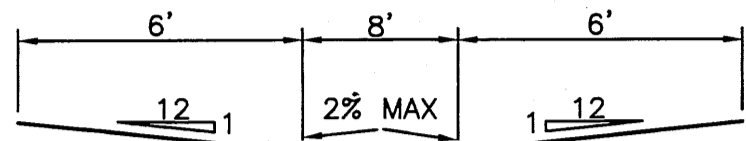
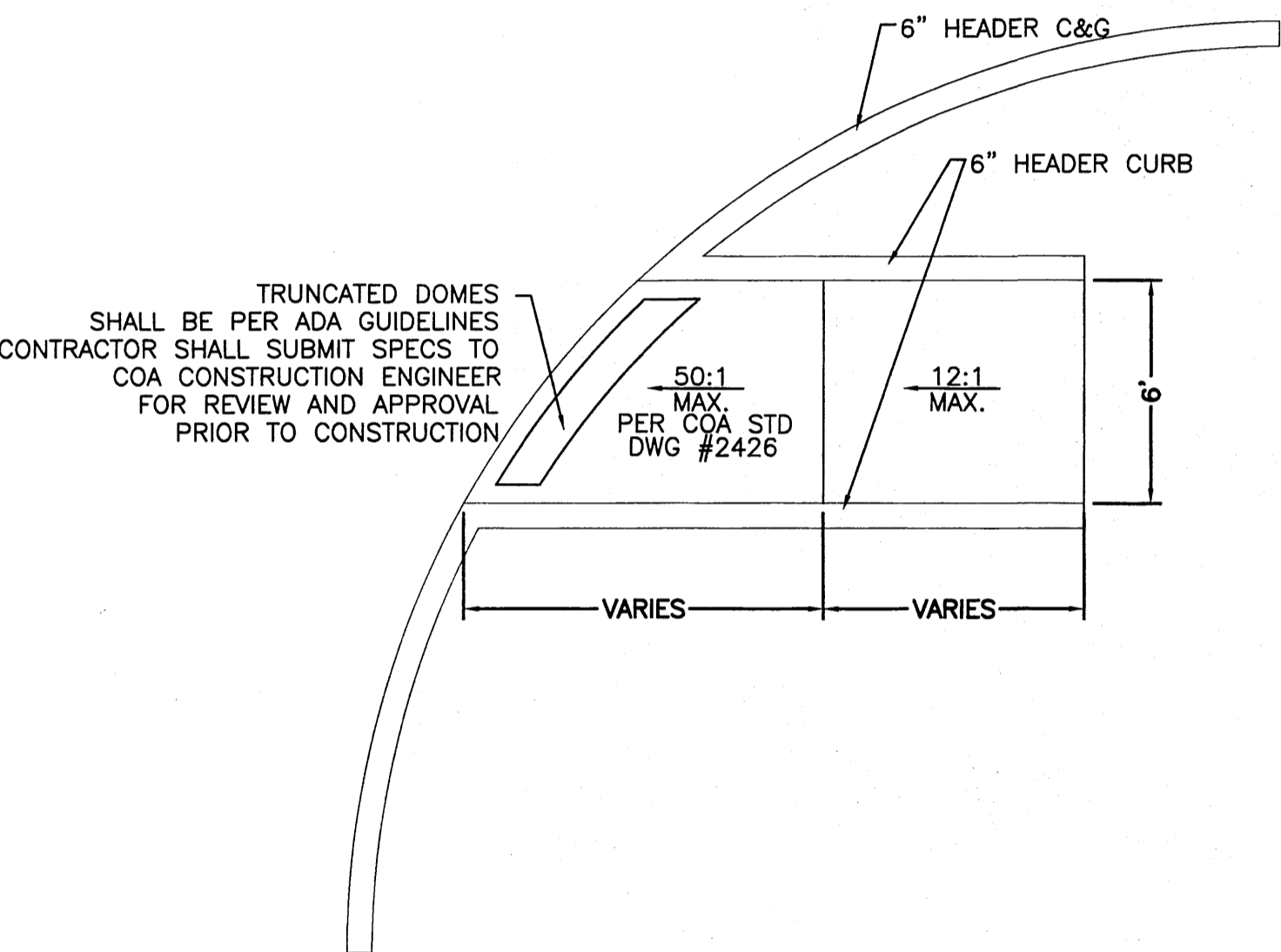


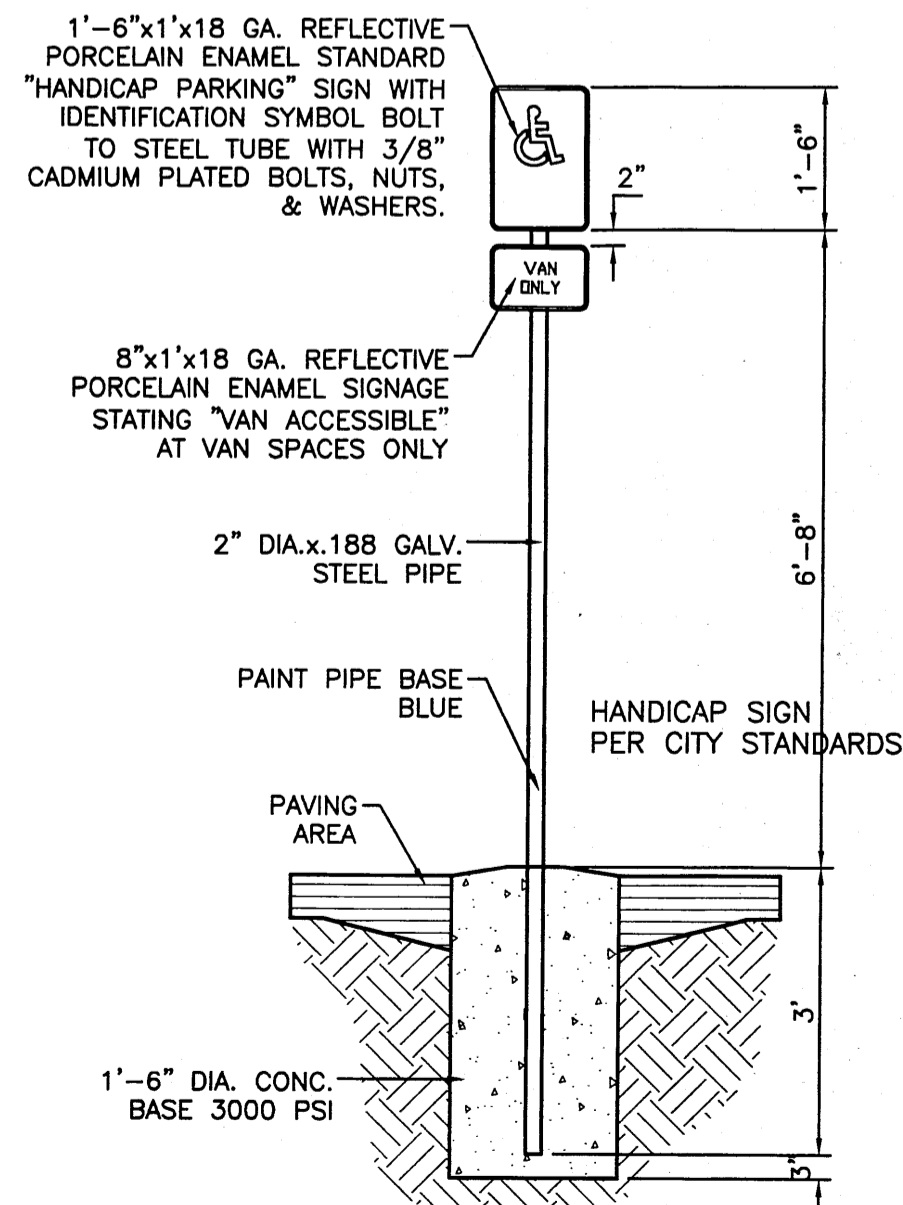
HC PARKING DETAIL
NTS



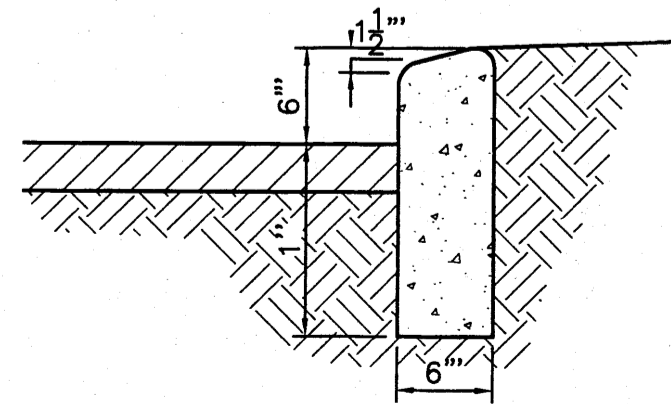
SECTION A-A
NTS



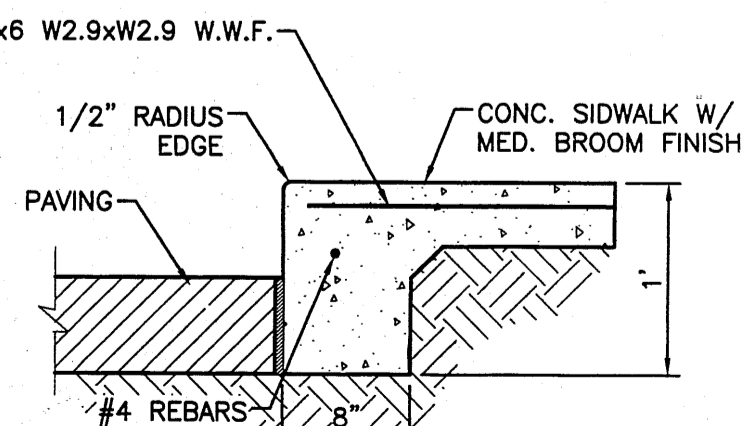
UNI-DIRECTIONAL WHEELCHAIR RAMP DETAIL (TYP.)
NTS



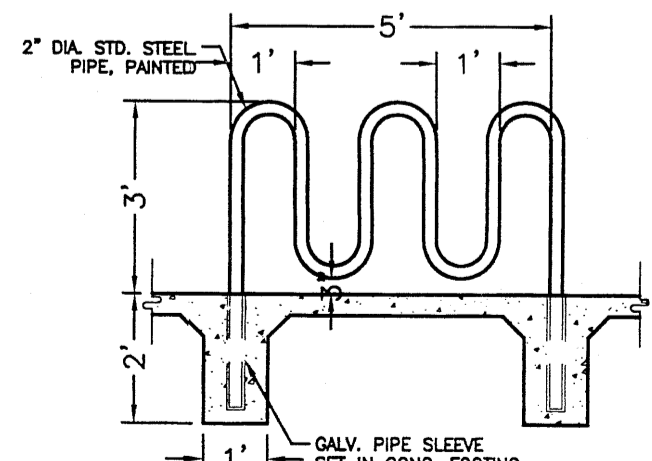
HANDICAP SIGN
NTS



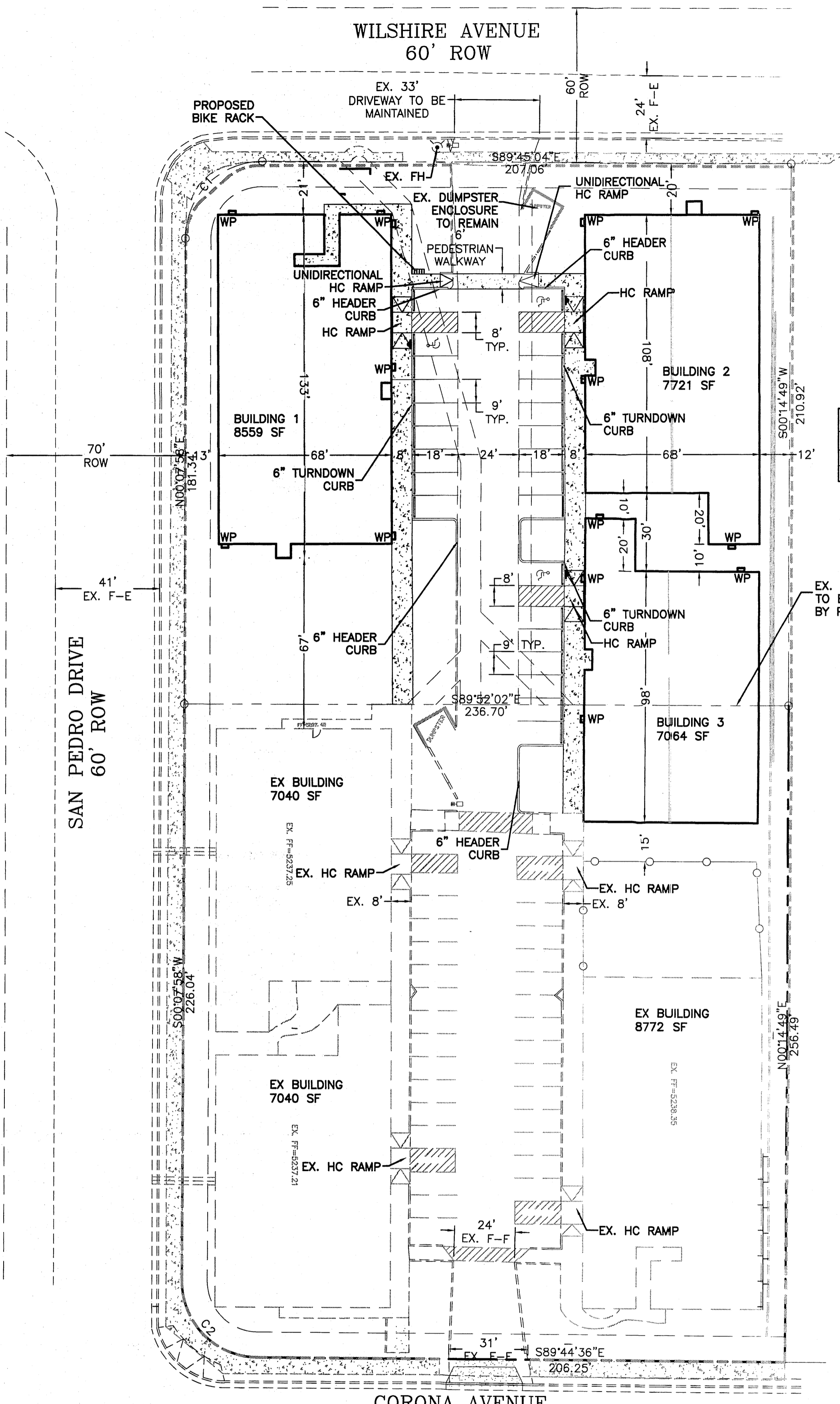
6" HEADER CURB DETAIL
NTS



6" TURNDOWN CURB
NTS



BIKE RACK DETAIL
NTS



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LENGTH
C1	47.18	30.00	90°06'58"	S45°11'27"W	42.47
C2	47.06	30.00	89°52'34"	S44°48'19"E	42.38

SHEET INDEX

1. SITE PLAN FOR BUILDING PERMIT (AMENDED)
2. GRADING AND DRAINAGE PLAN (AMENDED)
3. MASTER UTILITY PLAN (AMENDED)
4. LANDSCAPE PLAN (AMENDED)
- 5-8. PREVIOUSLY APPROVED ADMINISTRATIVE AMENDMENTS
- 9-16. ORIGINAL APPROVED SITE PLAN FOR BUILDING PERMIT SET

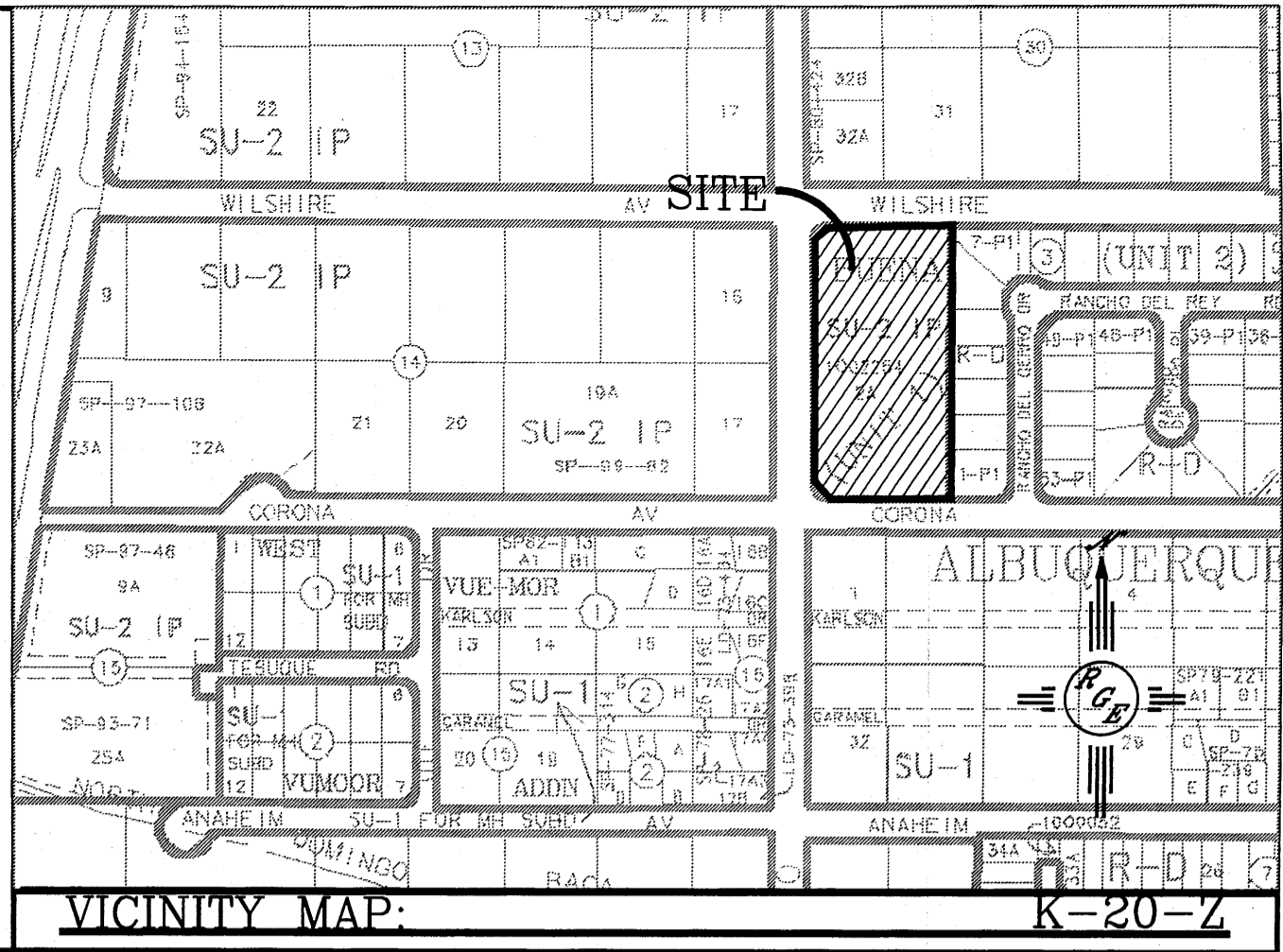
PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



LEGAL DESCRIPTION:
TRACT A-1, BEEHIVE VILLAGE

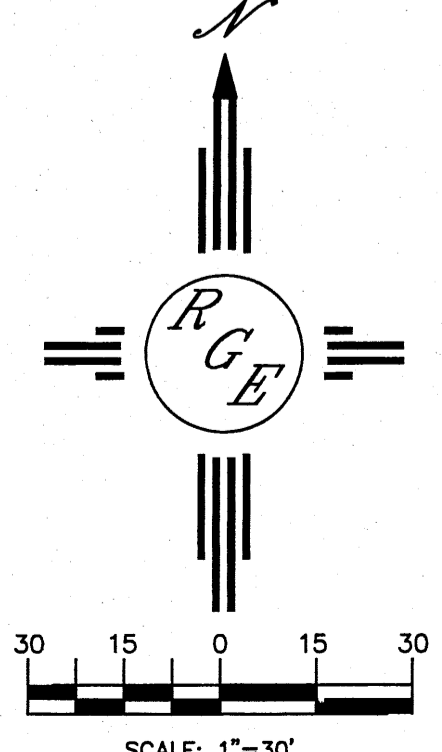
- GENERAL NOTES:
1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
 3. CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
 4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
 5. ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN. BUILDING MOUNTED SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS WITHOUT INTERNAL ILLUMINATIONS. NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.
 6. PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
 7. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
 8. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
 9. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
 10. ALL METAL ROOFING SHALL BE CONSISTENT ON ALL THREE BUILDINGS AND CANOPIES AND AND SHALL BE A GALVALUME FINISH.
 11. LIGHTING SHALL BE WALL PACKS PER ORIGINAL SITE PLAN, ARE LABELED "WP".

LEGEND

---	EXISTING CURB & GUTTER
---	PROPOSED CURB
---	BOUNDARY LINE
---	EXISTING BOUNDARY LINE
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED BUILDING
---	EXISTING BUILDING
---	EXISTING RETAINING WALL
---	EXISTING PERIMETER WALL
---	EXISTING PERIMETER WALL
---	HC SIGNAGE

SITE DATA

	PHASE 1 (EXISTING)	PHASE 2 (PROPOSED)	TOTAL
TOTAL ACREAGE:	1.3864 AC±	1.1440 AC±	2.5304 AC±
DENSITY UNITS:	2.16 DU'S	2.62 DU'S (AT MAXIMUM BUILD OUT)	2.37 DU'S (AT MAXIMUM BUILD OUT)
EXISTING ZONING:	SU-2 NC	SU-2 NC	SU-2 NC
PROPOSED ZONING:	SU-2 NC	SU-2 NC	SU-2 NC
PROPOSED USE:	NURSING HOME	NURSING HOME	NURSING HOME
REQUIRED PARKING:	24 SPACES (1 SPACE PER 2 BEDS)	24 SPACES (1 SPACE PER 2 BEDS)	48 SPACES (1 SPACE PER 2 BEDS)
PROVIDED PARKING:	32 SPACES	25 SPACES	57 SPACES
HC REQUIRED PARKING:	3 SPACES	3 SPACES	6 SPACES
HC PROVIDED PARKING:	4 SPACES	3 SPACES	7 SPACES
REQUIRED BICYCLE SPOTS:	3 SPACES	3 SPACES	6 SPACES
PROVIDED BICYCLE SPOTS:	3 SPACES	3 SPACES	6 SPACES
LANDSCAPE REQUIRED:	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN
LANDSCAPE PROVIDED:	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN

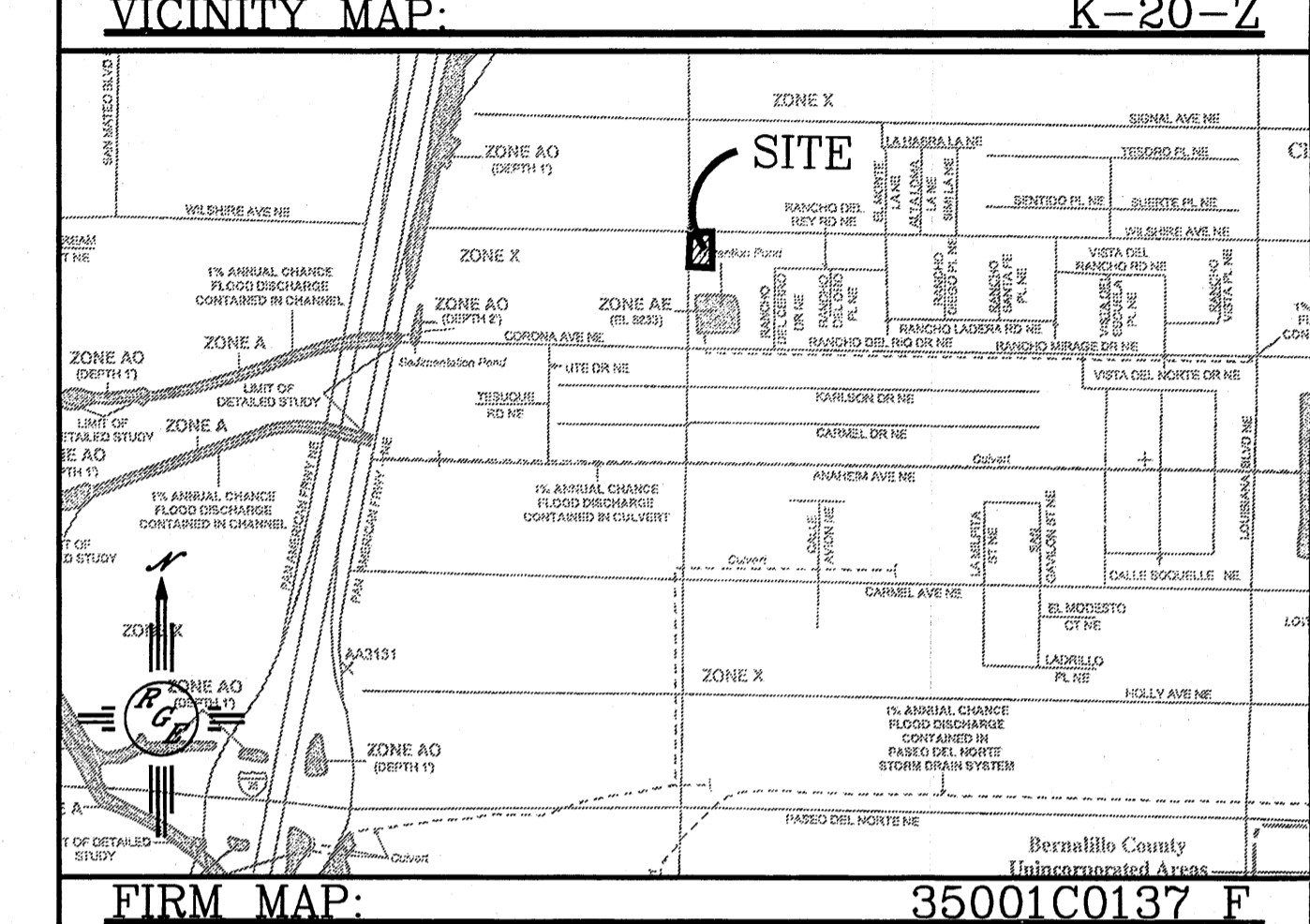
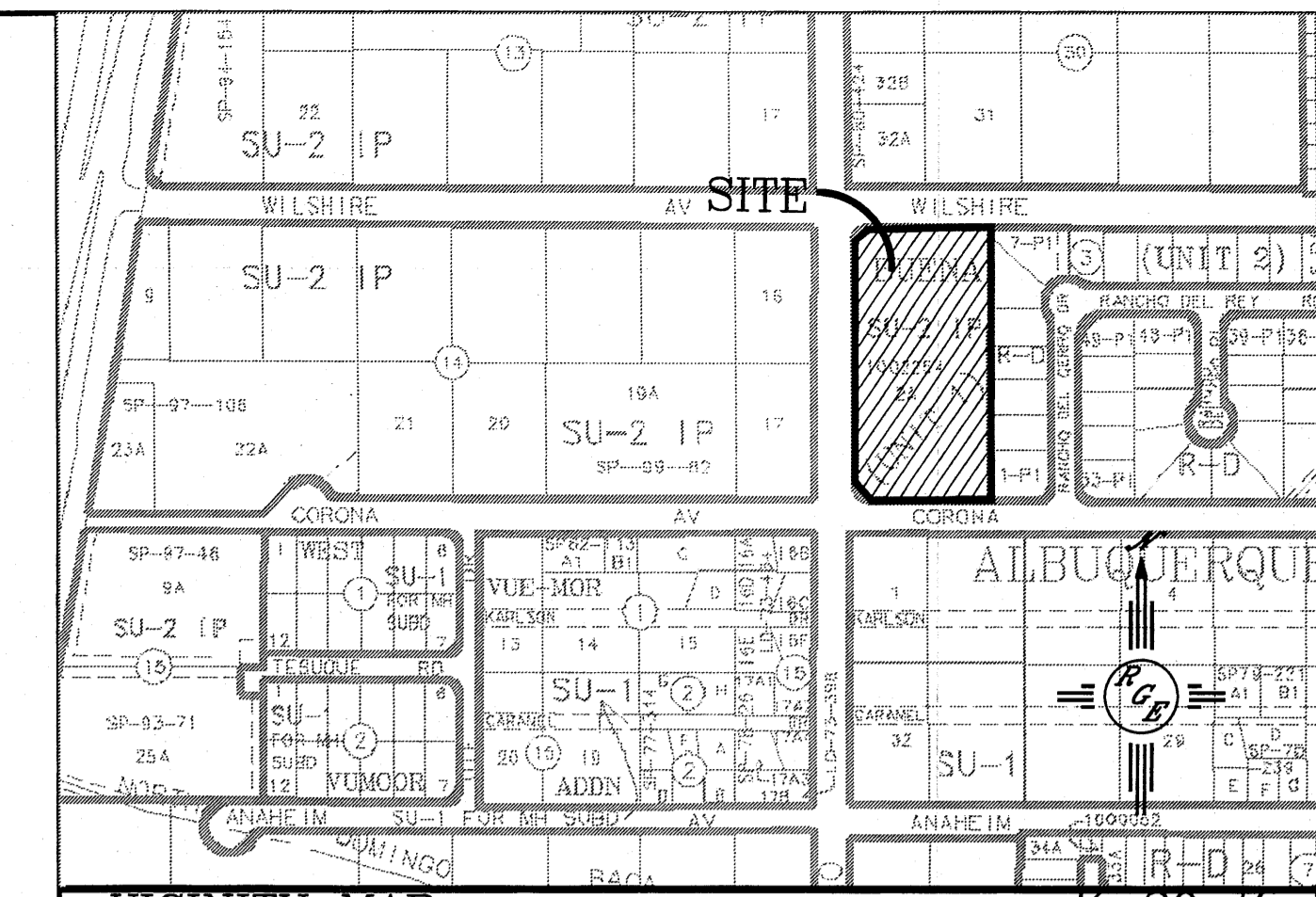


ENGINEER'S SEAL	BEEHIVE HOMES	DRAWN BY WCWJ
	<p>SITE PLAN FOR BUILDING PERMIT</p> <p>Rio Grande Engineering</p> <p>1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0989</p>	DATE 8-16-11
		2119-LAYOUT-8-01-10
DAVID SOULE P.E. #14522		SHEET # 1
		JOB # 2119

1002254

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

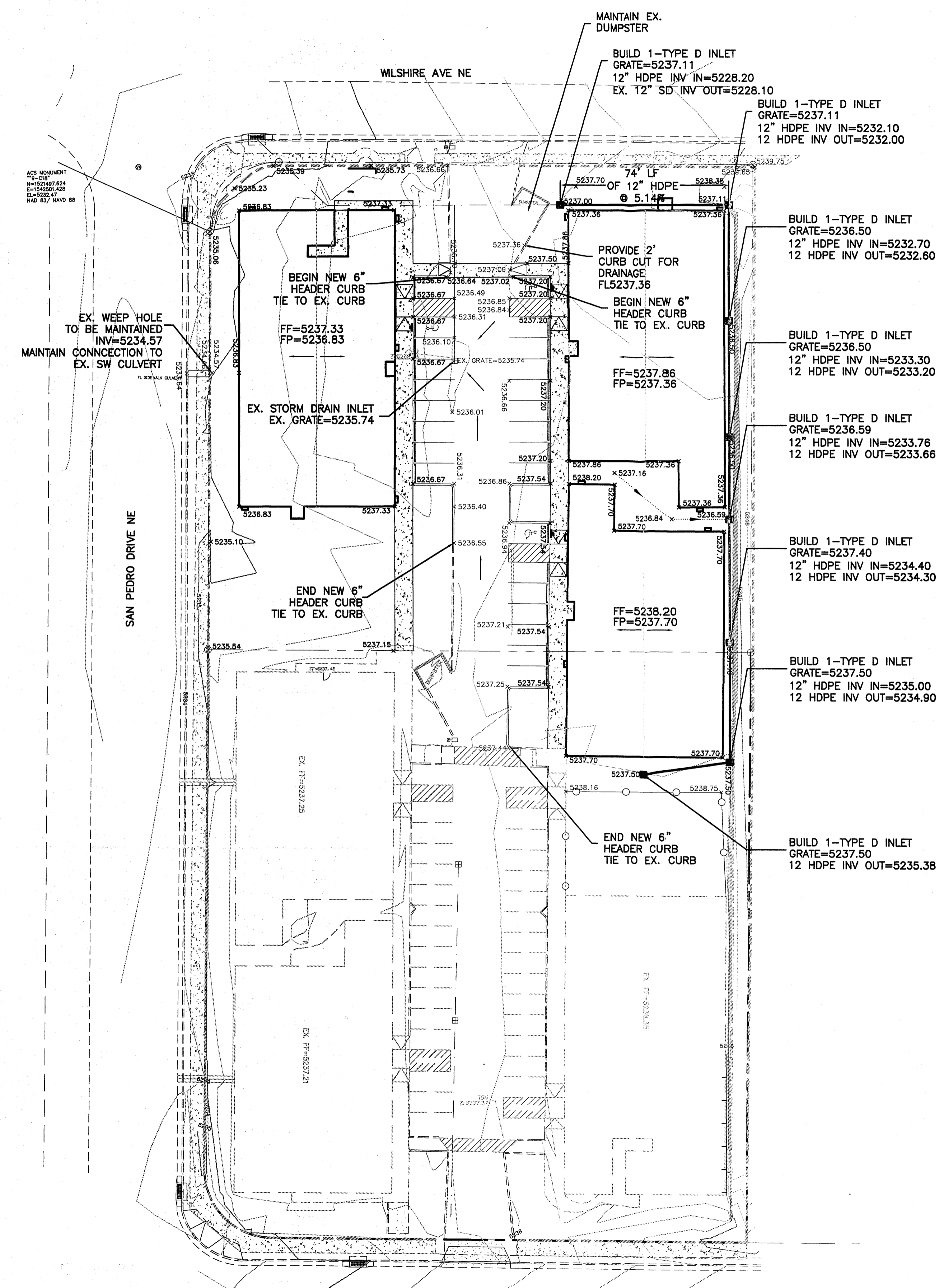
TRACT A-1, BEEHIVE VILLAGE

NOTES:

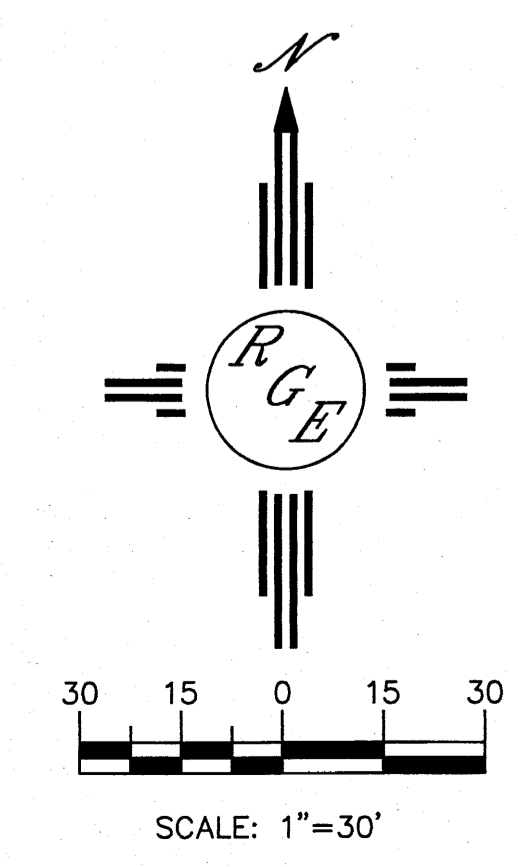
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY
	EXISTING FENCE
	PROPOSED CURB
	EXISTING CURB
	EXISTING SIDEWALK



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



	ENGINEER'S SEAL	BEEHIVE HOMES	DRAWN BY WCVJ
		GRADING AND DRAINAGE PLAN	DATE 6-21-11
		<i>Rio Grande Engineering</i>	2119-LAYOUT-6-01-10
		1605 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0899	SHEET # 2
DAVID SOULE P.E. #14522			JOB # 2119

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.

WATER SHUTOFF PLAN

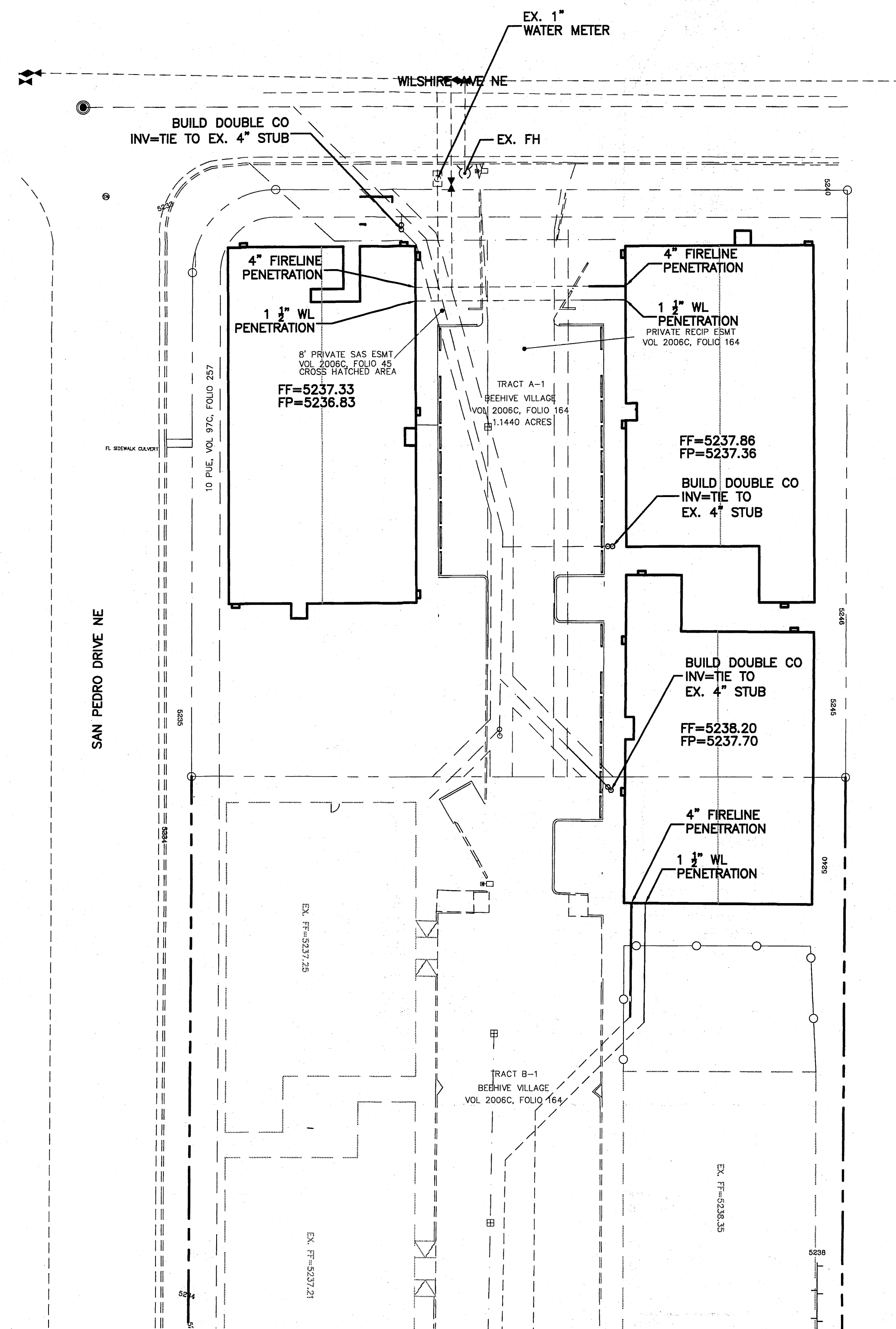
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH ABCWUA
 2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 3. NOTIFY ABCWUA THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
 4. ALL WATERLINES TO BE 3/4" COPPER, UNLESS OTHERWISE NOTED.
 5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

LEGEND

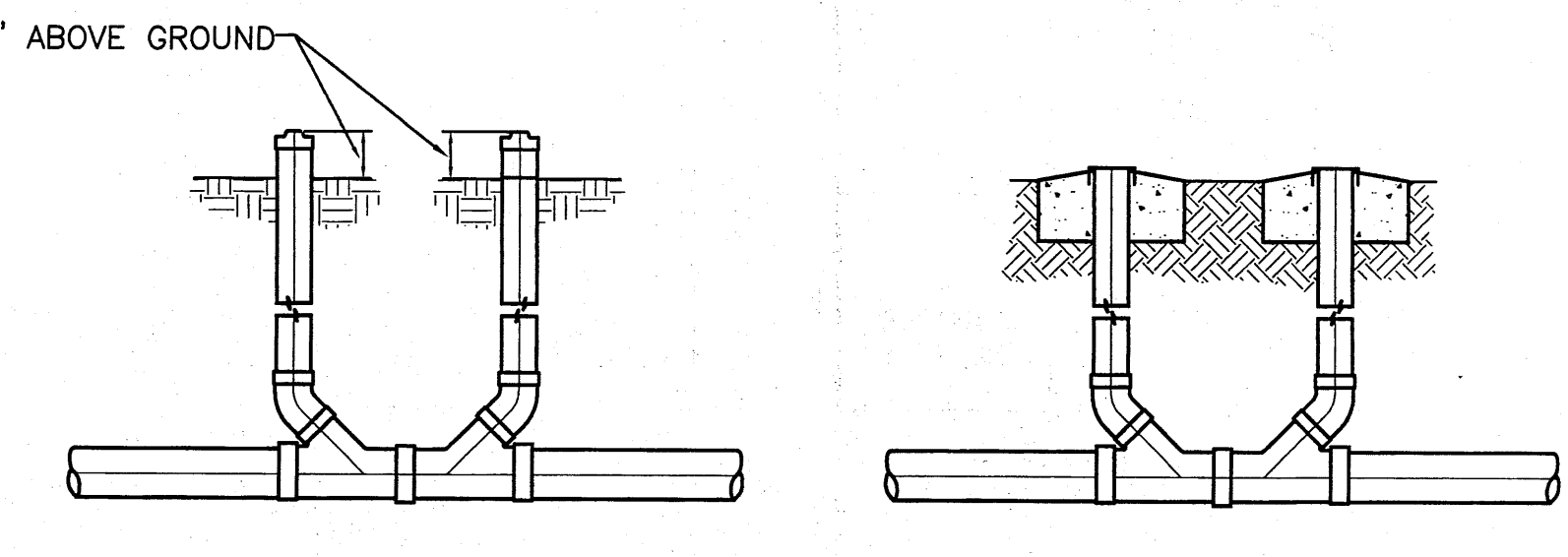
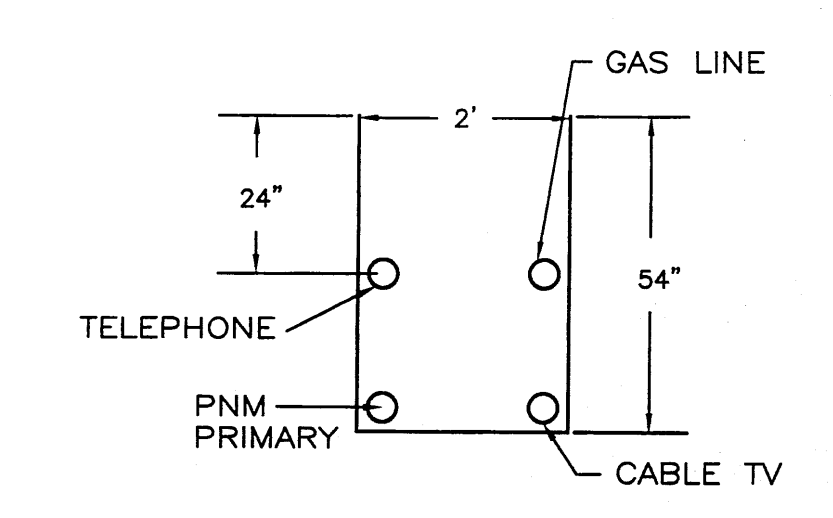
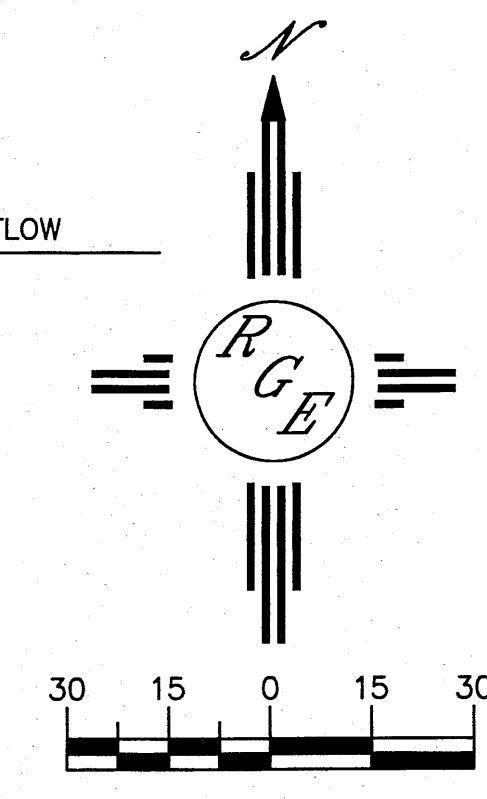
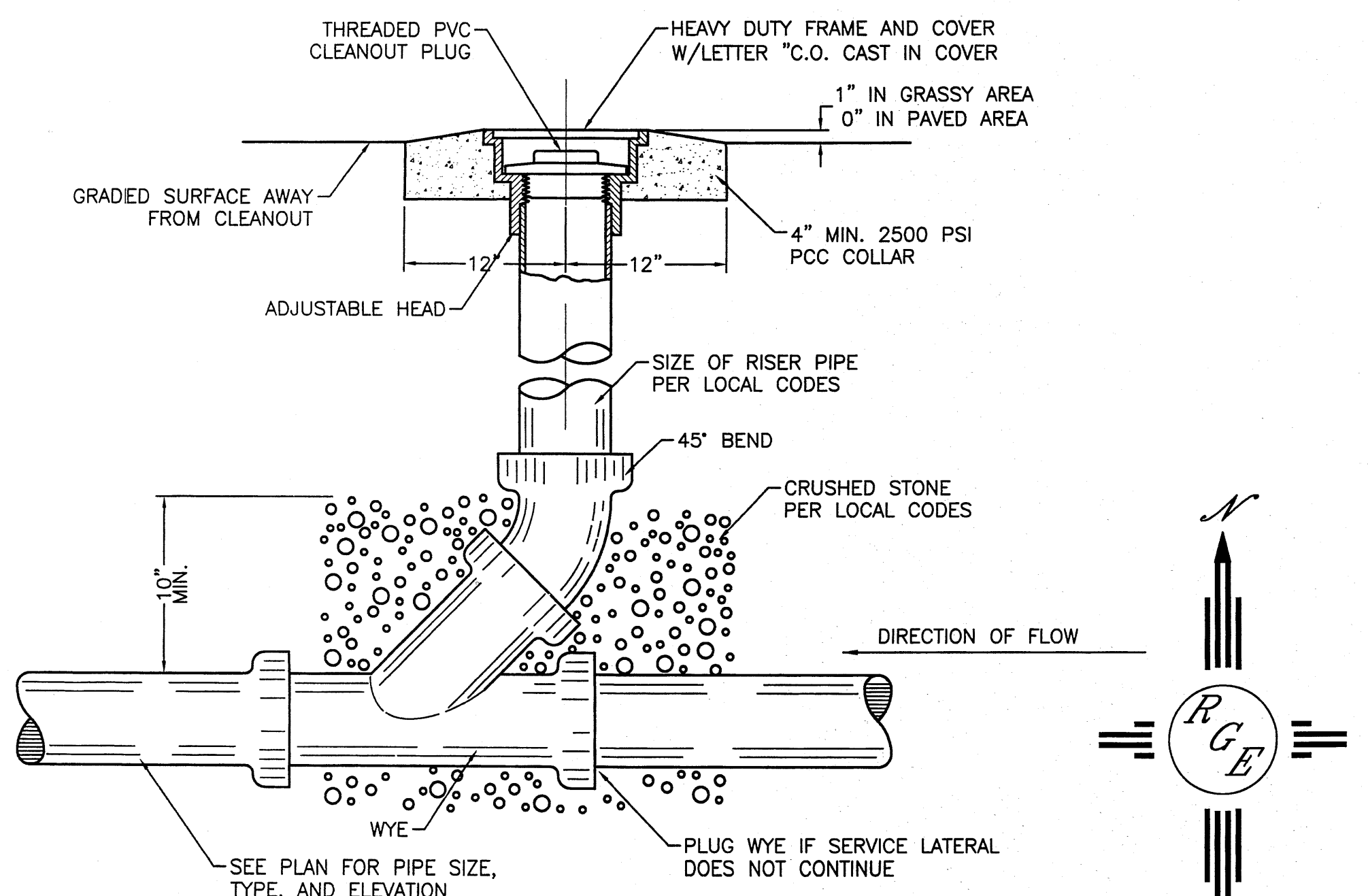
- | | |
|--|------------------------------|
| | EXISTING SAS MANHOLE |
| | EXISTING SANITARY SEWER LINE |
| | PROPOSED SAS MANHOLE |
| | PROPOSED SAS CLEANOUT |
| | PROPOSED SANITARY SEWER LINE |
| | SANITARY SEWER SERVICE LINE |
| | EXISTING WATER LINE |
| | PROPOSED METER |
| | PROPOSED VALVE W/BOX |
| | PROPOSED FIRE HYDRANT |
| | WATER SERVICE LINE |
| | PROPOSED WATER LINE |
| | PROPOSED STORM SEWER LINE |
| | EXISTING CURB & GUTTER |
| | PROPOSED CURB & GUTTER |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | DRY UTILITY TRENCH |
| | BOUNDARY LINE |
| | EASEMENT |

GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



BUENA VISTA ESTATES
VOL. 97C, FOLIO 314

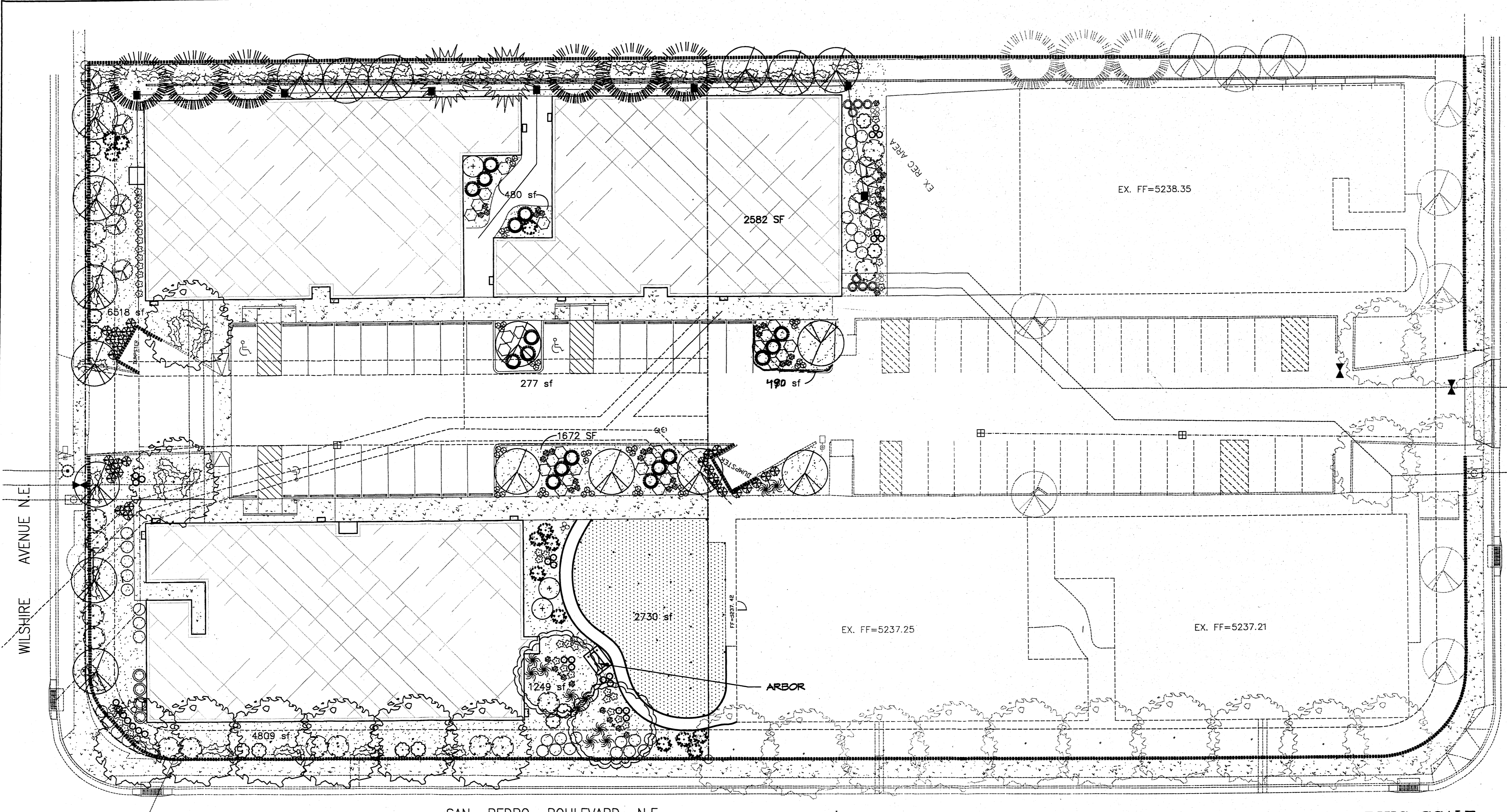


UTILITY TRENCH DETAIL
NTS

SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

SANITARY SEWER CLEAN-OUT
NTS

ENGINEER'S SEAL 	BEEHIVE VILLAGE MASTER UTILITY PLAN <i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DRAWN BY: WCWJ DATE: 5-18-11 2119-LAYOUT-6-01-10 SHEET # 3 JOB # 2119
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LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS

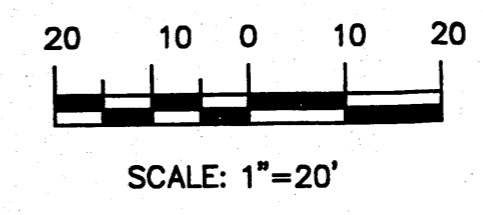
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: San Pedro Blvd.
Required # 16 Provided # 16 (10 existing)

PLANT LEGEND

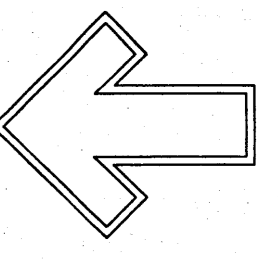
- SHUMARD OAK (M) 2
Gleditsia triacanthos
2" Cal.
- SYCAMORE (M) 8
Platanus spp.
2" Cal.
- EMERALD GREEN ARBOVITAE (M) 1
Thuja occidentalis 'Emerald'
- LEYLAND CYPRESS (M) 2
x Cupressocyparis leylandii
- FLOWERING PEAR (M+) 19
Pyrus calleryana
3" Cal.
- MUSKOGEE CRAPE MYRTLE (M) 3
Lagerstroemia indica
15" Cal.
- MUGHO PINE (L) 15
Juniperus spp.
5 Gal. 365f
- COMMON LILAC (M) 13
Syringa vulgaris
5 Gal. 100sf
- BUTTERFLY BUSH (M) 15
Buddleia davidii
5 Gal. 100sf
- FLOWER CARPET RED
GROUND COVER ROSE (M)
Rosa spp.
5 Gal. 25sf
- GREEN SPIRE EUONYMUS (M) 29
Euonymus spp.
5 Gal. 100sf
- RED TIP PHOTINIA (M) 12
Photinia fraseri
5 Gal. 64sf
- ARP ROSEMARY (M) 12
Rosmarinus officinalis
5 Gal. 36sf
- MAIDENGRASS (M) 11
Miscanthus sinensis
5 Gal. 16sf
- AUTUMN JOY SEDUM (M) 22
Guara lindheimeri
1 Gal.
- WHIRLING BUTTERFLIES (M) 41
Berberis thunbergii 'Atropur. Nana'
1 Gal. 4sf
- LAVENDER (M) 28
Lavandula angustifolia
1 Gal. 4sf
- HALLS HONEYSUCKLE (M) 10
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- COLUMBINE (M) 42
Kniphofia uvaria
1 Gal. 4sf
- THREADLEAF COREOPSIS (M) 37
Coreopsis auriculata 'Nana'
1 Gal. 4sf
- CRIMSON PIGMY BARBERRY (M) 14
Berberis thunbergii 'Atropur. Nana'
1 Gal. 4sf
- CREeping ROSEMARY (L+) 40
Rosmarinus officinalis prostrata
5 Gal. 16sf
- FESCUE SOD WITH POP UP SPRINKLER
- 3" SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- SFB COMPACTED CRUSHERFINE PATH WITH FILTER FABRIC
- COMMERCIAL GRADE STEEL EDGE

GRAPHIC SCALE



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	110206	square feet
TOTAL BUILDINGS AREA	45979	square feet
NET LOT AREA	64227	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	9634	square feet
TOTAL PHASE 2 BED PROVIDED	14928	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	11046	square feet
TOTAL GROUND COVER PROVIDED	12666 (86%)	square feet
TOTAL SOD AREA	2730 (15%)	square feet
(TOTAL PHASE 2 LANDSCAPE 17458 sq. ft.)		
TOTAL PHASE 1 BED	10287	square feet
TOTAL LANDSCAPE PROVIDED	27745 (43%)	square feet



Cont. Lic. #26458
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Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cnd@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007

Phase 2

Beehive Village Albuquerque, NM
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscaping Architects. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



DRAWN BY: grr
REVISION # 11
3/4-27-11
DATE: 9-14-05

SHEET #
L1 OF L1