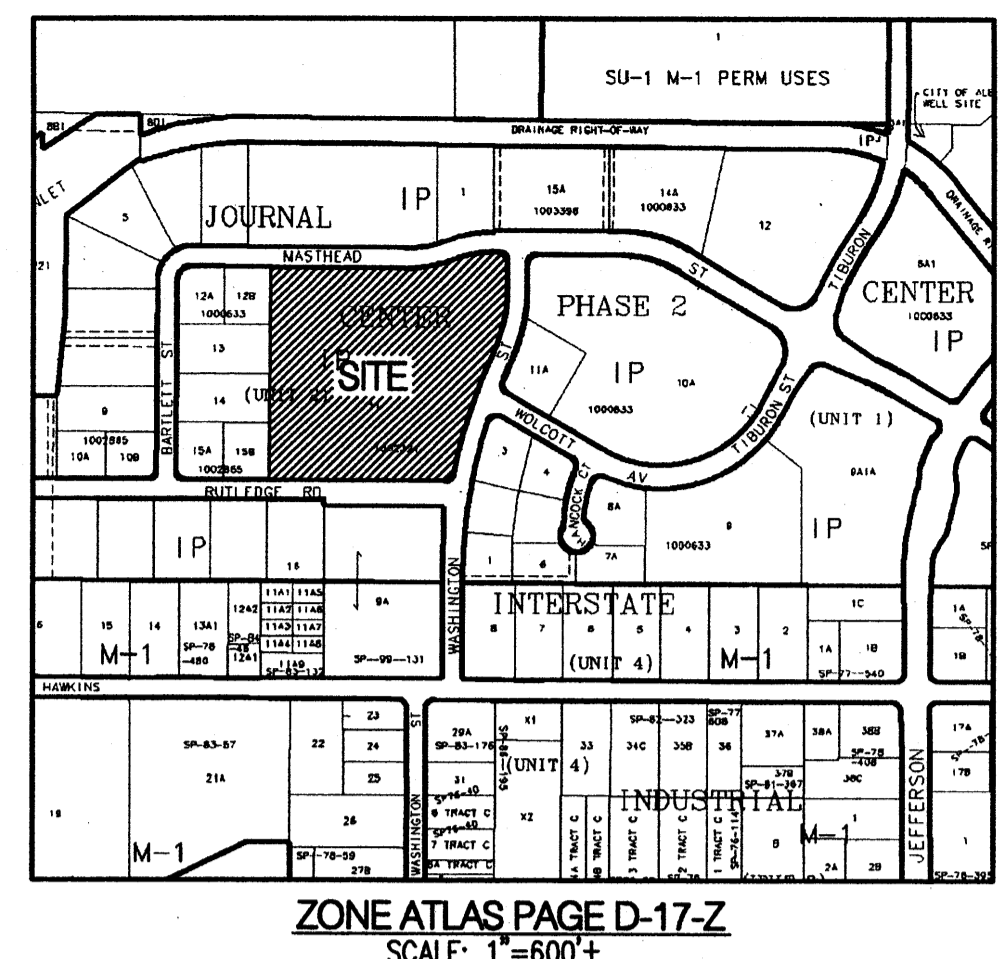
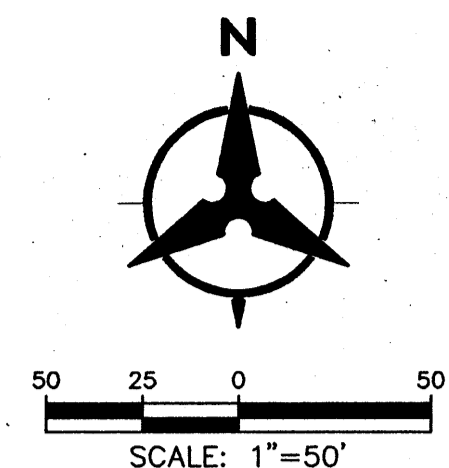


GENERAL NOTES

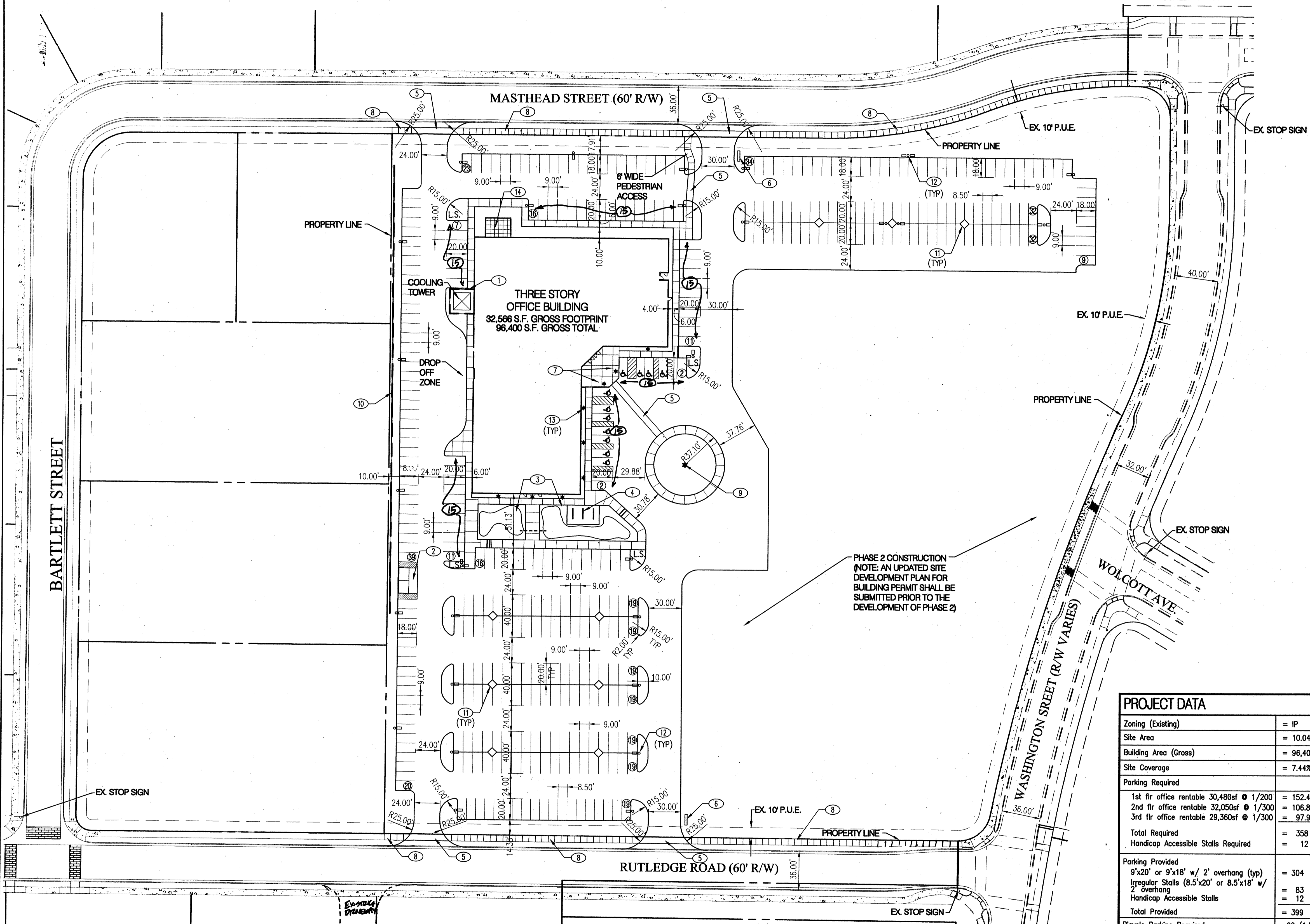
1. SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
2. UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
3. SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 24' HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.



LEGAL DESCRIPTION
 TRACT 11 OF JOURNAL CENTER UNIT 2, PHASE 2
 ALBUQUERQUE, NM, MARCH, 2003

KEYED NOTES

1. 4' HIGH MASONRY SCREEN WALL TO MATCH BUILDING.
2. MASONRY REFUSE ENCLOSURE TO MATCH BUILDING. MIN 6' HIGH. SEE DETAIL ON SHEET AS1.1
3. WATER HARVESTING AREA
4. BICYCLE PARKING (21 SPACES)
5. 6' WIDE, PIGMENTED CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2% MAX. CROSS SLOPE) CURB CUT & DRIVEPAD PER COA AND PER PLAN 2426
6. MONUMENT SIGN (MAX 60SF, MAX 6' HIGH) SEE DETAILS ON SHEET AS1.1
7. FLAG POLE (30' HIGH), TOTAL 2 FLAG POLES ON SITE
8. NEW 6' WIDE SIDEWALK PER COA STD DWG 2430
9. ELK SCULPTURE
10. 3' HIGH MASONRY RETAINING WALL. (SPLIT FACE CALL PER JOURNAL CENTER 2 STDS.)
11. 6'x6' TREE PLANTER (TYP)
12. SITE LIGHTING PER DETAIL ON SHEET C1.1 (TYP)
13. BOLLARD LIGHTING PER DETAIL ON SHEET C1.1
14. FENCED PATIO FOR EMPLOYEES (UNCOVERED) including tables, benches and chairs.
15. PARKING SPACES REQUIRE PARKING BUMPERS AT 2' FROM SIDEWALK



PHASE 2 CONSTRUCTION
 (NOTE: AN UPDATED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SHALL BE SUBMITTED PRIOR TO THE DEVELOPMENT OF PHASE 2)

PROJECT DATA	
Zoning (Existing)	= IP
Site Area	= 10,0496 ac.
Building Area (Gross)	= 96,400 sf
Site Coverage	= 7.44% sf
Parking Required	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,360sf @ 1/300	= 97.9
Total Required	= 358
Handicap Accessible Stalls Required	= 12
Parking Provided	
9'x20' or 9'x18' w/ 2' overhang (typ)	= 304
Irregular Stalls (8.5'x20' or 8.5'x18' w/ 2' overhang)	= 83
Handicap Accessible Stalls	= 12
Total Provided	= 399
Bicycle Parking Required	= 20 (1/20 automobile spaces)
Bicycle Parking Provided	= 21 (3 rows of 7 each)

DRAWING INDEX

C1.0	- SITE PLAN
C1.1	- SITE DETAILS
L1.0	- LANDSCAPE PLAN
A2.0	- PRELIMINARY GRADING PLAN
A2.1	- BUILDING & STRUCTURE ELEVATIONS
A2.2	- BUILDING & STRUCTURE ELEVATIONS
AS1.1	- REFUSE ENCLOSURE AND MONUMENTAL SIGN DETAILS
C3.0	- CONCEPTUAL UTILITY PLAN

PROJECT NUMBER: **1008321**

Application Number: **05DRB-01333**

is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	Date: 7-14-05
<i>[Signature]</i> Water Utility Department	Date: 9-14-05
<i>[Signature]</i> Parks and Recreation Department	Date: 9-14-05
<i>[Signature]</i> Bradley J. Bigham City Engineer	Date: 9/14/05
<i>[Signature]</i> *Environmental Health Department (conditional)	Date: _____
<i>[Signature]</i> Solid Waste Management	Date: 8-19-05
<i>[Signature]</i> DRB Chairperson, Planning Department	Date: 9/22/05

*Environmental Health, if necessary.

Site Development Plan Approval

This plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1980 (AV-79-13, 2-79-80-2) and the IP zone.

It conforms with the comments rendered by the Development Review Board on _____, 198____ As reflected in DRB _____.

1306 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-255-6400 505-268-8954 FAX
 WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES

NEW MEXICO

ALBUQUERQUE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Site Plan

PROJECT # 1008321

REVISIONS

MK	DATE	DESCRIPTION

DRAWN BY: **RWB** CHECKED BY: **JTW**

JOB NUMBER: **A462**

DATE: **AUGUST 19, 2005**

SHEET NO: **C1.0**

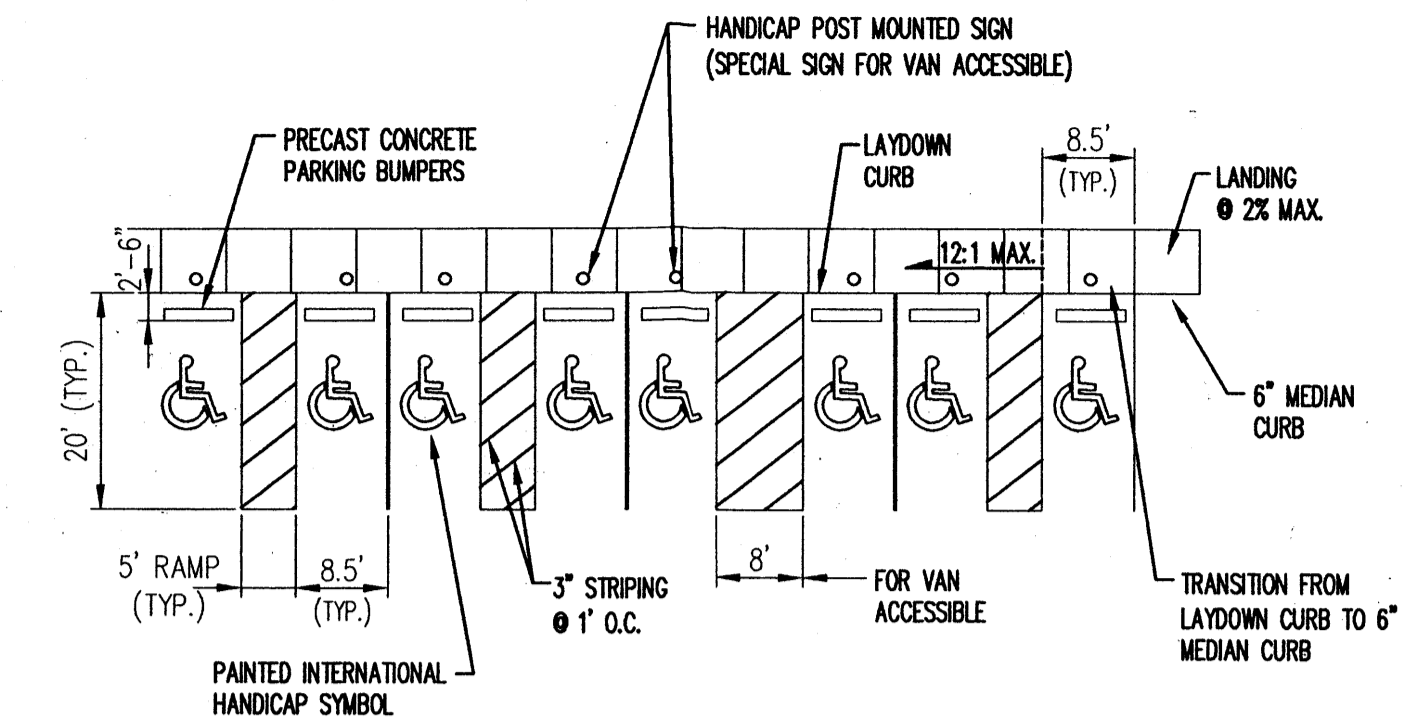
Bohannon & Huston

Courtyard I 7600 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

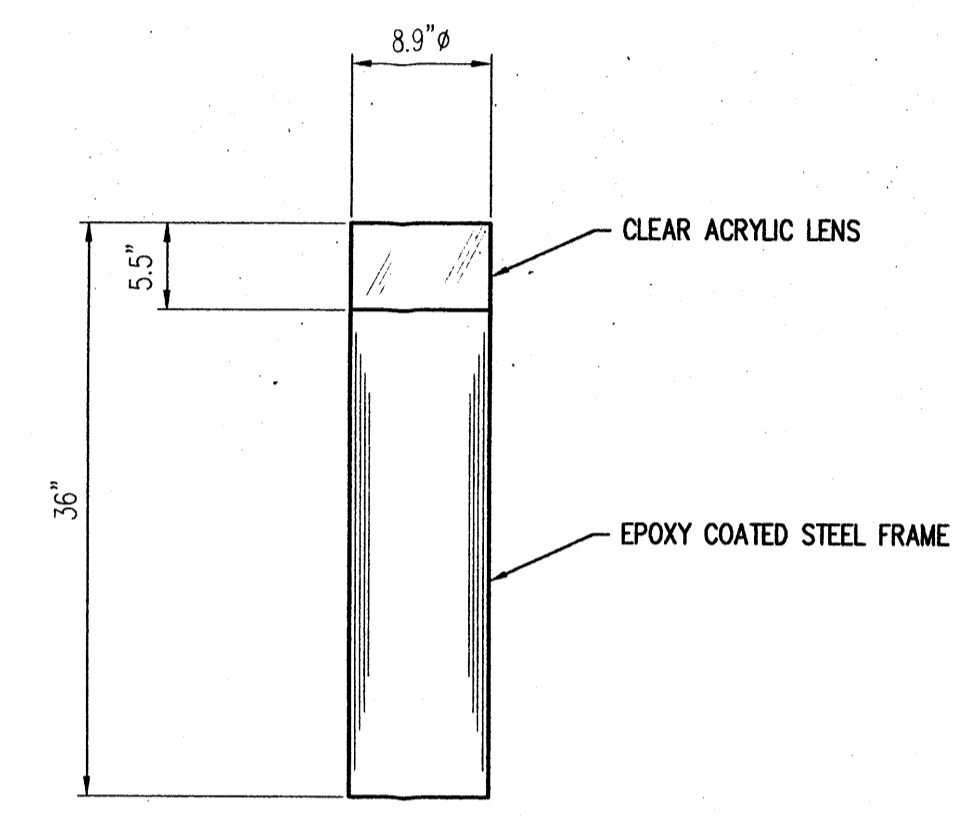
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JOB NUMBER: A462

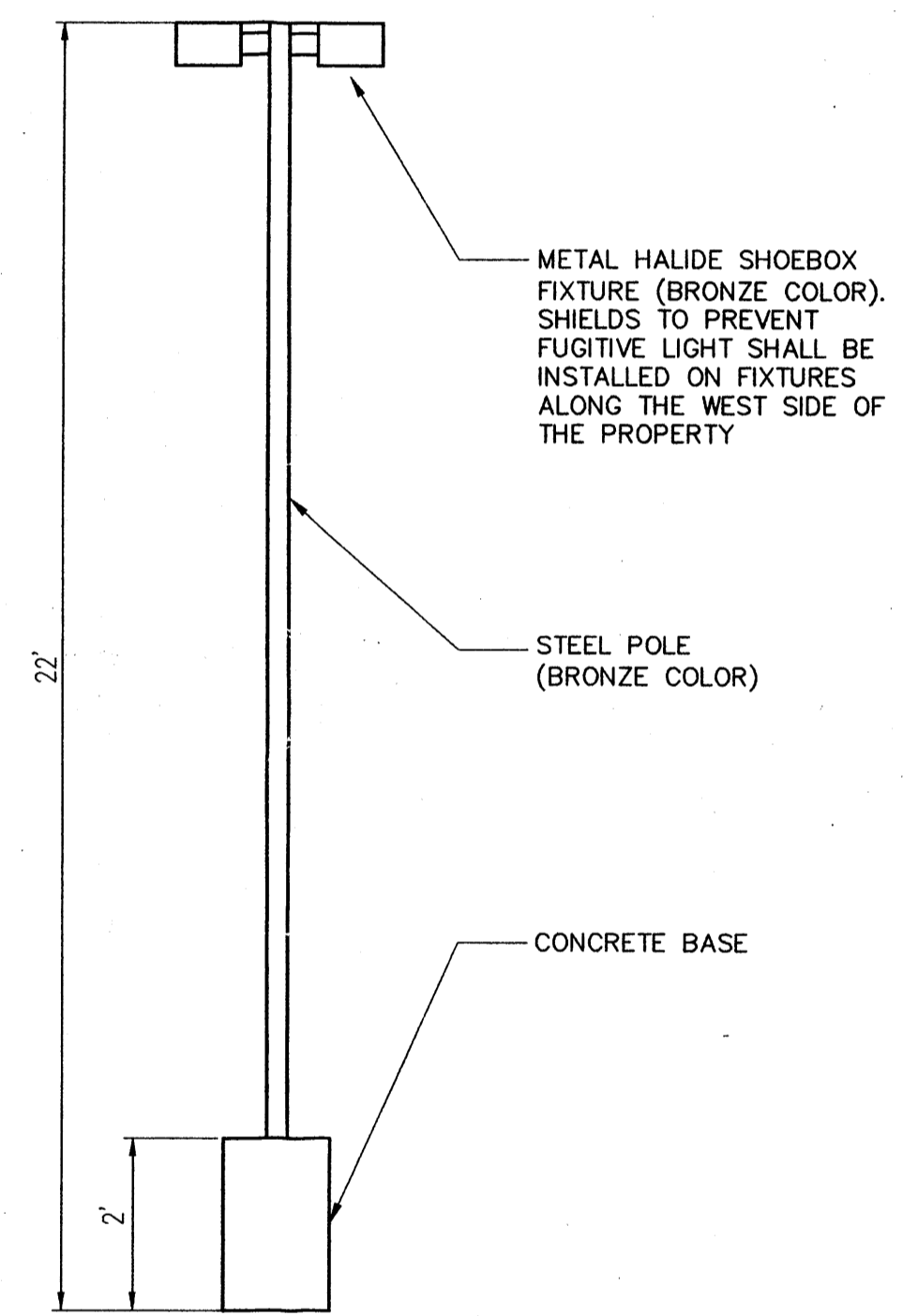
DATE: AUGUST 19, 2005
SHEET NO



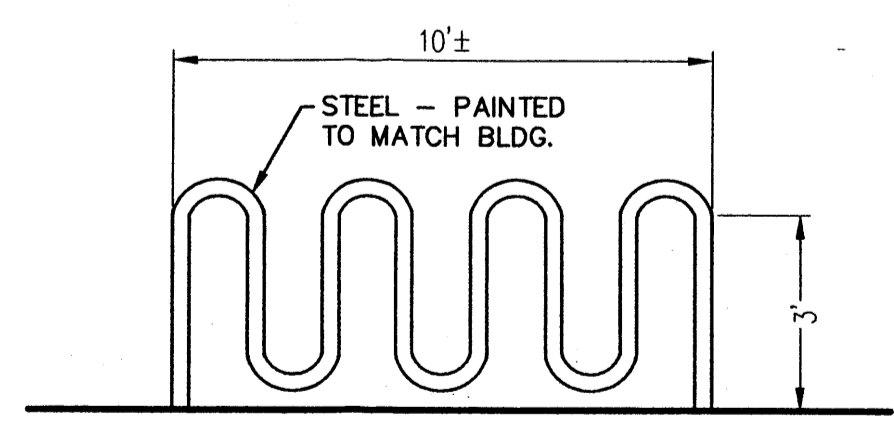
HANDICAP PARKING DETAIL
NOT TO SCALE



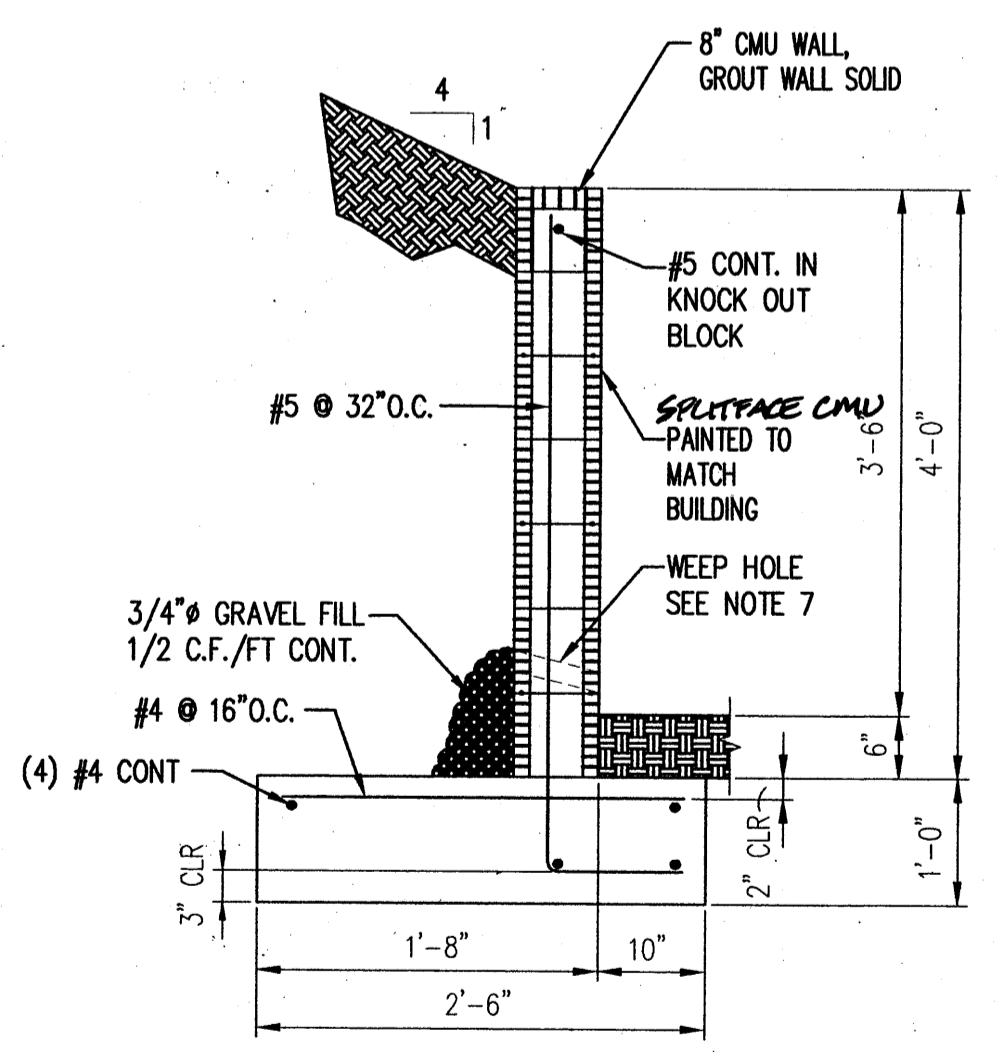
BOLLARD LIGHT
NOT TO SCALE
(RUDD LIGHTING HC SERIES ROUND BOLLARD LIGHT)



LIGHT POLE
NOT TO SCALE



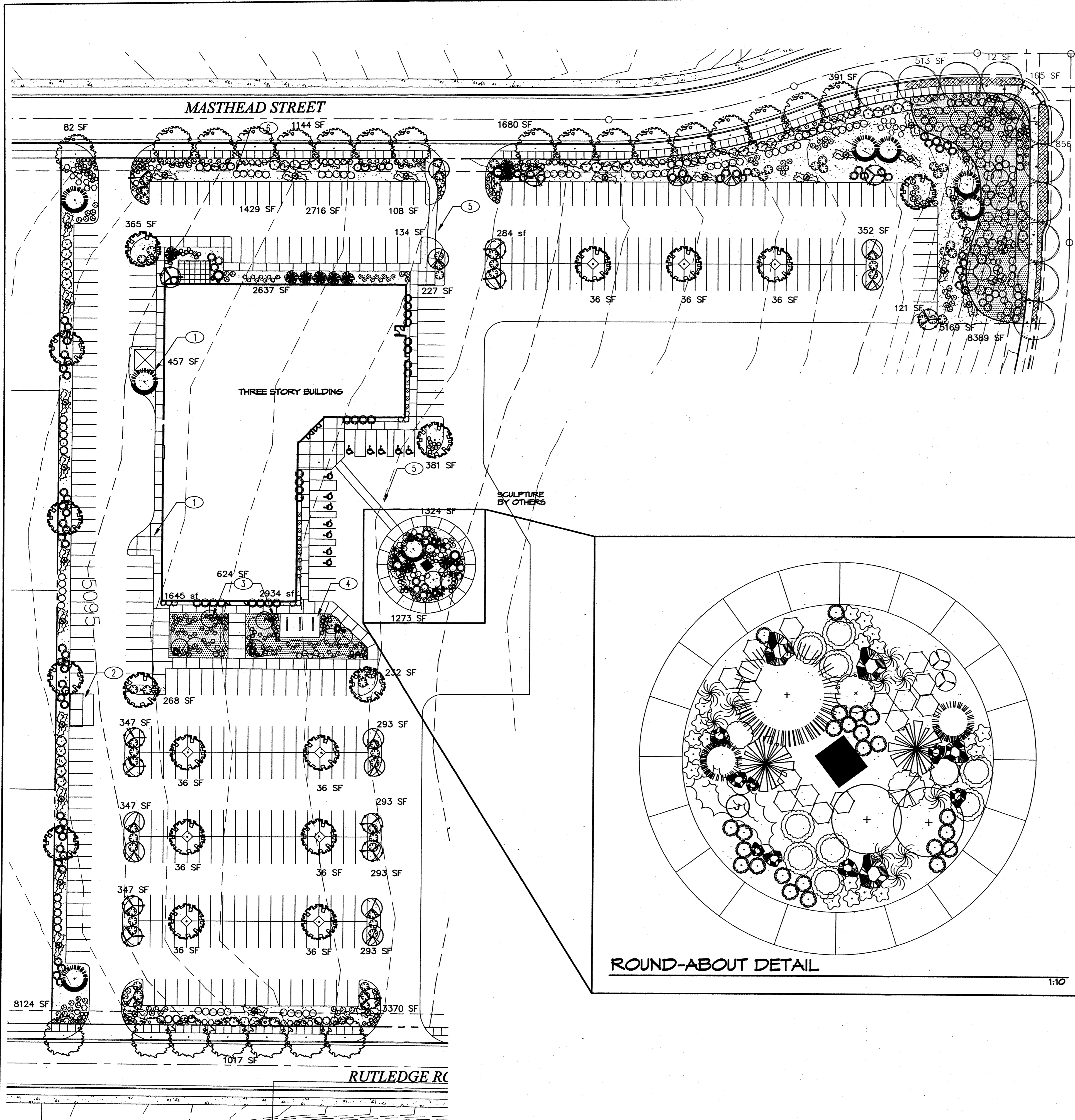
BIKE RACK
NOT TO SCALE



CMU RETAINING WALL
NOT TO SCALE

NOTES:

- RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER CASTING THE WALL.
- VERTICAL CONTROL JOINTS IN THE WALL SHALL BE PLACED AT 8'-0" O.C. MAX.
- CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE.
- DESIGN DATA
EFP (ACTIVE) = 36 PCF
SOIL BEARING PRESSURE = 1500 PCF
(1/3 INCREASE FOR WIND/SEISMIC)
COEFFICIENT OF FRICTION = 0.35
EFP (PASSIVE) = 300 PCF
CONCRETE F' C (28 DAYS) = 3000 PSI
REINFORCEMENT = 60 ASTM A-615
- CONTRACTOR SHALL NOTIFY OWNER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ACCURATELY LOCATED AND SECURED IN PLACE SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
- WEEP HOLES: PLACE A 2" DIA. WEEP HOLE @ 5'-0" O.C. W/ 1/2 CUBIC FOOT/FOOT OF 3/4" GRAVEL IN FILTER FABRIC
- THE FIRST COURSE OF CMU BLOCK MAY BE PLACED IN FRESH FOOTING CONCRETE. SUBSEQUENT COURSES OF CMU BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.
- ALL CMU BLOCK JOINTS SHALL BE TOOLED.
- BACK FILL AND COMPACTION OF RETAINING WALL IS INCIDENTAL TO INSTALLATION OF RETAINING WALL.



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3) Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

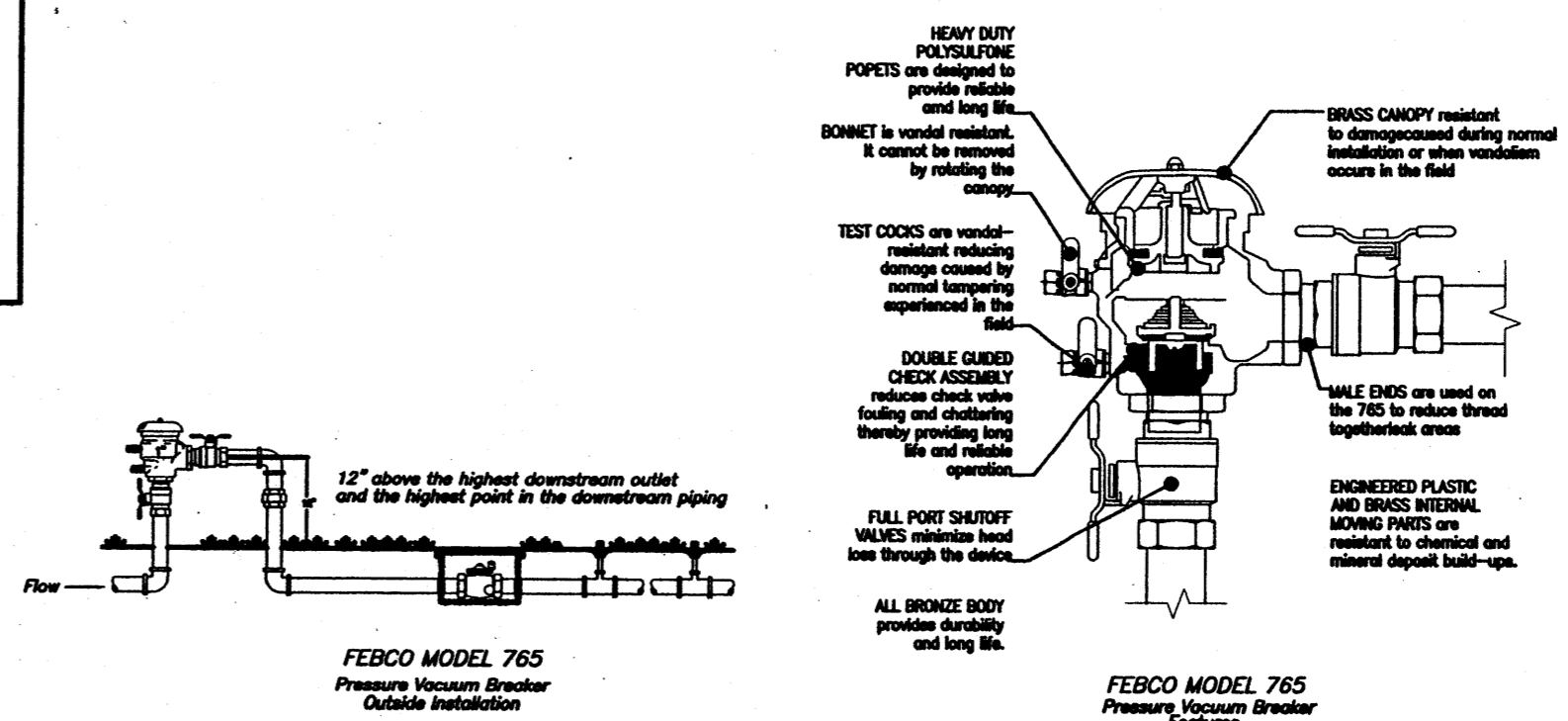
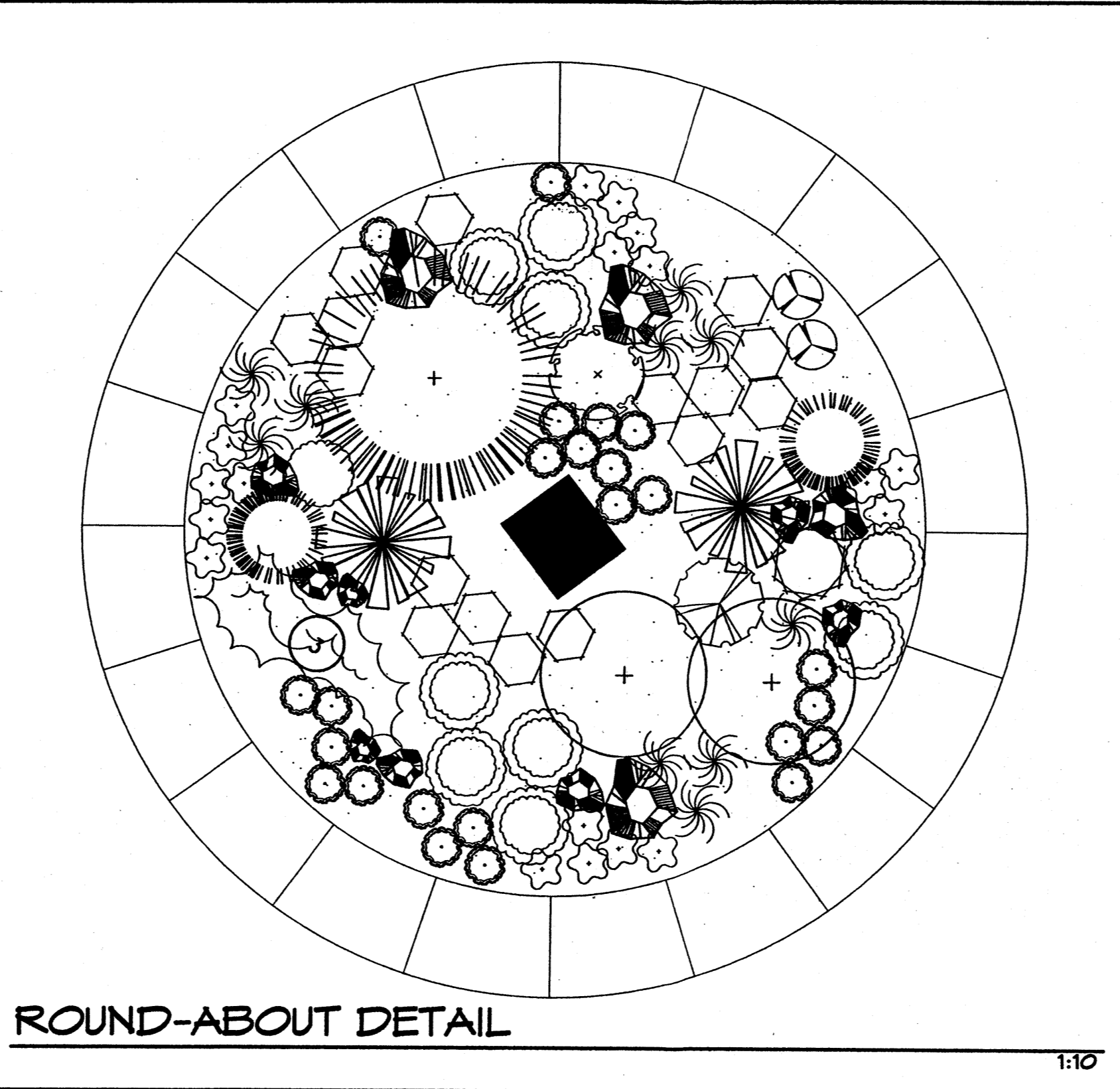
At the time common area irrigation is connected a common area irrigation system you must contact investment LLC.

PLANT LEGEND

- EXISTING BERINDA ASH
- BERINDA ASH (H) 24 Fraxinus spp. 2" Cal. PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP
- CHINESE PISTACHE (M) 18 Pistacia chinensis 2" Cal.
- OAK (M) 14 Quercus spp. 2" Cal.
- REDBUD (M) 16 Cercis reniformis 2" Cal.
- AUSTRIAN PINE (M) 8 Pinus nigra 6" Cal.
- THORNLESS HAWTHORN (M) 17 Crataegus c. gall. inermis 15 Gal. 225sf
- SOTOL 10 Desfontainia wheeleri 5 Gal. 36sf
- MUGO PINE (M) 4 Pinus mugo 5 Gal. 36sf
- CURLLEAF MTN MAHOGANY (L) 57 Gleditsia triacanthos 5 Gal. 100sf
- THREE-LEAF SUMAC (L) 74 Rhus trilobata 5 Gal. 36sf
- FOUNTAIN GRASS (M) 10 Festuca spp. 1 Gal.
- APACHE PLUME (L) 85 Falugia paradoxa 5 Gal. 25sf
- THREADGRASS (M) 143 Stipa tenuissima 1 Gal. 4sf
- AUTUMN SAGE (M) 130 Salvia greggii 5 Gal. 4sf
- LAVENDER (M) 150 Lavandula angustifolia 1 Gal. 4sf
- ARP ROSEMARY (M) 102 Rosmarinus officinalis 5 Gal. 36sf
- POWIS CASTLE SAGE (L) 10 Artemisia x powis castle 5 Gal. 25sf
- WINTER JASMINE (L) 64 Jasminum nudiflorum 5 Gal. 144sf
- WILDFLOWER 91 1 Gal. 4sf
- GREYLEAF COTONEASTER 84 Cotoneaster buxifolius 5 Gal. 81sf

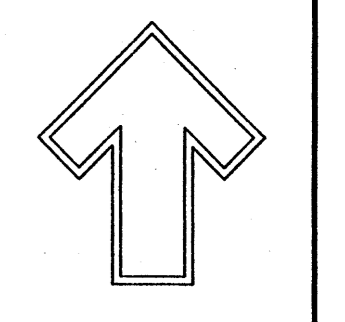
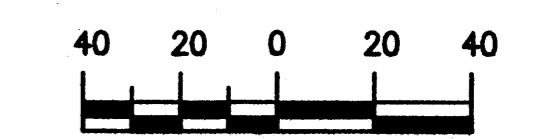
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	249191	square feet
TOTAL BUILDINGS AREA	32190	square feet
OFFSITE AREA	2906	square feet
NET LOT AREA	214095	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	32114	square feet
TOTAL BED PROVIDED	49584 (23%)	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	37191	square feet
TOTAL GROUND COVER PROVIDED	39000 (79%)	square feet
TOTAL EXISTING LANDSCAPE	1546	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	49584	square feet



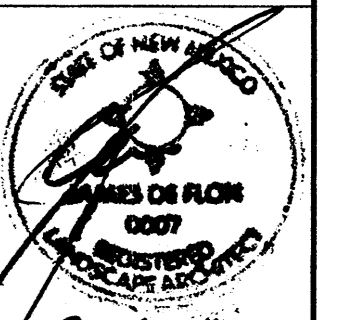
BACKFLOW PREVENTER DETAIL

GRAPHIC SCALE



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

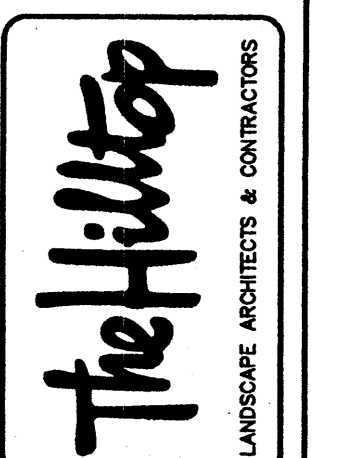
LANDSCAPE ARCHITECT'S SEAL



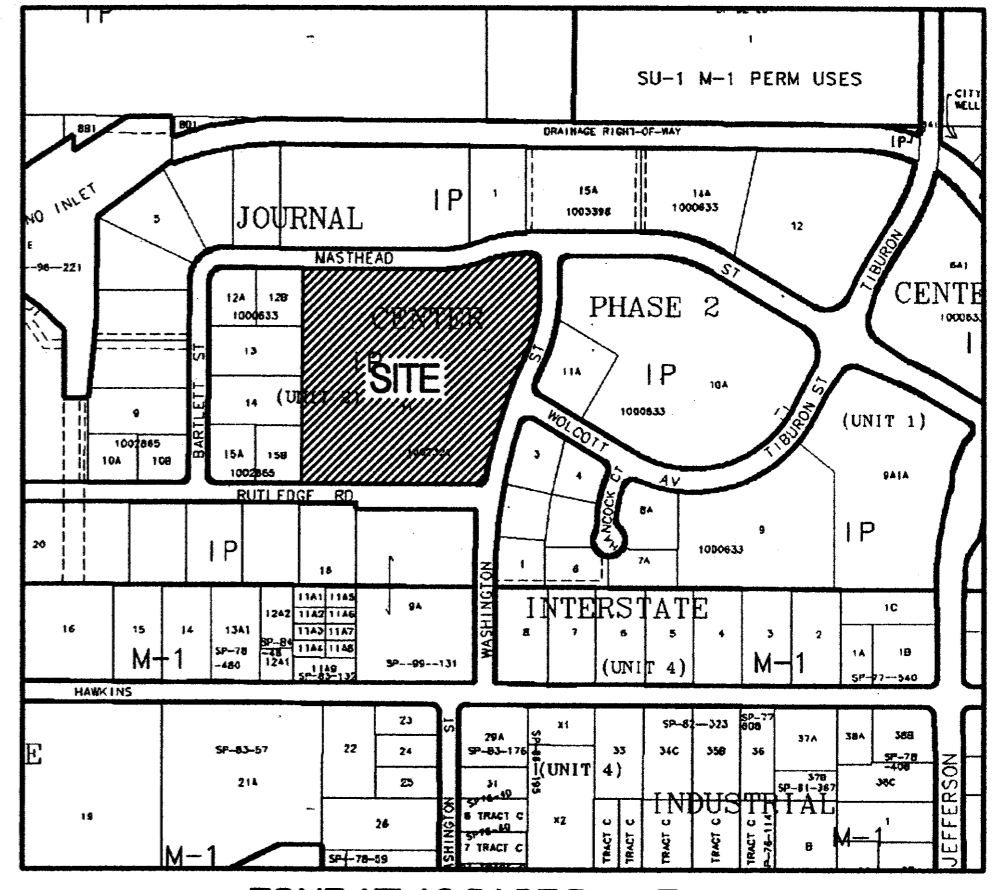
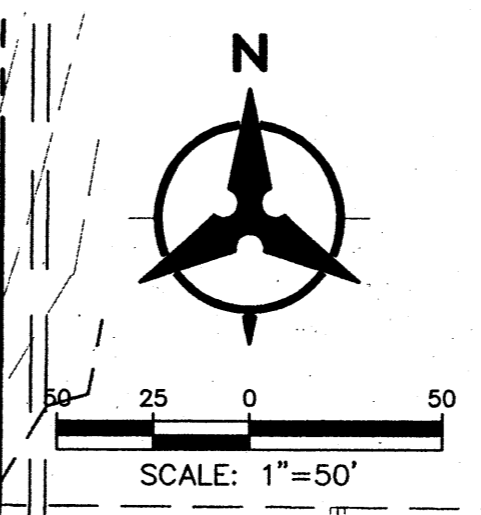
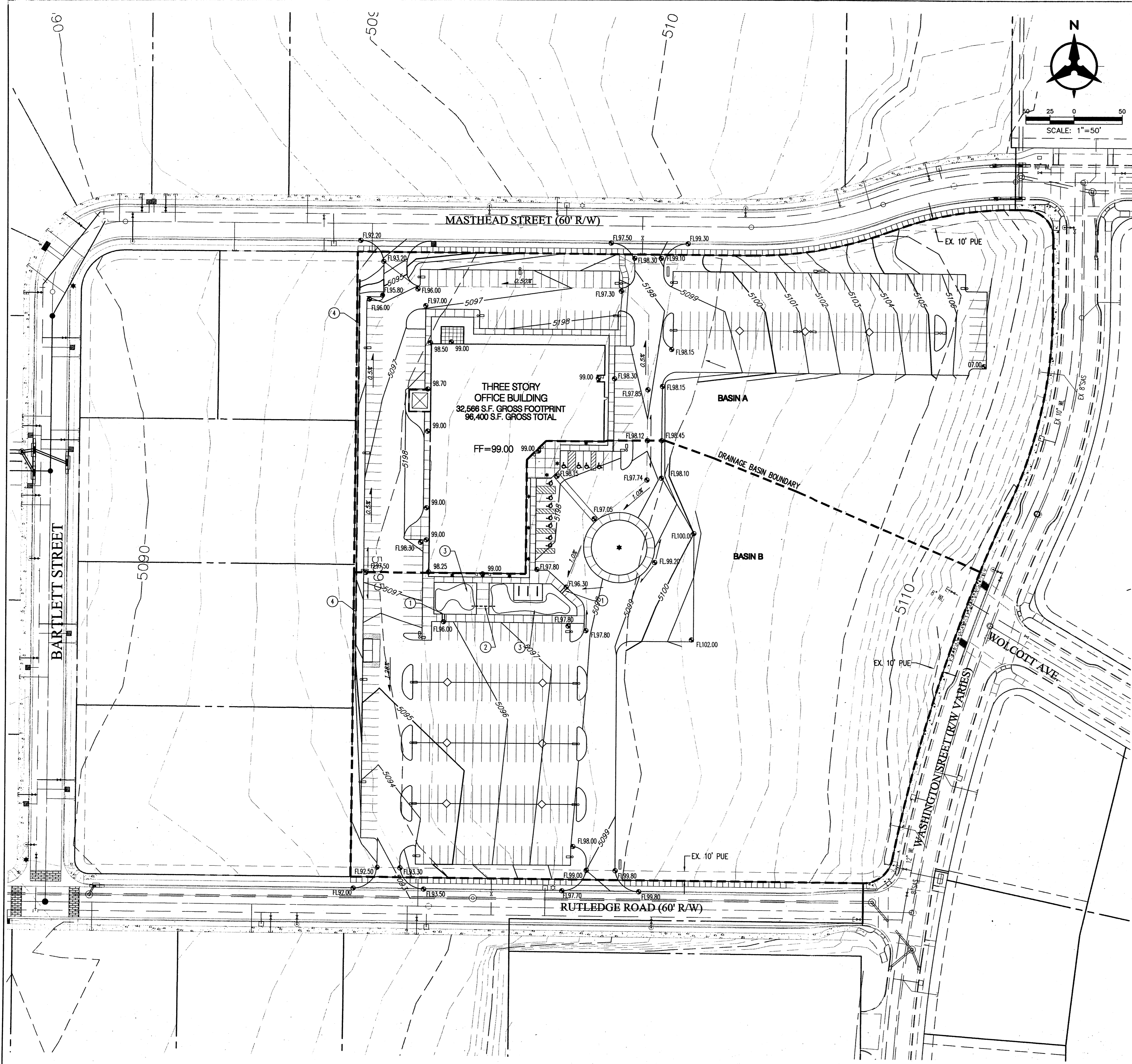
JAMES DE FLON #0007

USDA FOREST SERVICE
JOURNAL CENTER II
LANDSCAPE PLAN

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DRAWN BY: [blank]
REVISION # [blank]
DATE: 8-17-05
SHEET # L1 OF L1



- LEGEND**
- PROPERTY LINE
 - - - 5040 - EXISTING CONTOUR
 - - - 35 - PROPOSED INDEX CONTOUR
 - - - 32 - PROPOSED INTERMEDIATE CONTOUR
 - ⊕ 32.40 - EXISTING SPOT ELEVATION
 - ⊕ 32.40 - PROPOSED SPOT ELEVATION
 - FL - FLOWLINE
 - TS - TOP OF SIDEWALK
 - FGH - FINISHED GROUND HIGH SIDE
 - FL - FINISHED GROUND LOW SIDE
 - DIRECTION OF FLOW
 - ▲ SLOPE SYMBOL

- KEYED NOTES**
1. 24" SIDEWALK CULVERT
 2. 8" PVC CULVERT UNDER SIDEWALK
 3. WATER HARVESTING AREA
 4. 3' HIGH ± MASONRY RETAINING WALL. SEE DETAIL SHEET C1.1

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
 The purpose of this submission is to provide a conceptual Drainage Management Plan for development of the new US Forest Service building located in the Journal Center, Phase 2, Unit 2, Lot 11 in NE Albuquerque.

II. SITE LOCATION
 The site is currently legally described as Journal Center, Phase 2, Unit 2, Lot 11 (+/- 10.0 acres). The site is located at the southwest corner of Masthead and Washington, just west of Jefferson.

III. EXISTING HYDROLOGIC CONDITIONS
 Currently the site is undeveloped land. The surrounding streets and infrastructure are in place. The site drains from east to west in a sheet flow condition. Per the approved Drainage Plan of Journal Center - Phase 2 located in file number D17D3AA, this site has been approved as a fully developed site and can drain to both Masthead and Rutledge via the driveways. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system.

IV. PROPOSED HYDROLOGIC CONDITIONS
 The proposed conditions for the US Forest Service Building are shown on this Conceptual Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event. The site (+/- 10.0 acres) will generate a total of 44.44 cfs under newly developed conditions and consists of approximately 85% D land treatment. Flows will be conveyed to Masthead and Rutledge by surface and curb and gutters. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North Pino Arroyo, and then to the AMAFCA North Diversion Channel.

V. PHASING
 The subject site will be developed in two phases, with only Phase 1 being planned at this time. Although Phase 2 is not shown on this plan, the above calculations allow for the fully developed flows of Phase 2 to drain from the site. Prior to the development of Phase 2, an updated Drainage Management Plan must be submitted to the City for review and approval. Phase 2 development will have to consider full build-out of the site and will need to consider the drainage basins draining to both Masthead and Rutledge to minimize impacts to the depth of flow in the roadways.

VI. CONCLUSION
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved master drainage plan for Journal Center, Phase 2. With this submission we are requesting conceptual grading and drainage plan approval for the Site Development Plan for Building Permit and Rough Grading Permit.

US FOREST SERVICE BUILDING
Proposed Conditions Basin Data Table

BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WT E (inches)	V(100) ₃₆₀ (CF)	V(100) ₁₄₄₀ (CF)
			A	B	C	D					
PROPOSED CONDITIONS											
A	200000	4.59	0.0%	5.0%	10.0%	85.0%	4.42	20.31	1.95	32567	39083
B	237708	5.46	0.0%	5.0%	10.0%	85.0%	4.42	24.14	1.95	38707	46452
TOTAL	437708	10.05	-	-	-	-	4.42	44.44	3.91	71273.45	71273

Bohannon & Huston
 Courtyard I 7500 Jefferson St NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

N:\cdp\Forest Service\general\Site Grading Plan.dwg, Layout1
 August 22, 2005 - 9:57am

1306 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-255-6400 505-268-6954 FAX
 WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

NEW MEXICO

ALBUQUERQUE

US FOREST SERVICE
 ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Grading Plan

REVISIONS

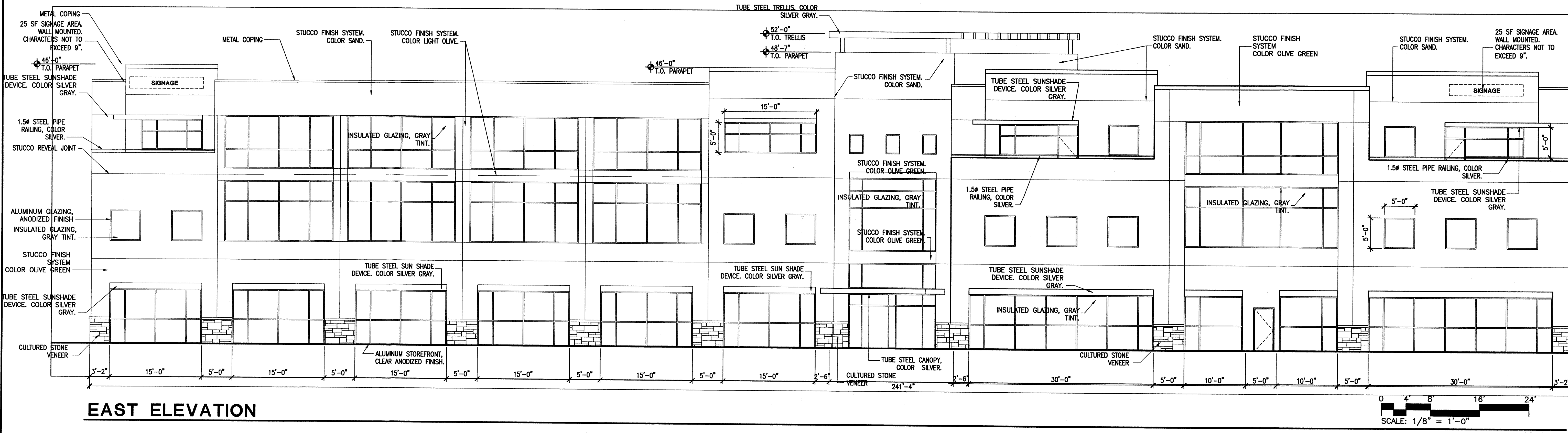
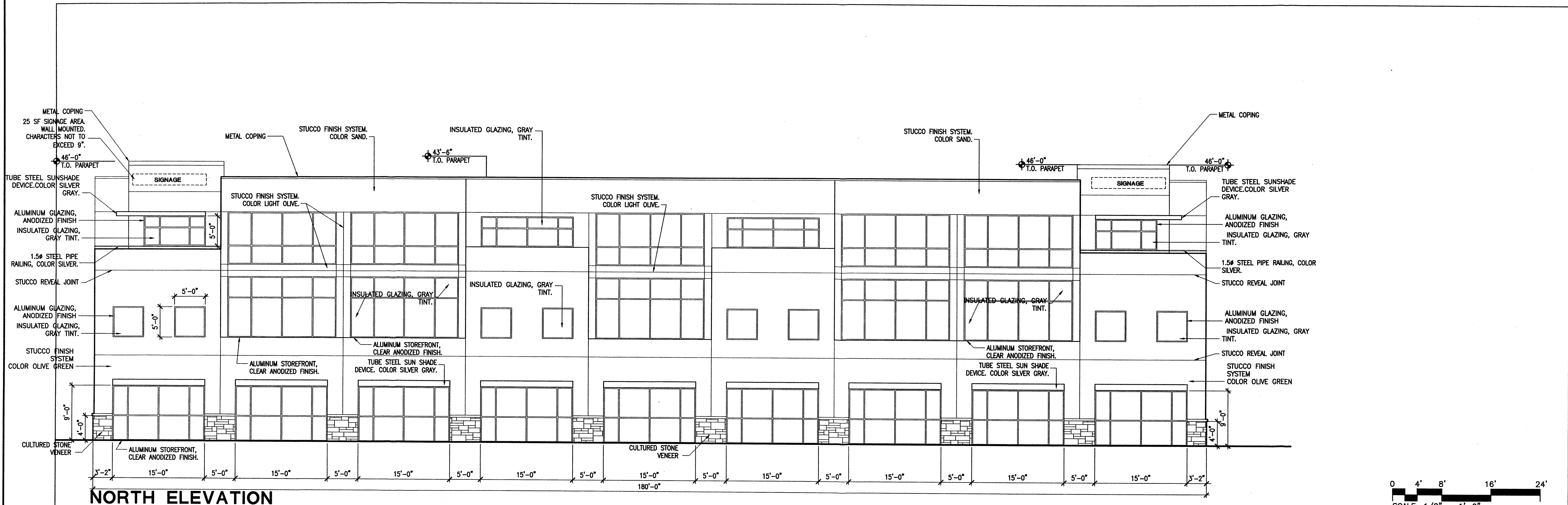
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RWB	JTW	

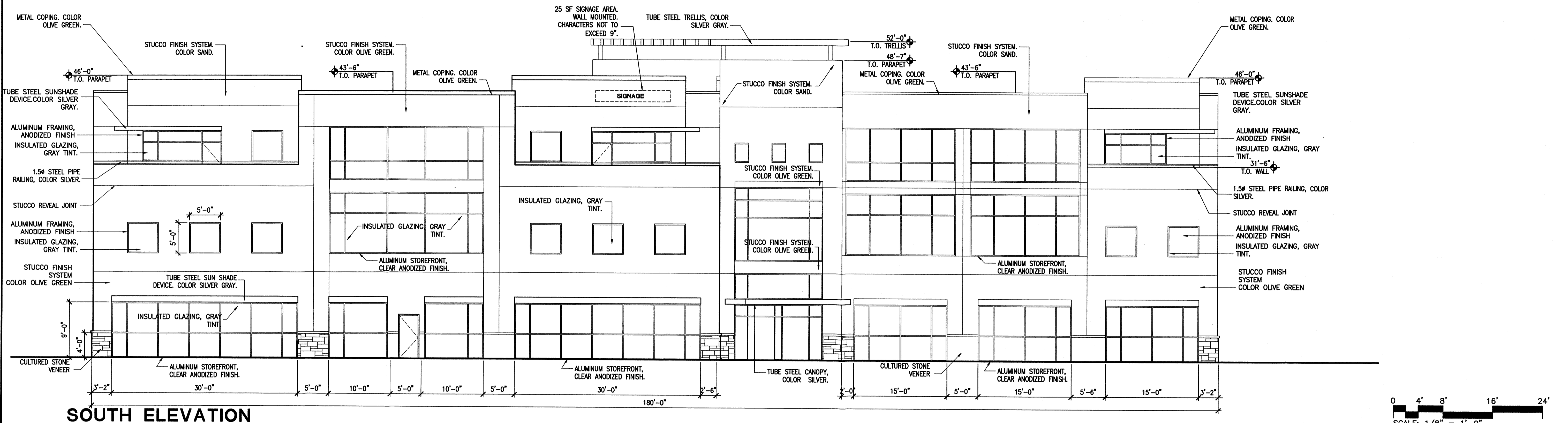
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A462

DATE:
AUGUST 19, 2005

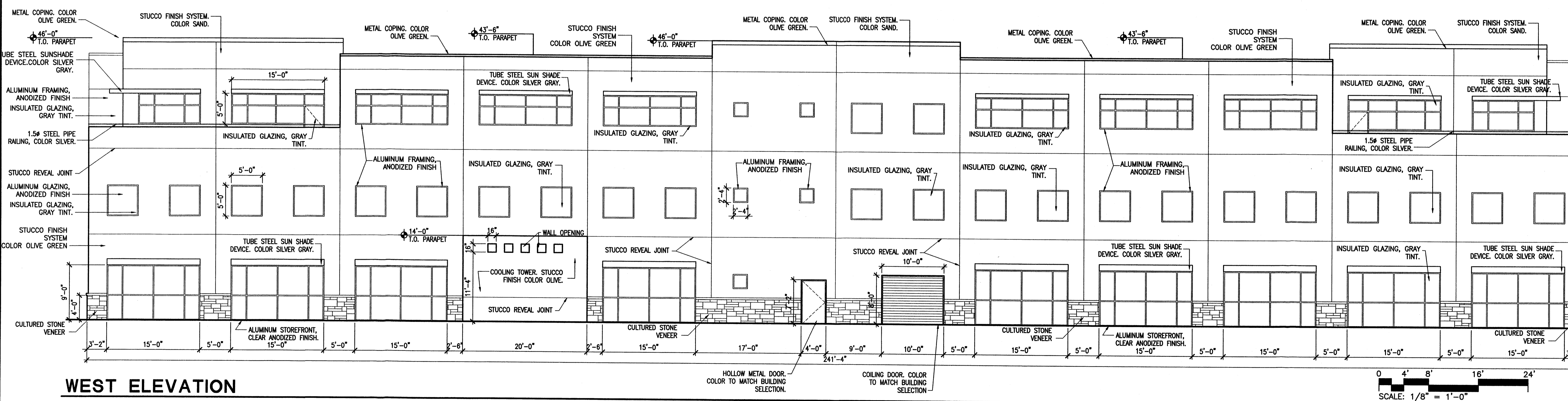
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C2.0

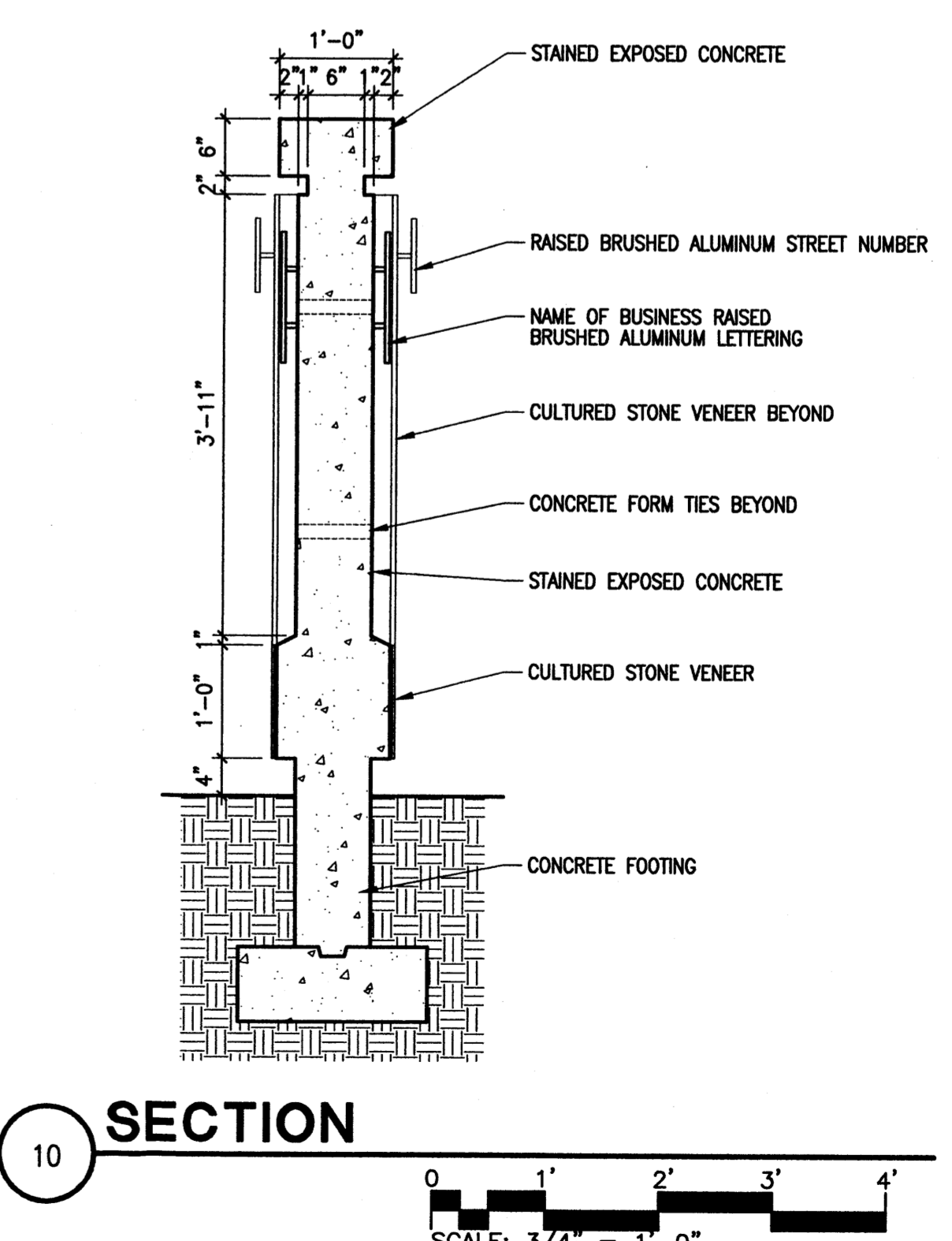
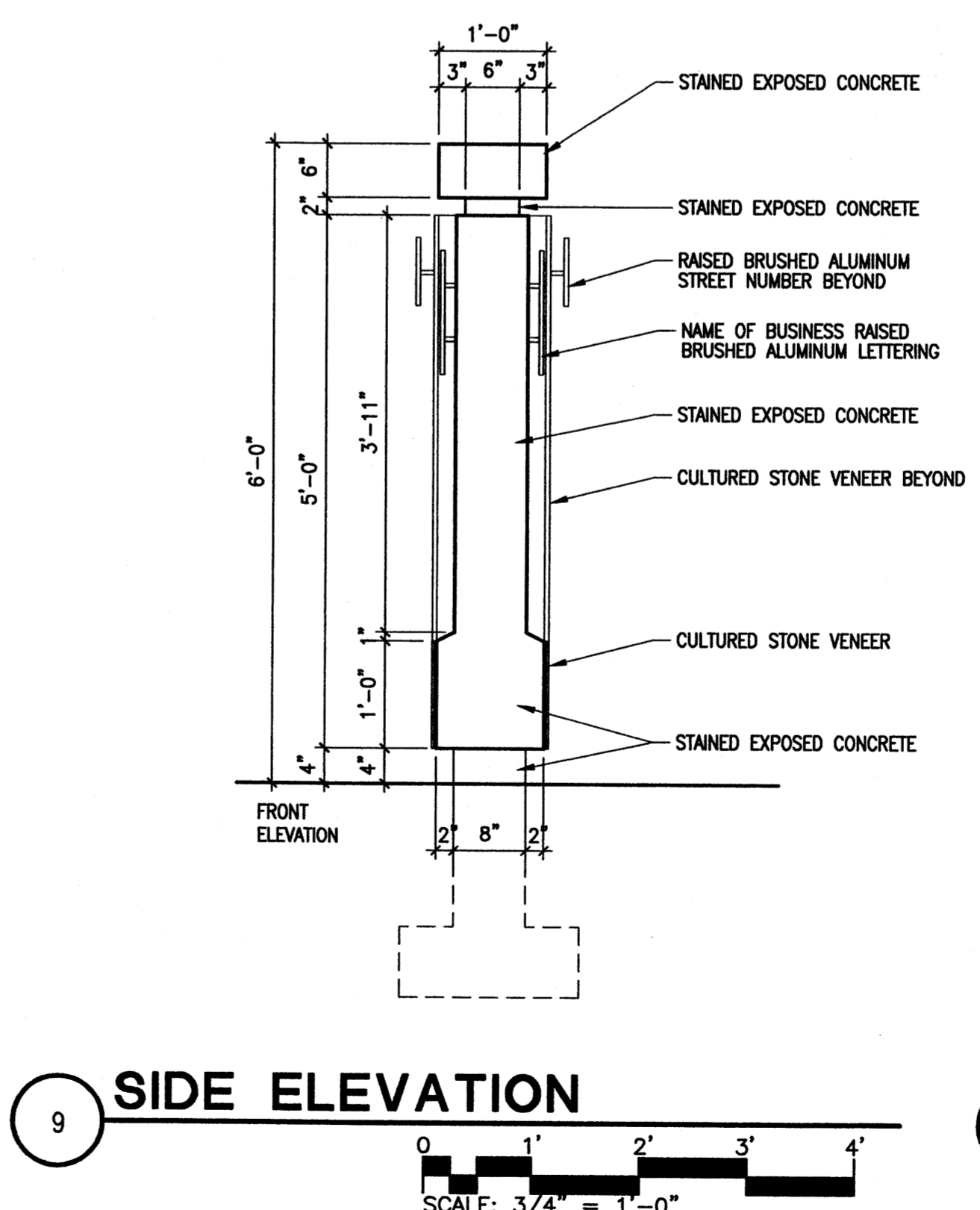
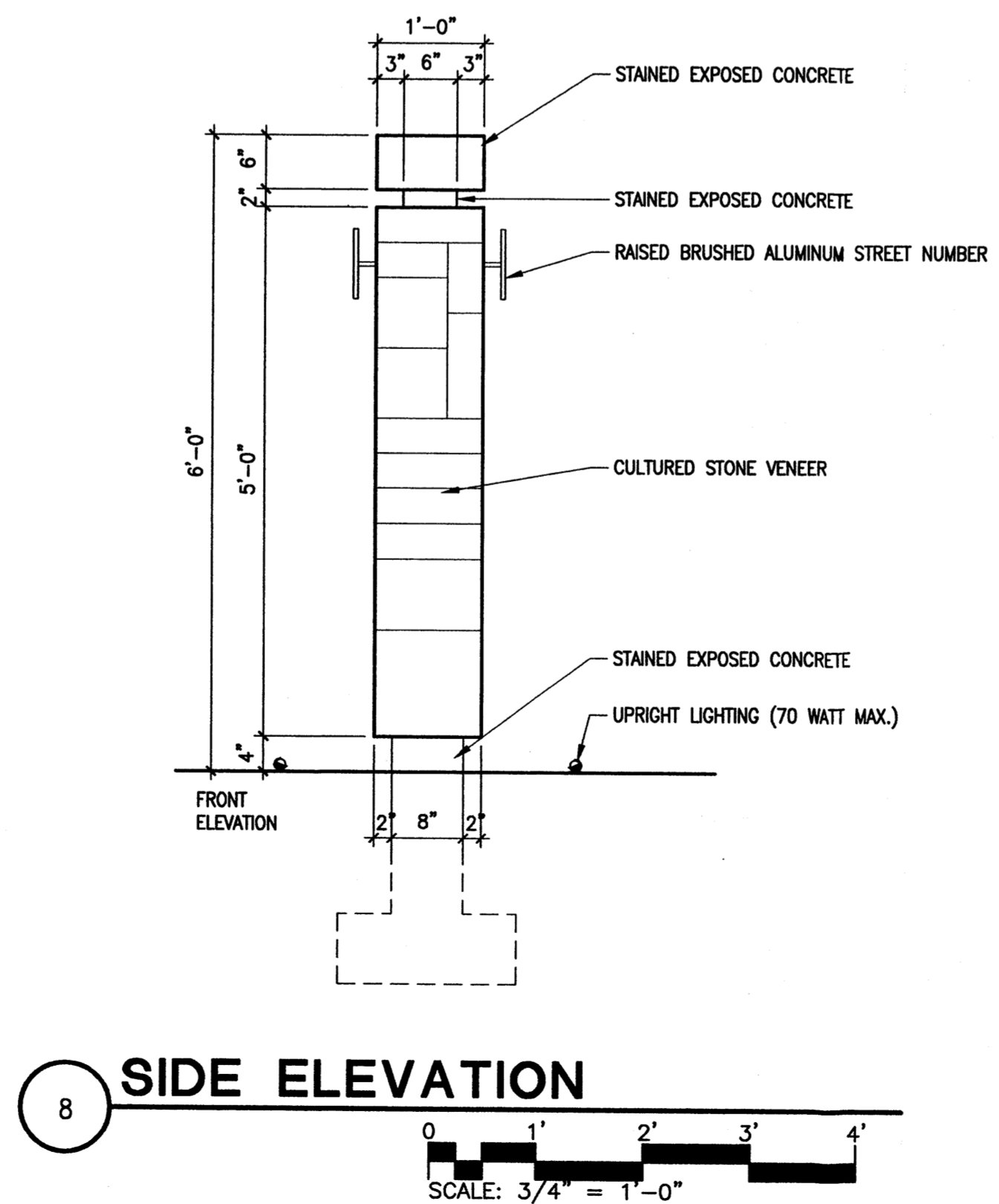
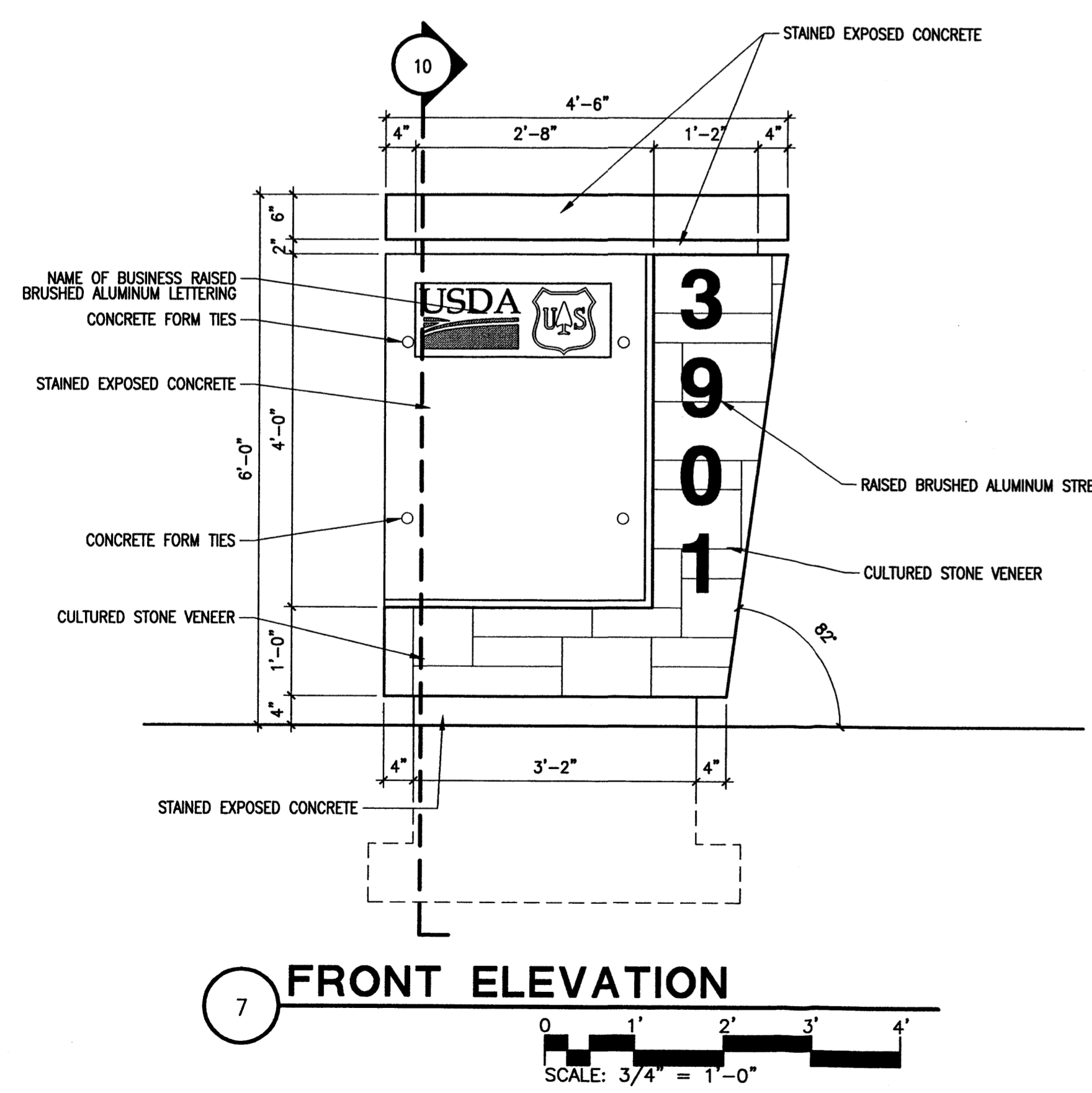
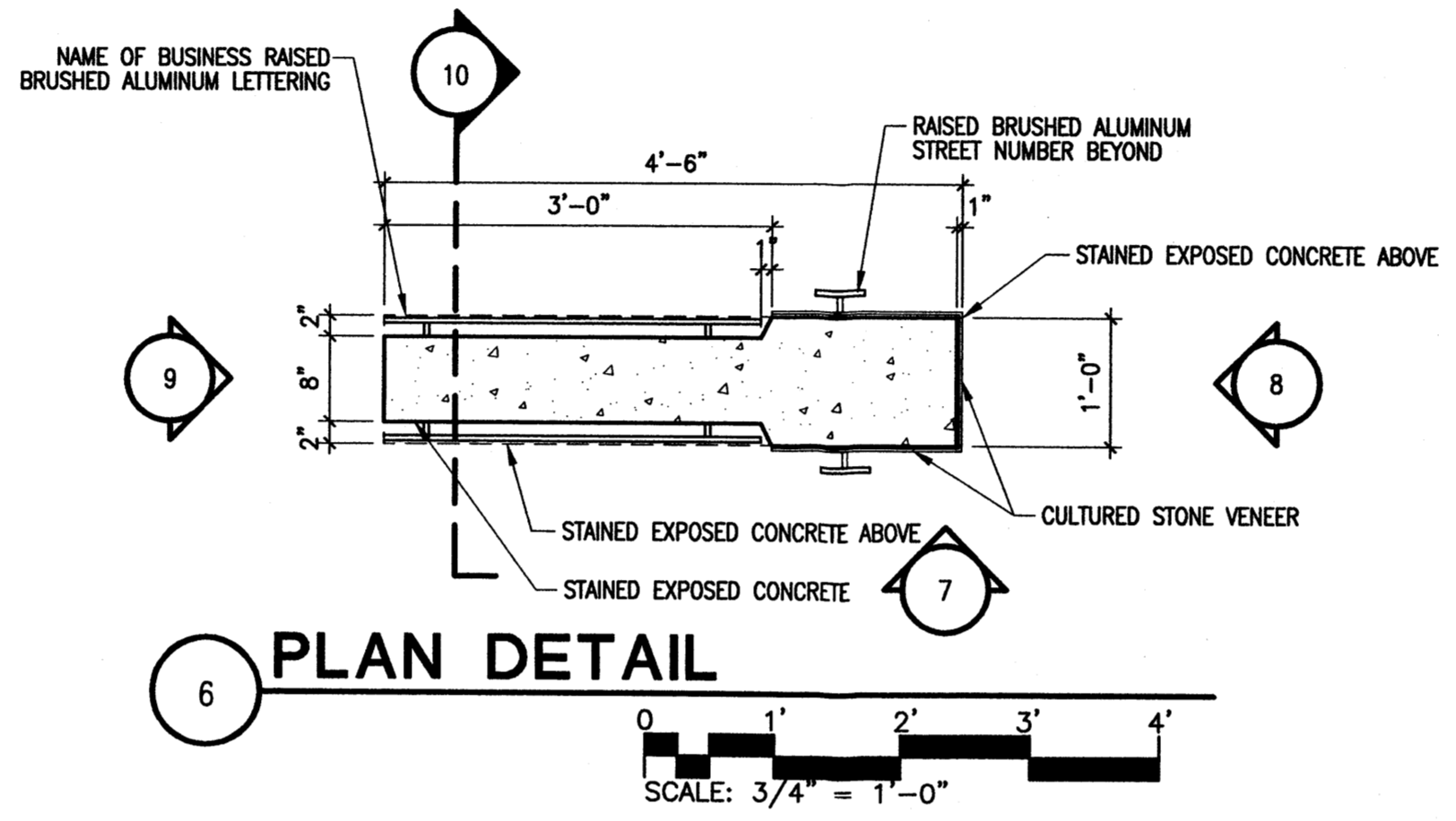
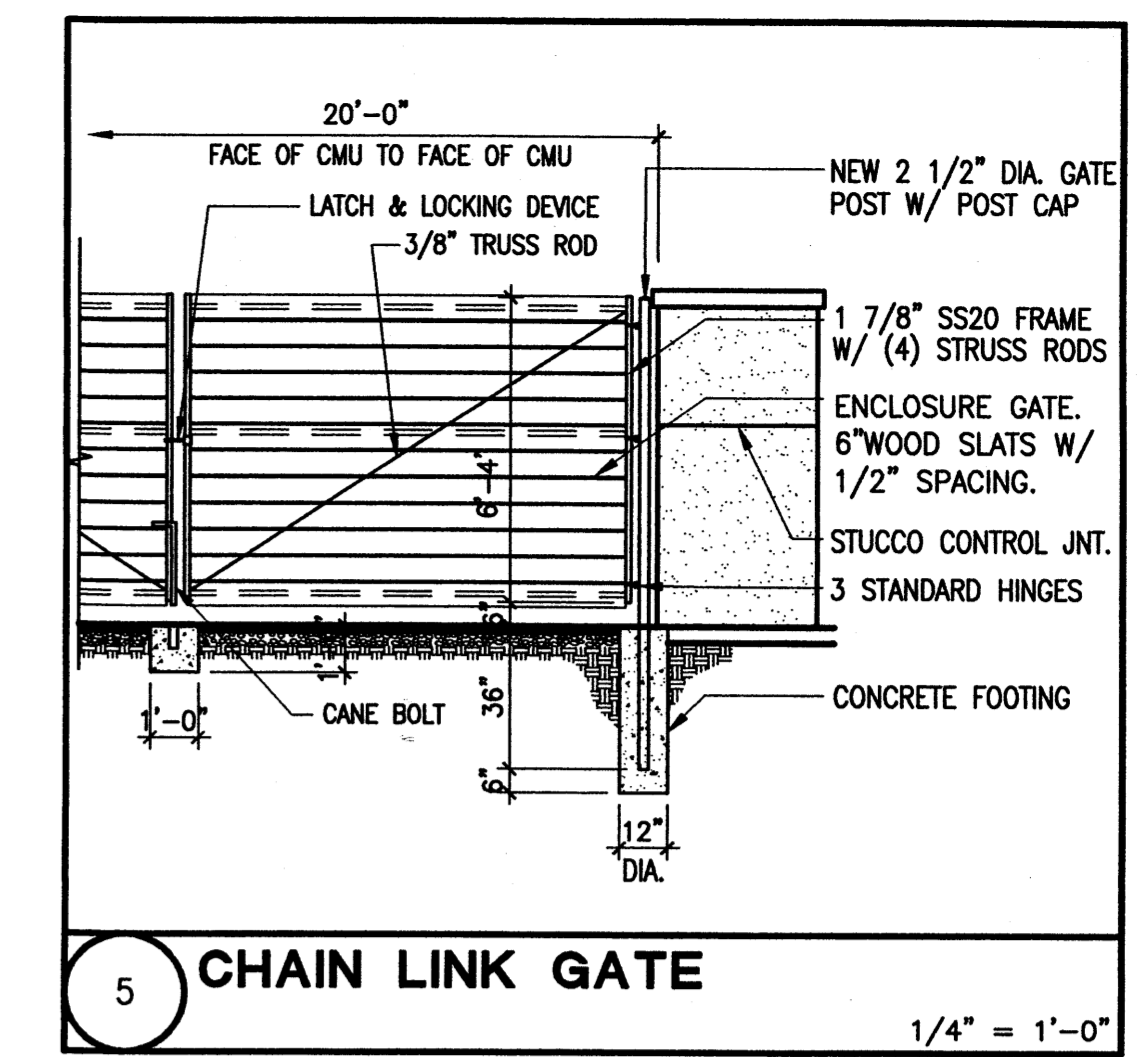
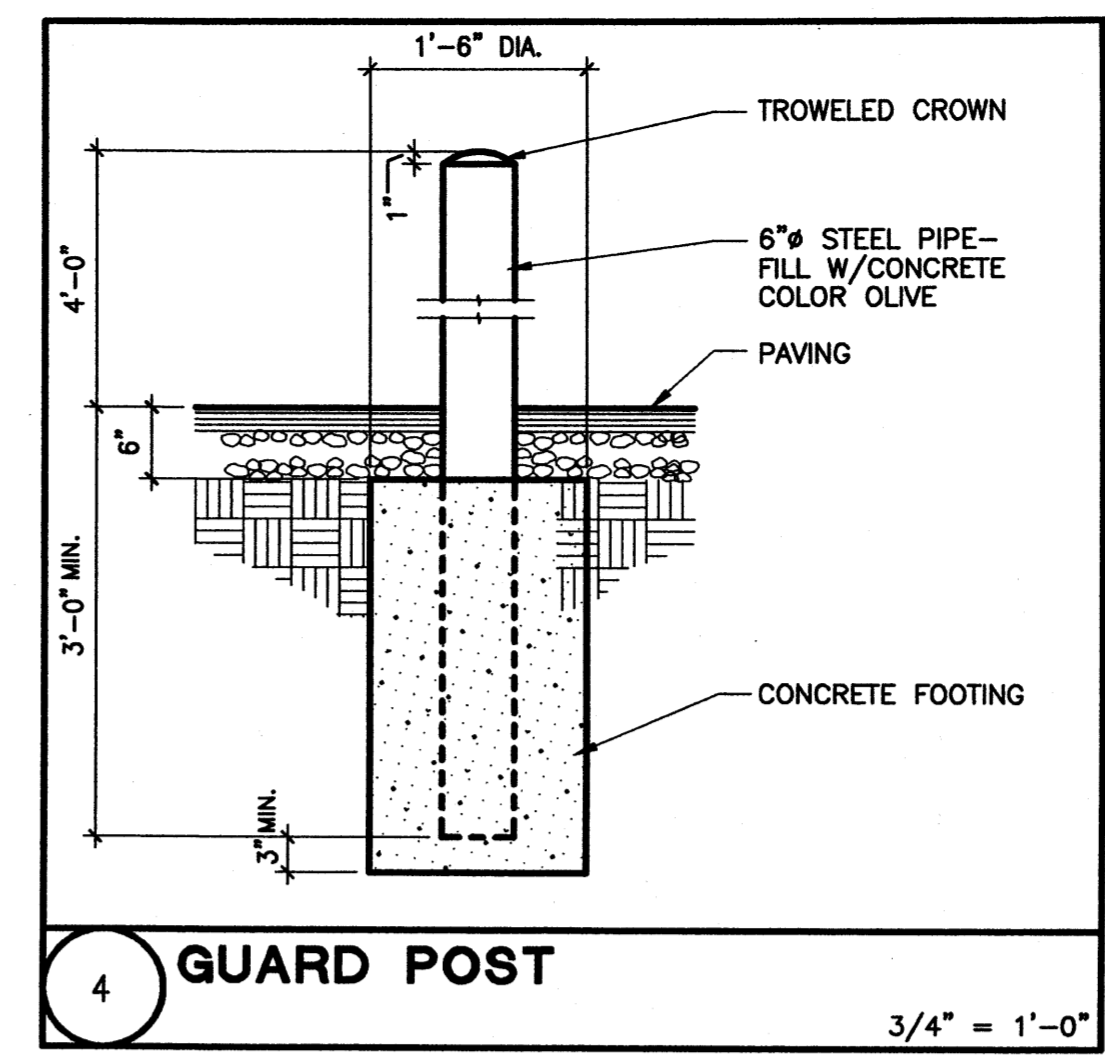
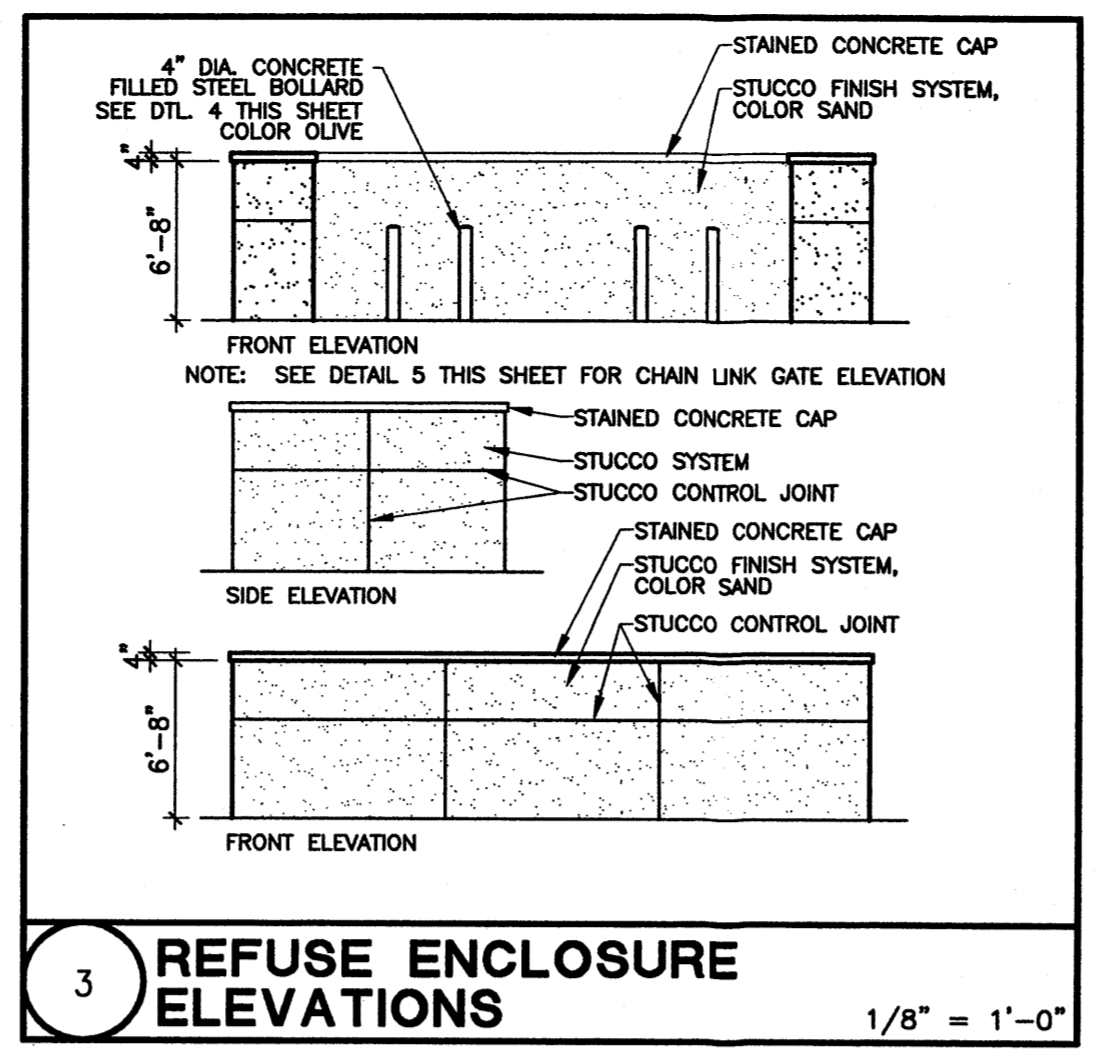
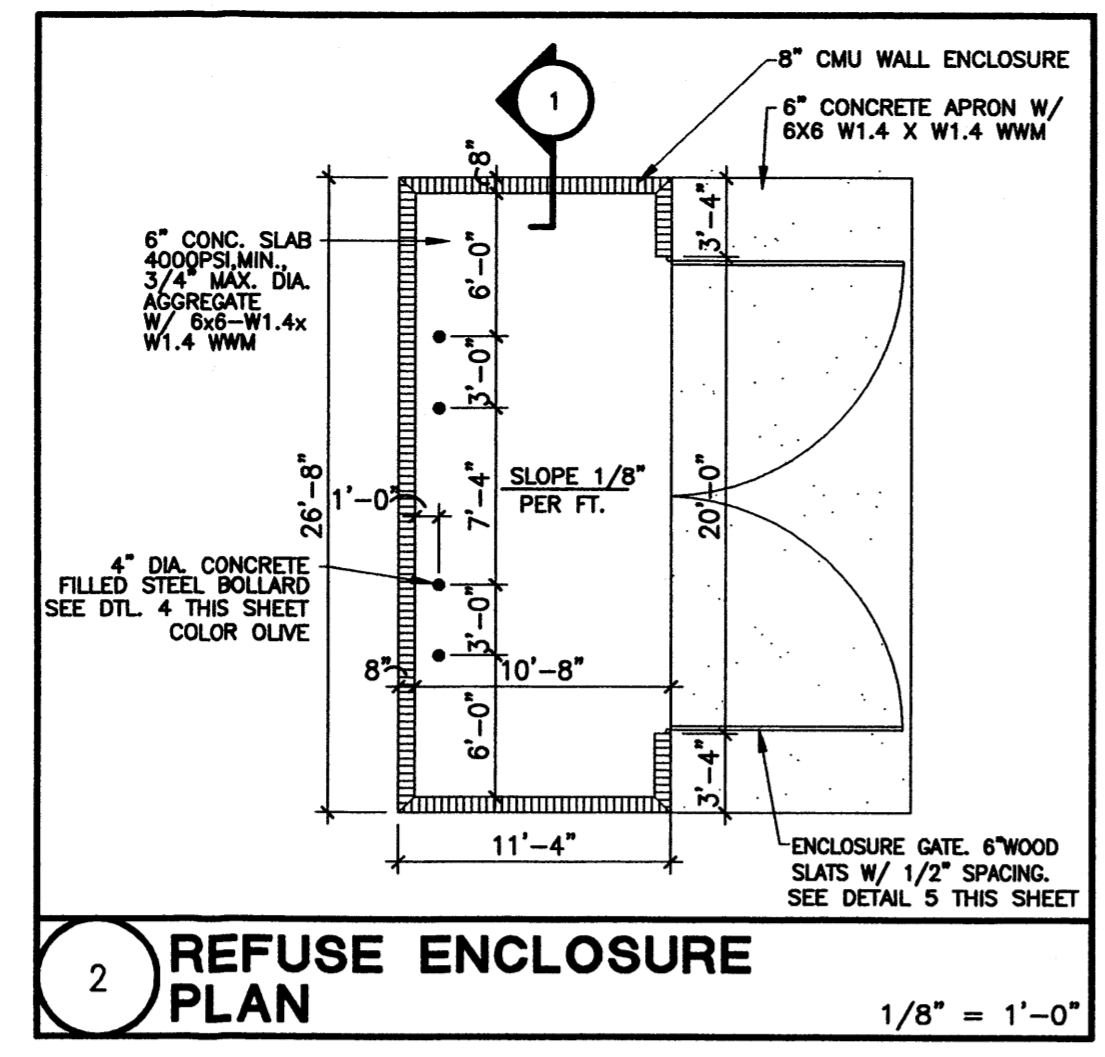
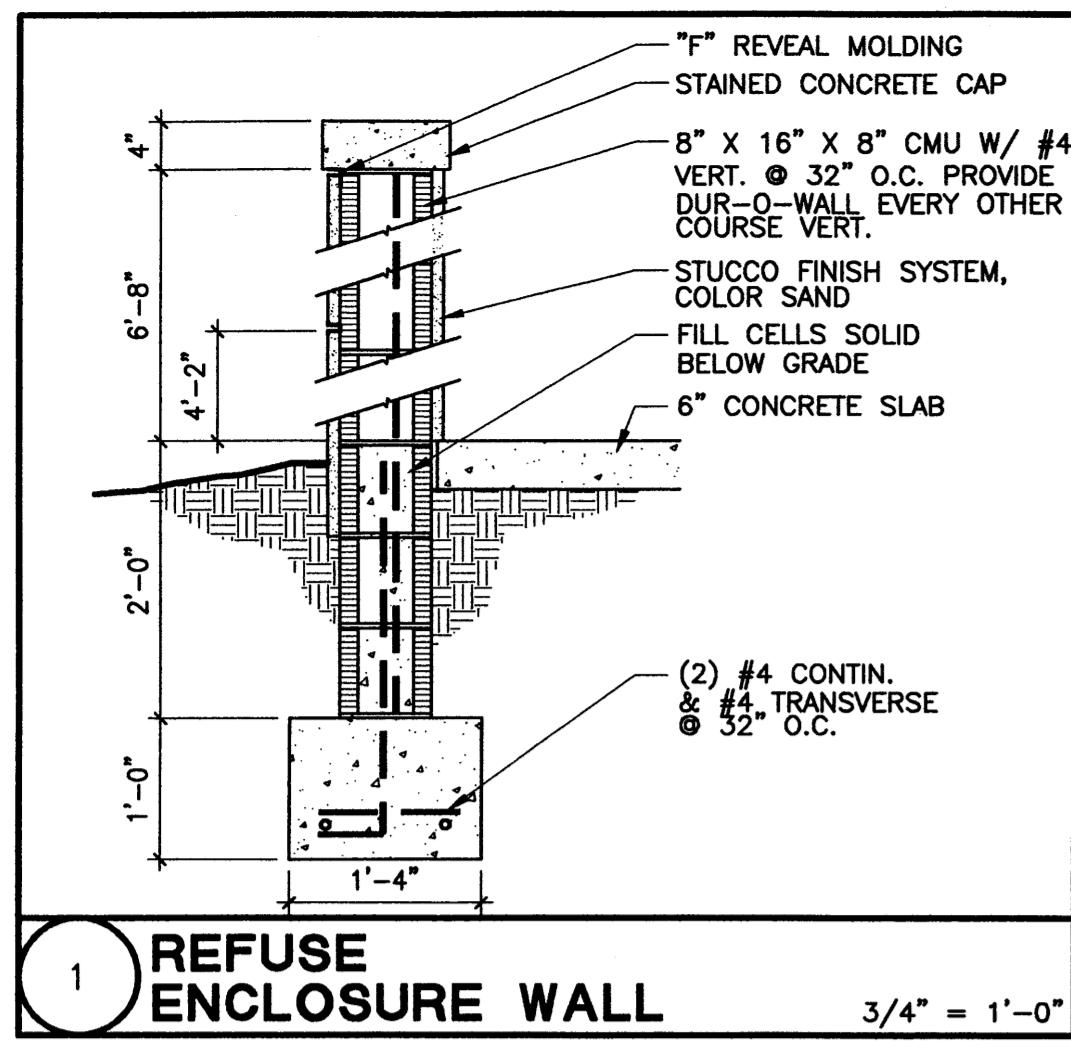




SOUTH ELEVATION



WEST ELEVATION



NOTE: ALL STAINED CONCRETE IS TO MATCH BUILDING COLOR SELECTION

NCA
ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

NEW MEXICO

ALBUQUERQUE

US FOREST SERVICE
ALBUQUERQUE SERVICE CENTER
HUMAN RESOURCES

REFUSE ENCLOSURE AND MONUMENTAL SIGN DETAILS

REVISIONS

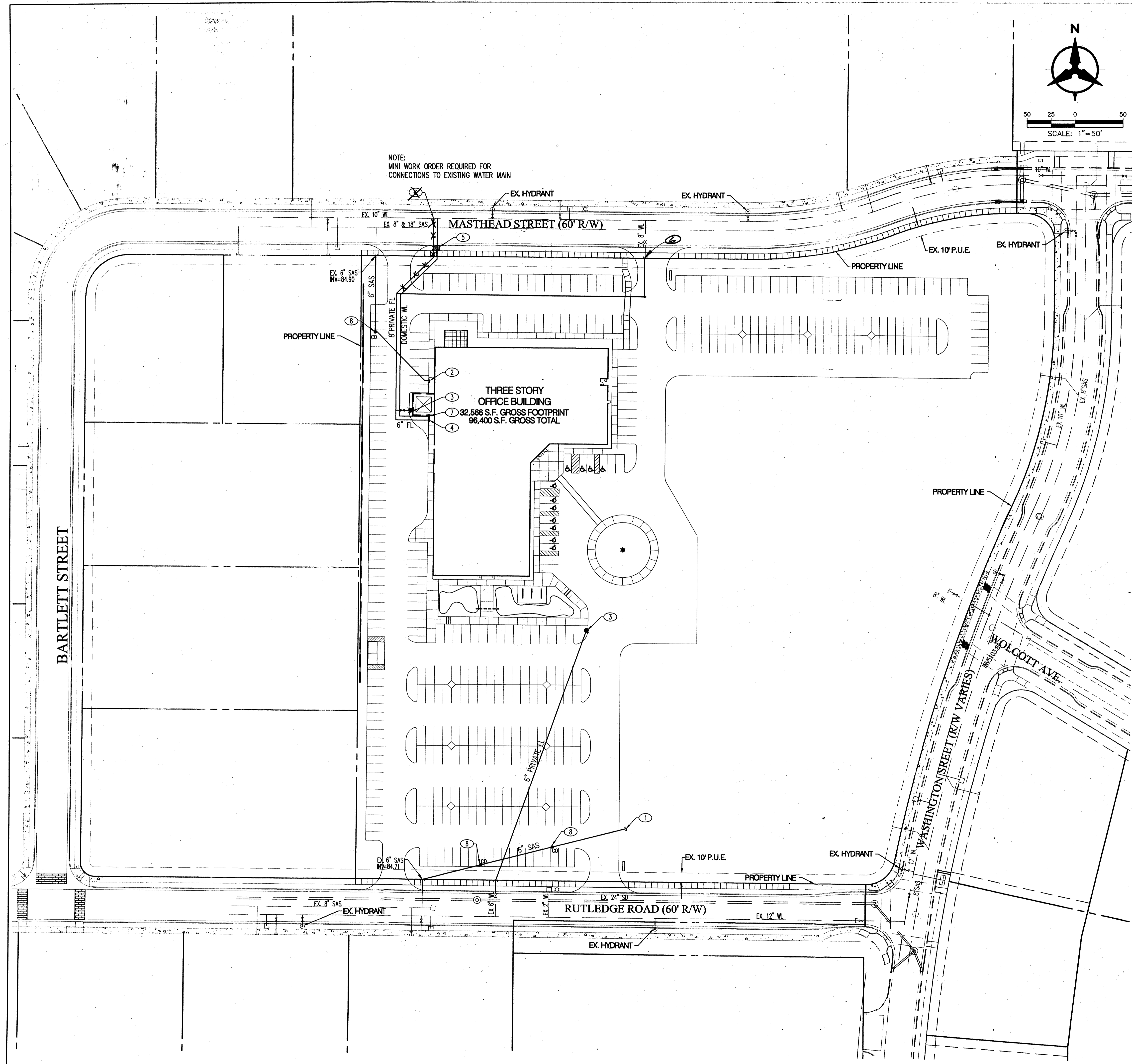
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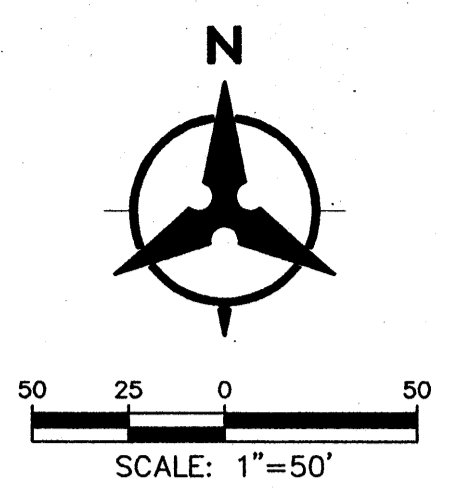
JOB NUMBER:
A04.62

DATE:
AUGUST 2005

SHEET NO
AS1.1



NOTE:
MINI WORK ORDER REQUIRED FOR
CONNECTIONS TO EXISTING WATER MAIN



LEGEND

---	PROPERTY LINE	---	EX SANITARY SEWER & MANHOLE
EX 8" SAS	EX SANITARY SEWER & MANHOLE	---	EX STORM DRAIN & MANHOLE
EX 24" SD	EX STORM DRAIN & MANHOLE	---	EX INLET
EX 12" WL	EX WATER LINE	X	EX VALVE
	EX VALVE	□	EX METER
	EX METER	☆	EX FIRE HYDRANT
	EX FIRE HYDRANT	☆	EX STREET LIGHT
SAS	PROPOSED SANITARY SEWER	●	PROPOSED CLEANOUT
WL	PROPOSED WATERLINE		

- UTILITY KEYED NOTES**
- SANITARY SEWER STUB FOR FUTURE BUILDING
 - 6" SANITARY SEWER STUB
 - NEW PRIVATE FIRE HYDRANT
 - PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM
 - NEW 1 1/2" METERED WATER SERVICE
 - 8" PRESSURE CONNECTION TO EXISTING 8" P.V.C. WATER MAIN
 - NEW DOMESTIC WATER SERVICE TO BUILDING, BACKFLOW PREVENTER SHALL BE INSIDE BUILDING
 - SANITARY SEWER CLEANOUT

PLANS CHECKING OFFICE
924-3611
APPROVED
HYDRANT(S) ONLY
FWB 8-19-05
SIGNATURE & DATE
96,400 ± II-B(SPK)
2235 GPM

N:\csp\Forest Service\general\Site Utility Plan.dwg, Layout1
August 19, 2005 - 8:16am

Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

NCA
ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

ALBUQUERQUE NEW MEXICO
T - Utility Plan

ALBUQUERQUE
**US FOREST SERVICE
ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES
SITE DEVELOPMENT PLAN FOR BUILDING**

REVISIONS	
MK	DESCRIPTION

DRAWN BY: RWB CHECKED BY: JTW
JOB NUMBER: A462
DATE: AUGUST 19, 2005
SHEET NO

C3.0