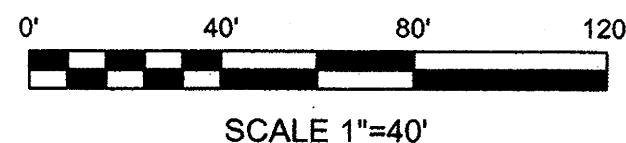
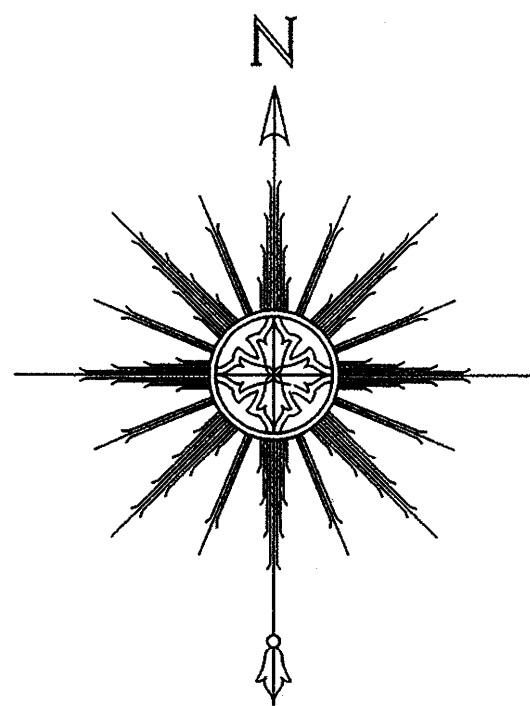


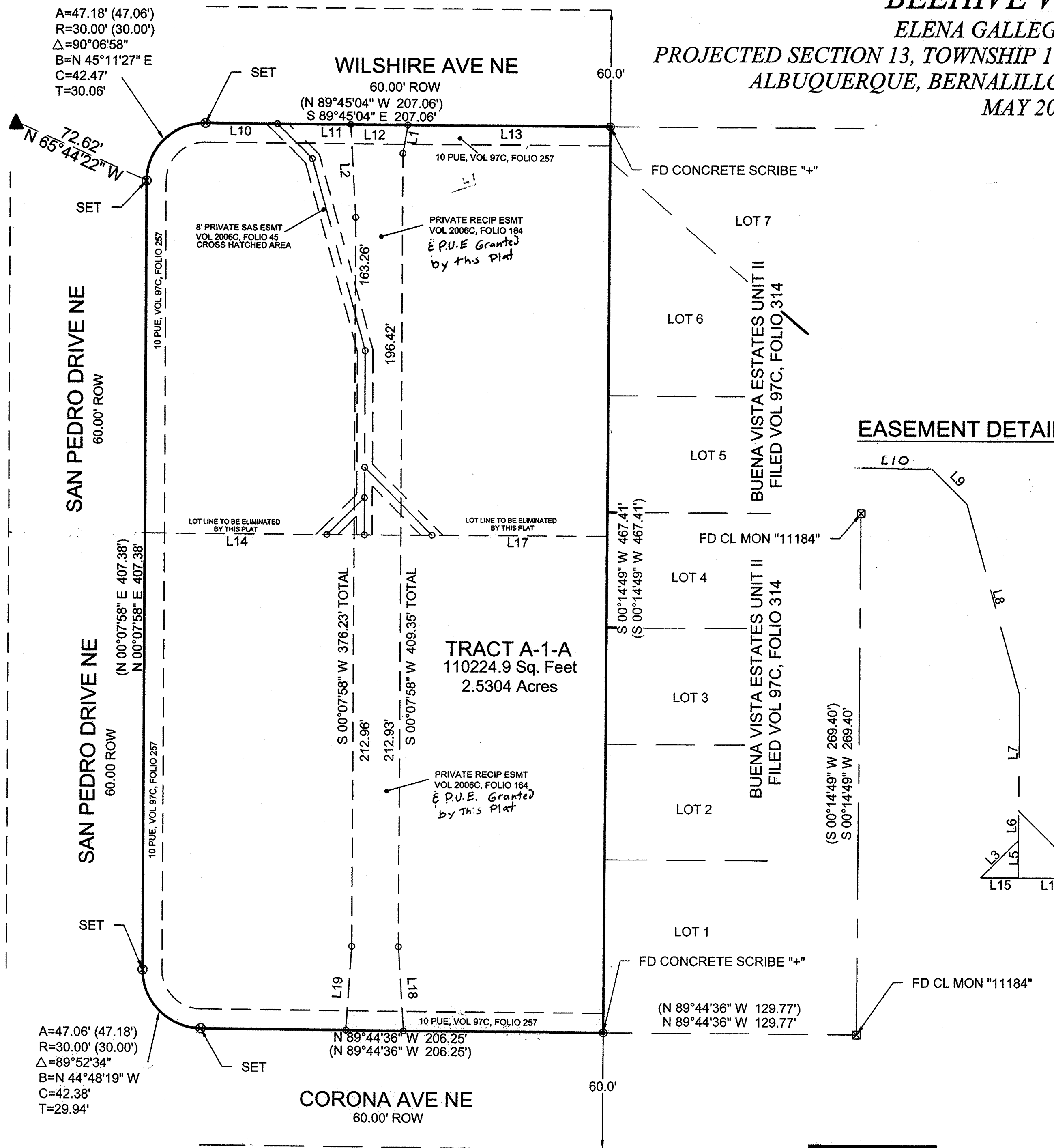
PLAT OF
TRACT A-1-A
BEEHIVE VILLAGE

ELENA GALLEGOS GRANT
PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY 2011

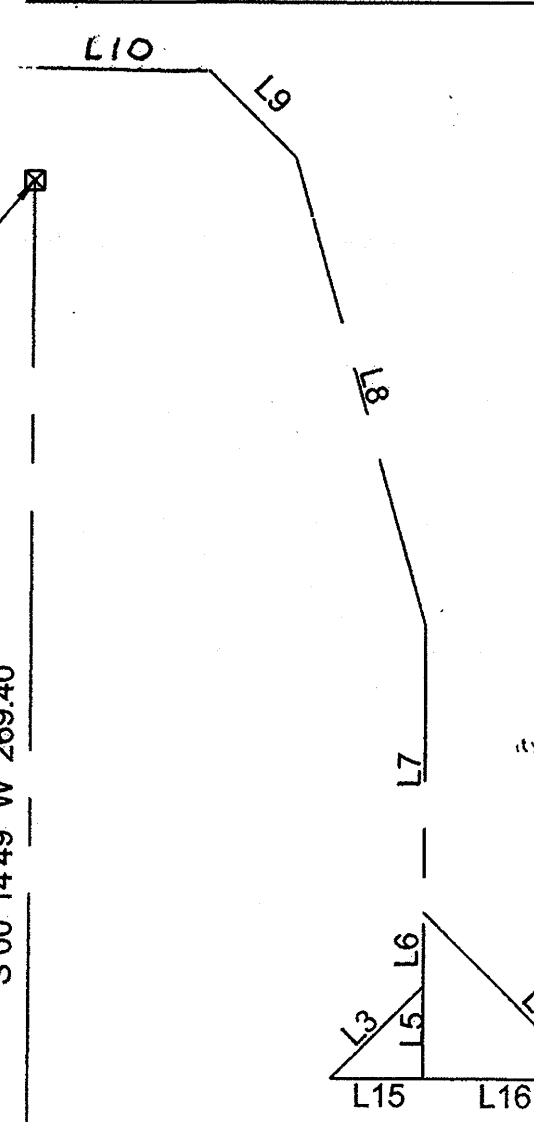
ACS CONTROL STATION
"9-C18 1985"
N 1521497.624
E 1542501.428
Z 5232.470
NAD 1983/ NAVD 1988
NEW MEXICO STATE PLANE
CENTRAL ZONE
G/G 0.9996445 ± 3
DELTA-APLHA = -00°11' 19.69"



LINE	BEARING	DISTANCE
L1	S 09°46'29" W	14.92'
L2	S 03°14'38" E	48.01'
L3	N 45°07'58" E	27.21'
L4	N 44°52'02" W	49.19'
L5	N 00°07'58" E	19.24'
L6	N 00°07'58" E	15.54'
L7	N 00°07'58" E	59.92'
L8	N 15°29'11" W	102.35'
L9	N 45°00'00" W	25.51'
L10	N 89°45'04" W	36.52'
L11	S 89°45'04" E	37.59'
L12	S 89°45'04" E	29.32'
L13	S 89°45'04" E	103.63'
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L15	S 89°52'02" E	19.24'
L16	S 89°52'02" E	34.78'
L17	S 89°52'02" E	89.70'
L18	N 03°34'27" W	43.42'
L19	N 03°51'20" E	43.33'



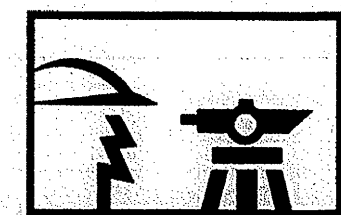
EASEMENT DETAIL



DOCN 2012041711
04/26/2012 12:19 PM Page: 2 of 2
Toulous Olivere, Bernalillo Cour

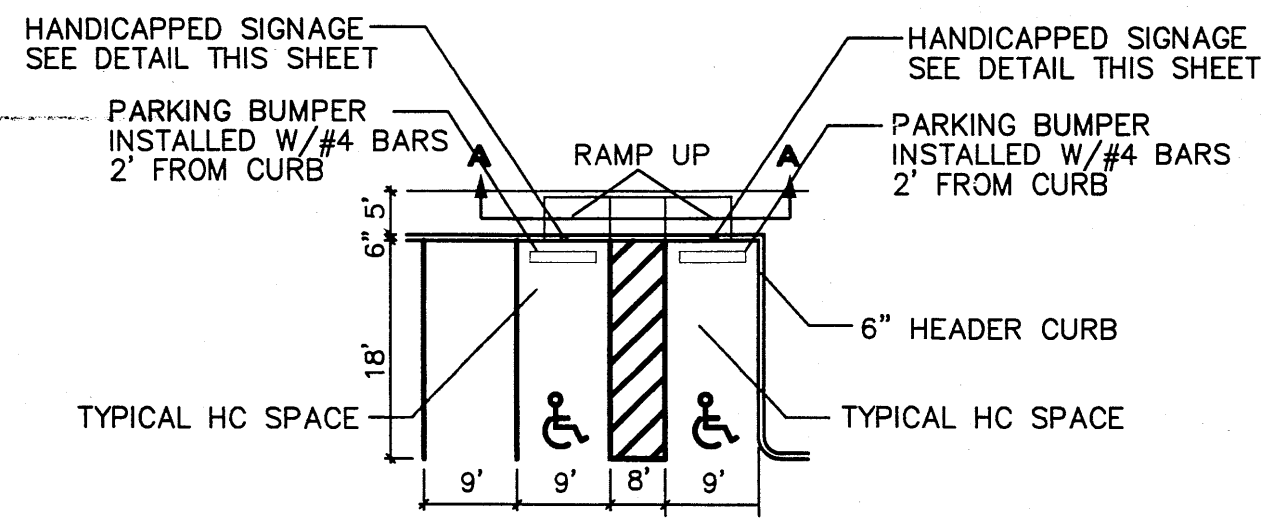
A=47.06' (47.18')
R=30.00' (30.00')
Δ=89°52'34"
B=N 44°48'19" W
C=42.38'
T=29.94'

A=47.18' (47.06')
R=30.00' (30.00')
Δ=90°06'58"
B=N 45°11'27" E
C=42.47'
T=30.06'

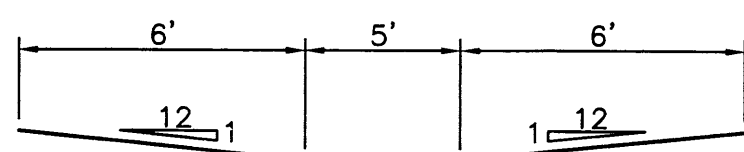


CONSTRUCTION SURVEY TECHNOLOGIES, INC

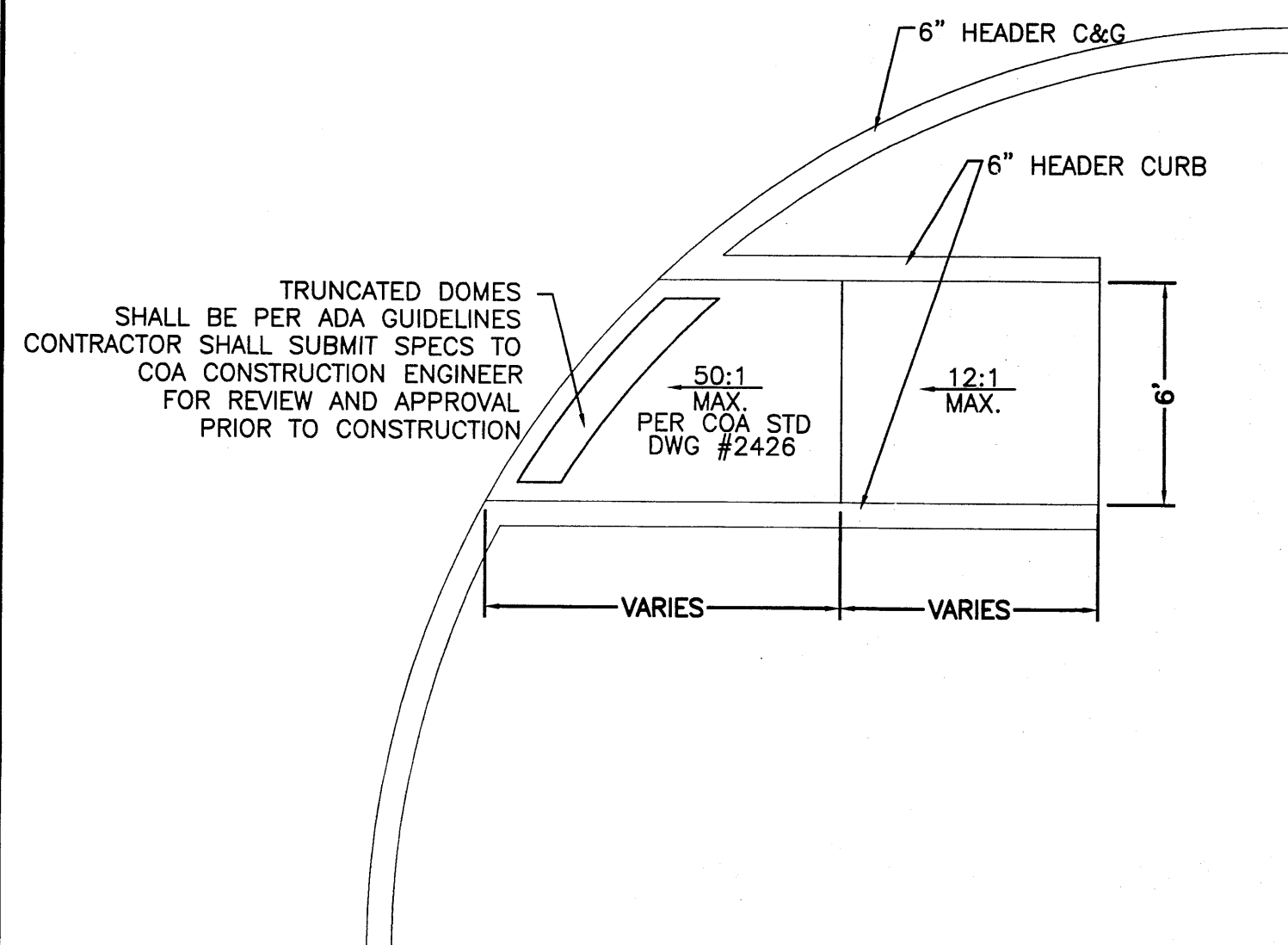
5030 FAIRFAX DRIVE NW, ALBUQUERQUE, NM 87114 505-917-8921



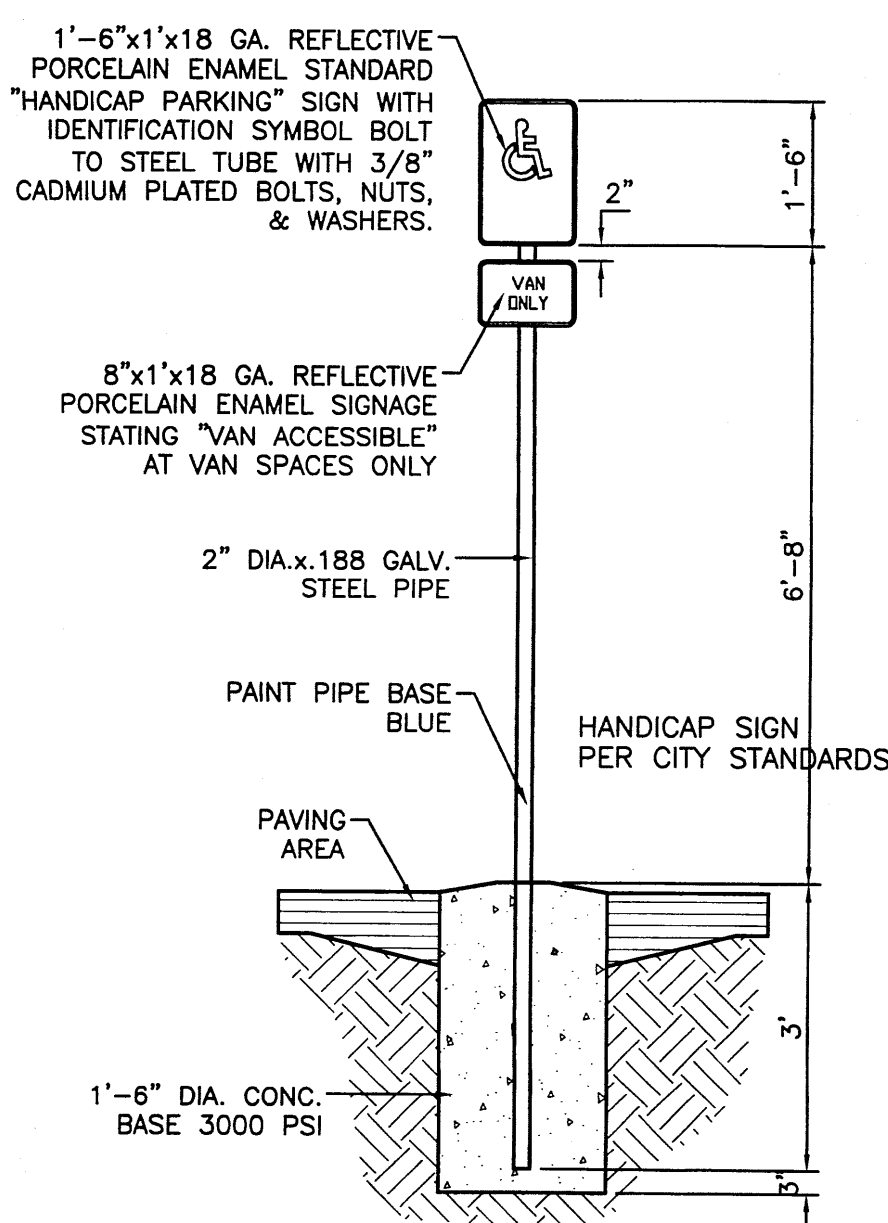
HC PARKING DETAIL
NTS



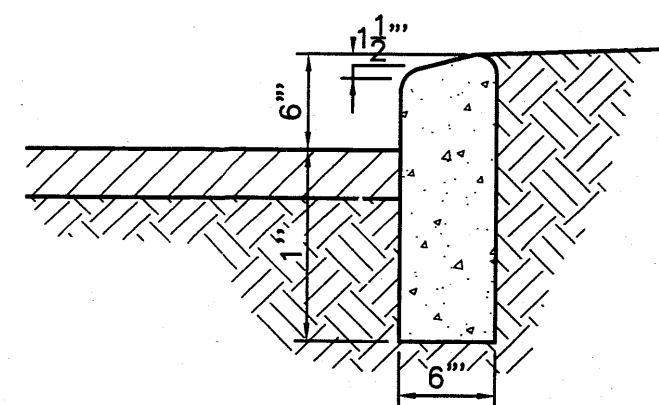
SECTION A-A
NTS



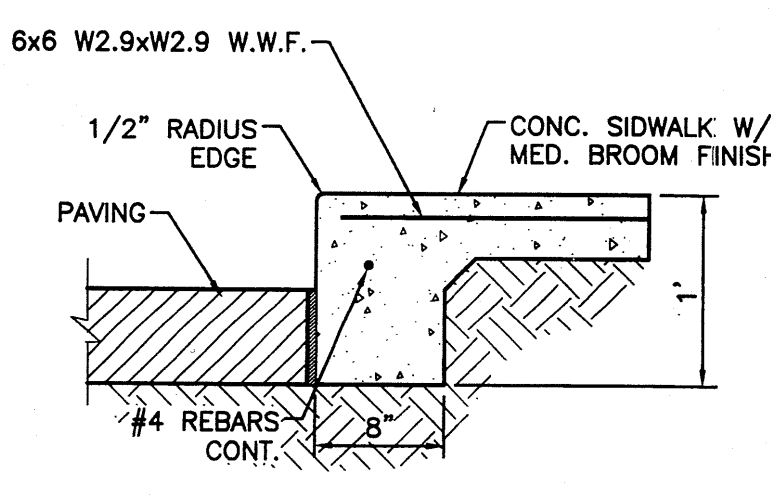
UNI-DIRECTIONAL WHEELCHAIR RAMP DETAIL (TYP.)
NTS



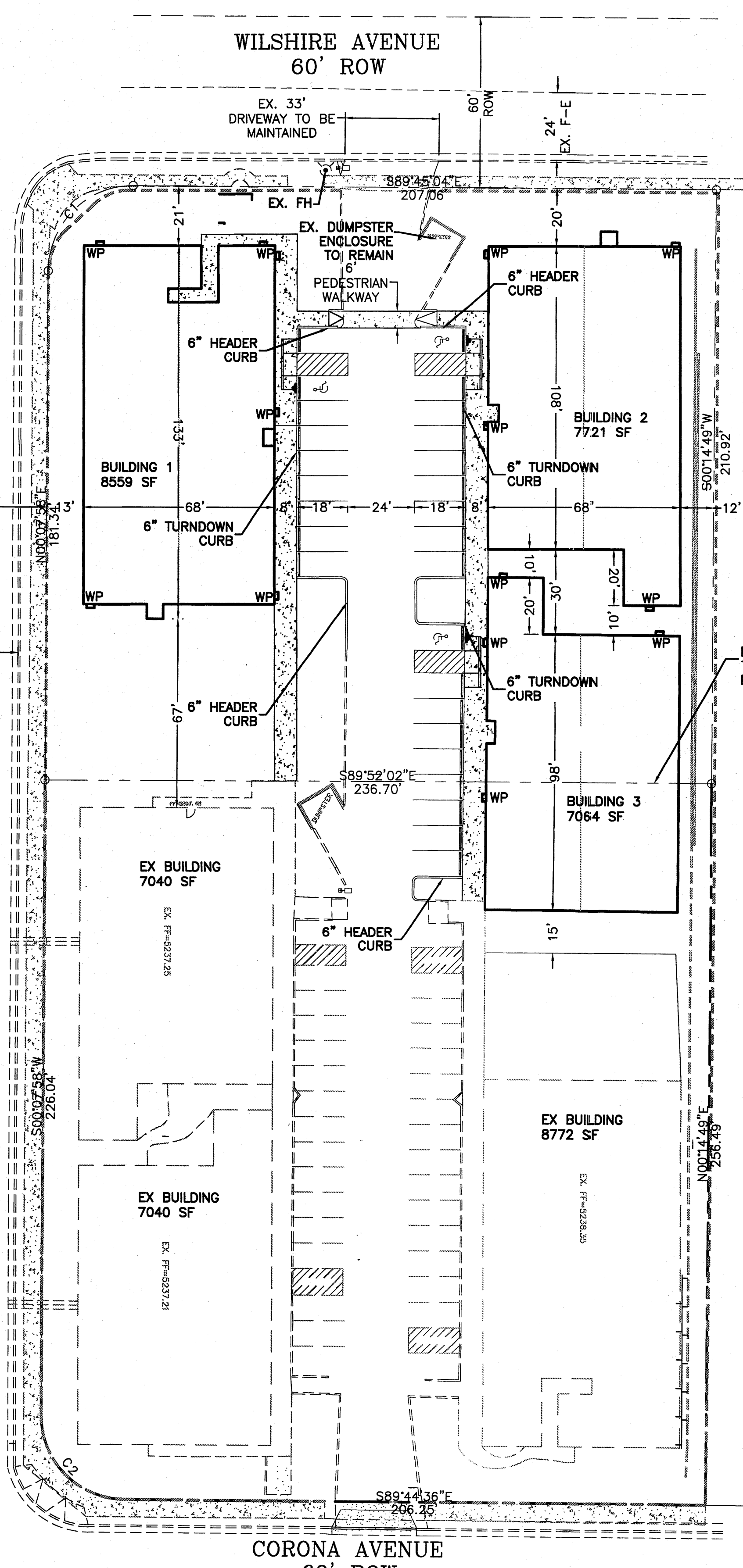
HANDICAP SIGN
NTS



6" HEADER CURB DETAIL
NTS



6" TURNDOWN CURB
NTS

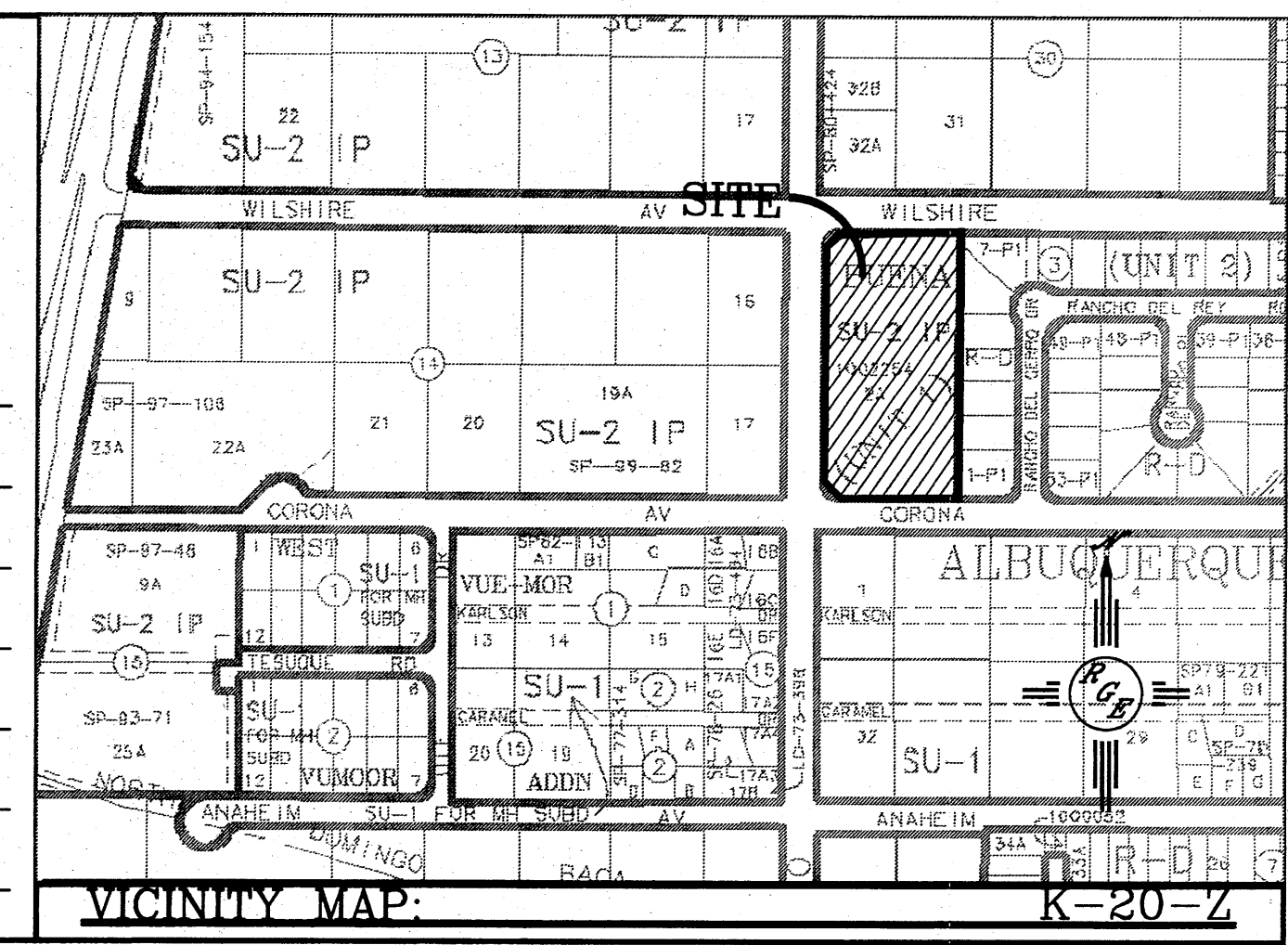


PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LENGTH
C1	47.18	30.00	90°06'58"	S45°11'27"W	42.47
C2	47.06	30.00	89°52'34"	S44°48'19"E	42.38

LEGAL DESCRIPTION:
TRACT A-1, BEEHIVE VILLAGE

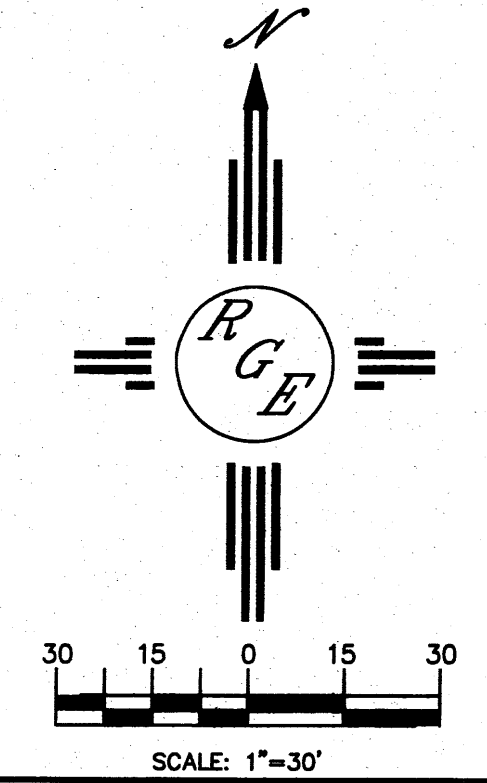
- GENERAL NOTES:
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
 - CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
 - ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
 - ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN. BUILDING MOUNTED SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS WITHOUT INTERNAL ILLUMINATIONS. NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.
 - PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
 - NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
 - ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
 - VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
 - ALL METAL ROOFING SHALL BE CONSISTENT ON ALL THREE BUILDINGS AND CANOPIES AND SHALL BE A GALVALUME FINISH.
 - LIGHTING SHALL BE WALL PACKS PER ORIGINAL SITE PLAN, ARE LABELED "WP".

LEGEND

=====	EXISTING CURB & GUTTER
-----	PROPOSED CURB
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	PROPOSED SIDEWALK
-----	EXISTING SIDEWALK
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED BUILDING
-----	EXISTING BUILDING
-----	EXISTING RETAINING WALL
-----	EXISTING PERIMETER WALL

SITE DATA

	PHASE 1 (EXISTING)	PHASE 2 (PROPOSED)	TOTAL
TOTAL ACREAGE:	1.3864 AC±	1.1440 AC±	2.5304 AC±
DENSITY UNITS:	2.16 DU'S	2.37 DU'S (AT MAXIMUM BUILD OUT)	2.37 DU'S (AT MAXIMUM BUILD OUT)
EXISTING ZONING:	SU-2 NC	SU-2 NC	SU-2 NC
PROPOSED ZONING:	SU-2 NC	SU-2 NC	SU-2 NC
PROPOSED USE:	NURSING HOME	NURSING HOME	NURSING HOME
REQUIRED PARKING:	24 SPACES (1 SPACE PER 2 BEDS)	24 SPACES (1 SPACE PER 2 BEDS)	48 SPACES (1 SPACE PER 2 BEDS)
PROVIDED PARKING:	32 SPACES	27 SPACES	59 SPACES
HC REQUIRED PARKING:	3 SPACES	3 SPACES	6 SPACES
HC PROVIDED PARKING:	4 SPACES	3 SPACES	7 SPACES
LANDSCAPE REQUIRED:	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN
LANDSCAPE PROVIDED:	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN	SEE LANDSCAPE PLAN



ENGINEER'S SEAL	BEEHIVE HOMES	DRAWN BY WCUJ
	SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT <i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DATE 5-18-11
		2119-LAYOUT-6-01-10
DAVID SOULE P.E. #14522		SHEET # 1
		JOB # 2119

PLAT OF
TRACT A-1-A
BEEHIVE VILLAGE
ELENA GALLEGOS GRANT

PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY 2011

PROJECT NUMBER: _____

CITY APPROVALS:

CITY SURVEYOR

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

UTILITIES DEVELOPMENT

PARKS AND RECREATION DEPARTMENT

A.M.A.F.C.A.

ABCWJA

CITY ENGINEER

DRB CHAIRPERSON, PLANNING DEPARTMENT

REAL PROPERTY DIVISION

UTILITY APPROVALS:

PNM ELECTRIC SERVICES

NEW MEXICO GAS

QWEST TELECOMMUNICATIONS

COMCAST

8-9-11
DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

SURVEYOR'S CERTIFICATE:

I, DAVID R VIGIL, NEW MEXICO PROFESSIONAL SURVEYOR NO. 8911, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID R. VIGIL, NMPLS NO. 8911
DATE 08/09/11



LEGAL DESCRIPTION:

TRACTS A-1 AND A-2 OF THE BEEHIVE VILLAGE AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 25, 2006 IN PLAT BOOK 2006C, FOLIO 164.
BEGINNING AT A POINT ON THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT A OF CURVATURE, WHENCE FOR A TIE TO THE ACS MONUMENT "9-C18, BEARS N65°44'22"W, 72.62 FEET DISTANCE; THENCE,
47.18 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A CHORD BEARING OF N45°11'27"E, 42.47 DISTANCE) TO A POINT OF TANGENCY ALSO BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF WILSHIRE AVENUE NORTHEAST; THENCE,
S89°45'04"E, 207.06 FEET DISTANCE TO THE NORTHEAST CORNER; THENCE,
S00°14'49"W, 467.41 FEET DISTANCE LEAVING SAID RIGHT OF WAY TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT OF THE NORTHERLY RIGHT OF WAY LINE OF CORONA AVENUE NORTHEAST; THENCE,
N89°44'36"W, 206.25 FEET DISTANCE TO A POINT OF CURVATURE; THENCE,
47.06 FEET DISTANCE ALONG THE ARC OF CURVE TO THE RIGHT (SAID ARC HAVING A CHORD BEARING OF N44°48'19"W, 42.38 FEET DISTANCE) TO A POINT OF TANGENCY, ALSO BEING A POINT ON THE EASTERLY RIGHT OF WAY LINE OF SAN PEDRO DRIVE NORTHEAST; THENCE,
N00°07'58"E, 407.38 FEET DISTANCE ALONG SAID RIGHT OF WAY TO A POINT OF CURVATURE AND POINT OF BEGINNING. SAID TRACT CONTAINING 2.5304 ACRES, MORE OR. LESS

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.

New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.

Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.

Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

FREE CONSENT AND DEDICATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THAT CERTAIN TRACT OF LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS A-1 AND B-1 BEEHIVE VILLAGE, BERNALILLO COUNTY, NEW MEXICO, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY:

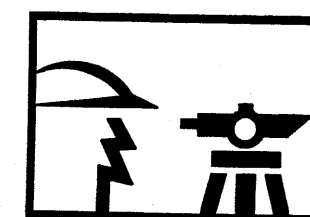
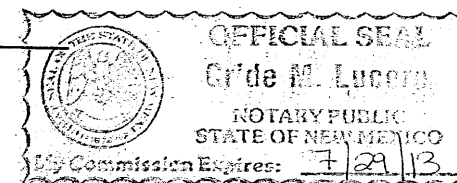
JAY R. MANNING

ACKNOWLEDGMENT

STATE OF New Mexico)
COUNTY OF Bernalillo) SS.

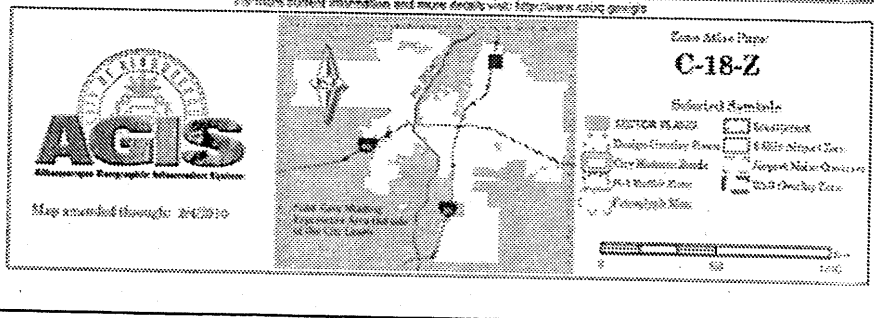
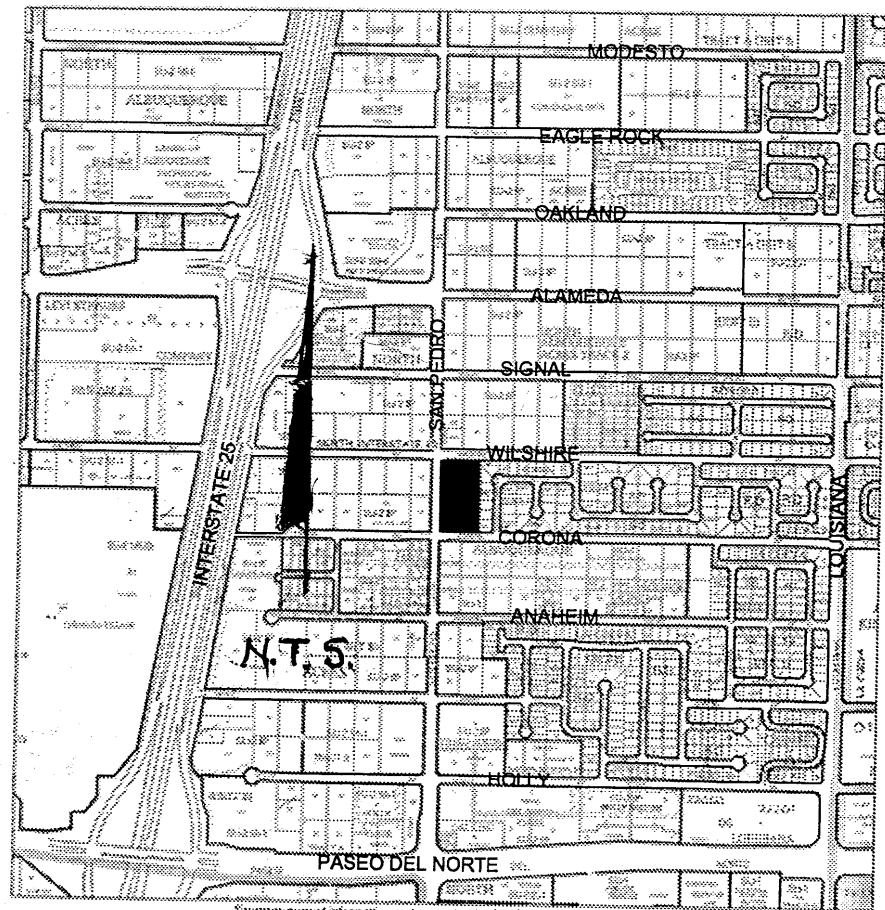
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 27th DAY OF June, 2011, BY Jay R. Manning

NOTARY PUBLIC: [Signature]
MY COMMISSION EXPIRES: July 27, 2013



CONSTRUCTION SURVEY TECHNOLOGIES, INC

5030 FAIRFAX DRIVE NW, ALBUQUERQUE, NM 87114 505-917-8921



PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE TWO (2) EXISTING LOTS INTO ONE (1)

SUBDIVISION DATA:

DRB# _____
ZONE ATLAS INDEX NO. C-17-Z
DATE OF FIELD SURVEY MAY 2011
TOTAL NO. OF LOTS EXISTING 2
TOTAL NO. OF LOTS CREATED 1
TOTAL MILEAGE OF PUBLIC STREETS CREATED 0 MILES
GROSS SUBDIVISION ACREAGE 2.5304 ACRES
CURRENT ZONING SU-2
TALOS LOG NO. 2011032655
TOTAL MILEAGE OF PRIVATE STREETS CREATED 0.0 MILES

NOTES:

- ALBUQUERQUE CONTROL STATION USED:
ALBUQUERQUE CONTROL STATION "9-C18" DATA:
STANDARD ACS BRASS CAP (FOUND IN PLACE)
NEW MEXICO STATE PLANE NAD 1983 GRID COORDINATES (CENTRAL ZONE)
X=1542501.428 Y=1521497.624 Z=5232.470
GROUND TO GRID FACTOR = 0.999664563
DELTA ALPHA = (-)00°11'19.69"
- FIELD SURVEY PERFORMED IN MAY 2011
- BASIS OF BEARING - NAD 83 STATE PLANE, NM CENTRAL ZONE GRID BEARINGS
- ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 8911", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () ARE PER RECORDED PLAT REFERENCED IN DOCUMENTS USED.
- SUBJECT TRACTS ARE LOCATED WITHIN ZONE X (OTHER AREAS) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP BERNALILLO COUNTY, NEW MEXICO PANEL 142 OF 825, MAP NO. 35001C0142F, EFFECTIVE DATE NOVEMBER 19, 2003.

DOCUMENTS USED:

- PLAT OF TRACTS A-1 AND B01, BEEHIVE VILLAGE, VOL 2006C, FOLIO 164
- PLAT OF BUENA VISTA ESTATES UNIT II, VOL 97C, FOLIO 314

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

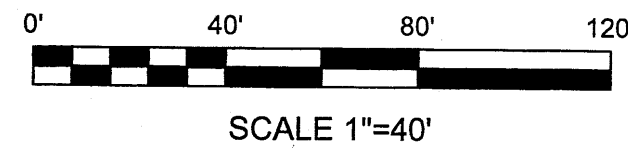
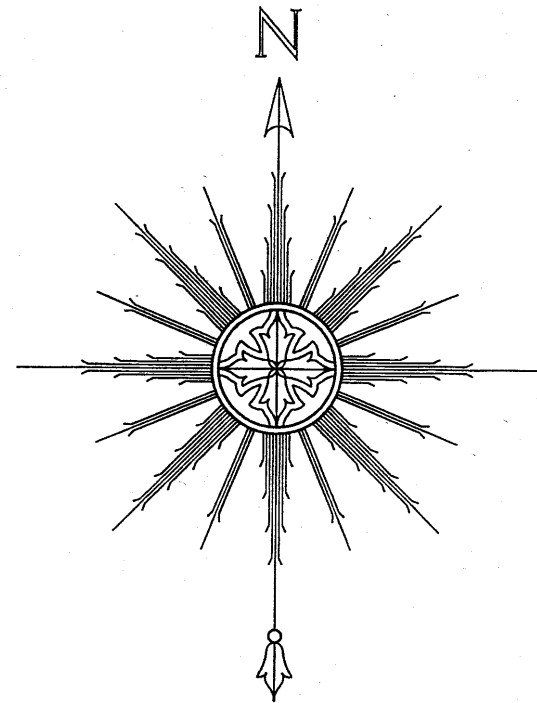
UNIFORM PROPERTY CODE #:
TRACT A-1 101806428124440501
TRACT B-1 101806428122240517
PROPERTY OWNER OF RECORD: SAN PEDRO HIVE, LLC, 6401 CORONA AVE NE

BERNALILLO COUNTY TREASURE'S OFFICE:

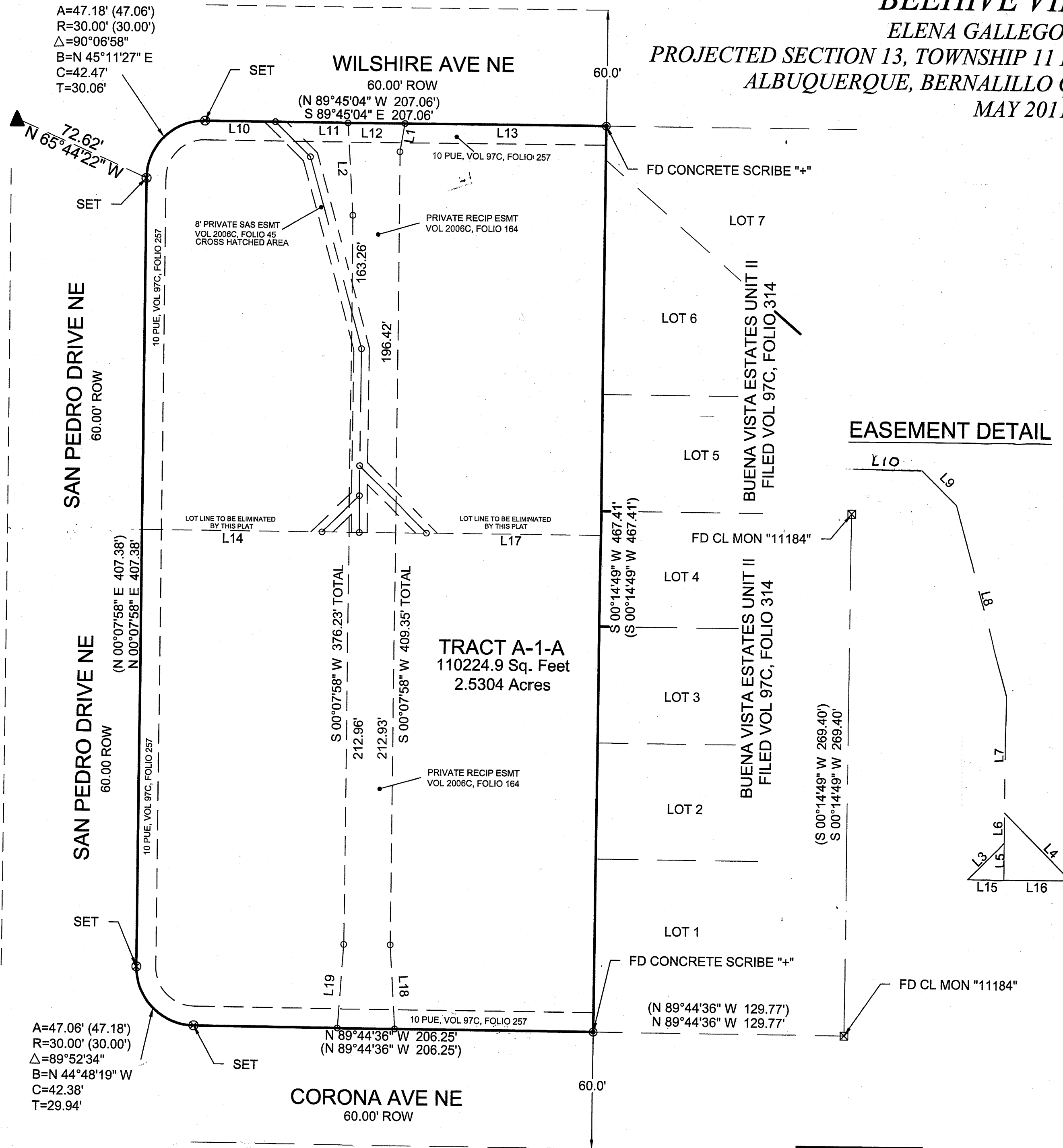
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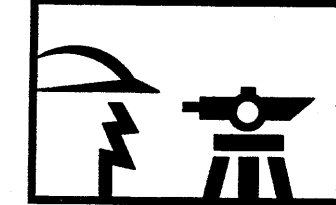
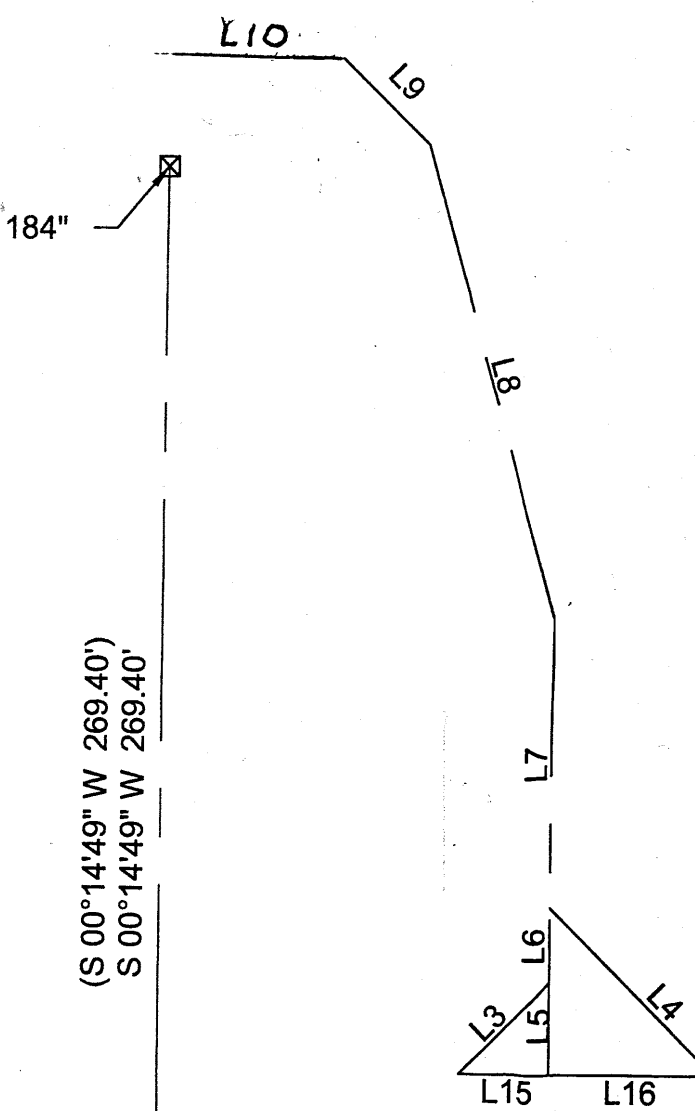
ACS CONTROL STATION
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E 1542501.428
Z 5232.470
NAD 1983/ NAVD 1988
NEW MEXICO STATE PLANE
CENTRAL ZONE
G/G 0.99964543
DELTA-ALPHA = -00°11' 19.69"



LINE	BEARING	DISTANCE
L1	S 09°46'29" W	14.92'
L2	S 03°14'38" E	48.01'
L3	N 45°07'58" E	27.21'
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L8	N 15°29'11" W	102.35'
L9	N 45°00'00" W	25.51'
L10	N 89°45'04" W	36.52'
L11	S 89°45'04" E	37.59'
L12	S 89°45'04" E	29.32'
L13	S 89°45'04" E	103.63'
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L15	S 89°52'02" E	19.24'
L16	S 89°52'02" E	34.78'
L17	S 89°52'02" E	89.70'
L18	N 03°34'27" W	43.42'
L19	N 03°51'20" E	43.33'



EASEMENT DETAIL



CONSTRUCTION SURVEY TECHNOLOGIES, INC

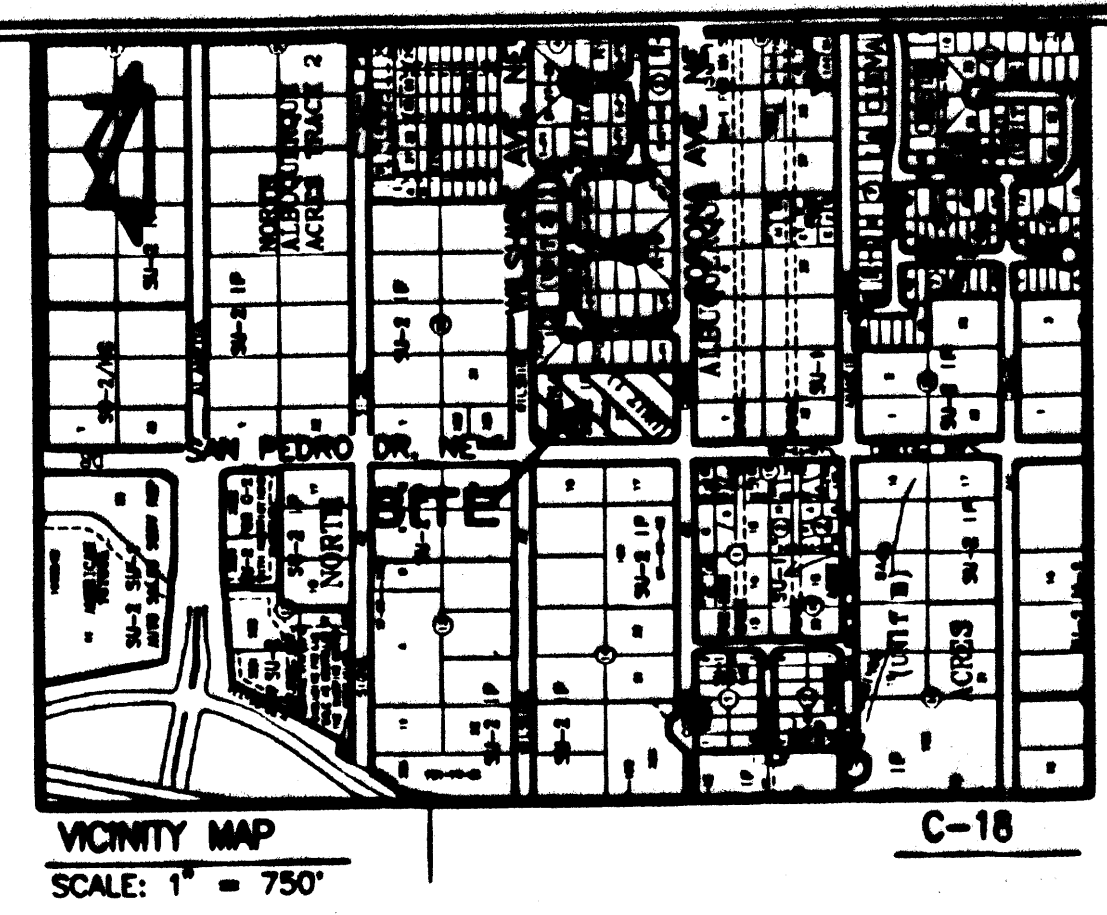
5030 FAIRFAX DRIVE NW, ALBUQUERQUE, NM 87114 505-917-8921

LEGEND

BY PM	BY PART MARK	SD	STORM DRAIN
C&G	CURB AND GUTTER	SDMH	STORM DRAIN MANHOLE
CMU	CEMENT MASONRY UNIT	SDMH/C	STORM DRAIN MANHOLE IN CONCRETE
DIP	DUCTILE IRON PIPE	SI	STORM INLET
EA	EDGE OF ASPHALT	STD. C&G	STANDARD CURB AND GUTTER
FL	FIRE HYDRANT	TSW	TOP OF SIDEWALK
FW	FLOWLINE	T BY PM	TELEPHONE LINE BY PART MARK
IN	INVERT	TA	TOP OF ASPHALT
MP	MANHOLE	TC	TOP OF CURB
MS	METAL SIGN	TCO	TOP OF CONCRETE
MS	METAL SIGN	TO	TOP OF GRADE
OME(2)	OVERHEAD ELECTRIC (NO. OF LINES)	TR	TELEPHONE RISER
PVC	POLYVINYL CHLORIDE PIPE	WCR	WHEELCHAIR RAMP
RCP	REINFORCED CONCRETE PIPE	WPP	WOOD POWER POLE
SAS	SANITARY SEWER	WVB	WATER VALVE BOX
		WVB/C	WATER VALVE BOX IN CONCRETE
		WP, PL, SL	EXISTING CONTOUR
		SC	SEE LIGHTING SCHEDULE BELOW
			Small Car/Compact Space with Phased Markings

INDEX OF DRAWINGS

SHEET	DESCRIPTION
C.1	SITE PLAN FOR BUILDING PERMIT
A.1	SITE DETAILS
A.2	ELEVATIONS - BUILDINGS A & B
A.3	ELEVATIONS - BUILDINGS C, D, E & F
G.1	CONCEPTUAL GRADING PLAN
G.2	CONCEPTUAL DRAINAGE PLAN, CALCULATIONS AND CONSTRUCTION NOTES
U.1	CONCEPTUAL UTILITY PLAN
L.1	LANDSCAPING PLAN



PROJECT NUMBER: 1002254
APPLICATION NUMBER: 05-00-01843

In an Infrastructure List request? () Yes () No If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements. **NO SITE DEVELOPMENT PLAN APPROVAL.**

Regina... Engineering, Transportation Division
 Date: 1-23-06

Christina... Water Utility Department
 Date: 11/28/05

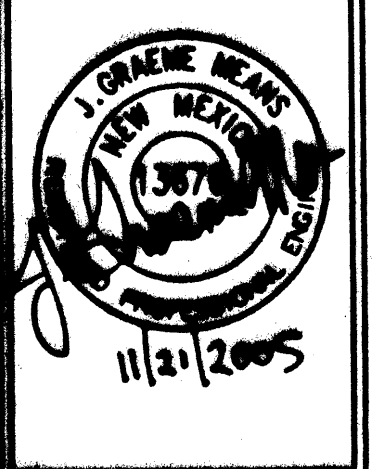
Bradley... Parks and Recreation Department
 Date: 11/28/05

Michael... City Engineer
 Date: 11/28/05

Michael... Solid Waste Management
 Date: 11/28/05

Michael... Director, Planning Department
 Date: 11/28/05

11/28/05	11/28/05
11/28/05	11/28/05
11/28/05	11/28/05
11/28/05	11/28/05
11/28/05	11/28/05
11/28/05	11/28/05
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11/28/05	11/28/05
11/28/05	11/28/05

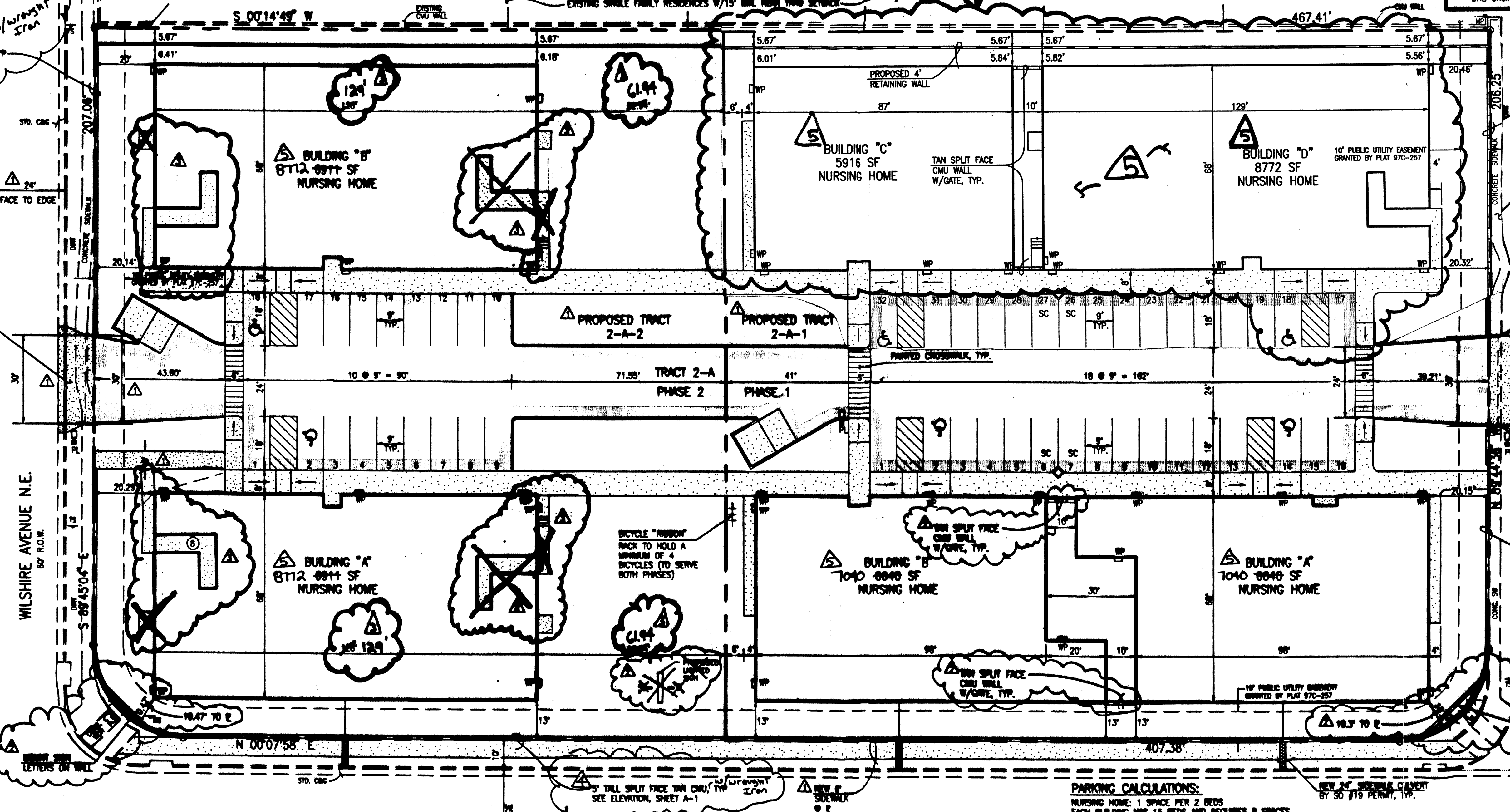


11/28/05
 G.A.R.V.
 1" = 20'

SAN PEDRO DRIVE NE ALBUQUERQUE, NEW MEXICO
SITE PLAN FOR BUILDING PERMIT

BEHIVE HOMES QUALITY SENIOR LIVING
 5000 S. 24th St. Suite 200
 Albuquerque, NM 87106
 Phone: 505.263.7248
 E-Mail: info@beehivehomes.com

C.1



CURVE TABLE

CURVE	INCHES	LENGTH	CHORD	BEARING	DELTA
C1	30.00	47.08	42.38	N 44°46'22" W	89°53'54"
C2	30.00	47.18	42.47	N 28°11'23" E	60°08'56"

PARKING CALCULATIONS:
 NURSING HOME: 1 SPACE PER 2 BEDS
 EACH BUILDING HAS 15 BEDS AND REQUIRES 8 SPACES
 PHASE 1 HAS 4 BUILDINGS, 32 SPACES REQUIRED AND PROVIDED OF WHICH 4 ARE ACCESSIBLE (2 MC SPACES REQUIRED) AND 4 ARE SMALL CAR SPACES
 PHASE 2 HAS 2 BUILDINGS, 16 SPACES REQUIRED AND 18 PROVIDED OF WHICH 2 ARE ACCESSIBLE (1 MC SPACE REQUIRED)
 BICYCLE PARKING IS 1 SPACE PER 20 PARKING SPACES
 PHASE 1 REQUIRES 2 BICYCLE SPACES AND
 PHASE 2 REQUIRES 1 BICYCLE SPACE
 PARKING FOR 4 BICYCLES WILL BE PROVIDED WITH PHASE 1 TO SERVE BOTH PHASES.

NOTES:
 1) THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM THE MARCH 23, 2005 SURVEYS CONDUCTED BY THIS OFFICE.
 2) TRACTS 2-A-1 AND 2-A-2 WILL REQUIRE PRIVATE ACCESS, PARKING, DRAINAGE AND UTILITY EASEMENTS TO BE SPECIFICALLY DEFINED BY THE FORTHCOMING PLATTING ACTION.

ADMINISTRATIVE AMENDMENT
 File #0644-007-00 Project #1002254
 Revised 11/28/05
 APPROVED BY: *Michael...* DATE: 11/28/05

File Path: E:\WORK\11-21-2005
 Plot Date: 11-21-2005
 Plot Time: 09:22 am
 File Name: 50034023.DWG

JMA JEFF MORTENSEN & ASSOCIATES, INC.
 6810-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (SINCE 1945-46)
 FAX: 505 345-4254 ESTABLISHED 1977

2005.003.4

PROJECT NUMBER: 1002254
 APPLICATION NUMBER: 05 DRB-01643

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Ray A. Soren
 Traffic Engineering, Transportation Division
 Date: 11/23/05

Christian Sandoval
 Water Utility Department
 Date: 11/23/05

Bradley D. Bringham
 Parks and Recreation Department
 Date: 11/23/05

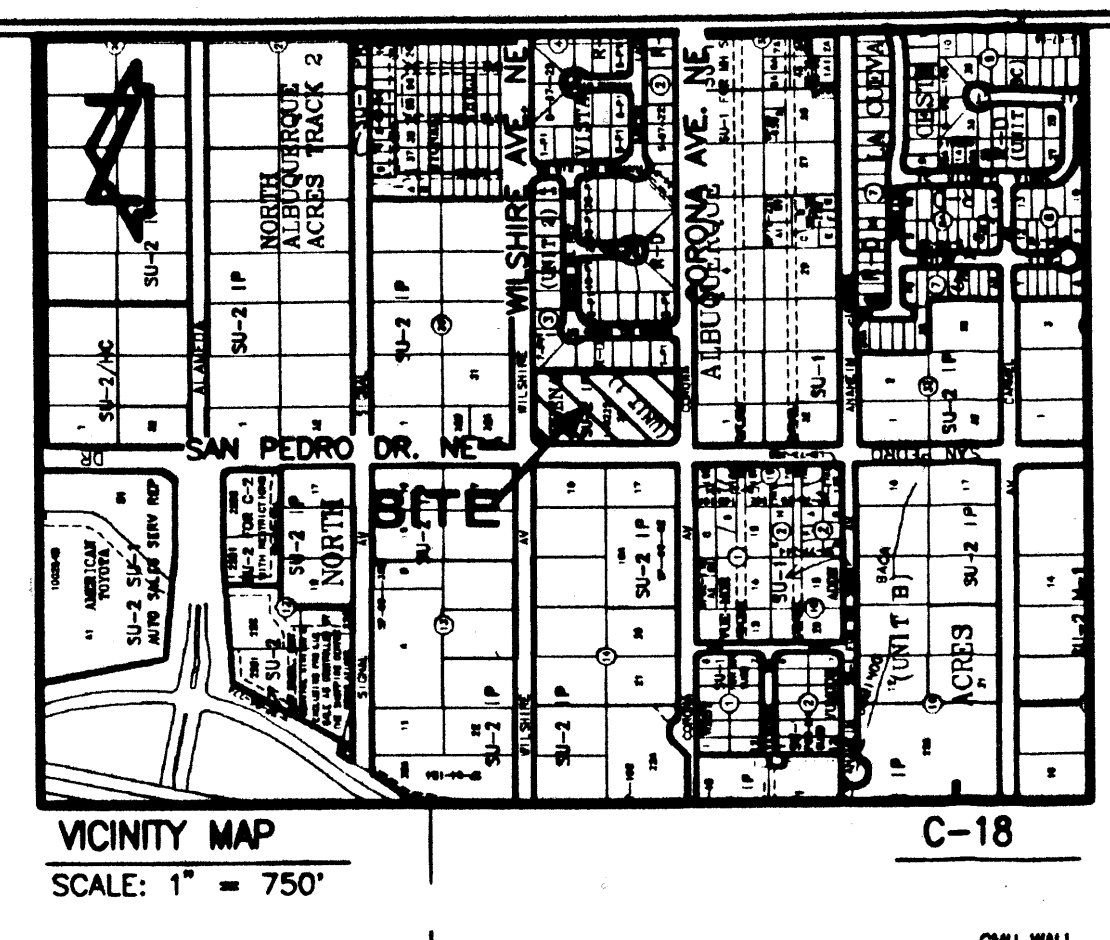
Michael Hatten
 City Engineer
 Date: 11/23/05

DRB Chairperson, Planning Department
 Date: 11/23/05

11/14/05 DRB
11/30/05
REVISION
LAYOUT 06/06
Revise wall & Sheet A-2

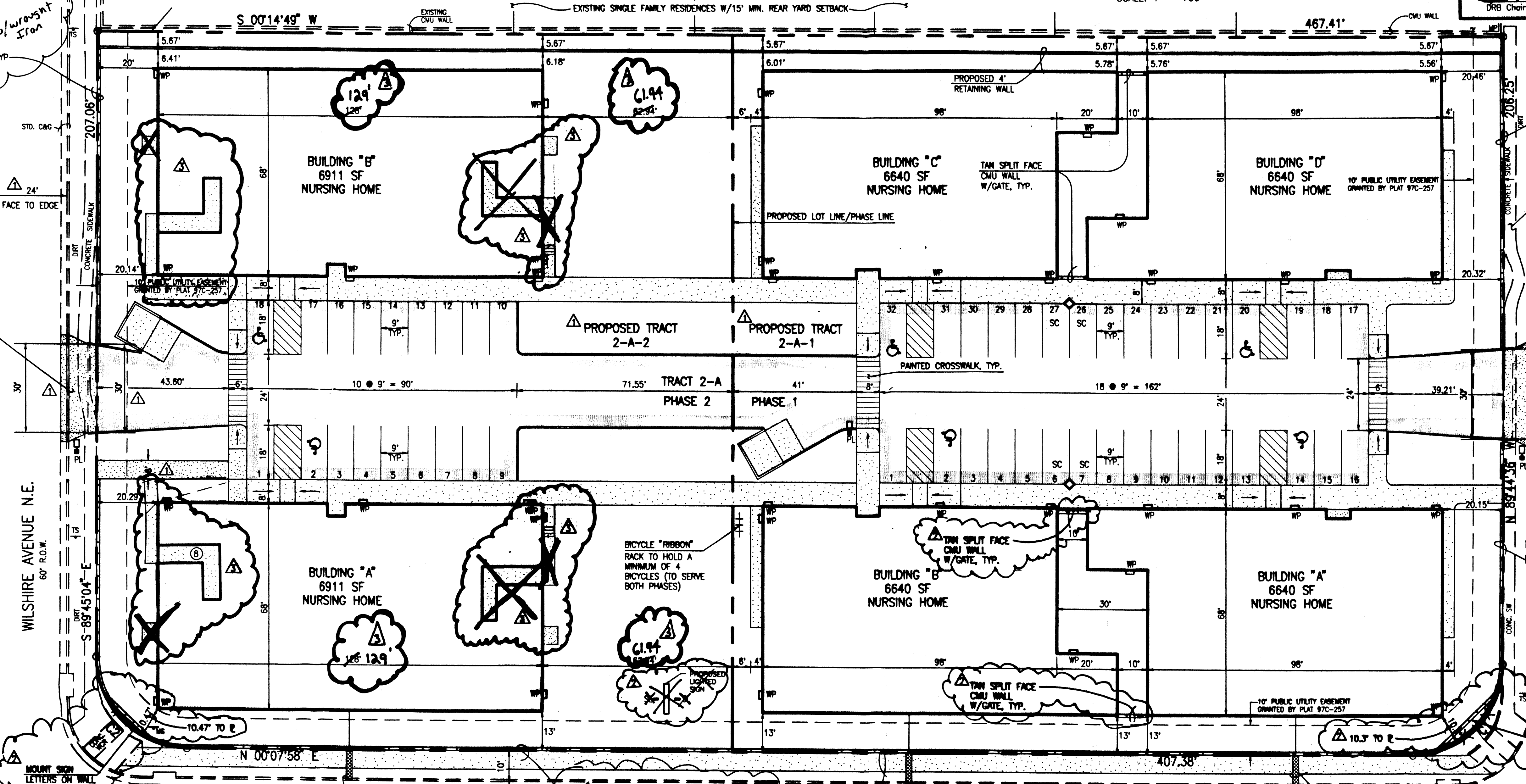
INDEX OF DRAWINGS

SHEET	DESCRIPTION
C.1	SITE PLAN FOR BUILDING PERMIT
A.1	SITE DETAILS
A.2	ELEVATIONS - BUILDINGS A & B
A.3	ELEVATIONS - BUILDINGS C, D, E & F
G.1	CONCEPTUAL GRADING PLAN
G.2	CONCEPTUAL DRAINAGE PLAN, CALCULATIONS AND CONSTRUCTION NOTES
U.1	CONCEPTUAL UTILITY PLAN
L.1	LANDSCAPING PLAN



LEGEND

BY PM	BY PAINT MARK	SD	STORM DRAIN
C&G	CURB AND GUTTER	SDMH	STORM DRAIN MANHOLE
CMU	CEMENT MASONRY UNIT	SDMH/C	STORM DRAIN MANHOLE IN CONCRETE
DIP	DUCTILE IRON PIPE	SI	STORM INLET
EA	EDGE OF ASPHALT	STD. C&G	STANDARD CURB AND GUTTER
FL	FIRE HYDRANT	TSW	TOP OF SIDEWALK
FLW	FLOWLINE	T BY PM	TELEPHONE LINE BY PAINT MARK
INV	INVERT	TA	TOP OF ASPHALT
MH	MANHOLE	TC	TOP OF CURB
MP	METAL POLE	TCO	TOP OF CONCRETE
MS	METAL SIGN	TO	TOP OF GRADE
OHE(2)	OVERHEAD ELECTRIC (NO. OF LINES)	TR	TELEPHONE RISER
PVC	POLYVINYL CHLORIDE PIPE	WCR	WHEELCHAIR RAMP
RCP	REINFORCED CONCRETE PIPE	WPP	WOOD POWER POLE
SAS	SANITARY SEWER	WVB	WATER VALVE BOX
		WVB/C	WATER VALVE BOX IN CONCRETE
		WP, PL, SL	EXISTING SPOT ELEVATION
		SC	SEE LIGHTING SCHEDULE BELOW
			Small Car/Compact Space with PARKED MARKING



CURVE TABLE

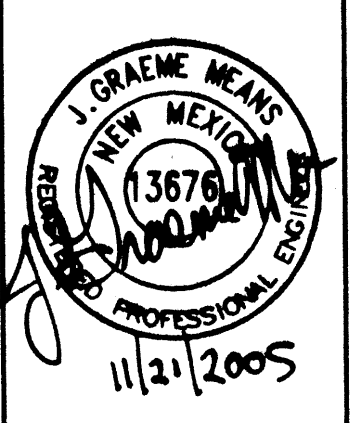
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.06'	42.38'	N 44°48'22" W	89°52'34"
C2	30.00'	47.18'	42.47'	N 45°11'23" E	90°06'58"

PARKING CALCULATIONS:
 NURSING HOME: 1 SPACE PER 2 BEDS
 EACH BUILDING HAS 15 BEDS AND REQUIRES 8 SPACES
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 PHASE 1 REQUIRES 2 BICYCLE SPACES AND
 PHASE 2 REQUIRES 1 BICYCLE SPACE
 PARKING FOR 4 BICYCLES WILL BE PROVIDED WITH PHASE 1 TO SERVE BOTH PHASES.

A	B	C	D	E	F	REMARKS		
VP	LITHONIA	TVP 150W 120 LPI	EXTERIOR WALL PACK WALL MTD. HD	150W	26	150	3.600	ELECTRONIC BALLAST
PL	LITHONIA	(LUMINAIRE) KSE1 150W R2 RP9 SF (POLE) SSS 20 4G IM9 IM9	AREA LIGHTING POLE MTD. HD	150W	3	150	450	ELECTRONIC BALLAST
SL	HYDREL	LR7246-S GRAVITY FIT SOCKET PENDANT OWNER SPECIFIED GLASS SHADE	SIGN LIGHTS GRADE MTD. HD	70W	2	140	280	ELECTRONIC BALLAST

NOTES:
 1) THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM THE MARCH 23, 2005 SURVEYS CONDUCTED BY THIS OFFICE.
 2) TRACTS 2-A-1 AND 2-A-2 WILL REQUIRE PRIVATE ACCESS, PARKING, DRAINAGE AND UTILITY EASEMENTS TO BE SPECIFICALLY DEFINED BY THE FORTHCOMING PLATTING ACTION

ADMINISTRATIVE AMENDMENT
 File #06AA-0075B Project # 1002254
 Revised Plans
 APPROVED BY: *Daniel B...* DATE: 28 Jun 06

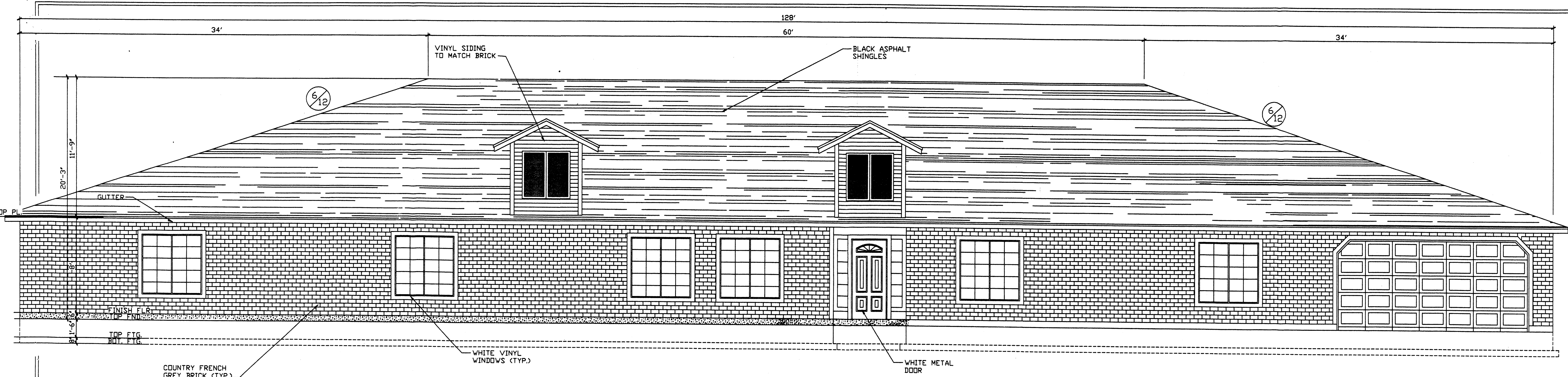


SAN PEDRO DRIVE NE
 ALBUQUERQUE, NEW MEXICO
 PAGE TITLE
 SITE PLAN FOR
 BUILDING PERMIT

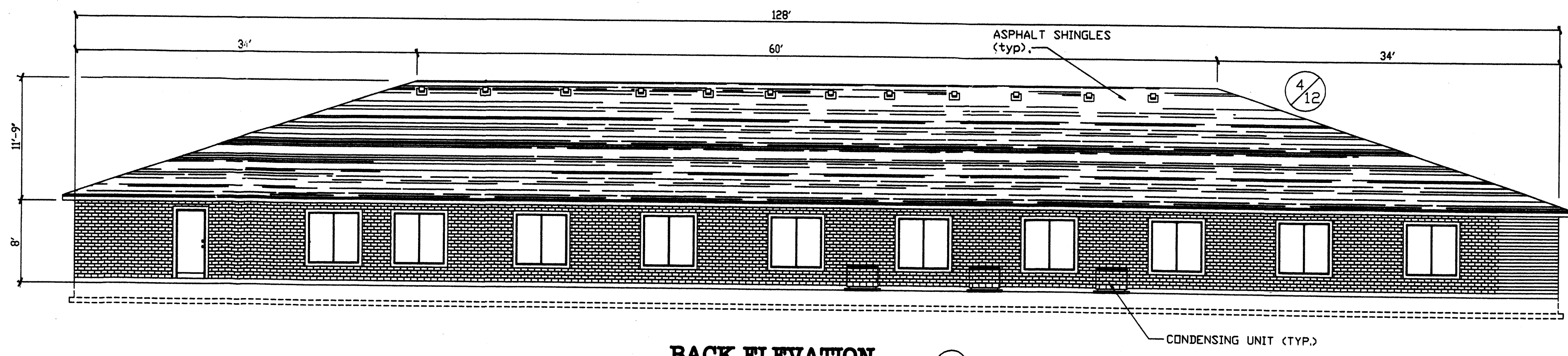
BEEHIVE HOMES
 QUALITY SENIOR LIVING
 ENGINEERING DEPARTMENT
 PHONE: 505.899.7445
 FAX: 505.899.7445
 E-MAIL: hortensen@think.net

Plot Date: 11-21-2005
 Plot Time: 09:22 am
 File Path: \\JMA\WORK\DRBAA
 File Name: 50034COP3.DWG

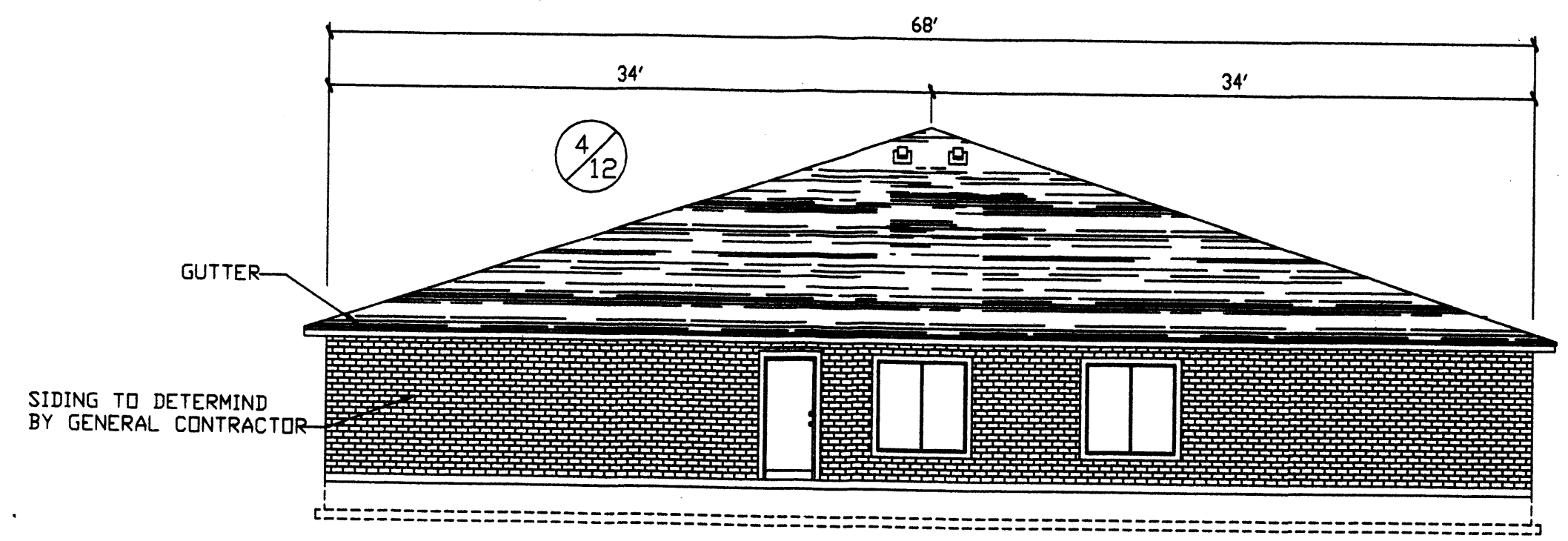
JMA
 JEFF HORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (SOS) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977



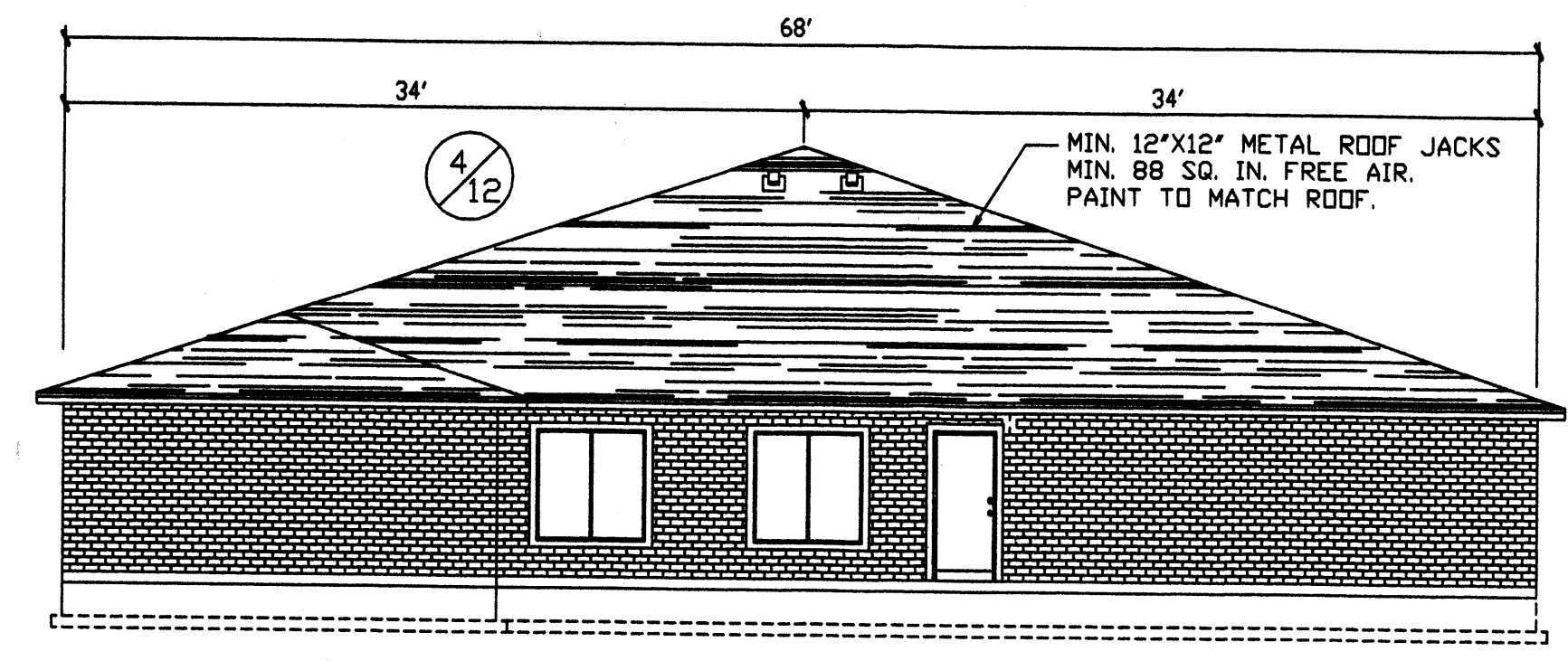
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"
 0 2' 4' 6'
 1' 3' 5'



BACK ELEVATION
 SCALE: 1/8" = 1'-0"
 0 2' 4' 6' 8' 10' 12'
 1' 4' 8' 12'



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"
 0 2' 4' 6' 8' 10' 12'



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"
 0 2' 4' 6' 8' 10' 12'

REVISIONS	
A	Revert to Originally Approved Elevation

DATE: JAN 14, 2005
 DRAWN BY: A.J./K.R.
 SCALE:

SAN PEDRO NEW MEXICO FOR CONSTRUCTION
 ELEVATIONS BUILDING A AND B
 PAGE TITLE

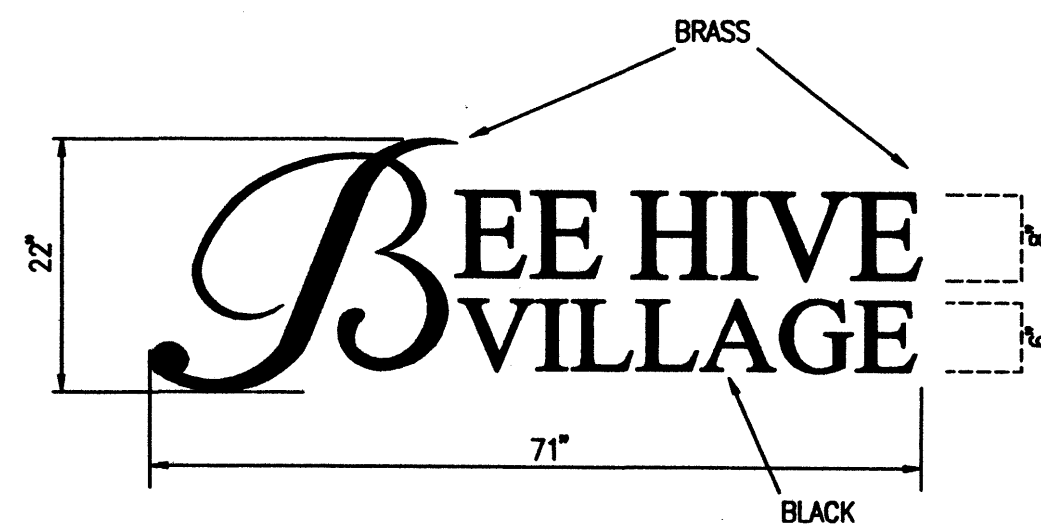
BEEHIVE HOMES
 QUALITY SENIOR LIVING
 ENGINEER: V. BARRETT, DR. PHONE: (208) 888-7145
 1500 V. BARRETT DR. FAX: (208) 888-7165
 MERIDIAN, ID. 83642 E-MAIL: kar.teng@earthlink.net

A-2
 SHEET

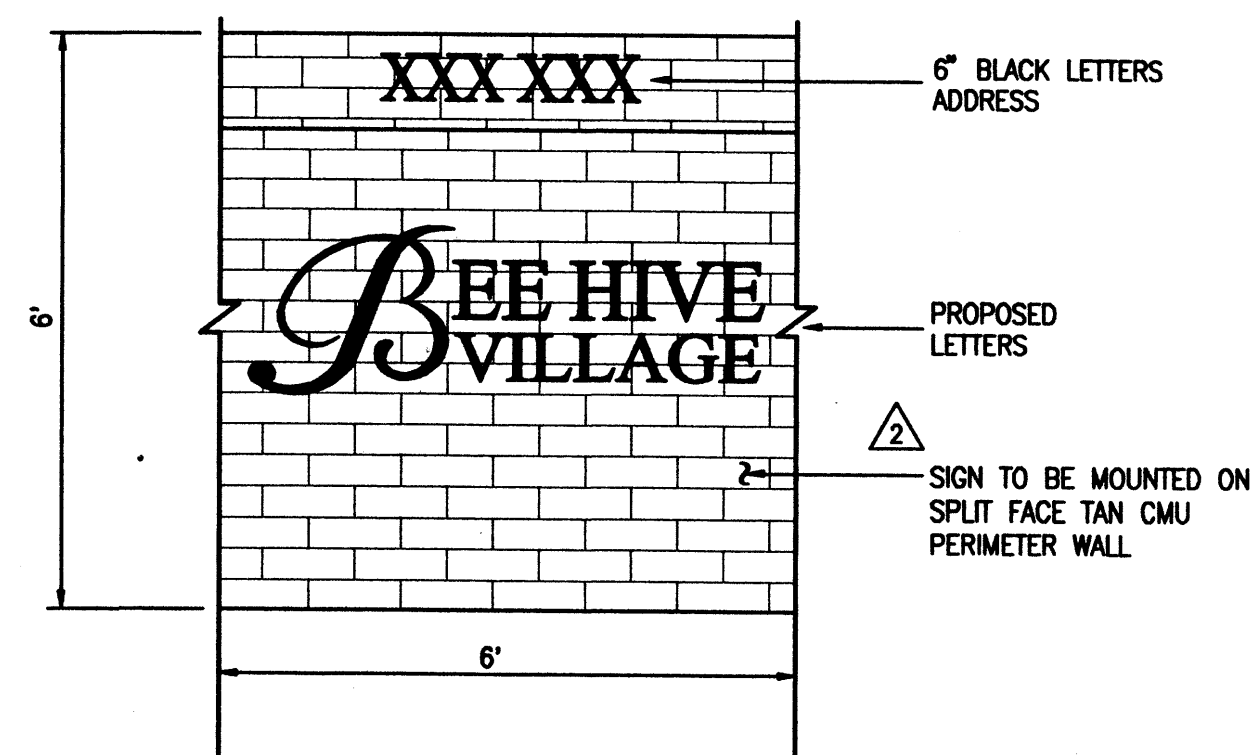
File Path: E:\M\WORK\2007\50034D\TLR.DWG
 Plot Date: 01-09-2007
 Plot Time: 11:06 am



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977

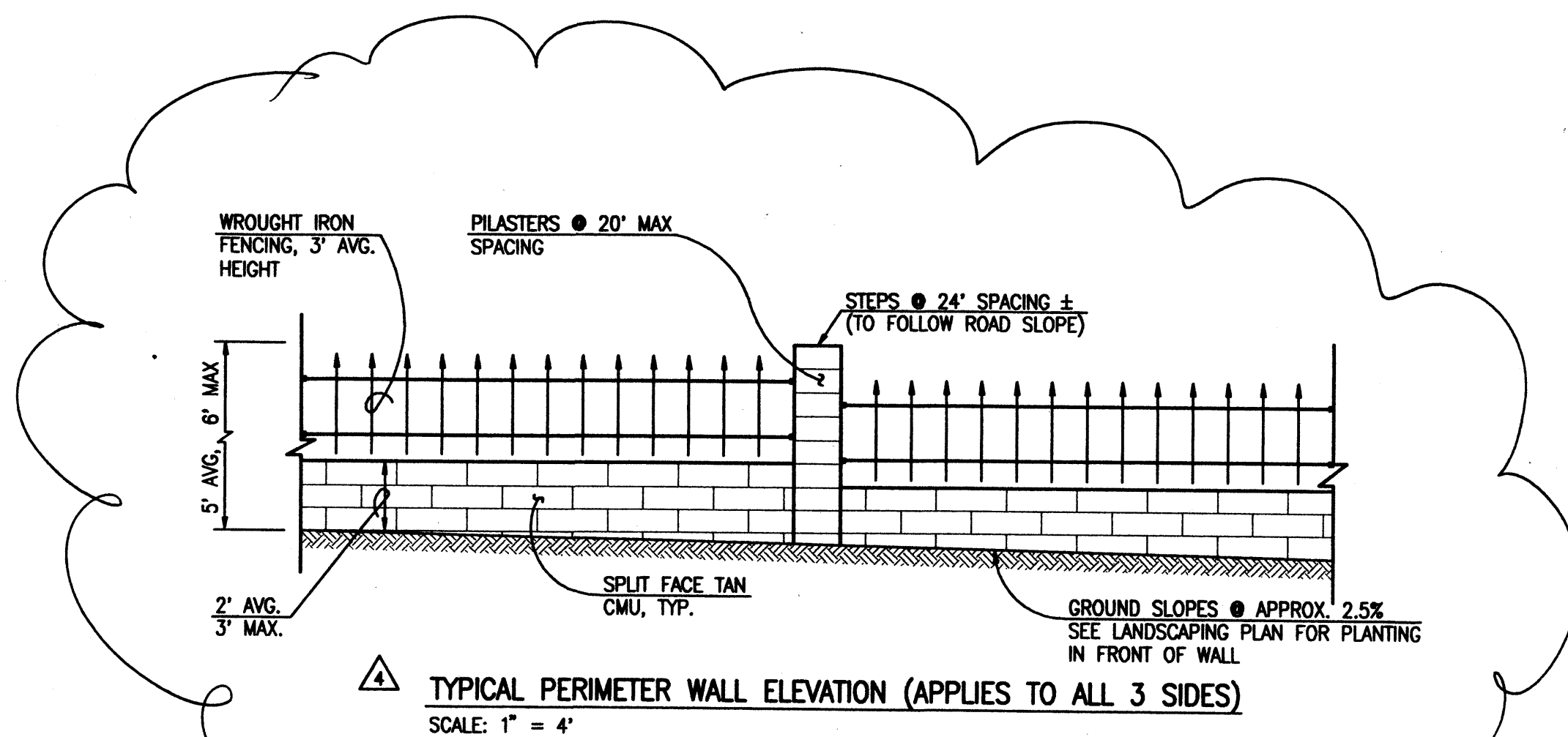


NON-ILLUMINATED METAL PIN LETTERS (CUSTOM FONT)
 COLOR: BRASS AND BLACK
 OVERALL HEIGHT: 22"
 OVERALL LENGTH: 71"
 THICKNESS: 1/4"

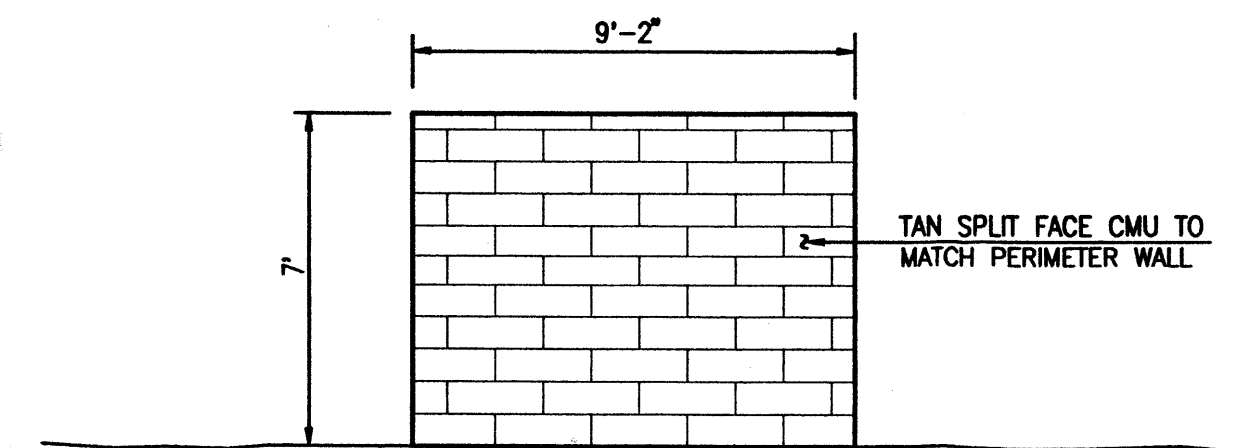


PROPOSED SIGN DETAIL (TO BE MOUNTED ON WALL)
 SCALE: 1" = 2"

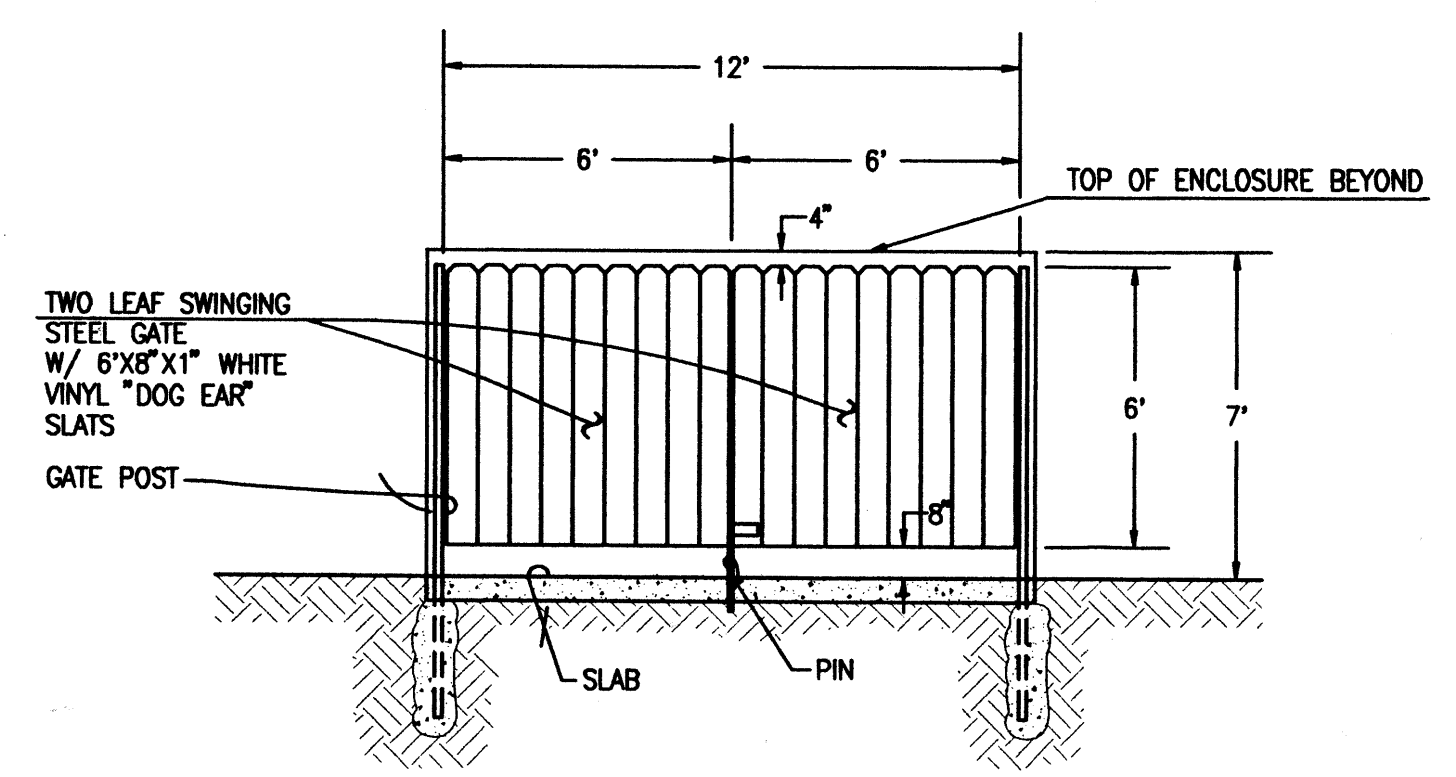
NOTE: SIGN TO BE UPLIT WITH 1-250 WATT METAL HALIDE LAMP.



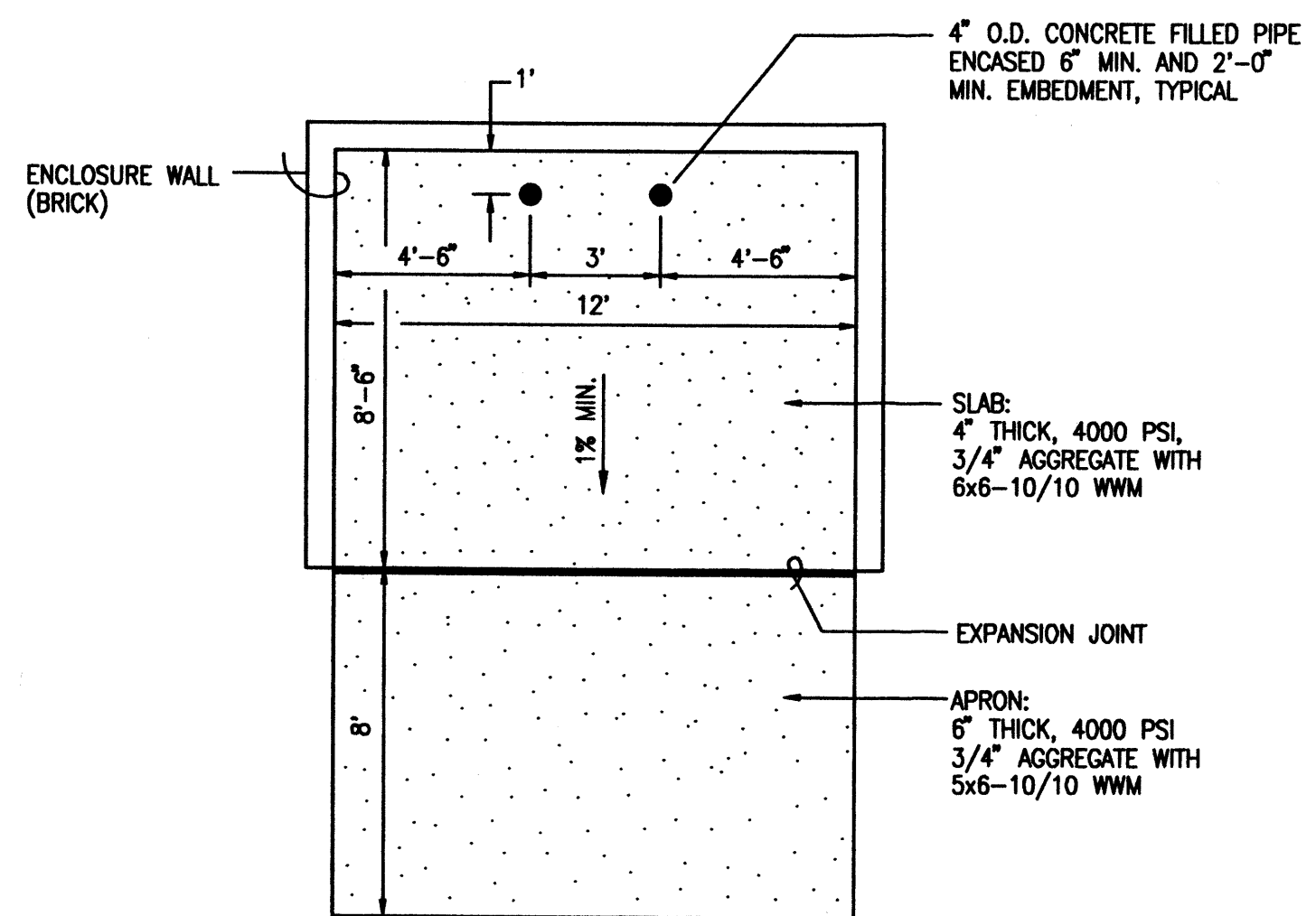
TYPICAL PERIMETER WALL ELEVATION (APPLIES TO ALL 3 SIDES)
 SCALE: 1" = 4'



REFUSE ENCLOSURE SIDE ELEVATION
 SCALE: 1" = 4'

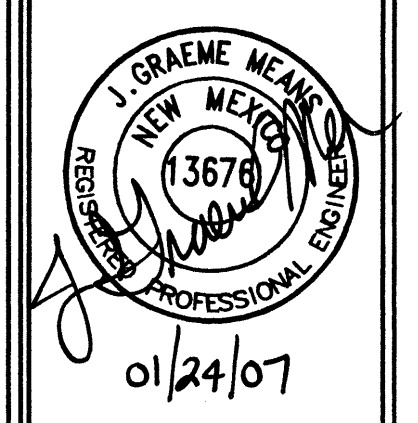


REFUSE ENCLOSURE GATE ELEVATION
 SCALE: 1" = 4'



REFUSE ENCLOSURE PLAN
 SCALE: 1" = 4'

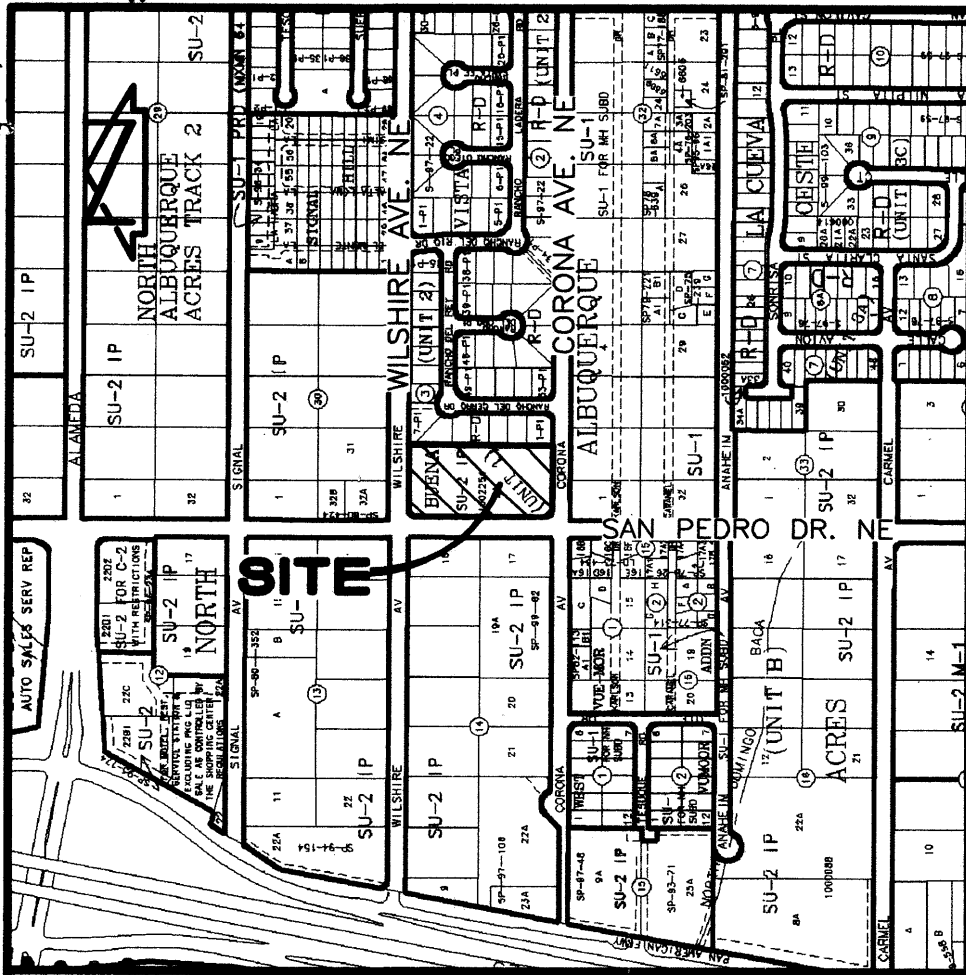
REVISIONS	DATE	DESCRIPTION
AMEND WALL SIGN	11/30/05	
AMEND WALL	01/2007	



DATE: 10-2005
 DRAWN BY: G.M. / R.W.
 SCALE:

SAN PEDRO DRIVE N.W.
 FOR CONSTRUCTION
 PAGE TITLE: SITE DETAILS

BEEHIVE HOMES
 QUALITY SENIOR LIVING
 ENGINEERING, ARCHITECTURE, INTERIOR DESIGN
 PHONE: (505) 889-7145
 FAX: (505) 889-7165
 MERIDIAN, ID 83642
 E-MAIL: karlene@beehivehomes.com



VICINITY MAP C-18
SCALE: 1" = 750'

PLAT OF
TRACTS A and B
BEEHIVE VILLAGE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2006

FREDERICK W. PALMER
ROSEMARY PALMER
OWNER

PROJECTED
SEC. 13, T 11 N, R 4 E, N.M.P.M.
LOCATION

BEEHIVE VILLAGE
SUBDIVISION

COUNTY CLERK FILING DATA

LEGAL DESCRIPTION

Tract 2-A, Buena Vista Estates, Unit 1, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 14, 2002, Book 2002C, Page 363.

DRB PROJECT NUMBER 1002254

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

A.M.A.F.C.A. DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Charles G. Cala, Jr. 1-18-06
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owners and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. We hereby warrant that We hold complete and indefeasible title in fee simple to the land subdivided hereon.

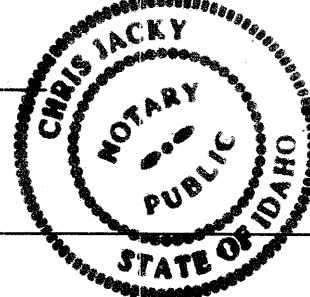
Frederick W. Palmer 16 Jan 2006
Frederick W. Palmer, Husband Date

ACKNOWLEDGEMENT

STATE OF IDAHO)
COUNTY OF ADA) SS

This instrument was acknowledged before me on this 16 day of Jan, 2006, by Frederick W. Palmer, Husband.

Chris Jacky
Notary Public
Exp 10-30-09



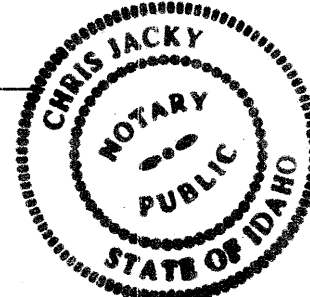
Rosemary Palmer 16 Jan. 2006
Rosemary Palmer, Wife Date

ACKNOWLEDGEMENT

STATE OF IDAHO)
COUNTY OF ADA) SS

This instrument was acknowledged before me on this 16 day of JAN, 2006, by Rosemary Palmer, Wife.

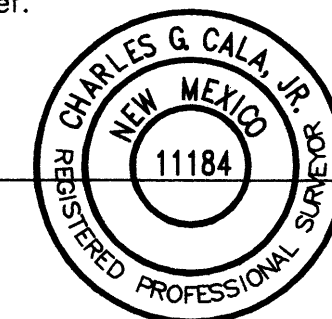
Chris Jacky
Notary Public
Exp 10-30-09



SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



1-13-2006
Date



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.003.3 50033PLATA.dwg

PLAT OF
TRACTS A and B
BEEHIVE VILLAGE
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2006

COUNTY CLERK FILING DATA

KEYED NOTES

EXISTING EASEMENTS

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 97C-257

NEW EASEMENTS

- ② PRIVATE VEHICULAR ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT B, MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- ③ 8' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT SERVING TRACT B, MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.

MONUMENTS

- Ⓐ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- Ⓑ SET CHISELED "+" ON SIDEWALK
- Ⓒ FOUND C.O.A. CENTERLINE MONUMENT

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.06'	42.38'	N 44°48'22" W	89°52'34"
(C1)				N 44°48'38" W	
C2	30.00'	47.18'	42.47'	N 45°11'23" E	90°06'58"
(C2)				N 45°11'08" E	

EASEMENT TABLES

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
EC1	15.00'	16.56'	15.73'	N 31°29'44" W	63°15'23"
EC2	45.00'	240.73'	40.50'	S 89°52'02" E	306°30'45"
EC3	15.00'	16.56'	15.73'	S 31°45'39" W	63°15'23"

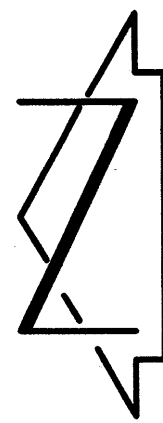
EL1	S 45°00'00" E	25.51'
EL2	S 15°29'11" E	102.35'
EL3	S 00°07'58" W	94.91'
EL4	S 44°52'02" E	49.49'
EL5	S 45°07'58" W	26.90'
EL6	S 00°07'58" W	19.02'
EL7	S 00°07'58" W	35.00'
EL8	N 00°07'58" E	1.42'
EL9	S 00°07'58" W	1.42'

Notes:

1. A boundary survey was performed in March, 2005. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 13, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "9-C18".
5. Record bearings and distances are shown in parenthesis.
6. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of Buena Vista Estates, Unit I, filed 11-14-2002, Book 2002C, Page 363, Records of Bernalillo County, New Mexico.
 - b. Plat of Buena Vista Estates, Unit I, filed 08-21-1997, Book 97C, Page 257, Records of Bernalillo County, New Mexico.
 - c. Plat of Buena Vista Estates, Unit II, filed 10-22-1997, Book 97C, Page 314, Records of Bernalillo County, New Mexico.
 - d. Plat of North Albuquerque Acres, Tract A, Unit B, filed 12-15-1980, Book C17, Page 162, Records of Bernalillo County, New Mexico.
 - e. Plat of North Albuquerque Acres, Tract A, Unit B, filed 04-24-1936, Book D, Page 130, Records of Bernalillo County, New Mexico.
 - f. Policy of Title Insurance File No. 246854ME prepared by Land America Albuquerque Title dated February 11, 2005.
7. The property surveyed hereon is subject to an Agreement to Construct Subdivision Improvements, filed July 30, 1997, Book 97-20, Page 7057, Document No. 97077952, records of Bernalillo County, New Mexico.
8. The property surveyed hereon is subject to an Agreement and Covenant Subdivision Improvements, filed October 28, 1997, Book 97-29, Page 8654, Document No. 97112856, records of Bernalillo County, New Mexico.
9. The property surveyed hereon is subject to Reservations contained in Patent from United States of America, Book 80, Page 353, records of Bernalillo County, New Mexico.
10. The property surveyed hereon lies within Zone X (unshaded). More particularly described as "areas determined to be outside the 0.2% annual chance floodplain". Reference is made to Federal Emergency Management Agency Letter of Map Revision (LOMR) case number 03-06-2543P, effective date December 16, 2003.
11. No private street mileage created by this plat.
12. Gross subdivision acreage = 2.5304 acres ±.
13. The purpose of this plat is to:
 - a. Grant the necessary private sanitary sewer systems and private vehicular access easements as shown.
 - b. Create 2 (two) residential lots from Tract 2-A, Buena Vista Estates, Unit 1.



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE.
 ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 JOB #2005.003.3 50033PLATA.dwg



SCALE: 1" = 40'

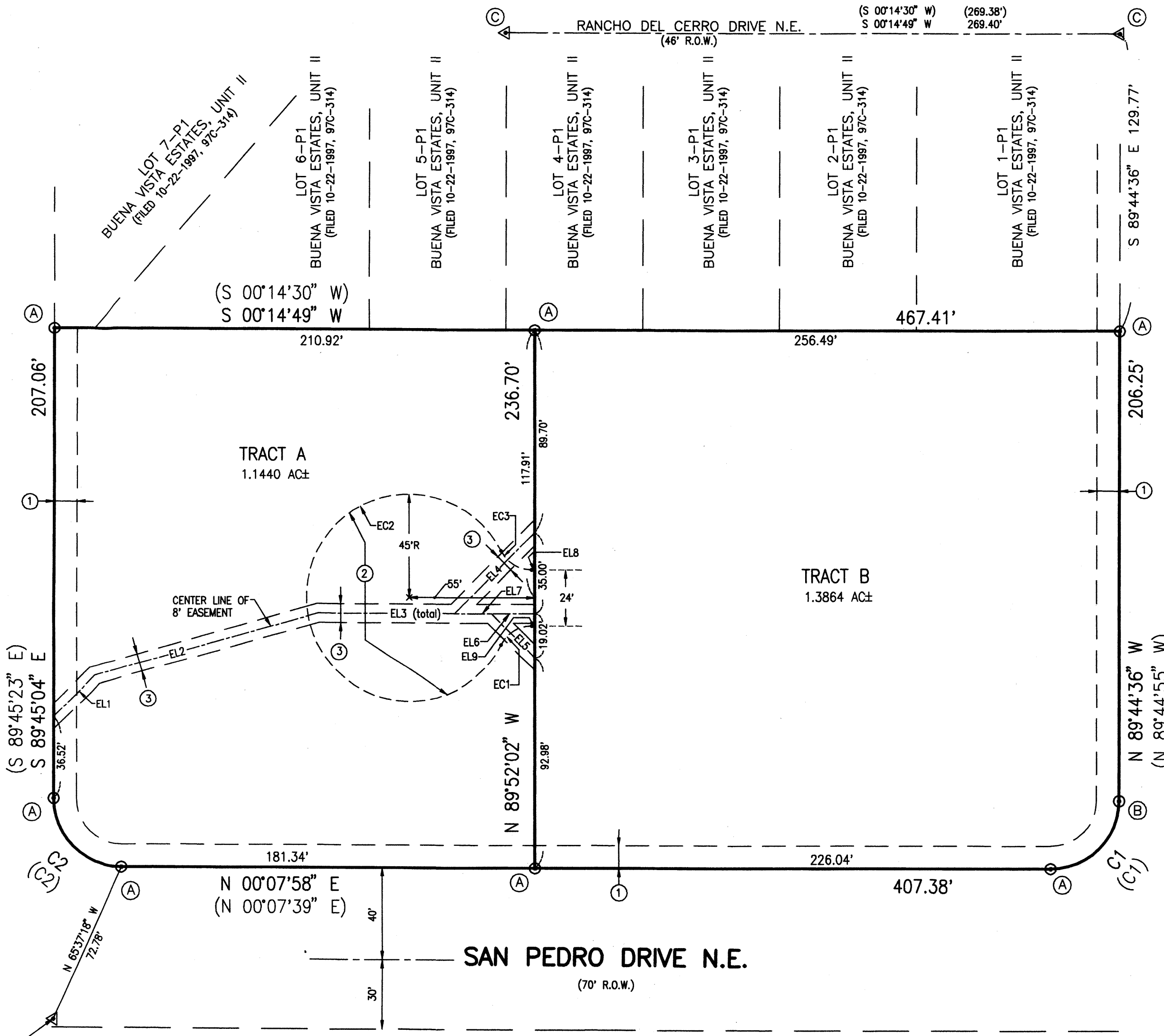


PLAT OF
TRACTS A and B
BEEHIVE VILLAGE
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2006

COUNTY CLERK FILING DATA

LOT 32-A, BLOCK 30
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B
 (FILED 12-15-1980, C17-162)

WILSHIRE AVENUE N.E.
 (60' R.O.W.)



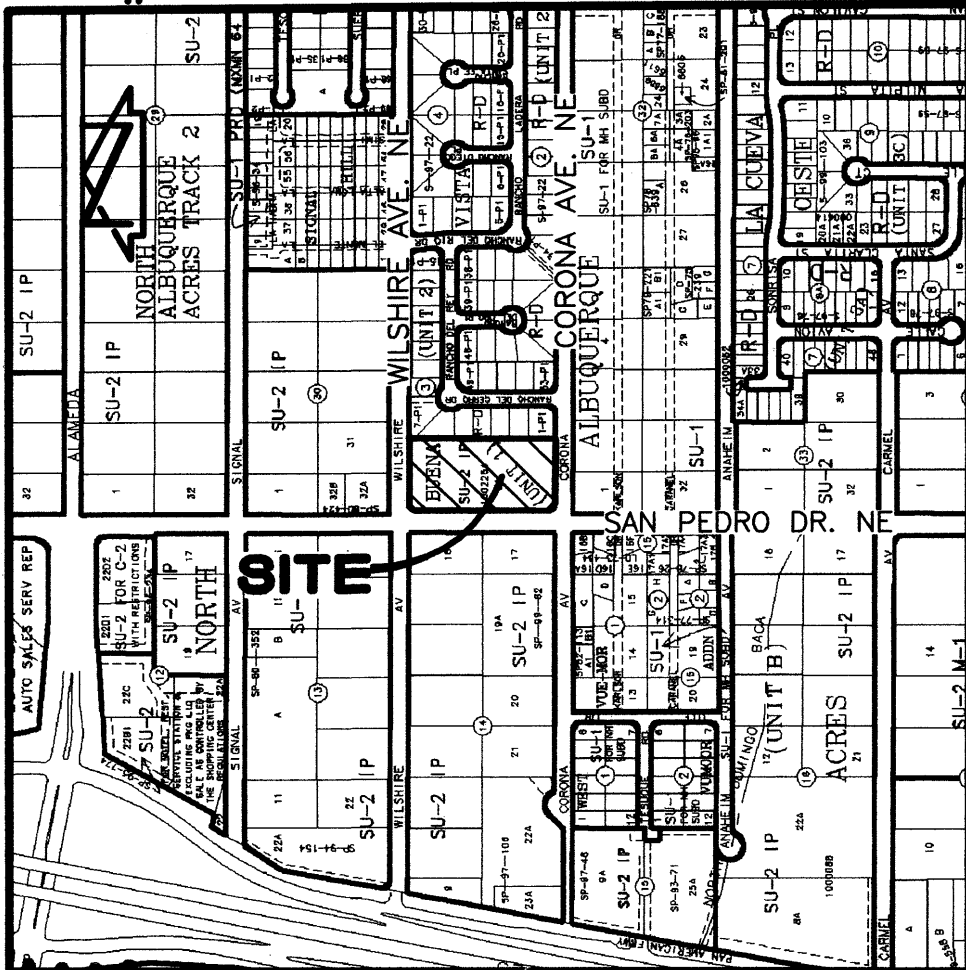
CORONA AVENUE N.E.
 (60' R.O.W.)

LOT 1, BLOCK 32
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B
 (FILED 04-24-1936, D-130)

NEW MEXICO CENTRAL ZONE-NAD 1927
 A.C.S. STA. "9-C18"
 X=402,255.61
 Y=1,521,436.09
 COMBINED FACTOR=0.9996608
 DELTA ALPHA=-00°11'19"
 ELEVATION=5229.79' (NGVD 29)



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 JOB #2005.003.3 50033PLATA.dwg



VICINITY MAP C-18
SCALE: 1" = 750'

PLAT OF
TRACTS A and B
BEEHIVE VILLAGE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2006

FREDERICK W. PALMER
ROSEMARY PALMER
OWNER

PROJECTED
SEC. 13, T 11 N, R 4 E, N.M.P.M.
LOCATION

BEEHIVE VILLAGE
SUBDIVISION



COUNTY CLERK FILING DATA

LEGAL DESCRIPTION

Tract 2-A, Buena Vista Estates, Unit 1, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 14, 2002, Book 2002C, Page 363.

DRB PROJECT NUMBER 1002254
Application number 06-DRB 00084

APPROVALS:

Andrew Garcia 2-1-06
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

William G. Baker 2/1/06
WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

RLS DRS 2-1-06
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

RLS DRS 2-1-06
A.M.A.F.C.A. DATE

John S. ... 2-1-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Christina Sandoval 2/1/06
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

John B. ... 1-18-06
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owners and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. We hereby warrant that We hold complete and indefeasible title in fee simple to the land subdivided hereon.

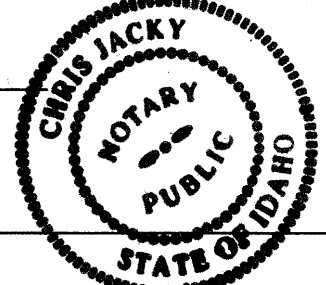
Frederick W. Palmer 16 Jan 2006
Frederick W. Palmer, Husband Date

ACKNOWLEDGEMENT

STATE OF IDAHO)
COUNTY OF ADA) SS

This instrument was acknowledged before me on this 16 day of Jan, 2006, by Frederick W. Palmer, Husband.

Chris Jacky
Notary Public
Exp - 10-30-09



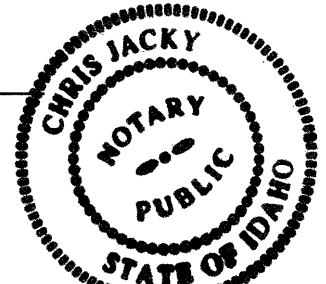
Rosemary Palmer 16 Jan. 2006
Rosemary Palmer, Wife Date

ACKNOWLEDGEMENT

STATE OF IDAHO)
COUNTY OF ADA) SS

This instrument was acknowledged before me on this 16 day of JAN, 2006, by Rosemary Palmer, Wife.

Chris Jacky
Notary Public
Exp 10-30-09



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # 101806427925740501
PROPERTY OWNER OF RECORD:
Frederick W. + Rosemary Palmer
COUNTY TREASURER'S OFFICE
F. ... 2/8/06

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184

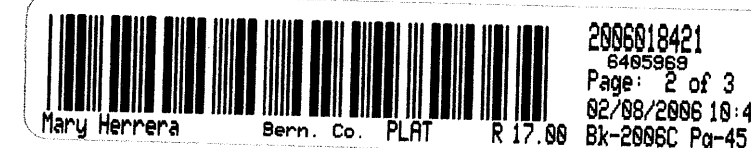


1-13-2006
Date



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.003.3 50033PLATA.dwg

PLAT OF
TRACTS A and B
BEEHIVE VILLAGE
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2006



COUNTY CLERK FILING DATA

KEYED NOTES

EXISTING EASEMENTS

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 97C-257

NEW EASEMENTS

- ② PRIVATE VEHICULAR ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT B, MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- ③ 8' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT SERVING TRACT B, MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.

MONUMENTS

- Ⓐ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- Ⓑ SET CHISELED "+" ON SIDEWALK
- Ⓒ FOUND C.O.A. CENTERLINE MONUMENT

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.06'	42.38'	N 44°48'22" W	89°52'34"
(C1)				N 44°48'38" W	
C2	30.00'	47.18'	42.47'	N 45°11'23" E	90°06'58"
(C2)				N 45°11'08" E	

EASEMENT TABLES

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
EC1	15.00'	16.56'	15.73'	N 31°29'44" W	63°15'23"
EC2	45.00'	240.73'	40.50'	S 89°52'02" E	306°30'45"
EC3	15.00'	16.56'	15.73'	S 31°45'39" W	63°15'23"

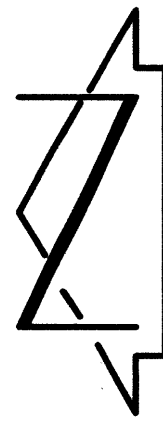
EL1	S 45°00'00" E	25.51'
EL2	S 15°29'11" E	102.35'
EL3	S 00°07'58" W	94.91'
EL4	S 44°52'02" E	49.49'
EL5	S 45°07'58" W	26.90'
EL6	S 00°07'58" W	19.02'
EL7	S 00°07'58" W	35.00'
EL8	N 00°07'58" E	1.42'
EL9	S 00°07'58" W	1.42'

Notes:

1. A boundary survey was performed in March, 2005. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 13, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "9-C18".
5. Record bearings and distances are shown in parenthesis.
6. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of Buena Vista Estates, Unit I, filed 11-14-2002, Book 2002C, Page 363, Records of Bernalillo County, New Mexico.
 - b. Plat of Buena Vista Estates, Unit I, filed 08-21-1997, Book 97C, Page 257, Records of Bernalillo County, New Mexico.
 - c. Plat of Buena Vista Estates, Unit II, filed 10-22-1997, Book 97C, Page 314, Records of Bernalillo County, New Mexico.
 - d. Plat of North Albuquerque Acres, Tract A, Unit B, filed 12-15-1980, Book C17, Page 162, Records of Bernalillo County, New Mexico.
 - e. Plat of North Albuquerque Acres, Tract A, Unit B, filed 04-24-1936, Book D, Page 130, Records of Bernalillo County, New Mexico.
 - f. Policy of Title Insurance File No. 246854ME prepared by Land America Albuquerque Title dated February 11, 2005.
7. The property surveyed hereon is subject to an Agreement to Construct Subdivision Improvements, filed July 30, 1997, Book 97-20, Page 7057, Document No. 97077952, records of Bernalillo County, New Mexico.
8. The property surveyed hereon is subject to an Agreement and Covenant Subdivision Improvements, filed October 28, 1997, Book 97-29, Page 8654, Document No. 97112856, records of Bernalillo County, New Mexico.
9. The property surveyed hereon is subject to Reservations contained in Patent from United States of America, Book 80, Page 353, records of Bernalillo County, New Mexico.
10. The property surveyed hereon lies within Zone X (unshaded). More particularly described as "areas determined to be outside the 0.2% annual chance floodplain". Reference is made to Federal Emergency Management Agency Letter of Map Revision (LOMR) case number 03-06-2543P, effective date December 16, 2003.
11. No private street mileage created by this plat.
12. Gross subdivision acreage = 2.5304 acres ±.
13. The purpose of this plat is to:
 - a. Grant the necessary private sanitary sewer systems and private vehicular access easements as shown.
 - b. Create 2 (two) residential lots from Tract 2-A, Buena Vista Estates, Unit 1.



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 JOB #2005.003.3 50033PLATA.dwg



SCALE: 1" = 40'



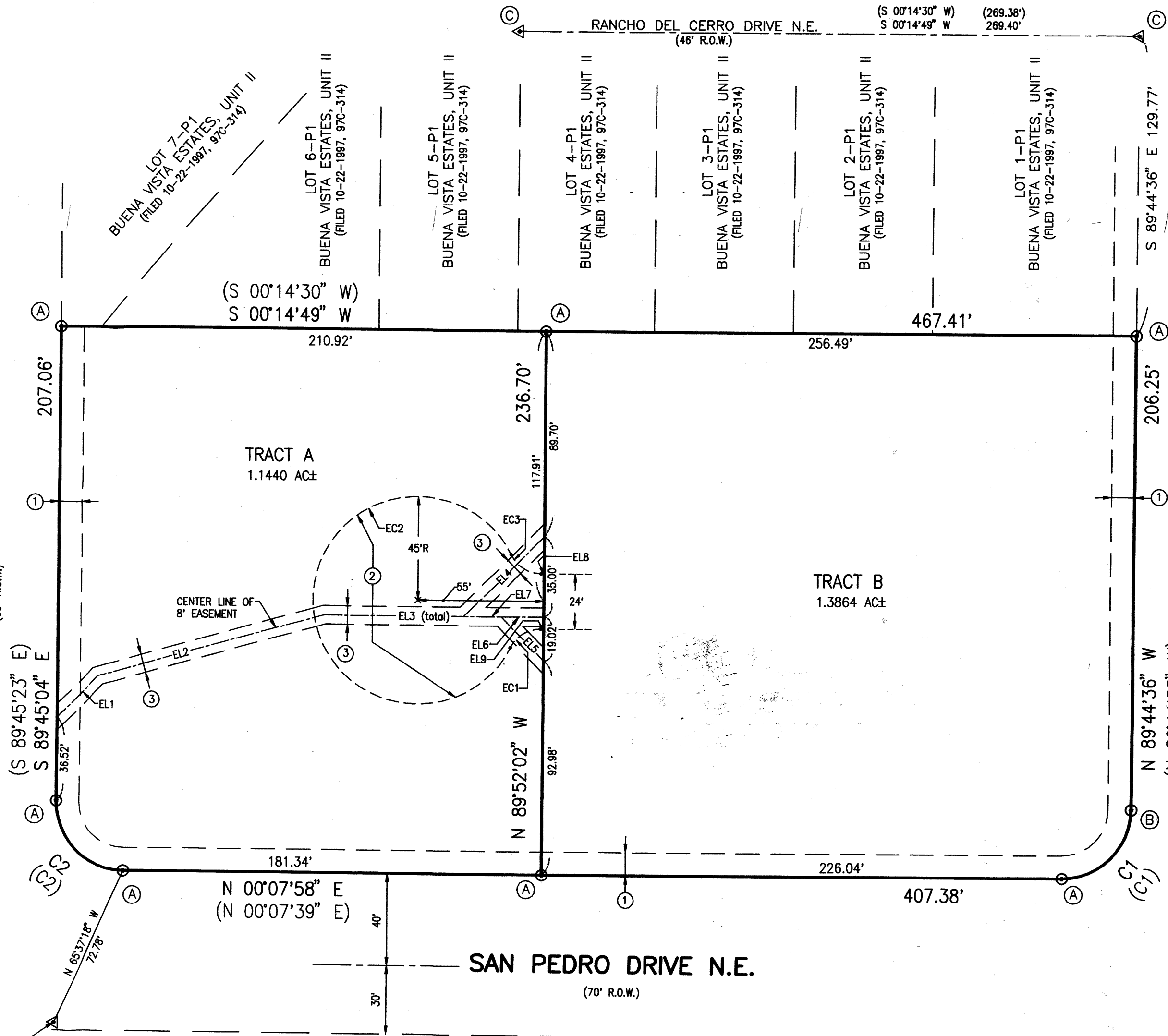
PLAT OF
TRACTS A and B
BEEHIVE VILLAGE
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2006

2005523042
 6495968
 Page: 3 of 3
 02/08/2006 10:47A
 Bk-2886C Pg-45

COUNTY CLERK FILING DATA

LOT 32-A, BLOCK 30
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B
 (FILED 12-15-1980, C17-162)

WILSHIRE AVENUE N.E.
 (60' R.O.W.)

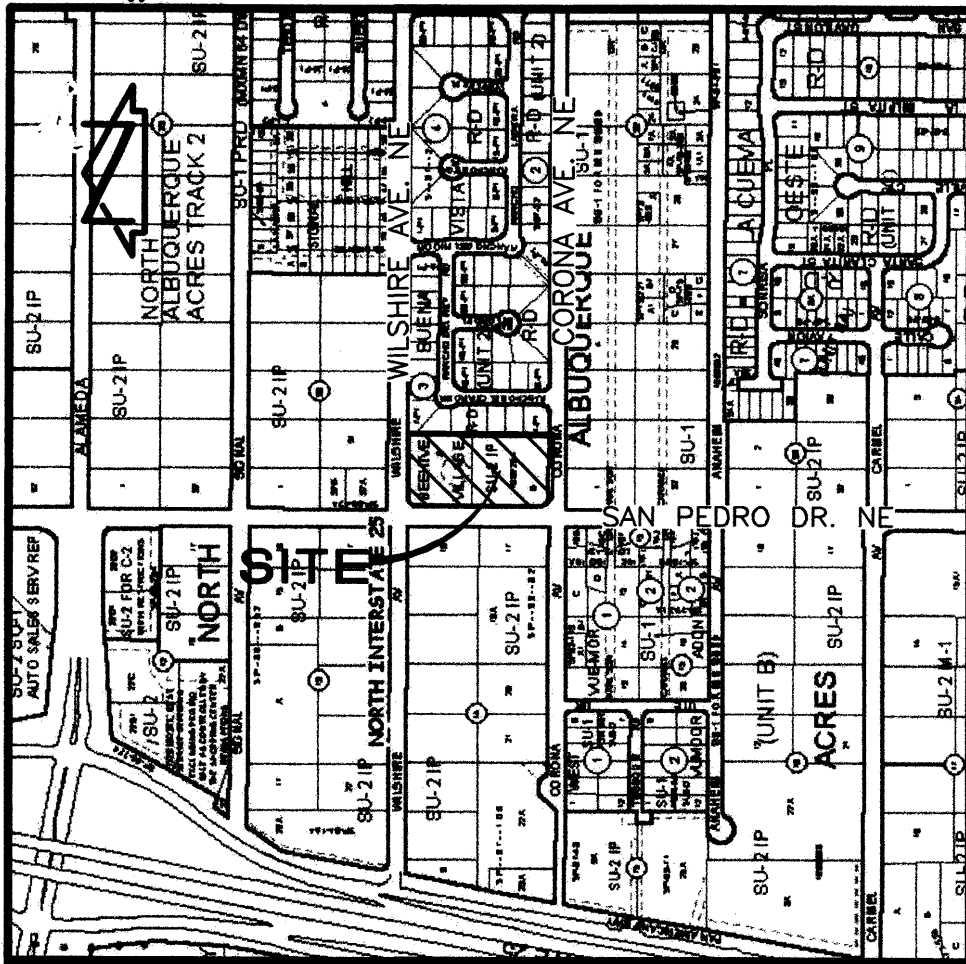


LOT 1, BLOCK 32
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B
 (FILED 04-24-1936, D-130)

NEW MEXICO CENTRAL ZONE-NAD 1927
 A.C.S. STA. *9-C18*
 X=402,255.61
 Y=1,521,436.09
 COMBINED FACTOR=0.9996608
 DELTA ALPHA=-00'11"19"
 ELEVATION=5229.79' (NGVD 29)



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 JOB #2005.003.3 50033PLATA.dwg



VICINITY MAP

SCALE: 1" = 750'

C-18

PLAT AND VACATION REQUEST FOR
TRACTS A-1 AND B-1
BEEHIVE VILLAGE

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

APRIL, 2006

FREDERICK W. PALMER
ROSEMARY PALMER
OWNER

PROJECTED
SEC. 13, T 11 N, R 4 E, N.M.P.M.
LOCATION

BEEHIVE VILLAGE
SUBDIVISION

COUNTY CLERK FILING DATA

Final
PRELIMINARY PLAT
APPROVED BY DRB
ON _____

LEGAL DESCRIPTION

Tracts A and B, Beehive Village, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 08, 2006, Book 2006C, Page 45.

DRB PROJECT NUMBER _____

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE _____

WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE _____

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE _____

A.M.A.F.C.A. DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE _____

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE _____

Charles G. Cala, Jr.
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO 5/9/06 DATE

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owners and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. We hereby warrant that We hold complete and indefeasible title in fee simple to the land subdivided hereon.

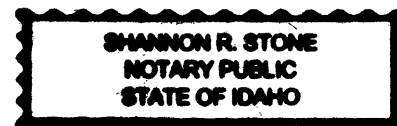
Frederick W. Palmer
Frederick W. Palmer, Husband 5/8/2006 Date

ACKNOWLEDGEMENT

STATE OF IDAHO)
COUNTY OF ADA) SS

This instrument was acknowledged before me on this 8 day of May, 2006, by Frederick W. Palmer, Husband.

Shannon R. Stone
Notary Public exp 1/12/2011



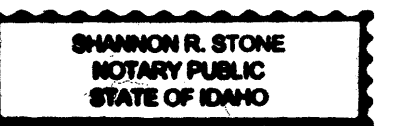
Rosemary Palmer
Rosemary Palmer, Wife 5/8/2006 Date

ACKNOWLEDGEMENT

STATE OF IDAHO)
COUNTY OF ADA) SS

This instrument was acknowledged before me on this 8 day of May, 2006, by Rosemary Palmer, Wife.

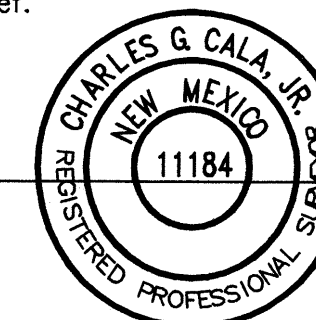
Shannon R. Stone
Notary Public exp 1/12/2011



SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



4-26-2006
Date



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.003.6 50036PLAT.dwg

PLAT AND VACATION REQUEST FOR
TRACTS A-1 AND B-1
BEEHIVE VILLAGE

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

APRIL, 2006

COUNTY CLERK FILING DATA

KEYED NOTES

EXISTING EASEMENTS

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 97C-257
- ② 8' PRIVATE SANITARY SEWER EASEMENT GRANTED PLAT 2006C-45

VACATED EASEMENT

- ③ PRIVATE VEHICULAR ACCESS EASEMENT GRANTED BY PLAT 2006C-45 VACATED BY THIS PLAT (DRB# _____)

NEW EASEMENT

- ④ PRIVATE RECIPROCAL ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS A-1 AND B-1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.

MONUMENTS

- (A) SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (B) SET CHISELED "+" ON SIDEWALK
- (C) FOUND C.O.A. CENTERLINE MONUMENT

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.06'	42.38'	N 44°48'22" W	89°52'34"
(C1)				N 44°48'38" W	
C2	30.00'	47.18'	42.47'	N 45°11'23" E	90°06'58"
(C2)				N 45°11'08" E	

EASEMENT TABLES

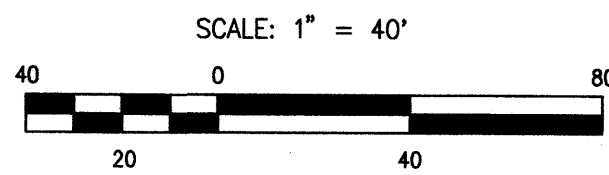
EL1	S 45°00'00" E	25.51'
EL2	S 15°29'11" E	102.35'
EL3	S 00°07'58" W	94.91'
EL4	S 44°52'02" E	49.49'
EL5	S 45°07'58" W	26.90'
EL6	S 00°07'58" W	19.02'
EL7	S 00°07'58" W	35.00'
EL8	S 09°46'29" W	14.92'
EL9	S 00°07'58" W	196.42'
EL10	N 00°07'58" E	163.26'
EL11	N 03°14'38" W	48.01'
EL12	S 00°07'58" W	213.03'
EL13	S 03°34'27" E	43.33'
EL14	N 03°51'20" E	43.30'
EL15	N 00°07'58" E	213.00'

Notes:

1. A boundary survey was performed in March, 2005 and verified in April, 2006. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 13, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "9-C18".
5. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of Buena Vista Estates, Unit I, filed 11-14-2002, Book 2002C, Page 363, Records of Bernalillo County, New Mexico.
 - b. Plat of Buena Vista Estates, Unit I, filed 08-21-1997, Book 97C, Page 257, Records of Bernalillo County, New Mexico.
 - c. Plat of Buena Vista Estates, Unit II, filed 10-22-1997, Book 97C, Page 314, Records of Bernalillo County, New Mexico.
 - d. Plat of North Albuquerque Acres, Tract A, Unit B, filed 12-15-1980, Book C17, Page 162, Records of Bernalillo County, New Mexico.
 - e. Plat of North Albuquerque Acres, Tract A, Unit B, filed 04-24-1936, Book D, Page 130, Records of Bernalillo County, New Mexico.
 - f. Policy of Title Insurance File No. 246854ME prepared by Land America Albuquerque Title dated February 11, 2005.
 - g. Plat of Tracts A and B, Beehive Village filed 02-08-2006, Book 2006C, Page 45, Records of Bernalillo County.
6. The property surveyed hereon is subject to an Agreement to Construct Subdivision Improvements, filed July 30, 1997, Book 97-20, Page 7057, Document No. 97077952, records of Bernalillo County, New Mexico.
7. The property surveyed hereon is subject to an Agreement and Covenant Subdivision Improvements, filed October 28, 1997, Book 97-29, Page 8654, Document No. 97112856, records of Bernalillo County, New Mexico.
8. The property surveyed hereon is subject to Reservations contained in Patent from United States of America, Book 80, Page 353, records of Bernalillo County, New Mexico.
9. The property surveyed hereon lies within Zone X (unshaded). More particularly described as "areas determined to be outside the 0.2% annual chance floodplain". Reference is made to Federal Emergency Management Agency Letter of Map Revision (LOMR) case number 03-06-2543P, effective date December 16, 2003.
10. No street mileage created by this plat.
11. Gross subdivision acreage = 2.5304 acres ±.
12. The purpose of this plat is to:
 - a. Grant the necessary private access easements as shown hereon.
 - b. Vacate the private vehicular access easement as shown hereon.
13. Current Zoning on site is SU-2 IP, based upon review of the City of Albuquerque Zone Atlas.



JEFF MORTENSEN & ASSOCIATES, INC.
 □ 6010-B MIDWAY PARK BLVD. N.E.
 □ ALBUQUERQUE □ NEW MEXICO 87109
 □ ENGINEERS □ SURVEYORS (505) 345-4250
 JOB #2005.003.6 50036PLAT.dwg

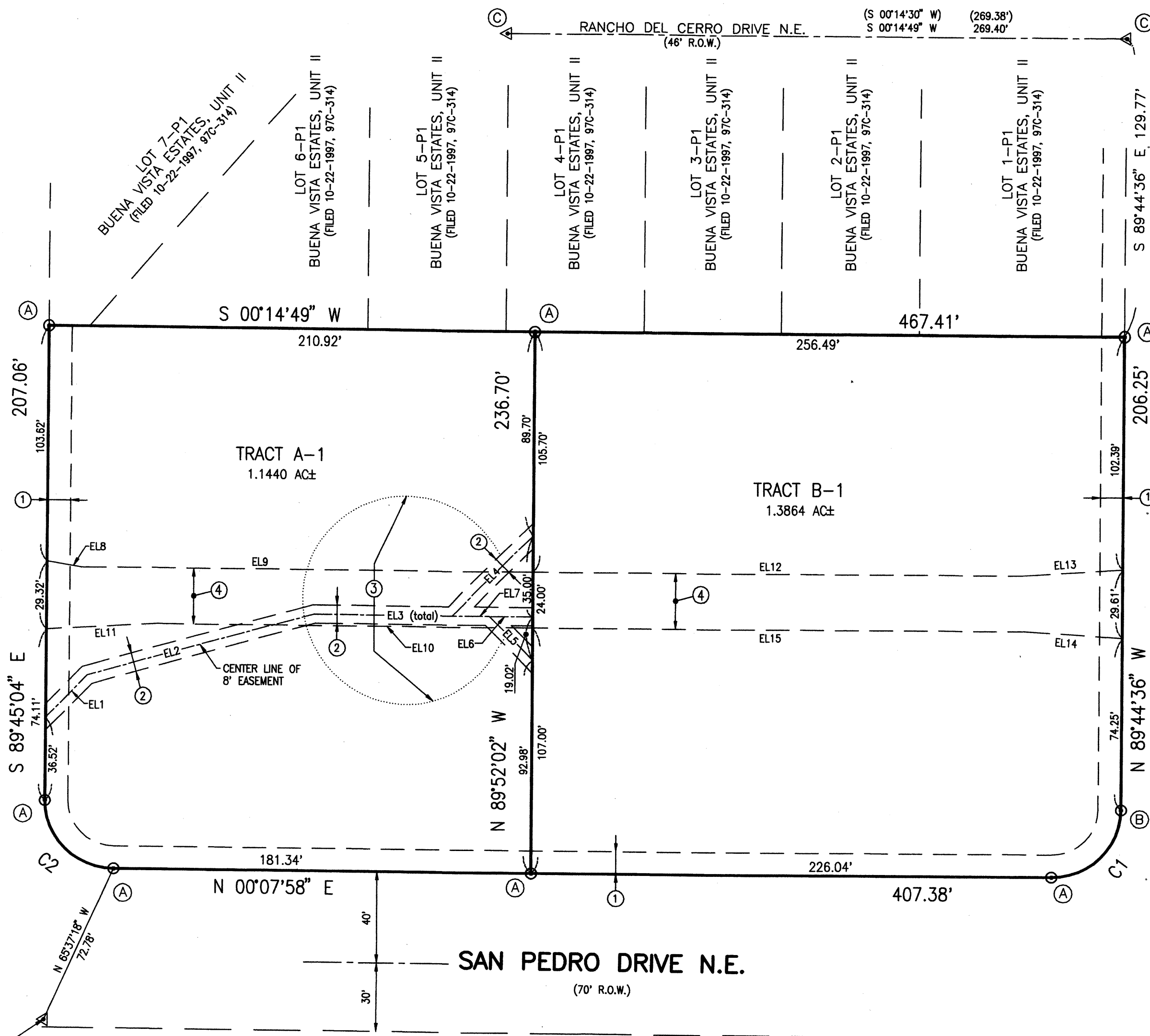


PLAT AND VACATION REQUEST FOR
TRACTS A-1 AND B-1
BEEHIVE VILLAGE
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2006

COUNTY CLERK FILING DATA

LOT 32-A, BLOCK 30
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B
 (FILED 12-15-1980, C17-162)

WILSHIRE AVENUE N.E.
 (60' R.O.W.)



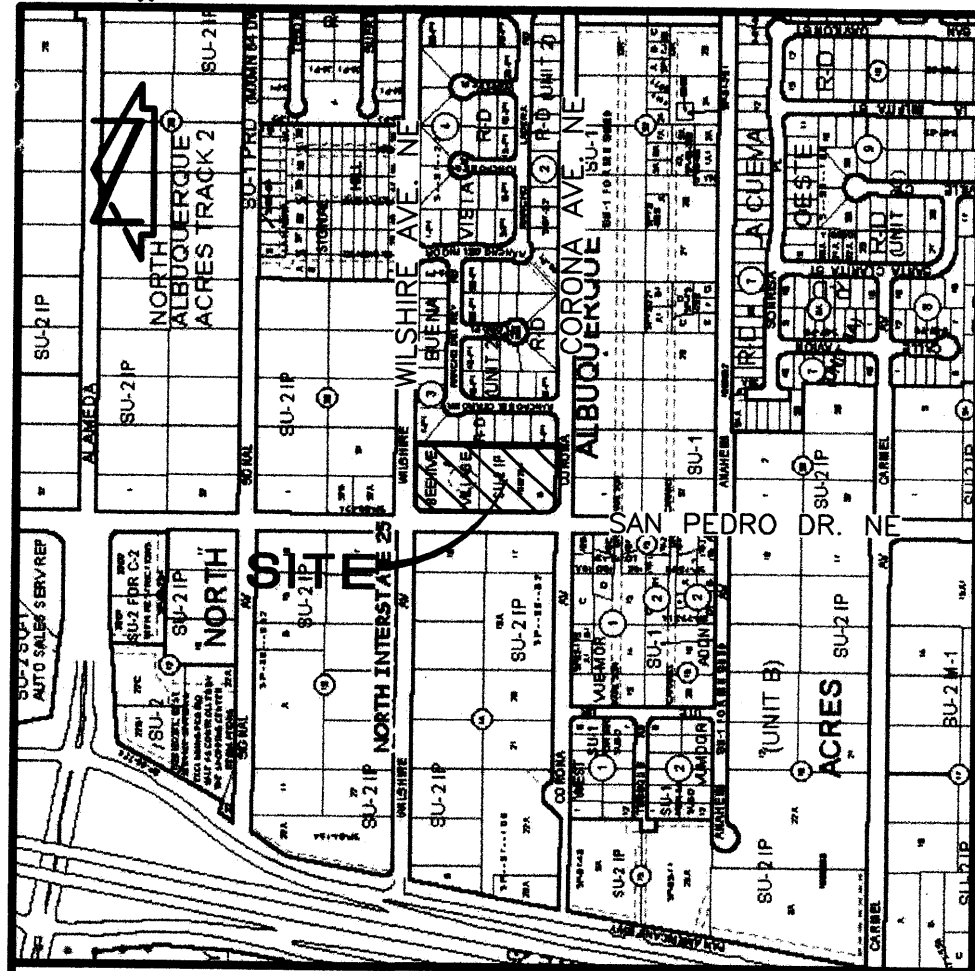
CORONA AVENUE N.E.
 (60' R.O.W.)

LOT 1, BLOCK 32
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B
 (FILED 04-24-1936, D-130)

NEW MEXICO CENTRAL ZONE-NAD 1927
 A.C.S. STA. "9-C18"
 X=402,255.61
 Y=1,521,435.09
 COMBINED FACTOR=0.9996608
 DELTA ALPHA=-00°11'19"
 ELEVATION=5229.79' (NGVD 29)



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD, N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (505) 345-4250
 JOB #2005.003.6 50036PLAT.dwg



VICINITY MAP

SCALE: 1" = 750'

C-18

PLAT AND VACATION REQUEST FOR TRACTS A-1 AND B-1 BEEHIVE VILLAGE

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

APRIL, 2006

FREDERICK W. PALMER
ROSEMARY PALMER
OWNER

PROJECTED
SEC. 13, T 11 N, R 4 E, N.M.P.M.
LOCATION

BEEHIVE VILLAGE
SUBDIVISION

2006076311
648873
Page: 1 of 3
05/25/2006 01:46P
Mary Herrera Bern. Co. PLRT R 17.00 Bk-2006C Pg-164

COUNTY CLERK FILING DATA

LEGAL DESCRIPTION

Tracts A and B, Beehive Village, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 08, 2006, Book 2006C, Page 45.

DRB PROJECT NUMBER 1002254
Application # 06-DRB-00684

APPROVALS:

[Signature] 5/25/06
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

William J. Palch 5/24/06
WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Bradley J. Bingham 5/24/06
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Bradley J. Bingham 5/24/06
A.M.A.F.C.A. DATE

[Signature] 5-24-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Christina Dandora 5/24/06
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

[Signature] 5/9/06
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owners and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. We hereby warrant that We hold complete and indefeasible title in fee simple to the land subdivided hereon.

[Signature] 5/8/2006
Frederick W. Palmer, Husband Date

ACKNOWLEDGEMENT

STATE OF IDAHO)
COUNTY OF ADA) SS

This instrument was acknowledged before me on this 8 day of May, 2006, by Frederick W. Palmer, Husband.

[Signature]
Notary Public exp 1/12/2011

**SHANNON R. STONE
NOTARY PUBLIC
STATE OF IDAHO**

Rosemary Palmer 5/8/2006
Rosemary Palmer, Wife Date

ACKNOWLEDGEMENT

STATE OF IDAHO)
COUNTY OF ADA) SS

This instrument was acknowledged before me on this 8 day of May, 2006, by Rosemary Palmer, Wife.

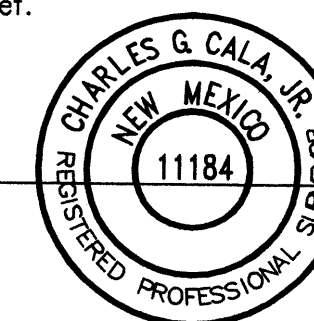
[Signature]
Notary Public exp 1/12/2011

**SHANNON R. STONE
NOTARY PUBLIC
STATE OF IDAHO**

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr. 4-26-2006
Charles G. Cala, Jr., NMPS 11184 Date



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # 101906427925740501
PROPERTY OWNER OF RECORD:
Palmer Frederick W + Rosemary
BERNALILLO COUNTY TREASURER'S OFFICE
Wicks ueno 5/25/06



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.003.6 50036PLAT.dwg

**PLAT AND VACATION REQUEST FOR
TRACTS A-1 AND B-1
BEEHIVE VILLAGE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL, 2006**

2006076311
646873
Page: 2 of 3
05/25/2006 01:46P
Bk-2006C Pg-164

COUNTY CLERK FILING DATA

KEYED NOTES

EXISTING EASEMENTS

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 97C-257
- ② 8' PRIVATE SANITARY SEWER EASEMENT GRANTED PLAT 2006C-45

VACATED EASEMENT

- ③ PRIVATE VEHICULAR ACCESS EASEMENT GRANTED BY PLAT 2006C-45 VACATED BY THIS PLAT (DRB# _____)

NEW EASEMENT

- ④ PRIVATE RECIPROCAL ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS A-1 AND B-1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.

MONUMENTS

- Ⓐ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- Ⓑ SET CHISELED "+" ON SIDEWALK
- Ⓒ FOUND C.O.A. CENTERLINE MONUMENT

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.06'	42.38'	N 44°48'22" W	89°52'34"
(C1)				N 44°48'38" W	
C2	30.00'	47.18'	42.47'	N 45°11'23" E	90°06'58"
(C2)				N 45°11'08" E	

EASEMENT TABLES

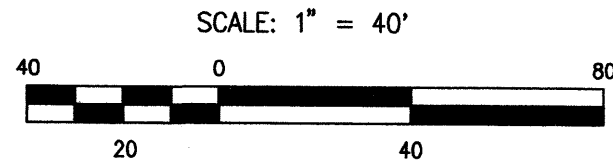
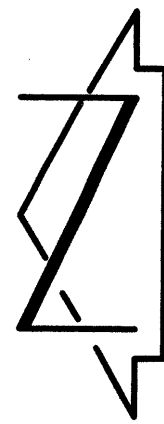
EL1	S 45°00'00" E	25.51'
EL2	S 15°29'11" E	102.35'
EL3	S 00°07'58" W	94.91'
EL4	S 44°52'02" E	49.49'
EL5	S 45°07'58" W	26.90'
EL6	S 00°07'58" W	19.02'
EL7	S 00°07'58" W	35.00'
EL8	S 09°46'29" W	14.92'
EL9	S 00°07'58" W	196.42'
EL10	N 00°07'58" E	163.26'
EL11	N 03°14'38" W	48.01'
EL12	S 00°07'58" W	213.03'
EL13	S 03°34'27" E	43.33'
EL14	N 03°51'20" E	43.30'
EL15	N 00°07'58" E	213.00'

Notes:

1. A boundary survey was performed in March, 2005 and verified in April, 2006. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 13, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "9-C18".
5. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of Buena Vista Estates, Unit I, filed 11-14-2002, Book 2002C, Page 363, Records of Bernalillo County, New Mexico.
 - b. Plat of Buena Vista Estates, Unit I, filed 08-21-1997, Book 97C, Page 257, Records of Bernalillo County, New Mexico.
 - c. Plat of Buena Vista Estates, Unit II, filed 10-22-1997, Book 97C, Page 314, Records of Bernalillo County, New Mexico.
 - d. Plat of North Albuquerque Acres, Tract A, Unit B, filed 12-15-1980, Book C17, Page 162, Records of Bernalillo County, New Mexico.
 - e. Plat of North Albuquerque Acres, Tract A, Unit B, filed 04-24-1936, Book D, Page 130, Records of Bernalillo County, New Mexico.
 - f. Policy of Title Insurance File No. 246854ME prepared by Land America Albuquerque Title dated February 11, 2005.
 - g. Plat of Tracts A and B, Beehive Village filed 02-08-2006, Book 2006C, Page 45, Records of Bernalillo County.
6. The property surveyed hereon is subject to an Agreement to Construct Subdivision Improvements, filed July 30, 1997, Book 97-20, Page 7057, Document No. 97077952, records of Bernalillo County, New Mexico.
7. The property surveyed hereon is subject to an Agreement and Covenant Subdivision Improvements, filed October 28, 1997, Book 97-29, Page 8654, Document No. 97112856, records of Bernalillo County, New Mexico.
8. The property surveyed hereon is subject to Reservations contained in Patent from United States of America, Book 80, Page 353, records of Bernalillo County, New Mexico.
9. The property surveyed hereon lies within Zone X (unshaded). More particularly described as "areas determined to be outside the 0.2% annual chance floodplain". Reference is made to Federal Emergency Management Agency Letter of Map Revision (LOMR) case number 03-06-2543P, effective date December 16, 2003.
10. No street mileage created by this plat.
11. Gross subdivision acreage = 2.5304 acres ±.
12. The purpose of this plat is to:
 - a. Grant the necessary private access easements as shown hereon.
 - b. Vacate the private vehicular access easement as shown hereon.
13. Current Zoning on site is SU-2 IP, based upon review of the City of Albuquerque Zone Atlas.



JEFF MORTENSEN & ASSOCIATES, INC.
 □ 6010-B MIDWAY PARK BLVD, N.E.
 □ ALBUQUERQUE □ NEW MEXICO 87109
 □ ENGINEERS □ SURVEYORS (505) 345-4250
 JOB #2005.003.6 50036PLAT.dwg



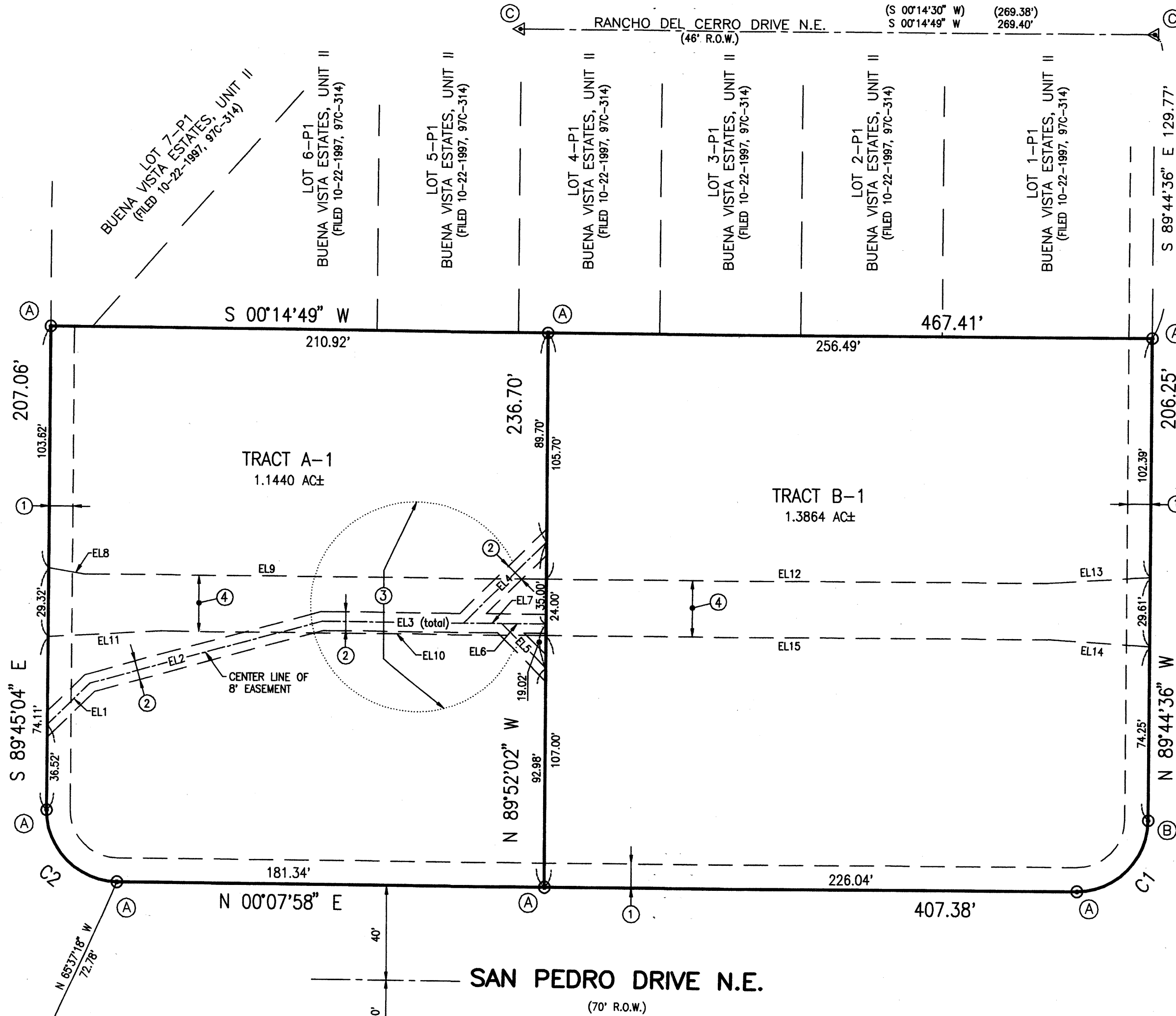
PLAT AND VACATION REQUEST FOR
TRACTS A-1 AND B-1
BEEHIVE VILLAGE
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2006



COUNTY CLERK FILING DATA

LOT 32-A, BLOCK 30
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B
 (FILED 12-15-1980, C17-162)

WILSHIRE AVENUE N.E.
 (60' R.O.W.)



CORONA AVENUE N.E.
 (60' R.O.W.)

LOT 1, BLOCK 32
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B
 (FILED 04-24-1936, D-130)

NEW MEXICO CENTRAL ZONE-NAD 1927
 A.C.S. STA. "9-C18"
 X=402,255.61
 Y=1,521,435.09
 COMBINED FACTOR=0.9996608
 DELTA ALPHA=-00°11'19"
 ELEVATION=5229.79' (NGVD 29)



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 JOB #2005.003.6 50036PLAT.dwg

PROJECT # 1002254

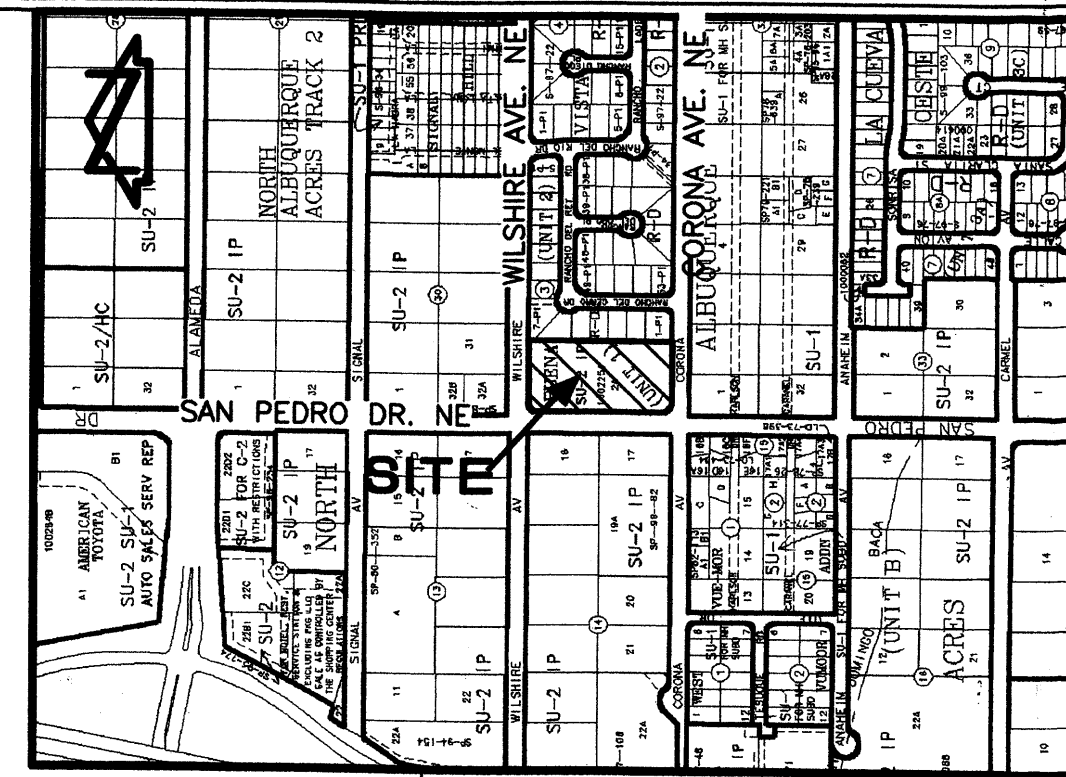
LEGEND

BY PM	BY PAINT MARK	SD	STORM DRAIN
C&G	CURB AND GUTTER	SDMH	STORM DRAIN MANHOLE
CMU	CEMENT MASONRY UNIT	SDMH/C	STORM DRAIN MANHOLE IN CONCRETE
DIP	DUCTILE IRON PIPE	SI	STORM INLET
EA	EDGE OF ASPHALT	STD. C&G	STANDARD CURB AND GUTTER
FH	FIRE HYDRANT	TSW	TOP OF SIDEWALK
FL	FLOWLINE	T BY PM	TELEPHONE LINE BY PAINT MARK
INV	INVERT	TA	TOP OF ASPHALT
MH	MANHOLE	TC	TOP OF CURB
MP	METAL POLE	TCO	TOP OF CONCRETE
MS	METAL SIGN	TG	TOP OF GRATE
OHE(2)	OVERHEAD ELECTRIC (NO. OF LINES)	TR	TELEPHONE RISER
PVC	POLYVINYL CHLORIDE PIPE	WCR	WHEELCHAIR RAMP
RCP	REINFORCED CONCRETE PIPE	WPP	WOOD POWER POLE
SAS	SANITARY SEWER	WVB	WATER VALVE BOX
		WVB/C	WATER VALVE BOX IN CONCRETE

	NEW CONCRETE	WP, PL, SL	Small Car/Compact space with PAINTED MARKING
	NEW ASPHALT PAVEMENT	SC	SEE LIGHTING SCHEDULE BELOW
	RETAINING WALL		
	PERIMETER WALL		

INDEX OF DRAWINGS

SHEET	DESCRIPTION
C.1	SITE PLAN FOR BUILDING PERMIT
A.1	SITE DETAILS
A.2	ELEVATIONS - BUILDINGS A & B
A.3	ELEVATIONS - BUILDINGS C, D, E & F
G.1	CONCEPTUAL GRADING PLAN
G.2	CONCEPTUAL DRAINAGE PLAN, CALCULATIONS AND CONSTRUCTION NOTES
U.1	CONCEPTUAL UTILITY PLAN
L.1	LANDSCAPING PLAN



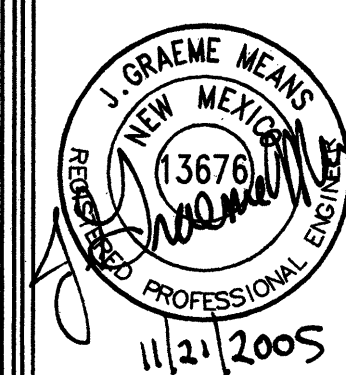
PROJECT NUMBER: 1002254
APPLICATION NUMBER: 05 DRB-01643

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

	Date: 11-23-05
	Date: 11/23/05
	Date: 11/23/05
	Date: 11/23/05
	Date: 11/23/05

REVISIONS	
1	11/14/05 DRB



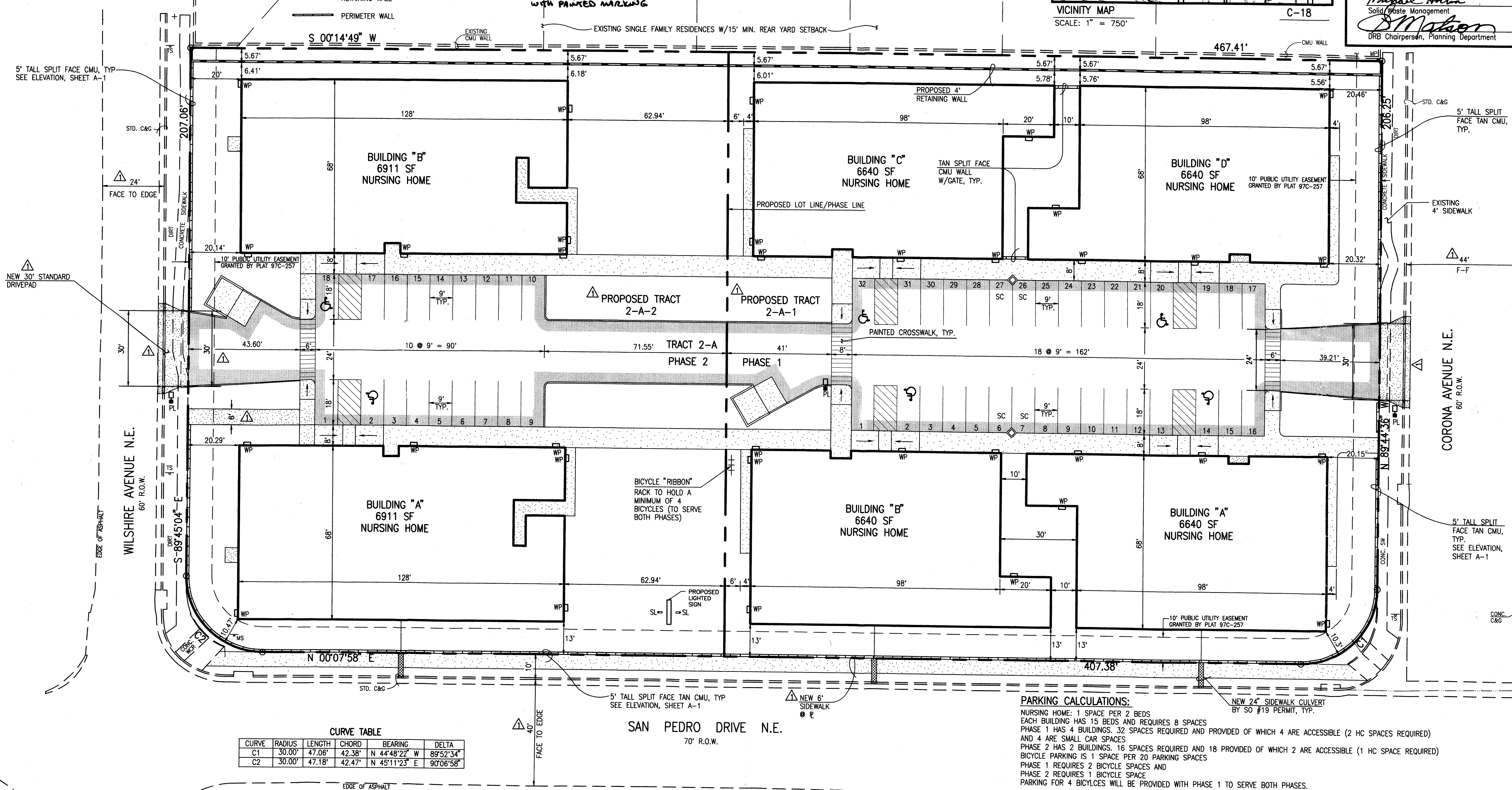
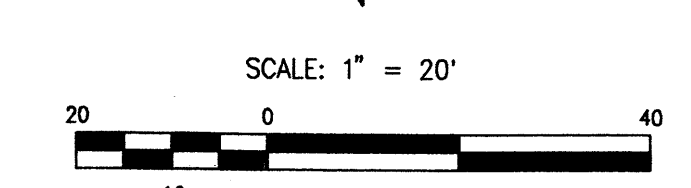
DATE:	10/2005
DRAWN BY:	G.M./R.W.
SCALE:	1" = 20'

SAN PEDRO DRIVE NE
ALBUQUERQUE, NEW MEXICO
PAGE TITLE
SITE PLAN FOR BUILDING PERMIT

EEHIVE HOMES
QUALITY SENIOR LIVING
EUGENE E. BARNETT, DR.
1500 W. BARNETT DR.
MERRIDIAN, ID. 83642
PHONE: (208) 888-7145
FAX: (208) 888-7165
E-MAIL: kar-ten@earthlink.net

C.1

2005.003.4



CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.06'	42.38'	N 44°48'22" W	89°52'34"
C2	30.00'	47.18'	42.47'	N 45°11'23" E	90°06'58"

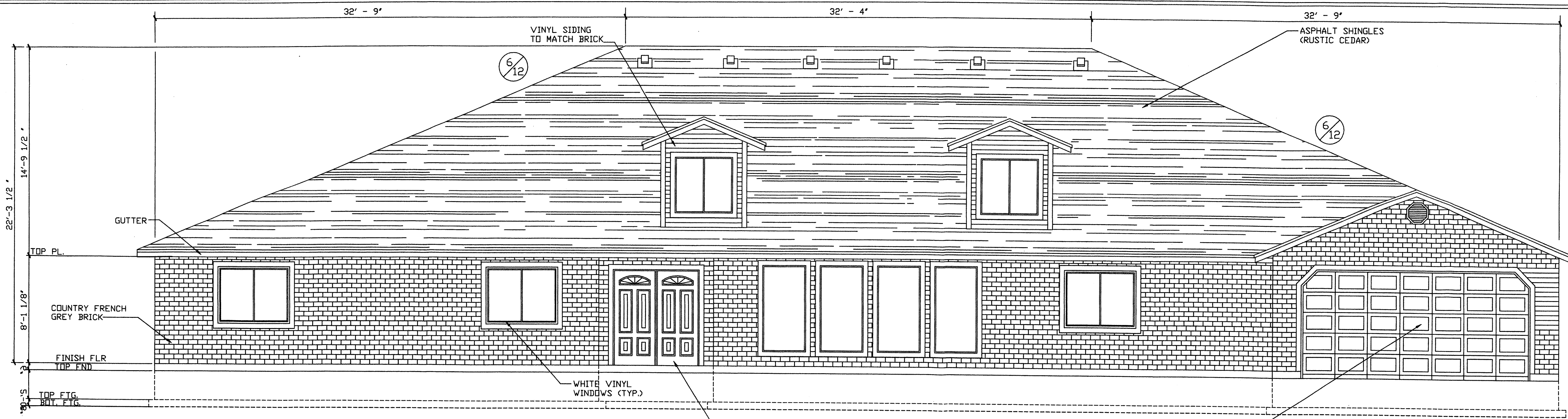
A	B	C	D	E	F	REMARKS
TYPE	MANUFACTURER	MODEL NUMBER	DESCRIPTION	LAMPS/BALLAST	QUANTITY	WATTS PER FIXTURE
WP	LITHONIA	TVP 150M 120 LP1	EXTERIOR WALL PACK VALL. MTD. HID	150M	26	150
PL	LITHONIA	(LUMINAIRE) KSE1 R50M R2 RP9 SF (POLE) SSS 20 4G IM19 IMB	AREA LIGHTING PILE MTD. HID	150M	3	150
SL	HYDREL	LIR246-S GRAVITY FIT SOCKET PENDANT OWNER SPECIFIED GLASS SHADE	SIGN LIGHTS GRADE MTD. HID	70M	2	140

PARKING CALCULATIONS:
NURSING HOME: 1 SPACE PER 2 BEDS
EACH BUILDING HAS 15 BEDS AND REQUIRES 8 SPACES
PHASE 1 HAS 4 BUILDINGS. 32 SPACES REQUIRED AND PROVIDED OF WHICH 4 ARE ACCESSIBLE (2 HC SPACES REQUIRED) AND 4 ARE SMALL CAR SPACES
PHASE 2 HAS 2 BUILDINGS. 16 SPACES REQUIRED AND 18 PROVIDED OF WHICH 2 ARE ACCESSIBLE (1 HC SPACE REQUIRED)
BICYCLE PARKING IS 1 SPACE PER 20 PARKING SPACES
PHASE 1 REQUIRES 2 BICYCLE SPACES AND
PHASE 2 REQUIRES 1 BICYCLE SPACE
PARKING FOR 4 BICYCLES WILL BE PROVIDED WITH PHASE 1 TO SERVE BOTH PHASES.

NOTES:
1) THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM THE MARCH 23, 2005 SURVEYS CONDUCTED BY THIS OFFICE.
2) TRACTS 2-A-1 AND 2-A-2 WILL REQUIRE PRIVATE ACCESS, PARKING, DRAINAGE AND UTILITY EASEMENTS TO BE SPECIFICALLY DEFINED BY THE FORTHCOMING PLATTING ACTION

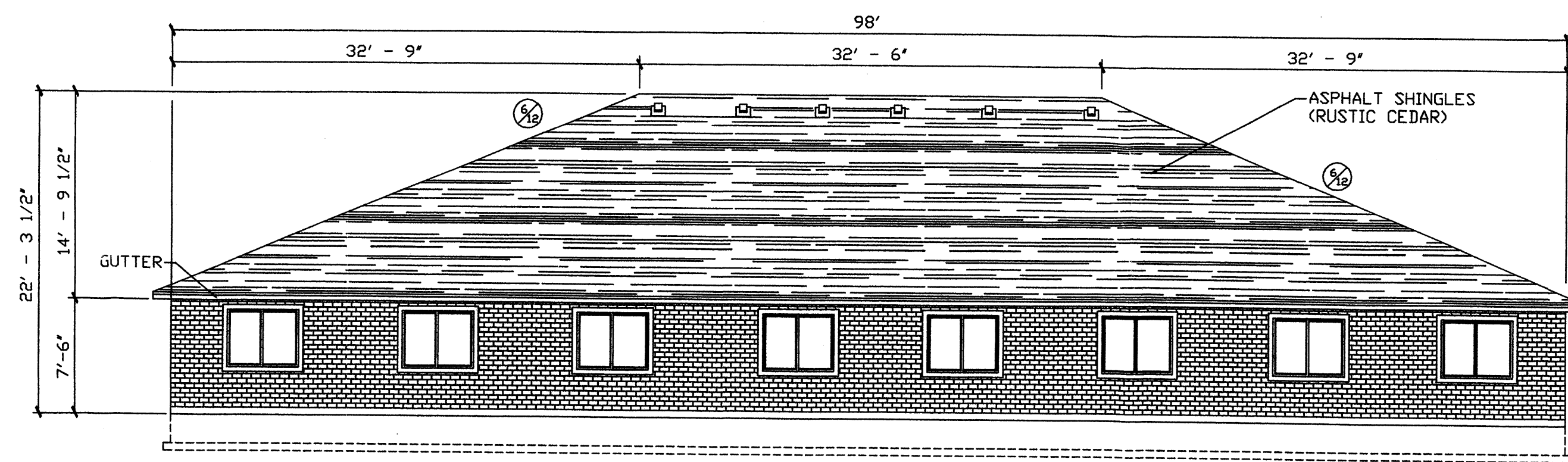
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Plot Time: 09:22 am
File Name: 50034CGP3.DWG

JMA
JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4250
FAX: 505-345-4254 ESTABLISHED 1977

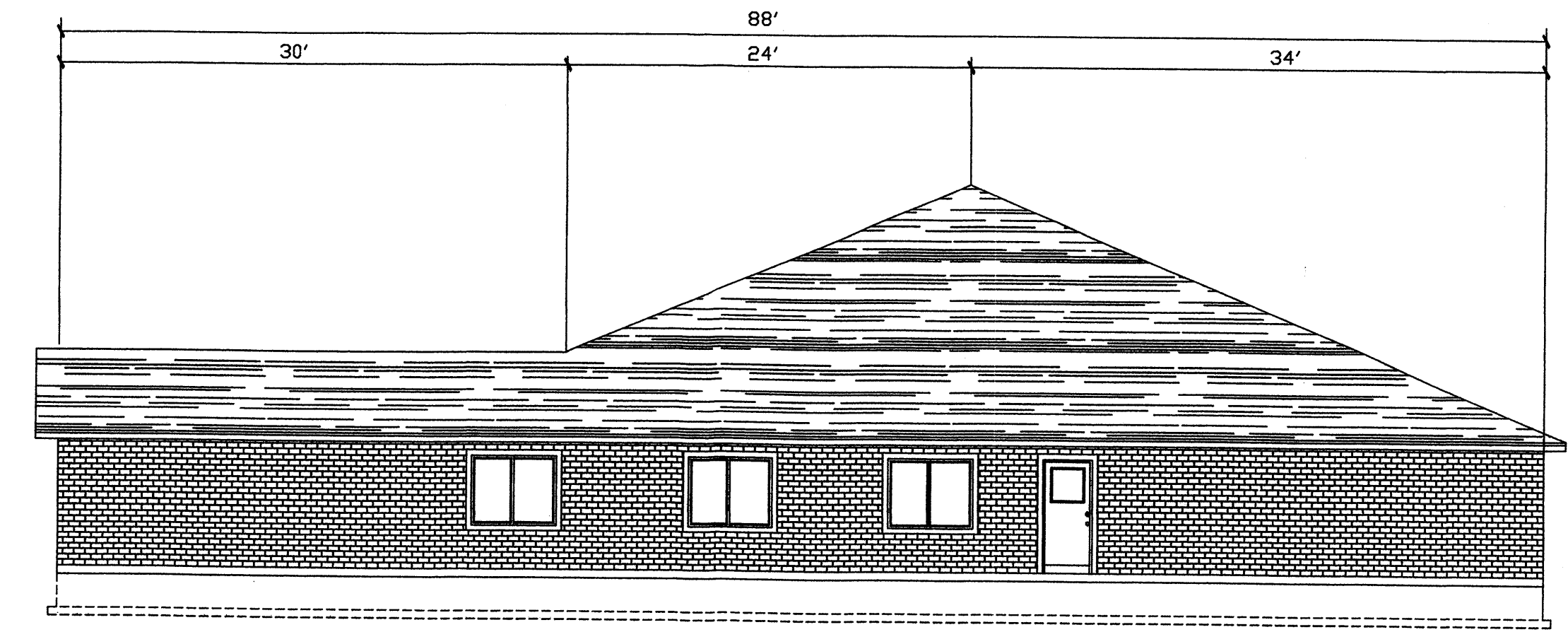


NOTE: THIS IS A TYPICAL BUILDING ELEVATION
LOCATION OF GARAGE WILL VARY.

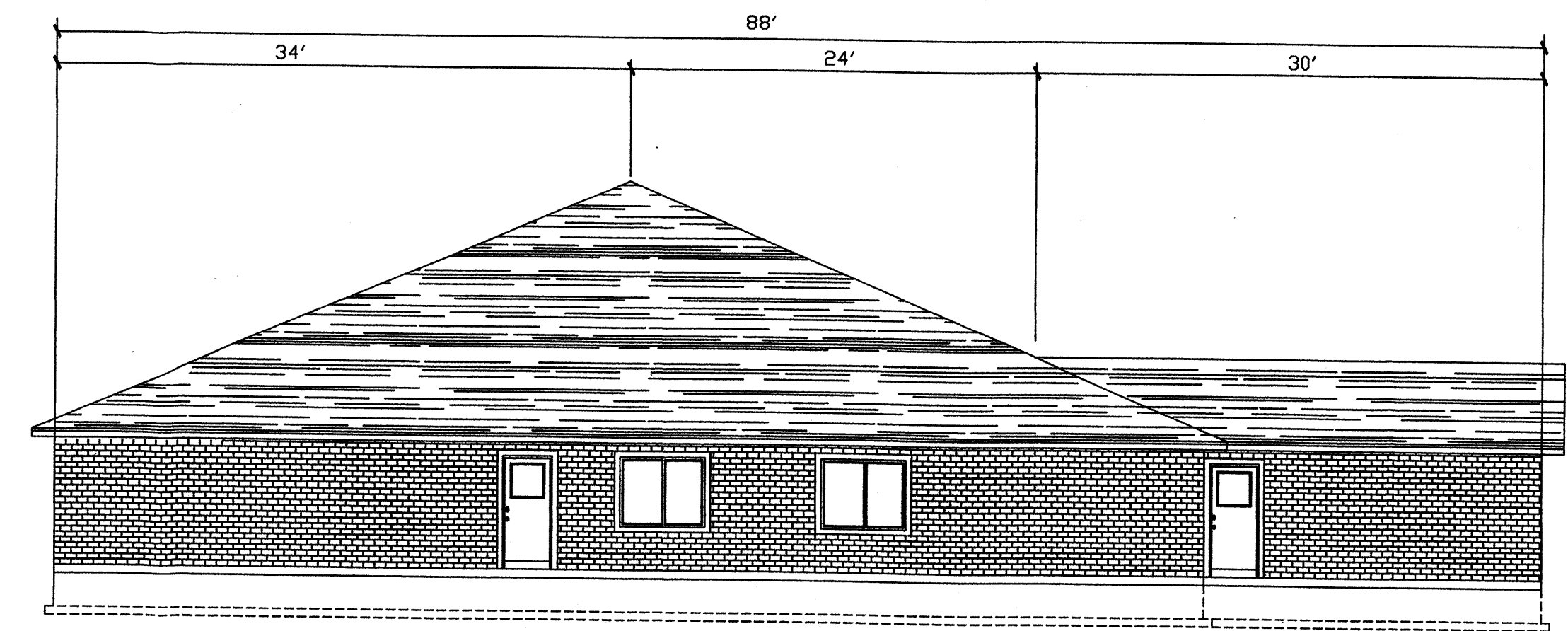
FRONT ELEVATION — A —
SCALE: 1/4" = 1'-0"
0 2' 4' 6'
1' 3' 5'



BACK ELEVATION — B —
SCALE: 1/8" = 1'-0"
0 2' 6' 10'
1' 4' 8' 12'



RIGHT ELEVATION — C —
SCALE: 1/8" = 1'-0"
0 2' 6' 10'
1' 4' 8' 12'



LEFT ELEVATION — D —
SCALE: 1/8" = 1'-0"
0 2' 6' 10'
1' 4' 8' 12'

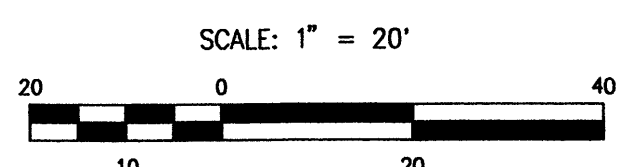
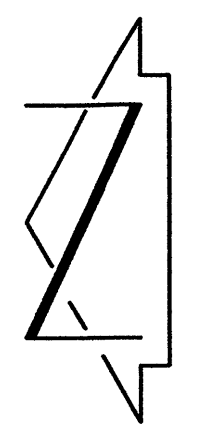
NO.	DATE	DESCRIPTION

DATE: JAN 14, 2005
DRAWN BY: A.J./K.R.
SCALE:

PAGE TITLE
SAN PEDRO DRIVE NE
FOR CONSTRUCTION
BLDG C,D,E & F ELEVATIONS

BEEHIVE HOMES
QUALITY SENIOR LIVING
ENGINEERING & ARCHITECTURE
MERIDIAN, ID 83642
PHONE: (208) 888-7145
FAX: (208) 888-7165
E-MAIL: kar.teng@earthlink.net

A-3
SHEET



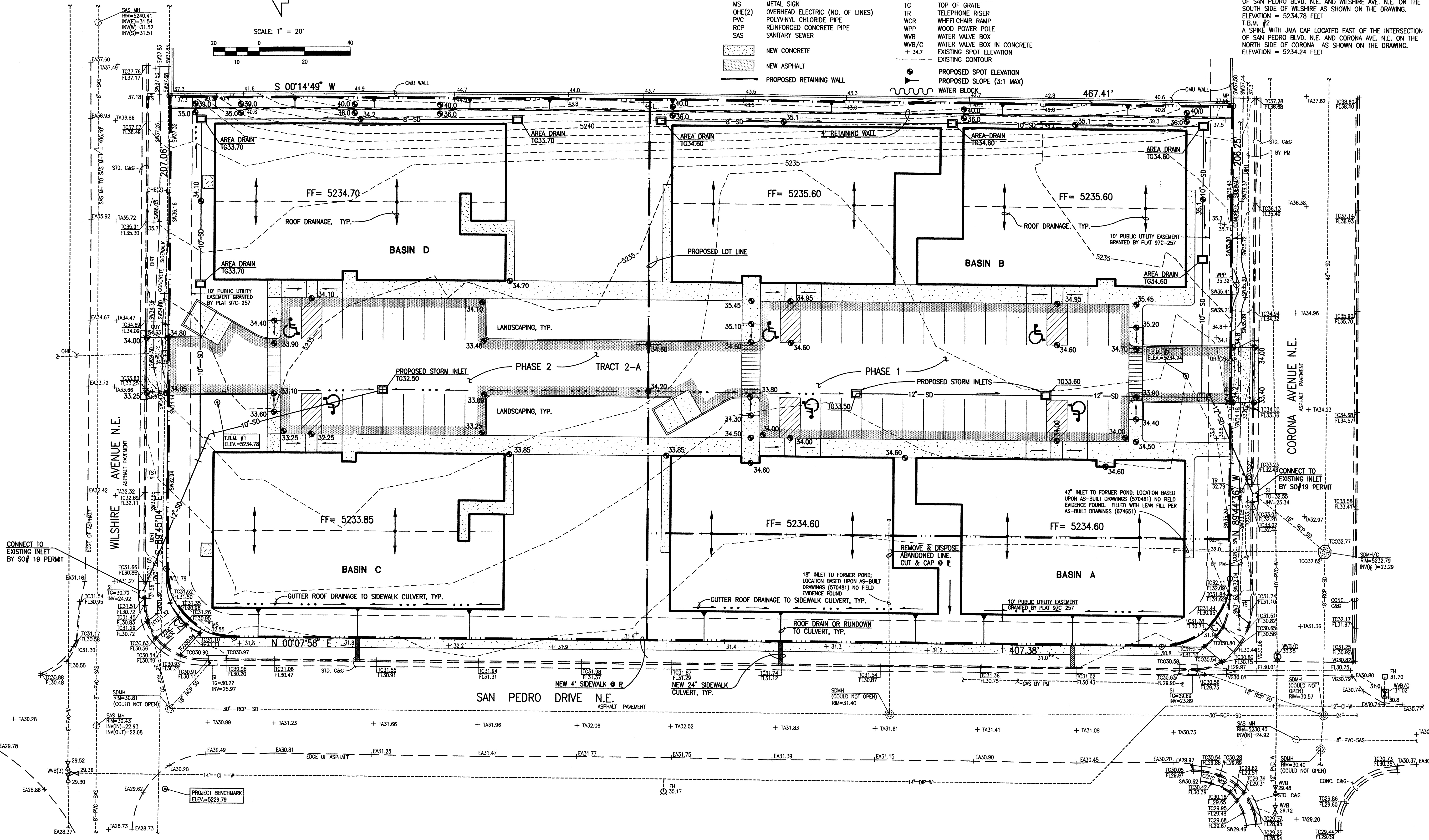
CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.06'	42.38'	N 44°48'22" W	89°52'34"
C2	30.00'	47.18'	42.47'	N 45°11'23" E	90°06'58"

- LEGEND**
- BY PM BY PAINT MARK
 - C&G CURB AND GUTTER
 - CMU CEMENT MASONRY UNIT
 - DIP DUCTILE IRON PIPE
 - EA EDGE OF ASPHALT
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - INV INVERT
 - MH MANHOLE
 - MP METAL POLE
 - MS METAL SIGN
 - OHE(2) OVERHEAD ELECTRIC (NO. OF LINES)
 - PVC POLYVINYL CHLORIDE PIPE
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - NEW CONCRETE
 - NEW ASPHALT
 - PROPOSED RETAINING WALL
 - SD STORM DRAIN
 - SDMH STORM DRAIN MANHOLE
 - SDMH/C STORM DRAIN MANHOLE IN CONCRETE
 - SI STORM INLET
 - STD. C&G STANDARD CURB AND GUTTER
 - TSW TOP OF SIDEWALK
 - T BY PM TELEPHONE LINE BY PAINT MARK
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TCO TOP OF CONCRETE
 - TG TOP OF GRATE
 - TR TELEPHONE RISER
 - WCR WHEELCHAIR RAMP
 - WPP WOOD POWER POLE
 - WVB WATER VALVE BOX
 - WVB/C WATER VALVE BOX IN CONCRETE
 - + 34.7 EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED SPOT ELEVATION
 - PROPOSED SLOPE (3:1 MAX)
 - WATER BLOCK

PROJECT BENCHMARK
 STATION IS A STANDARD ACS ALUMINUM CAP STAMPED 1 1/2" ALUMINUM TUBE LOCATED IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND WILSHIRE AVENUE N.E.
 ELEVATION = 5229.79 FEET (NGVD 1929)

T.B.M. #1
 A SPIKE WITH JMA CAP LOCATED EAST OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND WILSHIRE AVENUE N.E. ON THE SOUTH SIDE OF WILSHIRE AS SHOWN ON THE DRAWING.
 ELEVATION = 5234.78 FEET

T.B.M. #2
 A SPIKE WITH JMA CAP LOCATED EAST OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND CORONA AVE. N.E. ON THE NORTH SIDE OF CORONA AS SHOWN ON THE DRAWING.
 ELEVATION = 5234.24 FEET



REVISIONS

NO.	DATE	DESCRIPTION



DATE: 10/2005
 DRAWN BY: G.M./R.W.
 SCALE: 1" = 20'

SAN PEDRO DRIVE NE ALBUQUERQUE, NEW MEXICO
CONCEPTUAL GRADING PLAN

BEEHIVE HOMES
 QUALITY SENIOR LIVING
 ENGINEERING DEPT. 2000
 10000 1st. N.E. Albuquerque, NM 87112
 PHONE: (505) 889-7545
 FAX: (505) 889-7545
 E-MAIL: karten@beehivehomes.com

Plot Date: 09-29-2005
 Plot Time: 11:42 am
 File Name: 50034C02.DWG

Jma
 JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (SOS) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977

NOTE:
 THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM THE MARCH 23, 2005 SURVEYS CONDUCTED BY THIS OFFICE

G.1

2005.003.4

DRAINAGE PLAN:

CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED SAN PEDRO BEEHIVE SITE WILL BE LOCATED IN NORTH ALBUQUERQUE ACRES. THE SITE IS ZONED SU-2 IP (LA CUEVA SECTOR PLAN) AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH DRB. THE SITE IS CURRENTLY UNDEVELOPED AND DRAINS IN AN UNCONTROLLED SHEETFLOW MANNER TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN THE ADJACENT PUBLIC STREETS. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE IS CONTINUED FREE DISCHARGE TO THESE EXISTING FACILITIES VIA PRIVATE ON-SITE STORM DRAIN S THAT WILL CONNECT TO EXISTING PUBLIC STORM INLETS BY NEW CONNECTIONS PROPOSED BY SO#19 PERMIT. A PROPOSED PLATTING ACTION WILL SPLIT THE TRACT INTO TWO LOTS. THE PROJECT WILL BE CONSTRUCTED IN TWO PHASES TO COINCIDE WITH THE TWO PROPOSED LOTS. THE PURPOSE OF THIS CONCEPTUAL GRADING AND DRAINAGE PLAN IS TO OBTAIN SITE DEVELOPMENT PLAN FOR SUBDIVISION AND SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVALS.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP C-18 LOCATED HEREON, THE SITE IS LOCATED ON THE EAST SIDE OF SAN PEDRO DRIVE NE, BETWEEN WILSHIRE AVE NE AND CORONA AVE NE. THE EXISTING LEGAL DESCRIPTION IS TRACT 2-A, BUENA VISTA ESTATES. THE SITE IS ZONED SU-2 I-P AND THE PROPOSED NURSING HOME USE IS PERMISSIVE.

AS SHOWN BY PANEL 137 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, UPDATED TO INCLUDE A LOMR DATED 12/16/2003, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. THE PURPOSE OF THE LOMR WAS TO ELIMINATE THE MAPPED FLOOD ZONE ASSOCIATED WITH A RETENTION POND THAT WAS PREVIOUSLY LOCATED ON THE SITE.

III. BACKGROUND DOCUMENTS

A. PRE-DESIGN E-MAILS AND TELEPHONE CORRESPONDENCES WITH AMAFCA AND CITY OF ALBUQUERQUE HYDROLOGY. LYNN MAZUR AND BRAD BINGHAM INDICATED THAT DOWNSTREAM CAPACITY EXISTED AND THAT FREE DISCHARGE TO THE EXISTING DOWNSTREAM SYSTEM AND NEWLY CONSTRUCTED OUTFALL WAS PERMISSIBLE.

B. LOMR DATED 12/16/2003 SUBMITTED BY BHI AND APPROVED BY FEMA (FEMA CASE # 03-06-2543P). THIS LETTER OF MAP REVISION ELIMINATED THE MAPPED FLOODING ASSOCIATED WITH A FORMER ON-SITE RETENTION POND.

C. AS-BUILT DRAWINGS FOR CITY PROJECTS 5704.81, 5704.82 AND 6746.81. THESE PROJECTS CONSTRUCTED THE ADJACENT PUBLIC STORM DRAIN FACILITIES.

IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED AND GENERALLY SLOPES FROM EAST TO WEST TO SAN PEDRO DRIVE NW. OFFSITE FLOWS DO NOT ENTER THE SITE. THE FRONTING PORTIONS OF SAN PEDRO, WILSHIRE AND CORONA ARE DEVELOPED WITH PAVEMENT AND CURB AND GUTTER. SIDEWALKS ARE IN PLACE IN CORONA AND WILSHIRE. AN AMAFCA PROJECT CONSTRUCTED IN 2003 PROVIDES THE PUBLIC STORM DRAIN OUTFALL FOR THE SITE WEST OF SAN PEDRO (SEE REF B).

V. DEVELOPED CONDITIONS

THE PROPOSED IMPROVEMENTS CONSIST OF THE CONSTRUCTION OF 6 TOTAL BUILDINGS WITH ASSOCIATED PAVED PARKING AND LANDSCAPING IMPROVEMENTS. THE PROJECT WILL BE CONSTRUCTED IN TWO PHASES, WITH THE SOUTH HALF OF THE SITE BEING CONSTRUCTED FIRST. TWO PRIVATE STORM DRAIN SYSTEMS WILL PICK UP DEVELOPED RUNOFF FROM SEVERAL ON-SITE LOCATIONS. EACH SYSTEM WILL CONNECT TO AN EXISTING PUBLIC STORM INLET VIA CITY STANDARD INLET CONNECTION AND SO#19 PERMIT. RUNOFF FROM THE WEST HALVES OF THE BUILDINGS ALONG SAN PEDRO WILL DRAIN FREELY TO SAN PEDRO VIA PROPOSED SIDEWALK CULVERTS, ALSO TO BE CONSTRUCTED UNDER SO#19 PERMIT.

VI. CONCEPTUAL GRADING PLAN

THE CONCEPTUAL GRADING PLAN ON SHEET G.1 OF THIS SUBMITTAL SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT 0 IN INTERVALS FROM THE MARCH 23, 2005 TOPOGRAPHIC SURVEY CONDUCTED BY THIS OFFICE. 2) PROPOSED GRADES INDICATED BY FINISHED FLOOR ELEVATIONS AND SPOT ELEVATIONS, 3) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4) THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. THE PROPOSED CONSTRUCTION RESULT IN AN INCREASE IN THE PEAK RATE AND VOLUME OF RUNOFF GENERATED BY THIS SITE.

VIII. CONCLUSIONS

- 1) DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN FREELY TO EXISTING DOWNSTREAM PUBLIC DRAINAGE FACILITIES SIZED FOR THIS RUNOFF.
- 2) NO NEW PUBLIC INFRASTRUCTURE, EASEMENTS OR COVENANTS ARE PROPOSED.
- 3) A FORTHCOMING PLATTING ACTION TO SUPPORT THIS PROJECT WILL BE REVIEWED AND APPROVED AT DRB.
- 4) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR BUILDING PERMIT APPROVAL. THIS SUBSEQUENT SUBMITTAL WILL ADDRESS PROJECT PHASING.

CALCULATIONS:

SITE CHARACTERISTICS

1. PRECIPITATION ZONE = 3

2. $P_{8,100} = P_{360} = 2.6$

3. TOTAL AREA (A_t) = 110225/2.53 (SF/AC)

4. EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
C	11830/0.27	11

TREATMENT	AREA (SF/AC)	%
C	48,560/1.11	44

TREATMENT	AREA (SF/AC)	%
C	9740/0.22	9

TREATMENT	AREA (SF/AC)	%
C	40,090/0.92	36

5. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
C	4070/0.09	4
D	7,760/0.18	7

TREATMENT	AREA (SF/AC)	%
C	8090/0.19	7
D	40,470/0.93	37

TREATMENT	AREA (SF/AC)	%
C	5340/0.12	5
D	4400/0.10	4

TREATMENT	AREA (SF/AC)	%
C	15,190/0.35	14
D	24,900/0.57	22

EXISTING CONDITION

A. BASIN A

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = (1.29)(0.27) / 0.27 = 1.29$ IN
 $V_{100} = (E_w / 12) A_t = (1.29 / 12)(0.27) = 0.0290$ AC-FT=1,260 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pAA} + Q_{pAB} + Q_{pAC} + Q_{pAD}$
 $Q_p = Q_{100} = (3.45)(0.27) = 0.93$ CFS

B. BASIN B

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = (1.29)(1.11) / 1.11 = 1.29$ IN
 $V_{100} = (E_w / 12) A_t = (1.29 / 12)(1.11) = 0.1193$ AC-FT=5,200 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pAA} + Q_{pAB} + Q_{pAC} + Q_{pAD}$
 $Q_p = Q_{100} = (3.45)(1.11) = 3.83$ CFS

C. BASIN C

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = (1.29)(0.22) / 0.22 = 1.29$ IN
 $V_{100} = (E_w / 12) A_t = (1.29 / 12)(0.22) = 0.0237$ AC-FT=1030 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pAA} + Q_{pAB} + Q_{pAC} + Q_{pAD}$
 $Q_p = Q_{100} = (3.45)(0.22) = 0.76$ CFS

D. BASIN D

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = (1.29)(0.92) / 0.92 = 1.29$ IN
 $V_{100} = (E_w / 12) A_t = (1.29 / 12)(0.92) = 0.0989$ AC-FT=4310 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pAA} + Q_{pAB} + Q_{pAC} + Q_{pAD}$
 $Q_p = Q_{100} = (3.45)(0.92) = 3.17$ CFS

DEVELOPED CONDITION

A. BASIN A

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = [1.29(0.09) + 2.36(0.18)] / 0.27 = 2.00$ IN
 $V_{100} = (E_w / 12) A_t = (2.00 / 12)(0.27) = 0.0451$ AC-FT=1,960 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pAA} + Q_{pAB} + Q_{pAC} + Q_{pAD}$
 $Q_p = Q_{100} = (3.45)(0.09) + (5.02)(0.18) = 1.21$ CFS

B. BASIN B

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = [1.29(0.19) + 2.36(0.93)] / 1.11 = 2.20$ IN
 $V_{100} = (E_w / 12) A_t = (2.20 / 12)(1.11) = 0.2035$ AC-FT=8,860 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pAA} + Q_{pAB} + Q_{pAC} + Q_{pAD}$
 $Q_p = Q_{100} = (3.45)(0.19) + (5.02)(0.93) = 5.32$ CFS

C. BASIN C

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = [1.29(0.12) + 2.36(0.10)] / 0.22 = 1.78$ IN
 $V_{100} = (E_w / 12) A_t = (1.78 / 12)(0.22) = 0.0326$ AC-FT=1420 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pAA} + Q_{pAB} + Q_{pAC} + Q_{pAD}$
 $Q_p = Q_{100} = (3.45)(0.12) + (5.02)(0.10) = 0.92$ CFS

D. BASIN D

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = [1.29(0.35) + 2.36(0.57)] / 0.92 = 1.95$ IN
 $V_{100} = (E_w / 12) A_t = (1.95 / 12)(0.92) = 0.1495$ AC-FT=6510 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pAA} + Q_{pAB} + Q_{pAC} + Q_{pAD}$
 $Q_p = Q_{100} = (3.45)(0.35) + (5.02)(0.57) = 4.07$ CFS

COMPARISON

A. BASIN A

1. VOLUME
 $\Delta V_{100} = 1960$ CF - 1260 CF = 700 CF (INCREASE)

2. PEAK DISCHARGE
 $\Delta Q_{100} = 1.21$ CFS - 0.93 CFS = 0.28 CFS (INCREASE)

B. BASIN B

1. VOLUME
 $\Delta V_{100} = 8860$ CF - 5200 CF = 3660 CF (INCREASE)

2. PEAK DISCHARGE
 $\Delta Q_{100} = 5.32$ CFS - 3.83 CFS = 1.49 CFS (INCREASE)

C. BASIN C

1. VOLUME
 $\Delta V_{100} = 1420$ CF - 1030 CF = 390 CF (INCREASE)

2. PEAK DISCHARGE
 $\Delta Q_{100} = 0.92$ CFS - 0.76 CFS = 0.16 CFS (INCREASE)

D. BASIN D

1. VOLUME
 $\Delta V_{100} = 6510$ CF - 4310 CF = 2200 CF (INCREASE)

2. PEAK DISCHARGE
 $\Delta Q_{100} = 4.07$ CFS - 3.17 CFS = 0.90 CFS (INCREASE)

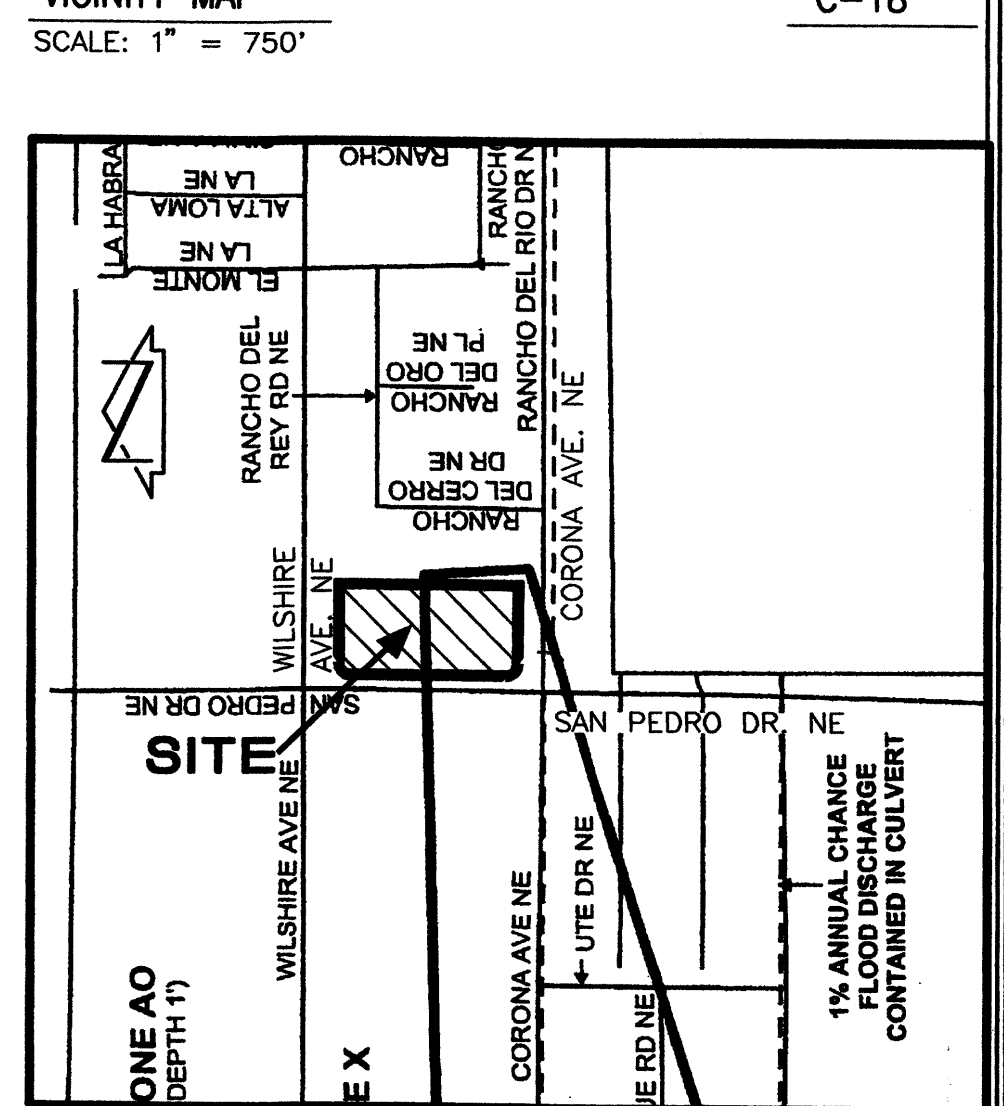
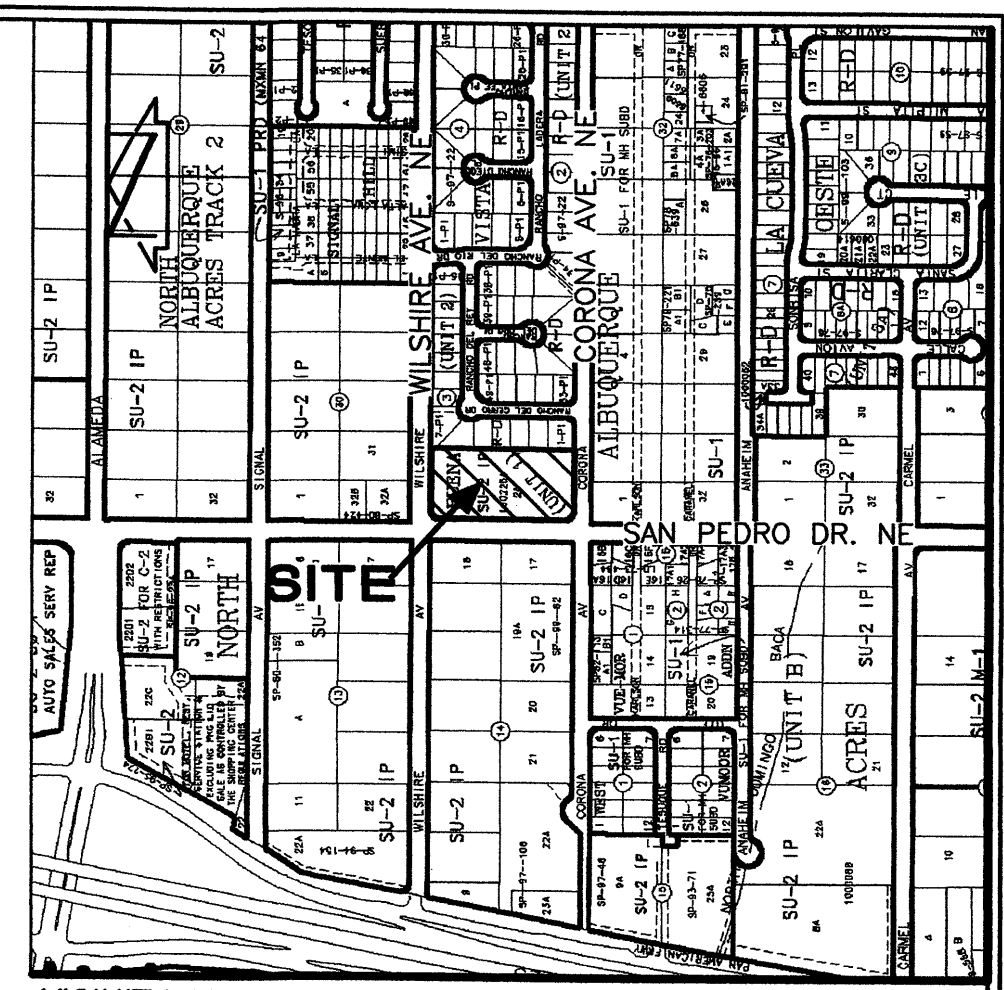
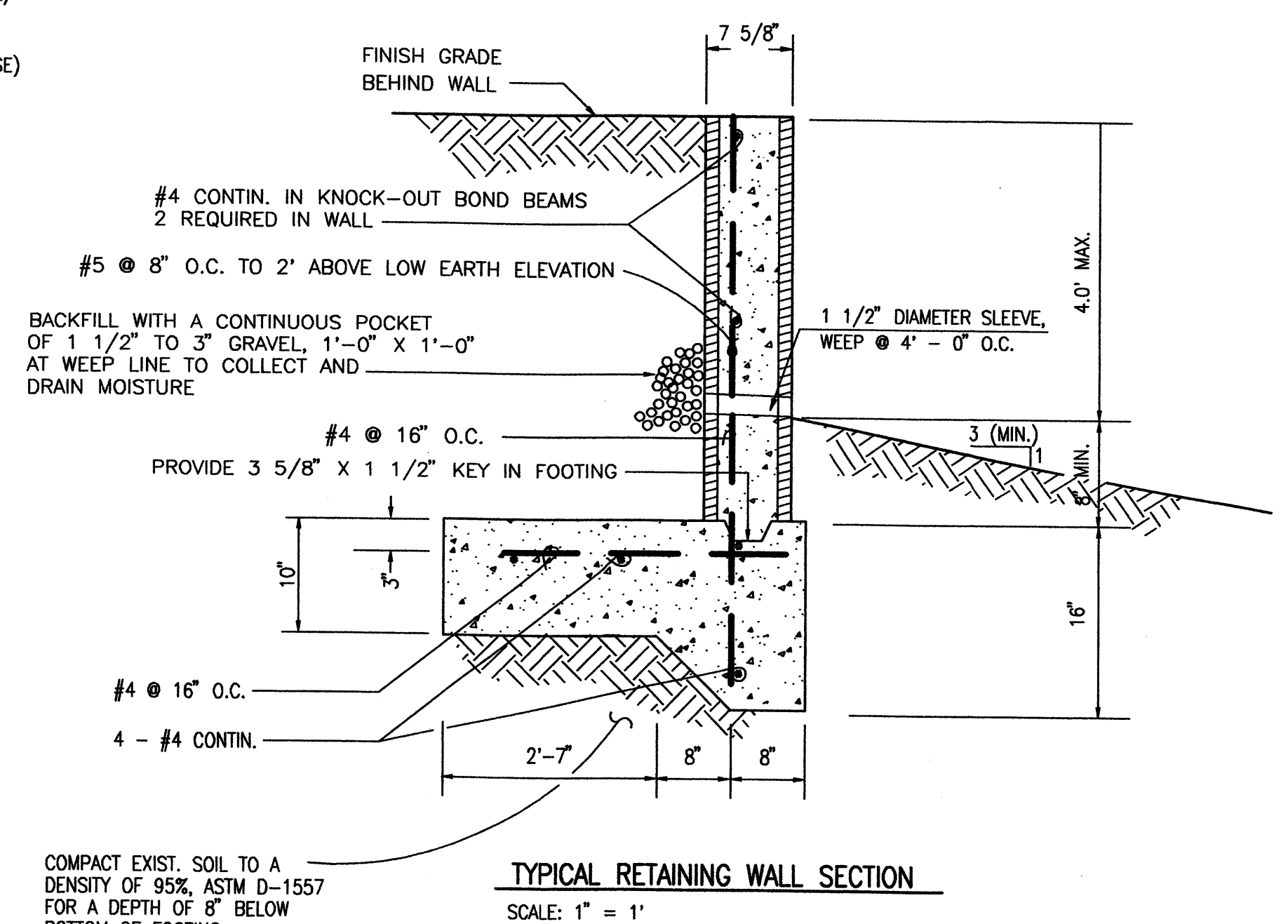
CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
7. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
8. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

APPROVALS	NAME	DATE
HYDROLOGY		
SIDEWALK INSPECTOR		
STORM DRAIN MAINTENANCE		



F.I.R.M. PANEL 137 OF 825
 SCALE: 1" = 500'
 REVISOR TO REFLECT LOMR DATED 12/16/2003
 LEGAL DESCRIPTION
 TRACT 2-A, BUENA VISTA ESTATES (2002C-363)

REVISIONS

NO.	DATE	DESCRIPTION
1	10-2005	G.M. / R.W.

DATE: 10-2005
DESIGN BY: G.M. / R.W.
SCALE:

J. GRAEME MEANS
 REGISTERED PROFESSIONAL ENGINEER
 NEW MEXICO
 NO. 3676
 9/21/2005

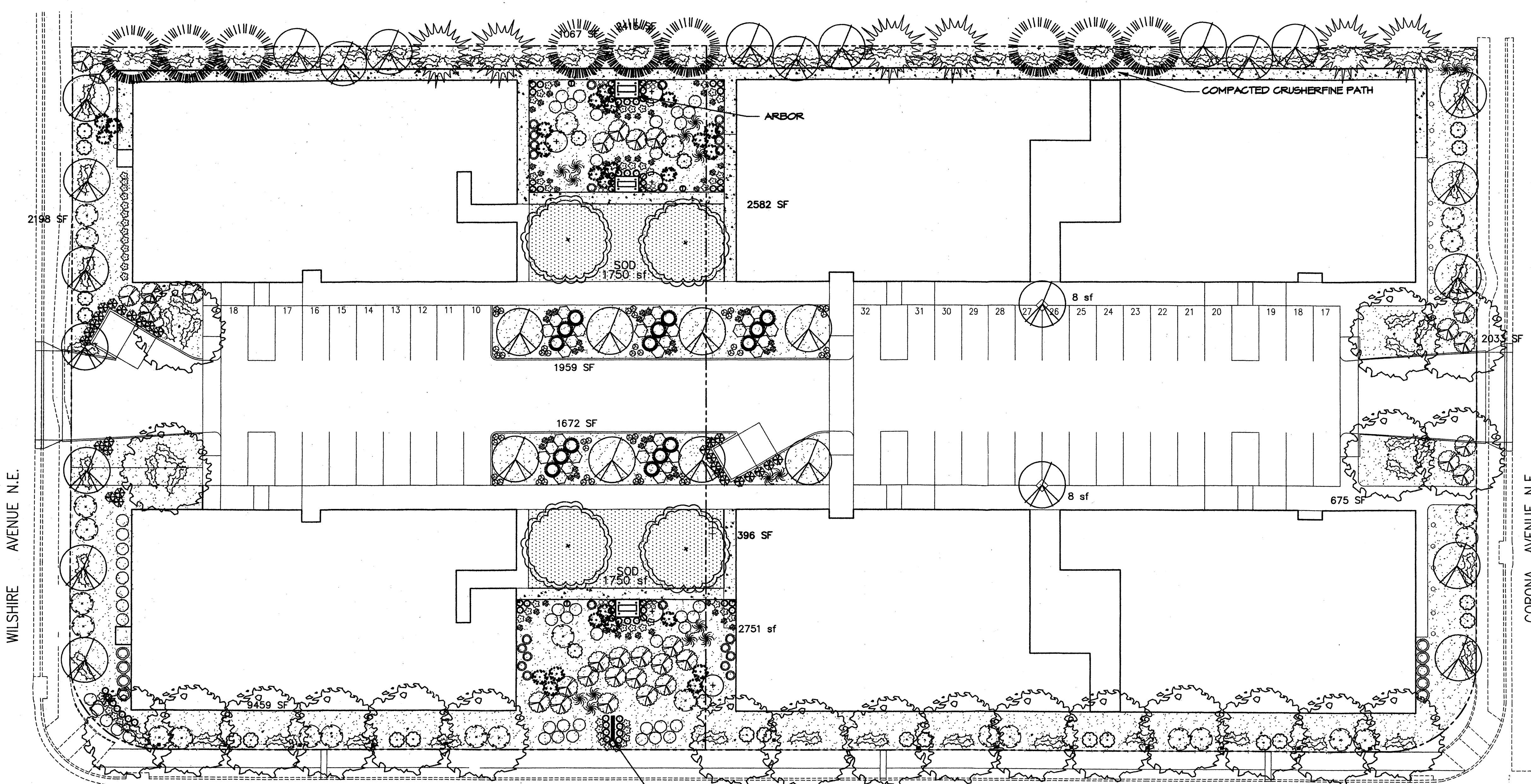
SAN PEDRO DRIVE NE
ALBUQUERQUE, NEW MEXICO

PAGE TITLE
 CONCEPTUAL DRAINAGE PLAN,
 CALCULATIONS AND CONSTRUCTION NOTES

BEEHIVE HOMES
 QUALITY SENIOR LIVING
 ENGINEERING: 505.345.4254
 ARCHITECTURE: 505.345.4254
 MERIDIAN, 1st. 8864 E-MAIL: karten@beehivehomes.com

Plot Date: 09-29-2005
 Plot Time: 11:37 am
 File Path: E:\m\m\work\0001\A
 File Name: 50034DF.DWG

JMA JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (SOS) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

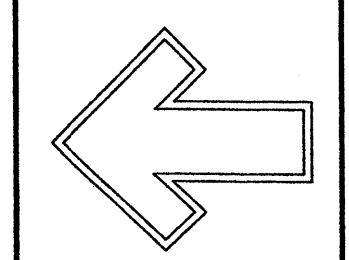
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

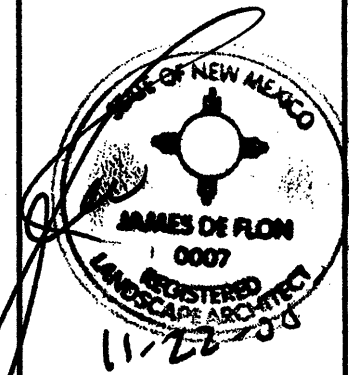
STREET TREE REQUIREMENTS
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street San Pedro Blvd.
Required # 16 Provided # 16



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

Beehive Village
Albuquerque, NM
LANDSCAPE PLAN

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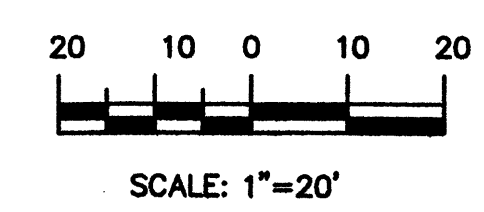
DRAWN BY: gty
REVISION # 2
DATE: 9-14-05

SHEET #
L1 OF L1

PLANT LEGEND

- | | | | |
|--|---|---|--|
| <p>SHUMARD OAK (M) 10
<i>Gleditsia triacanthos</i>
2" Cal.</p> <p>SYCAMORE (M) 29
<i>Platanus</i> spp.
2" Cal.</p> <p>EMERALD GREEN ARBOVITAE (M) 9
<i>Thuja occidentalis 'Emerald'</i>
8"</p> <p>LEYLAND CYPRESS (M) 6
<i>X Cupressocyparis leylandii</i>
8"</p> <p>FLOWERING PEAR (M+) 31
<i>Pyrus calleryana</i>
3" Cal.</p> <p>MUSKOGEE CRAPE MYRTLE (M) 5
<i>Lagerstroemia indica</i>
15 Gal.</p> | <p>MUGHO PINE (L) 15
<i>Juniperus</i> spp.
5 Gal. 36sf</p> <p>COMMON LILAC (M) 25
<i>Syringa vulgaris</i>
5 Gal. 100sf</p> <p>BUTTERFLY BUSH (M) 26
<i>Buddleia davidii</i>
5 Gal. 100sf</p> <p>FLOWER CARPET RED GROUNDCOVER ROSE (M) 47
<i>Rosa</i> spp.
5 Gal. 25sf</p> <p>GREEN SPIRE EJONYMUS (M) 29
<i>Ejonymus</i> spp.
5 Gal. 100sf</p> <p>RED TIP PHOTINIA (M) 24
<i>Photinia fraseri</i>
5 Gal. 64sf</p> <p>ARP ROSEMARY (M) 33
<i>Rosmarinus officinalis</i>
5 Gal. 36sf</p> | <p>MAIDENGRASS (M) 17
<i>Miscanthus sinensis</i>
5 Gal. 16sf</p> <p>AUTUMN JOY SEDUM (M) 30
<i>Guara lindheimeri</i>
1 Gal.</p> <p>WHIRLING BUTTERFLIES (M) 65
<i>Berberis thunbergii 'Atropur. Nana'</i>
1 Gal. 4sf</p> <p>LAVENDER (M) 61
<i>Lavandula angustifolia</i>
1 Gal. 9sf</p> <p>HALLS HONEYSUCKLE (M) 31
<i>Japonica 'Halliana'</i>
1 Gal. 144sf
Unstaked-Groundcover</p> <p>COLUMBINE (M) 51
<i>Kniphofia uvaria</i>
1 Gal. 4sf</p> <p>THREADLEAF COREOPSIS (M) 69
<i>Coreopsis auricuta 'Nana'</i>
1 Gal. 4sf</p> | <p>CRIMSON PIGMY BARBERRY (M) 47
<i>Berberis thunbergii 'Atropur. Nana'</i>
1 Gal. 4sf</p> <p>CREeping ROSEMARY (L+) 78
<i>Rosmarinus officinalis prostrata</i>
5 Gal. 16sf</p> <p>FESCUE SOD WITH POP UP SPRINKLER
3" SANTA FE BROWN GRAVEL WITH FILTER FABRIC
SFB COMPACTED CRUSHERFINE PATH WITH FILTER FABRIC
COMMERCIAL GRADE STEEL EDGE
PROPOSED LIGHTING - BY OTHERS
TRASH RECEPTACLE</p> <p>* INDICATES THAT PLANT MATERIAL IS EVERGREEN</p> |
|--|---|---|--|

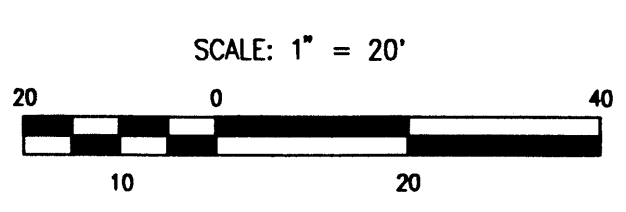
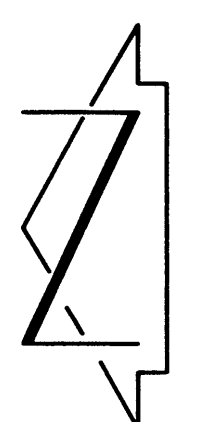
GRAPHIC SCALE



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	110206	square feet
TOTAL BUILDINGS AREA	45979	square feet
NET LOT AREA	64227	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	9634	square feet
TOTAL BED PROVIDED	24245	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	18184	square feet
TOTAL GROUNDCOVER PROVIDED	20835 (86%)	square feet
TOTAL SOD AREA	3500 (20%)	square feet
TOTAL LANDSCAPE PROVIDED	27145 (43%)	square feet

11-21-05 revised site plan 01



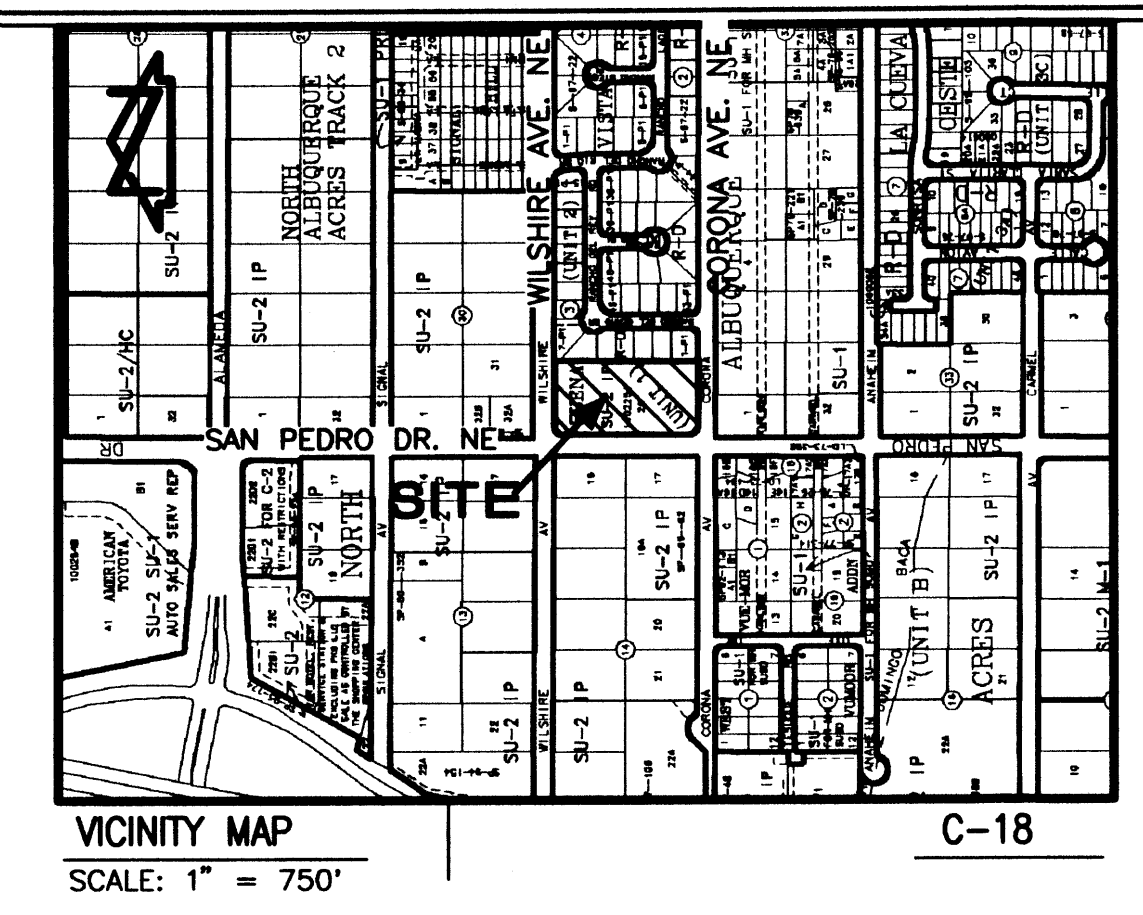
LEGEND

BY PM	BY PAINT MARK	SD	STORM DRAIN
C&G	CURB AND GUTTER	SDMH	STORM DRAIN MANHOLE
CMU	CEMENT MASONRY UNIT	SDMH/C	STORM DRAIN MANHOLE IN CONCRETE
DIP	DUCTILE IRON PIPE	SI	STORM INLET
EA	EDGE OF ASPHALT	STD. C&G	STANDARD CURB AND GUTTER
FH	FIRE HYDRANT	TSW	TOP OF SIDEWALK
FL	FLOWLINE	T BY PM	TELEPHONE LINE BY PAINT MARK
INV	INVERT	TA	TOP OF ASPHALT
MH	MANHOLE	TC	TOP OF CURB
MP	METAL POLE	TCO	TOP OF CONCRETE
MS	METAL SIGN	TG	TOP OF GRATE
OHE(2)	OVERHEAD ELECTRIC (NO. OF LINES)	TR	TELEPHONE RISER
PVC	POLYVINYL CHLORIDE PIPE	WCR	WHEELCHAIR RAMP
RCP	REINFORCED CONCRETE PIPE	WPP	WOOD POWER POLE
SAS	SANITARY SEWER	WVB	WATER VALVE BOX
		WVB/C	WATER VALVE BOX IN CONCRETE
		WP, PL, SL	EXISTING SPOT ELEVATION
			EXISTING CONTOUR
			SEE LIGHTING SCHEDULE BELOW

	NEW CONCRETE
	NEW ASPHALT PAVEMENT
	RETAINING WALL
	PERIMETER WALL

INDEX OF DRAWINGS

SHEET	DESCRIPTION
C.1	SITE PLAN FOR BUILDING PERMIT
A.1	SITE DETAILS
A.2	ELEVATIONS - BUILDINGS A & B
A.3	ELEVATIONS - BUILDINGS C, D, E & F
G.1	CONCEPTUAL GRADING PLAN
G.2	CONCEPTUAL DRAINAGE PLAN, CALCULATIONS AND CONSTRUCTION NOTES
U.1	CONCEPTUAL UTILITY PLAN
L.1	LANDSCAPING PLAN



DRB APPROVAL:

PROJECT # _____ APPLICATION # _____

PLANNING DIRECTOR, CITY OF ALBUQUERQUE _____ DATE _____

TRANSPORTATION DEVELOPMENT, CITY OF ALBUQUERQUE _____ DATE _____

CITY ENGINEER, CITY OF ALBUQUERQUE _____ DATE _____

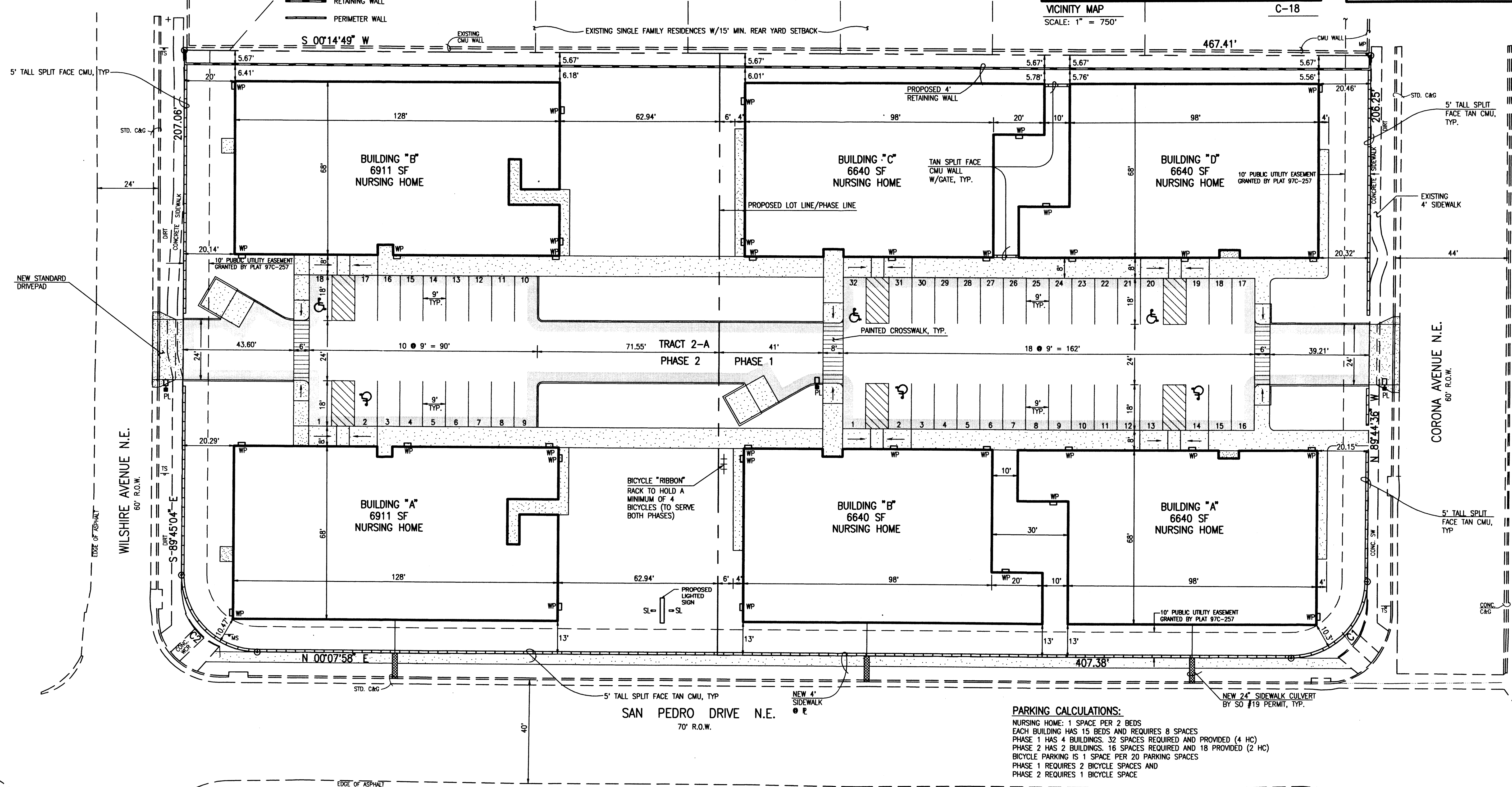
WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE _____ DATE _____

PARKS AND RECREATION, CITY OF ALBUQUERQUE _____ DATE _____

SOLID WASTE DEPARTMENT, CITY OF ALBUQUERQUE _____ DATE _____

REVISIONS

NO.	DATE	DESCRIPTION



PARKING CALCULATIONS:

NURSING HOME: 1 SPACE PER 2 BEDS
 EACH BUILDING HAS 15 BEDS AND REQUIRES 8 SPACES
 PHASE 1 HAS 4 BUILDINGS. 32 SPACES REQUIRED AND PROVIDED (4 HC)
 PHASE 2 HAS 2 BUILDINGS. 16 SPACES REQUIRED AND 18 PROVIDED (2 HC)
 BICYCLE PARKING IS 1 SPACE PER 20 PARKING SPACES
 PHASE 1 REQUIRES 2 BICYCLE SPACES AND
 PHASE 2 REQUIRES 1 BICYCLE SPACE

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.06'	42.38'	N 44°48'22" W	89°52'34"
C2	30.00'	47.18'	42.47'	N 45°11'23" E	90°06'58"

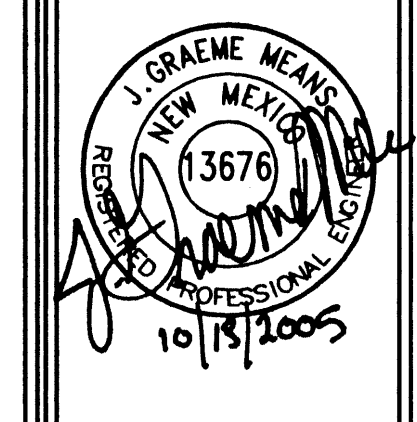
NOTE:

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM THE MARCH 23, 2005 SURVEYS CONDUCTED BY THIS OFFICE

A	B	C	D	E	F	REMARKS
TYPE	MANUFACTURER	MODEL NUMBER	DESCRIPTION	LAMPS/BALLAST	QUANTITY	WATTS PER FIXTURE
WP	LITHONIA	TVP 150M 120 LPI	EXTERIOR WALL PACK WALL MTD. HD	150M	26	150
PL	LITHONIA	(LUMINAIRE) KSE1 150M R2 RP9 SF (POLE) SSS 20 4G DM19 DMB	AREA LIGHTING POLE MTD. HD	150M	3	150
SL	HYDREL	LIR7246-S GRAVITY FIT SOCKET PENDANT OWNER SPECIFIED GLASS SHADE	SIGN LIGHTS GRADE MTD. HD	70M	2	140

File Path: E:\MUNICIPAL\10-13-2005
 Plot Date: 10-13-2005
 File Name: 50034CCP3.DWG
 Plot Time: 4:12 pm

JMA JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (SOS) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977



DATE: 10/2005
 DRAWN BY: GM/R.V.
 SCALE: 1\"/>

SAN PEDRO DRIVE NE
 ALBUQUERQUE, NEW MEXICO
 PAGE TITLE
 SITE PLAN FOR
 BUILDING PERMIT

EEHIVE HOMES
 QUALITY SENIOR LIVING
 1500 V. BARRETT DR
 MERIDIAN, ID. 83642
 PHONE: 208.889.7145
 E-MAIL: kate@eehivehomes.com

C.1
 2005.003.4

Plot Date: 09-29-2005
 Plot Time: 11:42 am
 File Name: 50034CG2.DWG

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.06'	42.38'	N 44°48'22" W	89°52'34"
C2	30.00'	47.18'	42.47'	N 45°11'23" E	90°06'58"

LEGEND

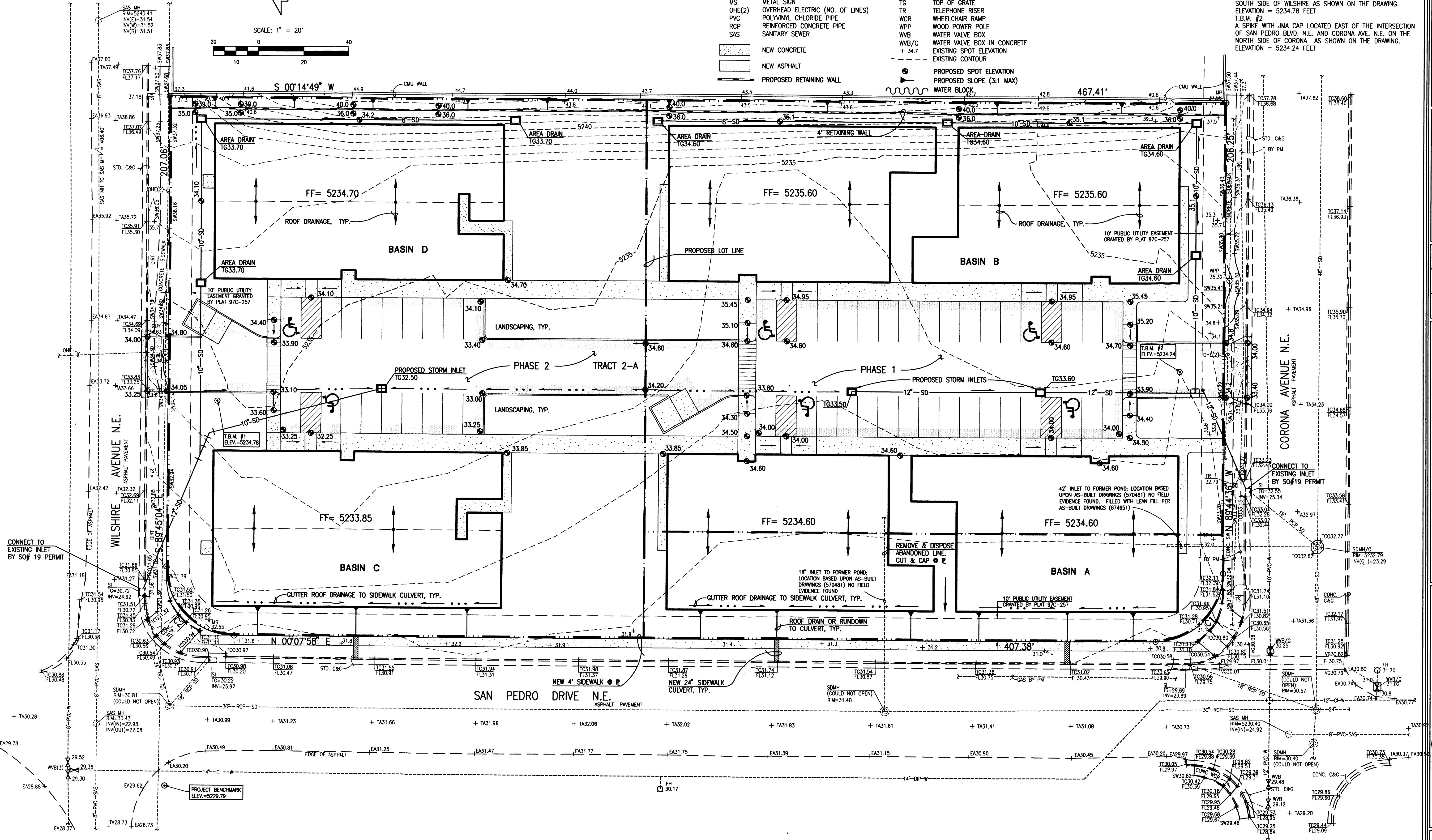
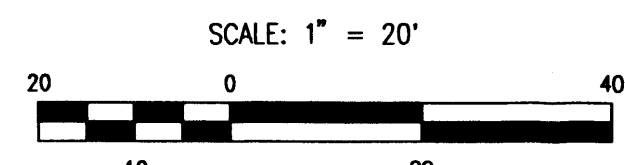
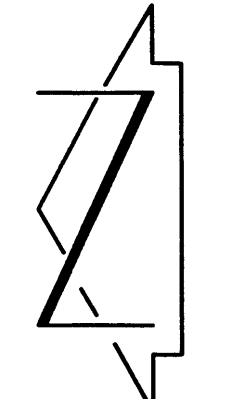
- BY PM BY PAINT MARK
- C&G CURB AND GUTTER
- CMU CEMENT MASONRY UNIT
- DIP DUCTILE IRON PIPE
- EA EDGE OF ASPHALT
- FH FIRE HYDRANT
- FL FLOWLINE
- INV INVERT
- MH MANHOLE
- MP METAL POLE
- MS METAL SIGN
- OHE(2) OVERHEAD ELECTRIC (NO. OF LINES)
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- SAS SANITARY SEWER
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SDMH/C STORM DRAIN MANHOLE IN CONCRETE
- SI STORM INLET
- STD. C&G STANDARD CURB AND GUTTER
- TSW TOP OF SIDEWALK
- T BY PM TELEPHONE LINE BY PAINT MARK
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TC TOP OF GRATE
- TR TELEPHONE RISER
- WCR WHEELCHAIR RAMP
- WPP WOOD POWER POLE
- WVB WATER VALVE BOX
- WVB/C WATER VALVE BOX IN CONCRETE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED SLOPE (3:1 MAX)
- WATER BLOCK

PROJECT BENCHMARK

STATION IS A STANDARD ACS ALUMINUM CAP STAMPED "9-C18 1985". IT IS RIVETED TO A 2 1/2" ALUMINUM TUBE LOCATED IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND WILSHIRE AVENUE N.E.
 ELEVATION = 5229.79 FEET (NGVD 1929)

T.B.M. #1
 A SPIKE WITH JMA CAP LOCATED EAST OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND WILSHIRE AVE. N.E. ON THE SOUTH SIDE OF WILSHIRE AS SHOWN ON THE DRAWING.
 ELEVATION = 5234.78 FEET

T.B.M. #2
 A SPIKE WITH JMA CAP LOCATED EAST OF THE INTERSECTION OF SAN PEDRO BLVD. N.E. AND CORONA AVE. N.E. ON THE NORTH SIDE OF CORONA AS SHOWN ON THE DRAWING.
 ELEVATION = 5234.24 FEET



REVISIONS

NO.	DATE	DESCRIPTION

DATE: 10/2005
 DRAWN BY: G.M./R.V.
 SCALE: 1" = 20'

J. GRAEME MEANS
 NEW MEXICO
 3676
 PROFESSIONAL ENGINEER
 9/29/2005

SAN PEDRO DRIVE NE
 ALBUQUERQUE, NEW MEXICO

CONCEPTUAL GRADING PLAN

BEETHIVE
 QUALITY SENIOR LIVING
 ENGINEER: G. MORTENSEN
 PHONE: (505) 888-7145
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 E-MAIL: gcm@beethive-think.net

Jma JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS SURVEYORS (SOS) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977

NOTE:
 THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM THE MARCH 23, 2005 SURVEYS CONDUCTED BY THIS OFFICE

DRAINAGE PLAN:

CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED SAN PEDRO BEEHIVE SITE WILL BE LOCATED IN NORTH ALBUQUERQUE ACRES. THE SITE IS ZONED SU-2 IP (LA CUEVA SECTOR PLAN) AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH DRB. THE SITE IS CURRENTLY UNDEVELOPED AND DRAINS IN AN UNCONTROLLED SHEETFLOW MANNER TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN THE ADJACENT PUBLIC STREETS. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE IS CONTINUED FREE DISCHARGE TO THESE EXISTING FACILITIES VIA PRIVATE ON-SITE STORM DRAIN S THAT WILL CONNECT TO EXISTING PUBLIC STORM INLETS BY NEW CONNECTIONS PROPOSED BY SO#19 PERMIT. A PROPOSED PLATTING ACTION WILL SPLIT THE TRACT INTO TWO LOTS. THE PROJECT WILL BE CONSTRUCTED IN TWO PHASES TO COINCIDE WITH THE TWO PROPOSED LOTS. THE PURPOSE OF THIS CONCEPTUAL GRADING AND DRAINAGE PLAN IS TO OBTAIN SITE DEVELOPMENT PLAN FOR SUBMISSION AND SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVALS.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP C-18 LOCATED HEREON, THE SITE IS LOCATED ON THE EAST SIDE OF SAN PEDRO DRIVE NE, BETWEEN WILSHIRE AVE NE AND CORONA AVE NE. THE EXISTING LEGAL DESCRIPTION IS TRACT 2-A, BUENA VISTA ESTATES. THE SITE IS ZONED SU-2 I-P AND THE PROPOSED NURSING HOME USE IS PERMISSIVE.

AS SHOWN BY PANEL 137 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, UPDATED TO INCLUDE A LOMR DATED 12/16/2003, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. THE PURPOSE OF THE LOMR WAS TO ELIMINATE THE MAPPED FLOOD ZONE ASSOCIATED WITH A RETENTION POND THAT WAS PREVIOUSLY LOCATED ON THE SITE.

III. BACKGROUND DOCUMENTS

A. PRE-DESIGN E-MAILS AND TELEPHONE CORRESPONDENCES WITH AMAFCA AND CITY OF ALBUQUERQUE HYDROLOGY. LYNN MAZUR AND BRAD BINGHAM INDICATED THAT DOWNSTREAM CAPACITY EXISTED AND THAT FREE DISCHARGE TO THE EXISTING DOWNSTREAM SYSTEM AND NEWLY CONSTRUCTED OUTFALL WAS PERMISSIBLE.

B. LOMR DATED 12/16/2003 SUBMITTED BY BHI AND APPROVED BY FEMA (FEMA CASE # 03-06-2543P). THIS LETTER OF MAP REVISION ELIMINATED THE MAPPED FLOODING ASSOCIATED WITH A FORMER ON-SITE RETENTION POND.

C. AS-BUILT DRAWINGS FOR CITY PROJECTS 5704.81, 5704.82 AND 6746.81. THESE PROJECTS CONSTRUCTED THE ADJACENT PUBLIC STORM DRAIN FACILITIES.

IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED AND GENERALLY SLOPES FROM EAST TO WEST TO SAN PEDRO DRIVE NW. OFFSITE FLOWS DO NOT ENTER THE SITE. THE FRONTING PORTIONS OF SAN PEDRO, WILSHIRE AND CORONA ARE DEVELOPED WITH PAVEMENT AND CURB AND GUTTER. SIDEWALKS ARE IN PLACE IN CORONA AND WILSHIRE. AN AMAFCA PROJECT CONSTRUCTED IN 2003 PROVIDES THE PUBLIC STORM DRAIN OUTFALL FOR THE SITE WEST OF SAN PEDRO (SEE REF B).

V. DEVELOPED CONDITIONS

THE PROPOSED IMPROVEMENTS CONSIST OF THE CONSTRUCTION OF 6 TOTAL BUILDINGS WITH ASSOCIATED PAVED PARKING AND LANDSCAPING IMPROVEMENTS. THE PROJECT WILL BE CONSTRUCTED IN TWO PHASES, WITH THE SOUTH HALF OF THE SITE BEING CONSTRUCTED FIRST. TWO PRIVATE STORM DRAIN SYSTEMS WILL PICK UP DEVELOPED RUNOFF FROM SEVERAL ON-SITE LOCATIONS. EACH SYSTEM WILL CONNECT TO AN EXISTING PUBLIC STORM INLET VIA CITY STANDARD INLET CONNECTION AND SO#19 PERMIT. RUNOFF FROM THE WEST HALVES OF THE BUILDINGS ALONG SAN PEDRO WILL DRAIN FREELY TO SAN PEDRO VIA PROPOSED SIDEWALK CULVERTS, ALSO TO BE CONSTRUCTED UNDER SO#19 PERMIT.

VI. CONCEPTUAL GRADING PLAN

THE CONCEPTUAL GRADING PLAN ON SHEET G.1 OF THIS SUBMITTAL SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT 0 IN INTERVALS FROM THE MARCH 23, 2005 TOPOGRAPHIC SURVEY CONDUCTED BY THIS OFFICE. 2) PROPOSED GRADES INDICATED BY FINISHED FLOOR ELEVATIONS AND SPOT ELEVATIONS. 3) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4) THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. THE PROPOSED CONSTRUCTION RESULT IN AN INCREASE IN THE PEAK RATE AND VOLUME OF RUNOFF GENERATED BY THIS SITE.

VIII. CONCLUSIONS

- 1) DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN FREELY TO EXISTING DOWNSTREAM PUBLIC DRAINAGE FACILITIES SIZED FOR THIS RUNOFF.
- 2) NO NEW PUBLIC INFRASTRUCTURE, EASEMENTS OR COVENANTS ARE PROPOSED.
- 3) A FORTHCOMING PLATTING ACTION TO SUPPORT THIS PROJECT WILL BE REVIEWED AND APPROVED AT DRB.
- 4) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR BUILDING PERMIT APPROVAL. THIS SUBSEQUENT SUBMITTAL WILL ADDRESS PROJECT PHASING.

CALCULATIONS:

SITE CHARACTERISTICS

1. PRECIPITATION ZONE = 3
2. $P_{6,100} = P_{360} = 2.6$
3. TOTAL AREA (A_T) = 110225/2.53 (SF/AC)
4. EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
A. BASIN A		
C	11830/0.27	11
B. BASIN B		
C	48,560/1.11	44
C. BASIN C		
C	9740/0.22	9
D. BASIN D		
C	40,090/0.92	36

5. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
A. BASIN A		
C	4070/0.09	4
D	7,760/0.18	7
B. BASIN B		
C	8090/0.19	7
D	40,470/0.93	37
C. BASIN C		
C	5340/0.12	5
D	4400/0.10	4
D. BASIN D		
C	15,190/0.35	14
D	24,900/0.57	22

EXISTING CONDITION

- A. BASIN A**
 1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_T$
 $E_w = (1.29)(0.27) / 0.27 = 1.29$ IN
 $V_{100} = (E_w / 12) A_T = (1.29 / 12)(11830) = 0.0290$ AC-FT=1,260 CF
 2. PEAK DISCHARGE
 $Q_p = Q_{PA} + Q_{PB} + Q_{PC} + Q_{PD}$
 $Q_p = Q_{100} = (3.45)(0.27) = 0.93$ CFS
- B. BASIN B**
 1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_T$
 $E_w = (1.29)(1.11) / 1.11 = 1.29$ IN
 $V_{100} = (E_w / 12) A_T = (1.29 / 12)(48560) = 0.1193$ AC-FT=5,200 CF
 2. PEAK DISCHARGE
 $Q_p = Q_{PA} + Q_{PB} + Q_{PC} + Q_{PD}$
 $Q_p = Q_{100} = (3.45)(1.11) = 3.83$ CFS
- C. BASIN C**
 1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_T$
 $E_w = (1.29)(0.22) / 0.22 = 1.29$ IN
 $V_{100} = (E_w / 12) A_T = (1.29 / 12)(9740) = 0.0237$ AC-FT=1030 CF
 2. PEAK DISCHARGE
 $Q_p = Q_{PA} + Q_{PB} + Q_{PC} + Q_{PD}$
 $Q_p = Q_{100} = (3.45)(0.22) = 0.76$ CFS
- D. BASIN D**
 1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_T$
 $E_w = (1.29)(0.92) / 0.92 = 1.29$ IN
 $V_{100} = (E_w / 12) A_T = (1.29 / 12)(40090) = 0.0989$ AC-FT=4310 CF
 2. PEAK DISCHARGE
 $Q_p = Q_{PA} + Q_{PB} + Q_{PC} + Q_{PD}$
 $Q_p = Q_{100} = (3.45)(0.92) = 3.17$ CFS

DEVELOPED CONDITION

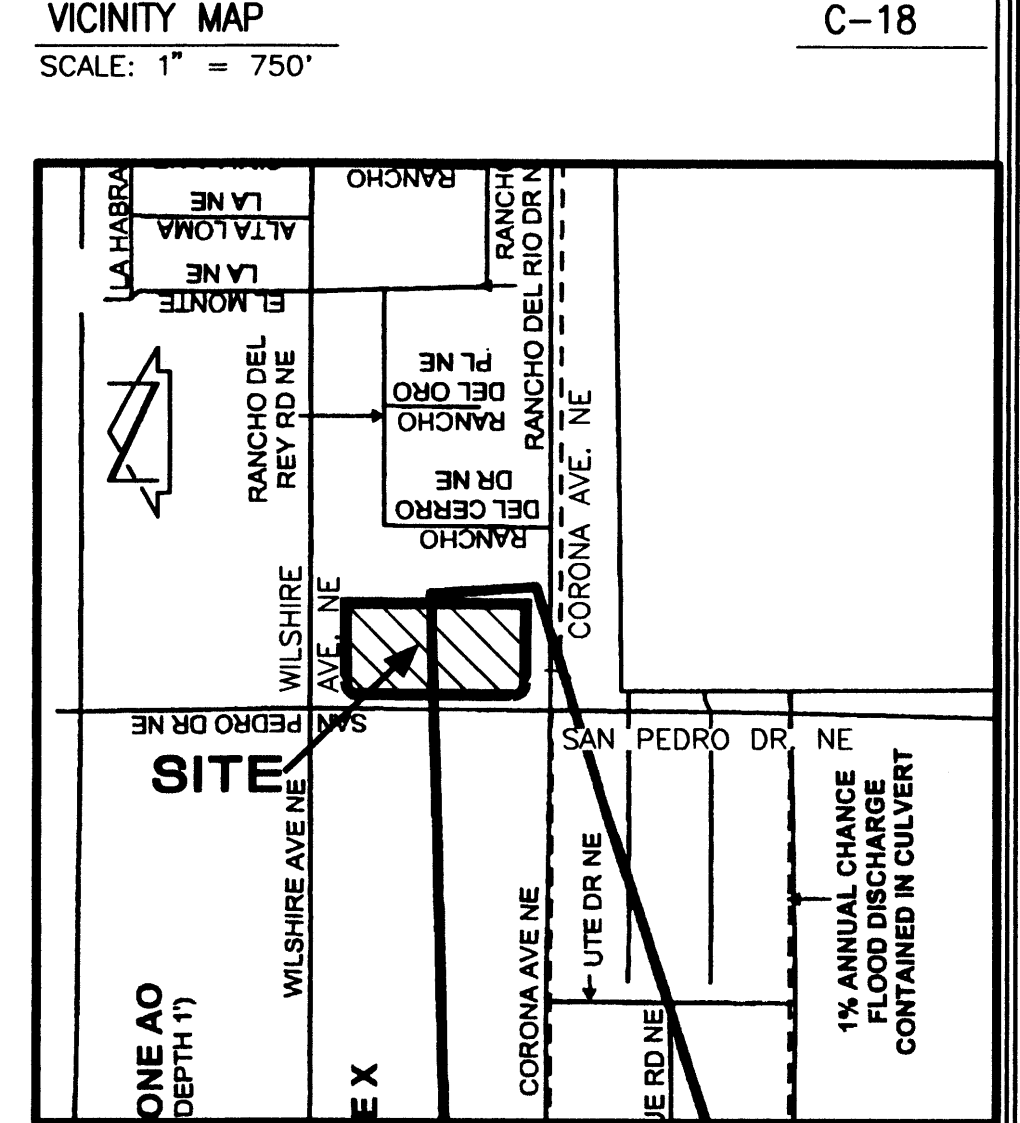
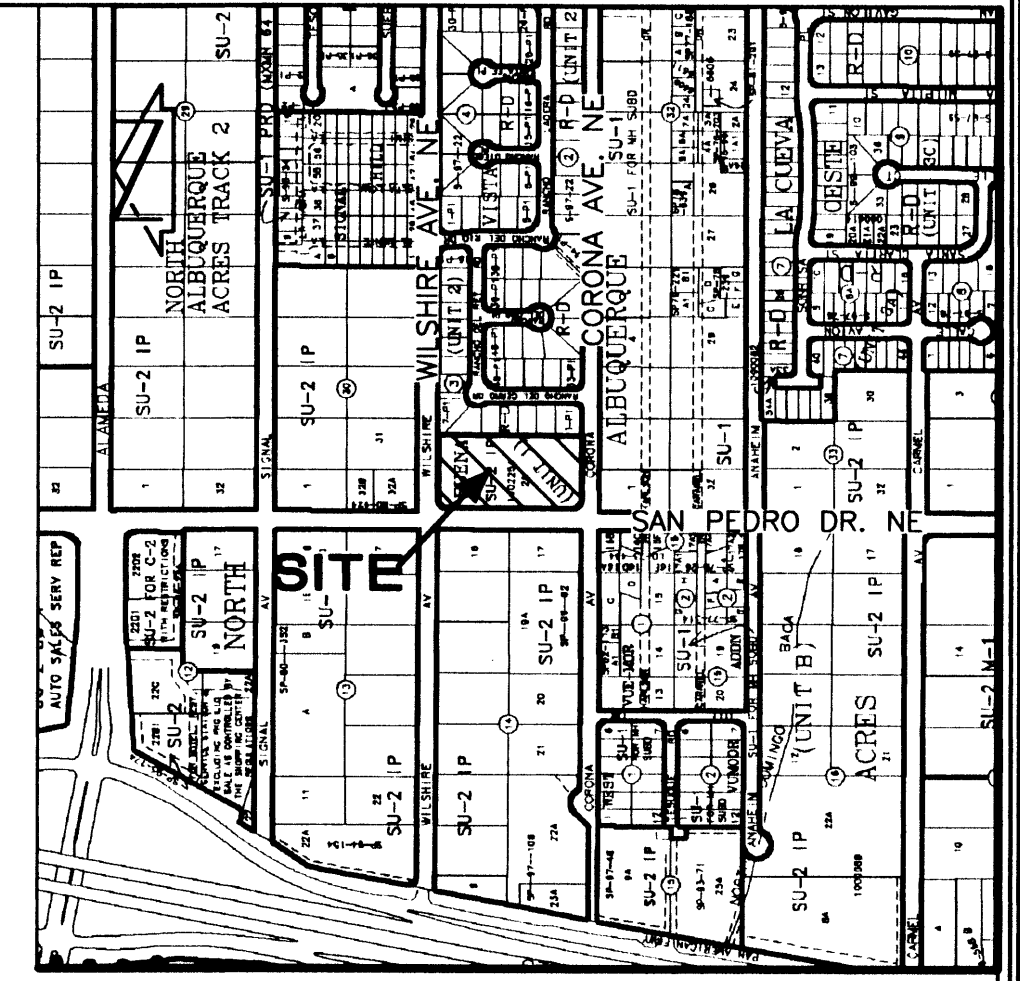
- A. BASIN A**
 1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_T$
 $E_w = (1.29)(0.09) + 2.36(0.18) / 0.27 = 2.00$ IN
 $V_{100} = (E_w / 12) A_T = (2.00 / 12)(11830) = 0.0451$ AC-FT=1,960 CF
 2. PEAK DISCHARGE
 $Q_p = Q_{PA} + Q_{PB} + Q_{PC} + Q_{PD}$
 $Q_p = Q_{100} = (3.45)(0.09) + (5.02)(0.18) = 1.21$ CFS
- B. BASIN B**
 1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_T$
 $E_w = (1.29)(0.19) + 2.36(0.93) / 1.11 = 2.20$ IN
 $V_{100} = (E_w / 12) A_T = (2.20 / 12)(48560) = 0.2035$ AC-FT=8,860 CF
 2. PEAK DISCHARGE
 $Q_p = Q_{PA} + Q_{PB} + Q_{PC} + Q_{PD}$
 $Q_p = Q_{100} = (3.45)(0.19) + (5.02)(0.93) = 5.32$ CFS
- C. BASIN C**
 1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_T$
 $E_w = (1.29)(0.12) + 2.36(0.10) / 0.22 = 1.78$ IN
 $V_{100} = (E_w / 12) A_T = (1.78 / 12)(9740) = 0.0326$ AC-FT=1420 CF
 2. PEAK DISCHARGE
 $Q_p = Q_{PA} + Q_{PB} + Q_{PC} + Q_{PD}$
 $Q_p = Q_{100} = (3.45)(0.12) + (5.02)(0.10) = 0.92$ CFS
- D. BASIN D**
 1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_T$
 $E_w = (1.29)(0.35) + 2.36(0.57) / 0.92 = 1.95$ IN
 $V_{100} = (E_w / 12) A_T = (1.95 / 12)(40090) = 0.1495$ AC-FT=6510 CF
 2. PEAK DISCHARGE
 $Q_p = Q_{PA} + Q_{PB} + Q_{PC} + Q_{PD}$
 $Q_p = Q_{100} = (3.45)(0.35) + (5.02)(0.57) = 4.07$ CFS

COMPARISON

- A. BASIN A**
 1. VOLUME
 $\Delta V_{100} = 1960$ CF - 1260 CF = 700 CF (INCREASE)
 2. PEAK DISCHARGE
 $\Delta Q_{100} = 1.21$ CFS - 0.93 CFS = 0.28 CFS (INCREASE)
- B. BASIN B**
 1. VOLUME
 $\Delta V_{100} = 8860$ CF - 5200 CF = 3660 CF (INCREASE)
 2. PEAK DISCHARGE
 $\Delta Q_{100} = 5.32$ CFS - 3.83 CFS = 1.49 CFS (INCREASE)
- C. BASIN C**
 1. VOLUME
 $\Delta V_{100} = 1420$ CF - 1030 CF = 390 CF (INCREASE)
 2. PEAK DISCHARGE
 $\Delta Q_{100} = 0.92$ CFS - 0.76 CFS = 0.16 CFS (INCREASE)
- D. BASIN D**
 1. VOLUME
 $\Delta V_{100} = 6510$ CF - 4310 CF = 2200 CF (INCREASE)
 2. PEAK DISCHARGE
 $\Delta Q_{100} = 4.07$ CFS - 3.17 CFS = 0.90 CFS (INCREASE)

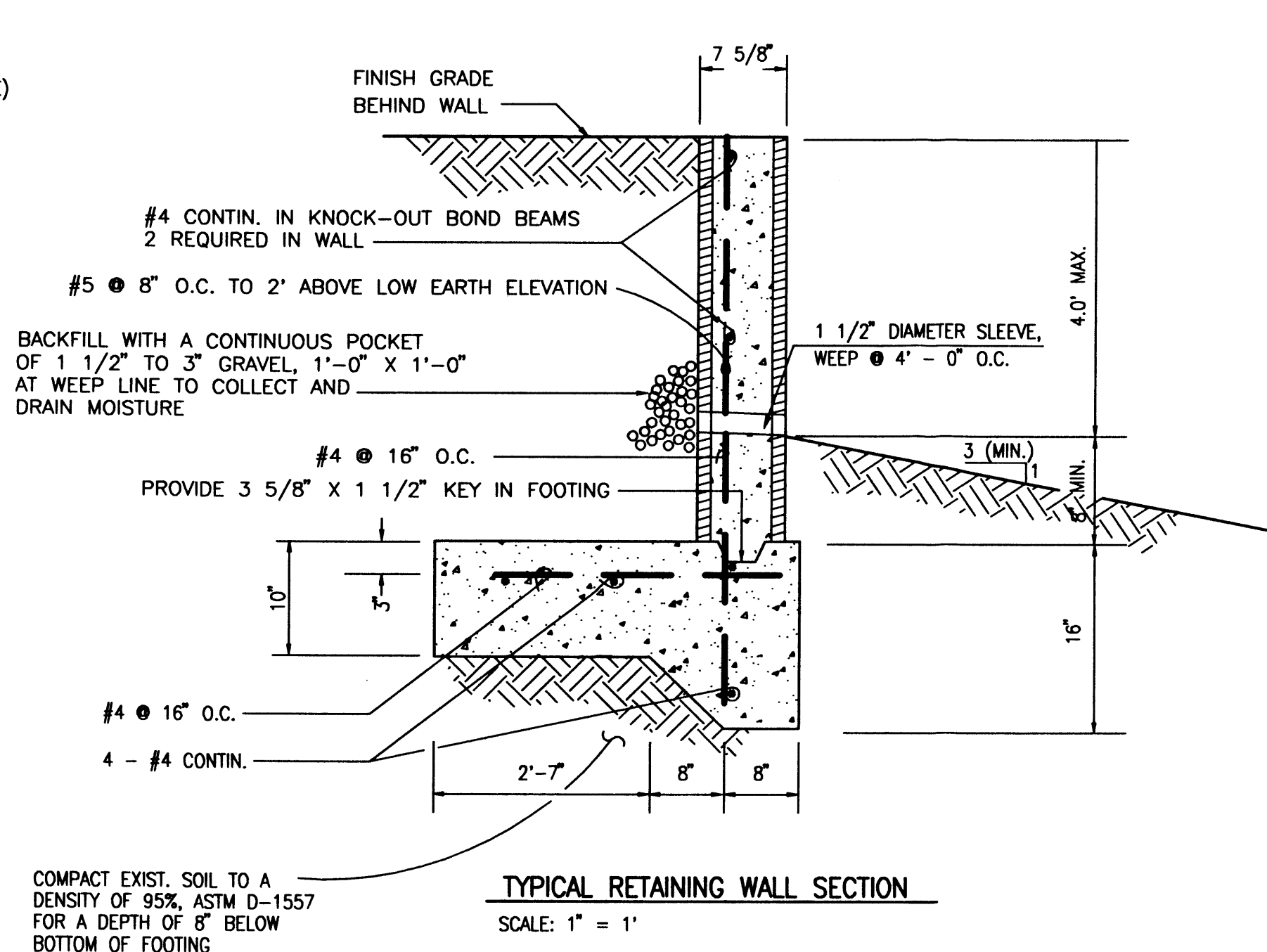
CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA) 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
 5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
 7. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 8. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- EROSION CONTROL MEASURES:**
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE TO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
 4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR ANY AREAS OF EXCESS DISTURBANCE (TRUCK ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

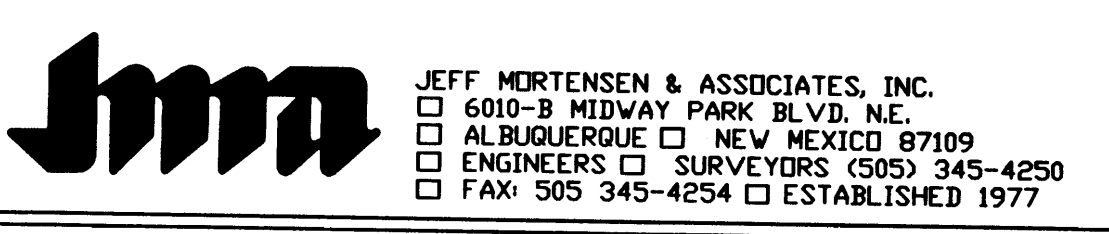


F.I.R.M. PANEL 137 OF 825
 SCALE: 1" = 500'
 REVISOR: 10-2005
 DRAWN BY: G.M. / R.W.
 LEGAL DESCRIPTION: TRACT 2-A, BUENA VISTA ESTATES (2002C-363)
 REVISION: 12/16/2003

APPROVALS	NAME	DATE
HYDROLOGY		
SIDEWALK INSPECTOR		
STORM DRAIN MAINTENANCE		



Plot Date: 09-29-2005
 Plot Time: 11:37 am
 File Path: E:\WORK\000001\000001.dwg
 File Name: 50034DP2.DWG



REGISTERED PROFESSIONAL ENGINEER
 GRAEME MEANS
 NEW MEXICO
 13676
 9/29/2005

10-2005
 G.M. / R.W.

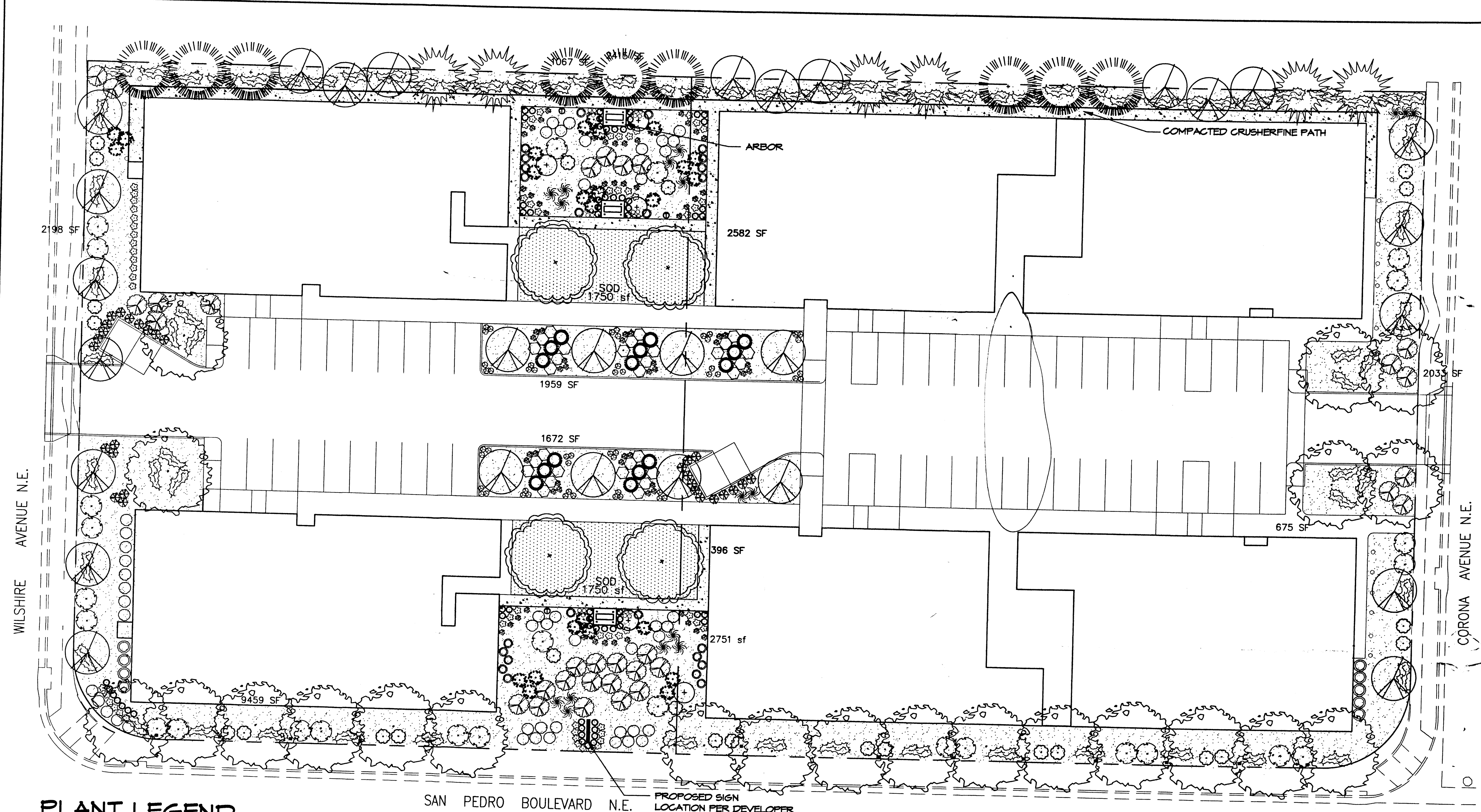
SAN PEDRO DRIVE NE
 ALBUQUERQUE, NEW MEXICO

PAGE TITLE: CONCEPTUAL DRAINAGE PLAN, CALCULATIONS AND CONSTRUCTION NOTES

QUALITY SENIOR LIVING
 ENGINEERS BRETT DR PHONE (505) 888-7145
 MERIDIAN, ID. 83642 FAX (505) 888-7165
 E-MAIL karrten@earthlink.net

G.2

2005.003.4



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

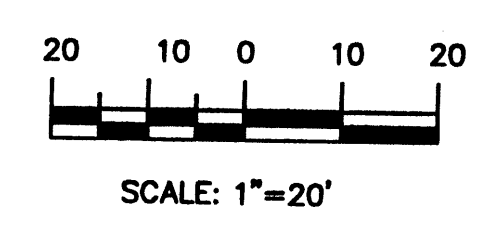
STREET TREE REQUIREMENTS
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street	San Pedro Blvd.
Required #	16
Provided #	16

PLANT LEGEND

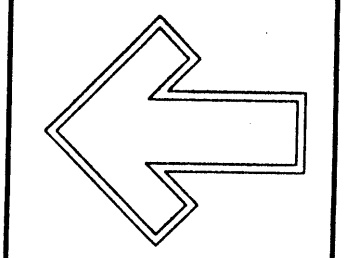
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|--|---|--|---|--|---|--|--|
| | SHUMARD OAK (M) 10
Gleditsia triacanthos
2" Cal. | | * MUGHO PINE (L) 15
Juniperus spp.
5 Gal. 365f | | MAIDEN GRASS (M) 17
Miscanthus sinensis
5 Gal. 165f | | CRIMSON PIGMY BARBERRY (M) 47
Berberis thunbergii 'Atropur. Nana'
1 Gal. 45f |
| | SYCAMORE (M) 29
Platanus spp.
2" Cal. | | COMMON LILAC (M) 25
Syringa vulgaris
5 Gal. 100sf | | AUTUMN JOY SEDUM (M) 30
Guara lindheimeri
1 Gal. | | CREeping ROSEMARY (L+) 78
Rosmarinus officinalis prostrata
5 Gal. 165f |
| | * EMERALD GREEN ARBOVITAE (M) 9
Thuja occidentalis 'Emerald'
8" | | BUTTERFLY BUSH (M) 26
Buddleia davidii
5 Gal. 100sf | | WHIRLING BUTTERFLIES (M) 65
Berberis thunbergii 'Atropur. Nana'
1 Gal. 45f | | FESCUE SOD WITH POP UP SPRINKLER
3" SANTA FE BROWN GRAVEL
WITH FILTER FABRIC |
| | * LEYLAND CYPRESS (M) 6
x Cupressocyparis leylandii
8" | | FLOWER CARPET RED 47
GROUND COVER ROSE (M)
Rosa spp.
5 Gal. 25sf | | * LAVENDER (M) 61
Lavandula angustifolia
1 Gal. 45f | | SFB COMPACTED CRUSHERFINE
PATH WITH FILTER FABRIC |
| | FLOWERING PEAR (M+) 29
Pyrus calleryana
3" Cal. | | * GREEN SPIRE EUONYMUS (M) 29
Euonymus spp.
5 Gal. 100sf | | HALLS HONEYSUCKLE (M) 31
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover | | COMMERCIAL GRADE STEEL EDGE |
| | MUSKOGEE CRAPE MYRTLE (M) 5
Lagerstroemia Indica
15 Gal. | | * RED TIP PHOTINIA (M) 24
Photinia fraseri
5 Gal. 64sf | | COLUMBINE (M) 51
Kniphofia uvaria
1 Gal. 45f | | PROPOSED LIGHTING - BY OTHERS |
| | | | * ARP ROSEMARY (M) 33
Rosmarinus officinalis
5 Gal. 365f | | THREADLEAF COREOPSIS (M) 69
Coreopsis auriculata 'Nana'
1 Gal. 45f | | TRASH RECEPTACLE |
- * INDICATES THAT PLANT MATERIAL IS EVERGREEN

GRAPHIC SCALE



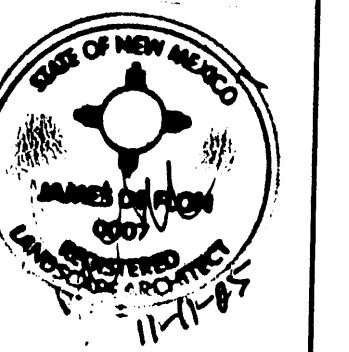
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	110206	square feet
TOTAL BUILDINGS AREA	45479	square feet
NET LOT AREA	64227	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	9634	square feet
TOTAL BED PROVIDED	24229	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	18171	square feet
TOTAL GROUND COVER PROVIDED	20835	square feet
TOTAL SOD AREA	3500 (20%)	square feet
TOTAL LANDSCAPE PROVIDED	27129	square feet



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph: (505) 898-9690
Fax: (505) 898-7737
cmcd@hiltoplandscaping.com

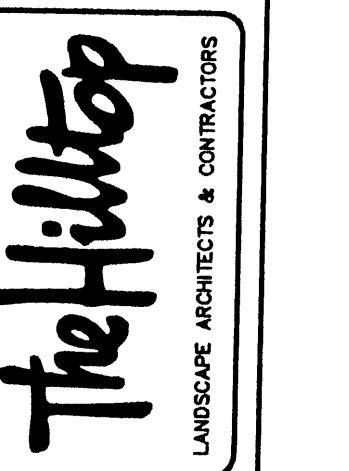
LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON
#0007

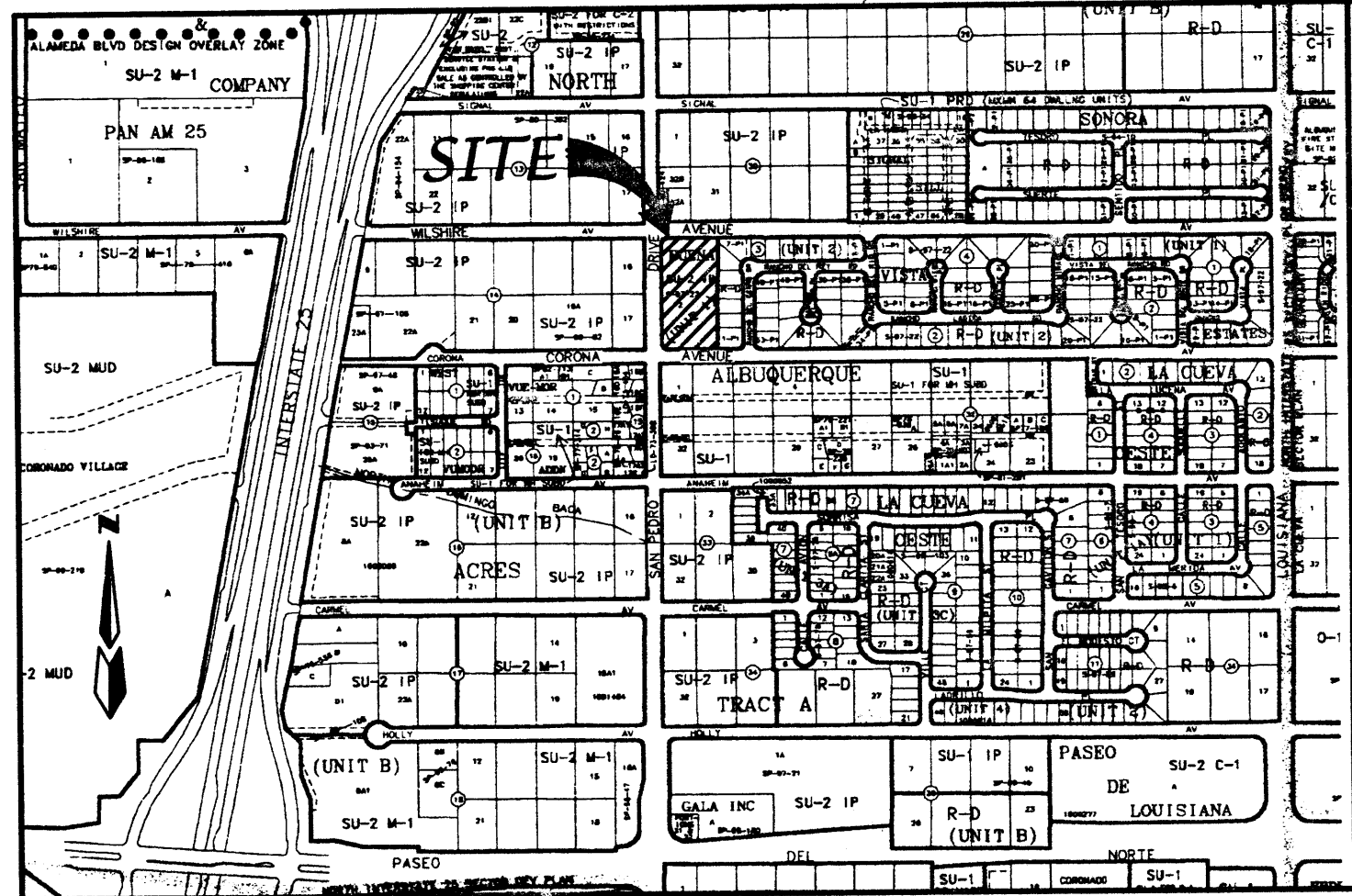
Beehive Village
Albuquerque, NM
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hiltop Landscape Architects and are protected by copyright laws. This is an original work. All other works copied unless applicable fees have been paid or by order placed.



DRAWN BY: drr
REVISION: 2
DATE: 9-14-05

SHEET #
L1 OF L1



LOCATION MAP ZONE ATLAS C-18-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No's. Project # 102254
Case # 02DRB-01502, 02DRB-01503

Gross acreage 2.5304
Zone Atlas No. C-18-Z
No. of existing Tracts/Lots 1
No. of Tracts/Lots created 0
No. of Tracts/Lots eliminated 0
Miles of full width streets created N/A
Area dedicated to the City of Albuquerque 0.0
Date of Survey March, 2002
Utility Control Location System Log Number 2002142311
ZONING SU2-IP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: SUNSET WEST, A New Mexico Partnership
BY: Mark F. Pagels, Sr., New Mexico Agent
Mark F. Pagels Sr. 8/12/02
Mark F. Pagels, Sr. Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on AUGUST 12, 2002
By Mark F. Pagels, Sr., New Mexico Agent of SUNSET WEST
A New Mexico Partnership on behalf of said Partnership.

Susan Rasinski 9.3.2004
NOTARY PUBLIC MY COMMISSION EXPIRES
OFFICIAL SEAL
SUSAN RASINSKI
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 9.3.2004

LEGAL DESCRIPTION

A tract of land situate within section 13, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 2, UNIT 1, BUENA VISTA ESTATES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 21, 1997 in Volume 97c, Folio 257 and containing 2.5304 acres more or less.

NOTES

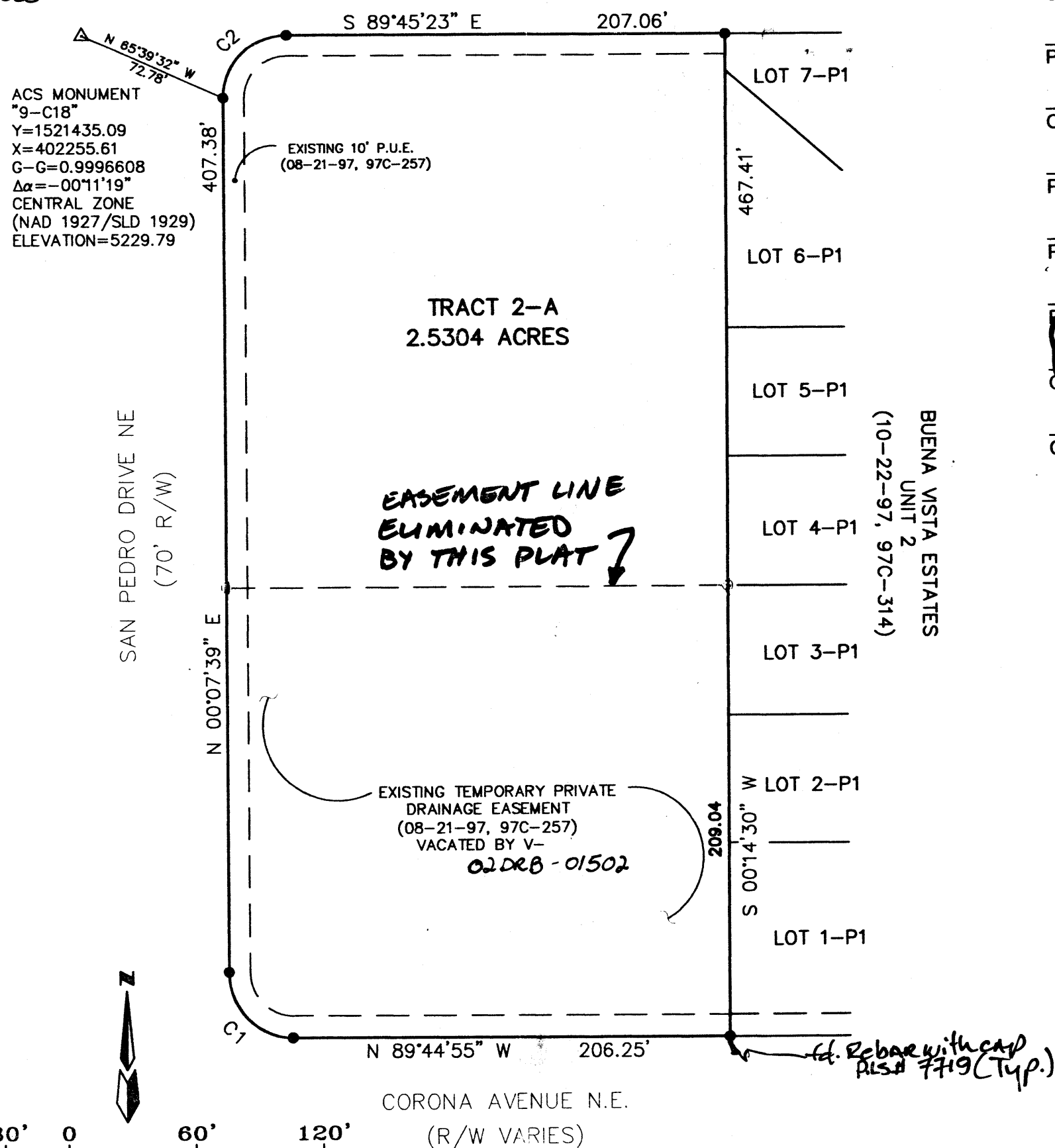
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary is from the plats of record entitled: BUENA VISTA ESTATES, UNIT 1 (08-21-97, 97C-257) BUENA VISTA ESTATES, UNIT 2 (10-22-97, 97C-314) all being records of Bernalillo County, New Mexico.
- Field Survey: performed March, 2002.
- Title Report: None provided.
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: SU-2 IP
- Utility Council Location System Log No.: 2002142311

PURPOSE OF PLAT

- To vacate existing temporary private drainage easement as shown hereon.

NUMBER	RADIUS	DELTA ANGLE	ARC LENGTH	TANGENT	CHORD BEARING	CHORD LENGTH
C1	30.00	89°52'34"	47.06	29.94	N 44°48'38" W	42.38
C2	30.00	90°06'58"	47.18	30.06	N 45°11'08" E	42.47

WILSHIRE AVENUE N.E.
(R/W VARIES)



2882148425
5755598
Page: 1 of 1
11/14/2002 10:38P
Bk-2882C Pg-363

REPLAT FOR
TRACT 2-A, UNIT 1
BUENA VISTA ESTATES
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTIONS 13
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2002

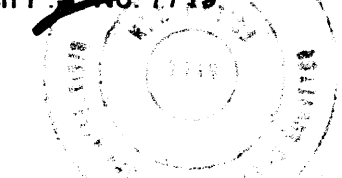
APPROVED AND ACCEPTED BY:

- APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.
- Subdivision Case No. 1002254 // 02DRB-01503
Sharon Nelson 11/12/02 Date
Planning Director, City of Albuquerque, N.M.
- Brad D. Bigler 11/12/02 Date
City Engineer, City of Albuquerque, N.M.
- Lynn M. Mason 10-30-02 Date
Albuquerque Metropolitan Arroyo Flood Control Authority
- Richard Dowd 10-30-02 Date
Transportation Development, City of Albuquerque, N.M.
- Roger A. Kean 10/30/02 Date
Utility Development Division, City of Albuquerque, N.M.
- Christina Sandoral 10/30/02 Date
Parks and Recreation
- NA 8-21-02 Date
City Surveyor, City of Albuquerque, N.M.
- NA Date
Property Management, City of Albuquerque, N.M.
- Paul R. Hill 8-22-02 Date
PNM Gas
- Paul R. Hill 8-22-02 Date
PNM Electric
- Dan D. Muller 8-22-02 Date
Qwest Telecommunications
- Rita Erickson 8-23-02 Date
Comcast Cable

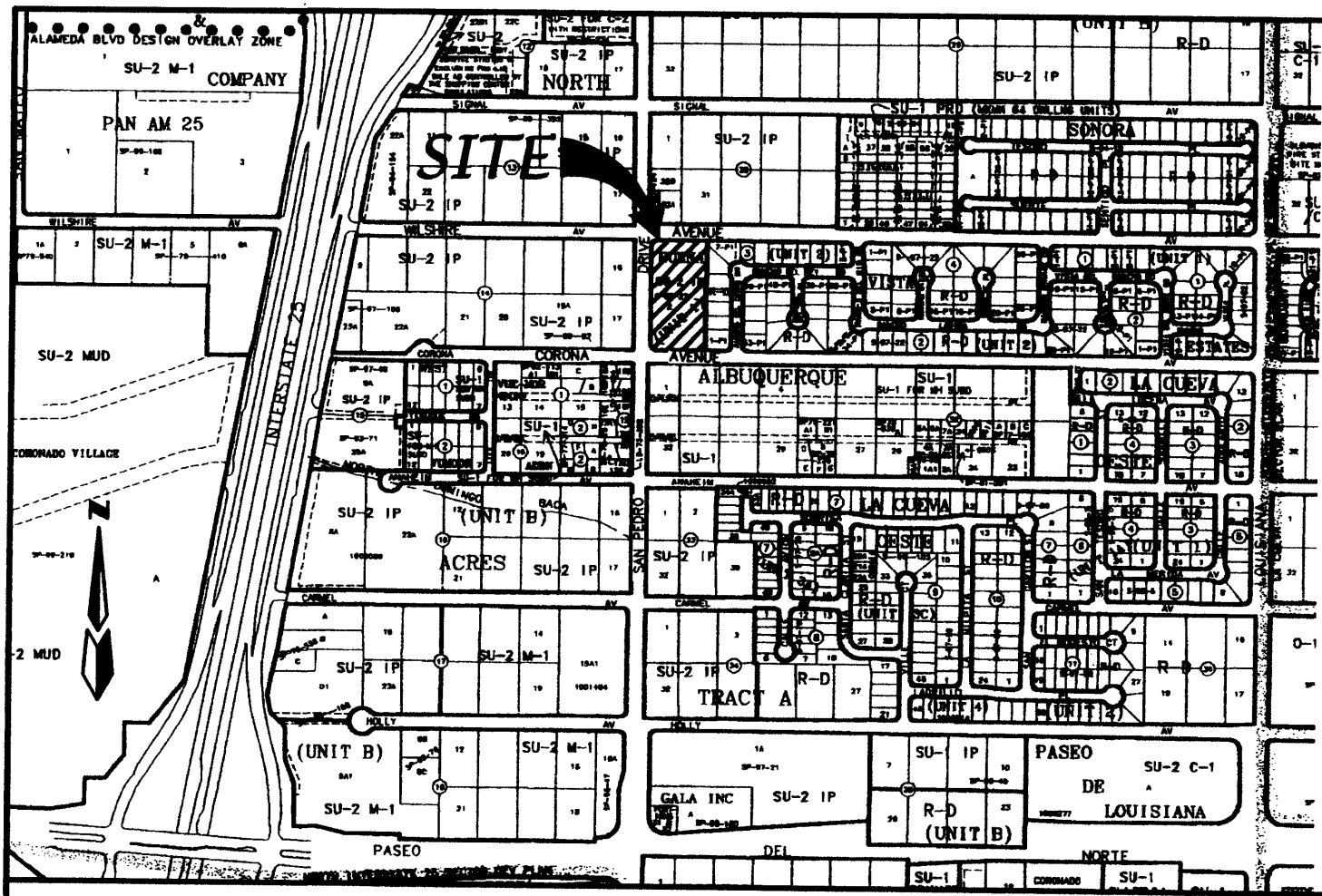
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 08-14-02
Timothy Aldrich P.S. No. 7719 Date



THIS IS TO CERTIFY THAT TAXES ARE CURRENT
ENCLOSURE # 1-018-064-285223-40501
Sunset West
Arthur Kavanaugh 11/14/02



LOCATION MAP

ZONE ATLAS C-18-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No's Project #
 Zone Atlas No. 2.5304
 No. of existing Tracts/Lots C-18-Z
 No. of Tracts/Lots created 1
 No. of Tracts/Lots eliminated 0
 Miles of full width streets created 0
 Area dedicated to the City of Albuquerque N/A
 Date of Survey March, 2002
 Utility Control Location System Log Number 2002142311

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: SUNSET WEST, A New Mexico Partnership
 BY: Mark F. Pagels, Sr., New Mexico Agent

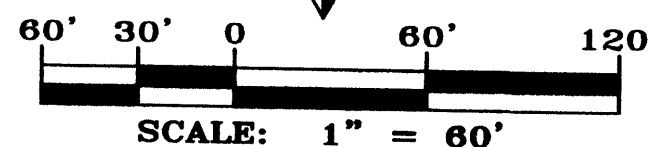
Mark F. Pagels Sr. 8/12/02
 Mark F. Pagels, Sr. Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on AUGUST 12, 2002
 By Mark F. Pagels, Sr., New Mexico Agent of SUNSET WEST
 A New Mexico Partnership on behalf of said Partnership.

Susan Rasinski 9.3.2004
 NOTARY PUBLIC MY COMMISSION EXPIRES
 OFFICIAL SEAL
 SUSAN RASINSKI
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My commission expires: 9.3.2004



LEGAL DESCRIPTION

A tract of land situate within section 13, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 2, UNIT 1, BUENA VISTA ESTATES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 21, 1997 in Volume 97c, Folio 257 and containing 2.5304 acres more or less.

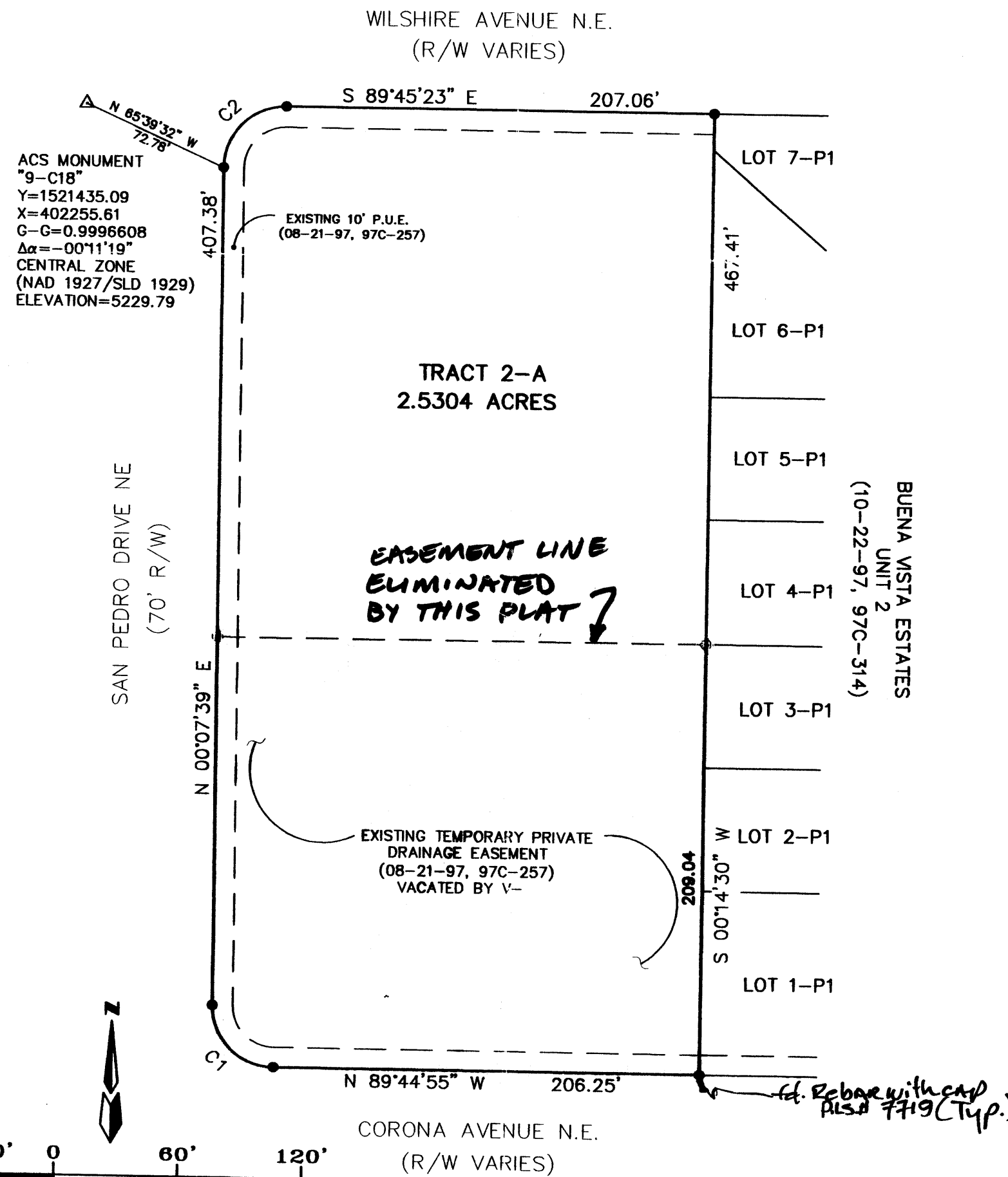
NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary is from the plats of record entitled: BUENA VISTA ESTATES, UNIT 1 (08-21-97, 97C-257) BUENA VISTA ESTATES, UNIT 2 (10-22-97, 97C-314) all being records of Bernalillo County, New Mexico.
- Field Survey: performed March, 2002.
- Title Report: None provided.
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: SU-2 IP
- Utility Council Location System Log No.: 2002142311

PURPOSE OF PLAT

- To vacate existing temporary private drainage easement as shown hereon.

NUMBER	RADIUS	DELTA ANGLE	ARC LENGTH	TANGENT	CHORD BEARING	CHORD LENGTH
C1	30.00	89°52'34"	47.06	29.94	N 44°48'38" W	42.38
C2	30.00	90°06'58"	47.18	30.06	N 45°11'08" E	42.47



REPLAT FOR
TRACT 2-A, UNIT 1
BUENA VISTA ESTATES

WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTIONS 13
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2002

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

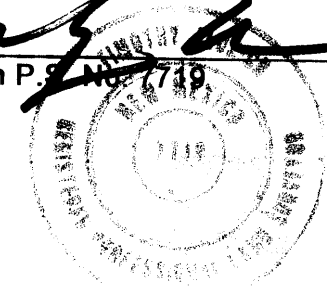
Subdivision Case No. _____
 Planning Director, City of Albuquerque, N.M. _____ Date _____
 City Engineer, City of Albuquerque, N.M. _____ Date _____
 Albuquerque Metropolitan Arroyo Flood Control Authority _____ Date _____
 Transportation Development, City of Albuquerque, N.M. _____ Date _____
 Utility Development Division, City of Albuquerque, N.M. _____ Date _____

Parks and Recreation _____ Date _____
Mark B. Hart 8-21-02
 City Surveyor, City of Albuquerque, N.M. _____ Date _____
 Property Management, City of Albuquerque, N.M. _____ Date _____
Paul R. Hill 8-22-02
 PNM Gas _____ Date _____
Paul R. Hill 8-22-02
 PNM Electric _____ Date _____
Dan D. Muller 8-22-02
 Qwest Telecommunications _____ Date _____
Rita Erickson 8-23-02
 Comcast Cable _____ Date _____

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

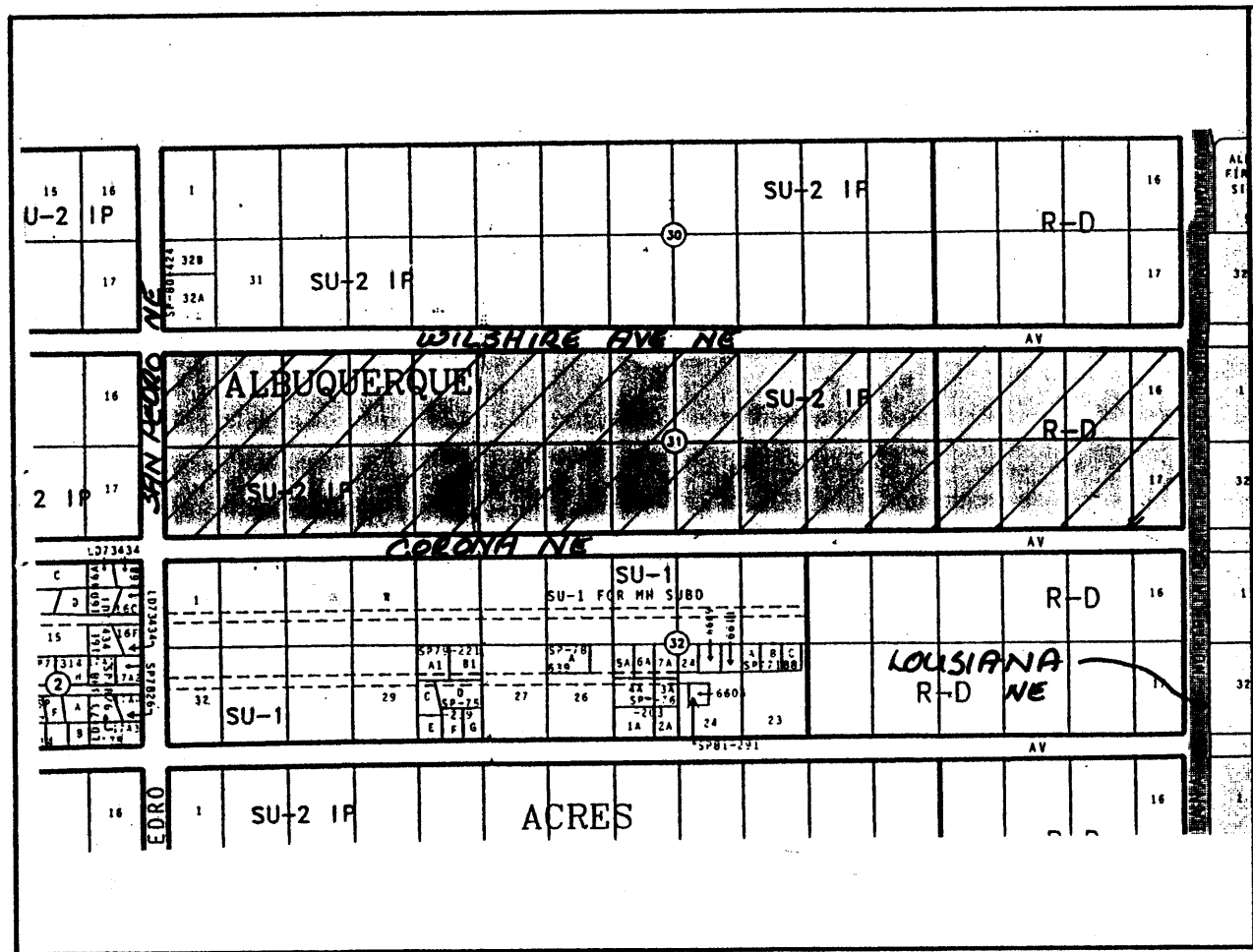
Timothy Aldrich 08-19-02
 Timothy Aldrich P.L.S. No. 7749 _____ Date _____



DATE 10/30/02
 VACATION EXHIBIT

Dwg: A1148PLAT.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 1
Scale: scale	Date: 08/09/02	Job: A01148	

F:\A01\JOB\S\A1148\PLAT\A1148PLAT.dwg, 08/09/02 01:55:32 PM, PLOTTED BY RDO



LOCATION MAP ZONE ATLAS MAP C-18
SCALE: NONE

SUBDIVISION DATA	
PLAT CASE NOS.	DRB. 97-2 S V.
GROSS ACREAGE	31.9707
ZONE ATLAS NO.	C-18
NO. OF EXISTING TRACTS/LOTS	32 LOTS
NO. OF TRACTS/LOTS CREATED	33 LOTS, 2 TRACTS
NO. OF TRACTS/LOTS ELIMINATED	32 LOTS
MILES OF FULL WIDTH STREETS CREATED	0.1969
AREA DEDICATED TO CITY OF ALBUQUERQUE	6.1403 AC
DATE OF SURVEY	JANUARY 1997
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER:	97020616050449

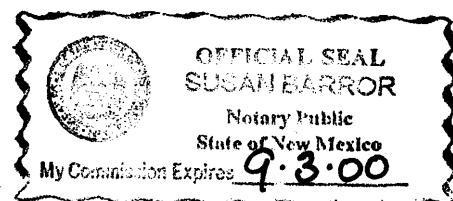
FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown as indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

Mark F. Pagels Sr.
SUNSET WEST, OWNER
by MARK F. PAGELS, SR., NM AGENT

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } ss
This instrument was acknowledged before me on March 4, 1997
Susan Barrera 9.3.00
NOTARY PUBLIC MY COMMISSION EXPIRES



LEGAL DESCRIPTION

A tract of land situate within the Elena Gallegos Grant, projected Section 13, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 1 thru 32, BLOCK 31, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, Folio 130 and being more particularly described as follows:

BEGINNING at the northwest corner of the herein described tract said point being the intersection of the centerline of San Pedro Drive N.E. and Wilshire Avenue N.E. from whence the Albuquerque Control Survey Monument "9-C18" bears S 41°10'44" W, 40.17 feet;

THENCE leaving said centerline of San Pedro Drive N.E. S 89°45'23" E, 2640.18 feet along said centerline of Wilshire Avenue N.E. to the northeast corner, said point being the intersection of said centerline of Wilshire Avenue N.E. and the centerline of Louisiana Boulevard N.E.;

THENCE leaving said centerline of Wilshire Avenue N.E. S 00°12'23" W, 527.74 feet along said centerline of Louisiana Boulevard N.E. to the southeast corner, said point being the intersection of said centerline of Louisiana Boulevard N.E. and the centerline of Corona Avenue N.E.;

THENCE leaving said centerline of Louisiana Boulevard N.E. N 89°44'55" W, 2639.46 feet along said centerline of Corona Avenue N.E. to the southwest corner, said point being the intersection of said centerline of Corona Avenue N.E. and said centerline of San Pedro Drive N.E.;

THENCE leaving said centerline of Corona Avenue N.E. N 00°07'39" E, 527.37 feet along said centerline of San Pedro Drive N.E. to the point of beginning and containing 31.9707 acres more or less.

PURPOSE OF PLAT

1. SUBDIVIDE THE EXISTING LOTS 1 THROUGH 32, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES INTO 33 RESIDENTIAL LOTS AND 2 TRACTS.
2. TO GRANT NEW RIGHT-OF-WAY AND EASEMENTS AS SHOWN.

NOTES (continued on sheet 2)

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and Distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
"NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B"
(04-24-36, D-130)
records of Bernalillo County, New Mexico.
5. Date of Survey: January, 1997.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: SU-2 IP & R-D

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991 and February 2, 1994), and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 03-10-97
TIMOTHY ALDRICH, P.S. No. 7719 DATE

97085992

State of New Mexico } ss
County of Bernalillo }
This instrument was filed for record on

2:54 AUG 21 1997
A 10 clock P.M. Recorded in Vol. 970
of records of said County Folio 257
Judy Woodward, Clerk & Recorder
Deputy Clerk

PLAT FOR
**BUENA VISTA
ESTATES
UNIT I**

WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 13
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY 1997



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC #30UPC's See Attached List
PROPERTY OWNER OF RECORD:
Eunice A. Schumacher / ZRC Limited
BERNALILLO COUNTY TREASURER'S OFFICE:
Josephine M. Seneca
9-97-22

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article XI of Chapter 7 of the Revised Ordinances of Albuquerque, New Mexico.

<i>Lyne L. Dine</i>	8/21/97
Planning Director, City of Albuquerque, N.M.	Date
<i>R. K. ...</i>	8/13/97
City Engineer, City of Albuquerque, N.M.	Date
<i>...</i>	8-15-97
Albuquerque Metropolitan Agency Flood Control Authority	Date
<i>...</i>	7-01-97
Transportation Development, City of Albuquerque, N.M.	Date
<i>John ...</i>	7-1-97
Utility Development Division, City of Albuquerque, N.M.	Date
<i>...</i>	7-1-97
Parks Design and Development, C.I.P., City of Albuquerque, N.M.	Date
<i>...</i>	031897
City Surveyor, City of Albuquerque, N.M.	Date
<i>...</i>	8-14-97
Property Management, City of Albuquerque, N.M.	Date
<i>Rubi Philli</i>	4-2-97
PNM GAS	Date
<i>Naomi Segura</i>	4-02-97
U.S. West Telecommunications	Date
<i>Rubi Philli</i>	4-2-97
PNM ELECTRIC	Date
<i>Violet Watson</i>	4-2-97
Jones Intercable, Inc.	Date

**BUENA VISTA
ESTATES
UNIT I**

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed:	Drawn: B.J.G.	Checked: ALS	Sheet 1 of 6
Scale: 1"=50'	Date: 2/14/97	Job: 96156	

6156ONE\03-03-97

PLAT FOR
**BUENA VISTA
 ESTATES
 UNIT I**
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 13
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 1997

97085992
 State of New Mexico } SS
 County of Bernalillo }
 This instrument was filed for record on
 2:54 AUG 21 1997
 of records of said County-File # 257
 Judy Woodward, Clerk & Recorder
 Deputy Clerk

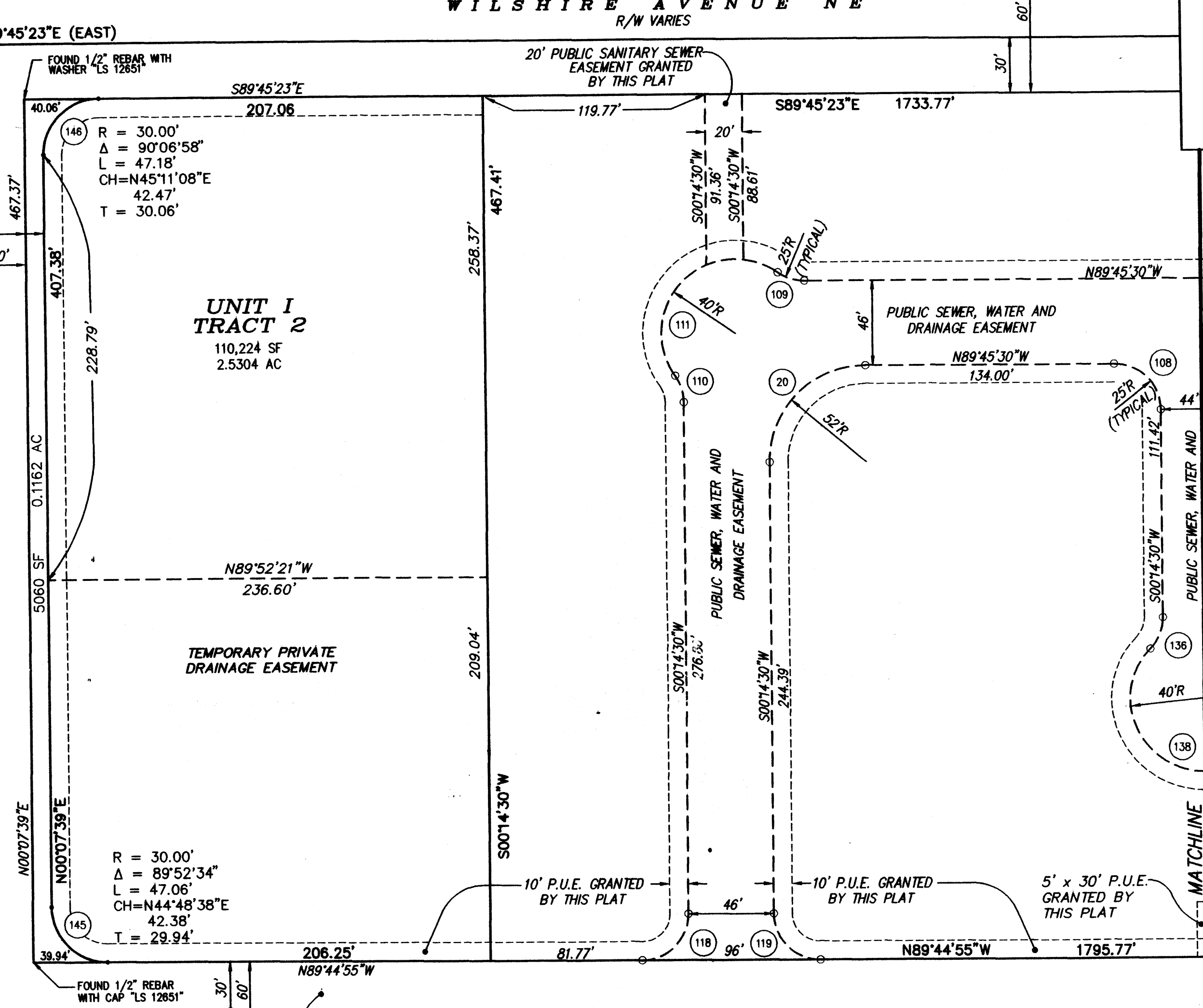
SEE SHEET 3

ACS MONUMENT
 9-C18"
 Y=1521435.09
 X=402255.61
 G-C=0.9996608
 Δα=0011'19"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5229.79

10' ADDITIONAL R/W DEDICATION
 SAN PEDRO DRIVE NE
 60' R/W
 STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. (TYP.) (4.2801 ACRES)

ACS MONUMENT
 11-D18"
 Y=1518764.72
 X=402300.89
 G-C=0.99966051
 Δα=0011'18"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5235.67

SCALE: 1" = 50'



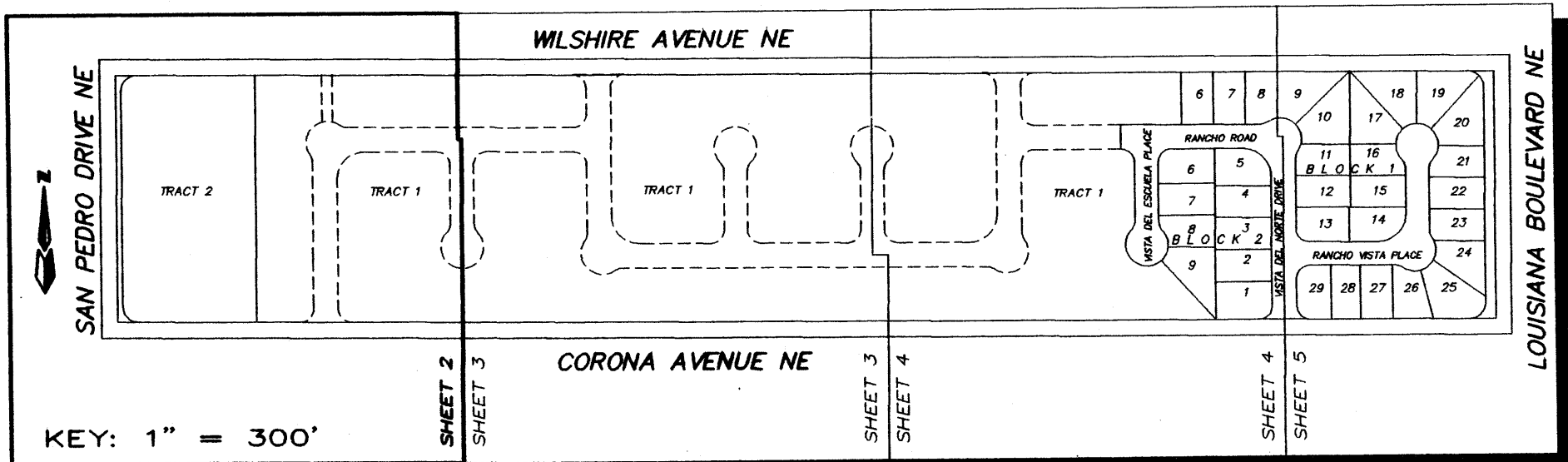
NOTES (continued from sheet 1)

9. In the event grantor constructs any improvements within the public waterline and sanitary sewer line easements as shown hereon, the City as the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work affects any improvements or Encroachments made by the Grantor, the City will not be financially or otherwise responsible for the rebuilding or repairing of Improvements or Encroachments. If, in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or Encroachments.

10. "City of Albuquerque Water and Sanitary Sewer Service to BUENA VISTA ESTATES UNIT I must be verified and coordinated with the Public Works Department, City of Albuquerque."

11. Per FEMA panel No. 35001C0137 D, September 20, 1997, a portion of these properties are in the 100-year floodplain, and may require flood insurance.

NOTE: Δ
 Centerline (in lieu of R/W) monumentation is to be installed at all centerline PC's, PT's, angle points and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monument", "Do Not Disturb", "PLS # 7719".



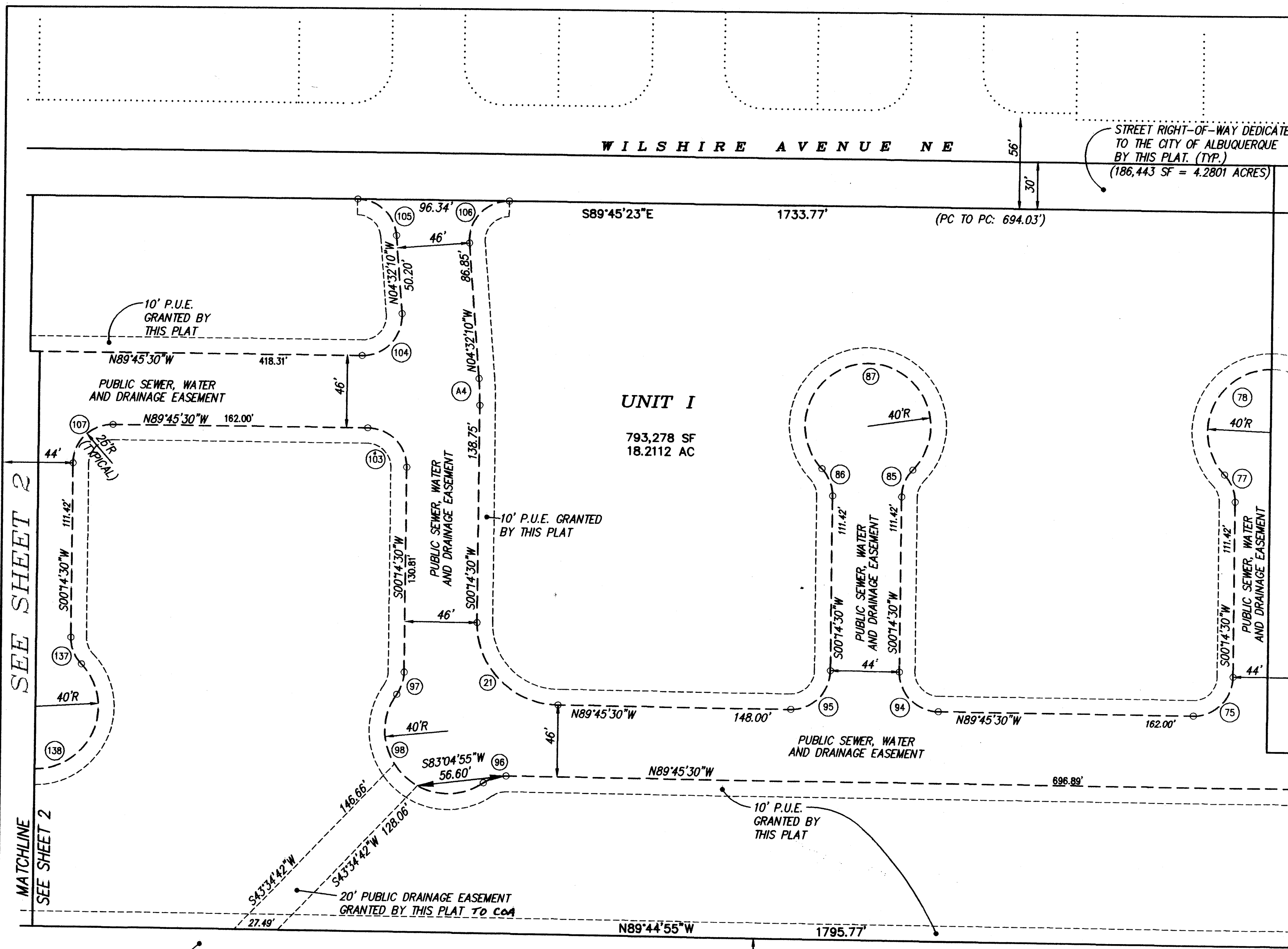
**BUENA VISTA
 ESTATES
 UNIT I**

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS & SURVEYORS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

dwg: 6156one2	Drawn: BJB	Checked: ALS	Sheet 2 of 6
Scale: 1"=50'	Date: 7-21-97	Job: 96156	

PLAT FOR
**BUENA VISTA
 ESTATES
 UNIT I**
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 13
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 1997

State of New Mexico } SS
 County of Bernalillo }
 This instrument was filed for record on
 2:54 AUG 21 1997
 At _____ o'clock _____ P.M. Recorded in Vol. _____ of records of said County Folio 257
 Judy Woodward, Clerk & Recorder
 Deputy Clerk
97085992

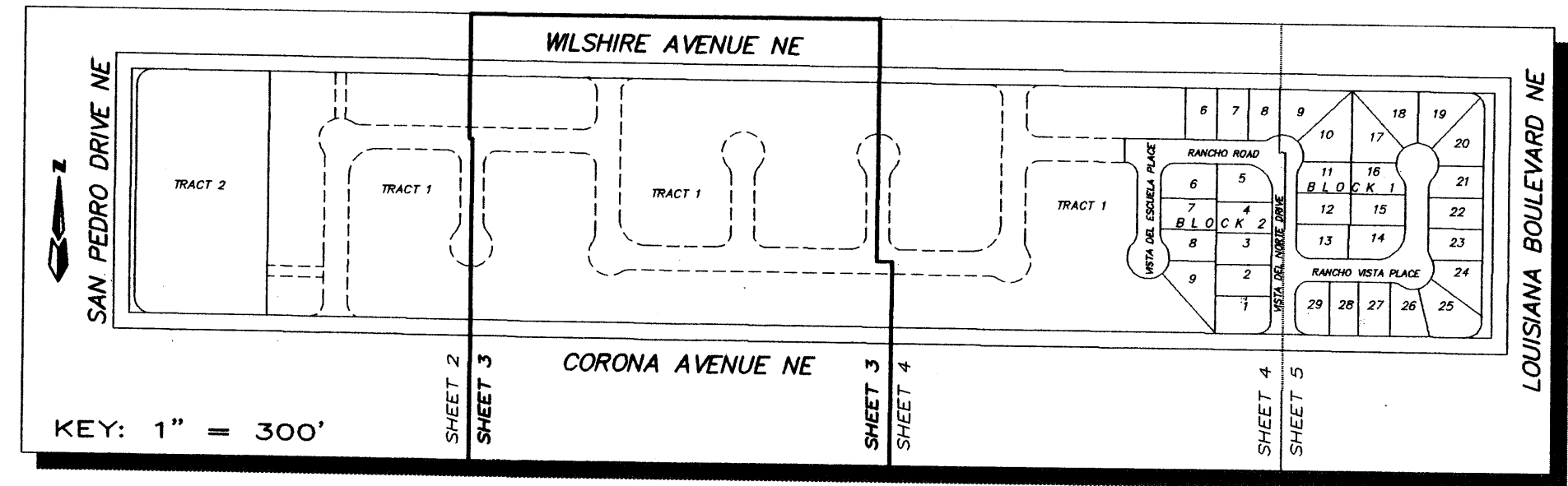
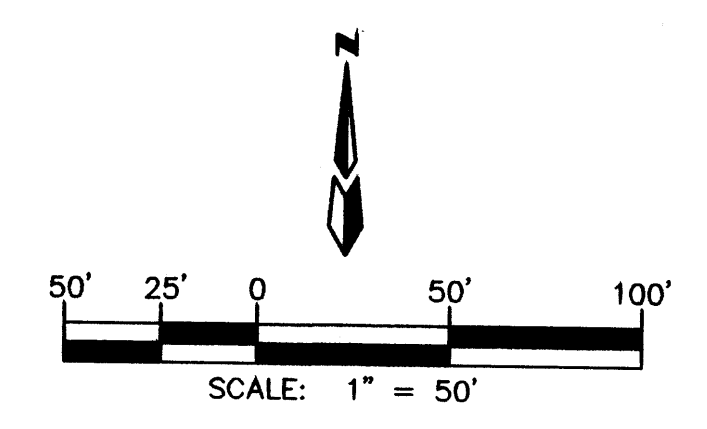


UNIT I
 793,278 SF
 18.2112 AC

STREET RIGHT-OF-WAY DEDICATED
 TO THE CITY OF ALBUQUERQUE
 BY THIS PLAT. (TYP.)
 (186,443 SF = 4.2801 ACRES)

CORONA AVENUE NE
 R/W VARIES

NOTE: Δ
 Centerline (in lieu of R/W) monumentation is to be installed at all centerline PC's, PT's, angle points and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monument", "Do Not Disturb", "PLS # 7719".



**BUENA VISTA
 ESTATES
 UNIT I**

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS & SURVEYORS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

Designed:	Drawn: BJK	Checked: ALS	Sheet 3 of 6
Scale: 1"=50'	Date: 7-14-97	Job: 96156	

61560NE3

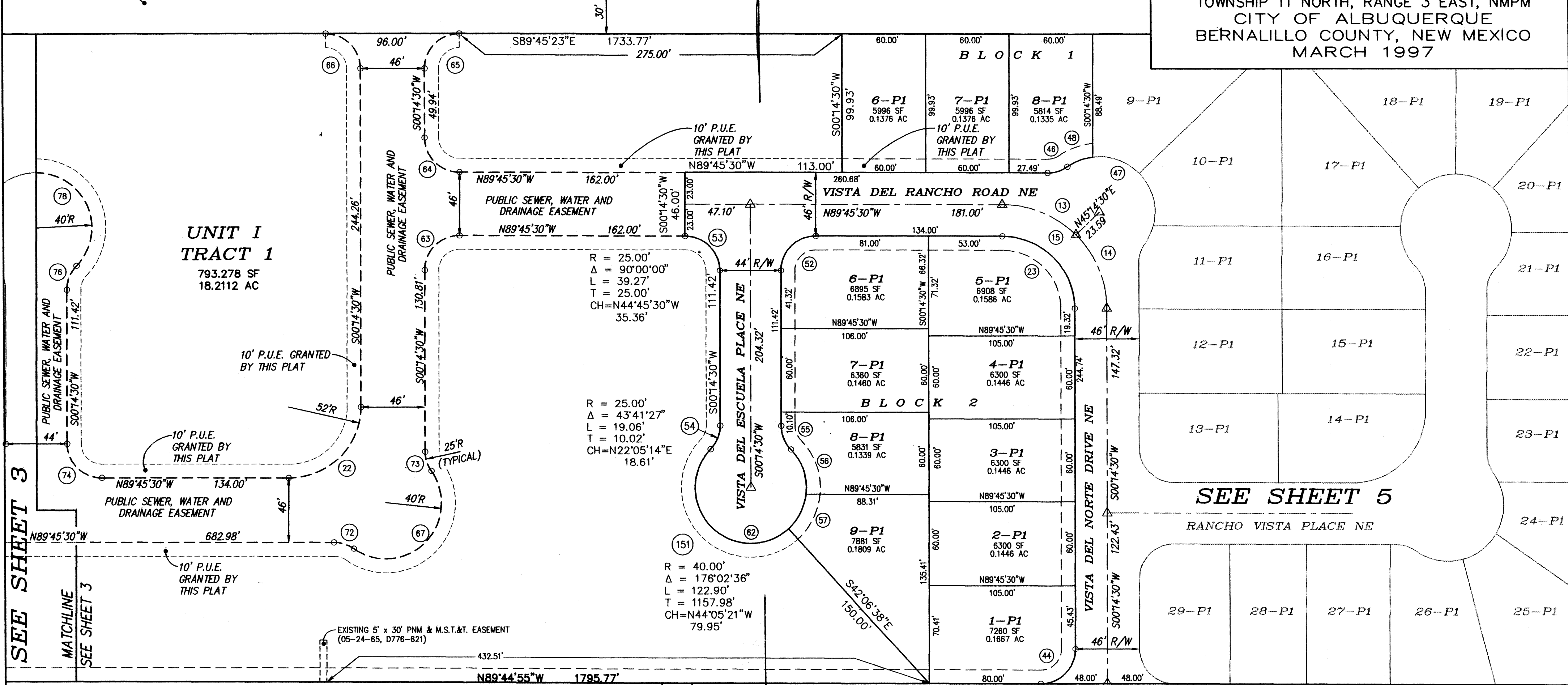
State of New Mexico } SS
 County of Bernalillo }
 This instrument was filed for record on
 2:54 AUG 21 1997 gnc
 At _____ o'clock _____ PM, Recorded in Vol. _____
 of records of said County Folio 257
 Judy D. Woodward, Clerk & Recorder
 Deputy Clerk

PLAT FOR
**BUENA VISTA
 ESTATES
 UNIT I**
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 13
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 1997

STREET RIGHT-OF-WAY DEDICATED
 TO THE CITY OF ALBUQUERQUE
 BY THIS PLAT. (TYP.)
 (186,443 SF = 4.2801 ACRES)

WILSHIRE AVENUE NE
 R/W VARIES

SANTIDO
 PLACE
 NE
 RD



**UNIT I
 TRACT 1**
 793,278 SF
 18.2112 AC

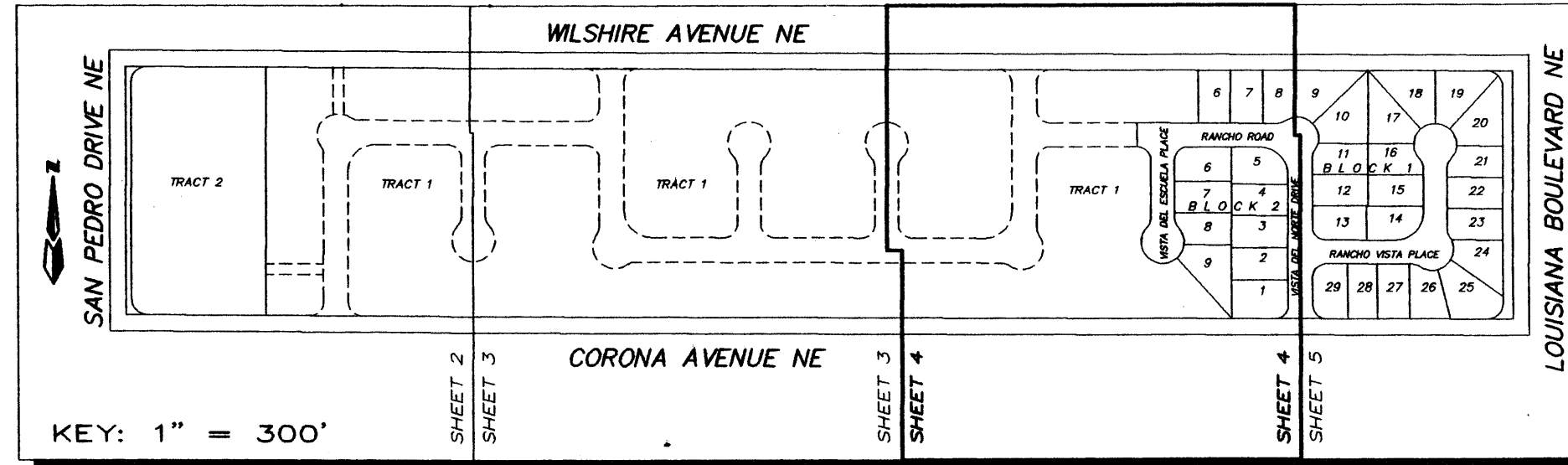
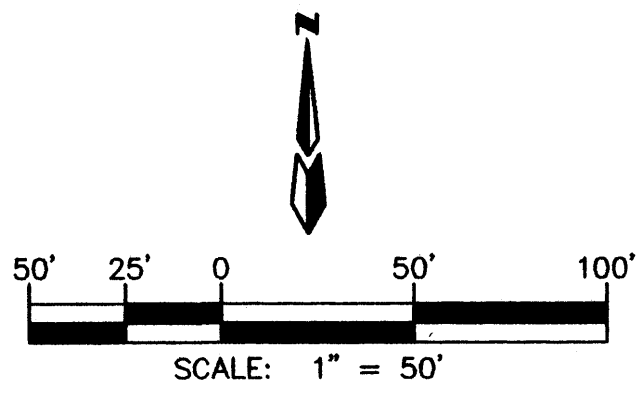
R = 25.00'
 Δ = 90°00'00"
 L = 39.27'
 T = 25.00'
 CH=N44°45'30"W
 35.36'

R = 25.00'
 Δ = 43°41'27"
 L = 19.06'
 T = 10.02'
 CH=N22°05'14"E
 18.61'

R = 40.00'
 Δ = 176°02'36"
 L = 122.90'
 T = 1157.98'
 CH=N44°05'21"W
 79.95'

SEE SHEET 5

NOTE: Δ
 Centerline (in lieu of R/W) monumentation is to be installed at all centerline PC's, PT's, angle points and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monument", "Do Not Disturb", "PLS # 7719".



STREET RIGHT-OF-WAY DEDICATED
 TO THE CITY OF ALBUQUERQUE
 BY THIS PLAT. (TYP.)
 (186,443 SF = 4.2801 ACRES)

**BUENA VISTA
 ESTATES
 UNIT I**

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS & SURVEYORS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 345-2010

Designed:	Drawn: B.J.G.	Checked: ALS	Sheet 4 of 6
Scale: 1"=50'	Date: 3/4/97	Job: 96156	

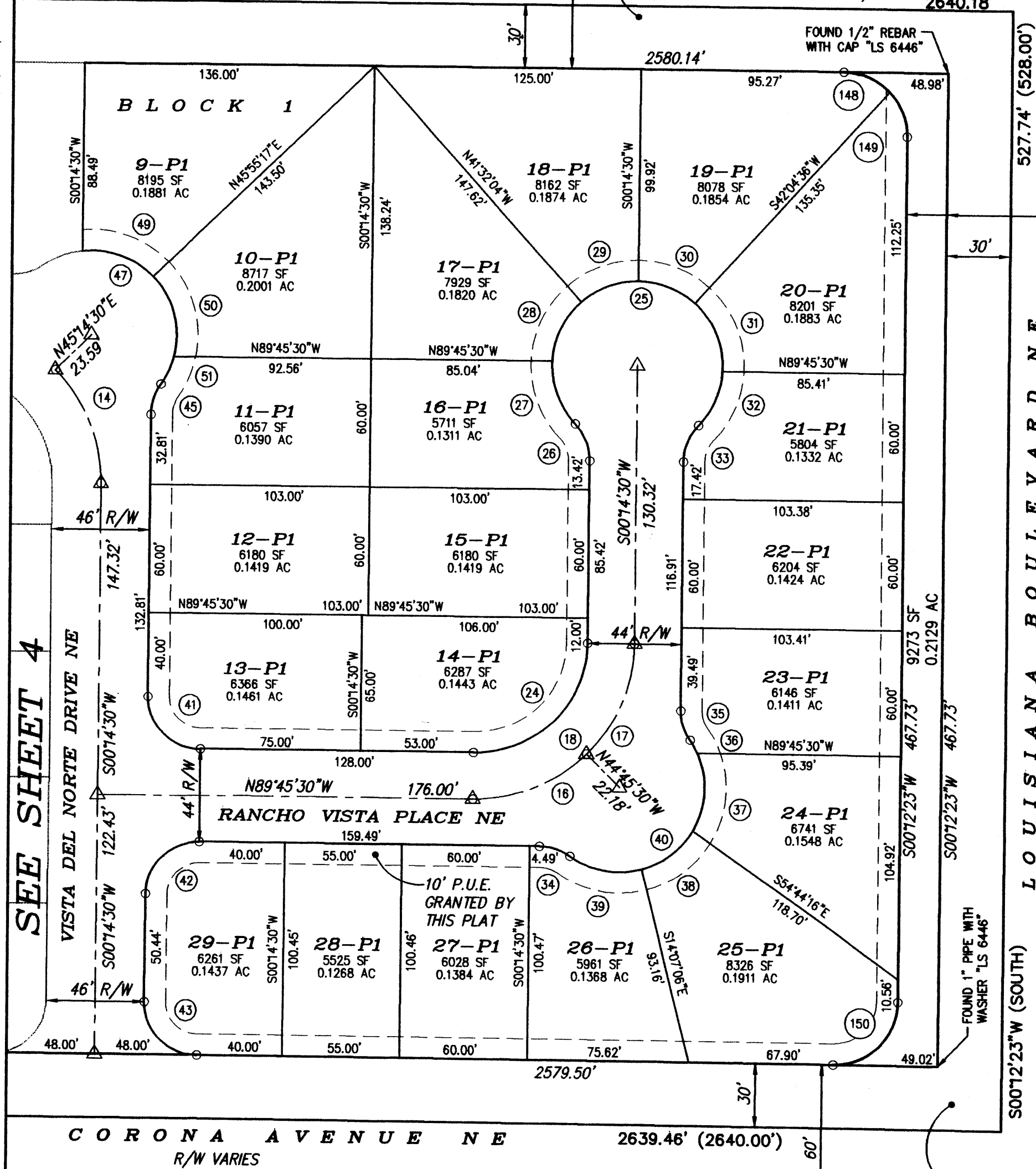
61560NE4104-28-97

NOTE: Δ

Centerline (in lieu of R/W) monumentation is to be installed at all centerline PC's, PT's, angle points and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monument", "Do Not Disturb", "PLS # 7719".

WILSHIRE AVENUE NE
R/W VARIES

STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. (TYP.)
(186,443 SF = 4.2801 ACRES)
2640.00'
2640.18'



LOUISIANA BOULEVARD NE
R/W VARIES

STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. (TYP.)
(186,443 SF = 4.2801 ACRES)

CURVE DATA

NO.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
73	25.00'	34°56'22"	15.25'	N 17° 13' 41" W 15.01'
74	25.00'	90°00'00"	39.27'	N 44° 45' 30" W 35.36'
75	25.00'	90°00'00"	39.27'	N 45° 14' 30" E 35.36'
76	25.00'	43° 41'27"	19.06'	N 22° 05' 14" E 18.61'
77	25.00'	43° 41'27"	19.06'	N 21° 36' 14" W 18.61'
78	40.00'	267°22'54"	186.67'	N 89° 45' 30" W 57.85'
85	25.00'	43° 41'27"	19.06'	N 22° 05' 14" E 18.61'
86	25.00'	43° 41'27"	19.06'	N 21° 36' 14" W 18.61'
87	40.00'	267°22'54"	186.67'	N 89° 45' 30" W 57.85'
94	25.00'	90°00'00"	39.27'	N 44° 45' 30" W 35.36'
95	25.00'	90°00'00"	39.27'	N 45° 14' 30" E 35.36'
96	25.00'	35° 01'49"	15.28'	N 72° 43' 36" E 15.05'
97	25.00'	34°56'22"	15.25'	N 17° 42' 41" E 15.01'
98	40.00'	159°58' 11"	111.62'	N 44° 48' 13" W 78.77'
103	25.00'	90°00'00"	39.27'	N 44° 45' 30" W 35.36'
104	25.00'	96°46'40"	41.35'	N 42° 51' 10" E 36.80'
105	25.00'	85°13'13"	37.18'	N 47° 08' 47" W 33.85'
106	25.00'	94°46'48"	41.36'	N 42° 51' 14" E 36.80'
107	25.00'	90°00'00"	39.27'	N 45° 14' 30" E 35.36'
108	25.00'	90°00'00"	39.27'	N 44° 45' 30" W 35.36'
109	25.00'	34°56'22"	15.25'	N 17° 13' 41" W 15.01'
110	25.00'	34°56'22"	15.25'	N 17° 13' 41" W 15.01'
111	40.00'	159°52'44"	111.62'	N 45° 14' 30" E 78.77'
118	25.00'	90°00'35"	39.27'	N 45° 14' 48" E 35.36'
119	25.00'	89°59'25"	39.27'	N 44° 45' 12" W 35.35'
136	25.00'	43° 41'27"	19.06'	N 22° 05' 14" E 18.61'
137	25.00'	43° 41'27"	19.06'	N 21° 36' 14" W 18.61'
138	40.00'	267°22'54"	186.67'	N 89° 45' 30" W 57.85'
145	30.00'	89°52'34"	47.06'	N 44° 48' 38" W 42.38'
146	30.00'	90°06'58"	47.18'	N 45° 11' 08" E 42.47'
148	30.00'	46°17'10"	24.24'	N 66° 36' 48" W 23.58'
149	30.00'	43°40'35"	22.87'	N 21° 37' 55" W 22.32'
150	30.00'	90°02'43"	47.15'	N 45° 13' 44" E 42.44'
151	40.00'	176°02'36"	122.90'	N 44° 05' 21" W 79.95'

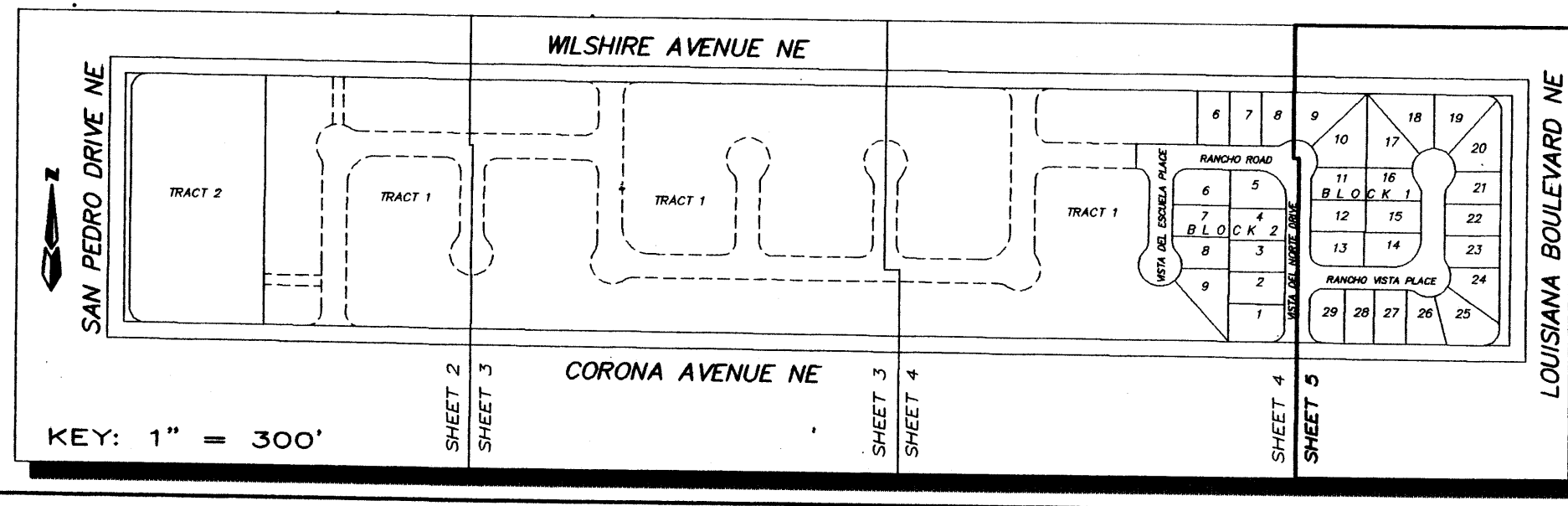
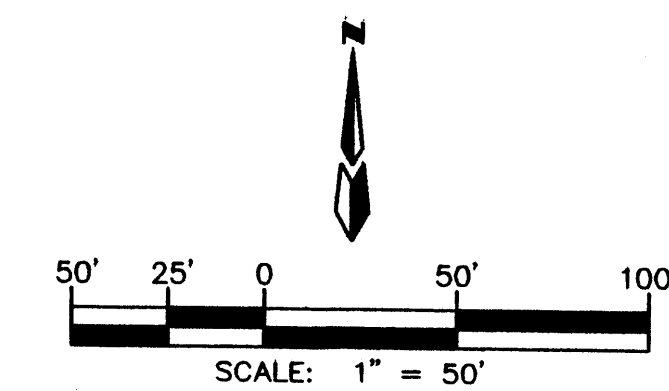
PLAT FOR
BUENA VISTA ESTATES UNIT I
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 13
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 1997

CURVE DATA 97085992

NO.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
13	75.00'	45°00'00"	58.90'	N 67° 15' 30" W 57.40'
14	75.00'	45°00'00"	58.90'	N 22° 15' 30" W 57.40'
15	75.00'	90°00'00"	117.81'	N 44° 45' 30" W 106.07'
16	75.00'	45°00'00"	58.90'	N 67° 44' 30" E 57.40'
17	75.00'	45°00'00"	58.90'	N 22° 44' 30" E 57.40'
18	75.00'	90°00'00"	117.81'	N 45° 14' 30" E 106.07'
20	52.00'	90°00'00"	81.68'	N 45° 14' 30" E 73.54'
21	52.00'	90°00'00"	81.68'	N 44° 45' 30" W 73.54'
22	52.00'	90°00'00"	81.68'	N 45° 14' 30" E 73.54'
23	52.00'	90°00'00"	81.68'	N 44° 45' 30" W 73.54'
24	53.00'	90°00'00"	83.25'	N 45° 14' 30" E 74.95'
25	40.00'	267°22'54"	186.67'	N 89° 45' 30" W 57.85'
26	25.00'	43° 41'27"	19.06'	N 21° 36' 14" W 18.61'
27	40.00'	46°06'11"	32.19'	N 20° 23' 52" W 31.32'
28	40.00'	45°48'42"	31.98'	N 25° 33' 35" E 31.14'
29	40.00'	41°46'34"	29.17'	N 69° 21' 13" E 28.52'
30	40.00'	41°50'06"	29.21'	N 68° 50' 27" W 28.56'
31	40.00'	51°29'06"	35.94'	N 22° 10' 51" W 34.75'
32	40.00'	40°22'15"	28.18'	N 23° 44' 50" E 27.60'
33	25.00'	43° 41'27"	19.06'	N 22° 05' 14" E 18.61'
34	25.00'	34°56'22"	15.25'	N 17° 13' 41" W 15.01'
35	25.00'	34°56'22"	15.25'	N 17° 13' 41" W 15.01'
36	40.00'	10°14'17"	7.15'	N 29° 34' 44" W 7.14'
37	40.00'	54°50'35"	38.29'	N 02° 57' 42" E 36.84'
38	40.00'	44°12'04"	30.86'	N 52° 29' 02" E 30.10'
39	40.00'	50°35'48"	35.32'	N 80° 07' 02" W 34.19'
40	40.00'	159°52'44"	111.62'	N 45° 14' 30" E 78.77'
41	25.00'	90°00'00"	39.27'	N 44° 45' 30" W 35.36'
42	25.00'	90°00'00"	39.27'	N 45° 14' 30" E 35.36'
43	25.00'	89°59'25"	39.27'	N 44° 45' 12" W 35.35'
44	25.00'	90°00'35"	39.27'	N 45° 14' 48" E 35.36'
45	25.00'	34°56'22"	15.25'	N 17° 42' 41" E 15.01'
46	25.00'	34°56'22"	15.25'	N 17° 42' 41" E 15.01'
47	40.00'	159°52'44"	111.62'	N 44° 45' 30" W 78.77'
48	40.00'	28°10'06"	19.67'	N 69° 23' 11" E 19.47'
49	40.00'	52°27'03"	36.62'	N 70° 18' 15" W 35.35'
50	40.00'	58°50'44"	41.08'	N 14° 39' 21" W 39.30'
51	40.00'	20°24'51"	14.25'	N 24° 58' 26" E 14.18'
52	25.00'	90°00'00"	39.27'	N 45° 14' 30" E 35.36'
53	25.00'	90°00'00"	39.27'	N 44° 45' 30" W 35.36'
54	25.00'	43° 41'27"	19.06'	N 22° 05' 14" E 18.61'
55	25.00'	43° 41'27"	19.06'	N 21° 36' 14" W 18.61'
56	40.00'	50°52'18"	35.52'	N 18° 00' 48" W 34.36'
57	40.00'	40°28'01"	28.25'	N 27° 39' 21" E 27.67'
62	40.00'	267°22'54"	186.67'	N 89° 45' 30" W 57.85'
63	25.00'	90°00'00"	39.27'	N 45° 14' 30" E 35.36'
64	25.00'	90°00'00"	39.27'	N 44° 45' 30" W 35.36'
65	25.00'	90°00'00"	39.27'	N 45° 14' 30" E 35.36'
66	25.00'	89°59'53"	39.27'	N 44° 45' 27" W 35.35'
67	40.00'	159°52'44"	111.62'	N 45° 14' 30" E 78.77'
72	25.00'	34°56'22"	15.25'	N 17° 17' 19" W 15.01'
A4	203.00'	4°46'40"	16.93'	N 02° 08' 50" W 16.92'

The R.D. useable open space requirement will be met on the Lot with the dwelling as follows:

Location	Total Area	Build Area	Open Space
Block 1 Lot 6	5996 SF	2900 SF	3096 SF
Lot 7	5996 SF	2900 SF	3096 SF
Lot 8	5814 SF	3200 SF	2614 SF
Lot 9	8195 SF	3000 SF	5195 SF
Lot 10	8717 SF	2900 SF	5817 SF
Lot 11	6057 SF	3200 SF	2857 SF
Lot 12	6180 SF	2900 SF	3280 SF
Lot 13	6366 SF	3200 SF	3166 SF
Lot 14	6287 SF	3006 SF	3281 SF
Lot 15	6180 SF	2900 SF	3280 SF
Lot 16	5711 SF	3200 SF	2511 SF
Lot 17	7929 SF	2900 SF	5029 SF
Lot 18	8162 SF	3300 SF	4862 SF
Lot 19	8078 SF	3200 SF	4878 SF
Lot 20	8201 SF	2900 SF	5301 SF
Lot 21	5804 SF	2900 SF	2904 SF
Lot 22	6204 SF	2900 SF	3304 SF
Lot 23	6146 SF	3260 SF	2886 SF
Lot 24	6741 SF	2850 SF	3891 SF
Lot 25	8326 SF	3400 SF	4926 SF
Lot 26	5961 SF	2750 SF	3211 SF
Lot 27	6028 SF	2900 SF	3128 SF
Lot 28	5525 SF	2650 SF	2875 SF
Lot 29	6261 SF	2650 SF	3611 SF
Block 2 Lot 1	7260 SF	2900 SF	4360 SF
Lot 2	6300 SF	2900 SF	3400 SF
Lot 3	6300 SF	2900 SF	3400 SF
Lot 4	6300 SF	2900 SF	3400 SF
Lot 5	6908 SF	3422 SF	3486 SF
Lot 6	6895 SF	3300 SF	3595 SF
Lot 7	6360 SF	2900 SF	3460 SF
Lot 8	5831 SF	3000 SF	2831 SF
Lot 9	7881 SF	3000 SF	4881 SF



BUENA VISTA ESTATES UNIT I

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

Designed:	Drawn: BJK	Checked: ALS	Sheet 5 of 6
Scale: 1"=50'	Date: 7-14-97	Job: 96156	

