

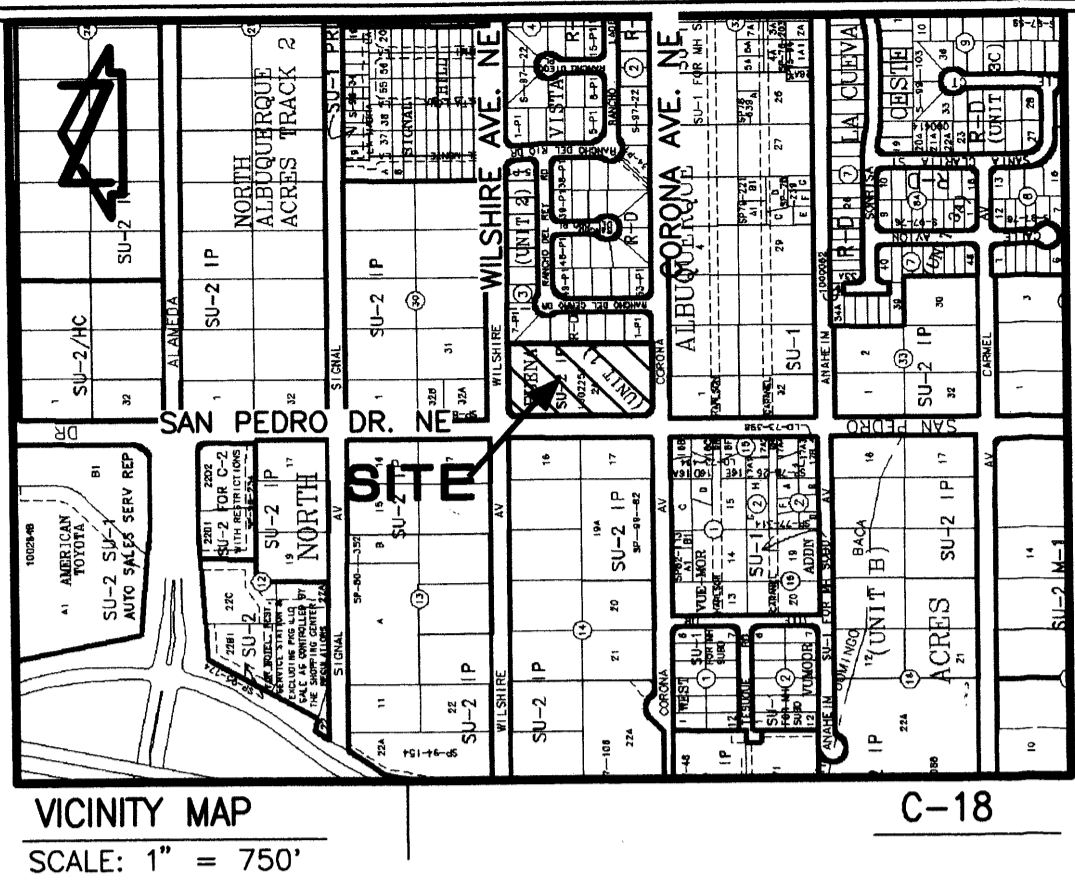
PROJECT # 1002254

LEGEND

| | | | |
|--------|----------------------------------|----------|--|
| BY PM | BY PAINT MARK | SD | STORM DRAIN |
| C&G | CURB AND GUTTER | SDMH | STORM DRAIN MANHOLE |
| CMU | CEMENT MASONRY UNIT | SDMH/C | STORM DRAIN MANHOLE IN CONCRETE |
| DIP | DUCTILE IRON PIPE | SI | STORM INLET |
| EA | EDGE OF ASPHALT | STD. C&G | STANDARD CURB AND GUTTER |
| EH | FIRE HYDRANT | TSW | TOP OF SIDEWALK |
| FL | FLOWLINE | T BY PM | TELEPHONE LINE BY PAINT MARK |
| INV | INVERT | TA | TOP OF ASPHALT |
| MH | MANHOLE | TC | TOP OF CURB |
| MP | METAL POLE | TCO | TOP OF CONCRETE |
| MS | METAL SIGN | TG | TOP OF GRATE |
| OHE(2) | OVERHEAD ELECTRIC (NO. OF LINES) | TR | TELEPHONE RISER |
| PVC | POLYVINYL CHLORIDE PIPE | WCR | WHEELCHAIR RAMP |
| RCP | REINFORCED CONCRETE PIPE | WPP | WOOD POWER POLE |
| SAS | SANITARY SEWER | WVB | WATER VALVE BOX |
| | | WVB/C | WATER VALVE BOX IN CONCRETE |
| | | EXISTING | EXISTING SPOT ELEVATION |
| | | EXISTING | EXISTING CONTOUR |
| | | SC | SEE LIGHTING SCHEDULE BELOW |
| | | | Small Car/compact space with PAINTED MARKING |

INDEX OF DRAWINGS

| SHEET | DESCRIPTION |
|-------|---|
| C.1 | SITE PLAN FOR BUILDING PERMIT |
| A.1 | SITE DETAILS |
| A.2 | ELEVATIONS - BUILDINGS A & B |
| A.3 | ELEVATIONS - BUILDINGS C, D, E & F |
| G.1 | CONCEPTUAL GRADING PLAN |
| G.2 | CONCEPTUAL DRAINAGE PLAN, CALCULATIONS AND CONSTRUCTION NOTES |
| U.1 | CONCEPTUAL UTILITY PLAN |
| L.1 | LANDSCAPING PLAN |



PROJECT NUMBER: 1002254
 APPLICATION NUMBER: 05 DRB-01643

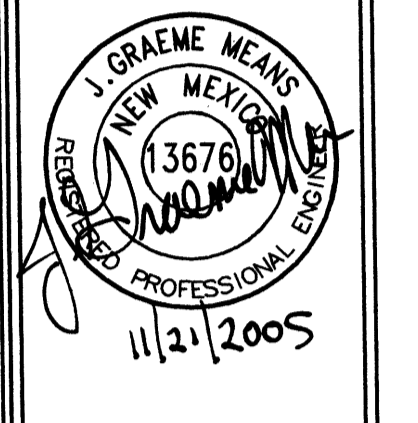
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

| | |
|---|------------------|
| <i>Ray A. Brown</i> Traffic Engineering, Transportation Division Water Utility Department | 11-23-05 Date |
| <i>Christina Sandoral</i> Parks and Recreation Department | 11/23/05 Date |
| <i>Bradley L. Bingham</i> City Engineer | 11/23/05 Date |
| <i>Michael Holton</i> Solid Waste Management | 11/22/05 Date |
| <i>B. Malton</i> DRB Chairperson, Planning Department | 11/22/05 Date |

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------|
| 1 | 11/14/05 | DRB |



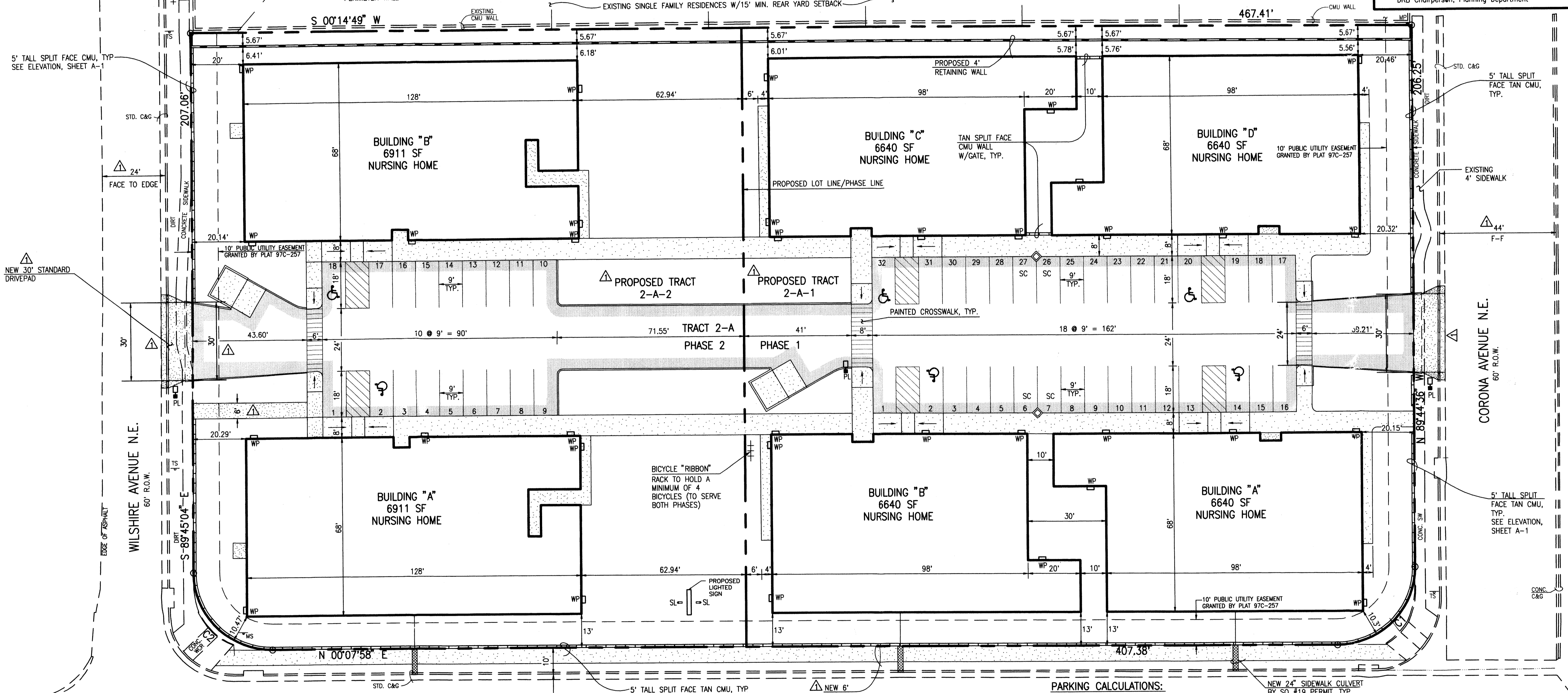
DATE: 10/2005
 DRAWN BY: G.M./R.V.
 SCALE: 1" = 20'

SAN PEDRO DRIVE NE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN FOR
 BUILDING PERMIT

EEHIVE HOMES
 QUALITY SENIOR LIVING
 1500 V. BARRETT DR
 ALBUQUERQUE, NM 87106
 PHONE: 505.263.9975
 FAX: 505.263.9975
 E-MAIL: karten@eehivehomes.com

C.1

File Path: E:\WORK\1002254\11-21-05\1002254.dwg
 Plot Date: 11-21-2005
 File Name: 50034CCSP3.DWG
 Plot Time: 09:22 gm



CURVE TABLE

| CURVE | RADIUS | LENGTH | CHORD | BEARING | DELTA |
|-------|--------|--------|--------|---------------|-----------|
| C1 | 30.00' | 47.06' | 42.38' | N 44°48'22" W | 89°52'34" |
| C2 | 30.00' | 47.18' | 42.47' | N 45°11'23" E | 90°06'58" |

PARKING CALCULATIONS:
 NURSING HOME: 1 SPACE PER 2 BEDS
 EACH BUILDING HAS 15 BEDS AND REQUIRES 8 SPACES
 PHASE 1 HAS 4 BUILDINGS, 32 SPACES REQUIRED AND PROVIDED OF WHICH 4 ARE ACCESSIBLE (2 HC SPACES REQUIRED)
 AND 4 ARE SMALL CAR SPACES
 PHASE 2 HAS 2 BUILDINGS, 16 SPACES REQUIRED AND 18 PROVIDED OF WHICH 2 ARE ACCESSIBLE (1 HC SPACE REQUIRED)
 BICYCLE PARKING IS 1 SPACE PER 20 PARKING SPACES
 PHASE 1 REQUIRES 2 BICYCLE SPACES AND
 PHASE 2 REQUIRES 1 BICYCLE SPACE
 PARKING FOR 4 BICYCLES WILL BE PROVIDED WITH PHASE 1 TO SERVE BOTH PHASES.

| A | B | C | D | E | F | REMARKS |
|------|--------------|--|----------------------------------|---------------|----------|-------------------|
| TYPE | MANUFACTURER | MODEL NUMBER | DESCRIPTION | LAMPS/BALLAST | QUANTITY | WATTS PER FIXTURE |
| WP | LITHONIA | TVP 150M 120 LPI | EXTERIOR WALL PACK WALL MTD. HID | 150M | 26 | 150 |
| PL | LITHONIA | (LUMINAIRE) KSE1 150M R2 RP9 SF (POLE) SSS 20 4G IM19 IMB | AREA LIGHTING POLE MTD. HID | 150M | 3 | 150 |
| SL | HYDREL | L1R7246-S GRAVITY FIT SOCKET PENDANT OWNER SPECIFIED GLASS SHADE | SIGN LIGHTS GRADE MTD. HID | 70M | 2 | 140 |

NOTES:
 1) THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM THE MARCH 23, 2005 SURVEYS CONDUCTED BY THIS OFFICE
 2) TRACTS 2-A-1 AND 2-A-2 WILL REQUIRE PRIVATE ACCESS, PARKING, DRAINAGE AND UTILITY EASEMENTS TO BE SPECIFICALLY DEFINED BY THE FORTHCOMING PLATTING ACTION

JMA JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS (S) SURVEYORS (SOS) 343-4250
 FAX: 505 343-4254 ESTABLISHED 1977

2005.003.4

| NO. | DATE | DESCRIPTION |
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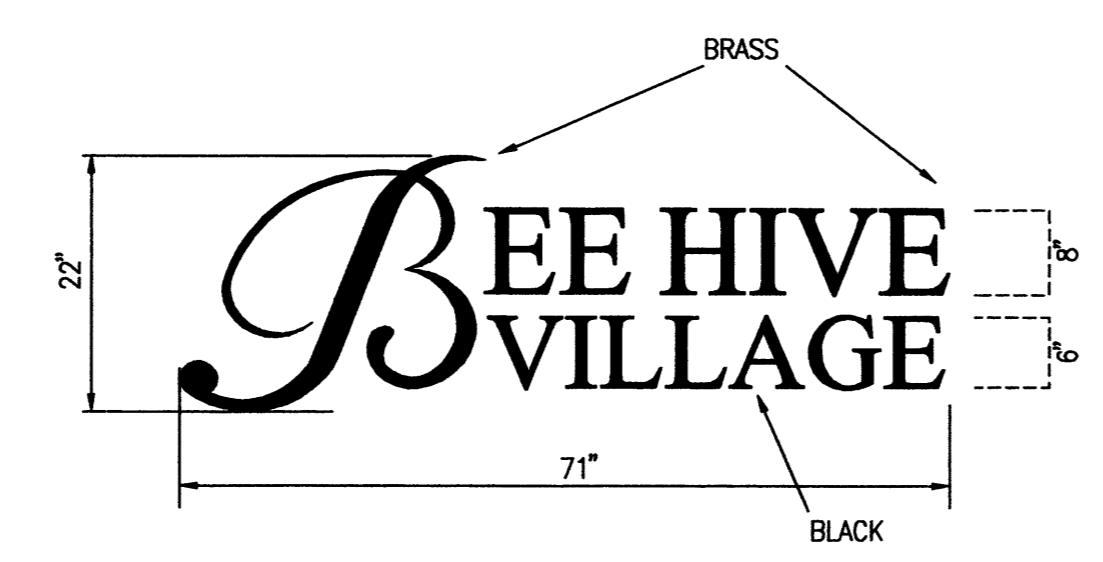


DATE: 10-2005
 DRAWN BY: G.M. / R.V.
 SCALE:

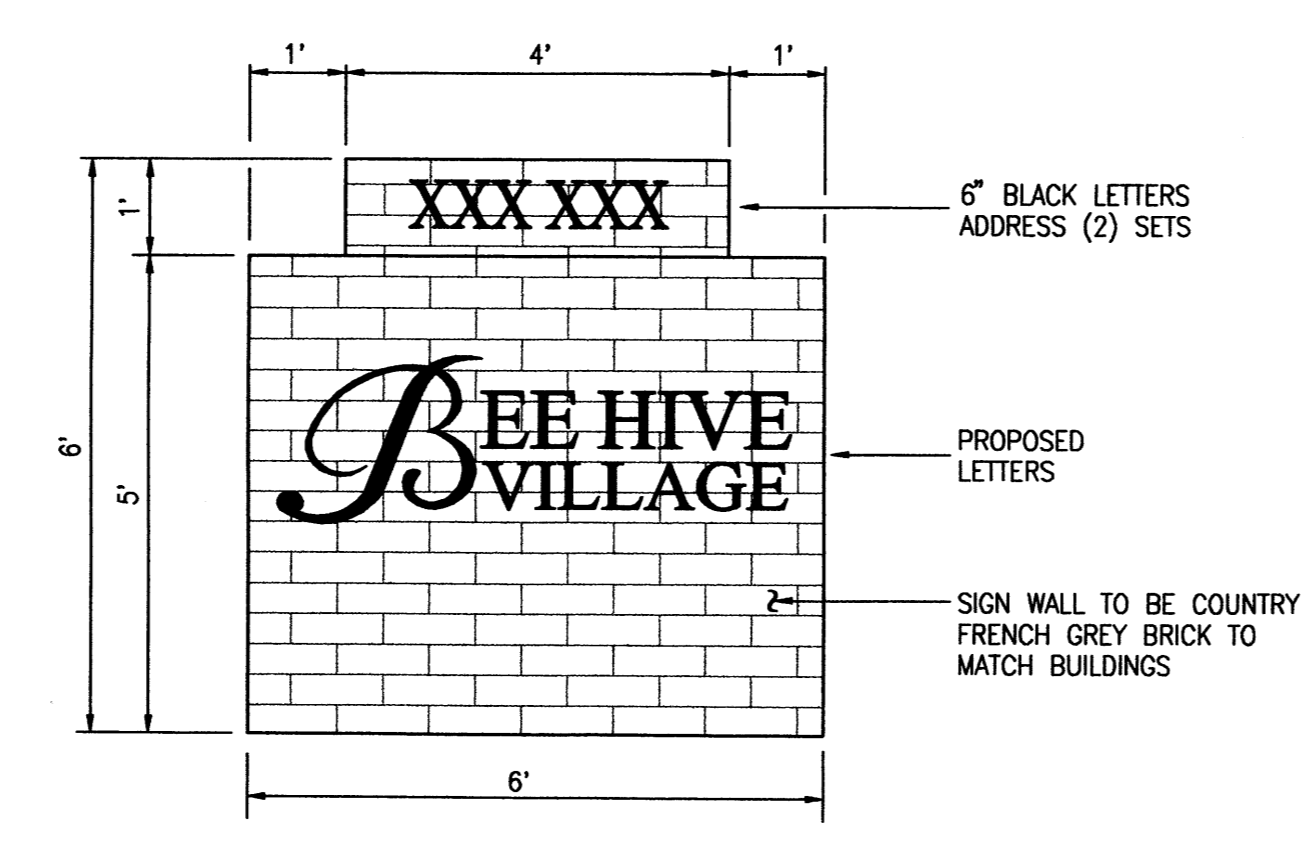
SAN PEDRO DRIVE N.W.
 FOR CONSTRUCTION
 PAGE TITLE: SITE DETAILS

BEEHIVE HOMES
 QUALITY SENIOR LIVING
 ENGINEERING SURVEYORS & ARCHITECTS
 6010-B MIDWAY PARK BLVD., N.E.
 ALBUQUERQUE, NM 87109
 PHONE: (505) 889-7245
 FAX: (505) 889-7245
 E-MAIL: karter@beehivehomes.com

A-1

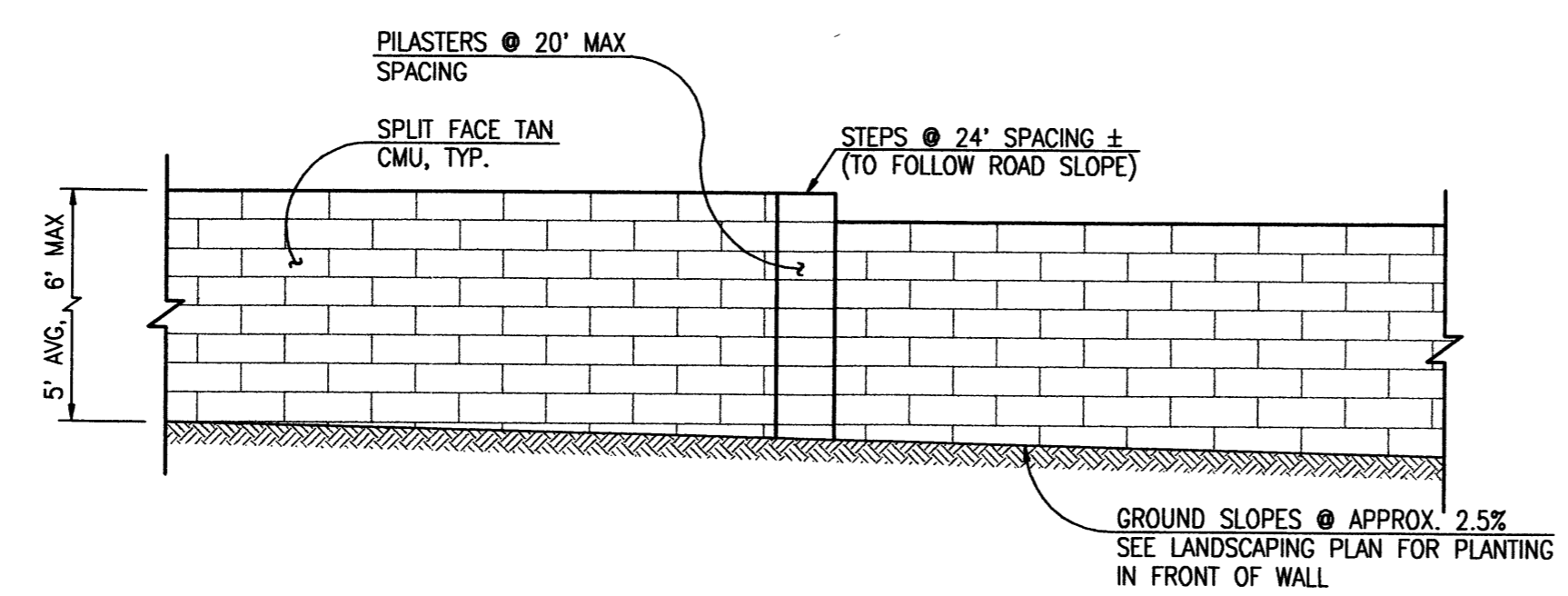


NON-ILLUMINATED METAL PIN LETTERS (CUSTOM FONT)
 COLOR: BRASS AND BLACK
 OVERALL HEIGHT: 22"
 OVERALL LENGTH: 71"
 THICKNESS: 1/4"

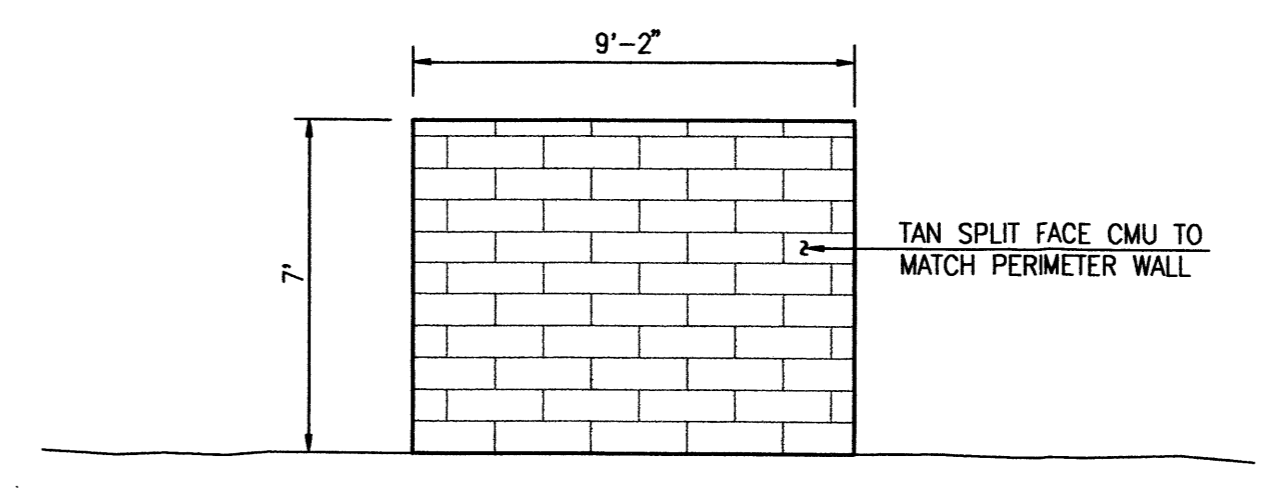


PROPOSED SIGN DETAIL (34 sf)
 SCALE: 1" = 2'

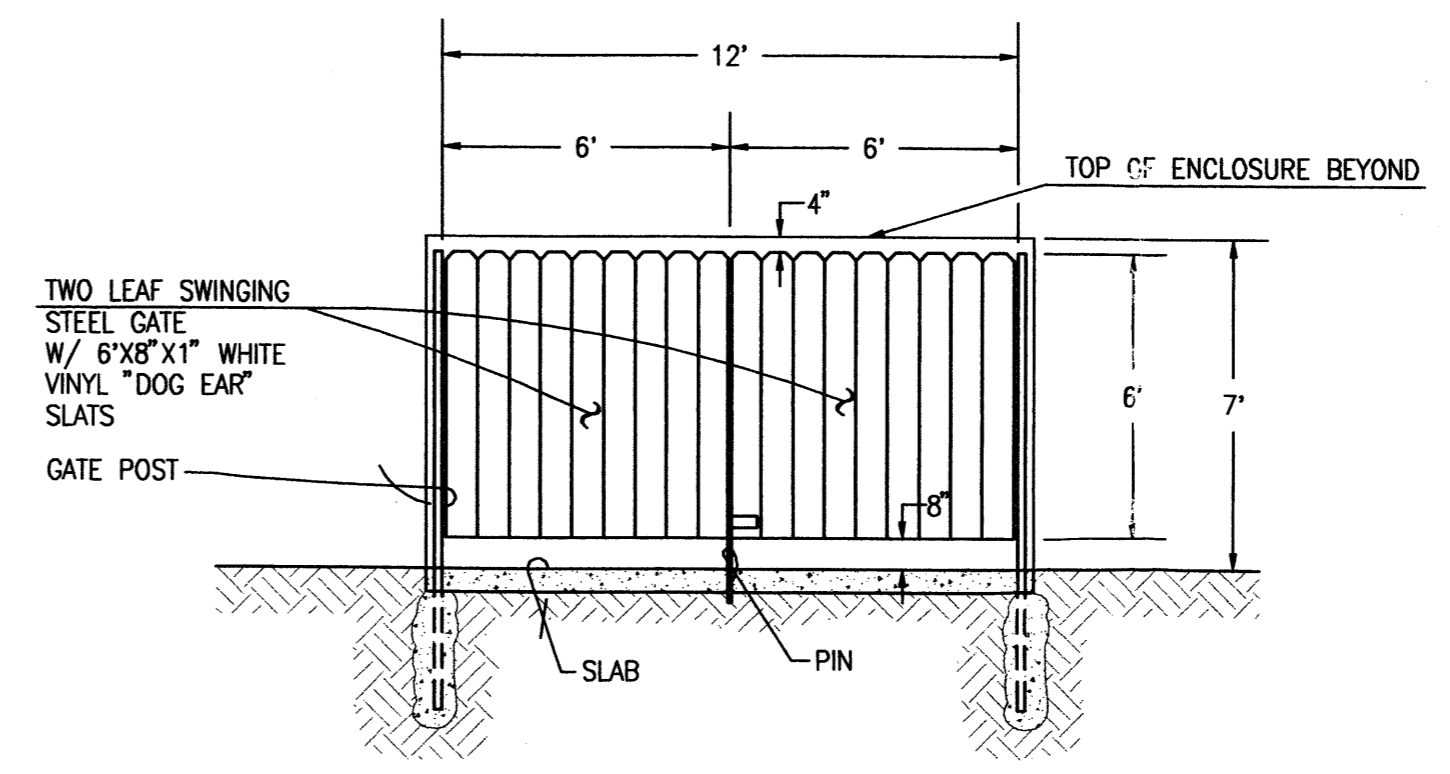
NOTE: SIGN TO BE UPLIFT WITH 1-250 WATT METAL HALIDE LAMP.



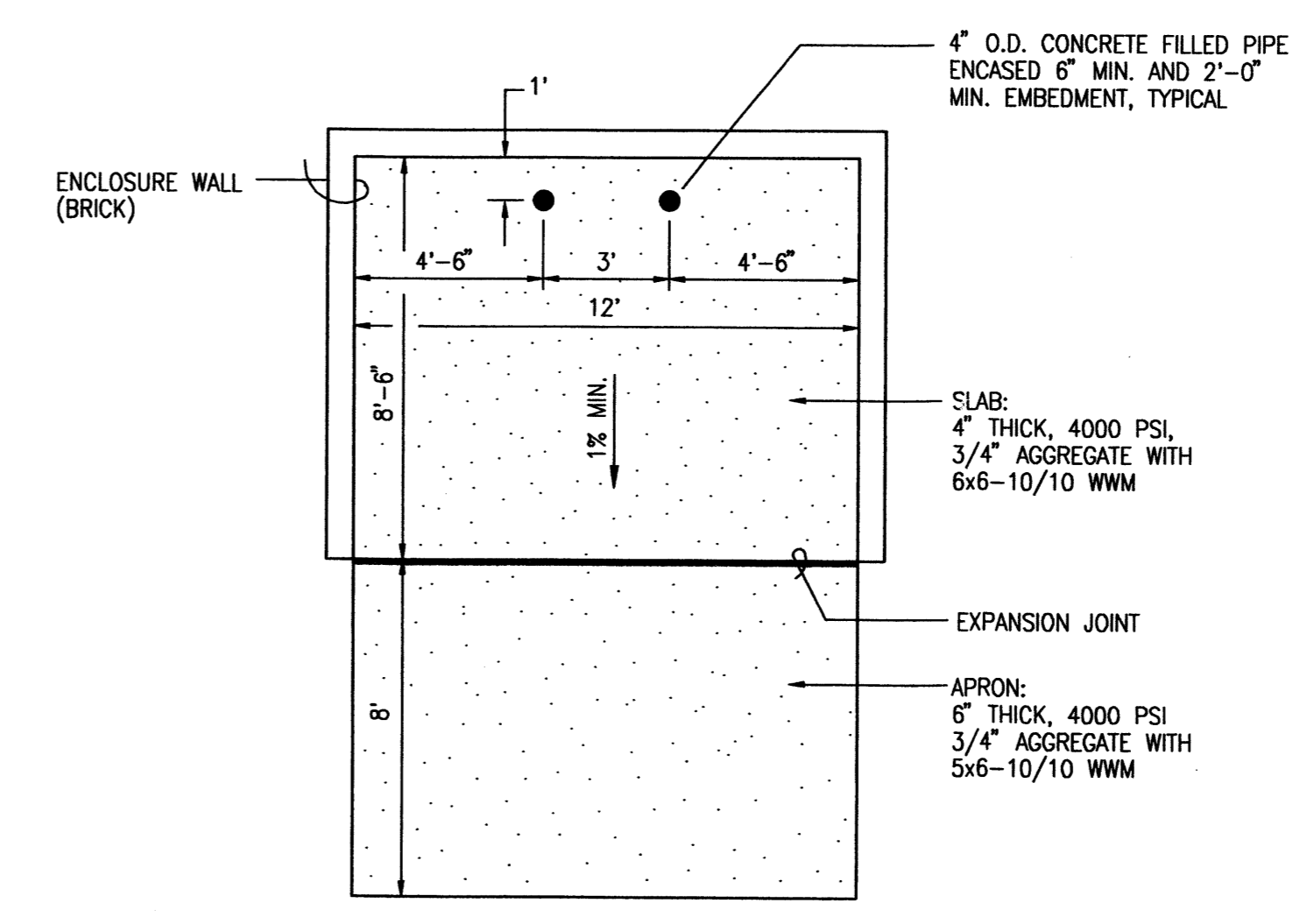
TYPICAL PERIMETER WALL ELEVATION (APPLIES TO ALL 3 SIDES)
 SCALE: 1" = 4'



REFUSE ENCLOSURE SIDE ELEVATION
 SCALE: 1" = 4'



REFUSE ENCLOSURE GATE ELEVATION
 SCALE: 1" = 4'

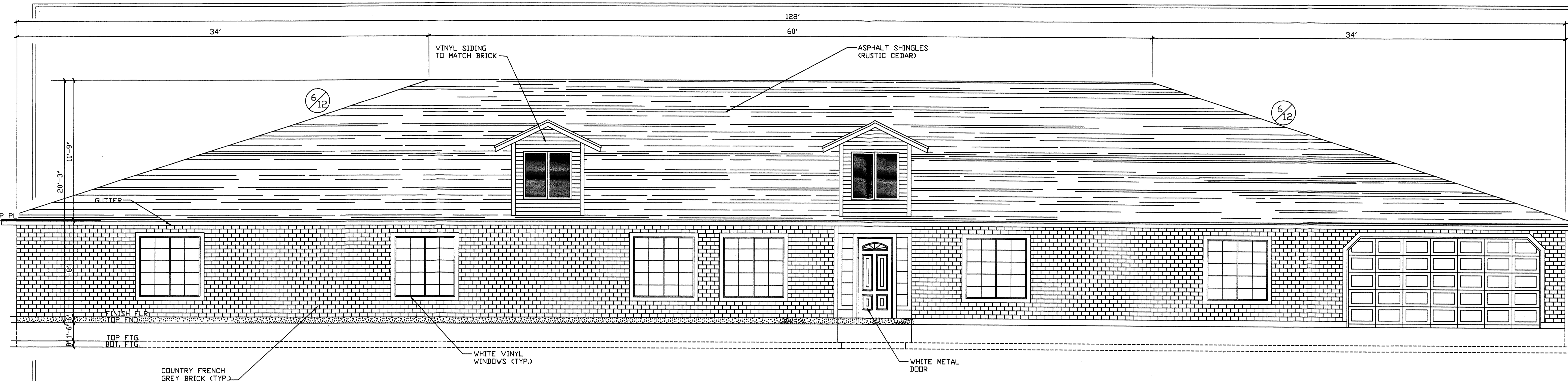


REFUSE ENCLOSURE PLAN
 SCALE: 1" = 4'

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 File Name: 50034SITE.DWG Plot Time: 12:59 pm

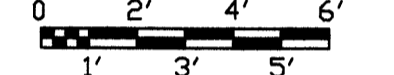
JMA JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977

2005.003.4

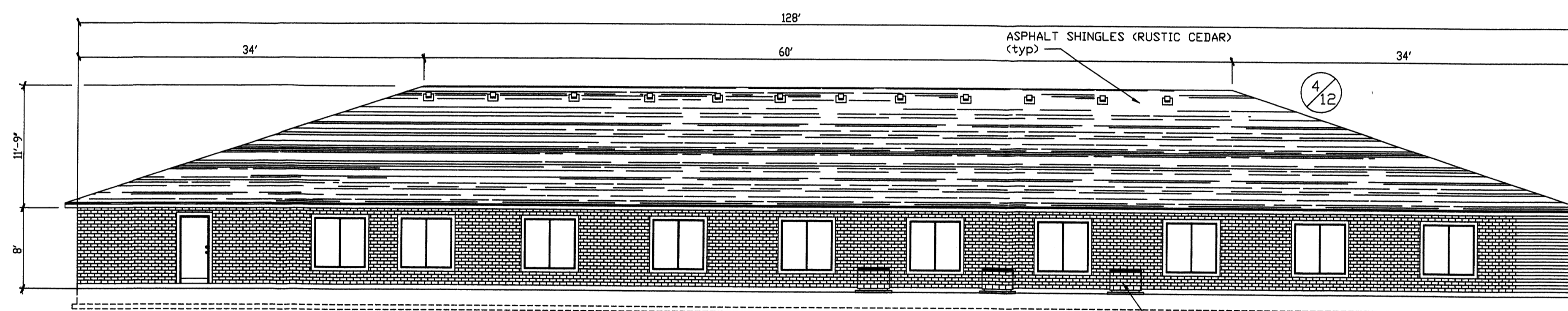


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

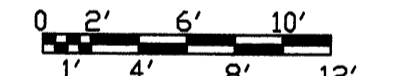


(B)

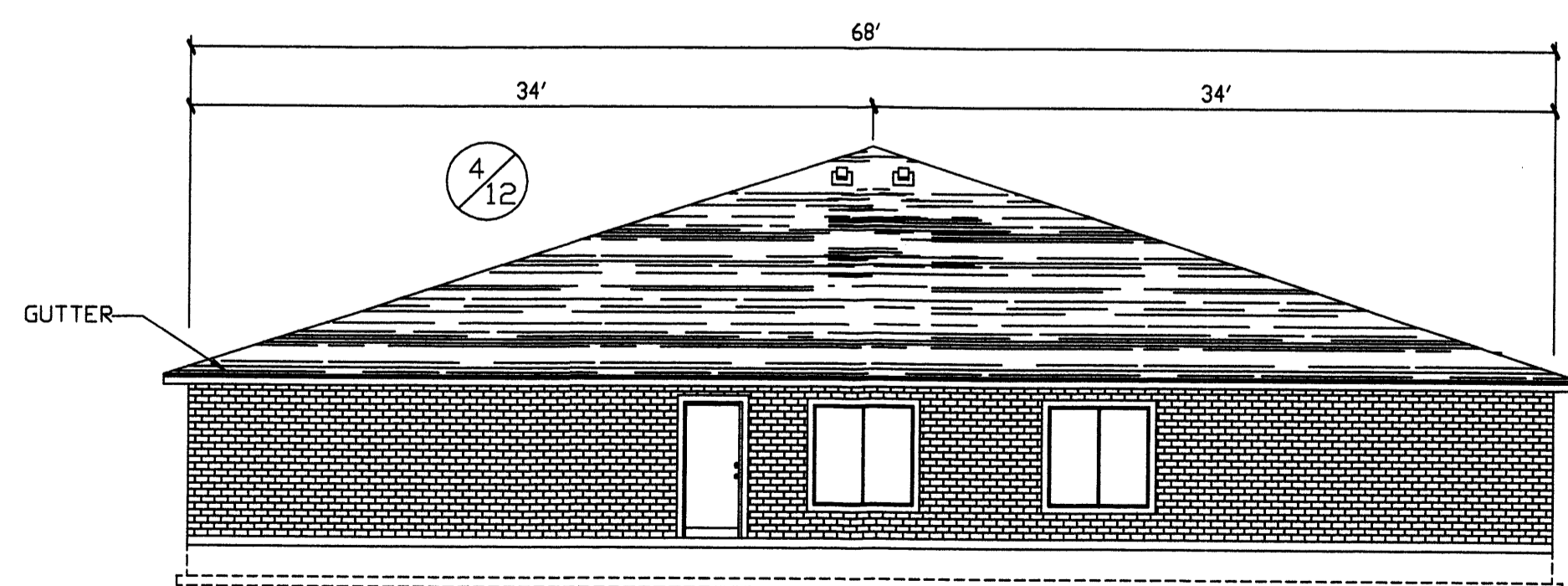


BACK ELEVATION

SCALE: 1/8" = 1'-0"

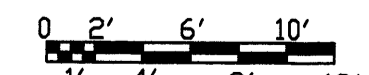


(B)

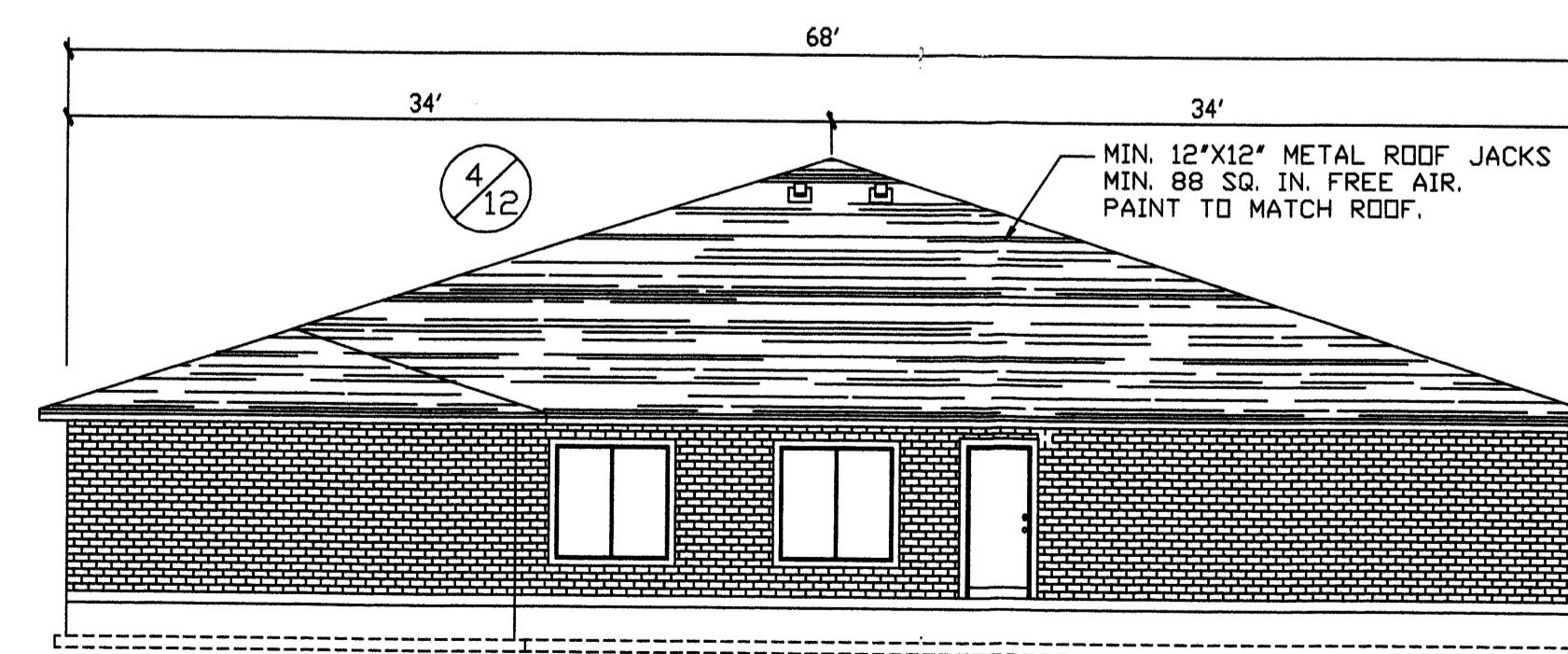


LEFT ELEVATION

SCALE: 1/8" = 1'-0"

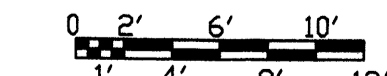


(C)



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



(D)

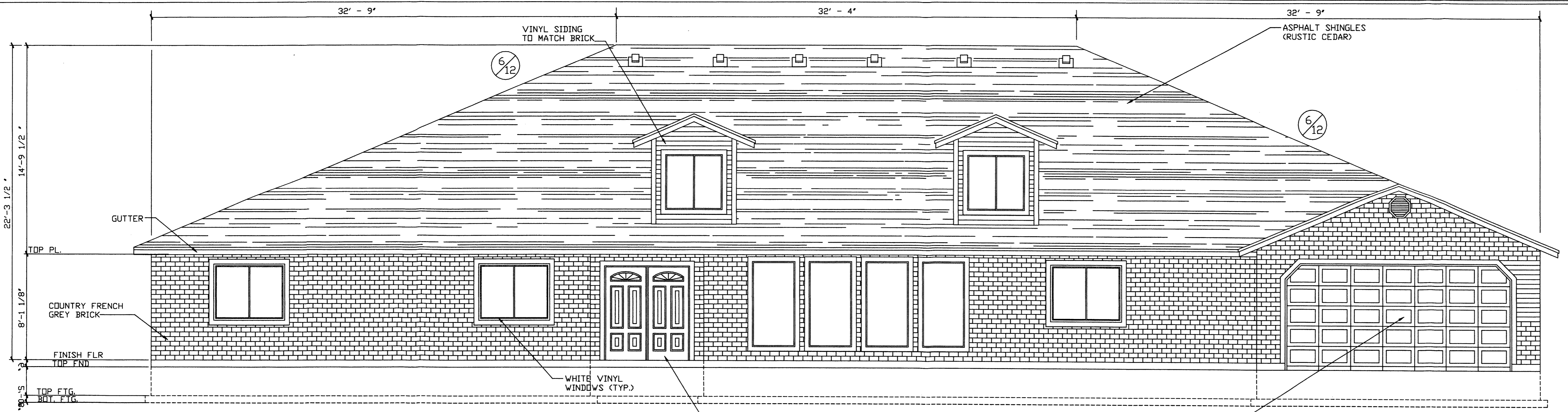
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DATE: JAN 14, 2005
 DRAWN BY: A.J./K.R.
 SCALE:

SAN PEDRO NEW MEXICO
 FOR CONSTRUCTION
 ELEVATIONS BUILDING A AND B

BEEHIVE HOMES
 QUALITY SENIOR LIVING
 ENGINEERING
 1500 W. BARRETT DR
 MERIDIAN, ID. 83642
 PHONE: (208) 899-7145
 E-MAIL: karten@beehivehomes.net

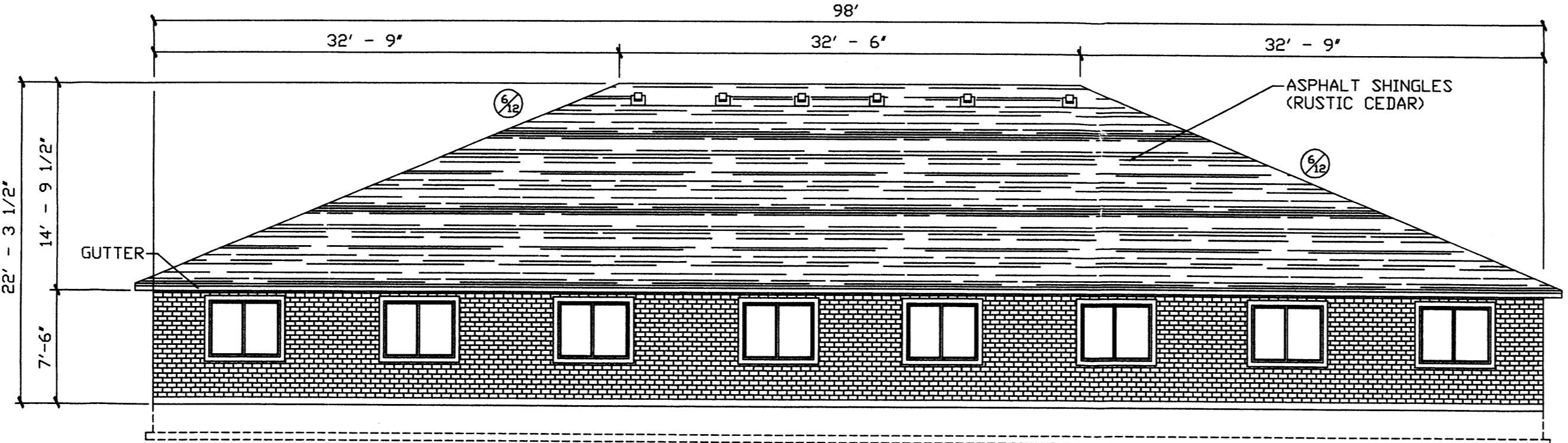
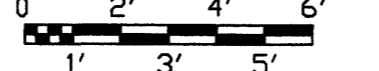
A-2
 SHEET



NOTE: THIS IS A TYPICAL BUILDING ELEVATION LOCATION OF GARAGE WILL VARY.

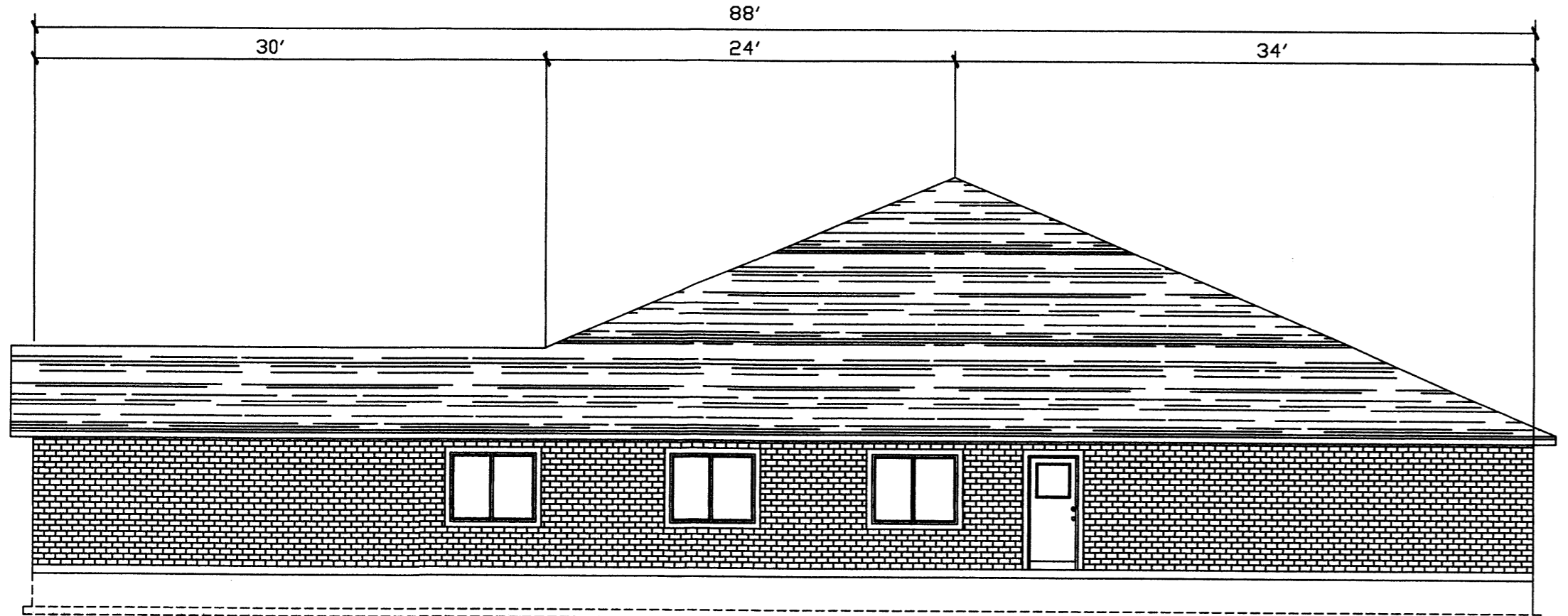
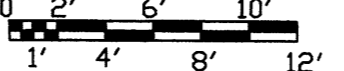
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



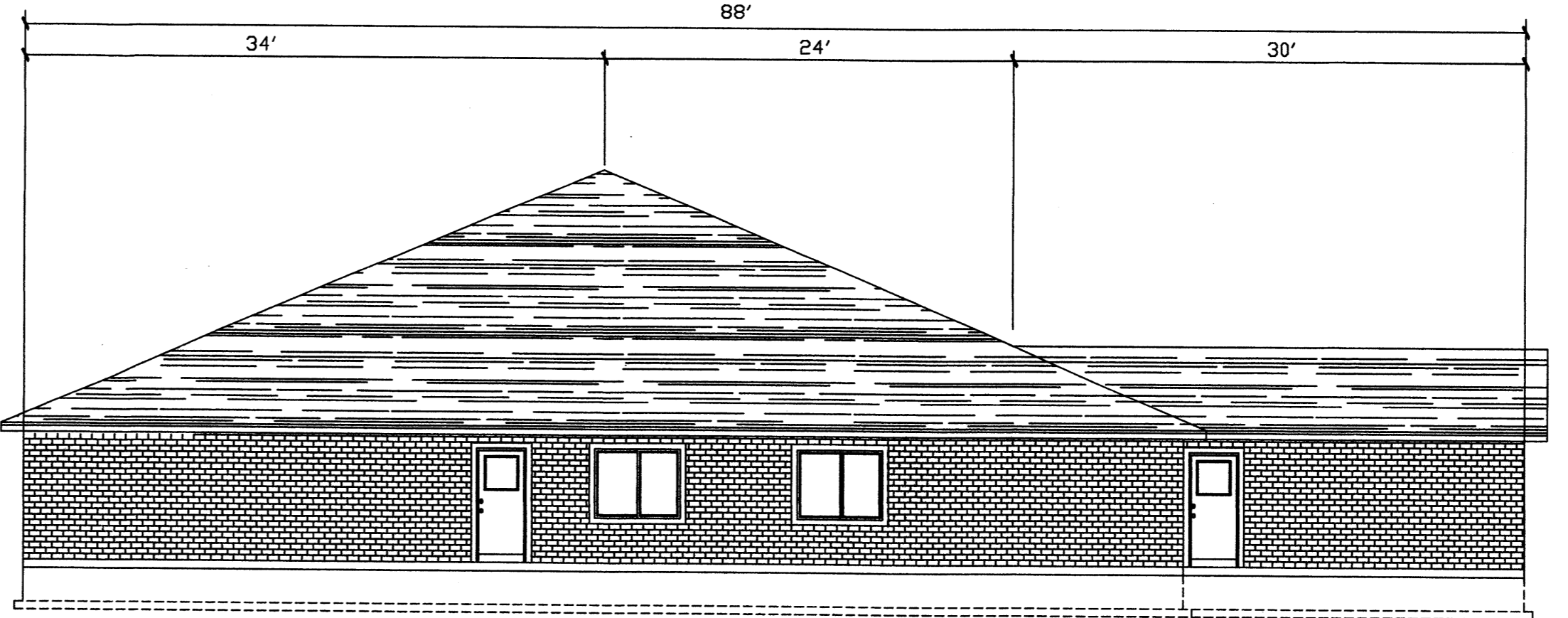
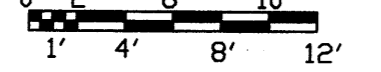
BACK ELEVATION

SCALE: 1/8" = 1'-0"



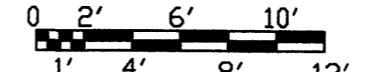
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REVISIONS

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| DATE: | JAN 14, 2005 |
| DRAWN BY: | A.J./K.R. |
| SCALE: | |

SAN PEDRO DRIVE NE
FOR CONSTRUCTION
PAGE TITLE
BLDG C,D,E & F ELEVATIONS

QUALITY SENIOR LIVING
ENGINEERING
1500 W. BARRETT DR
MERRIDIAN, ID. 83642
PHONE: (208) 889-7145
FAX: (208) 889-2165
E-MAIL: rcr@beehivehomes.net

A-3

| CURVE TABLE | | | | | |
|-------------|--------|--------|--------|---------------|-----------|
| CURVE | RADIUS | LENGTH | CHORD | BEARING | DELTA |
| C1 | 30.00' | 47.06' | 42.38' | N 44°48'22" W | 89°52'34" |
| C2 | 30.00' | 47.18' | 42.47' | N 45°11'23" E | 90°06'58" |

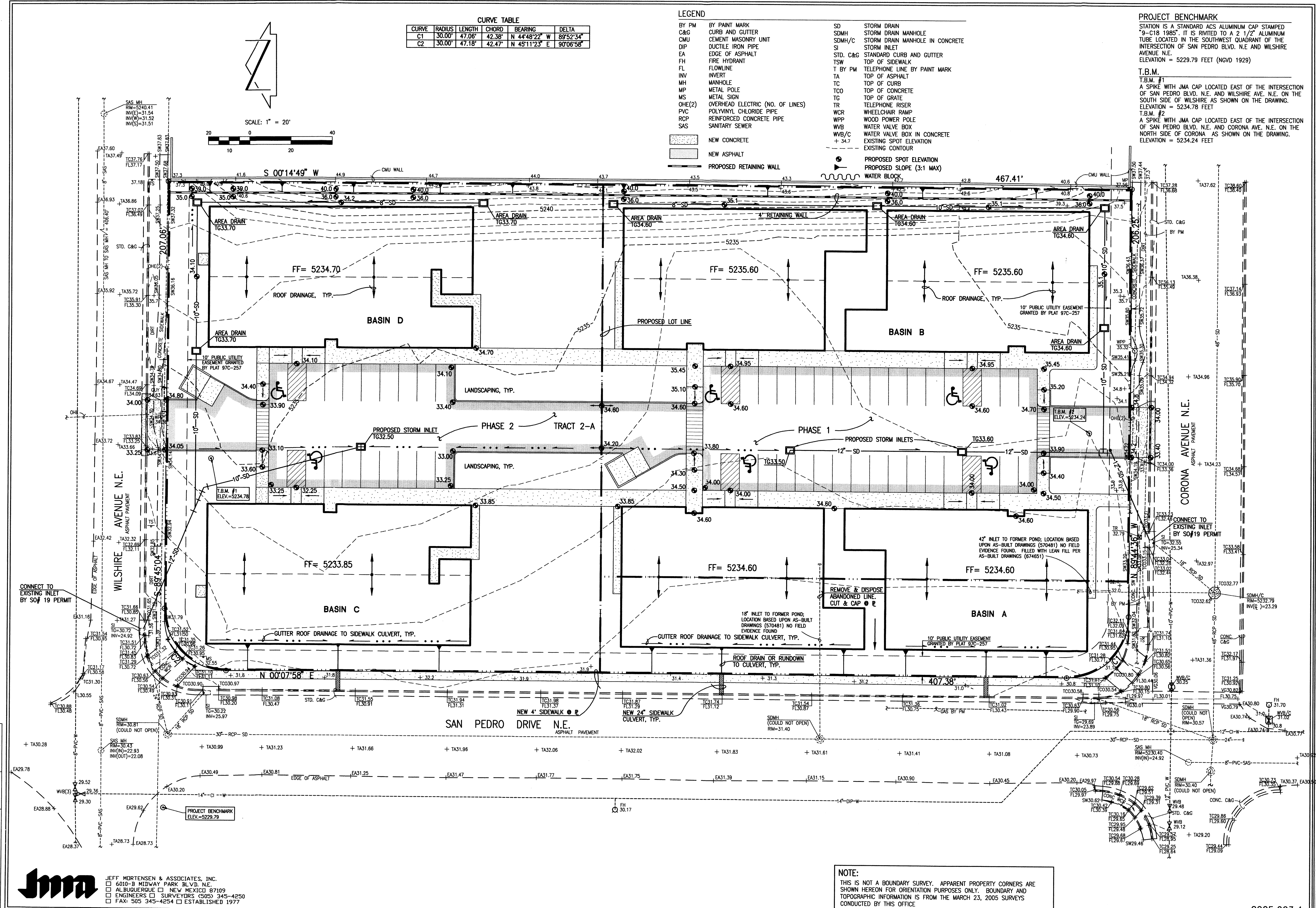
LEGEND

- BY PM BY PAINT MARK
- C&G CURB AND GUTTER
- CMU CEMENT MASONRY UNIT
- DIP DUCTILE IRON PIPE
- EA EDGE OF ASPHALT
- FH FIRE HYDRANT
- FL FLOWLINE
- INV INVERT
- MH MANHOLE
- MP METAL POLE
- MS METAL SIGN
- OHE(2) OVERHEAD ELECTRIC (NO. OF LINES)
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- SAS SANITARY SEWER
- NEW CONCRETE
- NEW ASPHALT
- PROPOSED RETAINING WALL
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SDMH/C STORM DRAIN MANHOLE IN CONCRETE
- SI STORM INLET
- STD. C&G STANDARD CURB AND GUTTER
- TSW TOP OF SIDEWALK
- T BY PM TELEPHONE LINE BY PAINT MARK
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TG TOP OF GRATE
- TR TELEPHONE RISER
- WCR WHEELCHAIR RAMP
- WPP WOOD POWER POLE
- WVB WATER VALVE BOX
- WVB/C WATER VALVE BOX IN CONCRETE
- + 34.7 EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED SLOPE (3:1 MAX)
- WATER BLOCK

PROJECT BENCHMARK
 STATION IS A STANDARD ACS ALUMINUM CAP STAMPED "9-C18 1985". IT IS RIVETED TO A 2 1/2" ALUMINUM TUBE LOCATED IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND WILSHIRE AVENUE N.E.
 ELEVATION = 5229.79 FEET (NGVD 1929)

T.B.M. #1
 A SPIKE WITH JMA CAP LOCATED EAST OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND WILSHIRE AVE. N.E. ON THE SOUTH SIDE OF WILSHIRE AVE. AS SHOWN ON THE DRAWING.
 ELEVATION = 5234.78 FEET

T.B.M. #2
 A SPIKE WITH JMA CAP LOCATED EAST OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND CORONA AVE. N.E. ON THE NORTH SIDE OF CORONA AVE. AS SHOWN ON THE DRAWING.
 ELEVATION = 5234.24 FEET



REVISIONS

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J. GRAEME MEYERS
 NEW MEXICO
 3676
 PROFESSIONAL ENGINEER
 9/29/2005

DATE: 10/2005
 DRAWN BY: G.M./R.V.
 SCALE: 1" = 20'

SAN PEDRO DRIVE NE
 ALBUQUERQUE, NEW MEXICO
 CONCEPTUAL GRADING PLAN

EEHIVE HOMES
 QUALITY SENIOR LIVING
 ENGINEERING DEPARTMENT
 1800 E. UNIVERSITY BLVD. SUITE 200
 ALBUQUERQUE, NM 87102
 PHONE: 505.899.7445
 FAX: 505.899.7445
 E-MAIL: karlene@eehivehomes.com

Jma JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS SURVEYORS (SOS) 345-4255
 FAX: 505 345-4254 ESTABLISHED 1977

NOTE:
 THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM THE MARCH 23, 2005 SURVEYS CONDUCTED BY THIS OFFICE.

2005.003.4

G.1

File Path: E:\M\NEW\WORK\1142\1142.dwg
 Plot Date: 09-29-2005
 Plot Time: 11:42 am
 File Name: 500345C2.DWG

DRAINAGE PLAN:

CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED SAN PEDRO BEEHIVE SITE WILL BE LOCATED IN NORTH ALBUQUERQUE ACRES. THE SITE IS ZONED SU-2 IP (LA CUEVA SECTOR PLAN) AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH DRB. THE SITE IS CURRENTLY UNDEVELOPED AND DRAINS IN AN UNCONTROLLED SHEETFLOW MANNER TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN THE ADJACENT PUBLIC STREETS.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP C-18 LOCATED HEREON, THE SITE IS LOCATED ON THE EAST SIDE OF SAN PEDRO DRIVE NE, BETWEEN WILSHIRE AVE NE AND CORONA AVE NE. THE EXISTING LEGAL DESCRIPTION IS TRACT 2-A, BUENA VISTA ESTATES. THE SITE IS ZONED SU-2 I-P AND THE PROPOSED NURSING HOME USE IS PERMISSIVE.

AS SHOWN BY PANEL 137 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, UPDATED TO INCLUDE A LOMR DATED 12/16/2003, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. THE PURPOSE OF THE LOMR WAS TO ELIMINATE THE MAPPED FLOOD ZONE ASSOCIATED WITH A RETENTION POND THAT WAS PREVIOUSLY LOCATED ON THE SITE.

III. BACKGROUND DOCUMENTS

A. PRE-DESIGN E-MAILS AND TELEPHONE CORRESPONDENCES WITH AMAFCA AND CITY OF ALBUQUERQUE HYDROLOGY. LYNN MAZUR AND BRAD BINGHAM INDICATED THAT DOWNSTREAM CAPACITY EXISTED AND THAT FREE DISCHARGE TO THE EXISTING DOWNSTREAM SYSTEM AND NEWLY CONSTRUCTED OUTFALL WAS PERMISSIBLE.

B. LOMR DATED 12/16/2003 SUBMITTED BY BHI AND APPROVED BY FEMA (FEMA CASE # 03-06-2543P). THIS LETTER OF MAP REVISION ELIMINATED THE MAPPED FLOODING ASSOCIATED WITH A FORMER ON-SITE RETENTION POND.

C. AS-BUILT DRAWINGS FOR CITY PROJECTS 5704.81, 5704.82 AND 6746.81. THESE PROJECTS CONSTRUCTED THE ADJACENT PUBLIC STORM DRAIN FACILITIES.

IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED AND GENERALLY SLOPES FROM EAST TO WEST TO SAN PEDRO DRIVE NW. OFFSITE FLOWS DO NOT ENTER THE SITE. THE FRONTING PORTIONS OF SAN PEDRO, WILSHIRE AND CORONA ARE DEVELOPED WITH PAVEMENT AND CURB AND GUTTER. SIDEWALKS ARE IN PLACE IN CORONA AND WILSHIRE. AN AMAFCA PROJECT CONSTRUCTED IN 2003 PROVIDES THE PUBLIC STORM DRAIN OUTFALL FOR THE SITE WEST OF SAN PEDRO (SEE REF B).

V. DEVELOPED CONDITIONS

THE PROPOSED IMPROVEMENTS CONSIST OF THE CONSTRUCTION OF 6 TOTAL BUILDINGS WITH ASSOCIATED PAVED PARKING AND LANDSCAPING IMPROVEMENTS. THE PROJECT WILL BE CONSTRUCTED IN TWO PHASES, WITH THE SOUTH HALF OF THE SITE BEING CONSTRUCTED FIRST. TWO PRIVATE STORM DRAIN SYSTEMS WILL PICK UP DEVELOPED RUNOFF FROM SEVERAL ON-SITE LOCATIONS. EACH SYSTEM WILL CONNECT TO AN EXISTING PUBLIC STORM INLET VIA CITY STANDARD INLET CONNECTION AND SO#19 PERMIT. RUNOFF FROM THE WEST HALVES OF THE BUILDINGS ALONG SAN PEDRO WILL DRAIN FREELY TO SAN PEDRO VIA PROPOSED SIDEWALK CULVERTS, ALSO TO BE CONSTRUCTED UNDER SO#19 PERMIT.

VI. CONCEPTUAL GRADING PLAN

THE CONCEPTUAL GRADING PLAN ON SHEET G.1 OF THIS SUBMITTAL SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT 0 IN INTERVALS FROM THE MARCH 23, 2005 TOPOGRAPHIC SURVEY CONDUCTED BY THIS OFFICE. 2) PROPOSED GRADES INDICATED BY FINISHED FLOOR ELEVATIONS AND SPOT ELEVATIONS, 3) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4) THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. THE PROPOSED CONSTRUCTION RESULT IN AN INCREASE IN THE PEAK RATE AND VOLUME OF RUNOFF GENERATED BY THIS SITE.

VIII. CONCLUSIONS

- 1) DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN FREELY TO EXISTING DOWNSTREAM PUBLIC DRAINAGE FACILITIES SIZED FOR THIS RUNOFF.
2) NO NEW PUBLIC INFRASTRUCTURE, EASEMENTS OR COVENANTS ARE PROPOSED.
3) A FORTHCOMING PLATING ACTION TO SUPPORT THIS PROJECT WILL BE REVIEWED AND APPROVED AT DRB.
4) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR BUILDING PERMIT APPROVAL. THIS SUBSEQUENT SUBMITTAL WILL ADDRESS PROJECT PHASING.

CALCULATIONS:

SITE CHARACTERISTICS

1. PRECIPITATION ZONE = 3

2. P6,100 = P360 = 2.6

3. TOTAL AREA (At) = 110225/2.53 (SF/AC)

4. EXISTING LAND TREATMENT

Table with columns: TREATMENT, AREA (SF/AC), %. Rows for Basin A, B, C, D treatments.

5. DEVELOPED LAND TREATMENT

Table with columns: TREATMENT, AREA (SF/AC), %. Rows for Basin A, B, C, D treatments.

EXISTING CONDITION

Table with columns: TREATMENT, AREA (SF/AC), %. Rows for Basin A, B, C, D treatments.

DEVELOPED CONDITION

Table with columns: TREATMENT, AREA (SF/AC), %. Rows for Basin A, B, C, D treatments.

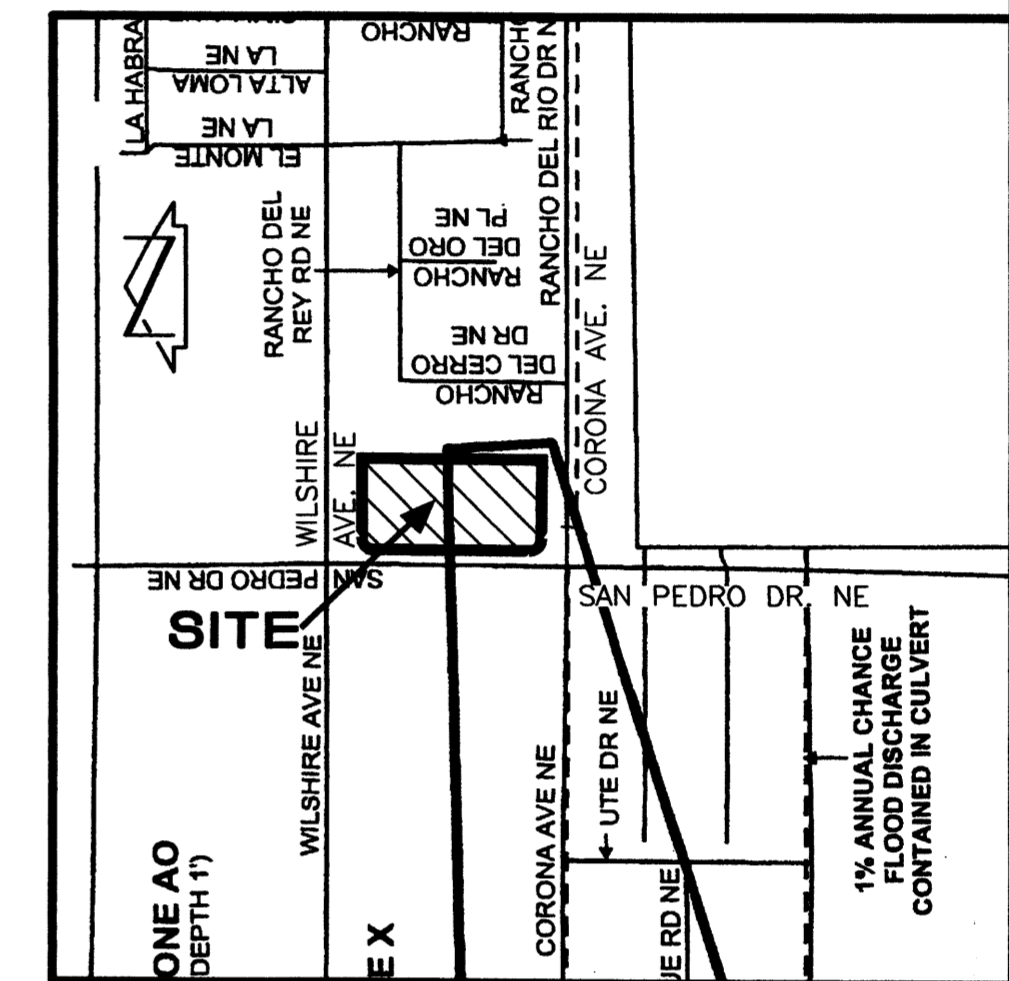
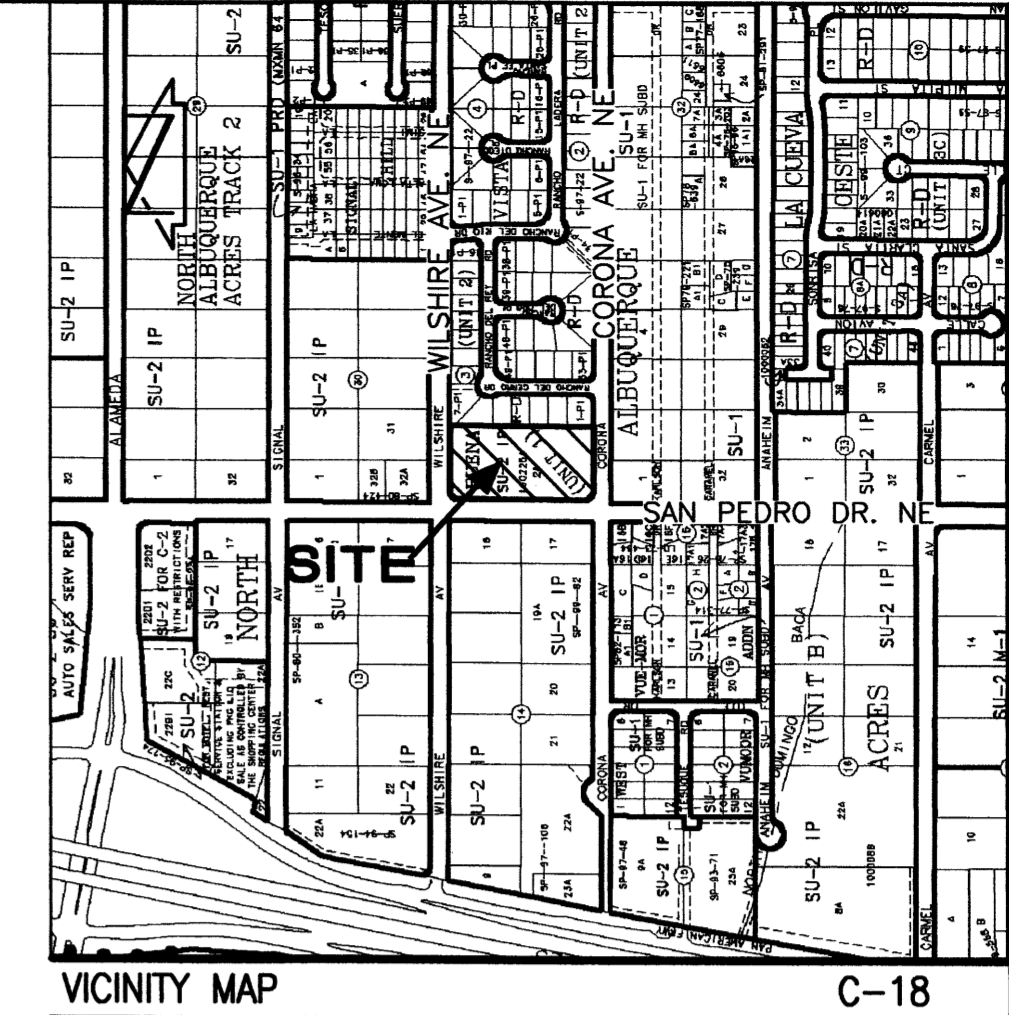
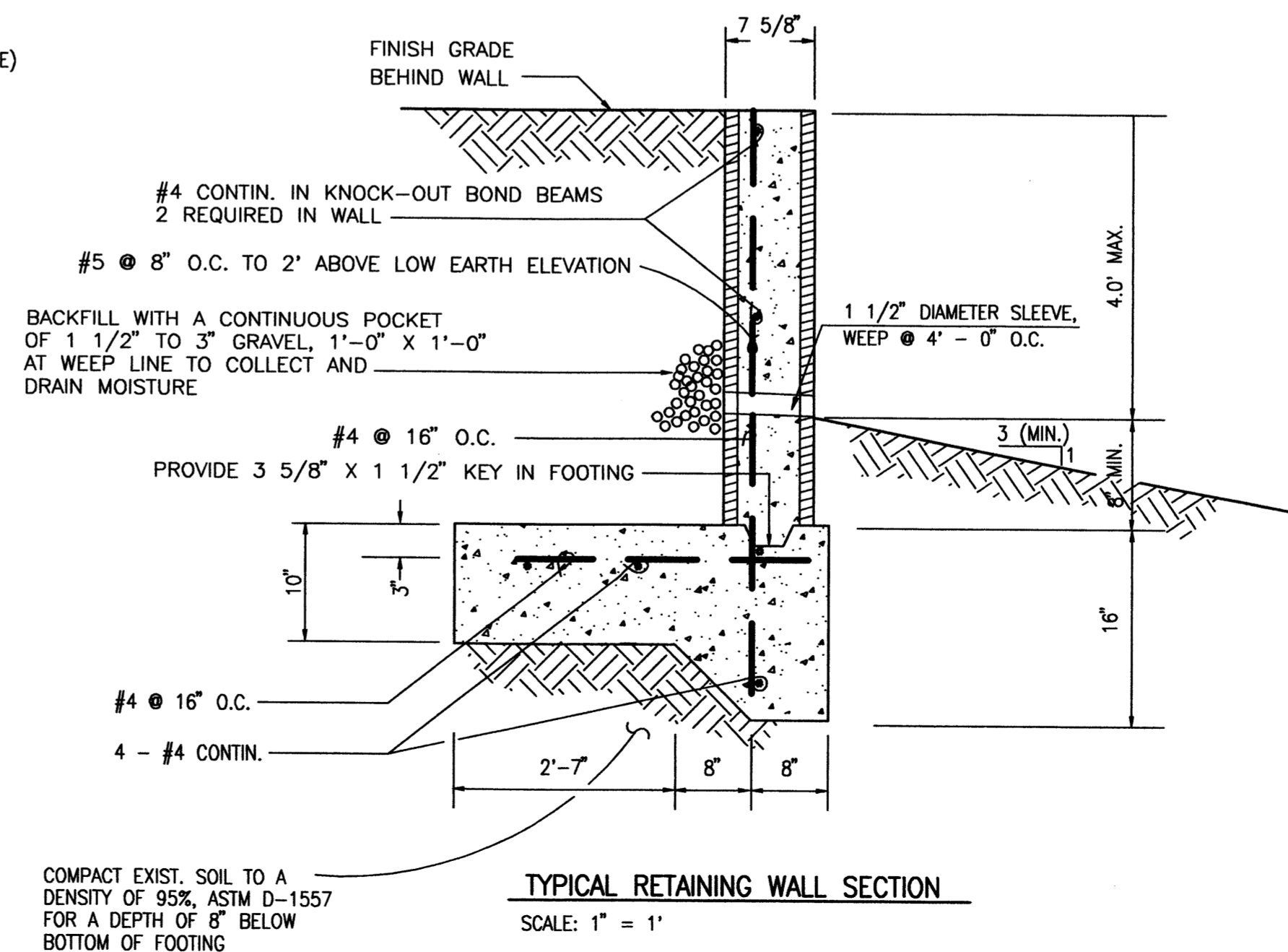
CONSTRUCTION NOTES:

- 1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 280-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH LINES ARE SHOWN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
7. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BECOMING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
8. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

EROSION CONTROL MEASURES:

- 1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

Table with columns: APPROVALS, NAME, DATE. Rows for Hydrology, Sidewalk Inspector, Storm Drain Maintenance.



F.I.R.M. PANEL 137 OF 825
SCALE: 1" = 500'
REVISOR: 10-2005
DRAWN BY: G.M. / R.W.
LEGAL DESCRIPTION: TRACT 2-A, BUENA VISTA ESTATES (2002C-363)

Professional Engineer seal for J. Graeme Means, New Mexico, License No. 13676, dated 9/21/2005. Includes project title: SAN PEDRO DRIVE NE ALBUQUERQUE, NEW MEXICO CONCEPTUAL DRAINAGE PLAN, CALCULATIONS AND CONSTRUCTION NOTES. Includes logo for BEEHIVE HOMES and contact information for engineering services.

Plot Date: 09-29-2005
Plot Time: 11:37 am
File Path: E:\M\WORK\2005\50034DP.DWG
File Name: 50034DP.DWG

JMA
JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4250
FAX: 505-345-4254 ESTABLISHED 1977

| CURVE | RADIUS | LENGTH | CHORD | BEARING | DELTA |
|-------|--------|--------|--------|---------------|-----------|
| C1 | 30.00' | 47.06' | 42.38' | N 44°48'22" W | 89°52'34" |
| C2 | 30.00' | 47.18' | 42.47' | N 45°11'23" E | 90°06'58" |

LEGEND

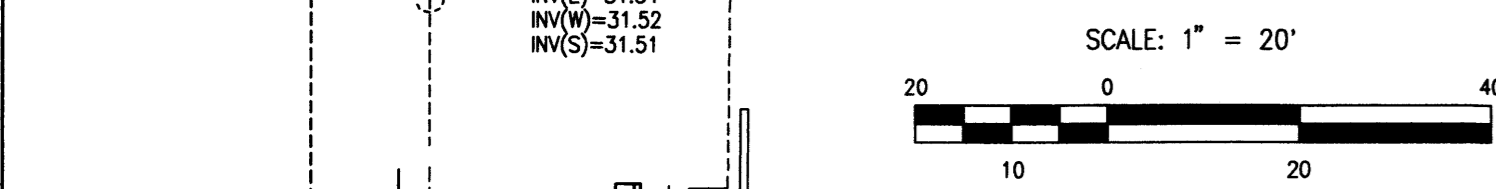
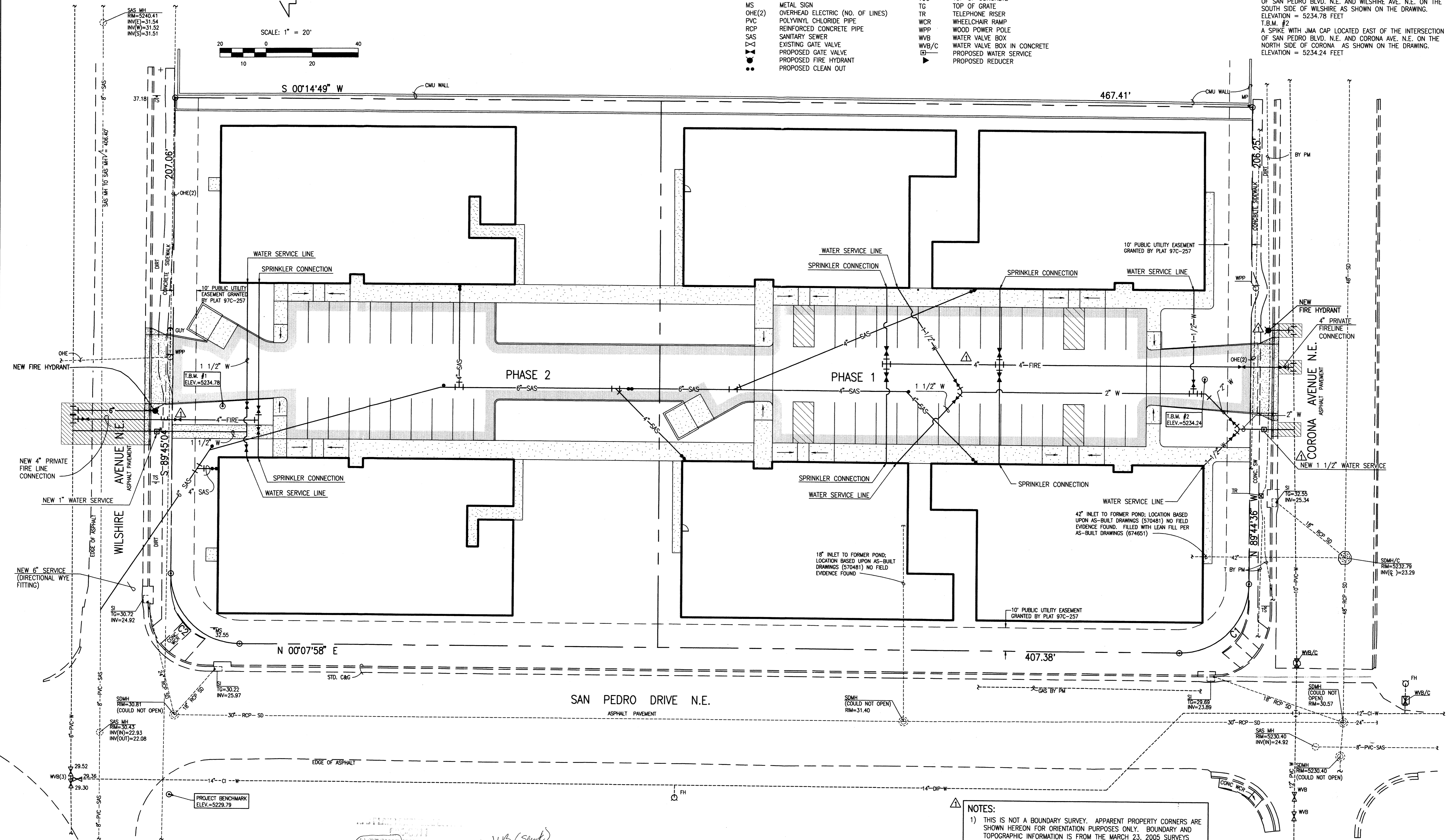
- | | | | |
|-----------------------|----------------------------------|------------------------|---------------------------------|
| BY PM | BY PAINT MARK | SD | STORM DRAIN |
| C&G | CURB AND GUTTER | SDMH | STORM DRAIN MANHOLE |
| CMU | CEMENT MASONRY UNIT | SDMH/C | STORM DRAIN MANHOLE IN CONCRETE |
| DIP | DUCTILE IRON PIPE | SI | STORM INLET |
| EA | EDGE OF ASPHALT | STD. C&G | STANDARD CURB AND GUTTER |
| FH | FIRE HYDRANT | TSW | TOP OF SIDEWALK |
| FL | FLOWLINE | T BY PM | TELEPHONE LINE BY PAINT MARK |
| INV | INVERT | TA | TOP OF ASPHALT |
| MH | MANHOLE | TC | TOP OF CURB |
| MP | METAL POLE | TCO | TOP OF CONCRETE |
| MS | METAL SIGN | TG | TOP OF GRATE |
| OHE(2) | OVERHEAD ELECTRIC (NO. OF LINES) | TR | TELEPHONE RISER |
| PVC | POLYVINYL CHLORIDE PIPE | WCR | WHEELCHAIR RAMP |
| RCP | REINFORCED CONCRETE PIPE | WPP | WOOD POWER POLE |
| SAS | SANITARY SEWER | WVB | WATER VALVE BOX |
| EXISTING GATE VALVE | | WVB/C | WATER VALVE BOX IN CONCRETE |
| PROPOSED GATE VALVE | | PROPOSED WATER SERVICE | |
| PROPOSED FIRE HYDRANT | | PROPOSED REDUCER | |
| PROPOSED CLEAN OUT | | | |

PROJECT BENCHMARK

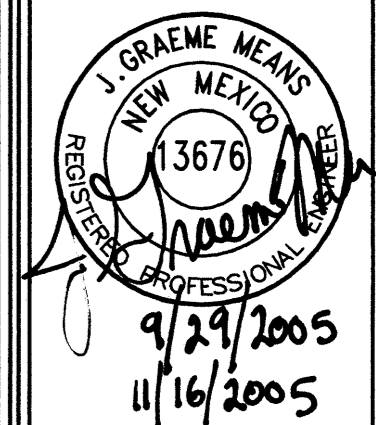
STATION IS A STANDARD ACS ALUMINUM CAP STAMPED "9-C18 1985". IT IS RIVETED TO A 2 1/2" ALUMINUM TUBE LOCATED IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND WILSHIRE AVENUE N.E.
ELEVATION = 5229.79 FEET (NGVD 1929)

T.B.M. #1
A SPIKE WITH JMA CAP LOCATED EAST OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND WILSHIRE AVENUE N.E. ON THE SOUTH SIDE OF WILSHIRE AS SHOWN ON THE DRAWING.
ELEVATION = 5234.78 FEET

T.B.M. #2
A SPIKE WITH JMA CAP LOCATED EAST OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND CORONA AVE. N.E. ON THE NORTH SIDE OF CORONA AS SHOWN ON THE DRAWING.
ELEVATION = 5234.24 FEET



| | |
|-----------|-----|
| REVISIONS | |
| 11/14/05 | DRB |



DATE: 10/2005
DRAWN BY: G.M./R.W.
SCALE: 1" = 20'

SAN PEDRO DRIVE NE
ALBUQUERQUE, NEW MEXICO
PAGE TITLE
CONCEPTUAL UTILITY PLAN

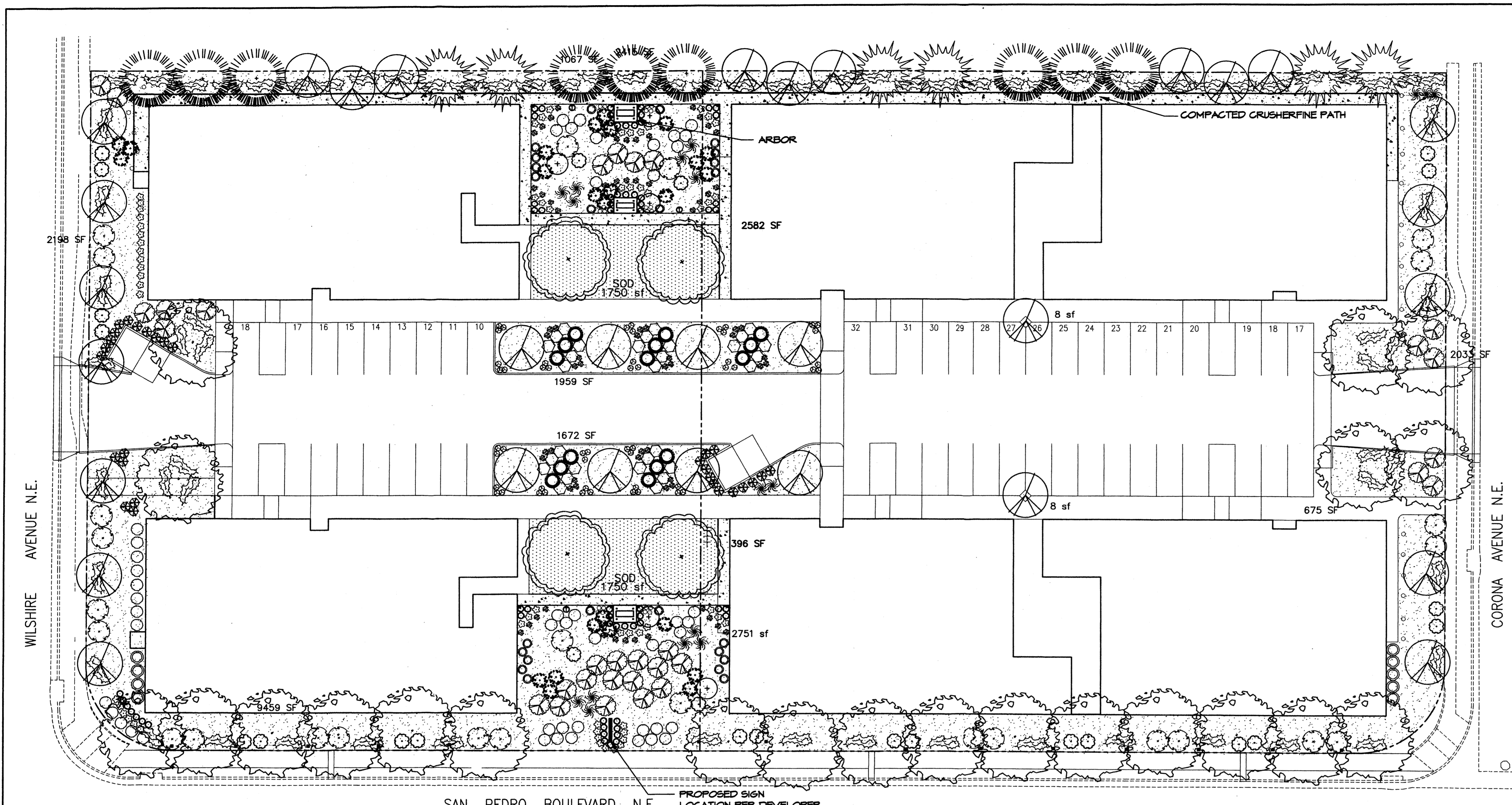
BEEHIVE HOMES
QUALITY SENIOR LIVING
ENGINEER: BANGRETT DR. PHONE: (808) 888-7145
F500 BANGRETT DR. ALBUQUERQUE, NM 87105
MERIDIAN, ID. 83642 FAX: (208) 888-7145
E-MAIL: karlene@beehivehomes.com

U.1

JMA
JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (CSD) 345-4250
FAX: 505 345-4254 ESTABLISHED 1977

Handwritten notes:
- VB (Spine)
- 6911 & 6640 &
- 1122gpm & 1100gpm

NOTES:
1) THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM THE MARCH 23, 2005 SURVEYS CONDUCTED BY THIS OFFICE.
2) TRACTS 2-A-1 AND 2-A-2 WILL REQUIRE PRIVATE ACCESS, PARKING, DRAINAGE AND UTILITY EASEMENTS TO BE SPECIFICALLY DEFINED BY THE FORTHCOMING PLATTING ACTION.



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

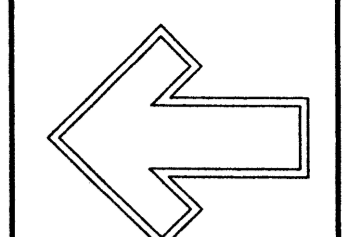
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

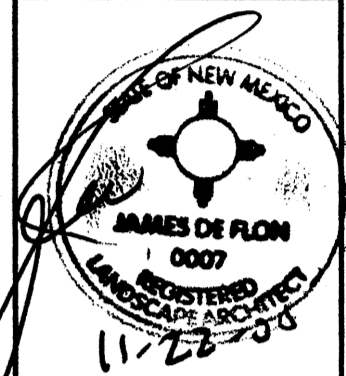
STREET TREE REQUIREMENTS
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street San Pedro Blvd.
Required # 16 Provided # 16



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cnd@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

Beehive Village
Albuquerque, NM
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are provided by copyright law. This information and any other information copied or otherwise used without the written consent of The Hilltop Landscape Architects is prohibited.



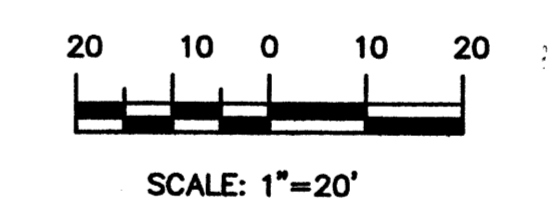
DRAWN BY: grr
REVISION # 2
DATE: 9-14-05

SHEET #
L1 of L1

PLANT LEGEND

- SHUMARD OAK (M) 10
Gleditsia triacanthos
2" Cal.
- SYCAMORE (M) 29
Platanus spp.
2" Cal.
- EMERALD GREEN ARBOVITAE (M) 9
Thuja occidentalis 'Emerald'
8"
- LEYLAND CYPRESS (M) 6
x Cupressocyparis leylandii
8"
- FLOWERING PEAR (M+) 31
Pyrus calleryana
3" Cal.
- MUSKOGEE GRAPE MYRTLE (M) 5
Lagerstroemia indica
15 Gal.
- MUGHO PINE (L) 15
Juniperus spp.
5 Gal. 365f
- COMMON LILAC (M) 25
Syringa vulgaris
5 Gal. 100sf
- BUTTERFLY BUSH (M) 26
Buddleia davidii
5 Gal. 100sf
- FLOWER CARPET RED 47
GROUNDCOVER ROSE (M)
Rosa spp.
5 Gal. 25sf
- GREEN SPIRE EUONYMUS (M) 29
Euonymus spp.
5 Gal. 100sf
- RED TIP PHOTINIA (M) 24
Photinia Fraseri
64sf
- ARP ROSEMARY (M) 33
Rosmarinus officinalis
5 Gal. 36sf
- MAIDEN GRASS (M) 17
Miscanthus sinensis
5 Gal. 16sf
- AUTUMN JOY SEDUM (M) 30
Guara lindheimeri
1 Gal.
- WHIRLING BUTTERFLIES (M) 65
Berberis thunbergii 'Atropur. Nana'
1 Gal. 4sf
- LAVENDER (M) 61
Lavandula angustifolia
1 Gal. 4sf
- HALLS HONEYSUCKLE (M) 31
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- COLUMBINE (M) 51
Kniphofia lyvaria
1 Gal. 4sf
- THREADLEAF COREOPSIS (M) 69
Coreopsis auricuta 'Nana'
1 Gal. 4sf
- CRIMSON PIGMY BARBERRY (M) 47
Berberis thunbergii 'Atropur. Nana'
1 Gal. 4sf
- CREEPING ROSEMARY (L+) 78
Rosmarinus officialis prostrata
5 Gal. 16sf
- FESCUE SOD WITH POP UP SPRINKLER
3" SANTA FE BROWN GRAVEL
WITH FILTER FABRIC
- SFB COMPACTED CRUSHERFINE
PATH WITH FILTER FABRIC
- COMMERCIAL GRADE STEEL EDGE
- PROPOSED LIGHTING - BY OTHERS
- TRASH RECEPTACLE

GRAPHIC SCALE



LANDSCAPE CALCULATIONS

| | | |
|-------------------------------|-------------|-------------|
| TOTAL LOT AREA | 110206 | square feet |
| TOTAL BUILDINGS AREA | 45979 | square feet |
| NET LOT AREA | 64227 | square feet |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 9634 | square feet |
| TOTAL BED PROVIDED | 24245 | square feet |
| GROUNDCOVER REQ. | 75% | square feet |
| TOTAL GROUNDCOVER REQUIREMENT | 18184 | square feet |
| TOTAL GROUNDCOVER PROVIDED | 20835 (86%) | square feet |
| TOTAL SOD AREA | 3500 (20%) | square feet |
| TOTAL LANDSCAPE PROVIDED | 27145 (43%) | square feet |

11-21-05 revised site plan grr