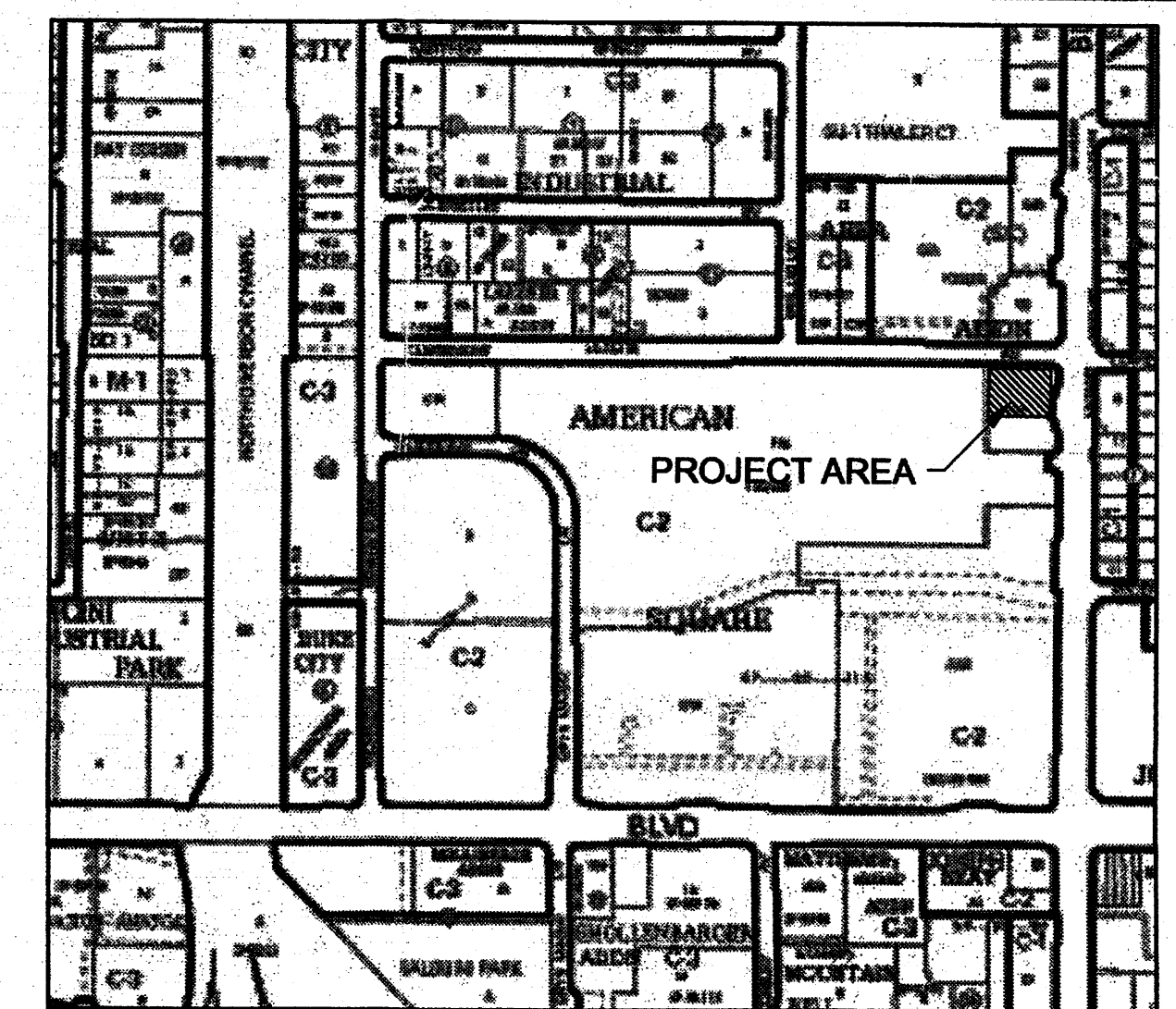


Lot F-1-B, AMERICAN SQUARE  
 Zoning C-2  
 Zone Atlas H-16

- UTILITY KEYED NOTES:**
1. 2" DOMESTIC WATER SERVICE LINE
  2. 1 1/2" DOMESTIC WATER METER AND BOX
  3. 4" SAS SERVICE LINE
  4. 6" FIRE LINE
  5. 6" SAS SERVICE LINE
  6. SAS CLEAN OUT
  7. CONNECT TO EXISTING SAS MAHOLE
  8. INLET TO SAS
  9. ELECTRICAL TRANSFORMER
  10. GREASE TRAP
  11. 4" SAS MANHOLE

**LEGEND**

---	PROPERTY LINE	- - - -	PROPOSED EASEMENT
- - - -	EXISTING EASEMENT	SAS	PROPOSED SANITARY SEWER LINE
---	SAS	GREASE INTERCEPTOR	PROPOSED GREASE TRAP
---	EXISTING SANITARY SEWER	●	PROPOSED SANITARY SEWER MANHOLE
---	EXISTING WATER LINE	●	PROPOSED CLEANOUT
□	EXISTING WATER METER	—	PROPOSED WATER LINE
○	EXISTING CAP	×	PROPOSED VALVE
×	EXISTING VALVE	FL	PROPOSED FIRE LINE
⊗ & ⊗	EXISTING FIRE HYDRANTS	⊙	PROPOSED HYDRANT
○	EXISTING SANITARY SEWER MANHOLE	□	PROPOSED CAP
⊙	EXISTING STORM DRAIN MANHOLE	■	PROPOSED WATER METER
□	EXISTING INLET	■	PROPOSED TRANSFORMER



AFD PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY  
 10-28-08  
 SIGNATURE & DATE

**JACK IN THE BOX ENGINEERING**  
 9330 BALBOA AVENUE  
 SAN DIEGO, CA 92123  
 © 2007 Jack in the Box Inc.  
 These designs, drawings and specifications are the property of Jack in the Box Inc and shall not be copied or reproduced without its previous written consent.

**DATES**

RELEASE: \_\_\_\_\_  
 P.M. UPDATES: \_\_\_\_\_  
 PERMIT: \_\_\_\_\_  
 BID: \_\_\_\_\_  
 CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

△	
△	
△	
△	
△	

JACK IN THE BOX #XX  
 CARLISLE/CLAREMONT  
 ALBUQUERQUE, NEW MEXICO

**Jack in the Box**

**Bohannon & Huston**  
 ENGINEERING & ARCHITECTURE  
 3444 N. Country Club, Suite # 105  
 Tucson, Arizona 85716  
 (520) 327-6707/327-8816

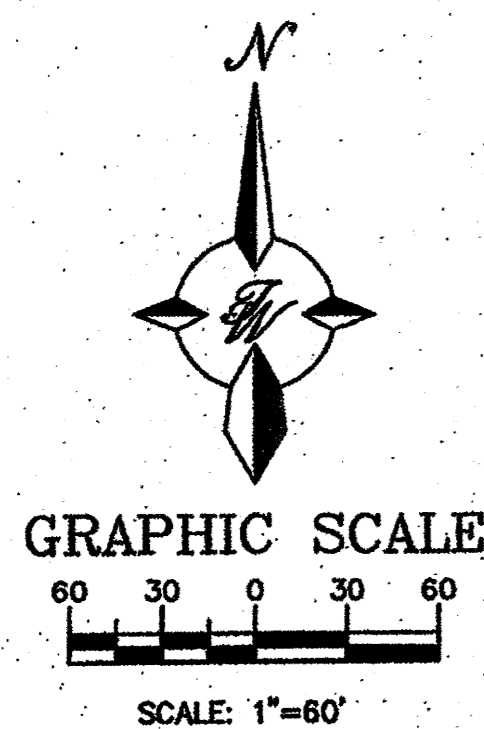
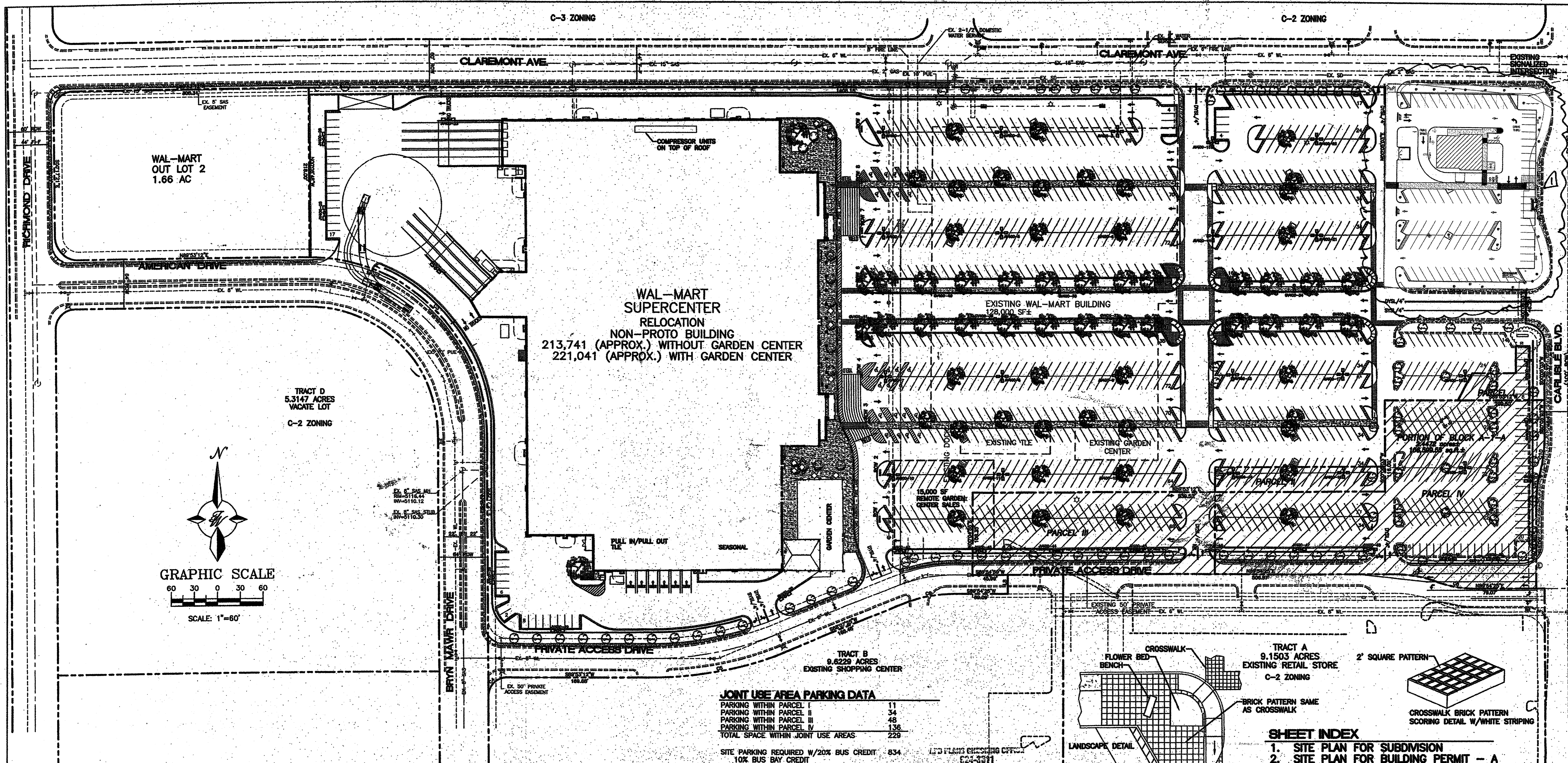
**ARCO** CLICK & ASSOCIATES  
 4600 N. Country Club, Suite # 105  
 Tucson, Arizona 85716  
 (520) 327-6707/327-8816

**SITE INFORMATION**

MK TYPE: XX  
 JIB #: XX  
 ADDRESS: CARLISLE/CLAREMONT ALBUQUERQUE, NM  
 DRAWN BY: XX  
 SCALE: 1:20

Utility Plan  
 October 2008

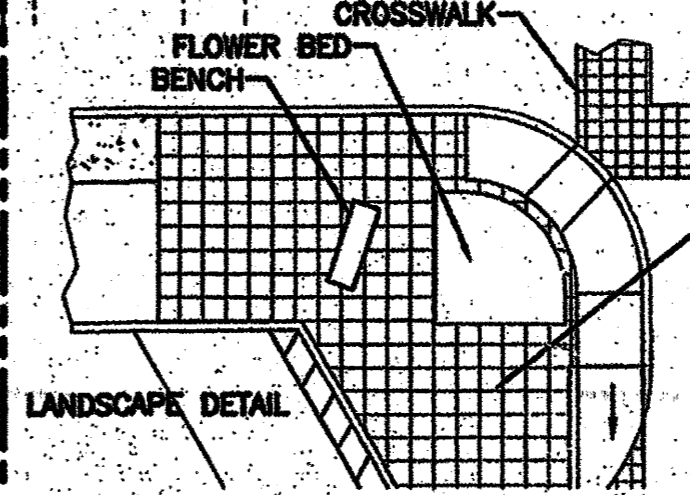




**JOINT USE AREA PARKING DATA**

PARKING WITHIN PARCEL I	11
PARKING WITHIN PARCEL II	34
PARKING WITHIN PARCEL III	48
PARKING WITHIN PARCEL IV	136
TOTAL SPACE WITHIN JOINT USE AREAS	229

SITE PARKING REQUIRED W/20% BUS CREDIT: 834  
 10% BUS DAY CREDIT  
 5% BUS SHELTER CREDIT  
 5% BUS CREDIT, OVER 5 AC SITE  
 SITE PARKING PROVIDED: 1063  
 SITE PARKING PROVIDED MINUS JOINT USE: 831



- SHEET INDEX**
1. SITE PLAN FOR SUBDIVISION
  2. SITE PLAN FOR BUILDING PERMIT - A
  3. SITE PLAN FOR BUILDING PERMIT - B
  4. LANDSCAPE PLAN
  5. ELEVATIONS
  - 5A. ELEVATIONS
  6. GRADING AND DRAINAGE PLAN - A
  - 6A. GRADING AND DRAINAGE PLAN - B
  7. MASTER UTILITY PLAN - A
  - 7A. MASTER UTILITY PLAN - B
  8. DETAILS
  9. DETAILS
  10. DETAILS
  11. DETAILS
  12. DETAILS

**SITE DATA**

PROPOSED USAGE:	PROPOSED EXPANSION:
EXISTING ZONING:	C-2
LOT AREA:	
WAL-MART TRACT	20.5988 AC
OUT LOT 1	1.1916 AC
OUT LOT 2	1.8593 AC
TOTAL:	23.4497 AC

<b>TOTAL BUILDING AREA</b>	
EXISTING WAL-MART	213,741 SF
EXISTING WAL-MART GARDEN CENTER	7,300 SF
NEW JACK-IN-THE-BOX RESTAURANT	2,429 SF
TOTAL	223,470 SF

<b>PARKING ANALYSIS</b>	
EXISTING WAL-MART	213,741 SF
First 15,000 SF (1 space/200 sf)	15,000 SF
Next 45,000 SF (1 space/200 sf)	45,000 SF
Exceeds 60,000 SF (1 space/200 sf)	153,741 SF
TOTAL	767 SPACES

<b>EXISTING WAL-MART GARDEN CENTER</b>	
JACK-IN-THE-BOX RESTAURANT	7,300 SF / 48 SEATS
TOTAL	76 SPACES

<b>20% REDUCTION FOR BUS ROUTE &amp; SHELTER</b>	
TOTAL PARKING REQUIRED	638 SPACES
TOTAL PARKING PROVIDED	1061 SPACES

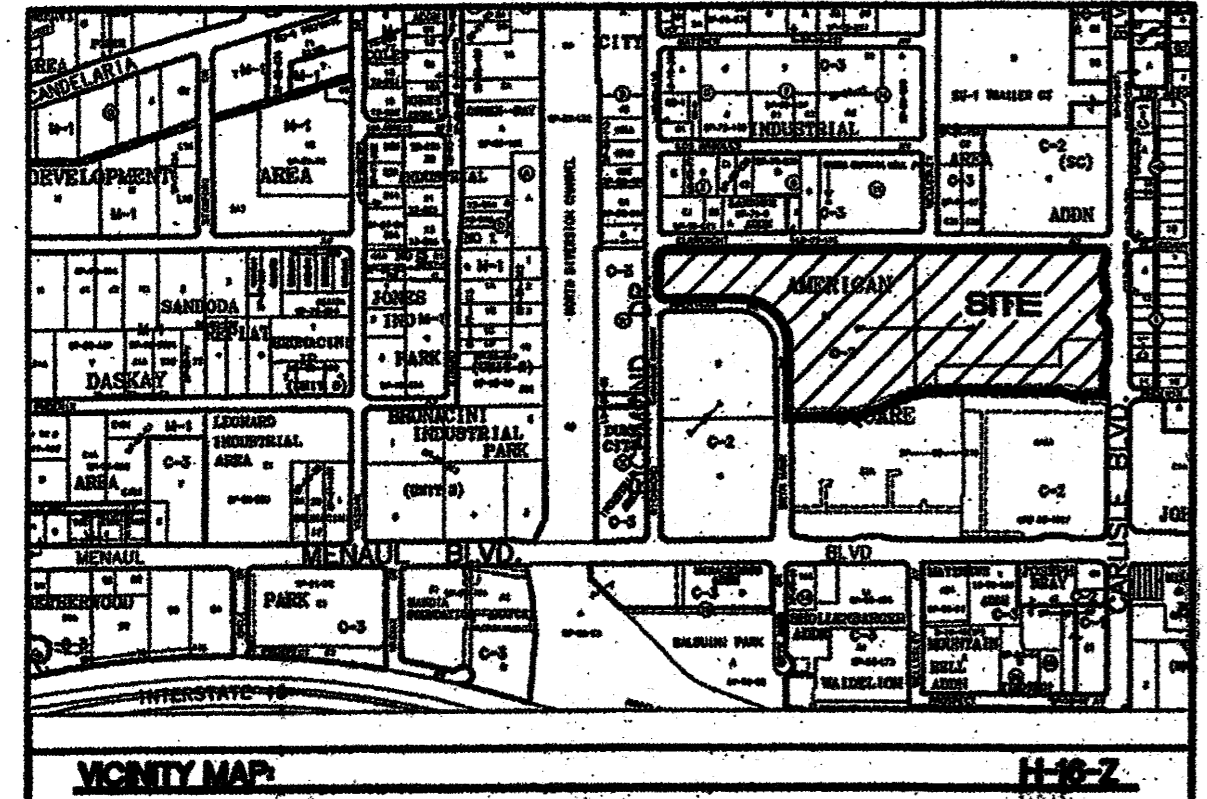
  

<b>BICYCLE PARKING REQUIRED (1 space/20 parking spaces required)</b>	
BICYCLE PARKING PROVIDED	32 SPACES
<b>BICYCLE PARKING PROVIDED</b>	
BICYCLE PARKING PROVIDED	34 SPACES

<b>HANDICAPPED PARKING REQUIRED</b>	
HANDICAPPED PARKING PROVIDED	16 SPACES
<b>HANDICAPPED PARKING PROVIDED</b>	
HANDICAPPED PARKING PROVIDED	26 (8 VAN) SPACES

- LEGEND**
- EXISTING CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - PROPOSED EASEMENT
  - PROPOSED SCREEN WALL
  - PROPOSED RETAINING WALL
  - PROPOSED SIDEWALK
  - PROPOSED BOLLARD
  - PROPOSED PEDESTRIAN CROSSWALK
  - PROPOSED CART CORRALS
  - ASSOCIATE PARKING AREA
  - BIKE RACK
  - BIKE LOCKER
  - PROPOSED LIGHT POLE
  - PARCELS WITHIN JOINT USE AREAS



**LEGAL DESCRIPTION**  
 BLOCK E1 AND F1, AMERICAN SQUARE.

PROJECT NUMBER: 1002249  
 Application Number: OB.EPL-40070

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Authority	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**ENGINEER'S SEAL**

**ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03**

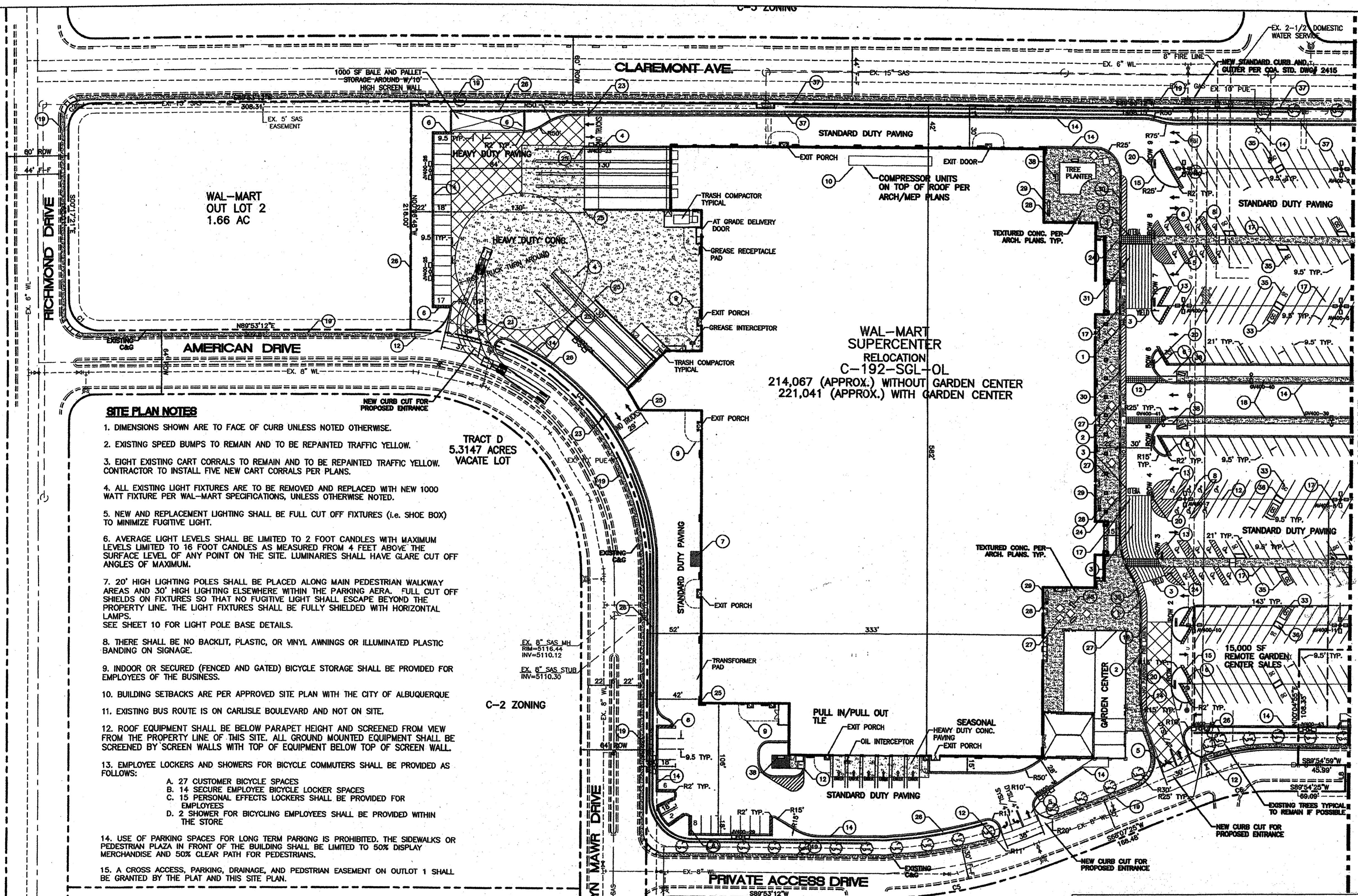
**AMENDED SITE PLAN FOR SUBDIVISION**

**TERRA WEST, LLC**  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)858-3100

**RONALD R. BOHANNAN**  
 P.E. #7868

**DRAWN BY** BDC  
**DATE** 04/09/03  
**2175SPS1.DWG**  
**SHEET #** 1  
**JOB #** 21075





**SITE PLAN NOTES**

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
- EIGHT EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLANS.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- 20' HIGH LIGHTING POLES SHALL BE PLACED ALONG MAIN PEDESTRIAN WALKWAY AREAS AND 30' HIGH LIGHTING ELSEWHERE WITHIN THE PARKING AREA. FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE SHEET 10 FOR LIGHT POLE BASE DETAILS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
- EXISTING BUS ROUTE IS ON CARLISLE BOULEVARD AND NOT ON SITE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- EMPLOYEE LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
  - 27 CUSTOMER BICYCLE SPACES
  - 14 SECURE EMPLOYEE BICYCLE LOCKER SPACES
  - 15 PERSONAL EFFECTS LOCKERS SHALL BE PROVIDED FOR EMPLOYEES
  - 2 SHOWER FOR BICYCLING EMPLOYEES SHALL BE PROVIDED WITHIN THE STORE
- USE OF PARKING SPACES FOR LONG TERM PARKING IS PROHIBITED. THE SIDEWALKS OR PEDESTRIAN PLAZA IN FRONT OF THE BUILDING SHALL BE LIMITED TO 50% DISPLAY MERCHANDISE AND 50% CLEAR PATH FOR PEDESTRIANS.
- A CROSS ACCESS, PARKING, DRAINAGE, AND PEDESTRIAN EASEMENT ON OUTLOT 1 SHALL BE GRANTED BY THE PLAT AND THIS SITE PLAN.

**SITE DATA**

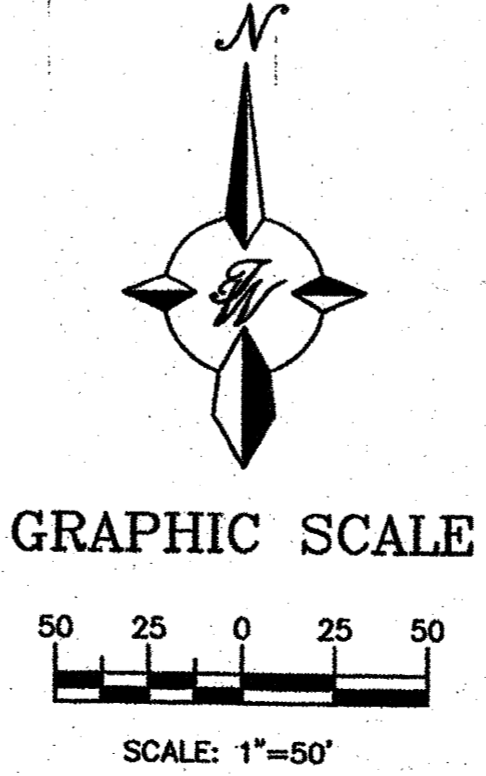
PROPOSED USAGE:	PROPOSED EXPANSION
EXISTING ZONING:	C-2
<b>LOT AREA:</b>	
WAL-MART TRACT	19,2558 AC
PORTION OF BLOCK A-1-A	2,4472 AC
OUT LOT 1	1,1916 AC
OUT LOT 2	1,6593 AC
<b>TOTAL:</b>	<b>23,5539± AC.</b>
<b>BUILDING AREA:</b>	
WITH GARDEN CENTER	221,041 SF
WITHOUT GARDEN CENTER	214,067 SF
<b>LANDSCAPING:</b>	
PROVIDED:	93,989 SF
REQUIRED:	86,340 SF
<b>PARKING PROVIDED (OVERALL CENTER)</b>	
PARKING PROVIDED (WAL-MART TRACT ONLY)	827 SPACES
PARKING REQUIRED: RETAIL AREA	1070 SPACES
PARKING REQUIRED: GARDEN CENTER (7,300 SF)	17 SPACES
PARKING REQUIRED: STORAGE AREA (5,300 SF)	3 SPACES
TOTAL PARKING REQUIRED W/200% BUS CREDIT:	834 SPACES
PARKING RATIO: WITHOUT GARDEN CENTER	4.95
<b>HC PARKING PROVIDED:</b>	
HC PARKING REQUIRED:	23 SPACES (4 VAN)
	20 SPACES
	4 SPACES VAN ACCESSIBLE
<b>BIKE SPACES PROVIDED:</b>	
BIKE SPACES REQUIRED: -	27 SPACES

**PANT STRIPING LEGEND**

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE  
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH  
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH  
 SWSL/10" - SINGLE WHITE SOLID LINE / 10" WIDE  
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

**LEGEND**

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- HEAVY DUTY PAVING
- HEAVY DUTY CONCRETE
- BIKE RACK
- BIKE LOCKER



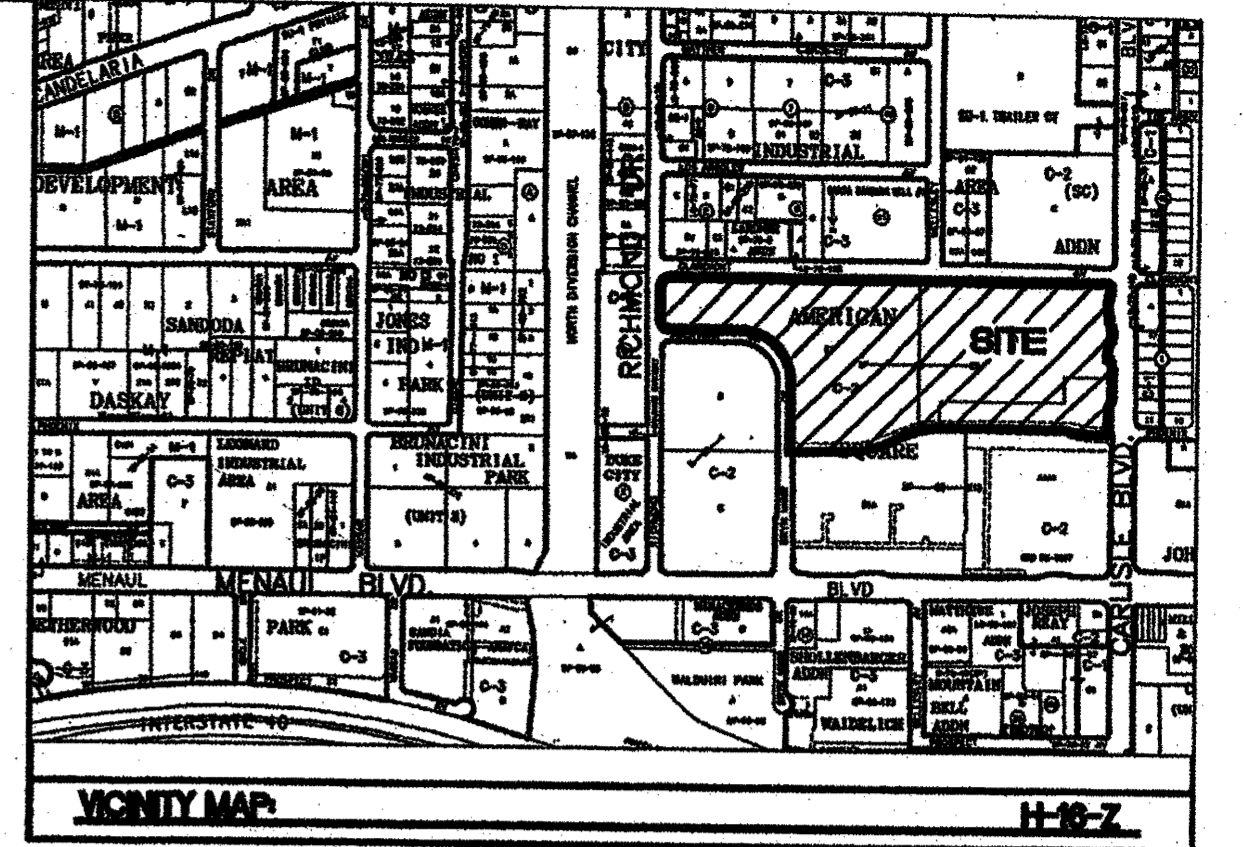
PROJECT NUMBER: 1002249  
 Application Number: 09 EPL-40070

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Authority	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



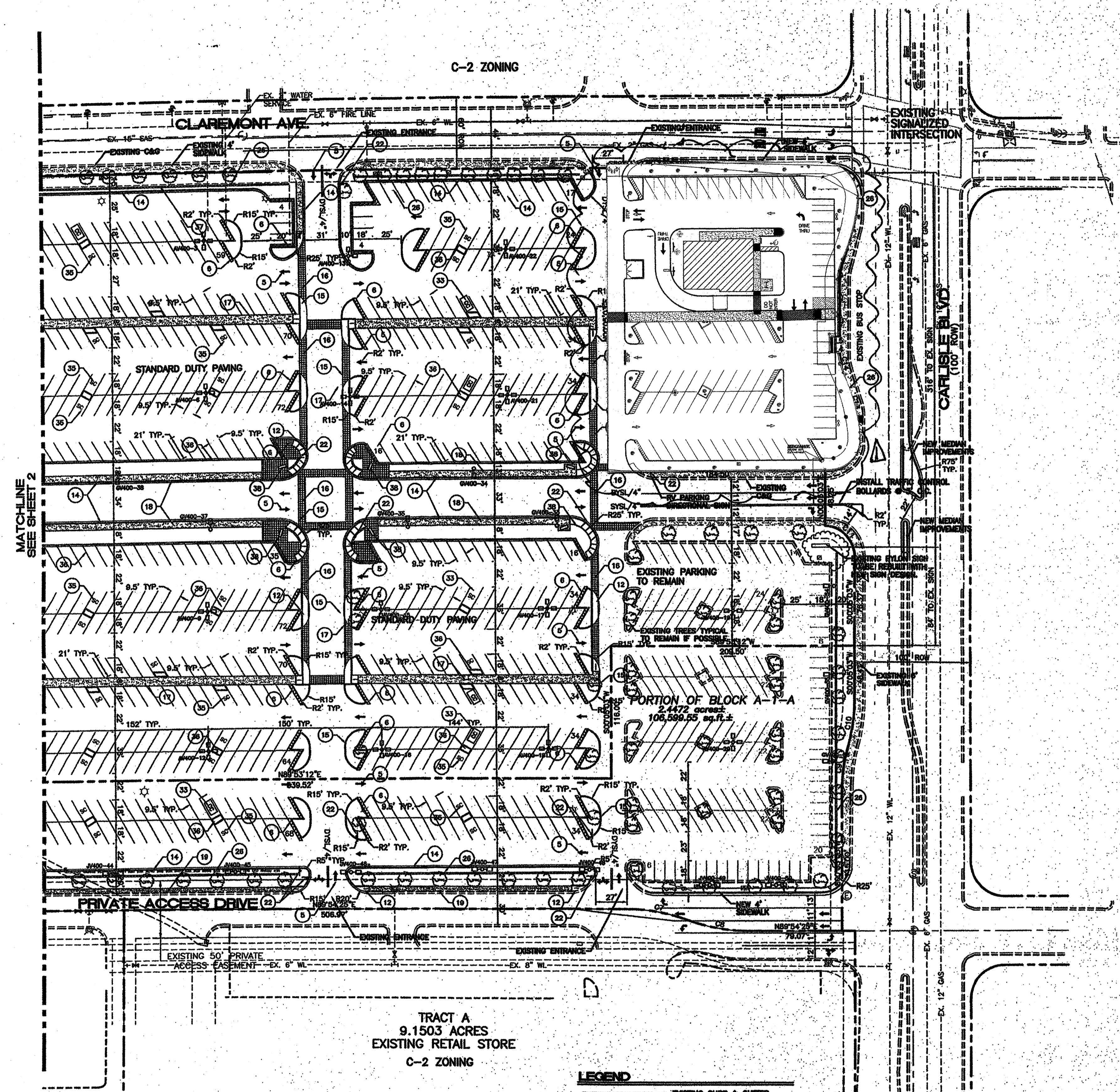
**LEGAL DESCRIPTION**  
 BLOCK E1 AND F1, AMERICAN SQUARE.

- SITE LEGEND**
- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURBS TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 9 OF 12)
  - "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 9 OF 12)
  - "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 8 OF 12)
  - PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
  - PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 8 OF 12)
  - 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
  - 10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JB CRANE LOCATION. SEE ARCH. PLANS
  - ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL. ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SHT 8 OF 12)
  - RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
  - ROOF MOUNTED 16"x119" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
  - SCREEN WALL PER ARCH. PLANS
  - UNIDIRECTIONAL HC RAMP. (SHT 9 OF 12)
  - PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
  - 6" CONCRETE CURB AND GUTTER TYPICAL.
  - 6" CONCRETE HEADER CURB TYPICAL. (SHT 8 OF 12)
  - 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8 )
  - 6" WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 8 OF 12)
  - 6" CONCRETE SIDEWALK TYPICAL.
  - 4" CONCRETE SIDEWALK TYPICAL.
  - ASILE INDICATOR SIGNS TYPICAL. (SHT 8 OF 12)
  - "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
  - "STOP" SIGN. SEE PLAN FOR LOCATION.
  - "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
  - PEDESTRIAN CROSSING SIGN W/0-2 AND W/0-20 TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
  - 6" DIA. PIPE BOLLARD TYPICAL. (SHT 10 OF 12)
  - 3' HIGH SCREEN WALL. (SHT 8 OF 12)
  - 6"x6" TREE PLANTER TYPICAL. (SHT 9 OF 12)
  - (3) 5 SPACE BIKE RACK TYPICAL. (SHT 8 OF 10)
  - BIKE LOCKERS (3 UNITS, 15 TOTAL LOCKERS SPACES). (SHT 8 OF 12)
  - ZERO CURB PER ARCH. SECTIONS
  - PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
  - PROPOSED LIGHTING.
  - CART CORRALS TYPICAL. (SHT 8 OF 12)
  - PROPOSED HC RAMP. (SHT 9 OF 12)
  - SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
  - TREE PLANTER TYPICAL. (SHT 9 OF 12)
  - RETAINING WALL TYPICAL. (SHT 8 OF 10)
  - WROUGHT IRON PARK BENCHES. TYPICAL.

	<b>ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03</b>	DRAWN BY: BDG DATE: 05/23/03
	<b>SITE PLAN FOR BUILDING PERMIT - A</b>	2175SP1.DWG
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>2</b> JOB # 21075



C-2 ZONING



MATCHLINE SEE SHEET 2

TRACT A  
9.1503 ACRES  
EXISTING RETAIL STORE  
C-2 ZONING

**LEGEND**

	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED EASEMENT
	PROPOSED SCREEN WALL
	PROPOSED RETAINING WALL
	PROPOSED SIDEWALK
	PROPOSED BOLLARD
	PROPOSED PEDESTRIAN CROSSWALK
	PROPOSED CART CORRALS
	ASSOCIATE PARKING AREA
	BIKE RACK
	BIKE LOCKER

**LINE TABLE**

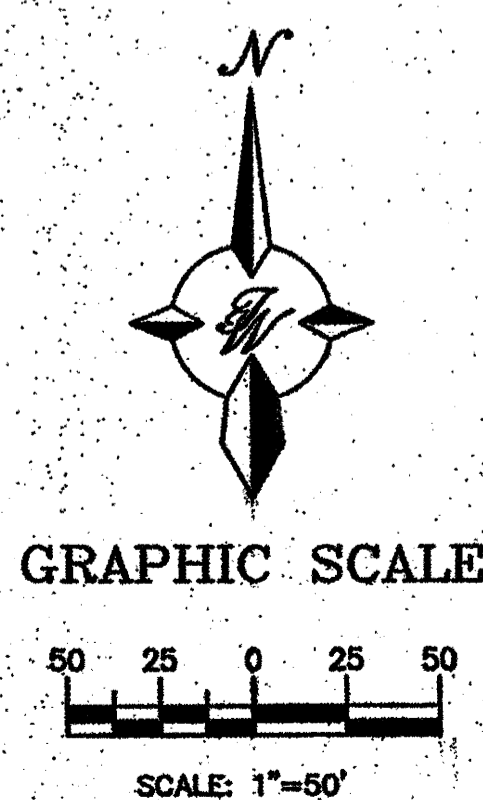
LINE	LENGTH	BEARING
L3	4.80	S00°05'03"W
L4	7.00	N89°54'59"W
L5	7.00	N89°54'59"W
L6	15.01	N00°05'01"E
L7	45.00	S00°05'03"W
L8	25.00	S00°04'55"W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	47.03	30.00	42.36	S45°11'58"E
C2	39.35	25.00	35.41	S44°47'42"W
C3	363.71	232.00	327.59	N42°12'05"W
C4	39.35	25.00	35.41	S44°47'56"W
C5	178.52	470.00	177.45	N79°00'18"E
C6	66.53	175.00	66.13	S79°00'57"W
C7	64.13	150.00	63.84	N79°48'18"W
C8	64.13	150.00	63.84	S79°48'18"E
C9	40.75	150.00	40.62	S07°52'01"W
C10	40.75	150.00	40.62	N07°52'01"W
C11	39.27	25.00	35.36	N44°54'56"W
C12	39.27	25.00	35.36	N45°05'03"E
C13	62.22	150.00	61.96	N09°53'20"W
C14	17.41	50.00	17.32	S09°53'13"E
C15	17.41	50.00	17.32	S10°03'20"W
C16	51.75	150.00	51.50	N10°08'49"E
C18	36.52	25.00	34.62	N43°52'44"W

**PAINT STRIPING LEGEND**

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE  
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH  
 DWSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH  
 SWSL/10" - SINGLE WHITE SOLID LINE / 10" WIDE  
 SWSL/4" - SINGLE WHITE DASHED LINE / 4" WIDE  
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE



**SITE LEGEND**

- 1 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 9 OF 12)
- 2 "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 9 OF 12)
- 3 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 8 OF 12)
- 4 PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- 5 PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 8 OF 12)
- 6 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 7 10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JB CRANE LOCATION. SEE ARCH. PLANS
- 8 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE). (SHT 8 OF 12)
- 9 RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- 10 ROOF MOUNTED 16"x19" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- 11 SCREEN WALL PER ARCH. PLANS
- 12 UNIDIRECTIONAL HC RAMP. (SHT 9 OF 12)
- 13 PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 14 6" CONCRETE CURB AND GUTTER TYPICAL.
- 15 6" CONCRETE HEADER CURB TYPICAL. (SHT 8 OF 12)
- 16 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 8)
- 17 6" WIDE RAISED CONCRETE SIDEWALK TYPICAL. (SHT 8 OF 12)
- 18 6" CONCRETE SIDEWALK TYPICAL.
- 19 4" CONCRETE SIDEWALK TYPICAL.
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- 21 "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- 22 "STOP" SIGN. SEE PLAN FOR LOCATION.
- 23 "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
- 24 PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 25 6" DIA. PIPE BOLLARD TYPICAL. (SHT 10 OF 12)
- 26 3' HIGH SCREEN WALL. (SHT 8 OF 12)
- 27 6"x6" TREE PLANTER TYPICAL. (SHT 9 OF 12)
- 28 (3) 5 SPACE BIKE RACK TYPICAL. (SHT 8 OF 10)
- 29 BIKE LOCKERS (3 UNITS, 15 TOTAL LOCKERS SPACES). (SHT 8 OF 12)
- 30 ZERO CURB PER ARCH. SECTIONS
- 31 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- 32 PROPOSED LIGHTING.
- 33 CART CORRALS TYPICAL. (SHT 9 OF 12)
- 34 PROPOSED HC RAMP. (SHT 9 OF 12)
- 35 SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- 36 TREE PLANTER TYPICAL. (SHT 9 OF 12)
- 37 RETAINING WALL TYPICAL. (SHT 8 OF 10)
- 38 WROUGHT IRON PARK BENCHES, TYPICAL.

AREA of 6/08 AMENDMENT

	<b>ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03</b> PREPARED BY: <b>SITE PLAN FOR BUILDING PERMIT - B</b>	DRAWN BY: BDC DATE: 05/20/03 2175SP1.DWG
	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>3</b> JOB # 21075



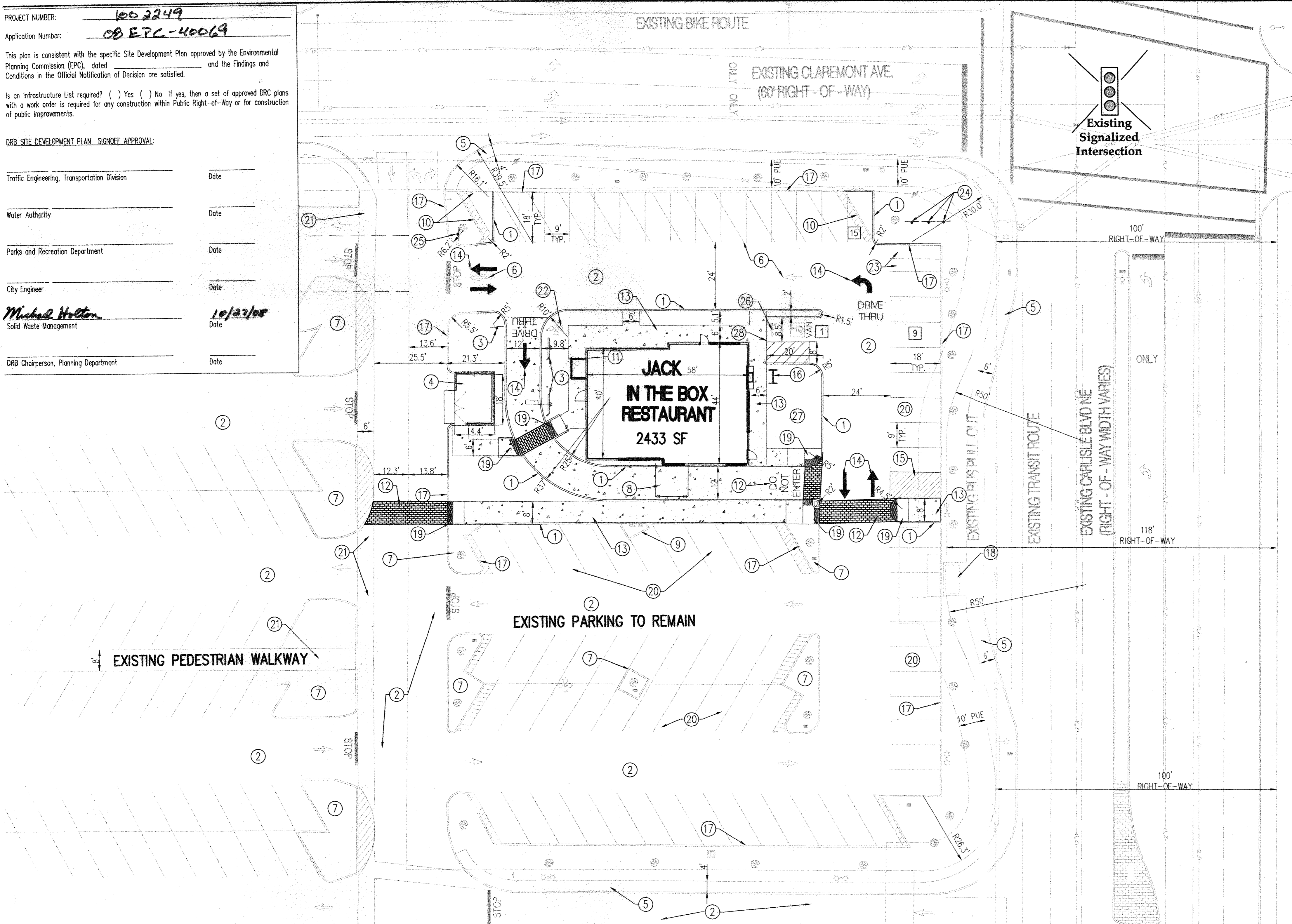
PROJECT NUMBER: 1002249  
 Application Number: 08 EPC-40069

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

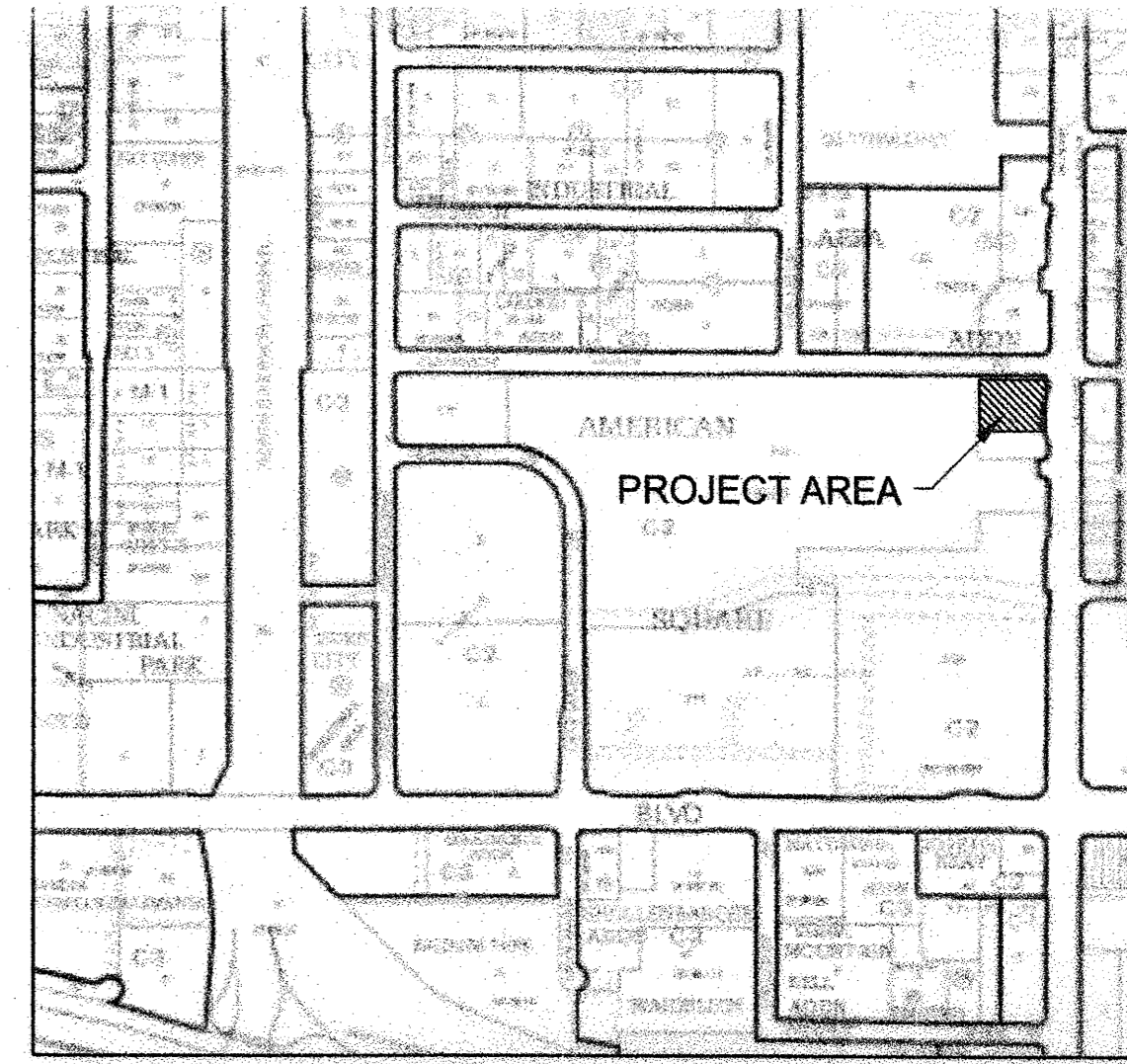
Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Authority	Date
Parks and Recreation Department	Date
City Engineer	Date
<i>Michael Holton</i> Solid Waste Management	10/22/08
DRB Chairperson, Planning Department	Date



**Jack-In-The-Box  
 Parking Cals**  
 Required=1 space/4 seats  
 48 seats.  
 Base required parking=11  
 10% transit reduction, adj required parking=11  
 Parking provided=25  
 Handicap parking required: 1  
 Handicap parking provided: 1  
 Motorcycle parking provided: 2  
 Motorcycle parking required: 1  
 Bicycle parking provided: 4  
 Bicycle parking required: 2

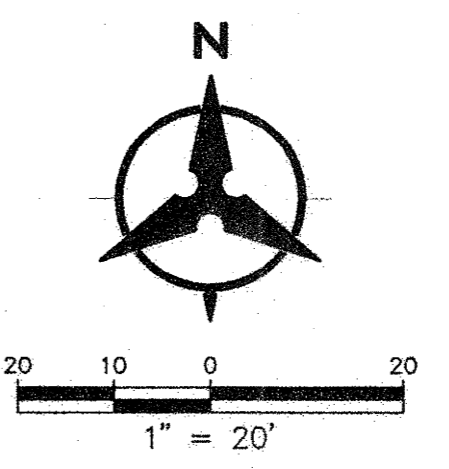


**KEYED NOTES**

- |  |  |
|--|--|
| 1. NEW CURB  | 14. NEW PAINTED DIRECTIONAL ARROW  |
| 2. EXISTING VEHICULAR DRIVE AISLE  | 15. STRIPED TEMPORARY PARKING AREA FOR DRIVE UP WINDOW.                                  |
| 3. MENU BOARD/SIGN   | 16. BICYCLE RACK FOR 4 BIKES   |
| 4. REFUSE ENCLOSURE - 6' HIGH CMU STRUCTURE COLOR TO MATCH BUILDING -SEE ELEVATION THIS SHEET- | 17. EXISTING CURB TO REMAIN  |
| 5. EXISTING SIDEWALK TO REMAIN   | 18. EXISTING BUS STOP AND SHELTER  |
| 6. EXISTING PAINTED PARKING STRIPE/DIRECTIONAL ARROW TO BE REMOVED.                            | 19. WHEEL CHAIR RAMP - SEE SHEET 1.1 FOR DETAILS   |
| 7. EXISTING LANDSCAPE ISLAND TO REMAIN   | 20. EXISTING ASPHALT PARKING TO REMAIN (9'X18' TYPICAL)                                  |
| 8. DRIVE UP WINDOW   | 21. EXISTING CONCRETE PEDESTRIAN WALKWAY   |
| 9. EXISTING LANDSCAPE ISLAND TO BE REMOVED   | 22. RELOCATED LIGHT POLE. SEE DETAIL THIS SHEET. SHALL COMPLY WITH ZONING CODE 14.6.3.9. |
| 10. EXISTING CURB TO BE REMOVED  | 23. (2) MOTORCYCLE PARKING SPACES: 18'X4.5'  |
| 11. EXISTING LIGHT AND POLE TO BE RELOCATED  | 24. TEMPORARY CONSTRUCTION SIGNAGE LOCATIONS   |
| 12. PATTERNED COLORED CONCRETE   | 25. NEW STOP SIGN  |
| 13. NEW SIDEWALK PLAN SYMBOL   | 26. WHEEL STOP   |
|  | 27. OUTDOOR SPACE  |
|  | 28. HANDICAP ACCESS AND PARKING FLUSH TO SIDEWALK  |

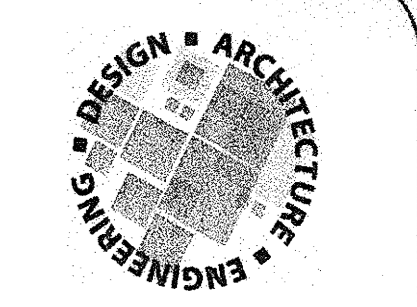
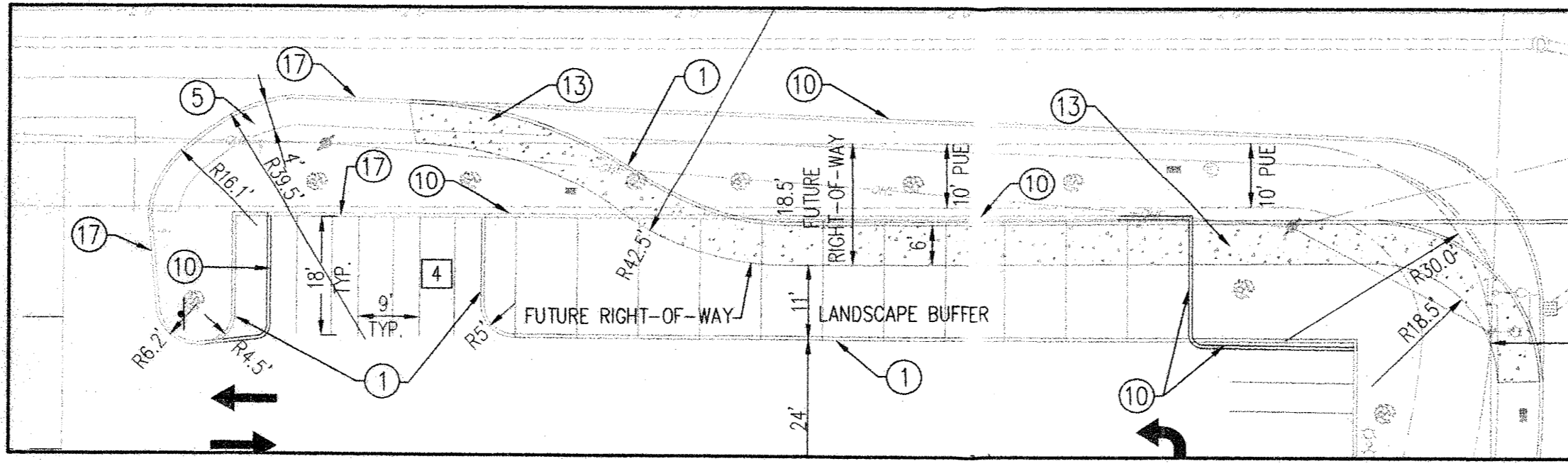
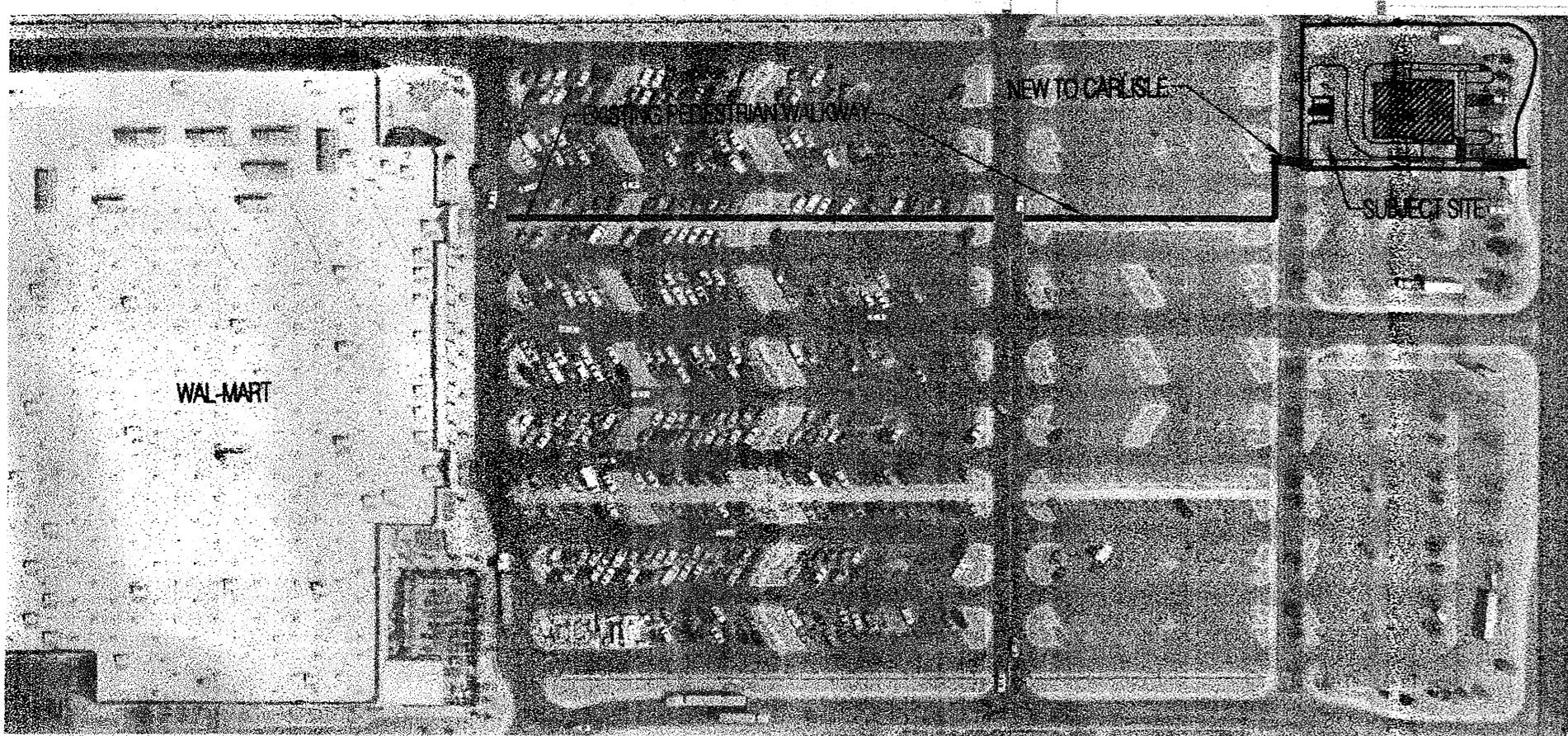
**GENERAL NOTES**

1. VIDEO CAMERAS SHALL BE INSTALLED TO COVER ALL PARKING AREAS, WALKWAYS, BUILDING ENTRANCES, EXTERIOR AND INTERIOR AND MAINTAIN LOCATIONS; MONITORS SHALL BE PLACED IN HIGH EMPLOYMENT TRAFFIC AREAS AND IN SIGHT OF DOOR LEADING TO TRASH DUMPSTER.



**LEGEND**

- |  |                                   |
|--|-----------------------------------|
|  | PROPERTY BOUNDARY                 |
|  | NEW CURB AND GUTTER               |
|  | NEW CONCRETE                      |
|  | PARKING TOTAL PER AISLE           |
|  | EXISTING LANDSCAPING              |
|  | EXISTING LIGHT AND POLE TO REMAIN |



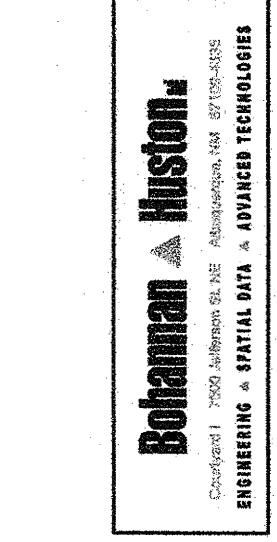
9330 BALBOA AVENUE  
 SAN DIEGO, CA 92123  
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**DATES**

RELEASE: \_\_\_\_\_  
 P.M. UPDATES: \_\_\_\_\_  
 PERMIT: \_\_\_\_\_  
 BID: \_\_\_\_\_  
 CONSTRUCTION: \_\_\_\_\_

**REVISIONS**


JACK IN THE BOX #XX  
 CARLISLE/CLAREMONT  
 ALBUQUERQUE, NEW MEXICO



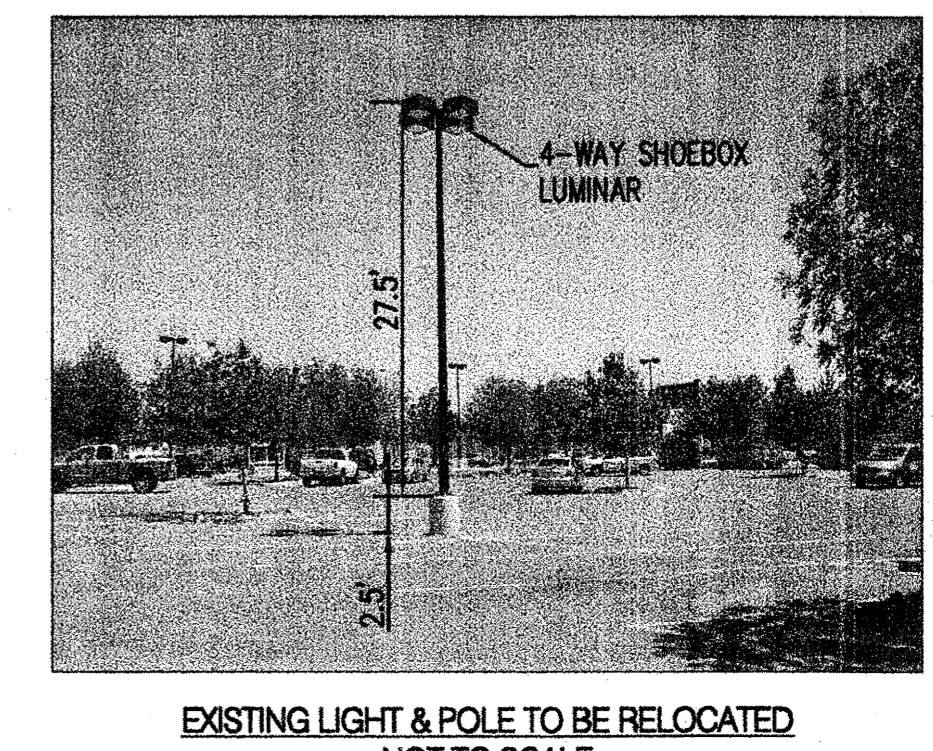
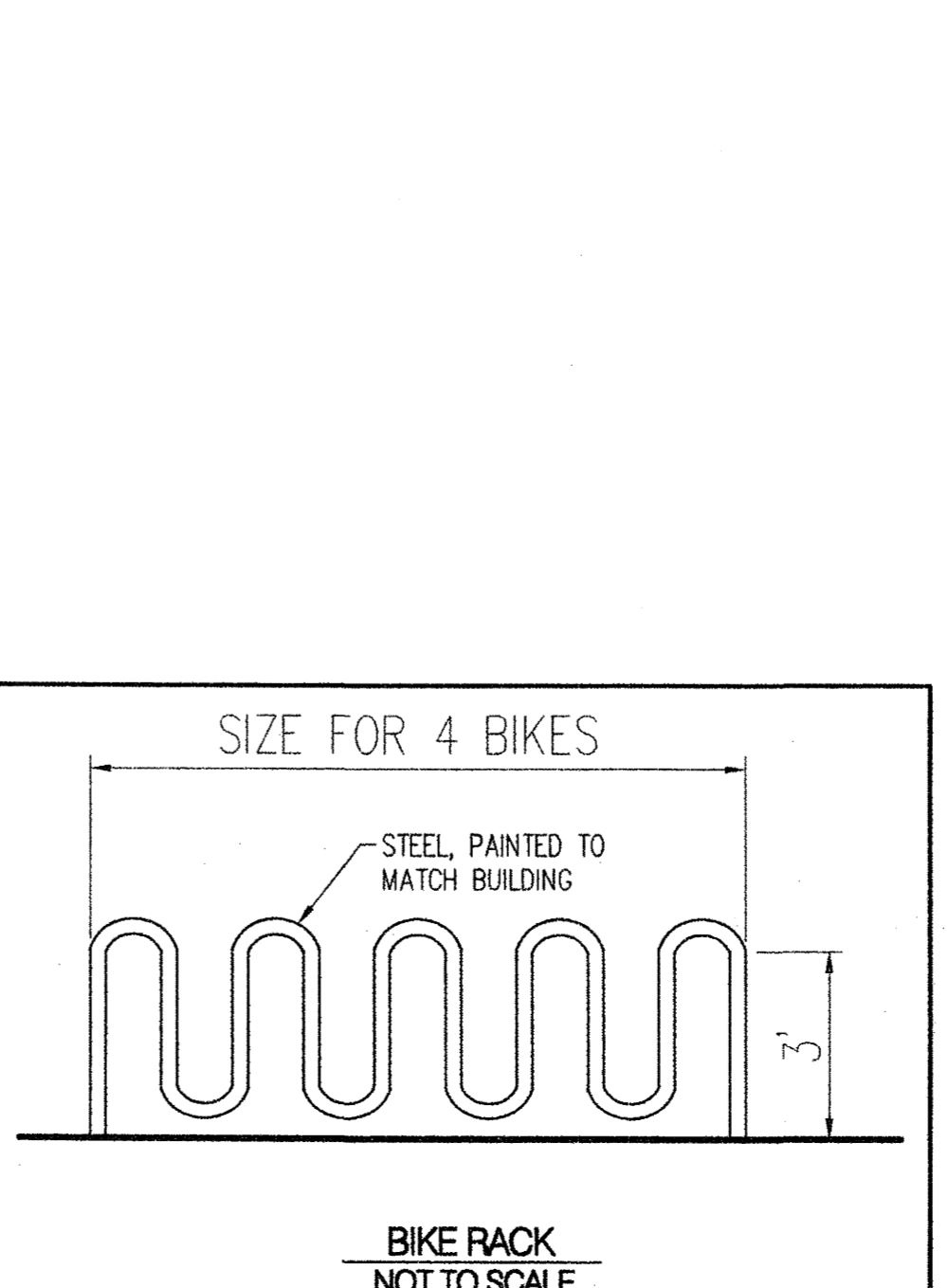
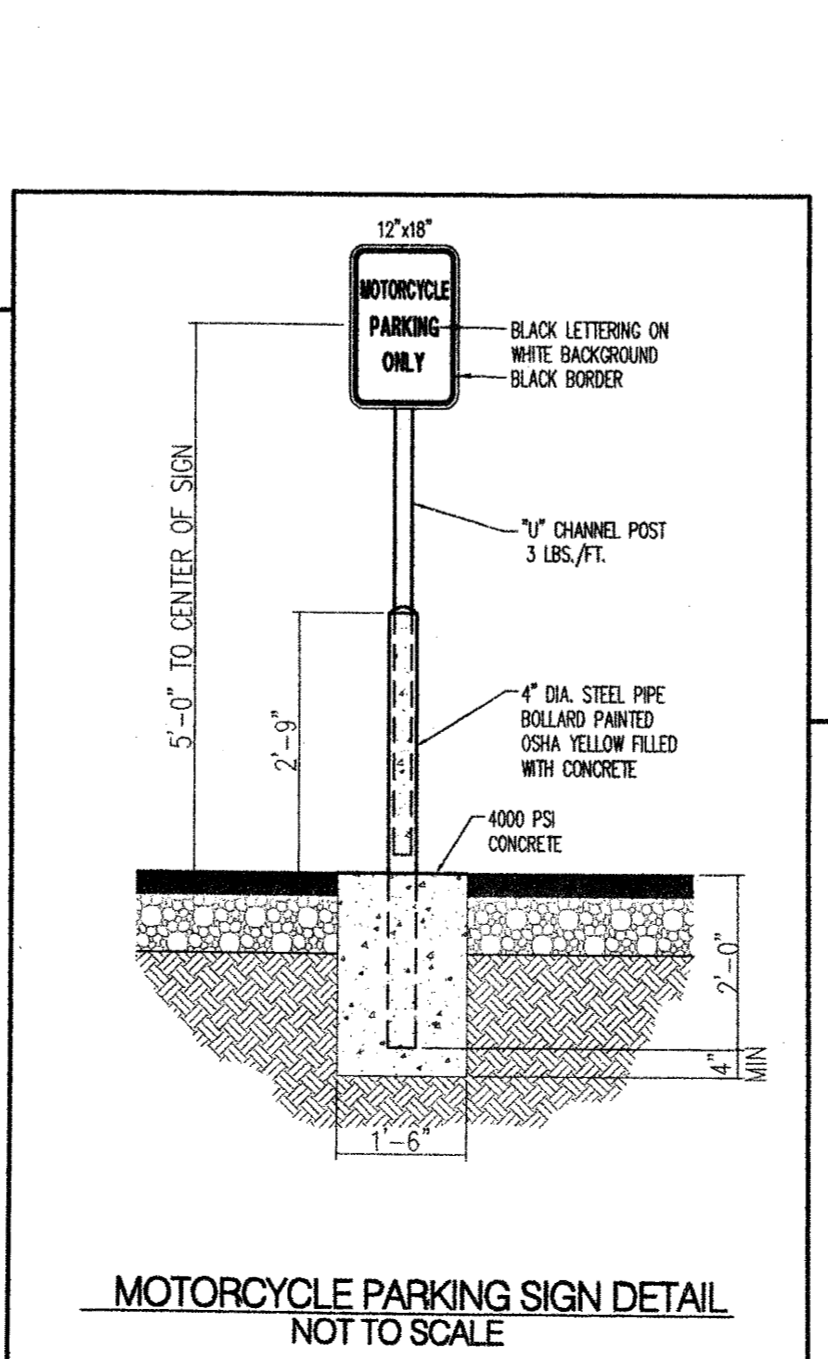
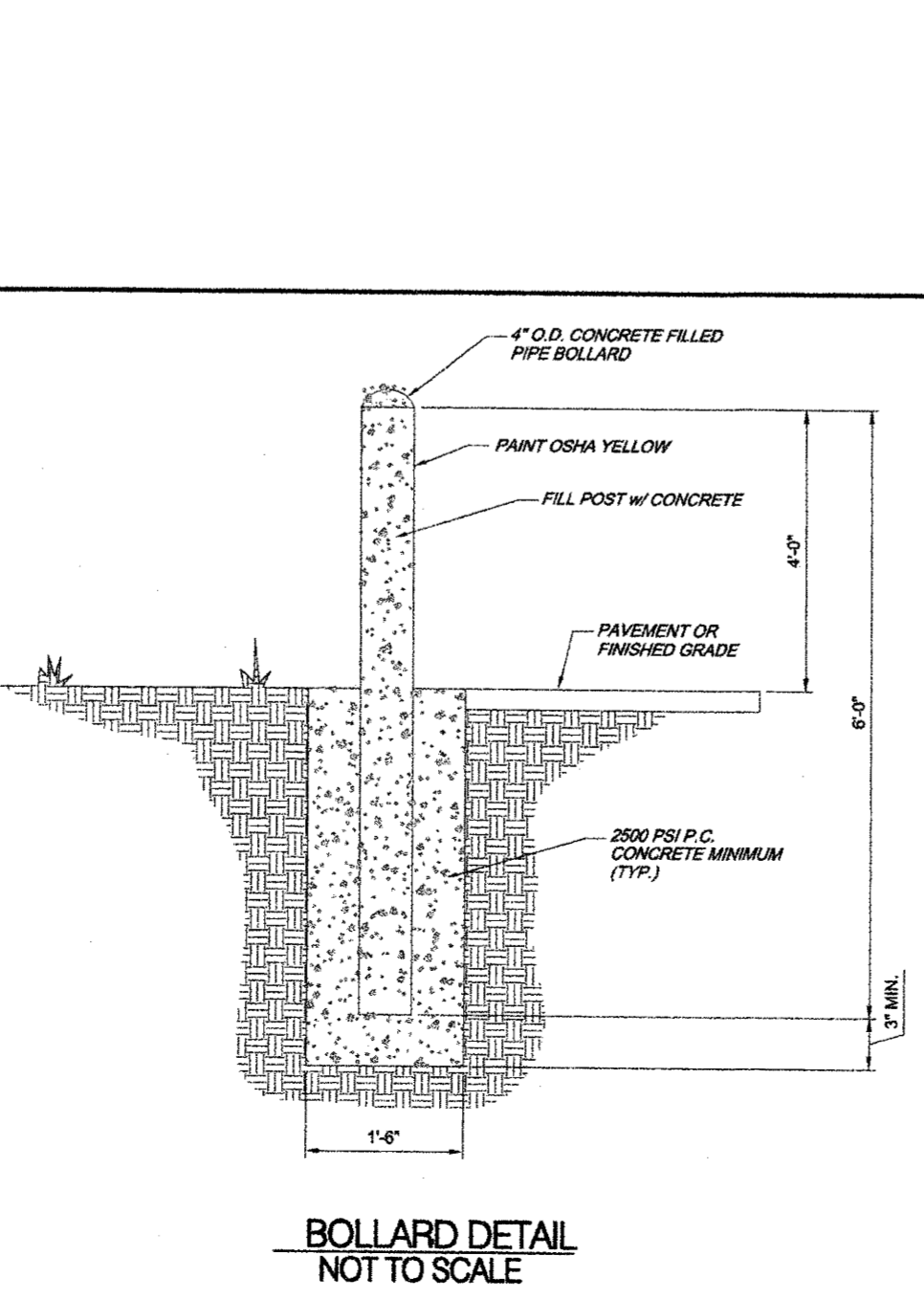
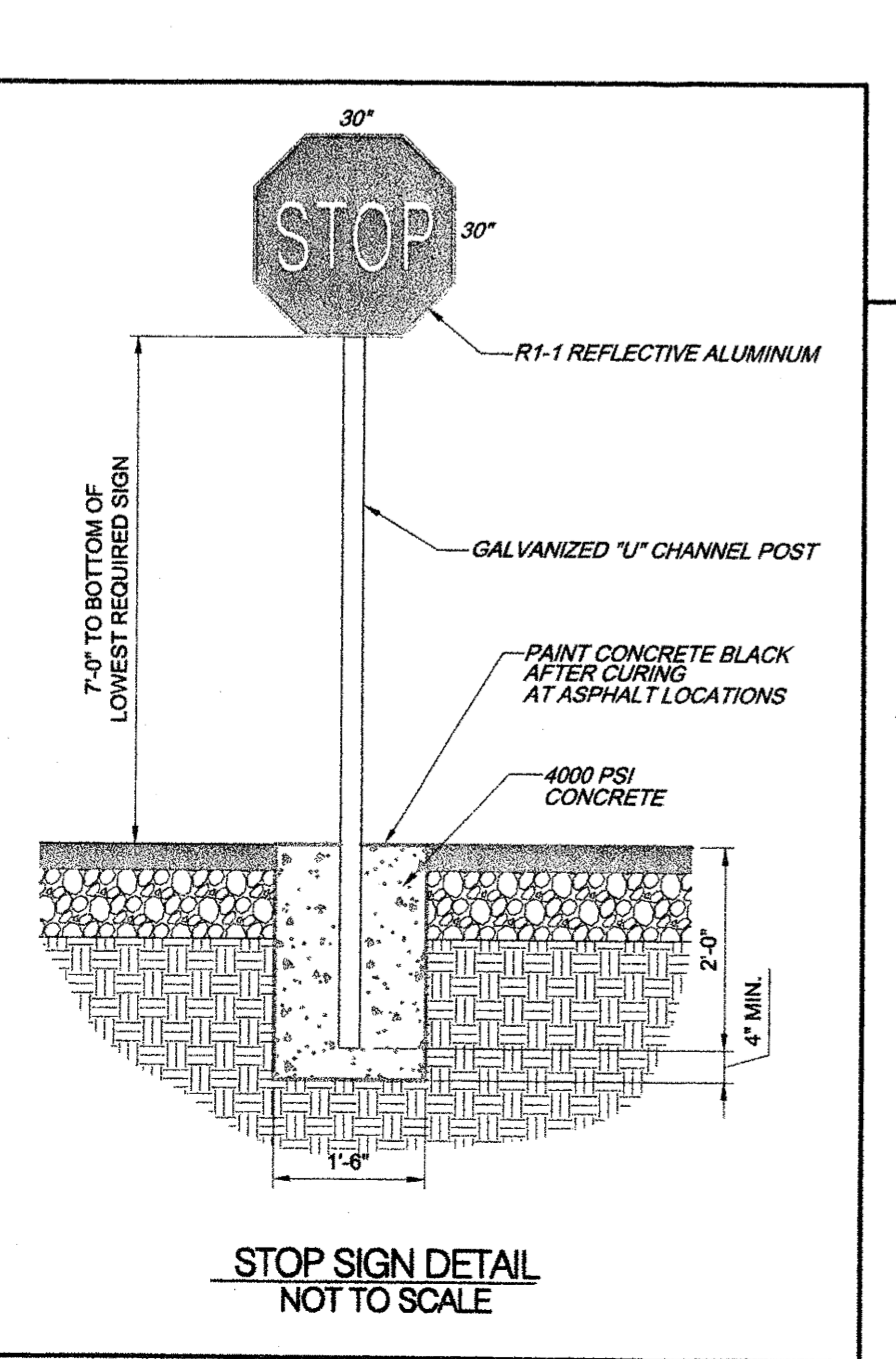
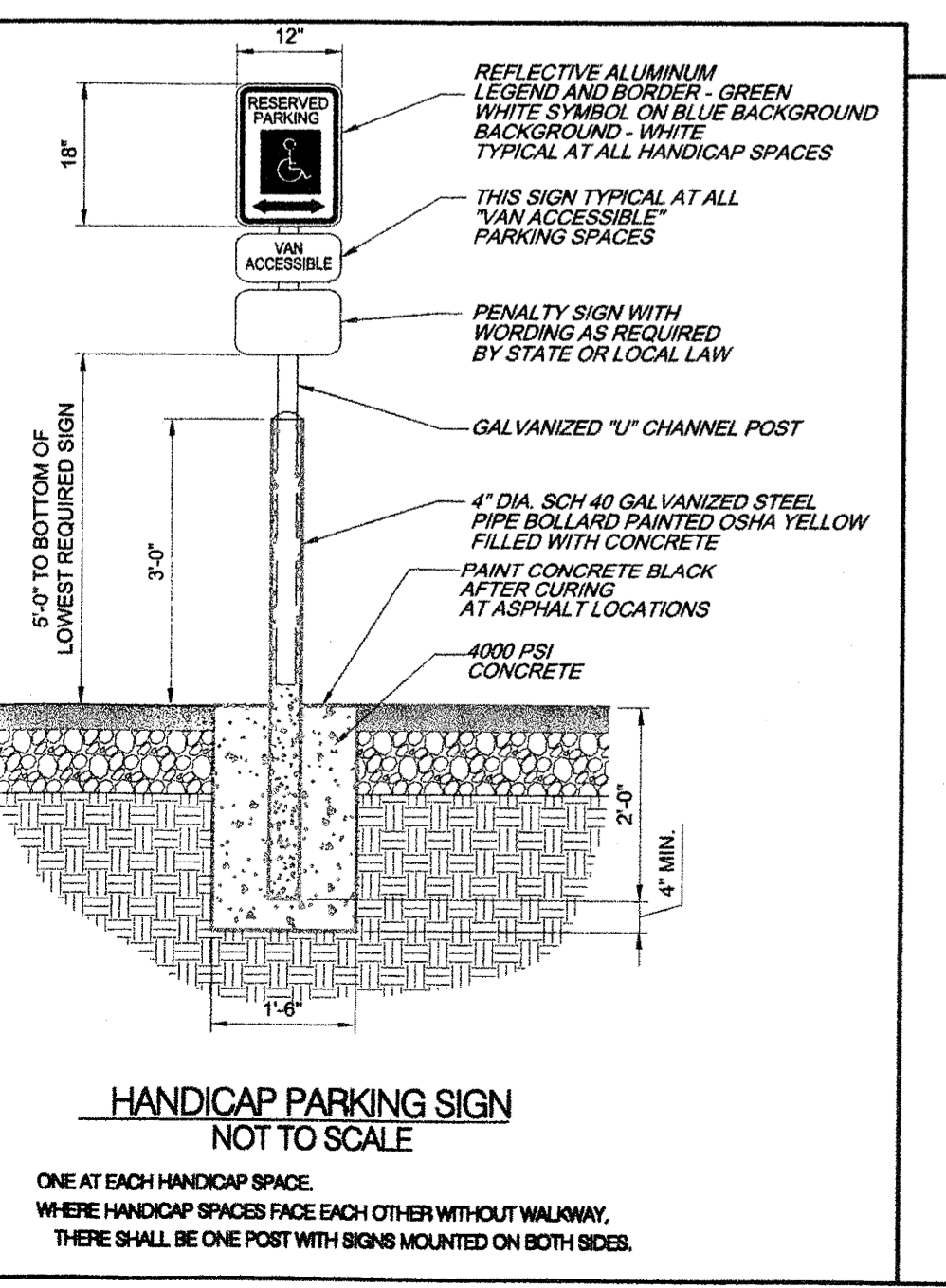
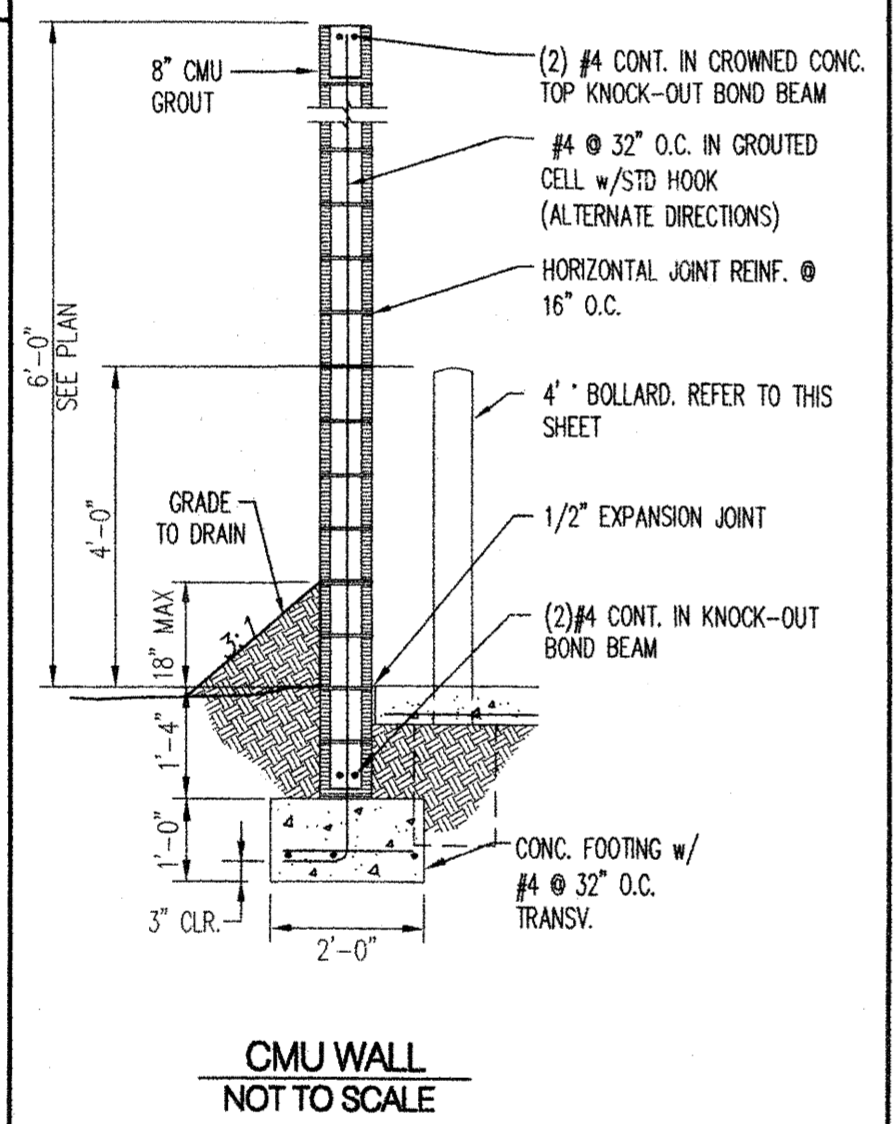
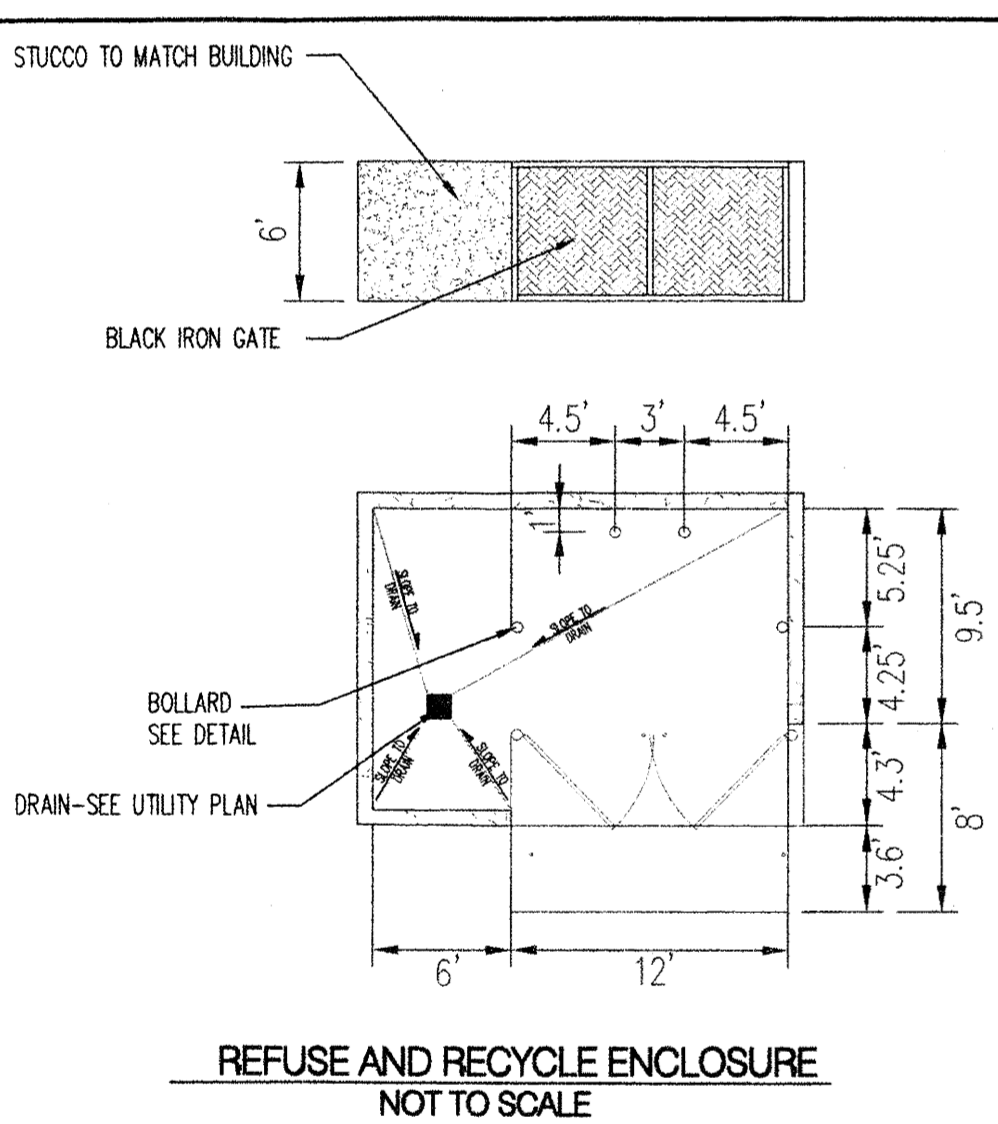
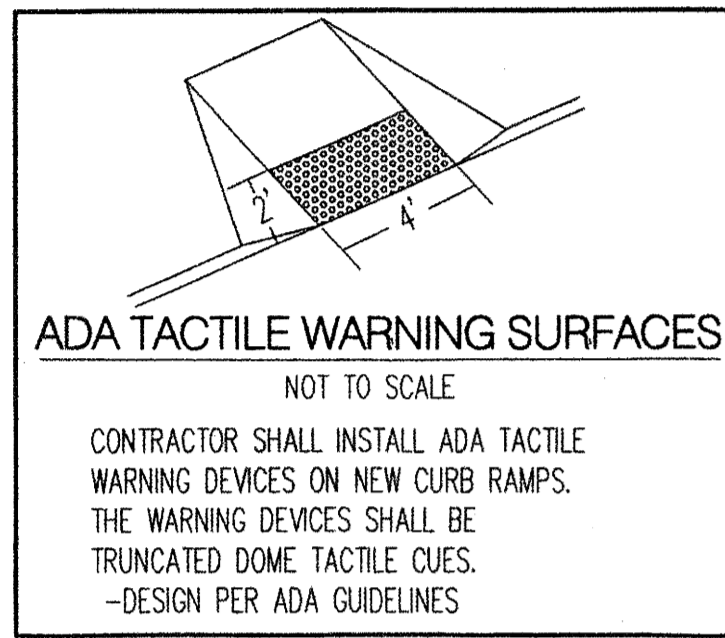
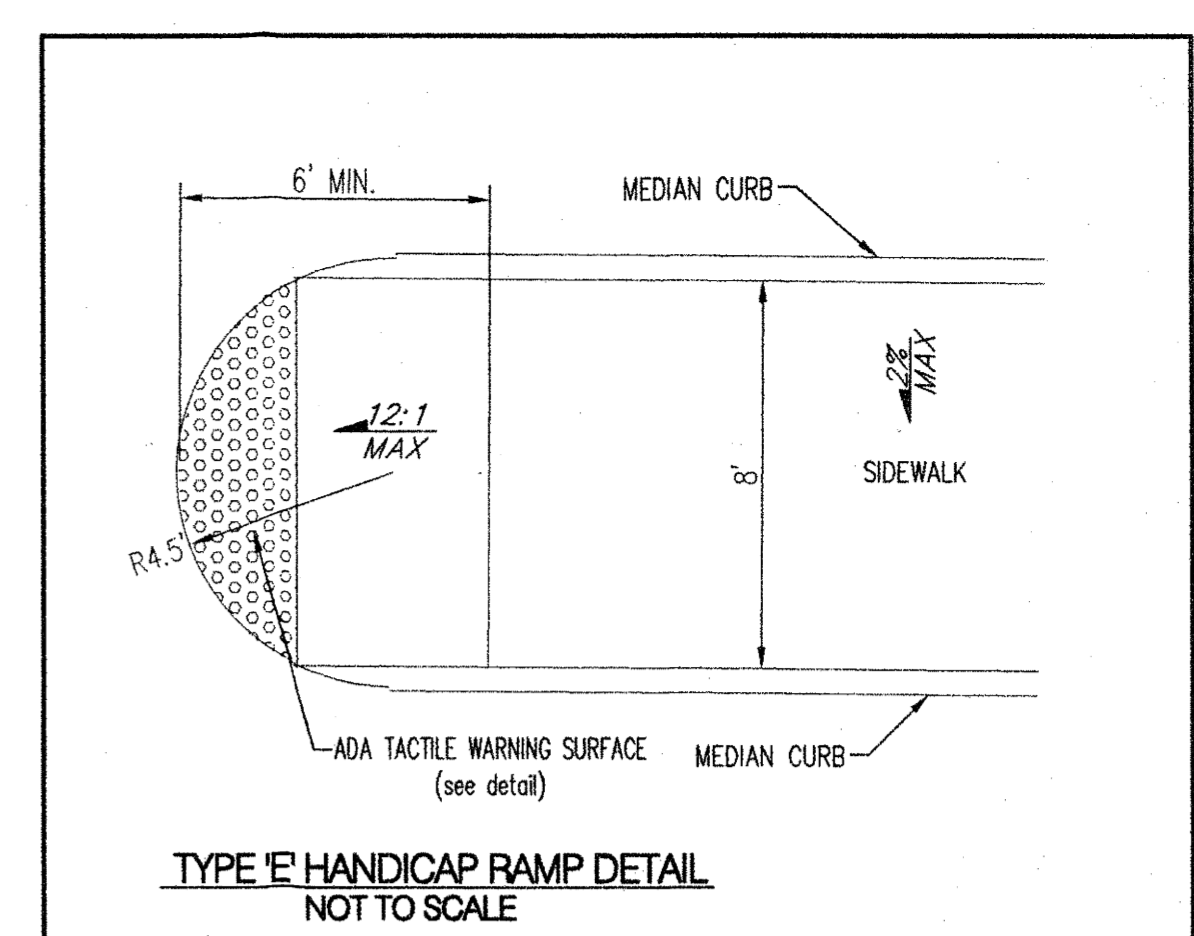
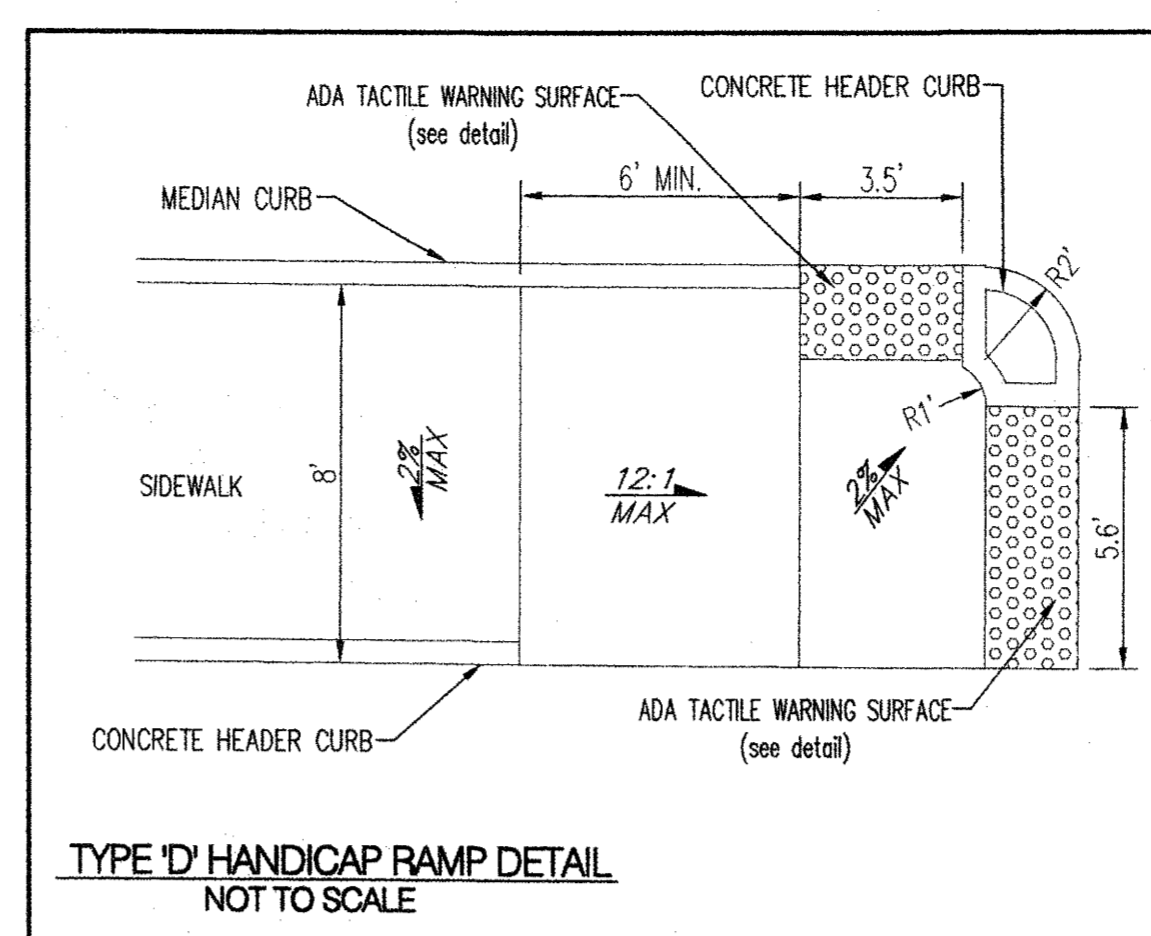
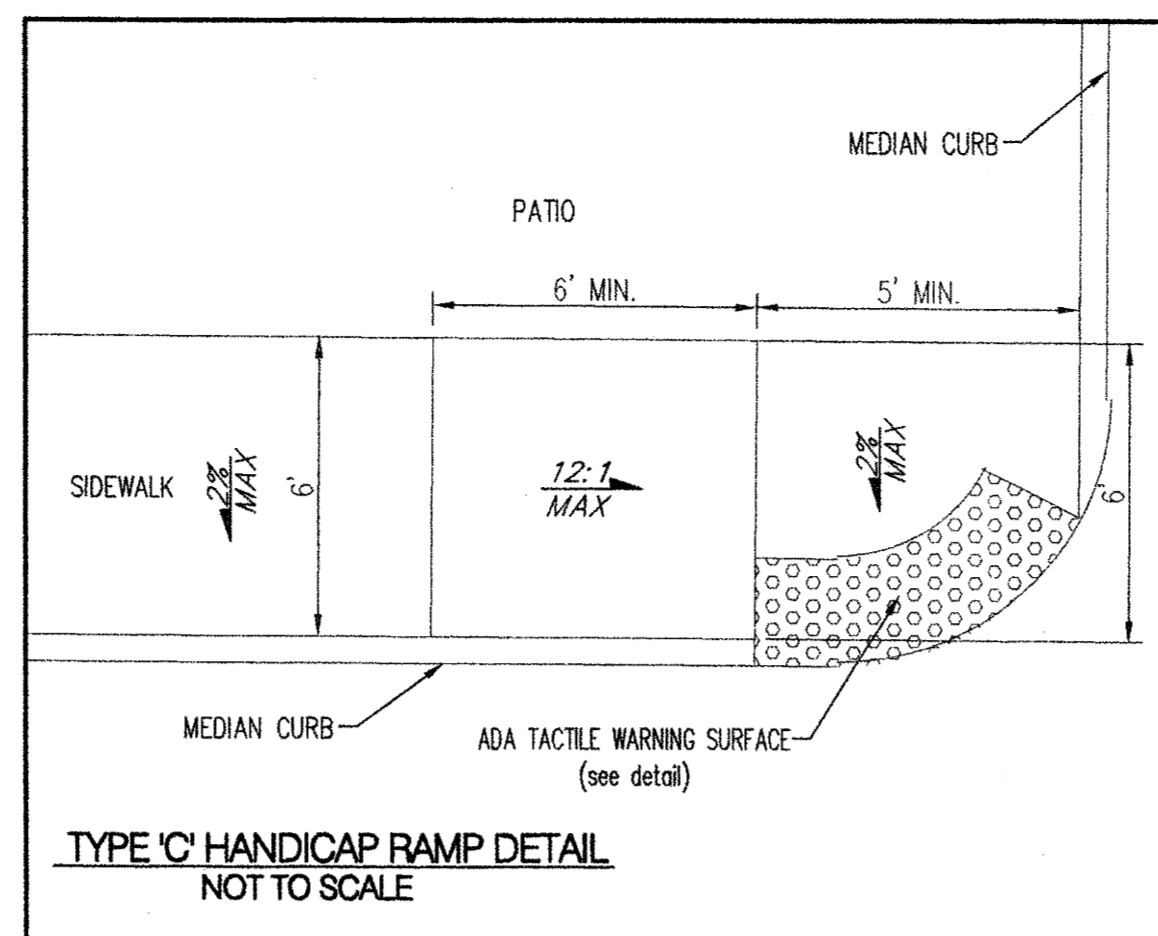
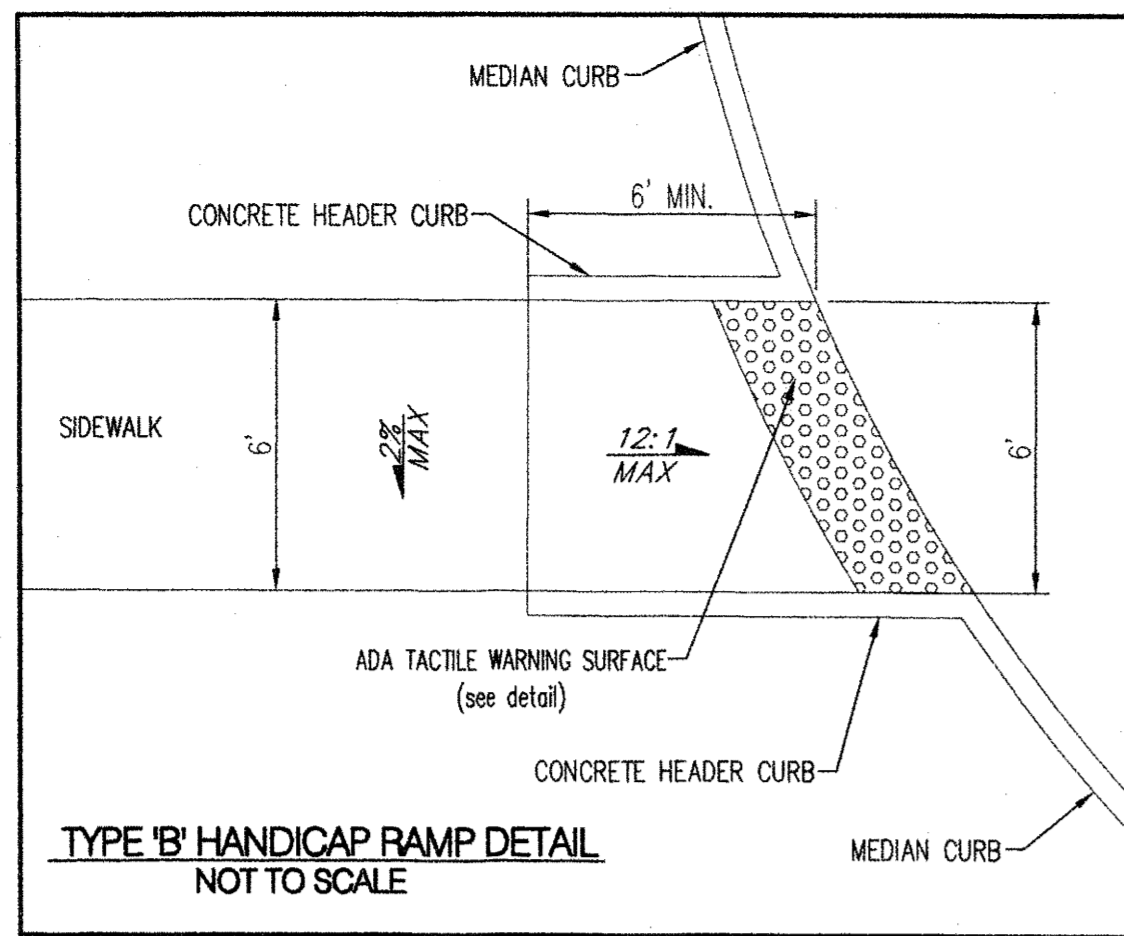
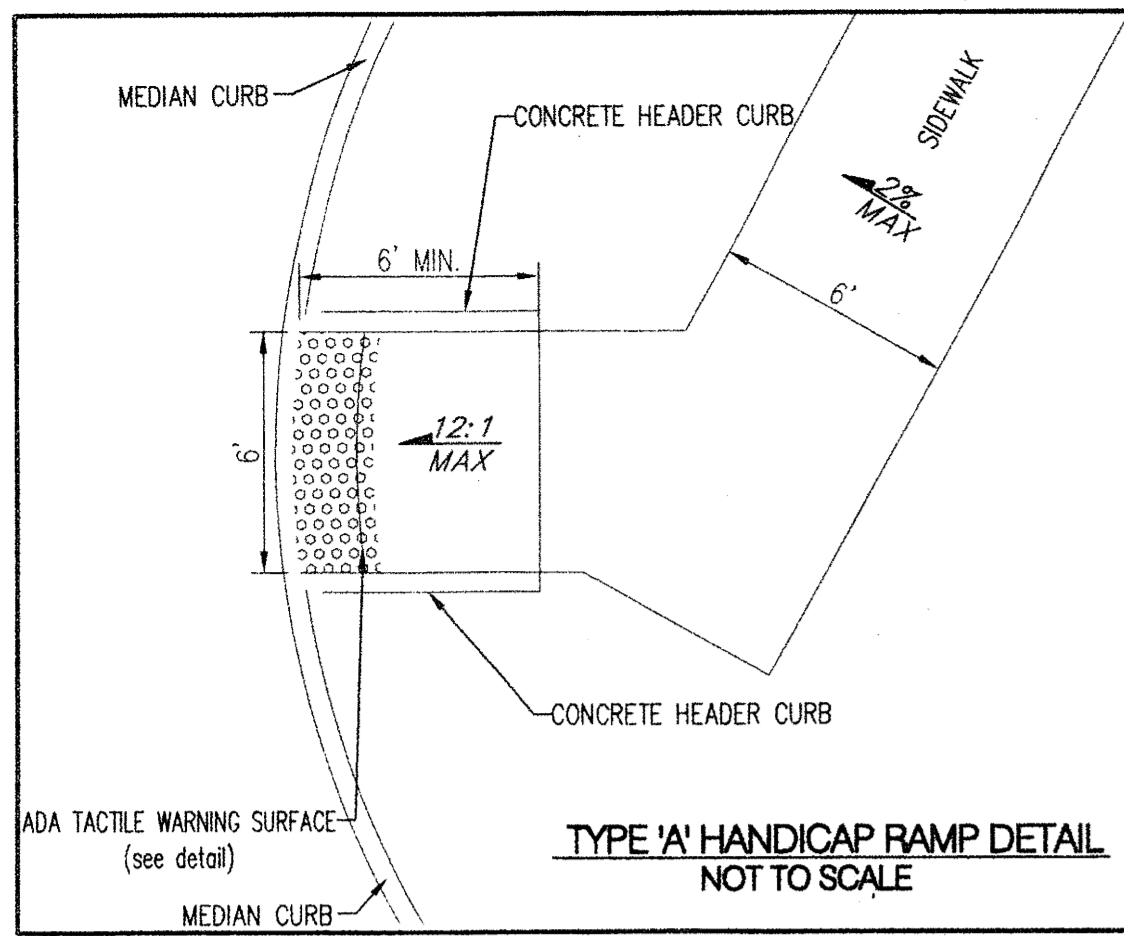
LARRY J. CHICK & ASSOCIATES  
 3444 N. Country Club, Suite # 105  
 Tucson, Arizona 85718  
 (520) 527-6770/527-8816

**SITE INFORMATION**

MK TYPE: XX  
 JIB #: XX  
 ADDRESS: CARLISLE/CLAREMONT ALBUQUERQUE, NM  
 DRAWN BY: XX  
 SCALE: 1:20

Site Plan  
 October 2008  
 Sheet 1





**ARCHITECTURE ENGINEERING**  
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SAN DIEGO, CA 92123  
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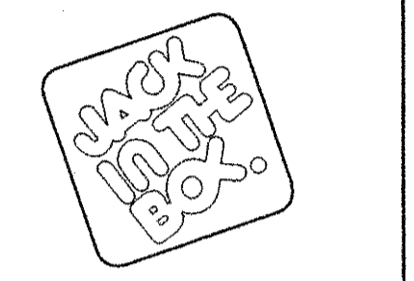
**DATES**

RELEASE: \_\_\_\_\_  
P.M. UPDATES: \_\_\_\_\_  
PERMIT: \_\_\_\_\_  
BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

△ \_\_\_\_\_  
△ \_\_\_\_\_  
△ \_\_\_\_\_  
△ \_\_\_\_\_  
△ \_\_\_\_\_

JACK IN THE BOX #XX  
CARLISLE/CLAREMONT  
ALBUQUERQUE, NEW MEXICO



**Bohannan & Huston**  
ARCHITECTS  
10000 N. CENTRAL AVENUE, SUITE 100  
DALLAS, TEXAS 75243  
(214) 357-8816

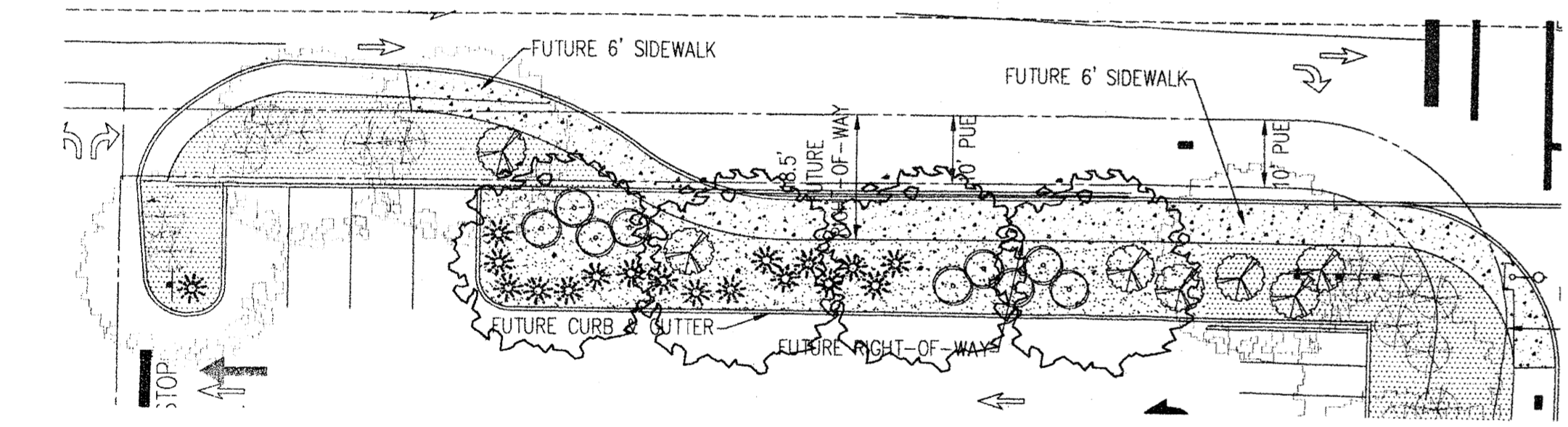
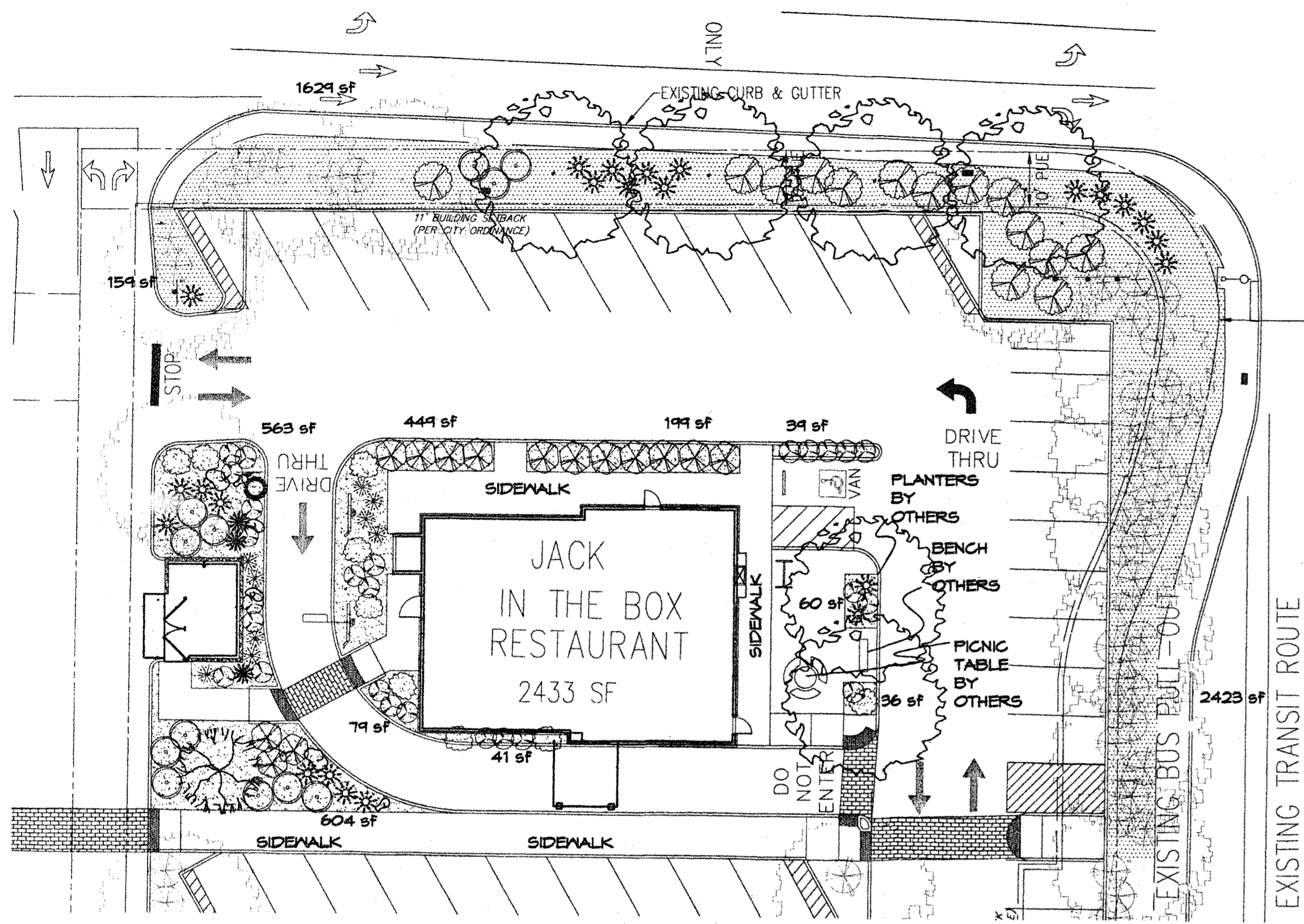
LARRY J. CLUCK & ASSOCIATES  
ARCHITECTS  
3000 N. CENTRAL AVENUE, SUITE 100  
DALLAS, TEXAS 75243  
(214) 357-8816

**SITE INFORMATION**

MK TYPE: XX  
JOB #: XX  
ADDRESS: CARLISLE/CLAREMONT  
ALBUQUERQUE, NM  
DRAWN BY: XX  
SCALE: \_\_\_\_\_

Site Details  
October 2008  
Sheet 1.1





ILLUSTRATIVE FUTURE RIGHT TURN LANE

1" = 20'

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Crushed Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

- 10-23-08 revised site plan rmc
- 7-25-08 revised site plan rmc

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

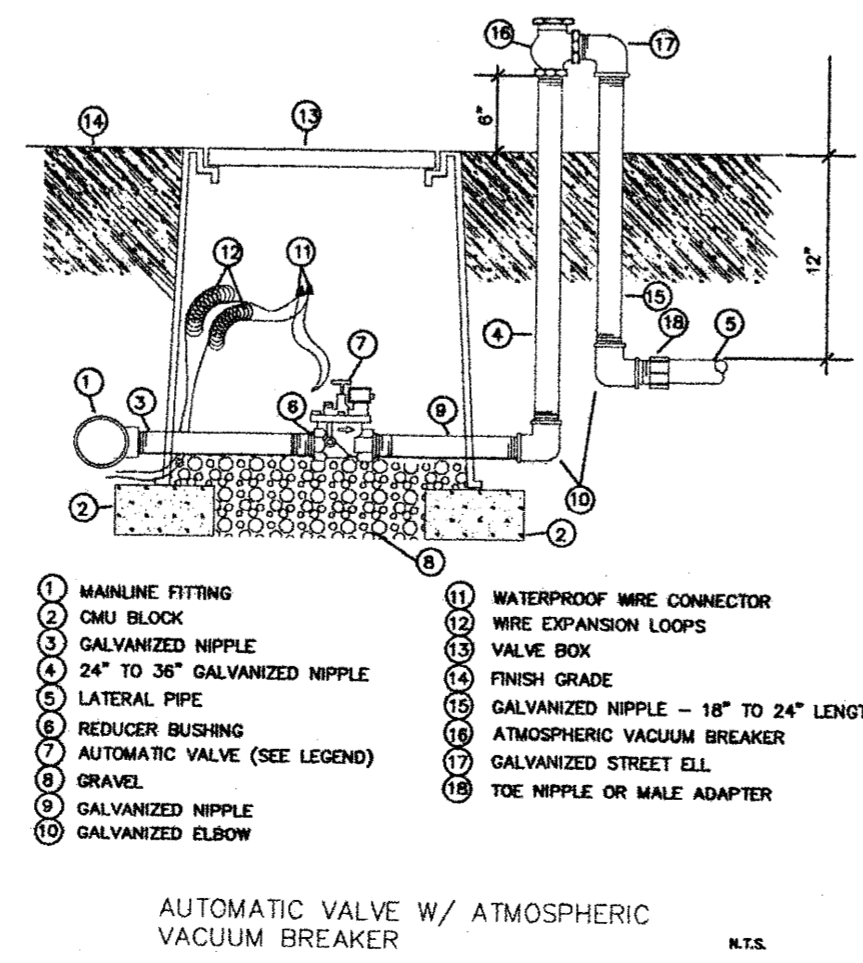
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



SHRUB PLANTING DETAIL

**GENERAL NOTES:**  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
**CONSTRUCTION NOTES:**  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.

**PLANT LEGEND**

- New
- All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.
- AUTUMN PURPLE ASH 6**  
Fraxinus americana  
2" Gal., 12"-14" Inst./60" x 60" maturity  
Water (M) Allergy (H) 0sf
  - DESERT ACCENTS**
    - \* MUGO PINE 1  
Pinus mugo  
5 Gal., 12"-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf
    - \* BLUE SCOTL 3  
Dasylirion wheeleri  
18"-3" Inst./3' x 5' maturity  
Water (L+) Allergy (L) 25sf
  - SHRUBS/ORNAMENTAL TREES**  
FIFTEEN GAL.
    - VITEX 1  
Vitex agnus-castus  
15 Gal., 4'-10" Inst./20' x 20' maturity  
Water (M) Allergy (L) 225sf
  - SHRUBS/ORNAMENTAL GRASSES**  
FIVE GAL.
    - \* INDIAN HAWTHORN 14  
Raphiolepis indica  
5 Gal., 18"-3" Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf
    - RUSSIAN SAGE 12  
Perovskia atriplicifolia  
5 Gal., 18"-3" Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf
    - BLUE MIST SPIREA 4  
Caryopteris clandonensis  
5 Gal., 12"-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf
    - \* POWERS CASTLE SAGE 4  
Artemisia x Foulis Castle  
1 Gal., 6"-15" Inst./2' x 5' maturity  
Water (L+) Allergy (L) 25sf
    - WHIRLING BUTTERFLIES 25  
Gaura lindheimeri  
1 Gal., 3"-15" Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf
    - WILDFLOWER 26  
1 Gal., 3"-15" Inst./varies at maturity  
Water (varies) Allergy (varies) 4sf
  - GROUNDCOVERS**
    - \* HONEYSUCKLE 14  
Lonicera Japonica 'Halliana'  
1 Gal., 6"-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstacked-Groundcover
  - HARDSCAPES**
    - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
    - EXISTING LANDSCAPING
    - OVERSIZED GRAVEL & 6 BOULDERS
  - \* DENOTES EVERGREEN PLANT MATERIAL

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA	26400	square feet
TOTAL BUILDINGS AREA	2433	square feet
NET SITE AREA	23967	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	3595	square feet
TOTAL BED PROVIDED	6281	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	4711	square feet
EXISTING	4211	square feet
NEW	2070	square feet
TOTAL GROUNDCOVER PROVIDED	5021 (80%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	6281 (26%)	square feet

**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Claremont  
Required # 6 Provided # 6

Name of Street: Carlisle  
Required # 5 Provided # 5

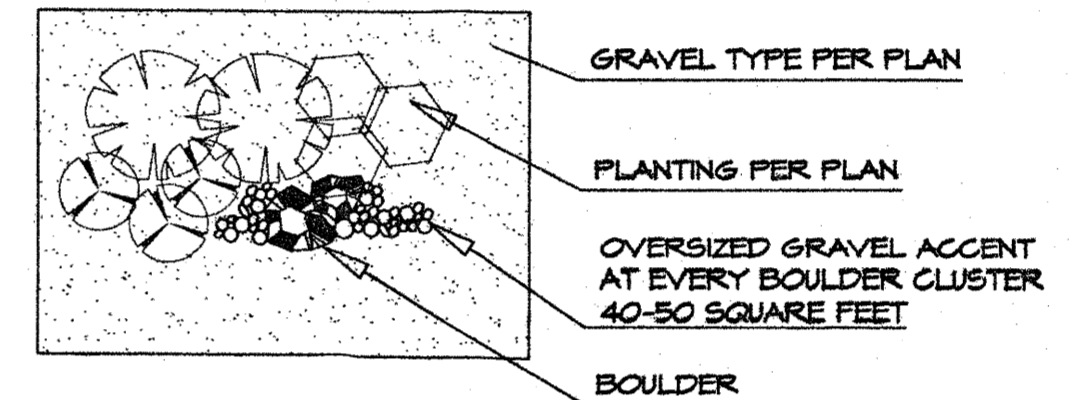
**PARKING LOT TREE REQUIREMENTS**

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 3 Provided # 3

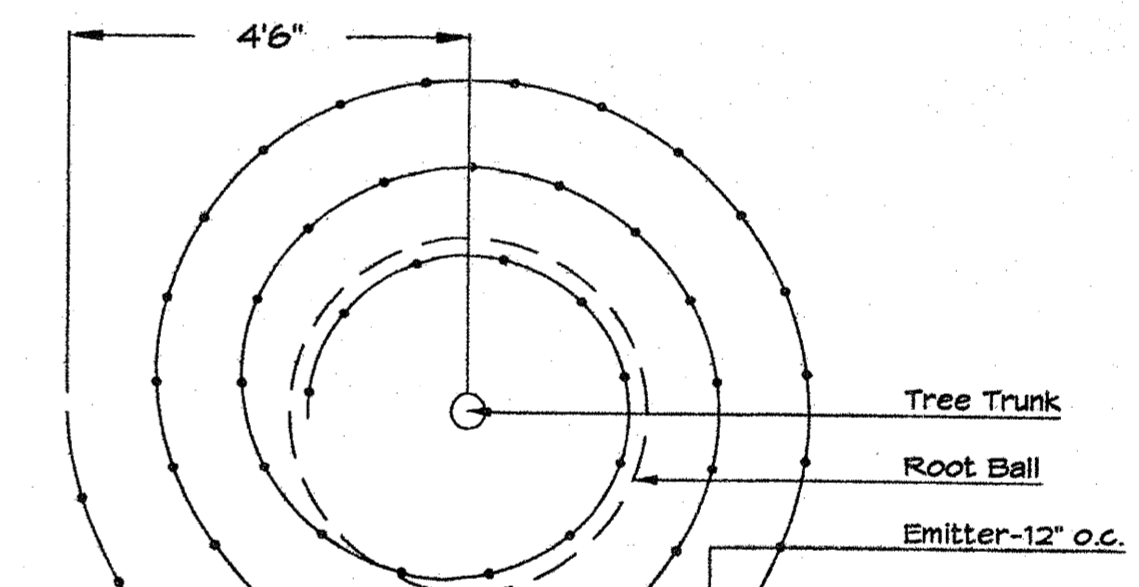
**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**GRAVEL ACCENT DETAIL**

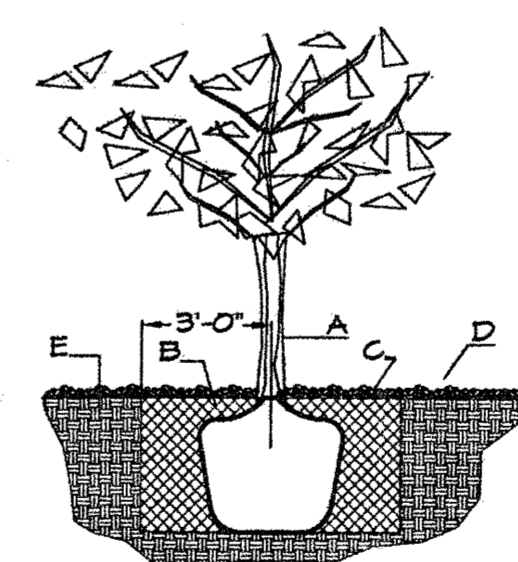


**PLANT LEGEND**

- Existing
- TREE 10  
2" Cal. or greater
  - SHRUB 24  
average 25 sf



Netafim Spiral Detail

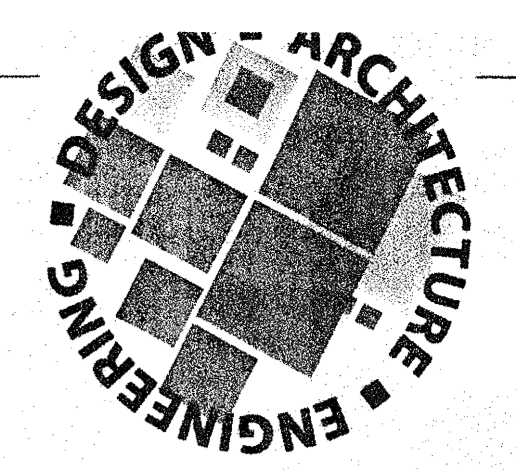
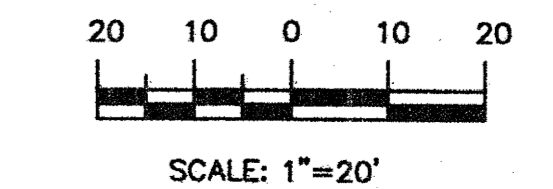


TREE PLANTING DETAIL

**GENERAL NOTES:**  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

**GRAPHIC SCALE**



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SAN DIEGO, CA 92123  
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**LANDSCAPE**

MK TYPE: 9

JIB #: XXXX

ADDRESS:

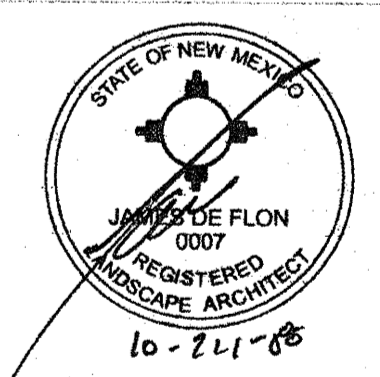
XXXX CARLISLE NE

ALBUQUERQUE, NM 87XXX

DRAWN BY: RMC

SCALE: 1"=20'

JACK IN THE BOX #1261  
ALBUQUERQUE, NEW MEXICO



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

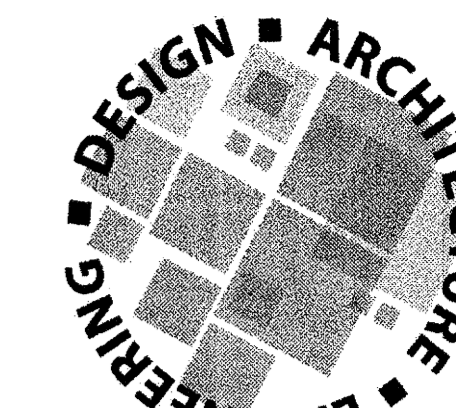
**LANDSCAPE PLAN FOR BUILDING PERMIT**

DATE: MAY 29, 2008

**Bohannon & Huston**

Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87109-4885  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



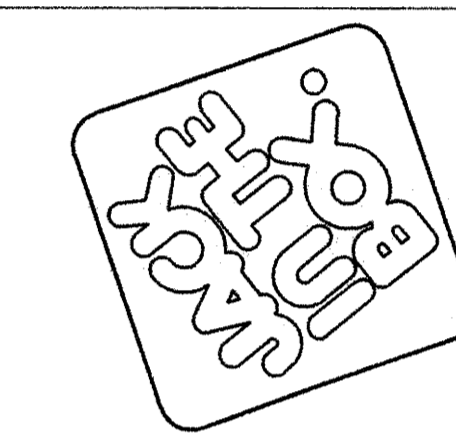


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SAN DIEGO, CA 92123  
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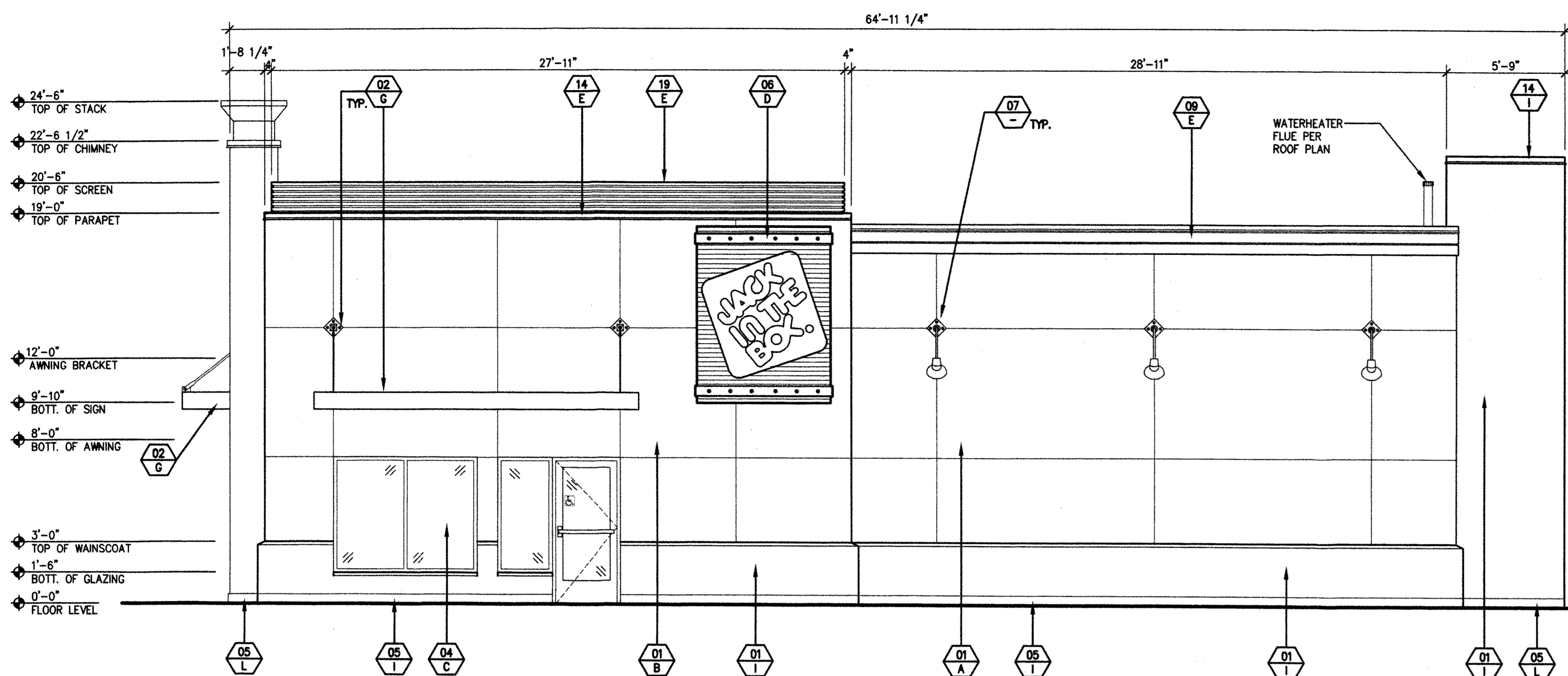
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site information

MK TYPE: MK9ALG  
JOB #: 1261  
ADDRESS:  
STREET:  
CITY, STATE, ZIP:  
DRAWN BY: LJCA  
SCALE: 1/4"=1'-0"



JACK IN THE BOX CONCEPT  
#1264 CARLISLE  
ALBUQUERQUE, NEW MEXICO



NORTH ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

01 MATERIAL/FINISH  
A COLOR

MATERIAL/FINISH:

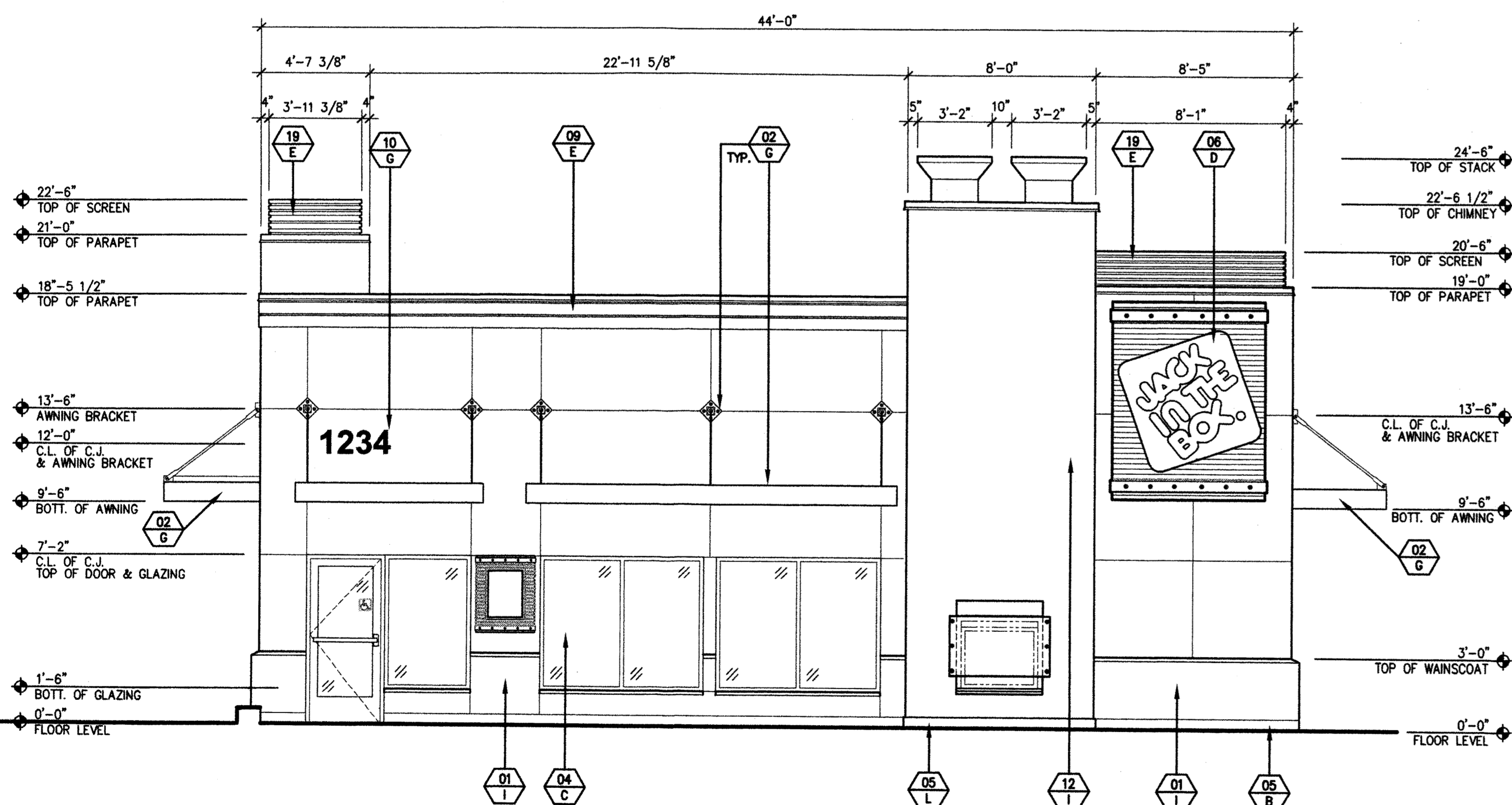
- 01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH
- 02 METAL AWNING & SUPPORT (O.F.C.I.)
- 03 24" x 36" S.S. FLASHING AT GREASE RECOVERY TAP IN
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
  - 1" CLEAR INSULATED GLASS
  - 1/4" CLEAR GLASS
  - 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
  - ANTI-GRAFFITI FILM
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I.)
- 07 WALL MOUNTED LIGHTING FIXTURE, SEE DETAIL 16/A9.3 FOR ATTACHMENT.
- 08 NOT USED
- 09 PREFORMED GALVANIZED METAL FASCIA
- 10 BUILDING ADDRESS LETTERS
- 11 NOT USED
- 12 NOT USED
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 GALVANIZED METAL COPING
- 15 CO2 FILL BOX METAL COVER
- 16 SERVICE DOOR BUZZER
- 17 NOT USED
- 18 NOT USED
- 19 PREFORMED GALVANIZED METAL SCREEN
- 20 GALVANIZED METAL TRIM
- 21 NOT USED
- 22 NOT USED
- 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
- 24 NOT USED

COLOR:

- A COLOR TO MATCH SHERWIN WILLIAMS: SW 7037 "BALANCED BEIGE"
- B SHERWIN WILLIAMS: SW 6328 "FIREWEED"
- C STANDARD STOREFRONT; #33 BLACK ANODIZED
- D WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SURROUND TRIM
- E DARK GRAY - GALV. FINISH
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVIAR".
- H MIL FINISH ALUMINUM
- I SHERWIN WILLIAMS: SW 7039 "VIRTUAL TAUPE"
- K SHERWIN WILLIAM EXTERIOR ACCENTS COLOR: SW 6990 "CAVIAR"
- L NATURAL CONCRETE, GRAY
- M STAINLESS STEEL

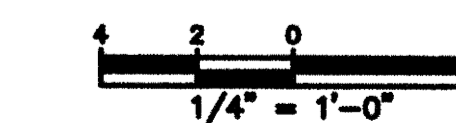
NOTES:

1. C.J. = PLASTER CONTROL JOINT PER 9/A9.2
2. ALL PLASTER ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.).
3. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.



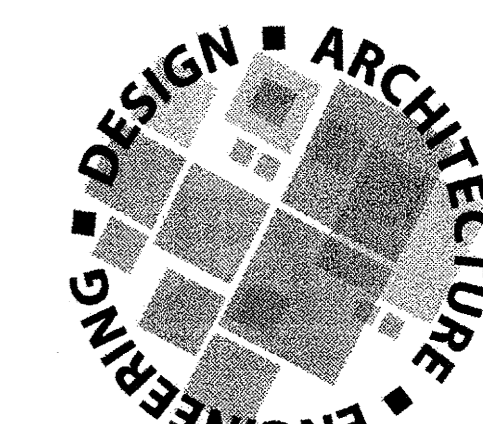
EAST ELEVATION

SCALE: 1/4"=1'-0"



PRELIMINARY. NOT FOR CONSTRUCTION. 10-22-08

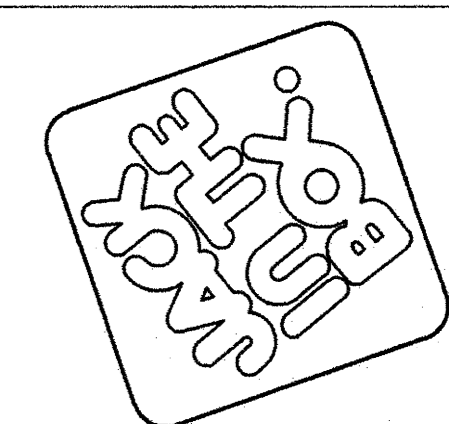




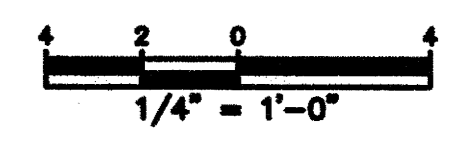
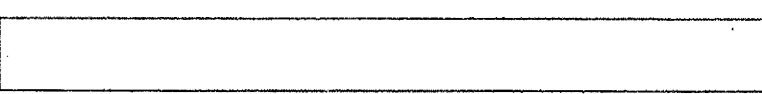
9330 BALBOA AVENUE  
SAN DIEGO, CA 92123  
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site information

MK TYPE: MK9ALG  
JIB #: 1261  
ADDRESS:  
STREET:  
CITY, STATE, ZIP:  
DRAWN BY: LJCA  
SCALE: 1/4"=1'-0"

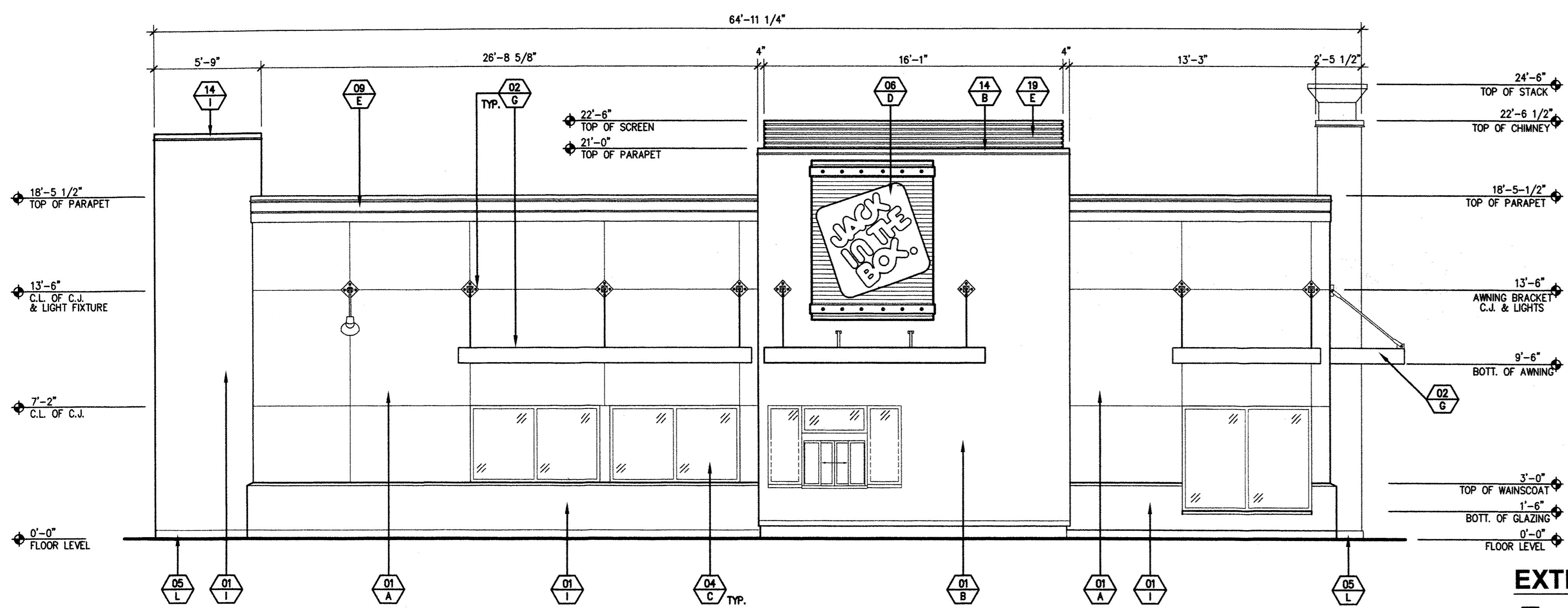


JACK IN THE BOX CONCEPT  
#1264 CARLISLE  
ALBUQUERQUE, NEW MEXICO



PRELIMINARY. NOT FOR CONSTRUCTION. 10-22-08

SHEET 4



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

01 MATERIAL/FINISH  
A COLOR

MATERIAL/FINISH:

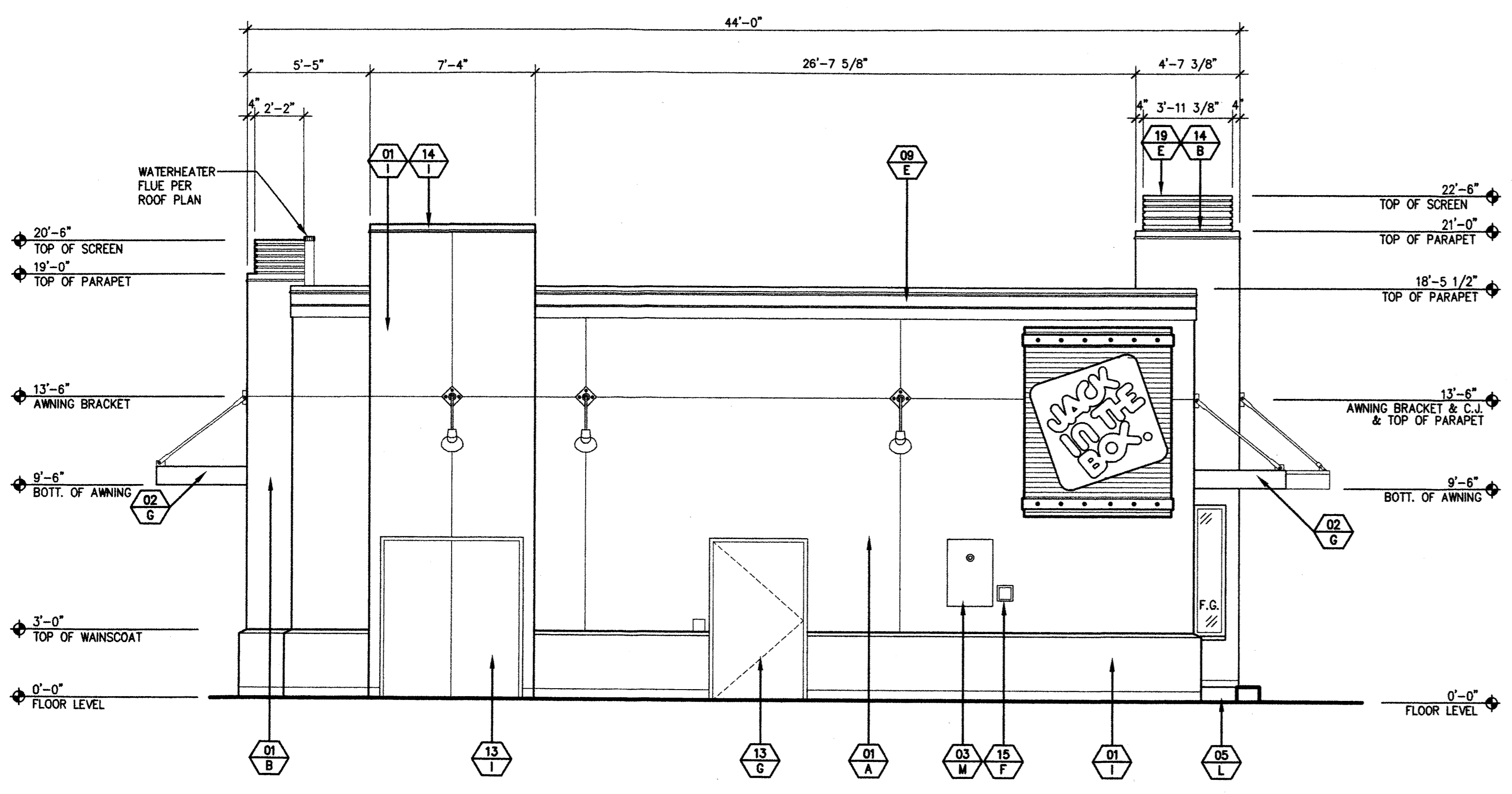
- 01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH
- 02 METAL AWNING & SUPPORT (O.F.C.I.)
- 03 24" x 36" S.S. FLASHING AT GREASE RECOVERY TAP IN
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
- 1" CLEAR INSULATED GLASS
- 1/4" CLEAR GLASS
- 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
- ANTI-GRAFFITI FILM
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I.)
- 07 WALL MOUNTED LIGHTING FIXTURE, SEE DETAIL 16/A9.3 FOR ATTACHMENT.
- 08 NOT USED
- 09 PREFORMED GALVANIZED METAL FASCIA
- 10 BUILDING ADDRESS LETTERS
- 11 NOT USED
- 12 NOT USED
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 GALVANIZED METAL COPING
- 15 CO2 FILL BOX METAL COVER
- 16 SERVICE DOOR BUZZER
- 17 NOT USED
- 18 NOT USED
- 19 PREFORMED GALVANIZED METAL SCREEN
- 20 GALVANIZED METAL TRIM
- 21 NOT USED
- 22 NOT USED
- 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
- 24 NOT USED

COLOR:

- A COLOR TO MATCH SHERWIN WILLIAMS: SW 7037 "BALANCED BEIGE"
- B SHERWIN WILLIAMS: SW 6328 "FIREWEED"
- C STANDARD STOREFRONT; #33 BLACK ANODIZED
- D WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SURROUND TRIM
- E DARK GRAY - GALV. FINISH
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVIAR".
- H MIL FINISH ALUMINUM
- I SHERWIN WILLIAMS: SW 7039 "VIRTUAL TAUPE"
- K SHERWIN WILLIAM EXTERIOR ACCENTS COLOR: SW 6990 "CAVIAR"
- L NATURAL CONCRETE, GRAY
- M STAINLESS STEEL

NOTES:

1. C.J. = PLASTER CONTROL JOINT PER 9/A9.2
2. ALL PLASTER ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.)
3. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.

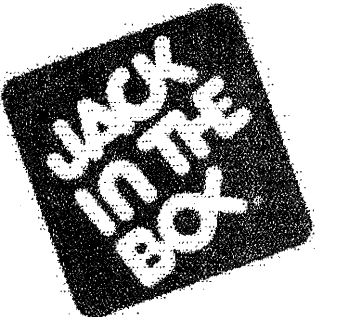


WEST ELEVATION

SCALE: 1/4"=1'-0"



CLIENT



PROJECT  
JACK IN THE BOX #1264

LOCATION  
CLAREMONT AVE. &  
CARLISLE BLVD.,  
ALBUQUERQUE, NM

SHEET TITLE  
SITE PLAN AND SIGN KEY

ACCT. REP.  
RACHEL MAUCK

DESIGNER  
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

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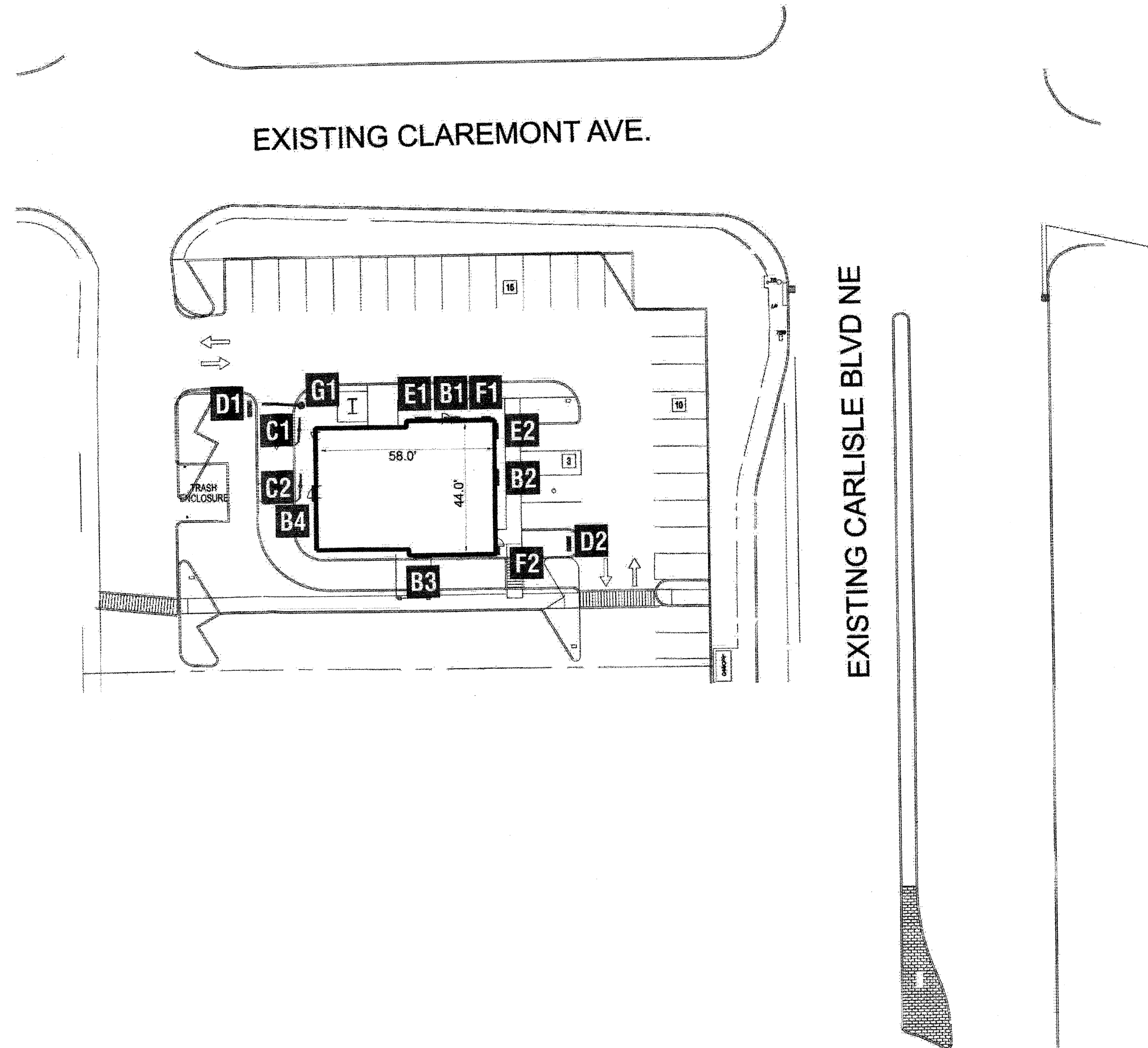
DWG#	08-330	PROJECT #	305689
REVISION NO.	0	W/C#	000000

REVISIONS			
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3			9
4			10
5			11
6			12

KEY NO.

**KEY**

- B1** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" TRIMLESS WALL SIGN ("JIB").
- B2** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" TRIMLESS WALL SIGN ("JIB").
- B3** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" TRIMLESS WALL SIGN ("JIB").
- B4** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" TRIMLESS WALL SIGN ("JIB").
- C1** INTERNALLY ILLUMINATED 4'-0" X 7'-0" PREVIEW BOARD @ 5'-8" OVERALL HEIGHT.
- C2** INTERNALLY ILLUMINATED 4'-0" X 7'-0" SPEAKER STATION @ 5'-8" OVERALL HEIGHT.
- D1** D/F INTERNALLY ILLUMINATED 1'-8" X 1'-8" DIRECTIONAL SIGN @ 3'-0" O.A. HT. ("DRIVE THRU").
- D2** D/F INTERNALLY ILLUMINATED 1'-8" X 1'-8" DIRECTIONAL SIGN @ 3'-0" O.A. HT. ("THANK YOU/DO NOT ENTER").
- E1** 4'-10 3/8" X 6'-1 1/2" MEDIUM POSTER MARQUEE.
- E2** 4'-10 3/8" X 6'-1 1/2" MEDIUM POSTER MARQUEE..
- F1** 2'-8" X 3'-3 1/2" HOURS PANEL MARQUEE. 'HOURS OF OPERATION'
- F2** 2'-8" X 3'-3 1/2" HOURS PANEL MARQUEE. 'HOURS OF OPERATION'
- G1** HEIGHT DETECTOR. (SIGN PERMIT NOT REQUIRED).



**SITE PLAN**  
SCALE: 1" = 25'-0"

PRODUCTION APPROVAL	
APPROVED BY:	DATE:



CLIENT



PROJECT  
JACK IN THE BOX #1264

LOCATION  
CLAREMONT AVE. &  
CARLISLE BLVD.,  
ALBUQUERQUE, NM

SHEET TITLE  
ELEVATIONS

ACCT. REP.  
RACHEL MAUCK  
DESIGNER  
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

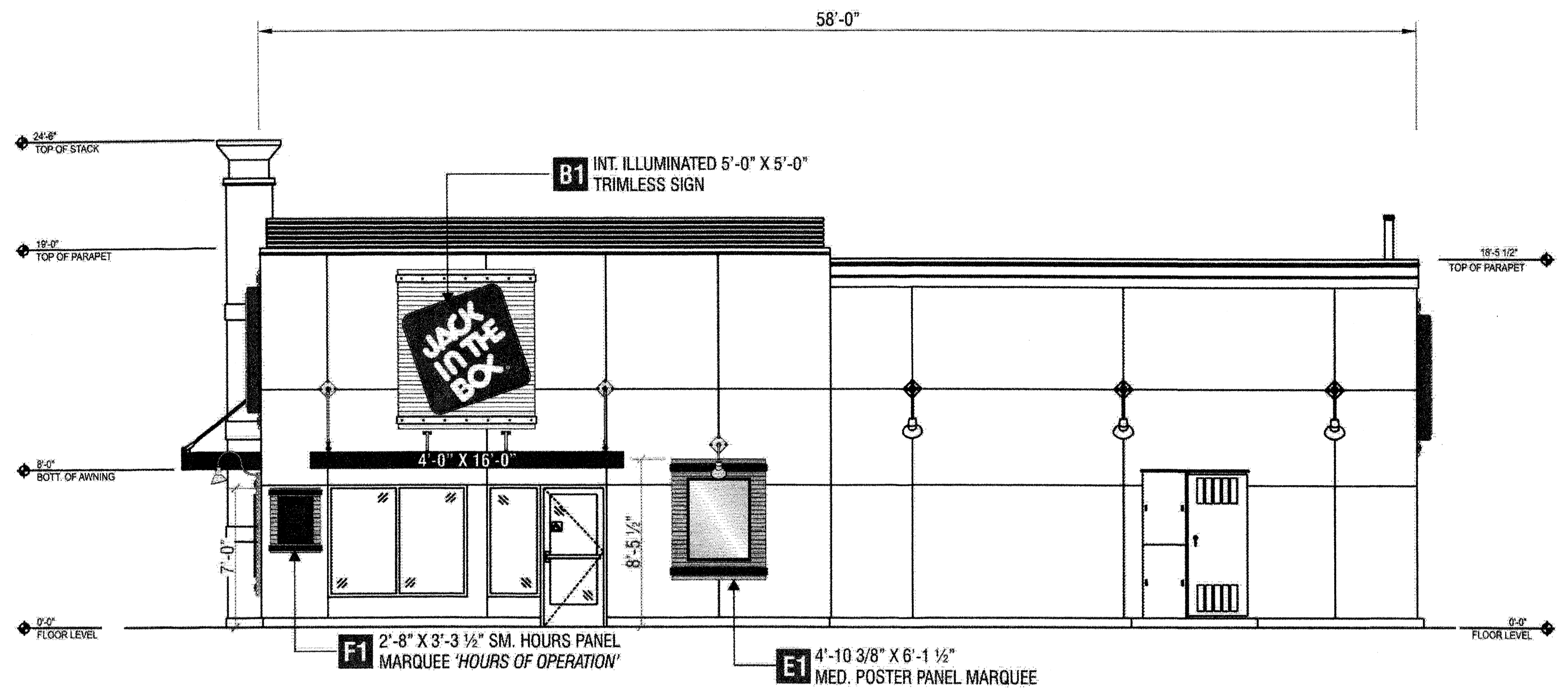
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DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WSP	000000

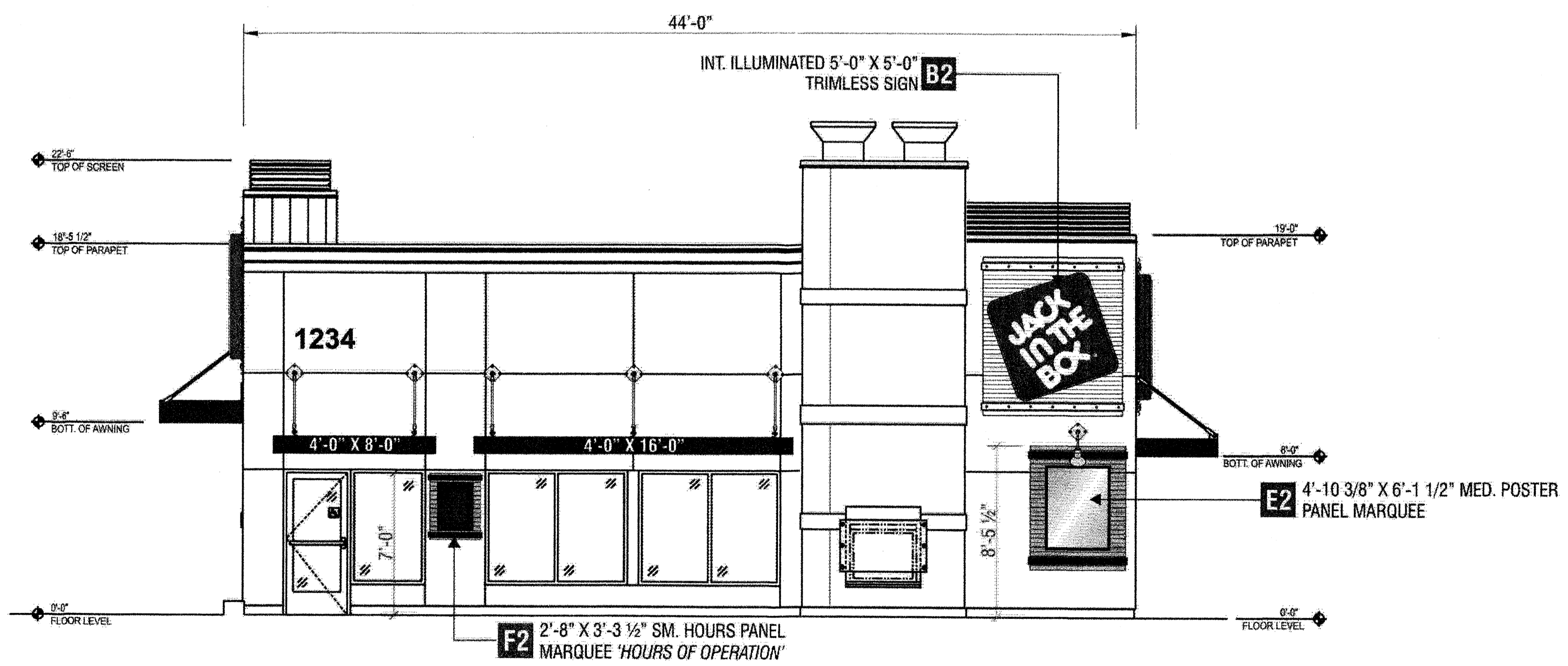
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KEY NO.  
**B1 B2 E1 E2 F1 F2**



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

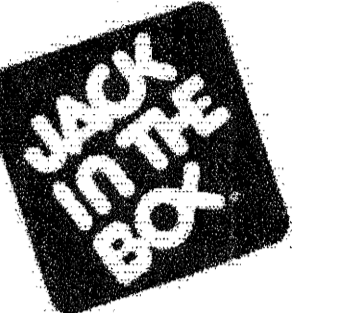


**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



CLIENT



PROJECT  
JACK IN THE BOX #1264

LOCATION  
CLAREMONT AVE. &  
CARLISLE BLVD.,  
ALBUQUERQUE, NM

SHEET TITLE  
**ELEVATIONS**

ACCT. REP.  
RACHEL MAUCK  
DESIGNER  
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

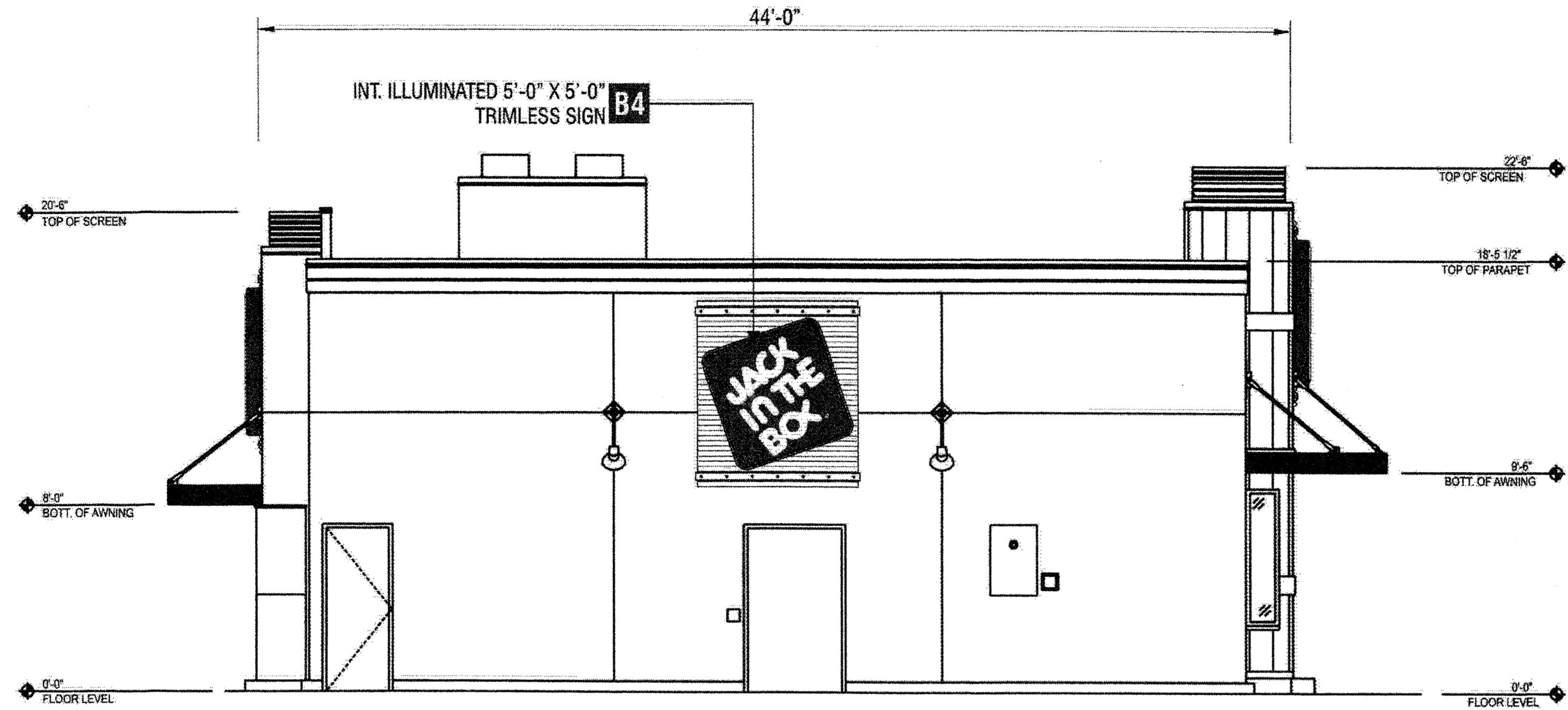
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REVISION NO.	0	WD#	000000

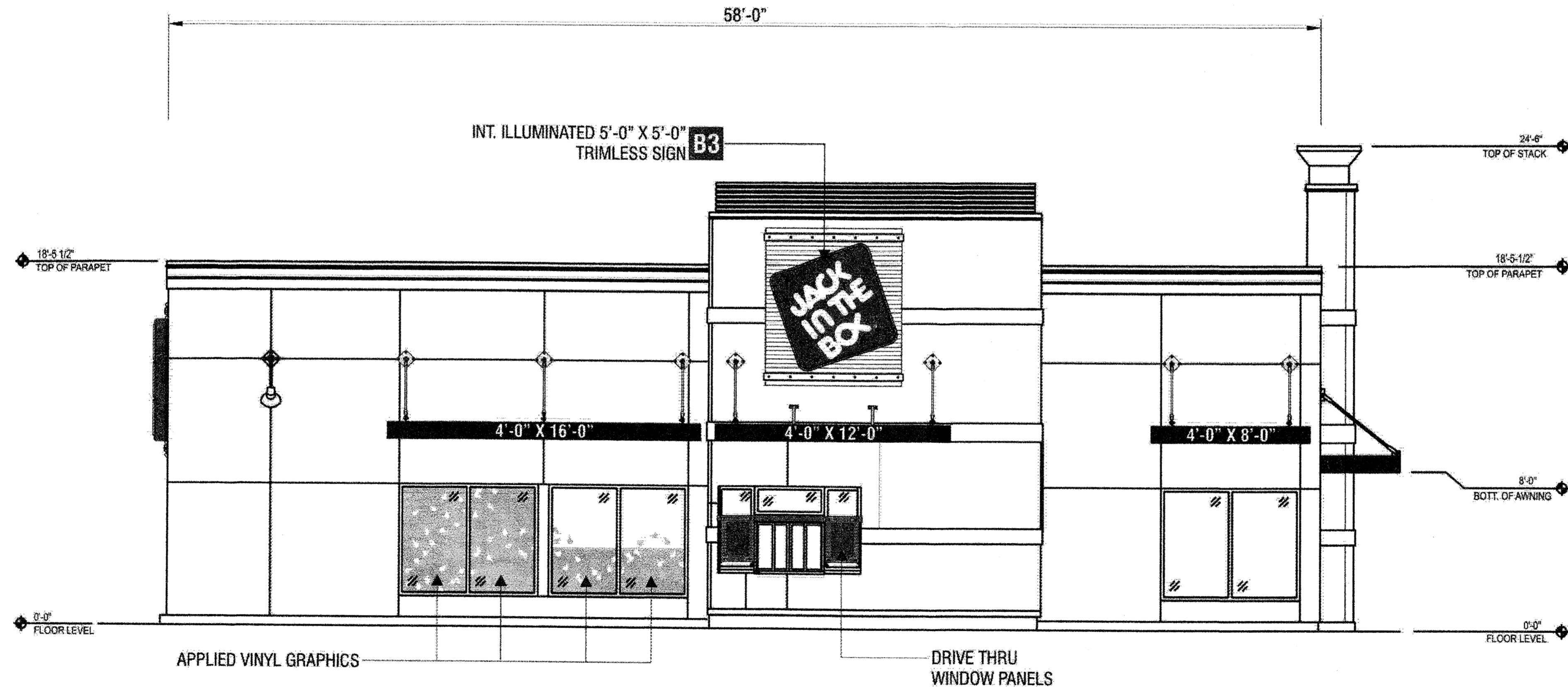
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KEY NO.  
**B3 B4**



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



CLIENT



PROJECT  
JACK IN THE BOX #1264

LOCATION  
CLAREMONT AVE. &  
CARLISLE BLVD.,  
ALBUQUERQUE, NM

SHEET TITLE  
**WALL SIGNS**

ACCT. REP  
RACHEL MAUCK  
DESIGNER  
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

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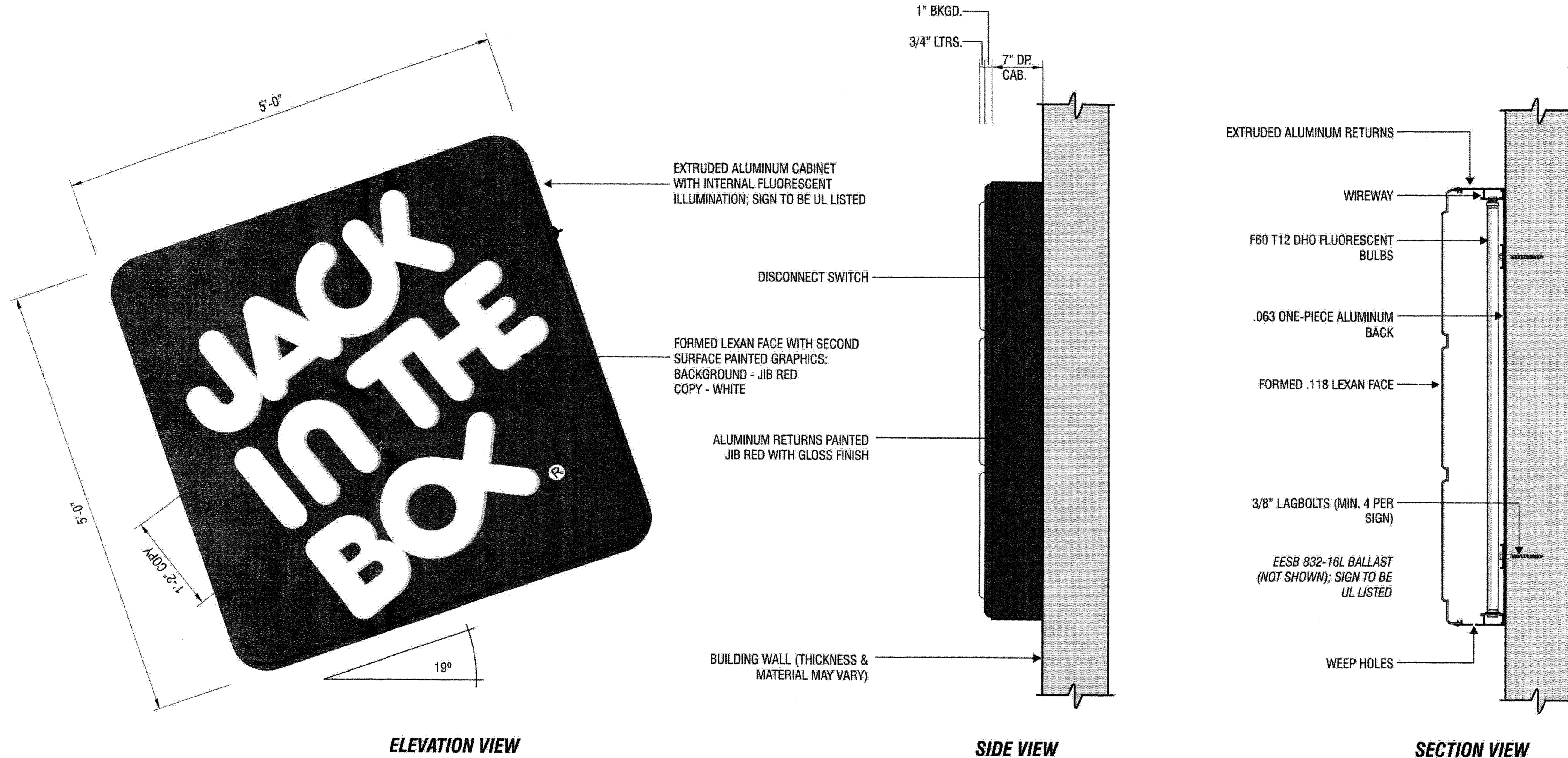
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DWG#	PROJECT #
08-330	305689
REVISION NO.	WD#
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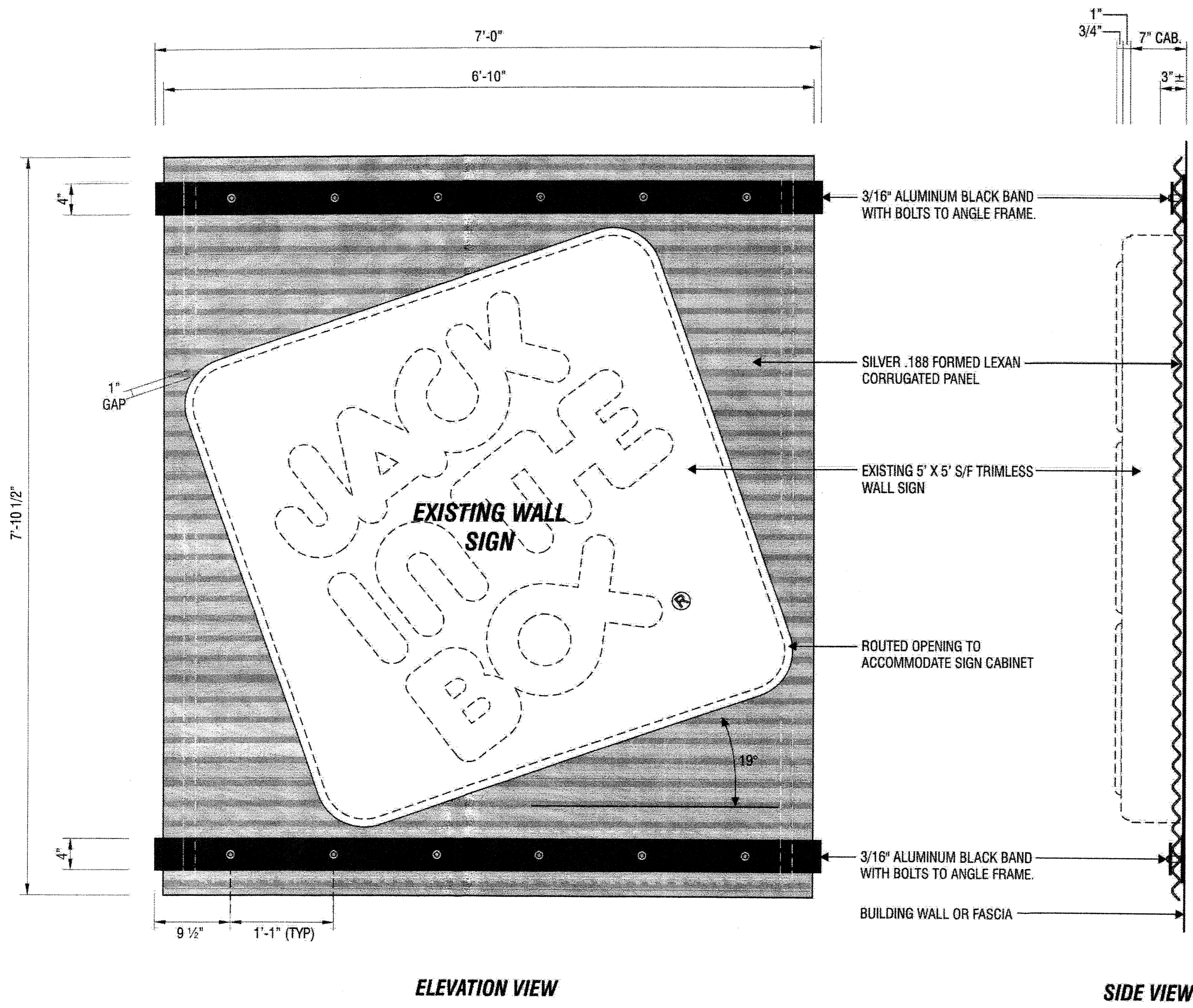
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**B1 B2 B3 B4**



**5' X 5' S/F TRIMLESS BUILDING SIGN**

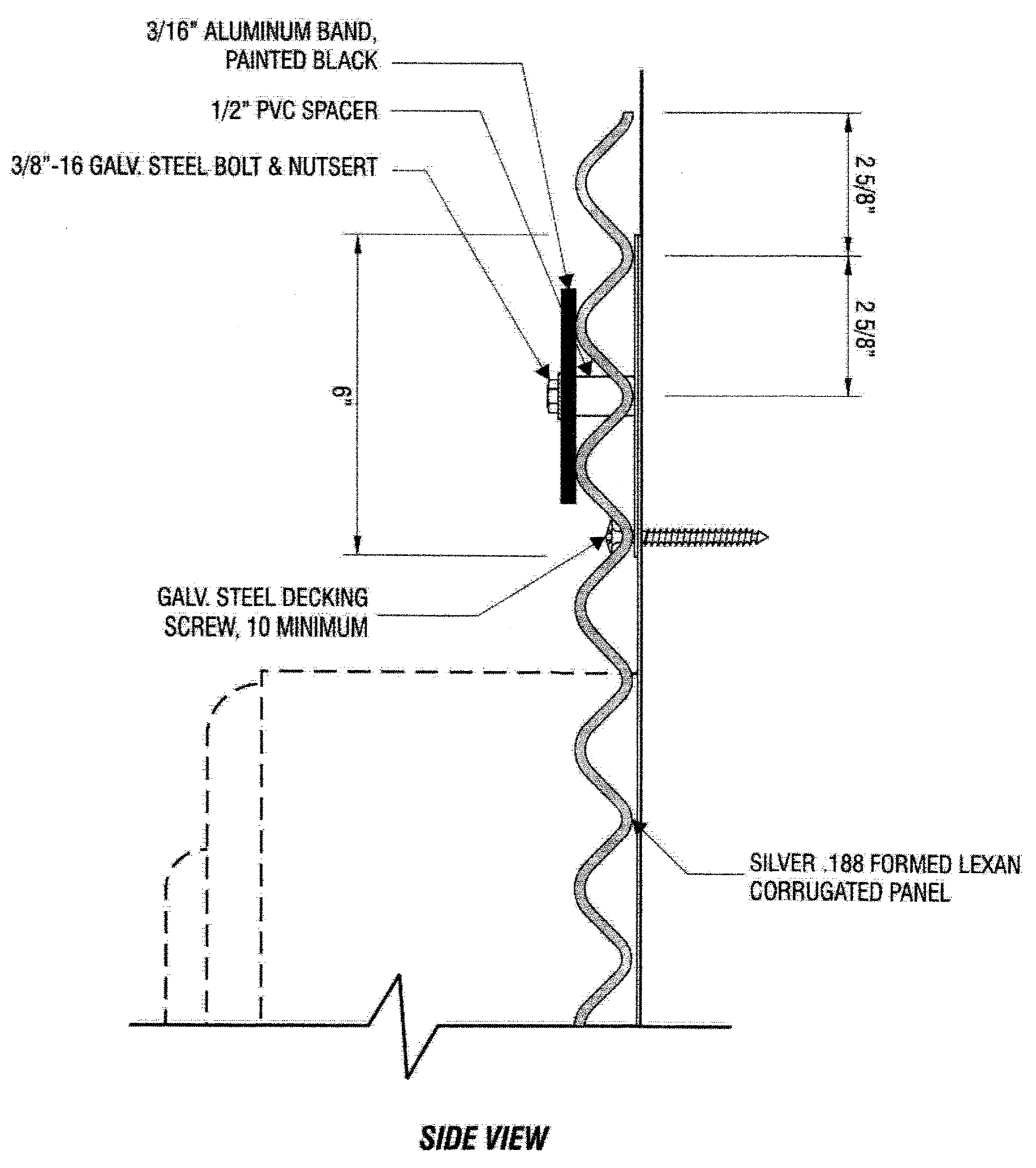
SCALE: 1 1/2" = 1'-0"





**ELEVATION VIEW**

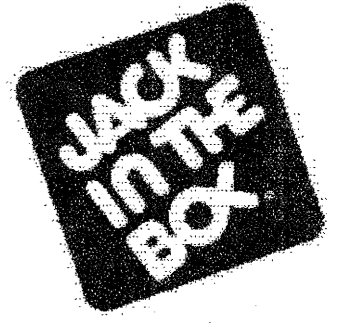
**SIDE VIEW**



**ATTACHMENT & FRAME/ BRACKET DETAIL**

SCALE: 6" = 1'-0"

CLIENT



PROJECT  
JACK IN THE BOX #1264

LOCATION  
CLAREMONT AVE. &  
CARLISLE BLVD.,  
ALBUQUERQUE, NM

SHEET TITLE  
**CORRUGATED PANELS**

ACCT. REP.  
RACHEL MAUCK  
DESIGNER  
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

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REVISION NO.	0	WOP#	000000

REVISIONS

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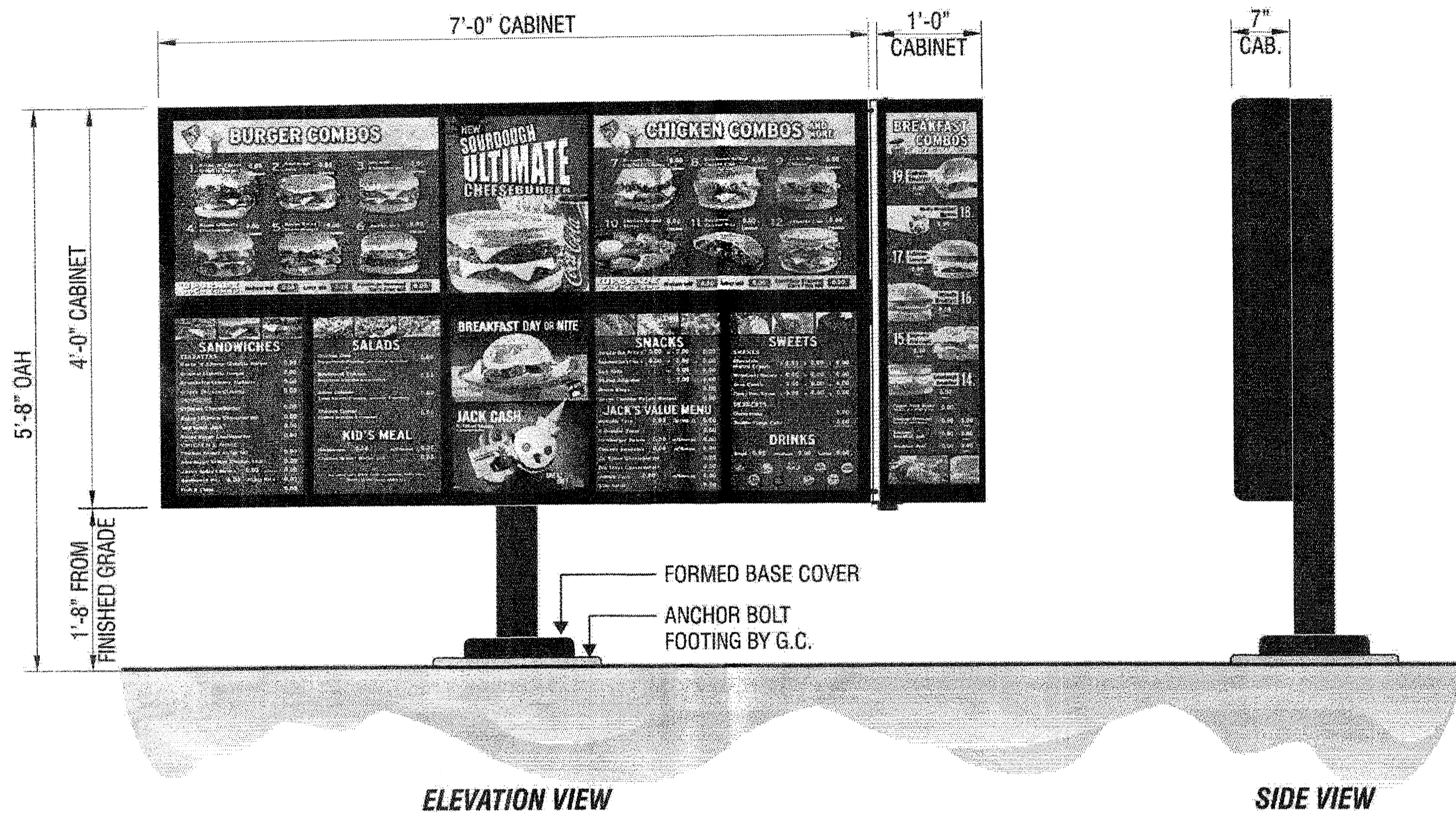
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**CORRUGATED SURROUND - 5' X 5' TRIMLESS WALL SIGN**

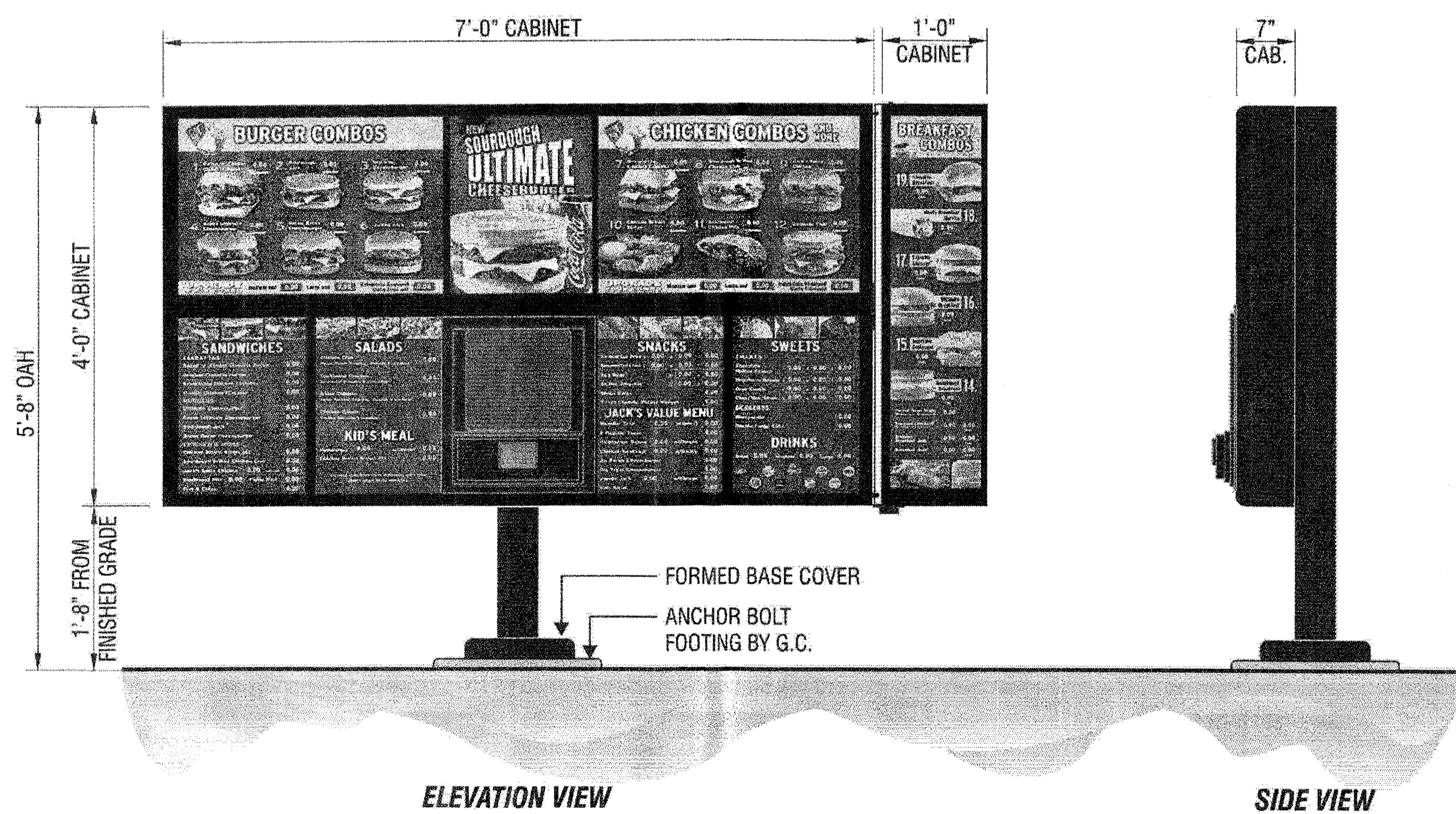
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PRODUCT ID - 71171015

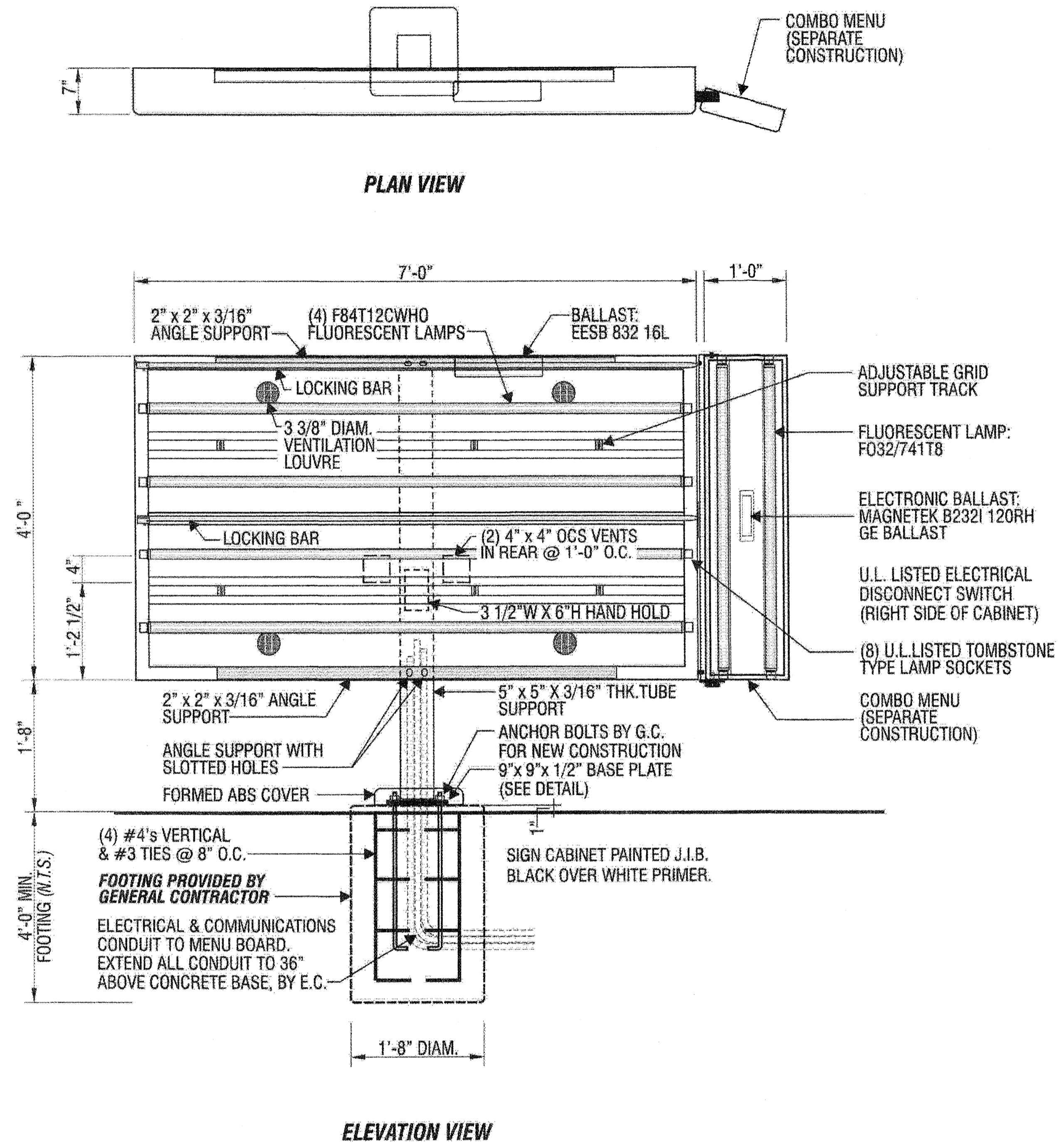




**S/F PREVIEW MENU**  
SCALE: 1" = 1'-0"



**S/F SPEAKER STATION**  
SCALE: 1" = 1'-0"



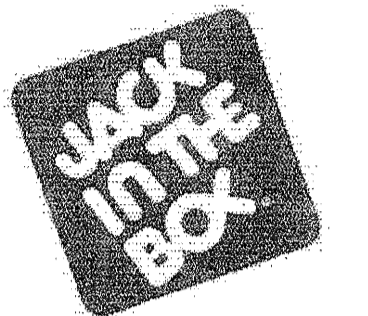
**TYPICAL CONSTRUCTION & FOOTING DETAIL**  
SCALE: 1" = 1'-0"

**GENERAL SPECIFICATIONS**

EXTRUDED ALUMINUM CABINET WITH FLUORESCENT ILLUMINATION. CABINET PAINTED JIB BLACK WITH SATIN FINISH; FACES TO BE U.V. POLYCARBONATE OVER JIB MENU GRIDS.

SQUARE TUBE STEEL SUPPORT POLE PAINTED JIB BLACK WITH SATIN FINISH.

CLIENT



PROJECT  
JACK IN THE BOX #1264

LOCATION  
CLAREMONT AVE. &  
CARLISLE BLVD.,  
ALBUQUERQUE, NM

SHEET TITLE  
MENUS

ACCT. REP.  
RACHEL MAUCK  
DESIGNER  
ANDY LIBERTO

DATE  
5/30/08  
SCALE  
NOTED

CUSTOMER APPROVAL

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REVISION NO.	0	WD#	000000

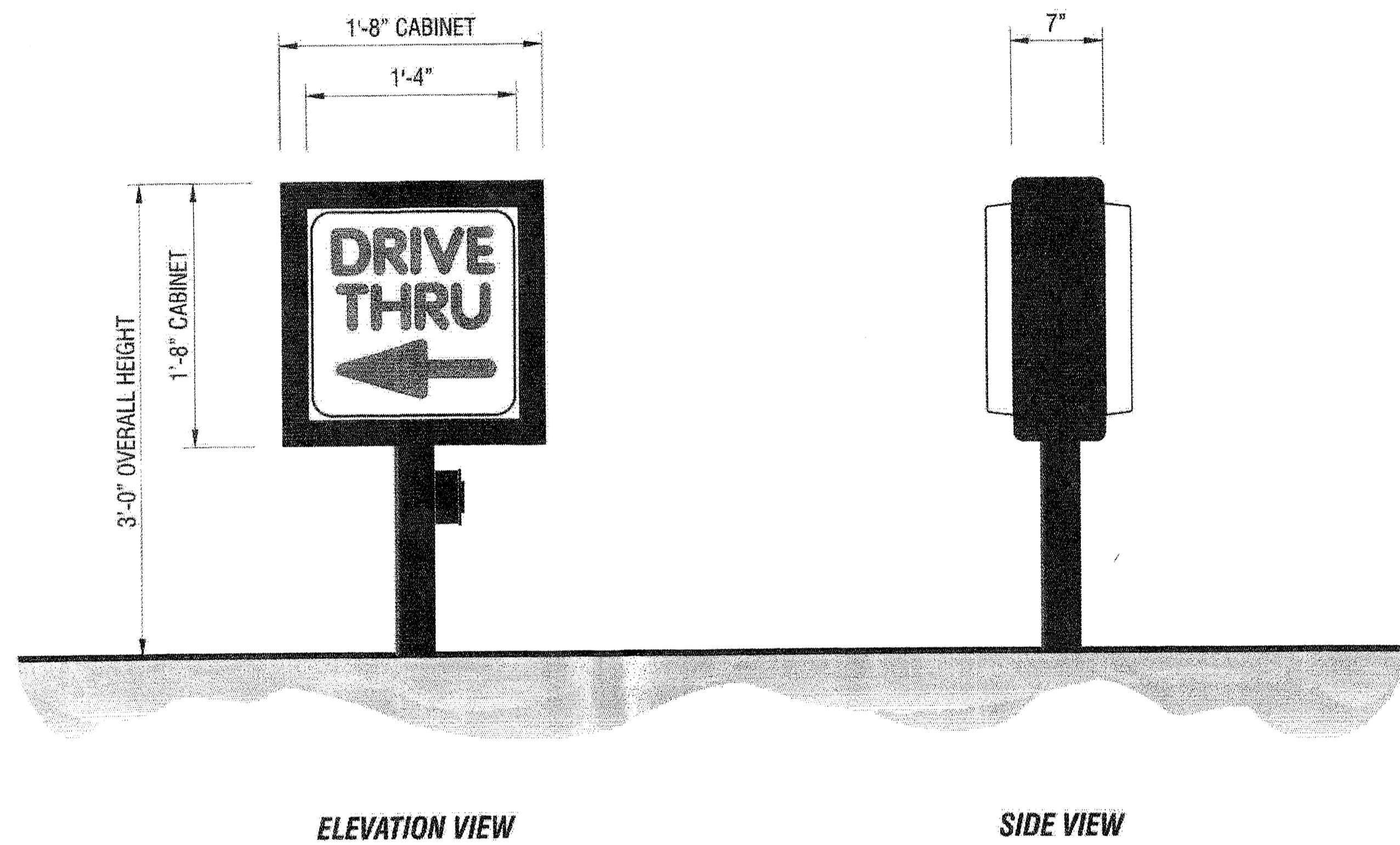
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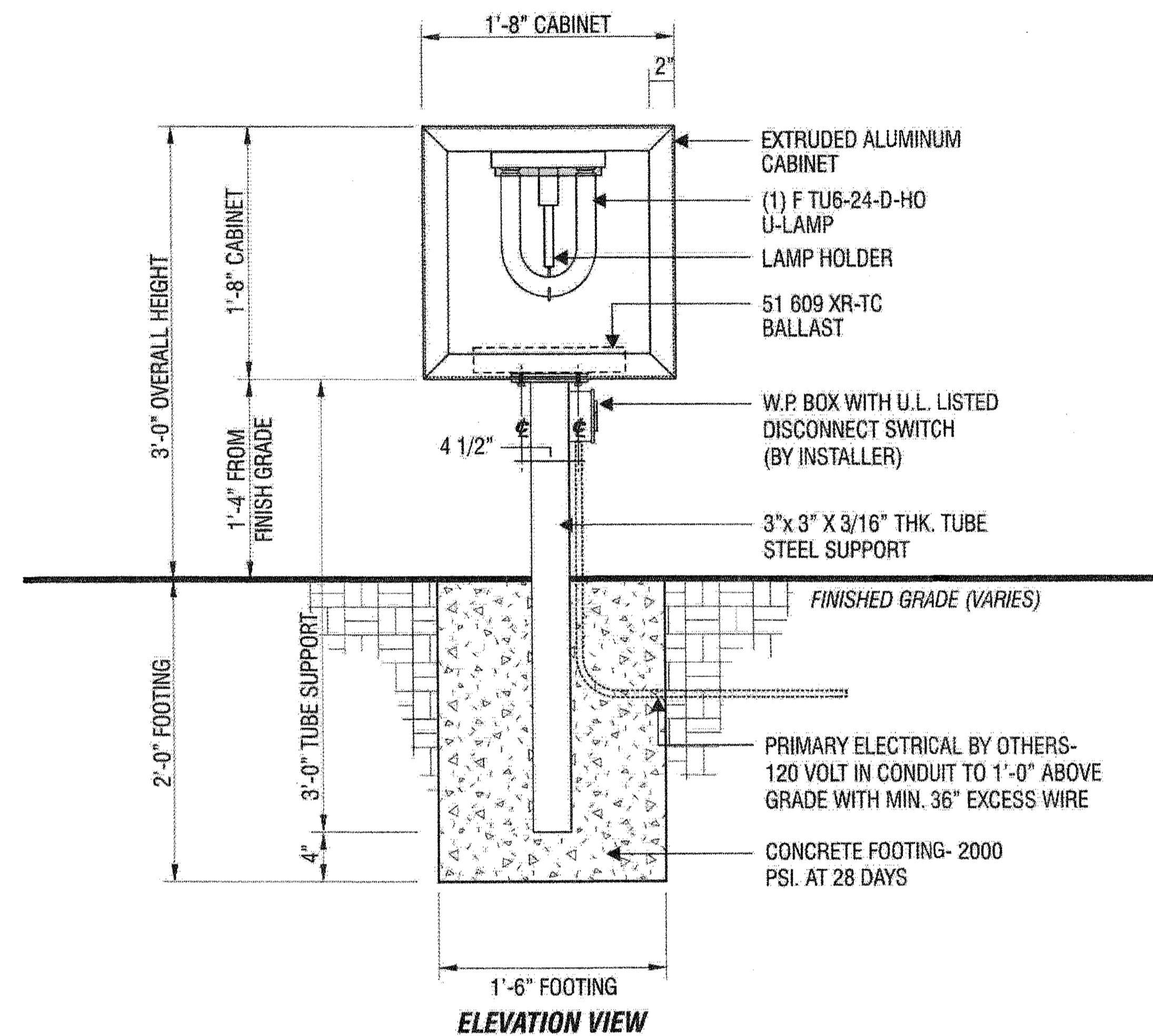
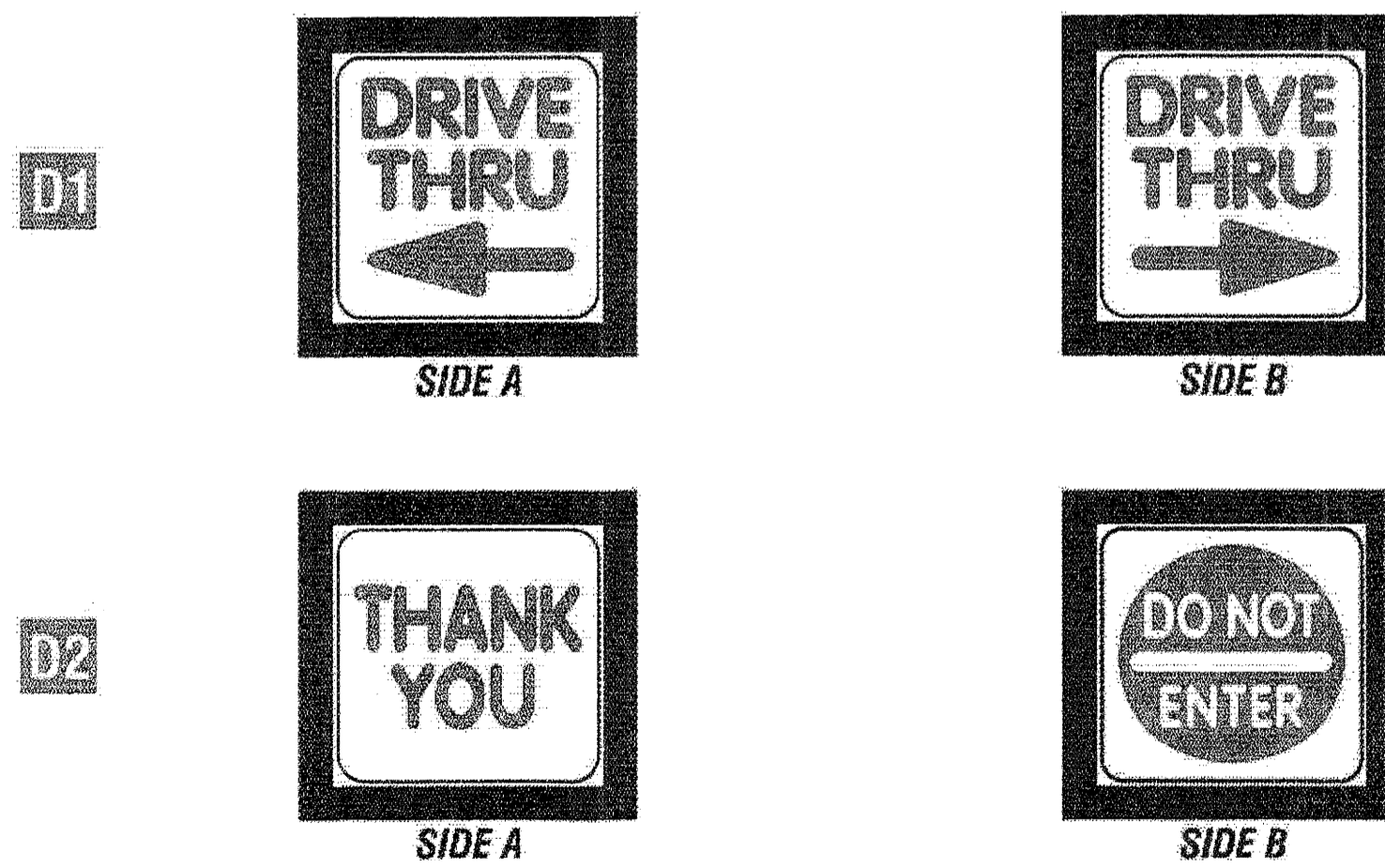






**D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN**

SCALE: 1 1/2" = 1'-0"



**D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN STRUCTURAL DETAIL**

SCALE: 1 1/2" = 1'-0"

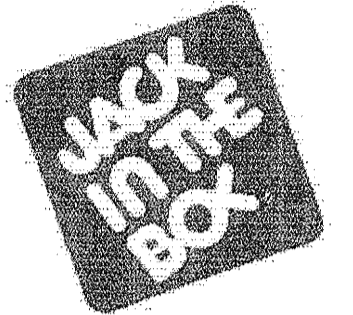
**MATERIALS:**  
 SIGN FACE: U.V. POLYCARBONATE WITH FORMED PAN AND APPLIED GRAPHICS  
 CABINET: EXTRUDED ALUMINUM  
 POLE: STRUCTURAL STEEL SQ. TUBE

**ILLUMINATION:**  
 FLUORESCENT

**COLORS:**  
 SIGN FACE (FIELD): WHITE  
 LETTERS: FIRST-SURFACE APPLIED JIB RED (3M VQ 9406)  
 SIGN CABINET: JIB BLACK  
 POLE: JIB BLACK

4530 Mission Gorge Place  
 San Diego, CA 92120  
 Tel: 619.283.2191  
 Fax: 619.283.9503  
 Web: www.cnpsigns.com

CLIENT



PROJECT

JACK IN THE BOX #1264

LOCATION

CLAREMONT AVE. & CARLISLE BLVD.,  
 ALBUQUERQUE, NM

SHEET TITLE

**DIRECTIONAL SIGNS**

ACCT. REP.

RACHEL MAUCK

DESIGNER

ANDY LIBERTO

DATE

5/30/08

SCALE

NOTED

CUSTOMER APPROVAL

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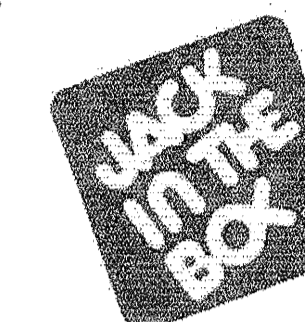
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KEY NO.

**D1 D2**



CLIENT



PROJECT  
 JACK IN THE BOX #1264

LOCATION  
 CLAREMONT AVE. &  
 CARLISLE BLVD.,  
 ALBUQUERQUE, NM

SHEET TITLE  
**MEDIUM MARQUEE**

ACCT. REP.  
 RACHEL MAUCK  
 DESIGNER  
 ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

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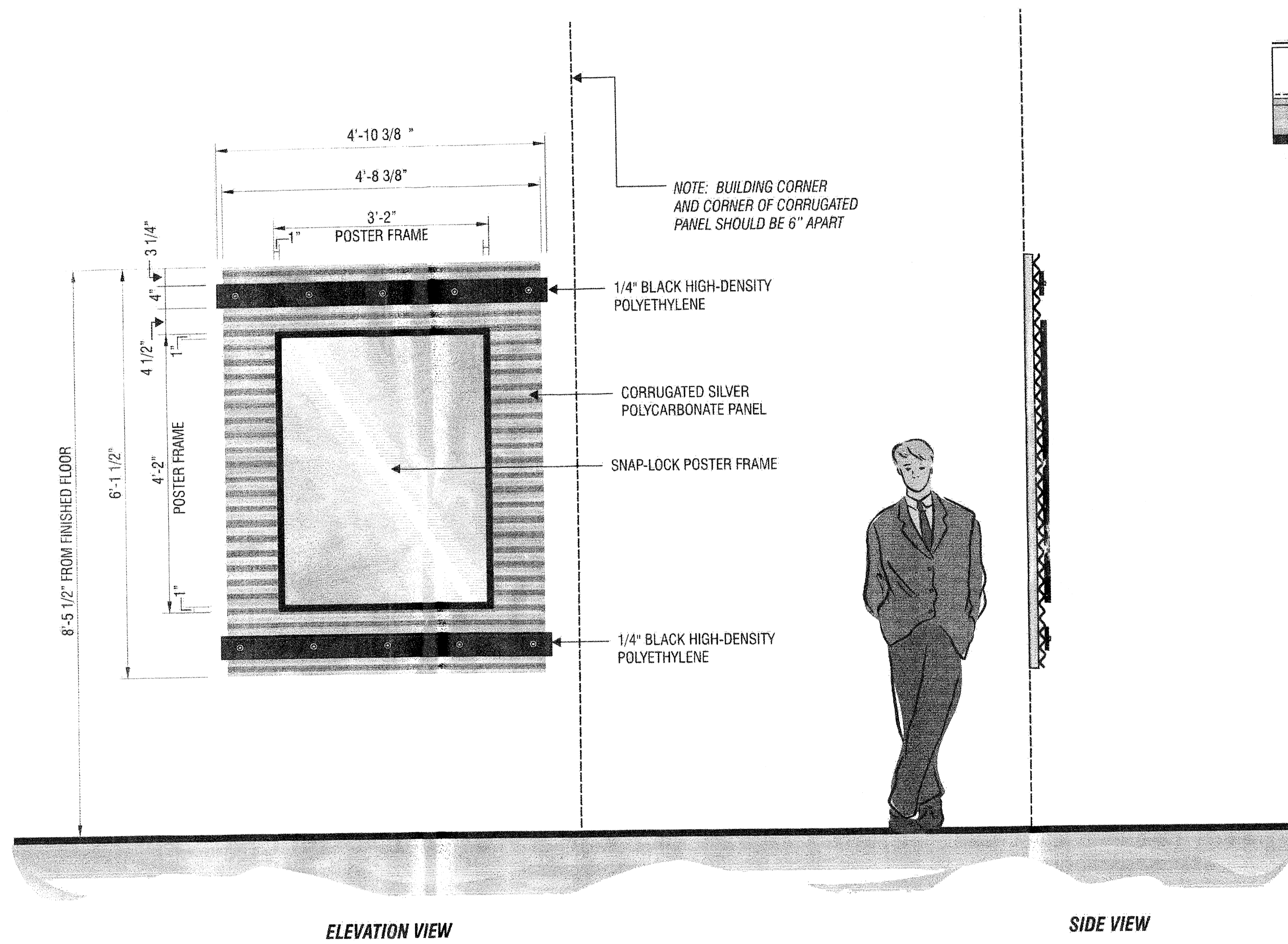
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DWG#	08-330	PROJECT #	305689
REVISION NO.	0	WOP#	000000

REVISIONS			
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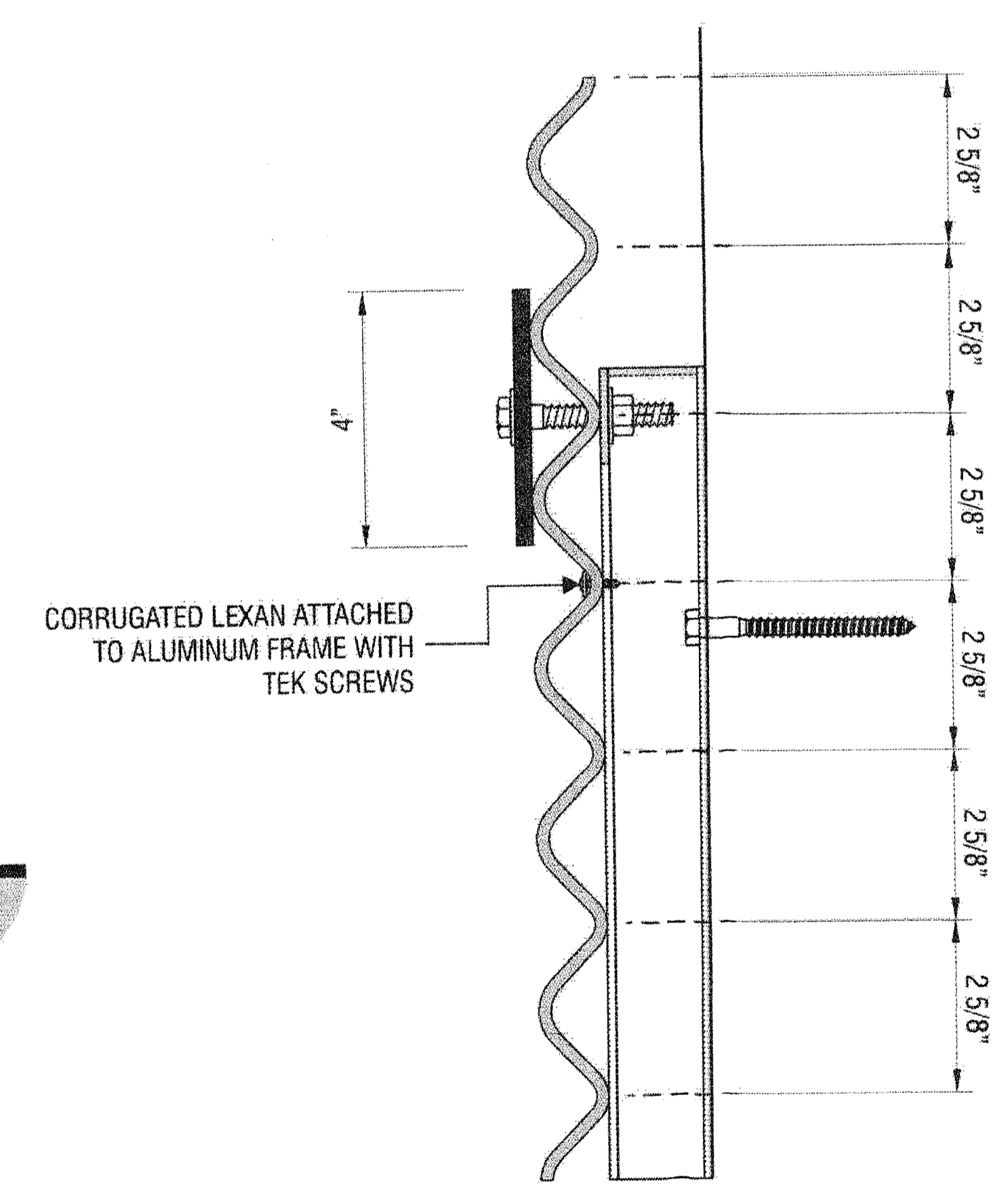
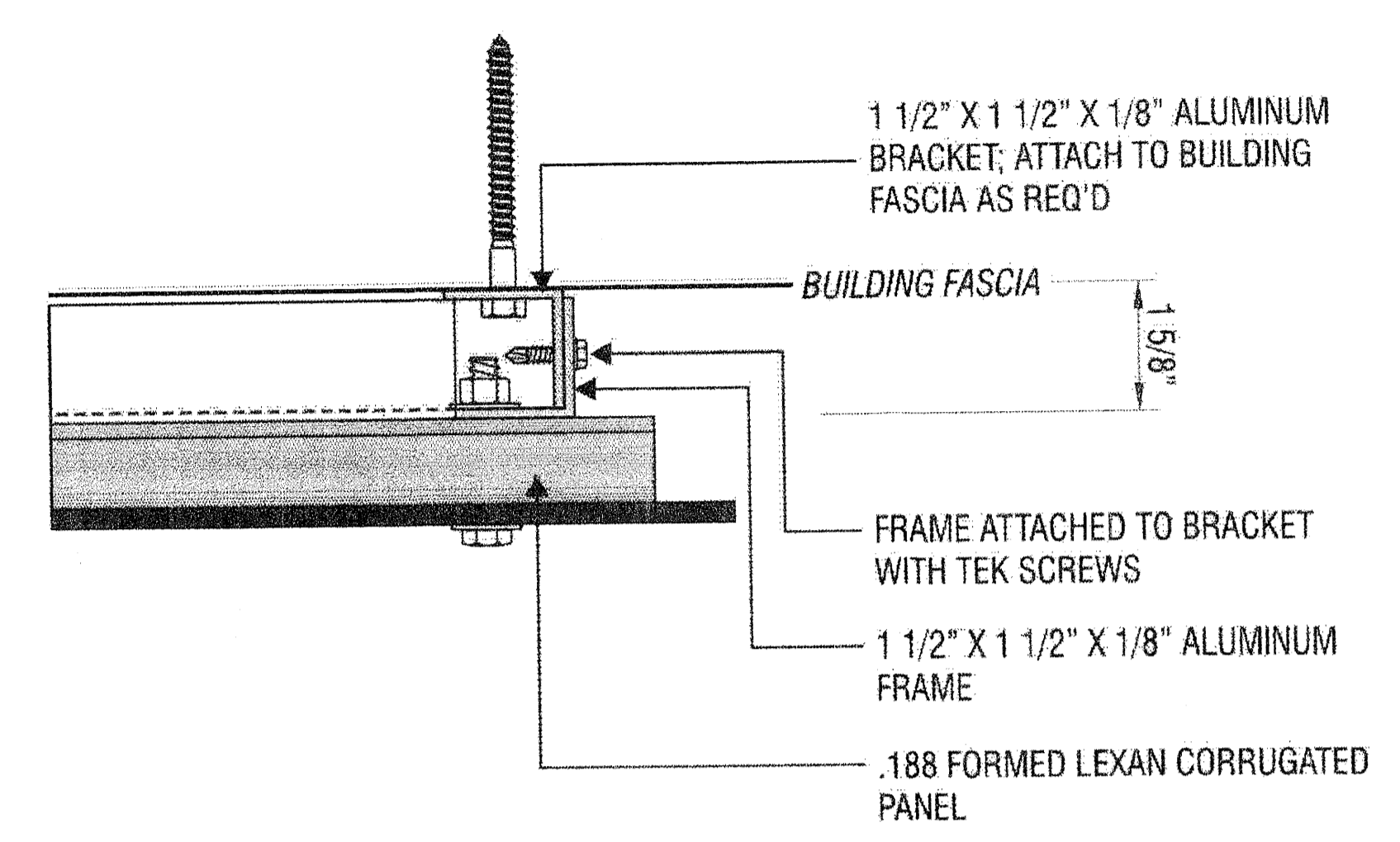
KEY NO.

**E1 E2**



### MEDIUM POSTER MARQUEE BUILDING PANEL

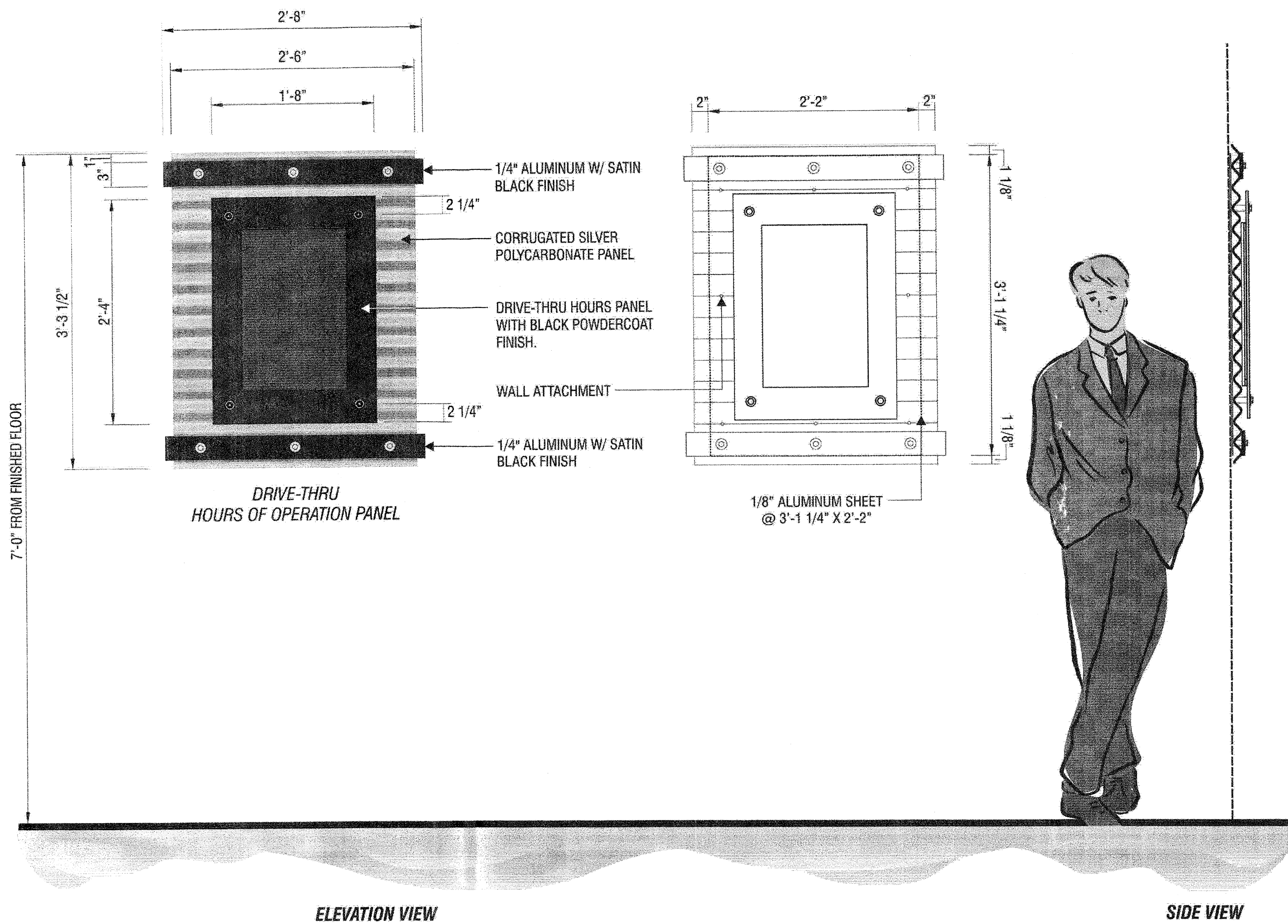
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### ATTACHMENT & FRAME/ BRACKET DETAIL

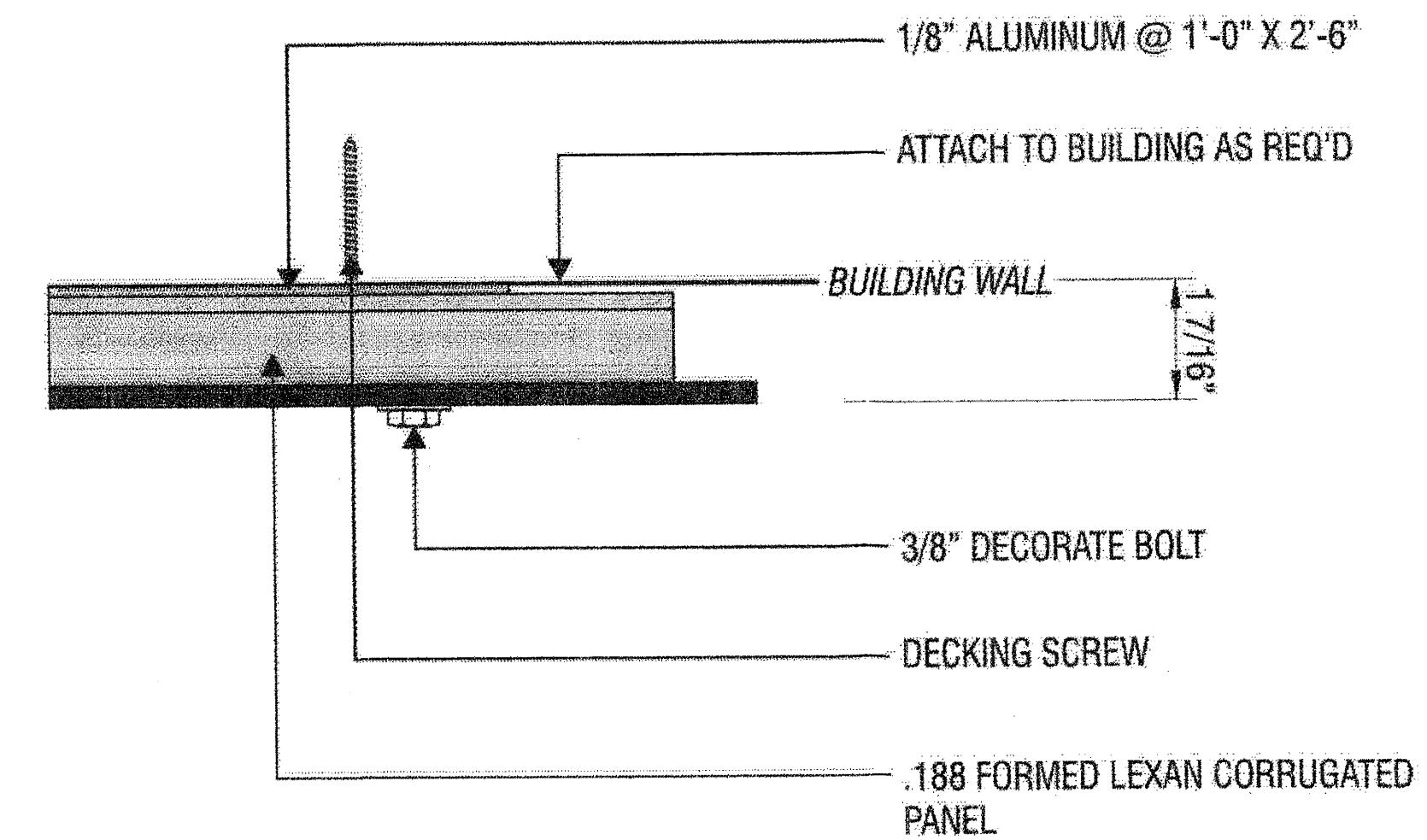
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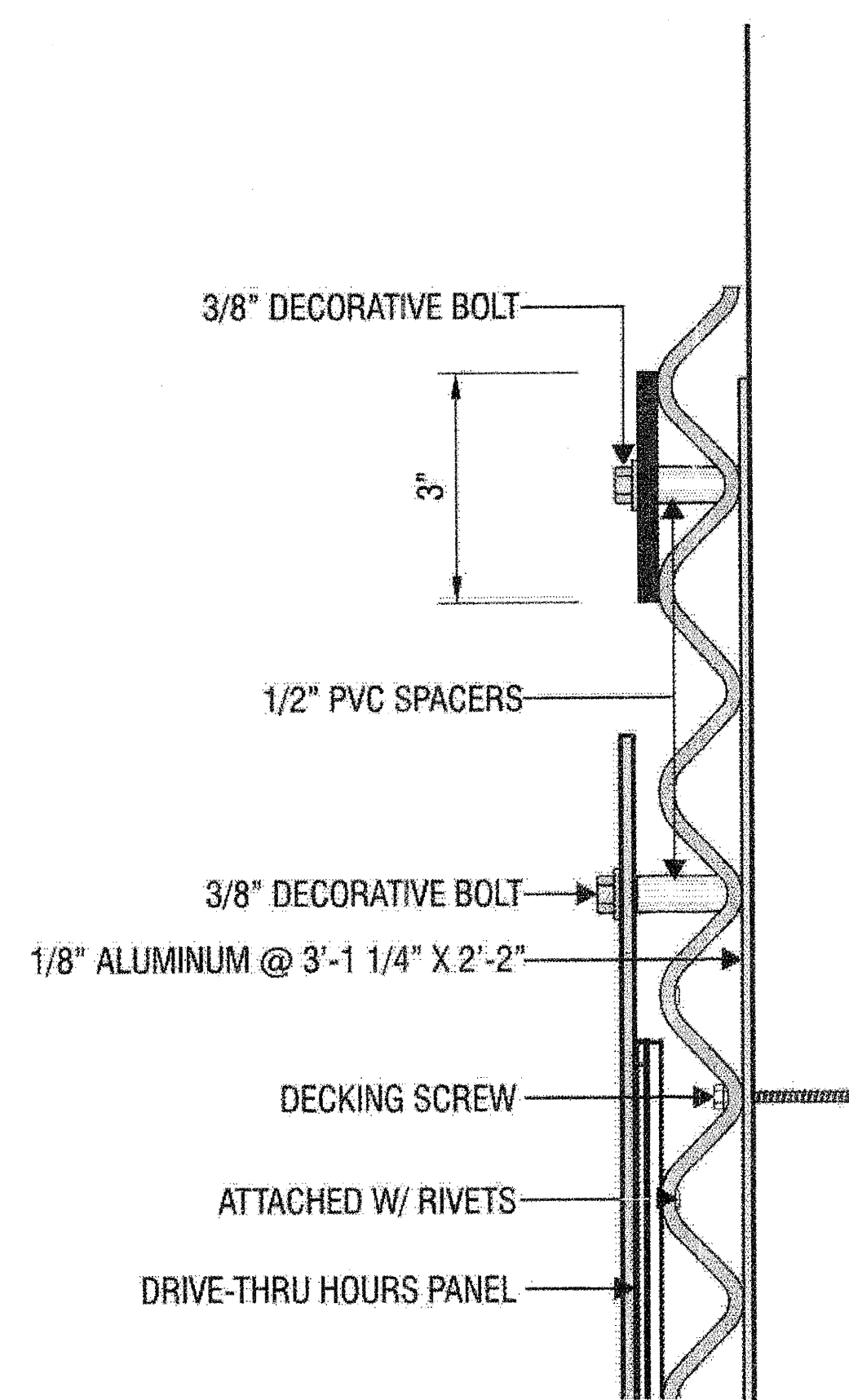


**EXTERIOR HOURS PANEL MARQUEE - SMALL**

SCALE: 1 1/2" = 1'-0"



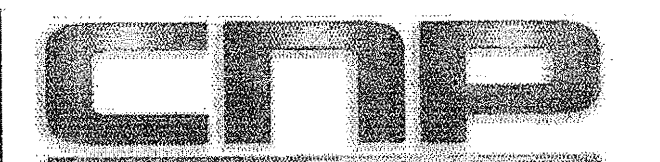
TOP VIEW



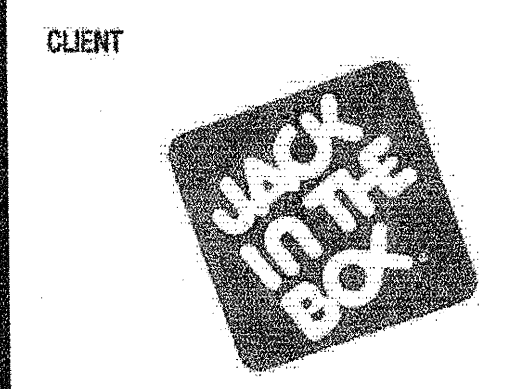
SIDE VIEW

**ATTACHMENT & FRAME/ BRACKET DETAIL**

SCALE: 6" = 1'-0"



4530 Mission Gorge Place  
San Diego, CA 92120  
Tel: 619.283.2191  
Fax: 619.283.9503  
Web: www.cnpsigns.com



PROJECT  
JACK IN THE BOX #1264

LOCATION  
CLAREMONT AVE. &  
CARLISLE BLVD.,  
ALBUQUERQUE, NM

SHEET TITLE  
**HOURS OF OPERATION  
MARQUEE**

ACCT. REP.  
RACHEL MAUCK  
DESIGNER  
ANDY LIBERTO

DATE 5/30/08 SCALE NOTED

CUSTOMER APPROVAL

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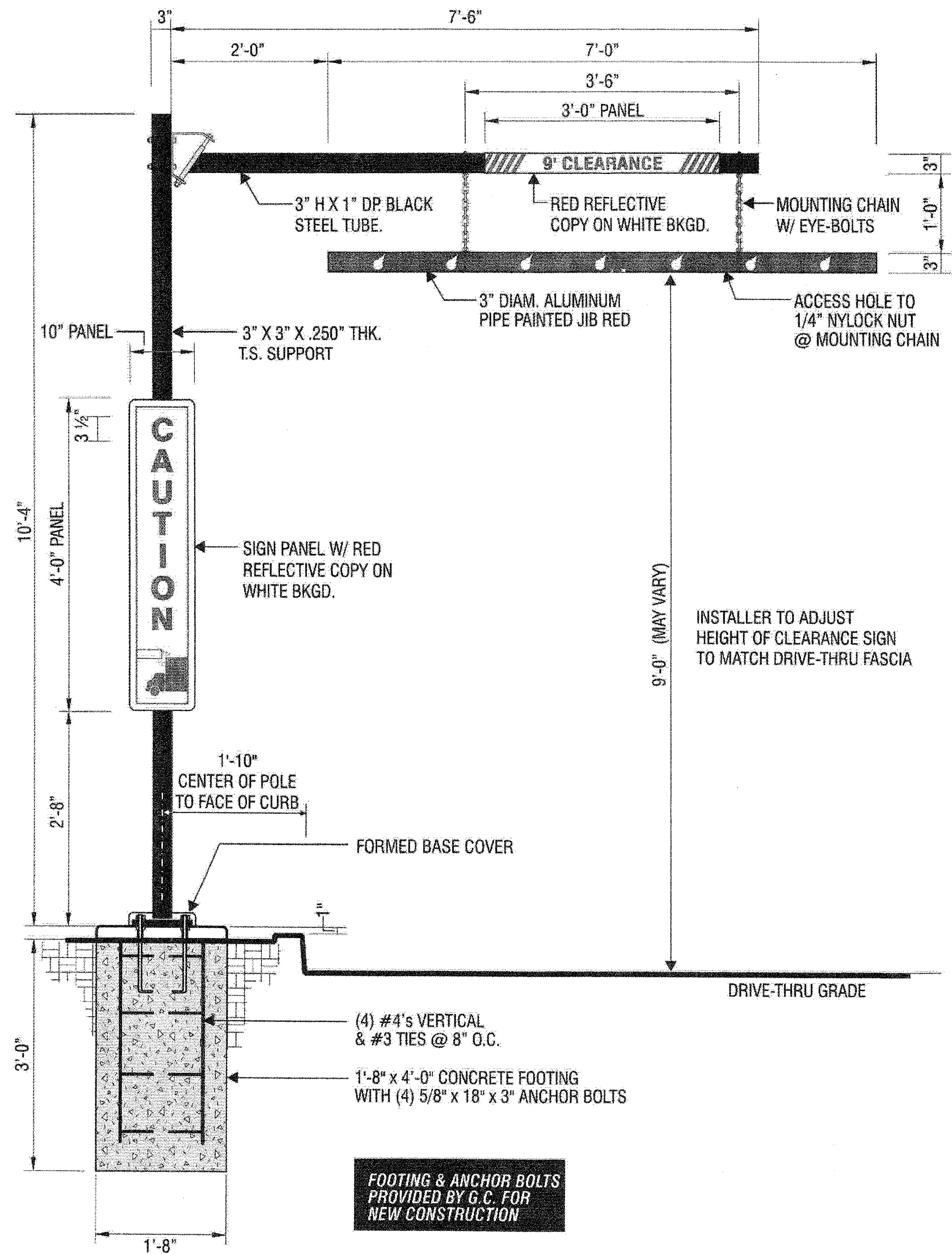
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REVISION NO.	0	WD#	000000

REVISIONS			
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6		12	

KEY NO.  
F1 F2



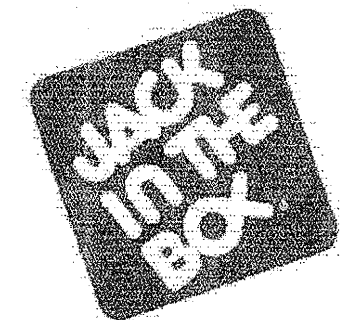


**HEIGHT DETECTOR**  
SCALE: 1" = 1'-0"

**CNP**  
SIGNS & GRAPHICS

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San Diego, CA 92120  
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Fax: 619.283.9503  
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CLIENT



PROJECT  
JACK IN THE BOX #1264

LOCATION  
CLAREMONT AVE. &  
CARLISLE BLVD.,  
ALBUQUERQUE, NM

SHEET TITLE  
**HEIGHT DETECTOR**

ACCT. REP.  
RACHEL MAUCK  
DESIGNER  
ANDY LIBERTO

DATE  
5/30/08  
SCALE  
NOTED

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REVISION NO.	0	WD#	000000

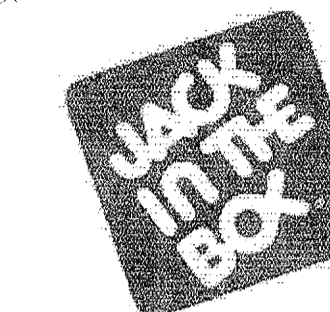
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5		11	
6		12	

KEY NO.





CLIENT



PROJECT

JACK IN THE BOX

LOCATION

VARIOUS

SHEET TITLE

D/T WINDOW PANELS

ACCT. REP.

PROJECT MANAGER

DESIGNER  
DESIGNER

DATE

01/30/07

SCALE

NOTED

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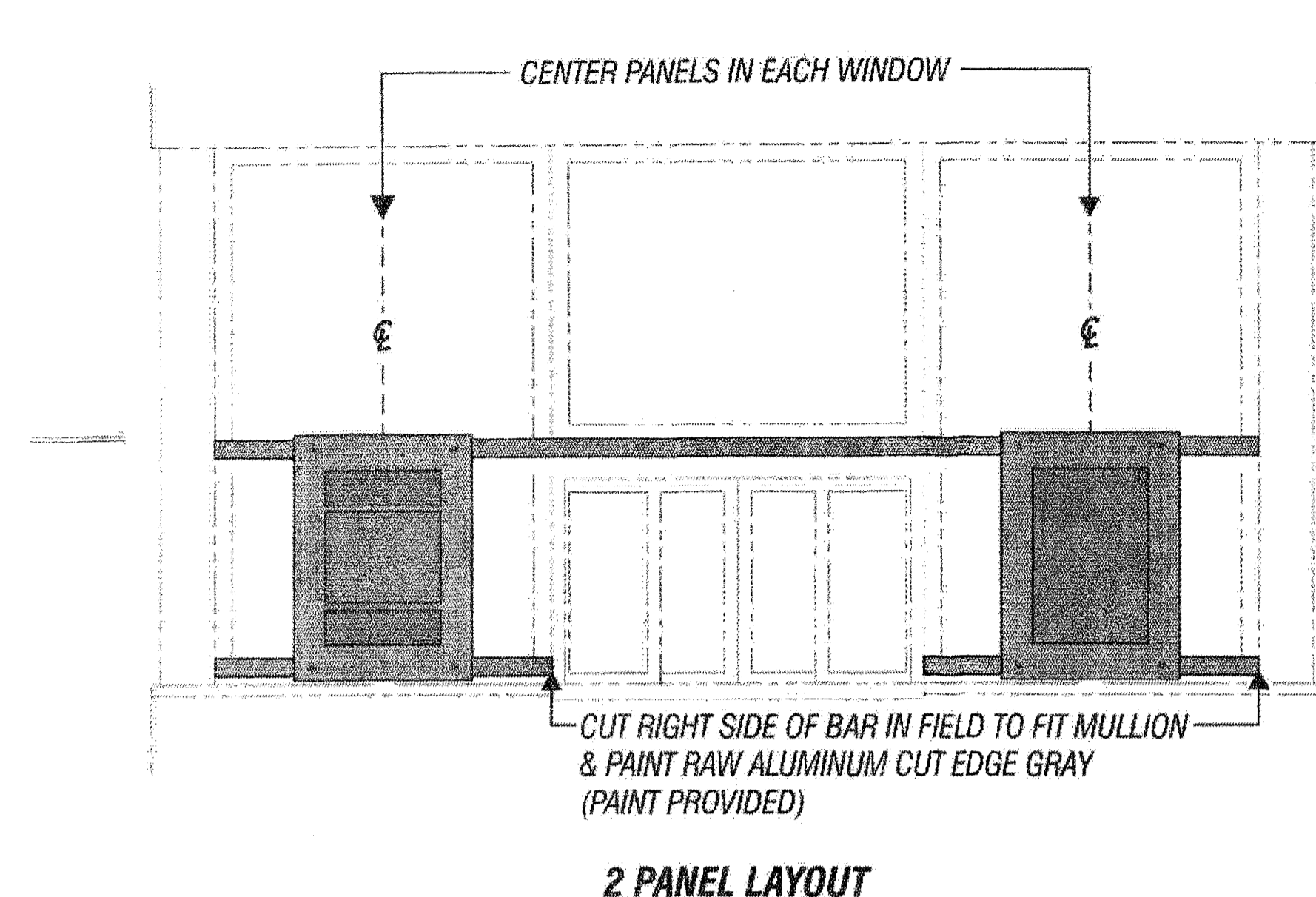
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REVISION NO.	1	WOP#	000000

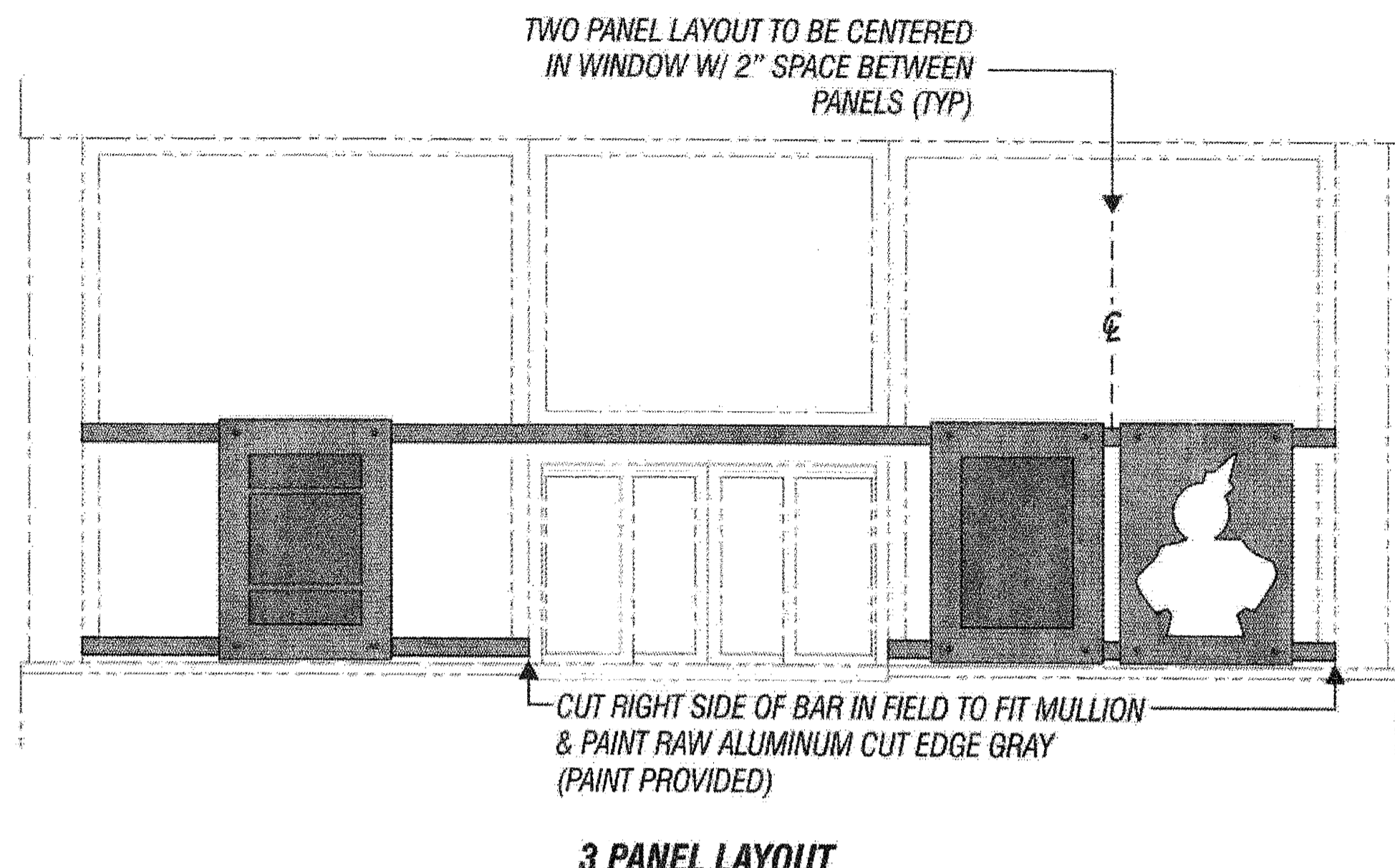
REVISIONS

NO.	DATE	DESIGNER	NO.	DATE	DESIGNER
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6			12		

KEY NO.



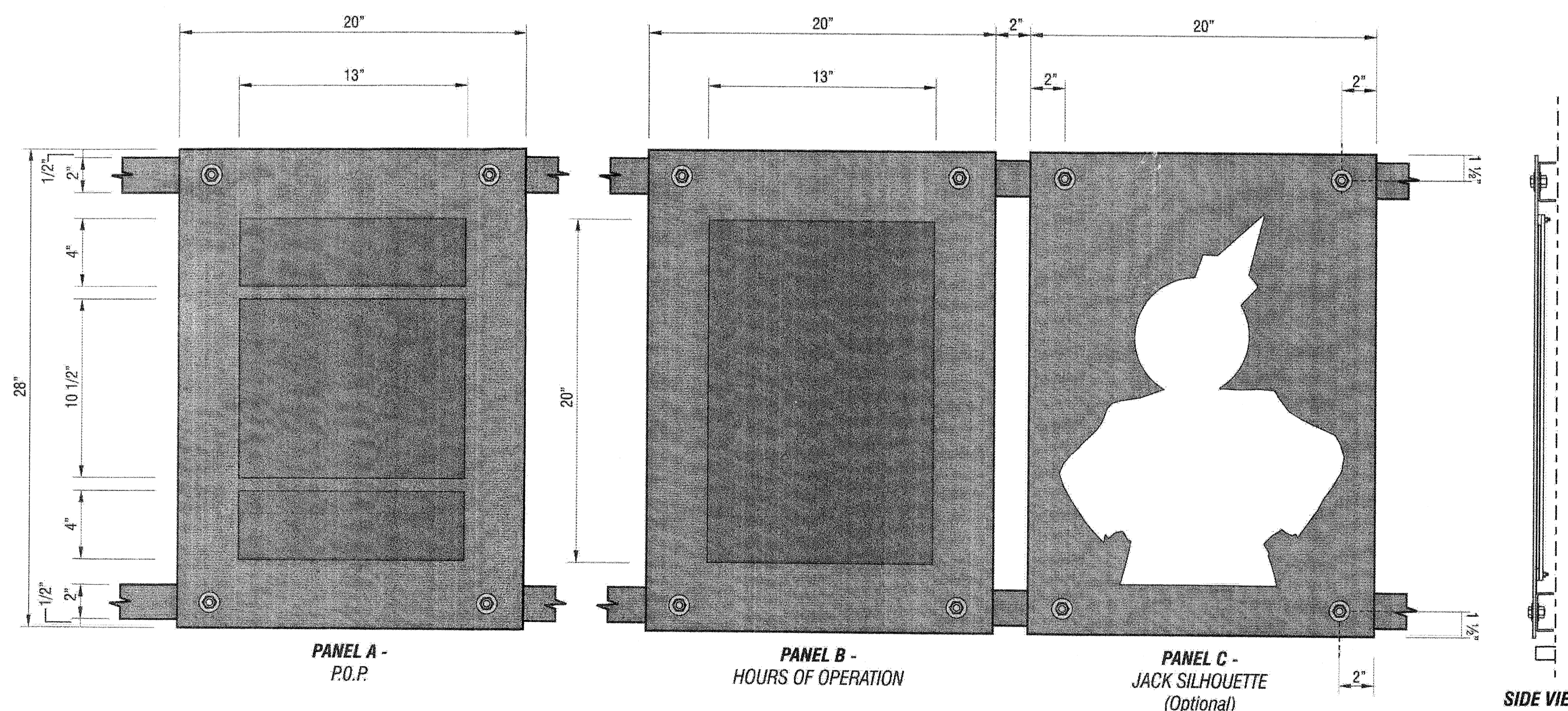
2 PANEL LAYOUT



3 PANEL LAYOUT

**PANEL POSITIONS TYPICAL DRIVE-THRU WINDOWS SHOWN/ SIZES MAY VARY**

SCALE: 3/4" = 1'-0"



PANEL A - P.O.P.

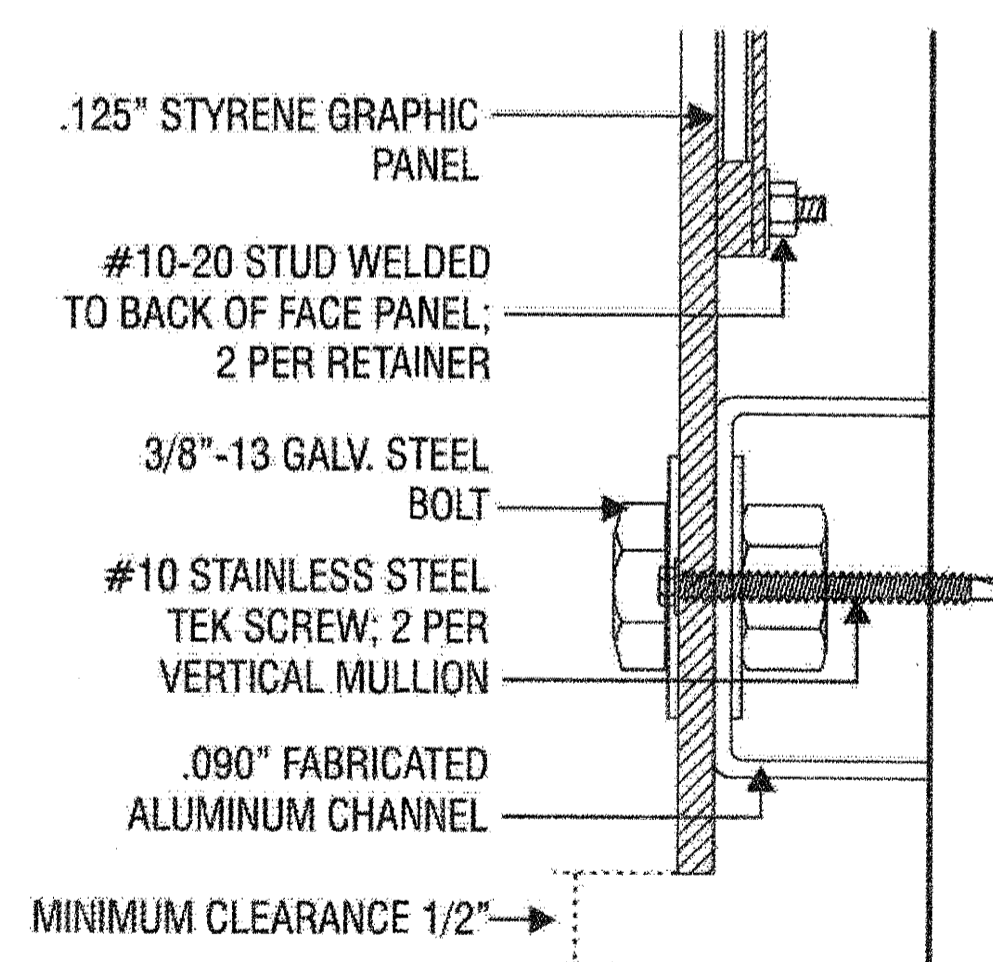
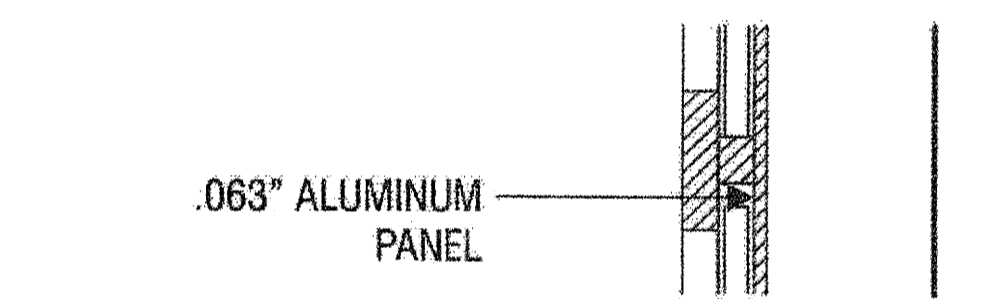
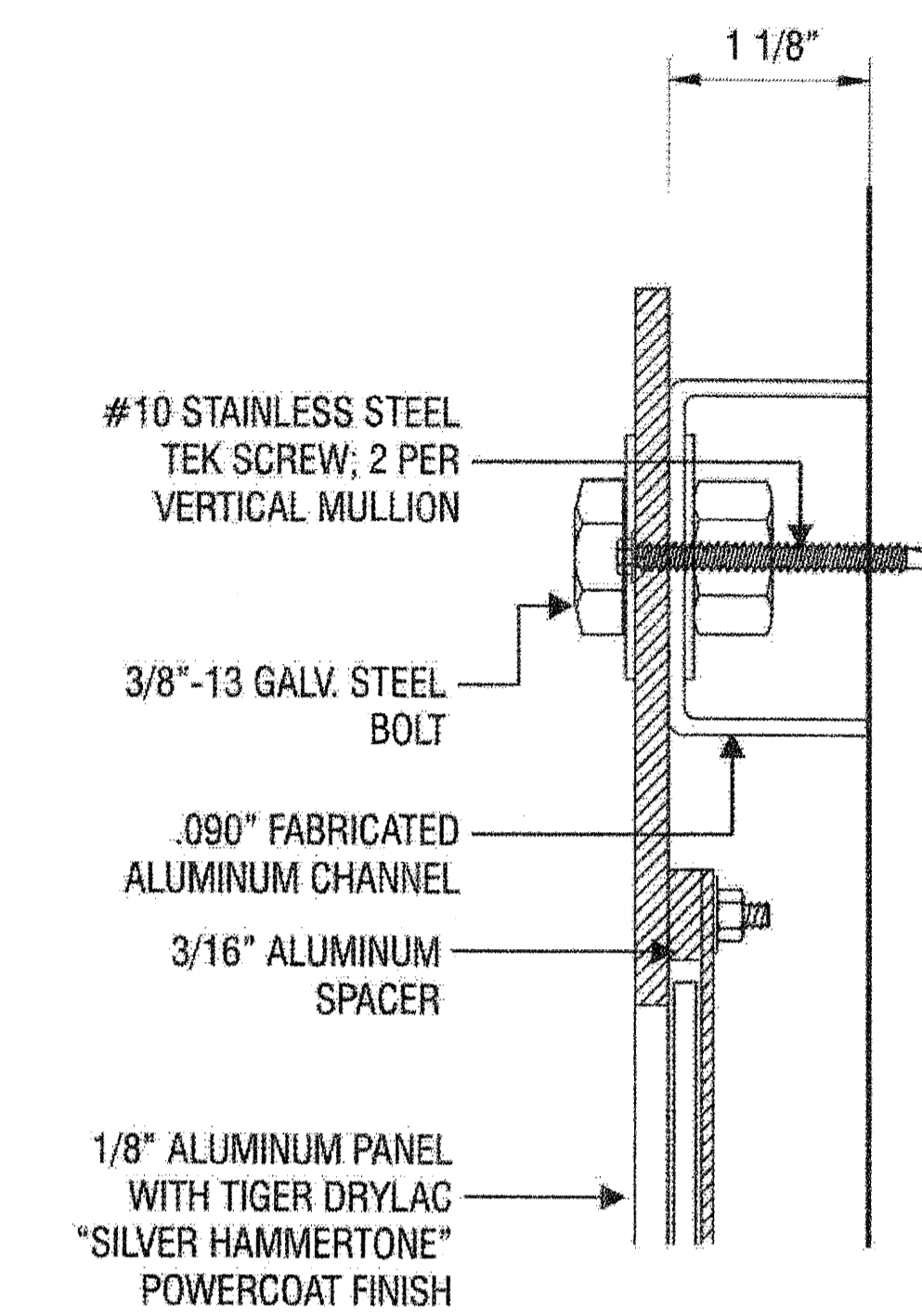
PANEL B - HOURS OF OPERATION

PANEL C - JACK SILHOUETTE (Optional)

SIDE VIEW

**ALUMINUM DRIVE-THRU PANELS**

SCALE: 3" = 1'-0"



**ATTACHMENT DETAIL SECTION VIEW**

SCALE: FULL SIZE



CLIENT



PROJECT  
JACK IN THE BOX  
MARK 9 WINDOW GRAPHICS  
PRODUCT ID - 71174201

LOCATION  
VARIOUS

SHEET TITLE  
STANDARD PANEL LAYOUT

ACCT. REP  
JENNIFER GALVIN  
DESIGNER  
ANDY LIBERTO

DATE  
1/29/08  
SCALE  
NOTED

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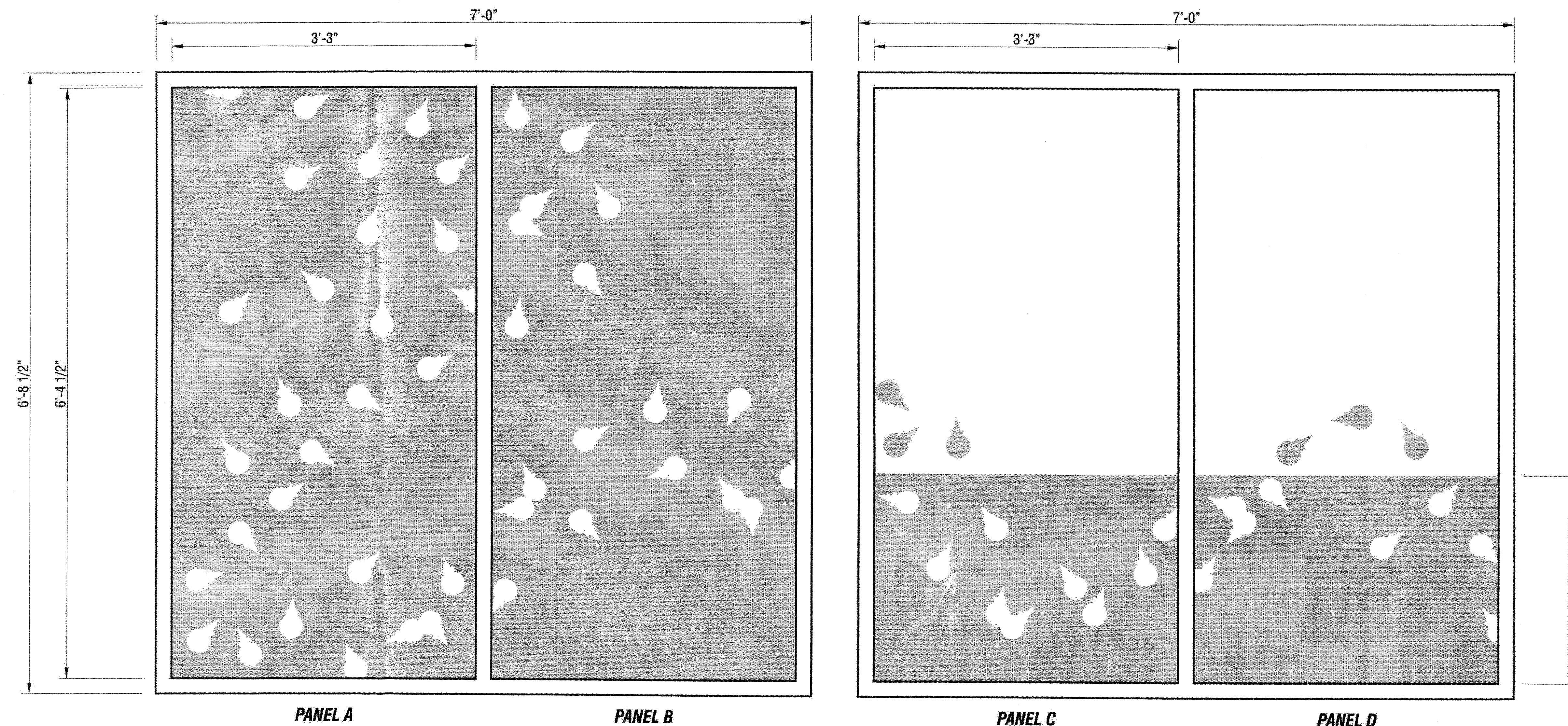
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REVISION NO.	2	W#	000000

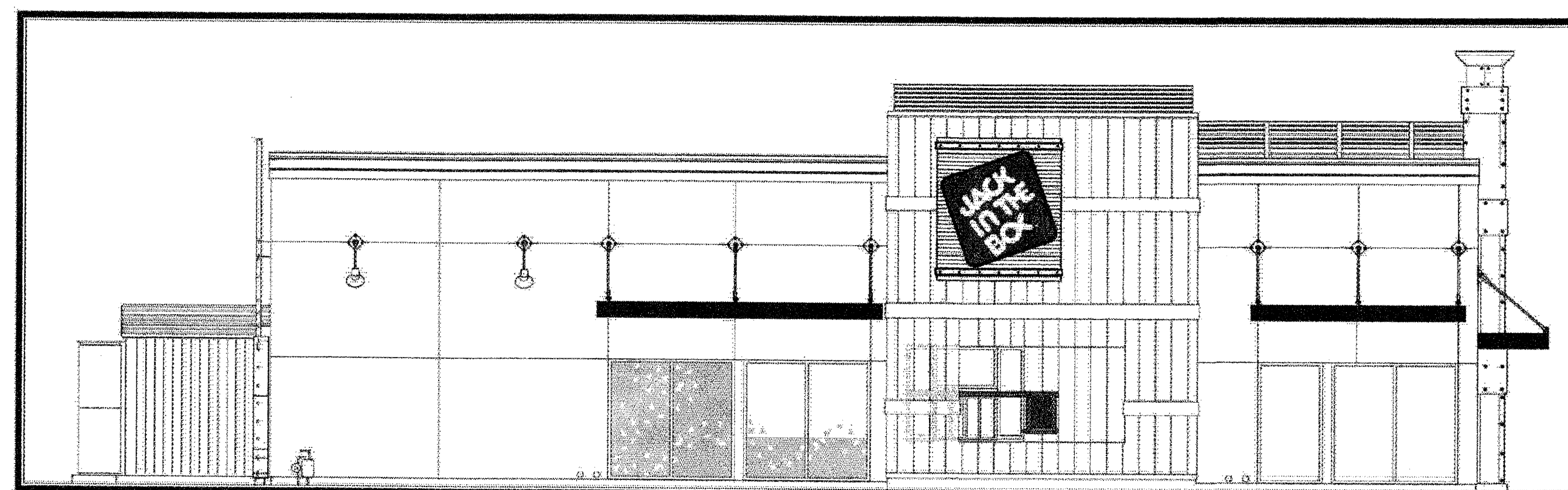
REVISIONS

NO.	DATE	BY	REASON	DESIGNER	
1	02/02/08	JR	7	08/02/08	DESIGNER
2	03/24/08	JR	8		
3			9		
4			10		
5			11		
6			12		

KEY NO.



**SPECIFICATIONS:**  
3M # 7725-314 "DUSTED CRYSTAL"  
TRANSLUCENT WINDOW FILM.  
APPLY FIRST SURFACE  
REFERENCE INSTALLATION DETAIL.

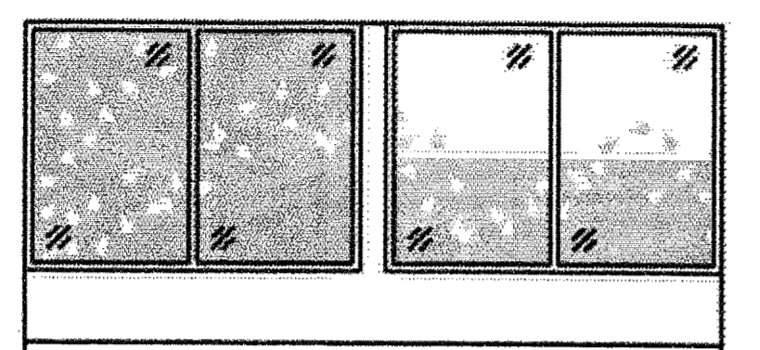
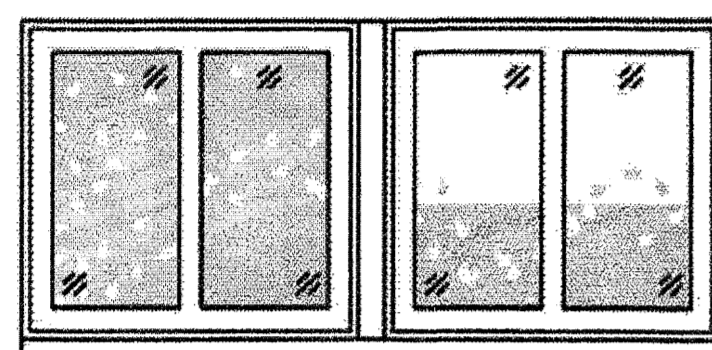
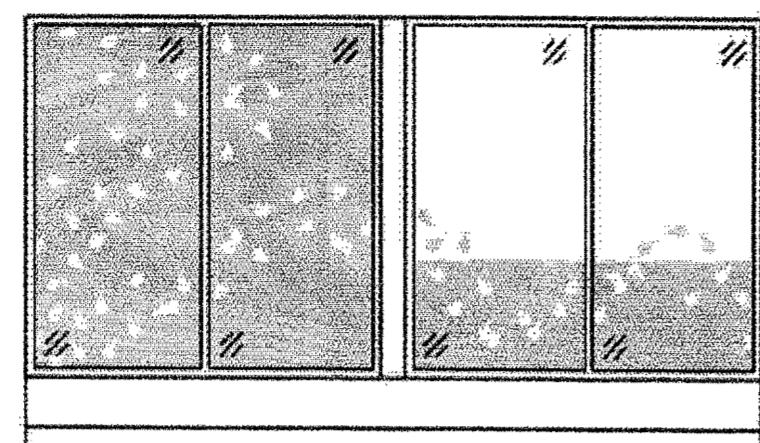
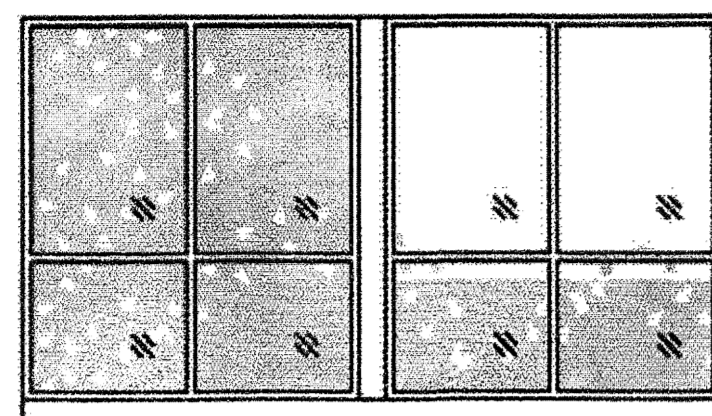


ELEVATION EXAMPLE (NOTE: NOT TO SCALE)

**MARK 9 KITCHEN WINDOW GRAPHICS**

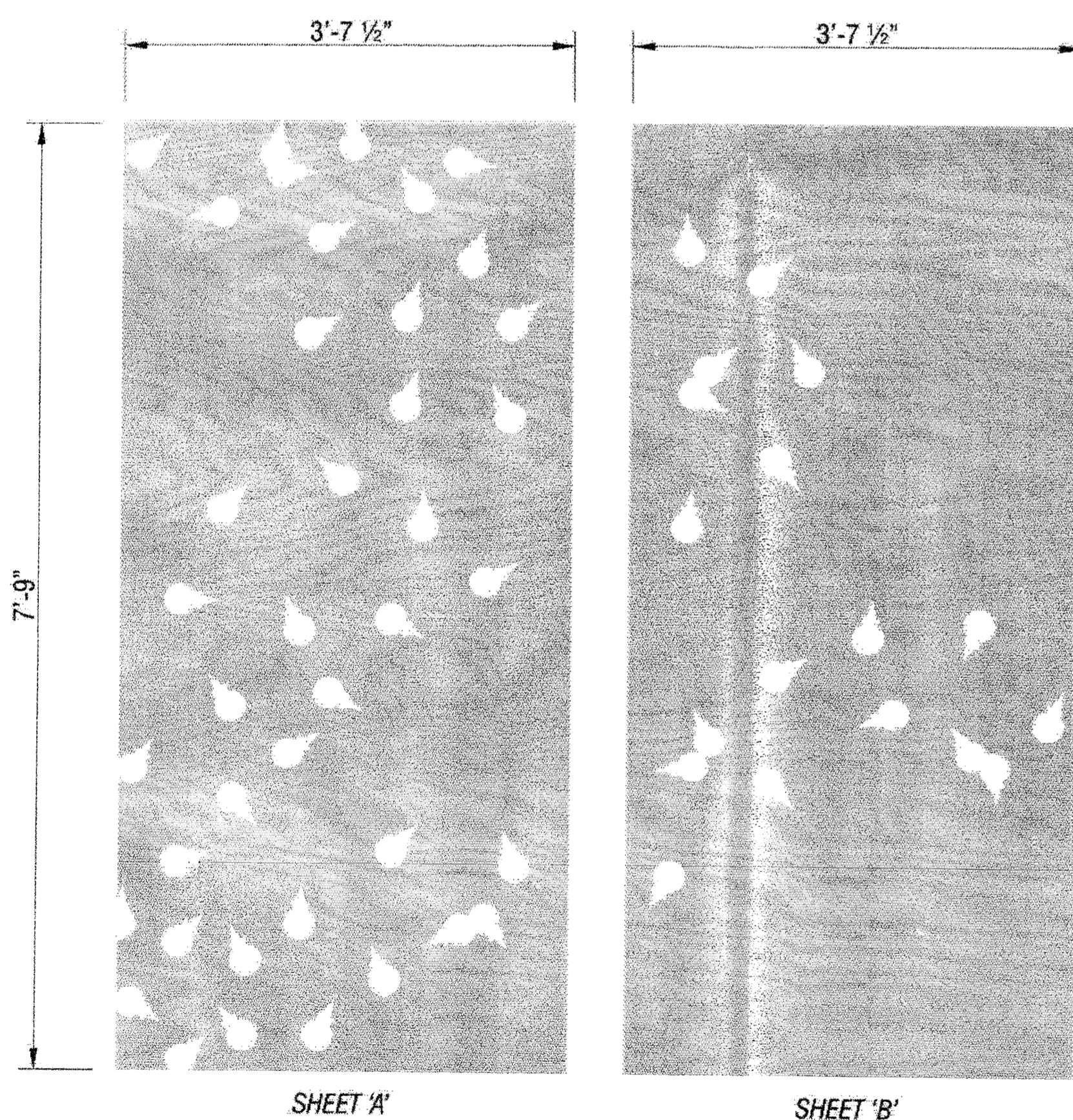
SCALE: 1 1/2" = 1'-0"





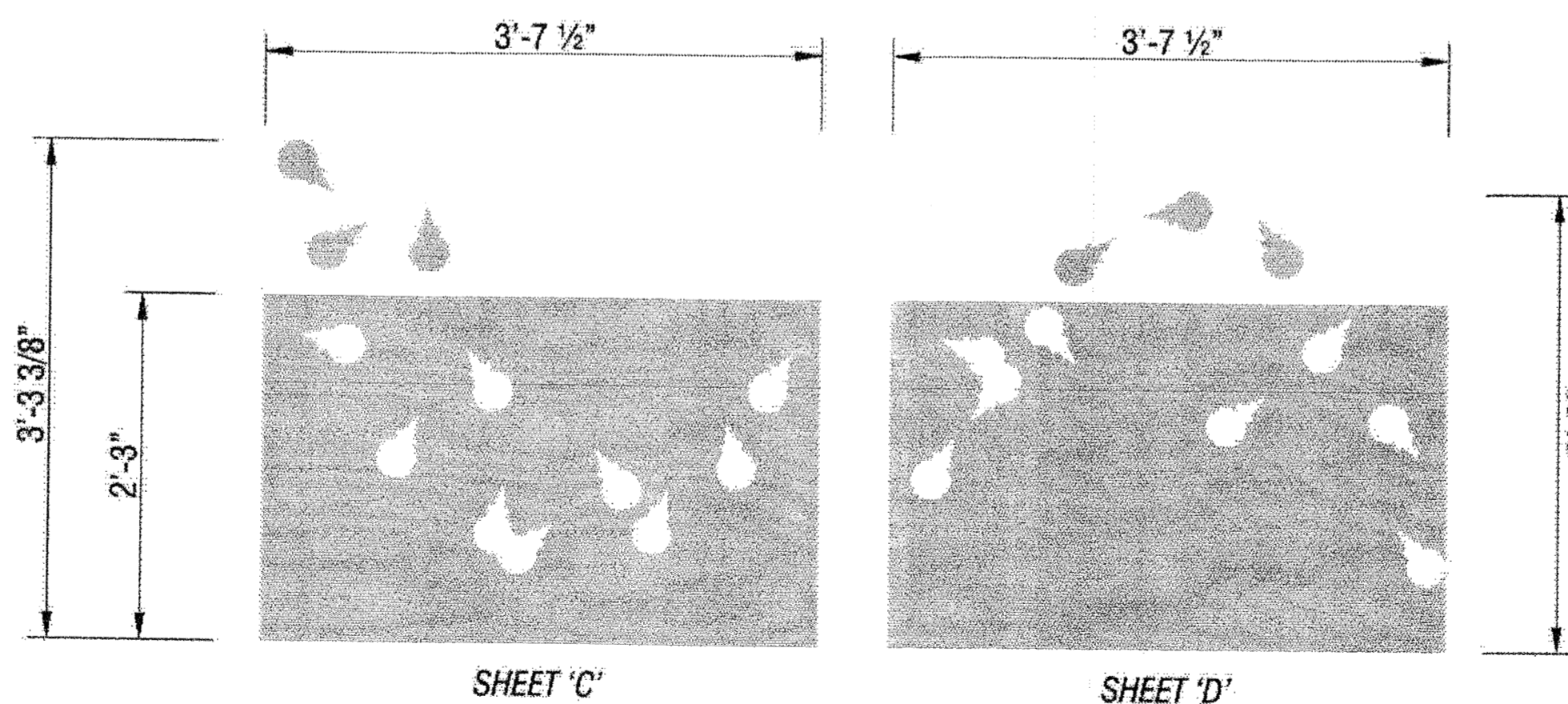
**MARK 9 KITCHEN WINDOW EXAMPLES**

SCALE: 1/4" = 1'-0"



SHEET 'A'

SHEET 'B'

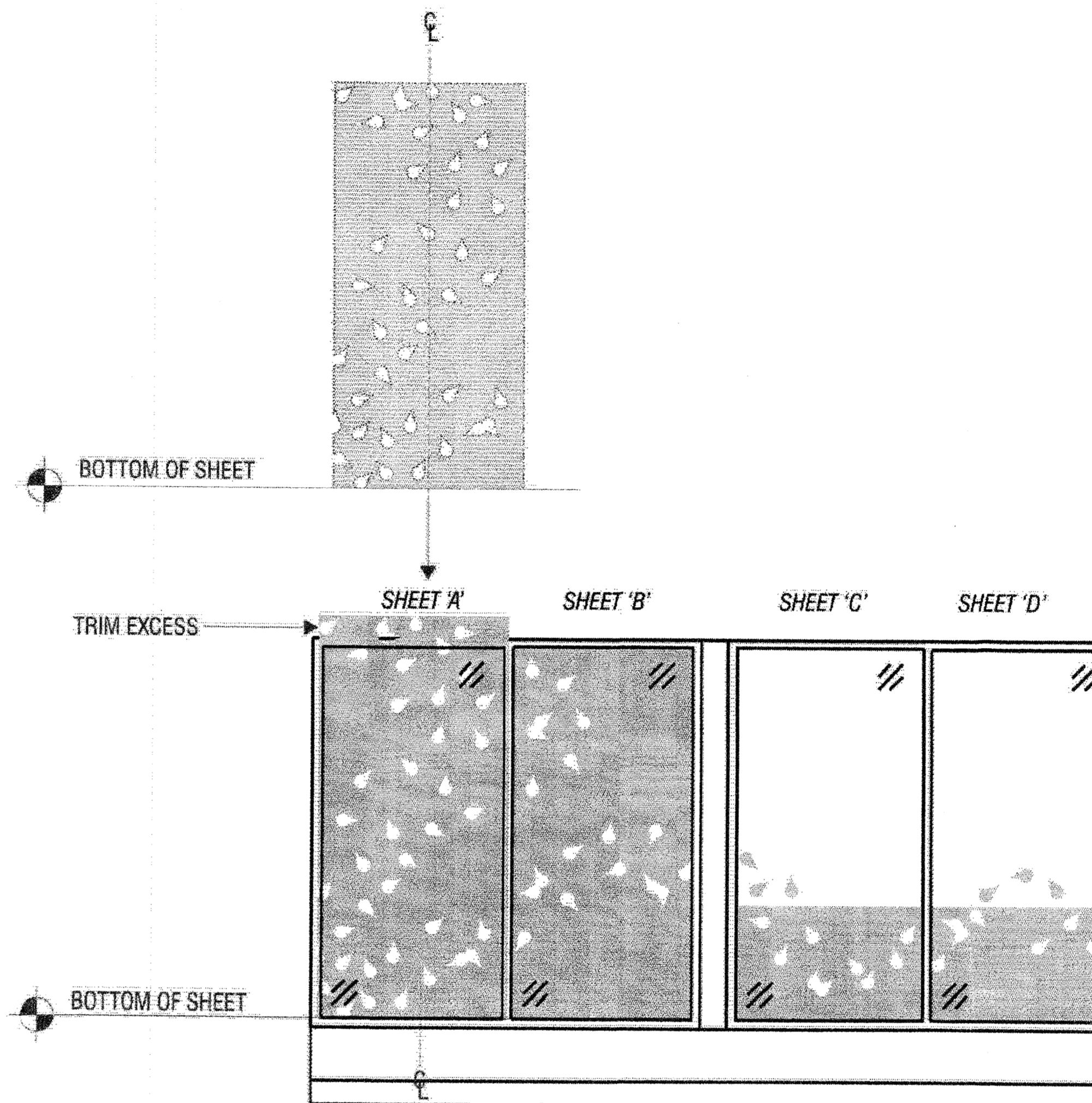


SHEET 'C'

SHEET 'D'

**MARK 9 KITCHEN WINDOW GRAPHICS**

SCALE: 1" = 1'-0"



**MARK 9 KITCHEN WINDOW GRAPHICS - INSTALLATION EXAMPLE**

SCALE: 1/2" = 1'-0"

**SPECIFICATIONS:**  
 TRANSLUCENT WINDOW FILM  
 3M # 7725-314 "DUSTED CRYSTAL"

**INSTALLATION:**  
 APPLY FIRST SURFACE IN ORDER SHOWN.  
 EACH VINYL SHEET TO BE CENTERED & FLUSHED  
 TO BOTTOM OF WINDOW. EXCESS VINYL TO BE  
 TRIMMED TO FIT FLUSH WITH OUTSIDE OF WINDOW.

**CNP**  
 SIGNS & GRAPHICS

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 Tel: 619.283.2191  
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CLIENT



PROJECT

JACK IN THE BOX  
 MARK 9 WINDOW GRAPHICS  
 PRODUCT ID - 71174201

LOCATION

VARIOUS

SHEET TITLE

INSTALLATION DETAIL

ACCT. REP.

JENNIFER GALVIN

DESIGNER

ANDY LIBERTO

DATE

1/29/08

SCALE

NOTED

CUSTOMER APPROVAL

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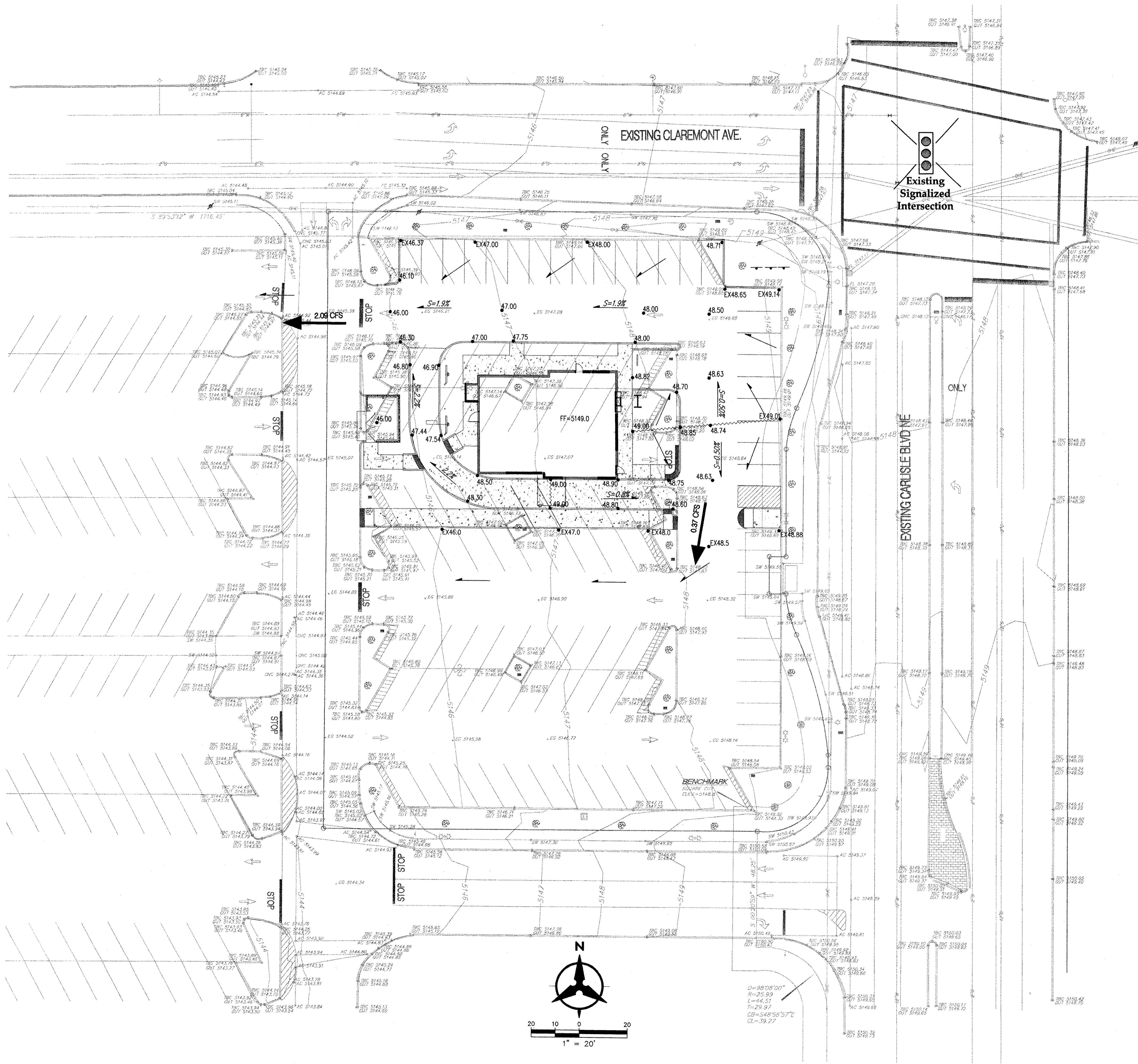
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REVISION NO.	2	WG#	000000

REVISIONS

NO.	DATE	BY	REASON	DESIGNER	
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2	03/24/08	JR	8		
3			9		
4			10		
5			11		
6			12		

KEY NO.





**GRADING & DRAINAGE CONCEPT**

THE DRAINAGE CONCEPT FOR THIS SITE WILL INCORPORATE MUCH OF THE SURROUNDING FEATURES. THE EXISTING SITE IS AN ASPHALT PARKING LOT WHICH DRAINS TO THE WEST AT ABOUT 2%. EXISTING CURB AND GUTTER TO THE NORTH AND EAST WILL REMAIN. THE DRIVE LANE TO THE WEST AND THE ASPHALT PARKING LOT TO THE SOUTH WILL REMAIN OR BE RESTORED TO ITS EXISTING CONDITION.

THE DRAINAGE CONCEPT IS TO DRAIN THE SITE TO THE SOUTH AND WEST AROUND THE PROPOSED BUILDING AND SIDEWALKS WHERE THE DRAINAGE WILL CONTINUE ON ITS HISTORICAL PATH. DUE TO THE EXISTING IMPERVIOUS LAND TREATMENT NO ADDITIONAL FLOW WILL BE GENERATED BY THE PROPOSED DEVELOPMENT, THEREFORE NO PONDING IS REQUIRED AND NO DRAINAGE STRUCTURES ARE REQUIRED.

**LEGEND**

- — — — — PROPERTY LINE
- - - - - 5301 - - - EXISTING CONTOURS
- 5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED
- — — — — PROPOSED DIRECTION OF FLOW
- ===== WATER BLOCK
- - - - - PROPOSED CURB & GUTTER
- - - - - EASEMENT
- ■ ■ PROPOSED STORM DRAIN INLET
- EXISTING MONUMENT

KEVIN J. MURTAGH, P.E.  
 17166  
 10-27-08

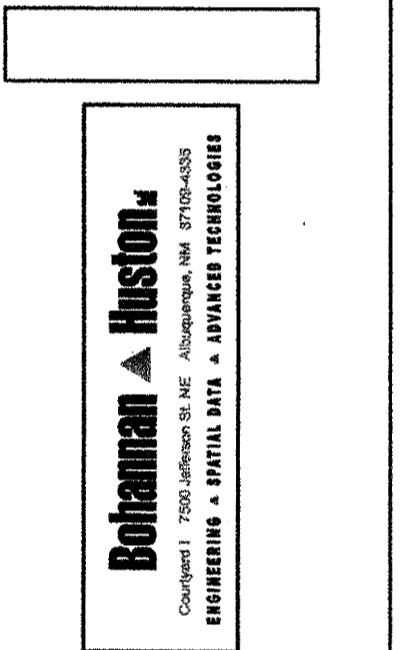
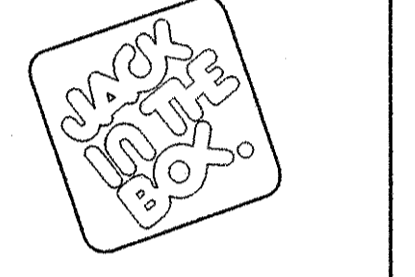
**DESIGN ARCHITECTURE ENGINEERING**  
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 SAN DIEGO, CA 92123  
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**DATES**  
 RELEASE: \_\_\_\_\_  
 P.M. UPDATES: \_\_\_\_\_  
 PERMIT: \_\_\_\_\_  
 BID: \_\_\_\_\_  
 CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

△	
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JACK IN THE BOX #XX  
 CARLISLE/CLAREMONT  
 ALBUQUERQUE, NEW MEXICO

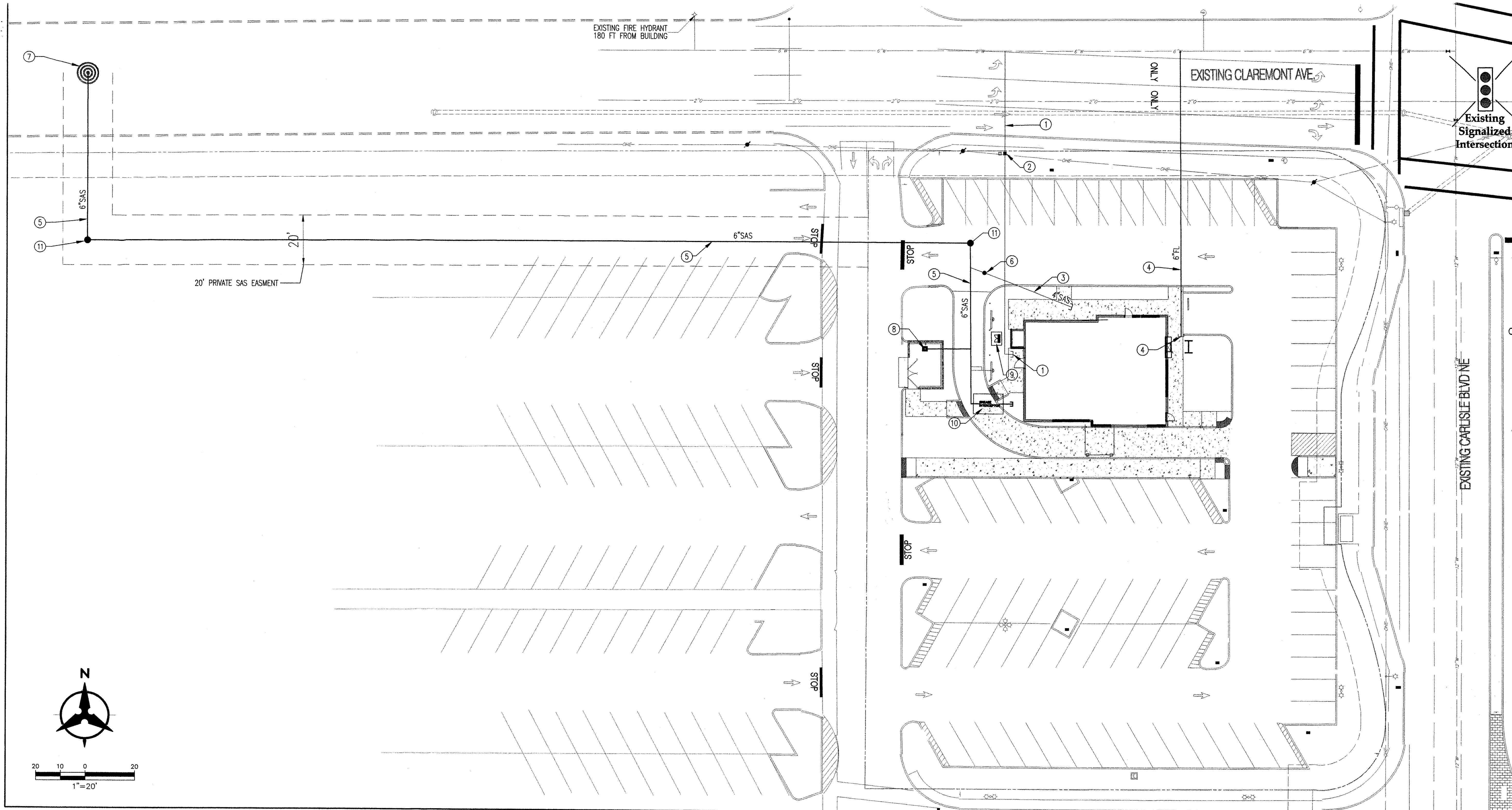


LARRY L. CLUCK & ASSOCIATES  
 3444 N. COUNTY CUB, SUITE # 105  
 TUCSON, ARIZONA 85718  
 (520) 337-0670/327-8816

**SITE INFORMATION**  
 MK TYPE: XX  
 JIB #: XX  
 ADDRESS: CARLISLE/CLAREMONT ALBUQUERQUE, NM  
 DRAWN BY: XX  
 SCALE: 1:20

**GRADING PLAN (DRB)**  
 October 2008  
 Sheet 18



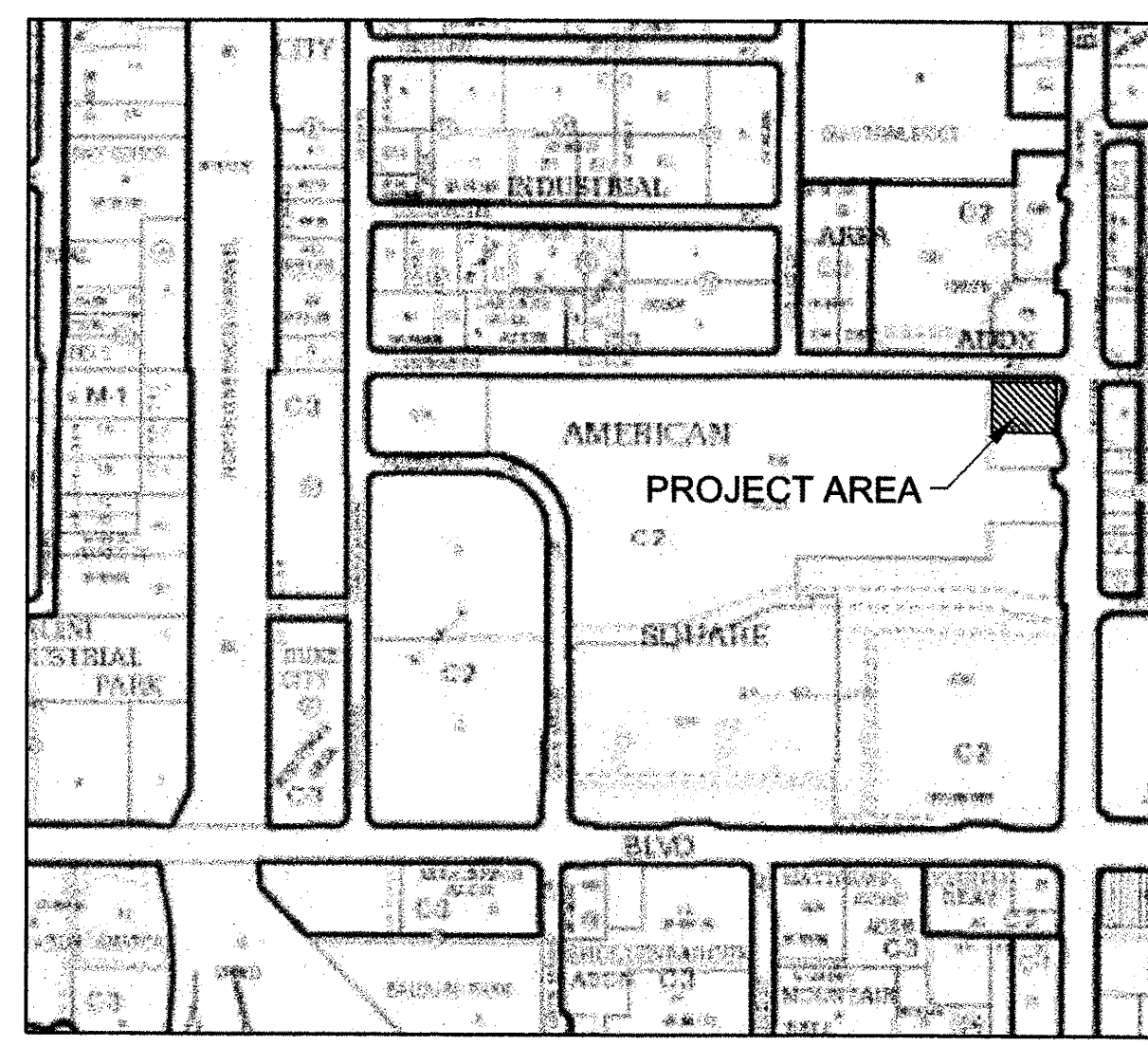


**UTILITY KEYED NOTES:**

1. 2" DOMESTIC WATER SERVICE LINE
2. 1/2" DOMESTIC WATER METER AND BOX
3. 4" SAS SERVICE LINE
4. 6" FIRE LINE
5. 6" SAS SERVICE LINE
6. SAS CLEAN OUT
7. CONNECT TO EXISTING SAS MAHOLE
8. INLET TO SAS
9. ELECTRICAL TRANSFORMER
10. GREASE TRAP
11. 4' SAS MANHOLE

**LEGEND**

---	PROPERTY LINE	---	PROPOSED EASEMENT
---	EXISTING EASEMENT	---	PROPOSED SANITARY SEWER LINE
---	EXISTING SANITARY SEWER	---	PROPOSED GREASE TRAP
---	EXISTING WATER LINE	---	PROPOSED SANITARY SEWER MANHOLE
□	EXISTING WATER METER	●	PROPOSED CLEANOUT
~	EXISTING CAP	---	PROPOSED WATER LINE
~	EXISTING VALVE	---	PROPOSED VALVE
⊕ & ☼	EXISTING FIRE HYDRANTS	---	PROPOSED FIRE LINE
○	EXISTING SANITARY SEWER MANHOLE	●	PROPOSED HYDRANT
⊙	EXISTING STORM DRAIN MANHOLE	~	PROPOSED CAP
□	EXISTING INLET	■	PROPOSED WATER METER
		■	PROPOSED TRANSFORMER



**VICINITY MAP**  
 ZONE ATLAS PAGE H-16-Z  
 SCALE: 1" = 500'

**DESIGN ARCHITECTURE ENGINEERING**  
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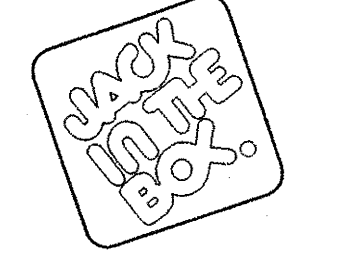
**DATES**

RELEASE: \_\_\_\_\_  
 P.M. UPDATES: \_\_\_\_\_  
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 CONSTRUCTION: \_\_\_\_\_

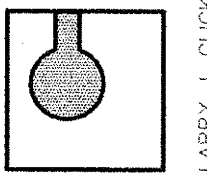
**REVISIONS**

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JACK IN THE BOX #XX  
 CARLISLE/CLAREMONT  
 ALBUQUERQUE, NEW MEXICO



**Bobmann & Huston**  
 CONSULTING ENGINEERS, ARCHITECTS, INTERIORS, AND PROJECT MANAGERS  
 BUILDINGS • DATA DATA • WIRELESS TECHNOLOGIES



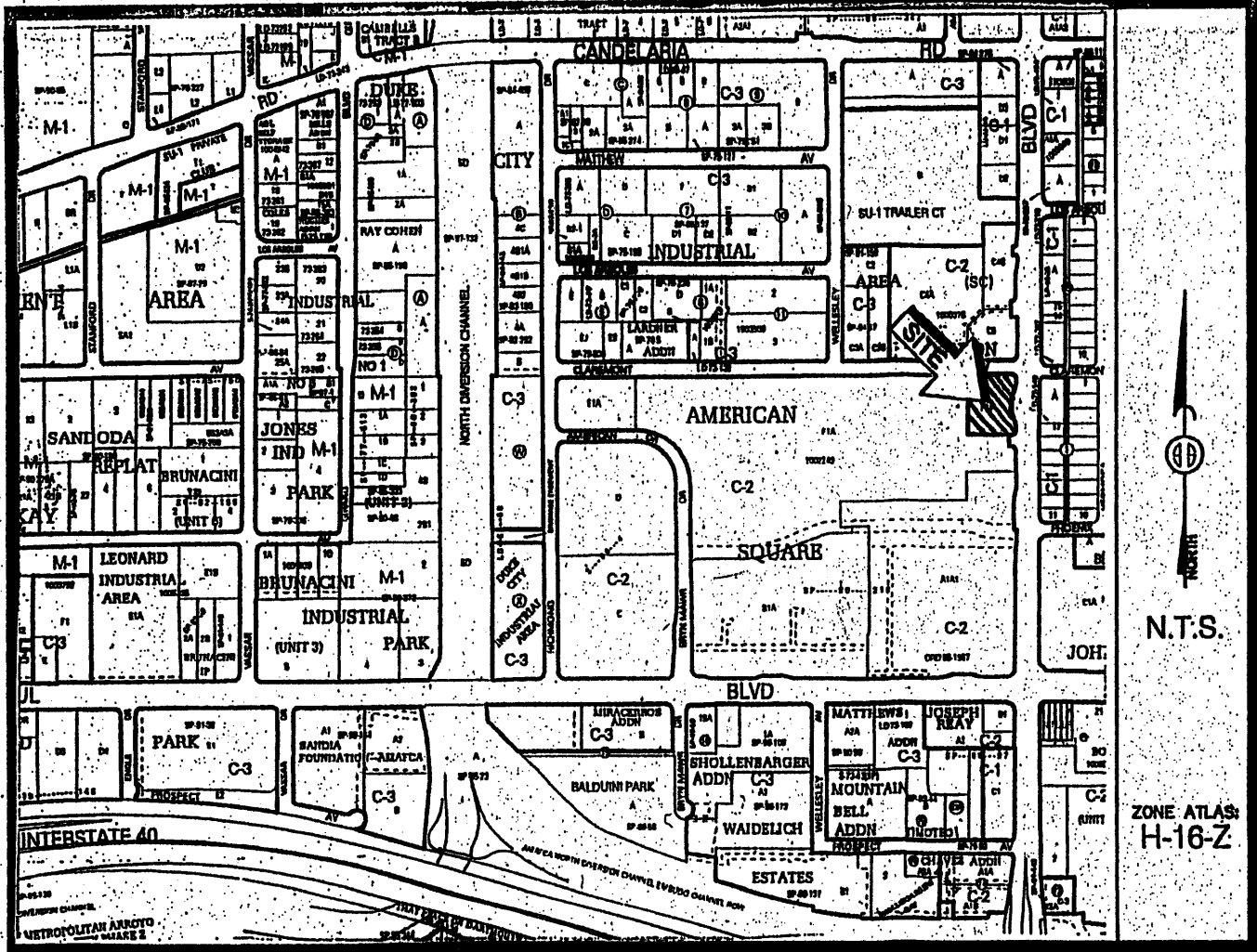
LARRY J. CLICK & ASSOCIATES  
 3444 N. Country Club, Suite # 105  
 Tucson, Arizona 85716-8816  
 (520) 327-6670/327-8816

**SITE INFORMATION**

MK TYPE: XX  
 JIB #: XX  
 ADDRESS:  
 CARLISLE/CLAREMONT  
 ALBUQUERQUE, NM  
 DRAWN BY: XX  
 SCALE: 1:20



Talos Log # 2001-2120-92



Vicinity Map

**SUBDIVISION DATA / NOTES**

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983, AND ARE BASED ON ACS CONTROL MONUMENTS 9\_H17 AND 10\_H17, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF AMERICAN SQUARE, FILED IN BERNALILLO COUNTY, NEW MEXICO ON JULY 15, 2005 IN VOLUME 2005C, FOLIO 251.
6. GROSS AREA: 1.1731 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF TRACTS CREATED: 2
9. NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.
10. PROPERTY IS SUBJECT TO A RECIPROCAL PRIVATE CROSS LOT ACCESS, PARKING, PEDESTRIAN, DRAINAGE EASEMENT AND PRIVATE WATER SERVICE, SEWER SERVICE AND FIRELINES GRANTED BY THIS PLAT FOR THE BENEFIT AND USE BY AND FOR THE OWNERS OF TRACTS F-1-B-1, F-1-B-2 AND F-1-A AND IS TO BE MAINTAINED BY SAID OWNERS.

**LEGAL DESCRIPTION**

Tract F-1-B, as shown and designated on plat entitled "Correction Plat of tracts E-1-A, F-1-A & F-1-B, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the said plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 15, 2005 in Plat Book 2005C, Page 251; and being more particularly described as follows:

BEGINNING at the southwest corner of said tract; whence City of Albuquerque Control Station "10\_H17" having New Mexico State Plane Coordinates of (Central Zone, NAD 1983) Northing= 1,495,224.388 and Easting= 1,535,835.595 bears S68°04'47"E, 1,927.83 feet running thence N00°20'58"E, 255.53 feet to the northwest corner of said tract, lying on the southerly right-of-way line of Claremont Ave. N.E.; thence N89°59'43"E, 179.40 feet along said right-of-way to the northeast corner of said tract; thence along a curve to the right, 47.36 feet; having a Delta Angle of 90°27'29", a Radius of 30.00 feet, a Chord Bearing of S44°53'08"E, and a Chord Length of 42.60 feet; to a point lying on the westerly right-of-way of Carlisle Boulevard N.E.; thence along said westerly right-of-way and along a curve to the right, 52.22 feet having a Delta Angle 19°56'48", a Radius of 100.00 feet, a Chord Bearing of S16°04'49"W and a Chord Length of 51.98 feet; thence along a curve to the left, 17.41 feet; having a Delta Angle 19°57'01", a Radius of 50.00 feet, a Chord Bearing of S16°04'55"W and a Chord Length of 17.32 feet; thence S00°05'03"W, 45.00 feet; thence N89°54'57"W, 7.00 feet; thence S00°05'03"W, 15.00 feet; thence S89°54'57"E, 7.00 feet; thence along a curve to the left, 17.41 feet having a Delta Angle 19°57'01", a Radius of 50.00 feet, a Chord Bearing of S14°44'39"E and a Chord Length of 17.32 feet; thence along a curve to the right, 52.23 feet; having a Delta Angle 19°04'36", a Radius of 156.88 feet, a Chord Bearing of S14°57'27"E and a Chord Length of 51.99 feet; thence S00°05'03"W, 5.18 feet to a point lying on a curve to the right, 44.70 feet; having a Delta Angle 97°23'13", a Radius of 28.30 feet, a Chord Bearing of S48°16'53"W, and a Chord Length of 39.51 feet; to the southeast corner of said tract; thence N90°00'00"W leaving said west right-of-way, 181.24 feet to the southwest corner and place of BEGINNING; containing 1.1731 Acres, more or less.

**FREE CONSENT**

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: [Signature] DATE: 5/20/09  
 OWNER(S) PRINT NAME: JOSEPH P. GEIVET  
 ADDRESS: 1919 QUEEN ANNE AVENUE SE TRACT:  
 ACKNOWLEDGMENT STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) S.S.  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20<sup>th</sup> DAY OF MAY, 2009.  
 BY: JOSEPH P. GEIVET  
 MY COMMISSION EXPIRES: 10-01-07



[Signature]  
 NOTARY PUBLIC

**PLAT OF TRACTS F-1-B-1 & F-1-B-2 AMERICAN SQUARE SECTION 10, T. 10 N., R. 3 E., N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY 2009 SHEET 1 OF 2**

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO TWO (2) NEW TRACTS.

CITY APPROVALS: PROJECT NO.: 1002249 APPLICATION NO. 09DRB-70188

<u>[Signature]</u>	5-22-09
CITY SUBVEYOR	DATE
<u>[Signature]</u>	06/03/09
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<u>[Signature]</u>	6-3-09
PARKS & RECREATION DEPARTMENT	DATE
<u>[Signature]</u>	6-3-09
A.B.C.W.U.A.	DATE
<u>[Signature]</u>	6/3/09
A.M.A.F.C.A.	DATE
<u>[Signature]</u>	6/3/09
CITY ENGINEER	DATE
<u>[Signature]</u>	6/3/09
DEP CHAIRPERSON, PLANNING DEPARTMENT	DATE

**SURVEYOR'S CERTIFICATION**

I, Anthony L. Harris, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.



[Signature] 5-19-09  
 Anthony L. Harris  
 New Mexico Professional Surveyor, 11463 Date

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
 UPC#: 10110595163531020  
 PROPERTY OWNER OF RECORD:  
Seavon Retail Investments LLC  
 BERNALILLO COUNTY TREASURERS OFFICE  
Crystal Taylor 615709

DOCH 2009063123  
 06/05/2009 10:11 AM Page: 1 of 2  
 PLAT R: \$12.00 P: 2005C P: 0066 R: Toulous Ollivere, Bernalillo Cour: 87102  
 0905AT01

**THE SURVEY OFFICE, LLC**  
 333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102  
 PHONE: (505) 998-0303 FAX: (505) 998-0305  
**T10N R3E SEC. 10**



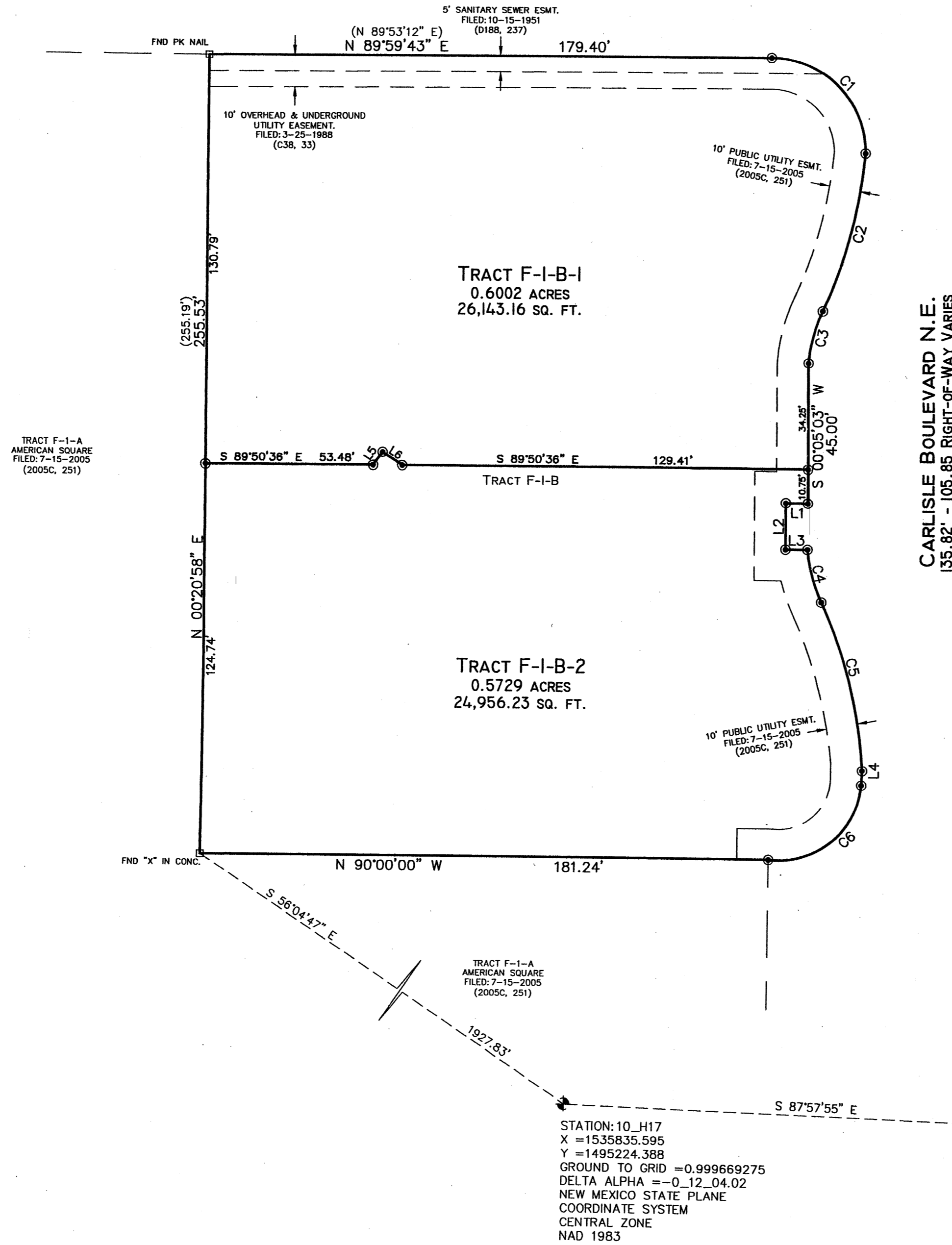
**PLAT OF  
TRACTS F-1-B-1 & F-1-B-2  
AMERICAN SQUARE  
SECTION 10, T. 10 N., R. 3 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MAY 2009  
SHEET 2 OF 2**

15 10 5 0 10 20 30

1" = 30'  
PROJECT NO. 0905AT01  
DRAWN BY: AT  
ZONE ATLAS: H-16-Z  
AMERSQ..CR5



CLAREMONT AVENUE N.E.  
60' RIGHT-OF-WAY



LINE TABLE		
LINE	LENGTH	BEARING
L1	7.00'	N89°54'57"W
L2	15.00'	S00°05'03"W
L3	7.00'	S89°54'57"E
L4	5.18'	S00°05'03"W
L5	5.31'	N35°00'00"E
L6	7.63'	S55°00'00"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
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C6	44.70'	26.30'	97°23'13"	39.51'	S48°15'53"W

TRACT F-1-A  
AMERICAN SQUARE  
FILED: 7-15-2005  
(2005C, 251)

TRACT F-1-B-1  
0.6002 ACRES  
26,143.16 SQ. FT.

TRACT F-1-B

TRACT F-1-B-2  
0.5729 ACRES  
24,956.23 SQ. FT.

CARLISLE BOULEVARD N.E.  
105.85' RIGHT-OF-WAY VARIES

STATION: 9\_H17  
X = 1537088.971  
Y = 1495173.375  
GROUND TO GRID = 0.999668300  
DELTA ALPHA = -0\_11\_55.34  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1983

STATION: 10\_H17  
X = 1535835.595  
Y = 1495224.388  
GROUND TO GRID = 0.999669275  
DELTA ALPHA = -0\_12\_04.02  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1983

**MONUMENT LEGEND**

- ⊕ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- ⊙ - SET NAIL W/ WASHER STAMPED "PS 11463"

**THE SURVEY OFFICE, LLC**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0305

DOC# 2009063123

06/05/2009 10:11 AM Page: 2 of 2  
tyPLAT R:12.00 B: 2009C P: 0086 M. Toulous Oliveira, Bernalillo Cour

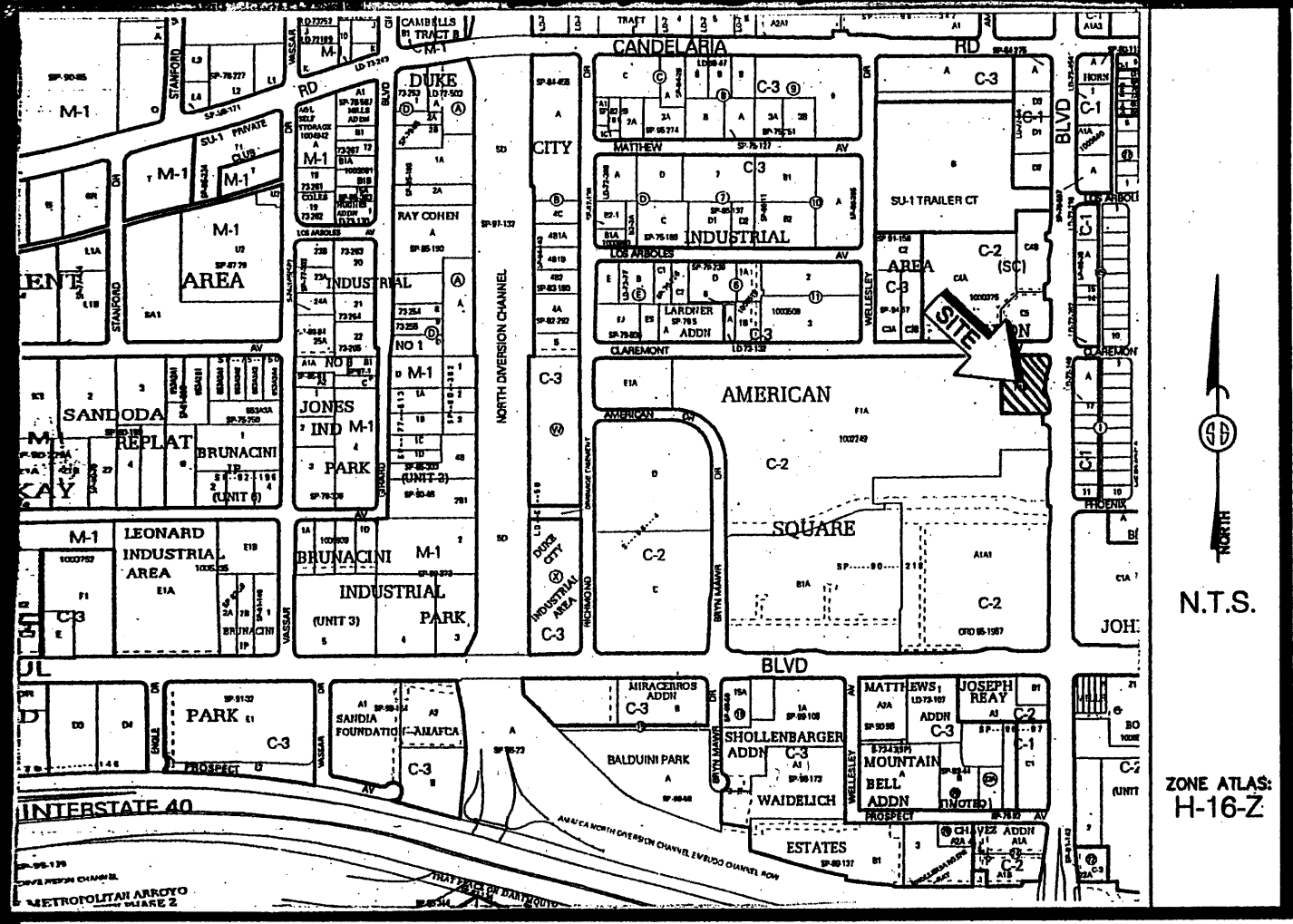


0905AT01

**T10N R3E SEC.10**



Talos Log # 2001-2126-93



Vicinity Map

**SUBDIVISION DATA / NOTES**

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983, AND ARE BASED ON ACS CONTROL MONUMENTS 9\_H17 AND 10\_H17, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF AMERICAN SQUARE, FILED IN BERNALILLO COUNTY, NEW MEXICO ON JULY 15, 2005 IN VOLUME 2005C, FOLIO 251.
6. GROSS AREA: 1.1731 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF TRACTS CREATED: 2
9. NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.
10. PROPERTY IS SUBJECT TO A RECIPROCAL PRIVATE CROSS LOT ACCESS, PARKING, PEDESTRIAN AND DRAINAGE EASEMENT GRANTED BY THIS PLAT FOR THE BENEFIT AND USE BY AND FOR THE OWNERS OF TRACTS F-1-B-1, F-1-B-2 & F-1-A & IS TO BE MAINTAINED BY SAID OWNERS.

**LEGAL DESCRIPTION**

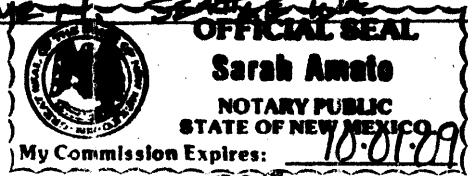
Tract F-1-B, as shown and designated on plat entitled "Correction Plat of tracts E-1-A, F-1-A & F-1-B, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the said plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 15, 2005 in Plat Book 2005C, Page 251; and being more particularly described as follows:

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OWNER(S) SIGNATURE: [Signature] DATE: 5/20/09  
 OWNER(S) PRINT NAME: JOSEPH R. GEIVETT  
 ADDRESS: 1919 QUEEN ALLE AND SEVEN TRACT: \_\_\_\_\_  
 ACKNOWLEDGMENT STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20<sup>th</sup> DAY OF MAY, 2009.  
 BY: JOSEPH R. GEIVETT  
 MY COMMISSION EXPIRES: 10-01-09



[Signature]  
 NOTARY PUBLIC

**PLAT OF TRACTS F-1-B-1 & F-1-B-2 AMERICAN SQUARE SECTION 10, T. 10 N., R. 3 E., N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY 2009 SHEET 1 OF 2**

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO TWO (2) NEW TRACTS.

CITY APPROVALS:	PROJECT NO.:	APPLICATION NO.:
<u>[Signature]</u>		<u>5-22-09</u>
CITY SURVEYOR		DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION		DATE
PARKS & RECREATION DEPARTMENT		DATE
A.B.C.W.U.A.		DATE
A.M.A.F.C.A.		DATE
CITY ENGINEER		DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE

**SURVEYOR'S CERTIFICATION:**

I, Anthony L. Harris, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

[Signature] 5-19-09  
 Anthony L. Harris Date  
 New Mexico Professional Surveyor, 11463

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
 UPC#: \_\_\_\_\_  
 PROPERTY OWNER OF RECORD: \_\_\_\_\_  
 BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

**THE SURVEY OFFICE, LLC**  
 333 LOMAS BLVD., N.E. PHONE: (505) 998-0303  
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0305  
 87102  
 0905A101 T10N R3E SEC. 10



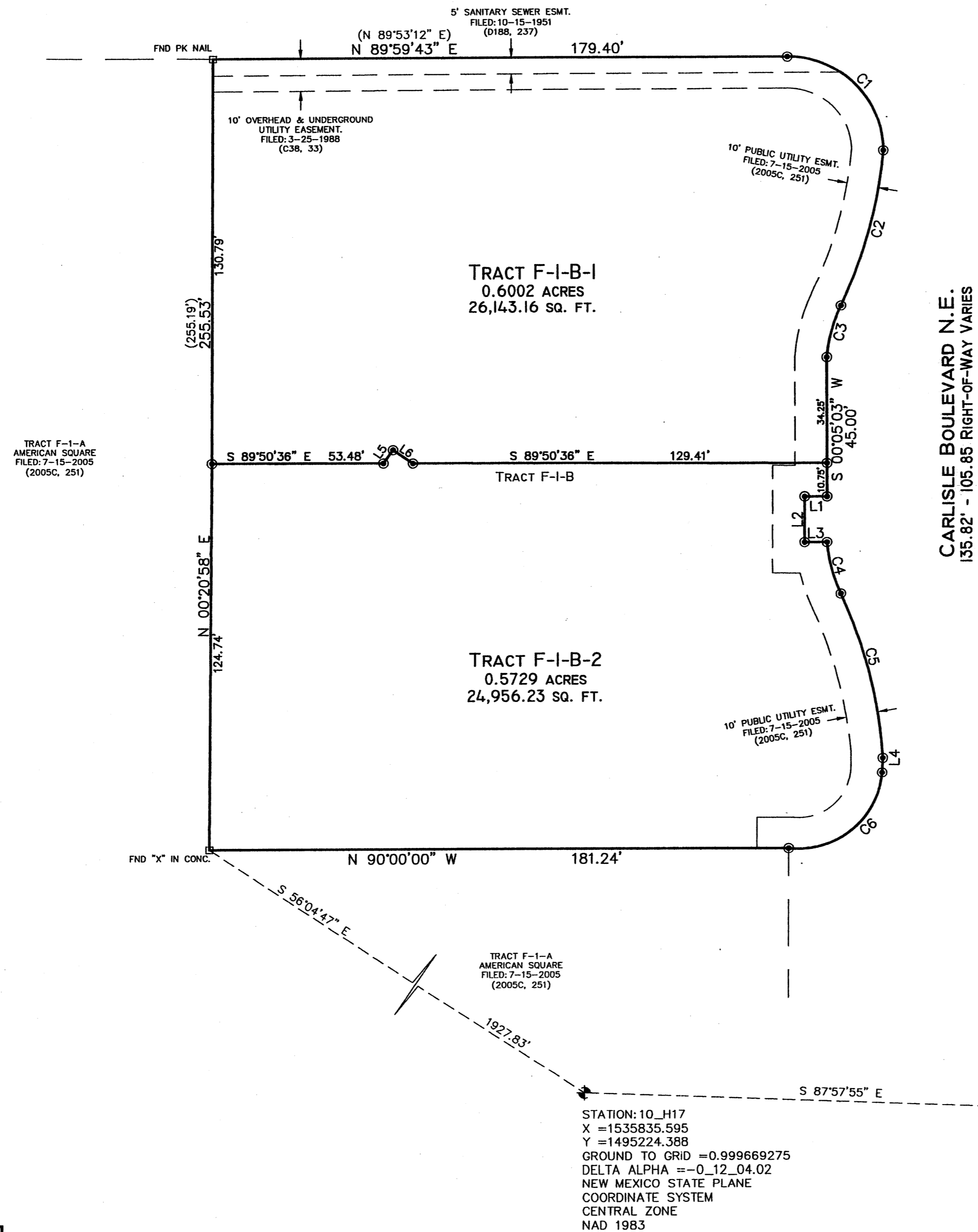
**PLAT OF  
TRACTS F-1-B-1 & F-1-B-2  
AMERICAN SQUARE  
SECTION 10, T. 10 N., R. 3 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MAY 2009  
SHEET 2 OF 2**

15 10 5 0 10 20 30

1" = 30'  
PROJECT NO. 0905AT01  
DRAWN BY: AT  
ZONE ATLAS: H-16-Z  
AMERSQ.CR5



**CLAREMONT AVENUE N.E.  
60' RIGHT-OF-WAY**



LINE TABLE		
LINE	LENGTH	BEARING
L1	7.00'	N89°54'57"W
L2	15.00'	S00°05'03"W
L3	7.00'	S89°54'57"E
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C6	44.70'	26.30'	97°23'13"	39.51'	S48°15'53"W

TRACT F-1-A  
AMERICAN SQUARE  
FILED: 7-15-2005  
(2005C, 251)

TRACT F-1-B-1  
0.6002 ACRES  
26,143.16 SQ. FT.

TRACT F-1-B-2  
0.5729 ACRES  
24,956.23 SQ. FT.

**CARLISLE BOULEVARD N.E.  
135.82' - 105.85 RIGHT-OF-WAY VARIES**

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Y = 1495173.375  
GROUND TO GRID = 0.999668300  
DELTA ALPHA = -0.11\_55.34  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1983

STATION: 10\_H17  
X = 1535835.595  
Y = 1495224.388  
GROUND TO GRID = 0.999669275  
DELTA ALPHA = -0.12\_04.02  
NEW MEXICO STATE PLANE  
COORDINATE SYSTEM  
CENTRAL ZONE  
NAD 1983

**MONUMENT LEGEND**

- ◆ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET NAIL W/ WASHER STAMPED "PS 11463"

**THE SURVEY OFFICE, LLC**

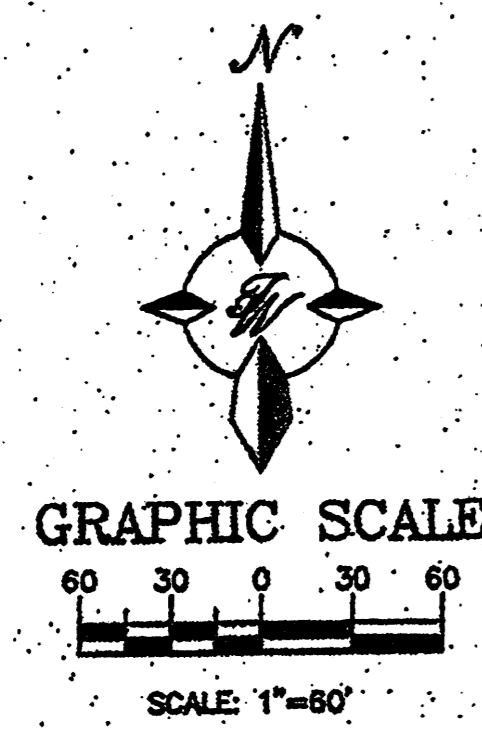
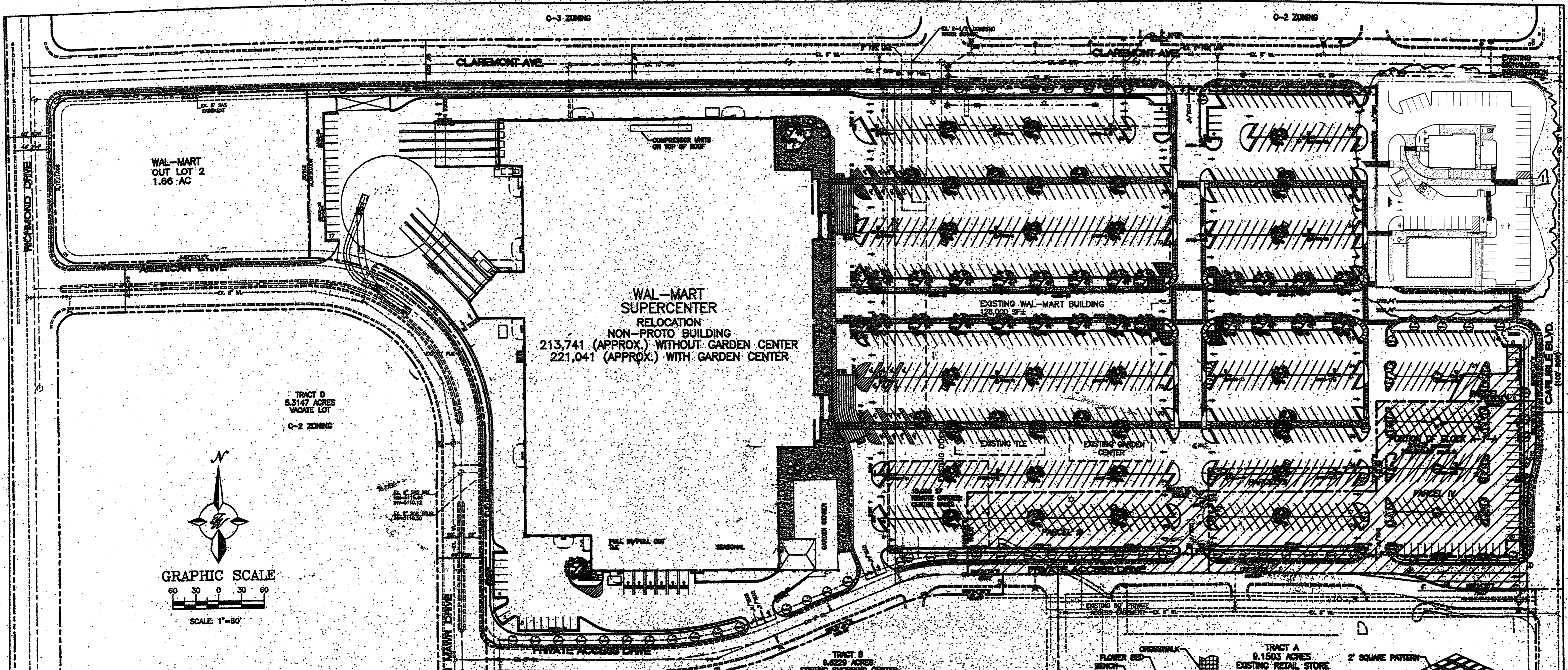
333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0305

0905AT01

**T10N R3E SEC.10**





**JOINT USE AREA PARKING DATA**

PARKING WITHIN PARCEL I	11
PARKING WITHIN PARCEL II	34
PARKING WITHIN PARCEL III	46
PARKING WITHIN PARCEL IV	136
<b>TOTAL SPACE WITHIN JOINT USE AREAS</b>	<b>227</b>

**SITE PARKING REQUIRED W/ 20% BUS CREDIT** 834

**10% BUS BAY CREDIT** 1063

**5% BUS SHELTER CREDIT** 1063

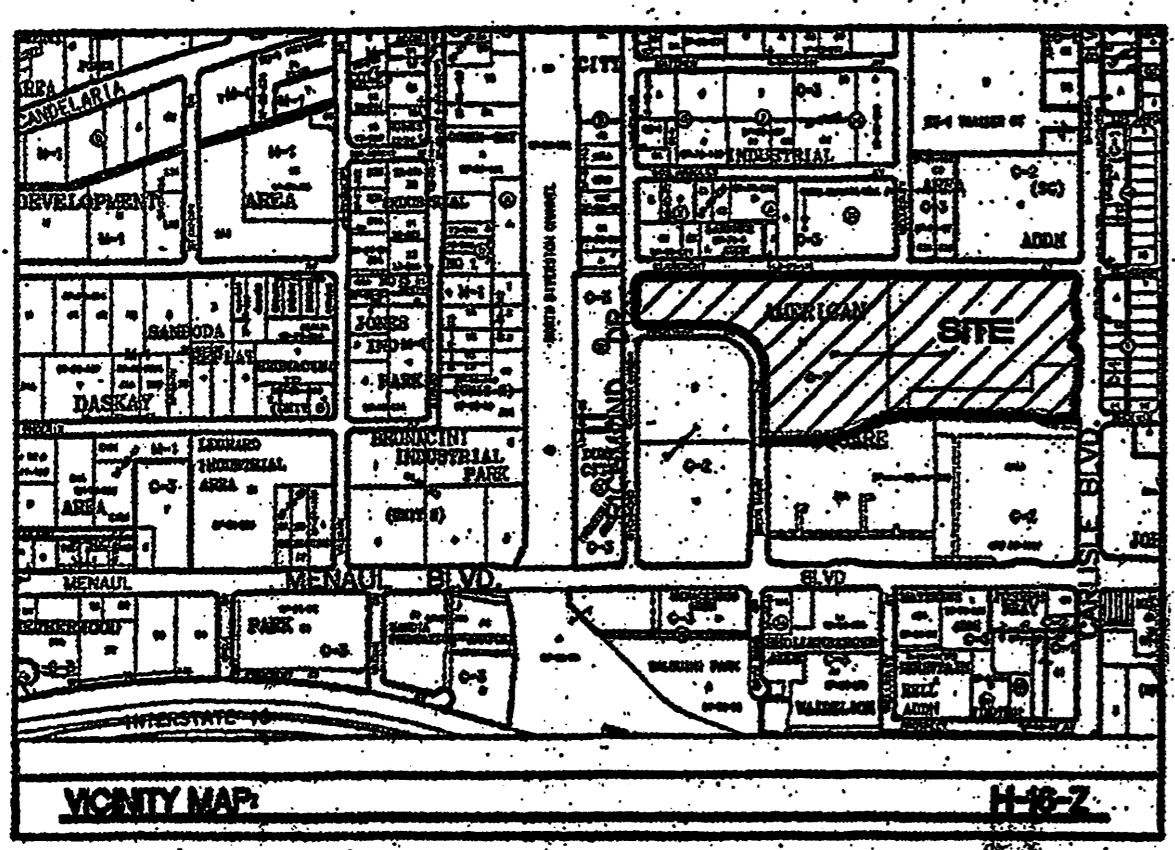
**5% BUS CREDIT, OVER 5 AC SITE** 1063

**SITE PARKING PROVIDED** 1063

**SITE PARKING PROVIDED MINUS JOINT USE** 837

**LEGEND**

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CURB
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER
- PROPOSED LIGHT POLE
- ▨ PARCELS WITHIN JOINT USE AREAS



**LEGAL DESCRIPTION**  
BLOCK E1 AND F1, AMERICAN SQUARE

**SITE DATA**

PROPOSED USAGE:	PROPOSED EXPANSION:
EXISTING ZONING:	C-2
LOT AREA:	
WAL-MART TRACT	20,5988 AC
OUT LOT 1	1,1916 AC
OUT LOT 2	1,6593 AC
<b>TOTAL:</b>	<b>23,4497 AC</b>

**TOTAL BUILDING AREA**

EXISTING WAL-MART	213,741	SF
EXISTING WAL-MART GARDEN CENTER	7,300	SF
JACK-IN-THE-BOX RESTAURANT	2,438	SF
NEW RETAIL STORES	4,000	SF
<b>TOTAL</b>	<b>227,479</b>	<b>SF</b>

**PARKING ANALYSIS**

EXISTING WAL-MART	213,741	SF	75	SPACES
First 15,000 SF (1 space/200 sf)	15,000		180	SPACES
Next 45,000 SF (1 space/250 sf)	45,000		180	SPACES
Excess 90,000 SF (1 space/300 sf)	153,741		512	SPACES
<b>TOTAL</b>	<b>227,479</b>	<b>SF</b>	<b>767</b>	<b>SPACES</b>

**EXISTING WAL-MART GARDEN CENTER**

7,300 SF/400 SF	19	SPACES
JACK-IN-THE-BOX RESTAURANT	12	SPACES
48 SEAT/4 SEATS	20	SPACES
NEW RETAIL STORES	20	SPACES
<b>TOTAL</b>	<b>618</b>	<b>SPACES</b>

**30% REDUCTION FOR BUS ROUTE & SHELTER**

TOTAL PARKING REQUIRED	834	SPACES
TOTAL PARKING PROVIDED	1063	SPACES

**BICYCLE PARKING REQUIRED (1 space / 20 parking spaces required)**

BICYCLE PARKING PROVIDED	38	SPACES
--------------------------	----	--------

**HANDICAPPED PARKING PROVIDED**

HANDICAPPED PARKING PROVIDED	26 (7 VAN)	SPACES
------------------------------	------------	--------

**APPROVED**

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRP SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date: _____
Water Authority	Date: _____
Parks and Recreation Department	Date: _____
City Engineer	Date: _____
Solid Waste Management	Date: _____
DRP Chairperson, Planning Department	Date: _____

- SHEET INDEX**
1. SITE PLAN FOR SUBDIVISION
  2. SITE PLAN FOR BUILDING PERMIT - A
  3. SITE PLAN FOR BUILDING PERMIT - B
  4. LANDSCAPE PLAN
  5. ELEVATIONS
  - 5A. ELEVATIONS
  6. GRADING AND DRAINAGE PLAN - A
  - 6A. GRADING AND DRAINAGE PLAN - B
  7. MASTER UTILITY PLAN - A
  - 7A. MASTER UTILITY PLAN - B
  8. DETAILS
  9. DETAILS
  10. DETAILS
  11. DETAILS
  12. DETAILS

**ALBUQUERQUE WAL-MART EXPANSION, NM 850-03**

**AMENDED SITE PLAN FOR SUBDIVISION**

**TERRA WEST, LLC**  
5509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505) 261-1100

**ENGINEER'S SEAL:** RONALD R. BOHANNAN P.E. #7689

**DRAWN BY:** BDG

**DATE:** 04/09/03

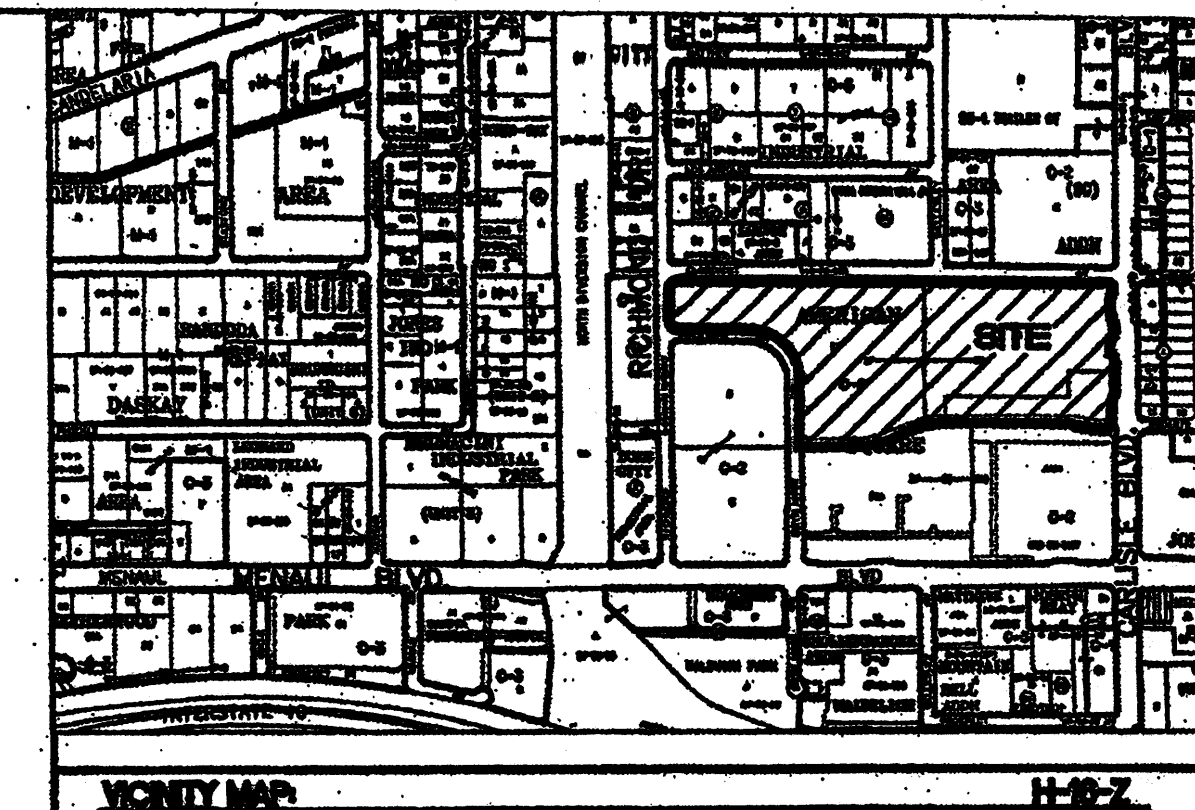
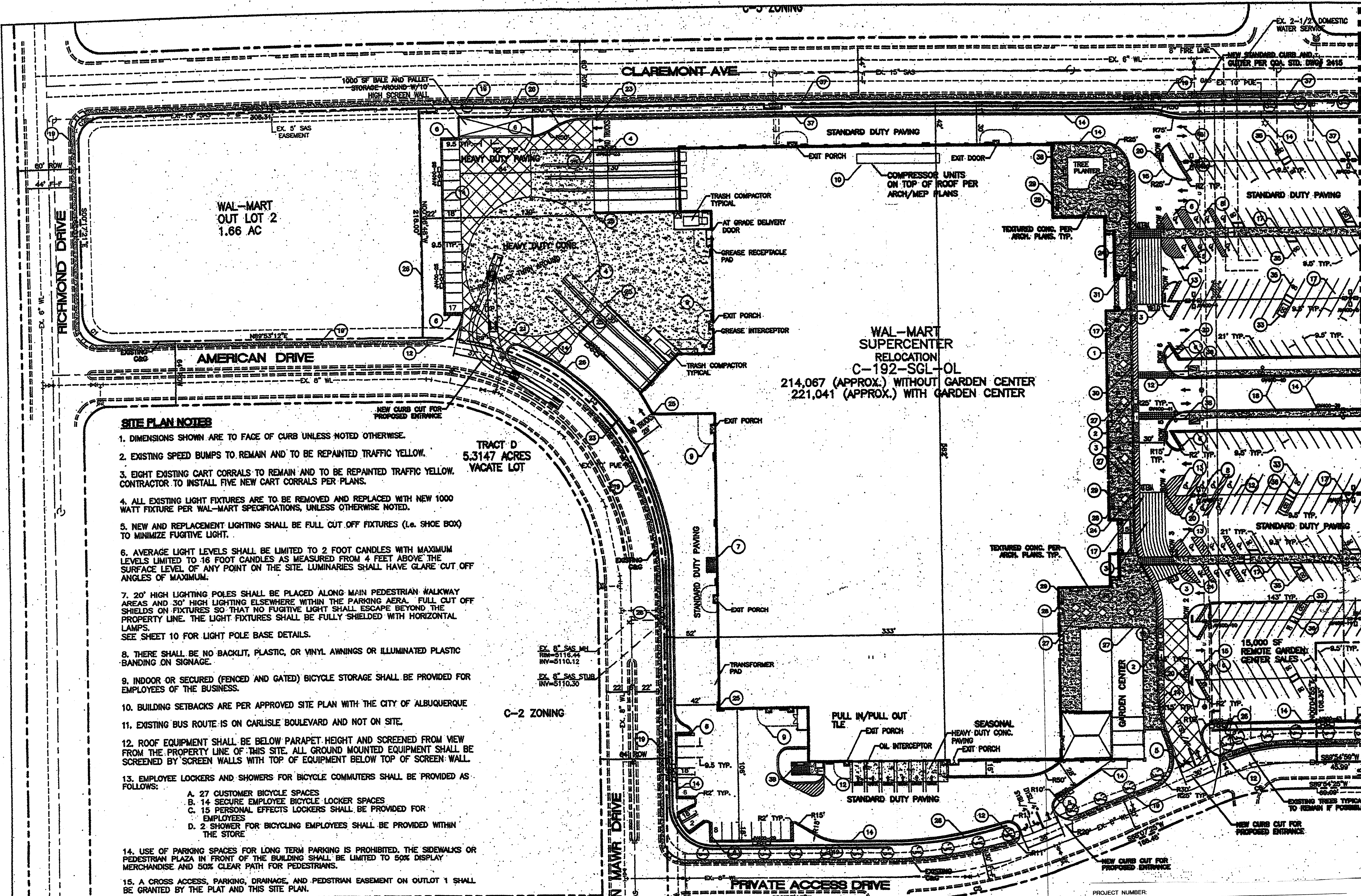
**217DSP-01.DWG**

**SHEET # 1**

**JOB # 21075**

1002249





**LEGAL DESCRIPTION**  
BLOCK E1 AND F1, AMERICAN SQUARE

**SITE PLAN NOTES**

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
- EIGHT EXISTING CART CORRALS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW. CONTRACTOR TO INSTALL FIVE NEW CART CORRALS PER PLANS.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINAIRES SHALL HAVE CLARE CUT OFF ANGLES OF MAXIMUM.
- 20' HIGH LIGHTING POLES SHALL BE PLACED ALONG MAIN PEDESTRIAN WALKWAY AREAS AND 30' HIGH LIGHTING ELSEWHERE WITHIN THE PARKING AREA. FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE SHEET 10 FOR LIGHT POLE BASE DETAILS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
- EXISTING BUS ROUTE IS ON CARLISLE BOULEVARD AND NOT ON SITE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- EMPLOYEE LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
  - A. 27 CUSTOMER BICYCLE SPACES
  - B. 14 SECURE EMPLOYEE BICYCLE LOCKER SPACES
  - C. 15 PERSONAL EFFECTS LOCKERS SHALL BE PROVIDED FOR EMPLOYEES
  - D. 2 SHOWER FOR BICYCLING EMPLOYEES SHALL BE PROVIDED WITHIN THE STORE
- USE OF PARKING SPACES FOR LONG TERM PARKING IS PROHIBITED. THE SIDEWALKS OR PEDESTRIAN PLAZA IN FRONT OF THE BUILDING SHALL BE LIMITED TO 50% DISPLAY MERCHANDISE AND 50% CLEAR PATH FOR PEDESTRIANS.
- A CROSS ACCESS, PARKING, DRAINAGE, AND PEDSTRIAN EASEMENT ON OUTLOT 1 SHALL BE GRANTED BY THE PLAT AND THIS SITE PLAN.

**WAL-MART SUPERCENTER RELOCATION**  
C-192-SGL-OL  
214,067 (APPROX.) WITHOUT GARDEN CENTER  
221,041 (APPROX.) WITH GARDEN CENTER

TRACT D  
5.3147 ACRES  
VACATE LOT

TRACT B  
9.6229 ACRES  
EXISTING SHOPPING CENTER

**SITE DATA**

PROPOSED USAGE:	PROPOSED EXPANSION
EXISTING ZONING:	C-2
LOT AREA:	
WAL-MART TRACT	19,2558 AC
PORTION OF BLOCK A-1-A	2,4472 AC
OUT LOT 1	1,1916 AC
OUT LOT 2	1,6593 AC
TOTAL:	23,5539± AC

TOTAL BUILDING AREA	SF	SF
EXISTING WAL-MART	213,741	SF
EXISTING WAL-MART GARDEN CENTER	7,300	SF
JACK-IN-THE-BOX RESTAURANT	2,433	SF
NEW RETAIL SHOPS	4,000	SF
TOTAL	227,474	SF

PARKING ANALYSIS	SF	SPACES
EXISTING WAL-MART	213,741	SF
First 15,000 SF (1 space/200 sf)	15,000	75
Next 45,000 SF (1 space/250 sf)	45,000	180
Exceeds 60,000 SF (1 space/300 sf)	153,741	512
TOTAL	767	SPACES

EXISTING WAL-MART GARDEN CENTER	SF	SPACES
7,300 SF/400 SF	19	SPACES
JACK-IN-THE-BOX RESTAURANT	48 SEATING SPACES	12
NEW RETAIL SHOPS	4,000 SF/200 SF	20
TOTAL	618	SPACES

30% REDUCTION FOR BUS ROUTE & SHELTER	SPACES
TOTAL PARKING REQUIRED	654
TOTAL PARKING PROVIDED	1006

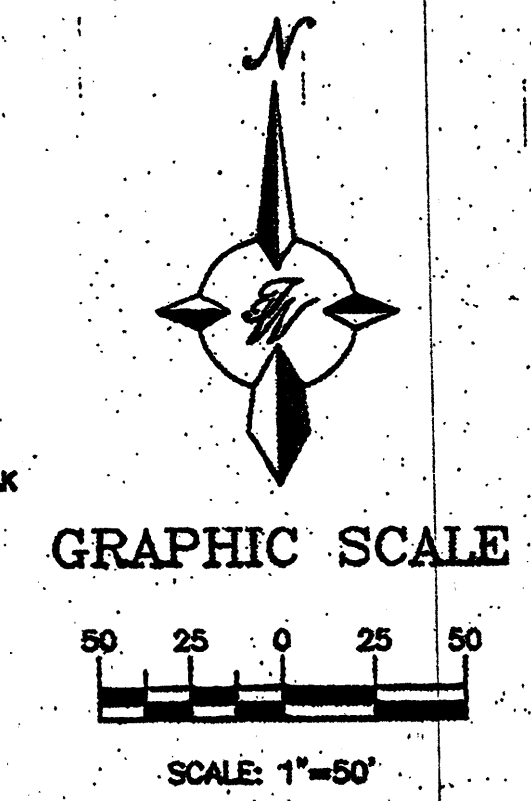
BICYCLE PARKING REQUIRED (1 space / 20 parking spaces required)	SPACES
BICYCLE PARKING PROVIDED	38

HANDICAPPED PARKING REQUIRED	SPACES
HANDICAPPED PARKING PROVIDED	26 (7 VAN)

**PAINT STRIPING LEGEND**  
 SWSL 4" - SINGLE WHITE SOLID LINE / 4" WIDE  
 SYSL 4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH  
 DYSL 4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH  
 SYSL 10" - SINGLE YELLOW SOLID LINE / 10" WIDE  
 SWSL 24" - SINGLE WHITE SOLID LINE / 24" WIDE

- LEGEND**
- EXISTING CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - PROPOSED EASEMENT
  - PROPOSED SCREEN WALL
  - PROPOSED RETAINING WALL
  - PROPOSED SIDEWALK
  - PROPOSED BOLLARD
  - PROPOSED PEDESTRIAN CROSSWALK
  - PROPOSED CART CORRALS
  - ASSOCIATE PARKING AREA
  - HEAVY DUTY PAVING
  - HEAVY DUTY CONCRETE
  - BIKE RACK
  - BIKE LOCKER



PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision as satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

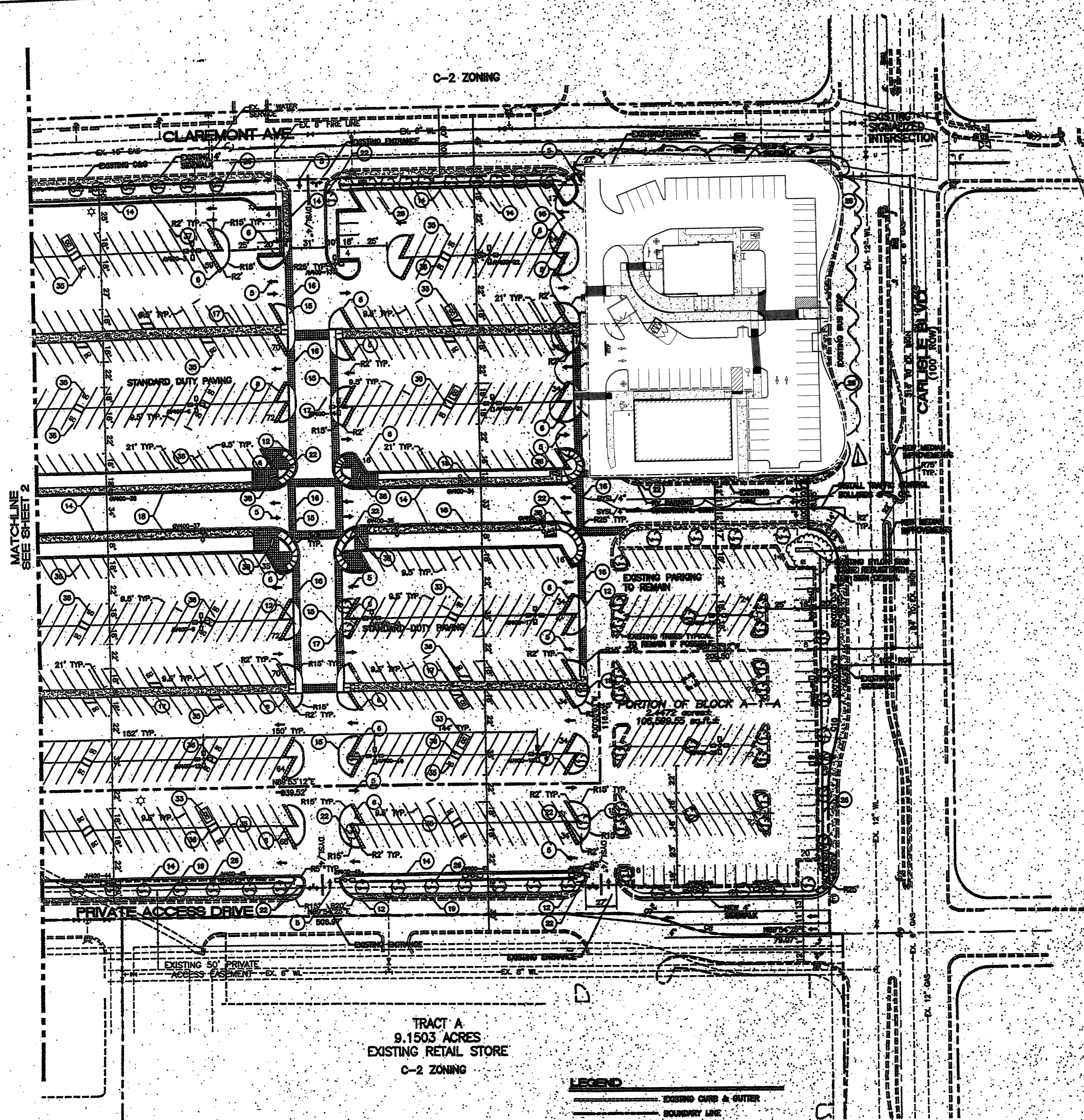
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Authority	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

- SITE LEGEND**
- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL. CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 9 OF 12)
  - NO PARKING-FIRE LANE PAINTED TRAFFIC YELLOW ON PAVEMENT AT 90° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 9 OF 12)
  - "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 8 OF 12)
  - PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS.
  - PAINTED DIRECTIONAL ARROW TYPICAL. (SHT 8 OF 12)
  - 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
  - 10' x 15' STRIPED AREA PAINTED SYSL 4" AT 45° @ 2'-0" O.C. AT 30' GRADE LOCATION. SEE ARCH. PLANS
  - ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("W" - INDICATES VAN ACCESSIBLE SPACE). (SHT 8 OF 12)
  - RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
  - ROOF MOUNTED 15"X10" COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
  - SCREEN WALL PER ARCH. PLANS
  - UNIDIRECTIONAL MC RAMP. (SHT 9 OF 12)
  - PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL 4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
  - 6" CONCRETE CURB AND GUTTER TYPICAL.
  - 6" CONCRETE HEADER CURB TYPICAL. (SHT 8 OF 12)
  - 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8 )
  - 6" WIDE BASED CONCRETE SIDEWALK TYPICAL. (SHT 8 OF 12)
  - 6" CONCRETE SIDEWALK TYPICAL.
  - 4" CONCRETE SIDEWALK TYPICAL.
  - ANGLE INDICATOR SIGNS TYPICAL. (SHT 8 OF 12)
  - "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
  - "STOP" SIGN. SEE PLAN FOR LOCATION.
  - "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
  - PEDESTRIAN CROSSING SIGN W14-2 AND W14-3p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
  - 6" DIA. FIVE BOLLARD TYPICAL. (SHT 10 OF 12)
  - 3' HIGH SCREEN WALL. (SHT 8 OF 12)
  - 6"X6" TREE PLANTER TYPICAL. (SHT 9 OF 12)
  - (3) 5 SPACE BIKE RACK TYPICAL. (SHT 8 OF 10)
  - BIKE LOCKERS (3 UNITS, 15 TOTAL LOCKER SPACES). (SHT 8 OF 12)
  - ZERO CURB PER ARCH. SECTIONS
  - PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
  - PROPOSED LIGHTING.
  - CART CORRALS TYPICAL. (SHT 8 OF 12)
  - PROPOSED MC RAMP. (SHT 9 OF 12)
  - SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
  - TREE PLANTER TYPICAL. (SHT 9 OF 12)
  - RETAINING WALL TYPICAL. (SHT 8 OF 10)
  - WROUGHT IRON PARK BENCHES TYPICAL.

	<b>ALBUQUERQUE WAL-MART EXPANSION, NM- 850-03</b> SITE PLAN FOR BUILDING PERMIT - A	DRAWN BY BDC DATE 05/23/03 2175SP1.DWG
	<b>TERRA WEST, LLC</b> 2509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>2</b> JOB # 21075





TRACT A  
9.1503 ACRES  
EXISTING RETAIL STORE  
C-2 ZONING

**LEGEND**

	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED EASEMENT
	PROPOSED SCREEN WALL
	PROPOSED RETAINING WALL
	PROPOSED SIDEWALK
	PROPOSED BOLLARD
	PROPOSED PEDESTRIAN CROSSWALK
	PROPOSED CART CORRALS
	ASSOCIATE PARKING AREA
	BIKE RACK
	BIKE LOCKER

**LINE TABLE**

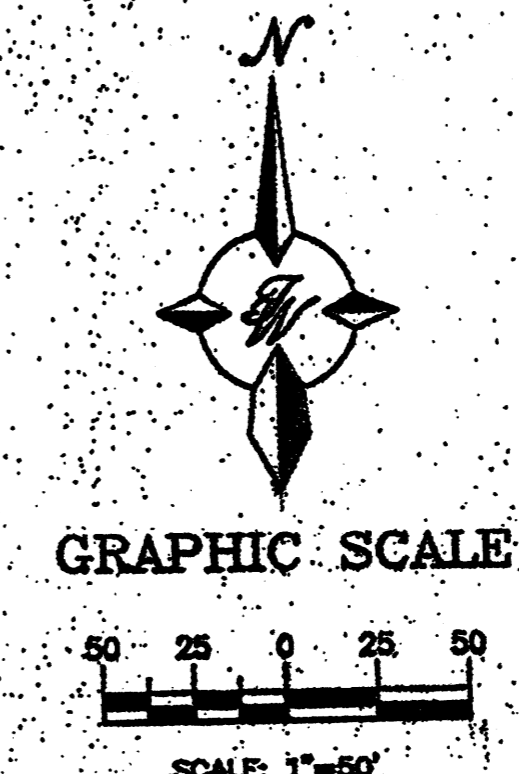
LINE	LENGTH	BEARING
L3	4.80	S80°05'33"W
L4	7.60	N87°54'58"W
L5	7.90	N87°54'58"W
L6	15.01	N80°05'31"E
L7	45.00	S00°05'31"W
L8	25.00	S00°04'35"W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	47.03	30.00	42.36	S45°11'56"E
C2	39.35	25.00	35.41	S44°47'42"W
C3	363.71	232.00	327.98	N45°12'05"W
C4	39.35	25.00	35.41	S44°47'55"W
C5	178.82	470.00	177.46	N79°00'18"E
C6	66.53	175.00	66.13	S79°00'57"W
C7	54.13	150.00	53.94	N78°45'18"E
C8	54.13	150.00	53.94	S78°45'18"E
C9	40.75	150.00	40.62	S07°52'01"W
C10	40.75	150.00	40.62	N07°52'01"E
C11	39.27	25.00	35.36	N47°54'58"W
C12	39.27	25.00	35.36	N47°54'58"E
C13	52.22	150.00	51.96	N05°53'20"W
C14	17.41	50.00	17.32	S05°53'15"E
C15	17.41	50.00	17.32	S10°05'20"W
C16	51.75	150.00	51.50	N10°05'48"E
C18	39.82	25.00	34.82	N45°52'44"W

**PANT STRIP LEGEND**

SYSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE  
 SYSY/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH  
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH  
 SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE  
 SYSY/4" - SINGLE WHITE DASHED LINE / 4" WIDE  
 SYSY/24" - SINGLE WHITE SOLID LINE / 24" WIDE



**SITE LEGEND**

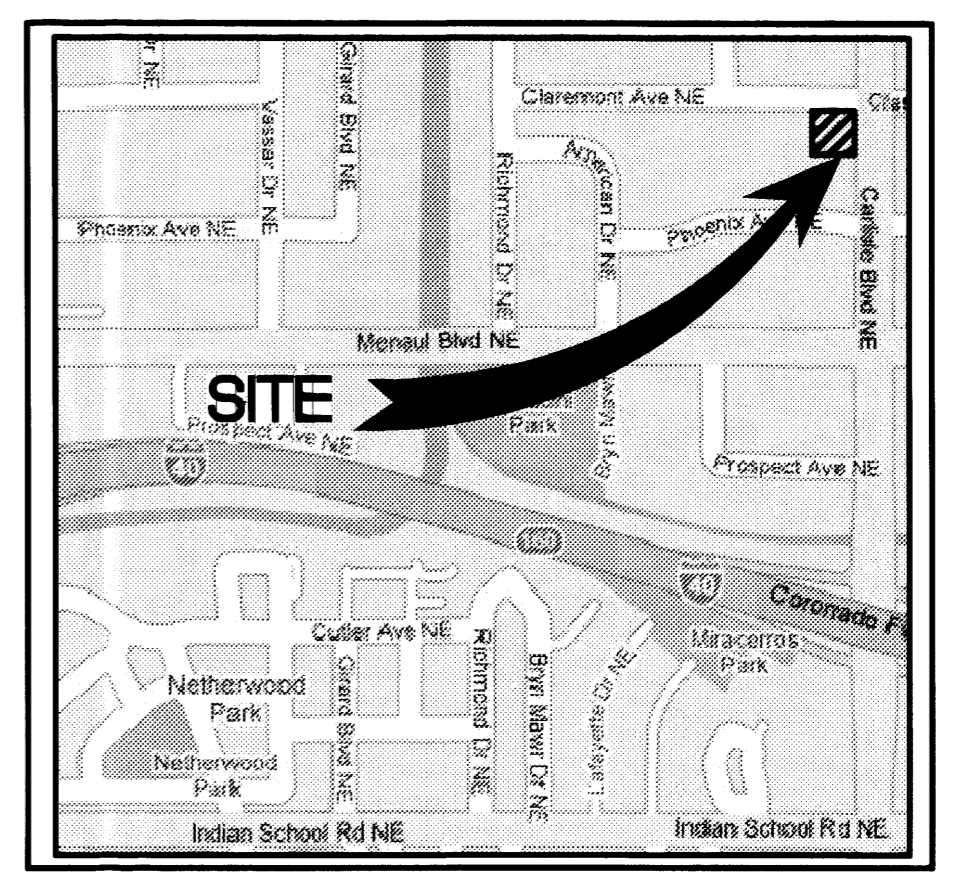
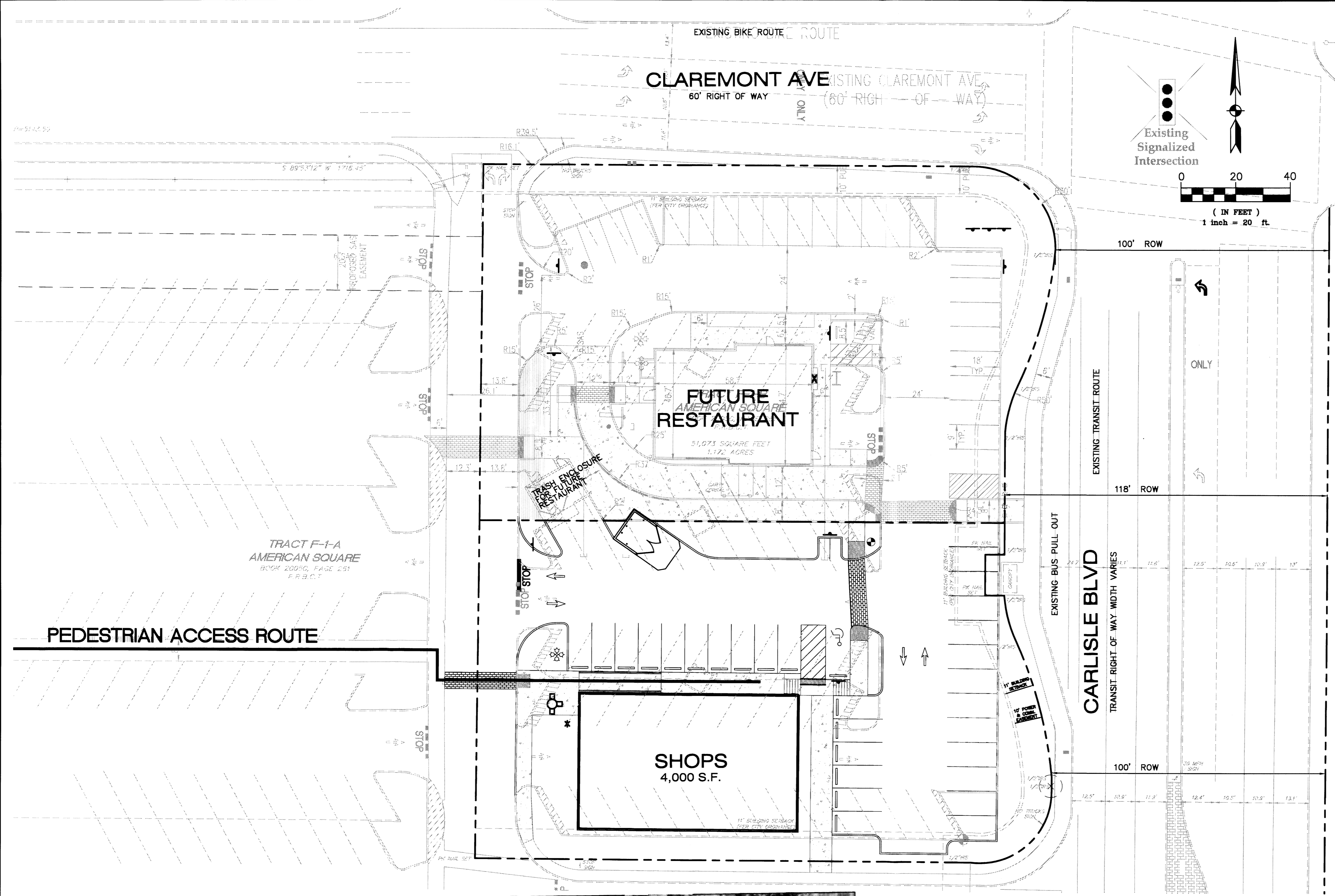
- 1 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS. (SHT 9 OF 12)
- 2 TWO PAINTED TRAFFIC LIGHT PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL. (SHT 9 OF 12)
- 3 "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. (SHT 8 OF 12)
- 4 PROVIDE (3) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- 5 PAINTED BIRECTIONAL ARROW TYPICAL. (SHT 8 OF 12)
- 6 2'-0" LONGitudinal ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPES AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 7 10' x 10' STRIPED AREA PAINTED SYSY/4" AT 45° @ 2'-0" O.C. AT 40 CRANE LOCATION. SEE ARCH. PLANS
- 8 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SEE SIGN AND SYMBOL (WVA)-REQUIRES WVA ACCESSIBLE SPACE. (SHT 3 OF 12)
- 9 RAMPED PAVEMENT AT VERTICALE TO BE FINISH WITH TOP OF SIDEWALK AT 5/8" MAX. SLOPE REFER TO ARCHITECTURAL PLANS.
- 10 ROOF MOUNTED 16"X10" COMPRESSOR UNITS REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND SLOPE.
- 11 SCREEN WALL PER ARCH PLANS
- 12 UNIDIRECTIONAL NO RAMP. (SHT 9 OF 12)
- 13 PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSY/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 14 6" CONCRETE CURB AND OUTER TYPICAL.
- 15 6" CONCRETE HEADER CURB TYPICAL. (SHT 8 OF 12)
- 16 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. PAINTED WHITE (SHT 9)
- 17 6" WIDE BASED CONCRETE SIDEWALK TYPICAL. (SHT 8 OF 12)
- 18 6" CONCRETE SIDEWALK TYPICAL.
- 19 4" CONCRETE SIDEWALK TYPICAL.
- 20 ARBLE INDICATOR SIGN TYPICAL. (SHT 8 OF 12)
- 21 "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- 22 "STOP" SIGN. SEE PLAN FOR LOCATION.
- 23 "NO TRUCKS" SIGN. SEE PLAN FOR LOCATION.
- 24 PEDESTRIAN CROSSING SIGN R2-2 AND W8-4 TYPICAL AT PEDESTRIAN CROSSINGS AS NOTED ON PLANS.
- 25 6" DIA. FPE BOLLARD TYPICAL. (SHT 10 OF 12)
- 26 3' HIGH SCREEN WALL. (SHT 8 OF 12)
- 27 6"X6" TREE PLANTER TYPICAL. (SHT 9 OF 12)
- 28 (3) 5 SPACE BIKE RACK TYPICAL. (SHT 8 OF 10)
- 29 BIKE LOCKERS (3 UNITS, 10 TOTAL LOCKER SPACES). (SHT 8 OF 12)
- 30 ZERO CURB PER ARCH SECTIONS
- 31 PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPES PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR NOTED.
- 32 PROPOSED LIGHTING.
- 33 CURB CORRALS TYPICAL. (SHT 9 OF 12)
- 34 PROPOSED NO RAMP. (SHT 9 OF 12)
- 35 SMALL CON MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- 36 TREE PLANTER TYPICAL. (SHT 9 OF 12)
- 37 REPAIRING WALL TYPICAL. (SHT 8 OF 10)
- 38 MOUNTAIN BORN PARK BENCHES, TYPICAL.

AREA OF 6/08 AMENDMENT

ENGINEER'S SEAL	<b>ALBUQUERQUE WAL-MART EXPANSION, NM: 850-03</b>	DRAWN BY BDC
	<b>PREPARED BY SITE PLAN FOR BUILDING PERMIT - B</b>	DATE 05/20/03
	<b>TERRA WEST, LLC</b> 6500 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2178SP1.DWG
RONALD R. BOHANNAN P.E. 17899		SHEET # 3
		JOB # 21075



X:\60072006 Albuquerque\2 Drawings\Construction Documents\C1.0-SITEPLAN.dwg May 10, 2009 - 7:15pm



VICINITY MAP  
SCALE 1"=1000'

**SITE DATA**

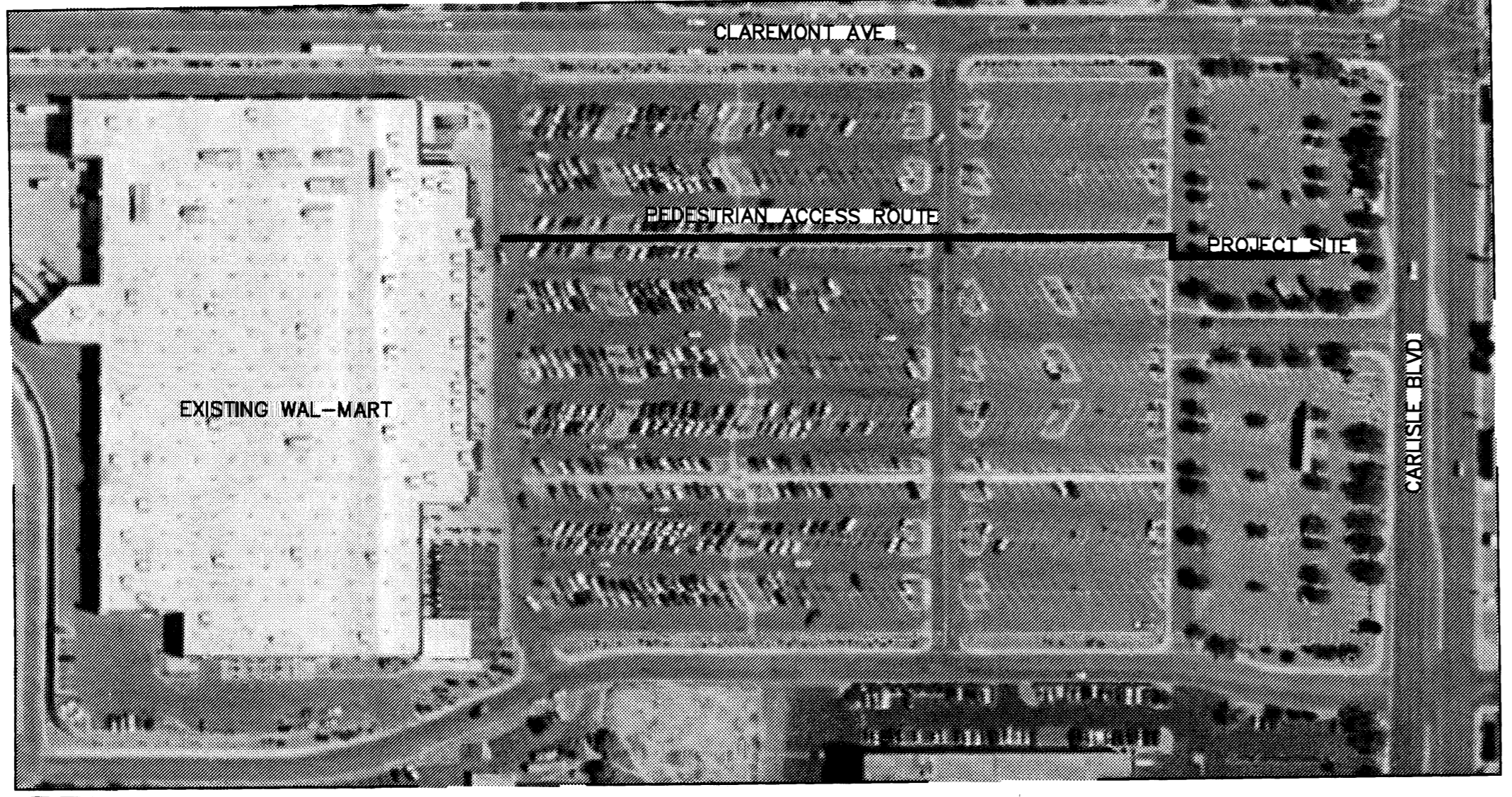
SITE AREA 0.52 AC  
EXISTING ZONING C-2

**LEGAL DESC.**

TRACT "F-1-B", PLAT FOR AMERICAN SQUARE, ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO, ON JULY 15, 2005, IN PLAT BOOK 2005C, PAGE 251.

**LEGEND**

- EASEMENT
- PROPERTY BOUNDARY
- NEW CONCRETE
- NEW CURB



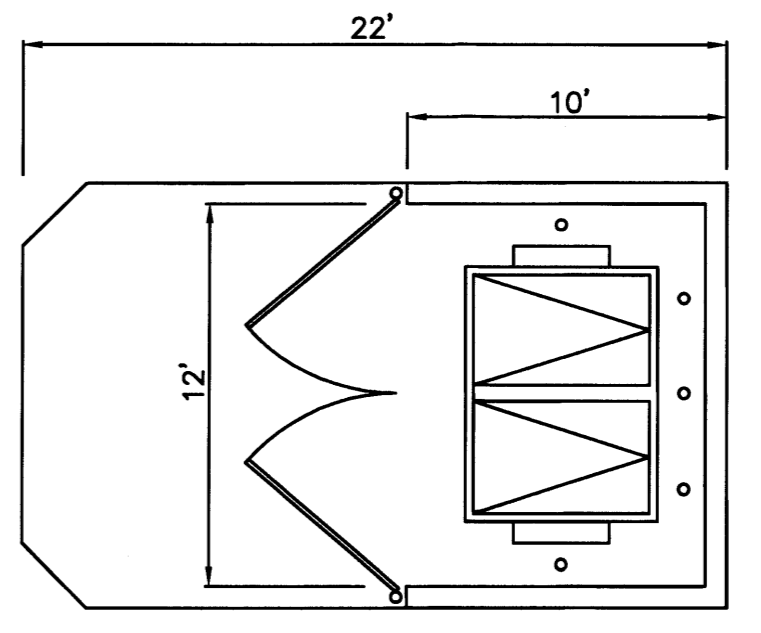
PEDESTRIAN ACCESS ROUTE  
N.T.S.

**PARKING DATA**

RETAIL SHOPS = 4000 SF  
PARKING RATIO = 5 / 1000 SF LESS 10% TRANSIT REDUCTION

PARKING REQUIRED (ADJUSTED)	18
PARKING PROVIDED	30
HANDICAP PARKING PROVIDED	1
HANDICAP PARKING REQUIRED	1
MOTORCYCLE PARKING PROVIDED	2
MOTORCYCLE PARKING REQUIRED	1
BICYCLE PARKING PROVIDED	4
BICYCLE PARKING REQUIRED	2

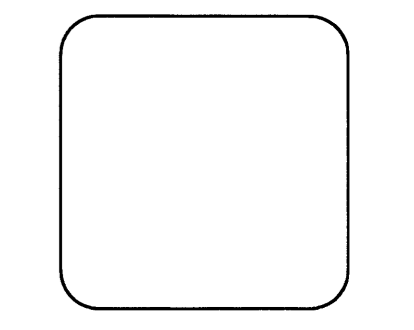
THIS SITE WILL HAVE A CROSS PARKING AGREEMENT WITH THE JACK-IN-THE-BOX SITE TO THE NORTH.  
THIS SITE WILL HAVE A CROSS ACCESS AGREEMENT WITH THE JACK-IN-THE-BOX SITE TO THE NORTH.



TRASH ENCLOSURE DETAIL

No.	Date	By	Revision Description

Issue Date:	5-09
Designed By:	DESIGNED MAJ
Drawn By:	DRAWN MAJ
Checked By:	CHECKED MAJ
Project No.:	60072006



**PACLAND**  
 T. (602) 273-2500  
 F. (602) 273-2505  
 www.PACLAND.com  
 432 N. 44TH ST.  
 SUITE 303  
 PHOENIX, AZ 85008

RETAIL SHOPS  
 2701 CARLISLE AVE NE  
 ALBUQUERQUE, NM  
 SITE PLAN FOR SUBDIVISION



**SITE DATA**

SITE AREA 0.52 AC  
EXISTING ZONING C-2

**BUILDING DATA**

RETAIL SHOPS 4000 SF  
MAXIMUM BUILDING HEIGHT = 26'  
SETBACK = 11'  
CONSTRUCTION TYPE VB (NON-SPRINKLED)  
NOTE: ADDITIONAL BUILDING INFORMATION IS CONTAINED ON THE BUILDING ELEVATION SHEETS.

**LEGAL DESC.**

TRACT "F-1-B", PLAT FOR AMERICAN SQUARE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 15, 2005, IN PLAT BOOK 2005C, PAGE 251.

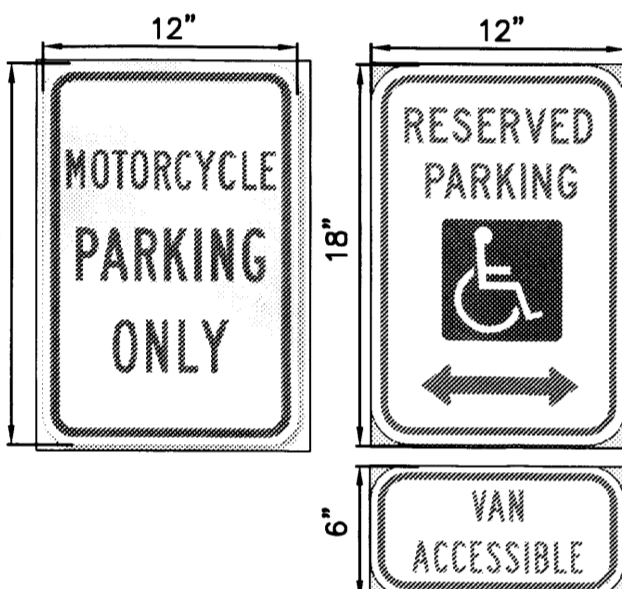
**LEGEND**

- EASEMENT
- PROPERTY BOUNDARY
- NEW CONCRETE
- NEW CURB
- ⑬ PARKING STALL COUNT

**BOUNDARY INFORMATION**

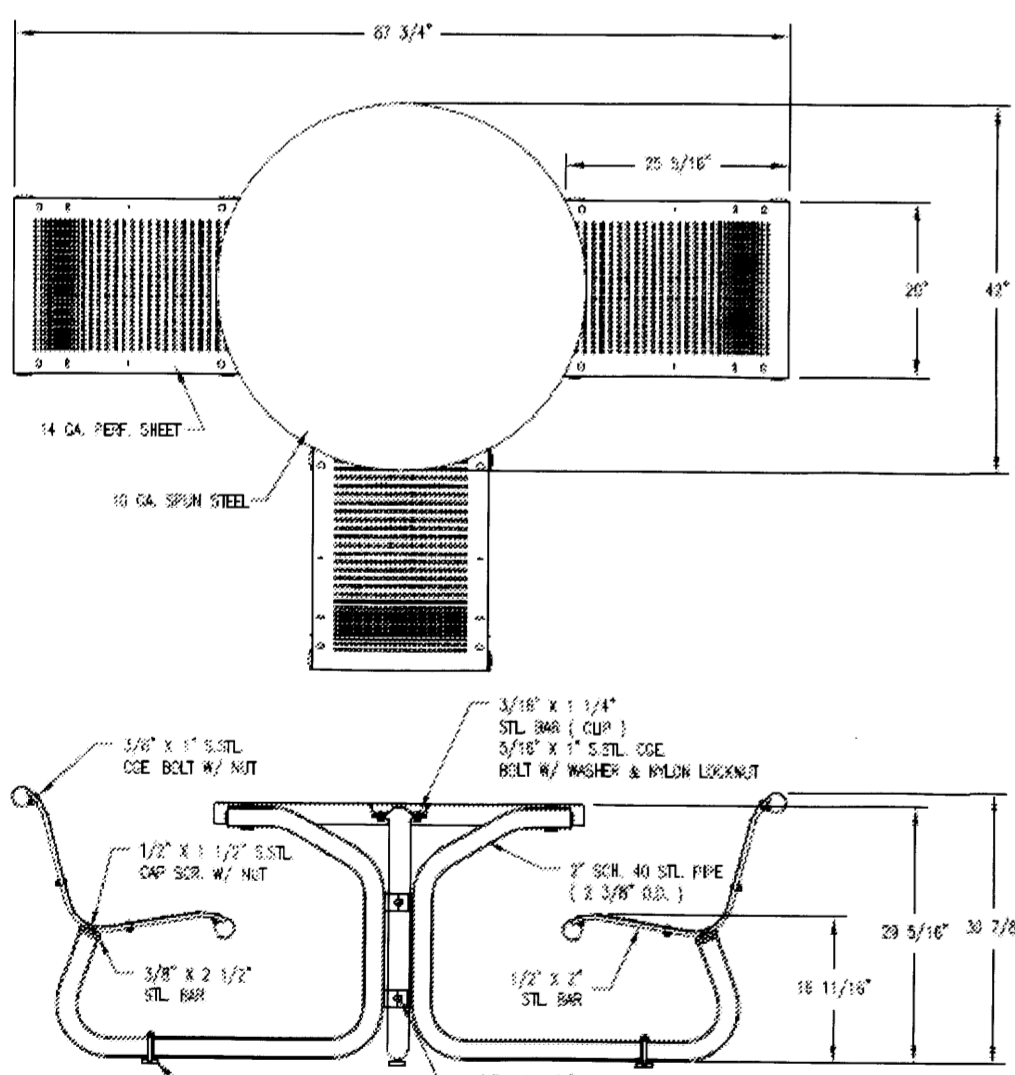
LINE	BEARING	LENGTH
L1	S80°05'03"W	45.00
L2	N89°54'57"W	7.00
L3	S00°25'03"W	15.00
L4	S89°54'57"E	7.00
L5	S00°05'03"W	51.8

CURVE	DELTA	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	90°27'29"	47.35	36.00	N44°53'08"W	42.69
C2	19°56'48"	52.22	150.00	N15°04'49"E	51.96
C3	19°57'01"	17.41	50.00	S15°04'55"W	17.32
C4	19°57'01"	17.41	50.00	S14°44'39"E	17.32
C5	19°04'36"	52.23	156.88	N14°57'27"W	51.99
C6	97°23'13"	44.70	26.30	N48°15'53"E	39.51



**SIGN DETAILS**

**TRASH ENCLOSURE DETAIL**



**OUTDOOR SEATING DETAIL**

**PARKING DATA**

RETAIL SHOPS = 4000 SF  
PARKING RATIO = 5 / 1000 SF LESS 10% TRANSIT REDUCTION

PARKING REQUIRED (ADJUSTED)	18
PARKING PROVIDED	30
HANDICAP PARKING PROVIDED	1
HANDICAP PARKING REQUIRED	1
MOTORCYCLE PARKING PROVIDED	2
MOTORCYCLE PARKING REQUIRED	1
BICYCLE PARKING PROVIDED	4
BICYCLE PARKING REQUIRED	2

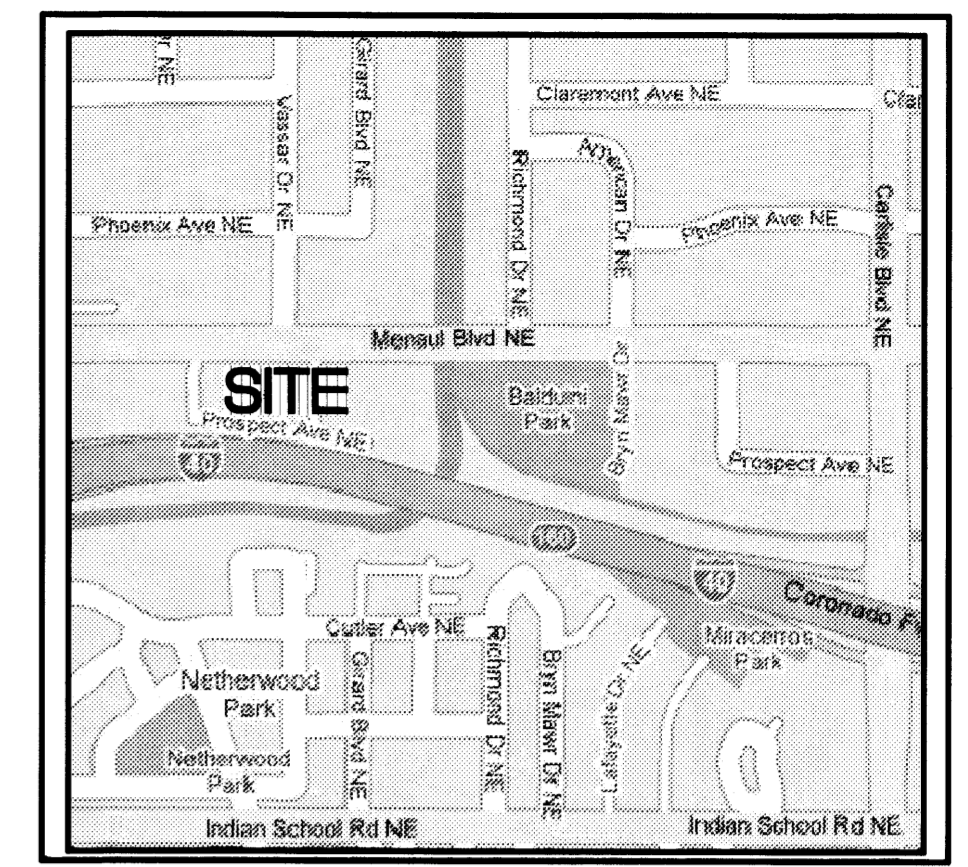
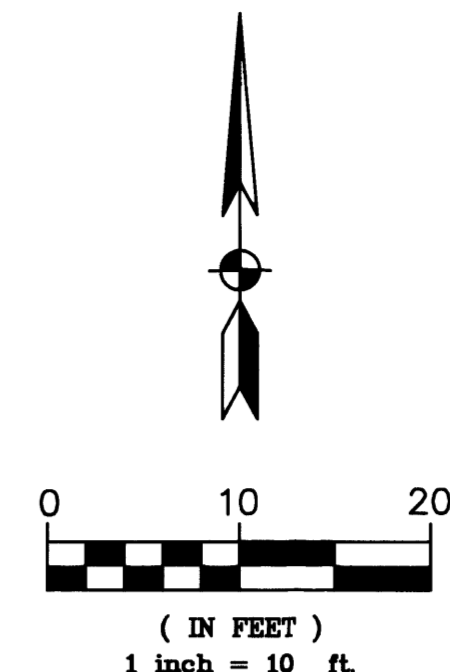
THIS SITE WILL HAVE A CROSS PARKING AGREEMENT WITH THE JACK-IN-THE-BOX SITE TO THE NORTH.  
THIS SITE WILL HAVE A CROSS ACCESS AGREEMENT WITH THE JACK-IN-THE-BOX SITE TO THE NORTH.

**NOTES:**

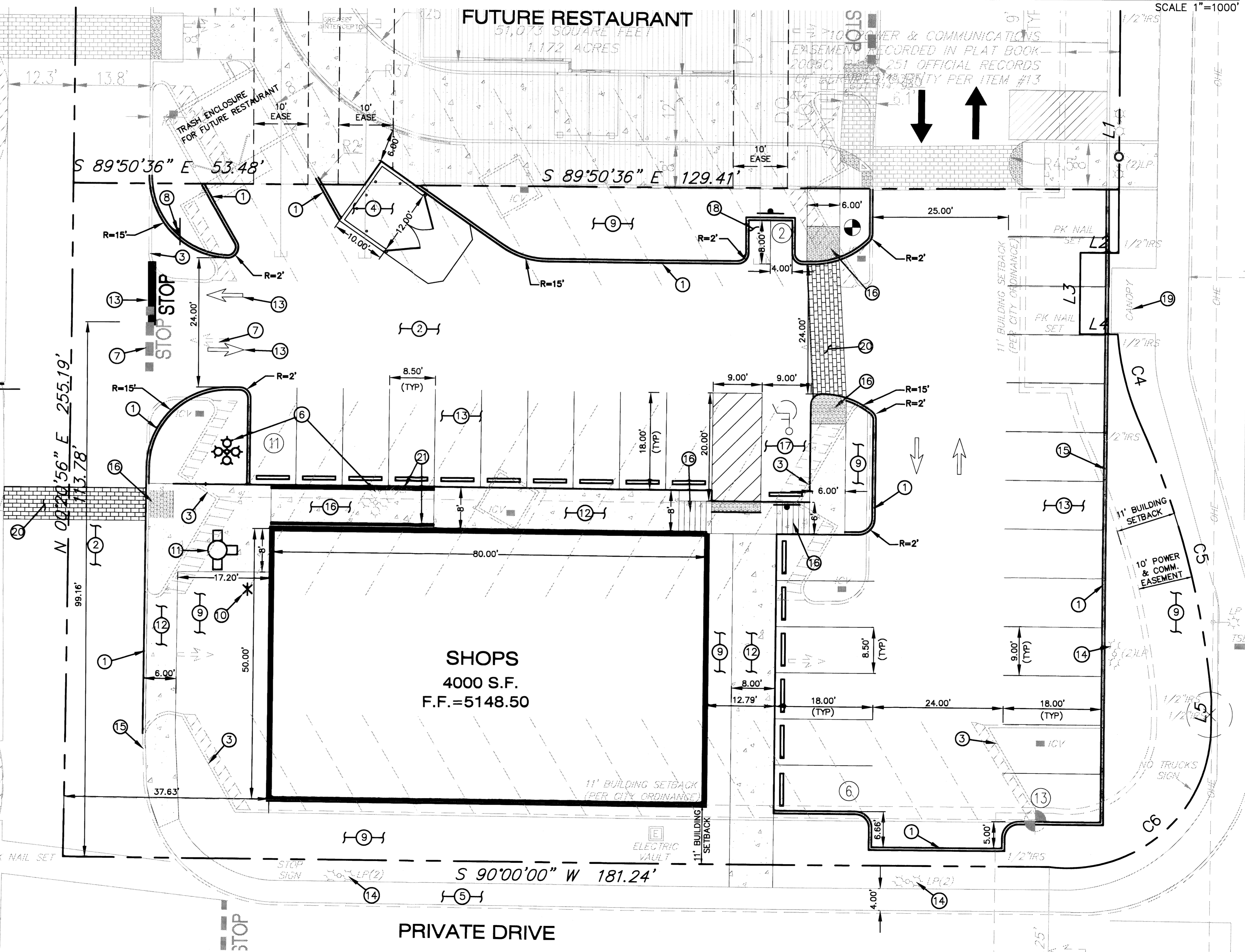
- LANDSCAPE REQUIRED
- ZONING C-2 COMMUNITY COMMERCIAL
- ALL CURVE RADI EQUALS 3' UNLESS NOTED OTHERWISE
- THIS PROJECT IS NOT PHASED.
- SHOULD REVISIONS TO THE ARCHITECTURAL ELEVATIONS BE REQUIRED DUE TO TENANT REQUIREMENTS, REVISED ELEVATIONS WILL BE SUBMITTED TO PLANNING STAFF FOR ADMINISTRATIVE APPROVAL.
- THE PROPOSED RESTAURANT NORTH OF THIS PROJECT IS NOT A PART OF THIS PROJECT AND IS BEING DESIGNED BY OTHERS AND PERMITTED SEPARATELY.
- THERE WILL BE A CROSS ACCESS AND PARKING AGREEMENT FOR THIS SITE AND THE RESTAURANT SITE TO THE NORTH.
- ADDITIONAL SITE INFORMATION, INCLUDING ADJACENT RIGHT OF WAY WIDTHS AND PEDESTRIAN ACCESS, IS SHOWN ON SHEET C1.1.
- PRELIMINARY GRADING IS SHOWN ON SHEET C3.0.
- UTILITY INFORMATION IS SHOWN ON SHEETS C4.0 AND C4.1.
- LANDSCAPE INFORMATION IS SHOWN ON THE ATTACHED LANDSCAPE SHEETS.
- BUILDING ELEVATIONS AND INFORMATION ARE SHOWN ON THE ATTACHED ELEVATION SHEET A2.0.
- A SEPARATE SIGN PACKAGE WILL BE SUBMITTED FOR THE PROJECT ONCE TENANT(S) HAVE BEEN DETERMINED.
- NEW SITE LIGHTING IS NOT PROPOSED. THE PROJECT WILL UTILIZE NEW BUILDING MOUNTED LIGHTING TO SUPPLEMENT THE EXISTING SITE LIGHTING.

**KEYNOTES**

- NEW CURB
- EXISTING VEHICULAR ACCESS
- EXISTING CURB TO BE REMOVED
- REFUGE ENCLOSURE - 6' HIGH CMU STRUCTURE TO MATCH BUILDING EXISTING SIDEWALK TO REMAIN.
- RELOCATE EXISTING LIGHT.
- EXISTING PAVEMENT MARKING TO BE REMOVED
- PROPOSED STOP SIGN
- PROPOSED LANDSCAPE
- PROPOSED BIKE RACK
- PROPOSED OUTDOOR SEATING / PUBLIC SPACE
- PROPOSED SIDEWALK
- PROPOSED PAVEMENT MARKING
- EXISTING SITE LIGHTING TO REMAIN
- EXISTING CURB TO REMAIN
- PROPOSED ADA RAMP
- PROPOSED HANDICAP PARKING AND SIGNAGE PER SECTION 14-16-3-1(F)(9)(b) OF THE ZONING CODE.
- PROPOSED MOTORCYCLE PARKING AND SIGNAGE PER SECTION 14-16-3-1(C)(2) OF THE ZONING CODE.
- EXISTING TRANSIT SHELTER
- 6 FOOT WIDE PEDESTRIAN CROSSING WITH PATTERNED COLORED CONCRETE TO CONNECT TO EXISTING PEDESTRIAN ROUTE.
- HANDRAILS PER ADAAG GUIDELINES.



**VICINITY MAP** SCALE 1"=1000'



X:\60072006 Albuquerque\2 Drawings\Construction Documents\C1.0-SITEPLAN.dwg May 10, 2009 - 7:34pm

Issue Date:	5-09	Project No:	60072006
Designed By:	DESIGNED MAJ	Drawn By:	DRAWN MAJ
Checked By:	CHECKED MAJ		

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**SITE PLAN FOR BUILDING PERMIT**

**C-1.1**

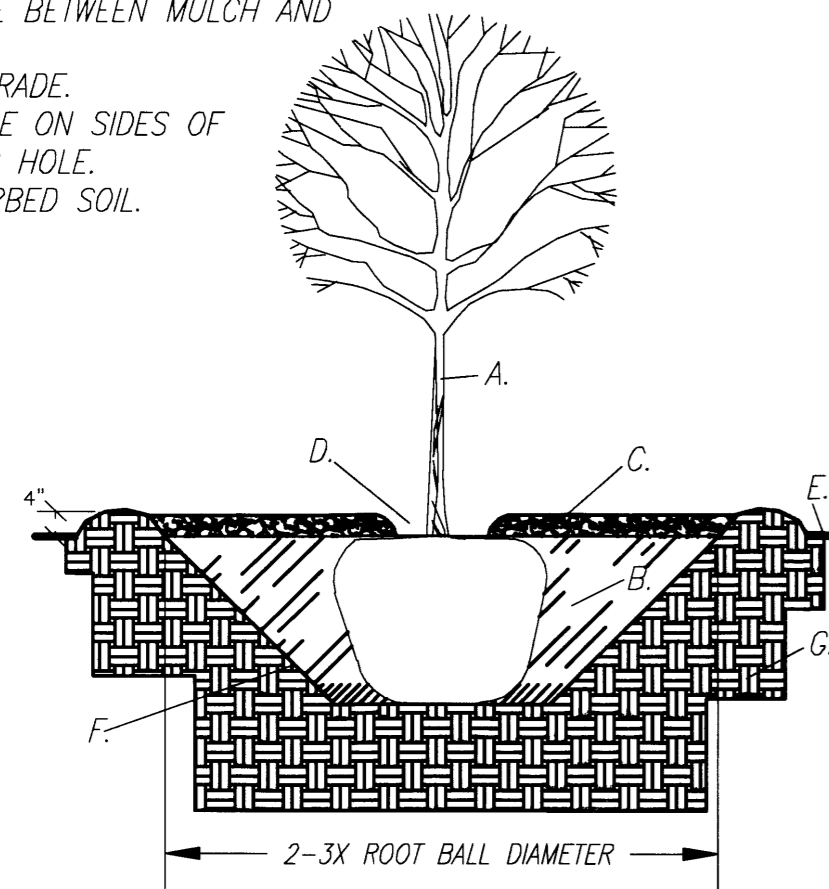






CONSTRUCTION NOTES:

- A. TREE.
- B. BACKFILL WITH EXISTING SOIL AND 10% ORGANIC AMENDMENTS. SEE SPECIFICATIONS.
- C. 3" DEPTH OF MULCH.
- D. 4" SPACE BETWEEN MULCH AND TREE.
- E. FINISH GRADE.
- F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- G. UNDISTURBED SOIL.



GENERAL NOTES:

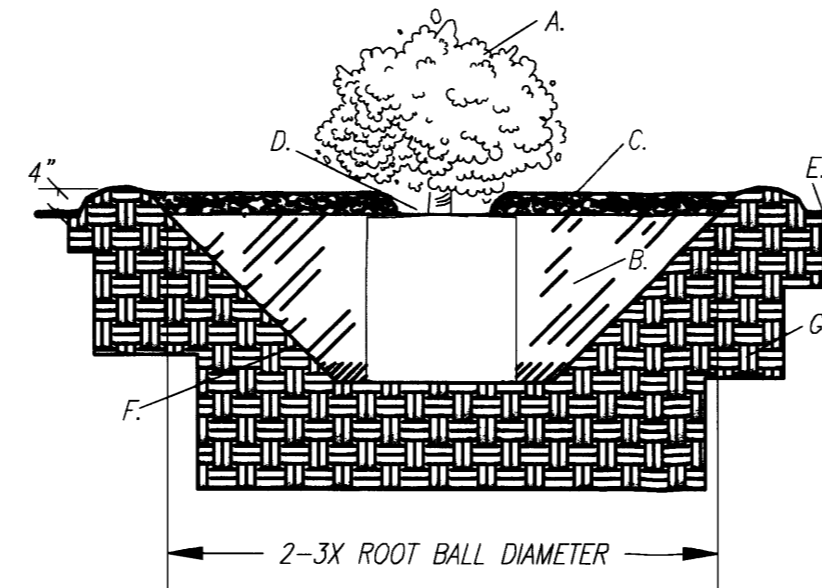
1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
4. PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM TOP HALF OF ROOTBALL AND FROM PLANTING HOLE.
5. AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
6. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
7. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
8. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

A TREE PLANTING

NOT TO SCALE

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL AND 10% ORGANIC AMENDMENTS. SEE SPECIFICATIONS.
- C. 3" DEPTH OF MULCH.
- D. 4" SPACE BETWEEN MULCH AND SHRUB.
- E. FINISH GRADE.
- F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- G. UNDISTURBED SOIL.



GENERAL NOTES:

1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
3. REMOVE CONTAINER AND CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER.
4. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
5. AT TIME OF PLANTING, ONLY PRUNE DEAD OR BROKEN BRANCHES.
6. DO NOT PLACE MULCH IN CONTACT WITH SHRUB, KEEP AT LEAST 4" AWAY FROM TRUNK.
7. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

B SHRUB PLANTING

NOT TO SCALE

TREE PROTECTION NOTES

1. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN FROM DAMAGE DURING THE COURSE OF WORK. CONTRACTOR SHALL BE HELD FINANCIALLY RESPONSIBLE FOR ANY DAMAGE TO THESE TREES, AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
2. EACH TREE TO BE PRESERVED SHALL HAVE A DESIGNATED TREE PROTECTION ZONE (TPZ) IDENTIFYING THE AREA SUFFICIENTLY LARGE ENOUGH TO PROTECT THE TREE AND ROOTS FROM DISTURBANCE. THE TPZ SHALL BE SURROUNDED BY PROTECTIVE FENCING UNLESS OTHERWISE SPECIFIED. FENCING SHALL BE ERECTED BEFORE DEMOLITION, GRADING, OR CONSTRUCTION BEGINS AND SHALL REMAIN IN PLACE UNTIL FINAL INSPECTION OF THE PROJECT, EXCEPT FOR WORK SPECIFICALLY REQUIRED IN THE APPROVED PLANS. PROVIDE TREE BUFFER ZONE WITH PROTECTIVE PLYWOOD SHEETS WHERE USE OF PROTECTIVE FENCING DOES NOT ALLOW FOR SUFFICIENT CONSTRUCTION MANEUVERING ROOM.
3. CONTRACTOR SHALL PRESERVE AND PROTECT EXISTING TREES TO REMAIN FROM DAMAGE DURING THE COURSE OF WORK. ONLY EXCAVATION BY HAND AND NO COMPACTION SHALL OCCUR WITHIN THE TPZ UNLESS OTHERWISE STATED ON THE PLANS. THERE SHALL BE NO PILING OF DIRT OR EQUIPMENT STORAGE AROUND BASE OF TREES OR WITHIN THE TPZ. NO EQUIPMENT SHALL BE DRIVEN OVER TREE BASE OR WITHIN TPZ OF TREE. VEHICLES AND EQUIPMENT SHALL NOT BE WASHED OUT IN LANDSCAPE AREA. SIGNS SHALL BE ERECTED FOR DESIGNATED STORAGE AND CLEAN OUT AREAS. ANY DAMAGED TREES SHALL BE REPLACED, IN KIND, BY THE CONTRACTOR AT HIS/HER OWN COST, AS DETERMINED BY THE OWNER.

LANDSCAPE NOTES

- ALL PLANTING BEDS SHALL BE MULCHED (AS NEEDED) WITH A 4" LAYER OF 1 1/2" TO 2" GRAY GRAVEL. ALL PROPOSED GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5 28 MIL. FILTER FABRIC OR APPROVED EQUAL.
- TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.
- RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE CONSTRUCTED FOR ALL EXISTING AND INSTALLED PLANT MATERIALS. TREES AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.
- AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.
- LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.
- ALL PLANTINGS TO BE ESTABLISHED FOR GENERAL LANDSCAPE PURPOSES, UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PLANT MATERIALS TO BE INSTALLED WITHIN 60 DAYS OF BUILDING OCCUPATION.

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WEB: www.sites-sw.com

PLANNING  
LANDSCAPE ARCHITECTURE  
MARKET ANALYSIS

CONSULTANTS

PROJECT  
**RETAIL SHOPS**

ADDRESS  
2701 Carlisle Ave NE  
Albuquerque, NM

MARK	DATE	DESCRIPTION
ISSUE DATE:	MARCH 4, 2009	
PROJECT NO:	09010	
CAD DWG FILE:	09010-PACLAND-DTLS.DWG	
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CHK'D BY:	PA, PG	
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SHEET TITLE  
**LANDSCAPE DETAILS AND NOTES**

LP-501

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





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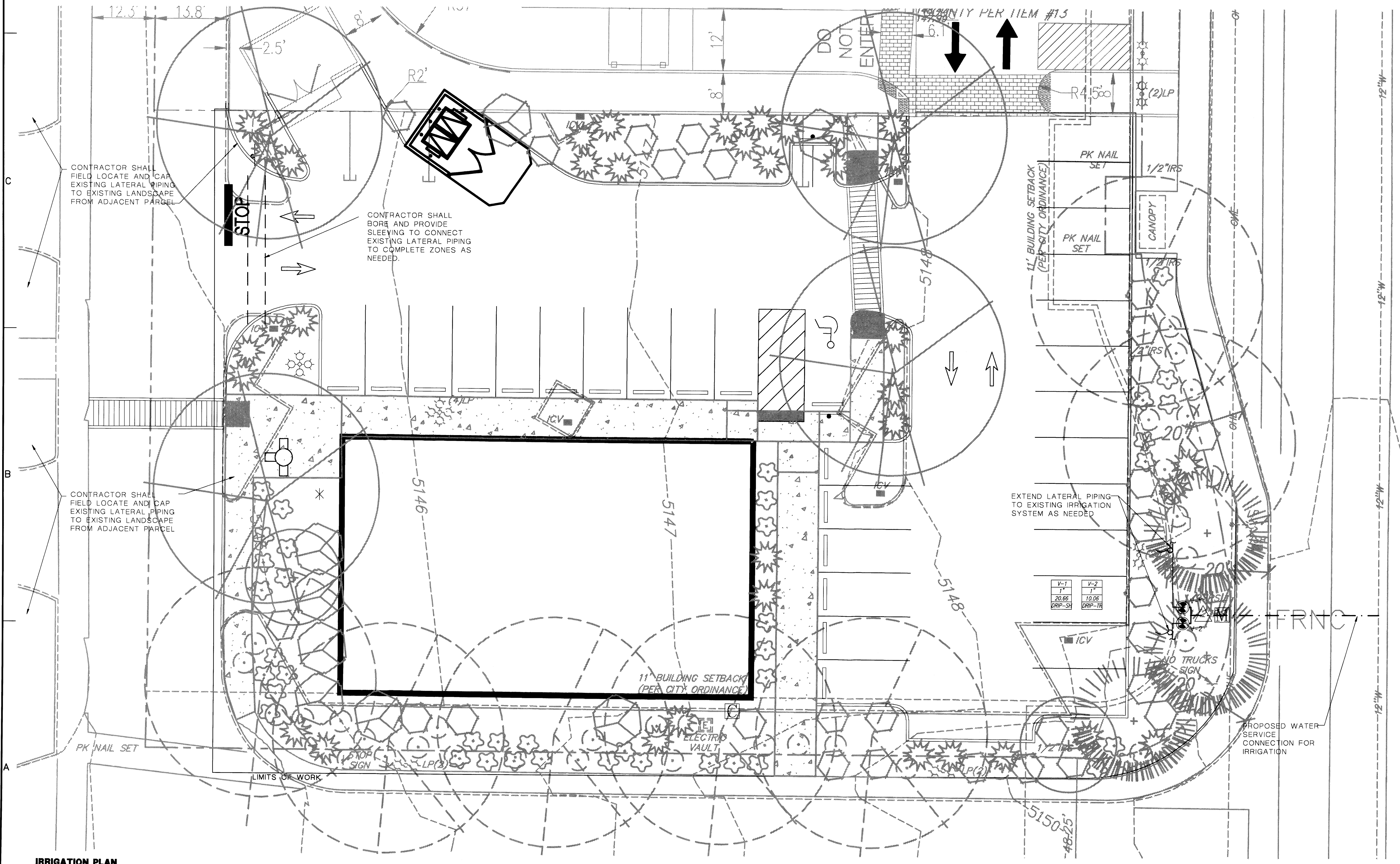


**LATERAL PIPE SIZING CHART**

LATERALS SHALL BE SCHEDULE 40 PVC, SIZED AS INDICATED BELOW.  
 MAXIMUM DEMAND  
 UP TO 8 GPM 3/4"  
 8 TO 12 GPM 1"  
 12 TO 22 GPM 1 1/4"

**IRRIGATION LEGEND**

- SYMBOL**
-  3/4" WATER METER, 1 1/4" MAINLINE, 22 GPM MAXIMUM.
  -  1" RPA FEBCO 825Y BACKFLOW PREVENTER ASSEMBLY IN INSULATED STRONGBOX WITH POWER (120V) AND HEAT TAPE.
  -  RAINBIRD ESP MODULAR 4 STATION OUTDOOR ESP-4M
  -  CHAMPION 100RS-100 MANUAL DRAIN ASSEMBLY  
CONTRACTOR SHALL LOCATE THE LOWPOINT OR LOWPOINTS FOR MAINLINE AND PLACE MANUAL DRAIN AT EACH LOCATION. NOTE: CONTRACTOR SHALL VERIFY LOWPOINT IN FIELD.
  -  RAINBIRD XC2-100-B-COM CONTROL VALVE ASSEMBLY
  -  PVC TO POLY PIPE CONNECTION- 3/4" POLY TUBING. INSTALL RAINBIRD PRESSURE COMPENSATING MODULES. PROVIDE (8) 6 GPH PC-05 MODULES PER EXISTING TREE AND DESERT WILLOW, (4) 7 GPH PC-07 PER ASH AND (2) 5 GPH PC-05 MODULES PER SHRUB, EXISTING AND PROPOSED. INSTALL (1) ONE POLY END CAP PER LINE, TYP. MAXIMUM POLY PIPE LENGTH NOT TO EXCEED 100 LF IN ANY ONE DIRECTION.
  -  SCH 40 PVC MAINLINE, SIZE AS PER PLAN.
  -  SCH 40 PVC LATERALS, SIZE AS PER PIPE SIZING CHART. CONTRACTOR SHALL UTILIZE EXISTING LATERAL PIPING WHEREVER POSSIBLE. CONTRACTOR SHALL CONNECT PROPOSED PLANT MATERIALS TO EXISTING LATERAL ZONES.
  -  IRRIGATION SLEEVES-SLEEVES TO BE SIZED TWO SIZES LARGER THAN THE PIPE TO BE SLEEVED. ONE PIPE PER SLEEVE MAXIMUM. BURY 2' DEEP, TYP. BORE UNDER EXISTING PAVING WHERE NECESSARY.



**IRRIGATION PLAN**



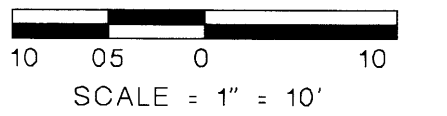
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 MARKET ANALYSIS

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ISSUE DATE:	MAY 5, 2009	
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SHEET TITLE  
**IRRIGATION PLAN**

**LI-101**

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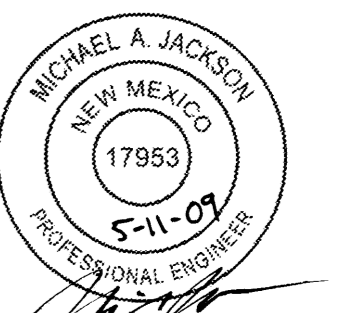
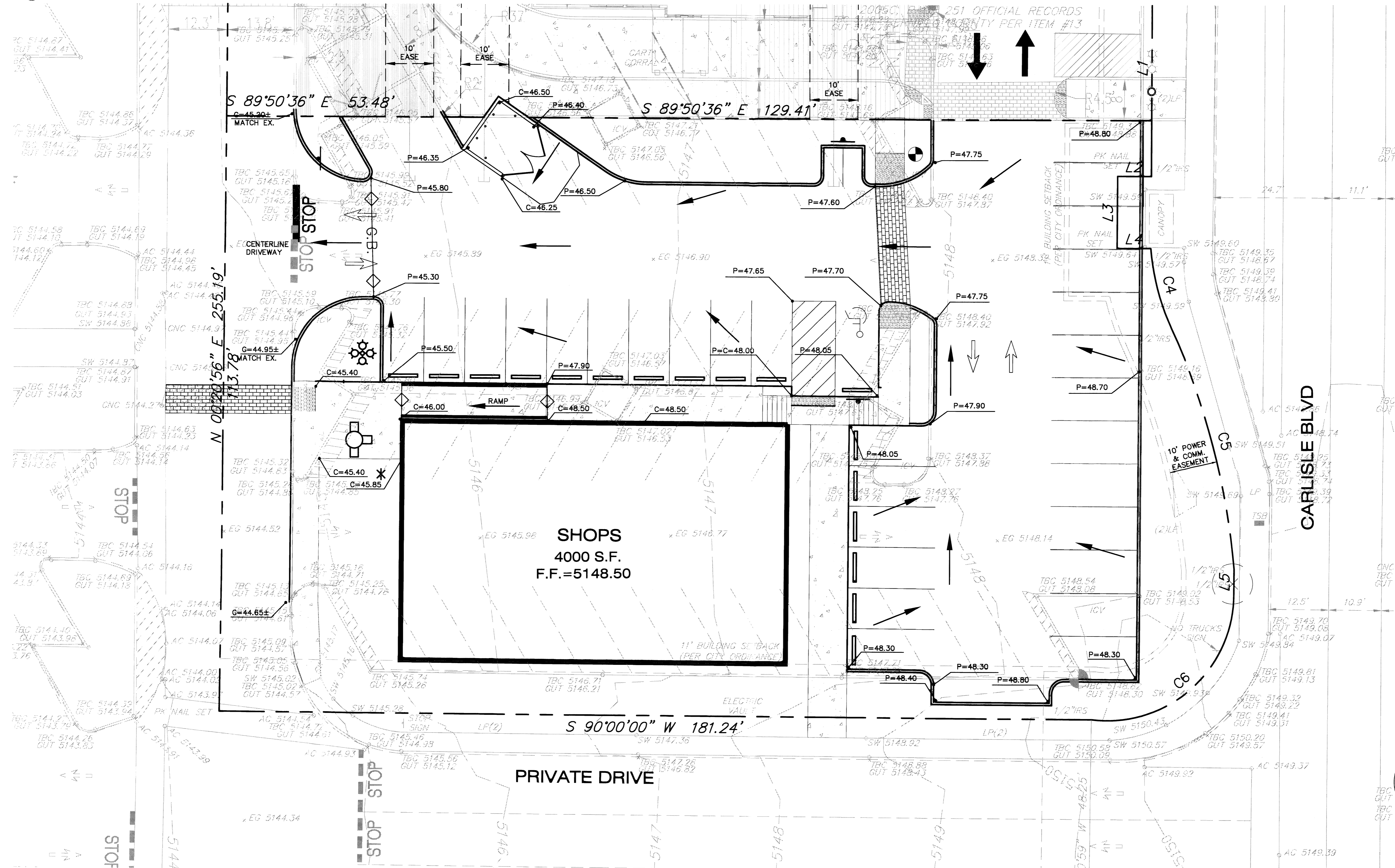
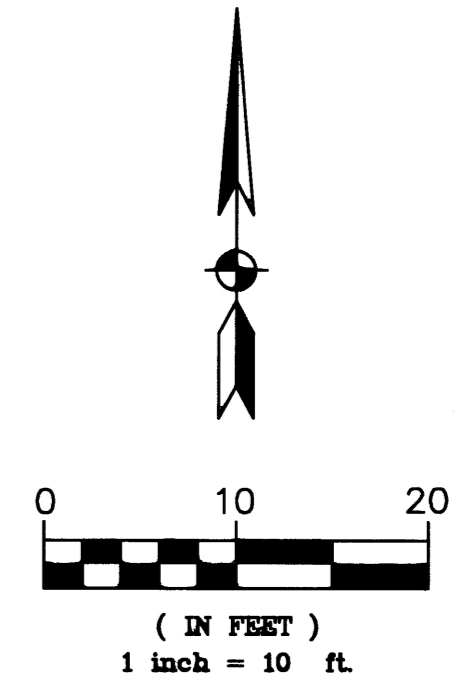
# GRADING AND DRAINAGE CONCEPT

THE DRAINAGE CONCEPT FOR THIS SITE WILL INCORPORATE MUCH OF THE SURROUNDING FEATURES. THE EXISTING SITE AN ASPHALT PARKING LOT WHICH DRAINS TO THE WEST AT ABOUT 2%. SOME OF THE EXISTING CURB ALONG THE EAST WILL REMAIN. THE DRIVE LANE WILL BE RESTORED TO IT'S EXISTING CONDITION.

THE DRAINAGE CONCEPT IS TO DRAIN THE SITE TO THE NORTH AND WEST AROUND THE PROPOSED BUILDING AND SIDEWALKS WHERE THE DRAINAGE WILL CONTINUE ON IT'S HISTORICAL PATH DUE TO THE EXISTING PERVIOUS LAND TREATMENT. NO ADDITIONAL FLOW WILL BE GENERATED BY THE PROPOSED DEVELOPMENT, THEREFORE NO PONDING IS REQUIRED AND NO DRAINAGE STRUCTURES ARE REQUIRED.

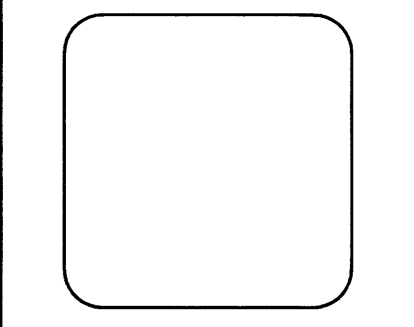
## LEGEND

- EASEMENT
- PROPERTY BOUNDARY
- NEW CONCRETE
- NEW CURB
- PARKING STALL COUNT



No.	Date	By	Revision Description

Issue Date: 5-09  
 Designed By: DESIGNED MAJ  
 Drawn By: DRAWN MAJ  
 Checked By: CHECKED MAJ  
 Project No: 60072006



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**PRELIMINARY GRADING AND DRAINAGE**

**C-3.0**

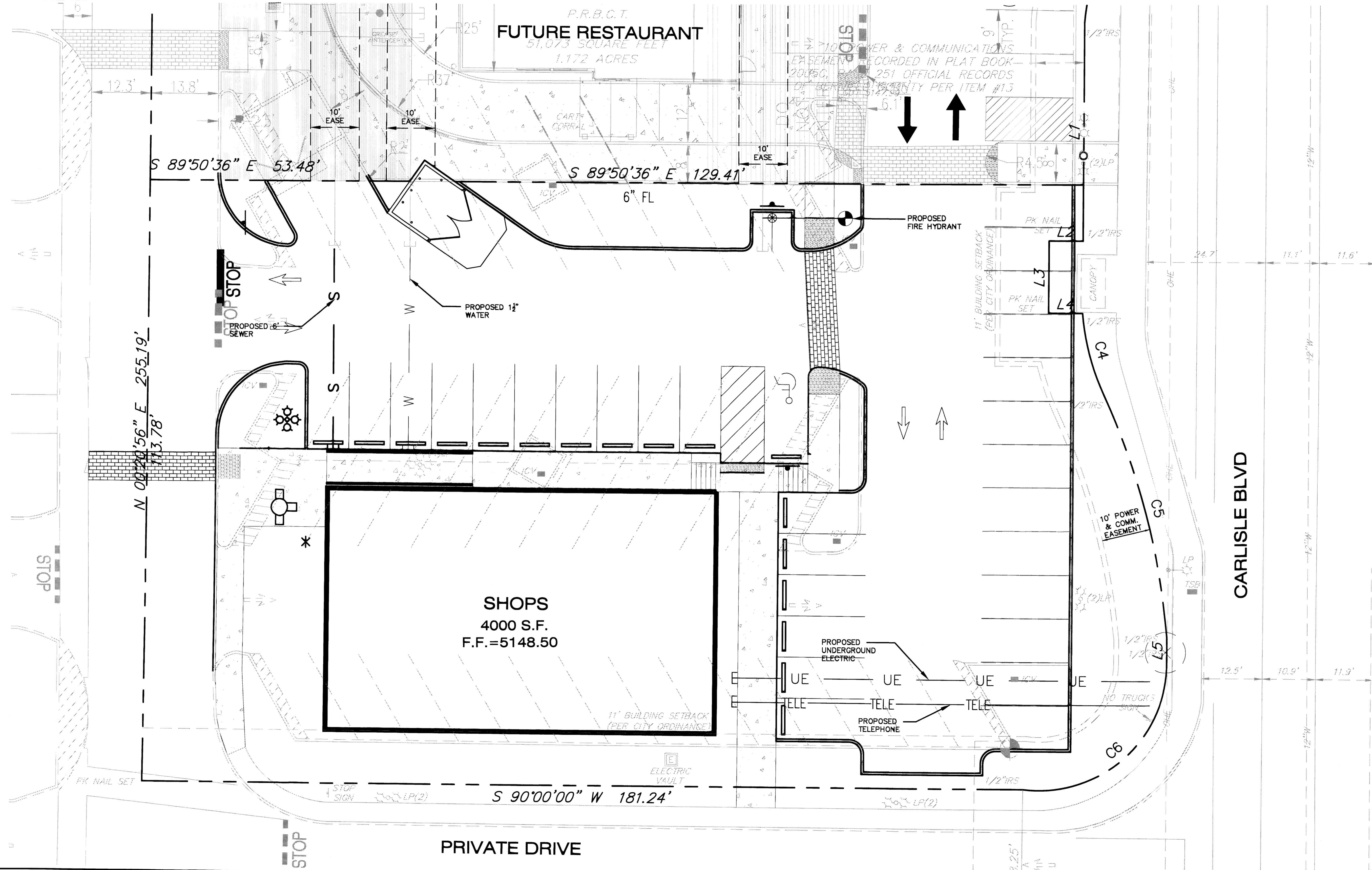
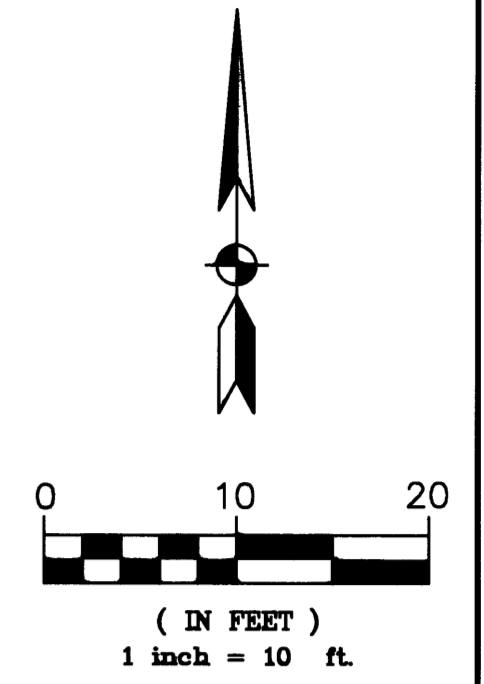
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**LEGEND**

- W — PROPOSED DOMESTIC WATER
- S — PROPOSED SANITARY SEWER
- 6" FL — PROPOSED FIRE LINE
- UE — CONCEPTUAL POWER ROUTING
- TELE — CONCEPTUAL COMMUNICATIONS ROUTING
- ⊙ PROPOSED FIRE HYDRANT

NOTE:  
DOMESTIC WATER, FIRE WATER, AND SANITARY SEWER STUBS ARE BEING PROVIDED FROM THE PROJECT NORTH OF THIS SITE. SEE SHEET C4.1 FOR AN OVERALL VIEW.



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No.	Date	By	Revision Description

Issue Date: 5-09  
 Designed By: DESIGNED MAJ  
 Drawn By: DRAWN MAJ  
 Checked By: CHECKED MAJ  
 Project No. 60072006

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**UTILITY PLAN**

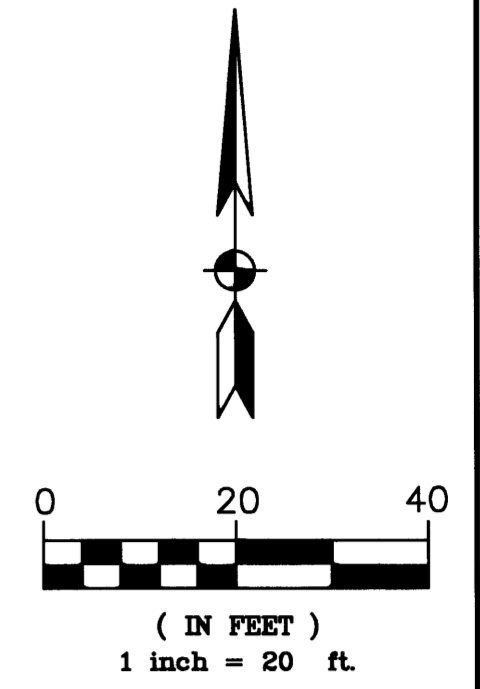
**C-4.0**



**LEGEND**

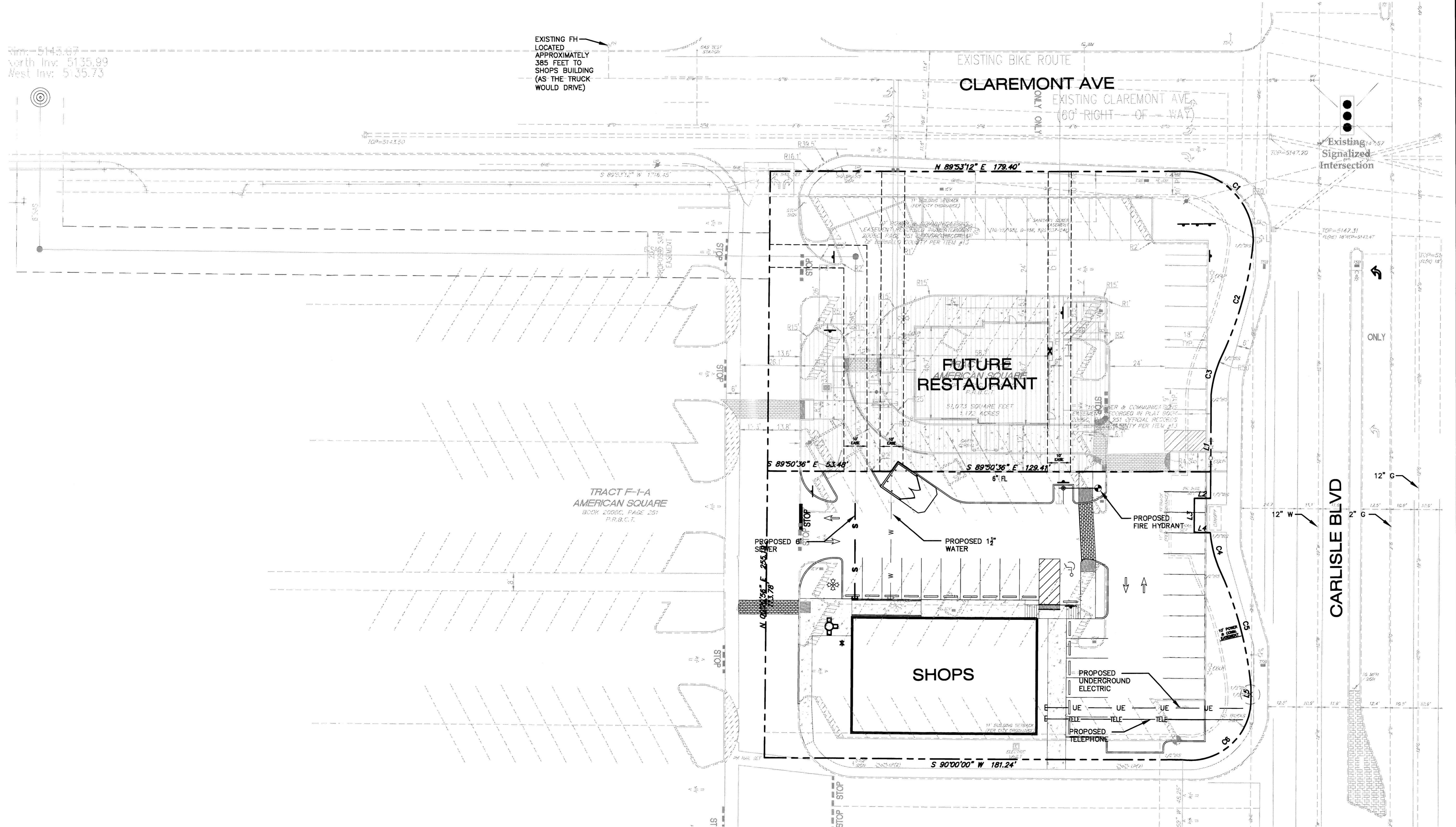
- PROPOSED DOMESTIC WATER
- PROPOSED SANITARY SEWER
- 
- CONCEPTUAL POWER ROUTING
- CONCEPTUAL COMMUNICATIONS ROUTING
- PROPOSED FIRE HYDRANT

NOTE:  
 UTILITIES SHOWN BEYOND THE LIMITS OF THE SUBJECT SITE ARE FOR REFERENCE ONLY AND HAVE BEEN SHOWN ONLY TO ILLUSTRATE THE PROPOSED UTILITY EXTENSIONS THAT WILL ALLOW THIS SITE TO BE SERVED WITH WATER AND SEWER. ALL PROPOSED UTILITIES OUTSIDE OF THE SUBJECT PROPERTY ARE BY OTHERS.



Site: 5143.07  
 North Inv: 5135.99  
 West Inv: 5135.73

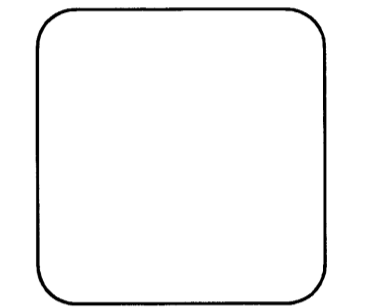
EXISTING FH  
 LOCATED  
 APPROXIMATELY  
 385 FEET TO  
 SHOPS BUILDING  
 (AS THE TRUCK  
 WOULD DRIVE)



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No.	Date	By	Revision Description

Issue Date:	5-09
Designed By:	DESIGNED MAJ
Drawn By:	DRAWN MAJ
Checked By:	CHECKED MAJ
Project No.:	60072006



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**ALBUQUERQUE, NM**  
**UTILITY PLAN**

**C-4.1**



KEYNOTES:

- 1 CEMENT STUCCO SYSTEM - COLOR #1
- 2 CEMENT STUCCO SYSTEM - COLOR #2
- 3 CEMENT STUCCO SYSTEM - COLOR #3
- 4 H.M. DOOR & FRAME, PAINTED TO MATCH.
- 5 DARK BRONZE ALUMINUM STOREFRONT & TINTED GLAZING SYSTEM.
- 6 STUCCO CAP
- 7 FABRIC AWNING WITH PRE-FINISHED STEEL TUBE FRAME (DESIGN- BUILD BY SUPPLIER)
- 8 STUCCO REVEAL TYPE #1
- 9 STUCCO REVEAL TYPE #2
- 10 1'x1' CERAMIC TILE INSERT
- 11 BUILDING LIGHTING
- 12 INTERNALLY ILLUMINATED FIBERGLASS FACED SIGNAGE BY OTHERS NOT TO EXCEED 10% OF TOTAL SURFACE AREA.
- 13 PLASTER - SEE DETAIL.

GENERAL NOTES:

1. IF THERE ARE ANY SIGNIFICANT CHANGES TO THE APPROVED BUILDING ELEVATIONS REQUESTED BY FUTURE TENANTS, THESE REVISIONS WILL BE SUBMITTED TO THE ZONING DEPARTMENT FOR ADMINISTRATIVE APPROVAL ONLY.
2. ALL BUILDING SIGNAGE IS TO BE SUBMITTED FOR REVIEW UNDER THE CITY OF ALBUQUERQUE ORDINANCES GOVERNING THE APPLICATION OF SUCH SIGNAGE. SIGNAGE DIMENSIONS, COLORS, MATERIALS, AND LIGHTING WILL BE PROVIDED BY TENANTS. NO SIGNAGE WILL BE ALLOWED ON THE EAST AND WEST FACADES. THERE WILL BE NO ELECTRONIC DISPLAY PANELS AND EACH TENANT WILL BE ALLOWED 2 SIGNS (ONE ON THE NORTH AND SOUTH FACADE) THAT WILL TAKE UP NO MORE THAN 10% OF THE FACADE TO WHICH IT IS APPLIED.
3. ALL ROOF TOP MOUNTED MECHANICAL EQUIPMENT WILL BE EFFECTIVELY SCREENED FROM PUBLIC SIGHT BY THE USE OF THE PROPOSED BUILDING PARAPETS.

STUCCO COLORS:

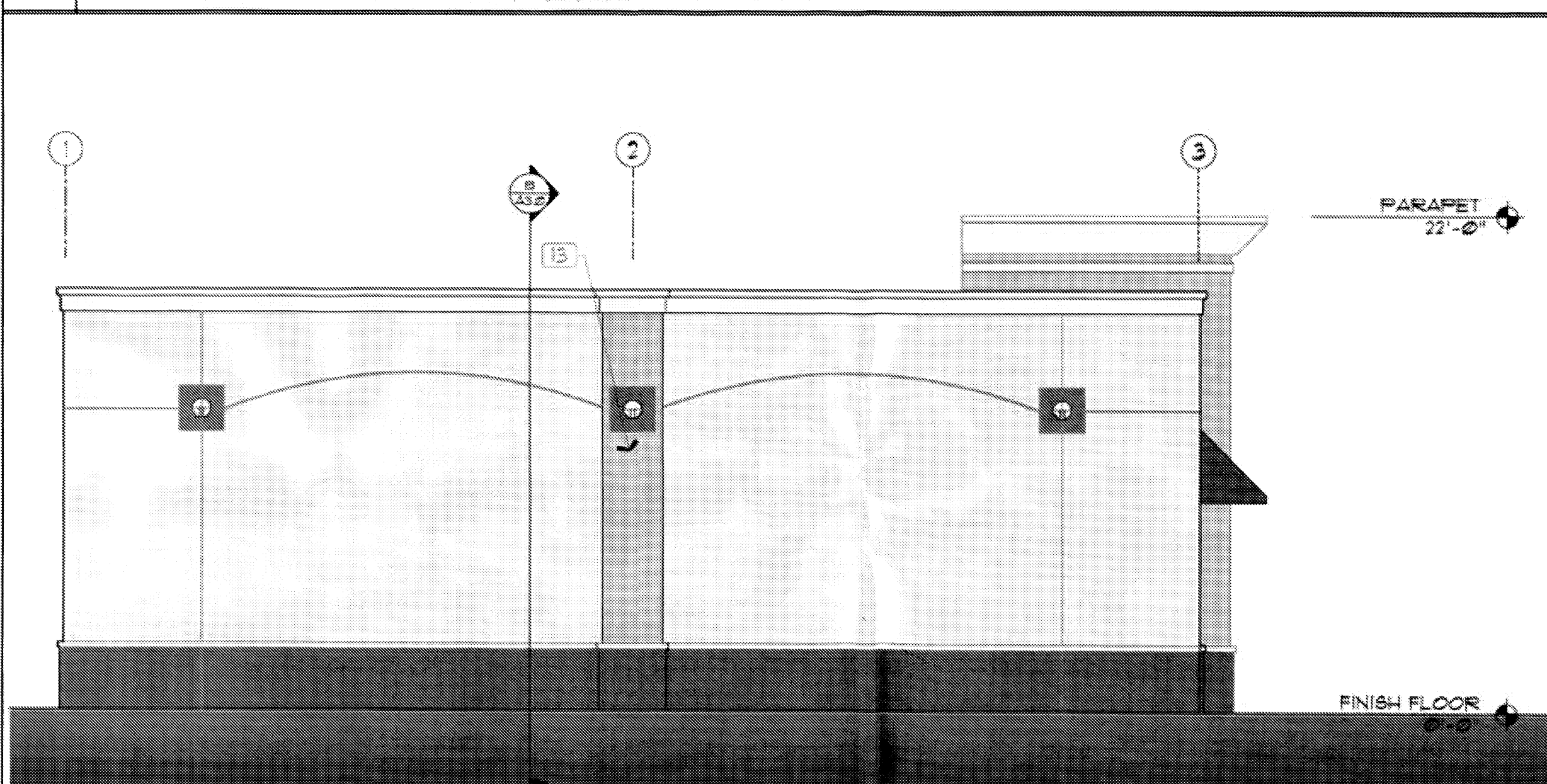
- COLOR #1 - FIELD STUCCO - SW 6010 'HERON PLUME' (OFF WHITE)
- COLOR #2 - ACCENT - SW 6142 'MACADAMIA' (LIGHT BROWN)
- COLOR #3 - ACCENT - SW 6082 'COBBLE BROWN' (DARK BROWN)
- COLOR #4 - PARAPET - SW 1006 'EXTRA WHITE' (WHITE)

**RADIX CONSTRUCTION Inc.**  
 Name: F. H. HOFHEINS, JR. - ARCHITECT  
 2422 12TH AVE. NE. RD. #153  
 N. MEXICO, ID 83668  
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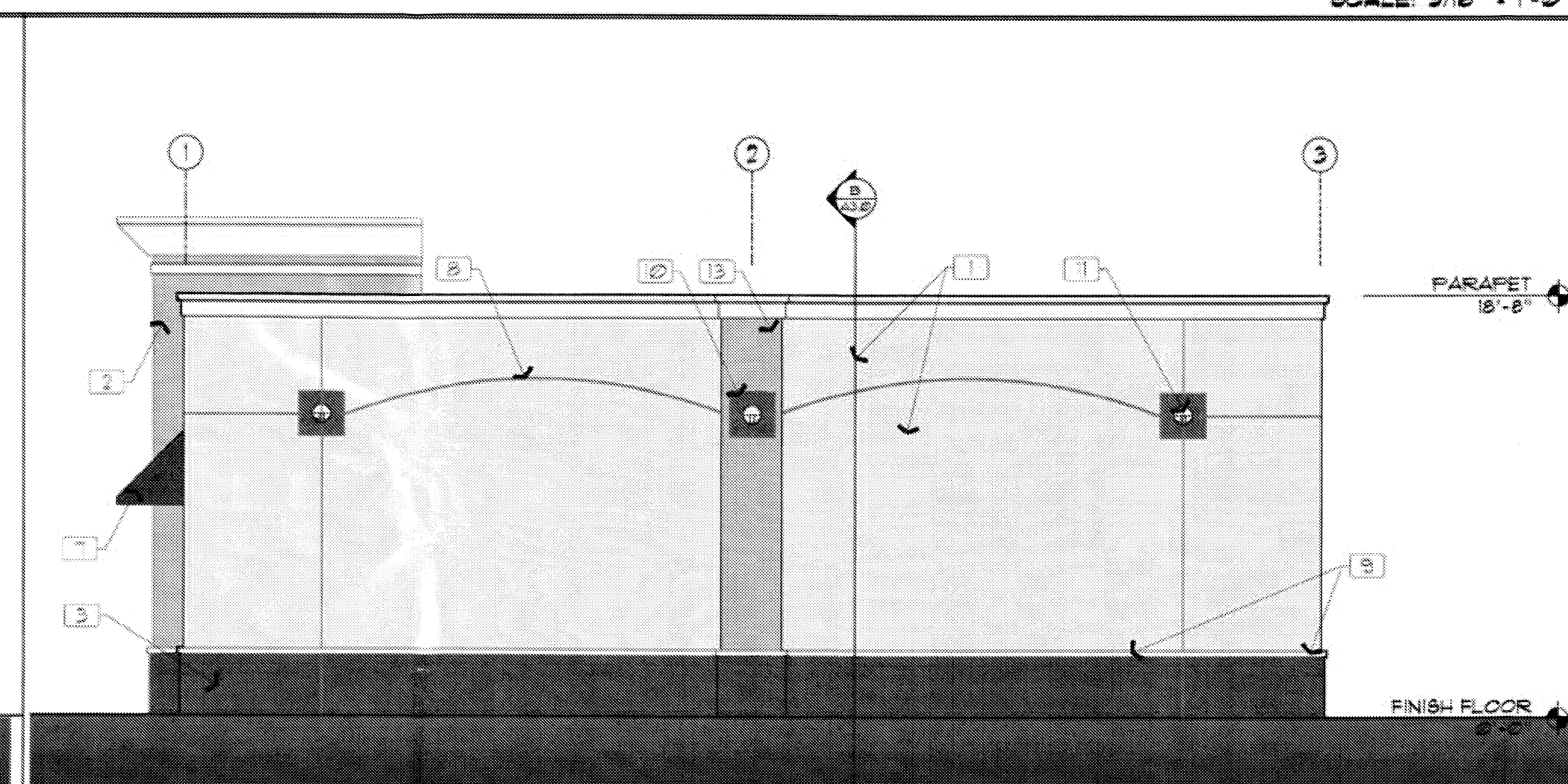
1 NORTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



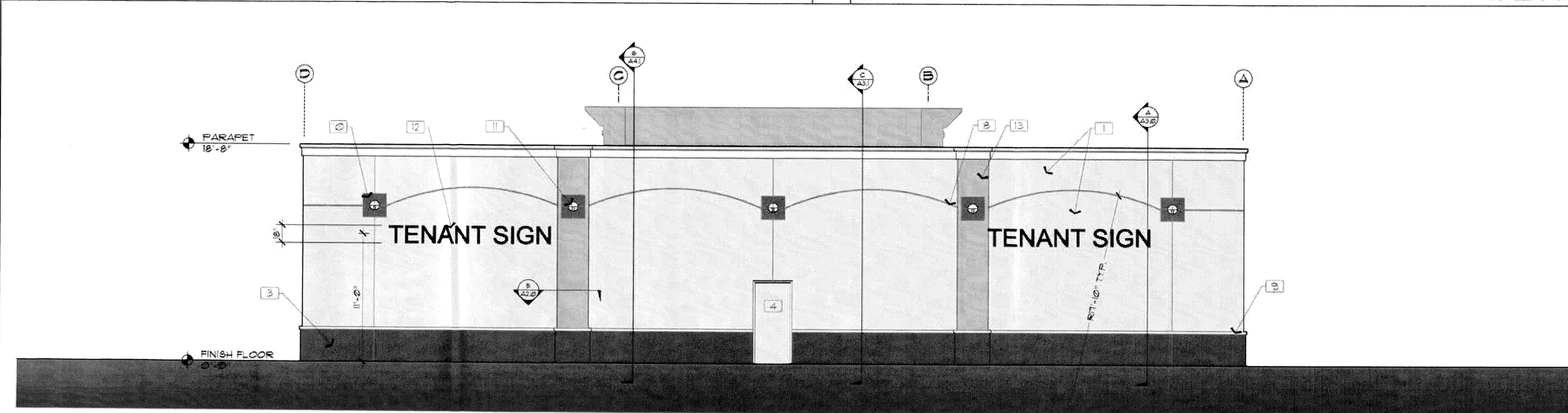
2 EAST BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



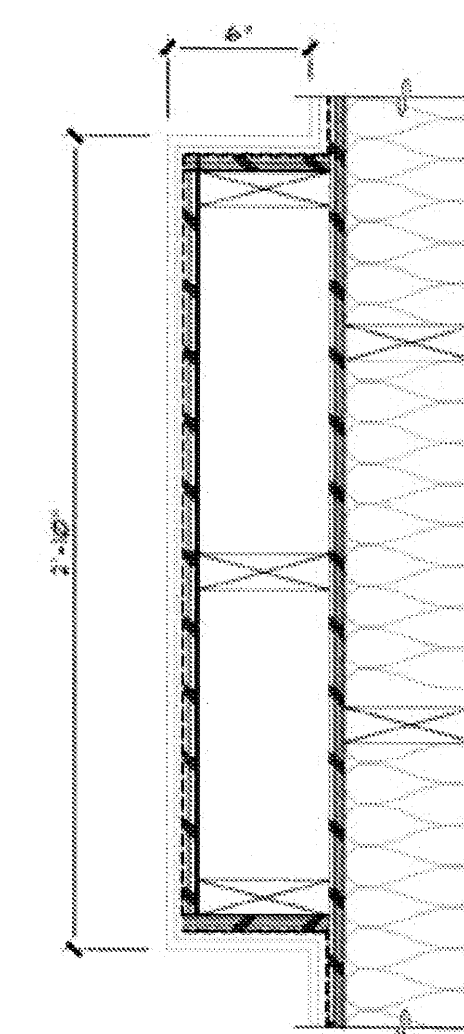
3 WEST BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



4 SOUTH BUILDING ELEVATION

SCALE: 3/16" = 1'-0"



5 PLASTER DETAIL PLAN VIEW

RETAIL SHOPS BUILDING  
 CARLSLE & CLAREMONT  
 ALBUQUERQUE, NM  
 PROPOSED  
 EXTERIOR ELEVATIONS

NO	REVISION	DATE
1		
2		
3		

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