CLASS 150 PVC PER ASTM 2241.
 - VALVES SHALL BE M&H RESILIENT SEAT AND M.J. GATE VALVES.
 - B. ALL FIRE HYDRANTS SHALL BE M&H MODEL 129 (3 WAY) (BRASS SEAT) 5 1/4" VALVE OPENING, 4' BURY, M.J. FOOT, 2-2 1/2 HOSE NOZZLES, 1-4 1/2" STEAMER NOZZLE.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.)
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANS A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (CITY OF ALBUQUERQUE) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE INSTALLATION OR REPAIR OF ANY UNDERGROUND SPRINKLER OR PIPING WHICH CONNECTS TO OR FURNISHES WATER FOR THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR, OR LICENSED PLUMBER. SEE O.C.G.A. TITLE 25-11-7-(d). A COPY OF THE LICENSE OR CERTIFICATE OF COMPETENCY SHALL BE PROVIDED TO THE INSPECTOR AT THE FINAL INSPECTION.
- UTILITY WORK TO BE DONE IN FRONT OF STORE TO BE COORDINATED WITH WAL-MART CONSTRUCTION MANAGER. FRONT UTILITY WORK WILL BE DONE AT NIGHT IF NOT LOCATED BEHIND CONSTRUCTION FENCE.
- CONTRACTOR TO RELOCATE LIGHT POLE AND REPLACE LUMINAIRES AS INDICATED. CONTRACTOR TO BUILD NEW POLE BASE AND STUB WIRE AS NEEDED.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- REFER TO SHEET 12 FOR SERVICE STATION UTILITIES.
- BACKFLOW PREVENTOR SHALL BE LOCATED INSIDE THE BUILDING.

DRY UTILITY NOTES:

- PNM IS RESPONSIBLE FOR RELOCATION AND/OR ABANDONMENT OF THEIR LINES AND PULL BOXES AS SHOWN.
- GAS COMPANY IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AS SHOWN.
- COMCAST IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AND MANHOLES AS SHOWN.

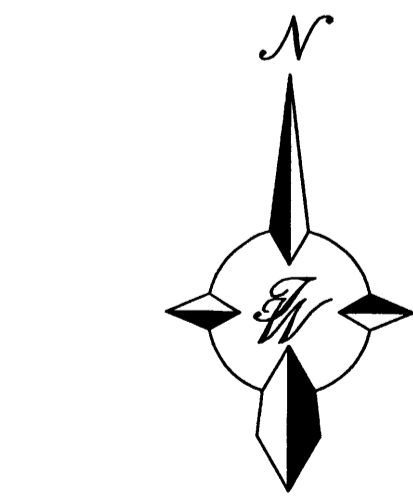
CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



LEGEND

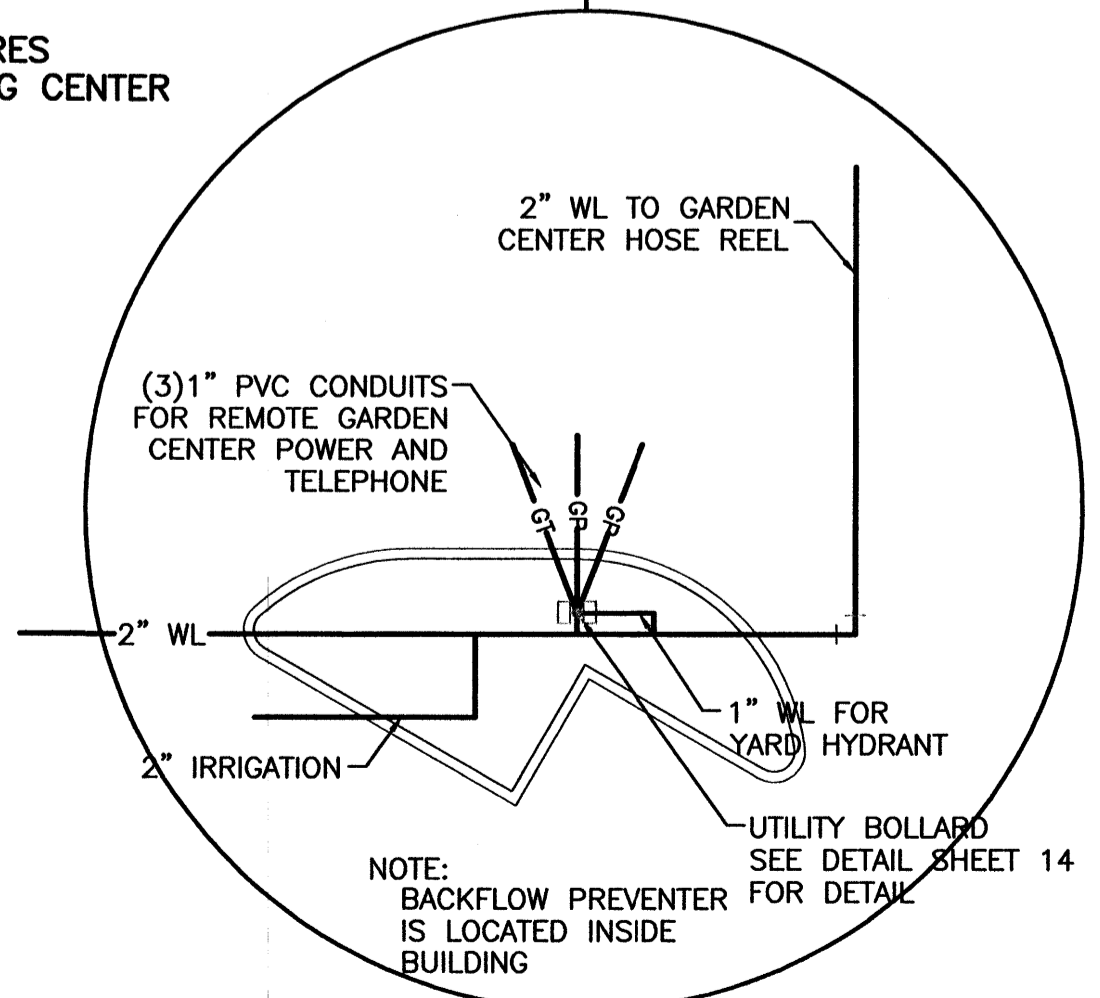
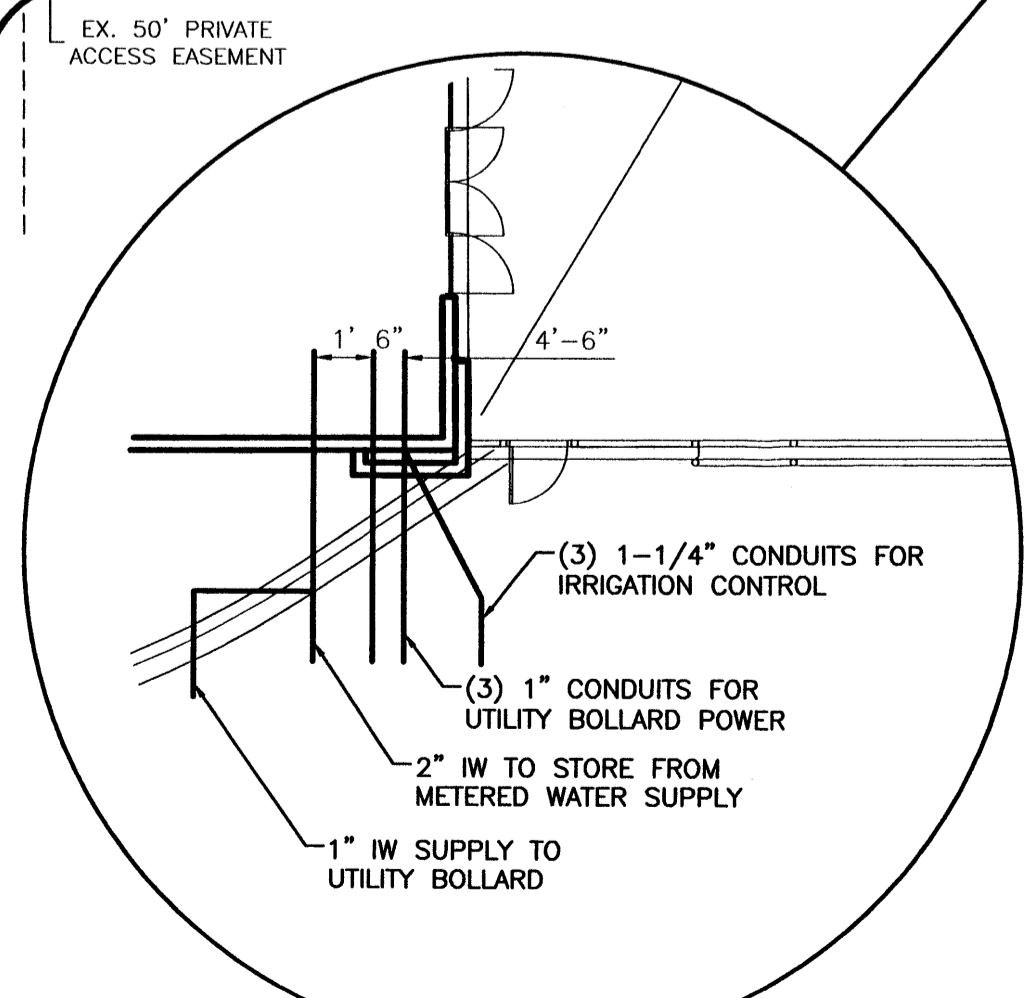
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING PEDESTAL
- EXISTING POWER POLE WITH FEED
- EXISTING POWER POLE
- EXISTING PULL BOX
- EXISTING GAS VALVE
- EXISTING BOLLARD
- EXISTING PARKING LOT LIGHT
- PROPOSED PARKING LOT LIGHT
- PROPOSED CLEAN OUT
- PROPOSED DOUBLE CLEAN OUT
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED WATERLINE
- BOUNDARY LINE
- EASEMENT



GRAPHIC SCALE

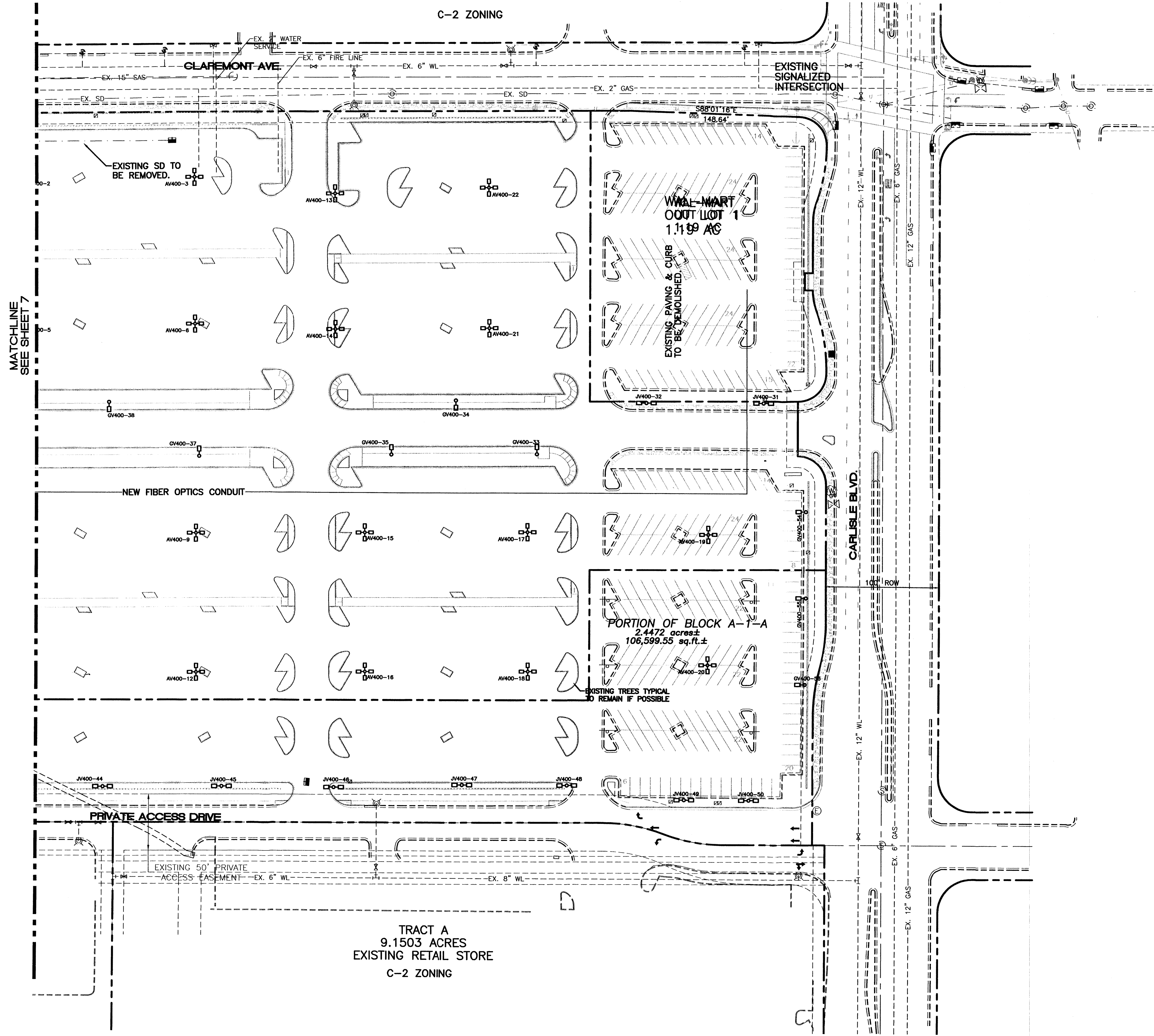


SCALE: 1"=50'

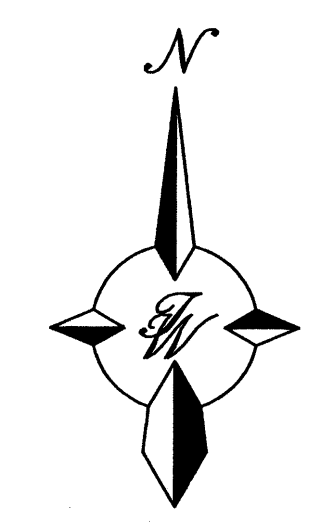


MATCHLINE SEE SHEET 7A

ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY	BGD
		DATE	05/27/03
	MASTER UTILITY PLAN		2175MU.DWG
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET #	7
RONALD R. BOHANNAN P.E. #7868		JOB #	21075




MATCHLINE
SEE SHEET 7



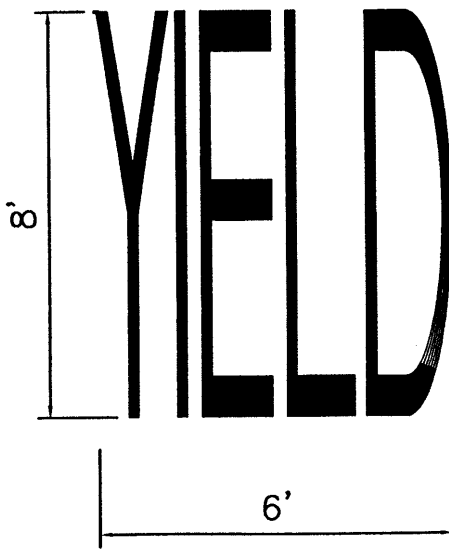
GRAPHIC SCALE



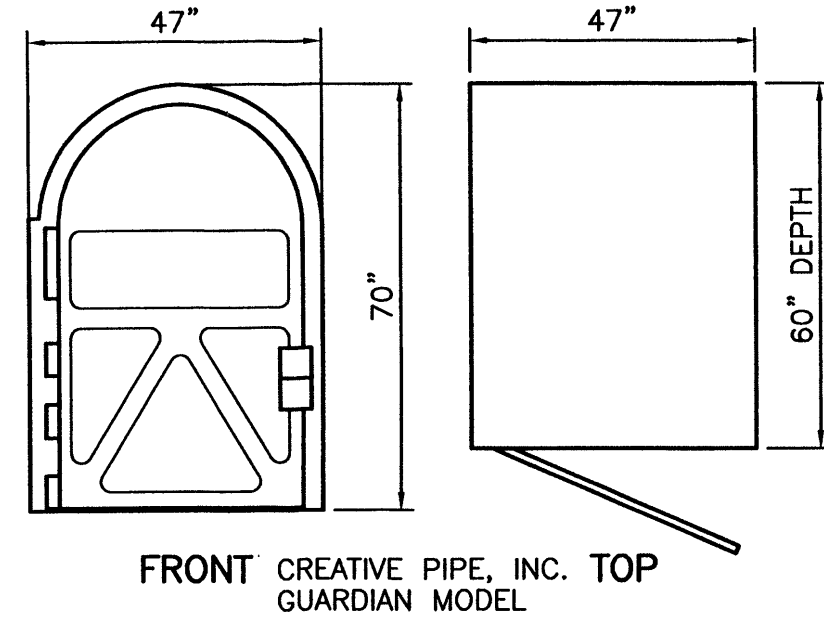
SCALE: 1"=50'

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY: BDG DATE: 04/10/03 2175SP.DWG
	MASTER UTILITY PLAN - B	SHEET # 7A
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 21075

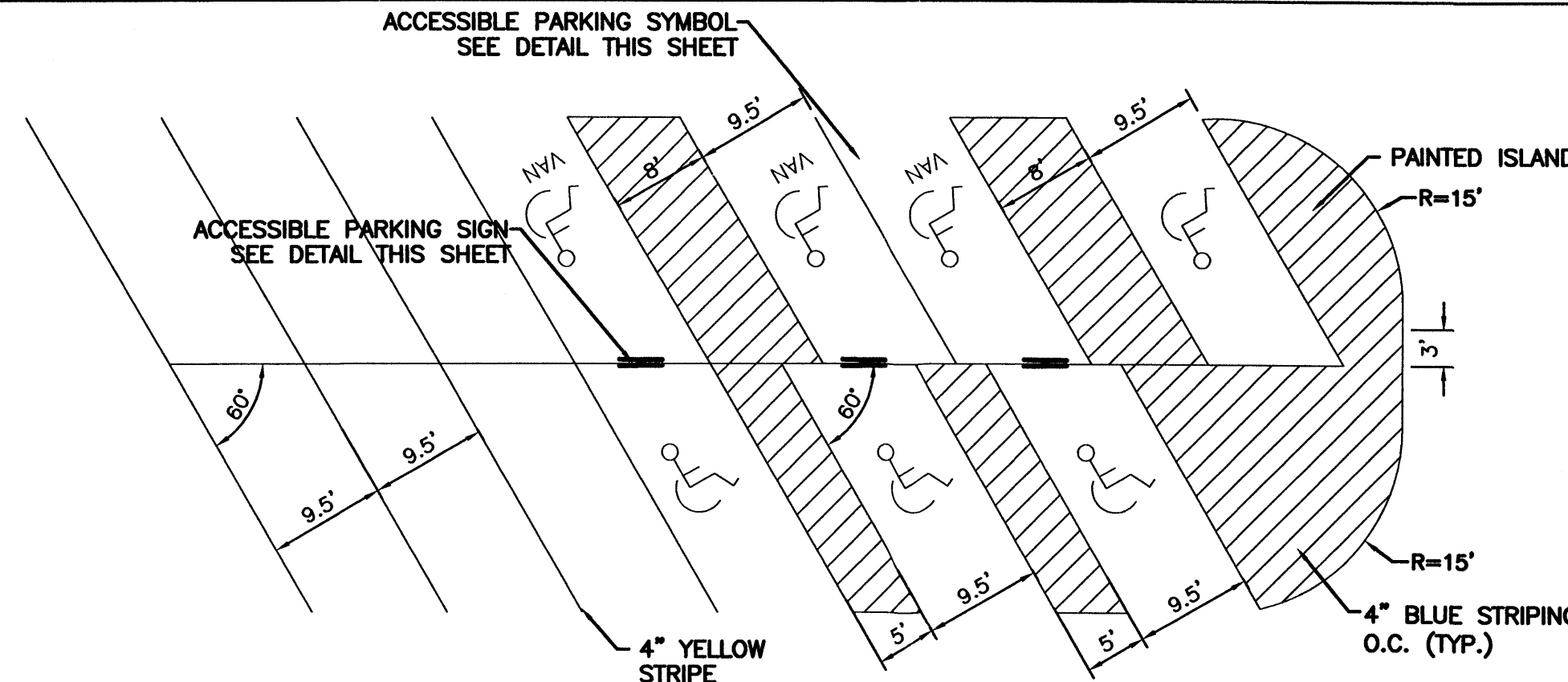
NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
2. THESE WORDS AND ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.



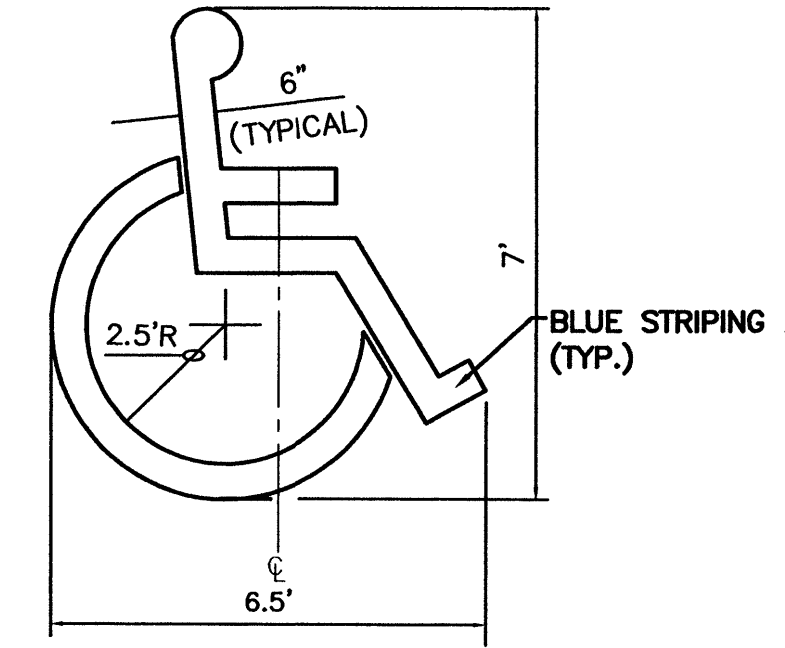
YIELD MARKER
SCALE: NTS



BIKE LOCKER DETAIL
NTS



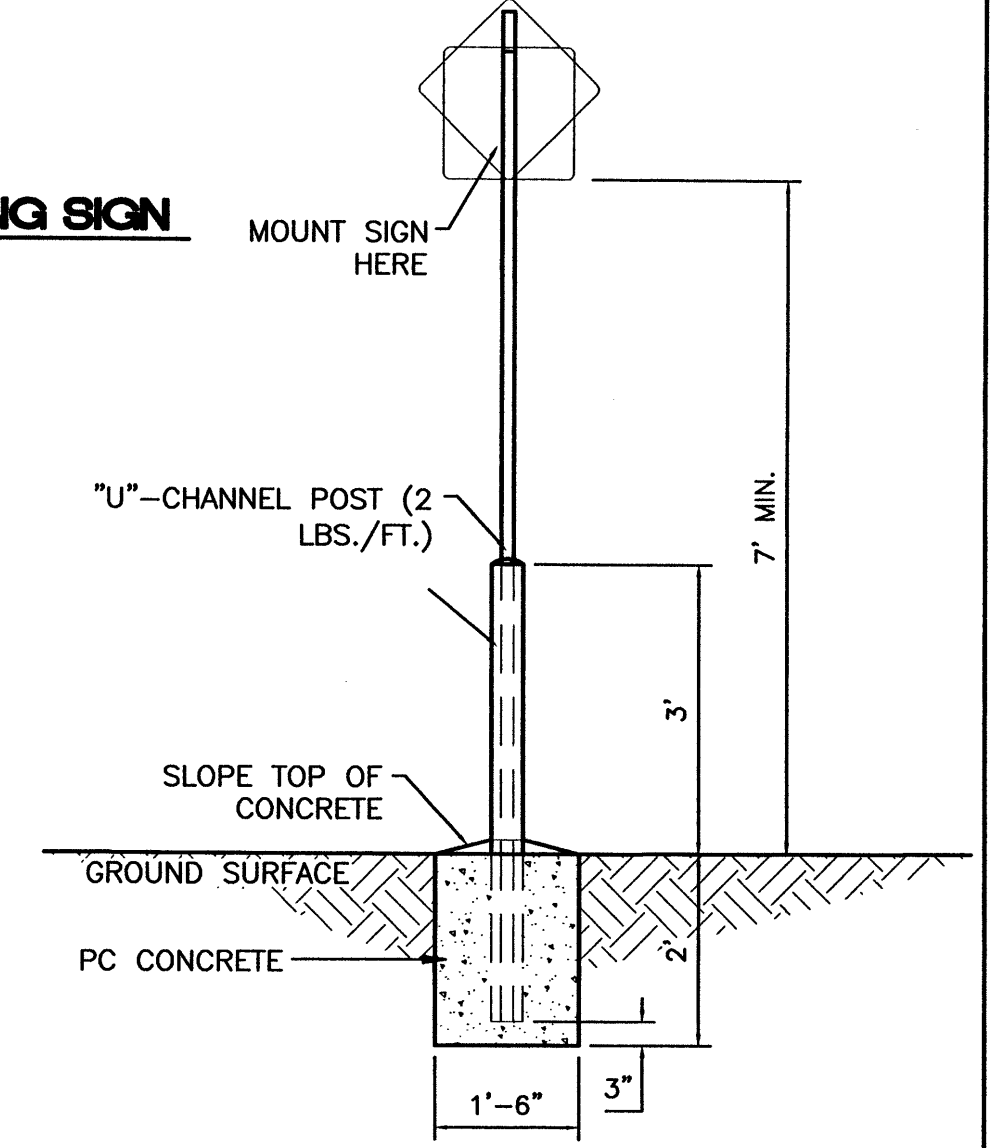
STANDARD AND ACCESSIBLE PARKING DETAIL
NTS



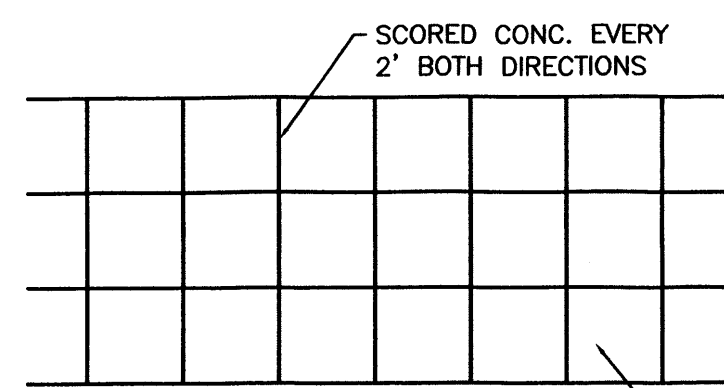
ACCESSIBLE PARKING SYMBOL
SCALE: NTS
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



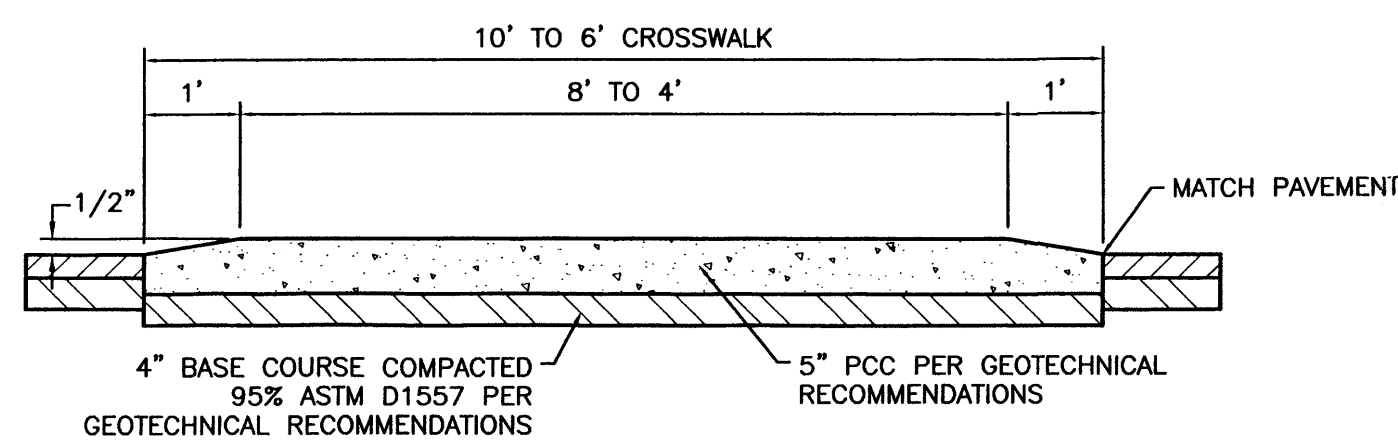
BLACK LEGEND ON YELLOW BACKGROUND (W11A-2) (W11A-2P)
PEDESTRIAN CROSSING SIGN
SCALE: NTS



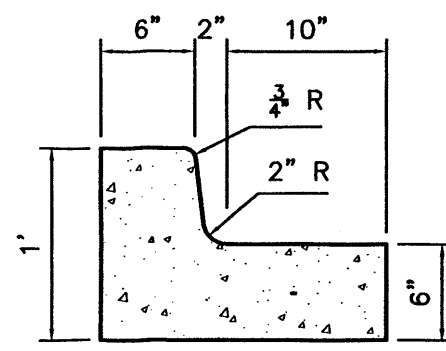
STANDARD SIGN BASE
SCALE: 1/2"=1'



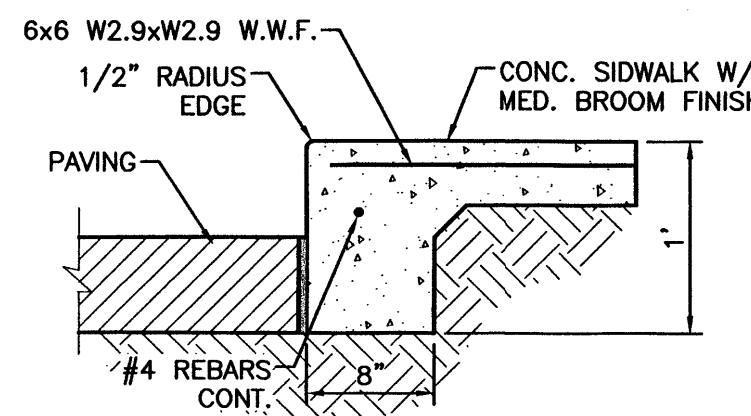
CROSSWALK PLAN VIEW
5" PCC PER GEOTECHNICAL RECOMMENDATIONS



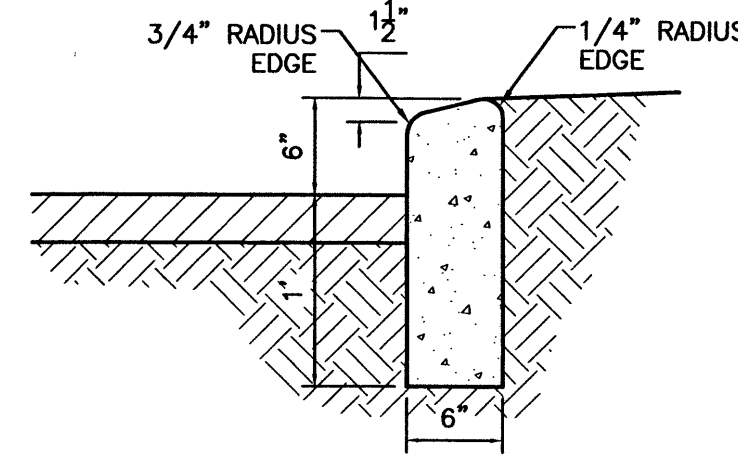
RAISED CROSSWALK
SCALE: 1/2"=1'



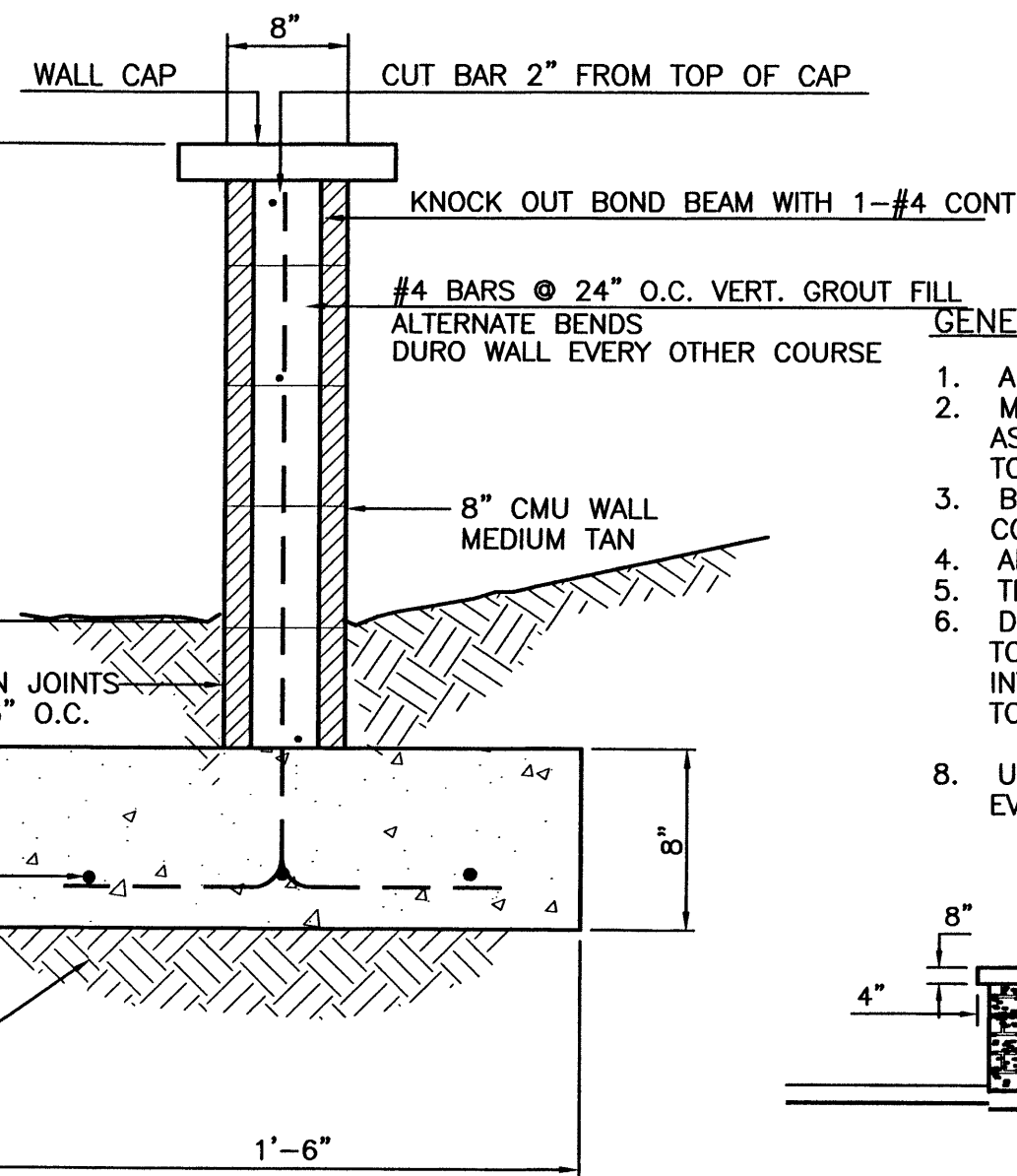
6 IN. CURB AND GUTTER
SCALE: 1"=1'



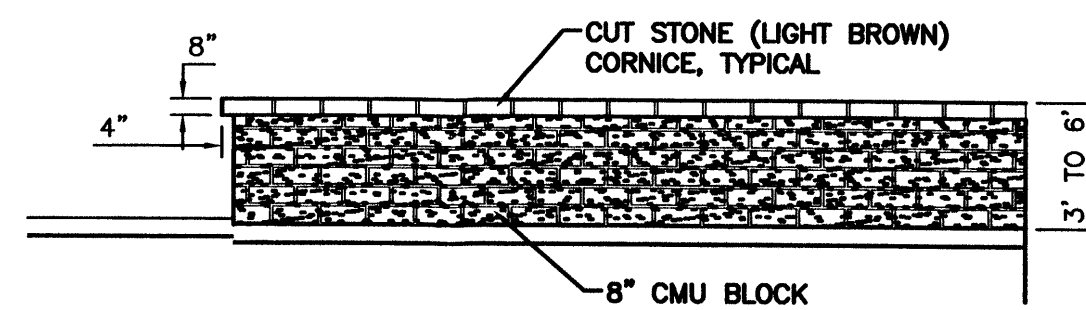
DETAIL-TURNDOWN CURB
1" = 1'-0"



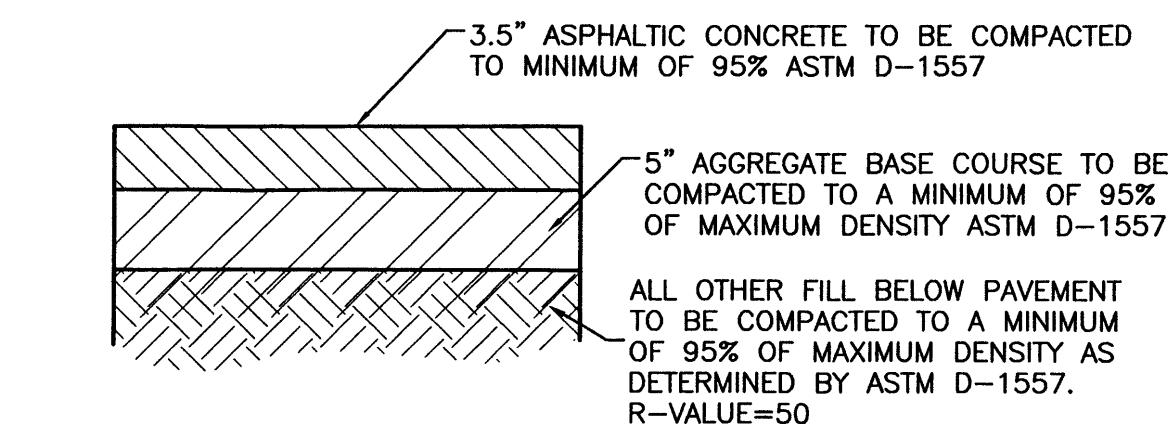
6\"/>



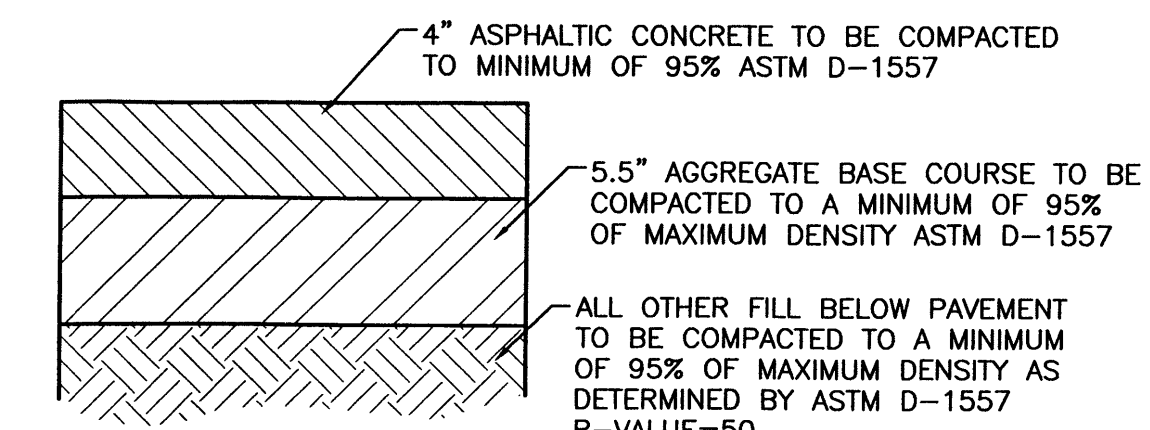
3\"/>



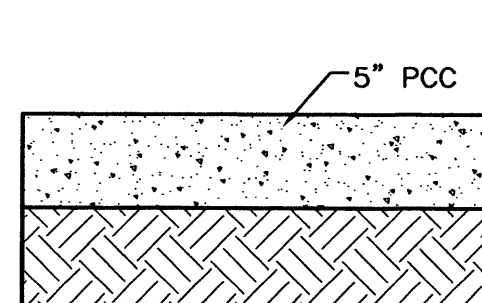
SCREEN WALL DETAIL (TYP.)
NTS



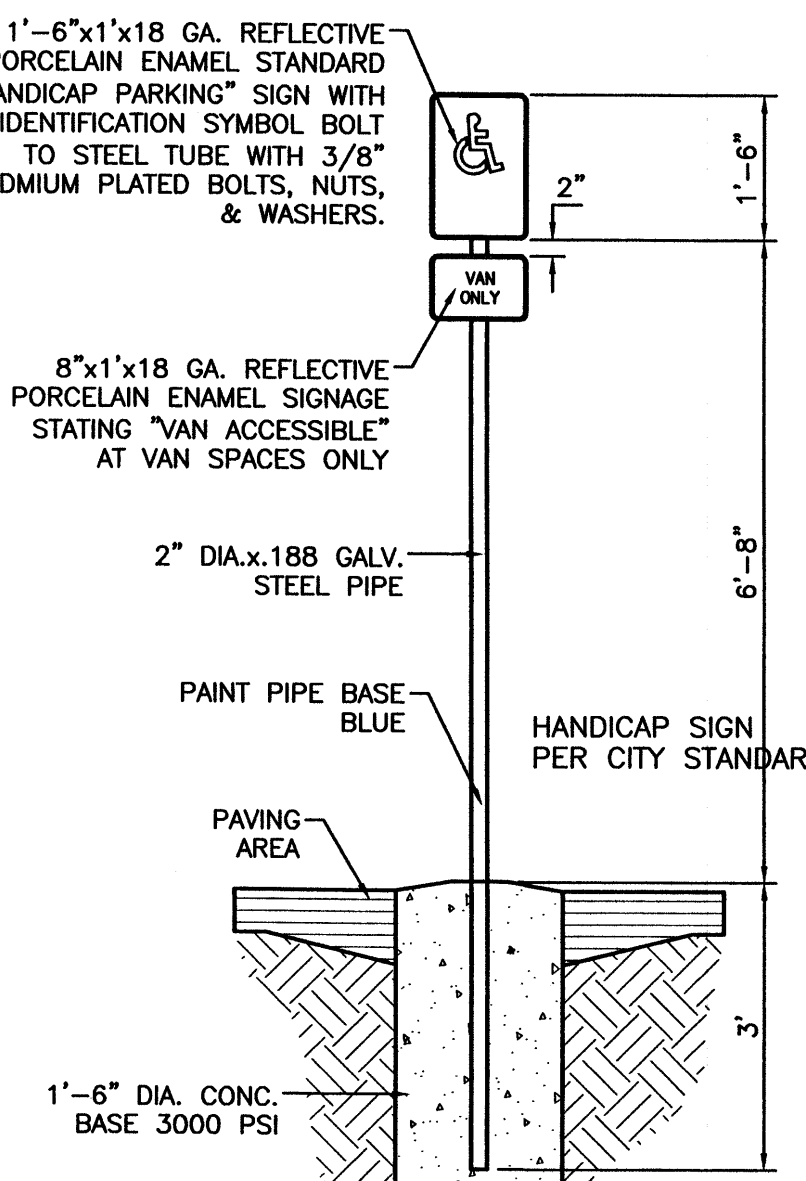
AUTOMOBILE PARKING TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY [Symbol]



AUTOMOBILE DRIVEWAYS AND AREAS SUBJECT TO SEMI-TRUCKS TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY [Symbol]

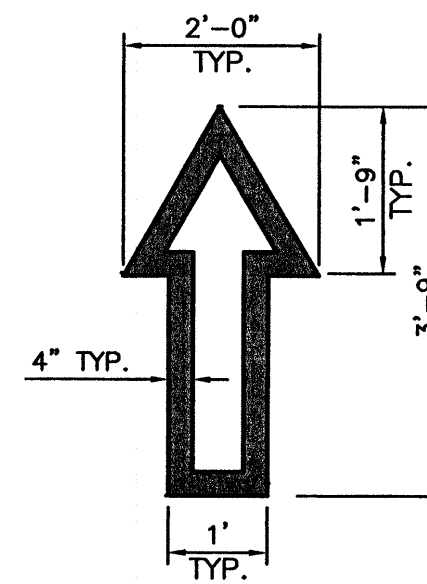


STANDARD CONCRETE SECTION
1" = 1' DESIGNATED BY [Symbol]

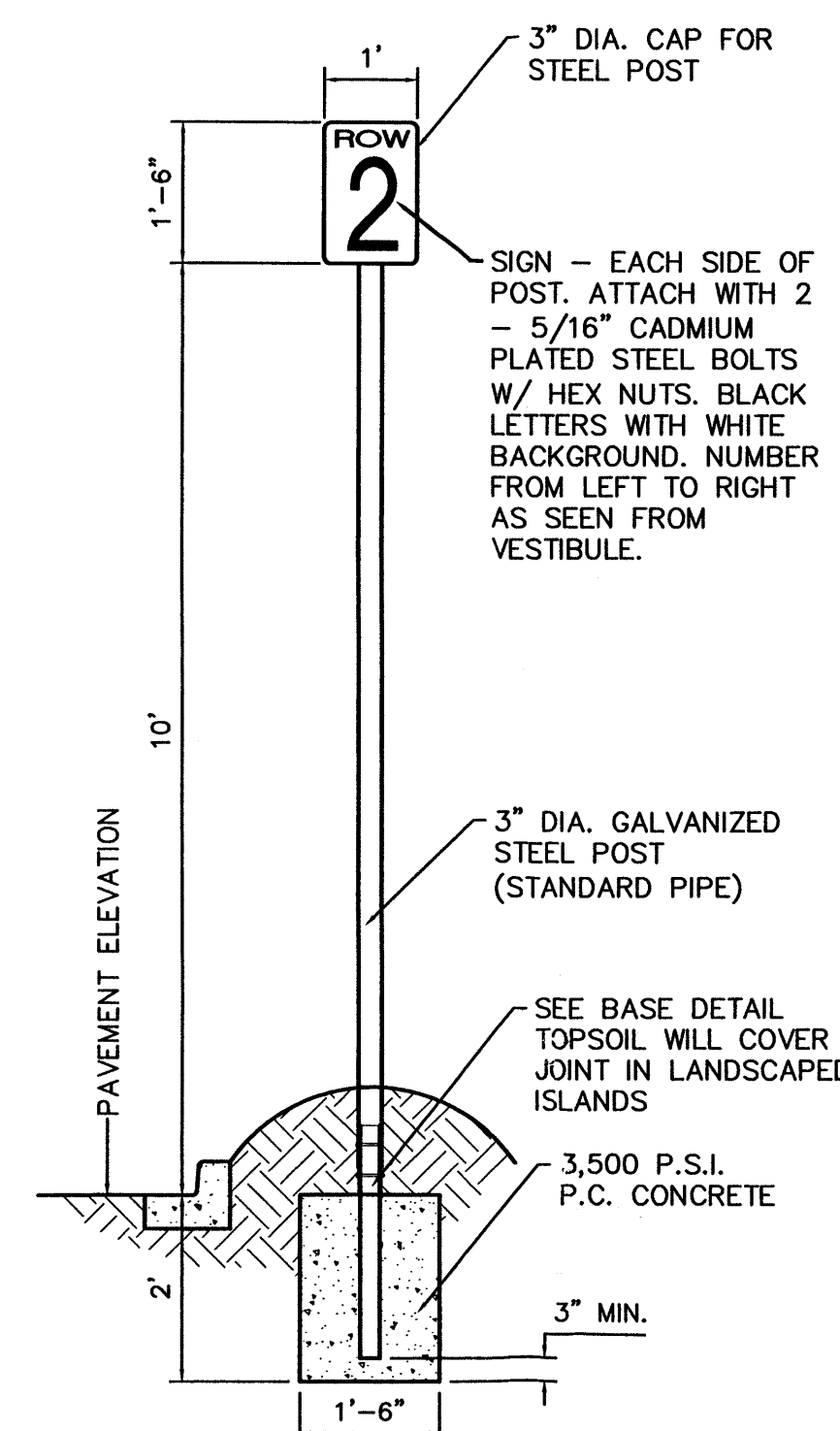


HANDICAP SIGN
SCALE: 1/2"=1'

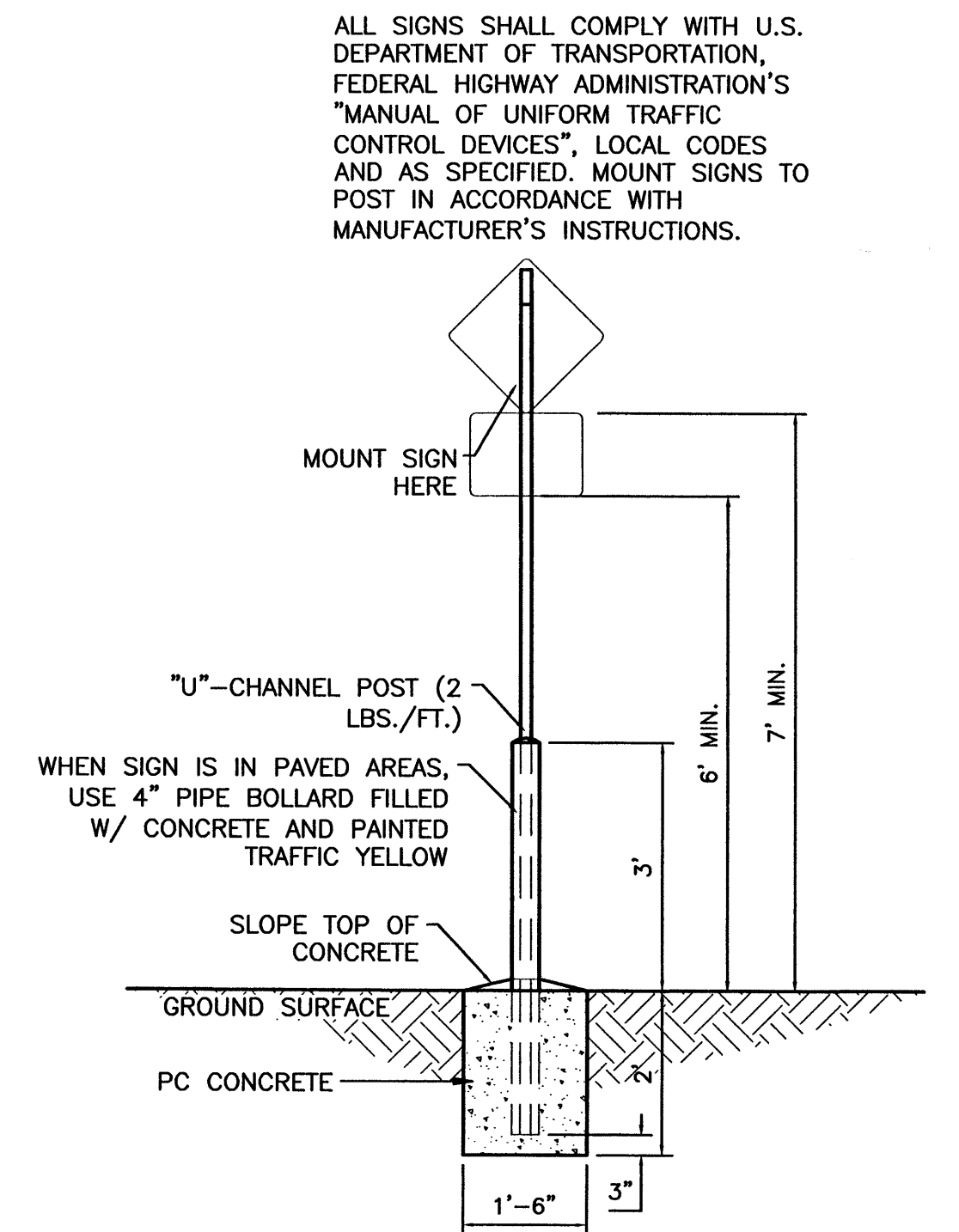
- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPECS.



AISLE SIGN IN LANDSCAPE ISLAND
SCALE: 1/2"=1'



PEDESTRIAN SIGN BASE
SCALE: 1/2"=1'

NOTE: CONTRACTOR IS RESPONSIBLE FOR ADJUSTING SUBGRADE ELEVATION TO MATCH SELECTED ALTERNATE PAVEMENT SECTION.

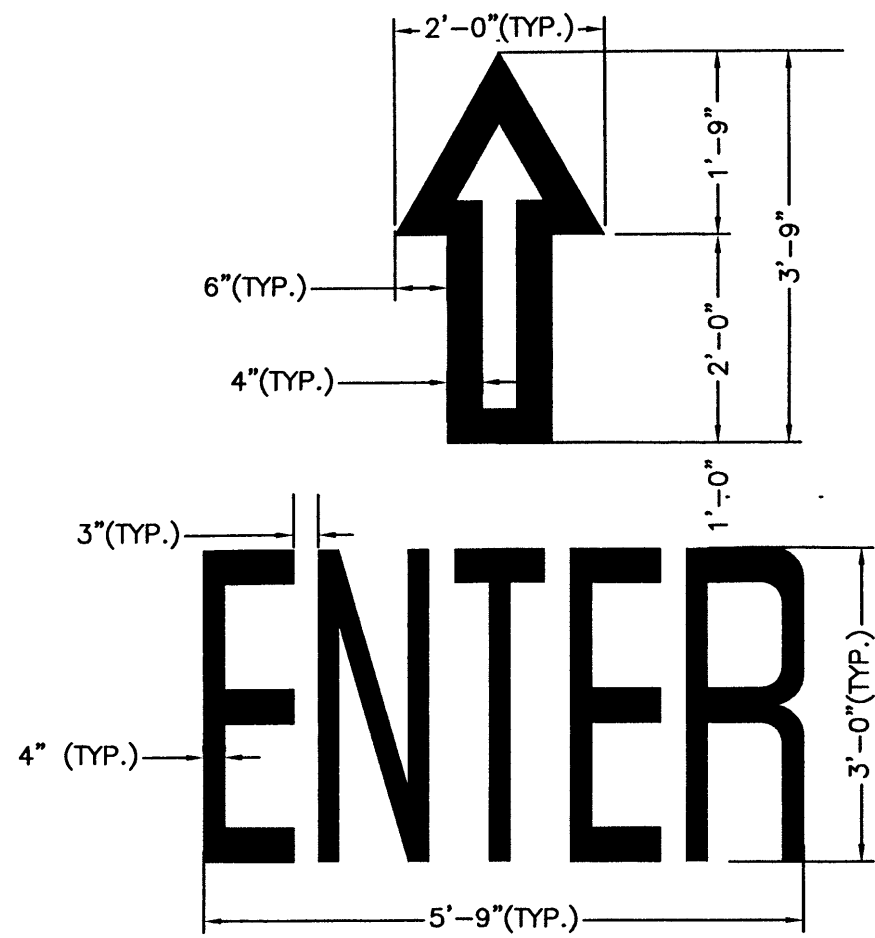
NOTE: REFER TO GEOTECHNICAL REPORTS FOR SPECIFICATIONS. ALL PAVEMENT SPECS SHALL MEET NMSHTD MIN. SPECIFICATIONS.

NOTE: CONTRACTOR IS RESPONSIBLE FOR ADJUSTING SUBGRADE ELEVATION TO MATCH SELECTED ALTERNATE PAVEMENT SECTION.

SUBGRADE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 R-VALUE=50

SUBGRADE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 R-VALUE=50

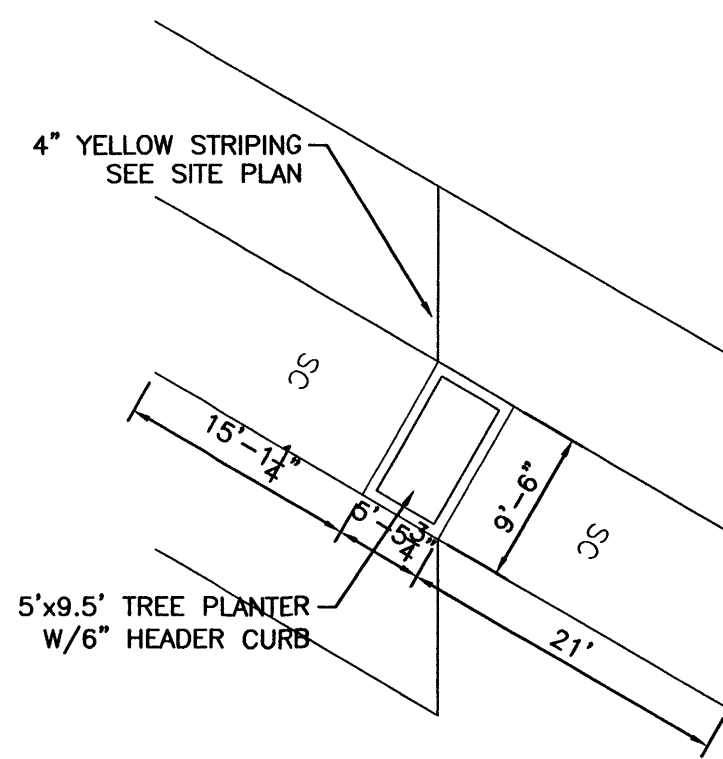
ENGINEER'S SEAL 	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY: BDG DATE: 12/09/02
	DETAILS	DETAILS1.DWG
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 8	JOB # 21075
RONALD R. BOHANNAN P.E. #7868		



ENTER MARKER

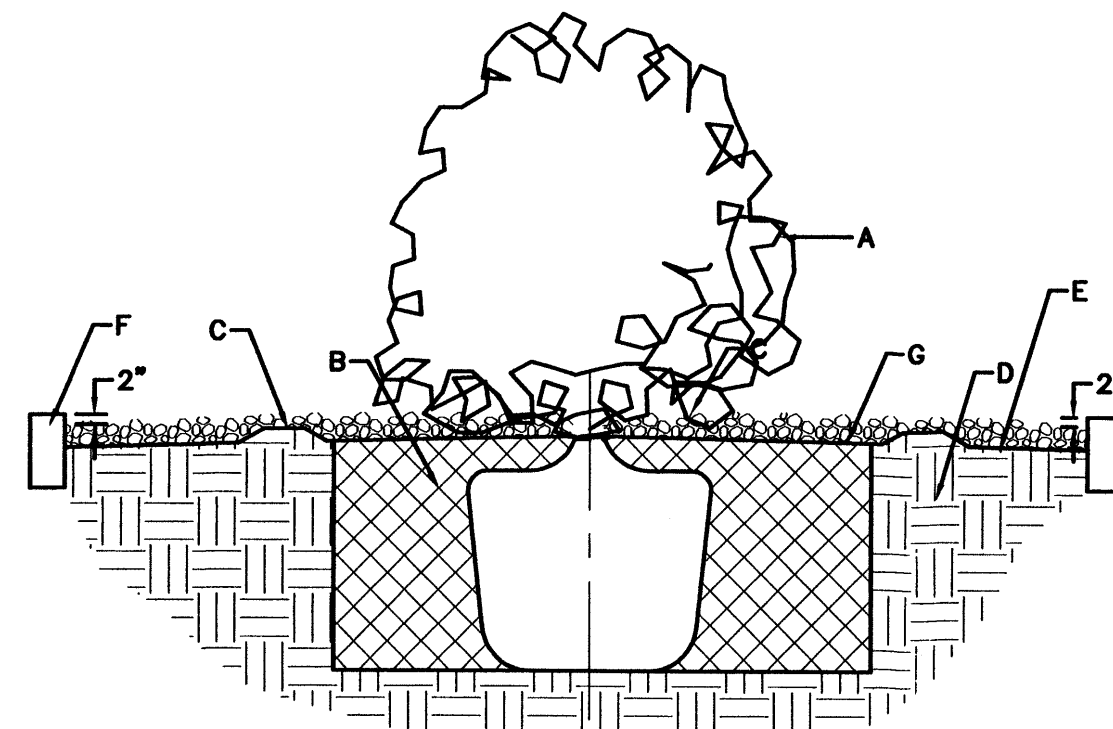
SCALE: NTS

NOTE: ALL TRAFFIC FLOW ARROWS TO BE SOLID YELLOW REFLECTIVE TRAFFIC PAINT PER DIMENSIONS ABOVE.



ELONGATED TREE PLANTER

SCALE: NTS



GENERAL NOTES:

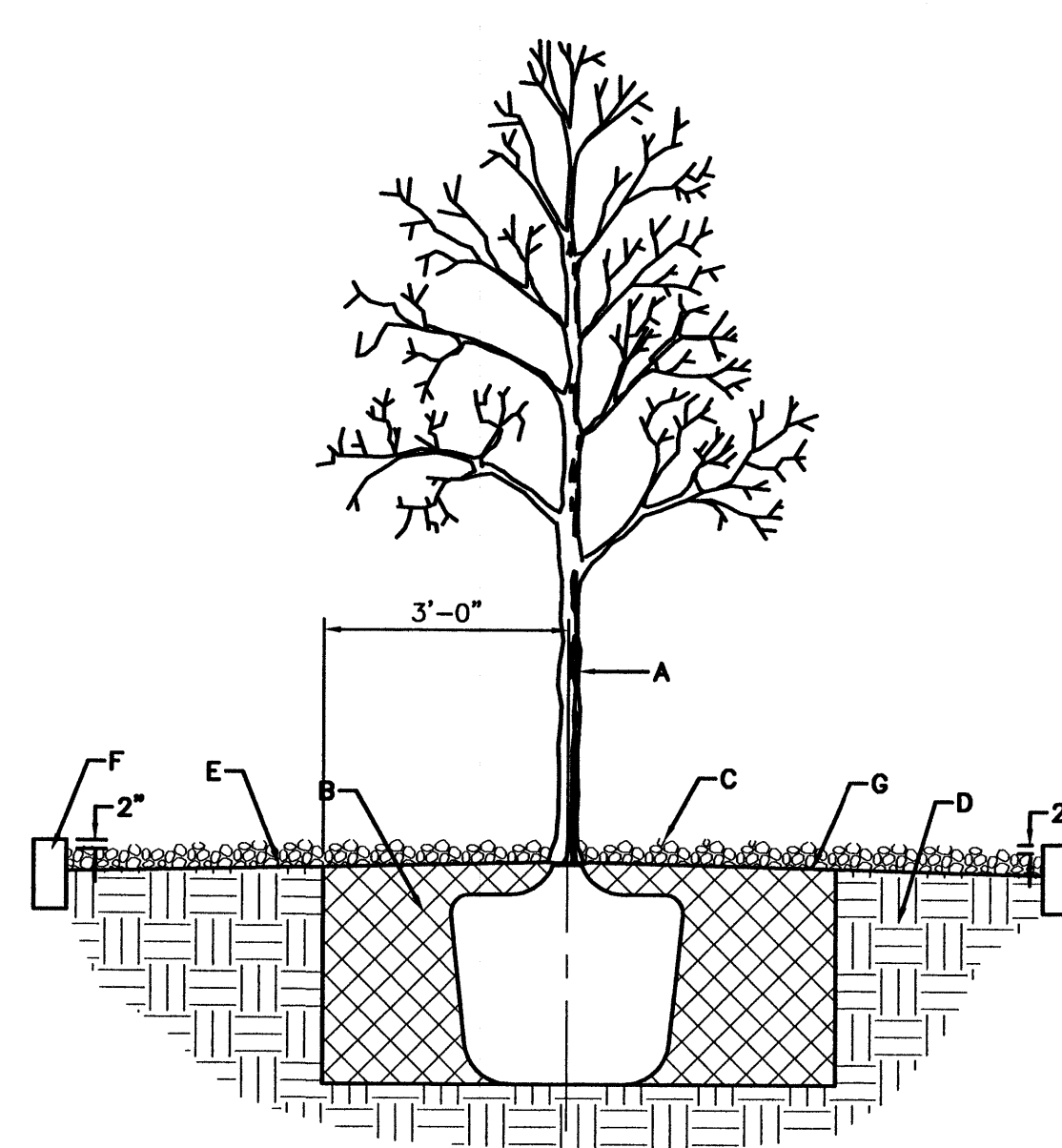
1. ROOTBALL SHALL BE PLACED ON DISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED, THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILL TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. SHRUB
- B. BACKFILL WITH EXISTING SOIL
- C. CREATE EARTH BERM TO FORM RETENTION BASIN
- D. 4" DEEP 3/4" CRUSHED GREY GRAVEL
- E. FINISH GRADE 4" BELOW TOP OF CURB
- F. UNDISTURBED SOIL
- G. FILTER FABRIC
- H. STANDARD 6" CURB

SHRUB IN GRAVEL

SCALE: NTS



GENERAL NOTES:

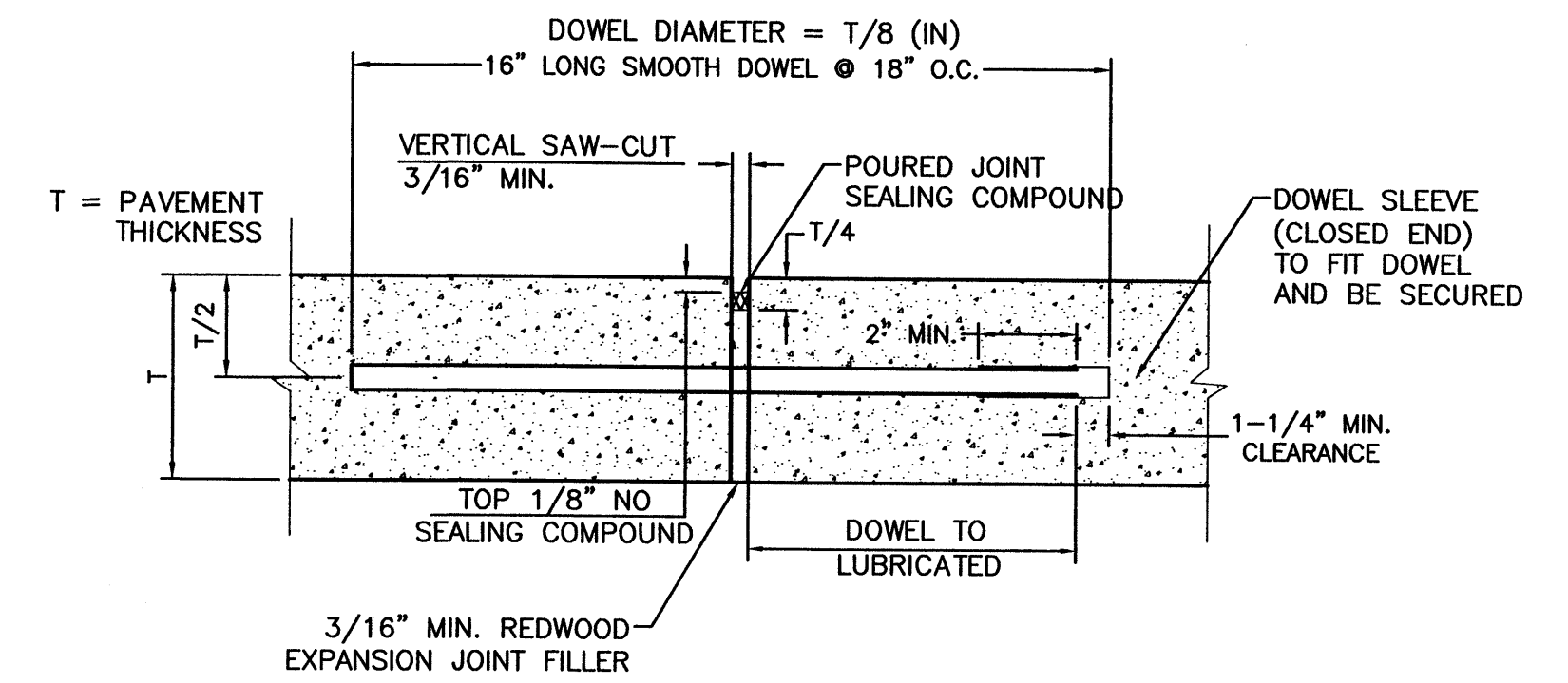
1. ROOTBALL SHALL BE PLACED ON DISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED, THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILL TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL
- C. 4" DEEP 3/4" CRUSHED GREY GRAVEL
- D. UNDISTURBED SOIL
- E. FILTER FABRIC
- F. STANDARD 6" CURB
- G. FINISH GRADE 4" BELOW TOP OF CURB

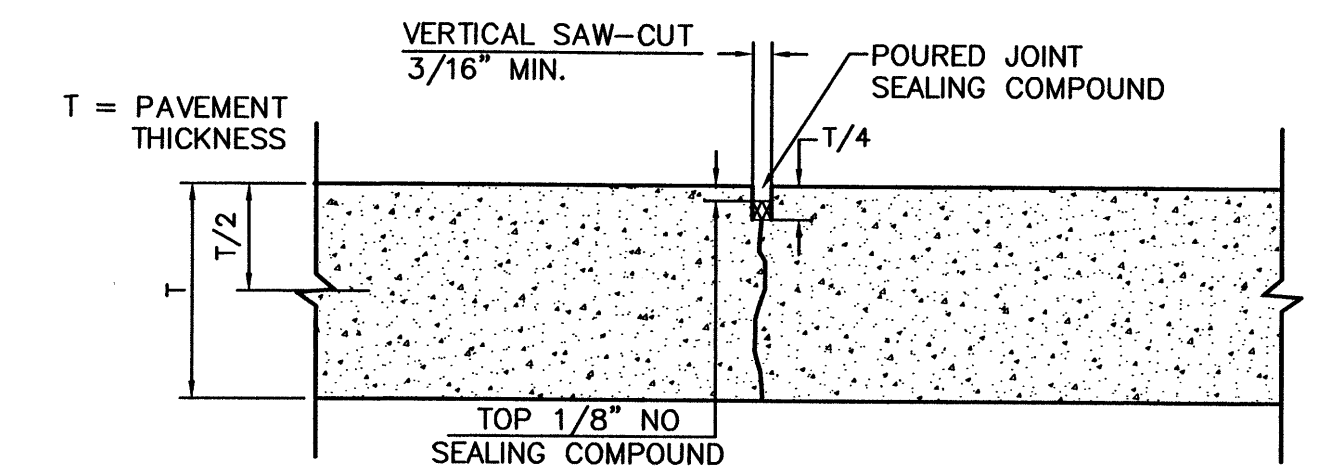
TREE PLANTING

SCALE: NTS

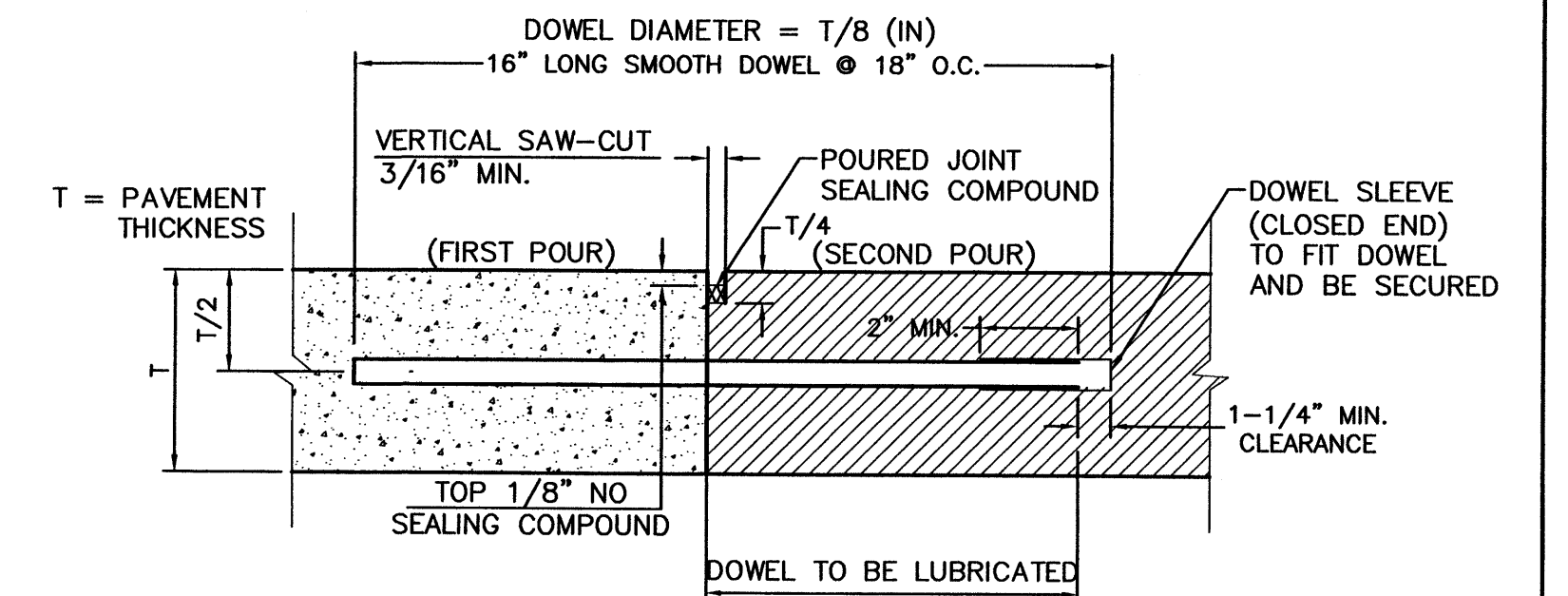


NOTE: 1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT

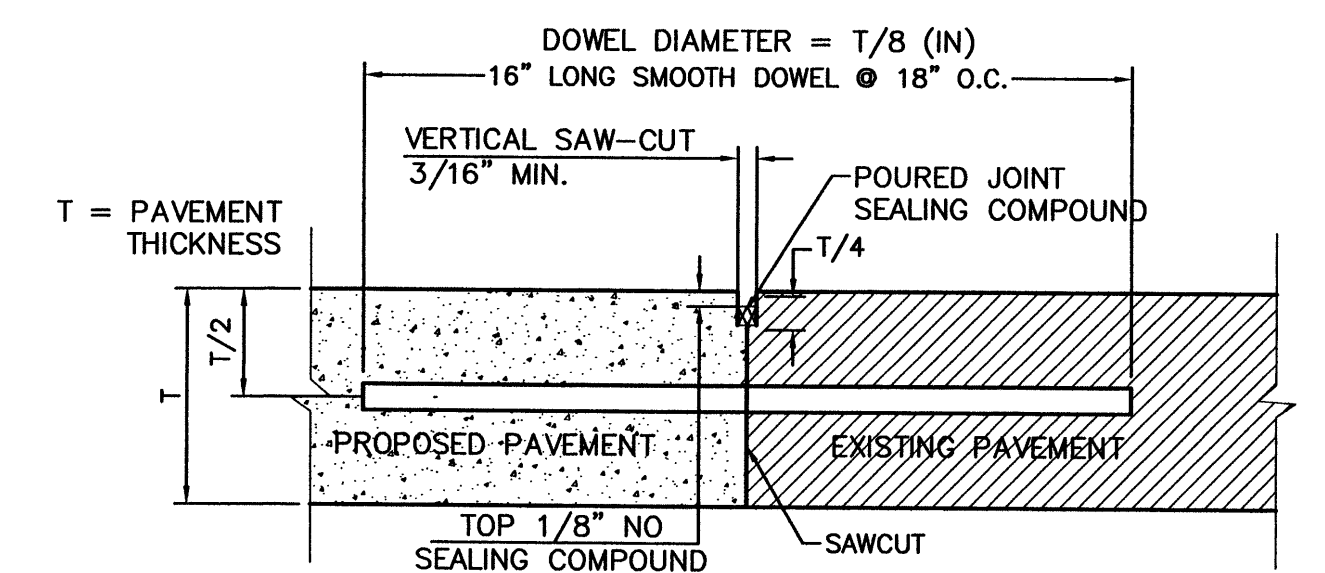


CONTRACTION JOINT



NOTE: 1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

CONSTRUCTION JOINT

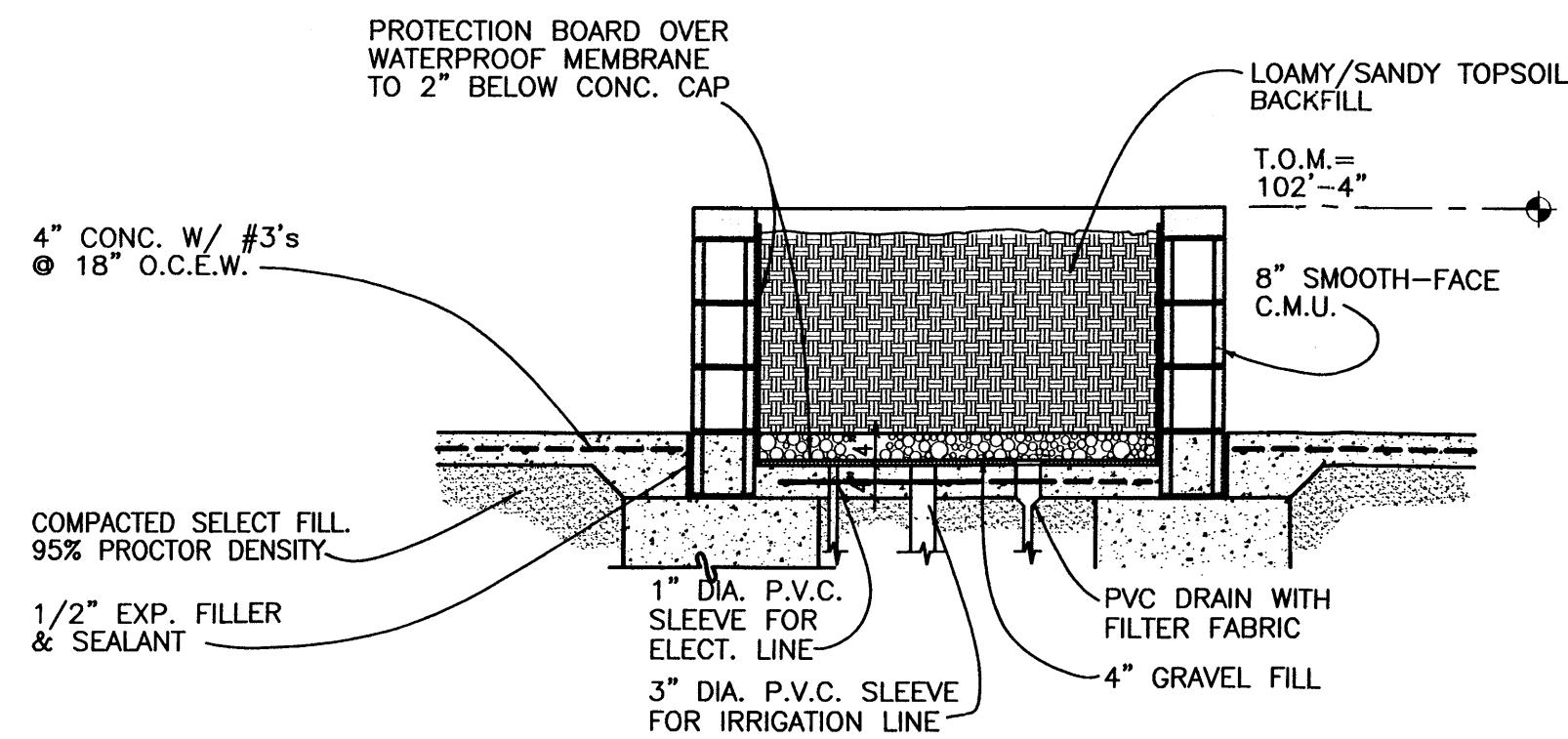


NOTE: 1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG. 2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT

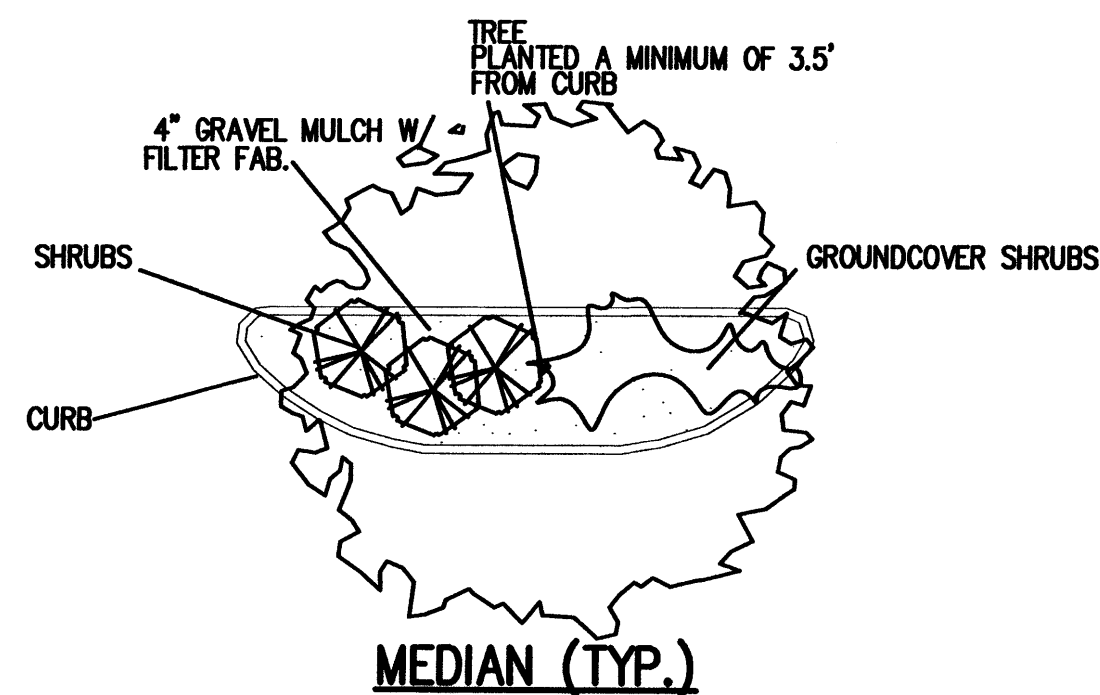
CONCRETE JOINT DETAILS

NTS

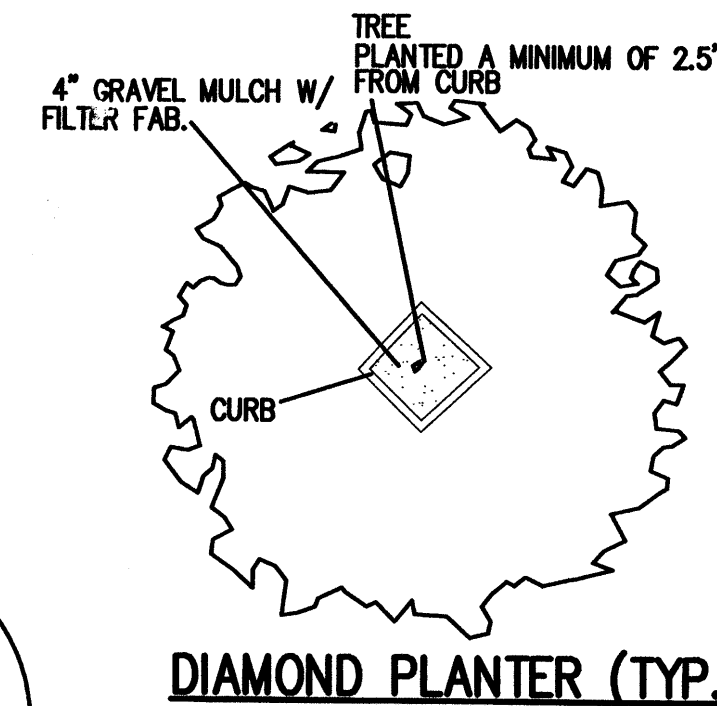


STORE FRONT TREE PLANTER DETAIL

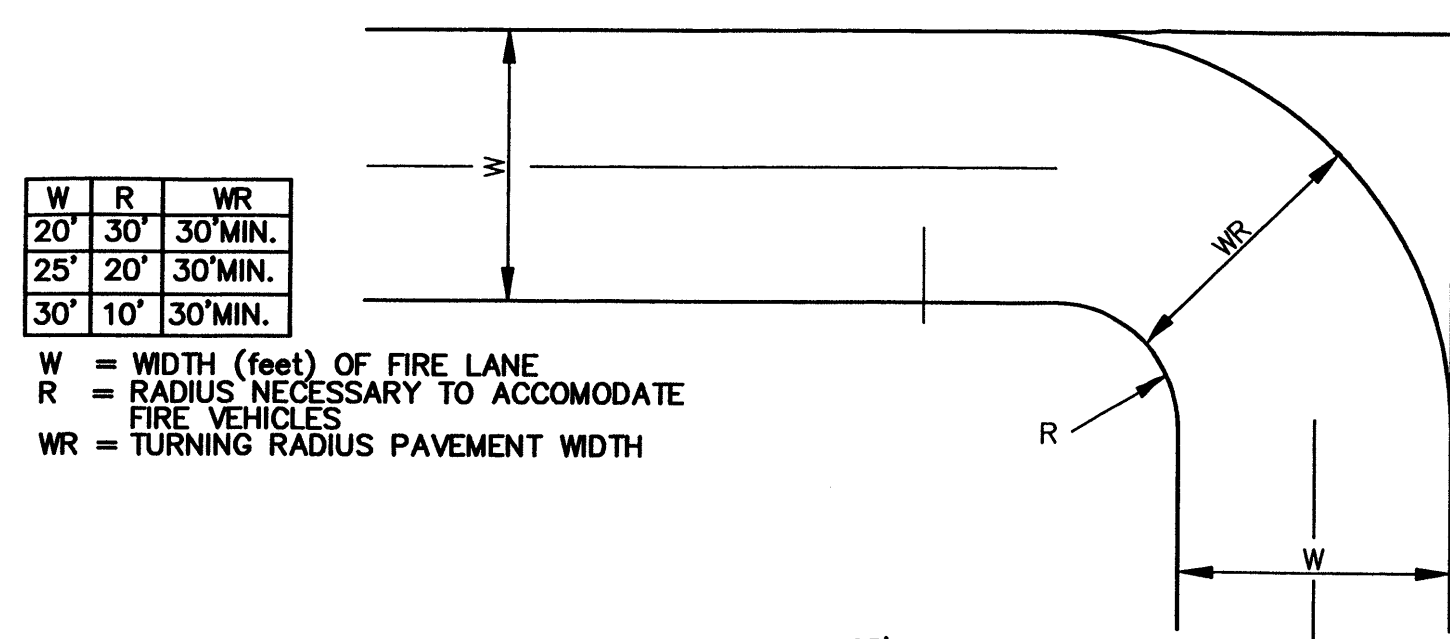
SCALE: NTS



MEDIAN (TYP.)



DIAMOND PLANTER (TYP.)



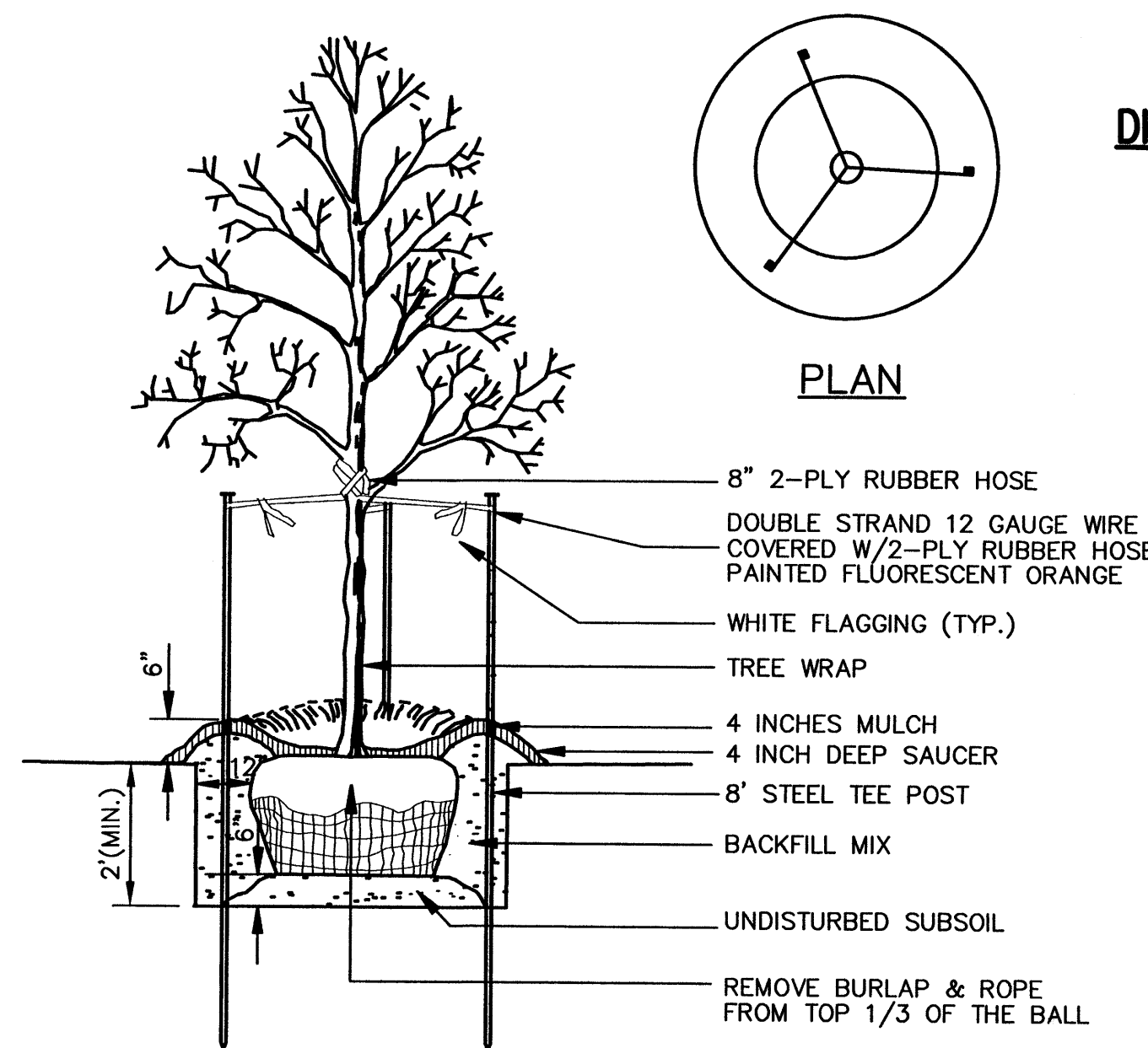
NO PARKING FIRE LANE

FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE". STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES.

NO PARKING FIRE LANE

"NO PARKING FIRE LANE" STRIPING ALONG FACE OF CURB

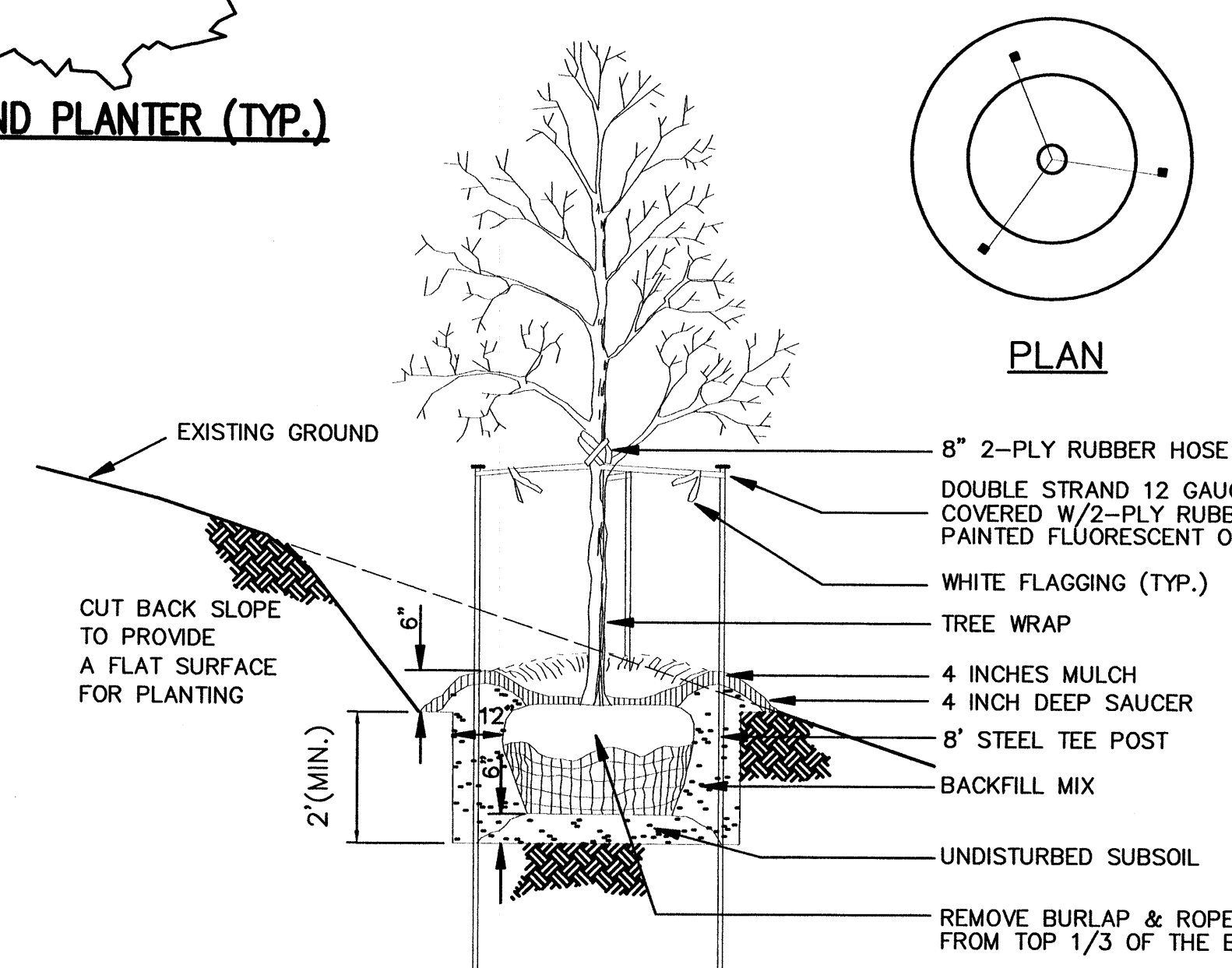
SCALE: NTS



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING

SCALE: NTS

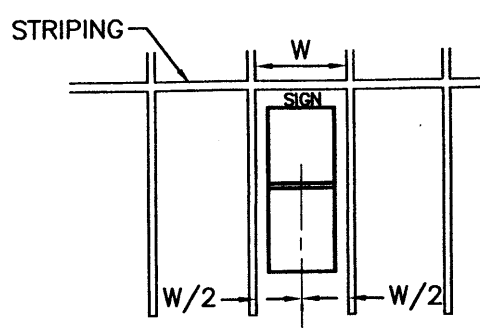


NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING ON SLOPE

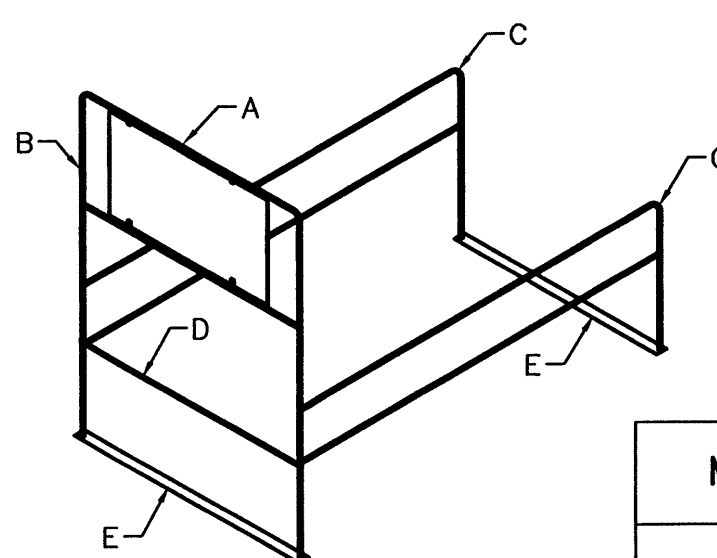
SCALE: NTS

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	
DRAWN BY BDG		DATE 12/09/02	
DETAILS1.DWG		SHEET # 9	
RONALD R. BOHANNAN P.E. #7868		TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
JOB # 21075			



TOOLS REQUIRED
 9" BOX WRENCH AND/OR SOCKET.
 HAMMER

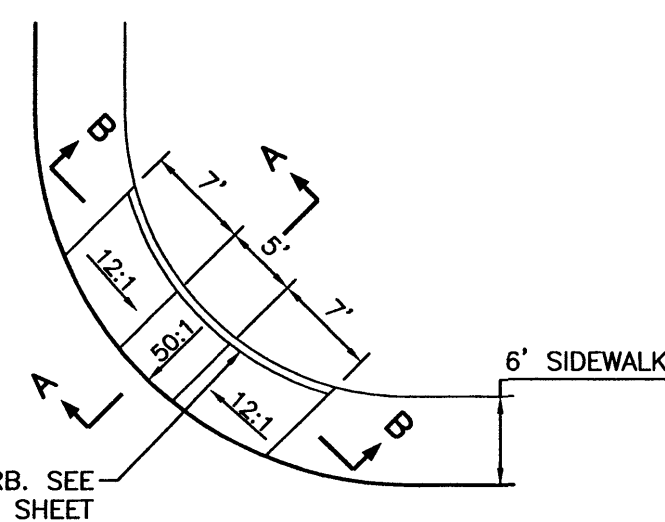
- INSTALLATION INSTRUCTIONS:**
1. Select level area in parking lot.
 2. Lay bottom plates (E) approx. 15' apart parallel.
 3. Attach side rails (C) to bottom plates (E). A tap with hammer may be required.
 4. Attach stop bar (D) to inside of rail (C) with 6" bolt and lock nut (F).
 5. Mount (B) into side rails (C) by sleeving the wedged pieces together. A slight tap may be required.
 6. Mount cart corral sign (A) 8' from finish grade.



NOTE: CART CORRALS WILL BE PROVIDED BY WAL-MART, PER SPECIFICATIONS. TO BE ASSEMBLED AND INSTALLED BY THE CONTRACTOR.

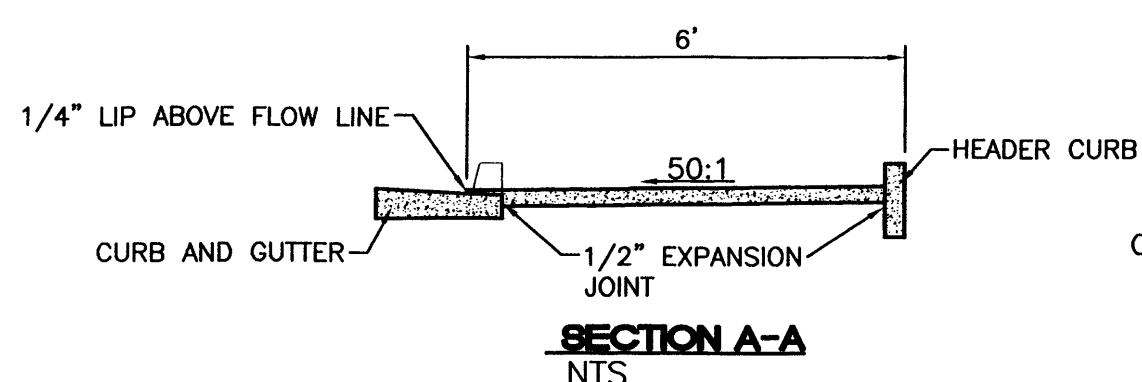
MODEL	DESCRIPTION	DIMENSIONS	APPX. CAP.	WEIGHT
102	2-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	60"W x 10'D x 8'H	20 CARTS	150#
103	1-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	36"W x 10'D x 8'H	10 CARTS	152#
104	3-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	80"W x 10'D x 8'H	45 CARTS	250#

SINGLE CART CORRAL DETAIL
 NTS

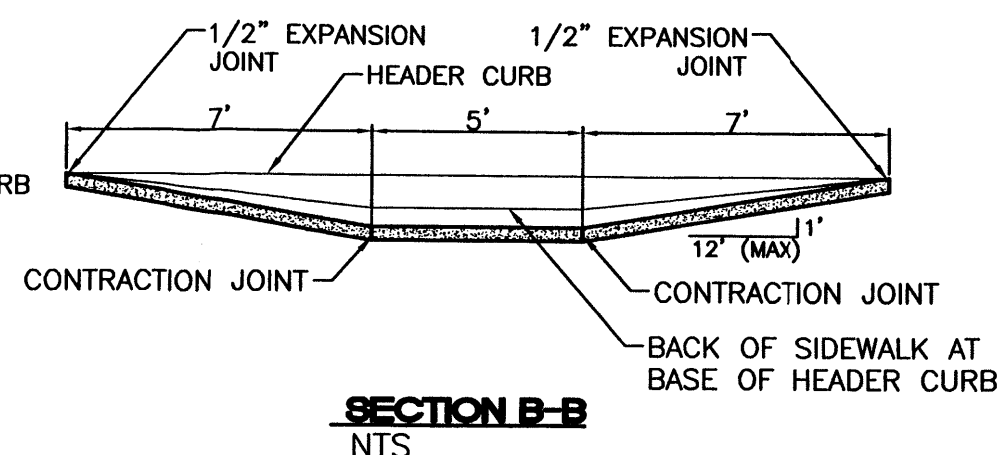


WHEEL CHAIR RAMP DETAIL (TYP.)
 NTS

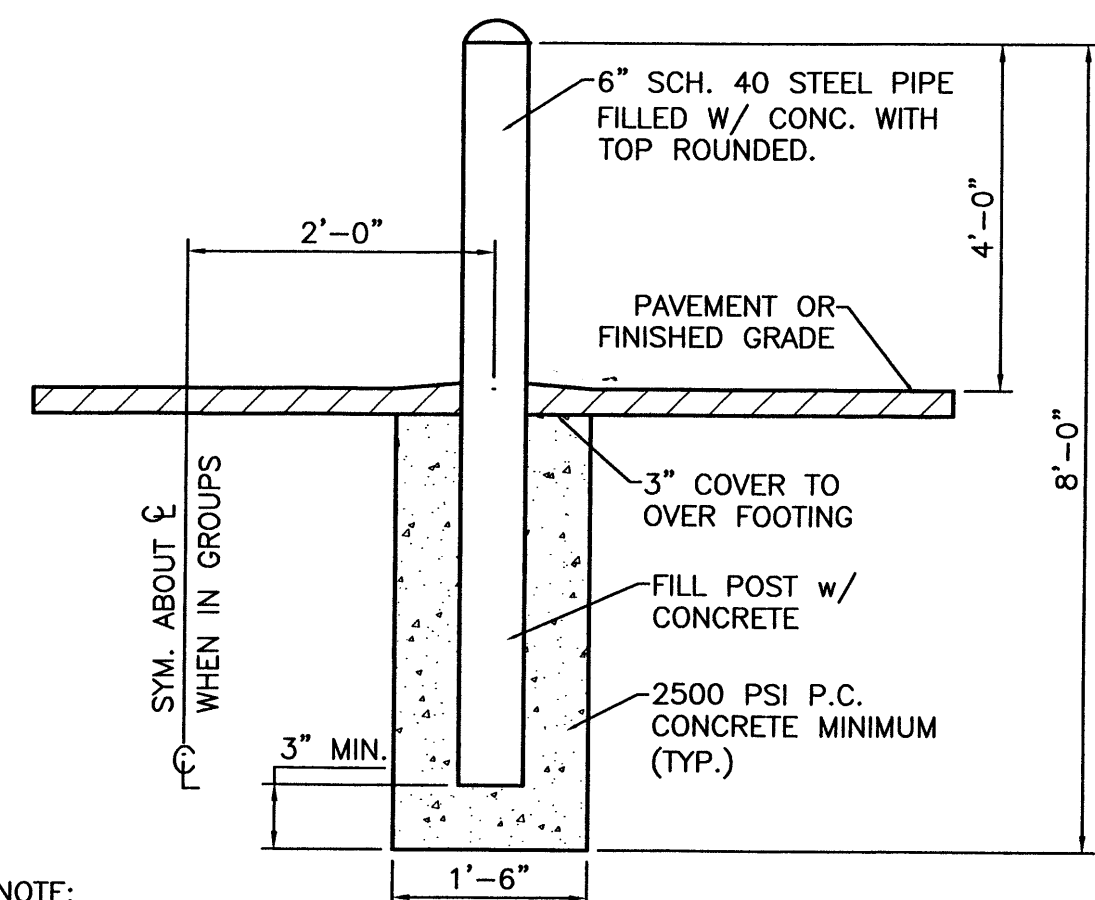
- GENERAL NOTES:**
1. SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING, TRANSVERSE TO THE SLOPE OF THE RAMP.
 2. GUTTER FLOW LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
 3. CONSTRUCT PER A.D.A. STANDARDS.



SECTION A-A
 NTS

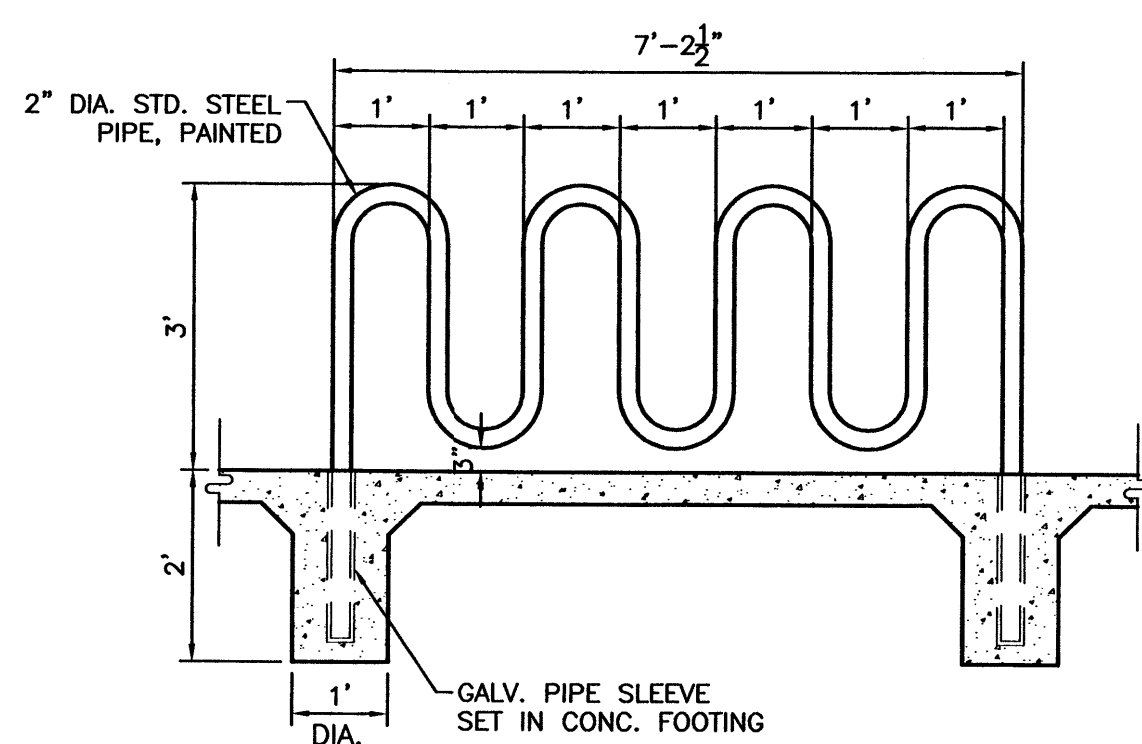


SECTION B-B
 NTS

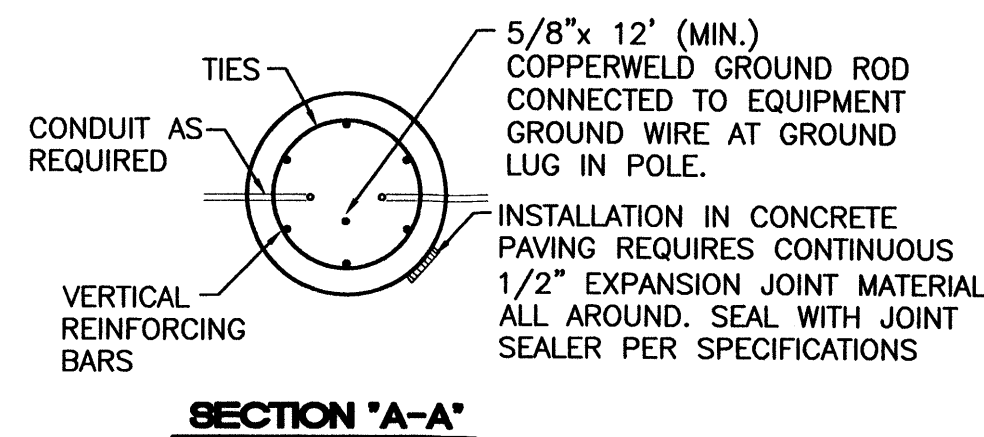


NOTE: ALL PIPES SHALL BE PAINTED TRAFFIC RED

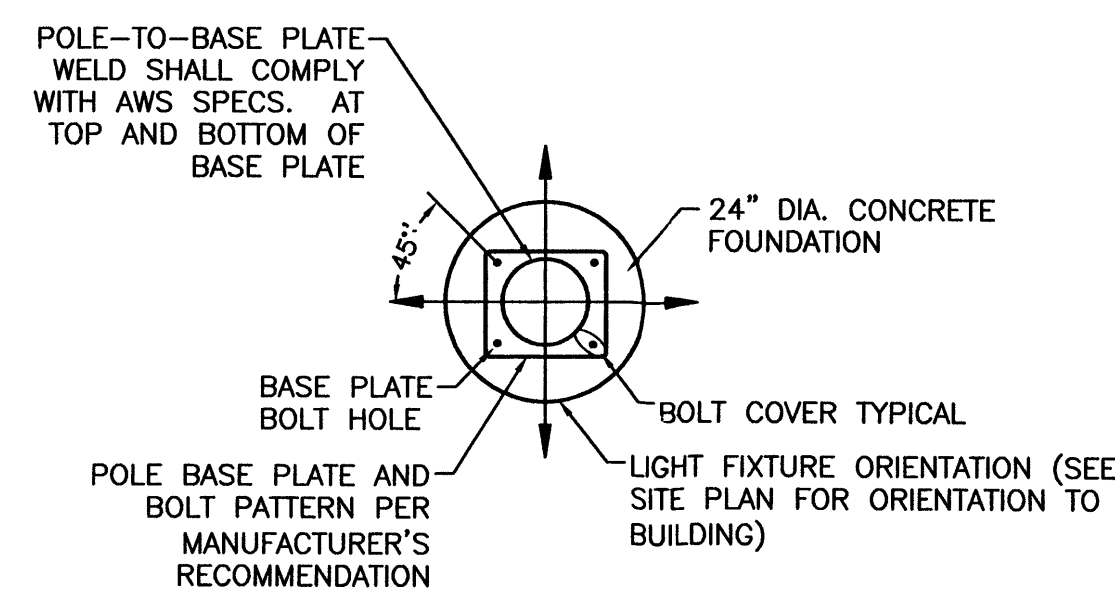
BOLLARD DETAIL
 SCALE: NTS



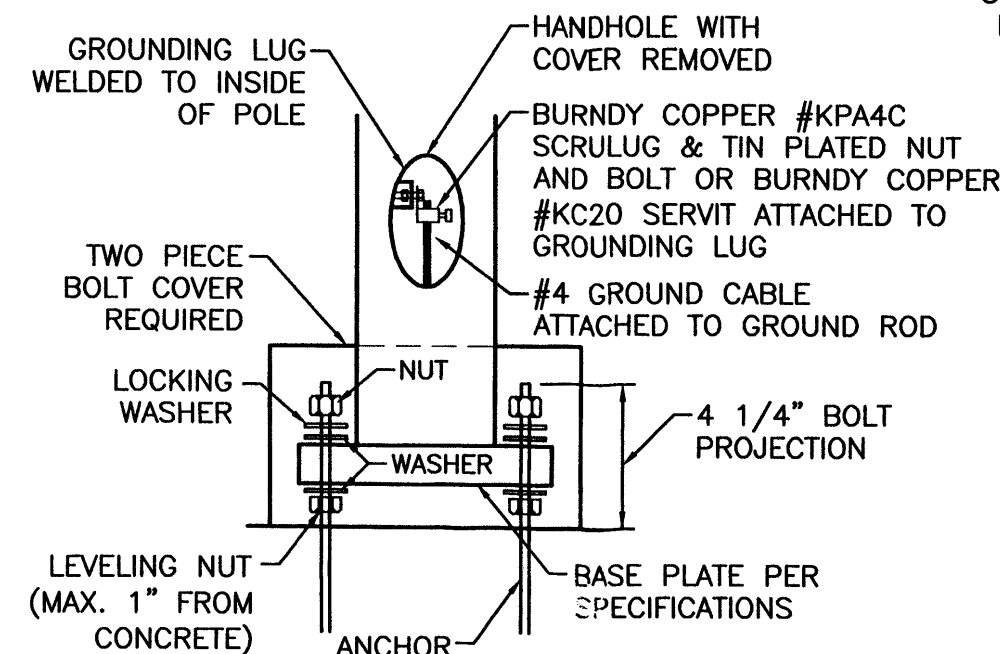
BIKE RACK DETAIL
 SCALE: 1/2"=1'



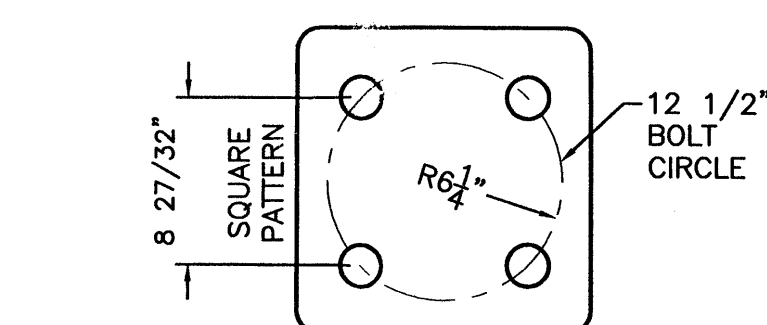
SECTION A-A



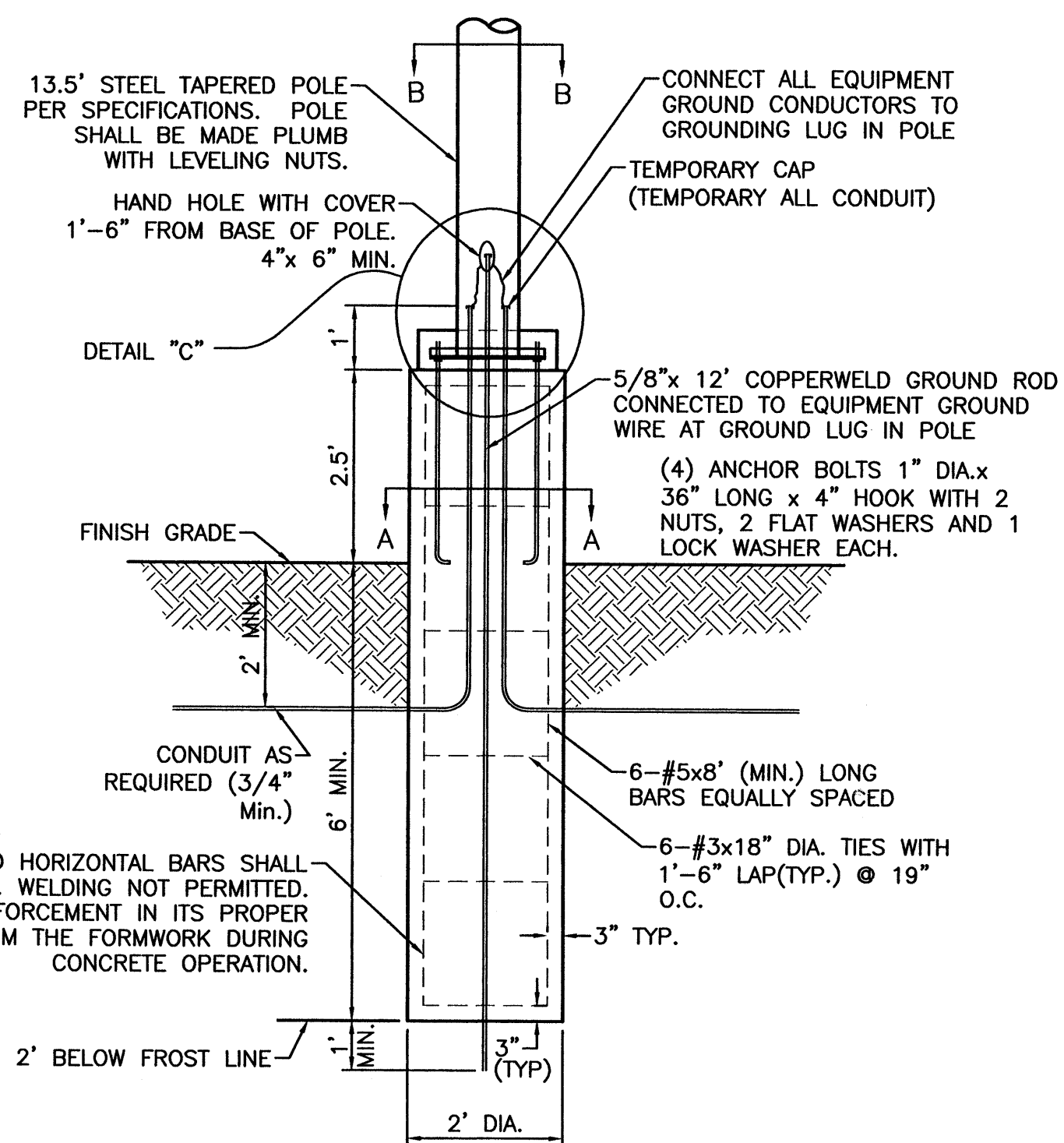
SECTION B-B



DETAIL C

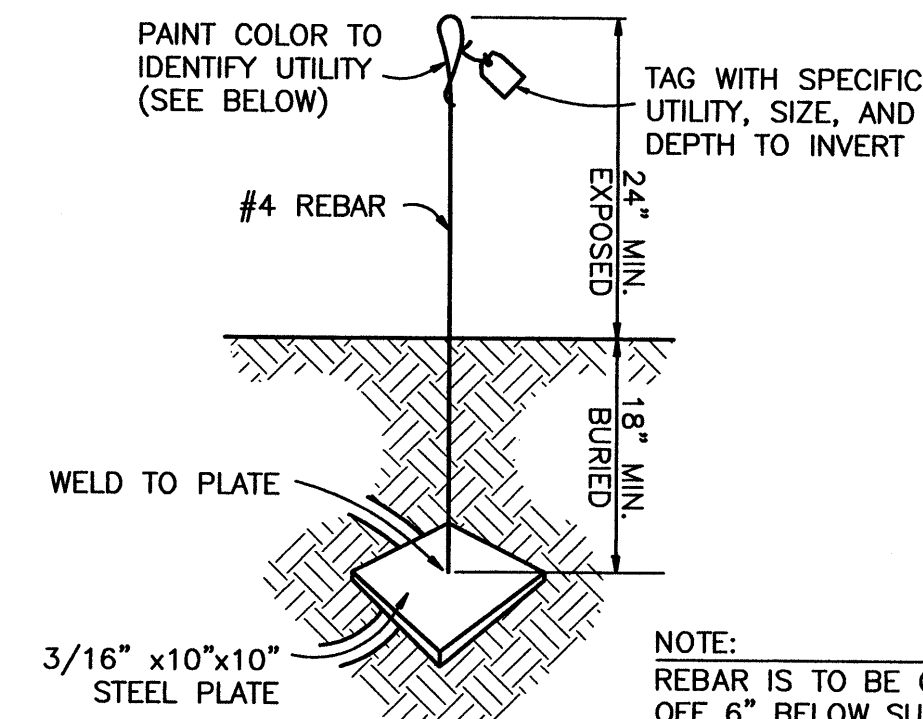


TYPICAL ANCHOR BOLT SPACING



TYPICAL LIGHTING POLE BASE DETAIL
 NTS

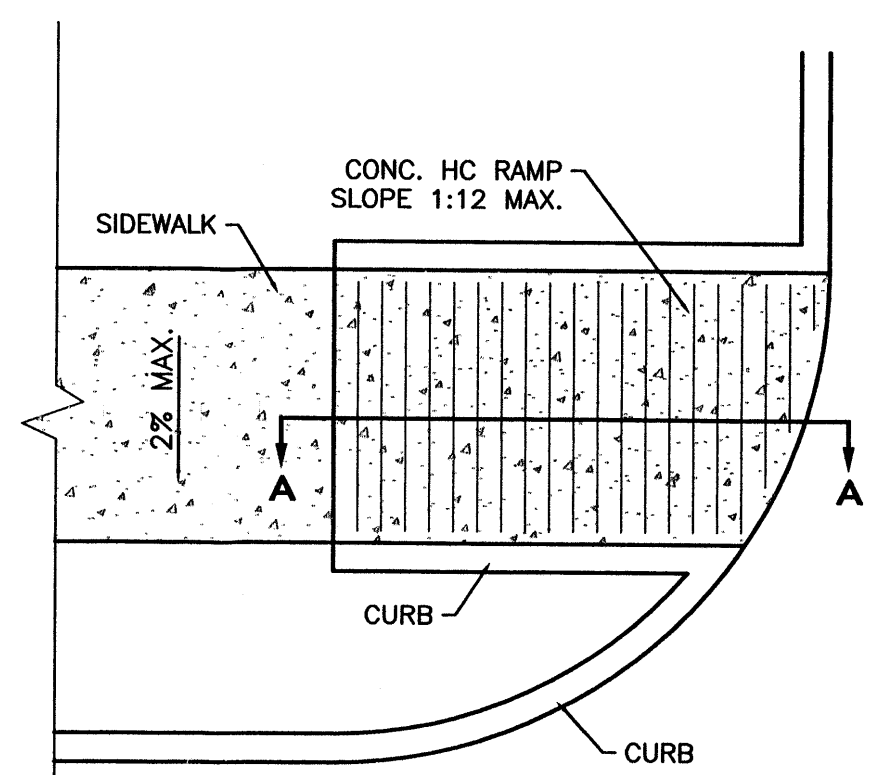
- NOTES:**
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL
 2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
 3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
 4. FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
 5. FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
 6. FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
 7. EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW.
 8. DETAIL FOR 39' POLE WITH MAX. FIXTURE EPA 4.6 SQ.FT.



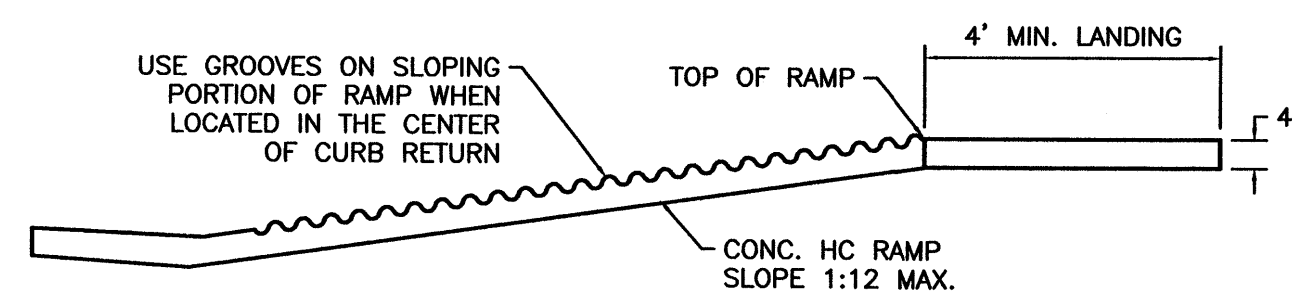
USE AT CAPPED END OF ALL UTILITY SERVICE CONNECTIONS TO/FROM SAM'S CLUB, WAL-MART STORES & SUPERCENTERS

UTILITY	COLOR
SEWER	GREEN
WATER	BLUE
STORM DRAIN	WHITE
ELECTRICAL	RED
GAS	YELLOW
TELCO/CATV	ORANGE
FUTURE SITE LIGHTING	PINK
FIBER OPTIC (GAS STATION)	PURPLE

TYPICAL UTILITY MARKER



PLAN

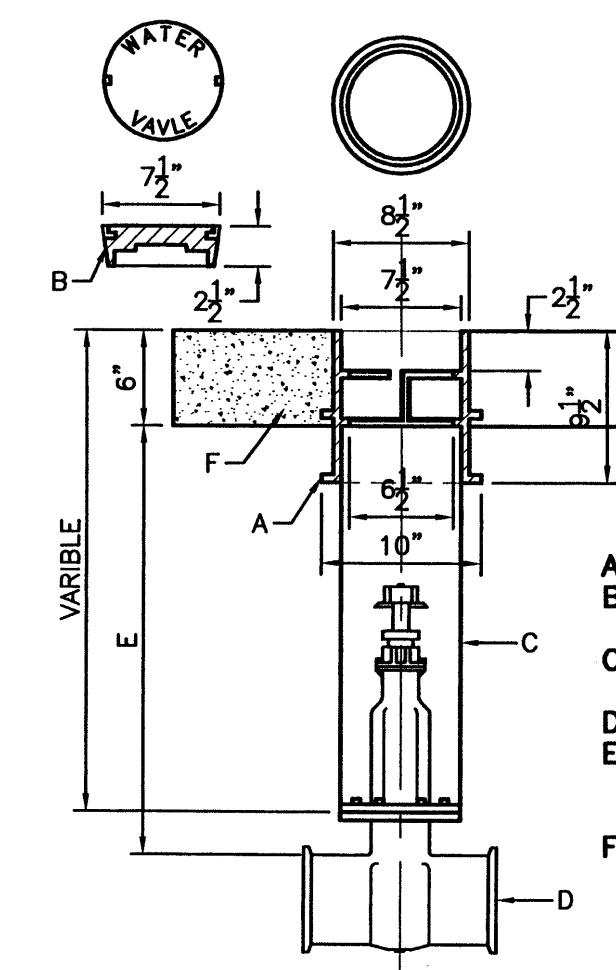


SECTION A-A

UNIDIRECTIONAL HC RAMP
 SCALE: NTS

NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



GATE VALVE DETAIL
 NTS

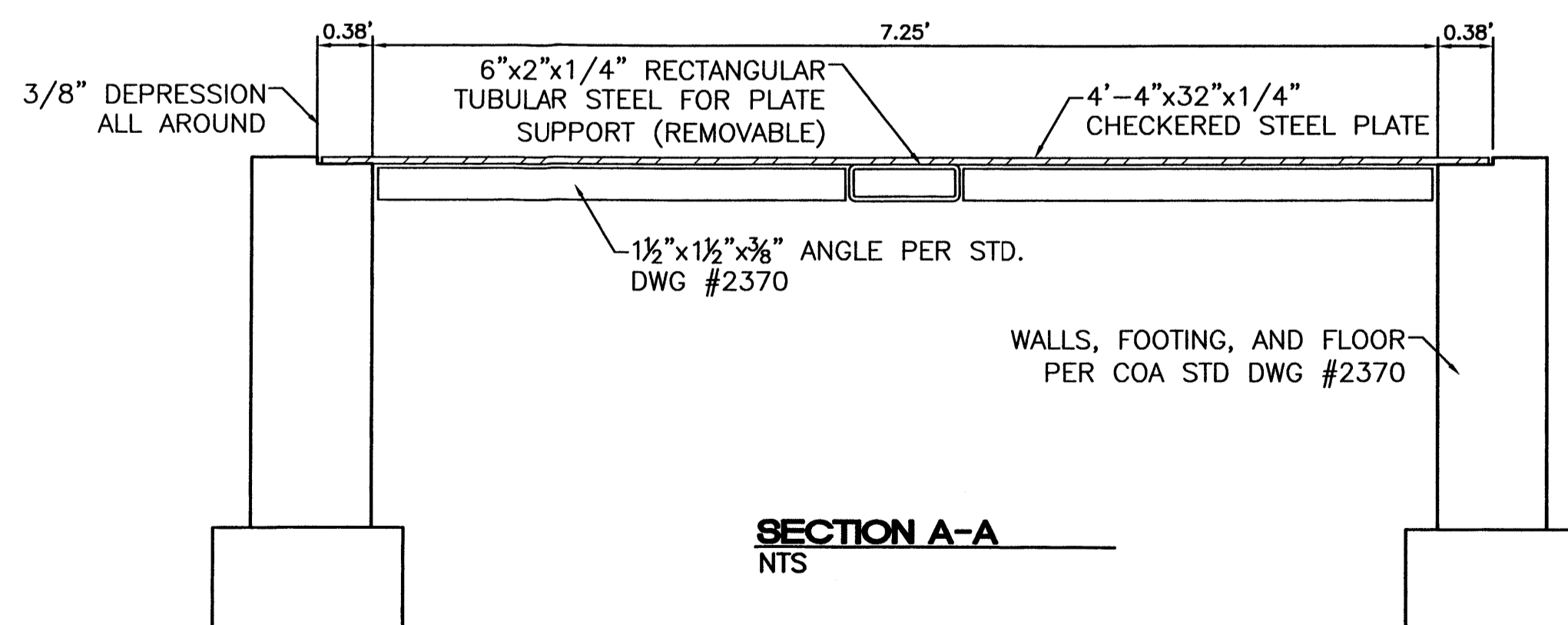
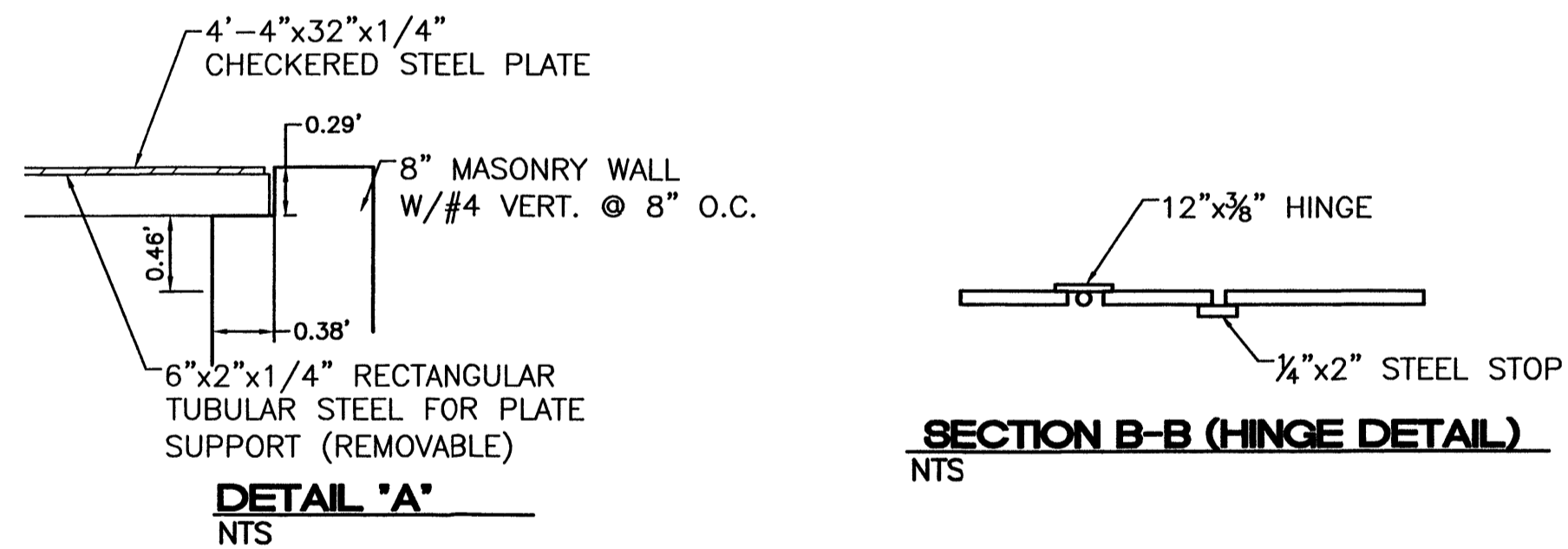
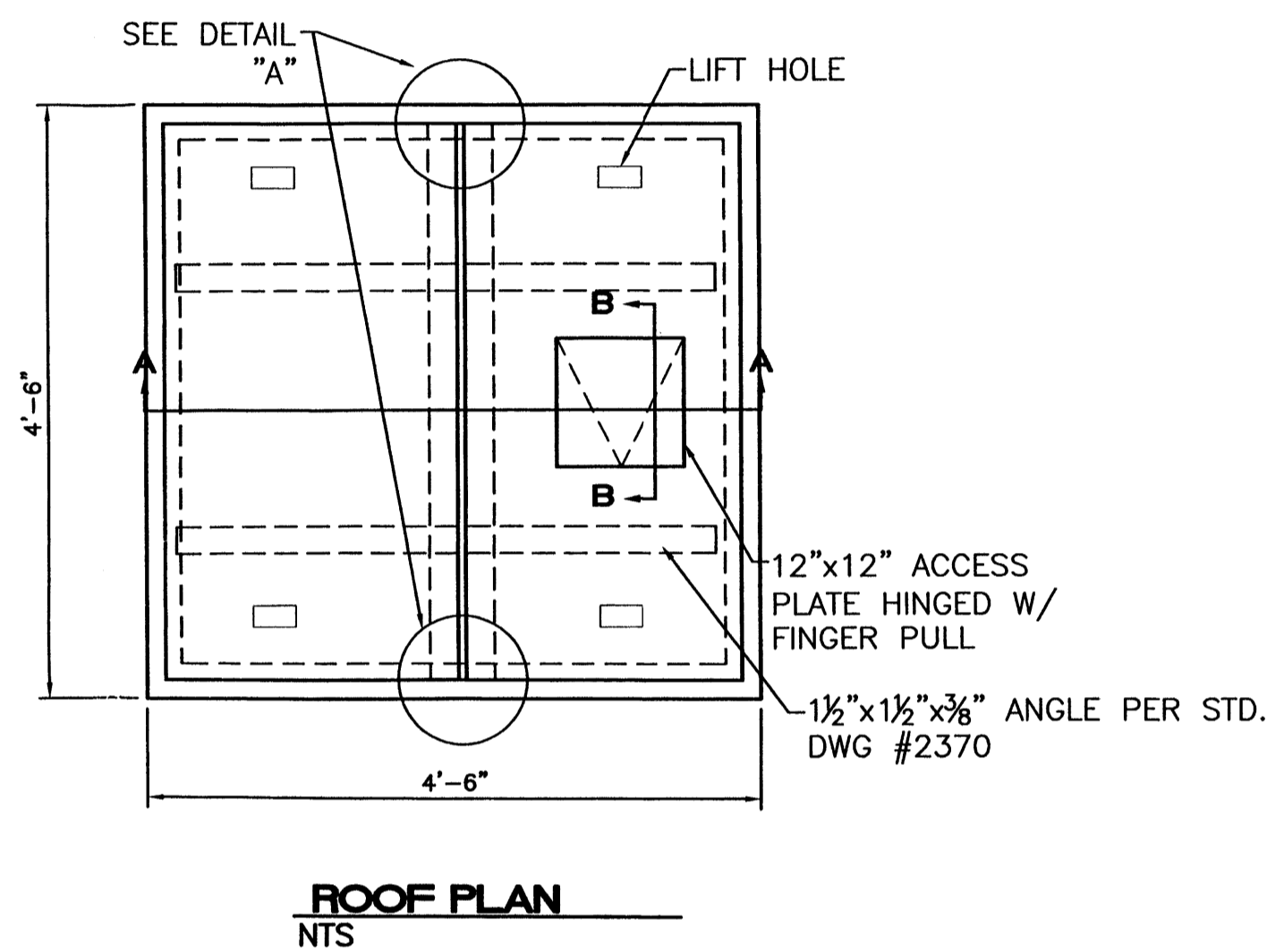
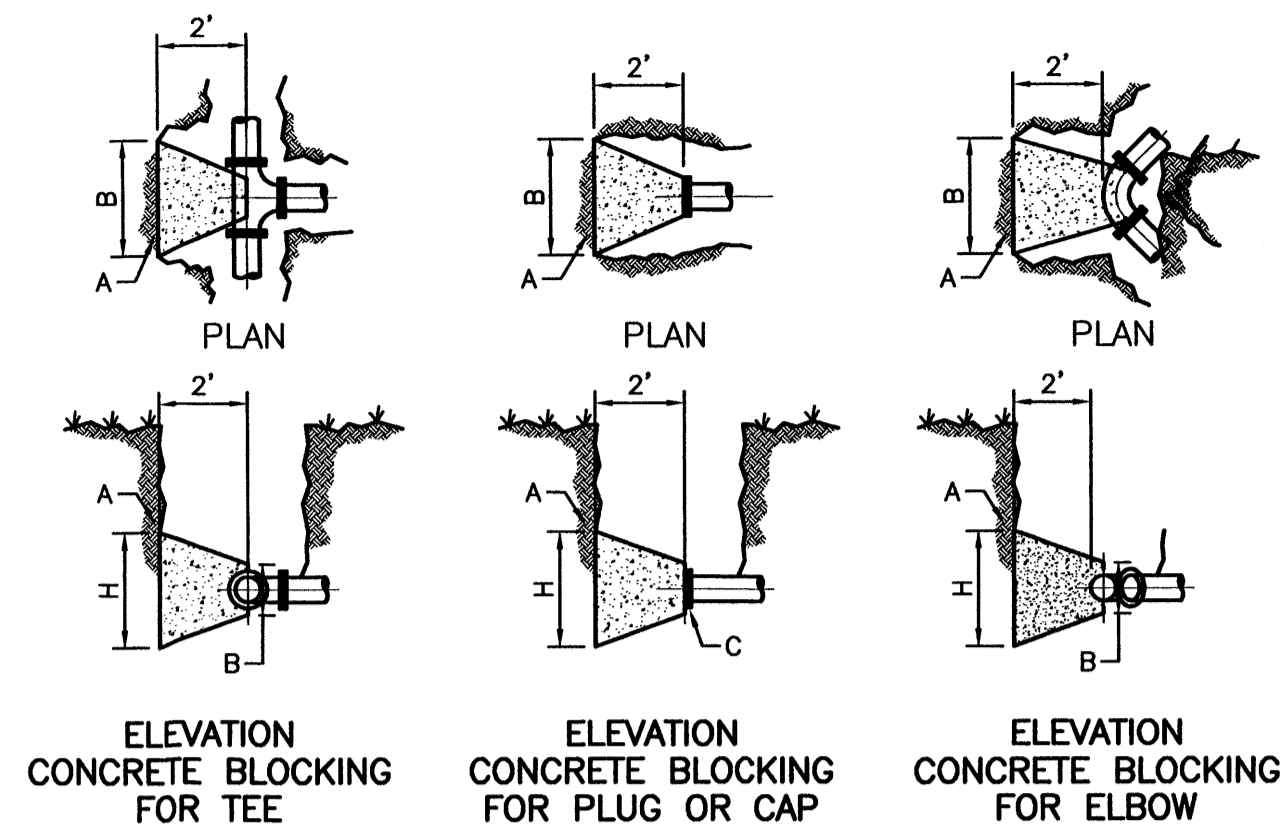
- CONSTRUCTION NOTES:**
- A. CAST VALVE BOX.
 - B. VALVE BOX LID (LOCKING LID OPTIONAL).
 - C. 6" PVC C-900 PIPE (LENGTH VARIES)
 - D. NEW OR EXISTING VALVE
 - E. COMPACTED BACKFILL SOIL OR BASE COURSE MATERIAL (95% COMPACTION).
 - F. CONCRETE COLLAR (2'x2'x6") TO BE TAPPED IN UNPAVED ROADWAYS.

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	
DRAWN BY BDG		DATE 12/09/02	
DETAILS1.DWG		SHEET # 10	
		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
RONALD R. BOHANNAN P.E. #7868		JOB # 21075	

PIPE SIZE	ELBOW ANGLE	ELBOW (B) DIM.	ELBOW (H) DIM.	TEE OR PLUG (B) DIM.	TEE OR PLUG (H) DIM.
4"	90°,45°	2'	2'	2'	2'
4"	22.5°,11.25°	2'	2'		
6"	90°,45°	2'	2'	2'	2'
6"	22.5°,11.25°	2'	2'		
8"	90°	3'	3'	3'	3'
8"	45°	2'	2'		
8"	22.5°,11.25°	2'	2'		
10"	90°	3'-6"	3'-6"	3'	3'
10"	45°	3'	3'		
10"	22.5°,11.25°	2'	2'		
12"	90°	4'	4'	3'-6"	3'-6"
12"	45°	3'-6"	3'-6"		
12"	22.5°,11.25°	2'	2'		
14"	90°	5'	5'	4'	4'
14"	45°	3'-6"	3'-6"		
14"	22.5°,11.25°	3'	3'		

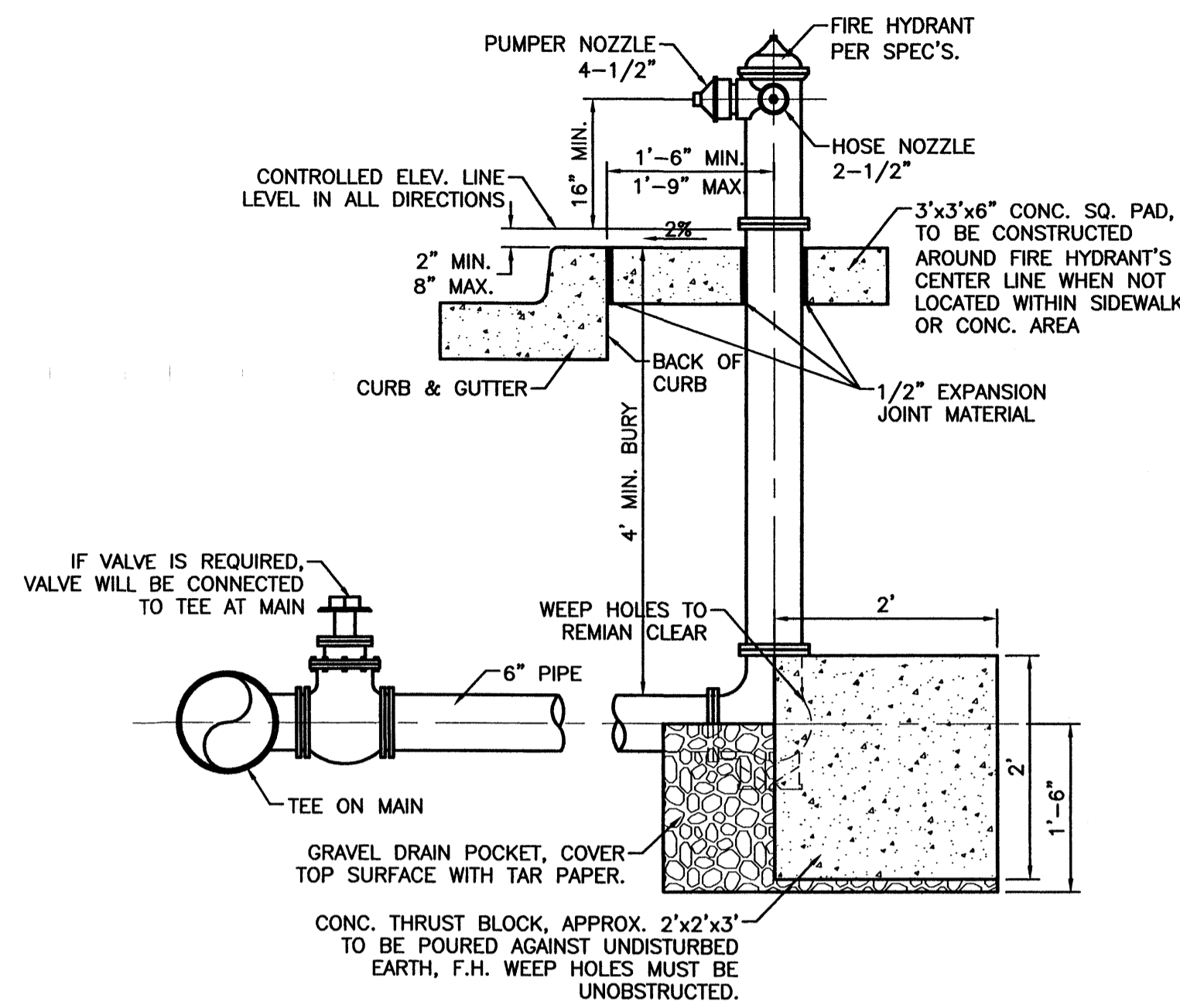
CONSTRUCTION NOTE:
A. UNDISTURBED EARTH
B. O.D. OF PIPE +6"
C. O.D. OF CAP OR PLUG, MIN. 12"x12"

CONCRETE BLOCKING DESIGN
NTS PER COA STD DWG #2320

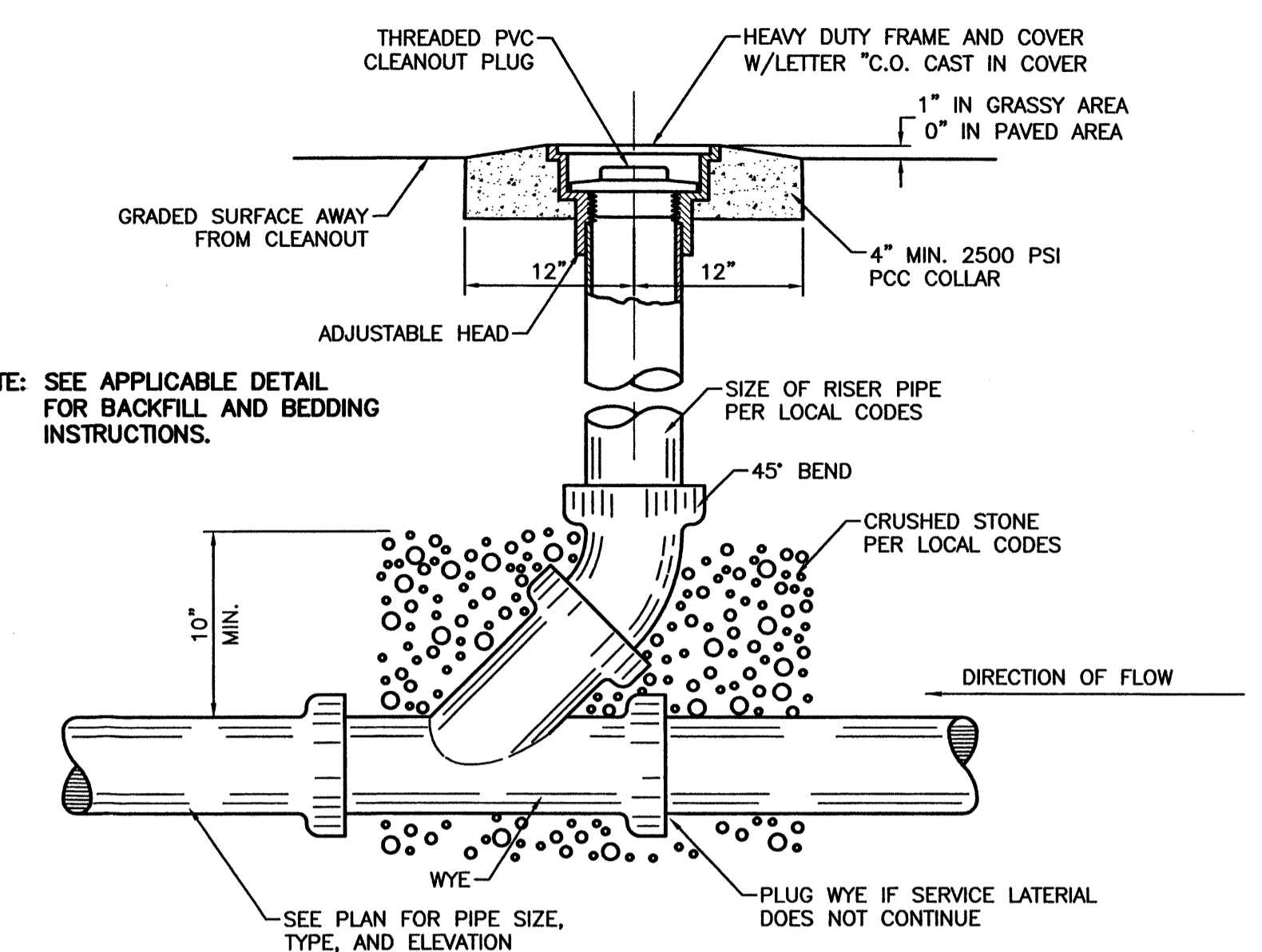


NOTE:
1. ALL EXPOSED STEEL WILL BE PAINTED WITH ONE SHOP COAT AND TWO FINISH COATS OF ALUMINUM PAINT (AASHTO M 69).
2. STEEL PLATE WILL HAVE A CHECKERED, NON-SKID PATTERN.
3. COMPRESSIVE STRENGTH FOR ALL CONCRETE SHALL BE 3000 PSI.

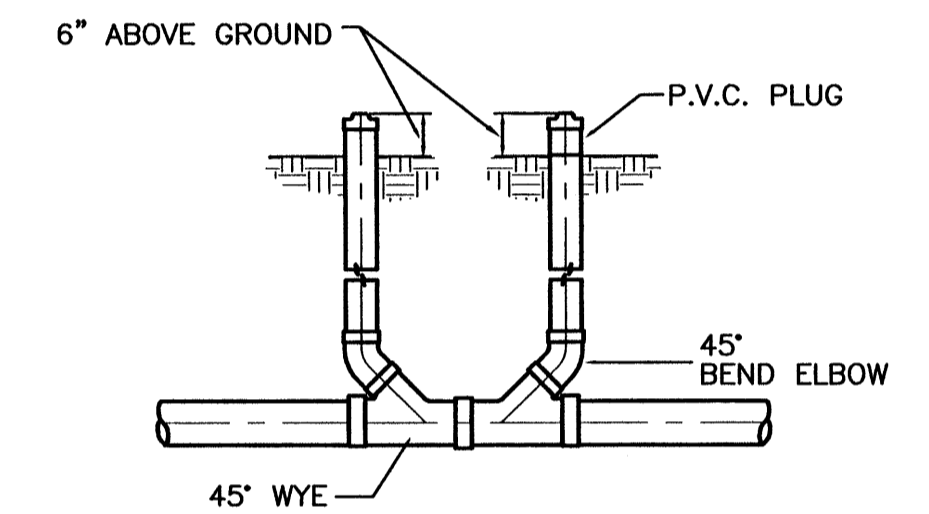
3' METER PIT DETAIL
NTS



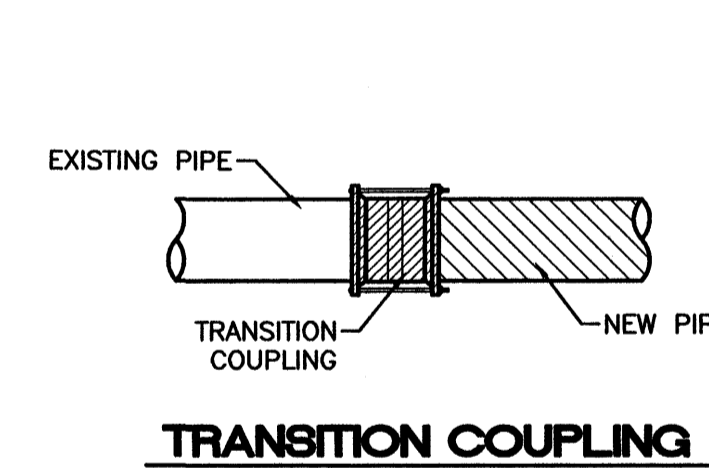
FIRE HYDRANT SETTING WITH BLOCKING DETAIL
SCALE: 3/4"=1' PER COA STD DWG #2340



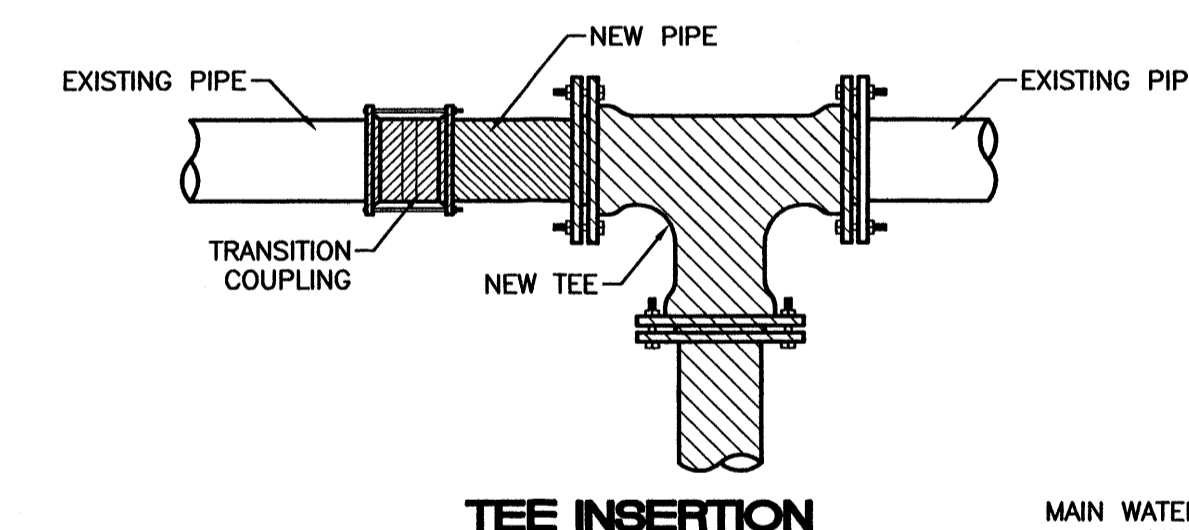
SANITARY SEWER CLEAN-OUT
NTS



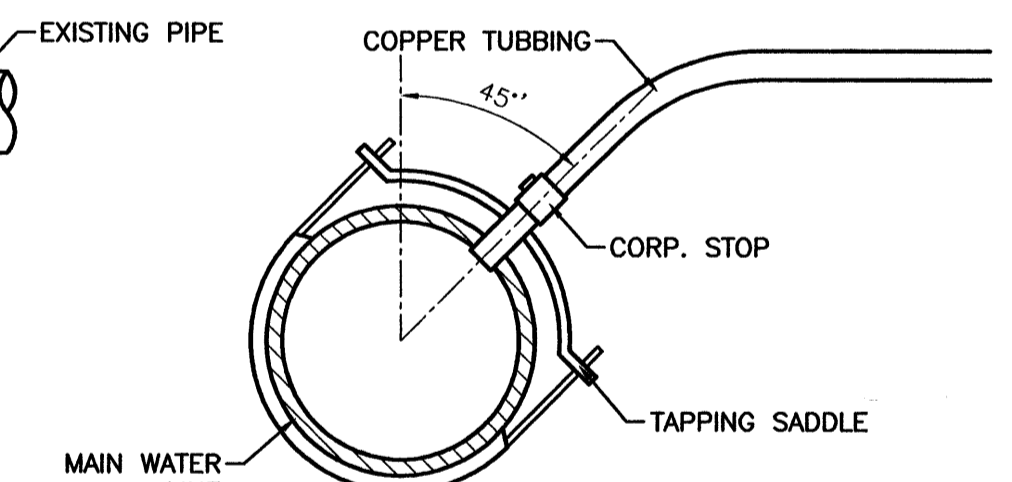
DOUBLE CLEAN-OUT
NTS



TRANSITION COUPLING



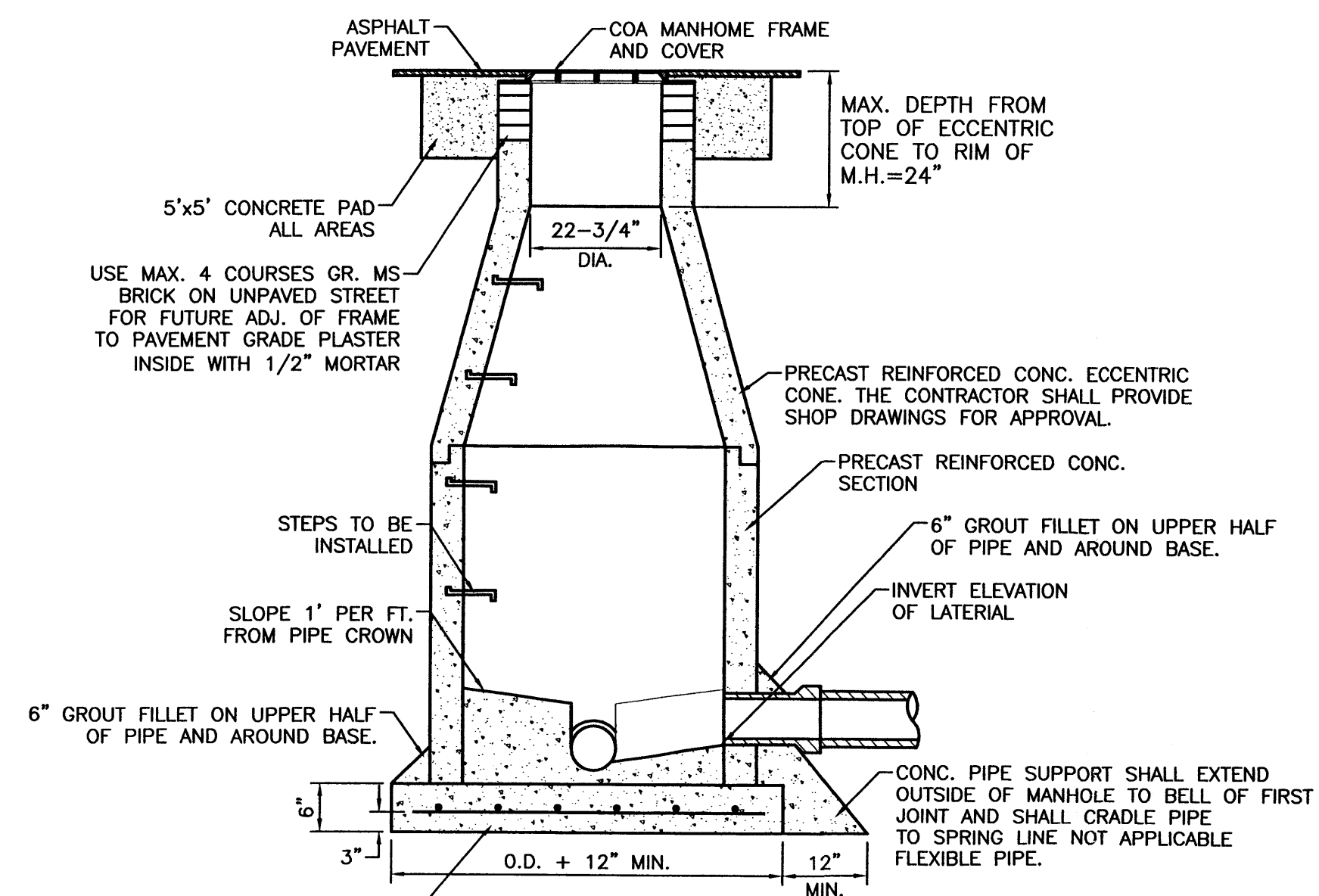
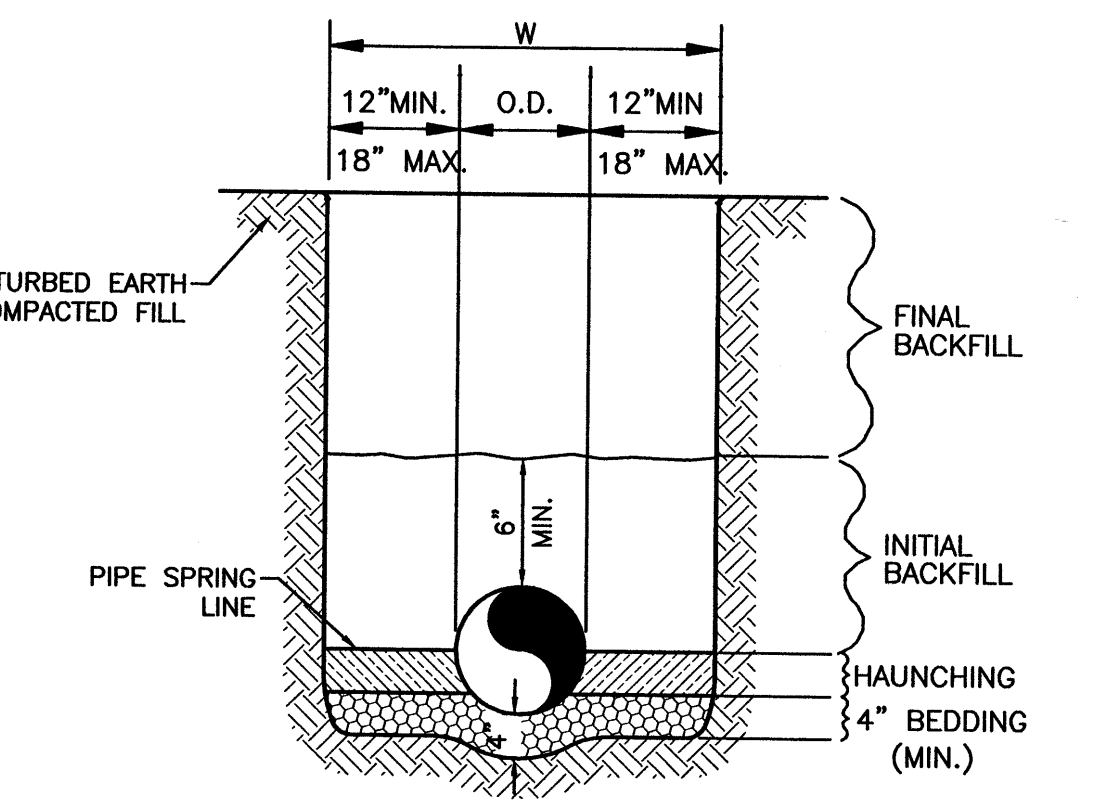
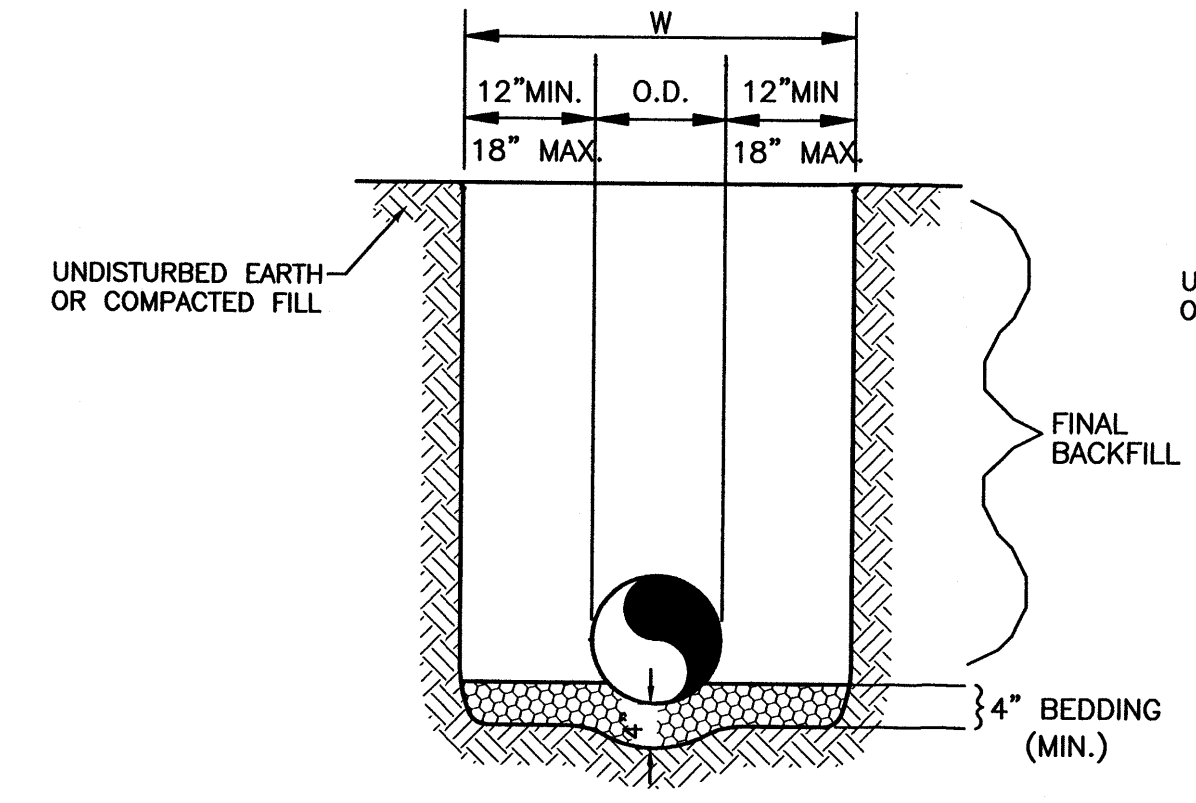
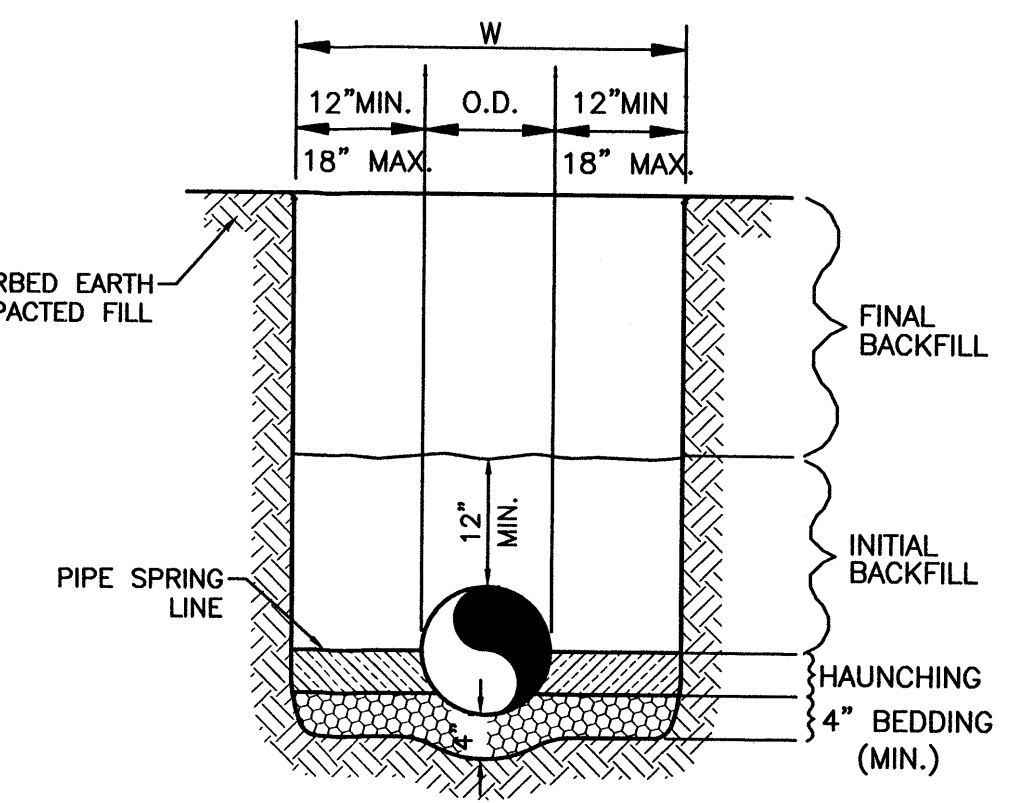
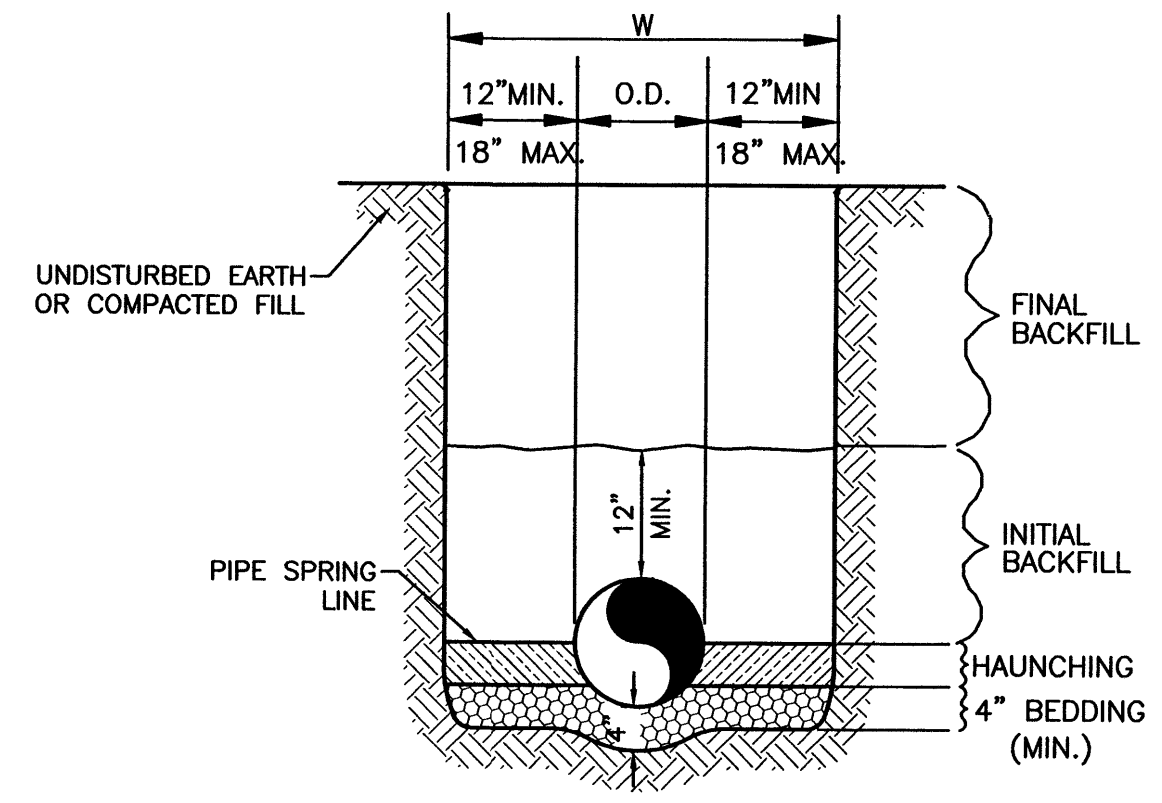
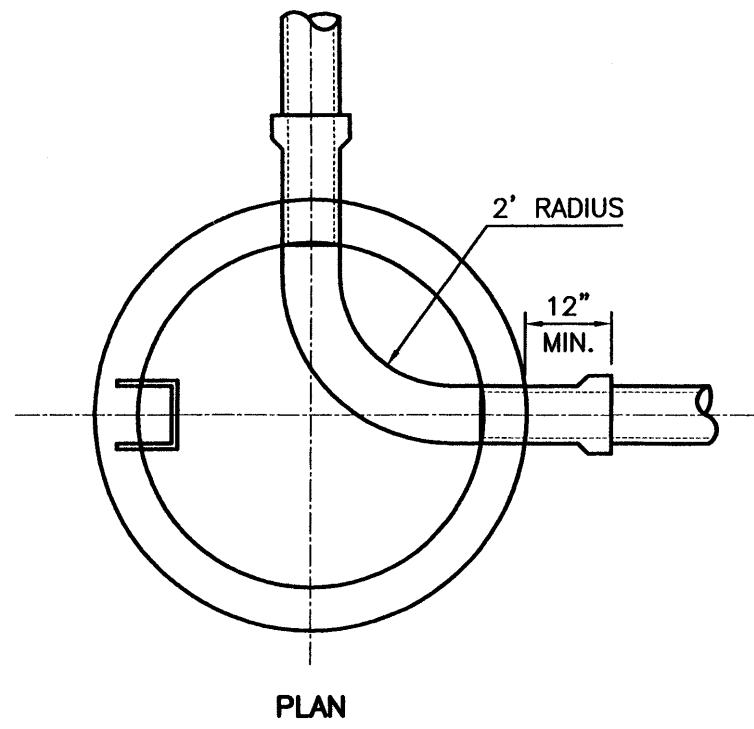
TEE INSERTION



SERVICE TAP CONNECTION

WATER CONNECTION DETAILS
NTS

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY BDG
		DATE 12/09/02	DETAILS1.DWG
		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
RONALD R. BOHANNAN P.E. #7868		SHEET #	11
		JOB #	21075



BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EA. WAY FOR MANHOLE DEPTH OF 16' OR GREATER NO. 4 BARS AT 12" O.C. EA. WAY FOR MANHOLE LESS THAN 16' DEEP.

NOTE:
 1. DETAIL IS THE SAME AS SHOWN IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS DRAWING NO. 2102.
 2. USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PIPE PENETRATIONS
 3. COMPACT ALL BACKFILL AROUND MANHOLES TO 95%.
 4. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

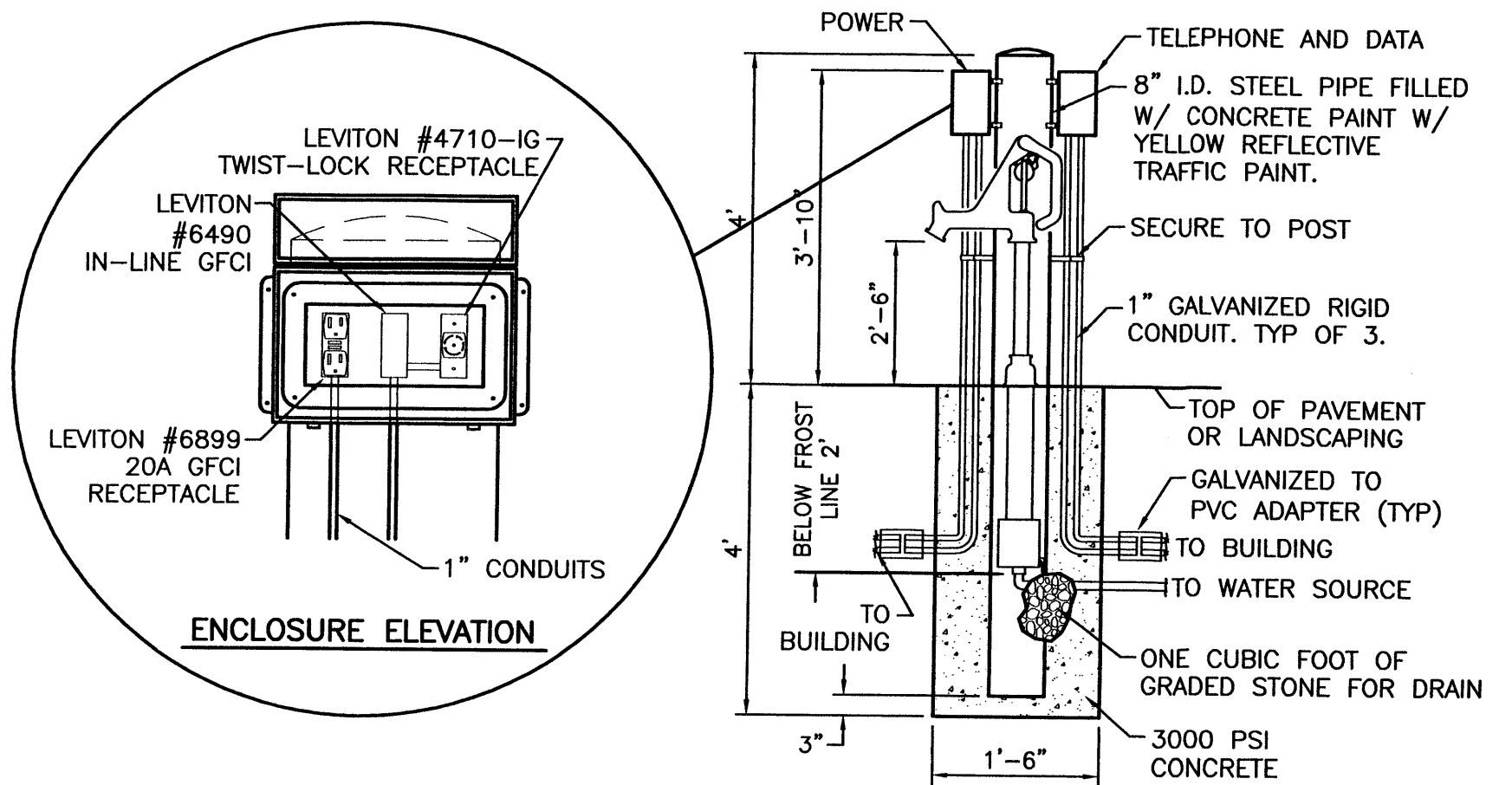
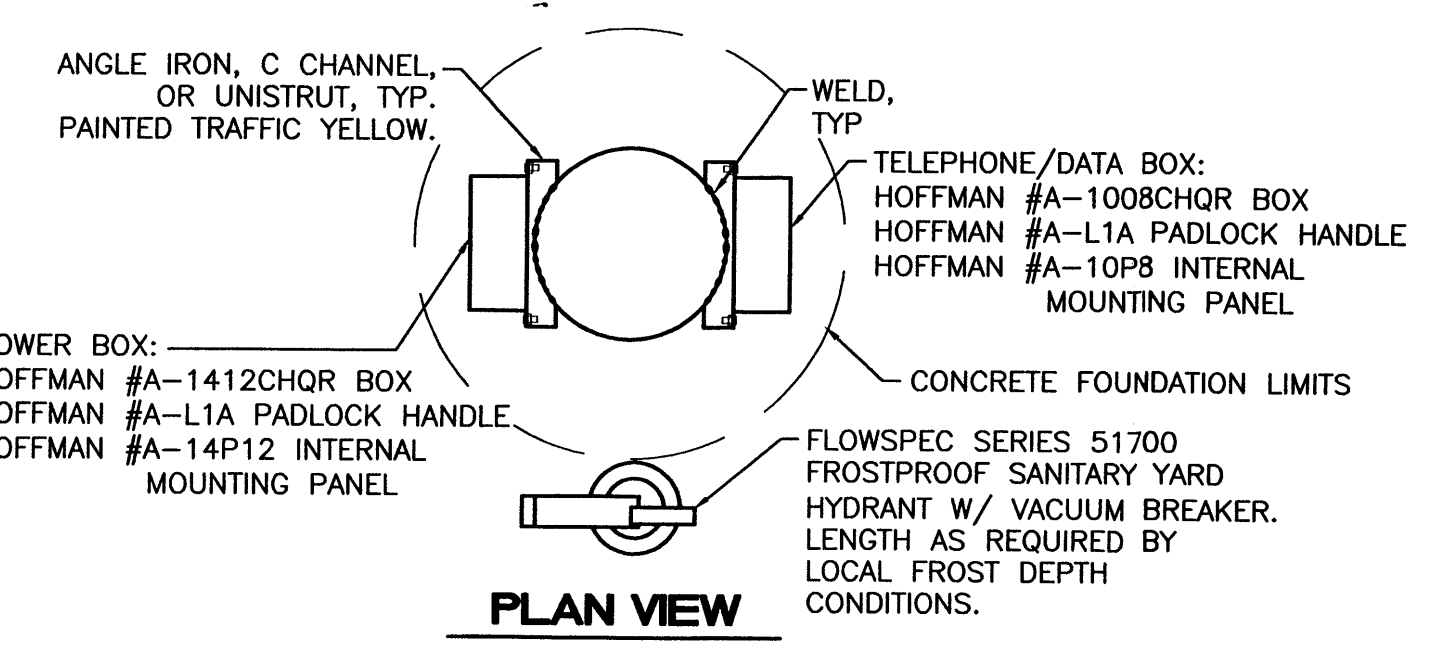
- GENERAL NOTES**
- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
 - HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
 - INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
 - INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
 - FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
 - FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
 - ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
 - ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
 - FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
 - ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

UTILITY TRENCH AND BEDDING DETAIL
NTS

- GENERAL NOTES**
- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
 - HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
 - INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
 - INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
 - FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
 - FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
 - ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-LATEST EDITION.
 - ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
 - FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
 - ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

STORM SEWER TRENCH AND BEDDING DETAIL
NTS

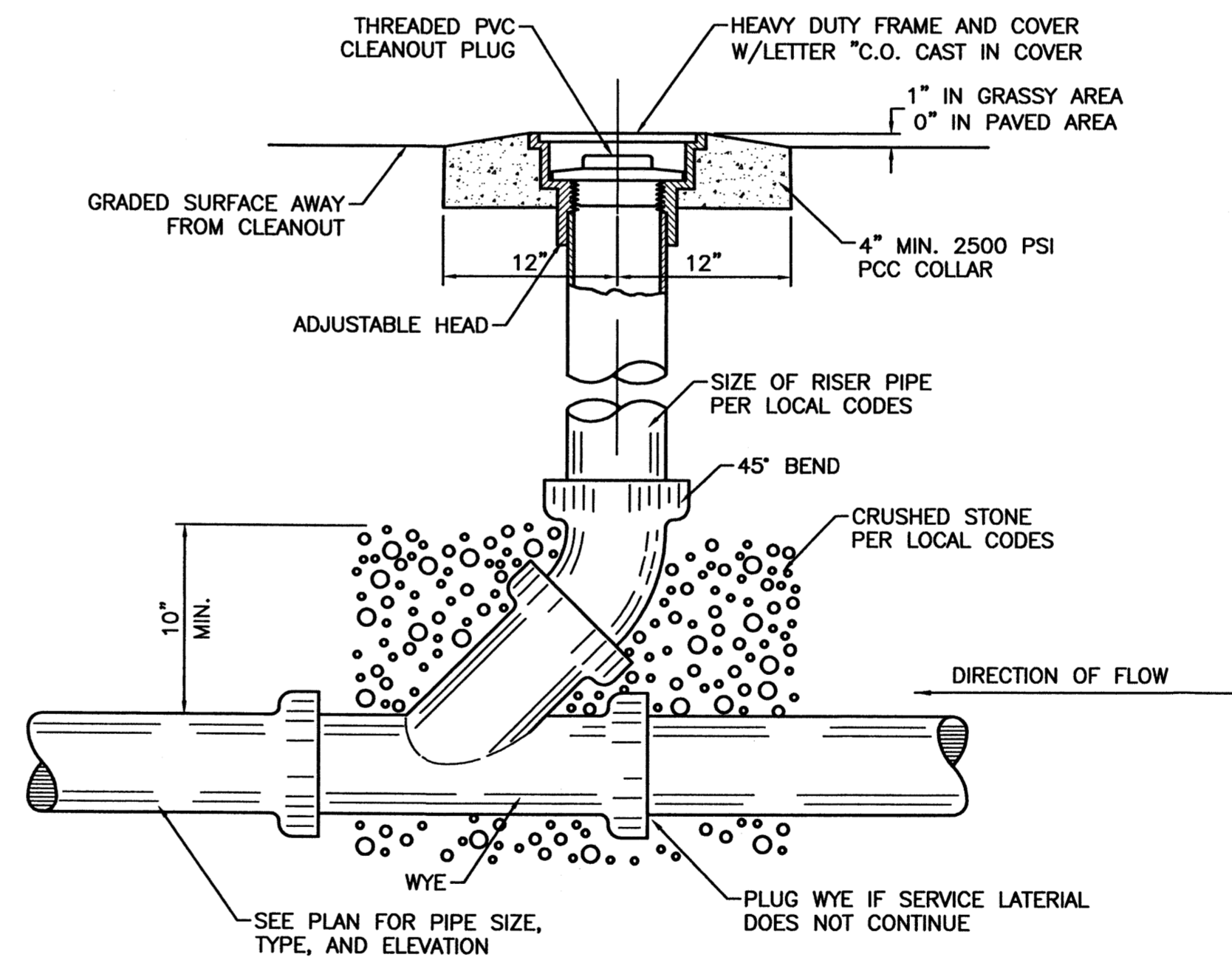
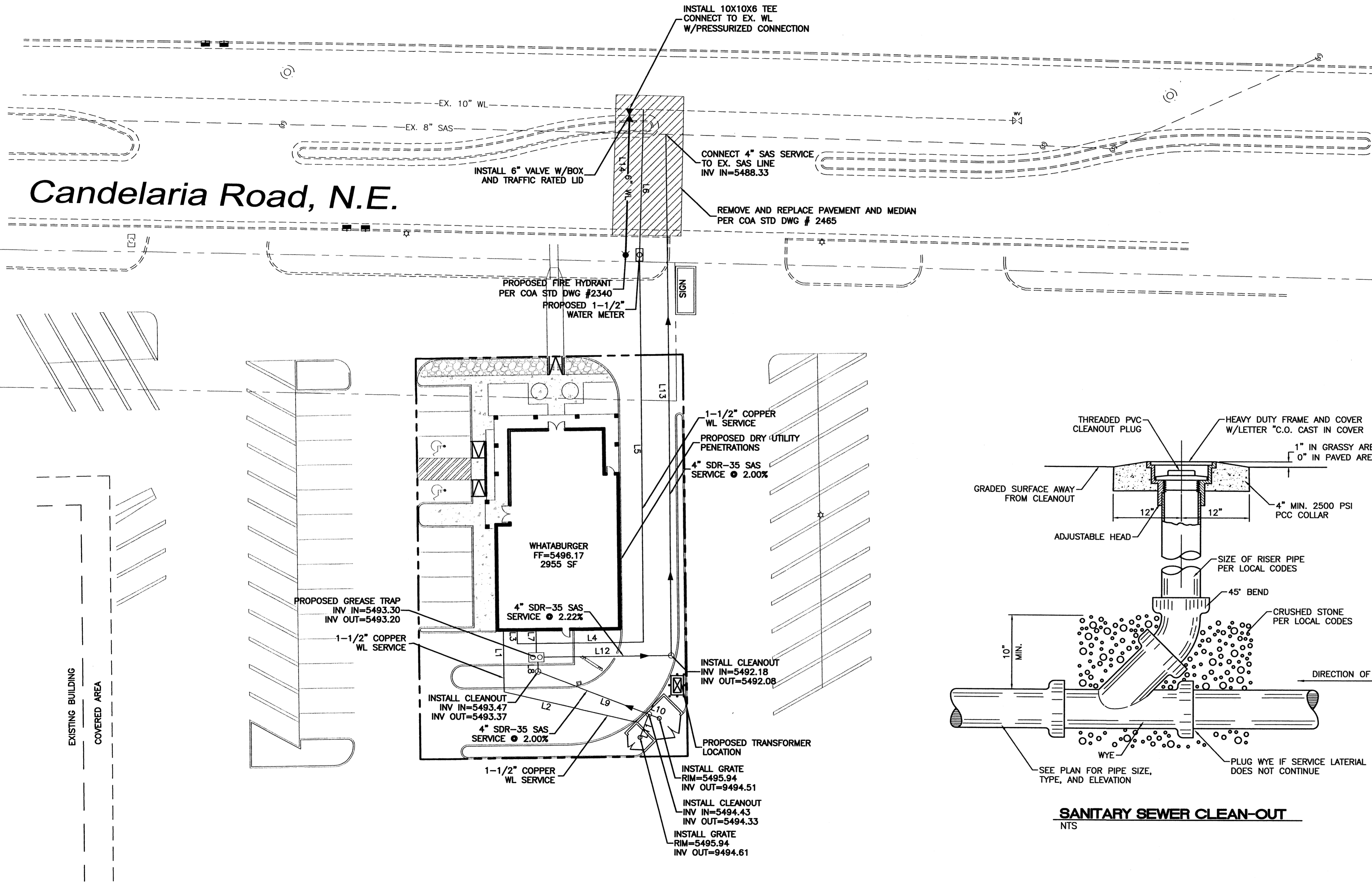
SEWER MANHOLE TYPE 'E' DETAIL
NTS



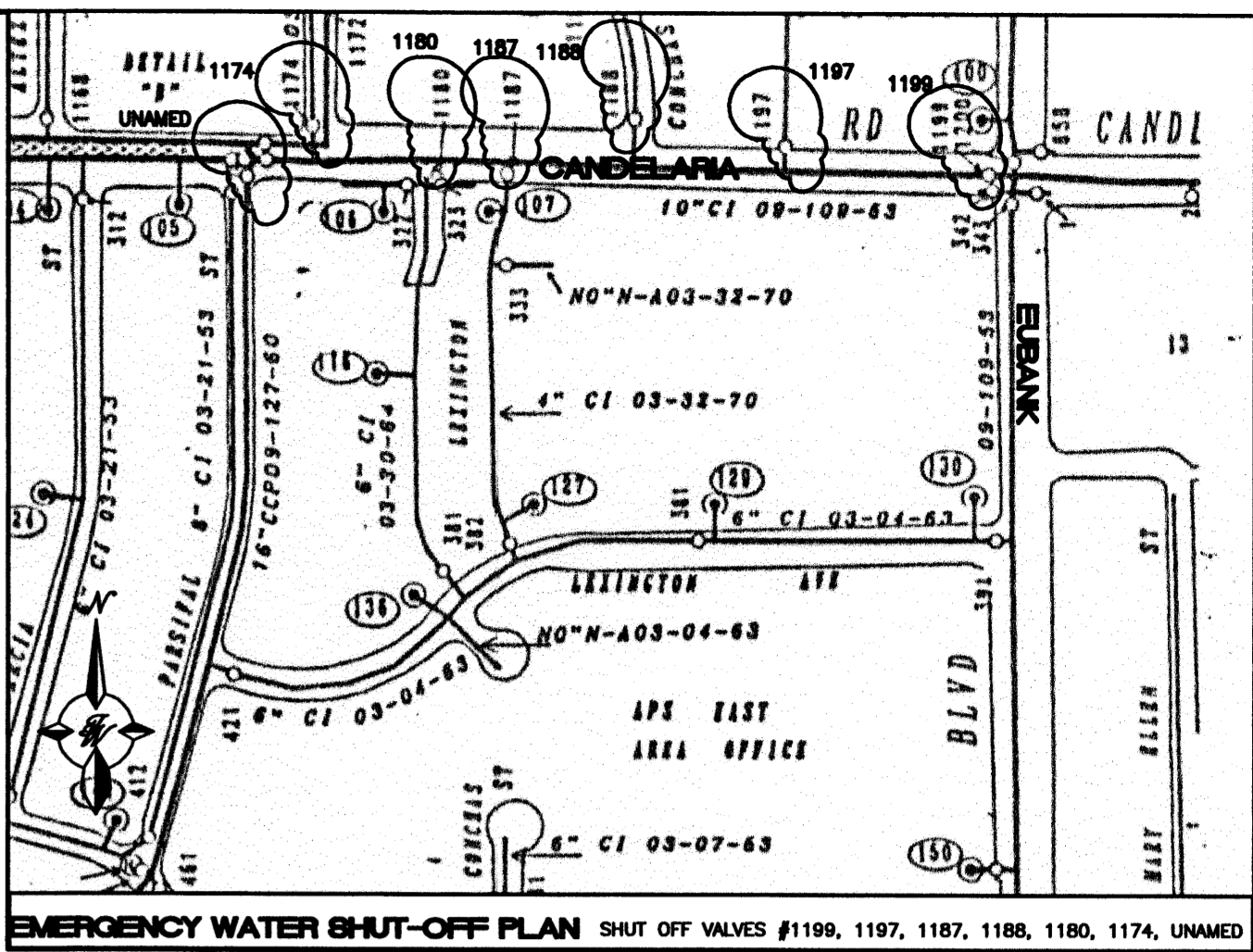
REMOTE GARDEN CENTER UTILITIES BOLLARD DETAIL

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM-850-03	DRAWN BY BDG
		DETAILS	DATE 12/09/02
		TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DETAILS1.DWG
RONALD R. BOHANNAN P.E. #7868			SHEET # 12
			JOB # 21075

Candelaria Road, N.E.



SANITARY SEWER CLEAN-OUT
NTS

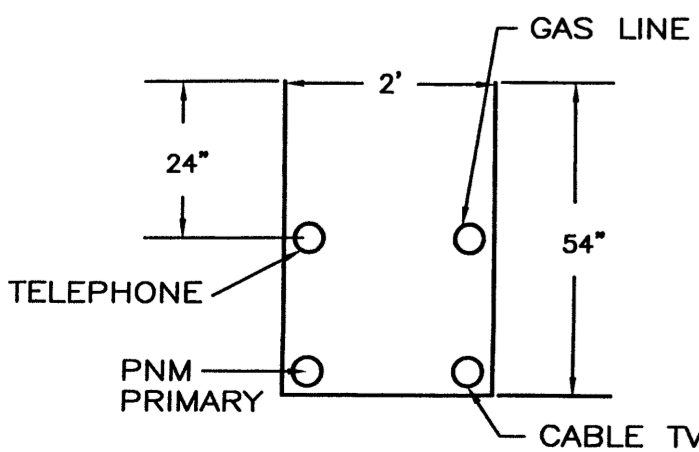


- NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

LEGEND

	EXISTING SAS MANHOLE
	EXISTING 8" SAS
	EXISTING SANITARY SEWER LINE
	PROPOSED SAS CLEANOUT
	DIRECTION OF FLOW
	SANITARY SEWER SERVICE LINE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING 10" WL
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED FIRE HYDRANT
	6" WL
	PROPOSED WATER LINE
	EXISTING STORM SEWER MANHOLE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT

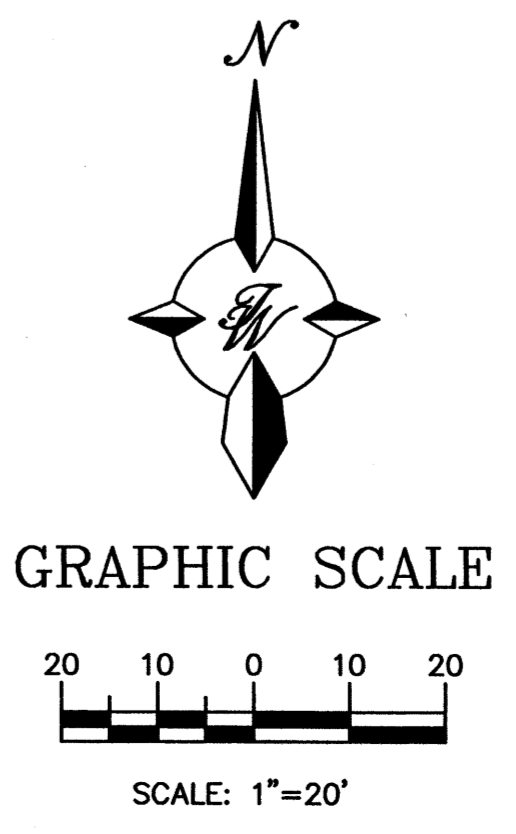


UTILITY TRENCH DETAIL
NTS

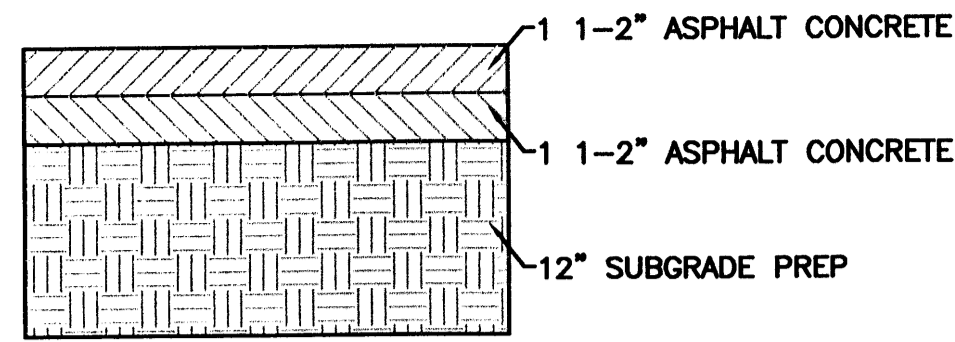
- GENERAL NOTES:**
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 5. ALL 1-1/2" WL PIPE MATERIAL TO BE COPPER.
 6. ALL 6" WL TO BE C-900.
 7. ALL 4" SAS SERVICE TO SDR-26.

LINE	LENGTH	BEARING
L1	22.39	S00°57'07"E
L2	49.54	S77°24'05"E
L3	5.00	S00°57'07"E
L4	45.56	N89°02'53"E
L5	140.02	N00°45'48"W
L6	52.08	N01°33'23"E
L7	7.96	S00°57'07"E
L8	3.46	S01°05'16"E
L9	42.94	S69°07'51"E
L10	4.01	S69°07'51"E
L11	8.82	S20°52'09"W
L12	46.03	N89°02'53"E
L13	187.95	N00°45'48"W
L14	52.41	N01°33'23"E

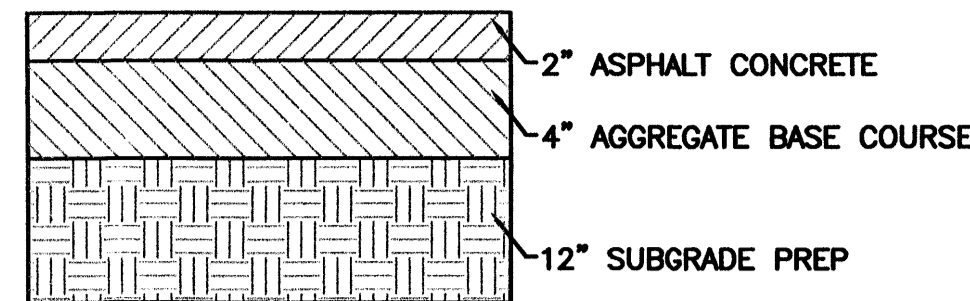
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



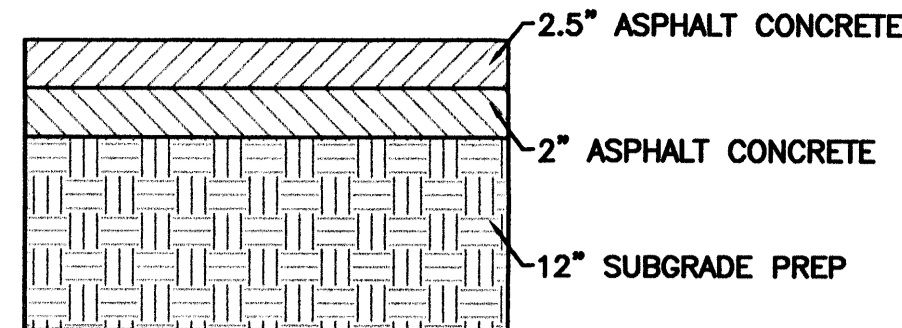
	ENGINEER'S SEAL WHATABURGER AT CANDELARIA	DRAWN BY WCKJ DATE 5-19-03
	MASTER UTILITY PLAN	2274MU.DWG
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # - JOB # 220074



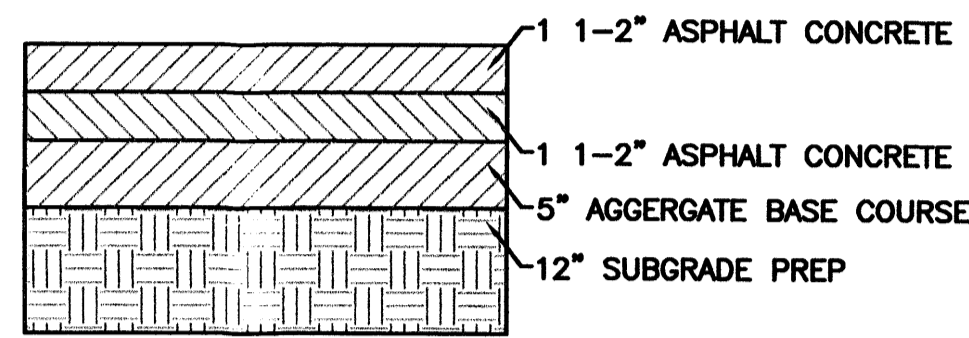
PAVEMENT SECTION A (PARKING AREAS)
NTS



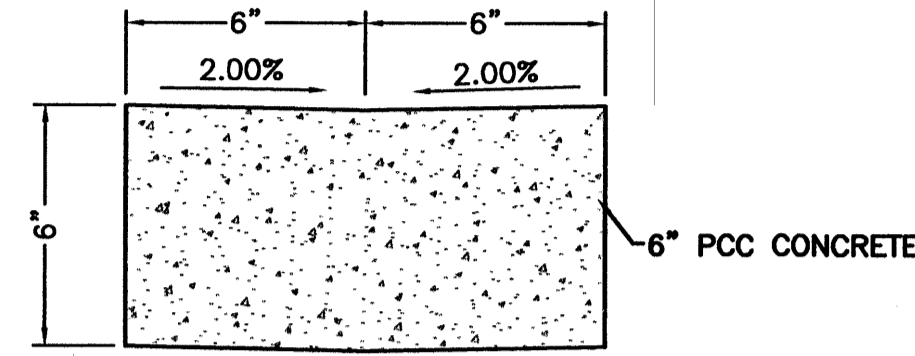
PAVEMENT SECTION B (PARKING AREAS)
NTS



PAVEMENT SECTION C (DRIVE THRU AND DELIVERY)
NTS



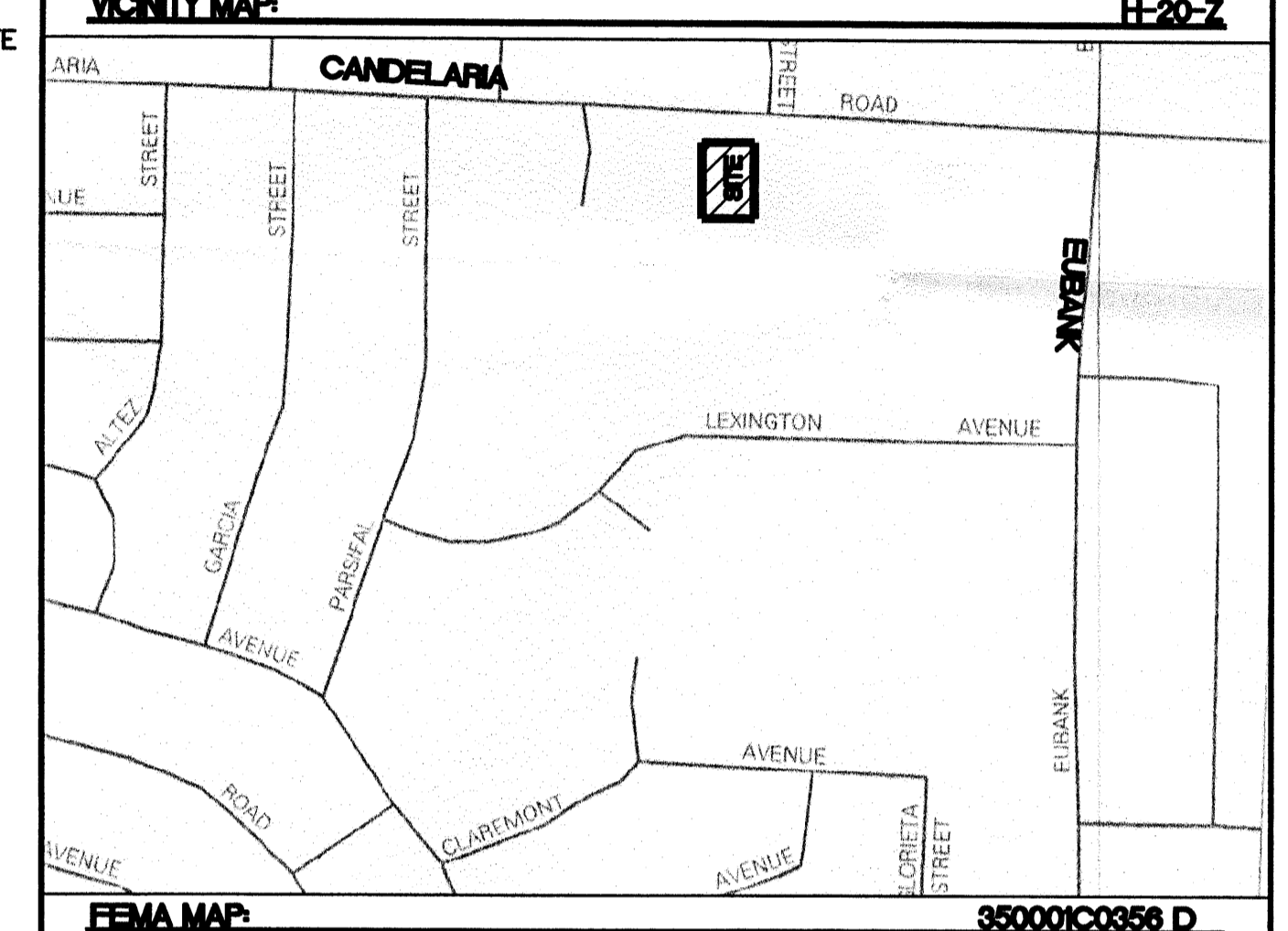
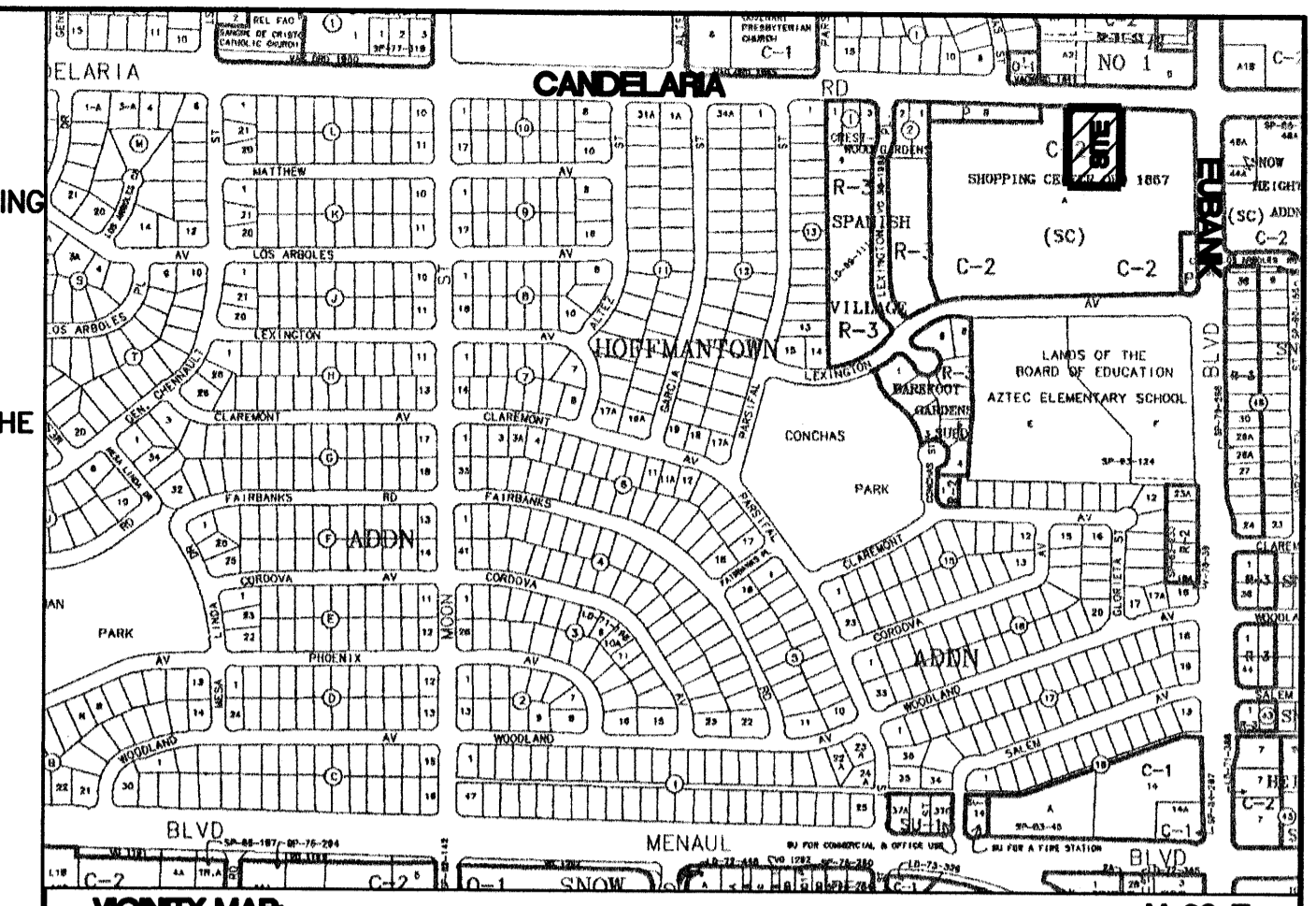
PAVEMENT SECTION D (DRIVE THRU AND DELIVERY)
NTS



CONCRETE SWALE DETAIL
NTS

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

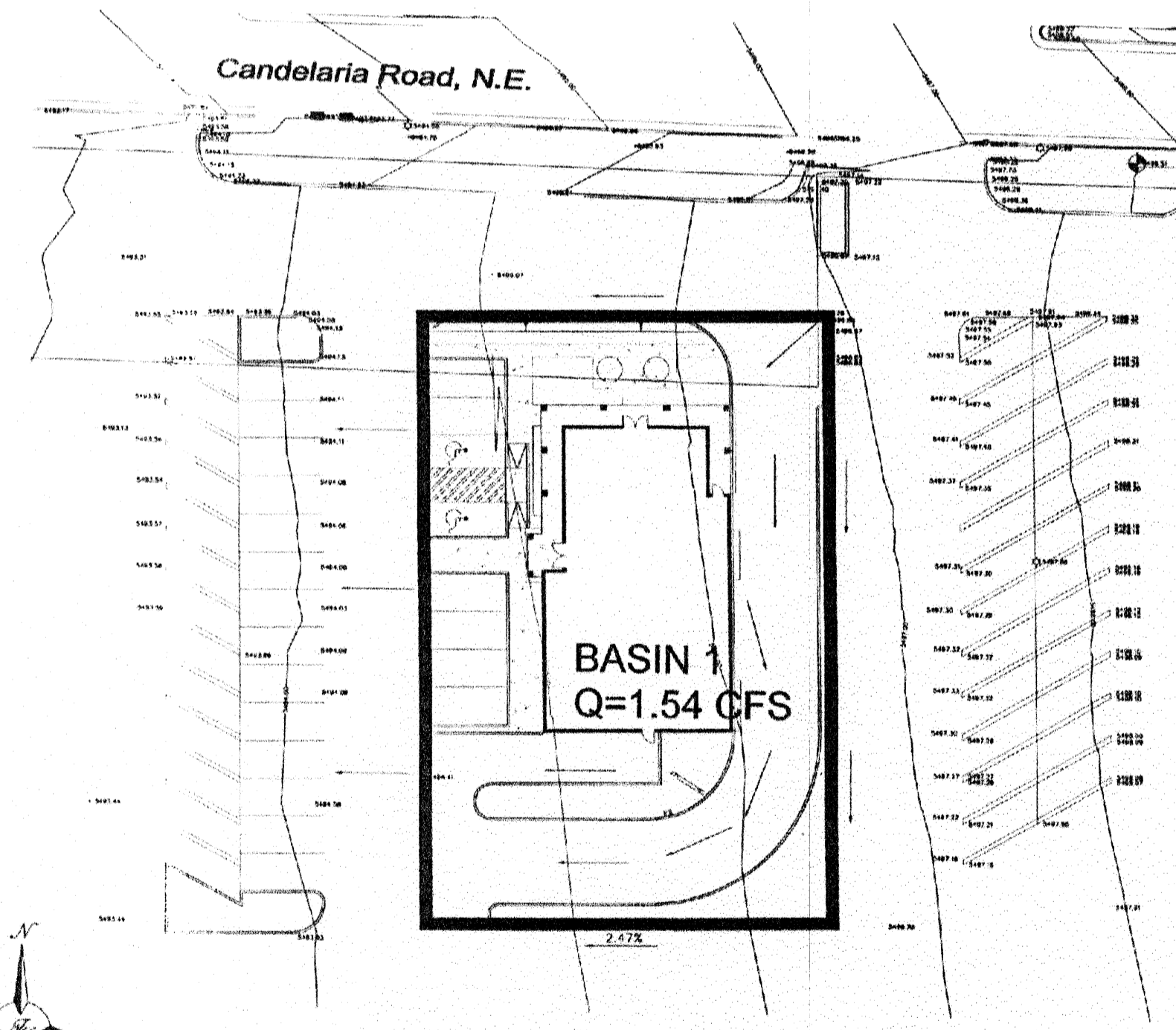
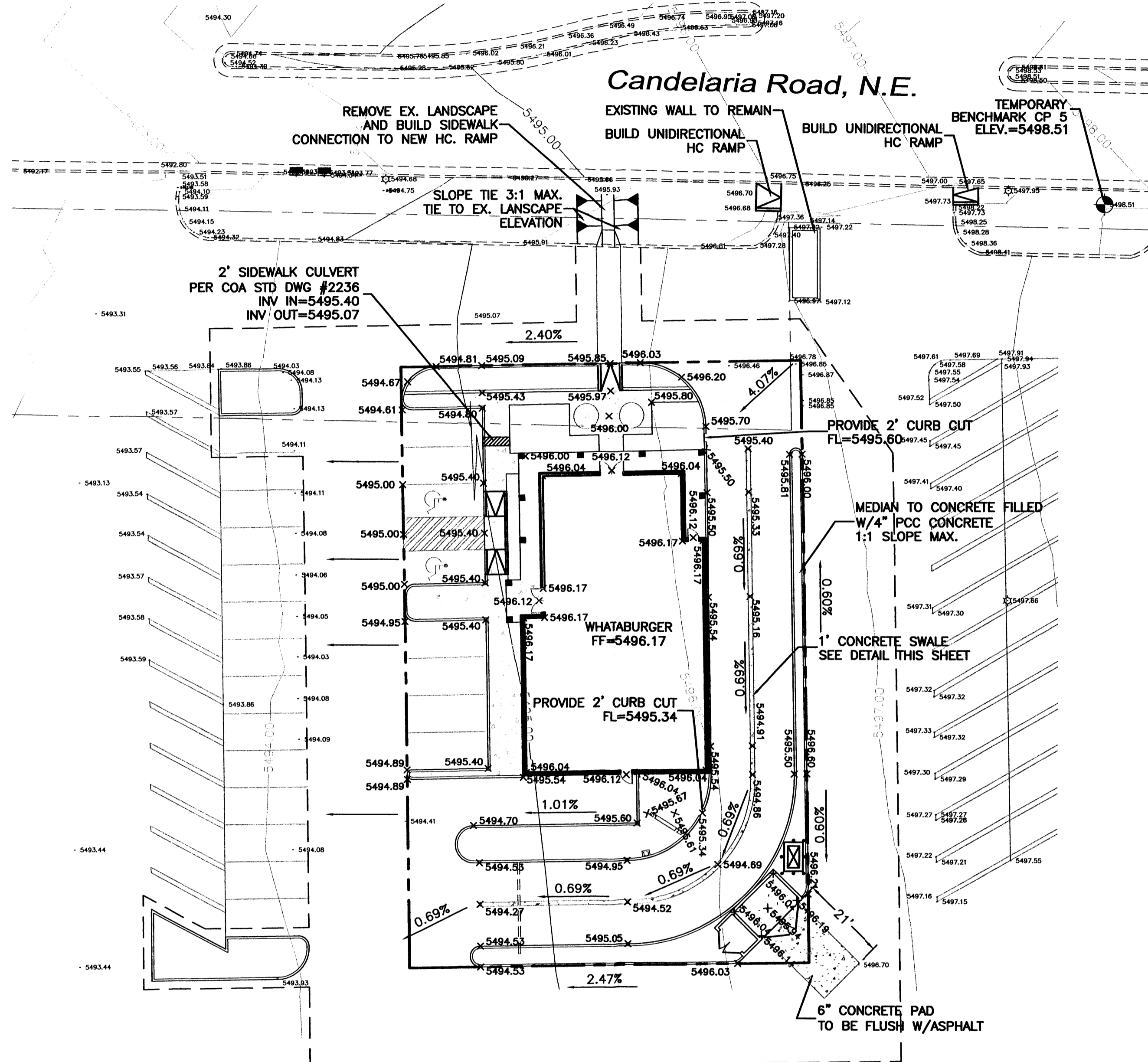


LEGAL DESCRIPTION
TRACT A, SHOPPING CENTER OF 1857

NOTES
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	LIMITS OF PAVEMENT CUT
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION



PROPOSED BASIN LAYOUT

DRAINAGE NARRATIVE
A REVISION TO THE EASTDALE SHOPPING CENTER DRAINAGE WAS APPROVED BY THE COA IN 1986 (H20/D18). THERE IS NO RECORD IN THE COA FILES OF AN EARLIER REPORT, ALTHOUGH THE CENTER IS OLDER THAN 1986. THERE ARE NO CHANGES TO THE DRAINAGE BASINS OR DRAINAGE PATTERNS WITH THE PROPOSED WHATABURGER. THE WHATABURGER IS LOCATED ON THE NORTH SIDE OF THE SHOPPING CENTER AND REPLACES A PORTION OF THE EXISTING PAVED PARKING AREA. THE WHATABURGER IS PART OF BASIN A FROM THE 1986 REPORT, WHICH HAS A DEVELOPED FLOW RATE OF 26.4 CFS AND DRAINS TO CANDELARIA ROAD. THE WHATABURGER SITE WILL PRODUCE 1.54 CFS DURING THE 100-YEAR STORM. THE WHATABURGER USES LAND TREATMENTS OF 10% AND 90%. CURRENTLY THE AREA IS COMPLETELY PAVED WITH NO LANDSCAPING, THEREFORE, THE NEW LAND TREATMENTS REDUCE THE IMPERVIOUS AREA SLIGHTLY. THE EXISTING DRAINAGE PATTERNS ARE UNCHANGED AND BASIN A CONTINUES TO DRAIN TO CANDELARIA ROAD.

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
1	14,001	0.32	0%	0	10%	0.03	0%	0.00	90%	0.29	2.216	0.059	1.54	1.386	0.037	1.02

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)
 Volume = Weighted E * Total Area
 Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

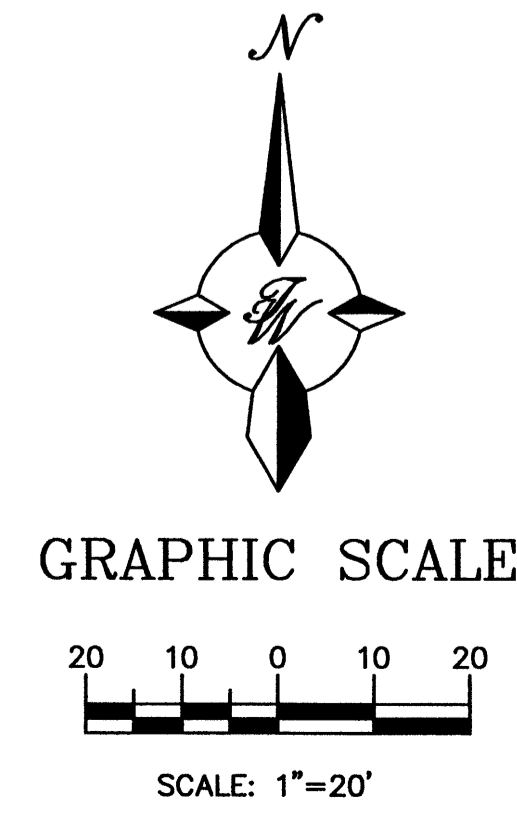
Excess Precipitation, E (Inches)

Zone 3	100-Year	10-Year
E_a	0.66	0.19
E_b	0.92	0.36
E_c	1.29	0.62
E_d	2.36	1.50

Peak Discharge (cfs/acre)

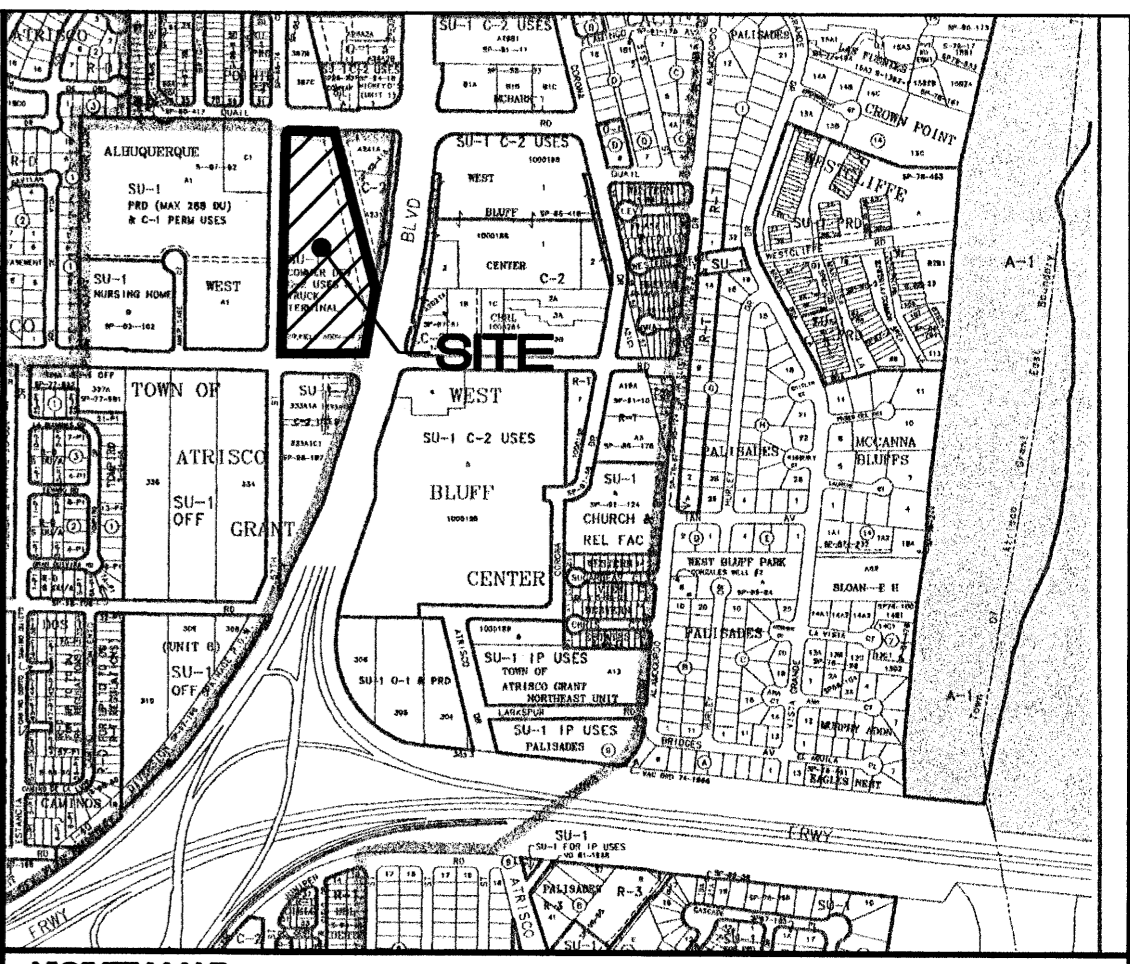
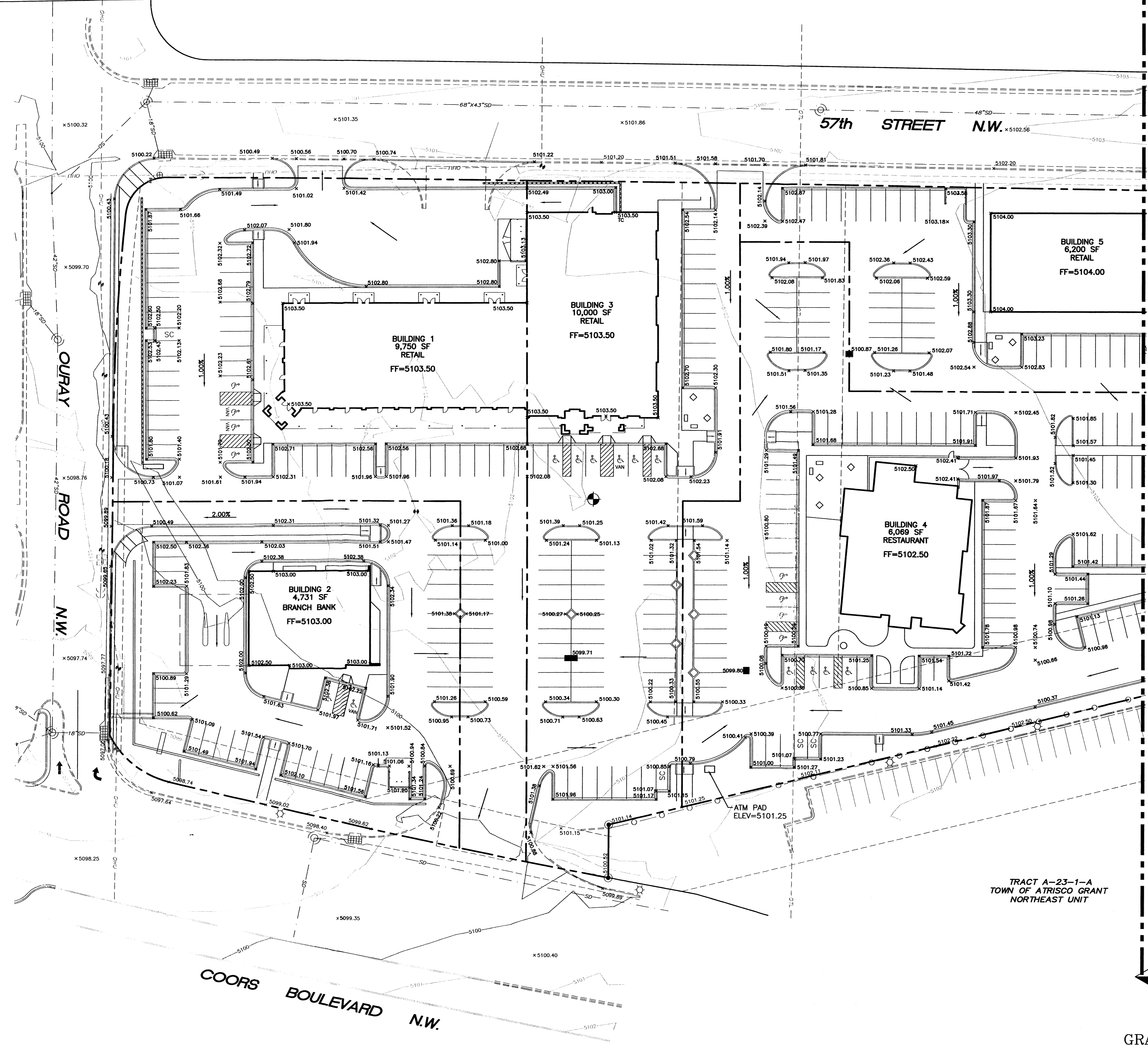
Zone 3	100-Year	10-Year
Q_a	1.87	0.58
Q_b	2.60	1.19
Q_c	3.45	2.00
Q_d	5.02	3.39

CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

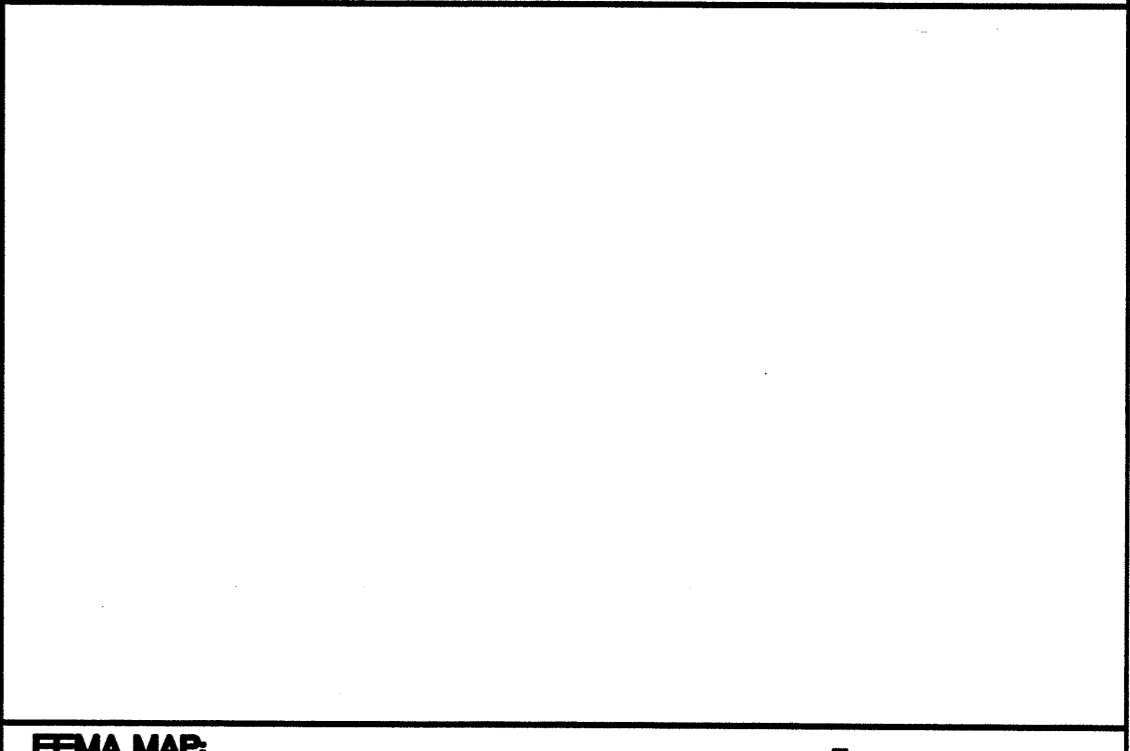


ROUGH GRADING APPROVAL _____ DATE _____

 ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	WHATABURGER AT CANDELARIA GRADING AND DRAINAGE PLAN	DRAWN BY WCVJ DATE 5-19-03 2274GR.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # - JOB # 220074



VICINITY MAP: H-1-Z



FEMA MAP

LEGAL DESCRIPTION:
 W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8
 ATRISCO GRANT & PORTION OF TR A21

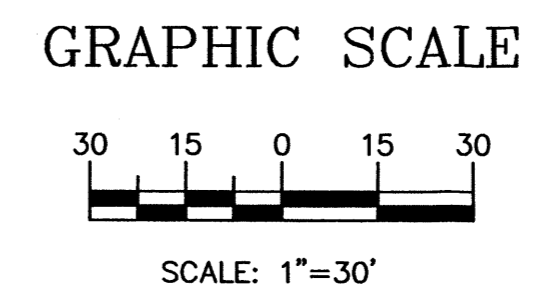
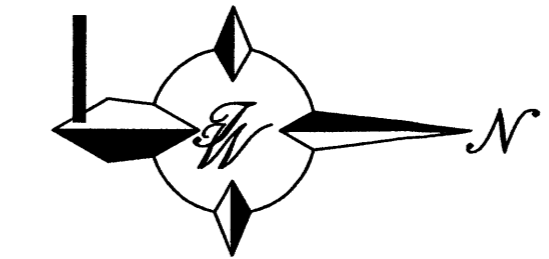
EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

LEGEND

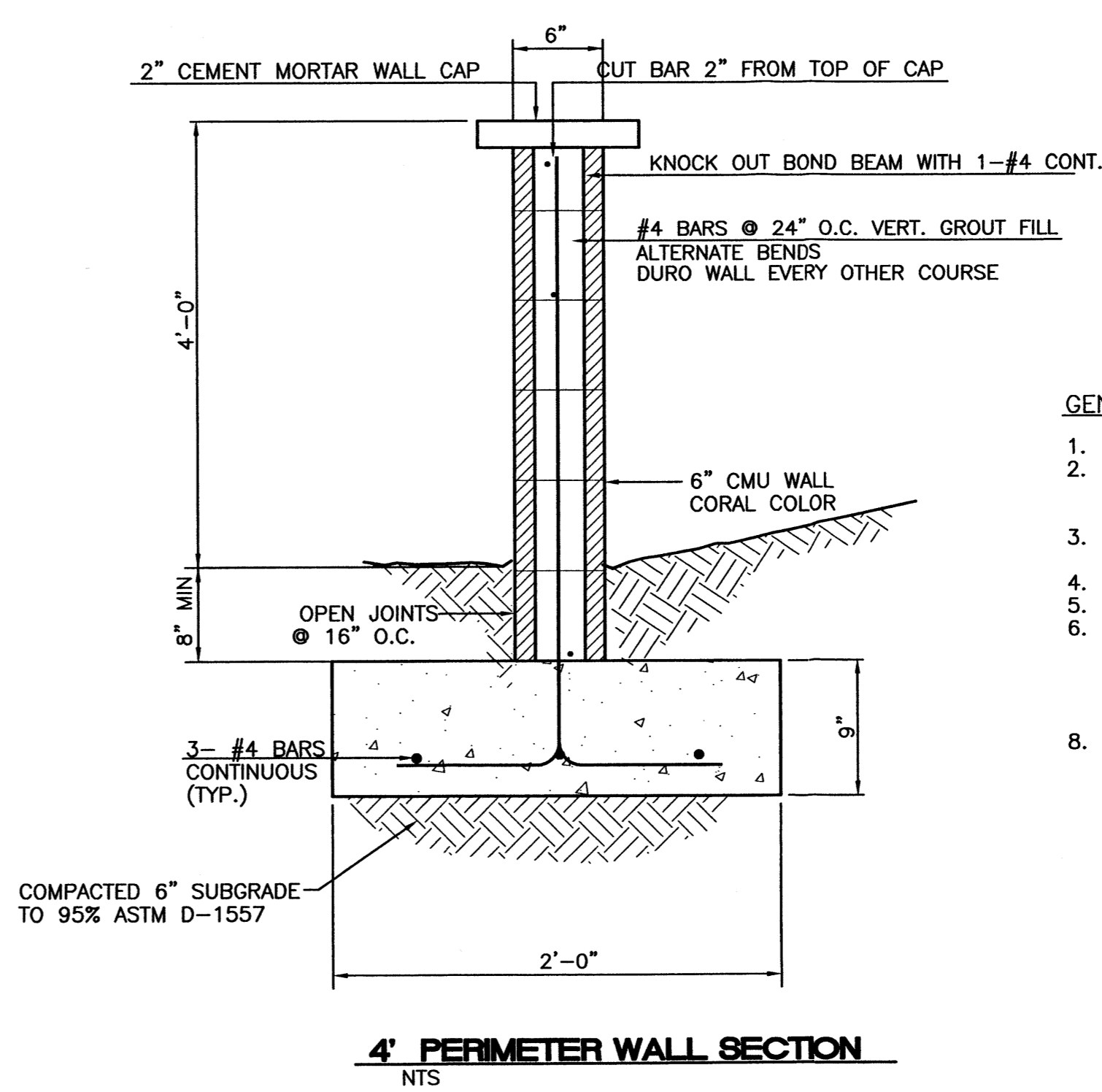
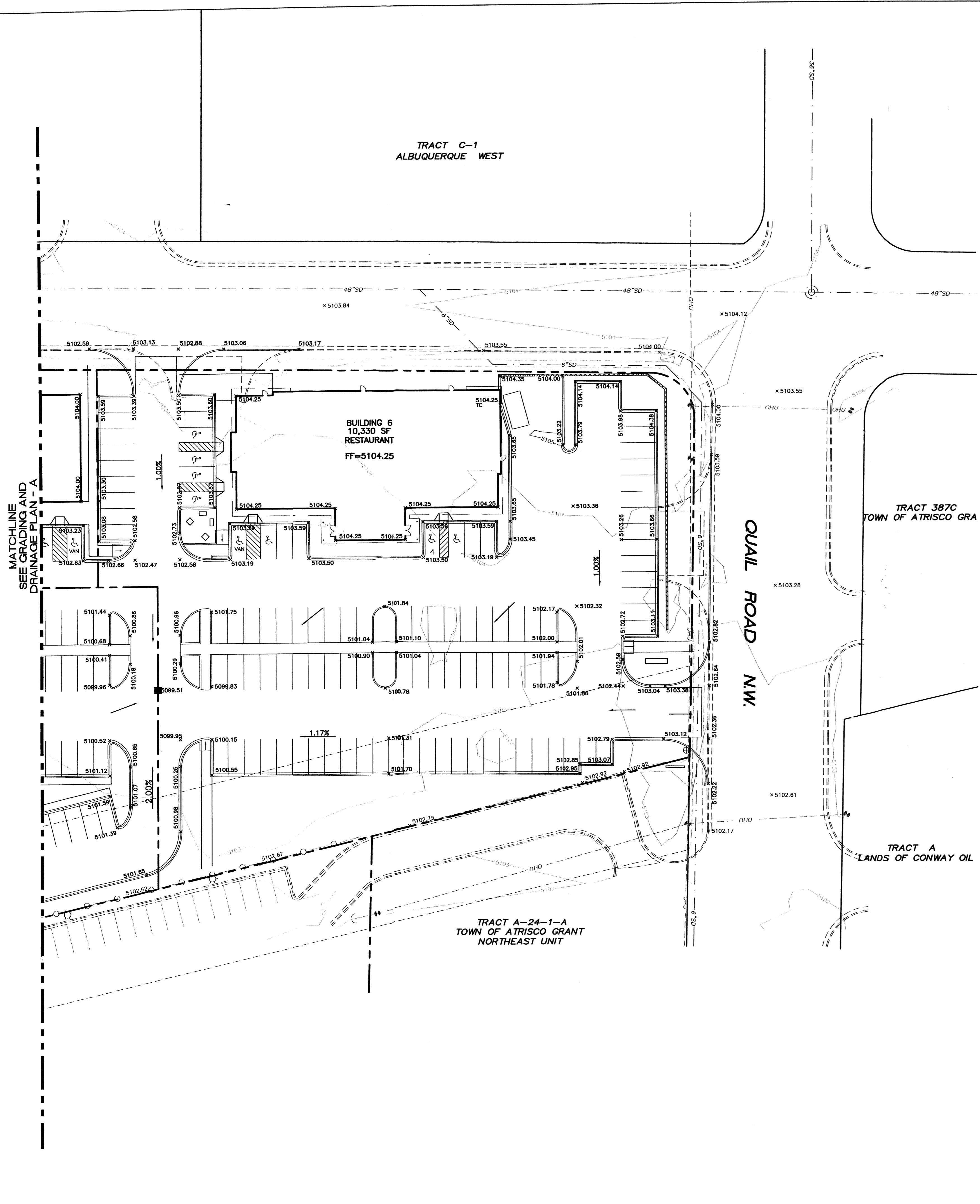
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	NEW CURB

TRACT A-23-1-A
 TOWN OF ATRISCO GRANT
 NORTHEAST UNIT

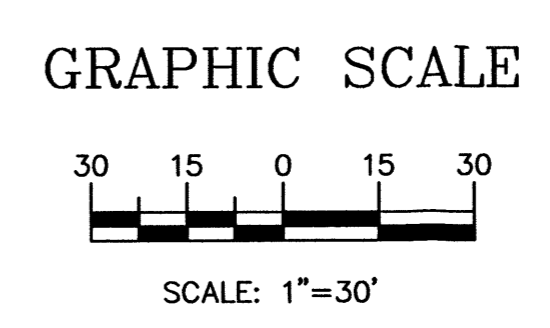
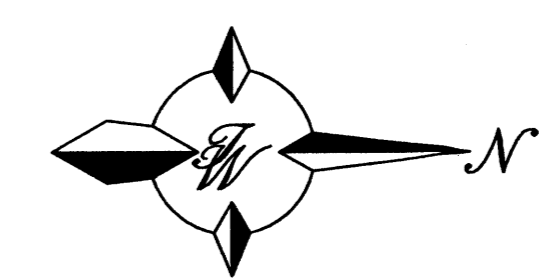


ROUGH GRADING APPROVAL

ENGINEER'S SEAL	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BDG
	GRADING AND DRAINAGE PLAN - A	DATE 05/21/03
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2296GR.DWG
		SHEET # 4
		JOB # 220096



- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

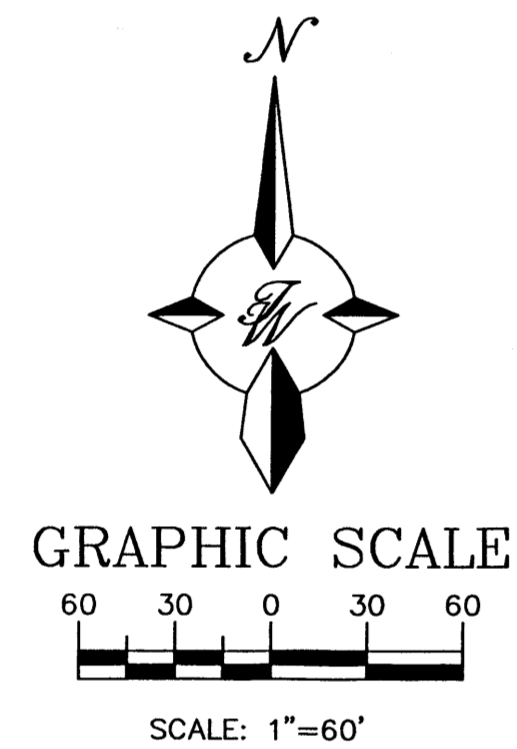
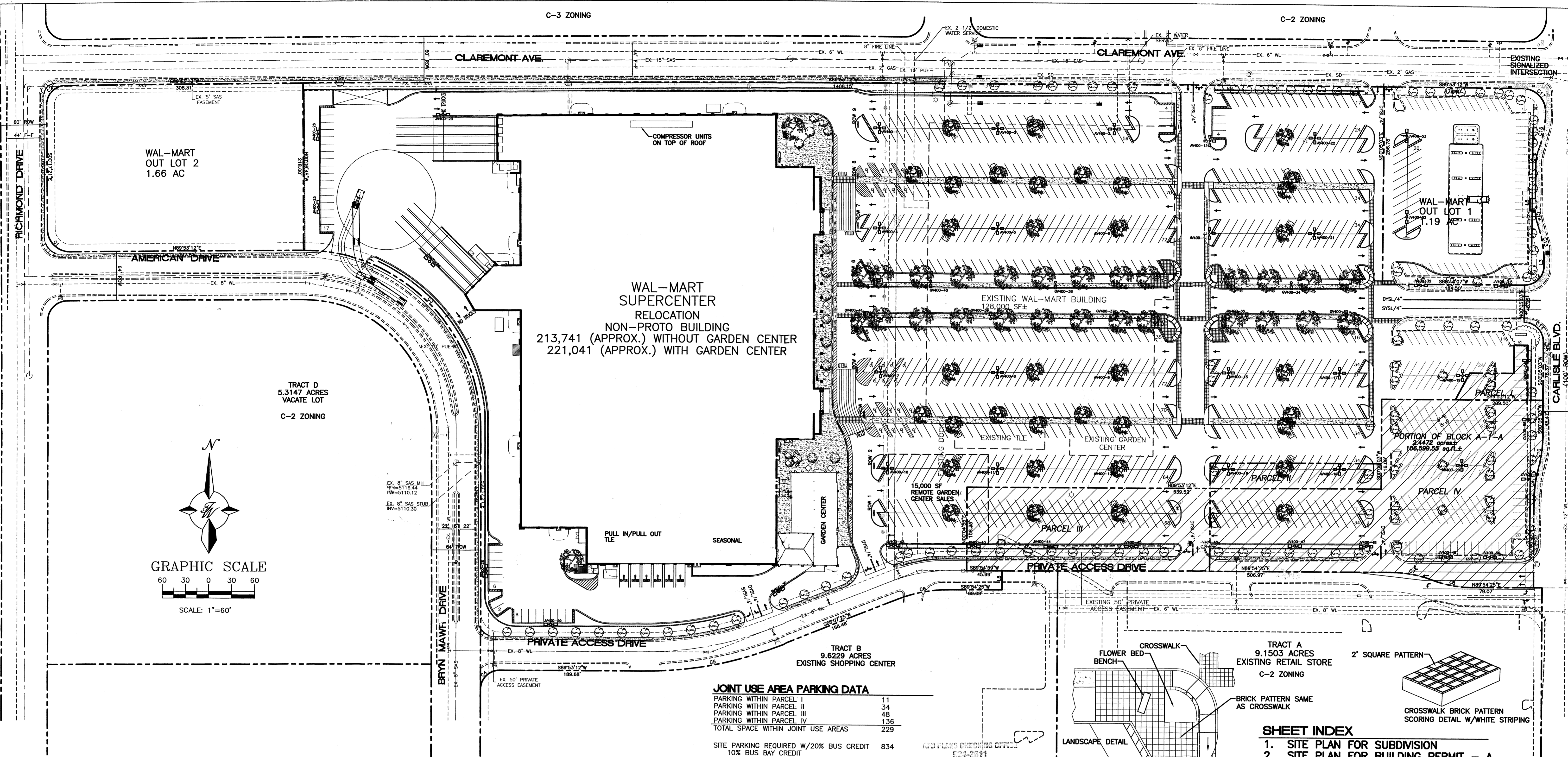


ROUGH GRADING APPROVAL

ENGINEER'S SEAL	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BDG
	GRADING AND DRAINAGE PLAN - B	DATE 05/21/03
		2296GR.DWG
		SHEET #
		4
		JOB # 220096
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		
RONALD R. BOHANNAN P.E. #7868		

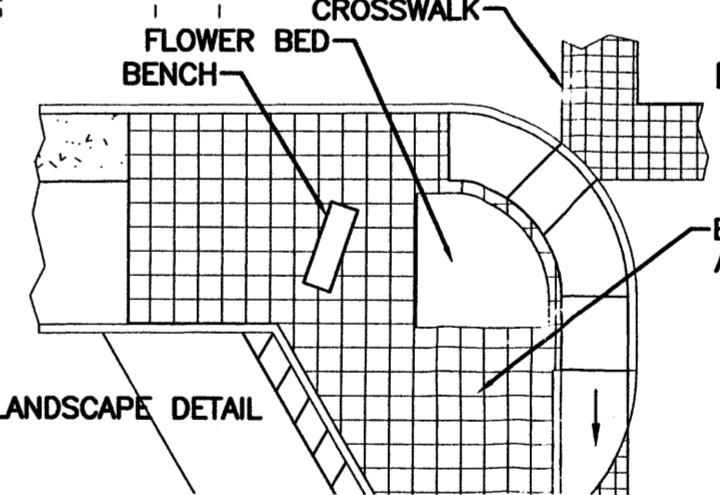
C-3 ZONING

C-2 ZONING



JOINT USE AREA PARKING DATA

PARKING WITHIN PARCEL I	11
PARKING WITHIN PARCEL II	34
PARKING WITHIN PARCEL III	48
PARKING WITHIN PARCEL IV	136
TOTAL SPACE WITHIN JOINT USE AREAS	229
SITE PARKING REQUIRED W/20% BUS CREDIT	
10% BUS BAY CREDIT	834
5% BUS SHELTER CREDIT	
5% BUS CREDIT, OVER 5 AC SITE	
SITE PARKING PROVIDED	1063
SITE PARKING PROVIDED MINUS JOINT USE	831



SHEET INDEX

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT - A
3. SITE PLAN FOR BUILDING PERMIT - B
4. LANDSCAPE PLAN
5. ELEVATIONS
- 5A. ELEVATIONS
6. GRADING AND DRAINAGE PLAN - A
- 6A. GRADING AND DRAINAGE PLAN - B
7. MASTER UTILITY PLAN - A
- 7A. MASTER UTILITY PLAN - B
8. DETAILS
9. DETAILS
10. DETAILS
11. DETAILS
12. DETAILS

SITE DATA

PROPOSED USAGE:	PROPOSED EXPANSION
EXISTING ZONING:	C-2
LOT AREA:	
WAL-MART TRACT	20,5988 AC
OUT LOT 1	1.1916 AC
OUT LOT 2	1.6593 AC
TOTAL:	23.4497± AC.
BUILDING AREA:	
WITH GARDEN CENTER	221,041 SF
WITHOUT GARDEN CENTER	213,741 SF
LANDSCAPING:	
PROVIDED:	93,989 SF
REQUIRED:	86,340 SF
PARKING PROVIDED:	
PARKING REQUIRED: RETAIL AREA	1059 SPACES
PARKING REQUIRED: GARDEN CENTER (7,300 SF)	1042 SPACES
PARKING REQUIRED: STORAGE AREA (5,300 SF)	18 SPACES
TOTAL PARKING REQUIRED W/20% BUS CREDIT:	3 SPACES
PARKING RATIO: WITHOUT GARDEN CENTER	834 SPACES
	4.95
HC PARKING PROVIDED:	
HC PARKING REQUIRED:	23 SPACES (4 VAN)
	20 SPACES
	4 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	
BIKE SPACES REQUIRED: -	30 SPACES
	27 SPACES

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER
- PROPOSED LIGHT POLE
- ▨ PARCELS WITHIN JOINT USE AREAS

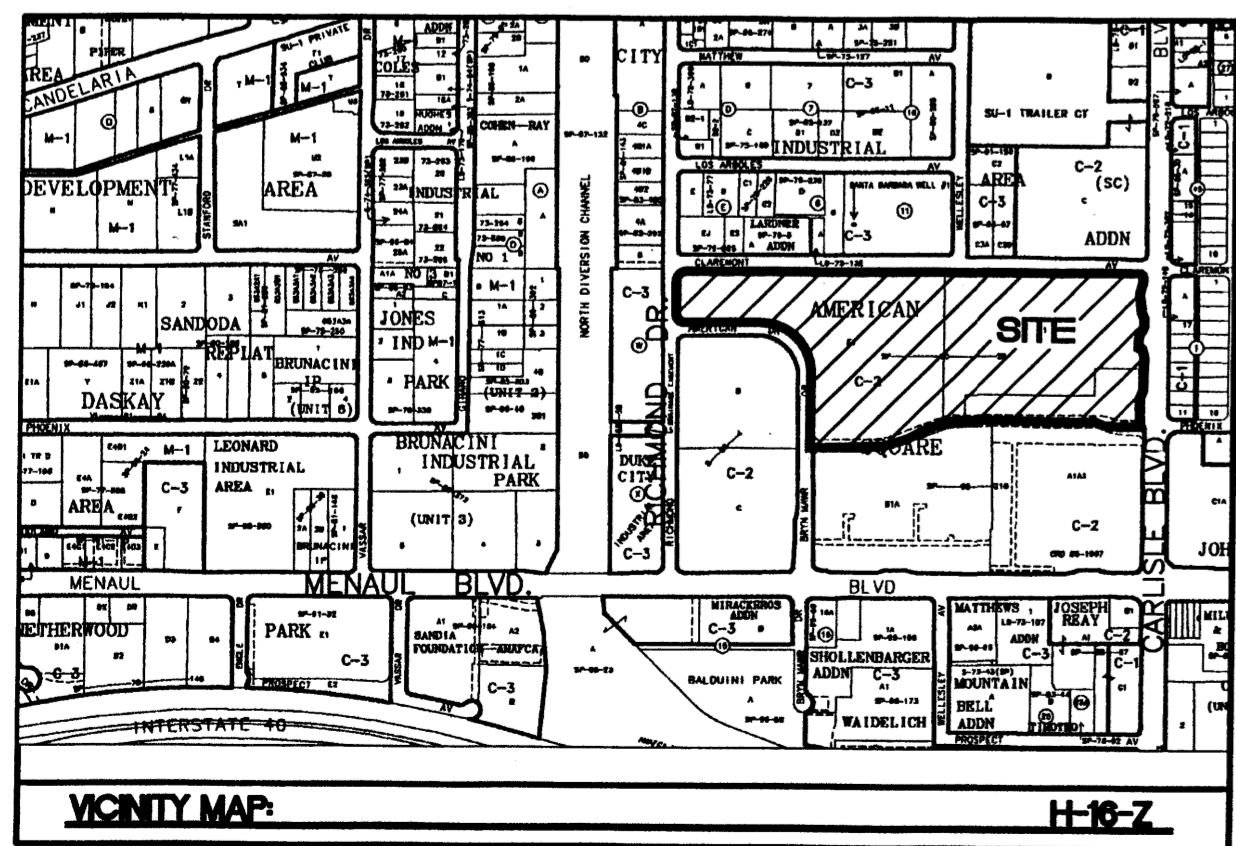
PROJECT NUMBER:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

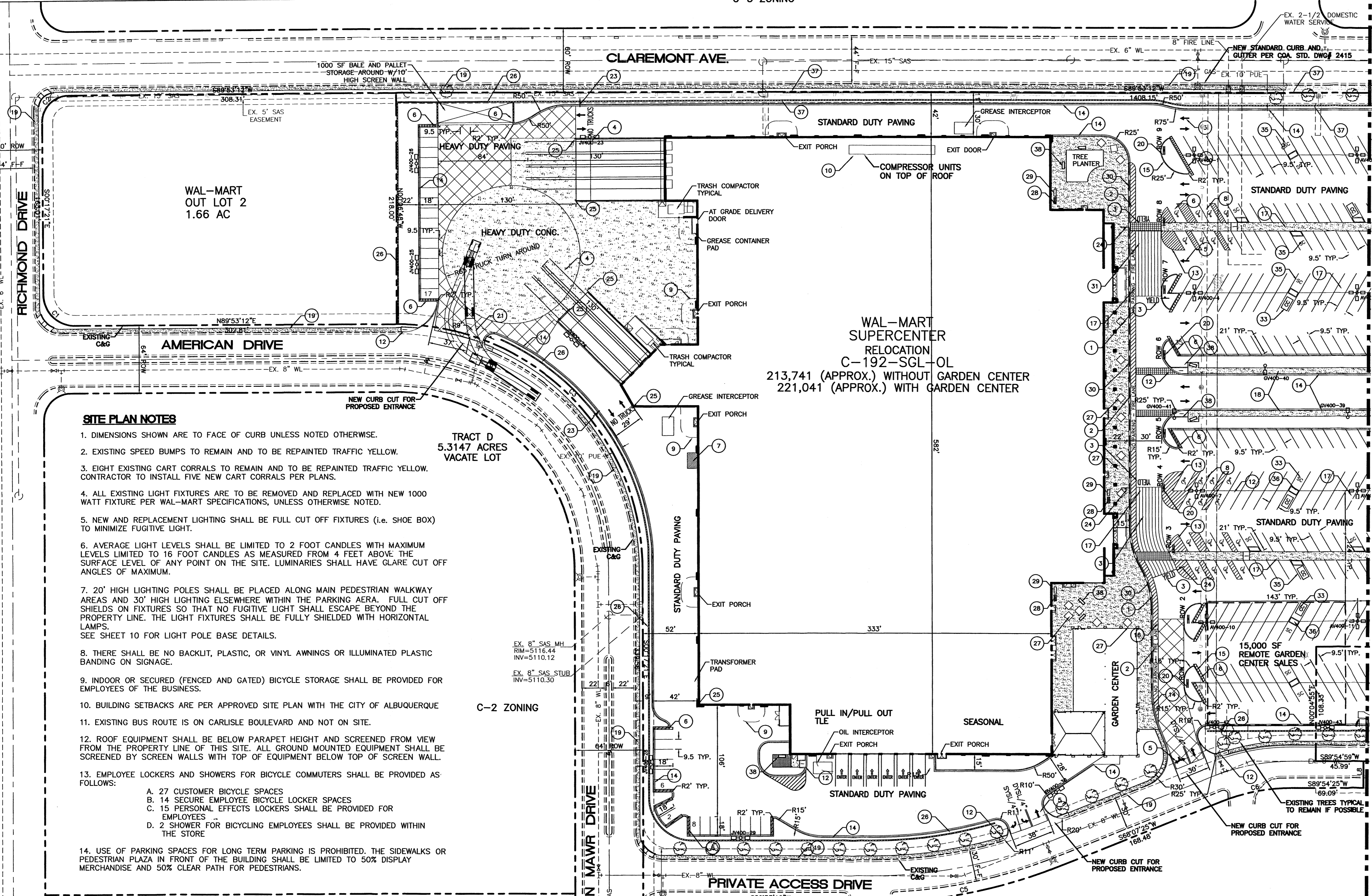
Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste	Date
Approval and Conditional Acceptance: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date

PLN2 (10706) 4/96



LEGAL DESCRIPTION: BLOCK E1 AND F1, AMERICAN SQUARE.

	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY: BDG DATE: 04/09/03 2175SPS1.DWG
	SITE PLAN FOR SUBDIVISION	SHEET # 1
TIERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 21075



SITE PLAN NOTES

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
- EIGHT EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLANS.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- 20' HIGH LIGHTING POLES SHALL BE PLACED ALONG MAIN PEDESTRIAN WALKWAY AREAS AND 30' HIGH LIGHTING ELSEWHERE WITHIN THE PARKING AREA. FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE SHEET 10 FOR LIGHT POLE BASE DETAILS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
- EXISTING BUS ROUTE IS ON CARLISLE BOULEVARD AND NOT ON SITE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- EMPLOYEE LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
 - 27 CUSTOMER BICYCLE SPACES
 - 14 SECURE EMPLOYEE BICYCLE LOCKER SPACES
 - 15 PERSONAL EFFECTS LOCKERS SHALL BE PROVIDED FOR EMPLOYEES
 - 2 SHOWER FOR BICYCLING EMPLOYEES SHALL BE PROVIDED WITHIN THE STORE
- USE OF PARKING SPACES FOR LONG TERM PARKING IS PROHIBITED. THE SIDEWALKS OR PEDESTRIAN PLAZA IN FRONT OF THE BUILDING SHALL BE LIMITED TO 50% DISPLAY MERCHANDISE AND 50% CLEAR PATH FOR PEDESTRIANS.

SITE DATA

PROPOSED USAGE:	PROPOSED EXPANSION
EXISTING ZONING:	C-2
LOT AREA:	
WAL-MART TRACT PORTION OF BLOCK A-1-A	19,2558 AC
OUT LOT 1	2,4472 AC
OUT LOT 2	1,1916 AC
TOTAL:	1,6593 AC
BUILDING AREA:	
WITH GARDEN CENTER	221,041 SF
WITHOUT GARDEN CENTER	213,741 SF
LANDSCAPING:	
PROVIDED:	93,989 SF
REQUIRED:	86,340 SF
PARKING PROVIDED (OVERALL CENTER)	
PARKING PROVIDED (WAL-MART TRACT ONLY)	1059 SPACES
PARKING REQUIRED: RETAIL AREA	827 SPACES
PARKING REQUIRED: GARDEN CENTER (7,300 SF)	1042 SPACES
PARKING REQUIRED: STORAGE AREA (5,300 SF)	18 SPACES
TOTAL PARKING REQUIRED W/20% BUS CREDIT:	3 SPACES
PARKING RATIO: WITHOUT GARDEN CENTER:	834 SPACES
	4.95
HC PARKING PROVIDED:	
HC PARKING REQUIRED:	23 SPACES (4 VAN)
	20 SPACES
	4 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	
BIKE SPACES PROVIDED:	30 SPACES
BIKE SPACES REQUIRED: -	27 SPACES

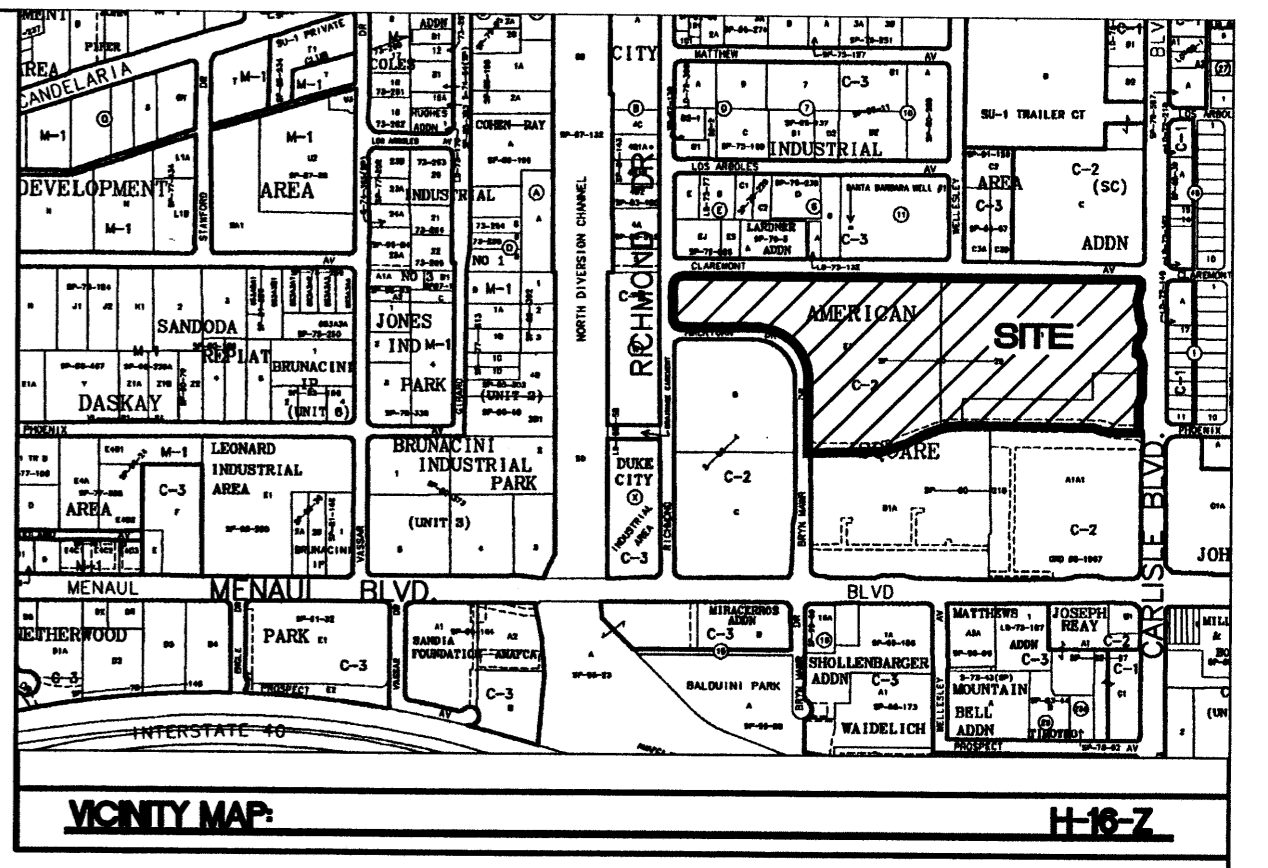
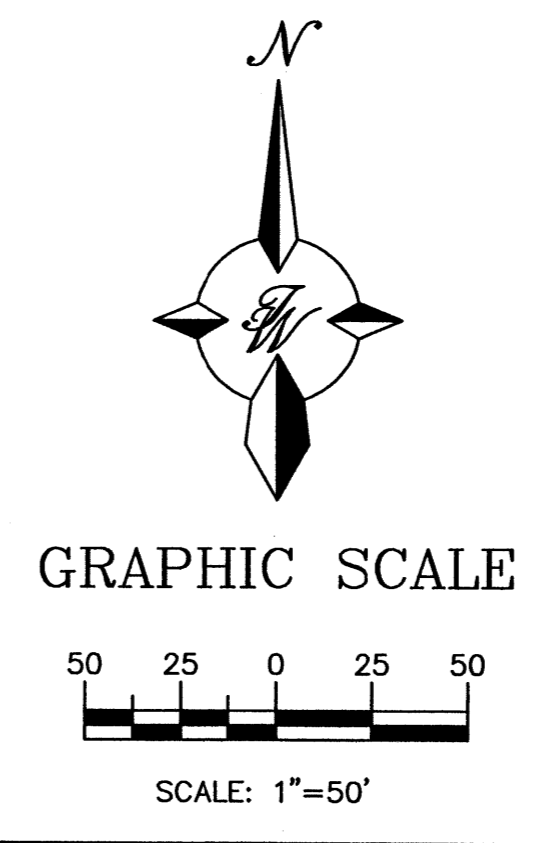
PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- HEAVY DUTY PAVING
- HEAVY DUTY CONCRETE
- BIKE RACK
- BIKE LOCKER

WAL-MART SUPERCENTER RELOCATION
 C-192-SGL-OL
 213,741 (APPROX.) WITHOUT GARDEN CENTER
 221,041 (APPROX.) WITH GARDEN CENTER



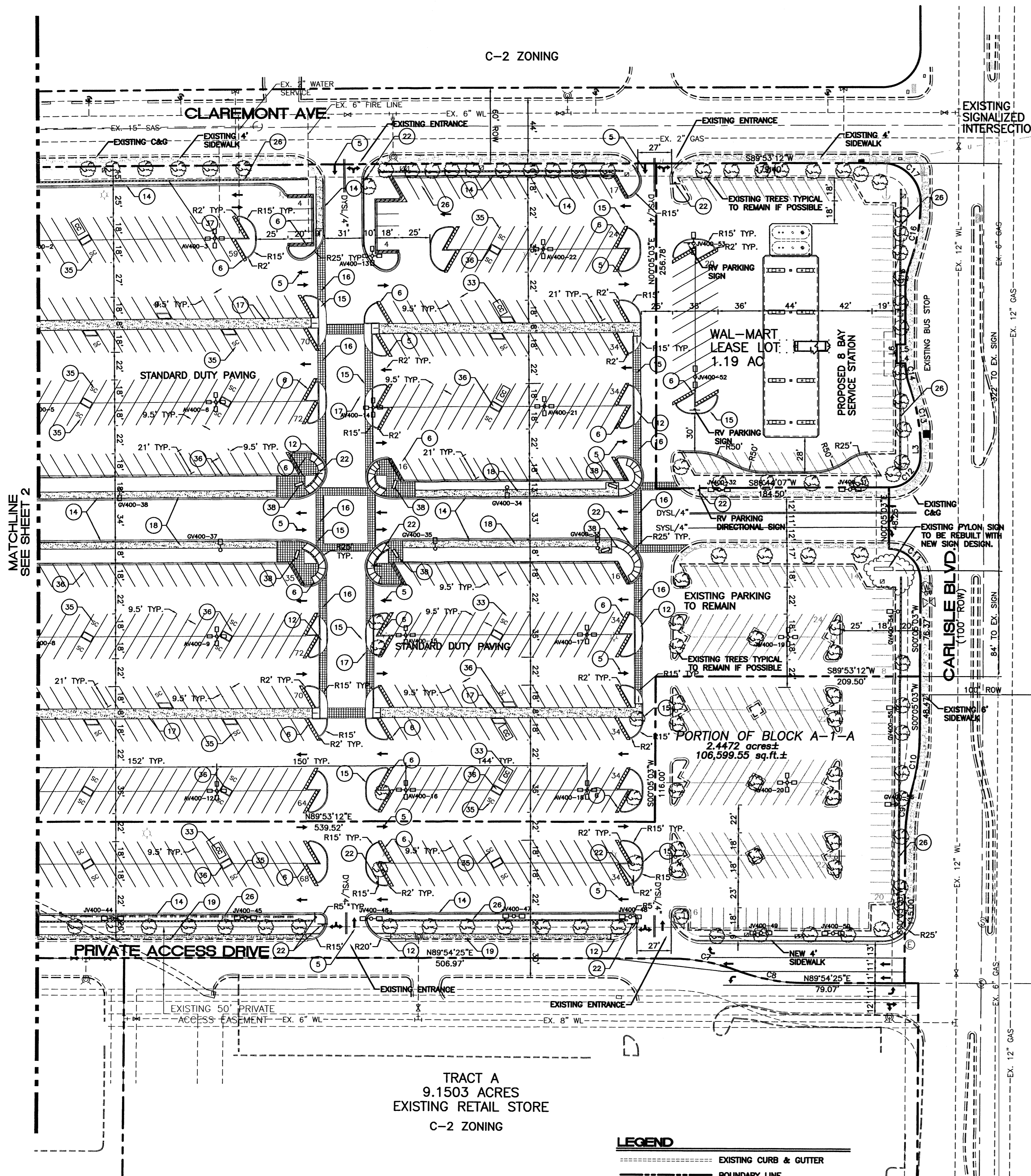
VICINITY MAP
 BLOCK E1 AND F1, AMERICAN SQUARE.

- SITE LEGEND**
- 6' WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 9 OF 12)
 - "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 9 OF 12)
 - "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 8 OF 12)
 - PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
 - PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 8 OF 12)
 - 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
 - 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
 - ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SHT 8 OF 12)
 - RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
 - ROOF MOUNTED 16"x119" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
 - SCREEN WALL PER ARCH. PLANS
 - UNIDIRECTIONAL HC RAMP. (SHT 9 OF 12)
 - PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
 - 6" CONCRETE CURB AND GUTTER TYPICAL.
 - 6" CONCRETE HEADER CURB TYPICAL. (SHT 8 OF 12)
 - 6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8)
 - 8' WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 8 OF 12)
 - 6" CONCRETE SIDEWALK TYPICAL.
 - 4' CONCRETE SIDEWALK TYPICAL.
 - ASIS INDICATOR SIGNS TYPICAL (SHT 8 OF 12)
 - "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
 - "STOP" SIGN. SEE PLAN FOR LOCATION.
 - "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
 - PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
 - 6" DIA. PIPE BOLLARD TYPICAL. (SHT 10 OF 12)
 - 3' HIGH SCREEN WALL. (SHT 8 OF 12)
 - 6"x6" TREE PLANTER TYPICAL. (SHT 9 OF 12)
 - (3) 5 SPACE BIKE RACK TYPICAL. (SHT 8 OF 10)
 - BIKE LOCKERS (3 UNITS, 15 TOTAL LOCKER SPACES). (SHT 8 OF 12)
 - ZERO CURB PER ARCH. SECTIONS
 - PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
 - PROPOSED LIGHTING.
 - CART CORRALS TYPICAL. (SHT 9 OF 12)
 - PROPOSED HC RAMP. (SHT 9 OF 12)
 - SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
 - TREE PLANTER TYPICAL. (SHT 9 OF 12)
 - RETAINING WALL TYPICAL. (SHT 6 OF 10)
 - WROUGHT IRON PARK BENCHES. TYPICAL.

ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY BDG
	SITE PLAN FOR BUILDING PERMIT - A	DATE 04/10/03
		2175SP1.DWG
		SHEET #
8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2
RONALD R. BOHANNAN P.E. #17868		JOB # 21075

NO.	DATE	REMARKS	BY

C-2 ZONING



MATCHLINE SEE SHEET 2

TRACT A
9.1503 ACRES
EXISTING RETAIL STORE
C-2 ZONING

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- CC PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER

PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

LINE TABLE

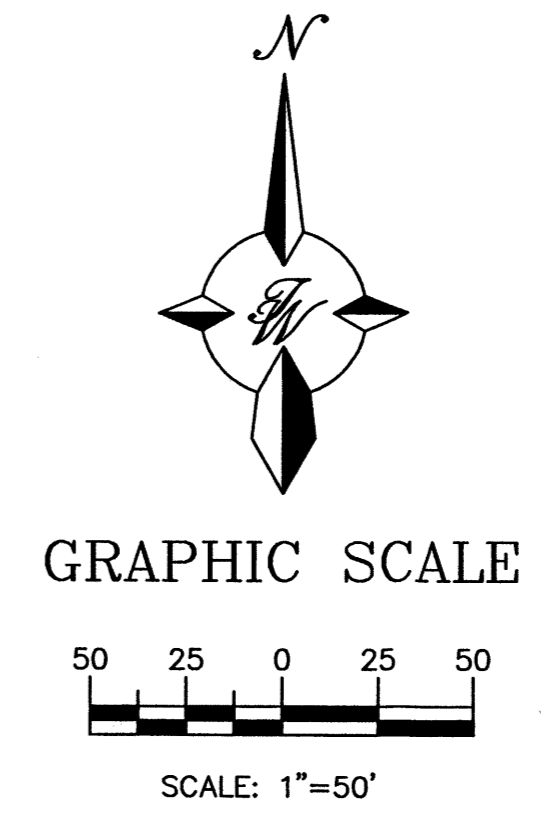
LINE	LENGTH	BEARING
L3	4.80	S00°05'03"W
L4	7.00	N89°54'59"W
L5	7.00	N89°54'59"W
L6	15.01	S00°05'01"E
L7	45.00	S00°05'03"W
L8	25.00	S00°04'55"W

CURVE TABLE

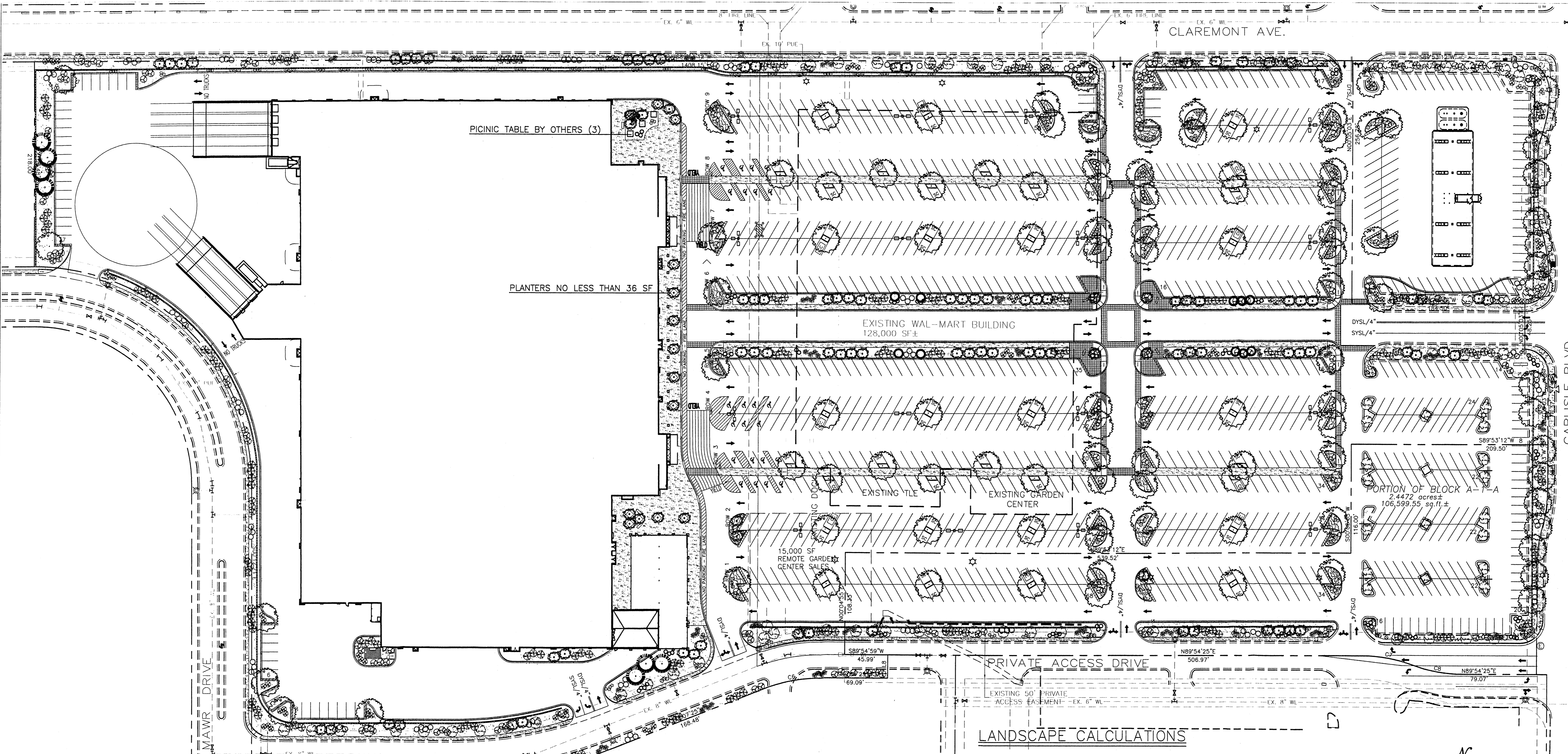
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	47.03	30.00	29.91	89°49'14"	S45°11'58"E	42.36
C2	39.35	25.00	25.08	90°11'01"	S44°47'42"W	35.41
C3	363.71	232.00	231.29	89°49'25"	N45°12'05"W	327.59
C4	39.35	25.00	25.08	90°10'33"	S44°47'56"W	35.41
C5	178.52	470.00	90.35	21°45'46"	N79°00'57"E	177.45
C6	66.53	175.00	33.67	21°46'56"	S79°00'57"W	66.13
C7	54.13	150.00	27.36	20°40'34"	N79°45'18"W	53.84
C8	54.13	150.00	27.36	20°40'34"	S79°45'18"E	53.84
C9	40.75	150.00	20.50	15°33'55"	S07°52'01"W	40.62
C10	40.75	150.00	20.50	15°33'55"	N07°52'01"E	40.62
C11	39.27	25.00	25.00	90°00'01"	N44°54'56"W	35.36
C12	39.27	25.00	25.00	90°00'00"	N45°05'03"E	35.36
C13	52.22	150.00	26.38	19°56'48"	N09°53'20"W	51.96
C14	17.41	50.00	8.79	19°57'01"	S09°53'13"E	17.32
C15	17.41	50.00	8.79	19°57'01"	S10°03'20"W	17.32
C16	52.22	150.00	26.38	19°56'48"	N10°03'28"E	51.96
C17	47.23	30.00	30.11	90°12'10"	N45°00'43"W	42.50

SITE LEGEND

- 1 6" WIDE FIRE LANE WITH 4" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL. CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 9 OF 12)
- 2 "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 9 OF 12)
- 3 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 8 OF 12)
- 4 PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- 5 PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 8 OF 12)
- 6 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 7 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
- 8 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SHT 8 OF 12)
- 9 RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- 10 ROOF MOUNTED 16"x119" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- 11 SCREEN WALL PER ARCH. PLANS
- 12 UNIDIRECTIONAL HC RAMP. (SHT 9 OF 12)
- 13 PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 14 6" CONCRETE CURB AND GUTTER TYPICAL.
- 15 6" CONCRETE HEADER CURB TYPICAL. (SHT 8 OF 12)
- 16 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 8)
- 17 6" WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 8 OF 12)
- 18 6" CONCRETE SIDEWALK TYPICAL.
- 19 4" CONCRETE SIDEWALK TYPICAL.
- 20 AISLE INDICATOR SIGNS TYPICAL. (SHT 8 OF 12)
- 21 "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- 22 "STOP" SIGN. SEE PLAN FOR LOCATION.
- 23 "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
- 24 PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 25 6" DIA. PIPE BOLLARD TYPICAL. (SHT 10 OF 12)
- 26 3' HIGH SCREEN WALL. (SHT 8 OF 12)
- 27 6"x6" TREE PLANTER TYPICAL. (SHT 9 OF 12)
- 28 (3) 5 SPACE BIKE RACK TYPICAL. (SHT 8 OF 10)
- 29 BIKE LOCKERS (3 UNITS, 15 TOTAL LOCKERS SPACES). (SHT 8 OF 12)
- 30 ZERO CURB PER ARCH. SECTIONS
- 31 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- 32 PROPOSED LIGHTING.
- 33 CART CORRALS TYPICAL. (SHT 9 OF 12)
- 34 PROPOSED HC RAMP. (SHT 9 OF 12)
- 35 SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- 36 TREE PLANTER TYPICAL. (SHT 9 OF 12)
- 37 RETAINING WALL TYPICAL. (SHT 6 OF 10)
- 38 WROUGHT IRON PARK BENCHES. TYPICAL.



<p>ENGINEER'S SEAL</p>	<p>ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03</p> <p>SITE PLAN FOR BUILDING PERMIT - B</p> <p style="text-align: center;"><i>TIERRA WEST, LLC</i> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>	<p>DRAWN BY BDC</p> <p>DATE 04/10/03</p> <p>21755P1.DWG</p> <p>SHEET # 3</p> <p>JOB # 21075</p>
<p>RONALD R. BOHANNAN P.E. #7868</p>		



LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

75% of landscape bed provided equals 77,264sf
 Total spread of plants provided equals 78,872sf

Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

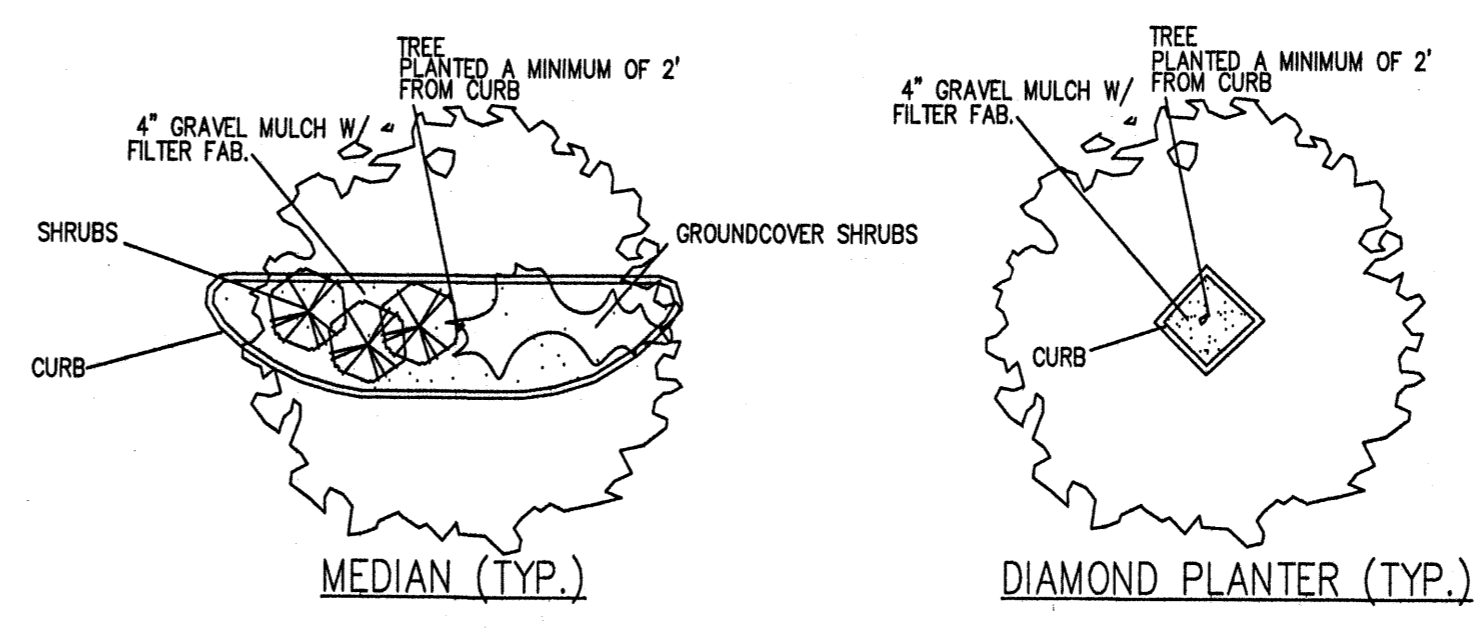
- ▲ Revision per Tierra West DLB 2/13/03
- ▲ Revision per Tierra West DLB 1/30/03
- ▲ Revision per Tierra West DLB 11/14/02
- ▲ Revision per Tierra West CMD 10/1/02
- ▲ Revision per Tierra West DLB 9-24-02

PLANT LEGEND

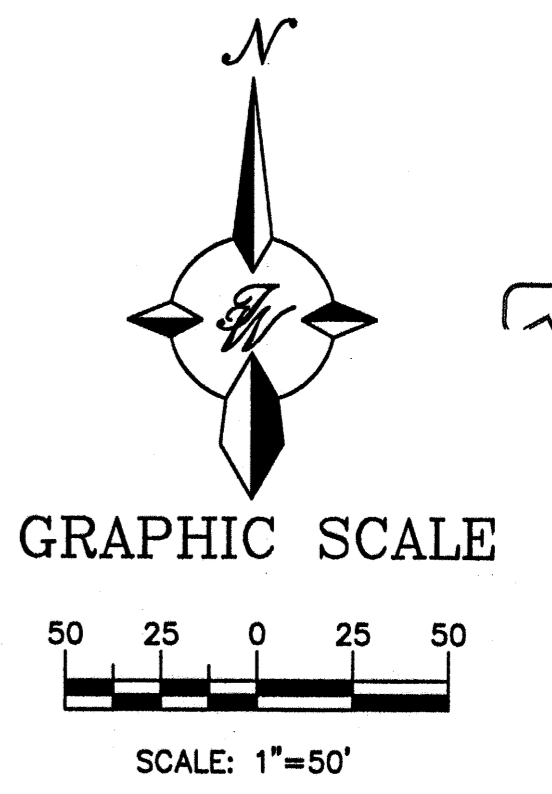
- ASH (H) 27
Fraxinus pennsylvanica
- HONEY LOCUST (H) 27
Gleditsia triacanthos
- CHINESE PISTACHE (M) 27
Pistachia chinensis
- GOLDEN RAIN TREE (M) 27
Koelreuteria paniculata
2" Cal.
- PURPLE-LEAF PLUM (M) 113
Prunus spp.
2" Cal.
- SILVERBERRY (M) 171
Elaeagnus pungens
3 Gal. 100sf
- THREE-LEAF SUMAC (L) 132
Rhus trilobata
5 Gal. 36sf
- NANDINA (M) 74
Nandina domestica
5 Gal. 25sf
- INDIAN HAWTHORN (M) 105
Raphiolepis indica
5 Gal. 25sf
- TAM JUNIPER (M) 51
Juniperus sabina
5 Gal. 250sf
(symbol represents 3 plants)
- AUSTRIAN PINE (H) 4
Pinus nigra
- PINON PINE (H) 3
Pinus nigra
8' Min.
- PINON PINE (M) 10
Pinus edulis
8' Min.
- ROSEMARY (M) 89
Rosmarinus officinalis
2 Gal. 36sf
- POTENTILLA (M) 139
Potentilla fruticosa
2 Gal. 9sf
- HONEYSUCKLE (M) 170
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- WILDFLOWER 335
1 Gal. 4sf
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- OVERSIZED GRAVEL & 3 BOULDERS

LANDSCAPE CALCULATIONS

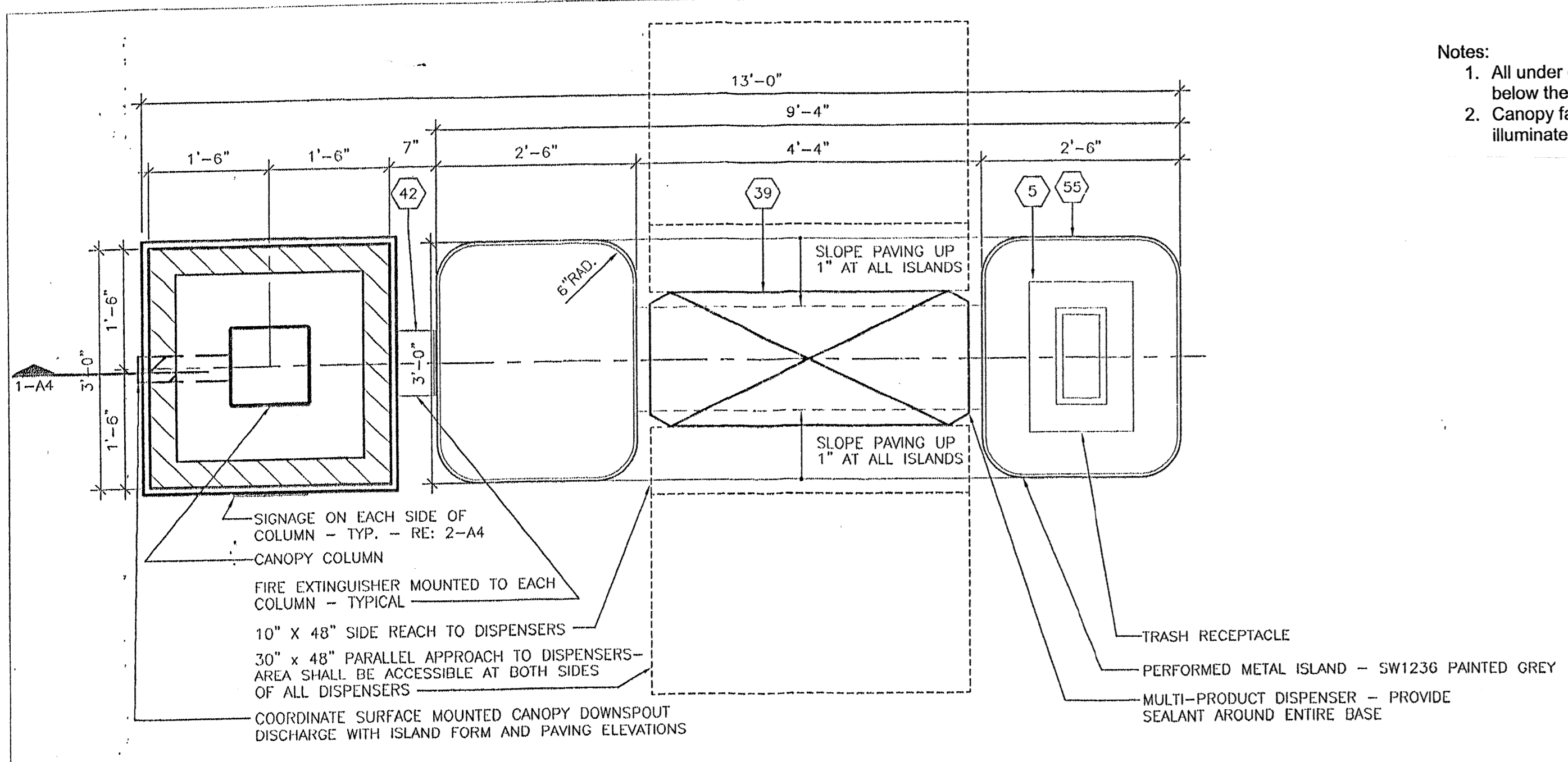
NET LANDSCAPE AREA	
TOTAL LOT AREA	890,689 square feet
TOTAL BUILDINGS AREA	221,041 square feet
NET LOT AREA	669,648 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	102,531 square feet
TOTAL LANDSCAPE PROVIDED	103,019 square feet
TOTAL BED PROVIDED	103,019 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet



The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmd@hilltoplandscaping.com



LANDSCAPE ARCHITECTS SEAL JAMES DEFLON #007	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY CMD DATE 8/28/02
	LANDSCAPE PLAN	HTLS-01
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	SHEET # L-1	JOB # 21075

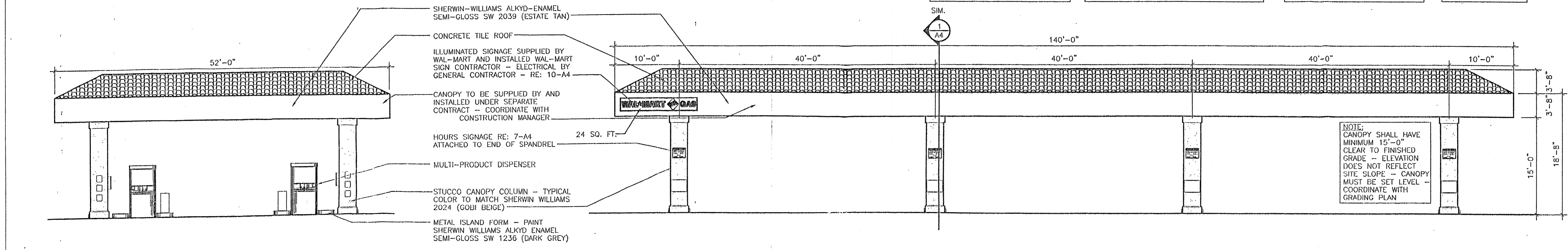


5 ENLARGED ISLAND PLAN 3/4" = 1'-0"

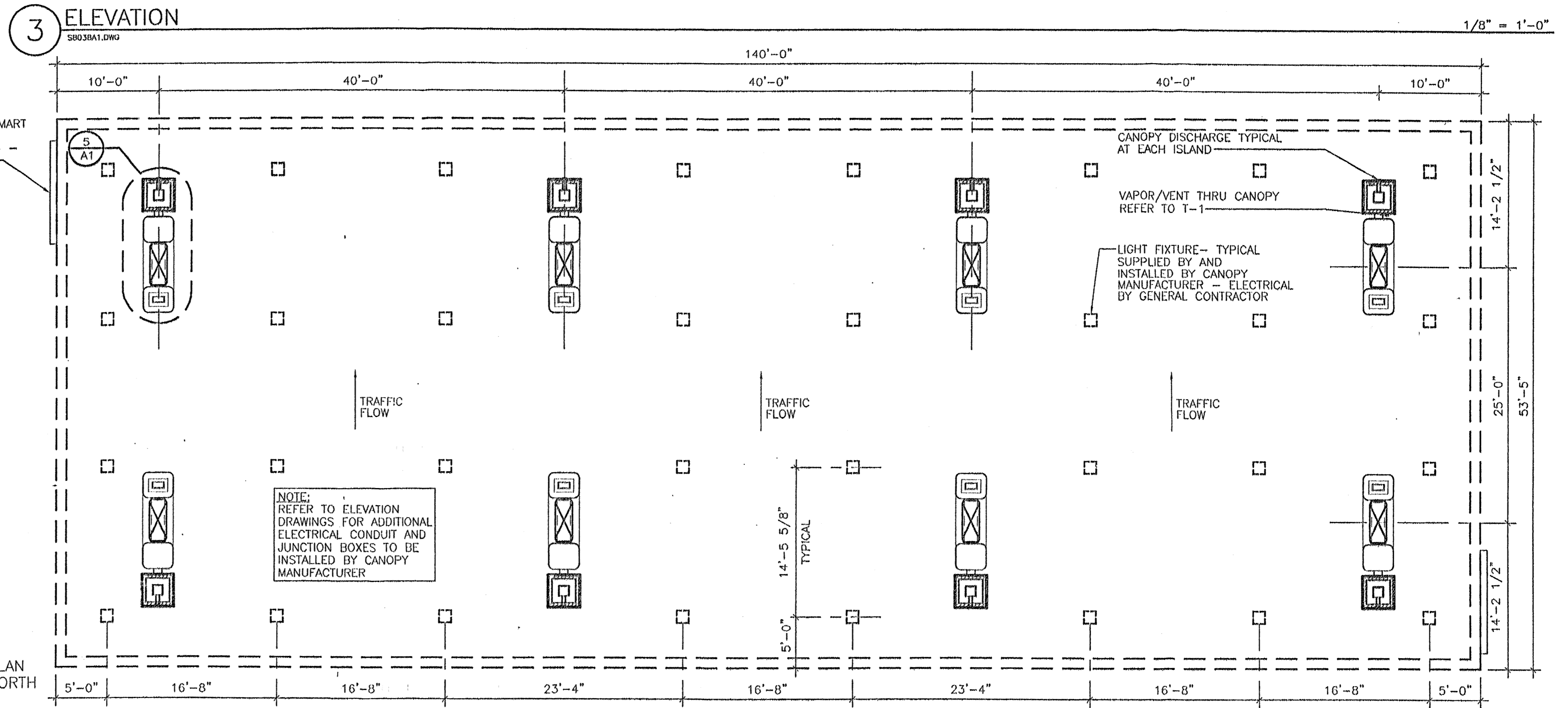
- Notes:
- All under canopy lighting shall be recessed so that no light lens projects below the canopy ceiling.
 - Canopy fascia shall be architecturally integrated with building design; no illuminated fascia bands are allowed.

- ### GENERAL NOTES
- CANOPY MANUFACTURER SHALL COORDINATE ALL SIGNAGE REQUIREMENTS FOR CANOPY AND SPANDRELS WITH SAM'S CONSTRUCTION MANAGER AND WAL-MART SIGNAGE SHOP.
 - ALL TOPS AND FOOTING ELEVATIONS SHALL BE COORDINATED WITH GENERAL CONTRACTOR TO ACCOMMODATE UNDERGROUND PIPING AND DISPENSER SUMPS.
 - CANOPY MANUFACTURER SHALL PROVIDE TO GENERAL CONTRACTOR, CONSTRUCTION MANAGER AND ARCHITECT SHOP DRAWINGS FOR CANOPY AND FOOTINGS PRIOR TO START OF CONSTRUCTION - NO CONSTRUCTION CAN START ON CANOPY UNTIL SHOP DRAWINGS HAVE BEEN RECEIVED AND APPROVED BY CONSTRUCTION MANAGER AND ARCHITECT.
 - CANOPY MANUFACTURER SHALL COORDINATE ALL CANOPY COLORS WITH CONSTRUCTION MANAGER AND ARCHITECT.
 - COORDINATE CONSTRUCTION PHASING WITH CONSTRUCTION MANAGER
 - ANCHOR BOLTS, ANCHOR BOLT TEMPLATE AND THE FOOTING DESIGN SHALL BE PROVIDED BY CANOPY MANUF. TO THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL INSTALL FOOTINGS AS PER THE CANOPY SHOP DRAWING DESIGN.
 - THE GENERAL CONTRACTOR SHALL GROUT ALL CANOPY COLUMNS AT BASE PLATE.
 - CANOPY SIGNAGE SUMMARY:
NORTH AND SOUTH ELEVATIONS:
CANOPY FASCIA = 510 SQ. FT. EA. ELEV.
EAST AND WEST ELEVATIONS:
CANOPY FASCIA = 86 SQ. FT. EA. ELEV.
PROPOSED TOTAL SIGNAGE = 27.5 SQ. FT. EA. ELEV.
 - THE ENTIRE CANOPY INCLUDING ITEMS LISTED IN NOTE 6 SHALL BE SUPPLIED BY AND INSTALLED BY CANOPY MANUFACTURER - THE FOOTINGS FOR THE CANOPY SHALL BE BY THE GENERAL CONTRACTOR.
 - ALL CONCRETE RESIDUE, DUST, DIRT AND PROTECTIVE PLASTIC WRAP TO BE REMOVED FROM DISPENSERS, ISLAND FORMS, CANOPY - COLUMNS, WASTE RECEPTACLES, ETC.

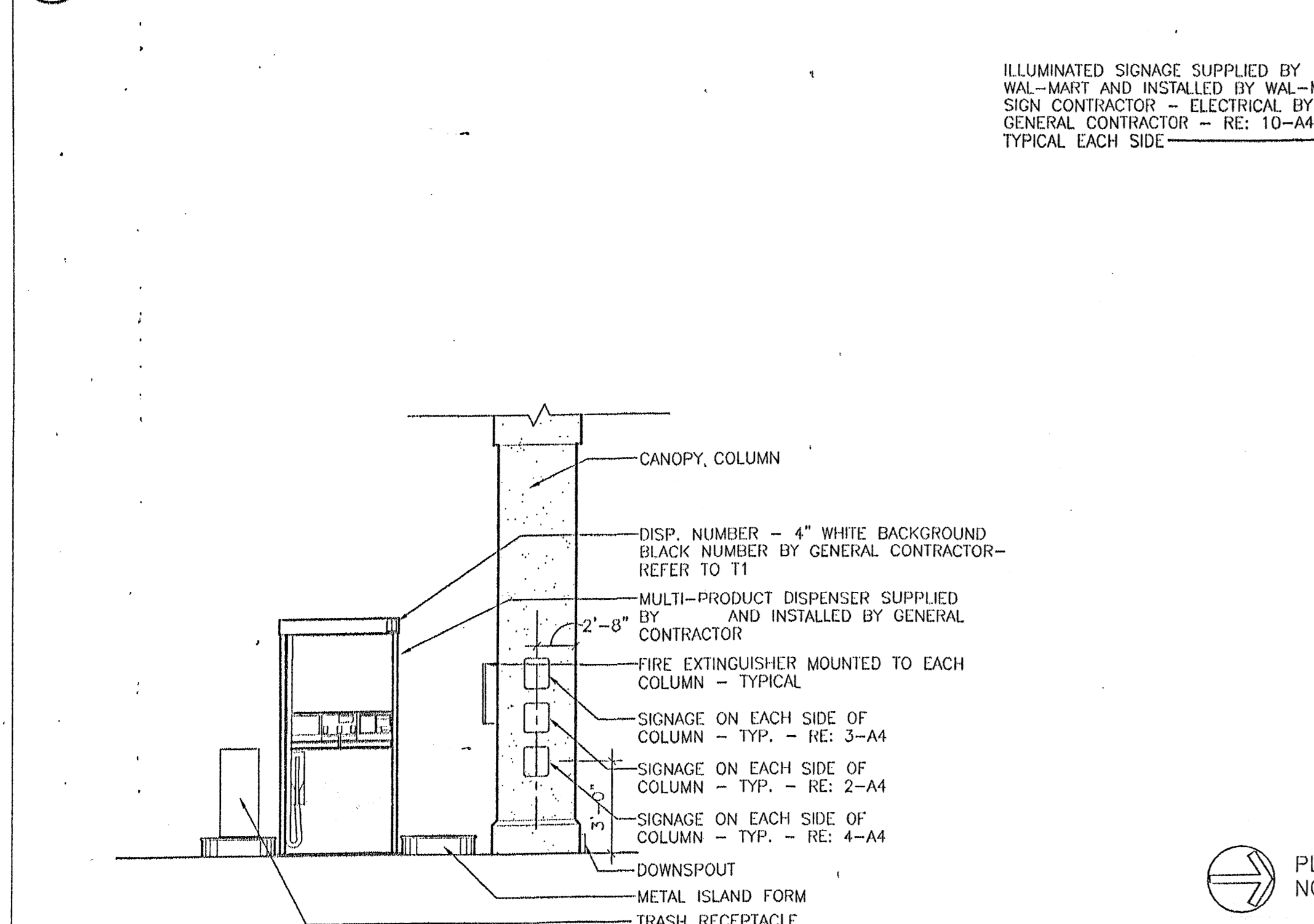
HARRISON FRENCH
ARCHITECTURE
502 S.W. A Street
Bentonville, Arkansas 72712
Telephone 501/273-7700



4 NORTH AND SOUTH ELEVATIONS 1/8" = 1'-0"



3 ELEVATION 1/8" = 1'-0"



2 DISPENSER ELEVATION 1/4" = 1'-0"

1 CANOPY PLAN 1/8" = 1'-0"

NOTE:
USE OF WOODEN BLOCKS ARE ACCEPTABLE TO LEVEL DISPENSER ISLAND; ALL WOOD MUST BE REMOVED PRIOR TO FINAL PLACEMENT OF CONCRETE.

NOTE:
THE GENERAL CONTRACTOR SHALL PREP AND PAINT ALL CANOPY COLUMNS AND ISLAND FORMS - THE CANOPY MANUFACTURER SHALL PREFINISH ALL OTHER ITEMS.

NOTE:
SIGNAGE CONTRACTOR SHALL COORDINATE EXACT LOCATIONS OF ILLUMINATED FASCIA SIGNAGE WITH CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF SIGNS.

NOTE:
ALL SIGNAGE ON THIS SHEET SHALL BE SUPPLIED BY AND INSTALLED BY WAL-MART SIGNAGE CONTRACTOR - ALL PERMITS REQUIRED FOR SIGNAGE SHALL BE SECURED BY WAL-MART SIGNAGE CONTRACTOR.

NOTE:
CANOPY SHALL HAVE MINIMUM 15'-0" CLEAR TO FINISHED GRADE - ELEVATION DOES NOT REFLECT SITE SLOPE - CANOPY MUST BE SET LEVEL - COORDINATE WITH GRADING PLAN

NOTE:
REFER TO ELEVATION DRAWINGS FOR ADDITIONAL ELECTRICAL CONDUIT AND JUNCTION BOXES TO BE INSTALLED BY CANOPY MANUFACTURER

Sheet Contents:
CANOPY PLAN AND ELEVATIONS

Drawn By: MEG
Checked By: TWP
Revisions:

Project Number: WF0086
Date: 07-03-00
Sheet: 1 OF 4 SHEETS

C-3 ZONING

SITE UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE AND MANHOLE SHALL BE AS FOLLOWS:
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 - 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 - 6" PVC SCHEDULE 40
 - DUCTILE IRON PIPE PER AWWA C150
 - MANHOLES SHALL BE PRECAST CONCRETE W/BOOTS (TRAFFIC MODEL RING & COVER)
- WATERLINES SHALL BE AS FOLLOWS:
 - 4" AND LARGER SHALL BE C-900 CLASS 150 PVC PER ASTM 2241.
 - VALVES SHALL BE M&H RESILIENT SEAT AND M.J. GATE VALVES.
 - ALL FIRE HYDRANTS SHALL BE M&H MODEL 129 (3 WAY)(BRASS SEAT) 5 1/4" VALVE OPENING, 4' BURY, M.J. FOOT, 2-2 1/2" HOSE NOZZLES, 1-4 1/2" STEAMER NOZZLE.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.)
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (CITY OF ALBUQUERQUE) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE INSTALLATION OR REPAIR OF ANY UNDERGROUND FACILITIES OR PIPING WHICH CONNECTS TO OR FURNISHES WATER FOR THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR, OR LICENSED PLUMBER. SEE O.C.G.A. TITLE 25-11-7-(c). A COPY OF THE LICENSE OR CERTIFICATE OF COMPETENCY SHALL BE PROVIDED TO THE INSPECTOR AT THE FINAL INSPECTION.
- UTILITY WORK TO BE DONE IN FRONT OF STORE TO BE COORDINATED WITH WAL-MART CONSTRUCTION MANAGER. FRONT UTILITY WORK WILL BE DONE AT NIGHT IF NOT LOCATED BEHIND CONSTRUCTION FENCE.
- CONTRACTOR TO RELOCATE LIGHT POLE AND REPLACE LUMINAIRES AS INDICATED. CONTRACTOR TO BUILD NEW POLE BASE AND STUB WIRE AS NEEDED.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- REFER TO SHEET 12 FOR SERVICE STATION UTILITIES.
- BACKFLOW PREVENTOR SHALL BE LOCATED INSIDE THE BUILDING.

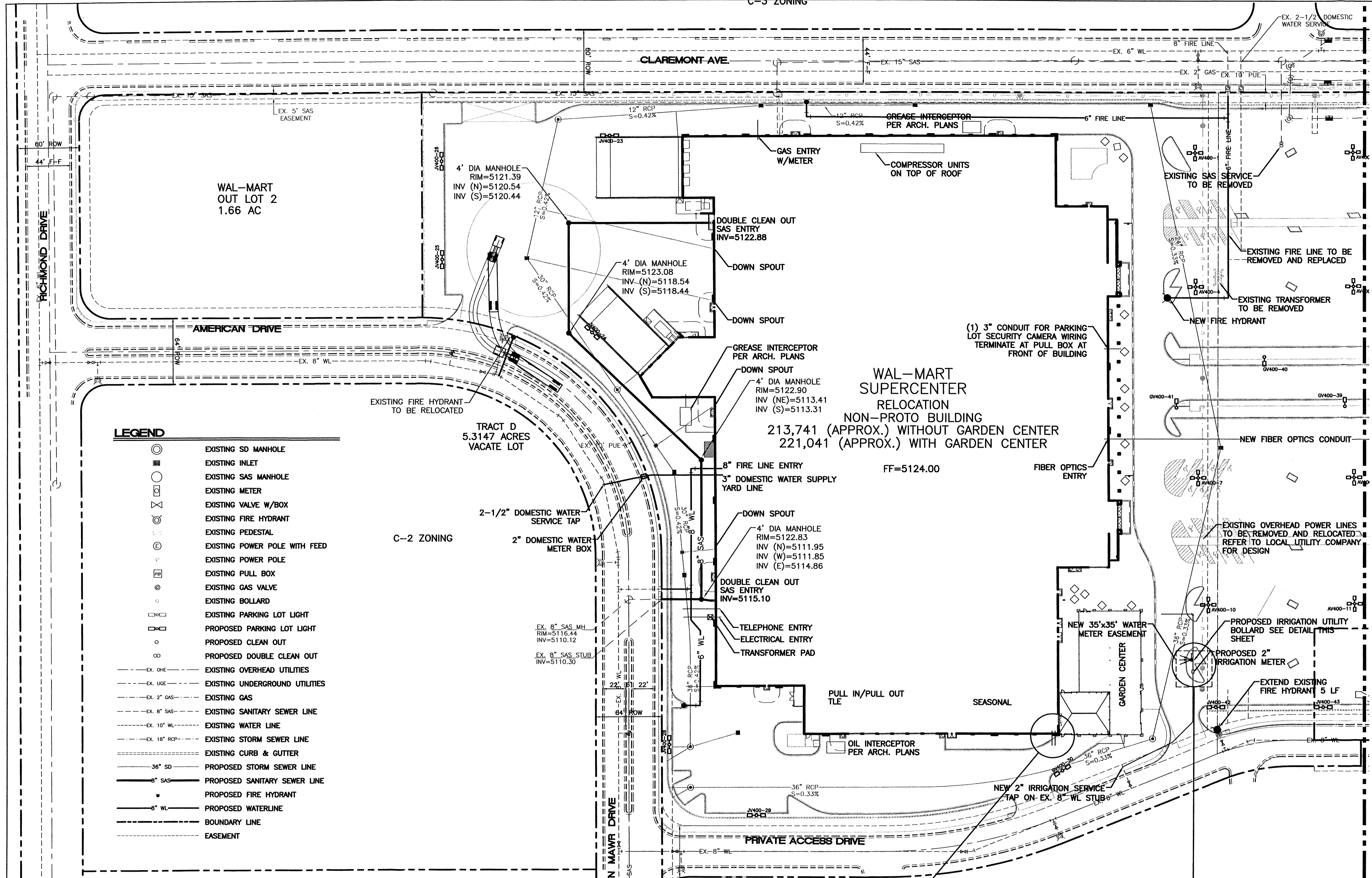
DRY UTILITY NOTES:

- PNM IS RESPONSIBLE FOR RELOCATION AND/OR ABANDONMENT OF THEIR LINES AND PULL BOXES AS SHOWN.
- GAS COMPANY IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AS SHOWN.
- COMCAST IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AND MANHOLES AS SHOWN.

CAUTION:

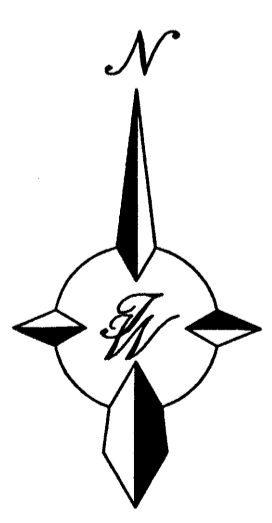
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

MATCHLINE SEE SHEET 7A

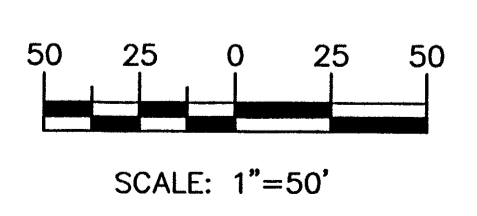


LEGEND

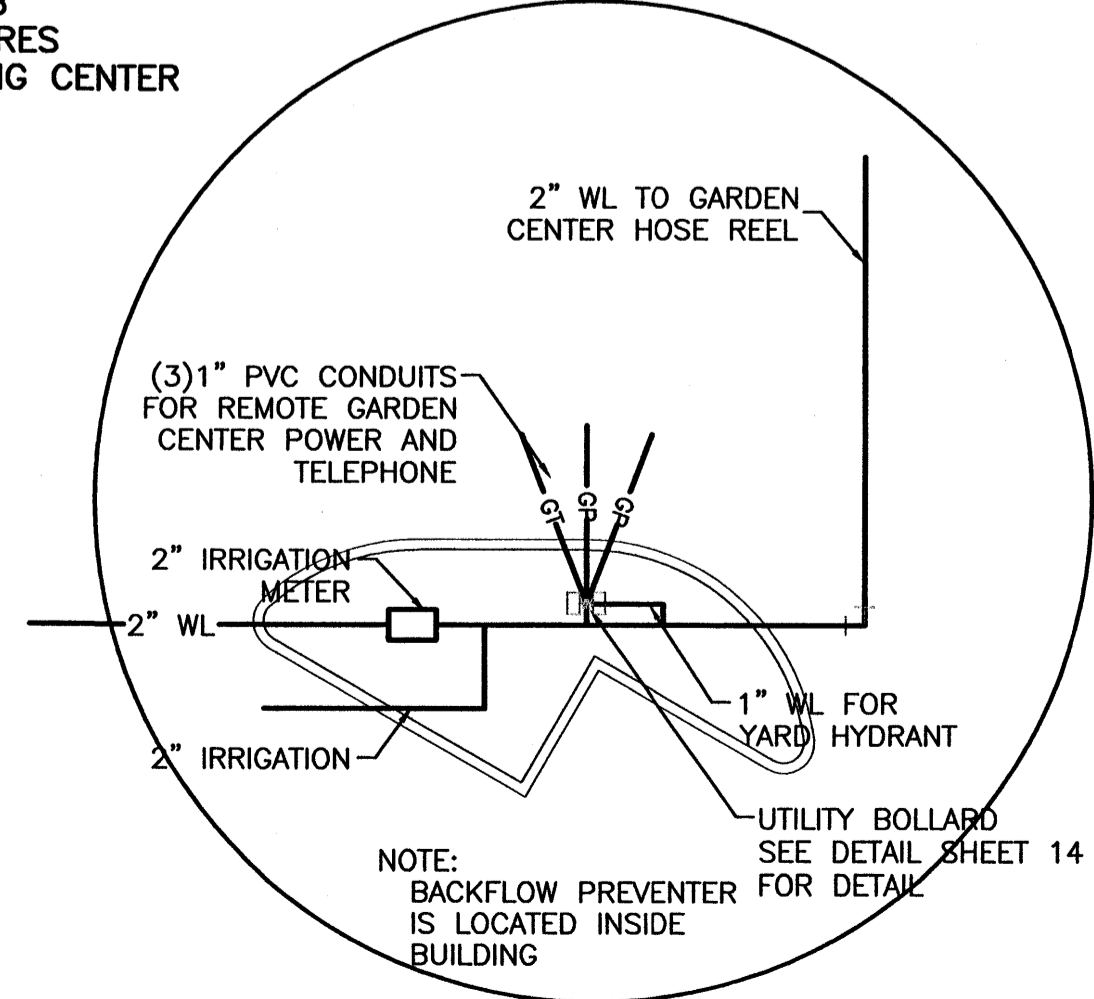
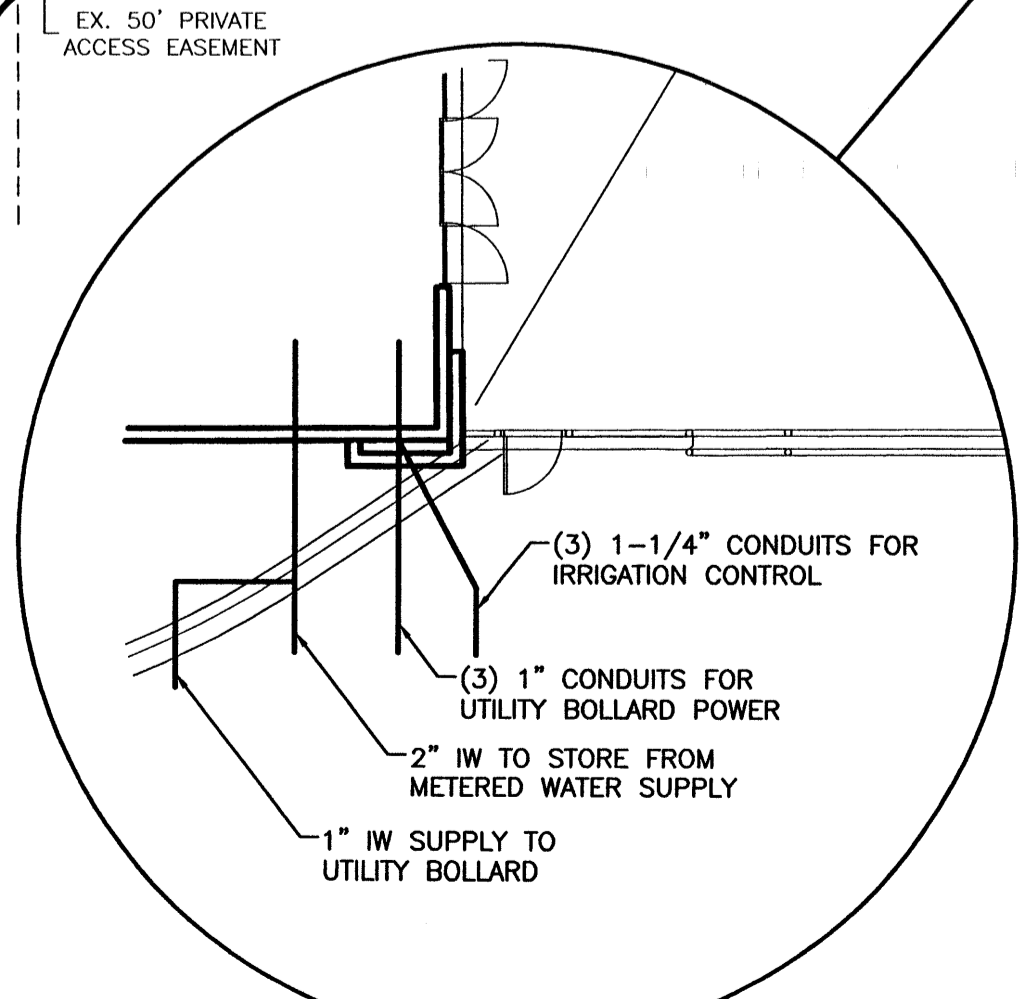
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING PEDESTAL
- EXISTING POWER POLE WITH FEED
- EXISTING POWER POLE
- EXISTING PULL BOX
- EXISTING GAS VALVE
- EXISTING BOLLARD
- EXISTING PARKING LOT LIGHT
- PROPOSED PARKING LOT LIGHT
- PROPOSED CLEAN OUT
- PROPOSED DOUBLE CLEAN OUT
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED WATERLINE
- BOUNDARY LINE
- EASEMENT



GRAPHIC SCALE



FIELD PLANS CHECKING OFFICE
 824-3611
 APPROVED/DISAPPROVED
 INITIALS ONLY
 DATE
 7/10/03



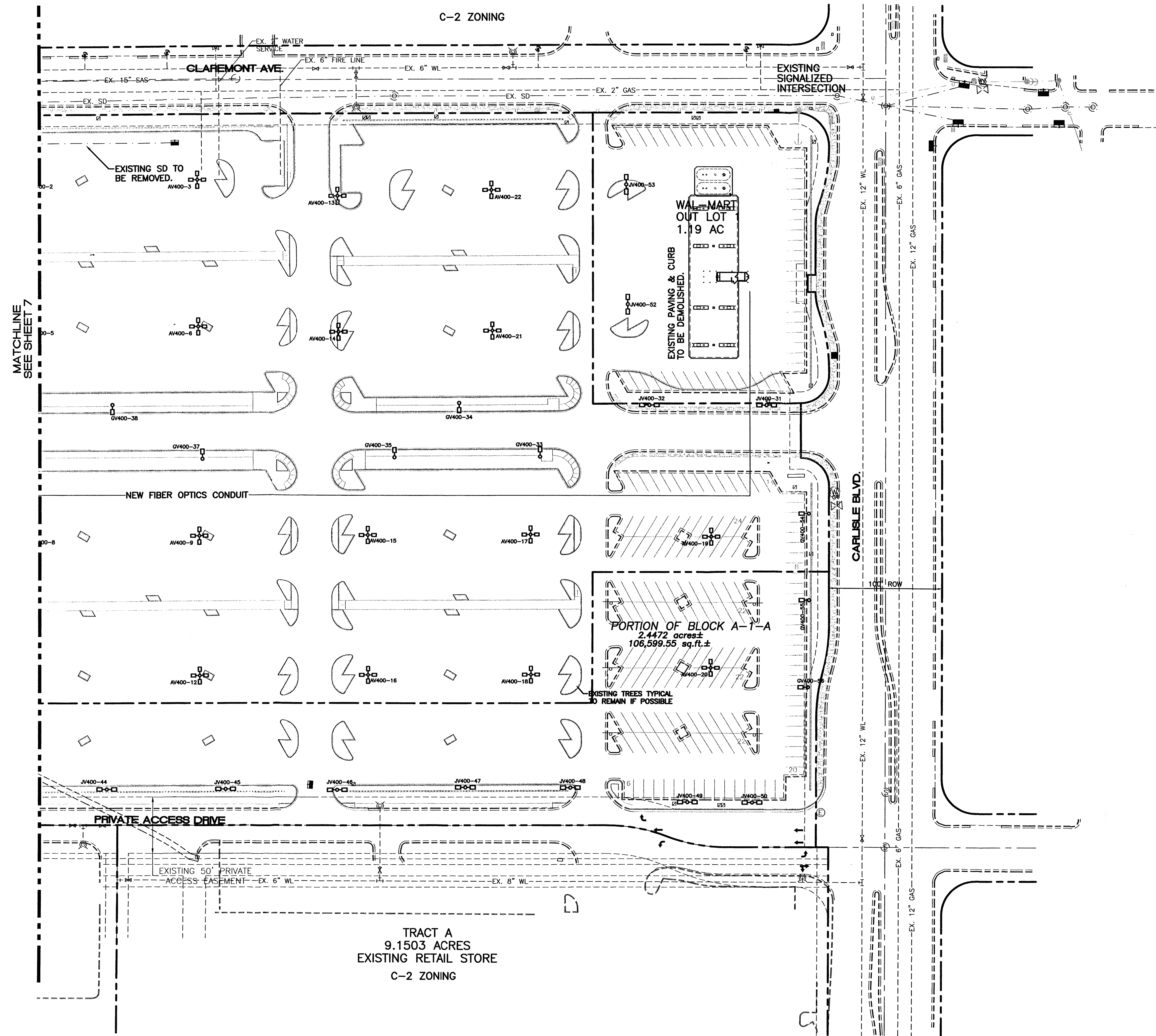
WAL-MART
OUT LOT 2
1.66 AC

WAL-MART
 SUPERCENTER
 RELOCATION
 NON-PROTO BUILDING
 213,741 (APPROX.) WITHOUT GARDEN CENTER
 221,041 (APPROX.) WITH GARDEN CENTER
 FF=5124.00

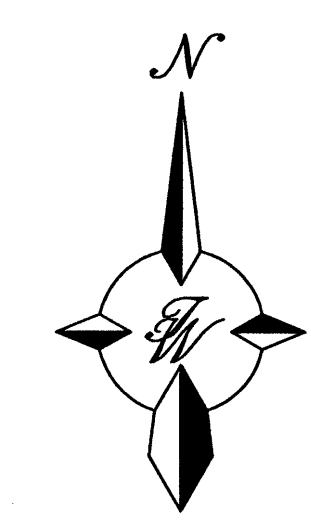
TRACT D
5.3147 ACRES
VACATE LOT

TRACT B
9.6229 ACRES
EXISTING SHOPPING CENTER

ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY BDG
		DATE 04/15/03
	MASTER UTILITY PLAN	2175MU.DWG
		SHEET # 7
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 21075



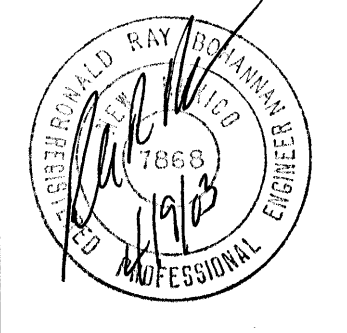
MATCHLINE SEE SHEET 7



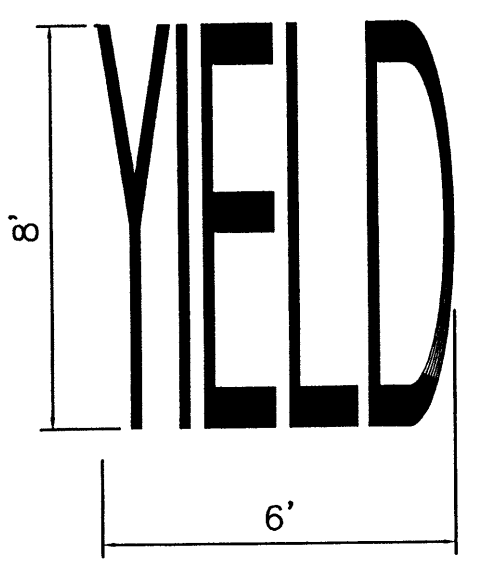
GRAPHIC SCALE



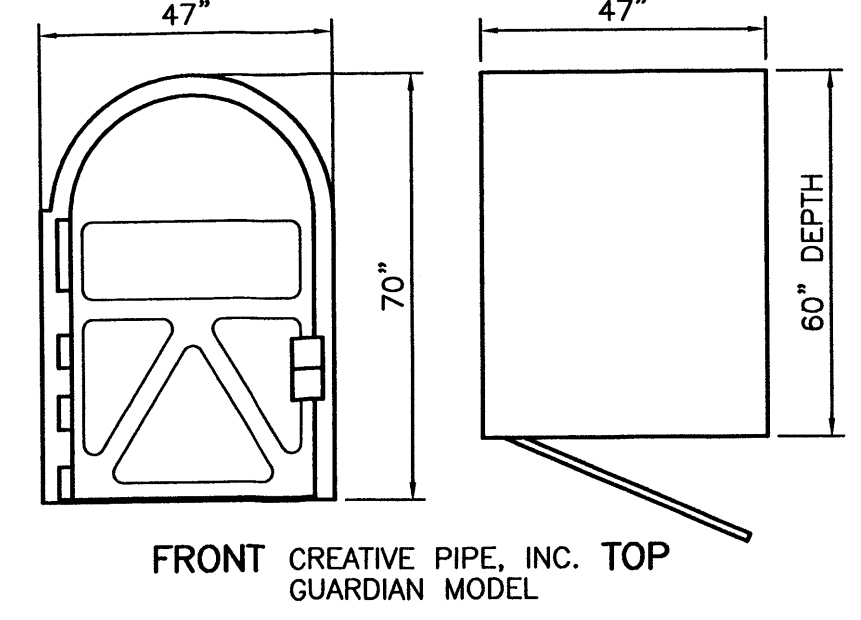
SCALE: 1"=50'

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY: BDG DATE: 04/10/03
	MASTER UTILITY PLAN - B	2175SP.DWG
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 7A	JOB # 21075

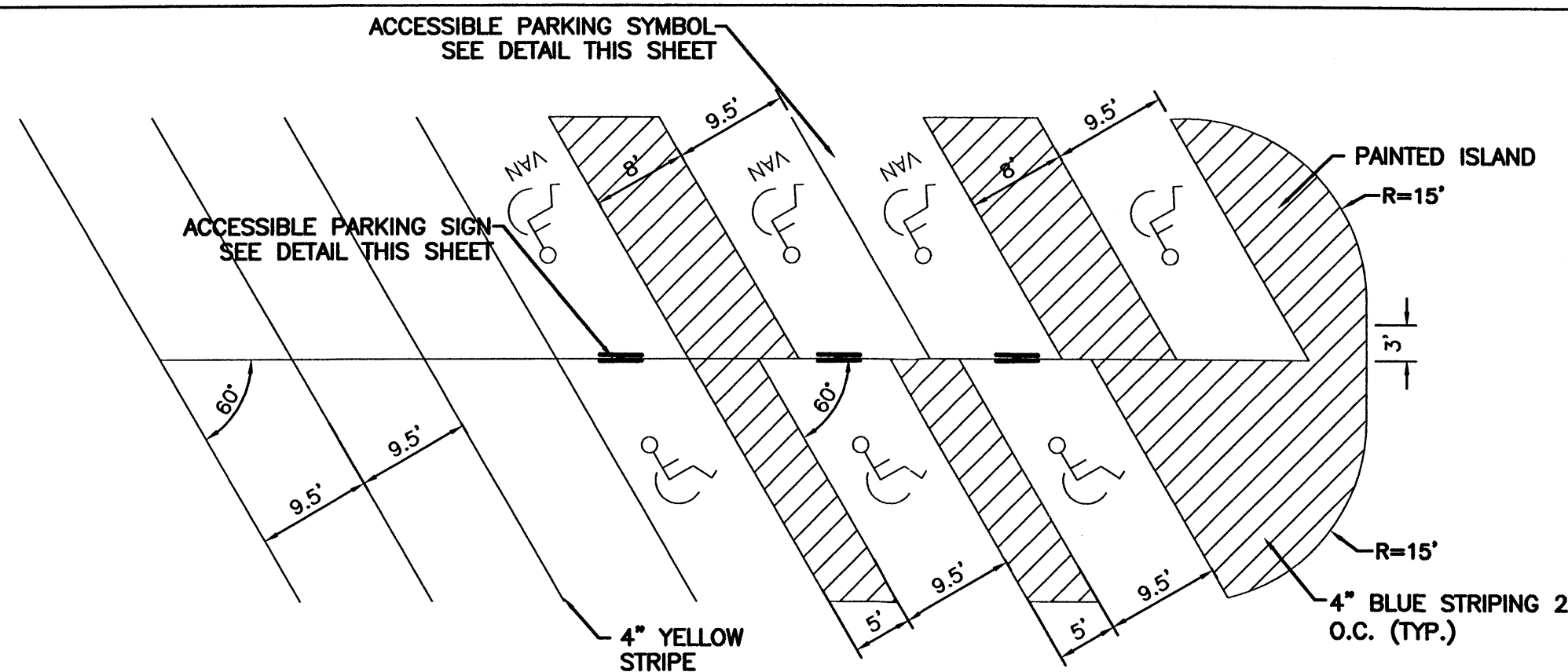
NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
2. THESE WORDS AND ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.



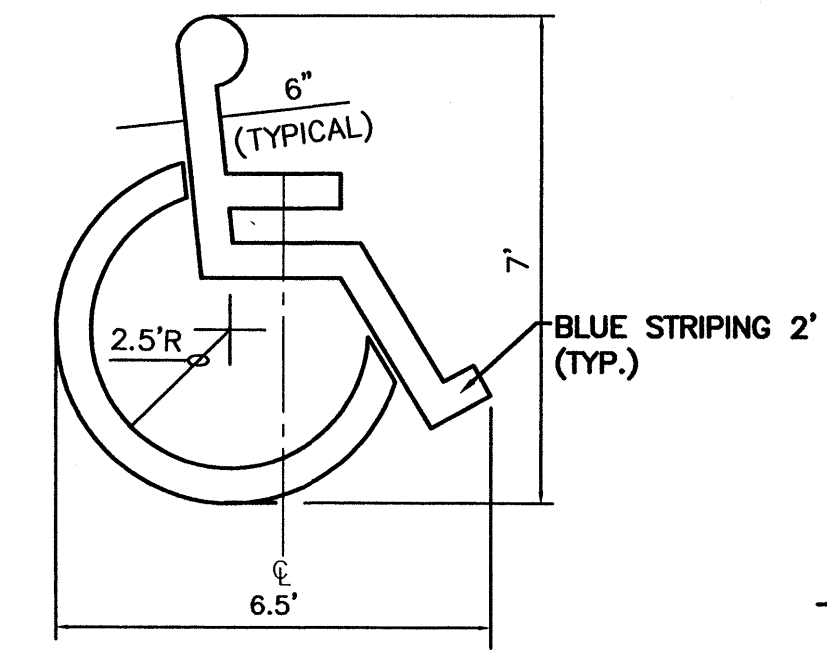
YIELD MARKER
SCALE: NTS



BIKE LOCKER DETAIL
NTS



STANDARD AND ACCESSIBLE PARKING DETAIL
NTS

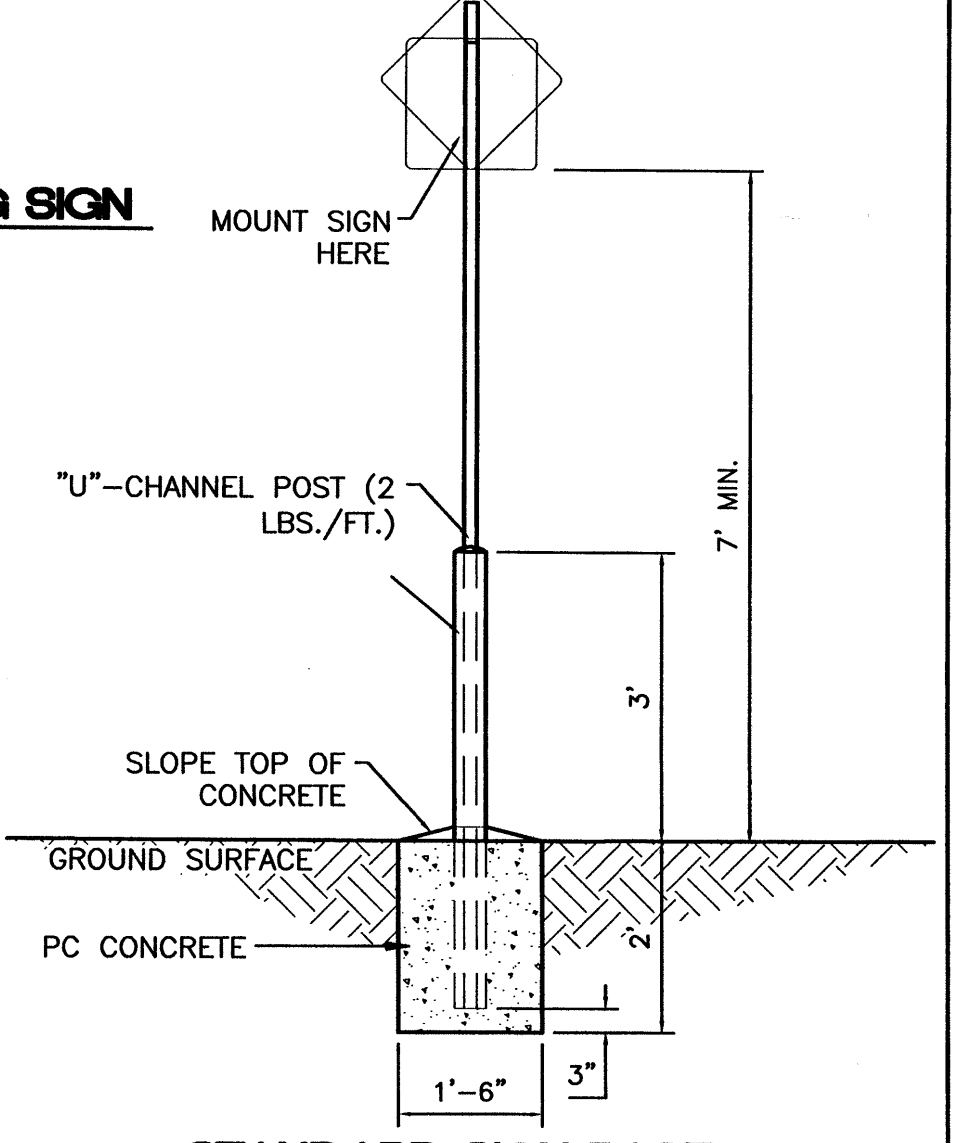


ACCESSIBLE PARKING SYMBOL
SCALE: NTS

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

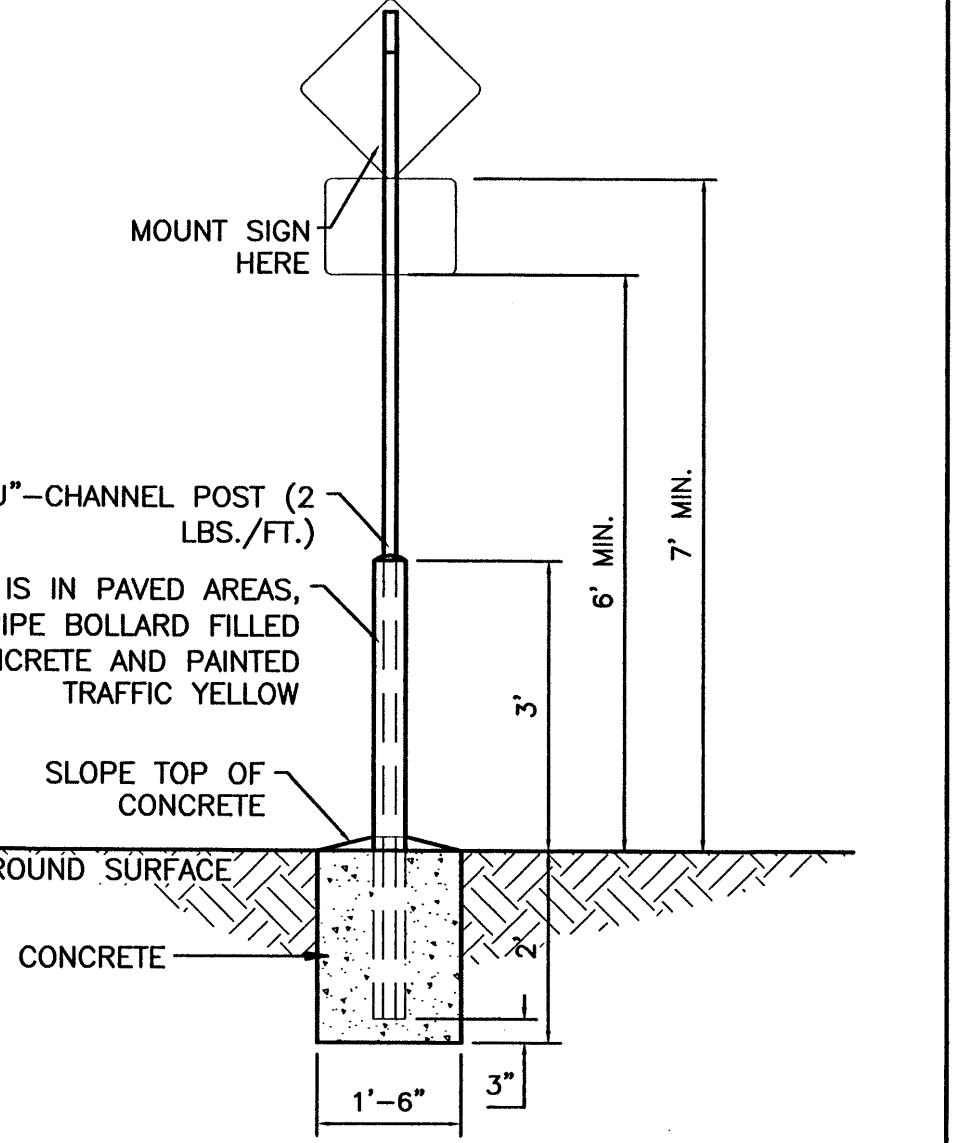


PEDESTRIAN CROSSING SIGN
SCALE: NTS



STANDARD SIGN BASE
SCALE: 1/2"=1'

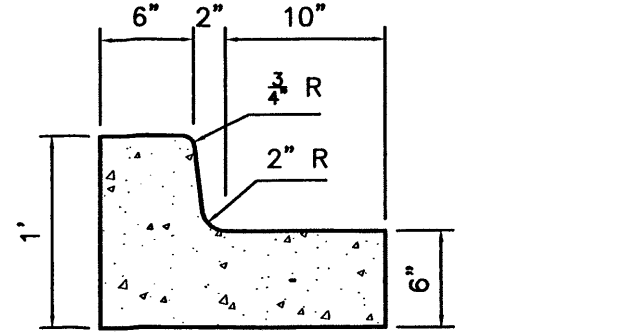
ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



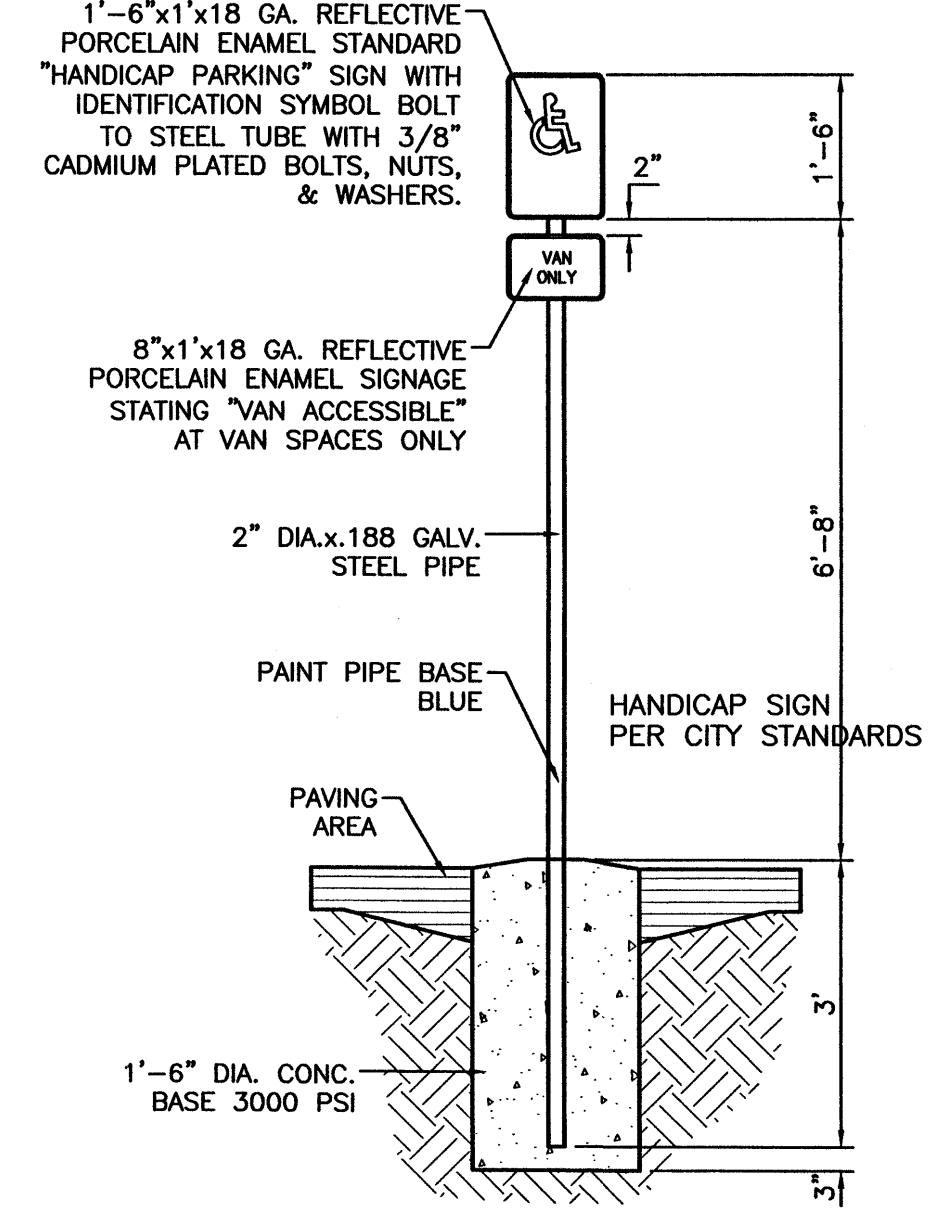
PEDESTRIAN SIGN BASE
SCALE: 1/2"=1'

WHEN SIGN IS IN PAVED AREAS, USE 4" PIPE BOLLARD FILLED W/ CONCRETE AND PAINTED TRAFFIC YELLOW

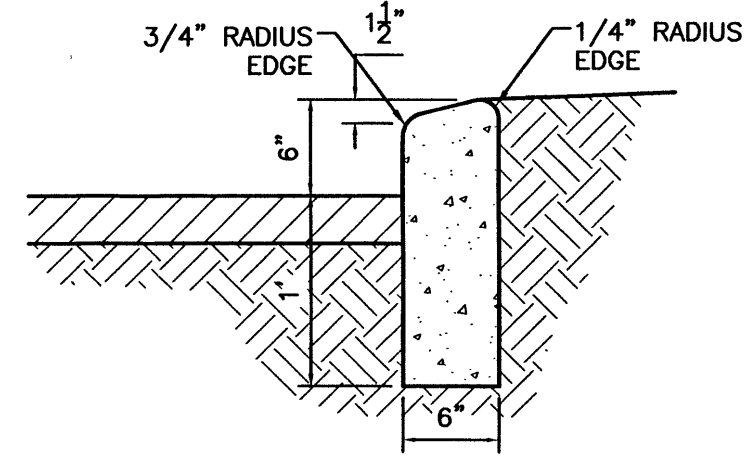
CURB GENERAL NOTES:
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX. SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.



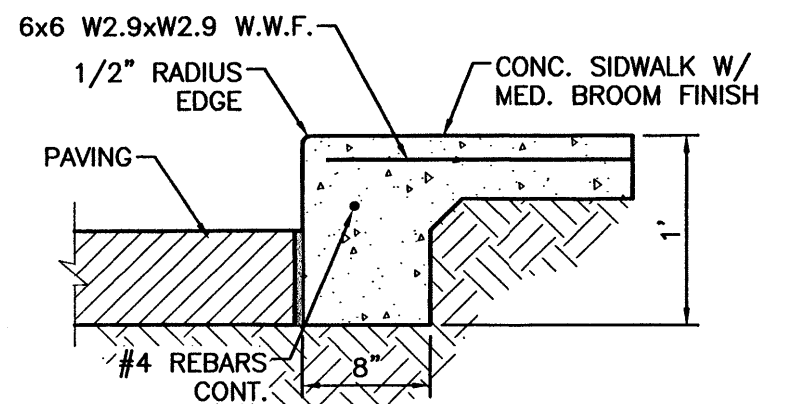
6 IN. CURB AND GUTTER
SCALE: 1"=1'



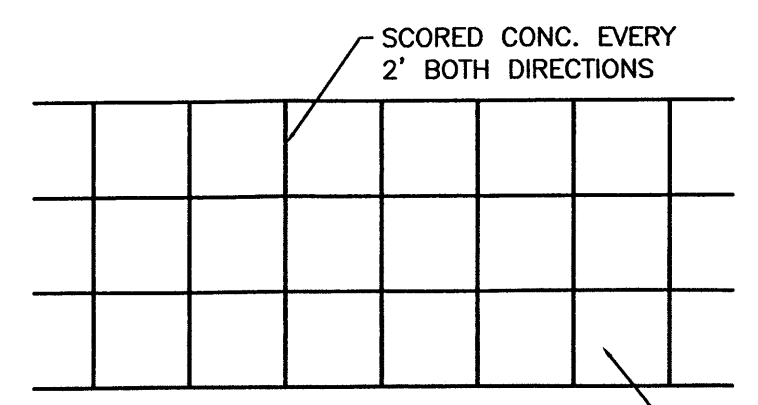
HANDICAP SIGN
SCALE: 1/2"=1'



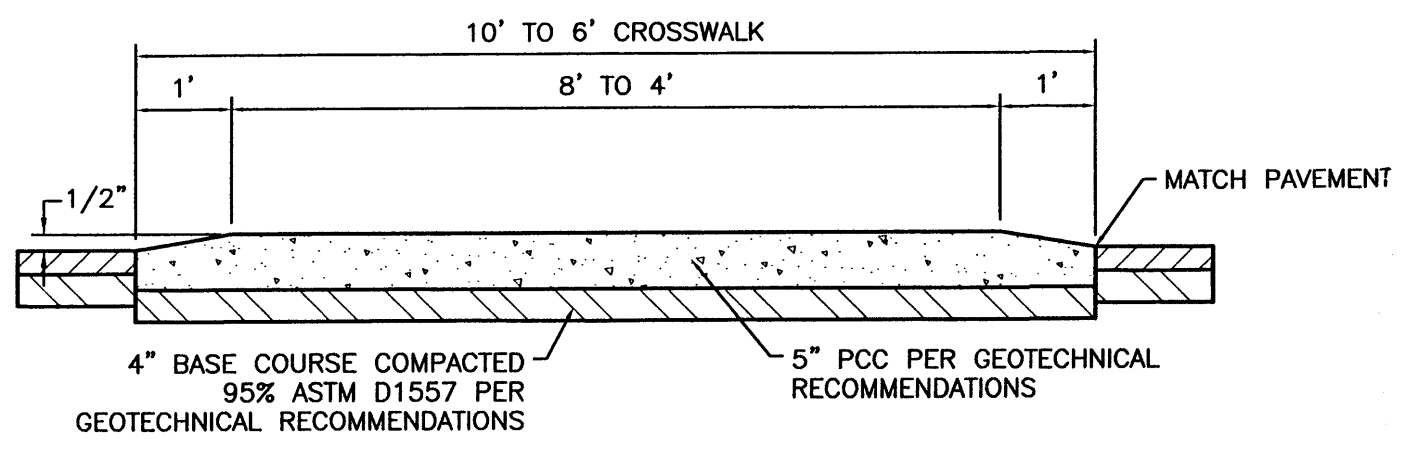
6" HEADER CURB DETAIL
1"=1'



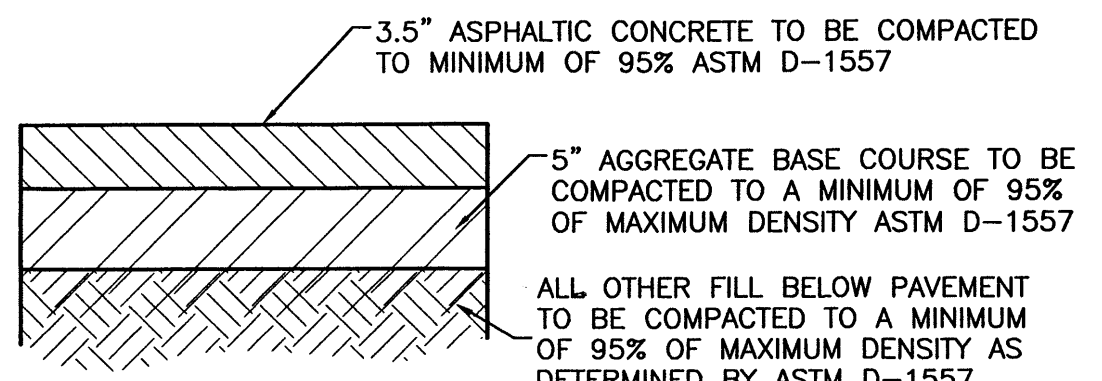
DETAIL-TURNDOWN CURB
1"=1'-0"



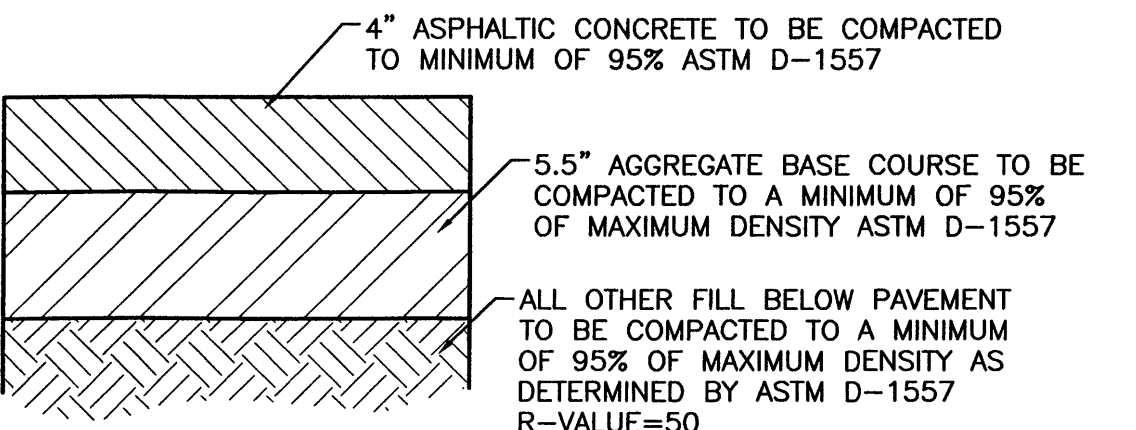
CROSSWALK PLAN VIEW
5" PCC PER GEOTECHNICAL RECOMMENDATIONS



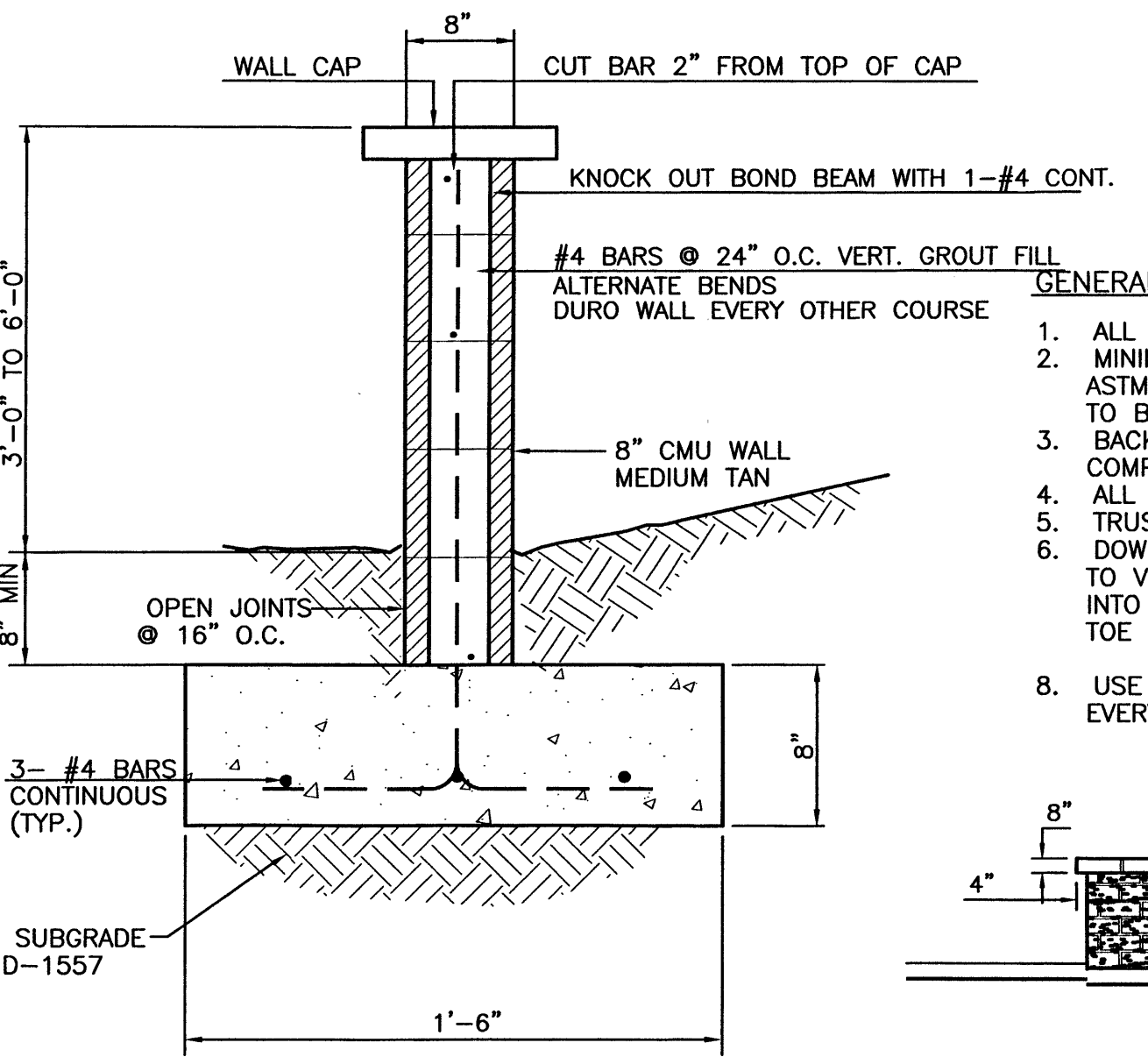
RAISED CROSSWALK
SCALE: 1/2"=1'



AUTOMOBILE PARKING TYPICAL PAVING SECTION
1"=1'

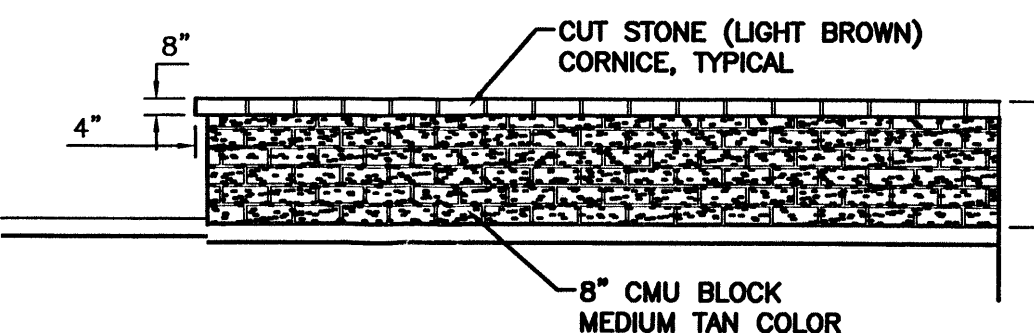


AUTOMOBILE DRIVEWAYS AND AREAS SUBJECT TO SEMI-TRUCKS TYPICAL PAVING SECTION
1"=1' DESIGNATED BY [Symbol]

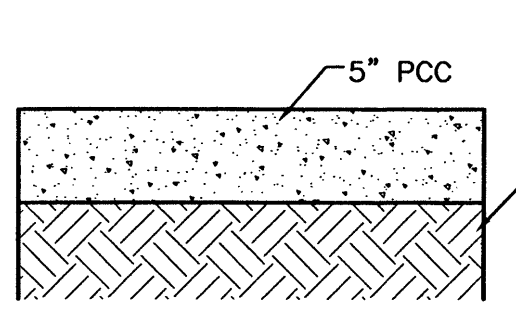


3' SCREEN WALL SECTION
NTS

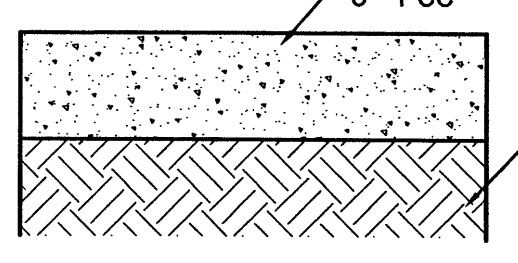
GENERAL NOTES:
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



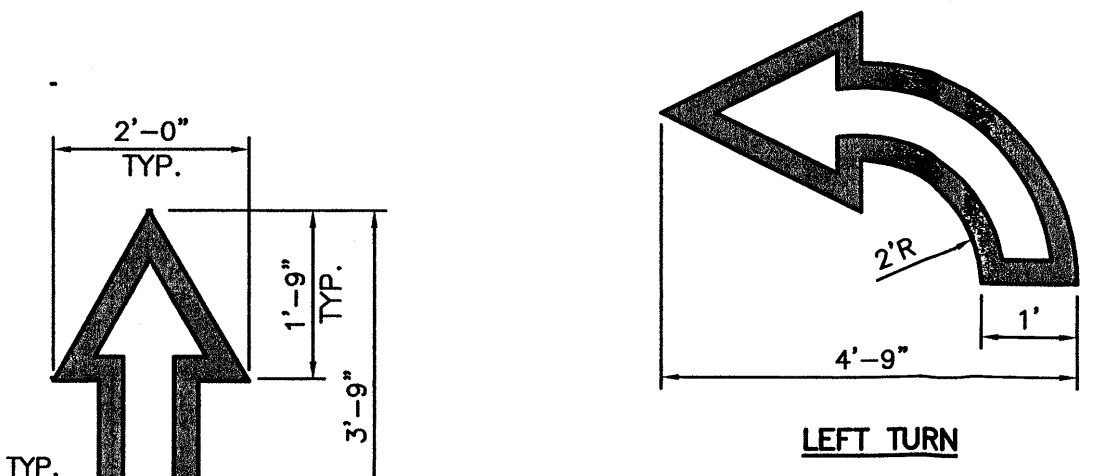
SCREEN WALL DETAIL (TYP.)
NTS



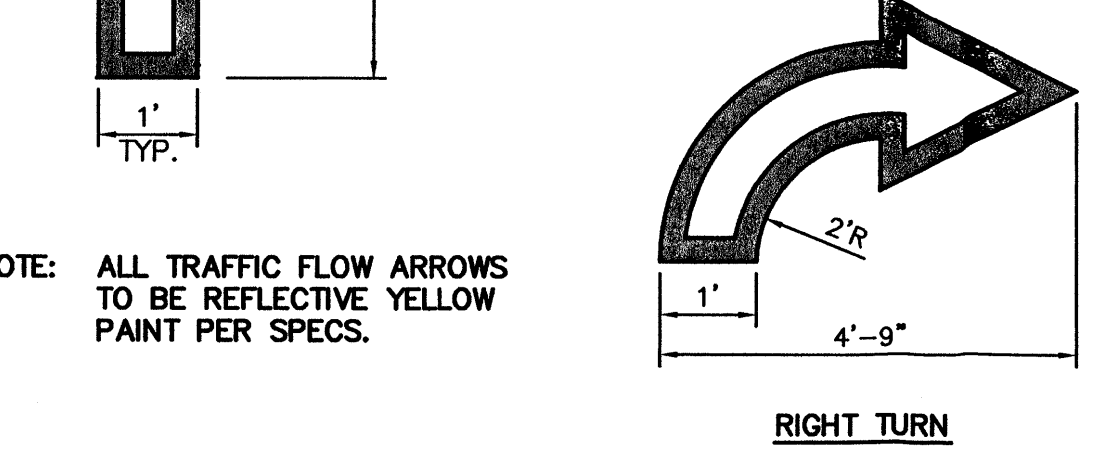
STANDARD CONCRETE SECTION
1"=1' DESIGNATED BY [Symbol]



HEAVY CONCRETE SECTION
1"=1' DESIGNATED BY [Symbol]



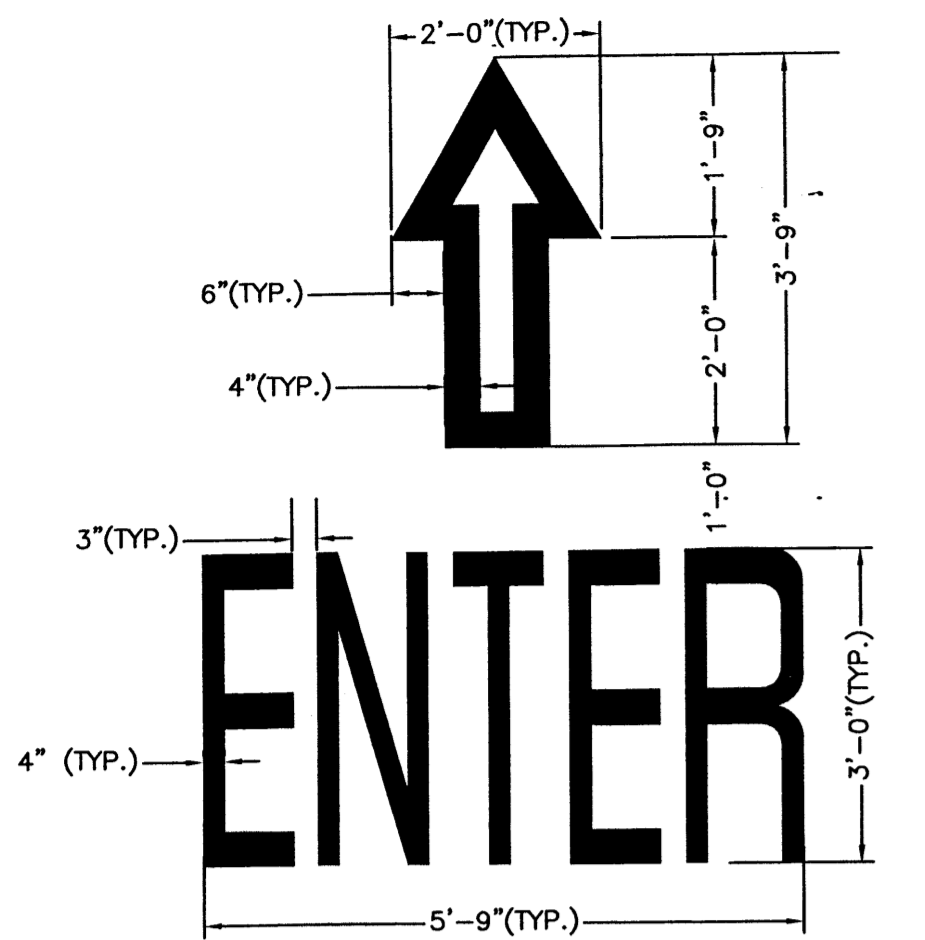
LEFT TURN



RIGHT TURN

NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPECS.

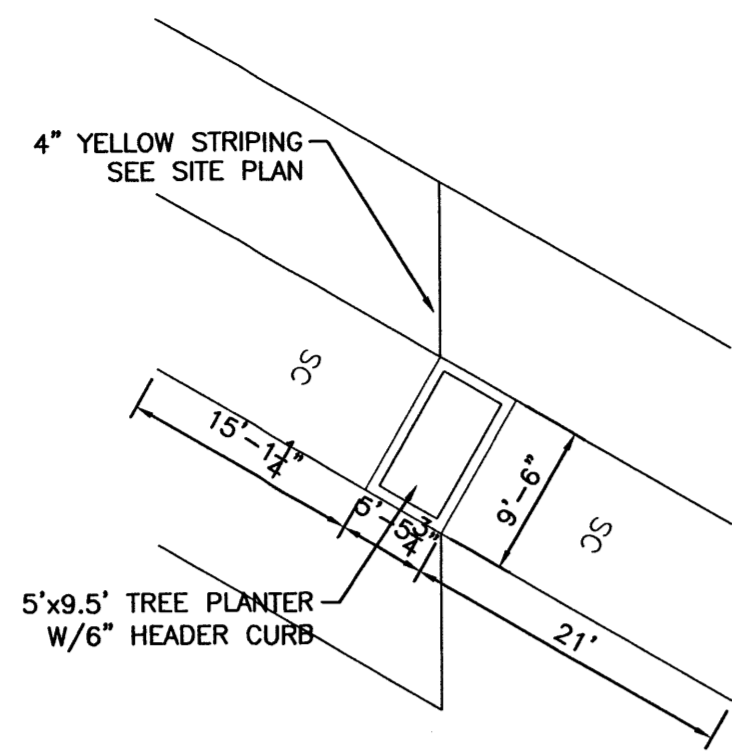
ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY BDG
	DETAILS	DATE 12/09/02
		DETAILS1.DWG
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 8
RONALD R. BOHANNAN P.E. #7868		JOB # 21075



ENTER MARKER

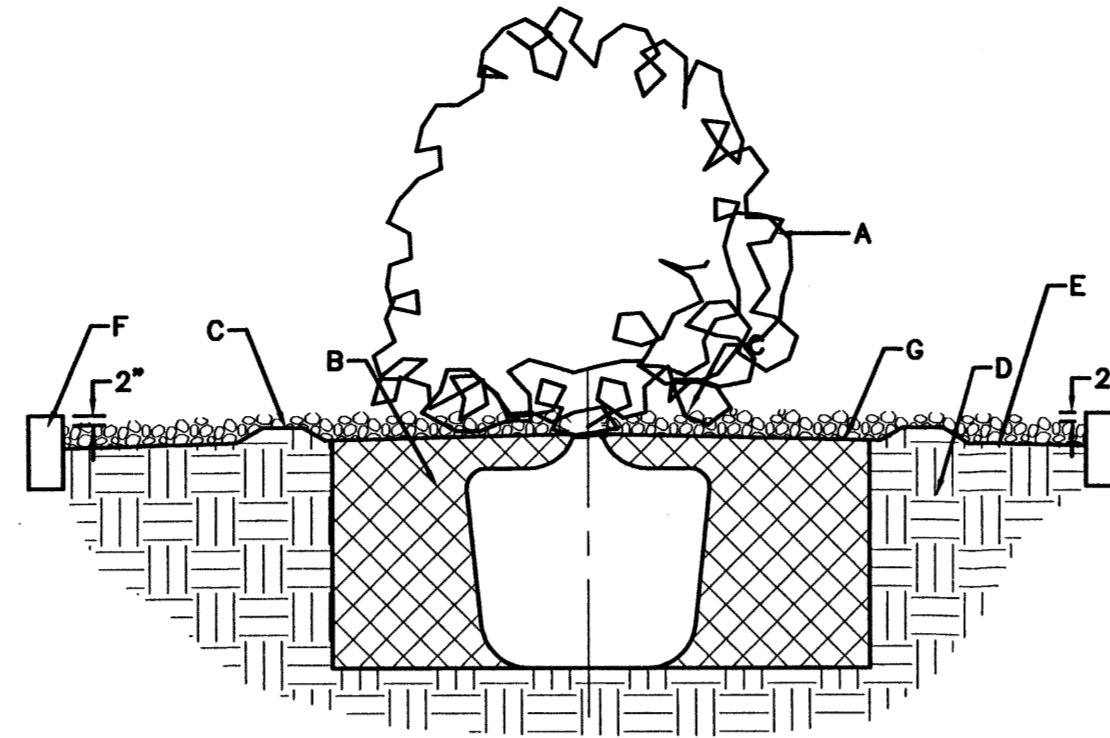
SCALE: NTS

NOTE: ALL TRAFFIC FLOW ARROWS TO BE SOLID YELLOW REFLECTIVE TRAFFIC PAINT PER DIMENSIONS ABOVE.



ELONGATED TREE PLANTER

SCALE: NTS



GENERAL NOTES:

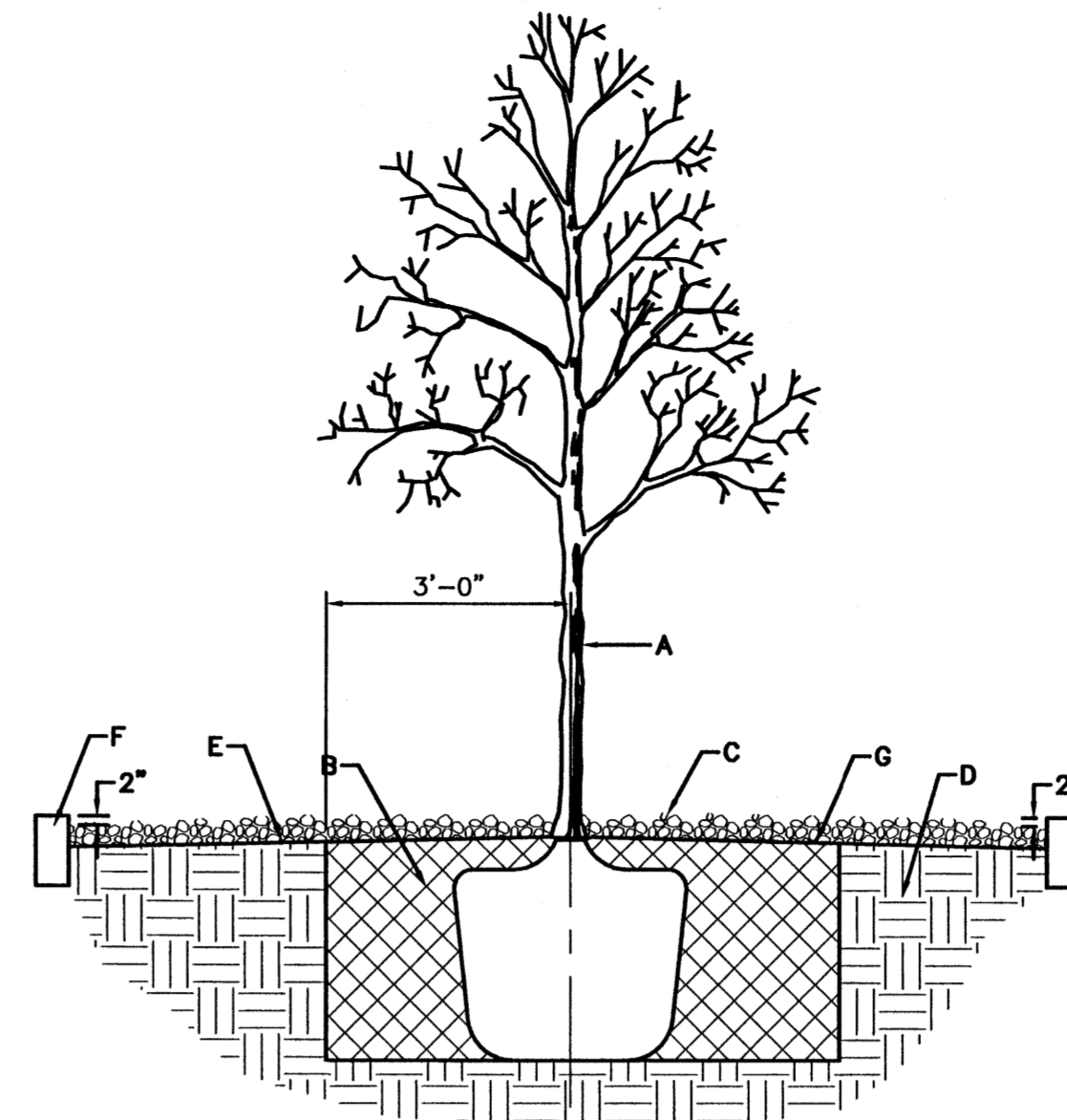
1. ROOTBALL SHALL BE PLACED ON DISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG, THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED, THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INLER LAYER OF SOIL.
3. PRIOR TO BACKFILL TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. SHRUB
- B. BACKFILL WITH EXISTING SOIL
- C. CREATE EARTH BERM TO FORM RETENTION BASIN
- D. 4" DEEP 3/4" CRUSHED GREY GRAVEL
- E. FINISH GRADE 4" BELOW TOP OF CURB
- F. UNDISTURBED SOIL
- G. FILTER FABRIC
- H. STANDARD 6" CURB

SHRUB IN GRAVEL

SCALE: NTS



GENERAL NOTES:

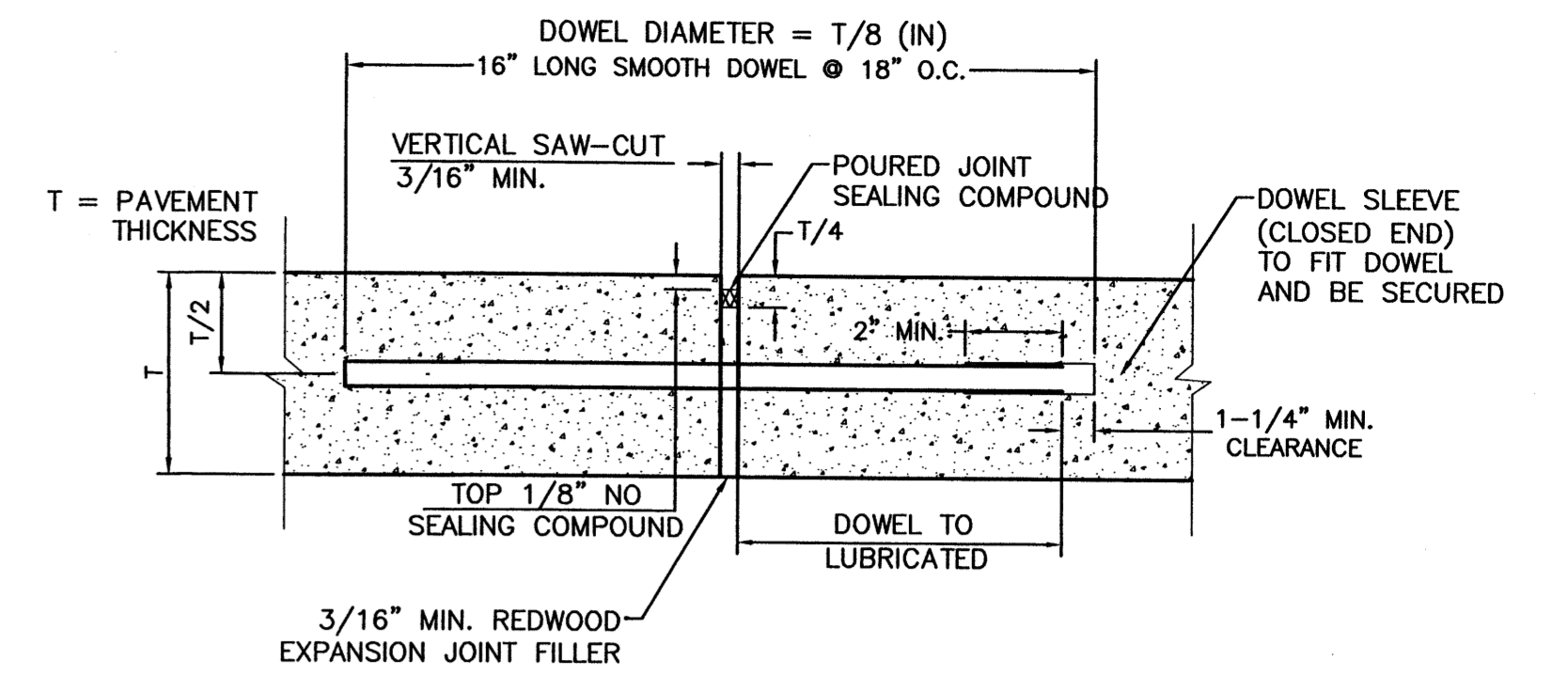
1. ROOTBALL SHALL BE PLACED ON DISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG, THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED, THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INLER LAYER OF SOIL.
3. PRIOR TO BACKFILL TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL
- C. 4" DEEP 3/4" CRUSHED GREY GRAVEL
- D. UNDISTURBED SOIL
- E. FILTER FABRIC
- F. STANDARD 6" CURB
- G. FINISH GRADE 4" BELOW TOP OF CURB

TREE PLANTING

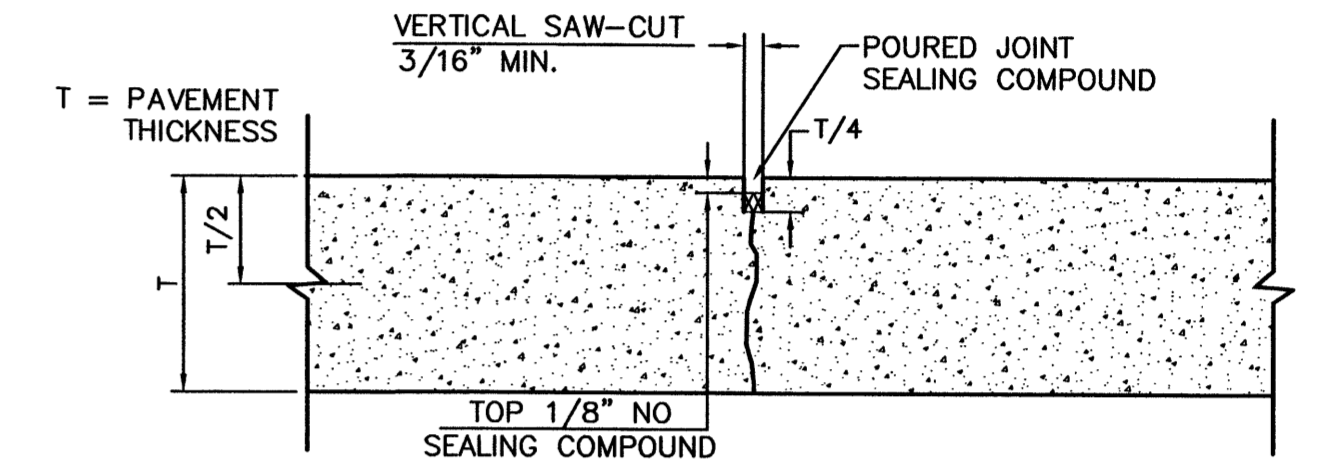
SCALE: NTS



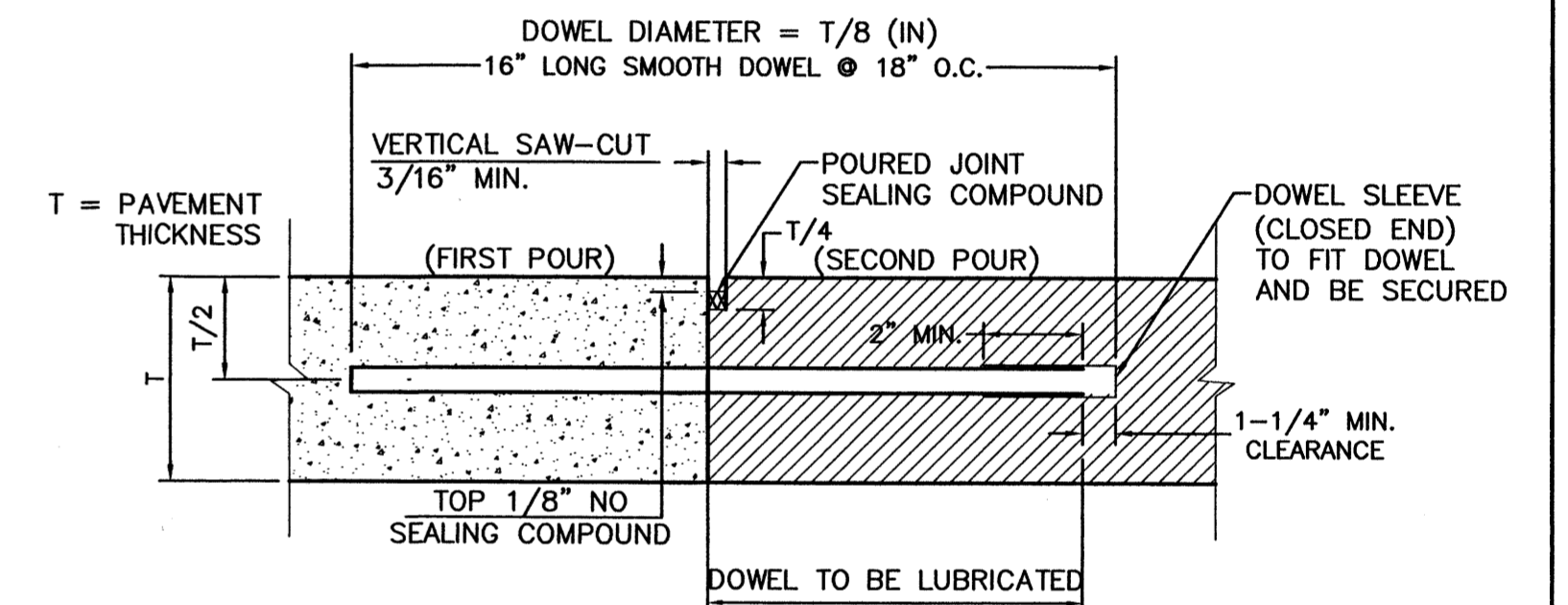
NOTE:

1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT



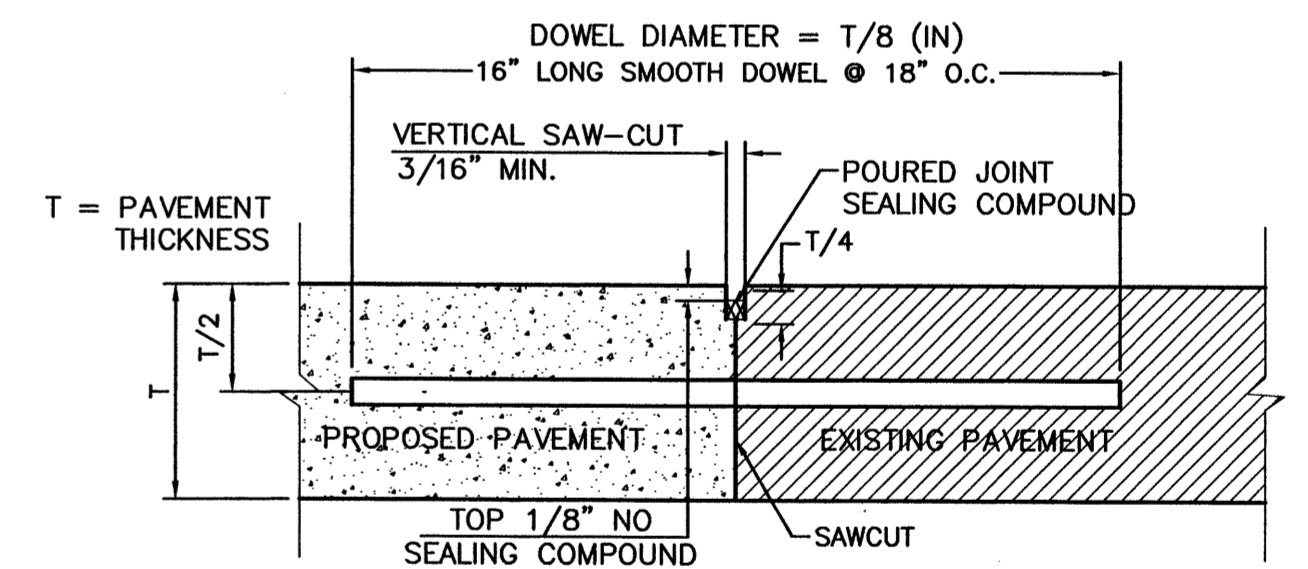
CONTRACTION JOINT



NOTE:

1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

CONSTRUCTION JOINT



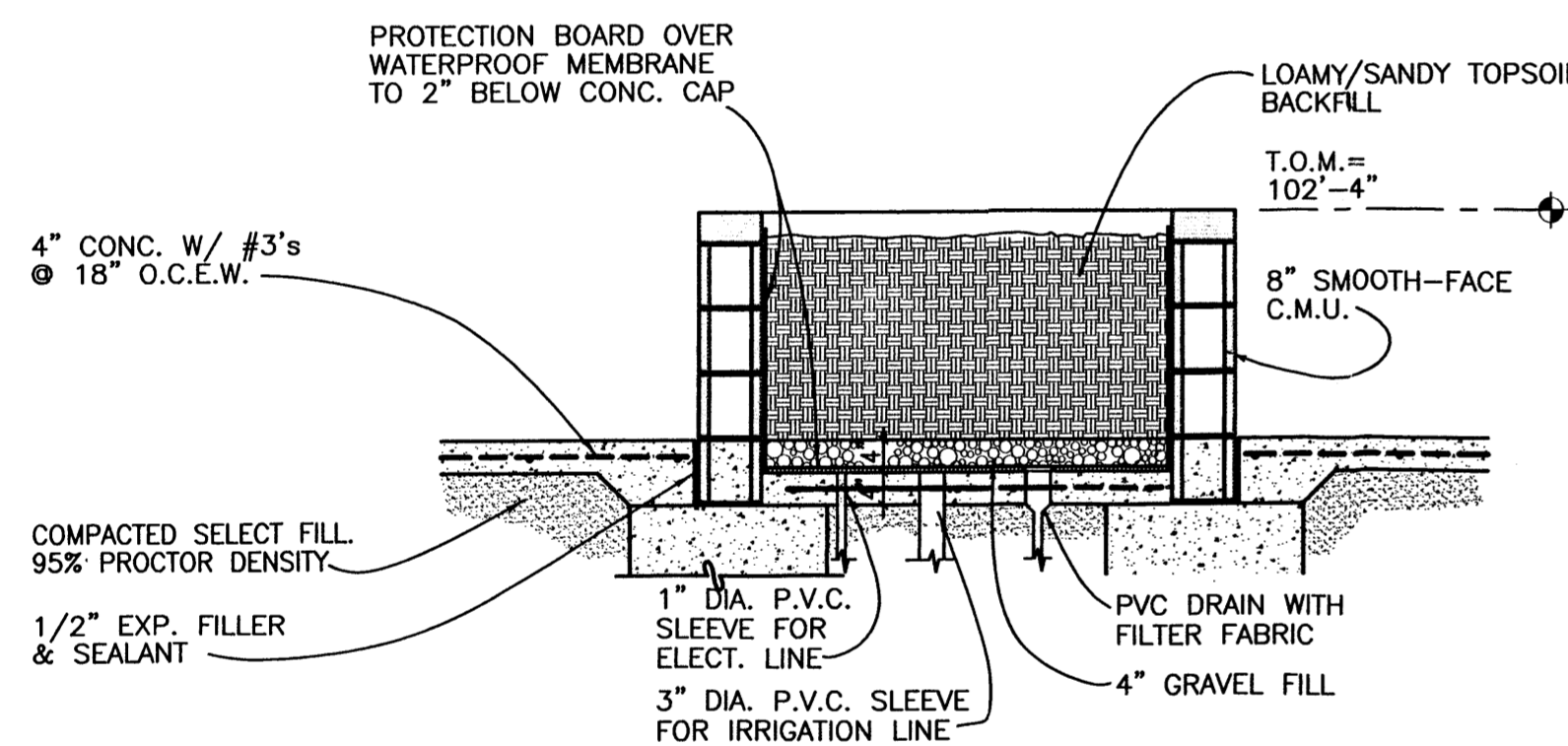
NOTE:

1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT

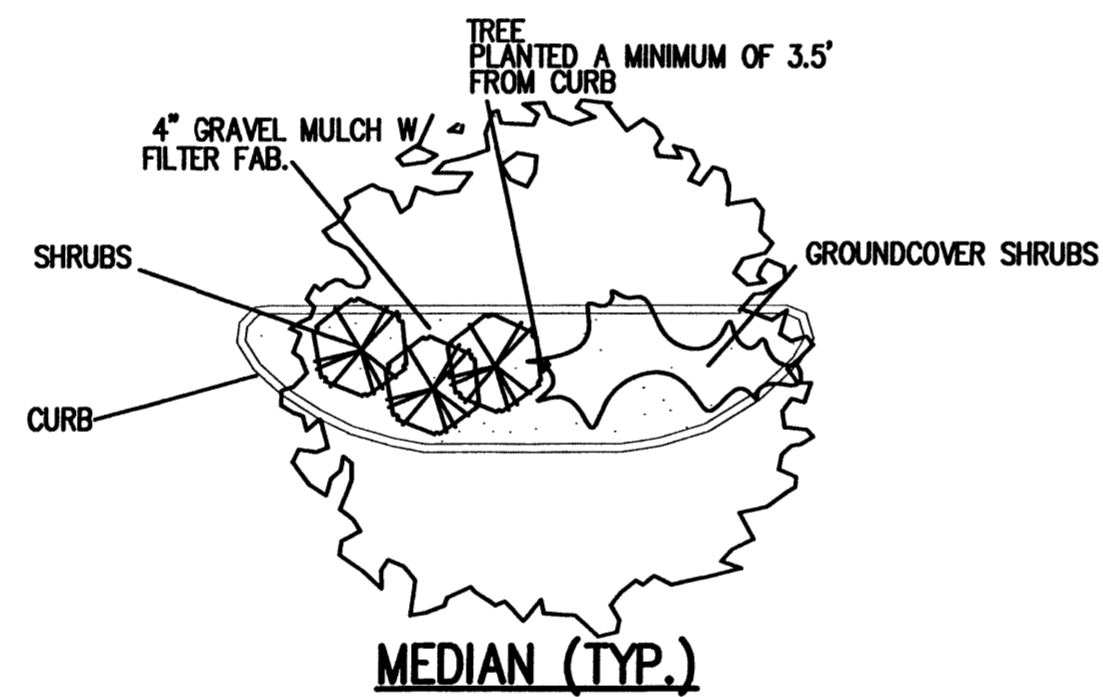
CONCRETE JOINT DETAILS

NTS

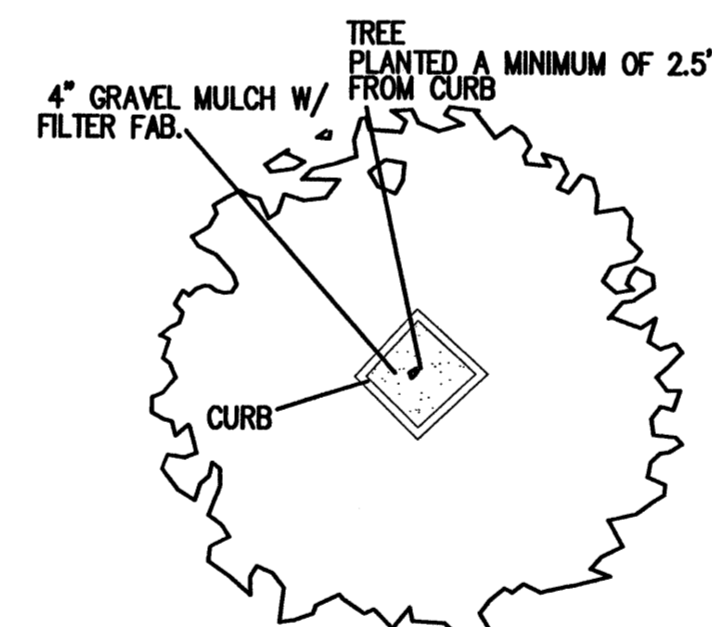


STORE FRONT TREE PLANTER DETAIL

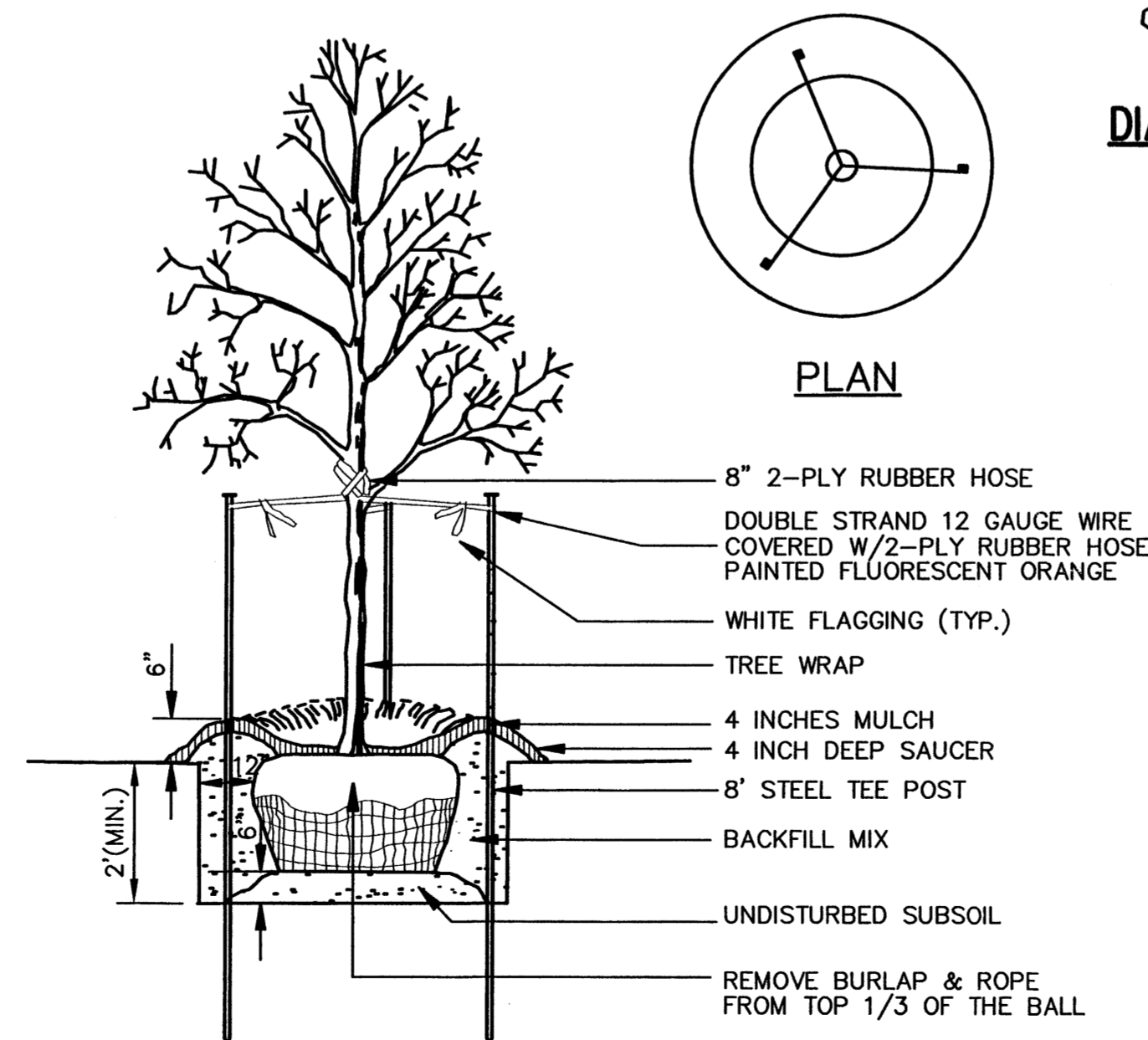
SCALE: NTS



MEDIAN (TYP.)



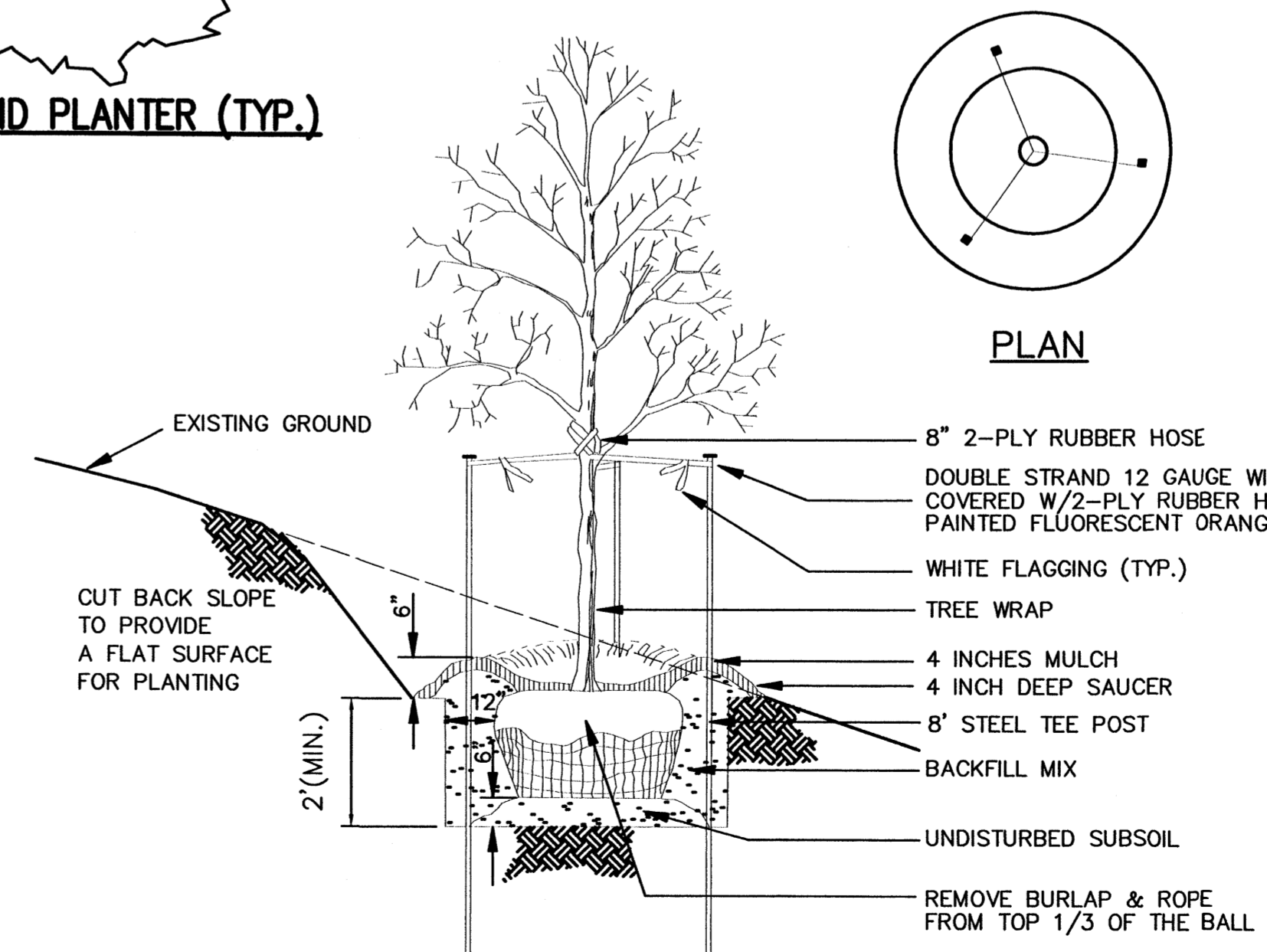
DIAMOND PLANTER (TYP.)



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING

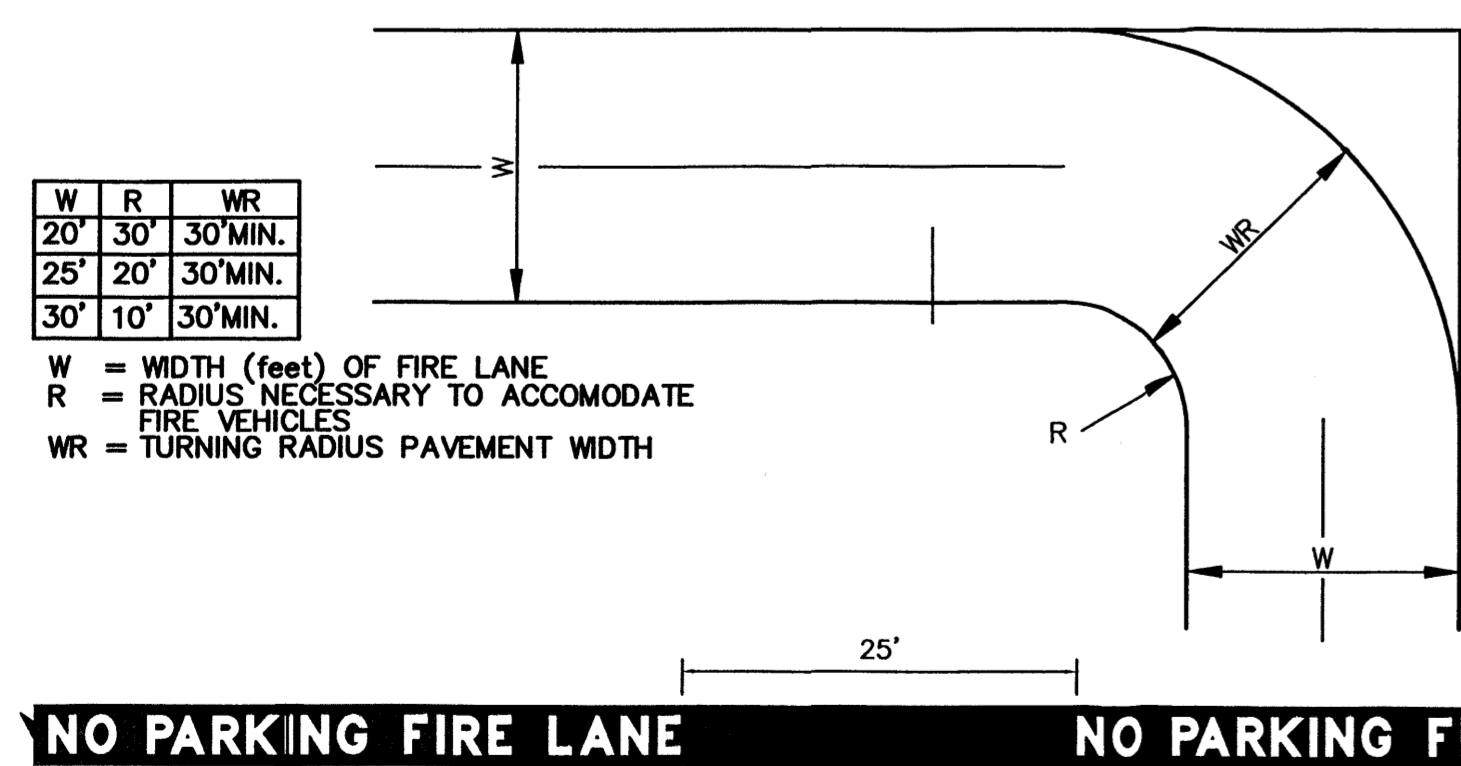
SCALE: NTS



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING ON SLOPE

SCALE: NTS



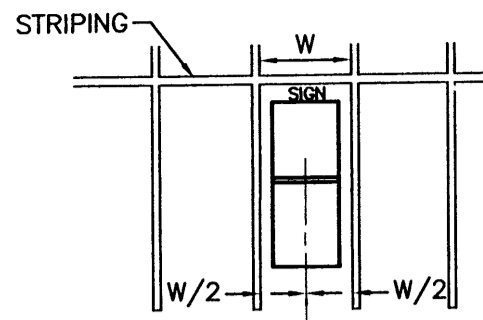
FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES.

'NO PARKING FIRE LANE' STRIPING ALONG FACE OF CURB

SCALE: NTS

REVISIONS		DATE	BY
NO.	DATE	REMARKS	BY

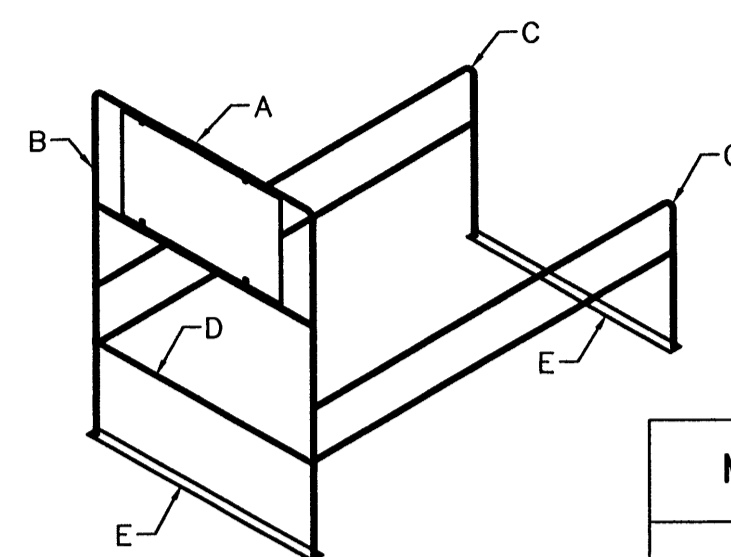
ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	DRAWN BY BDG
	DETAILS	DATE 12/09/02
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DETAILS1.DWG
RONALD R. BOHANNAN P.E. #7868		SHEET # 9
		JOB # 21075



TOOLS REQUIRED
9" BOX WRENCH AND/OR SOCKET.
HAMMER

INSTALLATION INSTRUCTIONS:

1. Select level area in parking lot.
2. Lay bottom plates (E) approx. 15' apart parallel.
3. Attach side rails (C) to bottom plates (E). A tap with hammer may be required.
4. Attach stop bar (D) to inside of rail (C) with 6" bolt and lock nut (F).
5. Mount (B) into side rails (C) by sleeving the wedged pieces together. A slight tap may be required.
6. Mount cart corral sign (A) 8' from finish grade.

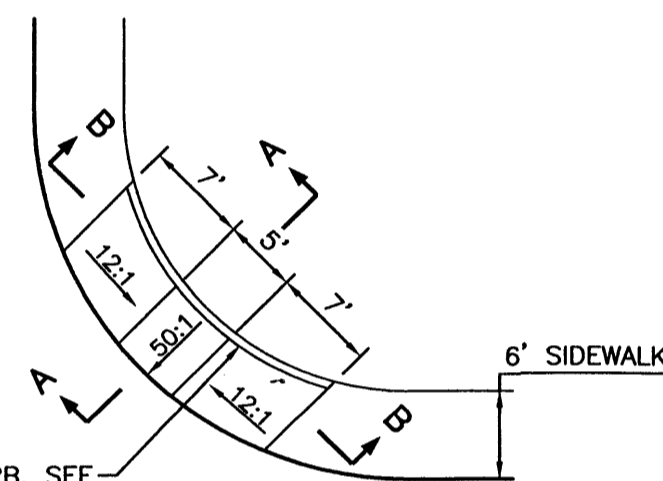


NOTE: CART CORRALS WILL BE PROVIDED BY WAL-MART, PER SPECIFICATIONS, TO BE ASSEMBLED AND INSTALLED BY THE CONTRACTOR.

MODEL	DESCRIPTION	DIMENSIONS	APPX. CAP.	WEIGHT
102	2-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	60"W x 10'D x 8'H	20 CARTS	150#
103	1-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	36"W x 10'D x 8'H	10 CARTS	152#
104	3-BAY, 1 WAY ENTRY CORRAL W/2' x 4' UNDERHUNG SIGN	80"W x 10'D x 8'H	45 CARTS	250#

SINGLE CART CORRAL DETAIL

NTS

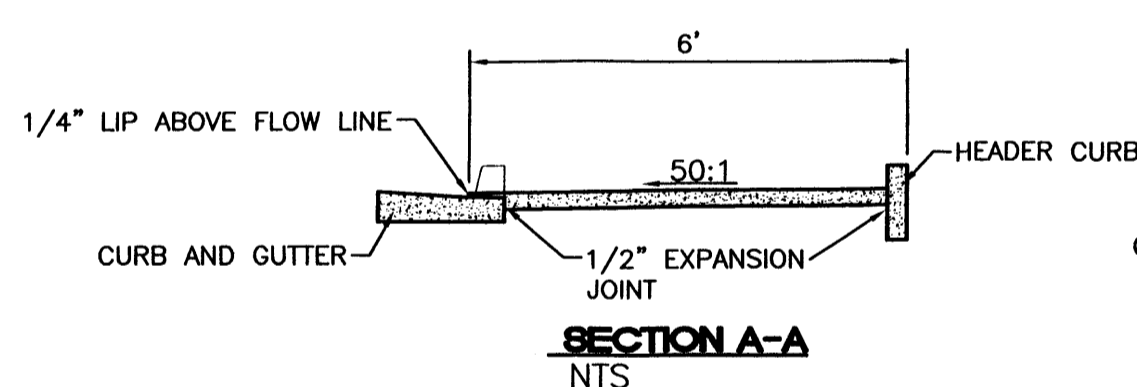


WHEEL CHAIR RAMP DETAIL (TYP.)

NTS

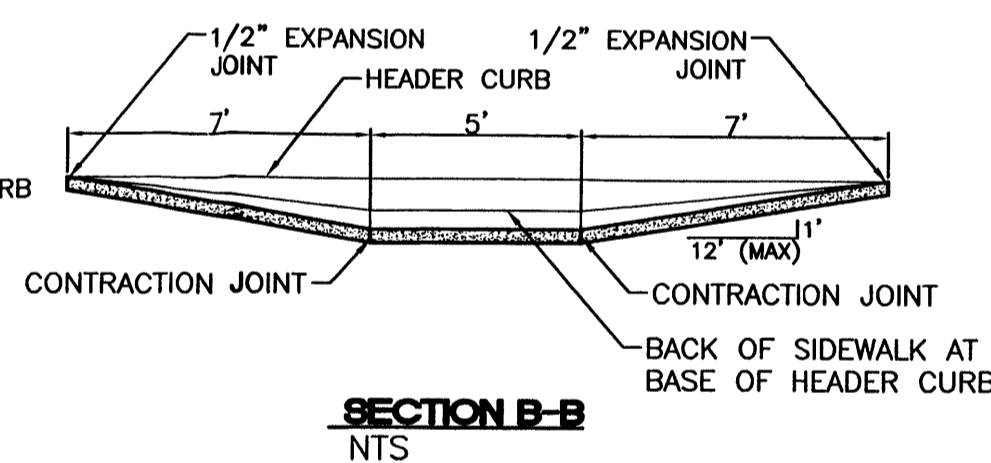
GENERAL NOTES:

1. SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING, TRANSVERSE TO THE SLOPE OF THE RAMP.
2. GUTTER FLOW LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
3. CONSTRUCT PER A.D.A. STANDARDS.



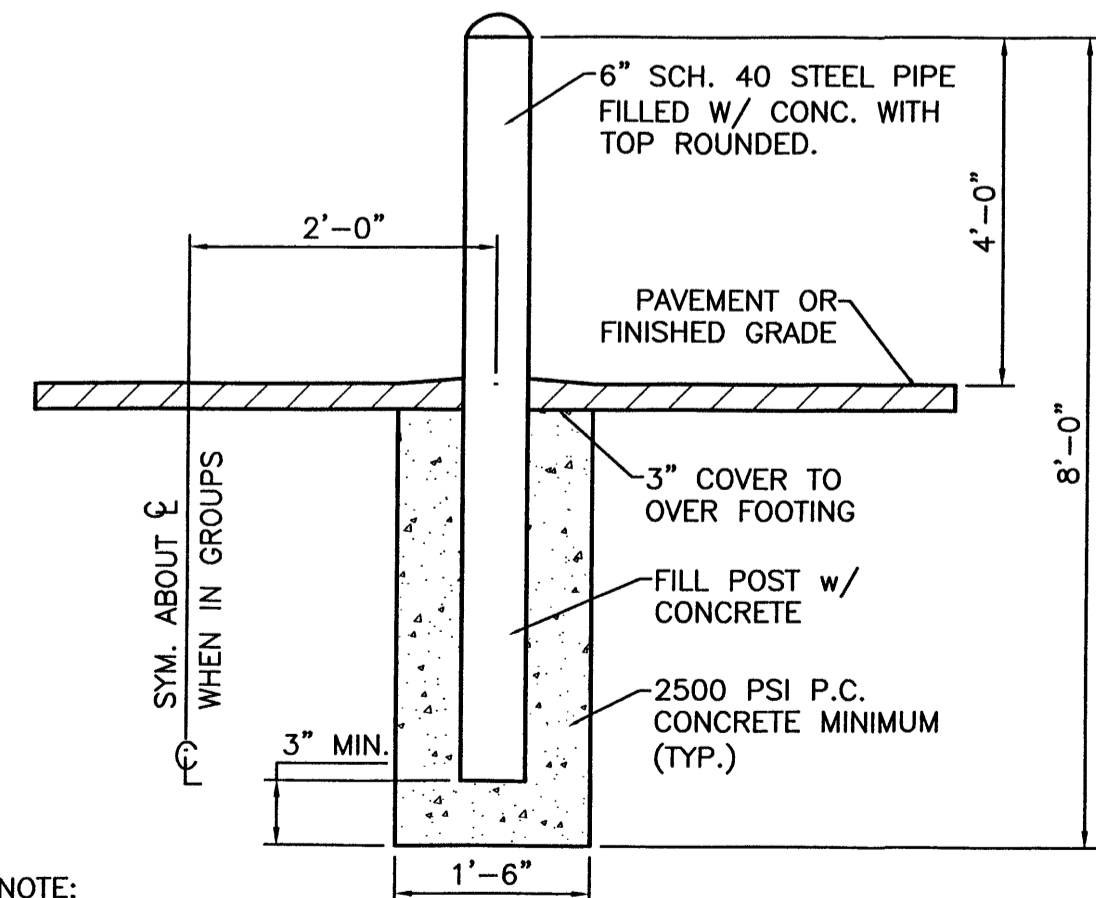
SECTION A-A

NTS



SECTION B-B

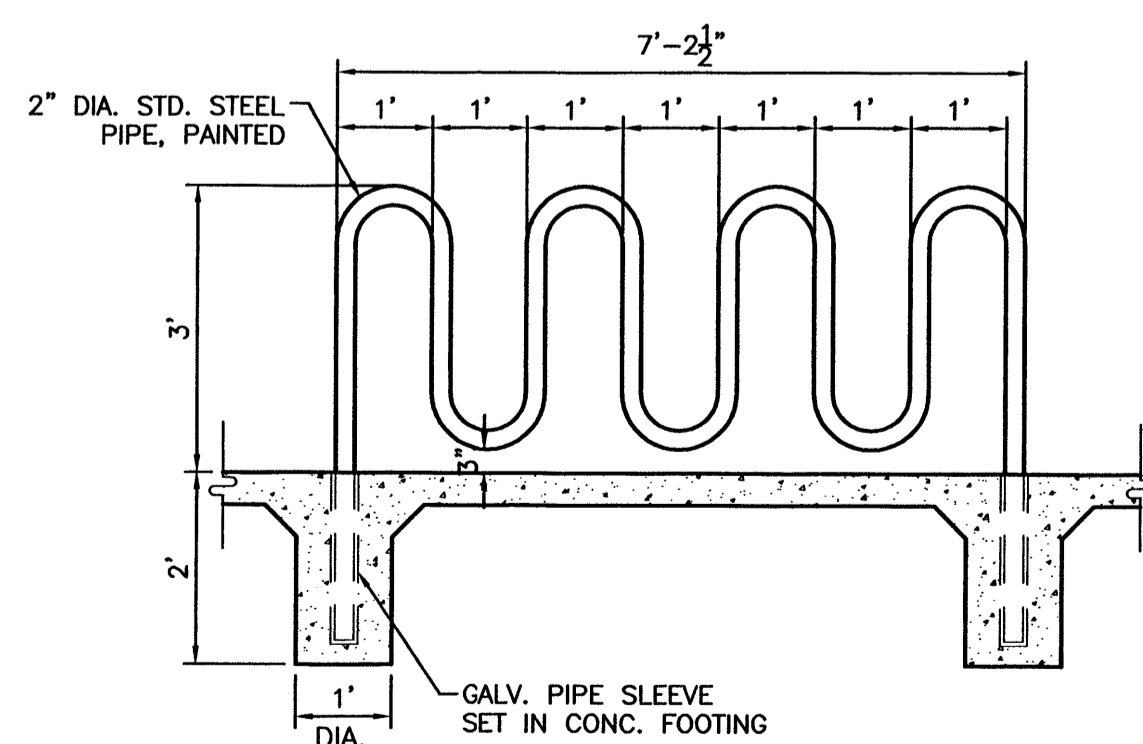
NTS



NOTE: ALL PIPES SHALL BE PAINTED TRAFFIC RED

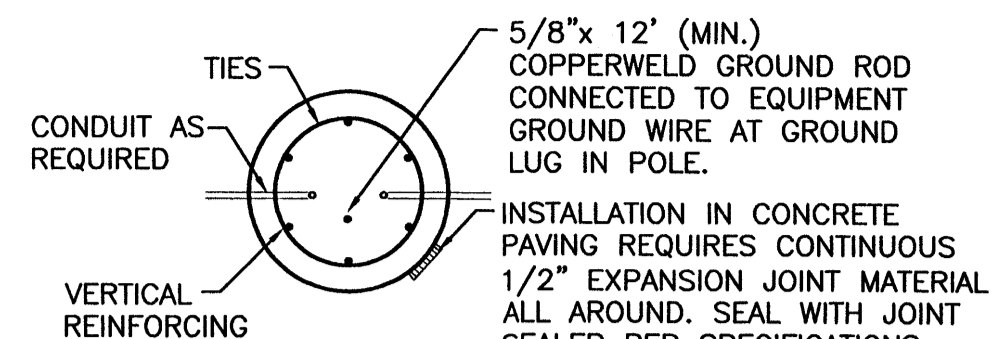
BOLLARD DETAIL

SCALE: NTS

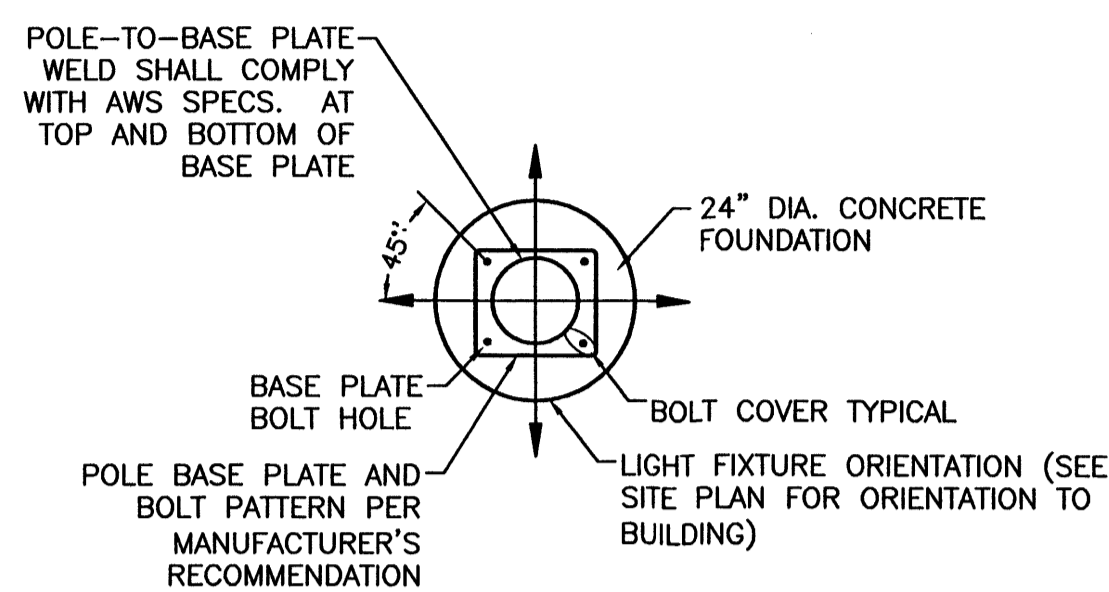


BIKE RACK DETAIL

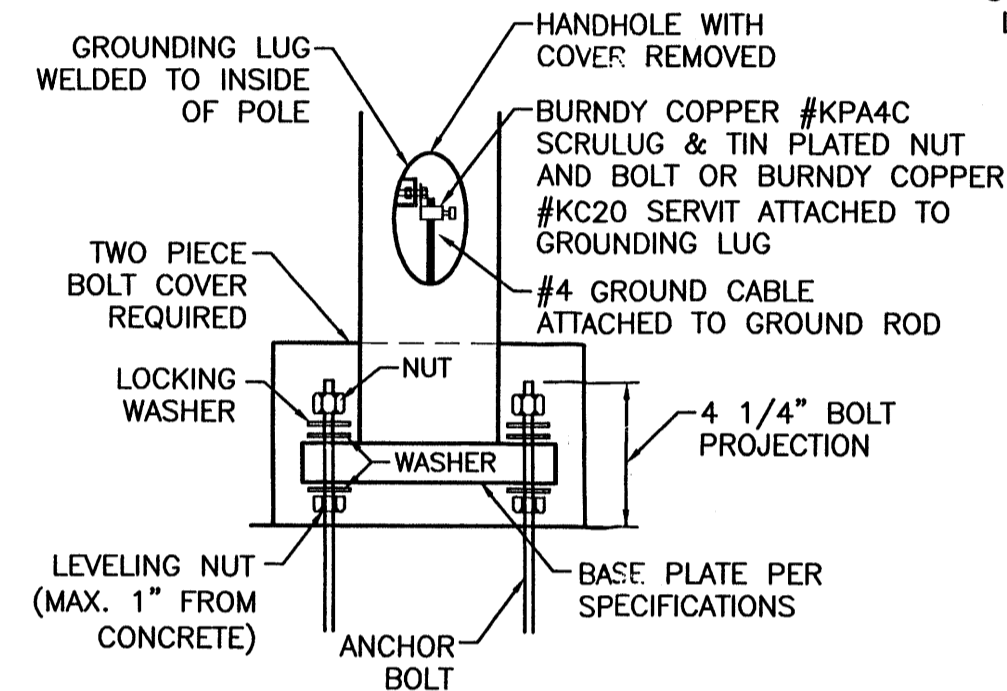
SCALE: 1/2"=1'



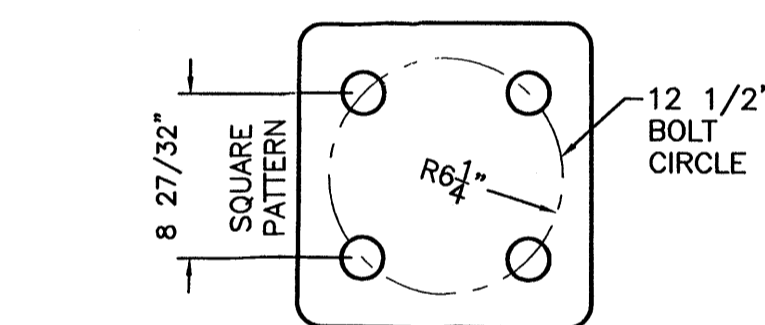
SECTION 'A-A'



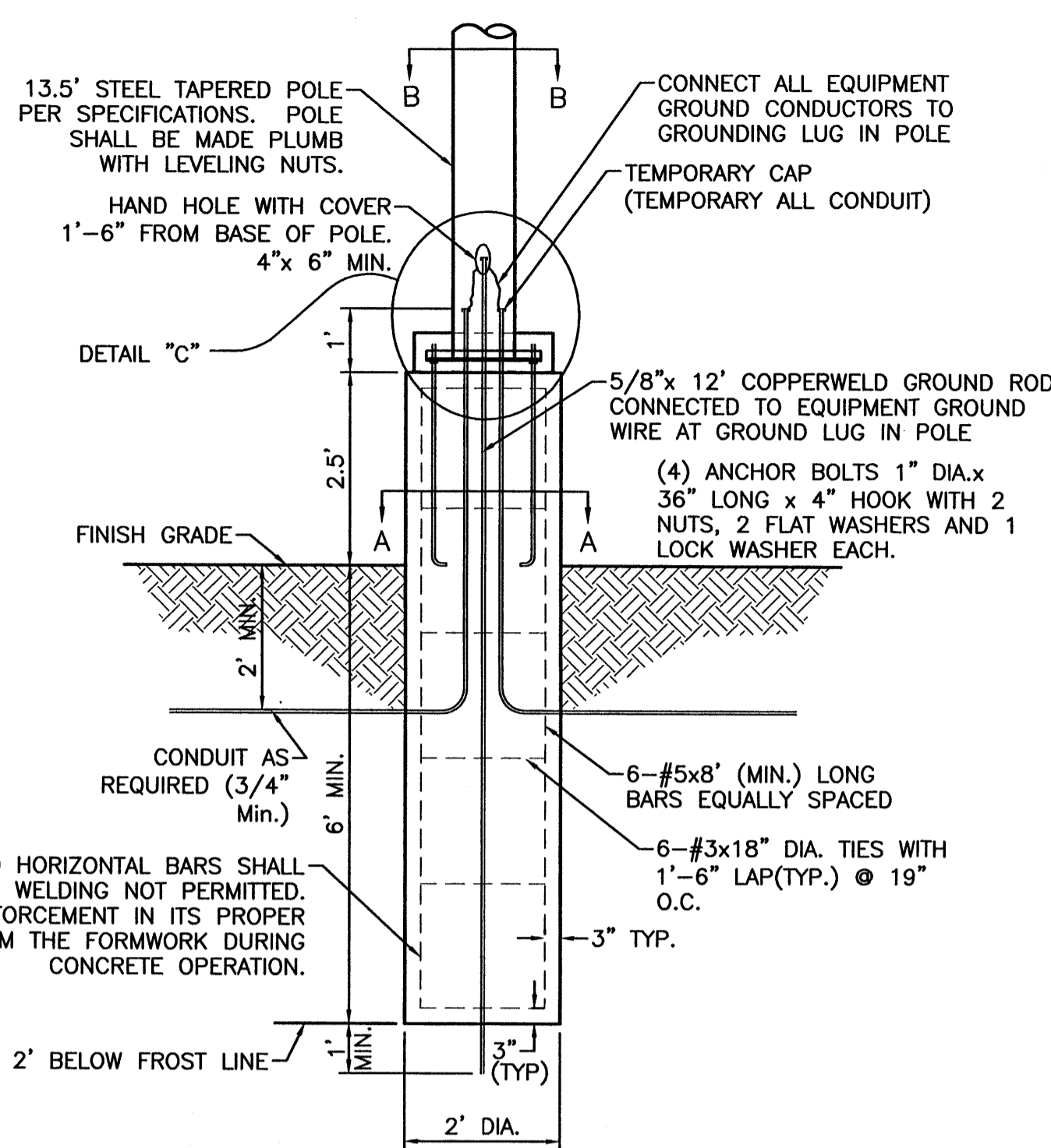
SECTION 'B-B'



DETAIL 'C'



TYPICAL ANCHOR BOLT SPACING

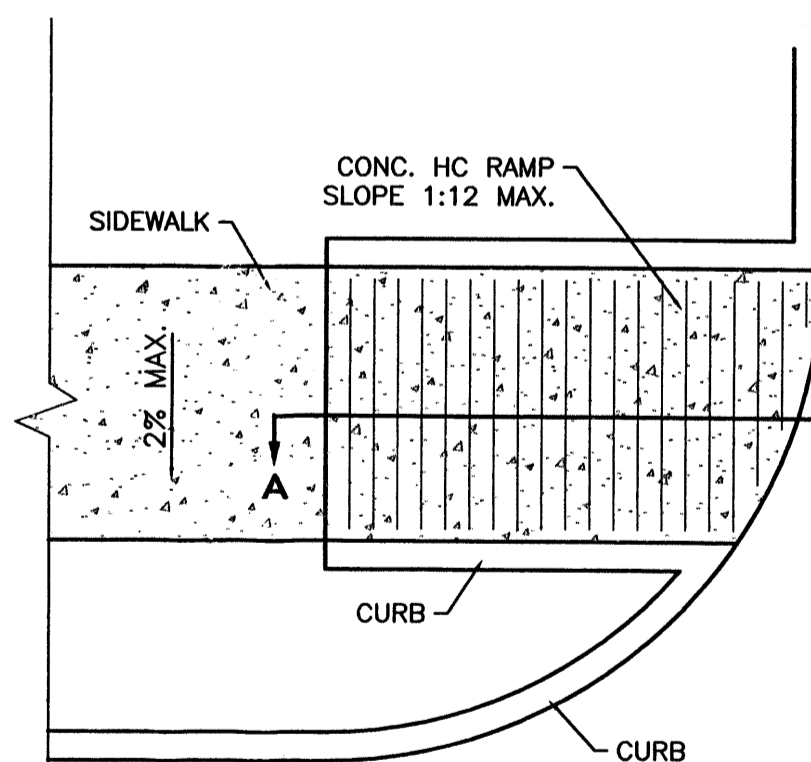


NOTES:

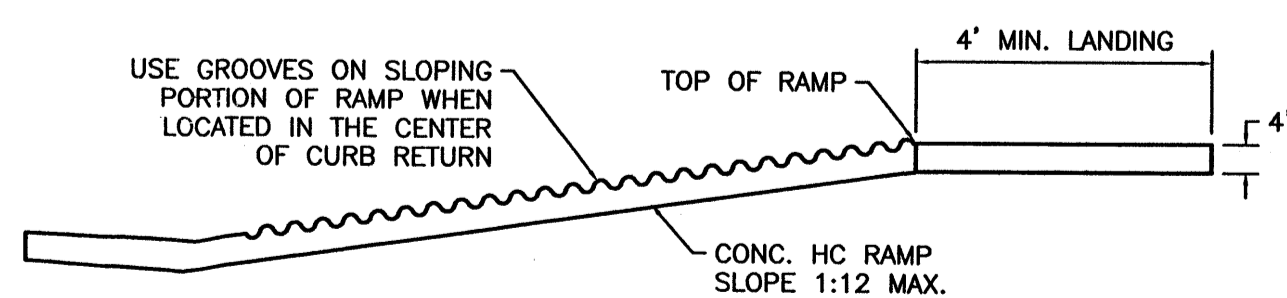
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
4. FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
5. FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
6. FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
7. EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW.
8. DETAIL FOR 39' POLE WITH MAX. FIXTURE EPA 4.6 SQ.FT.

TYPICAL LIGHTING POLE BASE DETAIL

NTS



PLAN



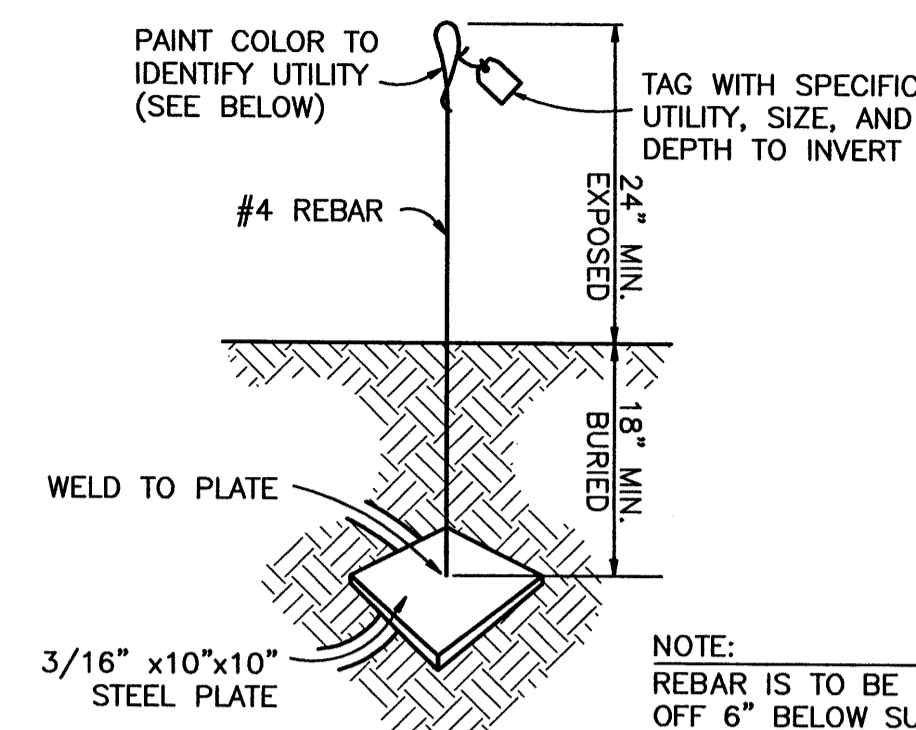
SECTION A-A

UNIDIRECTIONAL HC RAMP

SCALE: NTS

NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.

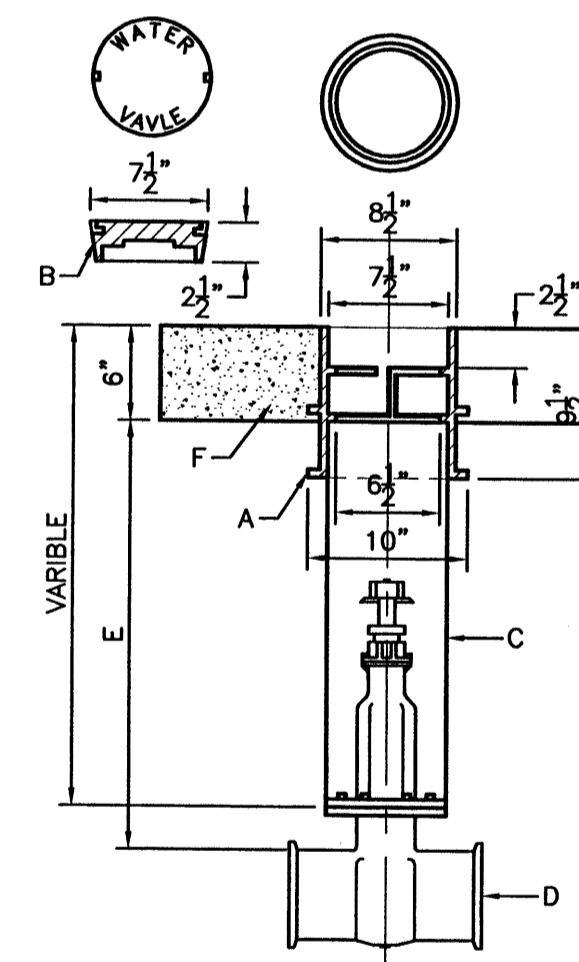


NOTE: REBAR IS TO BE CUT OFF 6" BELOW SUBGRADE AFTER UTILITY CONNECTION IS COMPLETED AND PRIOR TO PAVING

USE AT CAPPED END OF ALL UTILITY SERVICE CONNECTIONS TO/FROM SAM'S CLUB, WAL*MART STORES & SUPERCENTERS

UTILITY	COLOR
SEWER	GREEN
WATER	BLUE
STORM DRAIN	WHITE
ELECTRICAL	RED
GAS	YELLOW
TELCO/CATV	ORANGE
FUTURE SITE LIGHTING	PINK
FIBER OPTIC (GAS STATION)	PURPLE

TYPICAL UTILITY MARKER



GATE VALVE DETAIL

NTS

CONSTRUCTION NOTES:

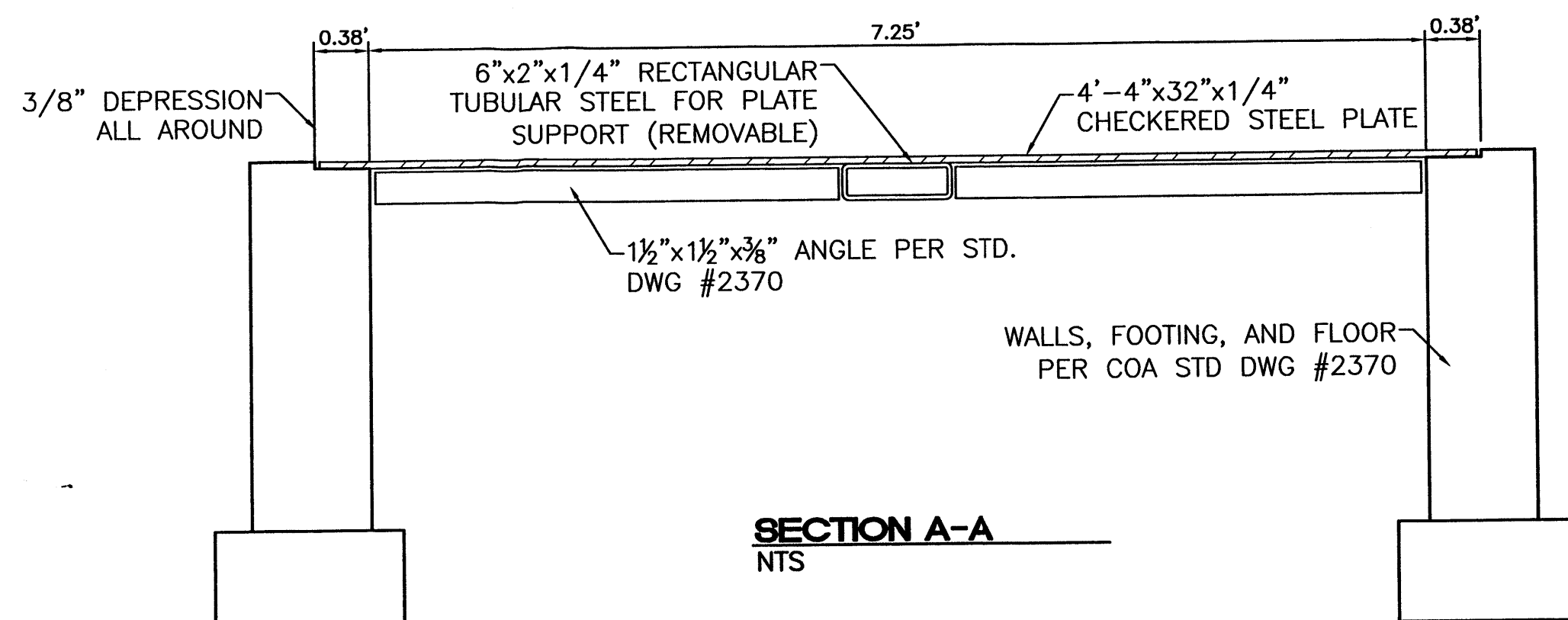
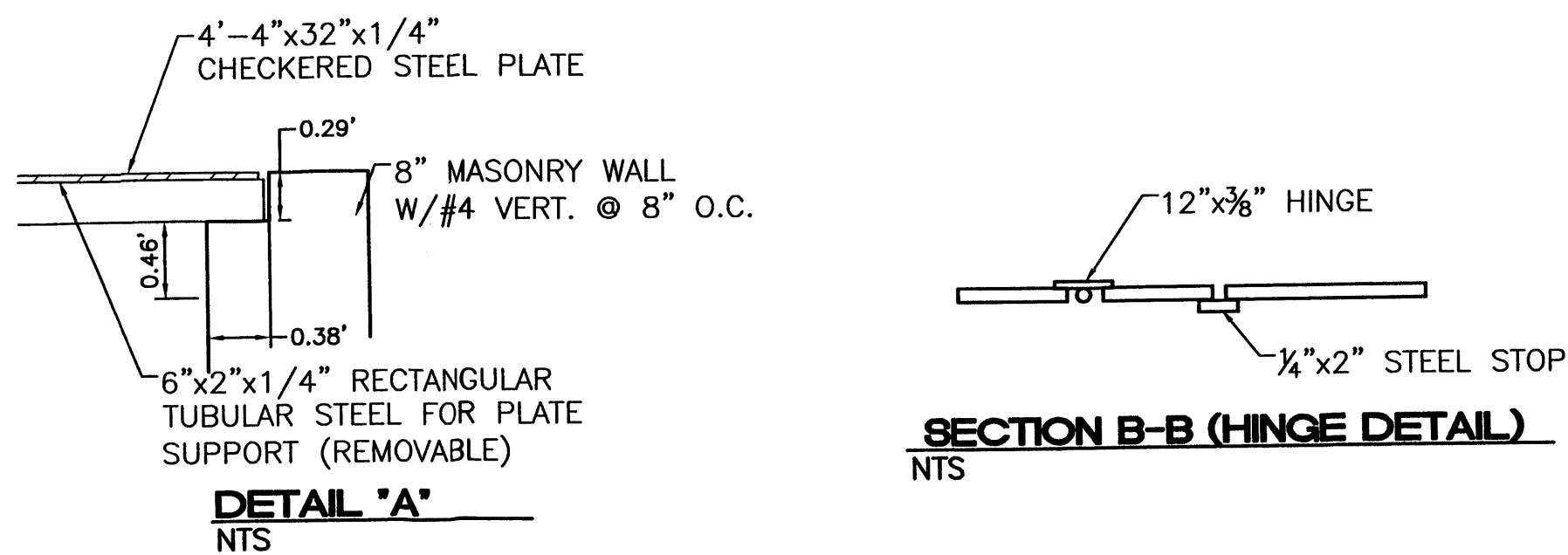
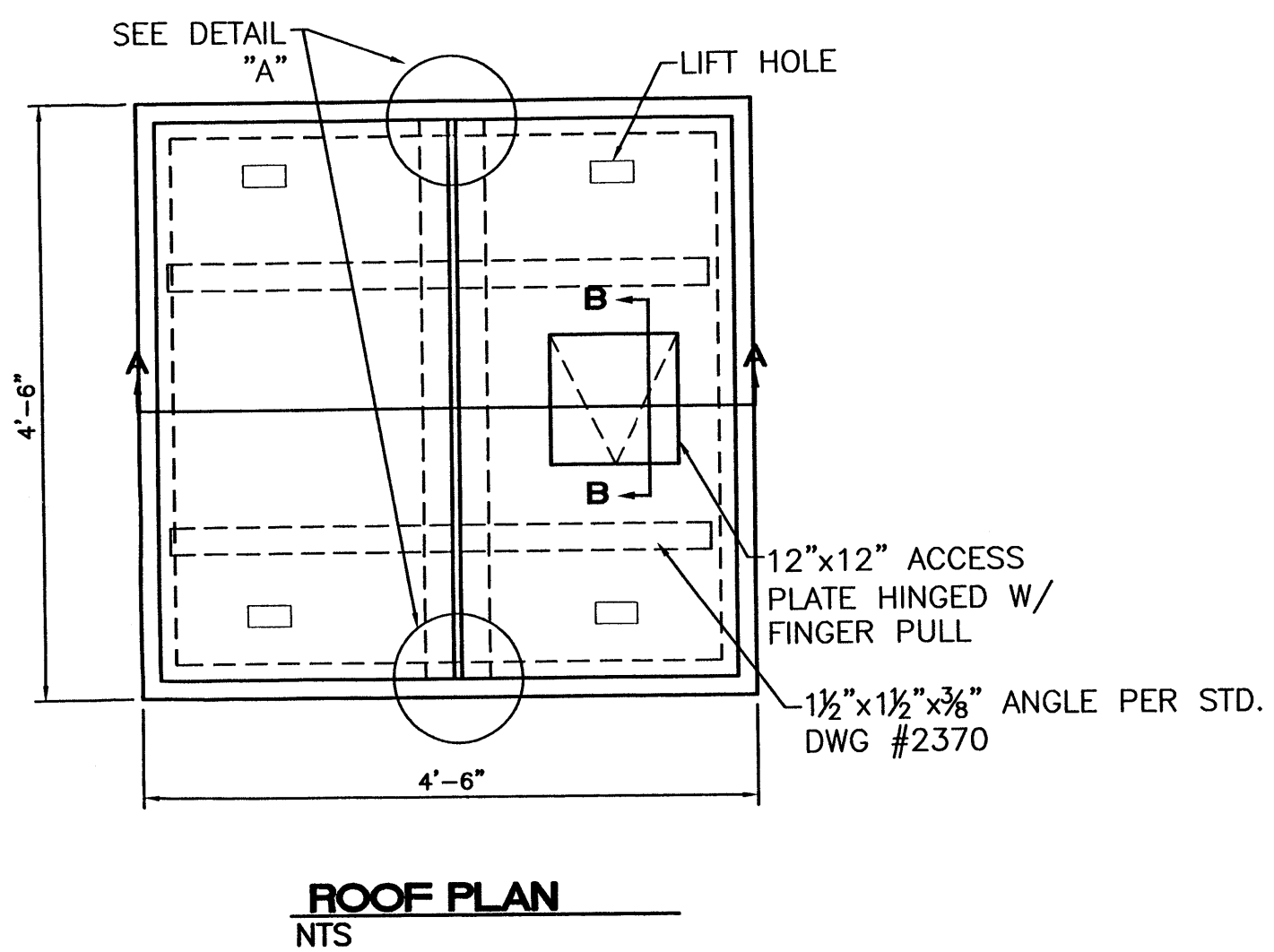
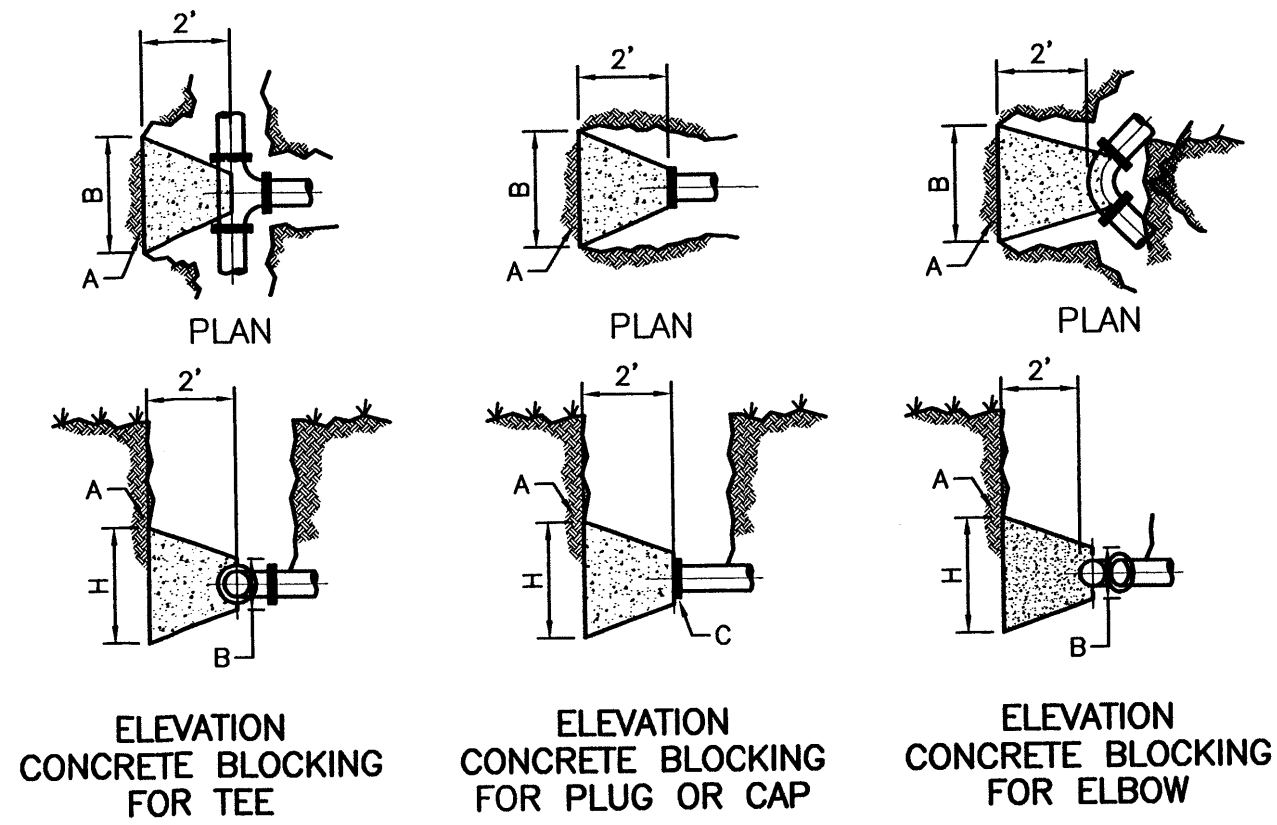
- A. CAST VALVE BOX.
- B. VALVE BOX LID (LOCKING LID OPTIONAL).
- C. 8" PVC C-900 PIPE (LENGTH VARIES)
- D. NEW OR EXISTING VALVE
- E. COMPACTED BACKFILL, SOIL OR BASE COURSE MATERIAL (95% COMPACTION).
- F. CONCRETE COLLAR (2"x2"x6") TO BE TAPPED IN UNPAVED ROADWAYS.

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	
DRAWN BY		BDG	
DATE		12/09/02	
DETAILS		DETAILS1.DWG	
SHEET #		10	
TERRA WEST, LLC		8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
RONALD R. BOHANNAN P.E. #7868		JOB # 21075	

PIPE SIZE	ELBOW ANGLE	ELBOW (B) DIM.	ELBOW (H) DIM.	TEE OR PLUG (B) DIM.	TEE OR PLUG (H) DIM.
4"	90°, 45°	2'	2'	2'	2'
4"	22.5°, 11.25°	2'	2'	2'	2'
6"	90°, 45°	2'	2'	2'	2'
6"	22.5°, 11.25°	2'	2'	2'	2'
8"	90°	3'	3'	3'	3'
8"	45°	2'	2'	2'	2'
8"	22.5°, 11.25°	2'	2'	2'	2'
10"	90°	3'-6"	3'-6"	3'	3'
10"	45°	3'	3'	3'	3'
10"	22.5°, 11.25°	2'	2'	2'	2'
12"	90°	4'	4'	3'-6"	3'-6"
12"	45°	3'-6"	3'-6"	3'	3'
12"	22.5°, 11.25°	2'	2'	2'	2'
14"	90°	5'	5'	4'	4'
14"	45°	3'-6"	3'-6"	3'	3'
14"	22.5°, 11.25°	3'	3'	3'	3'

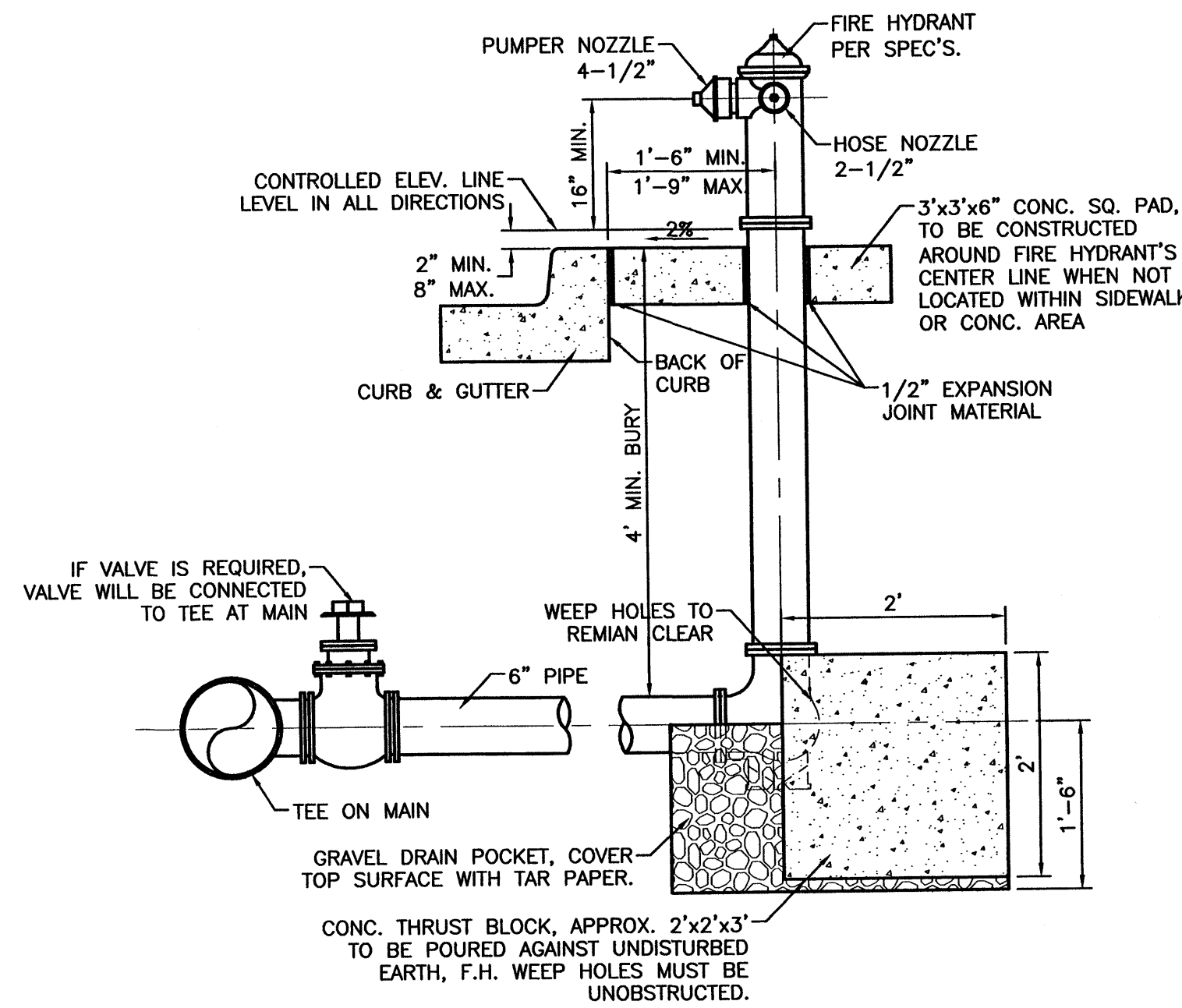
CONSTRUCTION NOTE:
 A. UNDISTURBED EARTH
 B. O.D. OF PIPE +6"
 C. O.D. OF CAP OR PLUG, MIN. 12"x12"

CONCRETE BLOCKING DESIGN
 NTS PER COA STD DWG #2320

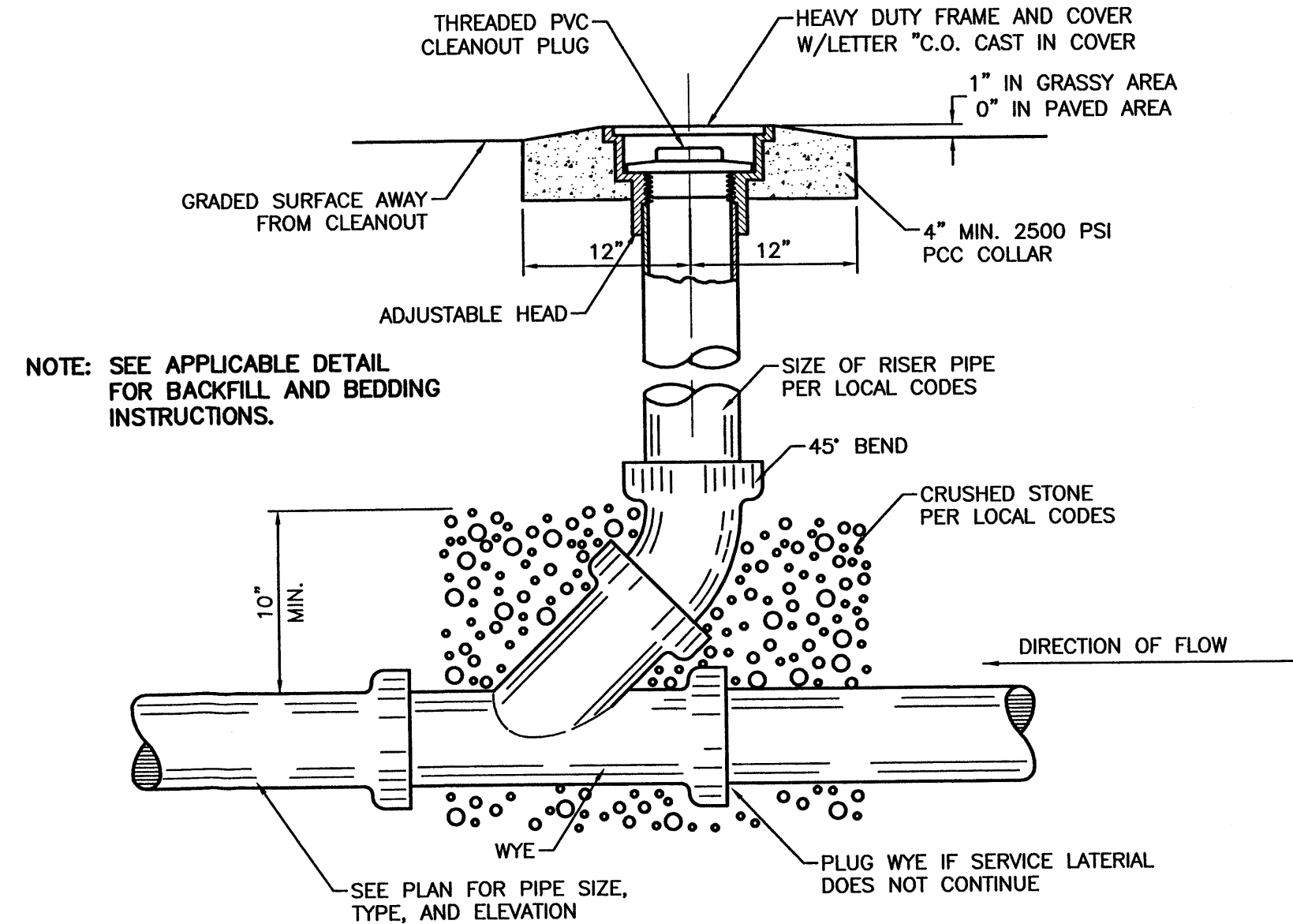


NOTE:
 1. ALL EXPOSED STEEL WILL BE PAINTED WITH ONE SHOP COAT AND TWO FINISH COATS OF ALUMINUM PAINT (AASHTO M 69).
 2. STEEL PLATE WILL HAVE A CHECKERED, NON-SKID PATTERN.
 3. COMPRESSIVE STRENGTH FOR ALL CONCRETE SHALL BE 3000 PSI.

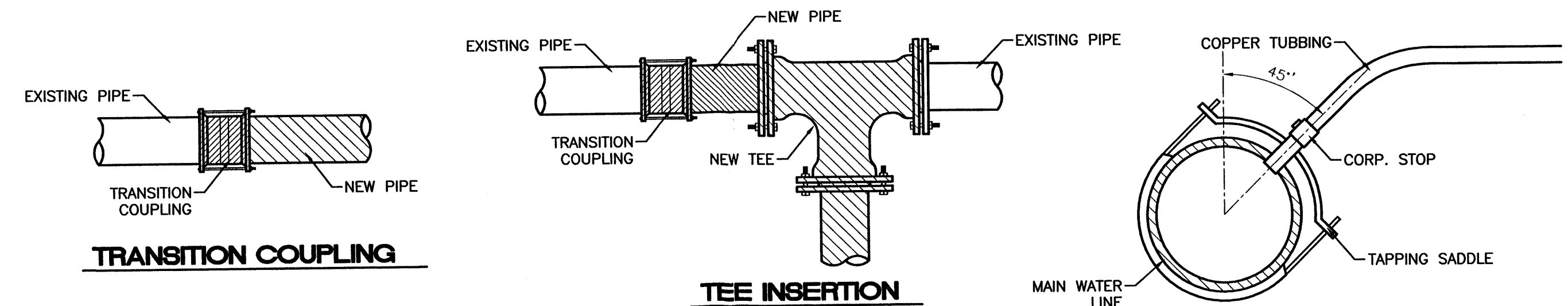
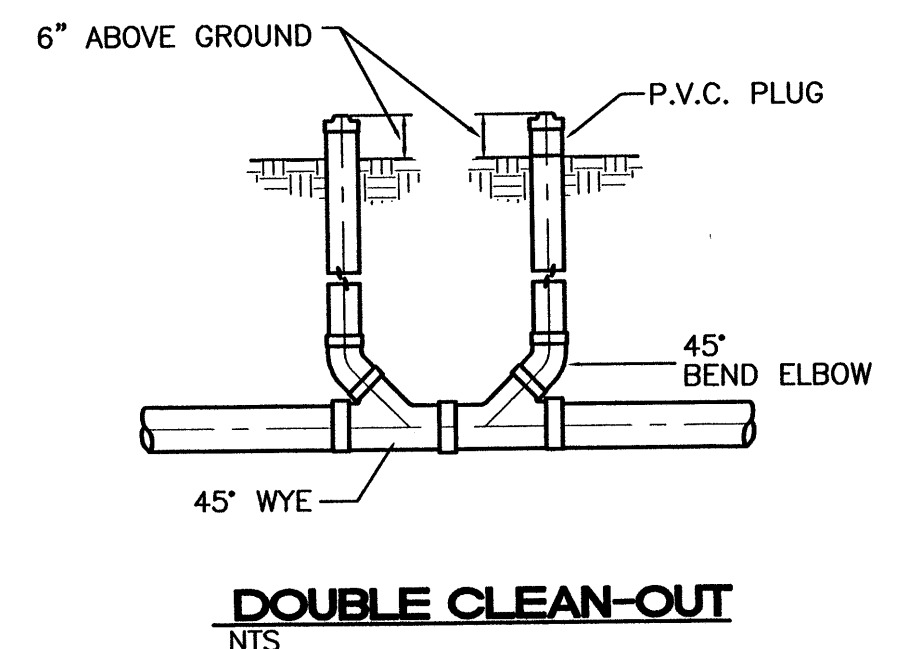
3' METER PIT DETAIL
 NTS



FIRE HYDRANT SETTING WITH BLOCKING DETAIL
 SCALE: 3/4"=1' PER COA STD DWG #2340



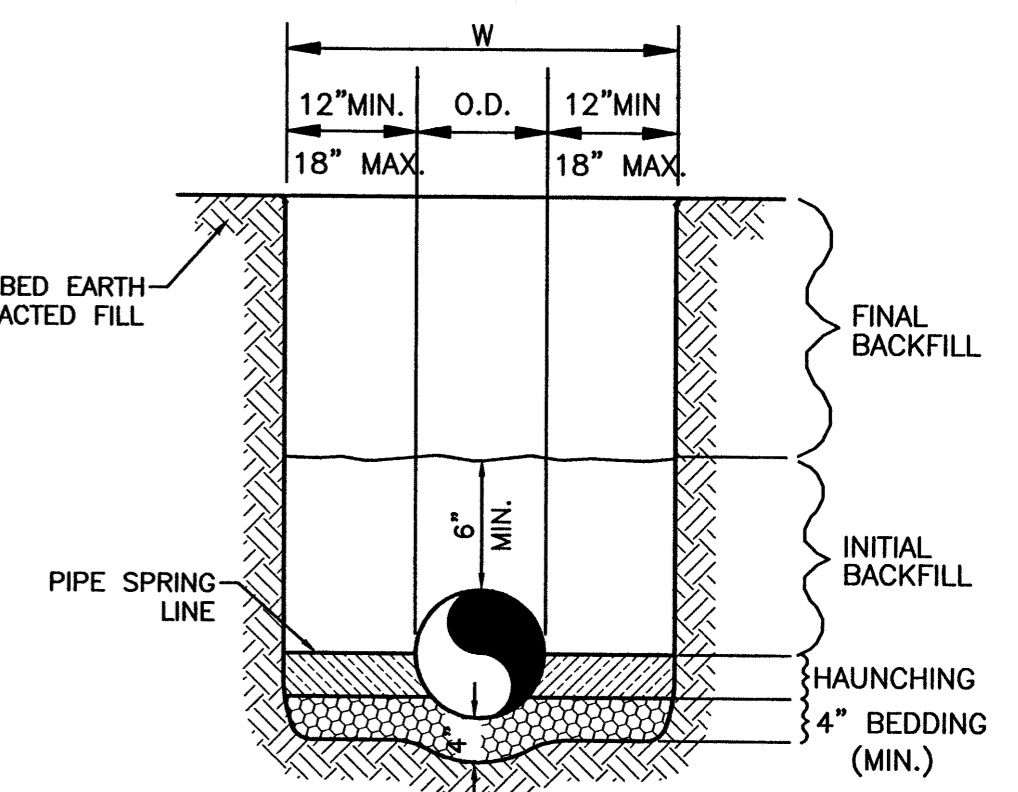
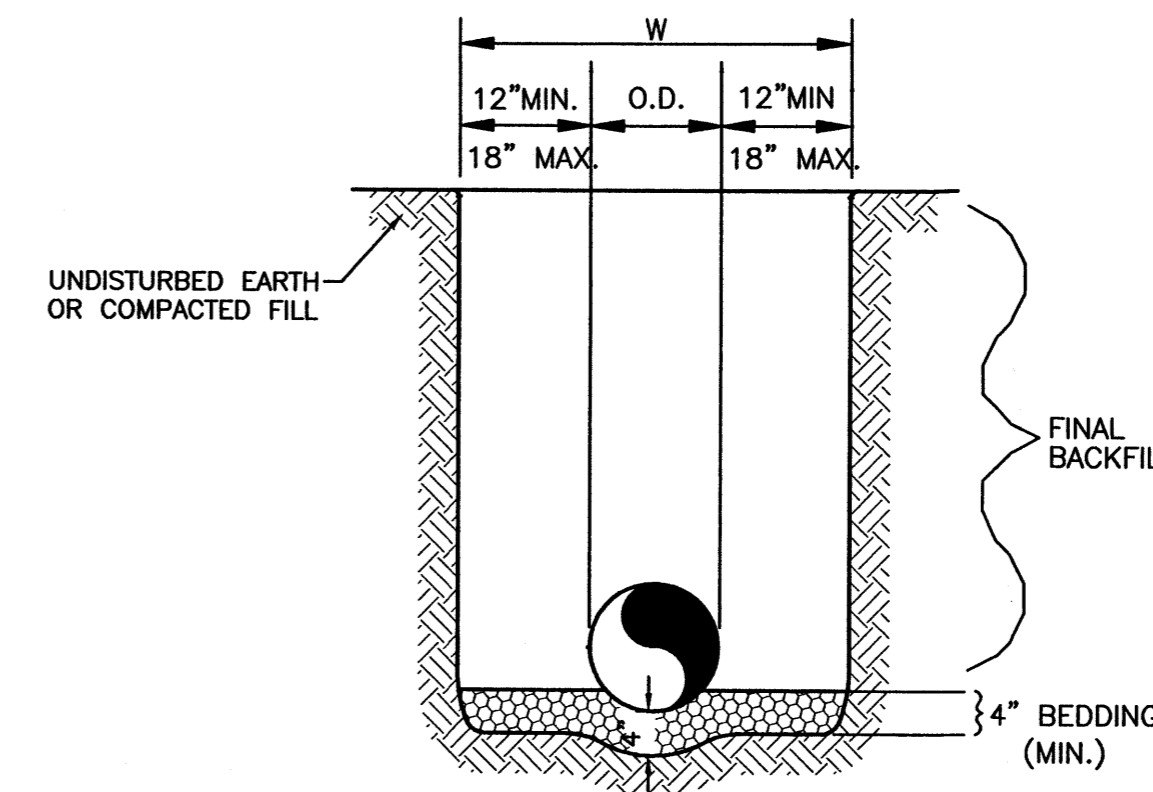
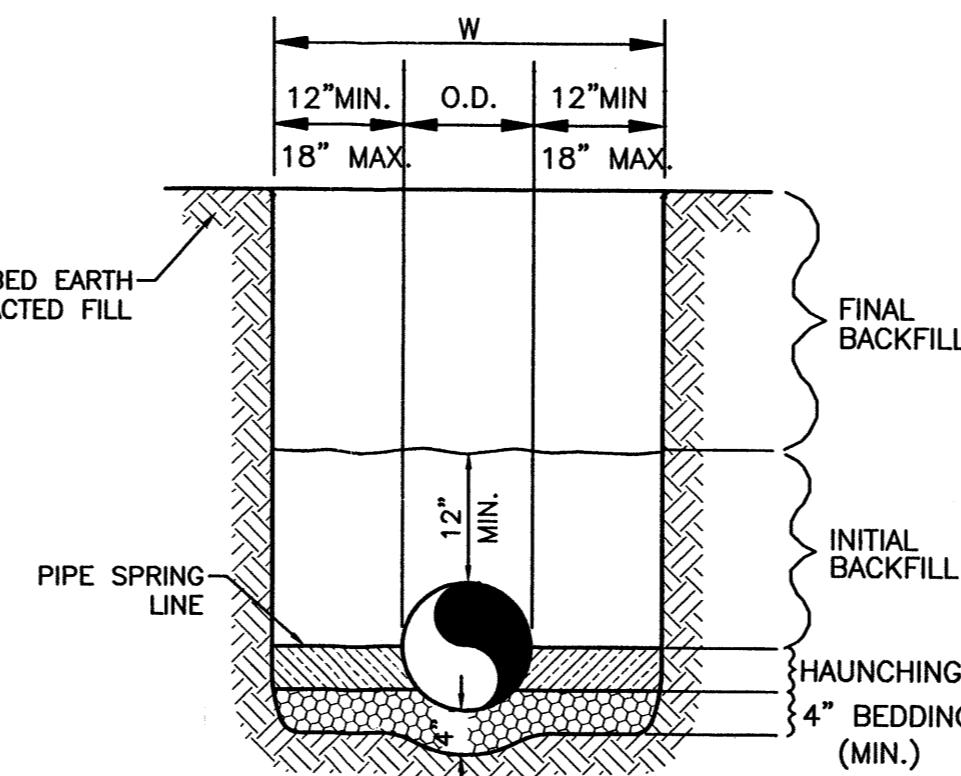
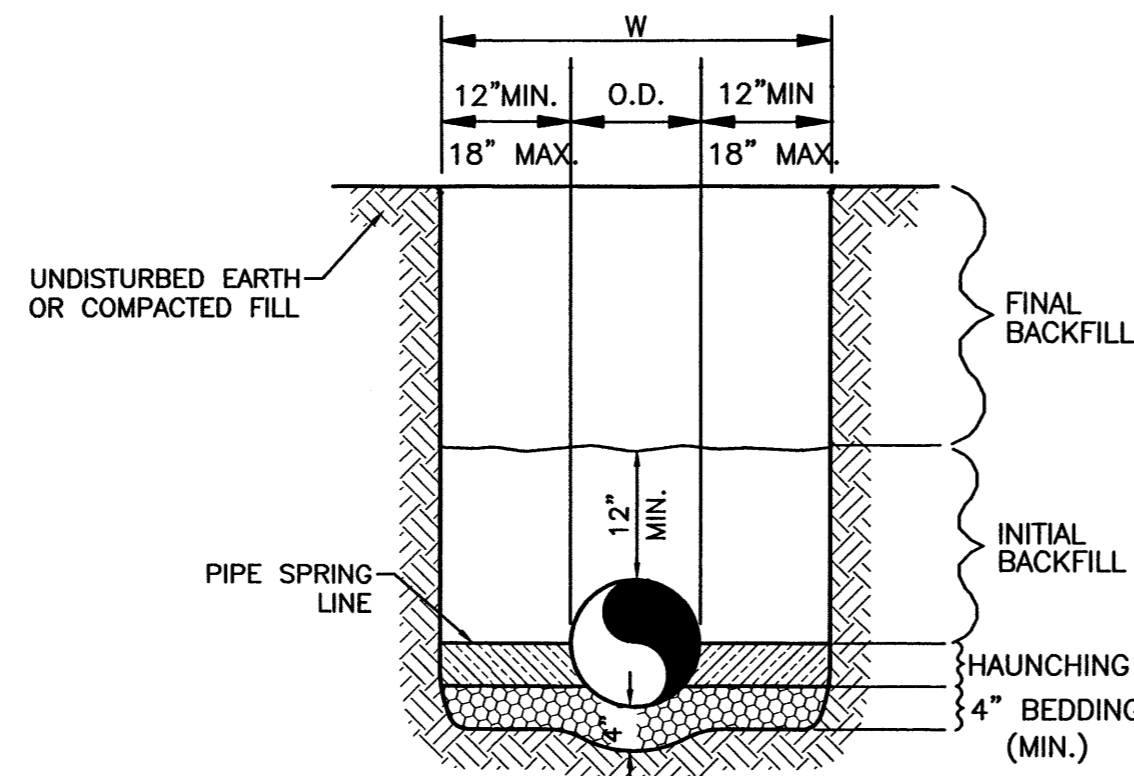
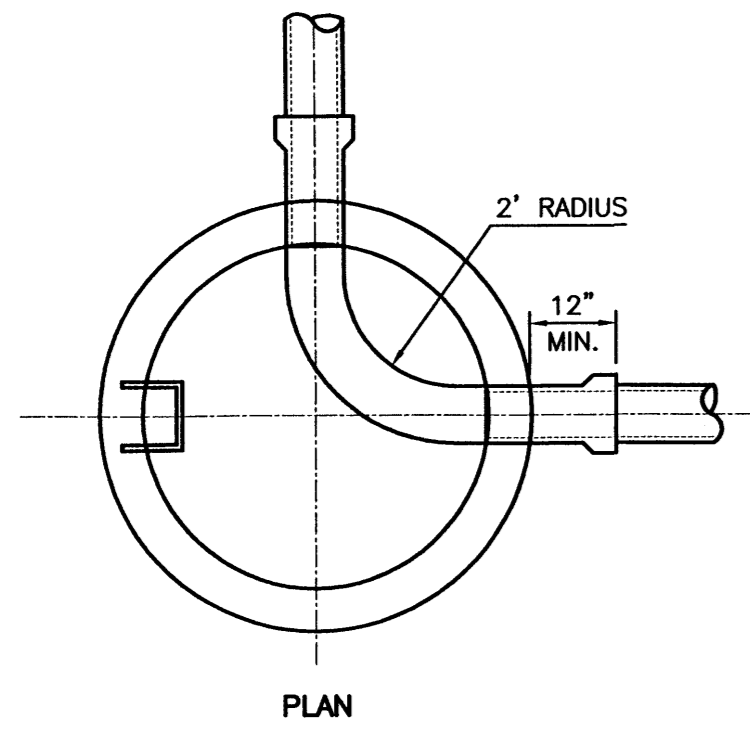
SANITARY SEWER CLEAN-OUT
 NTS



WATER CONNECTION DETAILS
 NTS

SERVICE TAP CONNECTION
 NTS

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03	
DRAWN BY: BDG		DATE: 12/09/02	
DETAILS1.DWG		SHEET #	
11		JOB # 21075	
RONALD R. BOHANNAN P.E. #7868		TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	



WATER LINE

SANITARY SEWER

REINFORCED CONCRETE PIPE (RCP) AND CONTECH SPIRAL RIB PIPE SMALLER THAN 60"

ALL OTHER PIPES INCLUDING CONTECH SPIRAL RIB PIPE 60" AND LARGER

GENERAL NOTES

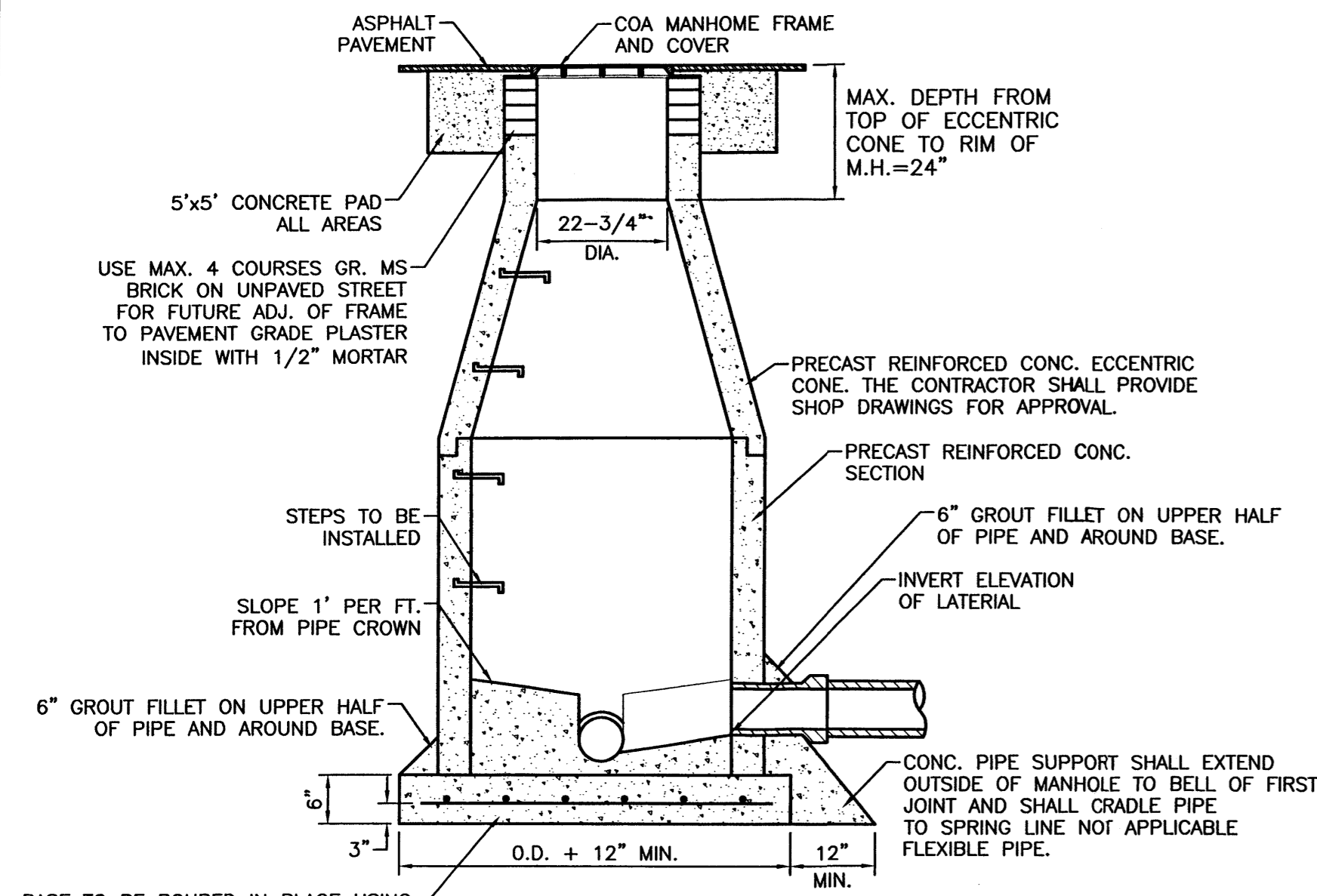
GENERAL NOTES

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
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- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-LATEST EDITION.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

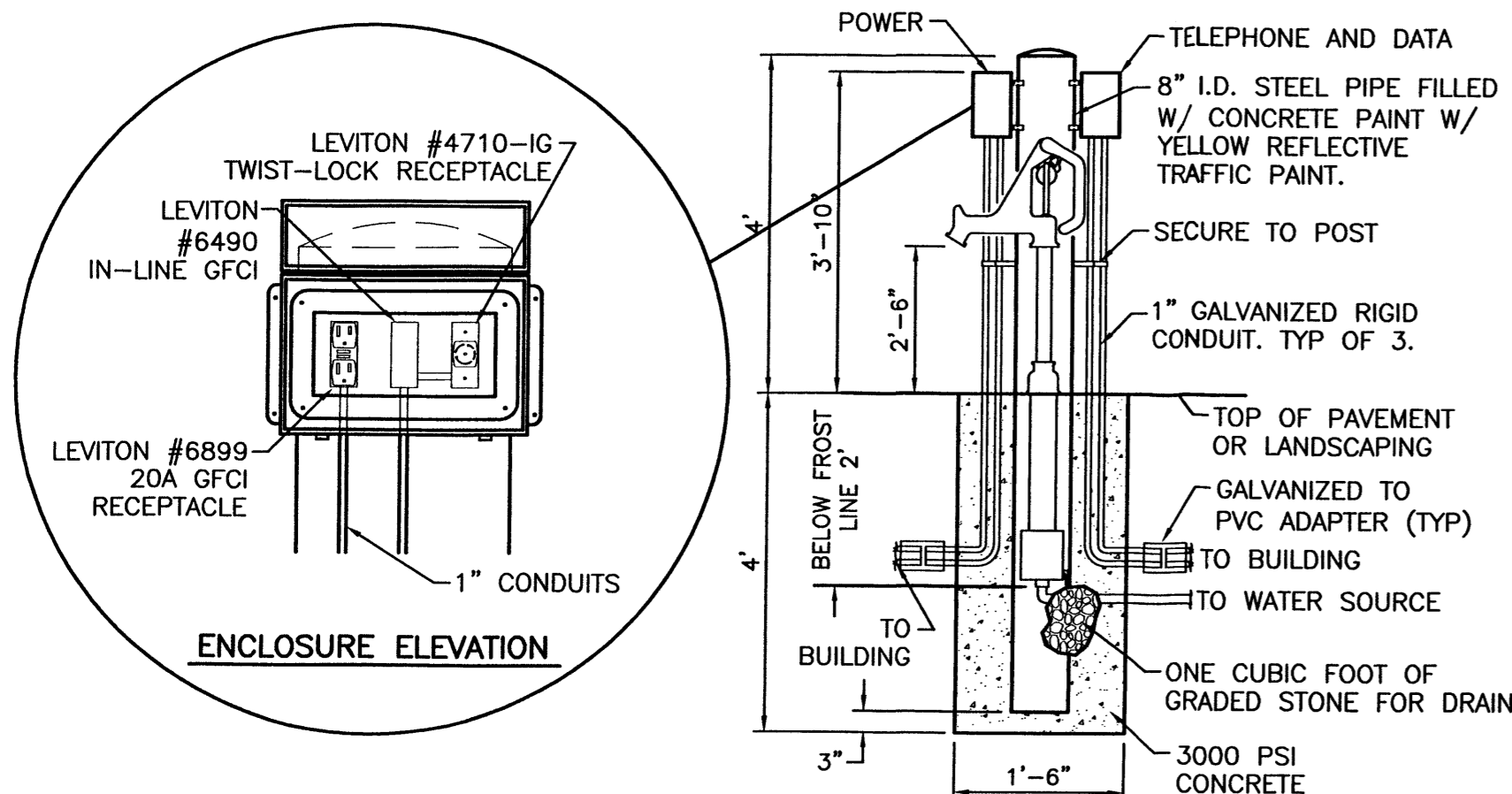
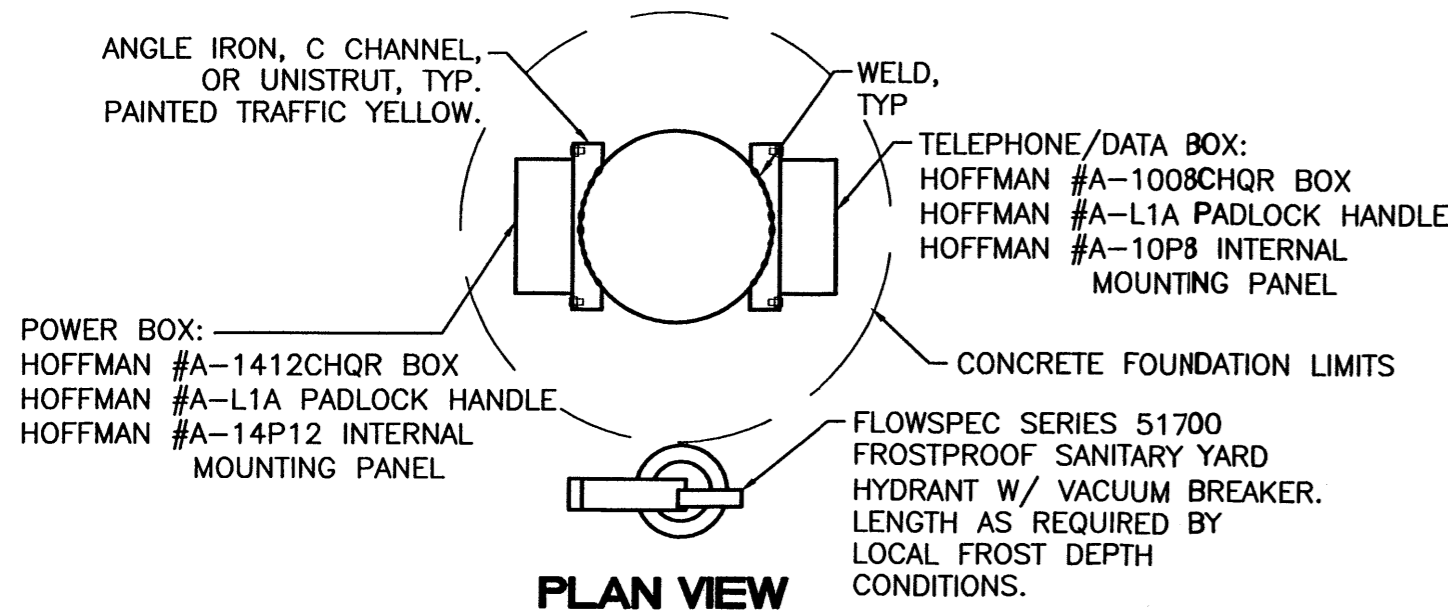
UTILITY TRENCH AND BEDDING DETAIL
NTS

STORM SEWER TRENCH AND BEDDING DETAIL
NTS



- BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EA. WAY FOR MANHOLE DEPTH OF 16' OR GREATER NO. 4 BARS AT 12" O.C. EA. WAY FOR MANHOLE LESS THAN 16' DEEP.
- NOTE:
- DETAIL IS THE SAME AS SHOWN IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS DRAWING NO. 2102.
 - USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PIPE PENETRATIONS
 - COMPACT ALL BACKFILL AROUND MANHOLES TO 95%.
 - POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

SEWER MANHOLE TYPE 'E' DETAIL
NTS



REMOTE GARDEN CENTER UTILITIES BOLLARD DETAIL

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE WAL-MART EXPANSION, NM-850-03	
DRAWN BY		BDG	
DATE		12/09/02	
DETAILS		DETAILS1.DWG	
SHEET #		12	
TERRA WEST, LLC		8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
RONALD R. BOHANNAN P.E. #7868		JOB # 21075	