

Completed
4-10-03

APPLICATION NO. 03DRB · 00478	PROJECT NO. 1002321
PROJECT NAME Journal Center 2 Unit 2	
EPC APPLICATION NO.	
APPLICANT / AGENT BHI Steph	PHONE NO. 823-1000
ZONE ATLAS PAGE D-16 & D17	

ONE STOP COMMENT FORM LOG

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
/		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
/		

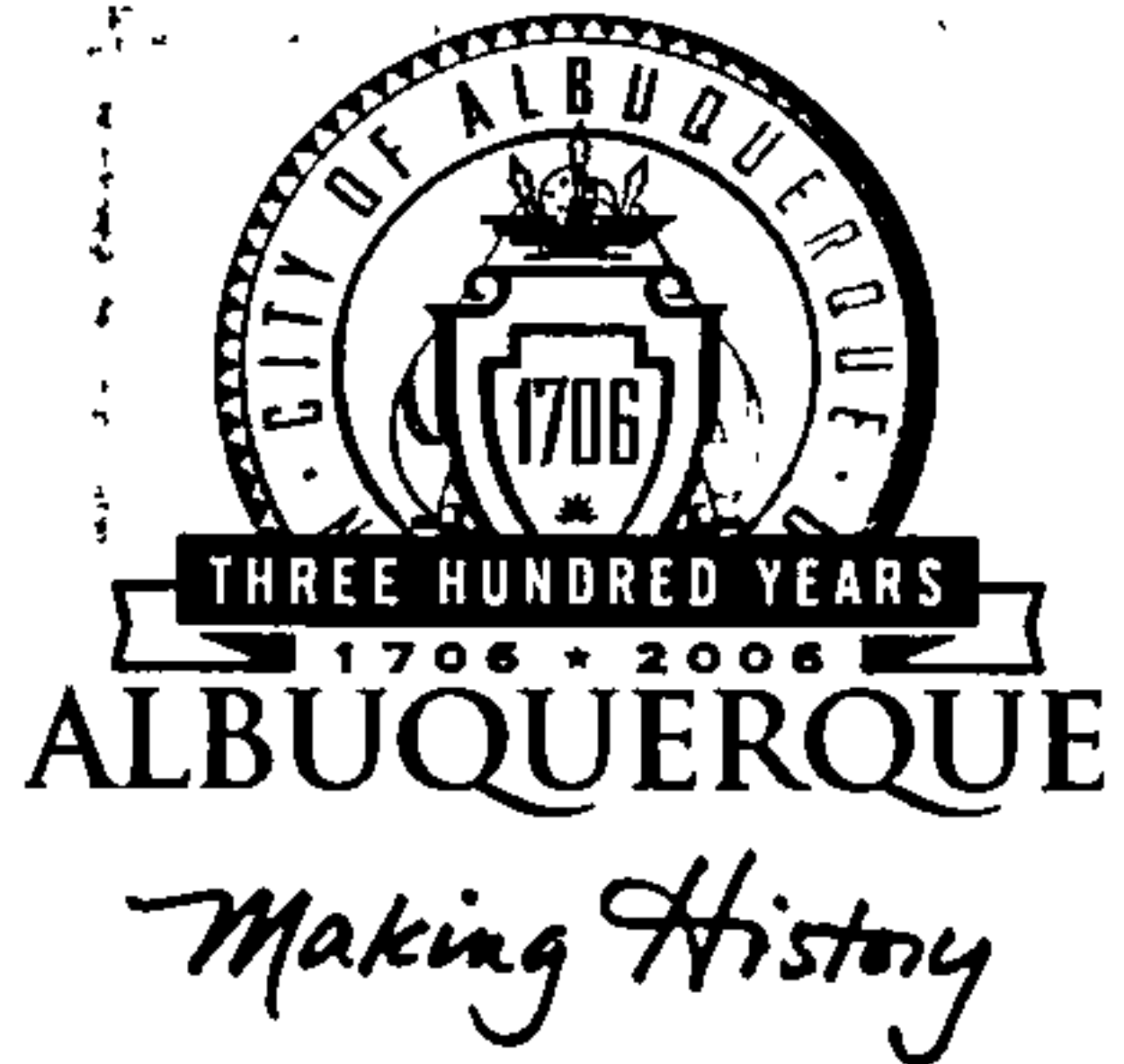
HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
/		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
/		

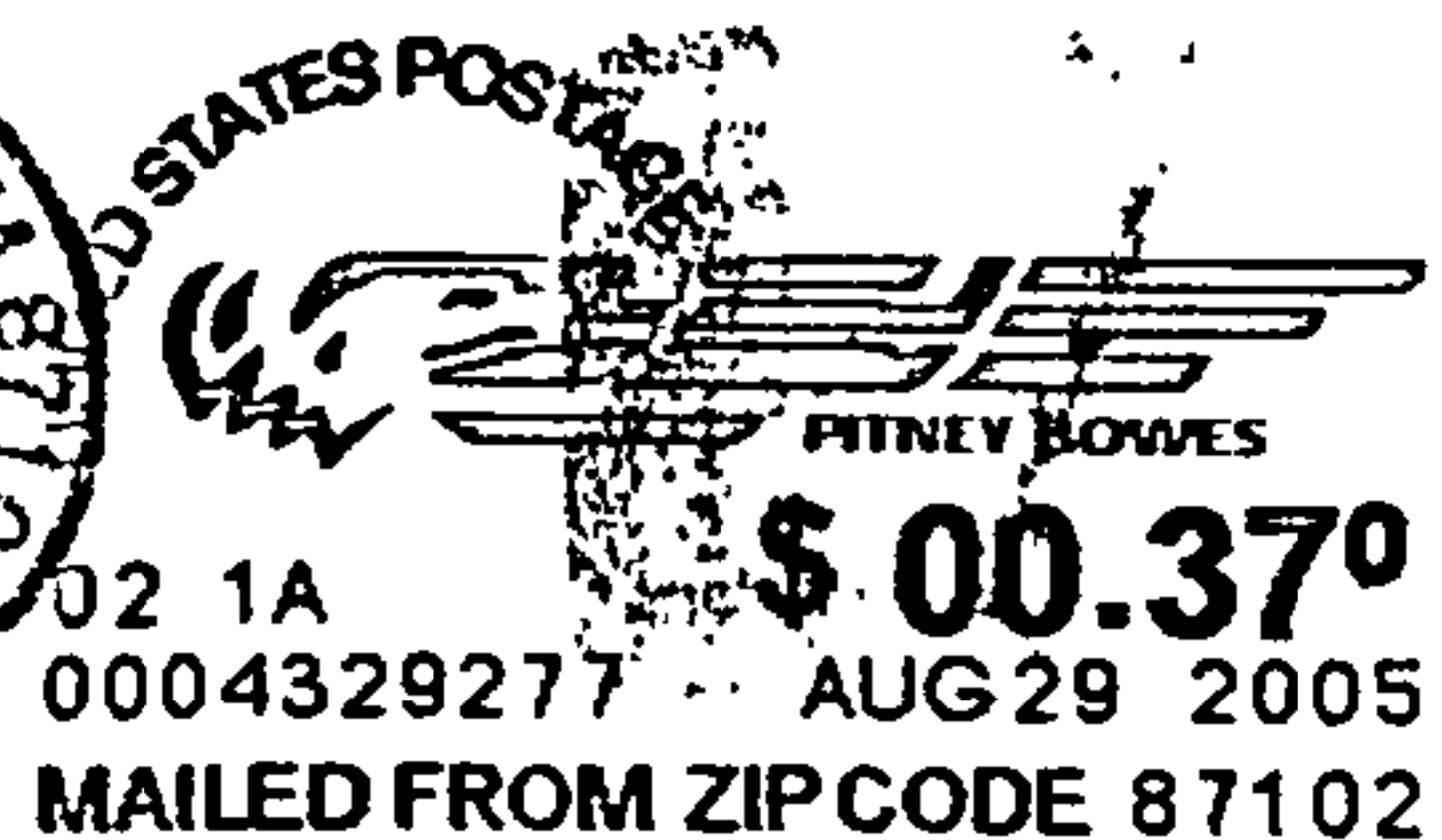
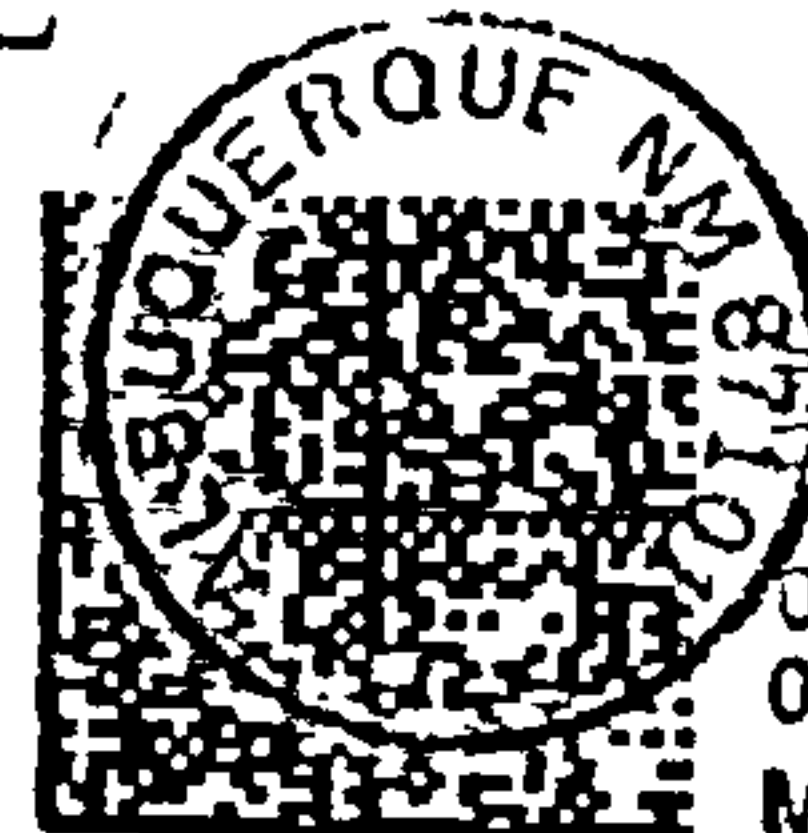
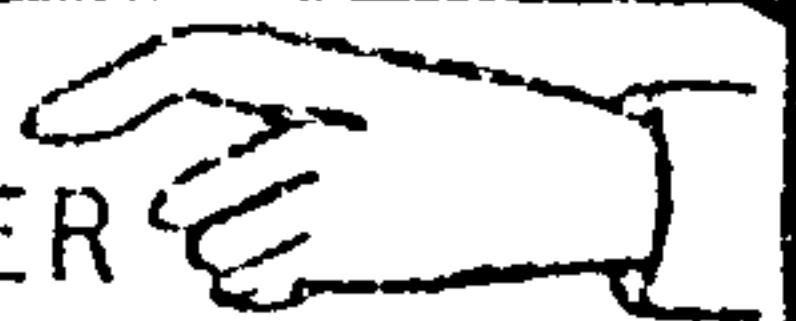
PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>JM</i>	DATE 4/07/03	DATE
COMMENTS:		
4/7/03 DXF Approved <i>JM</i>		

(Return form with plat / site plan)

CITY OF ALBUQUERQUE



RETURN
TO SENDER
ATTEMPTED
NOT KNOWN



DRB

Planning Department

P.O. Box 1293

Albuquerque, NM 87103

101706312612930123

DURKOVICH STEPHEN G & KAREN A
412 11TH ST NW
ALBUQUERQUE NM 87102

87102+1804-12 0003



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 14, 2005,** beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000621
05DRB-01334 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for JOHN Q HAMMONS HOTELS request(s) the above action(s) for all or a portion of Tract(s) B-1, **GATEWAY SUBDIVISION**, zoned SU-2 C-3, located on LOMAS BLVD NE, between WOODWARD PL NE and MOUNTAIN RD NE containing approximately 9 acre(s). [REF: 03DRB01353, 03DRB01649] (J-15)

Project # 1002645
05DRB-01335 Major-Two Year SIA

TIERRA WEST LLC agent(s) for CLEARBROOK INVESTMENTS LLC request(s) the above action(s) for **SEVILLE, UNIT 8**, zoned RLT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA ST NW containing approximately 27 acre(s). [REF: 03DRB-01441, 03DRB-01441] (A-10)

Project # 1002321
05DRB-01333 Major-SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 11, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between MASTHEAD NE and BARTLETT NE containing approximately 10 acre(s). (D-17)


Project # 1004387
05DRB-01332 Major-Vacation of Pub Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). (J-15)

Project # 1004388
05DRB-01336 Major-Preliminary Plat Approval
05DRB-01337 Minor-Sidewalk Waiver
05DRB-01338 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 14, VENTANA RANCH WEST (to be known as **WESTERN SHADOWS, UNIT 2**) zoned R-LT residential zone, located on VENTANA RIDGE RD NW, east of DEL OESTE DR NW and containing approximately 20 acre(s). [REF:1002778] (B-8)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 29, 2005.

#3



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01333 (SBP)	Project # 1002321
Project Name: JOURNAL CENTER PH 2 UNIT 2	
Agent: Bohannon Huston Inc.	Phone No.: 823-1000

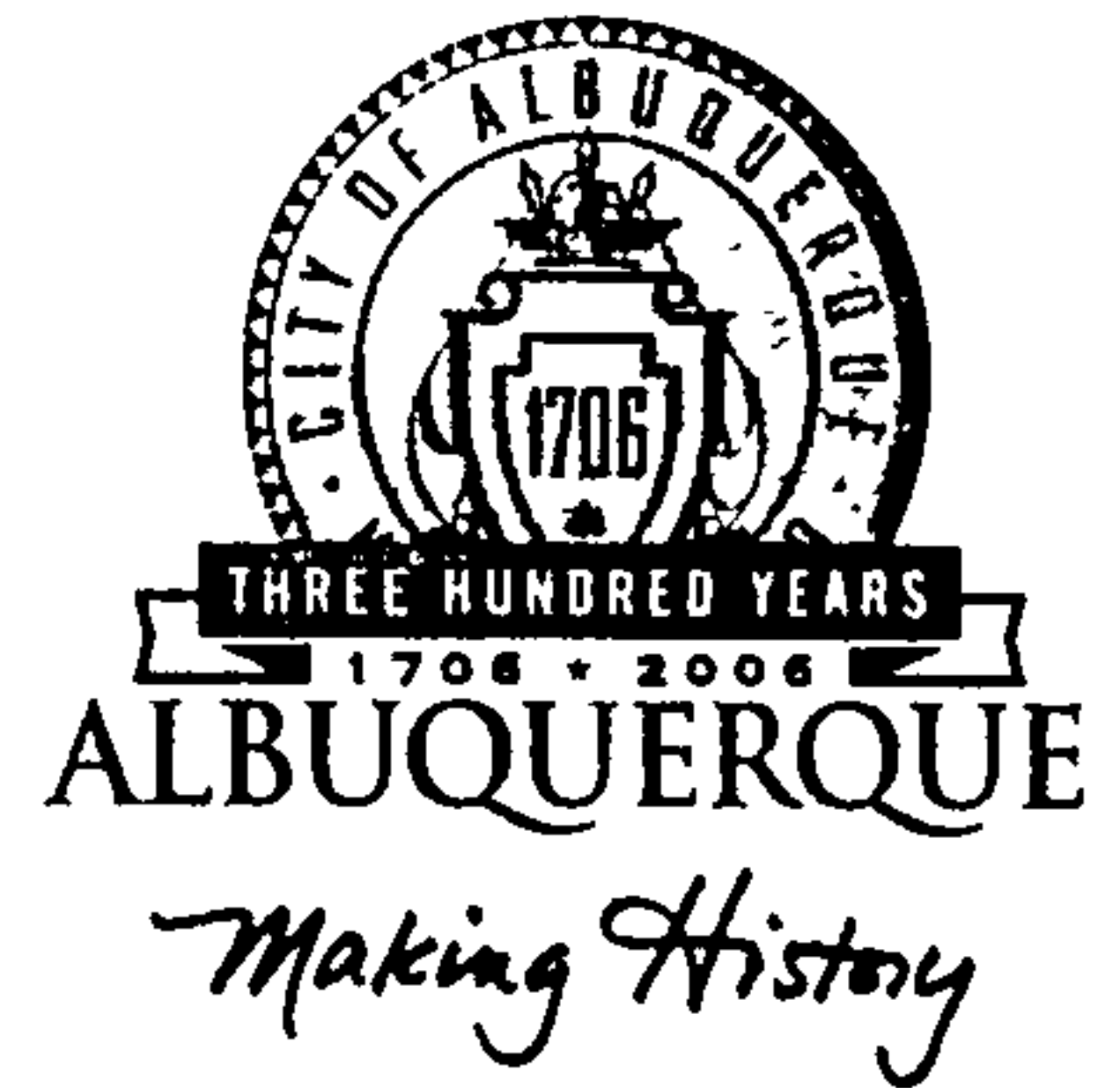
Your request for ~~(SDP for SUB)~~ (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/14/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): 3 copies
comments - see file
- _____
- _____

Project Number 1002321

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - ~~Include 3 copies of the approved site plan along with the originals.~~
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1002321

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

Albuquerque

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

New Mexico 87103

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: September 14, 2005

www.cabq.gov

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002321 AGENDA#: 3 DATE: 9/14/05

1. Name: Bruce Stuber Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 14, 2005

Project # 1002321
05DRB-01333 Major-SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 11, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between MASTHEAD NE and BARTLETT NE containing approximately 10 acre(s). (D-17)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	Transit suggests providing a clear pedestrian route to access the building from Rutledge Road.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	Letter sent to Alameda North Valley (R) N.A.
APS	No comments received.
Police Department	No CPTED or crime prevention comments at this time.
Fire Department	Fire Department access and fire hydrant coverage is acceptable for this project. All other specific requirements will be addressed when permitted plans are submitted for review.
PNM Electric & Gas	Approves.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.

Open Space Division

No adverse comments.

City Engineer

No adverse comments.

Transportation Development

Ensure that the sight lines for transportation can be met with the proposed landscape plan. Where are the build notes for the entrances? How do these line up with entrances across the street? What is the status of the trip generation comparison? Bumpers are needed to prevent encroachment onto the 6' sidewalk. Is the sidewalk being extended on Rutledge to the existing sidewalk?

Parks & Recreation

No objection.

Utilities Development

No objection to Site Plan approval, have minor comment on Utility Plan.

Planning Department

✓ The Journal Center Site Plan Approval language should appear on the site plan page just above the DRB signature block. However, the signature line for the Planning Director is not necessary.

✓ The employee patio has trees for shade. Please add a note to the site plan indicating there will be tables and benches or chairs as well.

✓ Landscape Plan: The Berinda Ash is a high water use tree as indicated. With Albuquerque's water conservation priority, an additional 43 of these trees at this site is excessive. Please propose another tree with less water demand. It is possible to design a street tree scheme with 2 less water use trees mixed with the Berinda Ash, for example.

✓ Landscape Plan: The total landscape square footage is given but not the % as required. Santa Ana Tan gravel is specified but the depth is not given (3" for example).

✓ Planning will need a copy of both Journal Center ARC approval letters to approve this site plan.

Impact Fee Administrator

Construction of the three story office building will require payment of impact fees. Based on the building size which is approximately 96,400 sf and an impervious area of approximately 4.58 acres, it is estimated that the impact fees will total approximately \$131,496.85 if a building permit is obtained by December 30, 2005, \$259,126.14.

NONE
ADDRESSED
IN
REVISED
PLAN

Impact Fee Administrator

If a permit is obtained prior to December 29, 2006 and the full impact fee of \$386,755.44 would be payable thereafter.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Bohannon Huston Inc., 7500 Jefferson NE, 87109

Masthead Road Development LLC, 6300 Riverside Plaza Lane NW, Suite 200,
87120



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

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Project # 1000621

05DRB-01334 Major-Two Year SIA

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Project # 1002645

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Project # 1004387

05DRB-01332 Major-Vacation of Pub Right-of-Way

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Project # 1004388

05DRB-01336 Major-Preliminary Plat Approval

05DRB-01337 Minor-Sidewalk Waiver

05DRB-01338 Minor-Temp Defer SDWK

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Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 29, 2005.

NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

August 31, 2005

TO: Steve Wentworth and Leroy Gurule, Alameda North Valley Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately ten (10) acre(s): Major Site Development Plan for Building Permit for the US Forest Service Building, Journal Center, Phase 2, Unit 2, Lot 11.**

Proposed by: Bohannan Huston, Inc. at 823-1000

Agent for: Masthead Road Development, LLC

For property located: **On or near Rutledge Road NE between Masthead Street NE and Bartlett Street NE.**

P.O. Box 1293

The case number(s) assigned is: **05DRB- 01333, Project # 1002321.**

Albuquerque

City Planning accepted application for this request on **August 19, 2005.**

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at **9 a.m. on Wednesday, September 14, 2005** in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

www.cabq.gov

You should contact **Claire Senova** at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at **924-3902** or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: SEPTEMBER 14, 2005
Zone Atlas Page: D-17-Z
Notification Radius: 100 Ft.

Project# 1002321
App# 05DRB-01333

Cross Reference and Location: Rutledge Rd between Masthead Street and Bartlett Street

Applicant: MASTHEAD ROAD DEVELOPMENT LLC.
Address: 6300 RIVERSIDE PLAZA LANE NW SUITE 200
ALBUQUERQUE, NM 87120

Agent: BOHANNAN HUSTON INC.
Address: 7500 JEFFERSON NE
ALBUQUERQUE NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: AUGUST 26, 2005

Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

Project# _____
Application# _____

PAGE 1 OF 2

Zone Atlas Page #	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
D-17	1017063	164-209	307-06	✓ Dup
		108-233	01	
		122-233	07	
		115-217	02	
		115-202	03	✓ Dup 2
		108-186	04	✓ Dup 2
		123-186	05	✓ Dup 2
		103-157	301-11	✓ Dup 2
		120-157	10	✓ Dup 2
		137-157	09	✓ Dup 2
		147-160	08	✓
		086-157	12	✓ Dup 2
		086-256	304-19	✓ Dup 2
		101-264	18	✓ Dup 2
		115-263	17	✓ Dup 2
		165-263	16	✓ Dup 2
		190-266	15	✓ Dup 2
		220-266	14	✓
		232-253	11	✓
		246-209	305-01	✓
		201-204	02	✓
		235-166	306-01	
		234-151	02	
		205-163	03	✓



mainframe@coa1mp3.ca
bq.gov
08/24/2005 08:38 AM

To
cc
bcc
Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01017063 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101706316420930706 LEGAL: LT 1 1 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706310823330701 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101706312223330707 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101706311521730702 LEGAL: LT 1 3 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706311520230703 LEGAL: LT 1 4 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706310818630704 LEGAL: LT 1 5-A PLAT OF LOTS 10-A, 10-B, 15-A & 15-B
JOURN LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706312318630705 LEGAL: LT 1 5-B PLAT OF LOTS 10-A, 10-B, 15-A & 15-B
JOURN LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706310315730111 LEGAL: LT 1 8 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: BRUNACINI DEVELOPMENT LTD CO
OWNER ADDR: PO BOX 6363
ALBUQUERQUE NM 87197

PAGE 2

0101706312015730110 LEGAL: LT 1 7 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: BRUNACINI DEVELOPMENT LTD CO
OWNER ADDR: PO BOX 6363

ALBUQUERQUE NM 87197

0101706313715730109 LEGAL: LT 1 6 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: BRUNACINI DEVELOPMENT LTD CO
OWNER ADDR: PO BOX 6363

ALBUQUERQUE NM 87197

0101706314716030108 LEGAL: TRAC T 9A AMENDED PLAT OF LOT 9A & 7A-1A
LAND USE:

PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: GPI PROPERTIES 1997 LLC & GENE
OWNER ADDR: PO BOX 1108

HOUSTON TX 77251

0101706308615730112 LEGAL: LT 1 9 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: BRUNACINI DEVELOPMENT LTD CO
OWNER ADDR: PO BOX 6363

ALBUQUERQUE NM 87197

0101706308625630419 LEGAL: LT 5 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE

ALBUQUERQUE NM 87111

0101706310126430418 LEGAL: LT 4 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE

ALBUQUERQUE NM 87111

0101706311526330417 LEGAL: LT 3 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE

ALBUQUERQUE NM 87111

0101706316526330416 LEGAL: LT 2 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE

ALBUQUERQUE NM 87111

PAGE 3

0101706319026630415 LEGAL: LT 1 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE

ALBUQUERQUE NM 87111

0101706322026630414 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101706323225330411 LEGAL: LT 1 4-A PLAT FOR LOT 14-A JOURNAL CENTER PHASE
2 U LAND USE:

PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: 4301 MASTHEAD LLC
OWNER ADDR: 02340 MENAUL NE

ALBUQUERQUE NM 87107

0101706324620930501 LEGAL: LOT 10A PLAT OF LOTS 10A & 11A JOURNAL CENTER
PHAS LAND USE:

PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: SOUTHWEST TIBURON LLC
OWNER ADDR: 02555 EAST CAMELBACK RD

PHOENIX AZ 85016

0101706320120430502 LEGAL: LOT 11A PLAT OF LOTS 10A & 11A JOURNAL CENTER
PHAS LAND USE:

PROPERTY ADDR: 00000 WOLCOTT
OWNER NAME: WALTON CHAPMAN BUILDERS
OWNER ADDR: 00044 BRUNN SCHOOL RD

SANTA FE NM 87505

0101706323516630601 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101706323415130602 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101706320516330603 LEGAL: LOT 6 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:

PROPERTY ADDR: 00000 HANCOCK
OWNER NAME: PEARSON JOHN DAVID
OWNER ADDR: 11612 PENDFIELD LN NE

ALBUQUERQUE NM 87111

0101706320317230604 LEGAL: LOT 5 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:

PROPERTY ADDR: 00000 HANCOCK
OWNER NAME: PEARSON JOHN DAVID
OWNER ADDR: 11600 ACADEMY RD NE

ALBUQUERQUE NM 87111

0101706320419030605 LEGAL: LOT 4 PL AT OF JOURNAL CENTER PHASE 2 UNIT1
LAND USE:

PROPERTY ADDR: 00000 HANCOCK
OWNER NAME: WALTON CHAPMAN BUILDERS
OWNER ADDR: 00404 BRUNN SCHOOL RD

SANTA FE NM 87505

0101706319016530608 LEGAL: LOT 1 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:
PROPERTY ADDR: 00000 WASHINGTON
OWNER NAME: BLUE HOLE LTD CO
OWNER ADDR: PO BOX 94084

ALBUQUERQUE NM 87199
0101706319217530607 LEGAL: LOT 2 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:
PROPERTY ADDR: 00000 WASHINGTON
OWNER NAME: THREE AM LLC
OWNER ADDR: 00049 SANTA MARIA RD

CORRALES NM 87048
0101706319519830606 LEGAL: LOT 3 PL AT OF JOURNAL CENTER PHASE 2 UNIT1
LAND USE:
PROPERTY ADDR: 00000 WOLCOTT
OWNER NAME: CHAPMAN GEORGE WALTON & JOAN E
OWNER ADDR: 00404 BRUNN SCHOOL RD

SANTA FE NM 87505
0101706313613530129 LEGAL: LT 1 1-A- 5 SIRKEL SUB'D (REPL OF LT 11-A
INTERSTATE LAND USE:
PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: LEMON SHANE & DEBORAH
OWNER ADDR: 01323 NARCISCO CT NE

ALBUQUERQUE NM 87112
0101706312613530124 LEGAL: LT 1 1-A- 1 SIRKEL SUB'D (REPL OF LT 11-A
INTERSTATE LAND USE:
PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: JASPERSON NIEL W ETUX
OWNER ADDR: 06804 HENSCH NE

ALBUQUERQUE NM 87109
0101706312612930123 LEGAL: LT 1 1-A- 2 SIRKEL SUB'D (REPL OF LT 11-A
INTERSTATE LAND USE:
PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: DURKOVICH STEPHEN G & KAREN A
OWNER ADDR: 00412 11TH ST NW

ALBUQUERQUE NM 87102
0101706313612930126 LEGAL: LT 1 1-A- 6 SIRKEL SUB'D (REPL OF LT 11-A
INTERSTATE LAND USE:
PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: MILLER AUDREY SCHENCK
OWNER ADDR: 03827 HAWKINS NE

ALBUQUERQUE NM 87109
0101706313612530127 LEGAL: LT 1 1-A- 7 SIRKEL SUB'D (REPL OF LT 11-A
INTERSTATE LAND USE:
PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: RENNA PETER D & NANCY TRUSTEES
OWNER ADDR: PO BOX 1901

CORRALES NM 87048

PAGE 5

0101706312612530122 LEGAL: LT 1 1-A- 3 SIRKEL SUB'D (REPL OF LT 11-A
INTERSTATE LAND USE:

PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: ROCKWELL JOHN III & BARARA A
OWNER ADDR: 03819 HAWKINS NE

ALBUQUERQUE NM 87109

0101706311612830105 LEGAL: 12A2 COR RECTED REDIVISION OF LOT 12A (NOW COMP
LOT LAND USE:

PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: AUTOMOTIVE DEALER SERVICE CORP
OWNER ADDR: 03815 HAWKINS ST NE

ALBUQUERQUE NM 87109

0101706310412530104 LEGAL: LOT 13-A (1) OF REPLAT OF LOTS 12-A & 13-A OF
INTER LAND USE:

PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: BRANCH JOAN MCCAUSLAND
OWNER ADDR: 01717 AVENIDA LAS CAMPANAS NW

ALBUQUERQUE NM 87107

0101706308812530103 LEGAL: 014 INTE RSTATE INDUSTRIAL TRACT UNIT # 4 CONT
1.02 LAND USE:

PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: CORTAZAR INVESTMENTS LLC
OWNER ADDR: 05951 OFFICE BL NE

ALBUQUERQUE NM 87109

QUIT

101706310823330701 LEGAL: LOT 12-A PLAT OF LOTS 12-A & 12-B JOURNAL CENTER
PHASE 2 UNIT 2, TRACT 8A-1 JOURNAL CENTER
PROPERTY ADDR: 7440 BARTLETT ST NE

OWNERS NAME: WALTON CHAPMAN BUILDERS CO.
OWNERS ADDR: 404 BRUNN SCHOOL RD
SANTA FE NM 87505

101706312223330707 LEGAL: LOT 12-B PLAT OF LOTS 12-A & 12-B JOURNAL CENTER
TRACT 2 A
PROPERTY ADDR: 7440 BARTLETT ST NE

OWNERS NAME: WALTON CHAPMAN BUILDERS CO.
OWNERS ADDR: 404 BRUNN SCHOOL RD

101706311521730702 LEGAL: LOT 13 PLAT OF JOURNAL CENTER PHASE 2, UNIT 2, TRACT
8A-1
PROPERTY ADDR: 404 BRUNN SCHOOL RD

OWNERS NAME: WALTON CHAMPMAN BUILDERS CO.
OWNERS ADDR: 7430 BARTLETT ST NE
SANTA FE, NM 87505

101706322026630414 LEGAL: LOT 15 -A PLAT OF LOT 15-A JOURNAL CENTER PHASE 2
PROPERTY ADDR: 4101 MASTHEAD NE

OWNERS NAME: MASTHEAD CENTER LLC
OWNERS ADDR: 4109 MASTHEAD NE
ALBUQUERQUE, NM 87109

101706323516630601 LEGAL: LOT 8-A PLAT FOR LOTS 7-A & 8-A JOURNAL CENTER
PROPERTY ADDR: 4201 WOLCOTT AVE NE

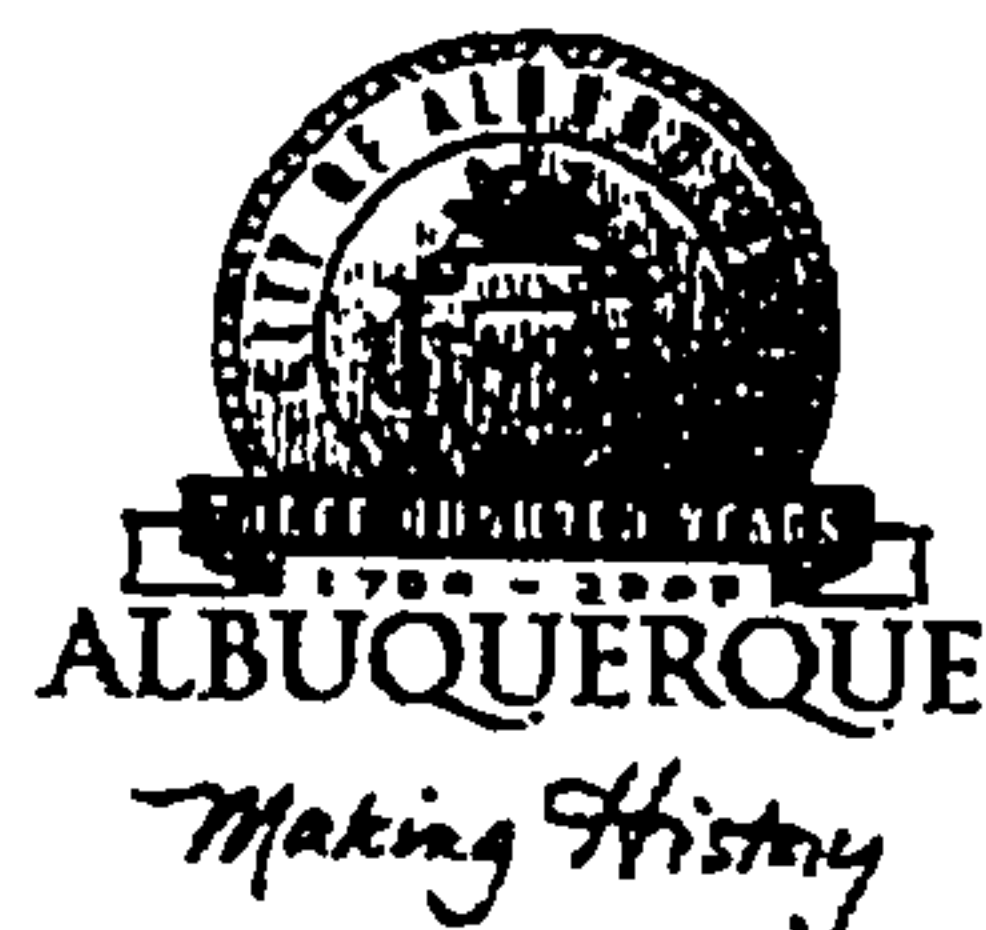
OWNERS NAME: NEW MEXICO CREDIT UNION LEAGUE
OWNERS ADDR: 4201 WOLCOTT AVE NE
ALBUQUERQUE, NM 87109

101706312223330707 LEGAL: LOT 12-B PLAT OF LOTS 12-A & 12-B JOURNAL CENTER
TRACT 2-A
PROPERTY ADDR: 7440 BARTLETT ST NE

OWNERS NAME: WALTON CHAMPMAN BUILDERS CO.
OWNERS ADDR: 404 BRUNN SCHOOL RD
SANTA FE, NM 87505

401706311521730702 LEGAL: LOT 13 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2 TRACT
8A-1 JOURNAL CENTER
PROPERTY ADDR: 7430 BARTLETT ST NE

OWNERS NAME: WALTON CHAMPMAN BUILDERS CO.
OWNERS ADDR: 404 BRUNN SCHOOL RD
SANTA FE, NM 87505



City of Albuquerque

August 17, 2005

Stephanie Stratton
 Bohannon, Houston.
 7500 Jefferson St. NE /87109
 Phone: 823-1000 Fax: 877-5332

Dear Stephanie:

Thank you for your inquiry of **August 17, 2005** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **JOURNAL CENTER LOT 11** zonene map **D-17**.

Our records indicate that the Recognized Neighborhood Association (s) affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. (ANV) "R"
 *Steve Wentworth
 8919 Boe Ln. NE/87113-2328 897-3052 (h)
 Leroy Gurule
 713 Alameda Blvd. NW, Alameda/87114 890-1845 (h)

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested**, before the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Valencia Carmona
 OFFICE OF NEIGHBORHOOD COORDINATION
 Planning Department

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.

August 17, 2005

Sheran Matson, DRB Chair
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Ms. Matson:

The purpose of this letter is to authorize Bohannon Huston Inc. to act as agent for Masthead Road Development, LLC, for the purpose of processing the Site Plan for Building Permit.

If you have any questions or concerns regarding this letter, please do not hesitate to contact me. Thank you for your courtesy in this matter.

Thank you,



Ben F. Spencer
Masthead Road Development, LLC

Project # 1002321

MASTHEAD RD DEVELOPMENT LLC.
6300 RIVERSIDE PLAZA LN NW STE200
ALBUQUERQUE, NM 87120

BOHANNAN HUSTON INC.
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

STEVE WENTWORTH
Alameda North Valley Assn.
8919 BOE LN NE
ALBUQUERQUE, NM 87113

LEROY GURULE
Alameda North Valley Assn.
713 ALAMEDA BLVD NW
ALBUQUERQUE, NM 87114

101706316420930706
TIBURON INVESTMENT CORP
13000 ACADEMY RD NE
ALBUQUERQUE NM 87111

101706310315730111
BRUNACINI DEVELOPMENT LTD CO
PO BOX 6363
ALBUQUERQUE, NM 87197

101706314716030108
GPI PROPERTIES 1997 LLC
PO BOX 1108
HOUSTON, TX 77251

101706323225330411
4301 MASTHEAD LLC
2340 MENAUL NE
ALBUQUERQUE NM 87107

101706324620930501
SOUTHWEST TIBURON LLC
2555 EAST CAMELBACK RD
PHOENIX AZ 85016

101706320120430502
WALTON CHAPMAN BUILDERS
44 BRUNN SCHOOL RD
SANTA FE NM 87505

101706320516330603
PEARSON JOHN DAVID
11612 PENDIELD LN NE
ALBUQUERQUE NM 87111

101706320419030605
WALTON CHAPMAN BUILDERS
404 BRUNN SCHOOL RD
SANTA FE NM 87505

101706319016530608
BLUE HOLE LTD CO
PO BOX 94084
ALBUQUERQUE, NM 87199

101706319217530607
THREE AM LLC
49 SANTA MARIA RD
CORRALES NM 87048

101706319519830606
CHAPMAN GEORGE WALTON & JOAN
404 BRUNN SCHOOL RD
SANTA FE NM 87505

101706313613530129
LEMON SHANE & DEBORAH
1323 NARCISCO CT NE
ALBUQUERQUE NM 87112

101706312613530124
JASPERSON NIEL W ETUX
6804 HENSCH NE
ALBUQUERQUE NM 87109

101706312612930123
DURKOVICH STEPHEN G & KAREN A
412 11TH ST NW
ALBUQUERQUE NM 87102

101706313612930126
MILLER AUDREY SCHENCK
3827 HAWKINS NE
ALBUQUERQUE NM 87109

101706313612530127
RENNA PETER D & NANCY TRUSTEE
PO BOX 1901
CORRALES, NM 87048

101706312612530122
ROCKWELL JOHN III & BARARA A
3819 HAWKINS NE
ALBUQUERQUE NM 87109

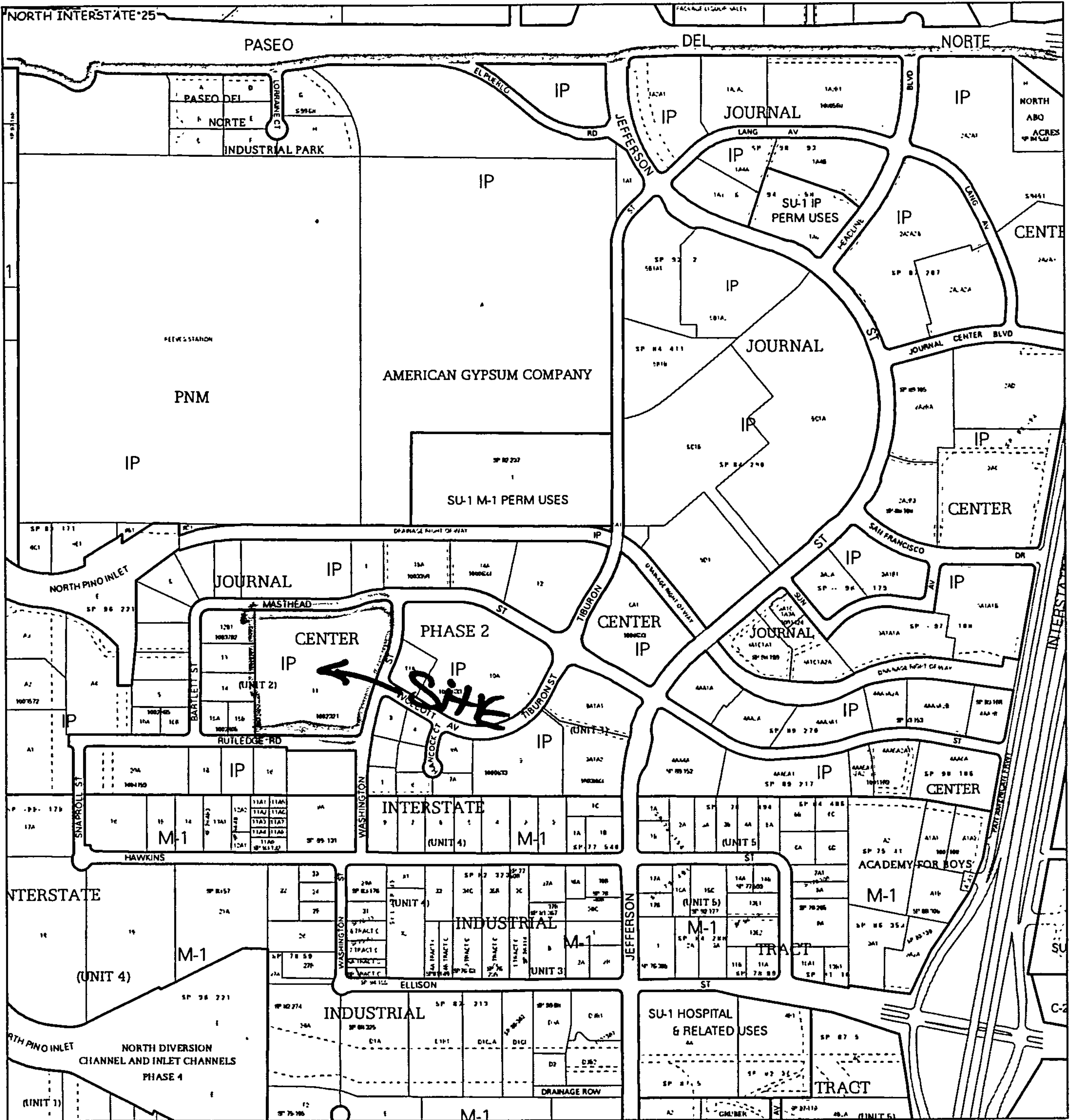
101706311612830105
AUTOMOTIVE DEALER SERVICE COR
3815 HAWKINS ST NE
ALBUQUERQUE NM 87109

101706310412530104
BRANCH JOAN MCCAUSLAND
1717 AVENIDA LAS CAMPA NW
ALBUQUERQUE NM 87107

101706308812530103
CORTAZAR INVESTMENTS LLC
5951 OFFICE BL NE
ALBUQUERQUE NM 87109

101706322026630414
MASTHEAD CENTER LLC
4109 MASTHEAD NE
ALBUQUERQUE, NM 87109

101706323516630601
NEW MEXICO CREDIT UNION LEAGUE
4201 WOLCOTT AVE NE
ALBUQUERQUE, NM 87109



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 8/1/2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT Mashead Road Development, LLC. DATE OF REQUEST: 8/19/05 ZONE ATLAS PAGE(S): D-14

CURRENT:
ZONING IP
PARCEL SIZE (AC/SQ. FT.) _____

LEGAL DESCRIPTION:
LOT OR TRACT # 11 BLOCK # _____
SUBDIVISION NAME: Journal Center Ph. 2 Unit 2

REQUESTED CITY ACTION(S):

- | | | | |
|----------------|---------------------|---|---|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION [] | BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES <input checked="" type="checkbox"/> | ACCESS PERMIT [] |
| | | C) AMENDMENT [] | OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
 NEW CONSTRUCTION []
 EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: ¹

OF UNITS: 1
BUILDING SIZE: _____ (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Stephanie Stratton DATE 8-19-05
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes: TRIP GENERATION COMPARISON REQUIRED.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

Tony L... 8-19-05
TRAFFIC ENGINEER DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

Stephanie Stratton 8-19-05
APPLICANT DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____

AGIS ELECTRONIC SUBMITTAL CHECKLIST

DRB Project# 1002321 Subdivision Name Journal Center, Phase 2 Unit 2

Surveyor A Dwain Weaver Company Bohannon & Huston

Contact person Mary Cole Phone # _____ email _____

Neal Weinberg _____ 4/7/03
Approved *Not Approved Date

DXF RECEIVED 4-4-03 DATE
 HARD-COPY RECEIVED _____ DATE
 DISCLOSURE STATEMENT

NAD 27 Ground Coor.

***Not Approved for one or more of the following reasons:**

File Format and naming

- 1) Format is not DXF file in ASCII format
- 2) No hard copy of the final plat submitted
- 3) <DRB Project #>.dxf not used as a standard naming convention

Coordinate System

- 4) Submittal does not include a disclosure of the datum (NAD27 or NAD83)
- 5) Submittal does not specify if coordinates are based on ground or grid distances
- 6) Submittal does not include information necessary to rotate from ground to grid
- 7) Lines cannot be projected/converted to correct location in NAD83 NMSP coordinate system

Content

- 8) Submittal is not single drawing in model space showing only parcel and easement lines
- 9) Digital submittal does not match final plat
- 10) Parcel lines are not in one separate layer
- 11) Access easement lines and all other easements that are 20 feet wide or greater are not in a second separate layer
- 12) All other easement lines are not in a third separate layer

Comments:

AGIS Use Only: Copied cov _____ to agiscov on _____ Client Notified _____

19



DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-00478 (FP)	Project # 1000633 1002321
Project Name: JOURNALCENTER PH 2 UNIT 2	EPC Application No.:
Agent: Bohannan Huston Inc.	Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), **FINAL PLATS**, (MASTER DEVELOP. PLAN), was approved on 4/2/03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: Need adequate Sanitary Sewer easement

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): AMA FCA's signature & AG/BCV/AF

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- Copy of final plat AND a DXF File for AGIS is required.
- Copy of recorded plat for Planning.

Project Number 1000633-1002321

19



DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-00478 (FP)
Project Name: **JOURNALCENTER PH 2 UNIT 2**
Agent: Bohannan Huston Inc.

Project # 1002321
EPC Application No.:
Phone No.: 823-1000

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: Need adequate Sanitary Sewer easement

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): AMA FCA's signature + AGIS dx
 Planning must record this plat. Please submit the following items:
-The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
-Tax printout from the County Assessor.
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 Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.

Project Number ~~1000633~~ 1002321



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 2, 2003 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m. Adjourned: 10:42 a.m.
B. Changes and/or Additions to the Agenda
C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001012**
03DRB-00366 Major-Two Year SIA

LARRY READ & ASSOCIATES, agent(s) for COUNTRY SIDE PROPERTIES LLC request(s) the above action(s) for all or a portion of Tract(s) 2, **SUNSHINE COUNTRY – MOBILE HOME PARK II**, zoned SU-Mobile Home Park, located on BLAKE RD SW, between COORS SW and UNSER SW containing approximately 7 acre(s). [REF: DRB-98-64, 01450-00056] (N-10) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION APPROVED.**

2. **Project # 1001085**
03DRB-00372 Major-Two Year SIA

ANTHONY DECK request(s) the above action(s) for all or a portion of Lot(s) 16 and 17, **ROSEWOOD SUBDIVISION**, zoned R-D (15DU/A) located on BLOSSOMWOOD NW, between HANOVER NW and I-40 containing approximately 10 acre(s). [REF: 01DRB-00261, S-96-31] (J-10) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1002525**
03DRB-00367 Major-Vacation of Pub
Right-of-Way
03DRB-00368 Major-Vacation of Pub
Right-of-Way
03DRB-00369 Major-Vacation of
Public Easements
03DRB-00370 Minor-Sketch Plat or
Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORP request(s) the above action(s) for all or a portion of Lot(s) 10 – 23, Block(s) 19, **NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, VINEYARD COURT ESTATES**, zoned RD, located on CARMEL AVE NE, between VENTURA ST NE and HOLBROOK ST NE containing approximately 14 acre(s). [REF: 02EPC-01353, 02EPC-01354, 02EPC-01355] (C-20) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

4. **Project # 1002527**
03DRB-00373 Major-SiteDev Plan
BldPermit

ABQ ENGINEERING INC agent(s) for CARLA GALLIPOLI request(s) the above action(s) for all or a portion of Lot(s) 18, Block(s) 16, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B**, zoned SU-2 / IP, located on CARMEL AVE NE, between I-25 NE and SAN PEDRO NE containing approximately 1 acre(s). [REF: Z-87-42] (C-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO VERIFY THAT THERE IS ADEQUATE ROOM FOR DELIVERY VEHICLES.**

5. **Project # 1002528**
03DRB-00374 Major-Vacation of
Public Easements

BOHANNAN HUSTON, INC. agent(s) for HIGH DESERT INVESTMENT CORP. request(s) the above action(s) for all or a portion of Tract(s) OS-4, **HIGH DESERT SUBDIVISION**, zoned SU-2/HD/RLT, located east of TRAMWAY NE, between GLENWOOD HILLS SUBDIVISION AND U. S. GOVERNMENT LANDS [REF: CSU-89-12, 02DRB-01860, 01652, DRB-91-343] (F-23) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION.**

6. **Project # 1002462**
03DRB-00166 Major-Vacation of Public
Easements

ADVANCED ENGINEERING & CONSULTING, LLC agent(s) for SADLER SOUTHWEST LTD. request(s) the above action(s) for all or a portion of Tract(s) 3, **MENAU DEVELOPMENT AREA**, zoned M-1 light manufacturing zone, located on UNIVERSITY BLVD NE, between MENAU BLVD NE and CLAREMONT AVE NE containing approximately 3 acre(s). [Deferred from 4/2/03] (H-15) **DEFERRED AT AGENT'S REQUEST TO 4/23/03.**

7. **Project # 1002138**
03DRB-00238 Major-Vacation of Pub
Right-of-Way
03DRB-00237 Minor-Prelim&Final Plat
Approval
03DRB-00239 Minor-Sidewalk Variance
03DRB-00240 Minor-Temp Defer SDWK

LARRY READ & ASSOCIATES, INC., agent(s) for SHAKEEL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 19, Block(s) 2, (to be known as **ABIS SUBDIVISION**, NORTH ALBUQUERQUE ACRES, TRACT 2 UNIT 3, zoned RD, located on OAKLAND AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 1 acre(s). [Deferred from 3/19/03] [REF: 02DRB-01219] (C-19) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/2/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/5/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONT AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project # 1002379**
03DRB-00269 Major-Preliminary Plat
Approval
03DRB-00270 Major-Vacation of Pub
Right-of-Way
03DRB-00271 Major-Vacation of Pub
Right-of-Way
03DRB-00272 Major-Vacation of Pub
Right-of-Way
03DRB-00273 Major-Vacation of Pub
Right-of-Way
03DRB-00274 Minor-Vacation of Private
Easements
03DRB-00275 Minor-Vacation of Private
Easements
03DRB-00276 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Lot(s) 1-26, Block 4 and Lot(s) 35-42, Block(s) 5, UNIT 4, **PARADISE HEIGHTS**, (to be known as **PARADISE SKIES, UNIT 10 SUBDIVISION**) zoned R-1 residential zone, located on Rockcliff Blvd NW, south of McMahon Blvd NW containing approximately 9 acre(s). [REF: 02-01867 (SK)] [Deferred from 4/2/03] (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/16/03.**

9. **Project # 1001021**
03DRB-00221 Major-Vacation of Public Easements
03DRB-00222 Minor-Prelim&Final Plat Approval

MARK GOODWIN AND ASSOCIATES, PA, agent(s) for PIERRE AMESTOY JR request(s) the above action(s) for all or a portion of Tract(s) C-1, **IRVING LAND PARTNERS**, zoned M-1 light manufacturing zone, located on Irving Blvd NW between Eagle Ranch Rd NW and Golf Course Rd NW and containing approximately 9 acre(s). [REF: V-86-65] [DEFERRED FROM 4/2/03] (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/9/03.**

10. **Project # 1002243**
03DRB-00121 Major-Preliminary Plat Approval
03DRB-00122 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 463, Town of Atrisco Grant, Unit 7, (to be known as **DESERT SAGE SUBDIVISION, UNIT 3**) zoned RD (9DU/AC), located on 82ND ST SW, between SAGE RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s).[REF:02EPC01460] [DEFERRED FROM 4/2/03] (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/9/03.**

11. **Project # 1000184**
03DRB-00224 Minor-Vacation of Public
Easements

SURVEYS SOUTHWEST LTD agent(s) for ROB DICKSON request(s) the above action(s) for all or a portion of Tract(s) A-7, BANNER SQUARE ADDITION (TO BE KNOWN AS **CAMPUS LOFTS**), zoned SU-1, SU-2/PUD, located on ARNO ST NE, between COPPER AVE NE and BROADWAY BLVD NE containing approximately 1 acre(s). [Deferred from 3/12/03] (K-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

03DRB-00442 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD. agent(s) for ROBERT DICKSON request(s) the above action(s) for all or a portion of Tract(s) A-7, BANNER SQUARE ADDITION, **CAMPUS LOFTS**, zoned SU-2/SU-1/PUD, located on ARNO ST NE, between COPPER AVE. NE and BROADWAY BLVD NE containing approximately 1 acre(s). [REF: 03DRB-00223/00224] [Deferred from 3/26/03] (K-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE DXF FILE AND THE 15-DAY APPEAL PERIOD ON THE VACATION ACTION.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

12. **Project # 1002402**
03DRB-00467 Minor-SiteDev Plan
BldPermit/EPC
- LEE GAMELSKY ARCHITECTS PC agent(s) for CITY OF ALBUQUERQUE, Parks & Recreation Department, request(s) the above action(s) for all or a portion of Tract(s) A, B & C, **U. N. M. PARCELS**, zoned SU-2 special neighborhood zone, R-2 and O-1, located on LOUISIANA AND CONSTITUTION NE, between LOUISIANA BLVD NE and PENNSYLVANIA NE containing approximately 12 acre(s). [REF: Z-68-90, 02EPC-01942, Z-83-33] [Juanita Vigil, EPC Case Planner] (J-19) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR VERIFICATION OF SEWER ACCOUNT AND FOR A REVISED UTILITY PLAN AND TRANSPORTATION DEVELOPMENT BECAUSE PUBLIC SIDEWALKS NEED TO BE CONTAINED WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAY.**
13. **Project # 1000074**
03DRB-00392 Minor-SiteDev Plan
Subd/EPC
03DRB-00394 Minor-SiteDev Plan
BldPermit/EPC
03DRB-00395 Minor- Prelim&Final Plat
Approval
- TIERRA WEST LLC agent(s) for MOUNTAIN RUN PARTNERS LTD. request(s) the above action(s) for all or a portion of Tract(s) H-3-A, LA REINA DEL LOS ALTOS, to be known as **KRISPY KREME @ SANDIA PLAZA**, zoned C-2 (SC), located on JUAN TABO BLVD NE, between JANE PL. NE and CANDELARIA NE containing approximately 9 acre(s). [REF: 02EPC-01478 & 01479] **[Russell Brito (for Len Malry) EPC Case Planner]** [Deferred from 3/19/03 and 3/26/03 and 4/2/03] (G-21) **DEFERRED AT THE BOARD'S REQUEST TO 4/9/03.**

14. **Project # 1002331**
03DRB-00265 Minor-SiteDev Plan
Subd/EPC
03DRB-00263 Minor-SiteDev Plan
BldPermit/EPC

MASTERWORKS ARCHITECTS INC agent(s) for AMERICAN SOCIETY OF RADIOLOGIC TECHNOLOGISTS request(s) the above action(s) for all or a portion of Tract(s) A1, A2, A3, **CHANT PROPERTY ADDITION**, zoned SU-1 Industrial Development, located on CENTRAL AVE SE EAST OF CARMELLA DR SE, containing approximately 10 acre(s). [REF: 02EPC-01689, 02EPC-01686] [Deferred from 3/19/03 and 3/26/03] [Russell Brito, EPC Case Planner] (L-23) **INDEFINITELY DEFERRED ON A NO SHOW.**

03DRB-00400 Minor- Prel & Final Plat

SURVEYS SOUTHWEST LTD., agent(s) for JOHN PADILLA, request(s) the above action(s) for all or a portion of Tract(s) A-1, A-2 and A-3, **CHANT PROPERTY ADDITION**, zoned SU-1 Industrial Development, located on N.M. State Highway 333, containing approximately 10 acre(s). [REF: DRB-97-109, 02EPC-01689, 02EPC-01686, 03DRB-00263 & 00265] [Deferred from 3/19/03 and 3/26/03] (L-23) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

15. **Project # 1001871**
03DRB-00475 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA, agent(s) for RANDALL HOMES LLC request(s) the above action(s) for all or a portion of Lot(s) 28 & 29, Block(s) 12, (to be known as **DESERT HIGHLANDS @ LA CUEVA SUBDIVISION**, NORTH ALBUQUERQUE ACRES TRACT 1, UNIT 3, zoned RD (3 DU/Ac) located on MODESTO AVE NE between WYOMING BLVD NE and BARSTOW ST NE containing approximately 3 acre(s). (C-19) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project # 1002560**
03DRB-00477 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for HECTOR ALVAREZ request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 6, **CASAS SERENAS SUBDIVISION**, zoned RT, located on BELL SE, between TENNESSEE ST SE and TEXAS ST SE containing approximately 1 acre(s). [REF: ZA-87-338] (L-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR DXF FILE.**

17. **Project # 1001463**
03DRB-00479 Major-Final Plat
Approval

CLARK CONSULTING ENGINEERS agent(s) for LLAVE CONSTRUCTION INC request(s) the above action(s) for all or a portion of Lot(s) 1-5 & 6A, Block(s) 19, Tract(s) 3, Unit 3, North Albuquerque Acres (to be known as **VENTURA VILLAGE** , zoned R-D residential and related uses zone, developing area, located on VENTURA NE between HOLLY NE and VENTURA NE containing approximately 5 acre(s). [REF: 01460-01291, 01494, 02EPC00148, 02EPC10058] [Deferred from 4/2/03, agent not present.] (C-20) **DEFERRED TO 4/9/03.**

18. **Project # 1001534**
02DRB-01931 Minor-Prelim&Final Plat
Approval

CLARK CONSULTING ENGINEERS agent(s) for LLAVE CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) A, **VINEYARD ESTATES, UNIT 4A**, zoned RD residential zone, located on the eastside of VENTURA ST NE, between ANAHEIM AVE NE and CARMEL AVE NE containing approximately 2 acre(s). [REF: 01DRB-01446] [Deferred from 1/8/03] [Final Plat was Indefinitely Deferred] [Deferred from 4/2/03 agent was not present.] (C-20) **DEFERRED TO 4/9/03.**

19. **Project # 1002321**
~~03DRB-00478~~ Major-Final Plat
Approval

BOHANNAN HUSTON INC, agent(s) for TIBURON INVESTMENT CO request(s) the above action(s) for all or a portion of Tract(s) 8A-1, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP industrial park zone, located on WYOMING NE, between MASTHEAD NE and RUTLEDGE RD NE containing approximately 52 acre(s). [REF: 00410-01191] [Heard in error under Project #1000633 on 4/2/03, correct Project # is 1002321] (D-17) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR AN ADEQUATE SANITARY SEWER EASEMENT AND PLANNING FOR THE DXF FILE AND AMAFCA'S SIGNATURE.**

20. **Project # 1001934**
02DRB-01864 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC., agent(s) for WILLIAM RIORDAN request(s) the above action(s) for all or a portion of Lot(s) 4, **ALVARADO GARDENS - UNIT 1**, zoned RA-2 residential and agricultural zone, located on RIO GRANDE BLVD NW, between MATTHEW NW and CAMPBELL NW containing approximately 3 acre(s). [DEFERRED FROM 12/18/02] [Final plat was indefinitely deferred for the SIA] [Deferred from 4/2/03 agent was not present] (G-12) **DEFERRED TO 4/9/03.**



City of Albuquerque
Parks and Recreation Department
 PO Box 1293, Albuquerque, New Mexico 87103
 Inter-Office Correspondence

F

1002321

Development Review Board Comments

Project Number:	1000633
Application Number:	03DRB-00478

DRB Date: 4/2/03
Item Number: 19

Subdivision: Journal Center Phase 2, Unit 2
 Tract 8A-1

Request for:

Zoning: IP

Zone Page: D-17

New Lots (or units) : 20

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

Trail Easement needs to be incorporated in the 25' Drainage Easement on the North Pino Arroyo just North of Rutledge on Sheet 2 of 3.

Signed:

Christina Sandoval, (PRD)

Phone: 768-5328

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
4/2/03 Comments**

Item # 19

Project # 1000633

1002321

Application # 03DRB-00478

Subject: Journal Center, Phase 2, Unit 2

The preliminary plat was approved under DRB Project # 1002321.

No objection to the requested platting actions.

Per DPM amendment, Planning cannot sign the final plat until AGIS dxf file requirements are met. Take the digital file plus one hard copy of the final plat to AGIS. Once you obtain an approval slip from them, bring the plat mylar and the approval slip to the Front Counter for Planning's signature. We cannot store the mylar until you have AGIS approval as we are short of storage space.

Applicant can record the plat. Please be sure Planning gets a copy of the recorded plat to close the file.

The Project & Application #s must appear on the plat.



Sheran Matson AICP DRB Chairperson
924-3880 Fax 924-3864



City of Albuquerque
 CITY OF ALBUQUERQUE, NEW MEXICO 87103
 PUBLIC WORKS DEPARTMENT
 DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002321

AGENDA ITEM NO: 19

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat sign-off.
 Comments on plat.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN
 SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)
 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)
 FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: April 2, 2003



OFFICIAL NOTICE

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
LAND DEVELOPMENT COORDINATION DIVISION

12-5-02

2. Project # 1002321

02DRB-01722 Major-Preliminary Plat Approval
02DRB-01723 Major-Vacation of Pub Right-of-Way
02DRB-01724 Major-Vacation of Pub Easement
02DRB-01725 Minor-Sidewalk Waiver
02DRB-01726 Minor-Temp Defer Sdwk

BOHANNAN HUSTON, INC. agent(s) for TIBURON INVESTMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) 8A-1, **JOURNAL CENTER PHASE 2, UNIT 1**, zoned IP industrial park zone, located on the westside of WASHINGTON ST NE, between HAWKINS ST NE and NORTH PINO DRAINAGE R.O.W. containing approximately 53 acre(s).[REF: DRB-95-268,02DRB-01663] (D-17)

At the December 4, 2002, Development Review Board meeting, with the signing of the infrastructure list dated 12/4/02 and approval of the grading plan engineer stamp dated 11/20/02 the preliminary plat was approved with the following condition of final plat:

CONDITION:

1. The AMAFCA Board must approve this request prior to final plat approval.

The Vacations were approved as shown on Exhibit B in the Planning file, subject to the Findings and Conditions of the Subdivision Ordinance as follows:

FINDINGS:

1. Final disposition shall be through the City Real Estate Office.
2. The public welfare is in no way served by retaining the rights-of-way and/or easements.
3. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
2. Affected utility companies shall acknowledge the vacation by their signatures on the replat.



**OFFICIAL NOTICE
PAGE TWO**

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file.

The temporary deferral of construction of sidewalks was approved for the frontage and side yards of the developable lots on the interior streets as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by December 19, 2002, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal; If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Roger Green
Acting, DRB Chair

Cc: Tiburon Investment LLC, 13000 Academy NE, 87111
Bohannon Huston Inc., 7500 Jefferson NE, 87109
Arlene Portillo, Public Works Department, 2nd Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002321 AGENDA#: 2 DATE: 12.4.02

1. Name: BRUCE STOWENY Address: 7500 JEFFERSON Zip: 87109

2. Name: JACK EICHORN Address: 13000 ACADEMY Zip: 87111

3. Name: J. Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002321

AGENDA ITEM NO: 2

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage plan is required for Preliminary Plat approval. 11-20-02
An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION: signed I.L.

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 4, 2002



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
LAND DEVELOPMENT COORD. DIV.

DEVELOPMENT REVIEW BOARD
December 4, 2002
Project # 1002321

Project # 1002321

02DRB-01722 Major-Preliminary Plat Approval
02DRB-01723 Major-Vacation of Pub Right-of-Way
02DRB-01724 Major-Vacation of Pub Easement
02DRB-01725 Minor-Sidewalk Waiver
02DRB-01726 Minor-Temp Defer Sdwk

BOHANNAN HUSTON, INC. agent(s) for TIBURON INVESTMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) 8A-1, **JOURNAL CENTER PHASE 2, UNIT 1**, zoned IP industrial park zone, located on the westside of WASHINGTON ST NE, between HAWKINS ST NE and NORTH PINO DRAINAGE R.O.W. containing approximately 53 acre(s).[REF: DRB-95-268,02DRB-01663] (D-17)

AMAFCA

No objection to requested actions. The vacation of the AMAFCA easement is subject to approval of a Quitclaim Deed by the AMAFCA Board of Directors. Construction of the public storm drain within the AMAFCA right-of-way for the sediment pond will require a three-party License Agreement.

COG Consistent with established transportation plans and policies.

Transit No comments received.

Zoning Enforcement Reviewed, no comment.

Neighborhood Coord. Letter sent to Alameda North Valley (R) Neighborhood Assn.

APS No adverse comments.

Police Department

A review of following case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Traffic control devices, lighting issues, maintenance of landscaping.

Fire Department No adverse comments.

PNM Gas Approves.

PNM Electric PNM approves the vacation requests with no objections.

Comcast No comments received.

QWEST No comments received.

Environmental Health Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer An approved drainage plan is required for Preliminary Plat approval. No objection to vacation request.

Transportation Development

No objection to the preliminary plat on the condition that there have been no significant street alignment changes since the previous preliminary plat for this area was approved. No objection to the right-of-way vacation request. Refer to the agencies having interest in the easements for comments on the vacation of the public easements. No objection to the sidewalk deferral or waiver. When is the section of sidewalk adjacent to Tract 9A to be constructed?

Parks & Recreation No objection to any of the requests.

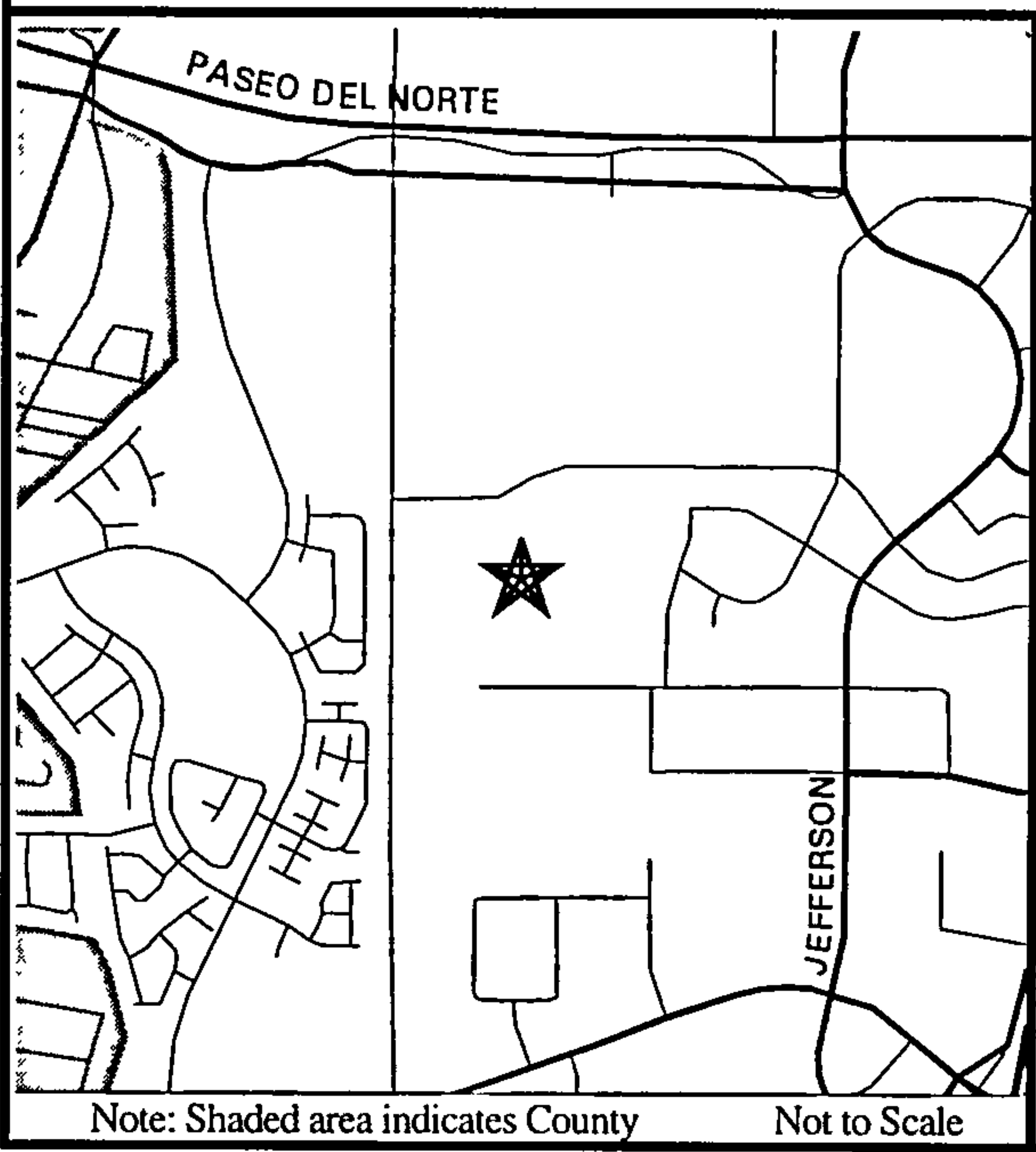
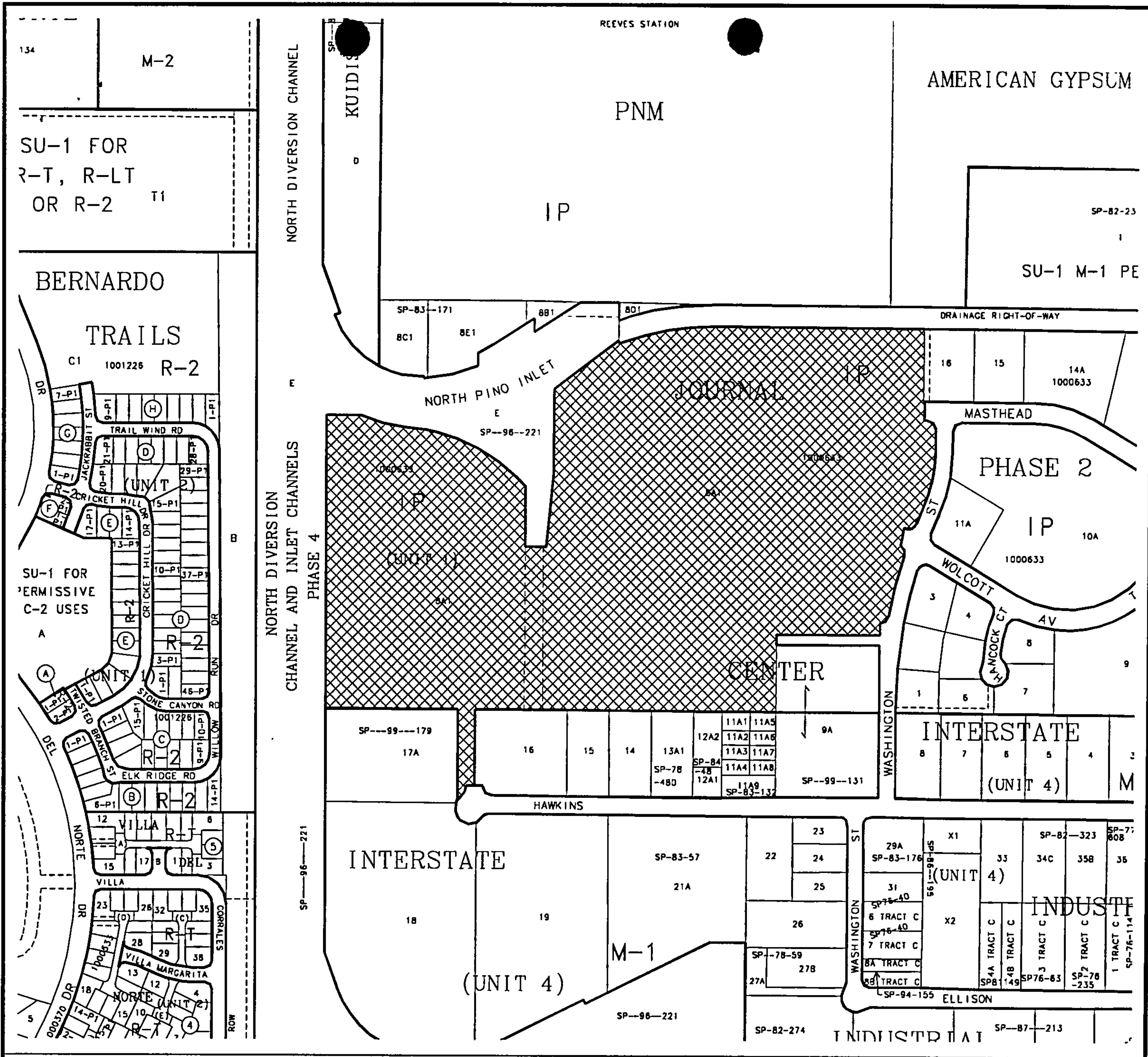
Utilities Development

No objections to Vacation requests. Infrastructure List must contain sanitary sewer item to eliminate temporary outfall to the 8" line in Hawkins allowed with Unit 1. 3. No objection to Sidewalk Waiver/Deferral requests

Planning Department

1. No objection to any of the requested actions. Please note that City Property Management must sign off on all final plat action which includes the vacation of public right of way.
2. Please include the DRB Project and Application #s on the final plat as well as the purpose of the plat.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING
cc:Tiburon Investment LLC, 13000 Academy Rd NE, 87111
Bohannon Huston Inc., 7500 Jefferson NE, 87109



ZONING MAP



Scale 1" = 508'

PROJECT NO.
1002321

HEARING DATE
12-4-02

MAP NO.
D-17

ADDITIONAL CASE NUMBER(S)
02DRB-01722
02DRB-01723
02DRB-01724

02DRB-01725
02DRB-01724



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, December 4, 2002**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1001717

02DRB-01728 Major-Vacation of Pub
Right-of-Way
02DRB-01729 Major-Preliminary Plat
Approval
02DRB-01730 Minor-Temp Defer SDWK
02DRB-01727 Major-SiteDev Plan Subd

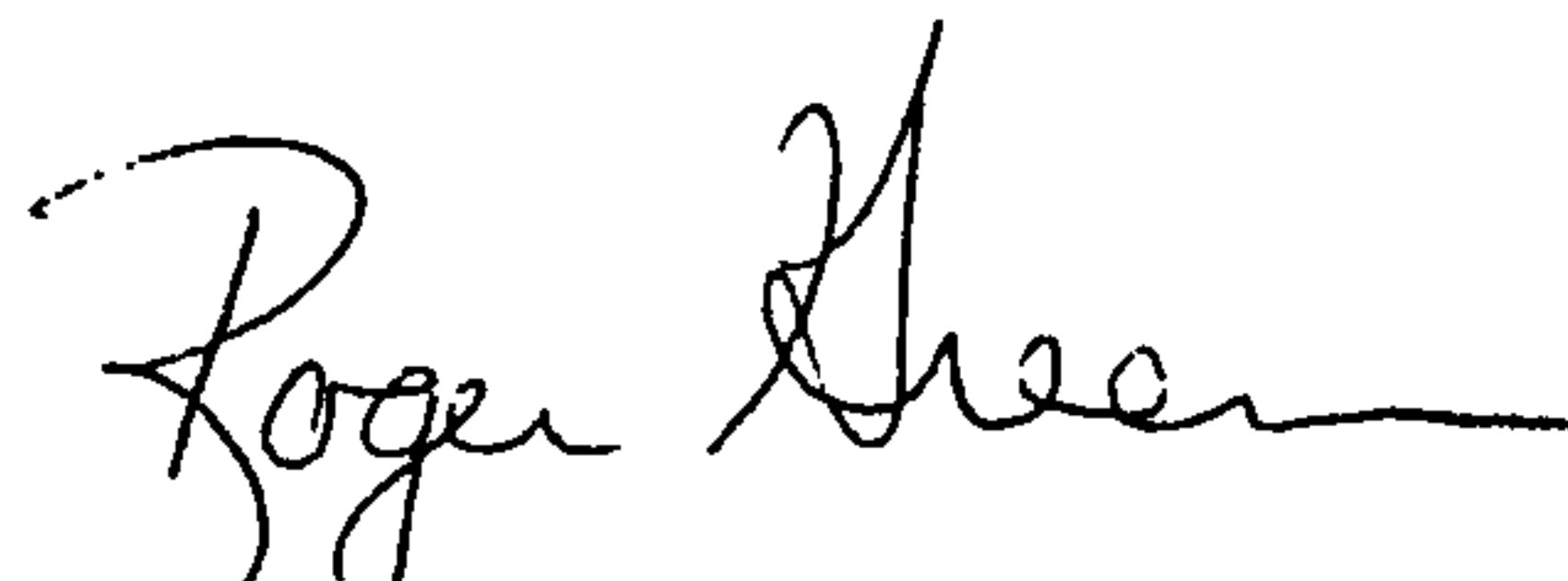
ABQ ENGINEERING INC agent(s) for WESTLAND DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A, EL RANCHO ATRISCO, PHASE 3, TOWN OF ATRISCO GRANT, (TO BE KNOWN AS **LAURELWOOD PARK SUBDIVISION**), zoned RD, located on 72ND ST NW, between HANOVER RD NW and PARKWOOD DR NW containing approximately 8 acre(s). [REF: DRB-97-268, DRB-95-348, 02DRB-01391, 02DRB-00207, 02EPC-00133] (H-10/J-10)

~~Project # 1002321~~

02DRB-01722 Major-Preliminary Plat
Approval
02DRB-01723 Major-Vacation of Pub
Right-of-Way
02DRB-01724 Major-Vacation of Pub
Easement
02DRB-01725 Minor-Sidewalk Waiver
02DRB-01726 Minor-Temp Defer Sdwk

BOHANNAN HUSTON, INC. agent(s) for TIBURON INVESTMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) 8A-1, **JOURNAL CENTER PHASE 2, UNIT 1**, zoned IP industrial park zone, located on the westside of WASHINGTON ST NE, between HAWKINS ST NE and NORTH PINO DRAINAGE R.O.W. containing approximately 53 acre(s). [REF: DRB-95-268, 02DRB-01663] (D-17)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Roger Green, Acting Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 18, 2002.

587

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION
PROPERTY OWNERSHIP LIST

Meeting Date: Dec. 4, 2002

Zone Atlas Page: D-17-E

Notification Radius: 100 Ft.

App#	<u>02DRB-01722</u>
Proj#	<u>1002321</u>
Other#	<u>02DRB-01725</u> <u>02DRB-01726</u> <u>02DRB-01723</u> <u>02DRB-01724</u>

Cross Reference and Location: _____

Applicant: Tiburon Investments, LLC

Address: 13000 Academy Rd NE, 82111

Agent: Bhannan-Huston, Inc

Address: 7500 Jefferson St. NE, 82109

SPECIAL INSTRUCTIONS

Notices Must be mailed from the
City 15 days prior to the meeting.

Date Mailed: 11/15/02

Signature: K. Bethlikai

RECORDS WITH LABELS

PAGE 1

101706309537020175CA LEGAL: TR 0 F LA ND WITHIN NW/4 SEC 23 T11N R3E CONT 79.999 LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: PUBLIC SERVICE CO OF NM
OWNER ADDR: 00000 ALBUQUERQUE NM 87158

101606351731710312 LEGAL: LT D AME NDED CORRECTED LTS A B C & D LANDS OF KUID LAND USE:
PROPERTY ADDR: 00000 4500 PASED DEL NORTE
OWNER NAME: TRI-GAS UBC SUITE 100
OWNER ADDR: 04500 PASED DEL NORTE NE ALBUQUERQUE NM 87113

101706319031120198 LEGAL: TR 0 F LA ND IN W/2 SE1/4 SE1/4 NW1/4 SEC 23 T11N R3 LAND USE:
PROPERTY ADDR: 00000 TIBURON
OWNER NAME: CHI-WIK ENTERPRISES LLC
OWNER ADDR: 00000 ALBUQUERQUE NM 87125

101606346521440115 LEGAL: TRAC T B PLAT FOR BERNARDO TRAILS UNIT 1 SUBDIVISIO LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: VISTA DEL NORTE DEVELOPMENT LL
OWNER ADDR: 04101 IRVINGTON RD TUCSON AZ 85726

101706300827320101 LEGAL: TR 8 C-1 JOURNAL CENTER (REPL OF JOURNAL CENTER & A LAND USE:
PROPERTY ADDR: 00000 TIBURON ST NE
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 06400 WYOMING BL NE ALBUQUERQUE NM 87109

101706303027220102 LEGAL: TR 8 E-1 JOURNAL CENTER (REPL OF JOURNAL CENTER & A LAND USE:
PROPERTY ADDR: 00000 TIBURON ST NE
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 06400 WYOMING BL NE ALBUQUERQUE NM 87109

101706305628020103 LEGAL: TR 8 B-1 JOURNAL CENTER (REPL OF JOURNAL CENTER & A LAND USE:
PROPERTY ADDR: 00000 TIBURON ST NE
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 06400 WYOMING BL NE ALBUQUERQUE NM 87109

101706309328020104 LEGAL: TR 8 D-1 JOURNAL CENTER (REPL OF JOURNAL CENTER & A LAND USE:
PROPERTY ADDR: 00000 TIBURON ST NE
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 06400 WYOMING BL NE ALBUQUERQUE NM 87109

101706310220830120 LEGAL: TRAC T 8A -1 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 C LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP PARTNE
OWNER ADDR: 06400 WYOMING BL NE ALBUQUERQUE NM 87109

101706319825530414 LEGAL: LOT 16 P LAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: CRAWFORD-SLAGLE BUSINESS PARK
OWNER ADDR: 00821 CHAMISAL LN NW ALBUQUERQUE NM 87184

101706321425530413 LEGAL: LOT 15 P LAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: CRAWFORD-SLAGLE BUSINESS PARK
OWNER ADDR: 00821 CHAMISAL LN NW ALBUQUERQUE NM 87184

RECORDS WITH LABELS

PAGE 2

101706324620930501 LEGAL: LOT 10A PLAT OF LOTS 10A & 11A JOURNAL CENTER PHAS LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP PARTNE
OWNER ADDR: 06400 WYOMING BL NE ALBUQUERQUE NM 87109

101706320120430502 LEGAL: LOT 11A PLAT OF LOTS 10A & 11A JOURNAL CENTER PHAS LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP PARTNE
OWNER ADDR: 06400 WYOMING BL NE ALBUQUERQUE NM 87109

101706319519830606 LEGAL: LOT 3 PL AT OF JOURNAL CENTER PHASE 2 UNIT1 CONT .6 LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP PARTNE
OWNER ADDR: 06400 WYOMING BL NE ALBUQUERQUE NM 87109

101706319217530607 LEGAL: LOT 2 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT . LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: THREE AM LLC
OWNER ADDR: 00049 SANTA MARIA RD CORRALES NM 87048

101706314716030108 LEGAL: TRAC T 9A AMENDED PLAT OF LOT 9A & 7A-1A JOURNAL CE LAND USE:
PROPERTY ADDR: 00000 4001 HAWKINS ST NE
OWNER NAME: GPI PROPERTIES 1997 LLC C/O GE
OWNER ADDR: 02635 MILLBROOK RD RALEIGH NC 27604

101706319016530608 LEGAL: LOT 1 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT . LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: TIBURON INVESTMENT CORP PARTNE
OWNER ADDR: 06400 WYOMING BL NE ALBUQUERQUE NM 87109

101706300412530229 LEGAL: LOT 17A PLAT OF LOTS 17A & 17B INTERSTATE INDUSTRI LAND USE:
PROPERTY ADDR: 00000 3701 HAWKINS NE
OWNER NAME: TETRA LIMITED PARTNERS
OWNER ADDR: 03701 HAWKINS ST NE ALBUQUERQUE NM 87109

101706305012530101 LEGAL: * 01 6 IN TERSTATE INDUSTRIAL TRACT UNIT # 4 CONT 2. LAND USE:
PROPERTY ADDR: 00000 3715 HAWKINS NE
OWNER NAME: SUN BELT PARTNERSHIP
OWNER ADDR: 00000 ALBUQUERQUE NM 87199

101706307312530102 LEGAL: * 01 5 IN TERSTATE INDUSTRIAL TRACT UNIT # 4 CONT 1. LAND USE:
PROPERTY ADDR: 00000 3725 HAWKINS ST NE
OWNER NAME: SERCK SERVICES INC
OWNER ADDR: 05501 PEARL ST DENVER CO 80216

101706308812530103 LEGAL: * 01 4 IN TERSTATE INDUSTRIAL TRACT UNIT # 4 CONT 1. LAND USE:
PROPERTY ADDR: 00000 HAWKINS ST NE
OWNER NAME: CORTAZAR INVESTMENTS LLC
OWNER ADDR: 05951 OFFICE BL NE ALBUQUERQUE NM 87109

101706310412530104 LEGAL: LOT 13-A (1) OF REPLAT OF LOTS 12-A & 13-A OF INTER LAND USE:
PROPERTY ADDR: 00000 3809 HAWKINS NE
OWNER NAME: BRANCH JOAN MCCAUSLAND
OWNER ADDR: 01717 AVENIDA LAS CAMPANAS NW ALBUQUERQUE NM 87107

101706311612830105	LEGAL: *12A 2 CORRECTED REDIVISION OF LOT 12A (NOW COMP LO LAND USE: PROPERTY ADDR: 00000 3815 HAWKINS ST NE OWNER NAME: AUTOMOTIVE DEALER SERVICE CORP OWNER ADDR: 03815 HAWKINS	ST NE ALBUQUERQUE	NM 87109
101706312613530124	LEGAL: LT 1 1-A- 1 SIRKEL SUB'D (REPL OF LT 11-A INTERSTATE LAND USE: PROPERTY ADDR: 00000 3823 HAWKINS NE OWNER NAME: JASPERSON NIEL W ETUX OWNER ADDR: 06804 HENSCH	NE ALBUQUERQUE	NM 87109
101706313613530129	LEGAL: LT 1 1-A- 5 SIRKEL SUB'D (REPL OF LT 11-A INTERSTATE LAND USE: PROPERTY ADDR: 00000 3825 HAWKINS NE OWNER NAME: LEMON SHANE & DEBORAH OWNER ADDR: 01323 NARCISCO	CT NE ALBUQUERQUE	NM 87112
101706312612930123	LEGAL: LT 1 1-A- 2 SIRKEL SUB'D (REPL OF LT 11-A INTERSTATE LAND USE: PROPERTY ADDR: 00000 3821 HAWKINS NE OWNER NAME: DURKOVICH STEPHEN G & KAREN A OWNER ADDR: 00412 11TH	ST NW ALBUQUERQUE	NM 87102
101706313612930126	LEGAL: LT 1 1-A- 6 SIRKEL SUB'D (REPL OF LT 11-A INTERSTATE LAND USE: PROPERTY ADDR: 00000 3827 HAWKINS NE OWNER NAME: MILLER AUDREY SCHENCK OWNER ADDR: 03827 HAWKINS	NE ALBUQUERQUE	NM 87109
101706300206630223	LEGAL: LOT 18 CORRECTED AND AMENDED INTERSTATE INDUSTRIAL LAND USE: PROPERTY ADDR: 00000 3700 HAWKINS NE OWNER NAME: PACK R MICHAEL OWNER ADDR: 05005 TEXAS	ST SAN DIEGO	CA 92108



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: November 5, 2002

TO CONTACT NAME: Mary Snyder
COMPANY/AGENCY: Bohannon Houston, Inc.
ADDRESS/ZIP: 7500 Jefferson NE 87109
PHONE/FAX #: 00-798-7988

Thank you for your inquiry of 11-5-02 (Date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 8A-1, Journal Center

zone map page(s) 0-17

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Alameda North Valley

Neighborhood Association

Contacts: Debby Potter
1019 Guadalupe Ct. NW Alameda, NM 87114 -
897-8621 (W)

Neighborhood Association

Contacts: _____

Steve Hale
9339 Guadalupe Dr. NW Alameda, NM 87114-1719
890-5335 (W) 897-9568 (W)

See reverse side for additional Neighborhood Association Information: YES { } NO {}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina A. Carmona

OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 18, 2000

Brian
James
Kerry

Bohannon-Huston Inc.
7500 Jefferson NE
Albuquerque, New Mexico 87109

Re: Journal Center, Masthead West of Jefferson

D-17

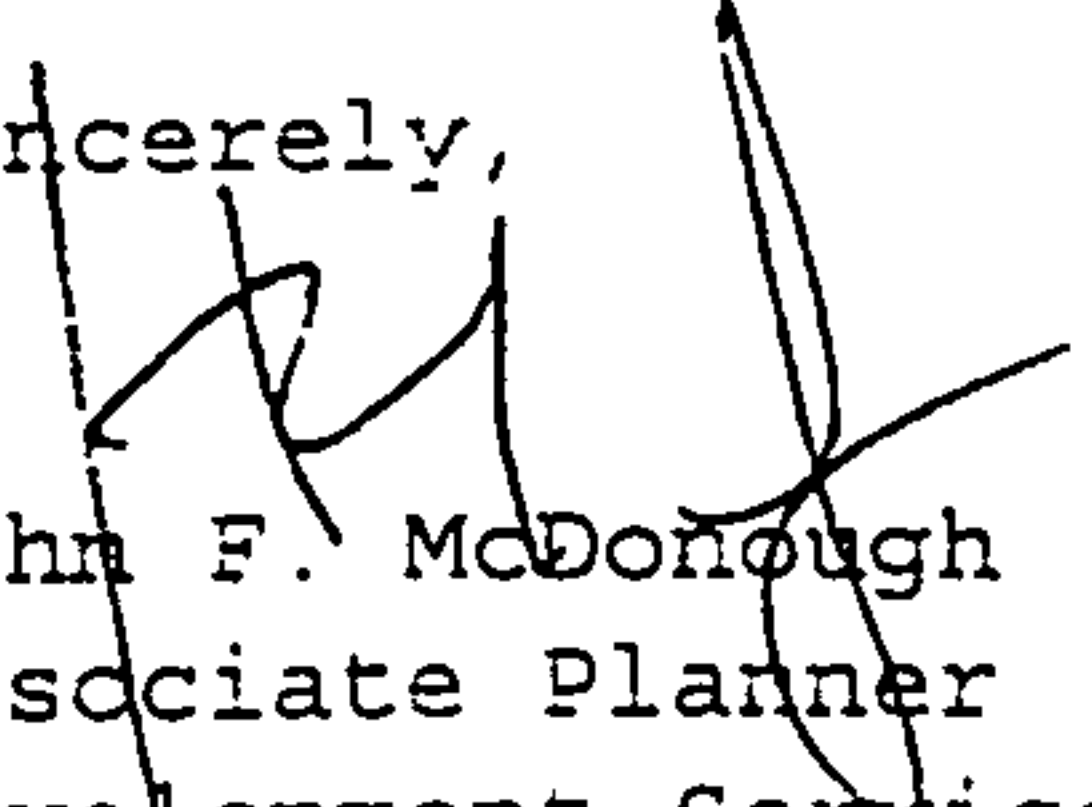
Sirs:

Requirements for service have been established in prior correspondence. Having been the agent for Journal Center for over 20-years, I'm sure your files are at least as extensive as ours. There would be little point in rehashing details here. Suffice to say that development / service and / or subdivision will be contingent upon on and off-site infrastructure at the developer / property owners expense. Improvements must include looped water lines, an off-site sanitary outfall, and removal of the Journal Center's private lift station at Masthead and Jefferson.

The concept of phased development proposed last year remains conceptually acceptable, but to my knowledge the cooperative agreement required for any temporary outfall has not been pursued.

For additional information see our letter of June 17, 1999, March 17, 1998, August 2, 1995, etc. Please do not hesitate to call if you have questions or need additional information: 924-3987.

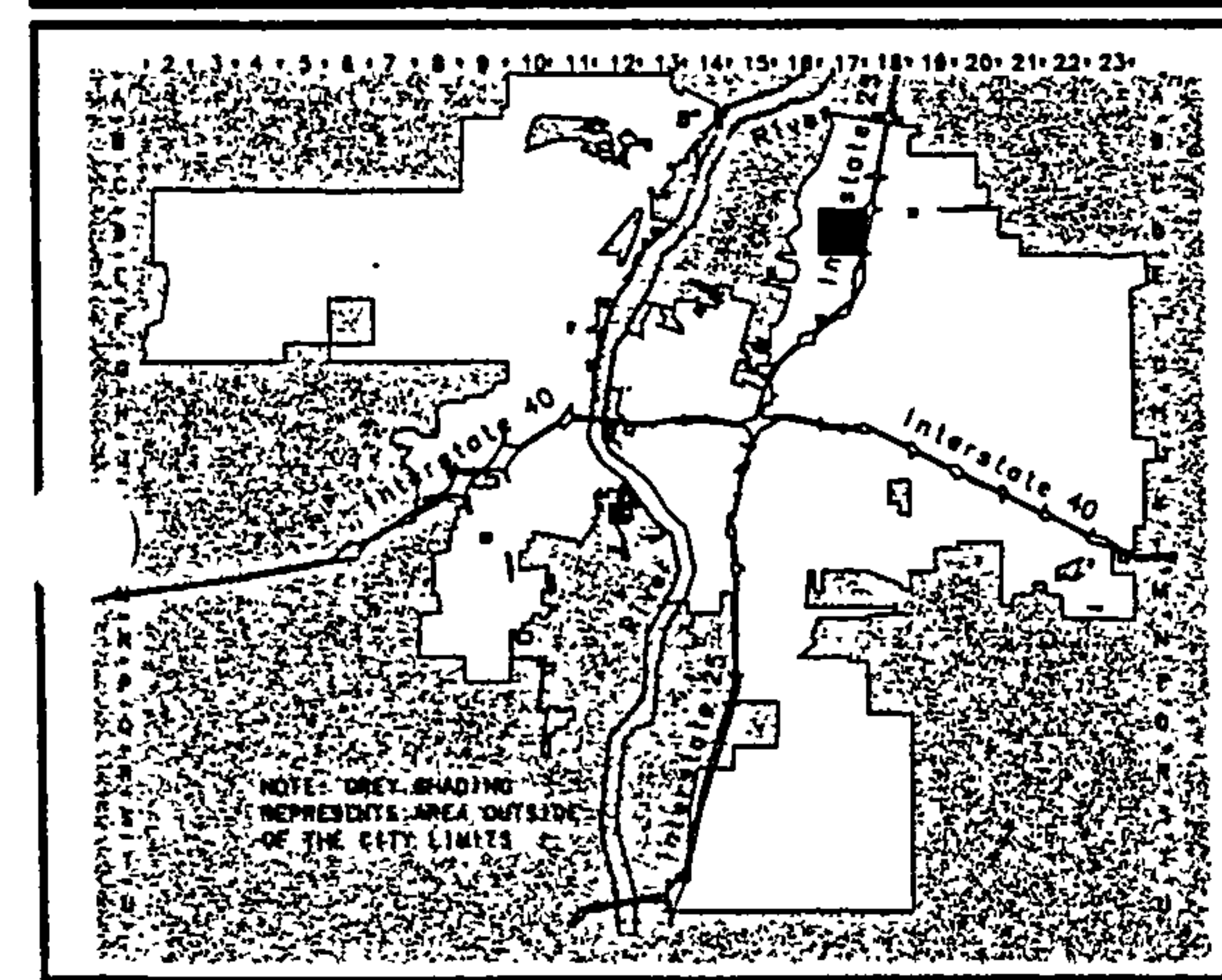
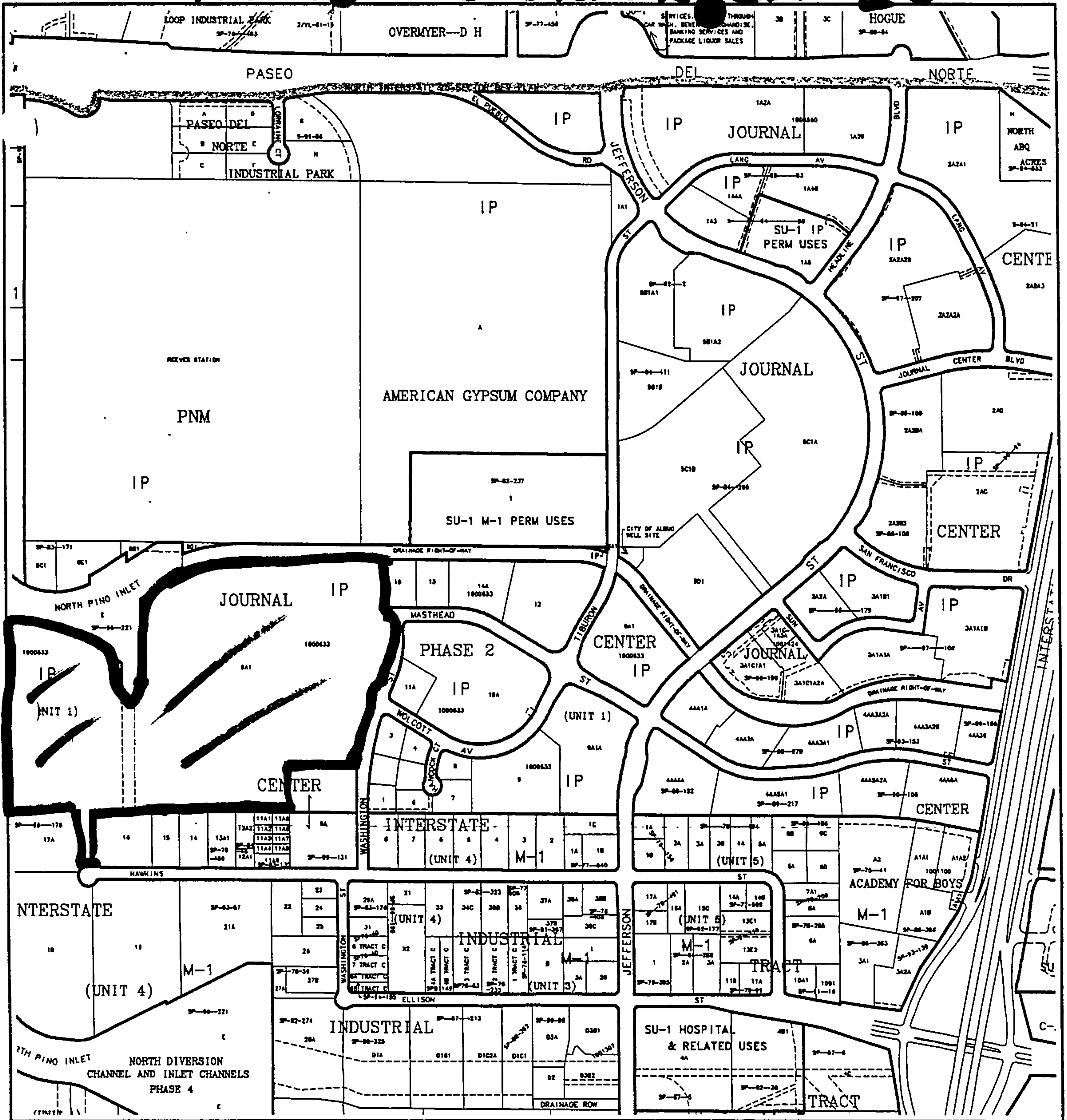
Sincerely,


John F. McDonough
Associate Planner
Development Services
Public Works Department

c: Josie Jaramillo
E/ availability D-17
E/ readers #00717
E/ Journal Center D-17
E/ DRB 99-37

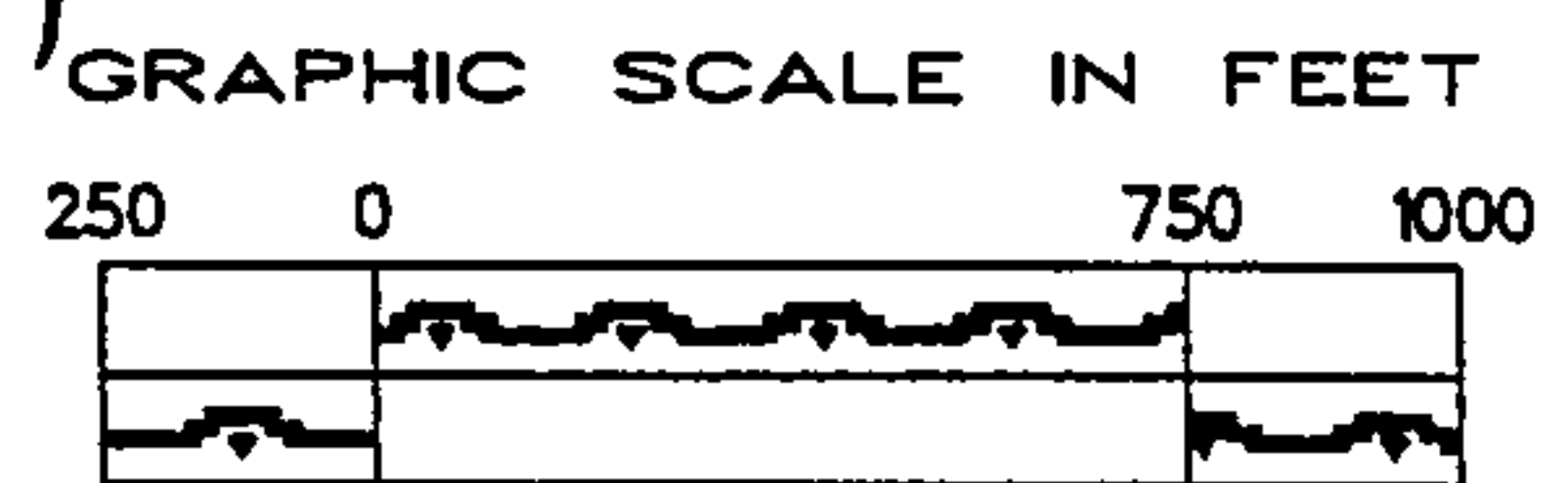
Attachment: System / Location Map(s)

TR 80-1 JOURNAL CENTER



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2002

1002321



Zone Atlas Page

D-17-Z

Map Amended through April 03, 2002

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME JOURNAL CENTER PHASE 2, UNIT 2

AGIS MAP # D-17

LEGAL DESCRIPTION TRACT 8A-1, JOURNAL CENTER

XXX DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on _____ [date].

Paul Stedman
Applicant / Agent

11/7/02
Date

Brad B...
Hydrology Division Representative

11/7/02
Date

XXXXX WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on See attached [date].

Paul Stedman
Applicant / Agent

11/7/02
Date

Bill B...
Utilities Division Representative

11/7/02
Date

= DRB# 1002321

**JOURNAL
CENTER
CORPORATION**



August 31, 2005

Douglas H. Collister
Administrative Manager
Tiburon Investment, LLC
3791 Southern Blvd. SE, Suite 202
Rio Rancho, NM 87124

Re: Lot 11, Unit 2 Journal Center 2 (US Forest Service)

Dear Mr. Collister:

The Journal Center Architectural Review Committee has reviewed and approved the site plan; design/building/landscape plans for the referenced project subject to the conditions mentioned in your letter of August 23, 2005 (enclosed).

Should you have any questions, please do not hesitate to call me.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael N. Callahan".

Michael N. Callahan
Vice President

MNC/jk

Enclosure

P.O. Drawer J 7777 Jefferson Street, N.E. Albuquerque, NM 87103
(505) 823-7000 FAX (505) 823-3413



August 23, 2005

VIA EMAIL – scott@argusinvestmentrealty.com

Ben F. Spencer
C/o Scott Throckmorton
Masthead Road Development, LLC
630 Riverside Plaza Lane NW, Suite 200
Albuquerque, NM 87120

Re: Lot 11, Unit 2 Journal Center 2 (US Forest Service Building) Design Review Approval by Journal Center 2 Architectural Review Committee

Dear Ben:

We reviewed your submittal for the above referenced lot and approve plans, colors, materials and specifications, with the following conditions:

1. All roof mounted mechanical equipment must be screened from view.
2. The exposed side of the west retaining wall must be split faced block. This retaining wall may need a guardrail.
3. A note should be added to the Landscape Plan: "At the time common area irrigation is connected to Journal Center 2 common area irrigation system you must contact the developer, Tiburon Investment LLC."
4. Plant density at intersection of Masthead Street and Washington Street must meet the 75% density requirement.
5. Water harvesting ponds on south side of building should be planted.
6. Design temporary drainage facilities on unimproved portion of lot to remove silt before draining on to public streets.
7. Monument sign proposed is not approved. Monument sign must meet Journal Center 2 standards as described in guidelines.
8. You must prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under an National Pollutant Discharge Elimination System (NPDES) General Permit.
 - Under the provisions of the Clean Water Act federal law prohibits storm water discharges from certain construction activities to waters of the U.S. unless that discharge is covered under a NPDES Permit.
 - You may obtain additional information regarding NPDES and submit your NOI electronically at: www.epa.gov/npdes/stormwater/cgp, or telephone Storm Water Notice Processing Center at 866-352-7755.

This approval constitutes approval of the above referenced plans, colors, materials and specifications for reliance by the City of Albuquerque Development Review Board.

By copy of this letter we are transmitting the plans, colors/material board and specifications to the Journal Center Architectural Review Committee for their review. We will advise you of their action as soon as they review the plans.

Thank you for the submittal.

Very truly yours,

Douglas H. Collister
Administrative Manager

Copy Journal Center Architectural Review Committee – Attention: Mike Callahan
Journal Center 2 Architectural Review Committee INVESTMENT, LLC

630 Riverside Plaza Lane NW, Suite 200 Kio Ranch, NM 87124

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved. *(See letter for submittal)*

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage) Phase 1
- C. Proposed use of each structure (office)
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities (Dropoff Zone) No Dock
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 358 provided: 399
Handicapped spaces required: 12 provided: 12
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 20
provided: 21
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - N/A 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - N/A 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - N/A 1. Bikeways and bike-related facilities
 - N/A 2. Pedestrian trails and linkages
 - N/A 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan *(40 scale on L.S.) (50 on Site Plan)*
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use *(see grading Plan)*
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - N/A* A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system *(Future Design ... to be underground.)*
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections (Max 3' High wall @ west end)
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s) *Site Pla*
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S**V****P****L**

Supplemental form

ZONING & PLANNING

- Annexation
 - County Submittal
 - EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

Z**A**

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:NAME: MASTHEAD ROAD DEVELOPMENT, LLC.ADDRESS: 6300 RIVERSIDE PLAZA LANE NW SUITE 200CITY: ALBUQUERQUESTATE NMZIP 87120PHONE: 998-0163FAX: 837-1061

E-MAIL: _____

Proprietary interest in site: OWNERAGENT (if any): BOHANNAN HUSTON INC.ADDRESS: 7500 JEFFERSON NECITY: ALBUQUERQUESTATE NMZIP 87109PHONE: 823-1000FAX: 798-7988

E-MAIL: _____

DESCRIPTION OF REQUEST: SITE PLAN FOR BUILDING PERMITIs the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**Lot or Tract No. LOT 11

Block: _____

Unit: _____

Subdiv. / Addn. JOURNAL CENTER PHASE 2 UNIT 2Current Zoning: IP

Proposed zoning: _____

Zone Atlas page(s): D-17No. of existing lots: 1No. of proposed lots: 1Total area of site (acres): ± 10

Density if applicable: dwellings per gross acre: _____

dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.)Within 1000FT of a landfill? NOUPC No. 101706316420930706

MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: RUTLEDGE RDBetween: MASTHEAD STand BARTLETT ST.**CASE HISTORY:**List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB# 1002321Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

DATE 8/19/2005(Print) BRUCE STIDWORTHY Applicant Agent**FOR OFFICIAL USE ONLY**

Form revised 10/03

 INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill

Application case numbers

OSDRB - 01333

Action

SBP

S.F.

7(2)

Fees

\$ 385.00

- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Hearing date 9/14/05\$ 20.00\$ 75.00

\$ _____

\$ _____

Total

\$ 480.00

Planner signature / date

Project # 1002321

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature - -
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bruce Stidworthy
Bruce Stidworthy Applicant name (print)
8/19/05 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB - 01333

Form revised JUNE 2005

Lin [Signature] 8/19/05
 Planner signature / date

Project # 1002321

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT Mashead Road Development, LLC. DATE OF REQUEST: 8/19/05 ZONE ATLAS PAGE(S): D-14

CURRENT: ZONING ISP
PARCEL SIZE (AC/SQ. FT.) _____

LEGAL DESCRIPTION:
LOT OR TRACT # 11 BLOCK # _____
SUBDIVISION NAME Journal Center Ph. 2 Unit 2

REQUESTED CITY ACTION(S):

- | | | | |
|----------------|---------------------|---|---|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION [] | BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES <input checked="" type="checkbox"/> | ACCESS PERMIT [] |
| | | C) AMENDMENT [] | OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: ¹

OF UNITS: 1
BUILDING SIZE: _____ (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Stephanie Anaton DATE 8-19-05
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes: TRIP GENERATION COMPARISON REQUIRED.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony Jgd TRAFFIC ENGINEER DATE 8-19-05

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

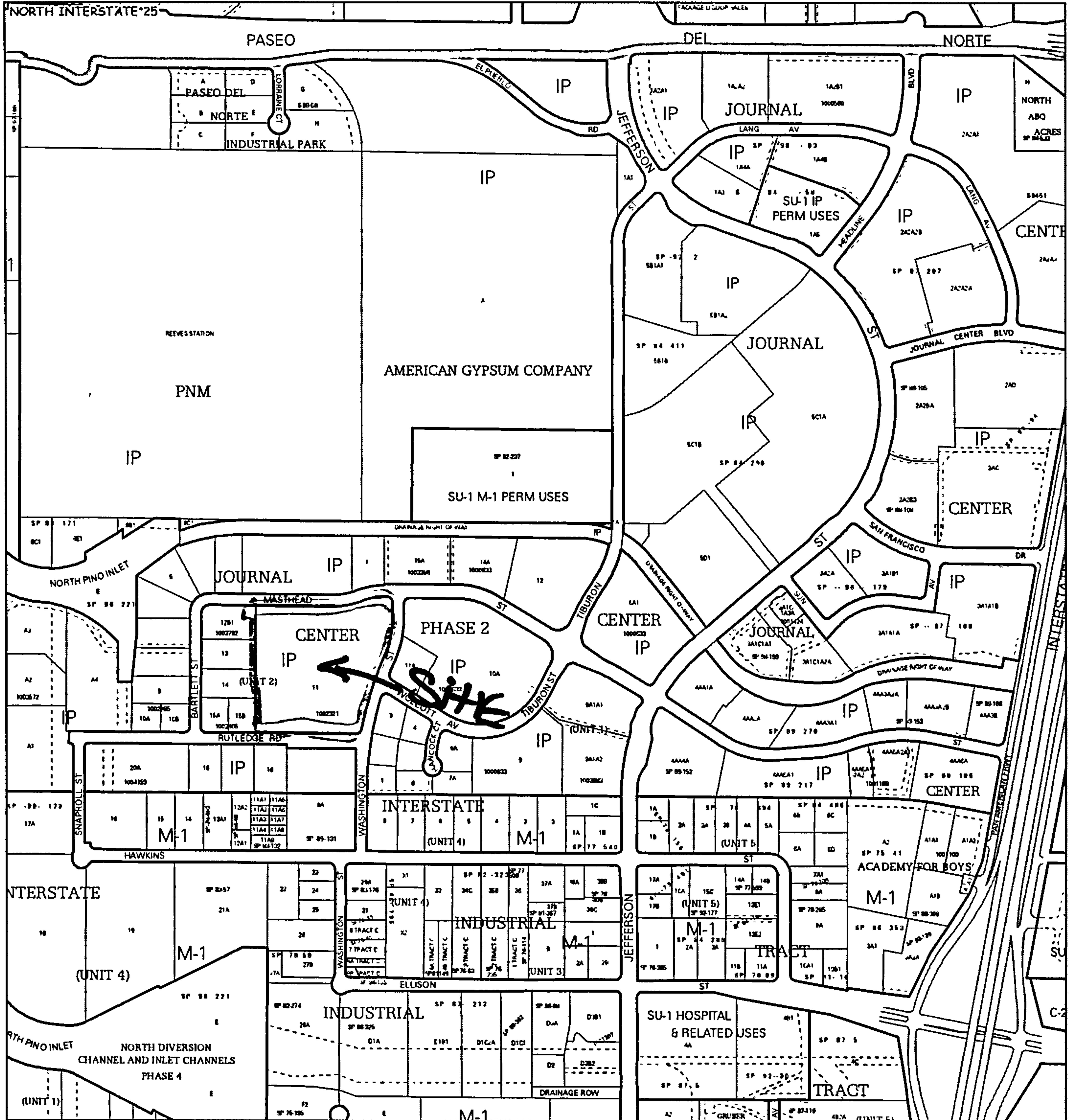
AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

Stephanie Anaton APPLICANT DATE 8-19-05

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____



For more current information and more details visit. <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet

Map amended through: 8/1/2005

August 19, 2005

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103Re: US Forest Service Building, Site Plan for Building Permit Application
Journal Center, Phase 2, Unit 2, Lot 11, Approximately 10 acres

Dear Sheran:

Enclosed for approval of a Site Development Plan for Building Permit for the referenced project are copies of the following information:

- Completed Application to the Development Review Board
- Completed Checklist
- Submittal Fee
- Twenty Four (24) copies of the Site Plan for Building Permit
- Zone Atlas showing location of subject property

This site is currently undeveloped and is located at the southwest corner of Masthead and Washington in the Journal Center. This site plan represents the first phase of development on the tract. The second phase is not currently planned; therefore, it has not been reflected on the plan. It is understood that prior to development of the second phase, a new Site Development Plan will be required to be submitted and approved by DRB.

The project consists of a 3-story 96,400 square foot office building and associated site improvements. The building is being constructed by Reid & Associates, a design-build contractor and most of the space is going to be leased by the Forest Service. The site includes a sculpture of an Elk to be located within a large landscaped island near the main entrance to the building. Also shown on the site plan is a cooling tower to be located on the west side of the building. The cooling tower will be screened by a solid wall which is attached to the building and is architecturally compatible with the building.

The current zoning of the property requires DRB approval of a Site Development Plan for Building Permit prior to issuance of a building permit. Accordingly, with this submittal we are requesting approval of the proposed Site Development Plan for Building Permit which reflects the proposed site conditions. This Site Development Plan has been prepared in accordance with City Ordinances and Journal Center guidelines. The site plan has been submitted to the Journal Center ARC.

Ms. Sheran Matson, Chair
City of Albuquerque
August 19, 2005
Page 2

Please place this item on the next available agenda. If you have any questions or require further information, please contact me.

Sincerely,



Bruce Stidworthy, P.E.
Vice President
Community Development and Planning Group

BJS/cc
Enclosure

cc Mike Case, Reid & Associates

August 17, 2005

Sheran Matson, DRB Chair
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Ms. Matson:

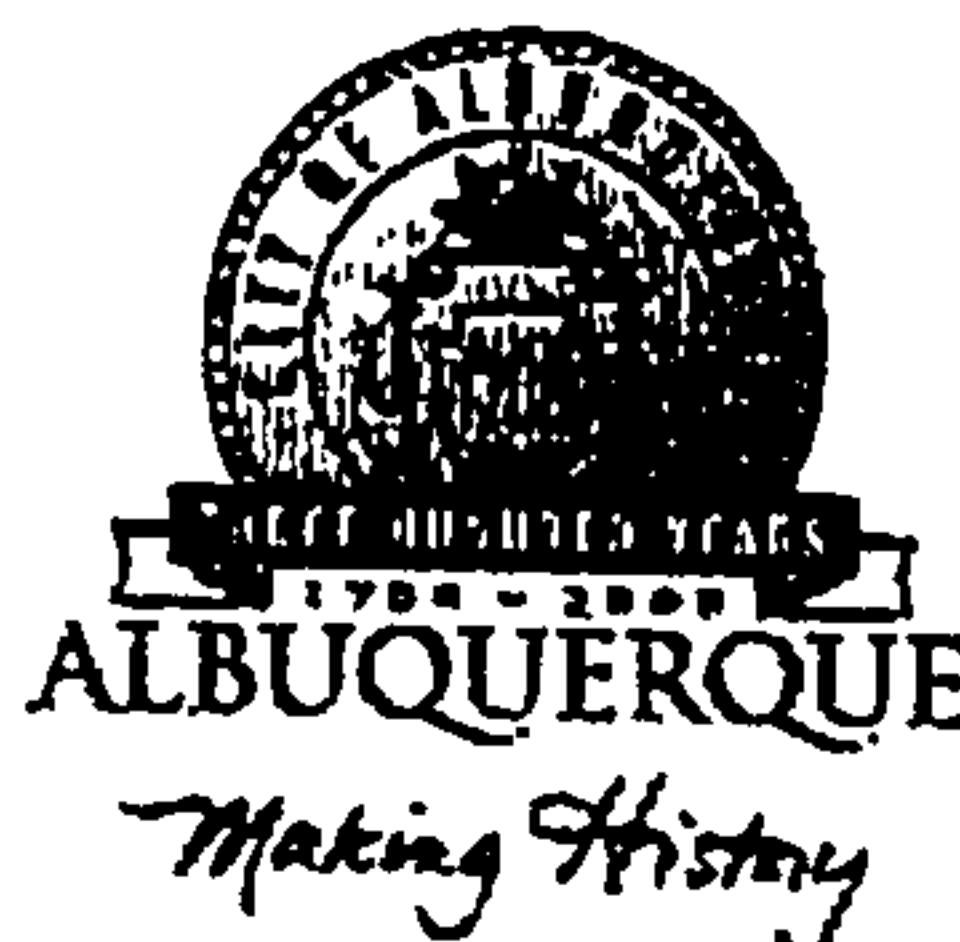
The purpose of this letter is to authorize Bohannon Huston Inc. to act as agent for Masthead Road Development, LLC, for the purpose of processing the Site Plan for Building Permit.

If you have any questions or concerns regarding this letter, please do not hesitate to contact me. Thank you for your courtesy in this matter.

Thank you,



Ben F. Spencer
Masthead Road Development, LLC



City of Albuquerque

August 17, 2005

Stephanie Stratton
 Bohannon, Houston.
 7500 Jefferson St. NE /87109
 Phone: 823-1000 Fax: 877-5332

Dear Stephanie:

Thank you for your inquiry of **August 17, 2005** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **JOURNAL CENTER LOT 11** zonene map **D-17**.

Our records indicate that the Recognized Neighborhood Association (s) affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. (ANV) "R"
 *Steve Wentworth
 8919 Boe Ln. NE/87113-2328 897-3052 (h)
 Leroy Gurule
 713 Alameda Blvd. NW, Alameda/87114 890-1845 (h)

See reverse side for additional Neighborhood Association Information: YES { } NO {X}
 Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested**, before the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,


 OFFICE OF NEIGHBORHOOD COORDINATION
 Planning Department

**LETTERS MUST BE SENT TO
 BOTH CONTACTS OF EACH
 NEIGHBORHOOD ASSOCIATION.**

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(Below this line for ONC use only)

Date of Inquiry: 8/17/05 Time Entered: 9:10 ONC Rep. Initials: DC

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

August 17, 2005

Mr. Steve Wentworth
8919 Boe Lane NE
Albuquerque, New Mexico 87113

RE: Journal Center Phase 2 Unit 2 Lot 11
Site Plan for Building Permit

Dear Mr. Wentworth:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Association.

This letter is to advise you that Bohannan Huston, Inc., agent for Masthead Road Development, LLC., is seeking approval of Site Plan for Building Permit from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Bruce Stidworthy, P.E.
Project Manager
Community Development and Planning Group

SS
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

August 17, 2005

Mr. Leroy Gurule
713 Alameda Blvd. NW
Albuquerque, New Mexico 87114

RE: Journal Center Phase 2 Unit 2 Lot 11
Site Plan for Building Permit

Dear Mr. Gurule:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Masthead Road Development, LLC., is seeking approval of Site Plan for Building Permit from the City of Albuquerque's Development Review Board (DRB).

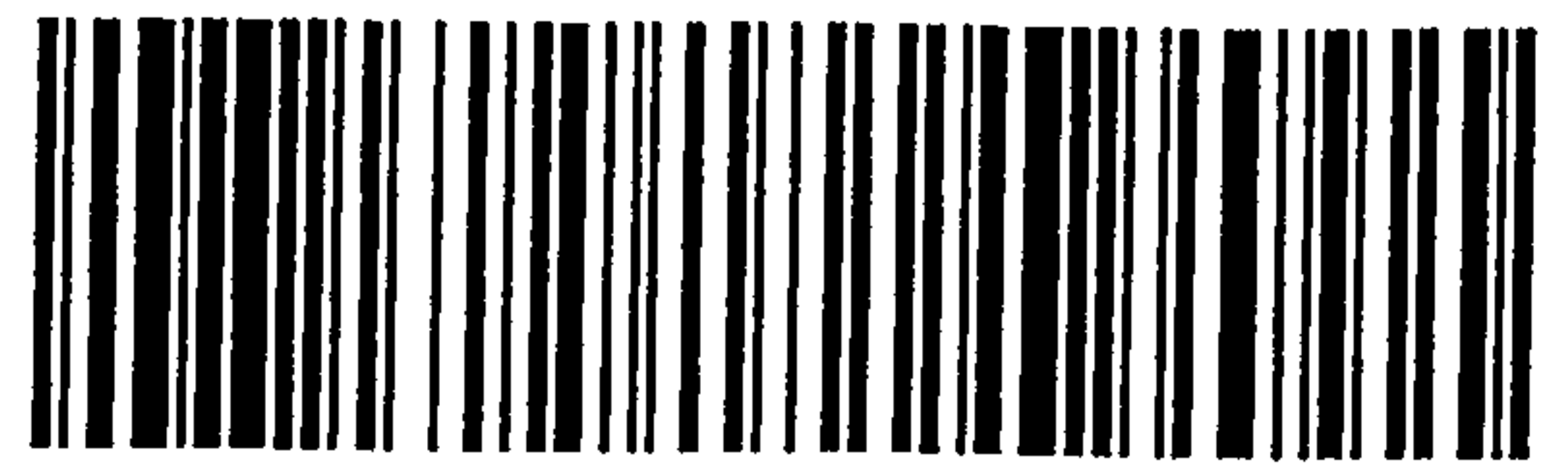
Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

for Stephanie Stidworthy
Bruce Stidworthy, P.E.
Project Manager
Community Development and Planning Group

SS
Enclosure

HUSTON, INC
PERSON, NE
QUE, NM 87109



91 7108 2133 3931 1991 3488

UNITED STATES POSTAGE
PITNEY BOWES
02 1P
\$ 04.65⁰
0002368945 AUG 19 2005
MAILED FROM ZIP CODE 87109

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
Steve Wentworth
8919 Bar Lane NE
Albuquerque, NM 87113

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
X Addressee

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

2. Article Number
(Transfer from service label) 91 7108 2133 3931 1991 3488

CERTIFIED MAIL



91 7108 2133 3931 1991 3495

AN-HUSTON, INC.
JEFFERSON, NE
ROQUE, NM 87109



UNITED STATES POSTAGE
EAGLE
FIFTY BOWLS

02 1P \$04.650
0002368945 AUG 19 2005
MAILED FROM ZIP CODES 87109

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Heroy burule
713 Alameda Blvd. NW
Albuquerque, NM 87114

2. Article Number

(Transfer from service label)

91 7108 2133 3931 1991 3495

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

Agent

Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

Certified Mail

Express Mail

Registered

Return Receipt for Merchandise

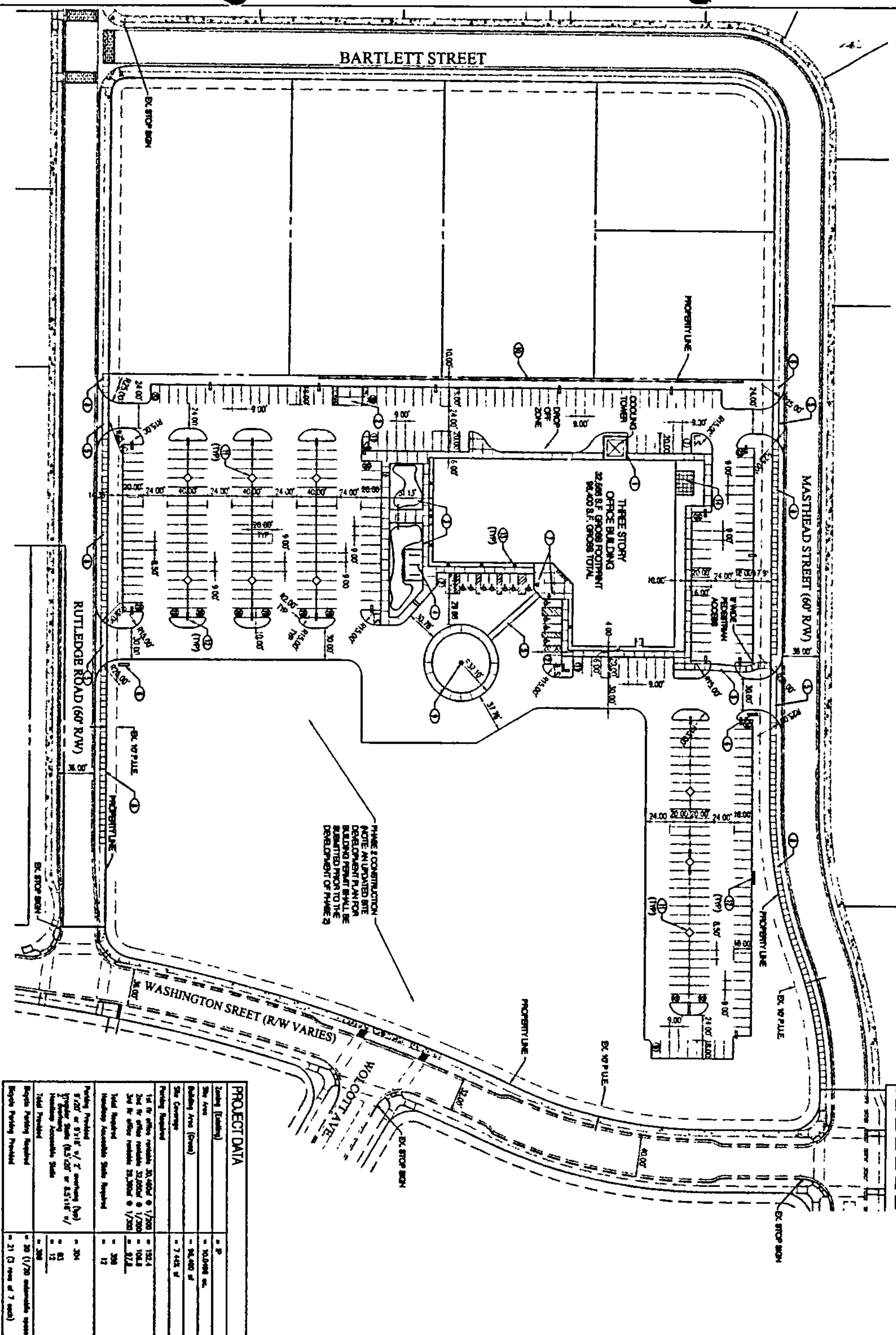
Insured Mail

C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes

H:\Job\Ford Service\general\Site Development Planning Layout
 August 18, 2005 - 8:15am



- GENERAL NOTES**
1. EXISTING WALLS AND OTHER EXISTING SHALL BE PRESERVED IN PLACE AND RECONSTRUCTED AS NECESSARY.
 2. EXISTING WALLS SHALL BE RECONSTRUCTED WITH EXISTING CONCRETE.
 3. THE LAYOUT SHALL BE SUBMITTED, ON - OR - OFF THE PLAN AND MAINTAIN A 10' BUFFER ZONE. PILES AND PILES SHALL BE THE EXISTING CENTER TO CENTER.

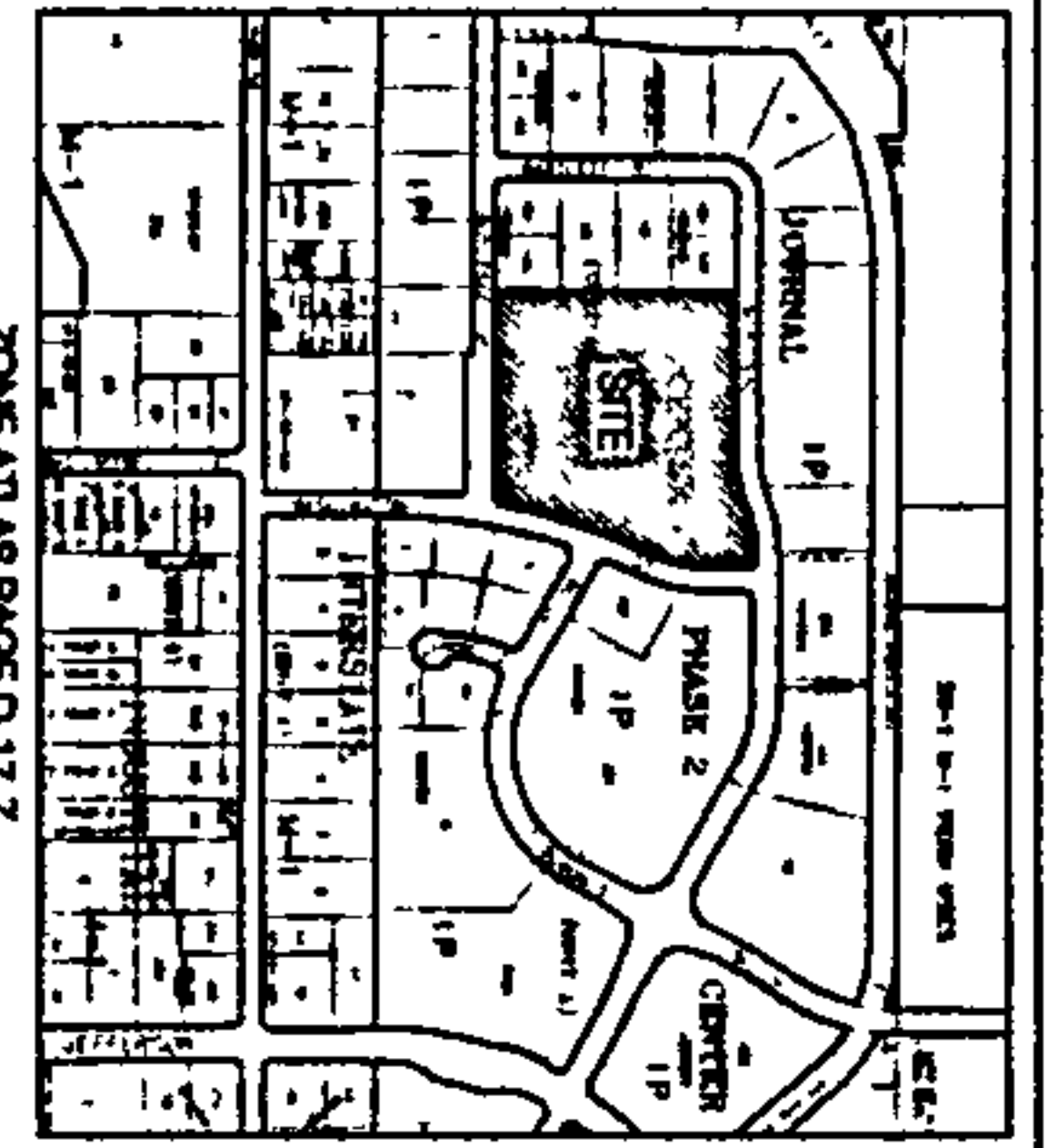


PROJECT DATA

Zone (Building)	B - P
Site Area	10,400 sq. ft.
Building Area (Gross)	22,888 sq. ft.
Site Coverage	7.42%
Parking (Required)	132.4
1st to other vehicles 30,000 @ 1/200	150.0
2nd to other vehicles 20,000 @ 1/200	100.0
3rd to other vehicles 10,000 @ 1/200	50.0
Total Required	300
Existing Available	12
Additional Available	288
Notes: Parking Provided	288 (1/200 minimum spacing)
Notes: Parking Provided	21 (1/200 min. of 7' wide)

DRAWING INDEX

C10 - SITE PLAN	100
C11 - SITE DETAILS	100
C12 - LANDSCAPE PLAN	100
C13 - UTILITY PLAN	100
C14 - STRUCTURAL PLAN	100
C15 - MECHANICAL PLAN	100
C16 - ELECTRICAL PLAN	100
C17 - PAVING & SURFACE DETAILS	100
C18 - FENCE ENCLOSURE AND SIGNAGE PLAN	100
C19 - CONSTRUCTION PLAN	100



- LEGAL DESCRIPTION**
1. 1/2 ACRES MORE OR LESS, BEING THE SOUTHWEST 1/4 OF SECTION 10, T12N, R10E, S10E, ALBUQUERQUE COUNTY, NEW MEXICO.

- KEY NOTES**
1. 1/2 ACRES MORE OR LESS, BEING THE SOUTHWEST 1/4 OF SECTION 10, T12N, R10E, S10E, ALBUQUERQUE COUNTY, NEW MEXICO.
 2. EXISTING WALLS SHALL BE RECONSTRUCTED WITH EXISTING CONCRETE.
 3. THE LAYOUT SHALL BE SUBMITTED, ON - OR - OFF THE PLAN AND MAINTAIN A 10' BUFFER ZONE. PILES AND PILES SHALL BE THE EXISTING CENTER TO CENTER.
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 12. EXISTING WALLS SHALL BE RECONSTRUCTED WITH EXISTING CONCRETE.
 13. THE LAYOUT SHALL BE SUBMITTED, ON - OR - OFF THE PLAN AND MAINTAIN A 10' BUFFER ZONE. PILES AND PILES SHALL BE THE EXISTING CENTER TO CENTER.
 14. EXISTING WALLS SHALL BE RECONSTRUCTED WITH EXISTING CONCRETE.

PROJECT NUMBER: _____

APPROVED: _____

DATE: _____

DESIGNER: _____

CHECKER: _____

DATE: _____

PROJECT NUMBER: _____

APPROVED: _____

DATE: _____

DESIGNER: _____

CHECKER: _____

DATE: _____

PROJECT NUMBER: _____

APPROVED: _____

DATE: _____

DESIGNER: _____

CHECKER: _____

DATE: _____

US FOREST SERVICE
ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES

ALBUQUERQUE NEW MEXICO

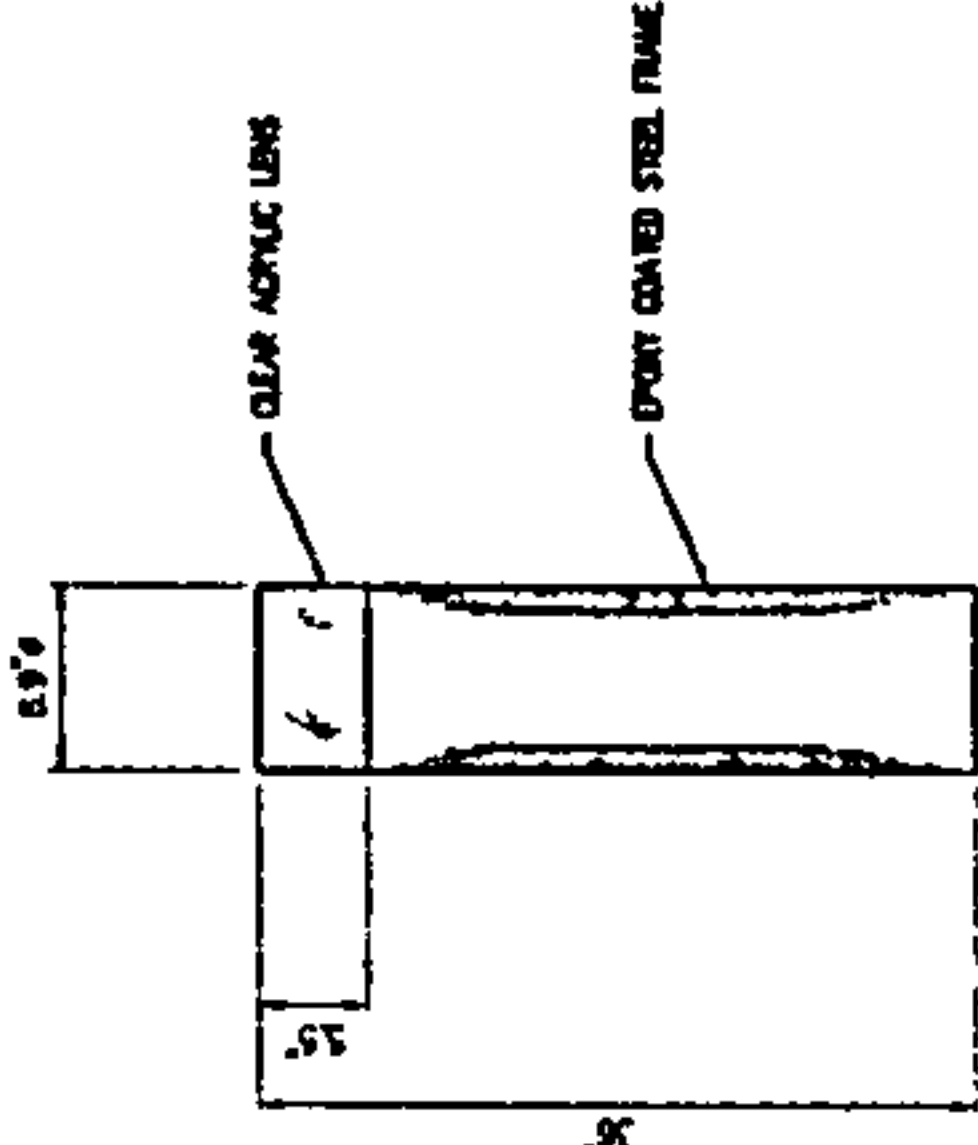
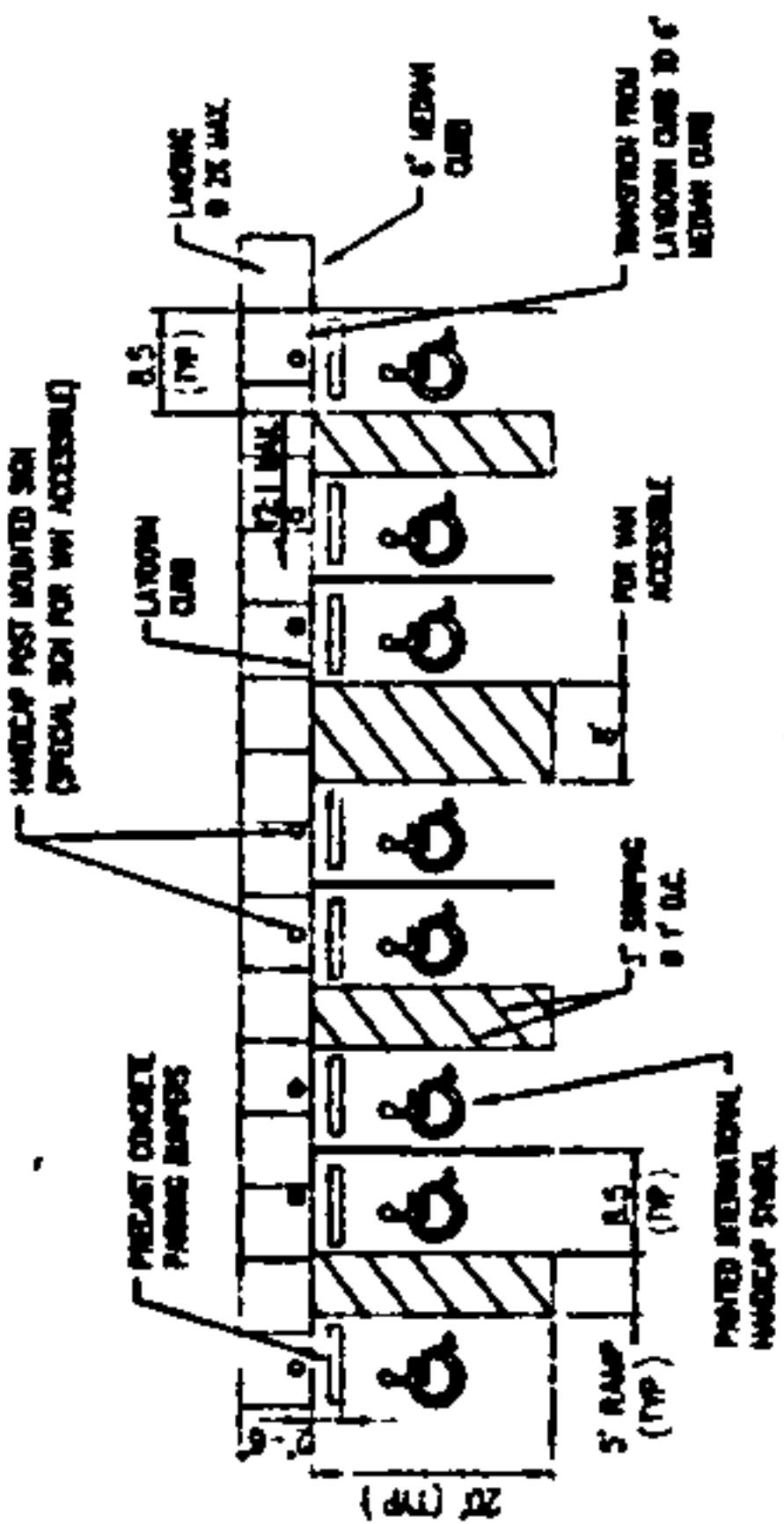
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Site Plan

NCA
 ARCHITECTS - PLANNERS - ILM
 1308 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-255-5400 505-258-8554 FAX
 WWW.NCA-ARCHITECTS.COM

DATE: AUGUST 19 2005

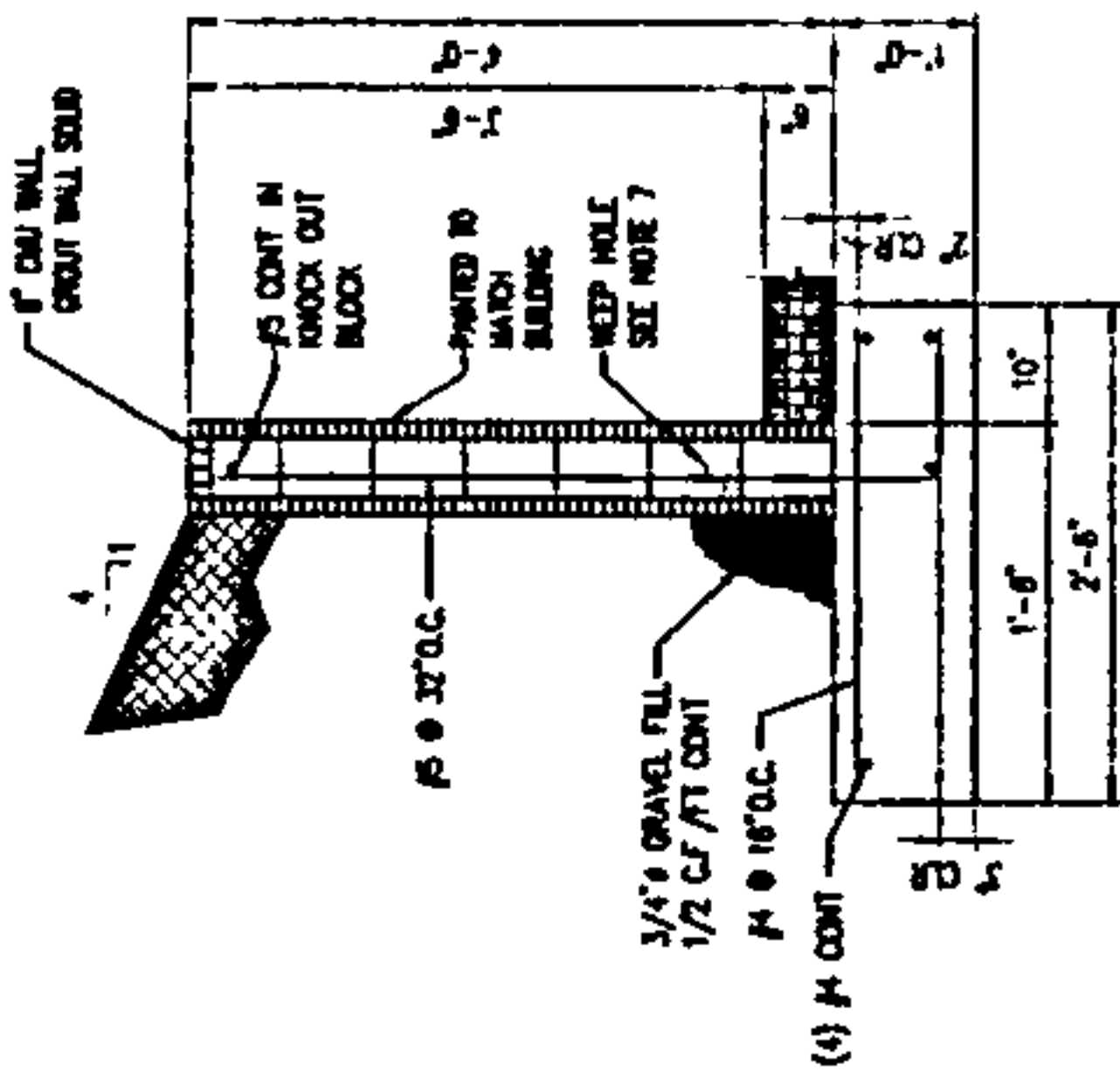
SCALE: 1" = 30'

PROJECT NUMBER: C10



BOLLARD LIGHT
 NOT TO SCALE
 (HEAD LAMPING IS SERIES ROLL-UP LIGHT)

- NOTES:**
- RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER CASTING THE WALL.
 - VERTICAL CONTROL JOINTS IN THE WALL SHALL BE PLACED AT 6'-0" O.C. MAX.
 - CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE MOST UPSTREAM BUILDING CODE.
 - DESIGN DATA
 EP (FACTORS) = 1.3 FC
 SOIL BEARING CAPACITY = 2000 PSF
 CEMENTATION PERCENTAGE = 6%
 PERCENT OF FRICTION = 25%
 EP (PHASOS) = 300 PSF
 CONCRETE (C) FOR (MAX) = 3000 PSI
 REINFORCEMENT = NO. 4 @ 12" S-205
 - CONTRACTOR SHALL NOTIFY OWNER PRIOR TO CONCRETE POURING FOR INSPECTION OF COMPLETION UNDER FOOTING. FOOTING DEPTH AND TIE-IN WITH EXISTING WALL SHALL BE SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY PLACED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ADJUSTED, COATED, AND SECURED IN PLACE. SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REWORKED AT NO ADDITIONAL COST TO THE OWNER.
 - KEEP HOLES: PLACE A 2" DIA. KEEP HOLE @ 5'-0" O.C. W/ 1/2 OUNC. FOOT/ROOT OF 3/4" GALV. IN FILTER FABRIC.
 - THE FIRST COURSE OF CUR BLOCK MAY BE PLACED IN FRESH FORMING CONCRETE. SUBSEQUENT COURSES OF CUR BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.
 - ALL CUR BLOCK JOINTS SHALL BE TOoled.
 - BACK FILL AND COMPACTION OF RETAINING WALL IS INCIDENTAL TO INSTALLATION OF RETAINING WALL.



C&U RETAINING WALL
 NOT TO SCALE

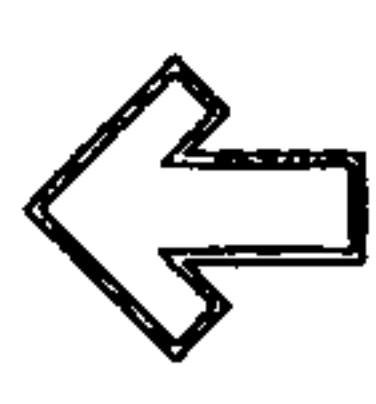


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LANDSCAPE PLAN
 JOURNAL CENTER II
 USDA FOREST SERVICE

JAMES DE FLOW
 10/07

LANDSCAPE ARCHITECT
 THE HILLTOP
 7108 EDIN H.E.
 ABINGDON, MD 21814
 TEL: (410) 898-9990
 FAX: (410) 898-7717
 www.thehilltoplandscape.com

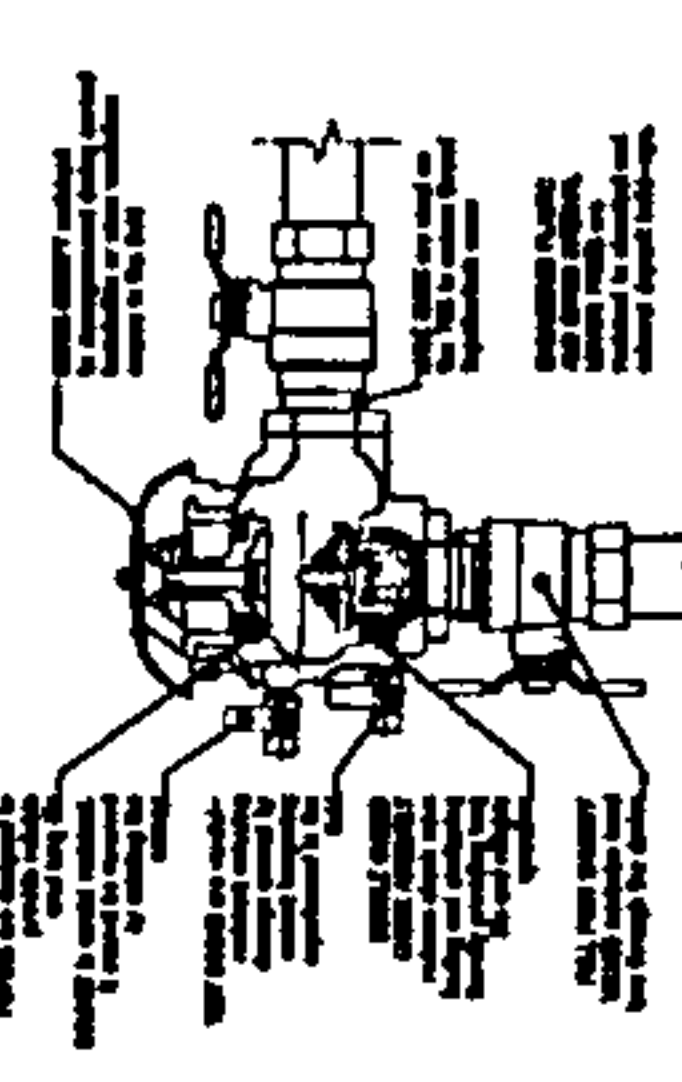
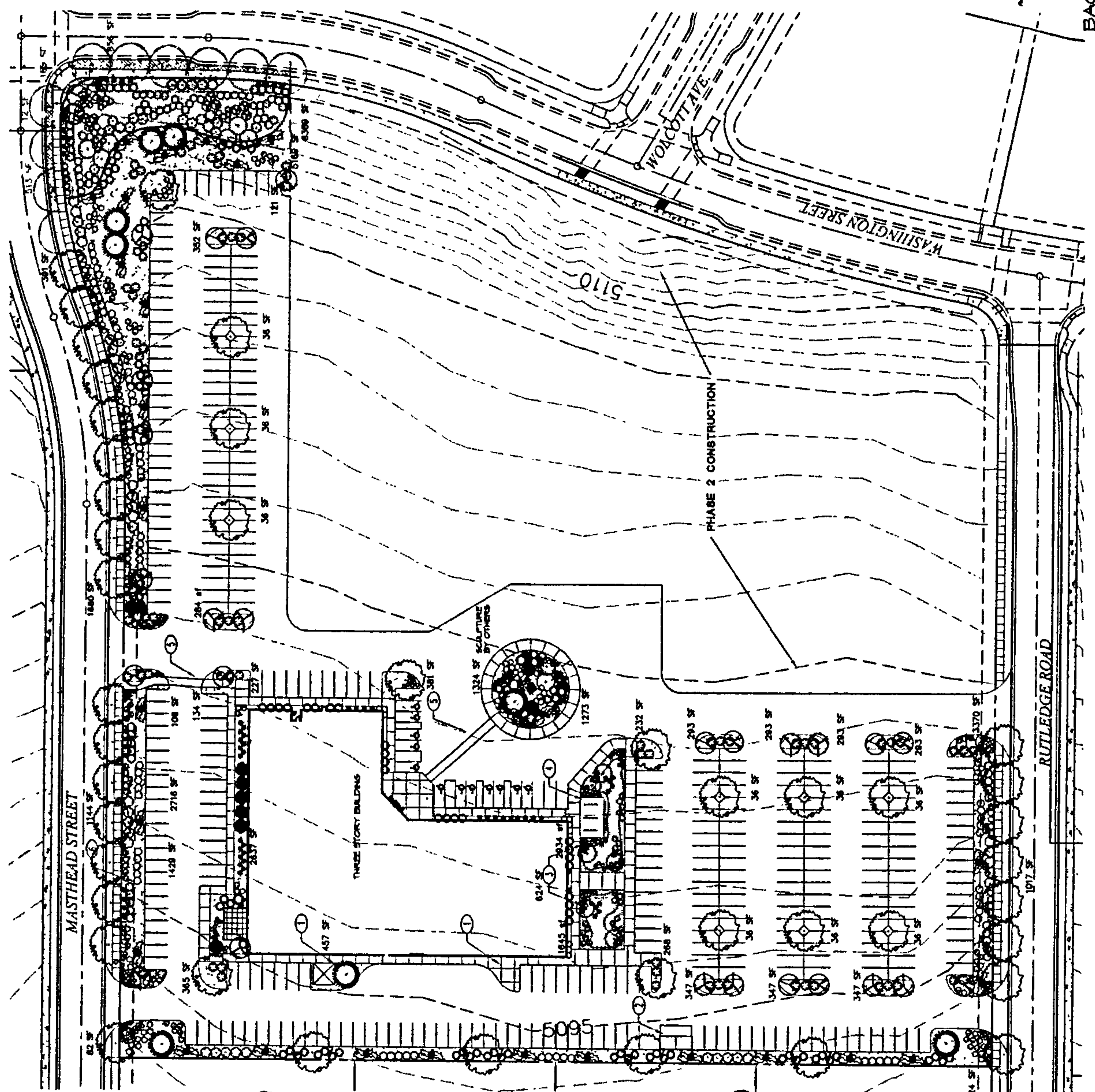


LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Abingdon Water Conservation Ordinance and Water Needs Ordinance. Planting restriction approach. Approval of this plan does not constitute or imply exemption from water needs provisions of the Water Conservation Ordinance and Water Needs Ordinance.
 Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Abingdon Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Ordinance.
 Water Conservation Ordinance and Water Needs Ordinance. In general, water conservation, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

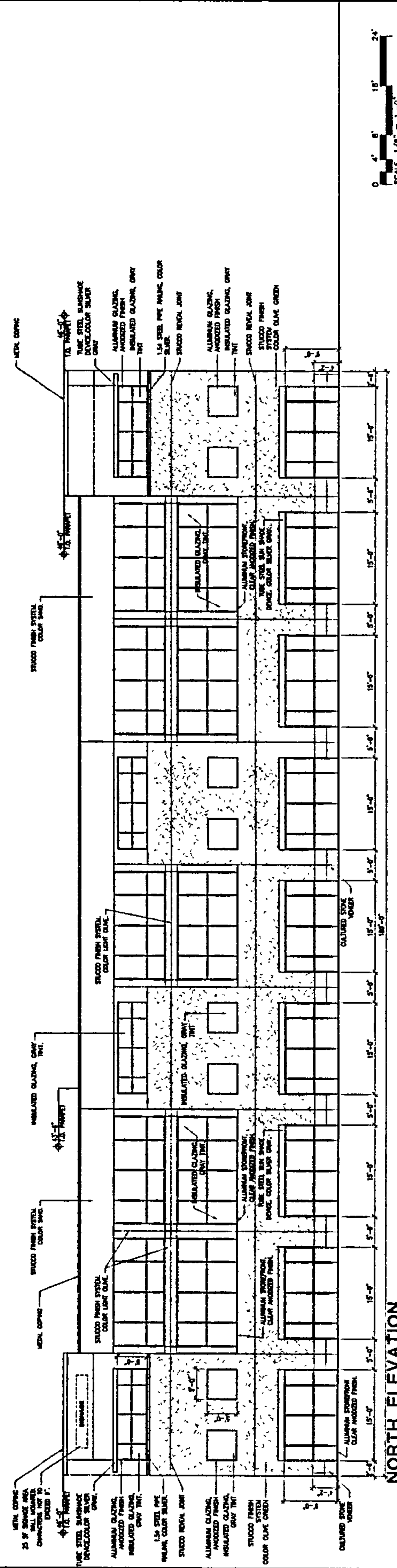
IRRIGATION NOTES:
 Irrigation shall be a complete underground system with three to five (5) 1/2" drip drip emitters and three to five (3) 1/2" drip drip emitters. Drip and Booster systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
 Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Water and power source shall be the responsibility of the Developer/Builder.

- PLANT LEGEND**
- MASCONE (M) 4
5 gal 3007
 - BOSTONIA (M) 40
5 gal 3007
 - BOSTONIA (M) 14
5 gal 3007
 - BOSTONIA (M) 16
5 gal 3007
 - BOSTONIA (M) 18
5 gal 3007
 - BOSTONIA (M) 20
5 gal 3007
 - BOSTONIA (M) 22
5 gal 3007
 - BOSTONIA (M) 24
5 gal 3007
 - BOSTONIA (M) 26
5 gal 3007
 - BOSTONIA (M) 28
5 gal 3007
 - BOSTONIA (M) 30
5 gal 3007
 - BOSTONIA (M) 32
5 gal 3007
 - BOSTONIA (M) 34
5 gal 3007
 - BOSTONIA (M) 36
5 gal 3007
 - BOSTONIA (M) 38
5 gal 3007
 - BOSTONIA (M) 40
5 gal 3007
 - BOSTONIA (M) 42
5 gal 3007
 - BOSTONIA (M) 44
5 gal 3007
 - BOSTONIA (M) 46
5 gal 3007
 - BOSTONIA (M) 48
5 gal 3007
 - BOSTONIA (M) 50
5 gal 3007
 - BOSTONIA (M) 52
5 gal 3007
 - BOSTONIA (M) 54
5 gal 3007
 - BOSTONIA (M) 56
5 gal 3007
 - BOSTONIA (M) 58
5 gal 3007
 - BOSTONIA (M) 60
5 gal 3007
 - BOSTONIA (M) 62
5 gal 3007
 - BOSTONIA (M) 64
5 gal 3007
 - BOSTONIA (M) 66
5 gal 3007
 - BOSTONIA (M) 68
5 gal 3007
 - BOSTONIA (M) 70
5 gal 3007
 - BOSTONIA (M) 72
5 gal 3007
 - BOSTONIA (M) 74
5 gal 3007
 - BOSTONIA (M) 76
5 gal 3007
 - BOSTONIA (M) 78
5 gal 3007
 - BOSTONIA (M) 80
5 gal 3007
 - BOSTONIA (M) 82
5 gal 3007
 - BOSTONIA (M) 84
5 gal 3007
 - BOSTONIA (M) 86
5 gal 3007
 - BOSTONIA (M) 88
5 gal 3007
 - BOSTONIA (M) 90
5 gal 3007
 - BOSTONIA (M) 92
5 gal 3007
 - BOSTONIA (M) 94
5 gal 3007
 - BOSTONIA (M) 96
5 gal 3007
 - BOSTONIA (M) 98
5 gal 3007
 - BOSTONIA (M) 100
5 gal 3007

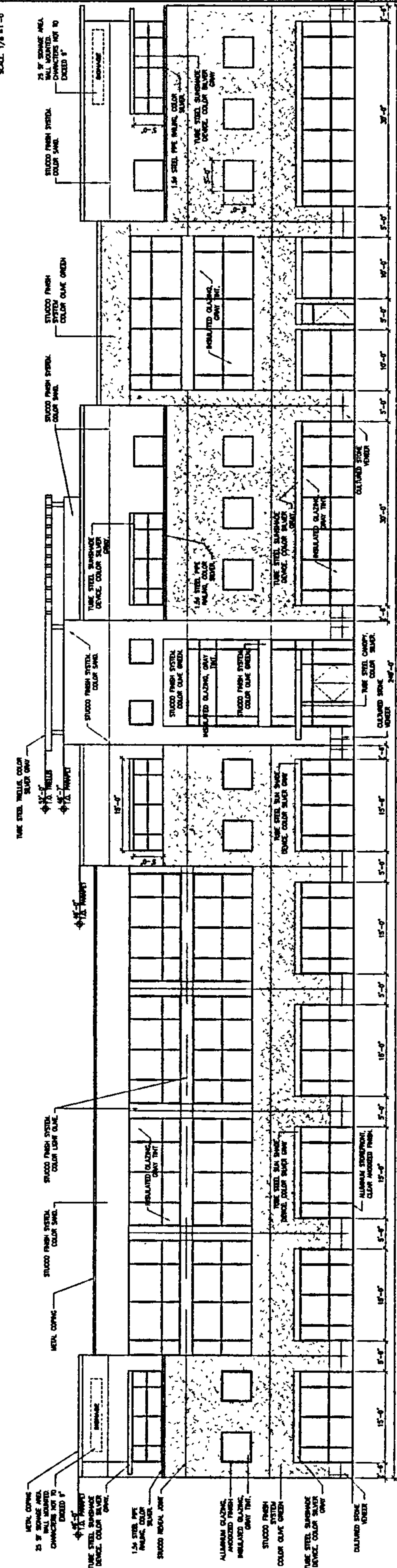
LANDSCAPE CALCULATIONS
 TOTAL LOT AREA: 24,271 sq. ft.
 TOTAL BUILDINGS AREA: 2,106 sq. ft.
 OFFSITE AREA: 2,140 sq. ft.
 NET LOT AREA: 19,965 sq. ft.
 LANDSCAPE REQUIREMENT: 15%
 TOTAL LANDSCAPE REQUIREMENT: 2,995 sq. ft.
 TOTAL BED PROVIDED: 4,854 sq. ft.
 SNOWCOVER REQ: 75%
 TOTAL SNOWCOVER REQUIREMENT: 2,247 sq. ft.
 TOTAL SNOWCOVER PROVIDED: 3,012 (135%) sq. ft.
 TOTAL DISTINGUISHING LANDSCAPE: 19,466 sq. ft.
 TOTAL BOD AREA: 0 sq. ft.
 (Min. 30% of landscape required)
 TOTAL LANDSCAPE PROVIDED: 4,854 sq. ft.



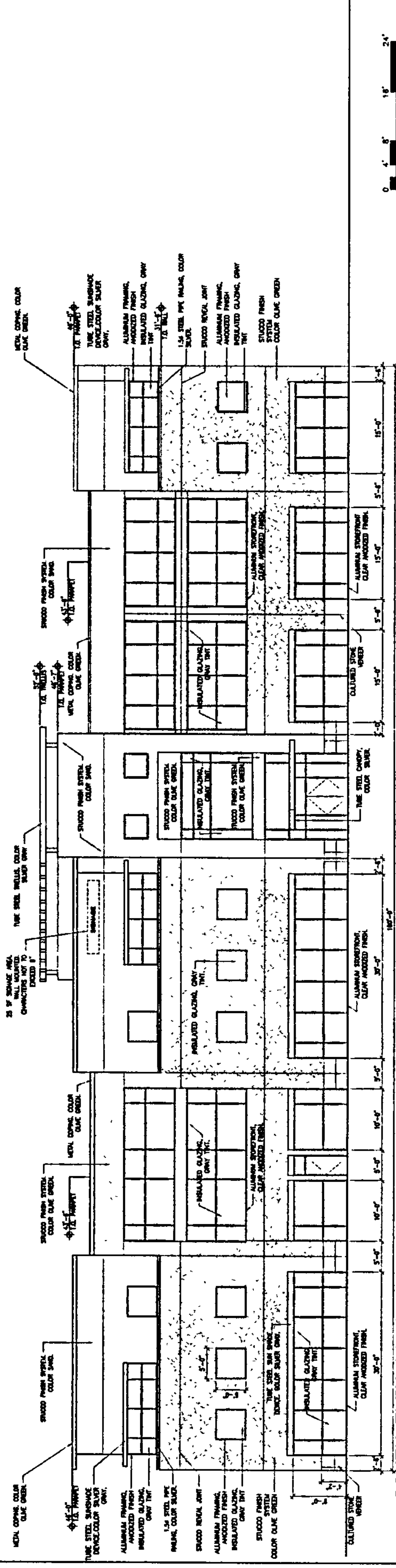
BACKFLOW PREVENTER DETAIL
 SCALE: 1"=40'
 GRAPHIC SCALE: 0 20 40
 NO SCALE



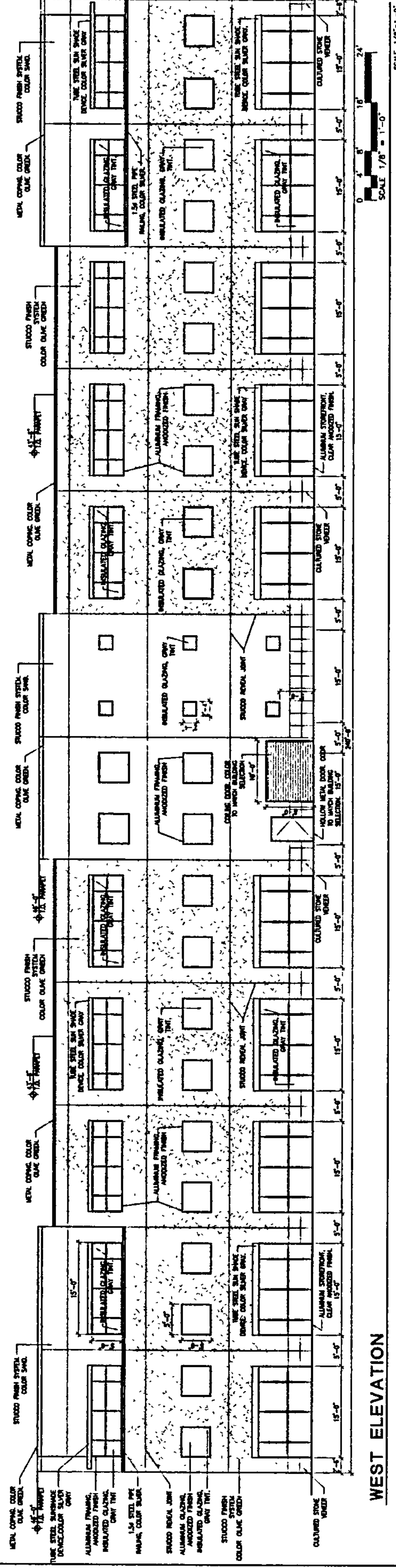
NORTH ELEVATION



EAST ELEVATION

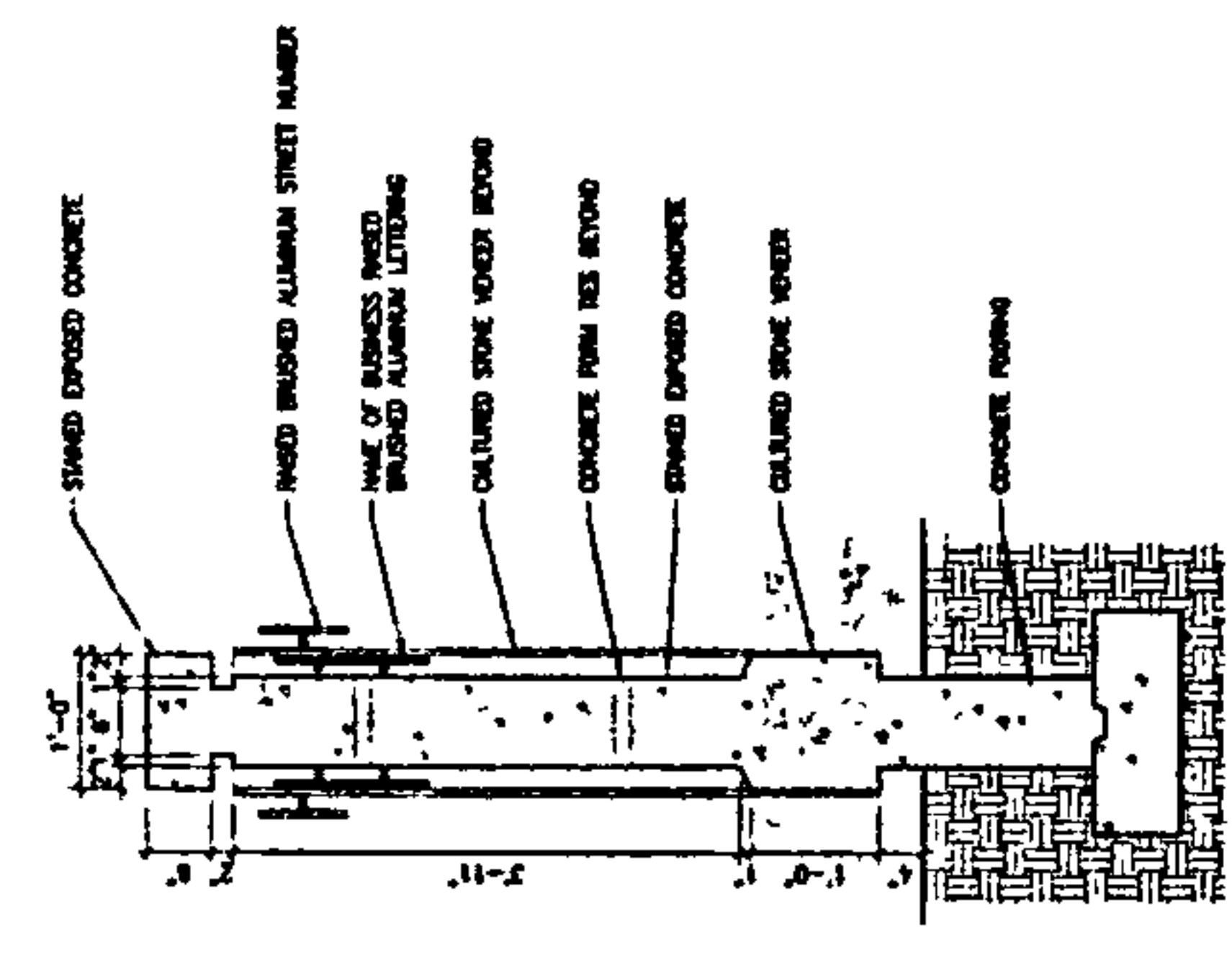
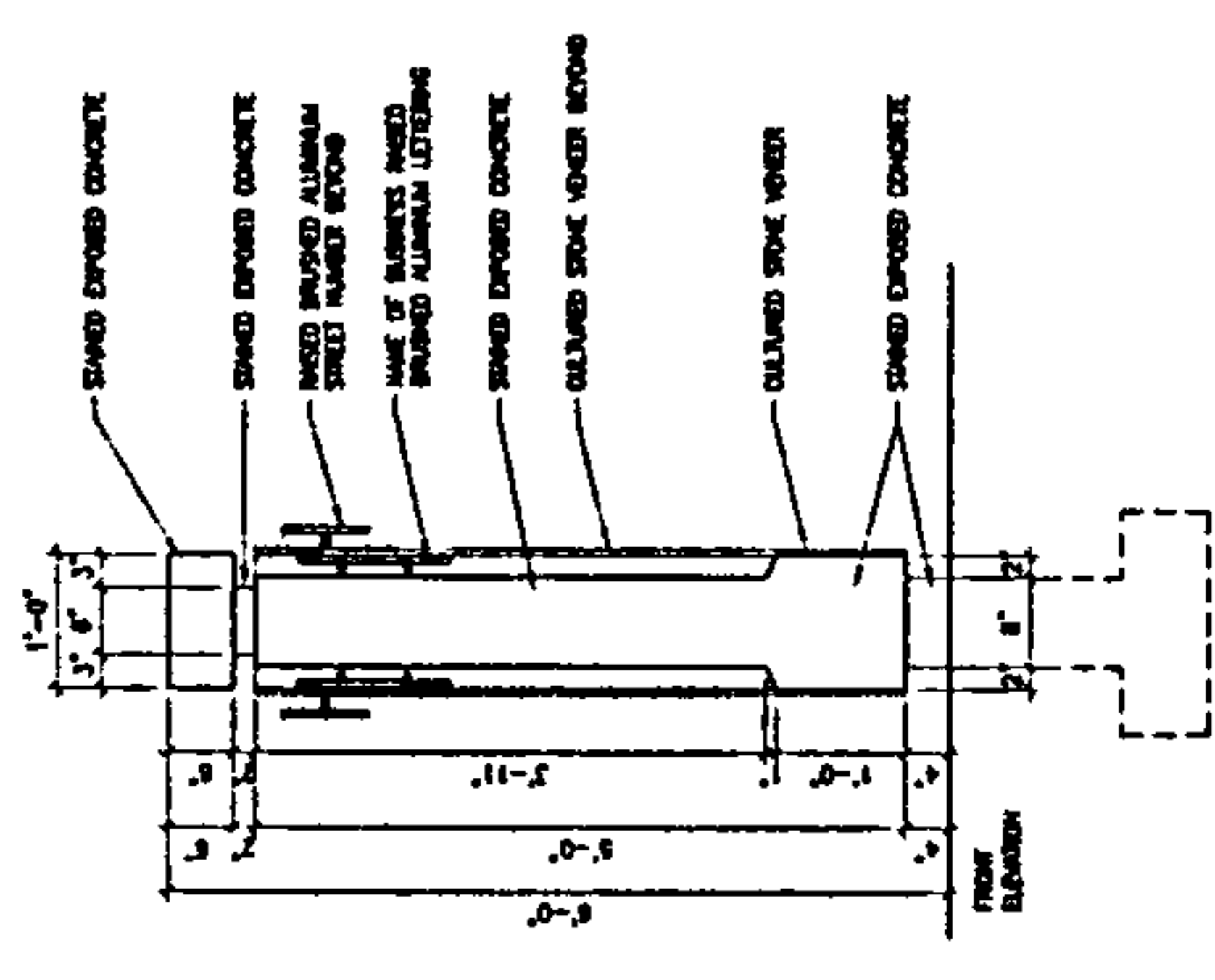
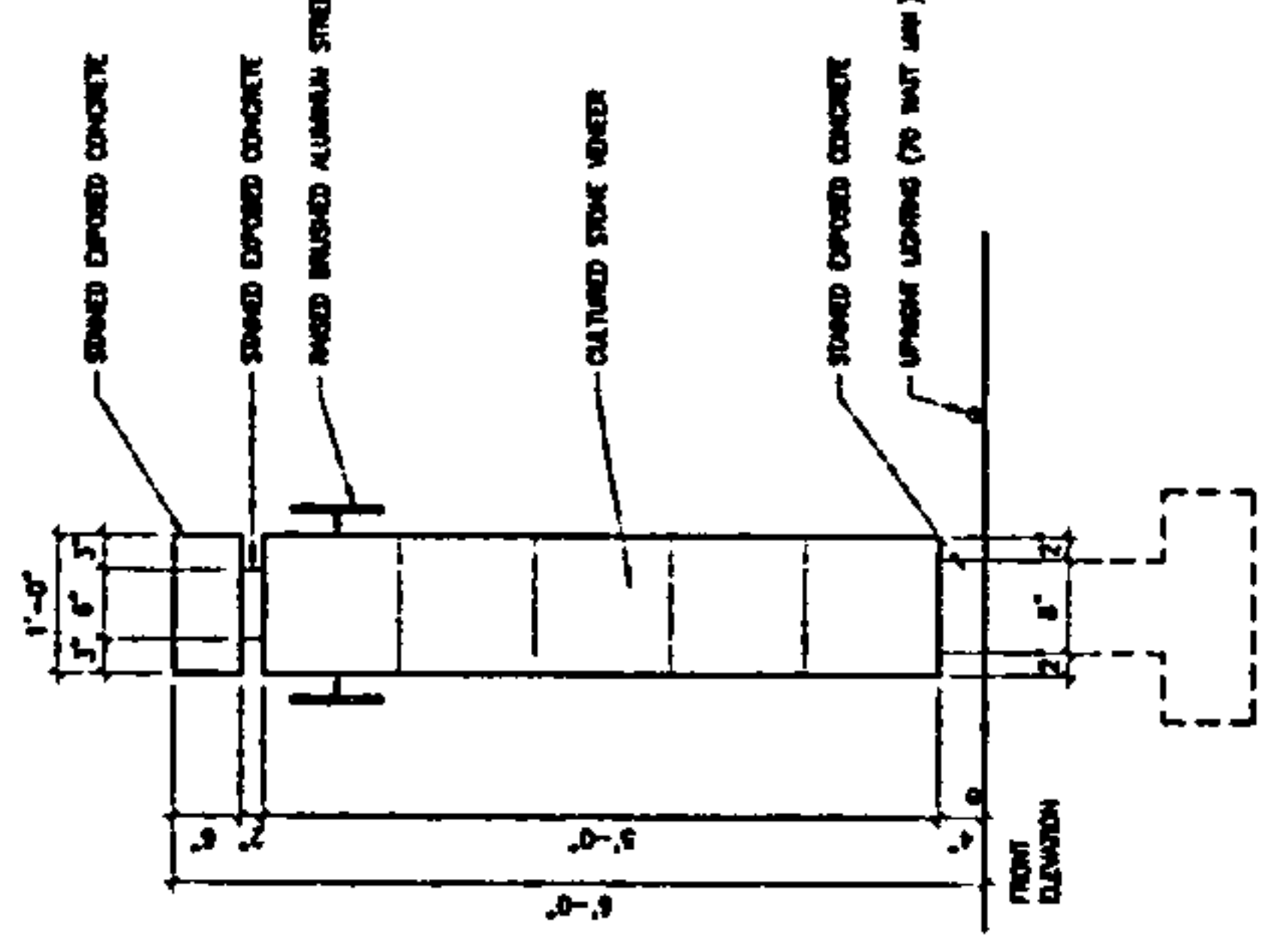
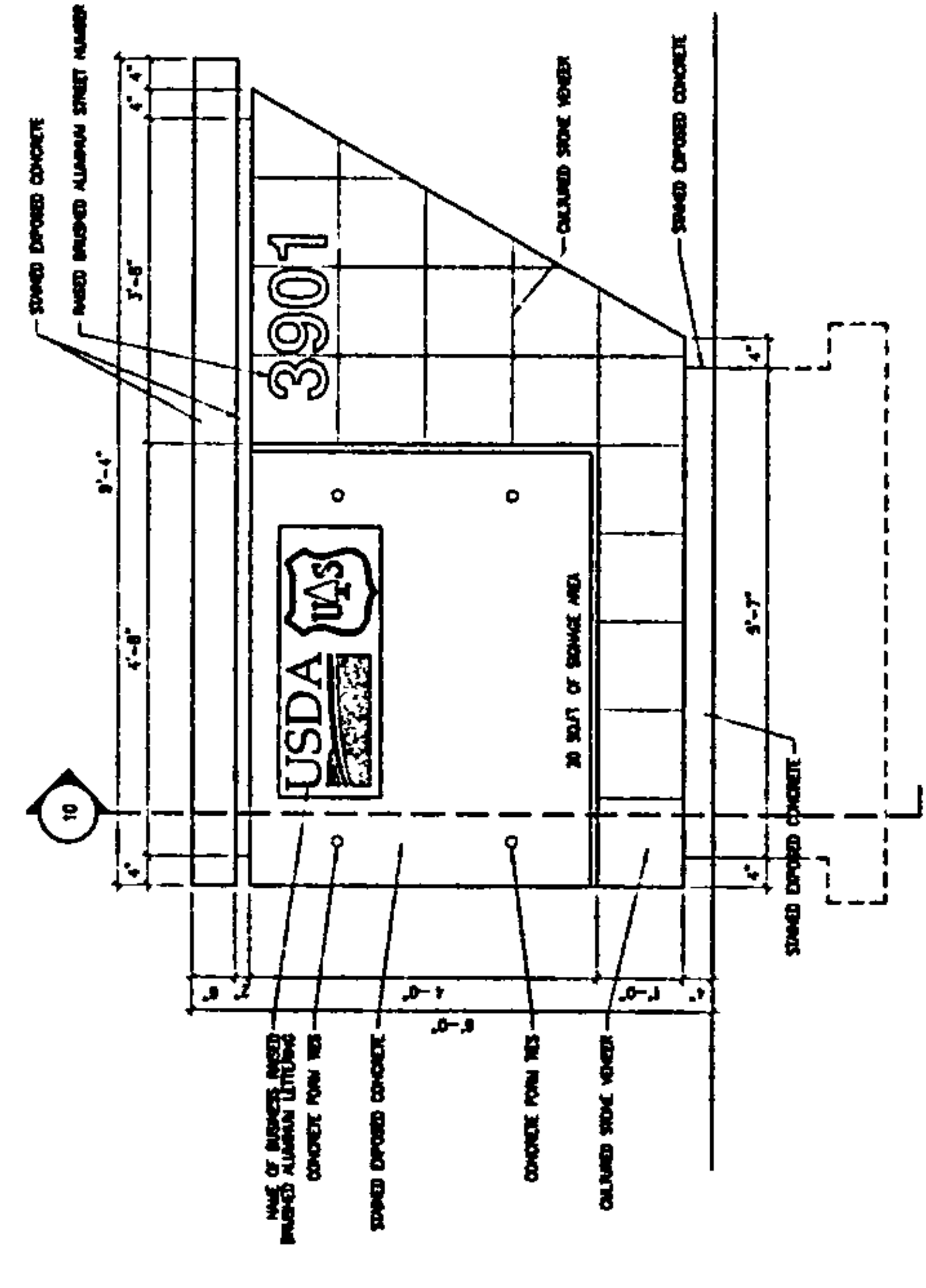
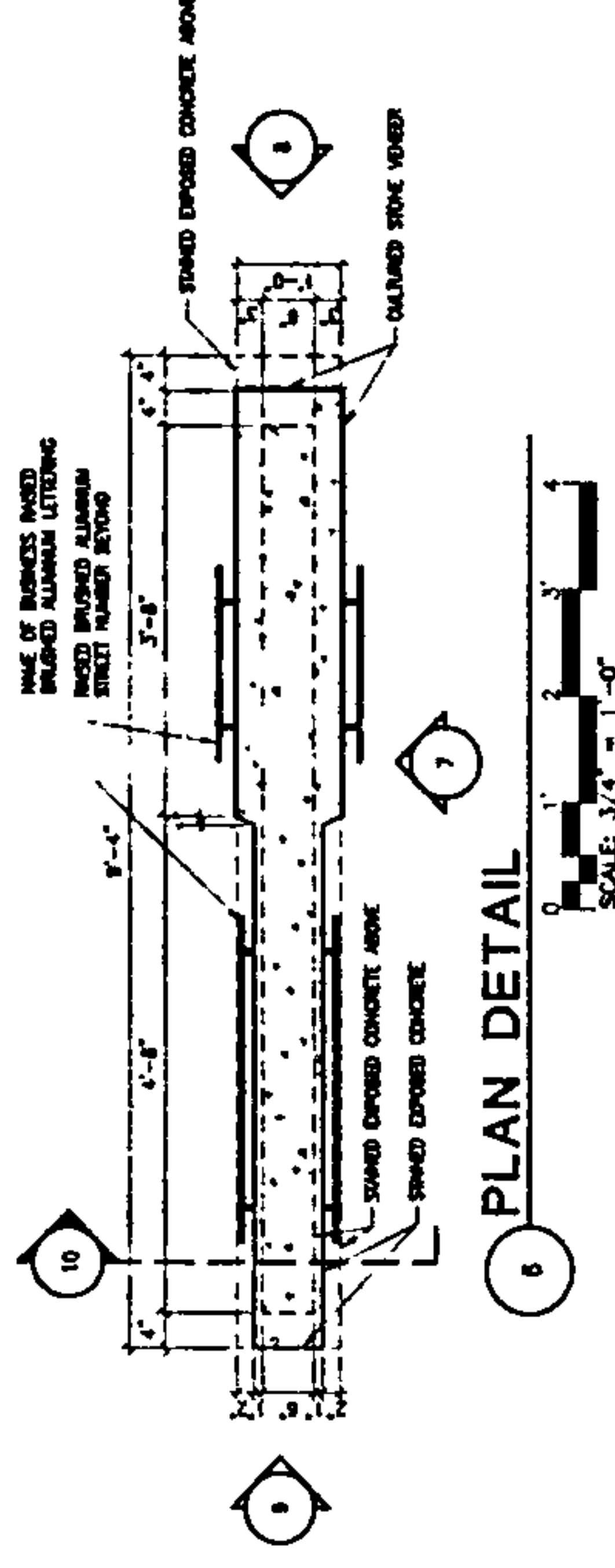
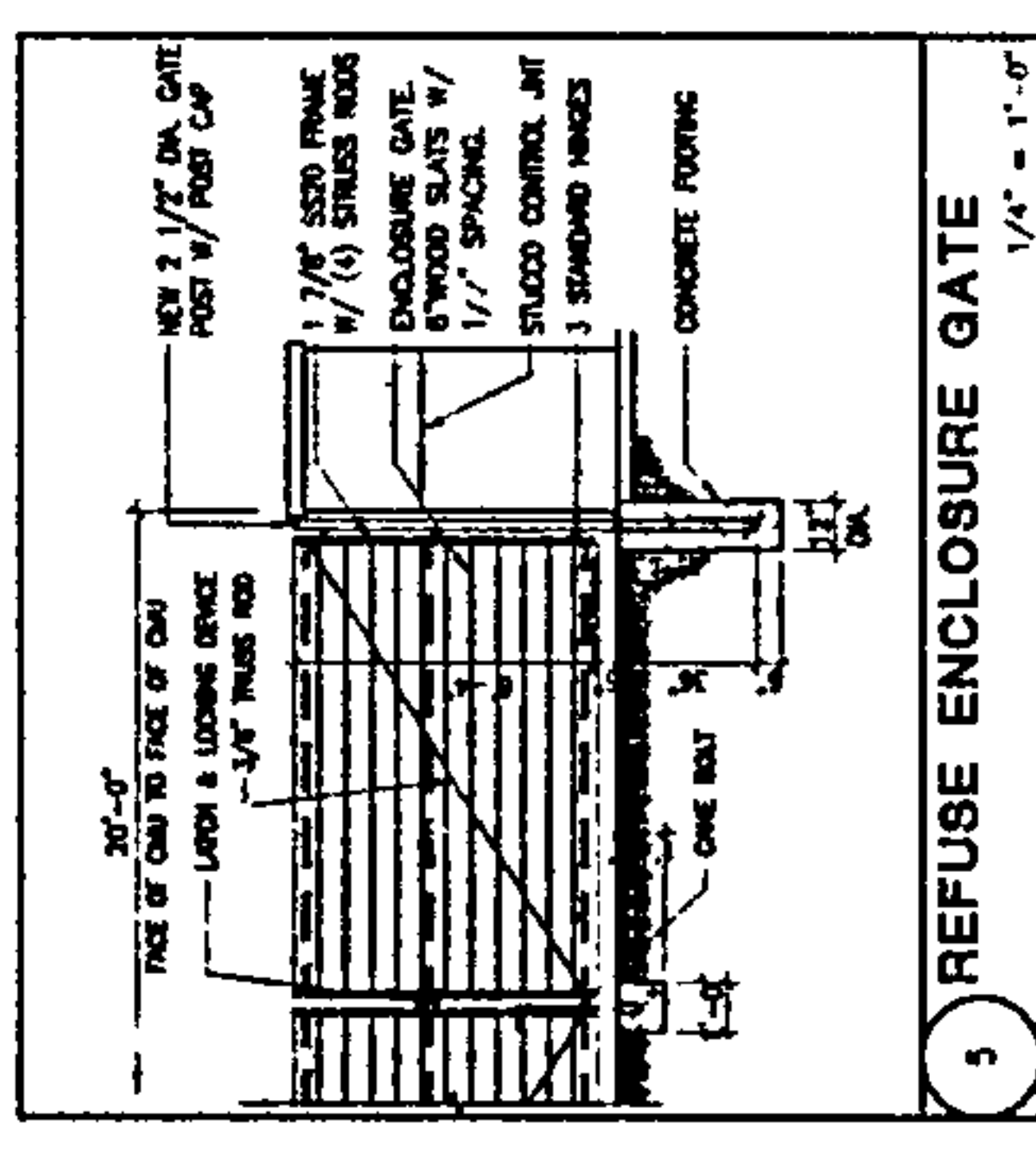
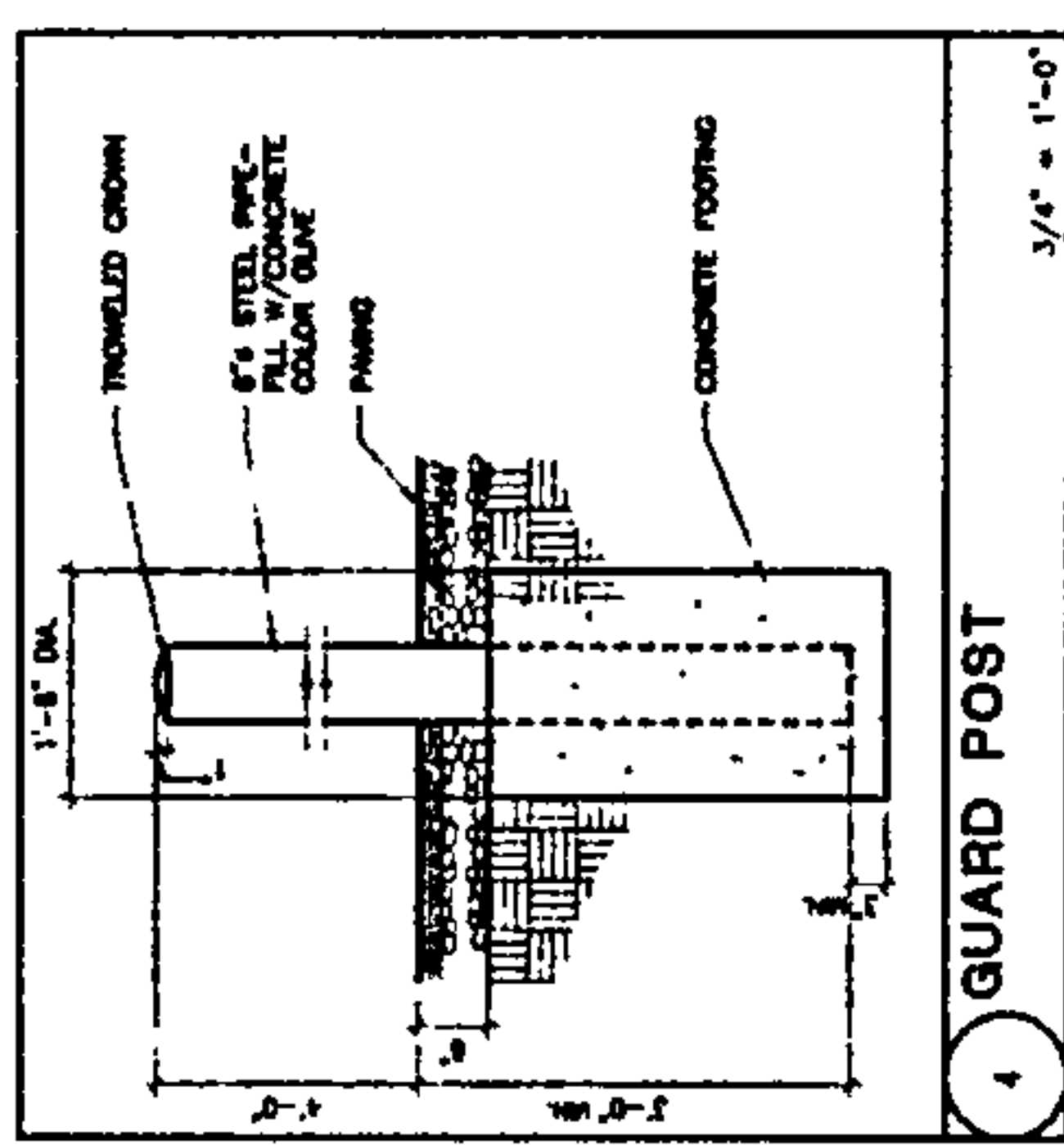
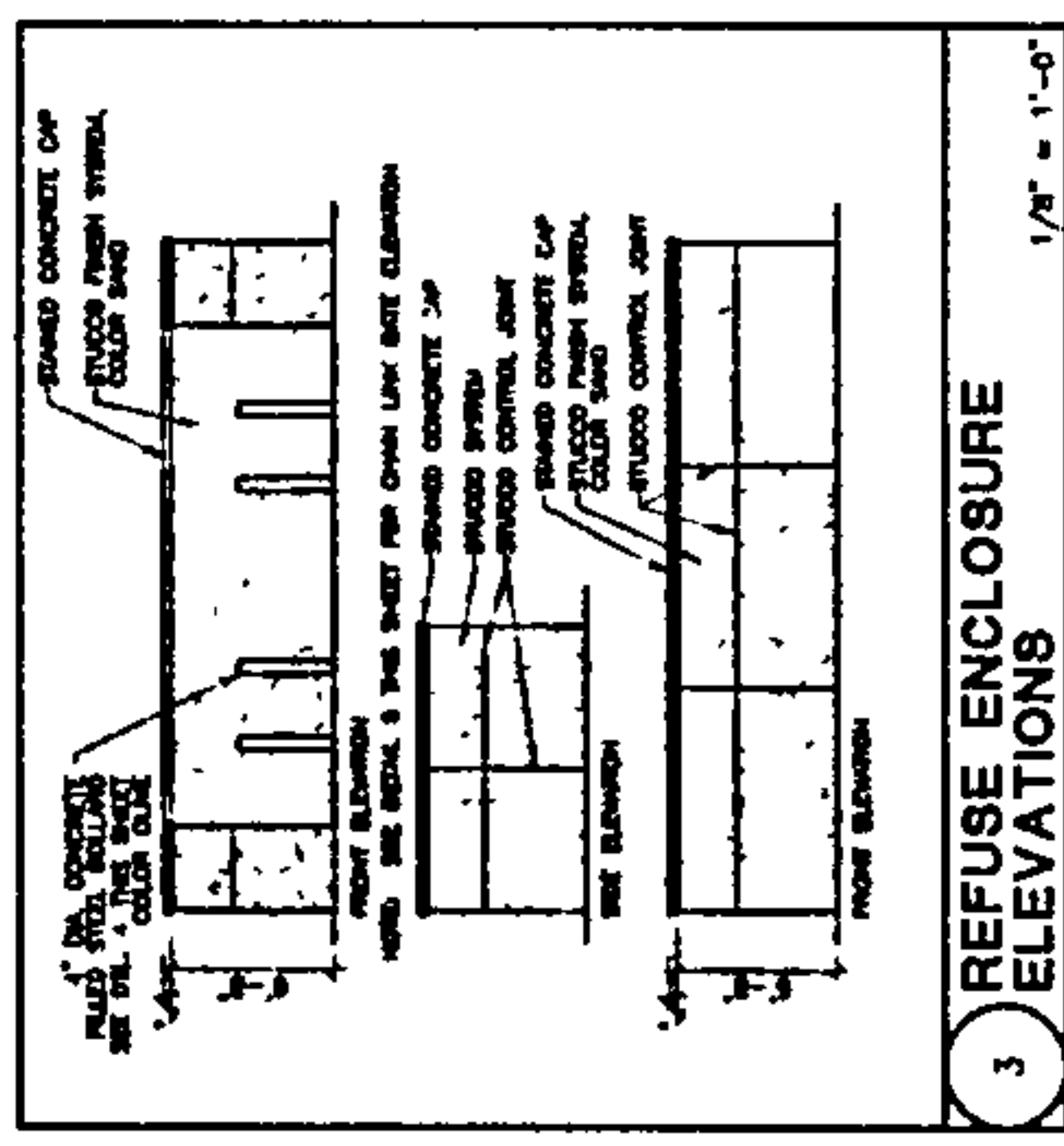
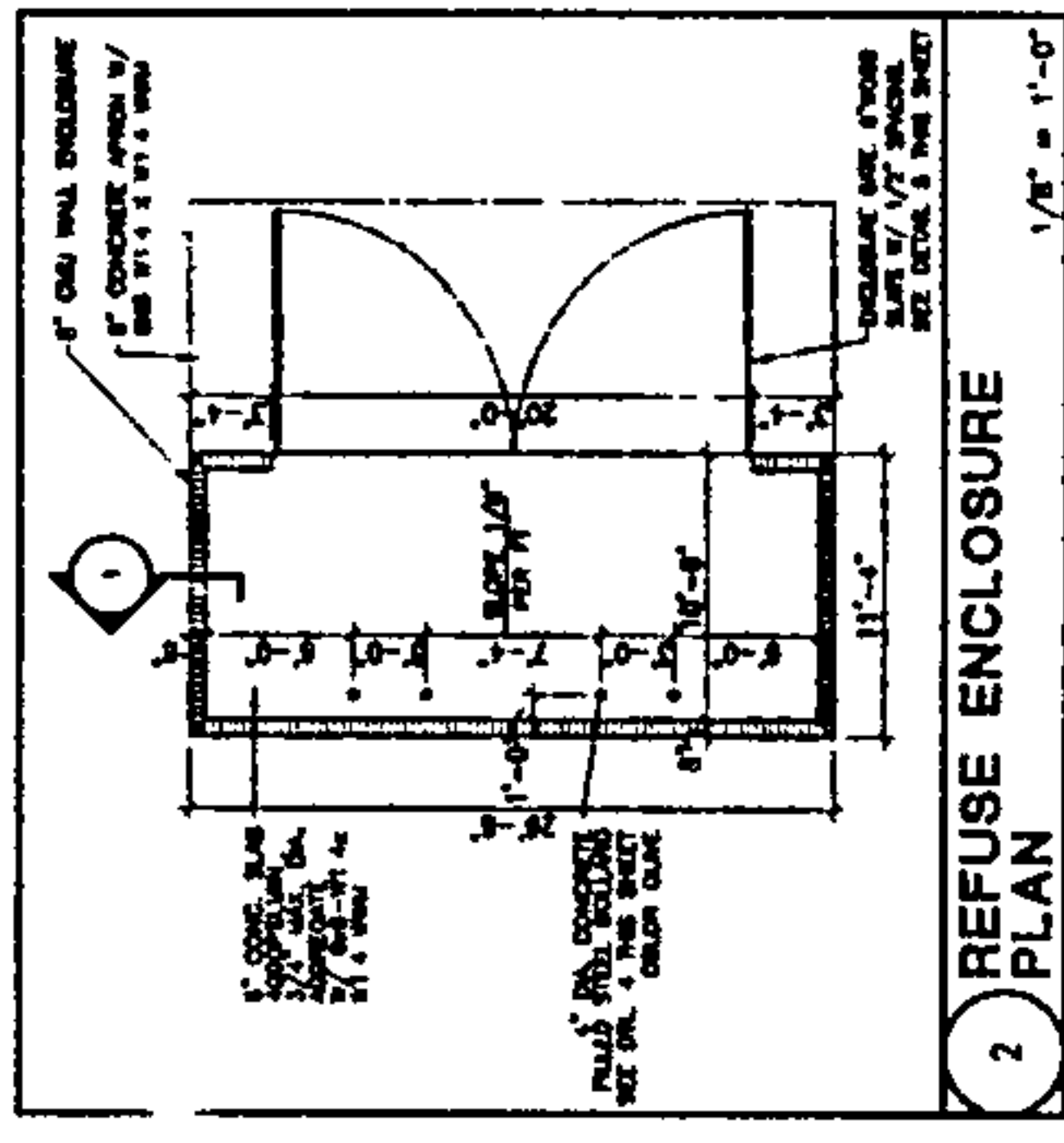
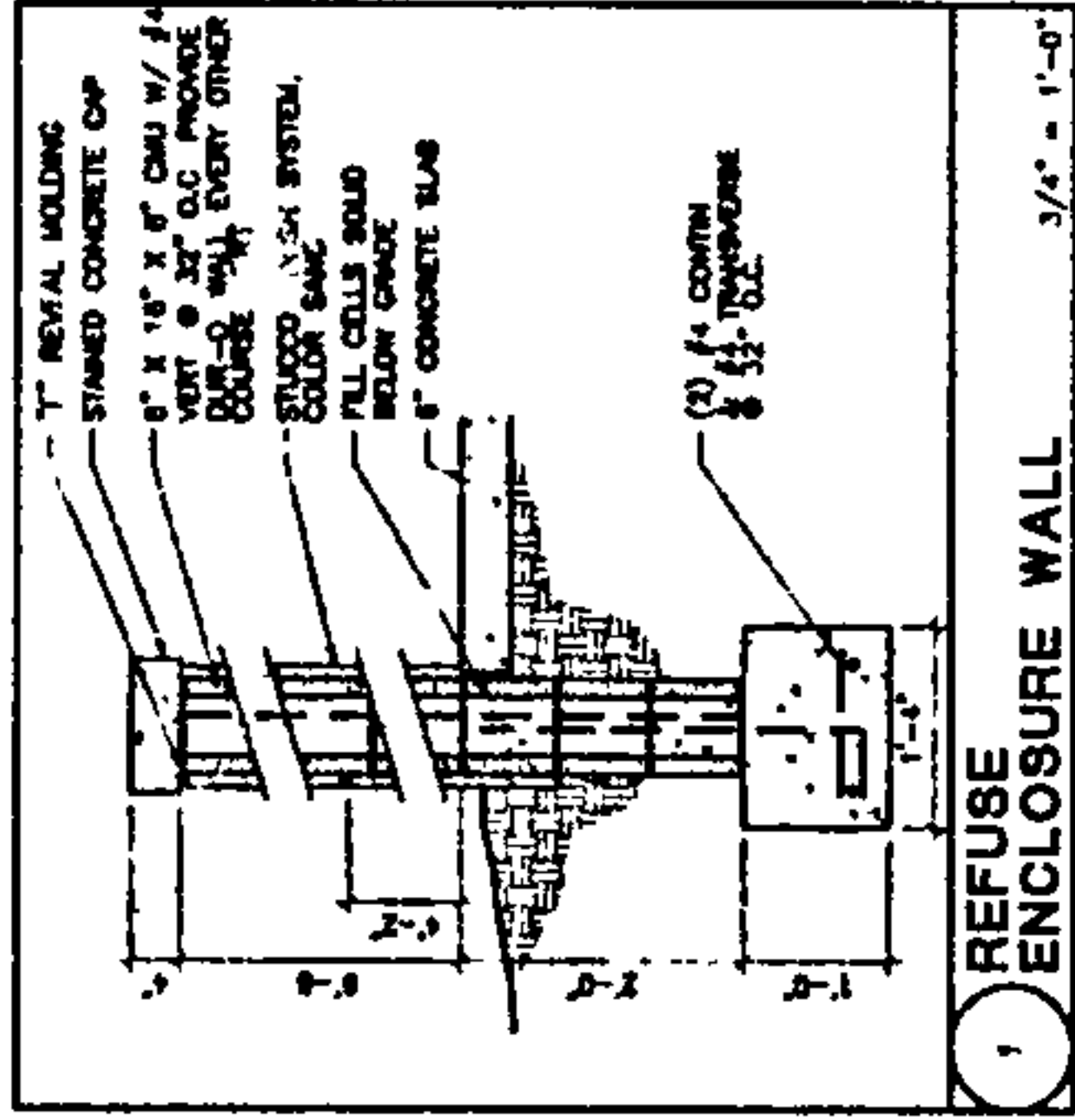


SOUTH ELEVATION



WEST ELEVATION





1 REFUGES ENCLOSURE WALL 3/4" = 1'-0"

2 REFUGES ENCLOSURE PLAN 1/8" = 1'-0"

3 REFUGES ENCLOSURE ELEVATIONS 1/8" = 1'-0"

4 GUARD POST 3/4" = 1'-0"

5 REFUGES ENCLOSURE GATE 1/4" = 1'-0"

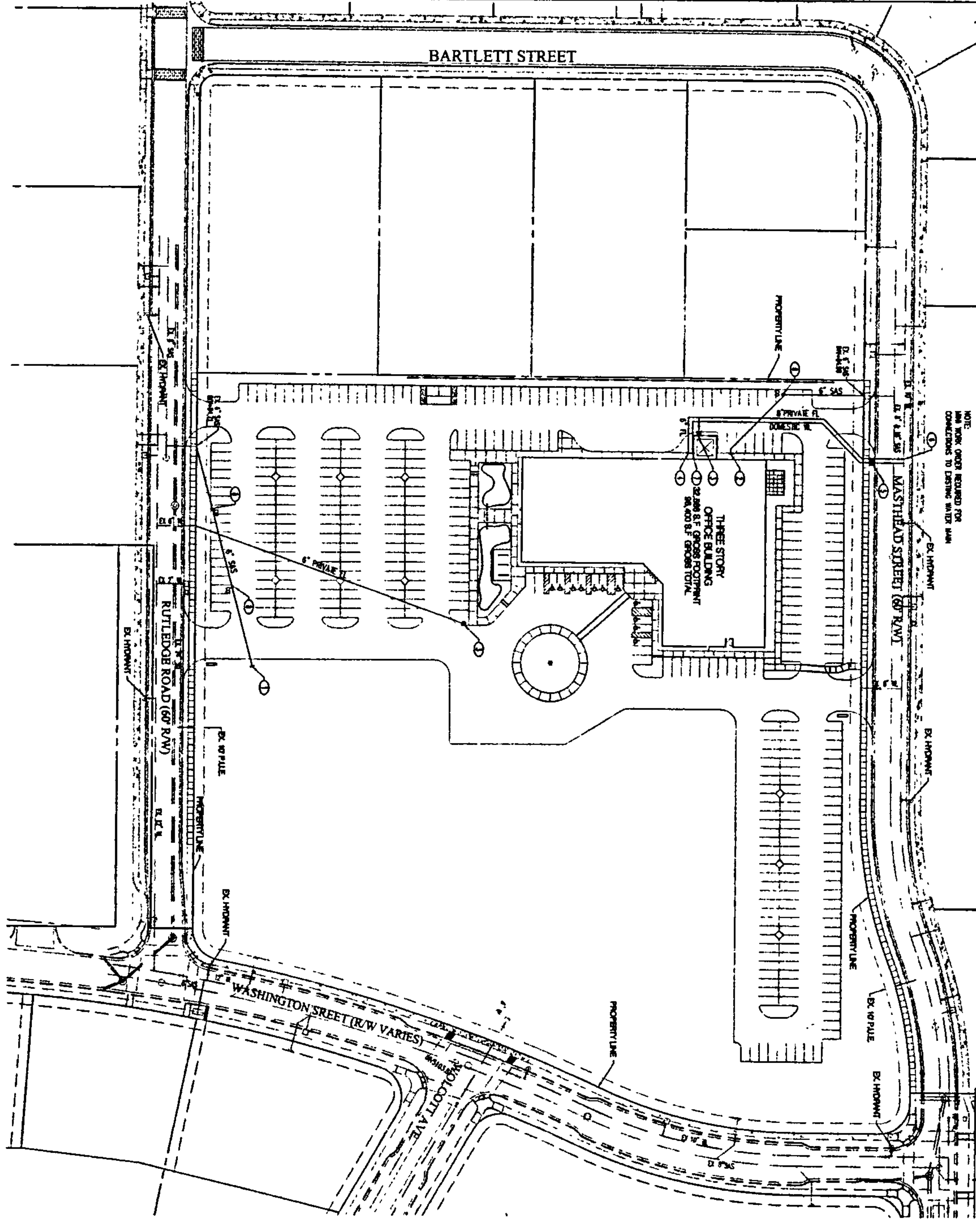
6 PLAN DETAIL 3/4" = 1'-0"

7 FRONT ELEVATION 3/4" = 1'-0"

8 SIDE ELEVATION 3/4" = 1'-0"

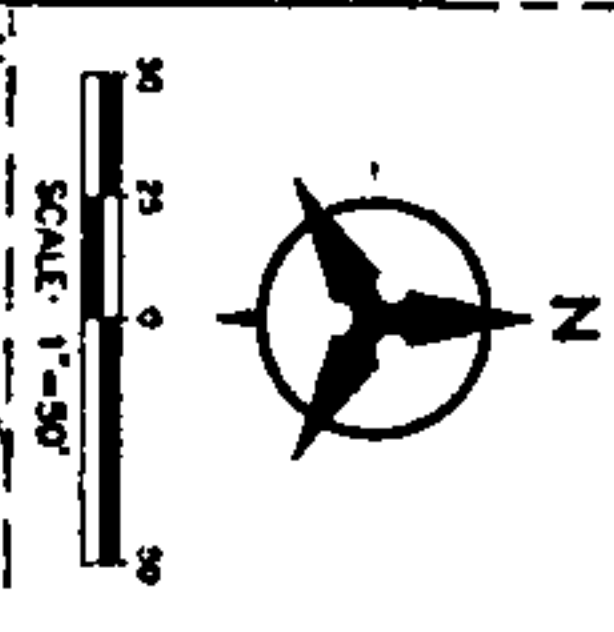
9 SIDE ELEVATION 3/4" = 1'-0"

10 SECTION 3/4" = 1'-0"



NOTE: MAJOR WORK ORDER REQUIRED FOR CONNECTIONS TO EXISTING WATER MAIN

THREE STORY OFFICE BUILDING 32,200 S.F. GROSS FLOORING 58,400 S.F. GROSS TOTAL



LEGEND

- PROPERTY LINE
- 12\"/>
- 6\"/>
- 3\"/>
- 1\"/>
- 0\"/>
- EX. WATER MAIN
- EX. WATER LINE
- EX. S.W.P.
- EX. W.P.
- EX. FIRE MAIN
- EX. STREET LIGHT
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED DWV
- PROPOSED WIRELINE

UTILITY RELATED NOTES

1. SANITARY SEWER STUB FOR FUTURE BUILDING
2. 6\"/>
- 3. NEW PRIVATE FIRE HYDRANT
- 4. PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER SHALL BE INSTALLED MECHANICAL ROOM
- 5. NEW 1/2\"/>
- 6. 6\"/>
- 7. NEW DOMESTIC WATER SERVICE TO BUILDING. BACKFLOW PREVENTER SHALL BE INSTALLED
- 8. SANITARY SEWER CLEANOUT

.. D PLANS CHECKING OFFICE
724-3611
APPROVED/DRAWN
DATE: 8/18/05

964004 J.D.(s) (2255) (2)

Bohannon & Huston
 CONSULTING ENGINEERS & ARCHITECTS
 1000 JEFFERSON BLVD. ALBUQUERQUE, NM 87106-8888
 PH: 505-255-4400 FAX: 505-255-8954
 WWW.BHARCHITECTS.COM

US FOREST SERVICE
ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES

ALBUQUERQUE NEW MEXICO

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Utility Plan

NO.	DATE	DESCRIPTION
1	08-18-05	REVISED
2	08-18-05	JTV
3	08-18-05	JTV
4	08-18-05	JTV

NCA
ARCHITECTS - PLANNERS - IAA
1000 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-4400 505-255-8954 FAX
WWW.NCA-ARCHITECTS.COM

C3.0

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME

MASTHEAD DEVELOPMENT LLC

AGENT

BOLLENNAN HUSTON INC.

ADDRESS

7500 JEFFERSON

PROJECT & APP #

1002321 / 01333

PROJECT NAME

JOURNAL CENTER PHASE 2 UNIT 2

*****DUPLICATE*****
 City of Albuquerque
 Treasury Division

8/19/2005 12:09PM LOC: ANNX
 RECEIPT# 00048087 US# 007 TRANSH# 0014
 Account 441032 Fund 0110 TRSLJS
 Activity 3424000
 Trans Amt \$480.00
 J24 Misc

\$20.00
Thank You

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee

\$ 385.⁰⁰ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.⁰⁰ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***

- Major/Minor Subdivision Site Development Plan Bldg Permit
- Letter of Map Revision Conditional Letter of Map Revision
- Traffic Impact Study

\$ 480.⁰⁰ TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

8/19/2005
 REID & ASSOCIATES, INC.
 6300 RIVERSIDE PLAZA LANE, SUITE 220
 ALBUQUERQUE, NM 87120
 (505) 891-2528

FIRST STATE BANK
 95-145-1070
 08/17/05

PAY TO THE ORDER OF: City of Albuquerque
 \$ 480.00
 Four Hundred Eighty and 00/100 DOLLARS

MEMO 01-901
 0032335 1070014521 001368394

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Aug 30-05 To Sept 14-05

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Josephine Anneton
(Applicant or Agent)

8-19-05
(Date)

I issued 2 signs for this application, 8/19-05 (Date), *K. S. S.* (Staff Member)

DRB PROJECT NUMBER: 1002321



September 8, 2005

City of Albuquerque
Planning Department
P.O. Box 1293
Albuquerque, NM 87103

SECOND REQUEST

To Whom It May Concern:

Enclosed please find a copy of correspondence from you sent to 13000 Academy NE.

There is no longer a building at this address and our forwarding is about to expire.

Please change to our new location

TIBURON INVESTMENT CORP.

3791 SOUTHERN BLVD. SE SUITE 202

RIO RANCHO, NM 87124

Thank you.

Enid Chase
echase@high-desert.com

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form

SUBDIVISION **S**

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form

ZONING **Z**

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: TIBURON INVESTMENT CO. PHONE: 828-3200

ADDRESS: ~~6400 WYOMING NE~~ 3791 Southern Blvd SE Suite 205 FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

Proprietary interest in site: OWNER 87124

AGENT (if any): BOHANNAN HUSTON, INC. PHONE: 823-1000

ADDRESS: 7500 JEFFERSON NE FAX: 798-7988

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: FINAL PLAT REVIEW AND APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 8A-1 Block: _____ Unit: _____

Subdiv. / Addn. JOURNAL CENTER PHASE 2, UNIT 2

Current Zoning: IP Proposed zoning: _____

Zone Atlas page(s): D-17 No. of existing lots: 1 No. of proposed lots: 20

Total area of site (acres): 51.9183 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? Yes

UPC No. 101706315016530120 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: WASHINGTON STREET NE

Between: MASTHEAD NE and RUTLEDGE ROAD NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____

1000633 00410-01191

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Bruce Stidworthy DATE 3/25/03

(Print) BRUCE STIDWORTHY Applicant Agent

FOR OFFICIAL USE ONLY

.pdf Form revised Sept. 2001

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>03DRB-</u>	<u>00478</u>	<u>FP</u>	\$ <u>-0-</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>4-2-03</u>	_____	_____	\$ <u>-0-</u>

Clare Senora 3/25/03 Project # 1002321

Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **Your attendance is required.**
- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- ___ Preliminary Plat reduced to 8.5" x 11"
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Copy of previous D.R.B. approved infrastructure list
 - ___ Copy of the Official D.R.B. Notice of approval
 - ___ Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - SIA financial guaranty verification
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - ___ Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- ___ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing
 - ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**

- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

- AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - ___ Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

BRUCE STIDWORTHY

Bruce Stidworthy Applicant name (print)
3/25/03 Applicant signature / date



Form revised February 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
09DRB - 00478

Oliver Senora 3/25/03
Planner signature / date
Project # 1002321

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

March 25, 2003

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Final Plat Approval
Journal Center Phase 2, Unit 2

Dear Sheran:

Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Applications
- Six (6) copies of the Final Plat, and
- Zone Atlas Map showing the location of the property

The purpose of this plat is to subdivide all of Tract 8A-1 into 20 lots and 1 Tract, to dedicate and vacate street right-of-way, and to vacate and dedicate easements.

Please place this item on the DRB agenda to be heard on April 2, 2003. If you have any questions or require additional information, please contact me.

Sincerely,



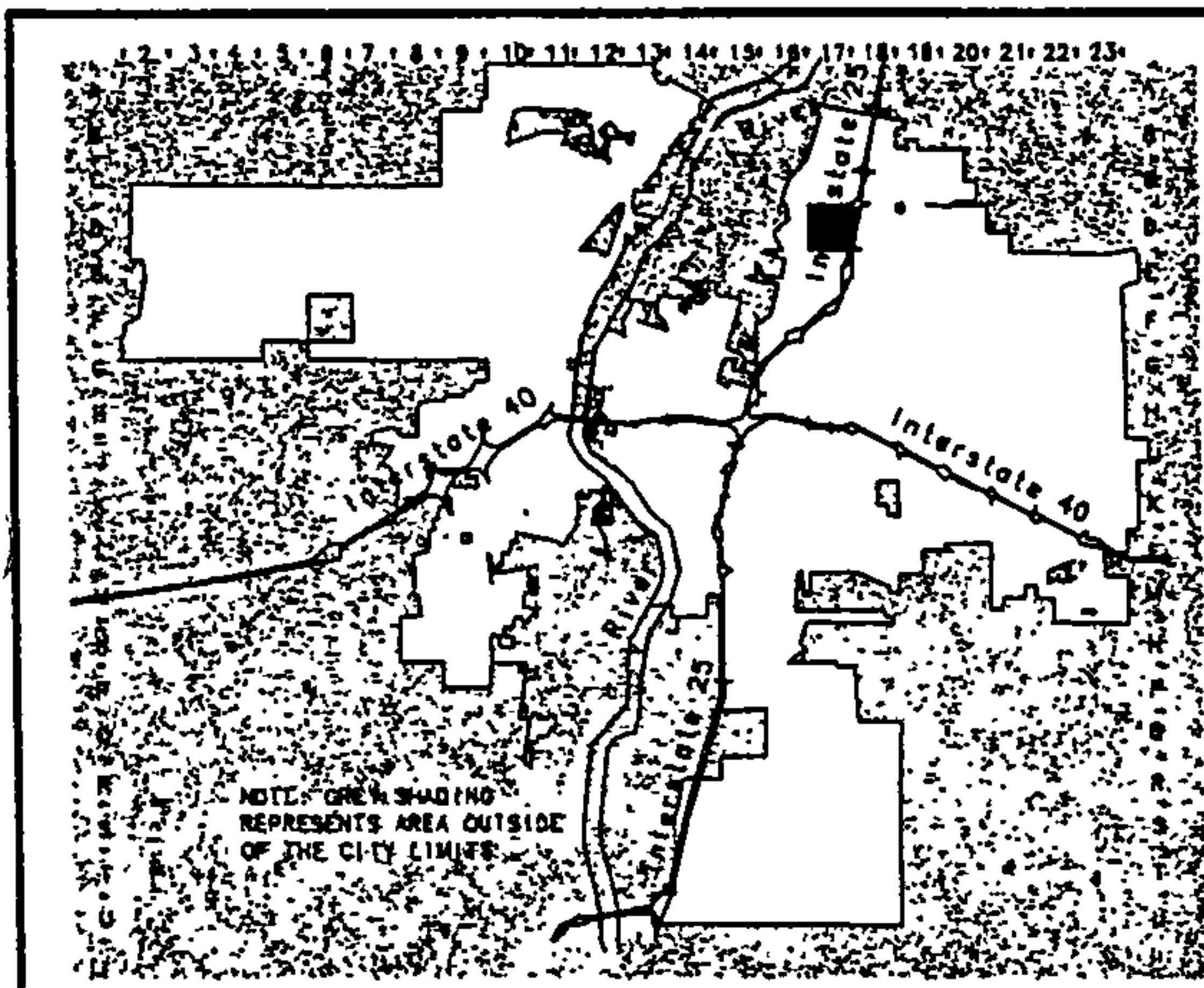
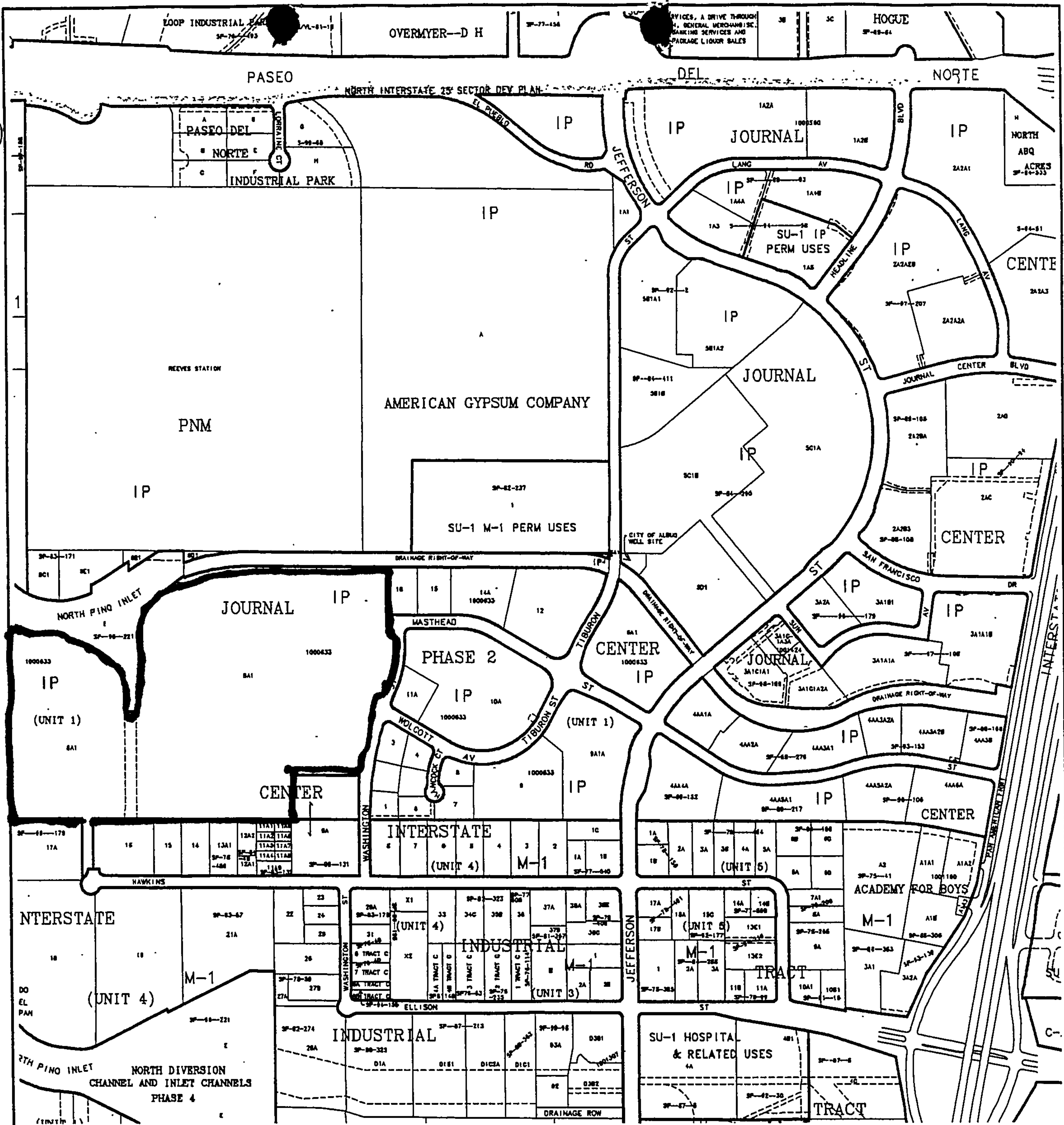
Bruce Stidworthy, P.E.
Project Manager
Community Development and Planning Group

SS
Enclosure

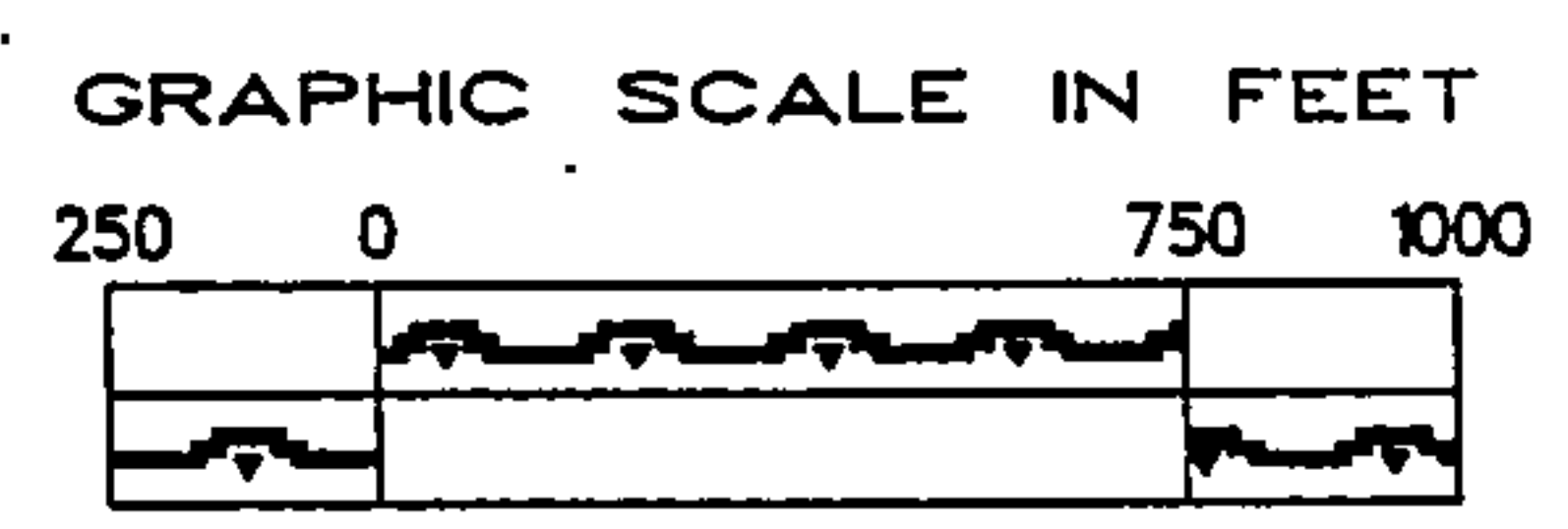
ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



CITY OF
Albuquerque
Albuquerque Geographic Information Systems
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
D-17-Z
Map Amended through January 21, 2003

CITY OF ALBUQUERQUE

1002321
02-01722

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: TIBURON INVESTMENT LLC Date of request: 11 / 8 / 02 Zone atlas page(s): D-17

CURRENT: Zoning IP Legal Description - Lot or Tract # TRACT 8A-1 Block # Parcel Size (acres / sq.ft.) 52.91 Subdivision Name JOURNAL CENTER

REQUESTED CITY ACTION(S): Annexation [] Sector Plan [] Site Development Plan: Building Permit [] Comp. Plan [] Zone Change [] a) Subdivision [] Access Permit [] Amendment [] Conditional Use [] b) Build'g Purposes [] Other PRE PLAT [XX] c) Amendment []

PROPOSED DEVELOPMENT: No construction / development [] New Construction [] Expansion of existing development [] GENERAL DESCRIPTION OF ACTION: # of units - Building Size - (sq. ft.)

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative [Signature] Date 11/7/02 (To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

PUBLIC WORKS DEPT. Transportation Development Div. 3rd Floor / Room 304 City Hall 768-2680

THRESHOLDS MET? YES [X] NO [] Mitigating reasons for not requiring TIS: Previously studied: [X] Notes: WASTHEAD TIS

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] 11-8-02 TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [] NO [X] BORDERLINE []

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [X] NO [] Mitigating reasons for not requiring AQIA: Previously studied: [X] Notes: JOURNAL CENTER AQIA JAN. 97 TL 11-27-02

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED 1/1/02 - FINALIZED 5/1/06 TRAFFIC ENGINEER 11-8-02 DATE AQIA - SUBMITTED 1/1/02 - FINALIZED 1/1/97 PER Jim BARR ENVIRONMENTAL HEALTH 11-8-02 DATE

ORIGINAL

Current DRC Project No. _____

Date Submitted: November 8, 2002
 Date Site Plan for Bldg Permit App: _____
 Date Site Plan for Sub. Approved: _____

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D R B.) REQUIRED INFRASTRUCTURE LIST

Date Preliminary Plat Approved: 12/04/02
 Date Preliminary Plat Expires: 12/04/03

JOURNAL CENTER PHASE 2 - UNIT 2

DRB Project No. 1002321
02DRB-01722

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

8-20-03
2-5-07

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
----------------	-------------------	------	---------------------	----------	------	----	-------------------	----------------	--------------------

**UNIT II
 PUBLIC ROADWAY IMPROVEMENTS**

36' F-F	NON-RESIDENTIAL PAVEMENT W/PCC C&G 8' SIDEWALK BOTH SIDES <u>S.W. REMOVED</u>	MASTHEAD	BARTLETT ST	WASHINGTON
36' F-F	NON-RESIDENTIAL PAVEMENT W/PCC C&G 8' SIDEWALK BOTH SIDES <u>S.W. REMOVED</u>	BARTLETT ST.	RUTLEDGE RD.	MASTHEAD ST.
36' F-F	NON-RESIDENTIAL PAVEMENT W/PCC C&G 8' SIDEWALK BOTH SIDES <u>SIDEWALK ALONG THE NORTH SIDE OF TRACT 9A WAS WAIVED WITH UNDER DRB # 1000833</u>	RUTLEDGE RD.	SNAPROLL	WASHINGTON
36' F-F	NON-RESIDENTIAL PAVEMENT W/PCC C&G	SNAPROLL	HAWKINS ST.	RUTLEDGE RD.

PROPORTIONATE SHARE OF OFFSITE TRANSPORTATION RELATED INTERSECTION IMPROVEMENTS AS LISTED IN APPROVED TRAFFIC IMPACT ANALYSIS IN THE AMOUNT OF \$224,548.86

STREET LIGHTS PER DPM 1

* SIDEWALKS TO BE DEFERRED

/	/	/
/	/	/
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/	/	/
/	/	/
/	/	/
/	/	/

PUBLIC SANITARY SEWER IMPROVEMENTS

8" DIA	PIGGYBACK SEWER LINE INCL. MH'S AND SERVICE LINES	MASTHEAD	BARTLETT ST.	WASHINGTON
18" DIA*	MASTERPLAN SEWER LINE BENEATH PROPOSED 8" SAS	MASTHEAD	BARTLETT ST.	WASHINGTON
8" DIA	PIGGYBACK SEWER LINE INCL. MH'S AND SERVICE LINES	BARTLETT ST.	RUTLEDGE RD.	MASTHEAD ST.
18" DIA*	MASTERPLAN SEWER LINE BENEATH PROPOSED 8" SAS	BARTLETT ST.	RUTLEDGE RD.	MASTHEAD ST.
8" DIA	PIGGYBACK SEWER LINE INCL. MH'S AND SERVICE LINES	RUTLEDGE RD.	SNAPROLL	WASHINGTON ST.
18" DIA*	MASTERPLAN SEWER LINE BENEATH PROPOSED 8" SAS	RUTLEDGE RD.	SNAPROLL	BARTLETT
18" DIA*	MASTERPLAN SEWER LINE	SAS EASEMENT	INTERSECTION OF SNAPROLL & RUTLEDGE	EXISTING STUB ON EAST SIDE OF NORTH DIVERSION CHANNEL

REDIRECT SEWER FLOWS FROM 8" LINE TO 18" MASTERPLAN LINE

/	/	/
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* IN ACCORDANCE W/ JOURNAL CENTER SANITARY SEWER STUDY DATED 9/23/98.

ORIGINAL

PUBLIC WATERLINE IMPROVEMENTS

10" DIA	WATERLINE INCL. FIRE HYDRANTS AND WATER VALVES	MASTHEAD	BARTLETT ST.	WASHINGTON
10" DIA	WATERLINE INCL. FIRE HYDRANTS AND WATER VALVES	BARTLETT ST.	RUTLEDGE RD.	MASTHEAD ST.
12" DIA	WATERLINE INCL. FIRE HYDRANTS AND WATER VALVES	RUTLEDGE RD.	SNAPROLL	WASHINGTON
12" DIA	WATERLINE INCL. FIRE HYDRANTS AND WATER VALVES	SNAPROLL	EXISTING STUB	RUTLEDGE RD.

/	/	/
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PUBLIC DRAINAGE IMPROVEMENTS

48" - 54" DIA	STORM DRAIN INCL. MH'S AND DROP INLETS	PUBLIC SD EASEMENT	RUTLEDGE RD.	AMAFCA DESILTING BASIN
42" DIA	STORM DRAIN INCL. MH'S AND DROP INLETS	PUBLIC SD EASEMENT BETWEEN LOTS 7 & 8	BARTLETT	AMAFCA RW
18" DIA	STORM DRAIN INCL. DROP INLETS	MASTHEAD	JUST WEST OF UNIT 1	TIE TO EXISTING INLETS
24" DIA	STORM DRAIN INCL. MH'S AND DROP INLETS	RUTLEDGE RD.	EXISTING 24" SD, JUST WEST OF WASHINGTON	LOW POINT IN RUTLEDGE

/	/	/
/	/	/
/	/	/
/	/	/

Grading & drug cert. prior to release of financial guarantee & SIA

AGENT/OWNER

BRUCE STIDWORTHY
PREPARED BY: PRINT NAME
12/4/2002
DATE

BOHANNAN HUSTON INC.
FIRM:

Ryan Stidworthy
SIGNATURE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

12-04-04
DATE

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Sheran Watson
DRB CHAIR - Planning
12/04/02
DATE

[Signature]
TRANSPORTATION DEVELOPMENT
12-04-02
DATE

Daniel Musy
UTILITY DEVELOPMENT
12/04/02
DATE

Christina Sandoval
PARKS & GENERAL SERVICES - Recreation
12/4/02
DATE

N/A
AMAFCA
DATE

Brady L. Bigham
CITY ENGINEER
12/4/02
DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
1	8/20/03	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
2	2-5-07	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

Figure 12
INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D R B) REQUIRED INFRASTRUCTURE LIST

JOURNAL CENTER PHASE 2 - UNIT 2

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
UNIT II									
PUBLIC ROADWAY IMPROVEMENTS									
		36' F-F	NON-RESIDENTIAL PAVEMENT W/PCC C&G *6' SIDEWALK BOTH SIDES	MASTHEAD	BARTLETT ST	WASHINGTON	/	/	/
		36' F-F	NON-RESIDENTIAL PAVEMENT W/PCC C&G *6' SIDEWALK BOTH SIDES	BARTLETT ST	RUTLEDGE RD	MASTHEAD ST	/	/	/
		36' F-F	NON-RESIDENTIAL PAVEMENT W/PCC C&G *6' SIDEWALK BOTH SIDES - SIDEWALK ALONG THE NORTH SIDE OF TRACT 9A WAS WAIVED WITH UNDER DRB # 1000633	RUTLEDGE RD	SNAPROLL	WASHINGTON	/	/	/
		36' F-F	NON-RESIDENTIAL PAVEMENT W/PCC C&G	SNAPROLL	HAWKINS ST.	RUTLEDGE RD	/	/	/
			PROPORTIONATE SHARE OF OFFSITE TRANSPORTATION RELATED INTERSECTION IMPROVEMENTS AS LISTED IN APPROVED TRAFFIC IMPACT ANALYSIS				/	/	/
			STREET LIGHTS PER DPM				/	/	/
			* SIDEWALKS TO BE DEFERRED				/	/	/
PUBLIC SANITARY SEWER IMPROVEMENTS									
		8" DIA	PIGGYBACK SEWER LINE INCL. MH'S AND SERVICE LINES	MASTHEAD	BARTLETT ST	WASHINGTON	/	/	/
		18" DIA*	MASTERPLAN SEWER LINE BENEATH PROPOSED 8" SAS	MASTHEAD	BARTLETT ST	WASHINGTON	/	/	/
		8" DIA	PIGGYBACK SEWER LINE INCL. MH'S AND SERVICE LINES	BARTLETT ST.	RUTLEDGE RD	MASTHEAD ST	/	/	/
		18" DIA*	MASTERPLAN SEWER LINE BENEATH PROPOSED 8" SAS	BARTLETT ST	RUTLEDGE RD	MASTHEAD ST	/	/	/
		8" DIA	PIGGYBACK SEWER LINE INCL. MH'S AND SERVICE LINES	RUTLEDGE RD	SNAPROLL	WASHINGTON ST.	/	/	/
		18" DIA*	MASTERPLAN SEWER LINE BENEATH PROPOSED 8" SAS	RUTLEDGE RD	SNAPROLL	BARTLETT	/	/	/
		18" DIA*	MASTERPLAN SEWER LINE	SAS EASEMENT	INTERSECTION OF SNAPROLL & RUTLEDGE	EXISTING STUB ON EAST SIDE OF NORTH DIVERSION CHANNEL	/	/	/
			REDIRECT SEWER FLOWS FROM 8" LINE TO 18" MASTERPLAN LINE				/	/	/

* IN ACCORDANCE W/ JOURNAL CENTER SANITARY SEWER STUDY DATED 9/23/98

PUBLIC WATERLINE IMPROVEMENTS

10" DIA	WATERLINE INCL FIRE HYDRANTS AND WATER VALVES	MASTHEAD	BARTLETT ST	WASHINGTON
10" DIA	WATERLINE INCL FIRE HYDRANTS AND WATER VALVES	BARTLETT ST	RUTLEDGE RD	MASTHEAD ST
12" DIA	WATERLINE INCL FIRE HYDRANTS AND WATER VALVES	RUTLEDGE RD	SNAPROLL	WASHINGTON
12" DIA	WATERLINE INCL FIRE HYDRANTS AND WATER VALVES	SNAPROLL	EXISTING STUB	RUTLEDGE RD

PUBLIC DRAINAGE IMPROVEMENTS

48" - 54" DIA	STORM DRAIN INCL MH'S AND DROP INLETS	PUBLIC SD EASEMENT	RUTLEDGE RD	AMAFCA DESILTING BASIN
42" DIA	STORM DRAIN INCL MH'S AND DROP INLETS	PUBLIC SD EASEMENT BETWEEN LOTS 7 & 8	BARTLETT	AMAFCA RW
18" DIA	STORM DRAIN INCL DROP INLETS	MASTHEAD	JUST WEST OF UNIT 1	TIE TO EXISTING INLETS
24" DIA	STORM DRAIN INCL MH'S AND DROP INLETS	RUTLEDGE RD	EXISTING 24" SD, JUST WEST OF WASHINGTON	LOW POINT IN RUTLEDGE

Grading & drng cert. prior to release of financial guarantee & SIA

AGENT/OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

BRUCE STIDWORTHY
PREPARED BY PRINT NAME

12/4/2002
DATE

Sheran M. Nelson
DRB CHAIR Planning

12/04/02
DATE

Christina Sandoval
PARKS & GENERAL SERVICES Recreation

12/4/02
DATE

BOHANNAN HUSTON INC.
FIRM

[Signature]
TRANSPORTATION DEVELOPMENT

12-04-02
DATE

N/A
AMAFCA

DATE

Bruce Stidworthy
SIGNATURE

Daniel D. Musy
UTILITY DEVELOPMENT

12/04/02
DATE

Brad D. Bigham
CITY ENGINEER

12/4/02
DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

12-04-04

DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

ZONING Supplemental form **Z**

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: TIBURON INVESTMENT LLC PHONE: 823-9360

ADDRESS: 13000 ACADEMY NE FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87111 E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): BOHANNAN HUSTON, INC. PHONE: 823-1000

ADDRESS: 7500 JEFFERSON NE FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: PRELIMINARY PLAT, GRADING PLAN, SIDEWALK DEFERRAL AND WAIVER AND VACATION APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 8A-1 Block: _____ Unit: _____

Subdiv. / Addn. JOURNAL CENTER PHASE 2, UNIT 1

Current Zoning: IP Proposed zoning: _____

Zone Atlas page(s): D-17 No. of existing lots: 1 No. of proposed lots: 23

Total area of site (acres): 52.9183 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101706317319330120 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: WEST OF WASHINGTON STREET N.E.

Between: HAWKINS ST. N.E. and DRAINAGE R-O-W

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1002321/02-01663

Check-off if project was previously reviewed by Sketch Plan/Plan or Pre-application Review Team . Date of review: 11/6/02

SIGNATURE Bruce Stidworthy DATE 11/7/02

(Print) BRUCE STIDWORTHY Applicant Agent

FOR OFFICIAL USE ONLY

.pdf Form revised Sept. 2001

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING	<u>02DRB - 01722</u>	<u>PPA</u>	<u>5(2)</u>	<u>\$ 1,195.00</u>
<input type="checkbox"/> All checklists are complete	<u>02DRB - 01725</u>	<u>SW</u>	<u>✓</u>	<u>\$ 0</u>
<input type="checkbox"/> All fees have been collected	<u>Notif. & Ad. Fee</u>	<u>Fee</u>		<u>\$ 75.00</u>
<input type="checkbox"/> All case #s are assigned	<u>02DRB - 01726</u>	<u>TDSWC</u>	<u>✓</u>	<u>\$ 0</u>
<input type="checkbox"/> AGIS copy has been sent	<u>02DRB - 01723</u>	<u>V.Prow</u>	<u>✓</u>	<u>\$ 300.00</u>
<input type="checkbox"/> Case history #s are listed	<u>03DRB - 01724</u>	<u>V.P.E.</u>	<u>✓</u>	<u>Total 450.00</u>
<input type="checkbox"/> Site is within 1000ft of a landfill	Hearing date <u>Dec. 04, 02</u>			<u>\$ 1615.00</u>

Bruce Stidworthy 11/08/02
Planner signature / date

Project # 1002321

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Proposed Infrastructure List.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement *119520*
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Plat or plan reduced to 8.5" x 11"
 - Official D.R.B. Notice of the original approval
 - Approved Infrastructure List. If not applicable, please initial. _____
 - Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

BRUCE STIDWORTHY

Bruce Stidworthy Applicant name (print)
11/7/02 Applicant signature / date



Form revised September 2001

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
B2DRD - 01722

Robert 11/08/02
 Planner signature / date
Project # 1002321

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE FROM SUBDIVISION DESIGN STANDARDS

- Application for subdivision (Plat) on FORM S, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies)
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

BRUCE STIDWORTHY

Bruce Stidworthy Applicant name (print)
11/7/02 Applicant signature / date



.pdf Form revised Sept. 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
02DRB-01723
02DRB-01724
02DRB-01725
02DRB-01726

[Signature] 11/08/02
 Planner signature / date
Project # 1002321

November 8, 2002

Roger Green, Chair man
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Preliminary Plat, Grading Plan, Sidewalk Deferral and Waiver and Vacation Request Approval
Journal Center Unit 2, Phase 2

Dear Janet:

Enclosed for Development Review Board (DRB) review and approval are copies of the following information:

- Applications for Development Review
- Twenty-four (24) copies each of the Preliminary Plat and Grading Plan
- Twenty-four (24) copies of the Infrastructure List
- Six (6) copies of the Reason/Location of Request for Sidewalk Waiver and Deferral (Exhibit A)
- Twenty four (24) copies of the Reason/Location of request for the vacation of the public easements (Exhibit B)
- Letter from the Office of Neighborhood Coordination
- Zone Atlas Map showing the location of the property
- Forms DRWS and TIS, and
- Fee in the amount of \$1,615.00

Please place this item on the DRB Agenda to be heard on December 4, 2002. If you have any questions or require further information, please call me at 823-1000.

Sincerely,

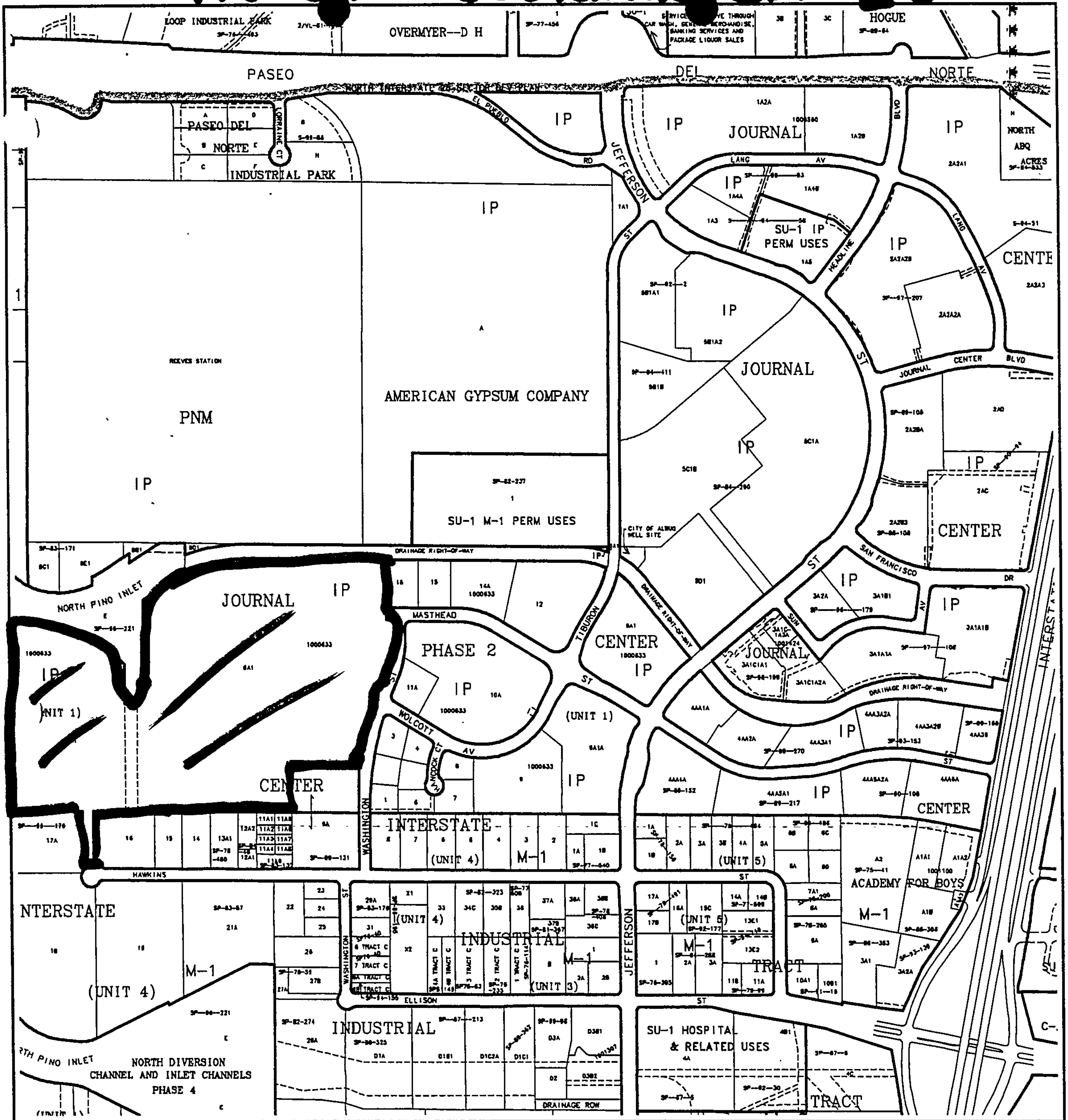


Bruce Stidworthy, P.E.
Project Manager
Community Development and Planning Group

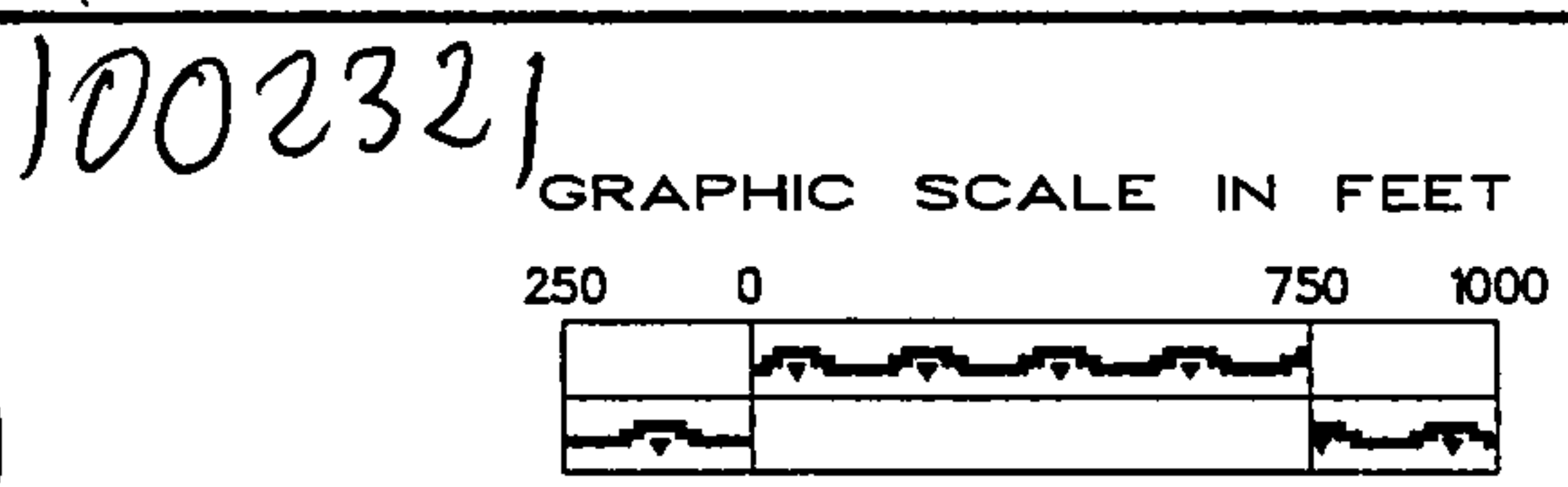
mls
Enclosures

A:msnyder/020075/data/003/pre_plat

TR 8A-1 JOURNAL CENTER



CITY OF
Albuquerque
Geographic Information System
PLANNING DEPARTMENT
© Copyright 2002



Zone Atlas Page

D-17-Z

Map Amended through April 03, 2002

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME JOURNAL CENTER PHASE 2, UNIT 2

AGIS MAP # D-17

LEGAL DESCRIPTION TRACT 8A-1, JOURNAL CENTER

XXX **DRAINAGE REPORT**

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on _____ [date].

Paul Stedman
Applicant / Agent

11/7/02
Date

Brad Byrd
Hydrology Division Representative

11/7/02
Date

XXXXX **WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on See attached [date].

Paul Stedman
Applicant / Agent

11/7/02
Date

Bill Biele
Utilities Division Representative

11/7/02
Date

DRB# 1002321



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 18, 2000

Brian
James
Kerry

Bohannon-Huston Inc.
7500 Jefferson NE
Albuquerque, New Mexico 87109

Re: Journal Center, Masthead West of Jefferson

D-17

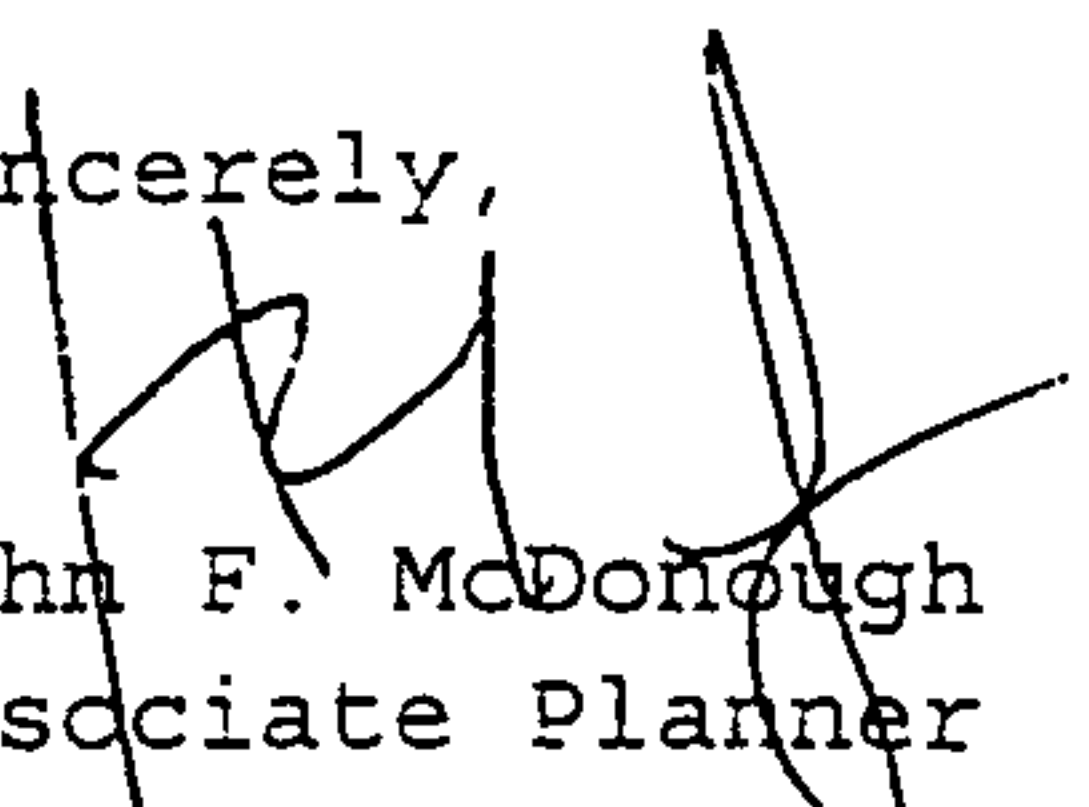
Sirs:

Requirements for service have been established in prior correspondence. Having been the agent for Journal Center for over 20-years, I'm sure your files are at least as extensive as ours. There would be little point in rehashing details here. Suffice to say that development / service and / or subdivision will be contingent upon on and off-site infrastructure at the developer / property owners expense. Improvements must include looped water lines, an off-site sanitary outfall, and removal of the Journal Center's private lift station at Masthead and Jefferson.

The concept of phased development proposed last year remains conceptually acceptable, but to my knowledge the cooperative agreement required for any temporary outfall has not been pursued.

For additional information see our letter of June 17, 1999, March 17, 1998, August 2, 1995, etc. Please do not hesitate to call if you have questions or need additional information: 924-3987.

Sincerely,


John F. McDonough
Associate Planner
Development Services
Public Works Department

c: Josie Jaramillo
E/ availability D-17
E/ readers #00717
E/ Journal Center D-17
E/ DRB 99-37

Attachment: System / Location Map(s)



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: November 5, 2002

TO CONTACT NAME: Mary Snyder
COMPANY/AGENCY: Bohannan Houston, Inc.
ADDRESS/ZIP: 7500 Jefferson NE 87109
PHONE/FAX #: 00-798-7988

Thank you for your inquiry of 11-5-02 (Date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 8A-1, Journal Center

zone map page(s) 0-17

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Alameda North Valley

Neighborhood Association

Contacts: Debby Potter
1019 Guadalupe Ct. NW Alameda, NM 87114 -
897-8621 (W)

Steve Hale

9339 Guadalupe Dr. NW Alameda, NM 87114 -1719
890-5335 (W) 897-9568 (W)

Neighborhood Association

Contacts _____

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalana L. Carmona

OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

November 7, 2002

Mr. Steve Hale
9339 Guadalupe Trail NW
Alameda, New Mexico 87114

Re: Preliminary Plat, Grading Plan and Vacation Request Approval
Journal Center Phase 2, Unit 2

Dear Mr. Hale:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Neighborhood Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Tiburon Investment LLC, is seeking Preliminary Plat, Grading Plan and Vacation request approval from the City of Albuquerque's Development Review Board (DRB) in connection with the above referenced project.

Enclosed for your review and information is a copy of the application package that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Bruce Stidworthy, P.E.
Project Manager
Community Development and Planning Group

mls
Enclosures

a:/msnyde/r020075/data/A003/inc.lt

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

November 7, 2002

Ms. Debby Potter
1019 Guadalupe Ct. N.W.
Alameda, New Mexico 87114

Re: Preliminary Plat, Grading Plan and Vacation of Public Easements
Journal Center Phase 2, Unit 2

Dear Ms.Potter:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Neighborhood Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Tiburon Investment LLC, is seeking approval of a Preliminary Plat, Grading Plan and Vacation request for the above referenced project from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the application package that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Bruce Stidworthy, P.E.
Project Manager
Community Development and Planning Group

mls
Enclosures

a:/msnyde/r020075/data\003/nc.lt

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

5099 9156 5000 046T 1002

Postage	\$.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88

7119
 5099 9156 5000 046T 1002
 Postmark Here

Sent To Steve Hale
 Street, Apt. No.;
 or PO Box No. 9339 Hundalope Ln
 City, State, ZIP+4 Alameda NM 87114

PS Form 3800, January 2001 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

4965 9156 5000 046T 1002

Postage	\$.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88

7119
 5099 9156 5000 046T 1002
 Postmark Here

Sent To Debby Patten
 Street, Apt. No.;
 or PO Box No. 51019 Hundalope Ln
 City, State, ZIP+4 Alameda NM 87114

PS Form 3800, January 2001 See Reverse for Instructions

Vertical stamp or mark on the right edge of the page.

ONE STOP SHOP . . . FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol -2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME TIBURON INVEST. LLC
AGENT BOHANNAN HASTON, INC.
ADDRESS 7500 JEFFERSON NE
PROJECT NO. 1002321
APPLICATION NO. 01722-23-24-25 & 26

\$ 1540⁰⁰ 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ 75⁰⁰ 441018 / 4971000 (Notification)

\$ 1615⁰⁰ **Total amount due**

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staple are best for attaching signs to a post or backing; the sign tears out less easily.

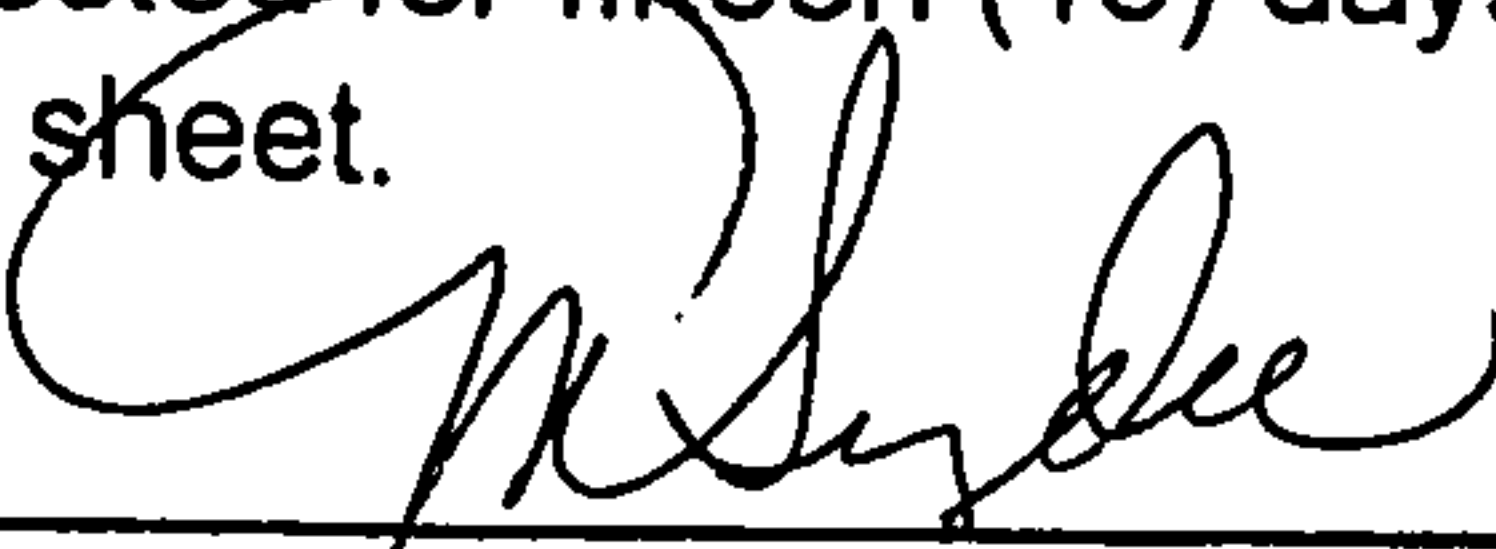
4. TIME

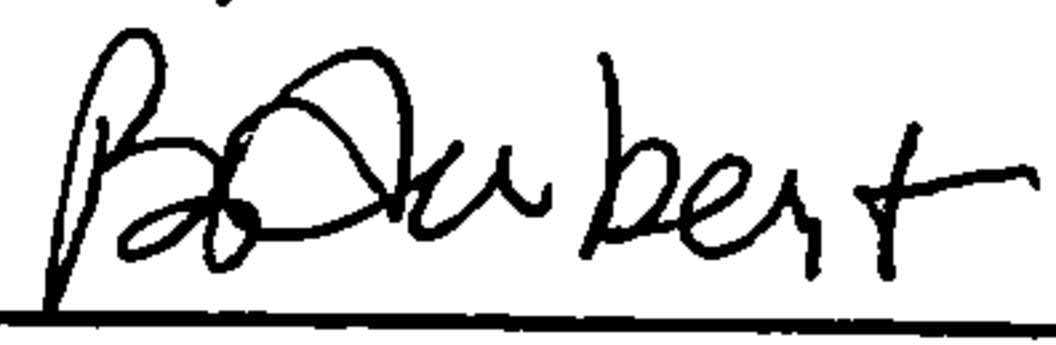
Signs must be posted from NOVEMBER 19TH To DEC. 4TH 2002.

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 11/8/02
(Applicant or Agent) (Date)

I issued 3 signs for this application, 11/08/02, 
(Date) (Staff Member)

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000

facsimile: 505.798.7988

toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: SHARAN MATSON
PLANNING
PLAZA DEL SOL
LOBBY - WEST

Requested By: BRUCE STIDWORTHY/MLS

Date: November 20, 2002

Time Due: This A.M. This P.M.
 Rush ____ By Tomorrow

Job Name: JOURNAL CENTER PHASE 2, UNIT II

Job No.:

DELIVERY VIA

- Courier Federal Express
 Mail UPS
 Other _____

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	½ SIZE REVISED GRADING PLAN

COMMENTS / INSTRUCTIONS

DRB-1002321/02DRB-01722 SCHEDULED FOR HEARING ON DECEMBER 4, 2002

REC'D BY: _____ DATE: _____ TIME: _____ ENGINEERING °
SPATIAL DA
TA °

ADVANCED TECHNOLOGIES °

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: RICHARD DOURTE
TRANS. DEVELOPMENT
PLANNING
PLAZA DEL SOL
LOBBY - WEST

Requested By: BRUCE STIDWORTHY/MLS

Date: November 20, 2002

Time Due: This A.M. This P.M.
 Rush _____ By Tomorrow

Job Name: JOURNAL CENTER PHASE 2, UNIT II

Job No.:

DELIVERY VIA

- Courier Federal Express
 Mail UPS
 Other _____

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	½ SIZE REVISED GRADING PLAN

COMMENTS / INSTRUCTIONS

DRB-1002321/02DRB-01722 SCHEDULED FOR HEARING ON DECEMBER 4, 2002

REC'D BY: _____ DATE: _____ TIME: _____ ENGINEERING °
SPATIAL DA
TA °

ADVANCED TECHNOLOGIES °

DATE: 11/21/02
 DRAWN BY: J. GARCIA
 CHECKED BY: M. HESTON
 PROJECT NO.: 0320075-003

PRELIMINARY PLAT
**JOURNAL CENTER,
 PHASE 2, UNIT 2**
 (REPLAT OF TRACT 8A-1
 JOURNAL CENTER, PHASE 2, UNIT 1)
 ALBUQUERQUE, NEW MEXICO
 NOVEMBER, 2002

Bohannon & Heston
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES
 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 P.O. BOX NO. 0320075-003

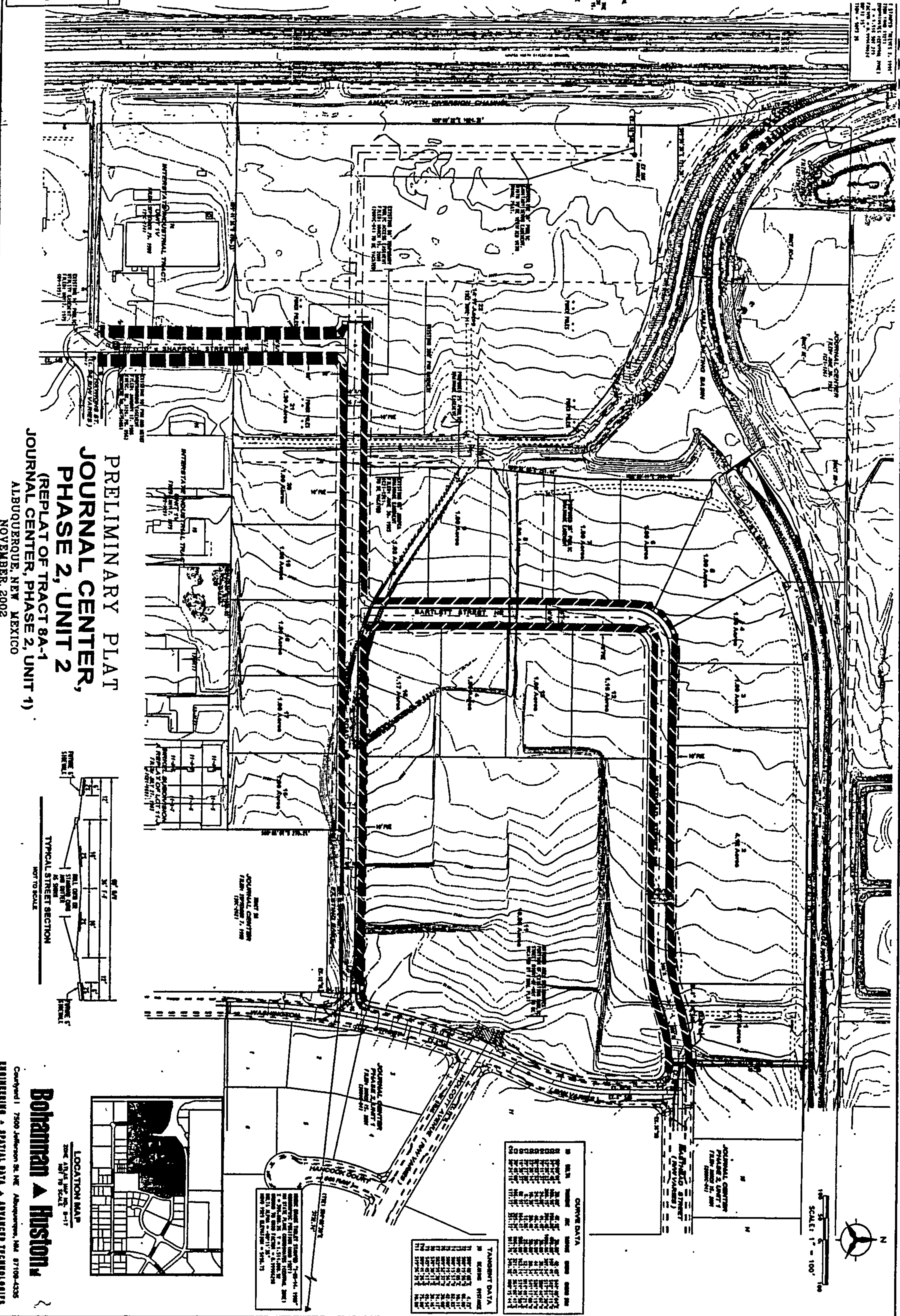
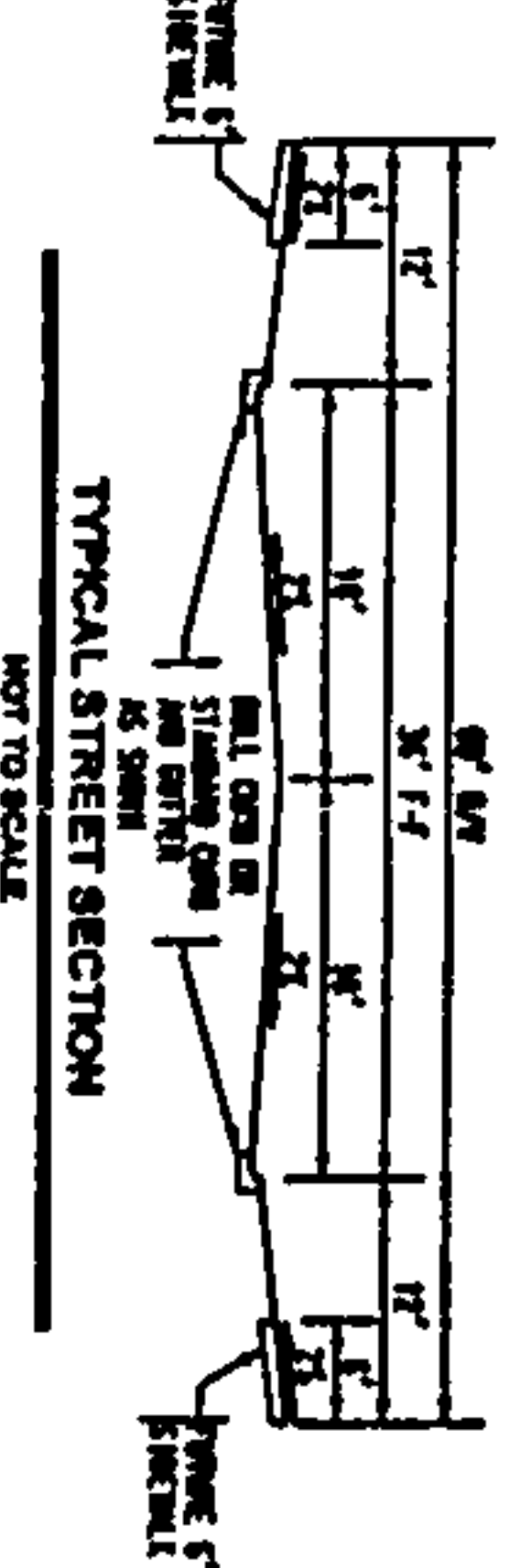
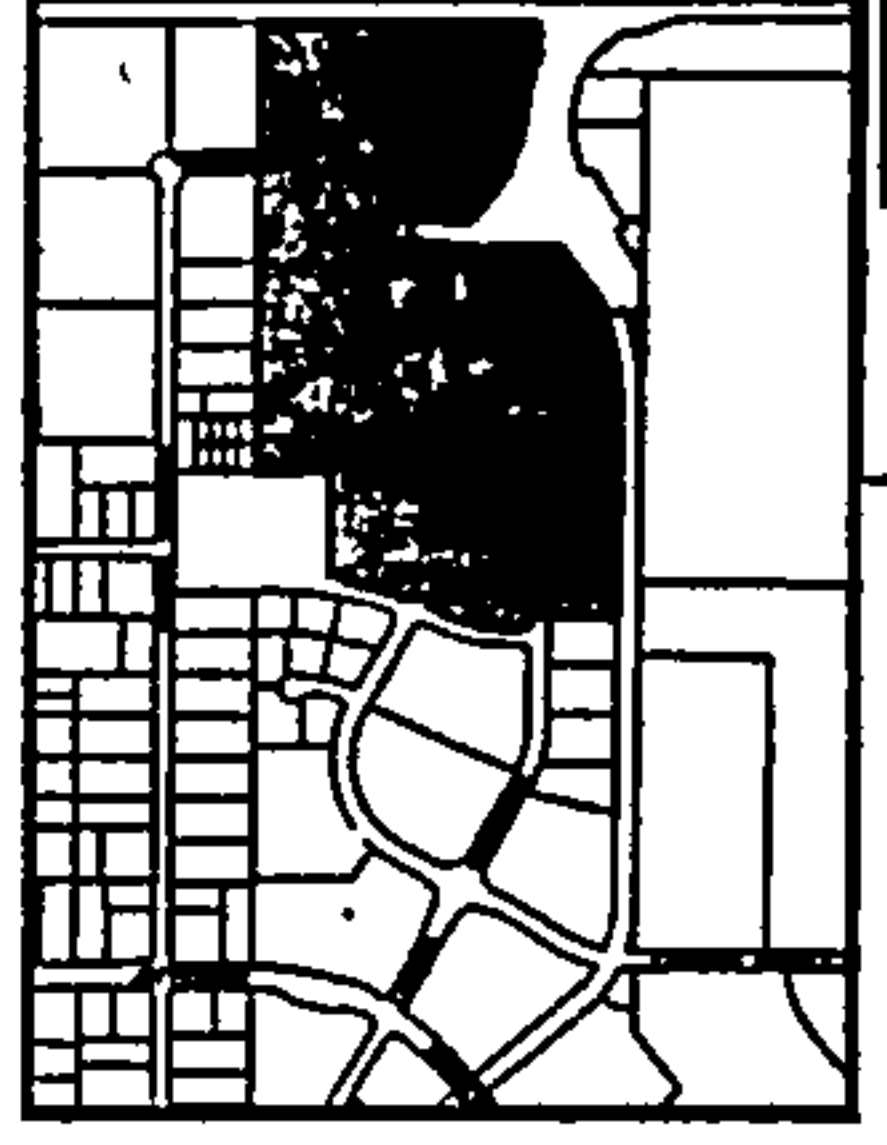


EXHIBIT "A"

REASON FOR REQUEST/LOCATION OF REQUEST
 SIDEWALK DEFERRAL AND WAIVER

JOURNAL CENTER UNIT 2, PHASE 2

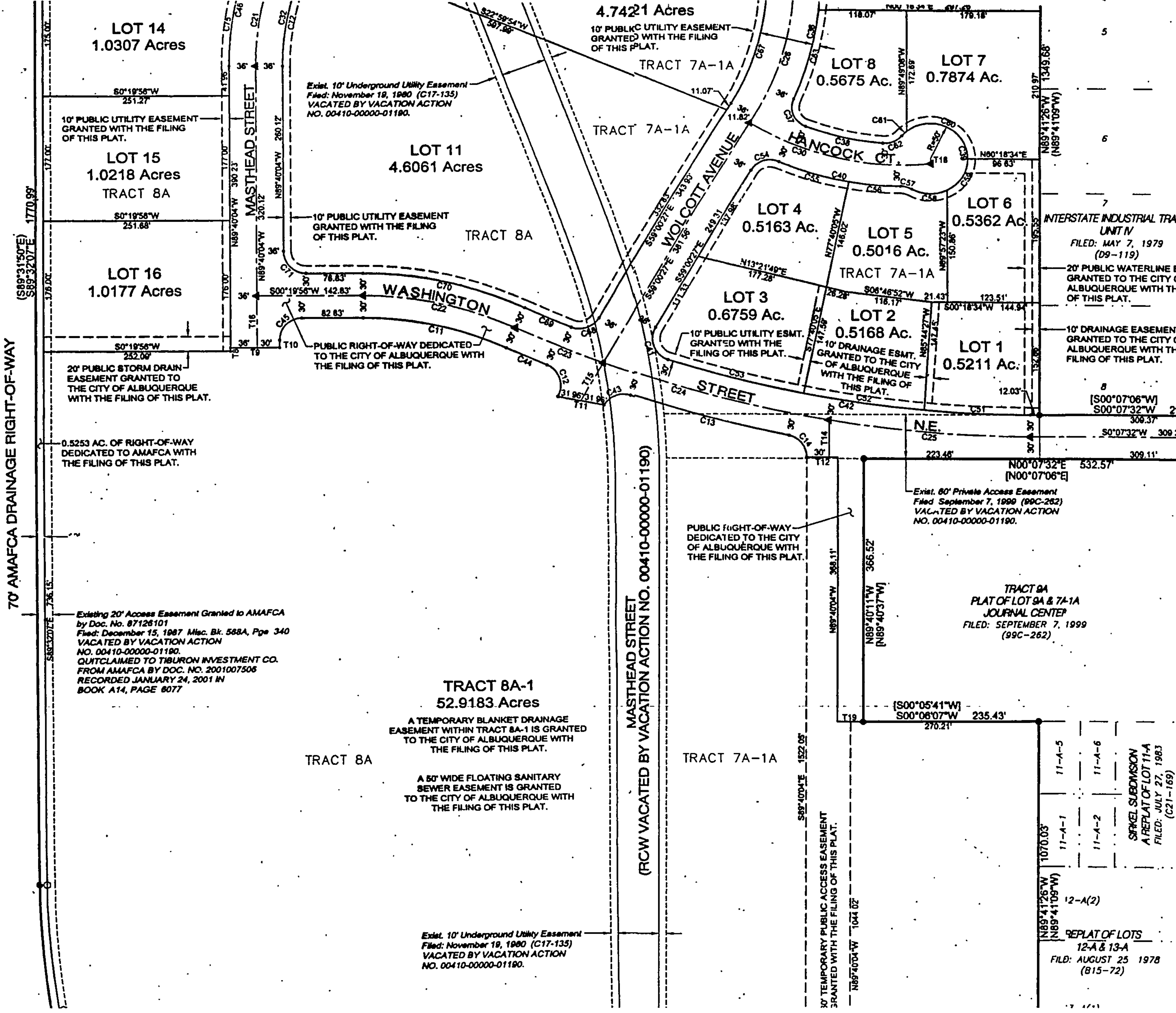
- Deferred sidewalks to be built on a lot-by-lot basis as building construction is completed. The deferral is requested to reduce damage to sidewalks due to construction activities.
- Sidewalks on Snaproll to be waived.

PLAT OF JOURNAL CENTER PHASE 2, UNIT 1

ALBUQUERQUE, NEW MEXICO
 JANUARY, 2001



SCALE: 1" = 100'



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS P
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8544"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 8544"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 6544"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND PINNAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8544"

TRACT 1
 LANDS OF AMERICAN GYPSUM CO.
 FILED: SEPTEMBER 21, 1982 (820-26)

(OWNER: AMERICAN GYPSUM CO.)

LANDS OF PUBLIC SERVICE COMPANY
 (REEVES STATION)

A PORTION OF LOTS 30, 31 AND 32, BLOCK 3 OF
 TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES
 (FILED: MARCH 17, 1937)
 AND A PORTION OF VACATED
 SAN MATEO BOULEVARD AND RANCHITOS AVENUE
 (RES. NO. V-80-26, APPROVED: SEPT. 19, 1980)

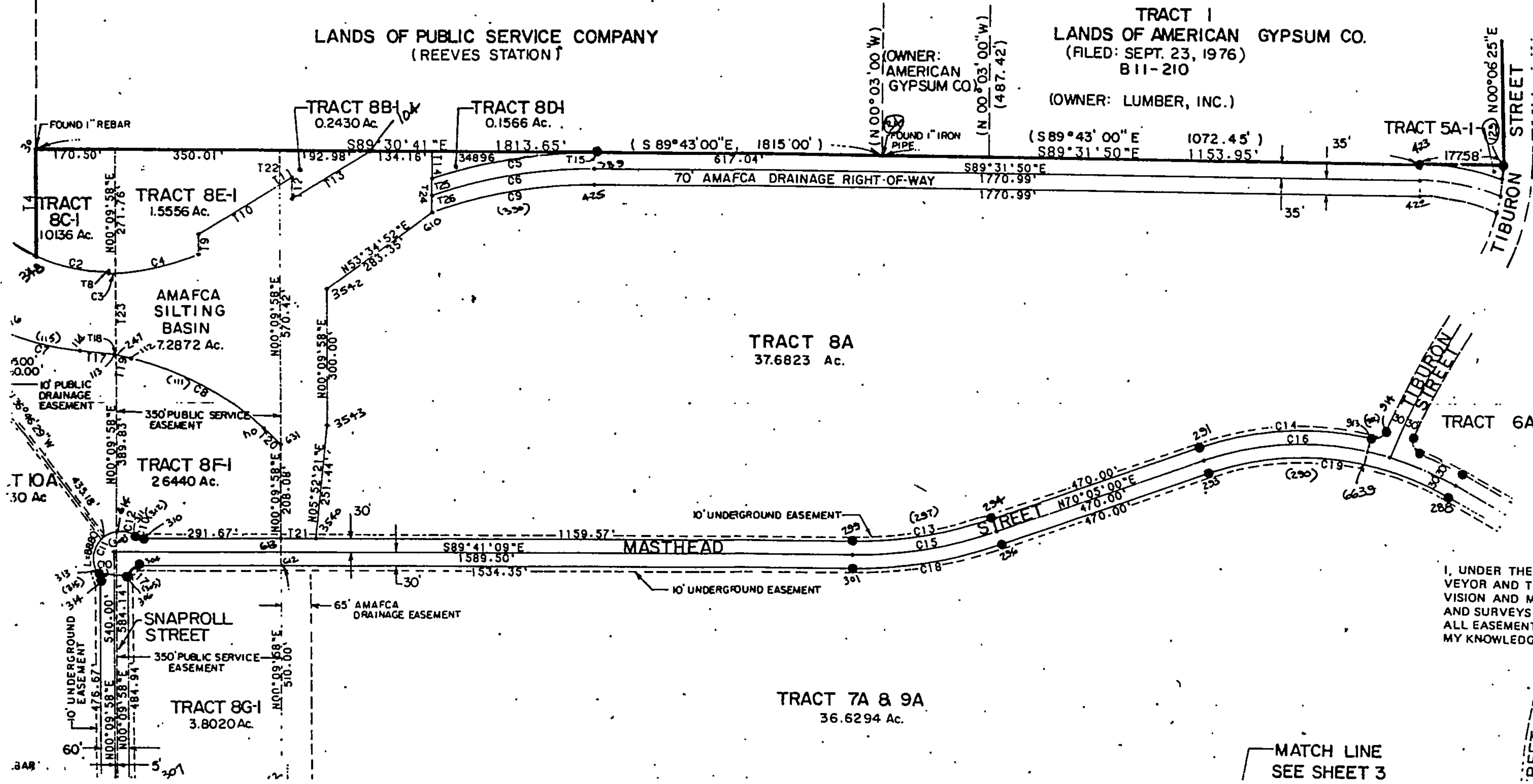
11:31 A
 126 206

G-2

NR.	DISTANCE	BEARING
T1	29.15'	S89°30'41"E
T2	52.84'	S19°59'21"E
T3	20.00'	S70°00'39"W
T4	234.54'	N00°08'49"E
T5	25.00'	N89°41'09"W
T6	5.00'	N89°41'09"W
T7	30.00'	N89°41'09"W
T8	5.00'	S01°59'21"E
T9	43.89'	N00°09'58"E
T10	203.38'	N58°00'39"E
T11	30.69'	N58°00'39"E
T12	47.25'	S00°09'58"W
T13	197.26'	N58°00'39"E
T14	58.79'	S00°00'00"E
T15	.21'	N00°29'19"E
T16	121.38'	S89°59'21"E
T17	74.17'	S83°59'21"E
T18	5.08'	S76°30'00"E
T19	33.08'	S76°30'00"E
T20	49.94'	S45°45'00"E
T21	75.00'	S89°41'09"E
T22	75.15'	N00°09'58"E
T23	178.99'	N00°09'58"E
T24	132.94'	S00°00'00"E
T25	37.00'	S00°00'00"E
T26	37.15'	S00°00'00"E

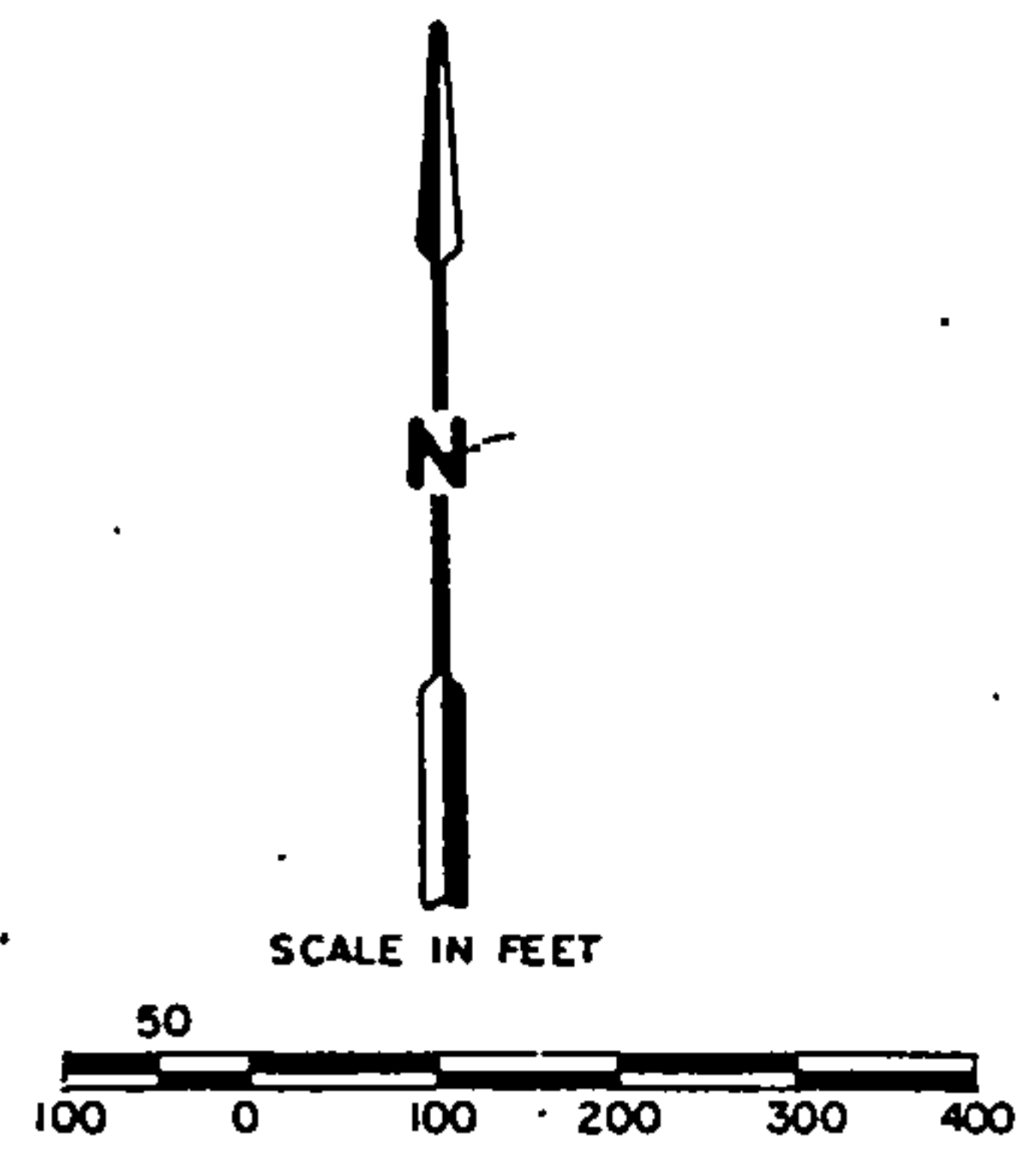
NR.	RADIUS	ARC	CHORD	DELTA	TANGENT
C1	325.00'	246.02'	240.19'	43°22'18"	129.24'
C2	325.00'	162.39'	160.70'	28°37'42"	82.93'
C3	532.96'	13.15'	13.15'	01°24'48"	6.57'
C4	532.96'	183.73'	182.82'	19°45'08"	92.79'
C5	1067.76'	354.98'	353.35'	19°02'54"	179.14'
C6	1032.76'	355.13'	353.39'	19°42'08"	179.34'
C7	505.00'	164.47'	163.74'	18°39'37"	82.97'
C8	606.20'	325.34'	321.45'	30°45'00"	166.69'
C9	997.76'	355.34'	353.46'	20°24'18"	179.57'
C10	25.00'	15.08'	14.85'	34°33'37"	7.78'
C11	60.00'	120.39'	101.19'	114°57'59"	94.12'
C12	60.00'	46.39'	45.25'	44°18'09"	24.43'
C13	866.83'	306.08'	304.49'	20°13'51"	154.65'
C14	665.04'	377.96'	372.89'	32°33'46"	194.24'
C15	896.81'	316.67'	315.03'	20°13'51"	160.00'
C16	635.04'	407.13'	400.20'	36°43'59"	210.84'
C17	25.00'	39.33'	35.40'	90°08'53"	25.06'
C18	926.83'	327.26'	325.56'	20°13'51"	165.35'
C19	605.04'	534.05'	516.88'	50°34'23"	285.83'

REGULATION
 REEVES
 N + 5073.27
 PLANE GRID
 DATUM
 390.55
 528.81
 TO GRID FACTOR:
 .7155
 .91216"



LANDS OF PUBLIC SERVICE COMPANY
 (REEVES STATION)

TRACT I
 LANDS OF AMERICAN GYPSUM CO.
 (FILED: SEPT. 23, 1976)
 B 11-210
 (OWNER: LUMBER, INC.)



SURVEYOR'S CERTIFICATION

I, UNDER THE LAWS OF NEW MEXICO, CERTIFY THAT I AM A LAND SURVEYOR AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND SHOWS ALL EASEMENTS OF RECORD AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

A. Dwain Weaver April 21, 1983
 A. DWAIN WEAVER
 N.M.P.L.S. NO. 6544
 DATE

MATCH LINE
 SEE SHEET 3

TRACT 4A



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002321

Item No. 15

Zone Atlas D-17

DATE ON AGENDA 11-06-02

INFRASTRUCTURE REQUIRED () YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

No.	Comment
<input type="checkbox"/>	The standard street improvements are required on an infrastructure list.
<input type="checkbox"/>	The streets need to meet the requirements of the DPM.
<input type="checkbox"/>	Does this conform to the TIS?

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002321

Item No. 15

Zone Atlas D-17

DATE ON AGENDA 11-06-02

INFRASTRUCTURE REQUIRED () YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

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If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
 PUBLIC WORKS DEPARTMENT
 DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002321

AGENDA ITEM NO: 15

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved updated drainage report is required for Preliminary Plat approval.
 An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: November 6, 2002

discussal

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the Official D.R.B. Notice of approval
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - SIA financial guaranty verification
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

BRUCE STIDWORTHY

Bruce Stidworthy

Applicant name (print)

10/29/02
Applicant signature / date



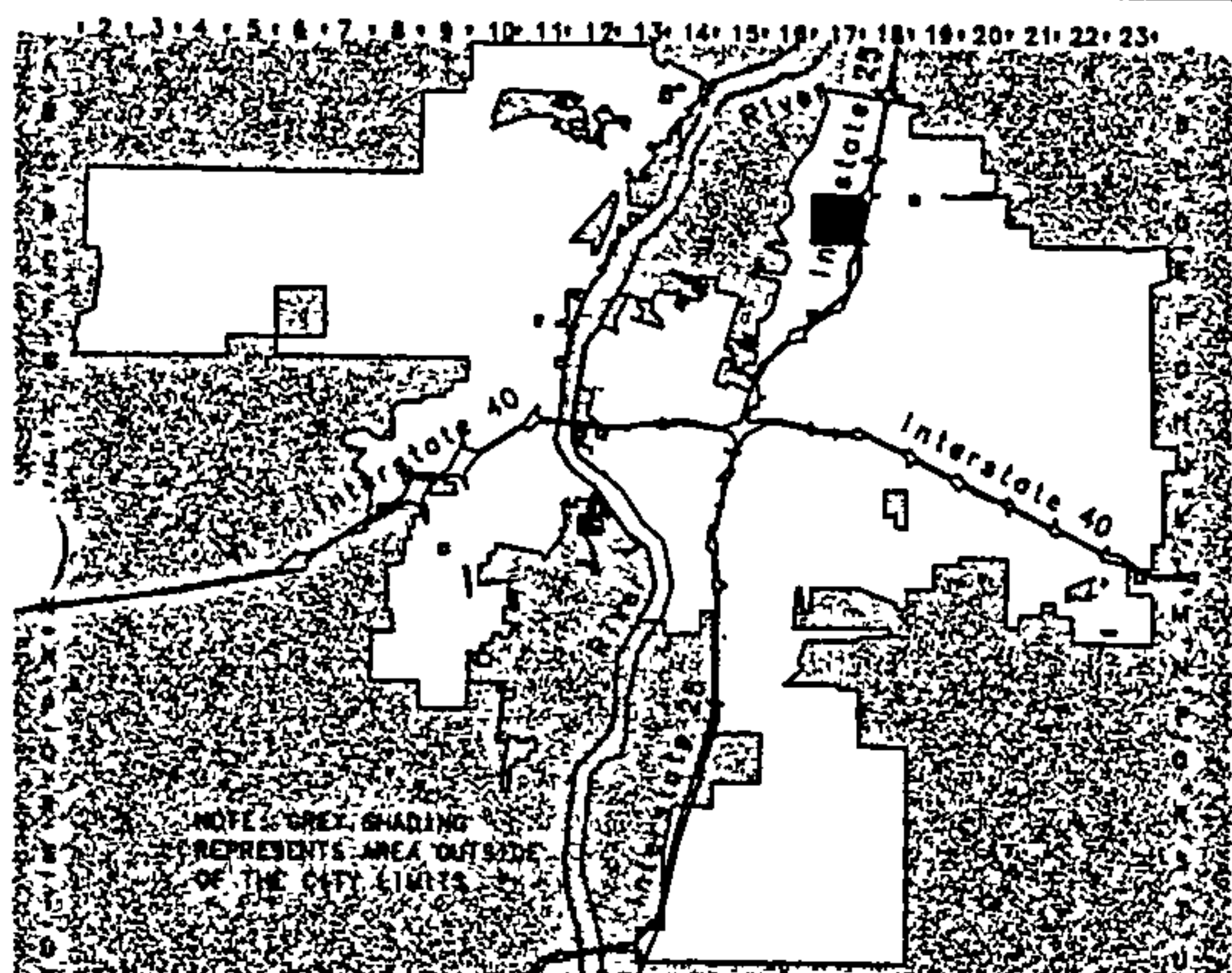
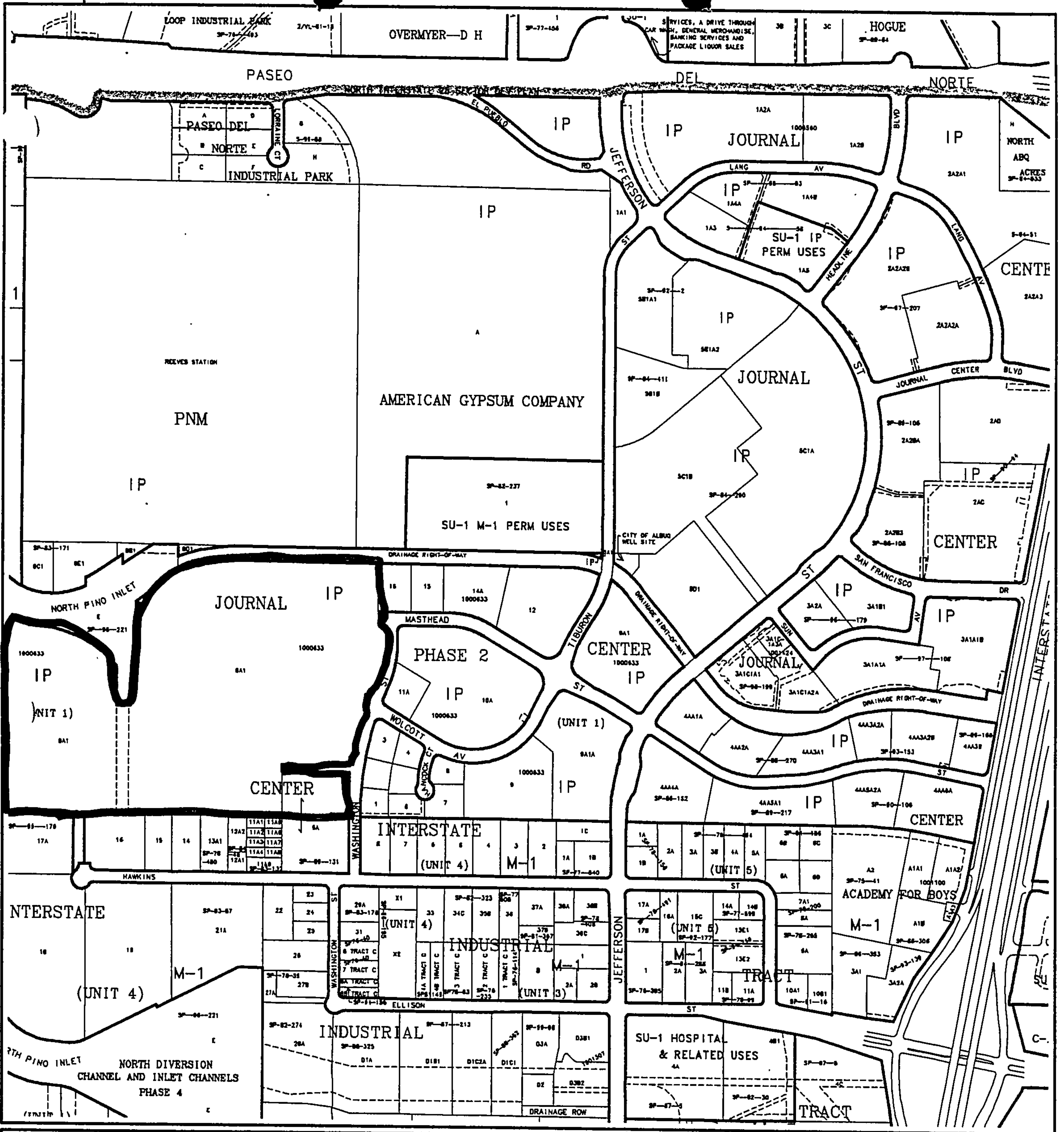
Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
02DRB - 01663

B. Stidworthy 10/29/02
 Planner signature / date

Project # 1002321

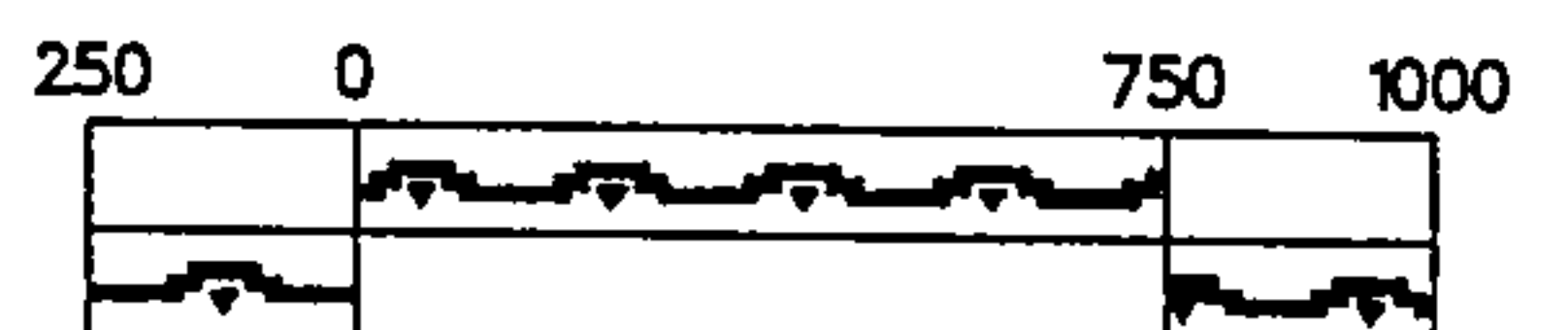


CITY OF Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2002

GRAPHIC SCALE IN FEET



Zone Atlas Page

D-17-Z

Map Amended through April 03, 2002

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

<p style="text-align: center;">Supplemental form</p> <p>SUBDIVISION S</p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN P</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) L</p>	<p style="text-align: center;">Supplemental form</p> <p>ZONING Z</p> <p><input type="checkbox"/> Annexation & Zone Establishment</p> <p><input type="checkbox"/> Sector Plan</p> <p><input type="checkbox"/> Zone Change</p> <p><input type="checkbox"/> Text Amendment</p> <p>APPEAL / PROTEST of... A</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
---	---

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: TIBURON INVESTMENT CO. PHONE: 828-3200

ADDRESS: 6400 WYOMING N.E. FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): BOHANNAN HUSTON, INC. PHONE: 823-1000

ADDRESS: 7500 JEFFERSON N.E. FAX: 798-7988

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: SKETCH PLAT REVIEW AND APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 8A-1 Block: _____ Unit: _____

Subdiv. / Addn. JOURNAL CENTER PHASE 2, UNIT 2

Current Zoning: IP Proposed zoning: _____

Zone Atlas page(s): D-17 No. of existing lots: 1 No. of proposed lots: 22

Total area of site (acres): 51.9183 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? _____

UPC No. 101706315016530120 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: WASHINGTON STREET N.E.

Between: MASTHEAD N.E. and RUTLEDGE ROAD N.E.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

1000633/ 00410-01191

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE *Bruce Stidworthy* DATE 10/29/02

(Print) BRUCE STIDWORTHY _____ Applicant _____ Agent

FOR OFFICIAL USE ONLY

.pdf Form revised Sept. 2001

<p><input checked="" type="checkbox"/> INTERNAL ROUTING</p> <p><input type="checkbox"/> All checklists are complete</p> <p><input type="checkbox"/> All fees have been collected</p> <p><input type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input type="checkbox"/> E.H.D.P. density bonus</p> <p><input type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>02 DRB - 01663</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>Nov. 06 '02</u></p>	<p>Action</p> <p><u>Sketch</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>S.F.</p> <p><u>S(3)</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Fees</p> <p><u>\$ 0</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Total</p> <p><u>\$ 0</u></p>
---	---	---	---	---

B. Stidworthy 10/29/02

Planner signature / date

Project # 1002321

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

October 29, 2002

Roger Green, Chairman
Development Review Board
City of Albuquerque
Albuquerque, New Mexico 87103

Re: Sketch Plat Review and Comment
Journal Center Phase 2

Dear Roger:

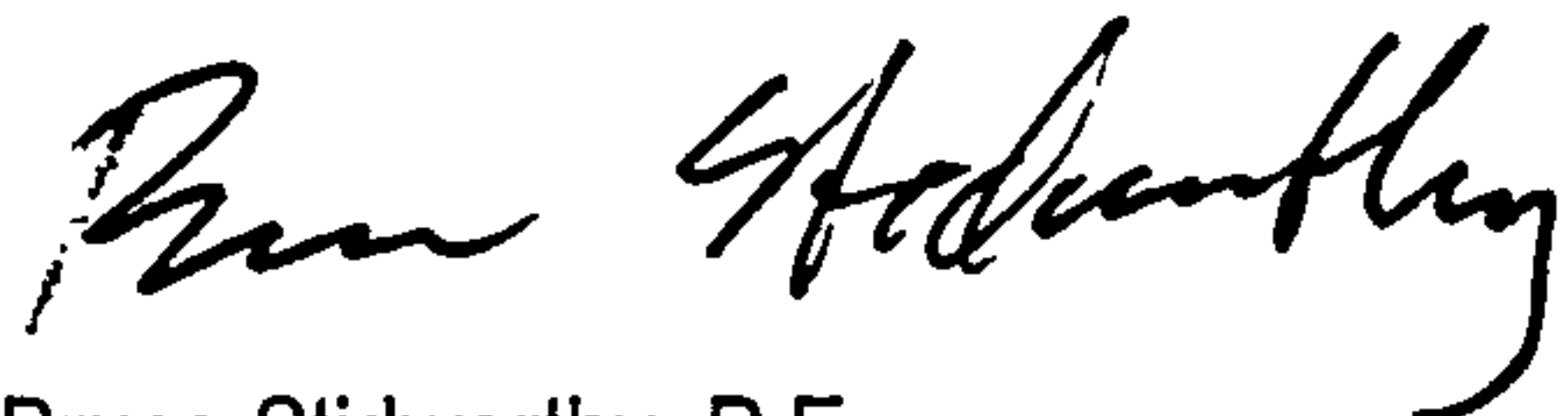
Enclosed for Development Review Board (DRB) review and comment are copies of the following information:

- Development Review Applications
- Six (6) copies each of the Sketch Plat, and
- Zone Atlas Map

This sketch is being presented to the Development Review Board for the purpose of obtaining City input and comment.

Please place this item on the DRB Agenda to be heard on November 6, 2002. If you have any questions or need further information, please call.

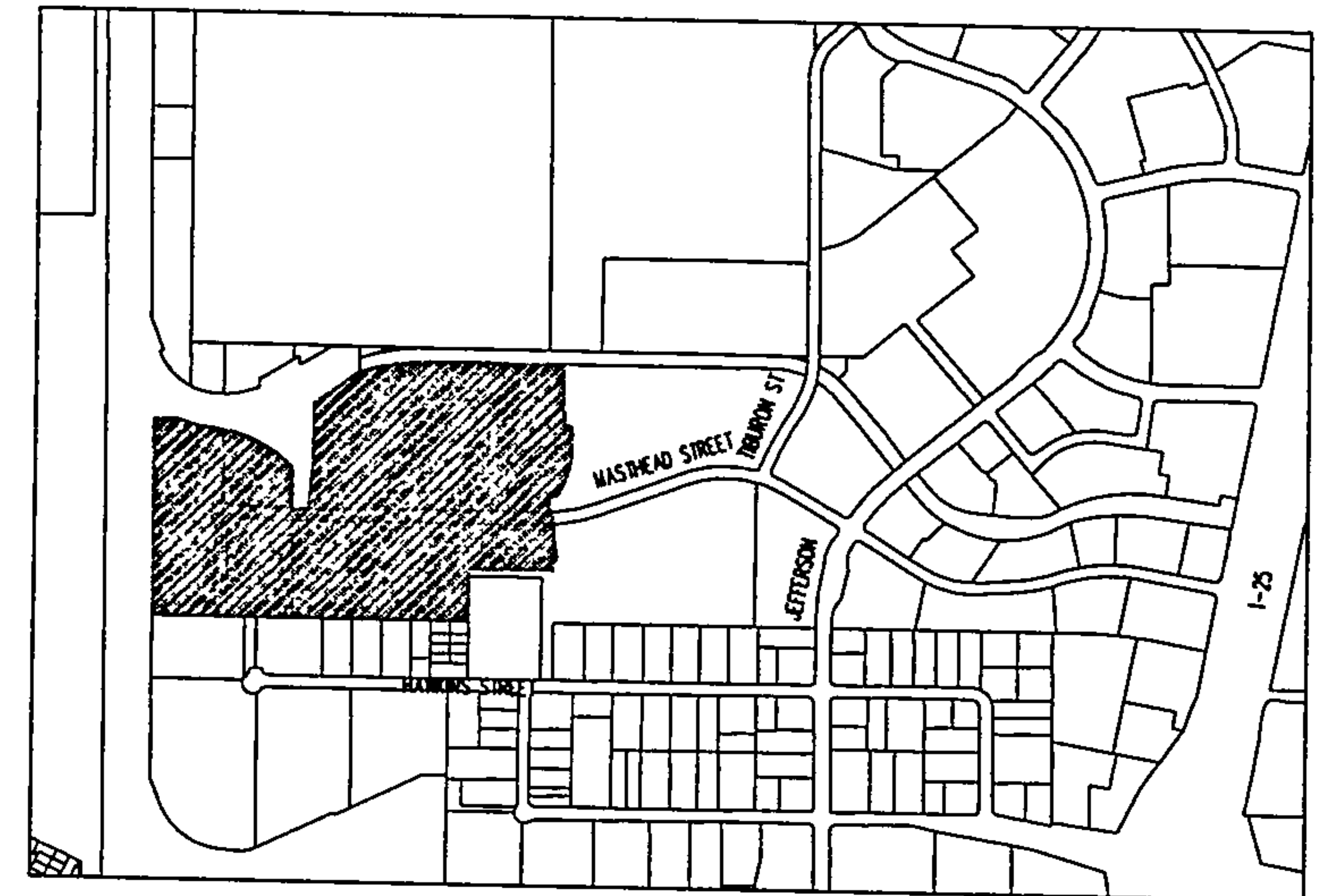
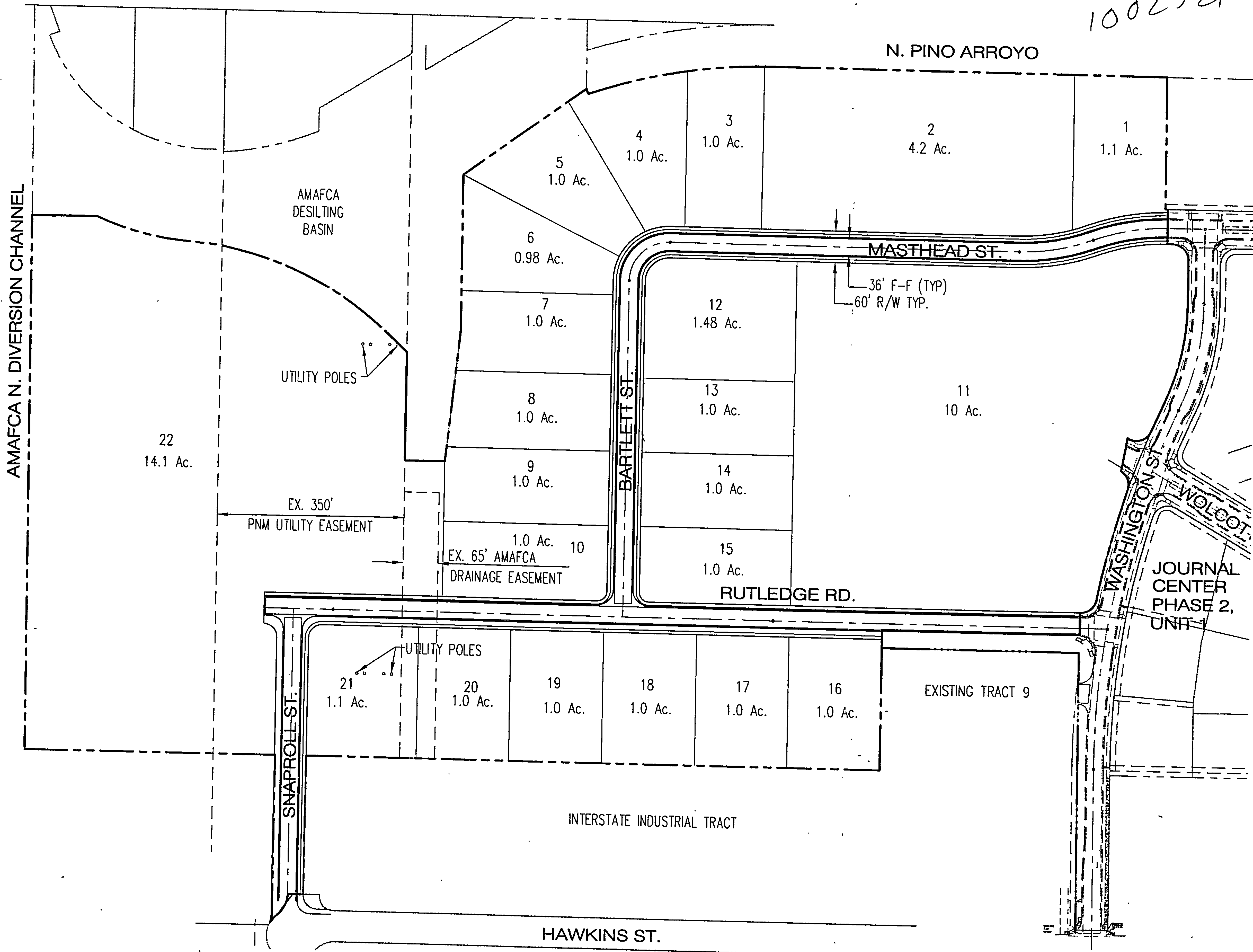
Sincerely,



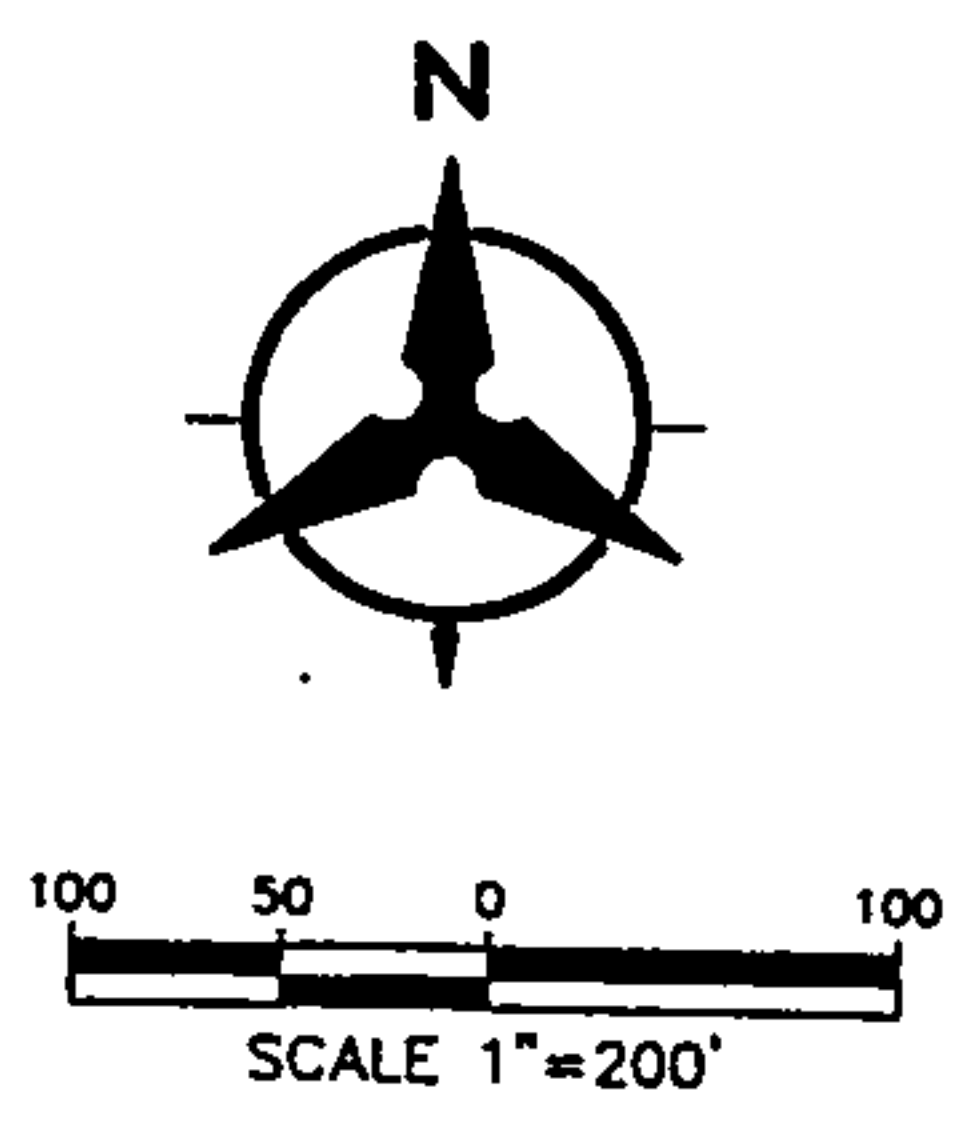
Bruce Stidworthy, P.E.
Project Manager
Community Development and Planning Group

mls
Enclosures

1002321



VICINITY MAP



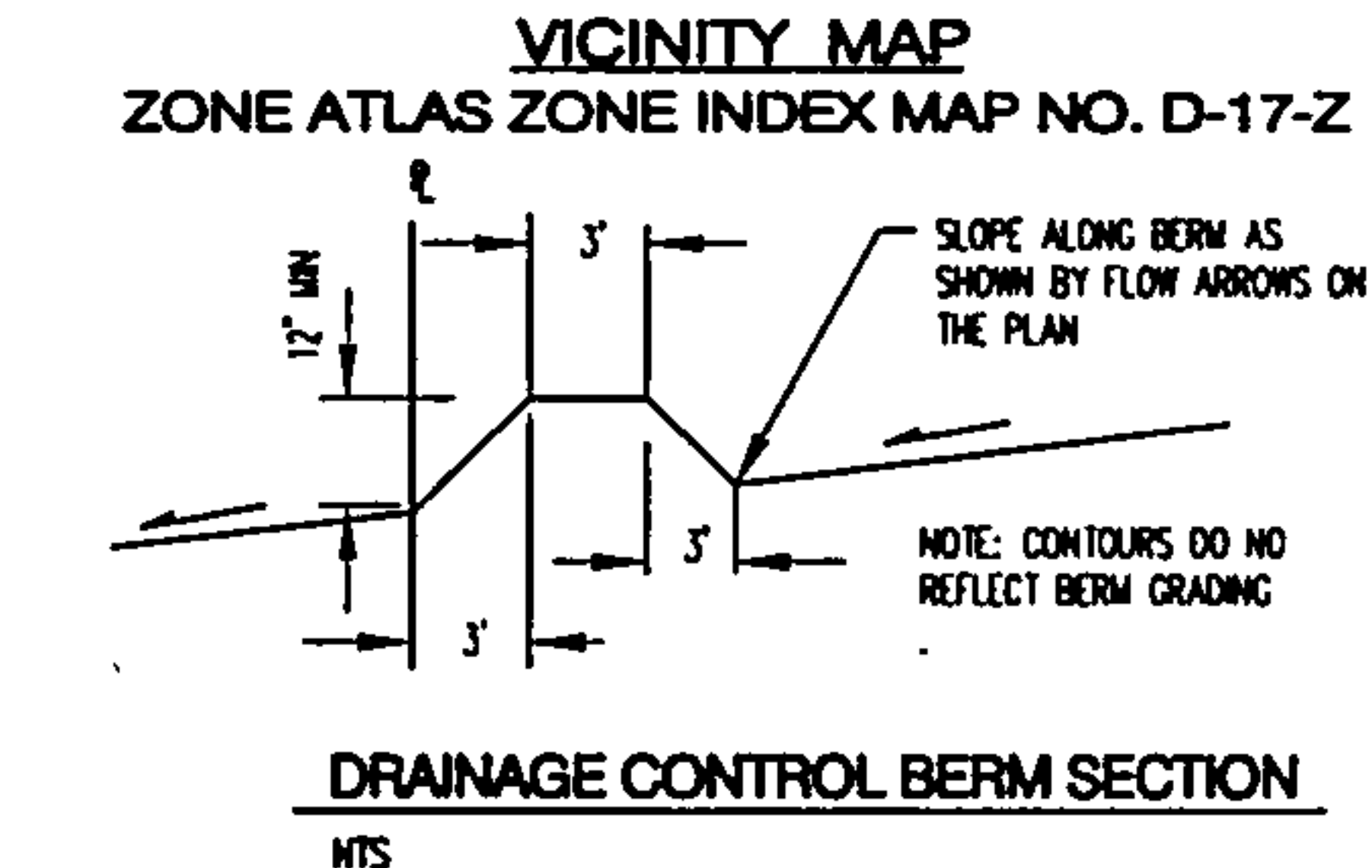
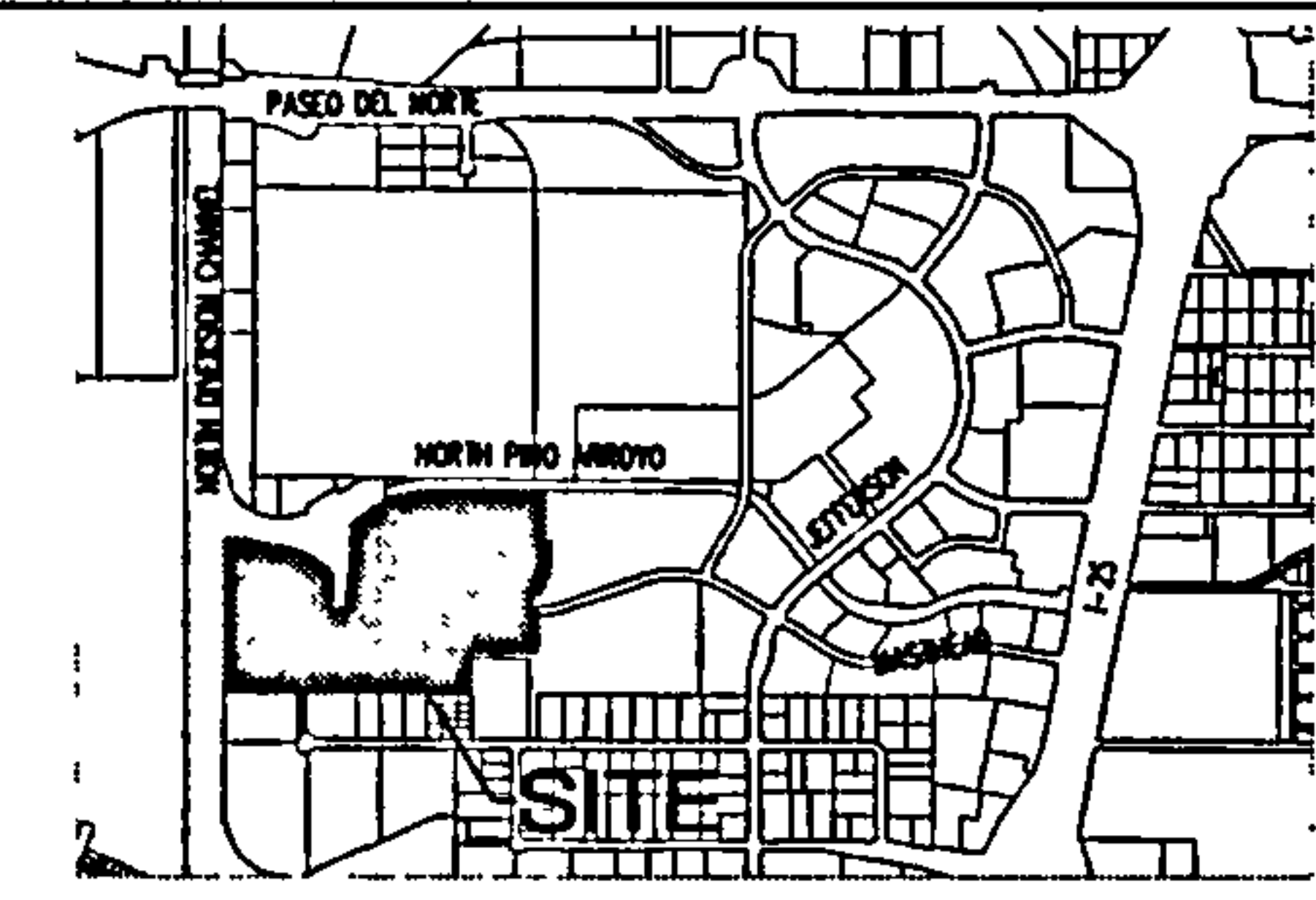
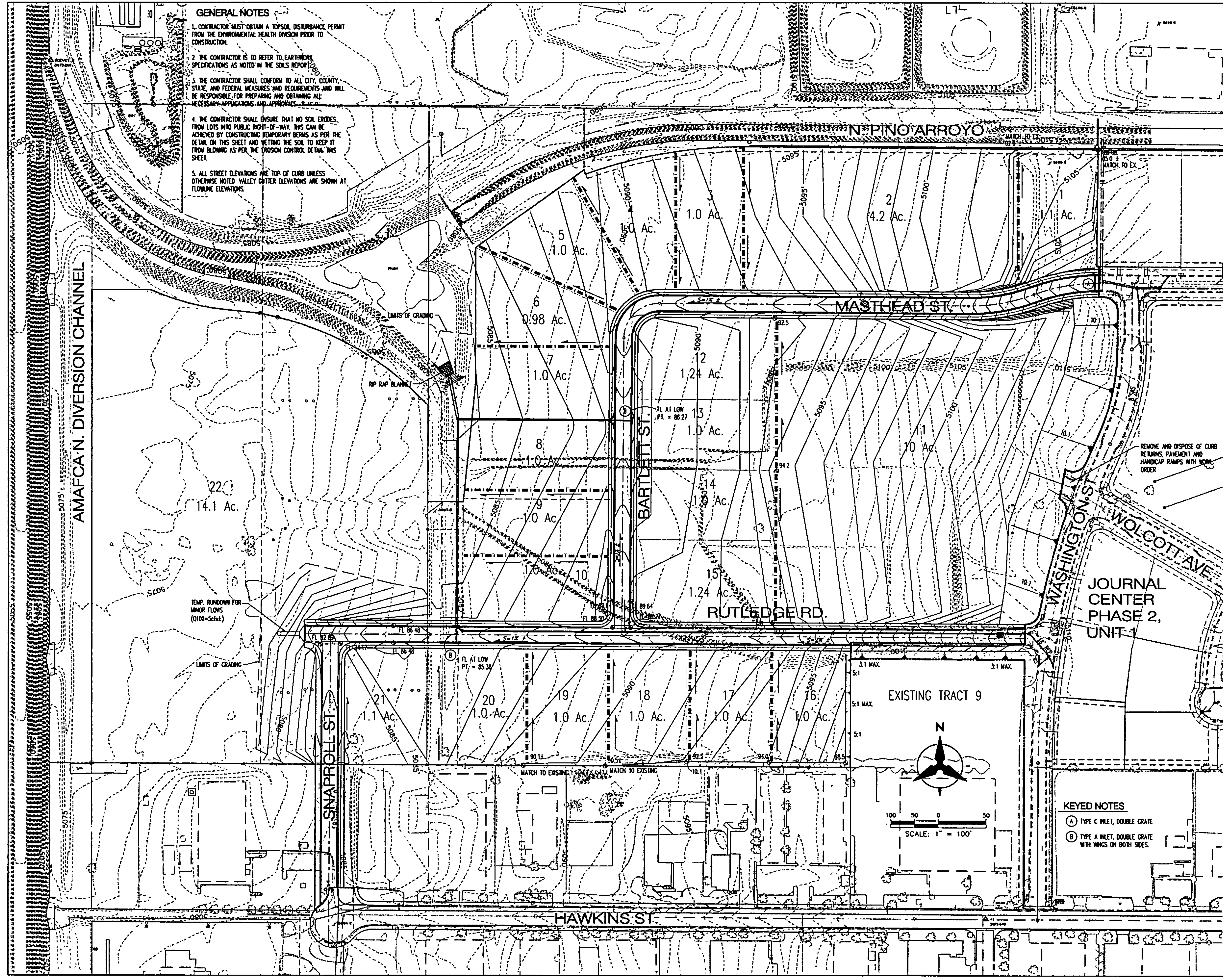
SKETCH
PLAT FOR
JOURNAL CENTER
PHASE 2, UNIT 2

Bohannon & Huston INC.

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER THE DETAIL ON THIS SHEET AND NETTING THE SOIL TO KEEP IT FROM BLOWING AS PER THE EROSION CONTROL DETAIL THIS SHEET.
5. ALL STREET ELEVATIONS ARE TOP OF CURB UNLESS OTHERWISE NOTED VALLEY OTHER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATIONS.



GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
7. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS OTHER AREAS SHALL BE +/- 0.25'.

LEGEND

- - - 54.70	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
● 52.4	SPOT ELEVATION
→	DIRECTION OF FLOW
- - - -	DRAINAGE CONTROL BERM SEE SECTION THIS SHEET
- - - -	SLOPE
⊕	STORM DRAIN INLET
- - - -	TEMPORARY GRADING LIMIT
- - - -	UNIT BOUNDARY

KEYED NOTES

- (A) TYPE C INLET, DOUBLE GRATE
- (B) TYPE A INLET, DOUBLE GRATE WITH WWSS ON BOTH SIDES

AS-BUILT INFORMATION

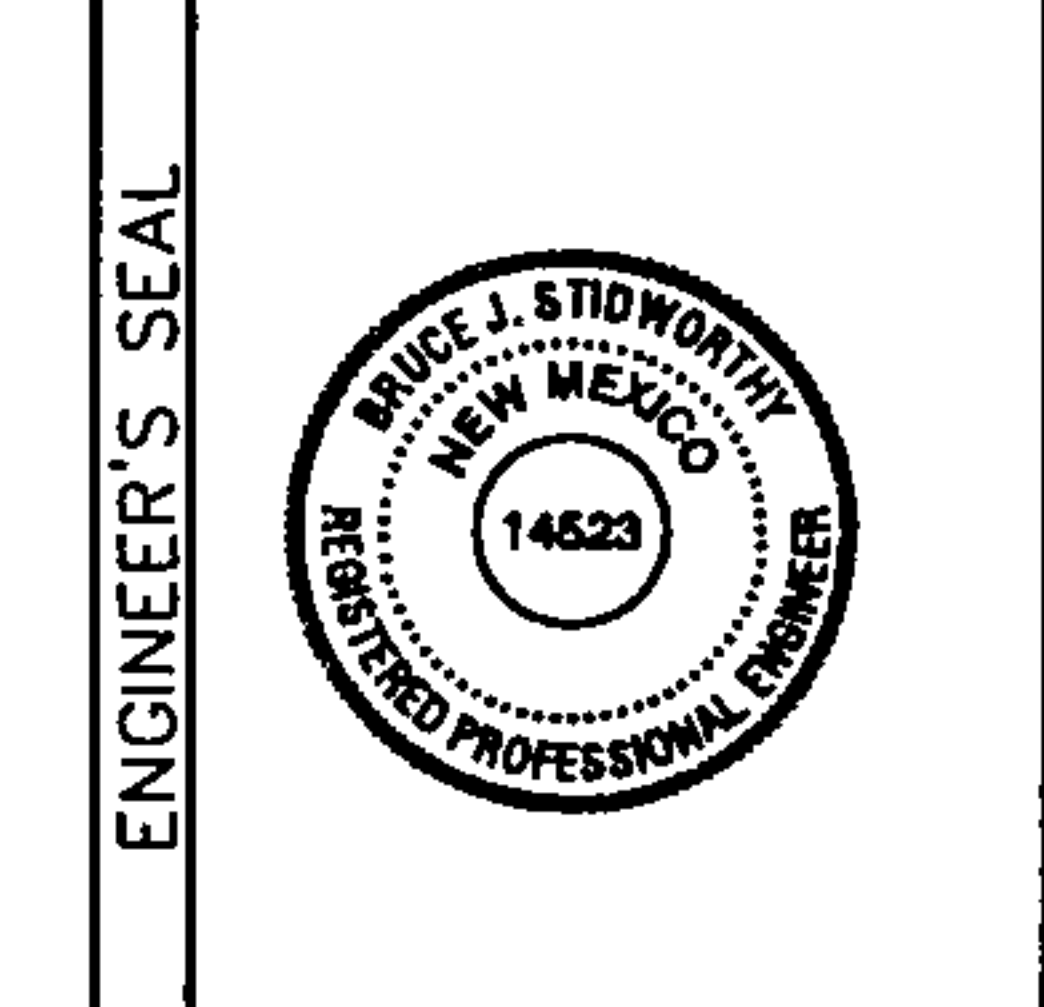
CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

BENCH MARKS

NO.	FIELD NOTES	BY	DATE

SURVEY INFORMATION

NO.	FIELD NOTES	BY	DATE



REVISIONS

No	Date	REMARKS	By

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

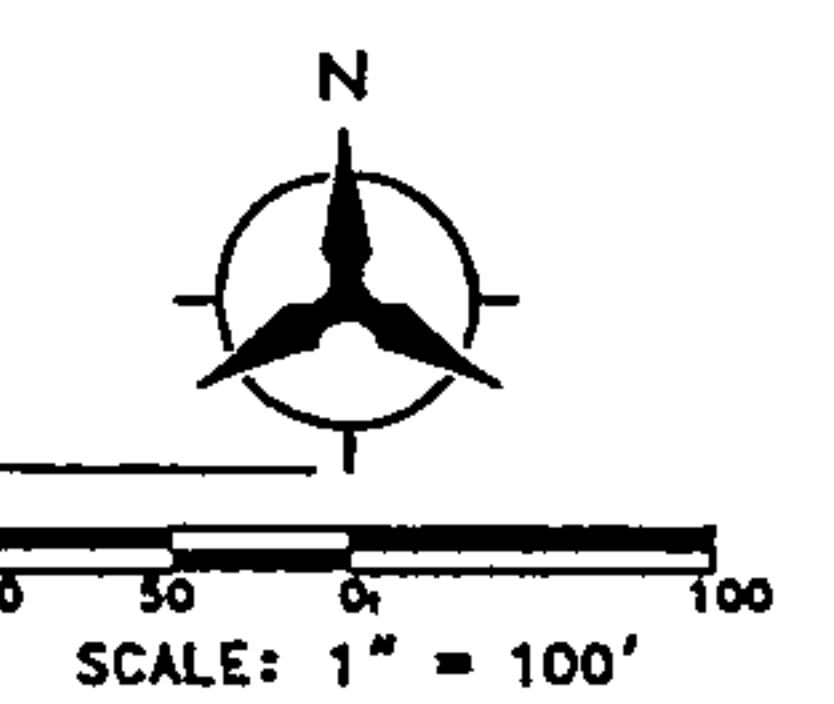
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

**JOURNAL CENTER-PHASE 2
 UNIT II: GRADING PLAN**

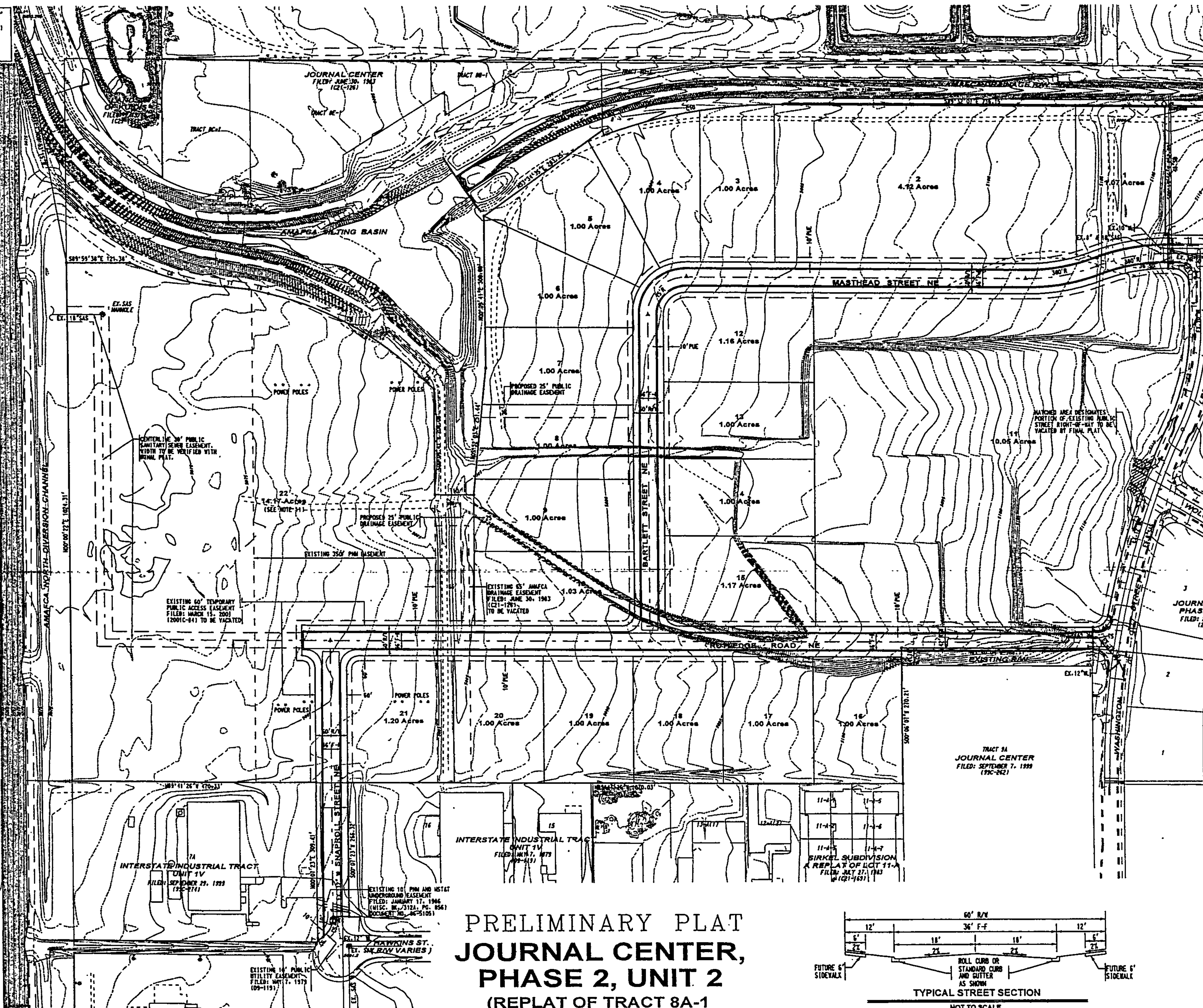
Design Review Committee	City Engineer Approval	Update	Mo/Day/Yr	Mo/Day/Yr

City Project No.	Zone Map No.	Sheet	Of
	D-17		

MRS BRASS TABLET STAMPED "REYES 2, 1991"
 GEOGRAPHIC POSITION (NAD 1983)
 NAD STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 384,062.537 Y = 1,816,507.278
 GRIDMAG TO GRID FACTOR = 0.999970124
 DELTA ALPHA = -00°12'15"
 NAD 1929 ELEVATION = 5073.26



- GENERAL NOTES**
- EXISTING ZONING: I-2
 PROPOSED ZONING: I-2
 INDUSTRIAL PARK, OFFICE & OFFICE WAREHOUSE PROPERTIES
 - GROSS ACREAGE: 52.9673 ACRES
 TOTAL NUMBER OF LOTS: 22
 - TYPICAL LOT ACREAGE: MINIMUM 1.00 Acre
 MAXIMUM 4.17 Acre
 - ALL STREETS & MAINTENANCE IMPROVEMENTS ARE TO BE PUBLIC. TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE, WITH THE EXCEPTION OF THE DRAINAGE EASEMENT BETWEEN LOTS 12 & 13.
 - ALL SANITARY SEWER & WATER UTILITIES IN THE STREET ROW ARE TO BE PUBLIC. TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
 - THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE. WATER AND SANITARY SEWER CAPABILITIES AREA BASED ON WATER AND SANITARY SEWER INFRASTRUCTURE. IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE.
 - DEVELOPMENT REQUIREMENTS FOR INDIVIDUAL LOTS INCLUDING SETBACKS, LANDSCAPING, PARKING, ETC. SHALL CONFORM TO THE REQUIREMENTS OF THE JOURNAL CENTER MASTER PLAN.
 - LANDSCAPING WITHIN ROW WILL BE MAINTAINED SUBJECT TO APPROVAL BY THE CITY OF ALBUQUERQUE.
 - A TEMPORARY BLANKET DRAINAGE EASEMENT WITHIN TRACT 8A-1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, FILED: MARCH 15, 2001 IN BOOK 2001C, PAGE 64 IS TO BE VACATED BY THIS PROJECT.
 - THE 60" VINE FLUORANT SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, FILED: MARCH 15, 2001 IN BOOK 2001C, PAGE 64 IS TO BE VACATED WITH THIS PROJECT.
 - A TEMPORARY BLANKET DRAINAGE EASEMENT WITHIN LOT 22 TO BE GRANTED BY FINAL PLAT.
- TIBURON INVESTMENT, LLC
- DICK ELKINS, TREASURER DATE: _____
 TIBURON INVESTMENT, LLC
- SURVEY NOTES:**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS 1" = 1" SHALL BE MARKED BY A #5 REBAR STAMPED "REYES LS 4344".
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THIS 1" = 1" WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" DO NOT DISTURB. P.L.S. 6544".
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MARKERS WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.
- APPROVED FOR MONUMENTATION AND STREET NAMES
- CITY SURVEYOR DATE _____



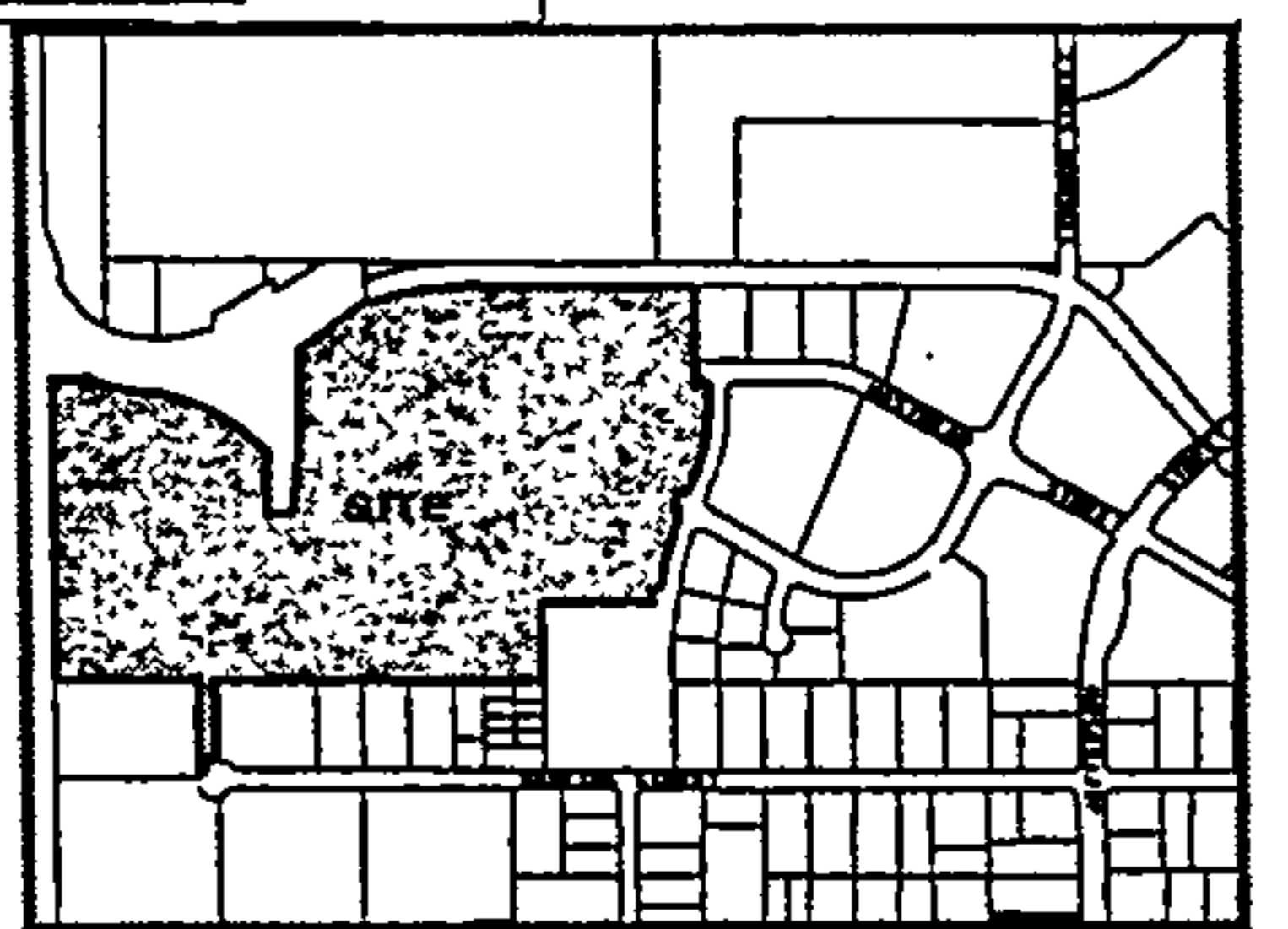
CURVE DATA

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BNG
C1	90°00'01"	30.00'	47.12'	30.00'	42.43'	544°40'04"E
C2	24°14'05"	100.34'	196.85'	100.34'	197.41'	512°27'13"W
C3	79°11'37"	24.31'	41.47'	30.00'	38.24'	350°44'07"W
C4	20°53'14"	20.81'	36.45'	20.81'	44.54'	528°34'13"W
C5	23°28'14"	10.35'	20.48'	10.35'	20.34'	541°11'08"W
C6	29°21'20"	6.37'	12.85'	6.37'	12.71'	01°49'49"E
C7	18°39'17"	82.31'	164.17'	82.31'	163.74'	574°29'50"E
C8	30°45'00"	166.59'	323.34'	166.59'	321.45'	281°07'47"E
C9	20°24'18"	117.71'	231.71'	117.71'	230.22'	00°15'44"E

TANGENT DATA

ID	BEARING	DISTANCE
T1	S89°40'05"E	6.73'
T2	S00°19'56"W	66.40'
T3	S89°40'05"E	10.11'
T4	S00°19'57"W	82.83'
T5	S00°19'56"W	42.00'
T6	S89°40'05"E	30.40'
T7	S89°40'05"E	24.17'
T8	S89°40'05"E	38.16'
T9	S45°45'17"E	43.34'
T10	S89°41'36"E	75.00'
T11	S19°54'19"E	18.00'

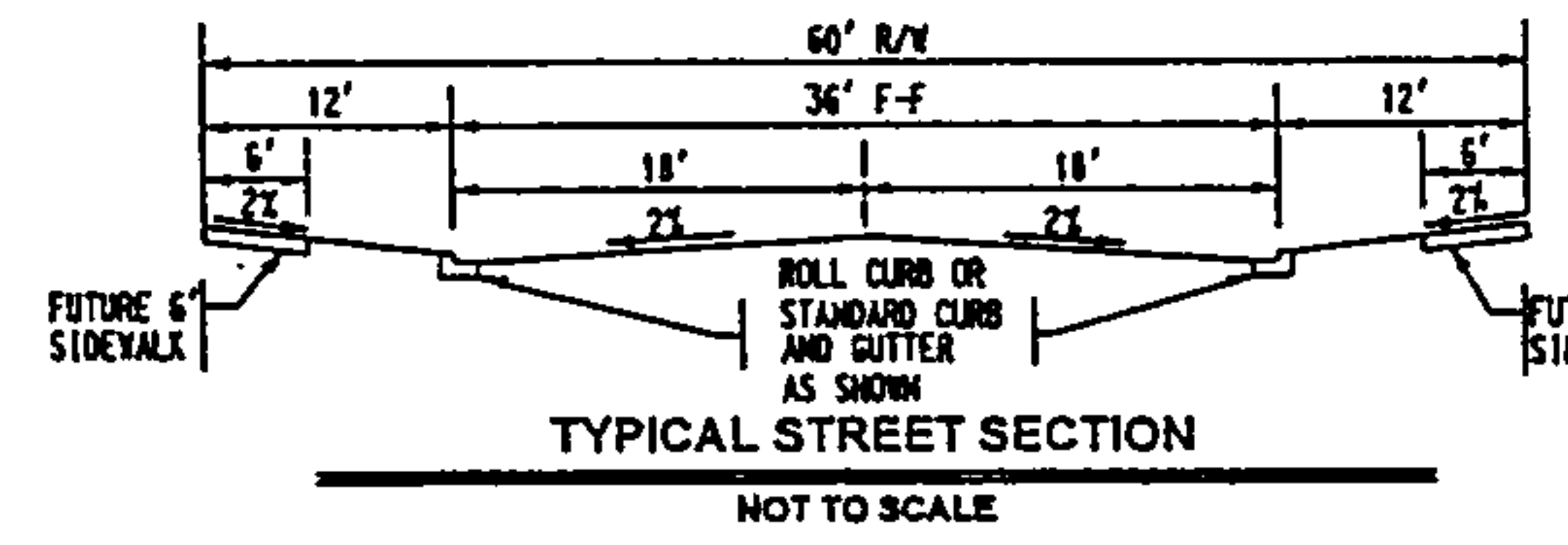
MRS BRASS TABLET STAMPED "1-25-14, 1963"
 GEOGRAPHIC POSITION (NAD 1983)
 NAD STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 399,828.26 Y = 1,514,880.32
 GRIDMAG TO GRID FACTOR = 0.99996250
 DELTA ALPHA = -00°11'35"
 NAD 1929 ELEVATION = 5196.73



LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- EASEMENT LINE
- ADJOINING PROPERTY LINE
- RIGHT OF WAY
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- #5 REBAR WITH 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "REYES LS 4344"
- 10" PUE 18" PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT

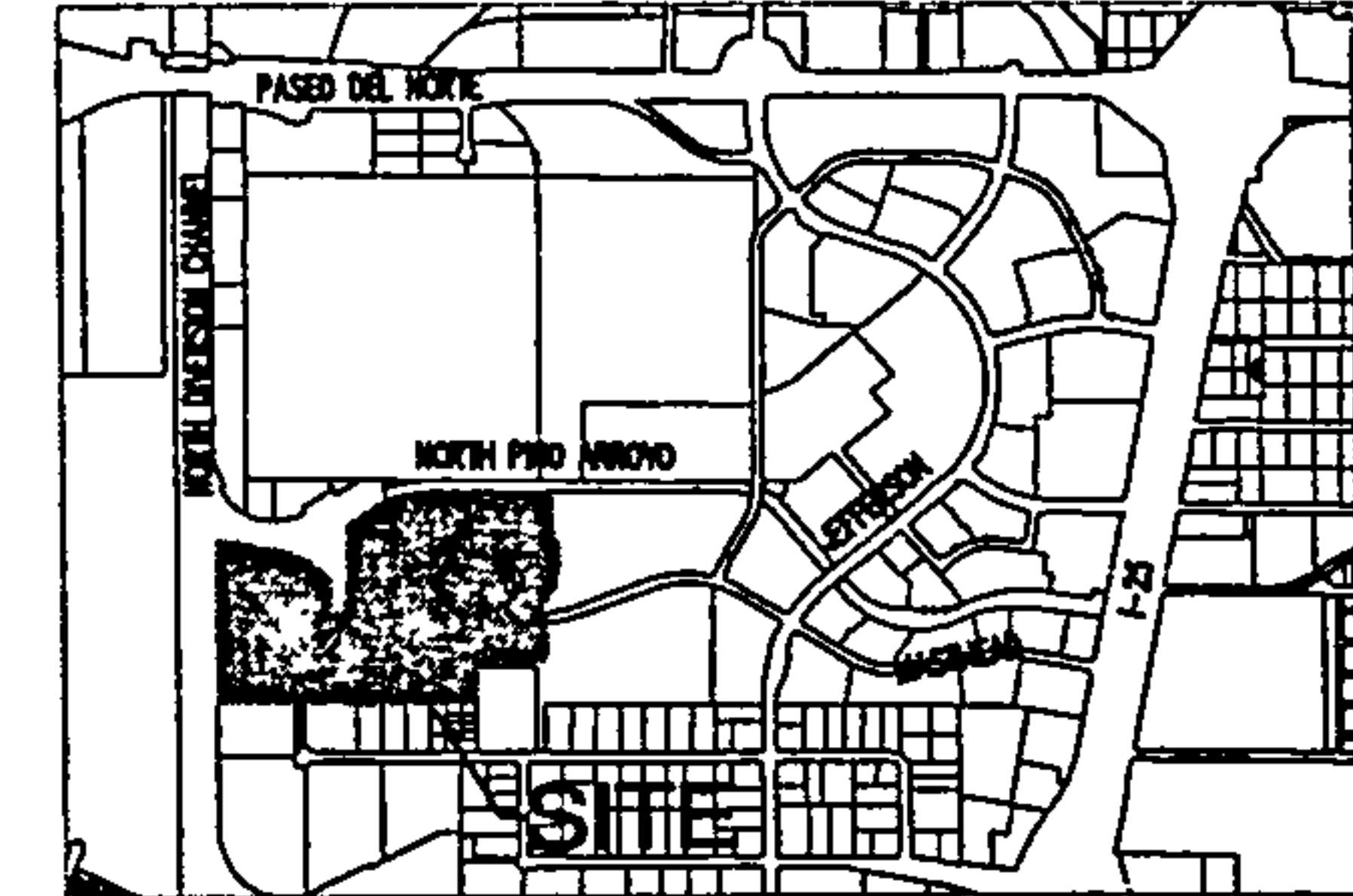
PRELIMINARY PLAT
JOURNAL CENTER,
PHASE 2, UNIT 2
 (REPLAT OF TRACT 8A-1
 JOURNAL CENTER, PHASE 2, UNIT 1)
 ALBUQUERQUE, NEW MEXICO
 NOVEMBER, 2002



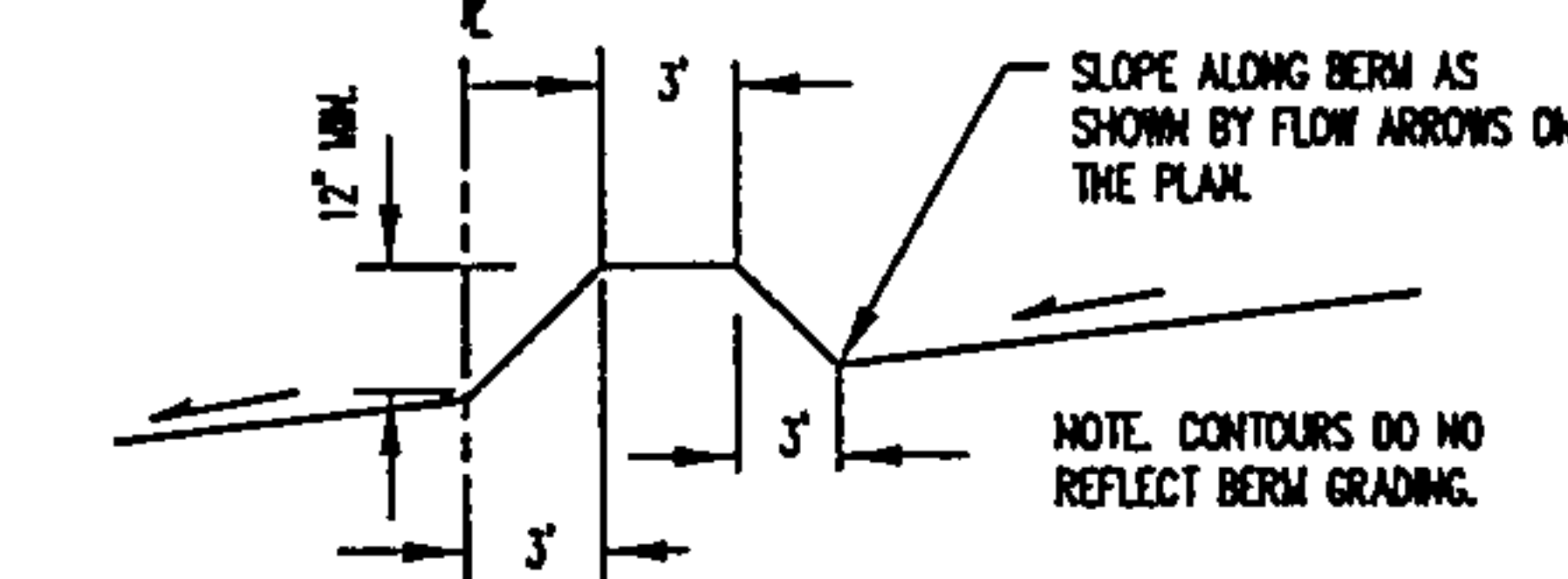
Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
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5. ALL STREET ELEVATIONS ARE TOP OF CURB UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATIONS.



VICINITY MAP
ZONE ATLAS ZONE INDEX MAP NO. D-17-2



DRAINAGE CONTROL BERM SECTION
NTS

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
7. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS OTHER AREAS SHALL BE ±0.25'.

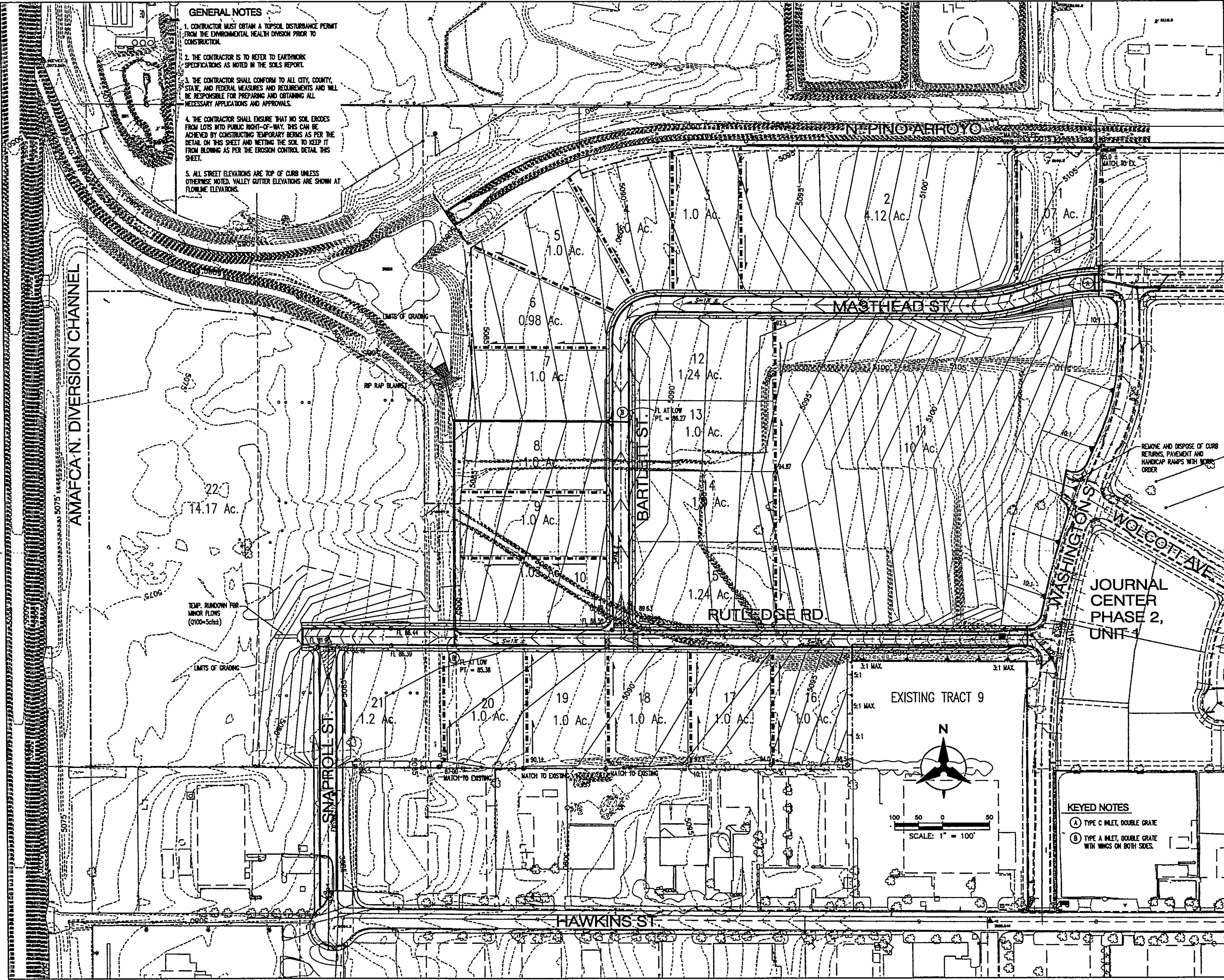
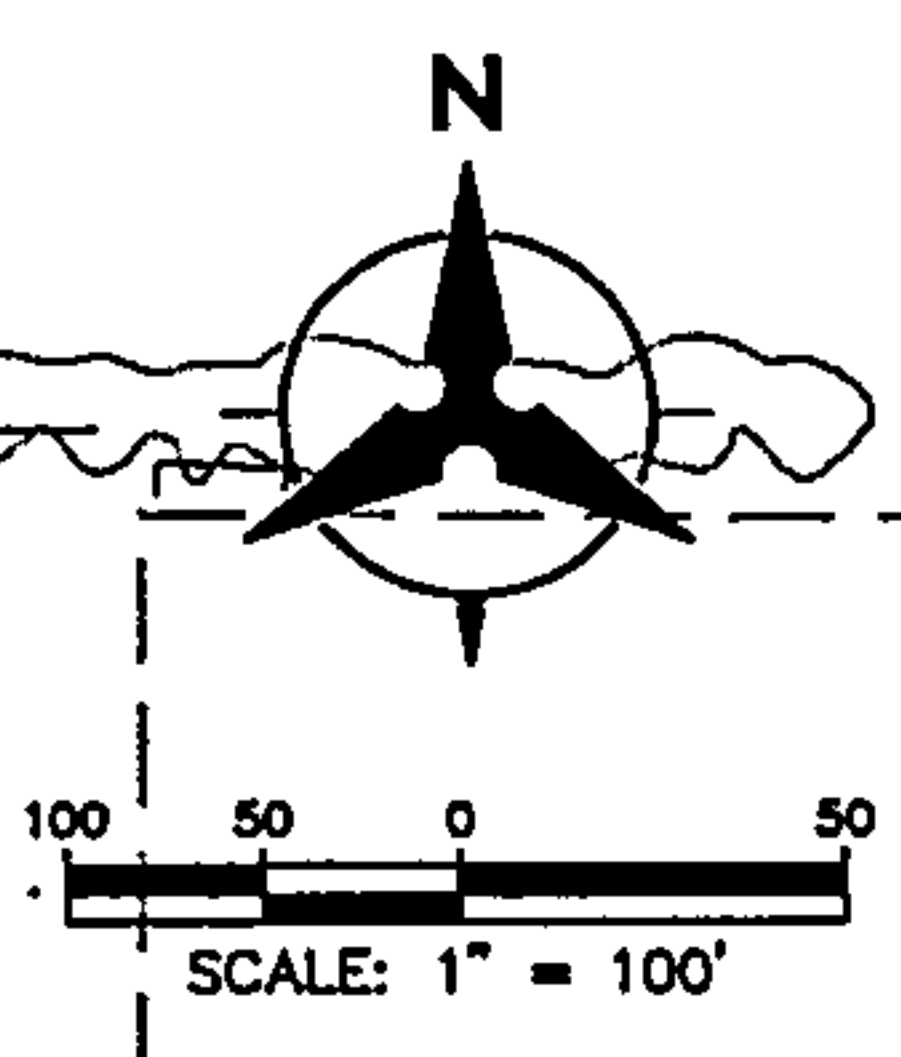
APPROVED FOR ROUGH GRADING _____ DATE _____

LEGEND

--- 5470 ---	EXISTING CONTOUR
---	PROPOSED CONTOUR
● 52.4	SPOT ELEVATION
→	DIRECTION OF FLOW
---	DRAINAGE CONTROL BERM SEE SECTION THIS SHEET
---	SLOPE
⊕	STORM DRAIN INLET
---	TEMPORARY GRADING LIMIT
---	UNIT BOUNDARY

KEYED NOTES

1. TYPE C INLET, DOUBLE GRATE
2. TYPE A INLET, DOUBLE GRATE WITH WINGS ON BOTH SIDES.



AMAFCA N. DIVERSION CHANNEL

JOURNAL CENTER PHASE 2, UNIT 4

EXISTING TRACT 9

DRB#

AS-BUILT INFORMATION

CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

BENCH MARKS

CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

SURVEY INFORMATION

NO.	DATE	BY

ENGINEER'S SEAL

MADE IN THE UNITED STATES OF AMERICA
NEW MEXICO
14623
REGISTERED PROFESSIONAL ENGINEER

No.	Date	REVISIONS	By

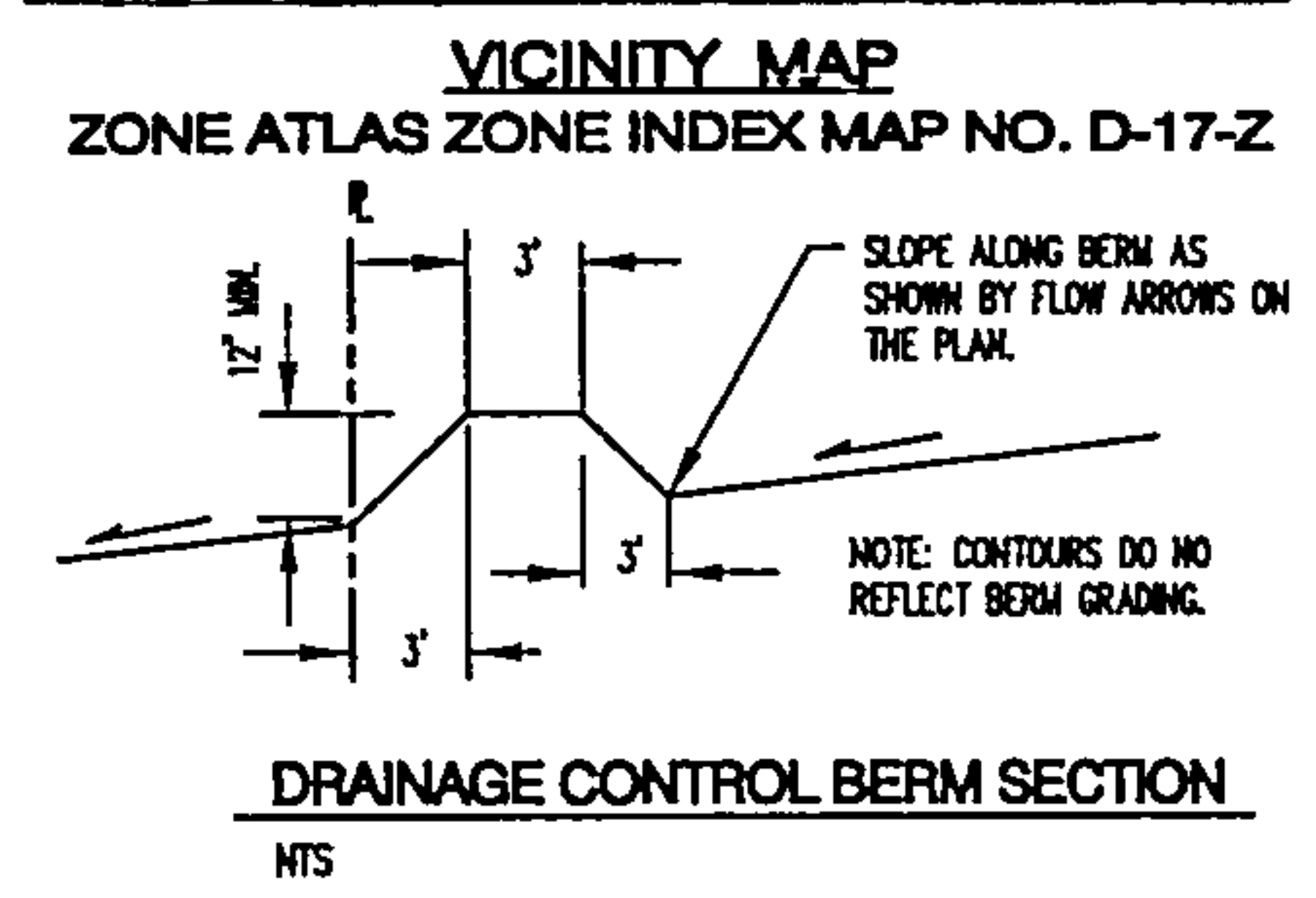
DESIGNED BY: BJS DATE: 10/2002
DRAWN BY: KJW DATE: 10/2002
CHECKED BY: BJS DATE: 10/2002

Bohannon & Huston
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4336
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
JOURNAL CENTER-PHASE 2
UNIT II: GRADING PLAN

Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	D-17		

- GENERAL NOTES**
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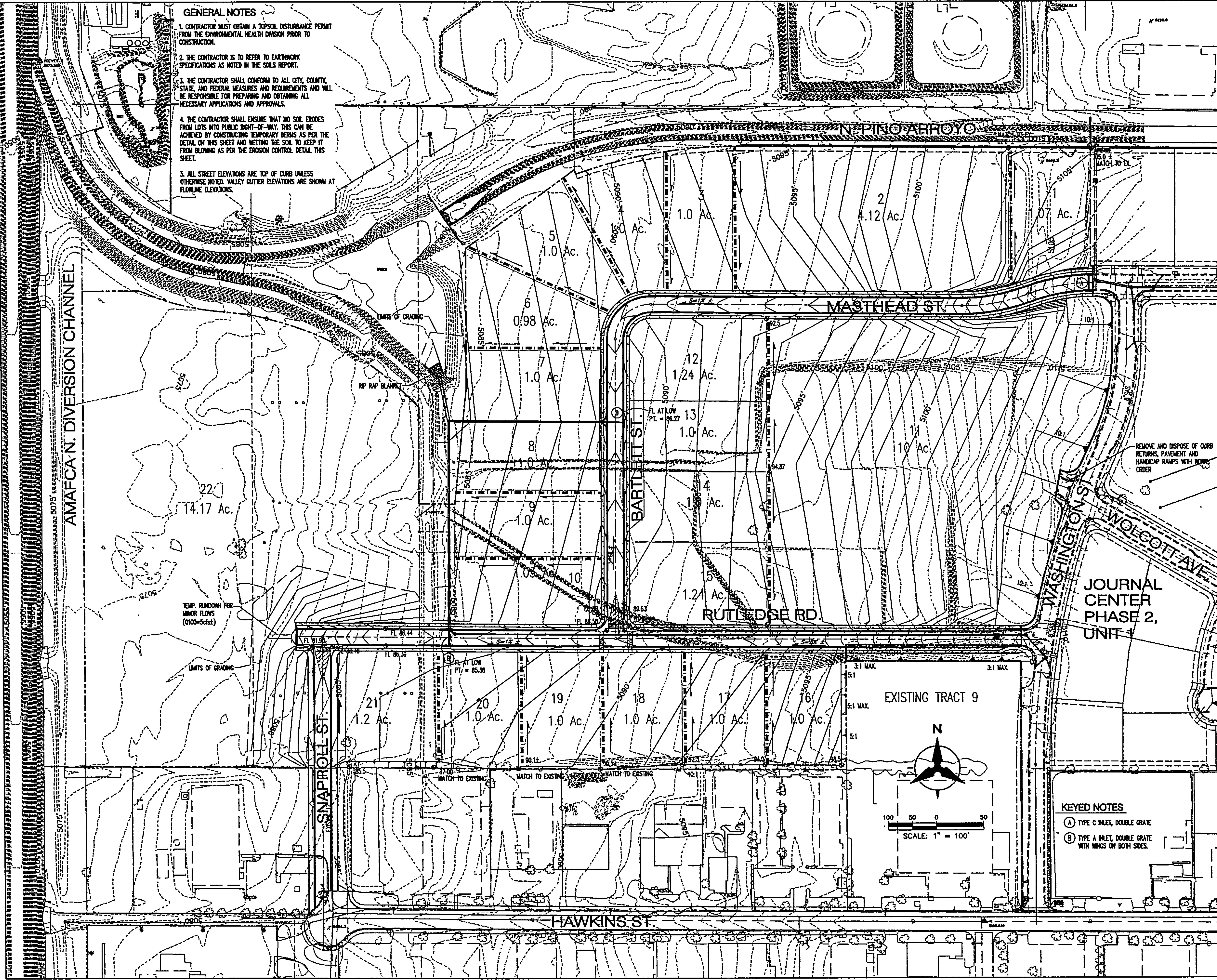
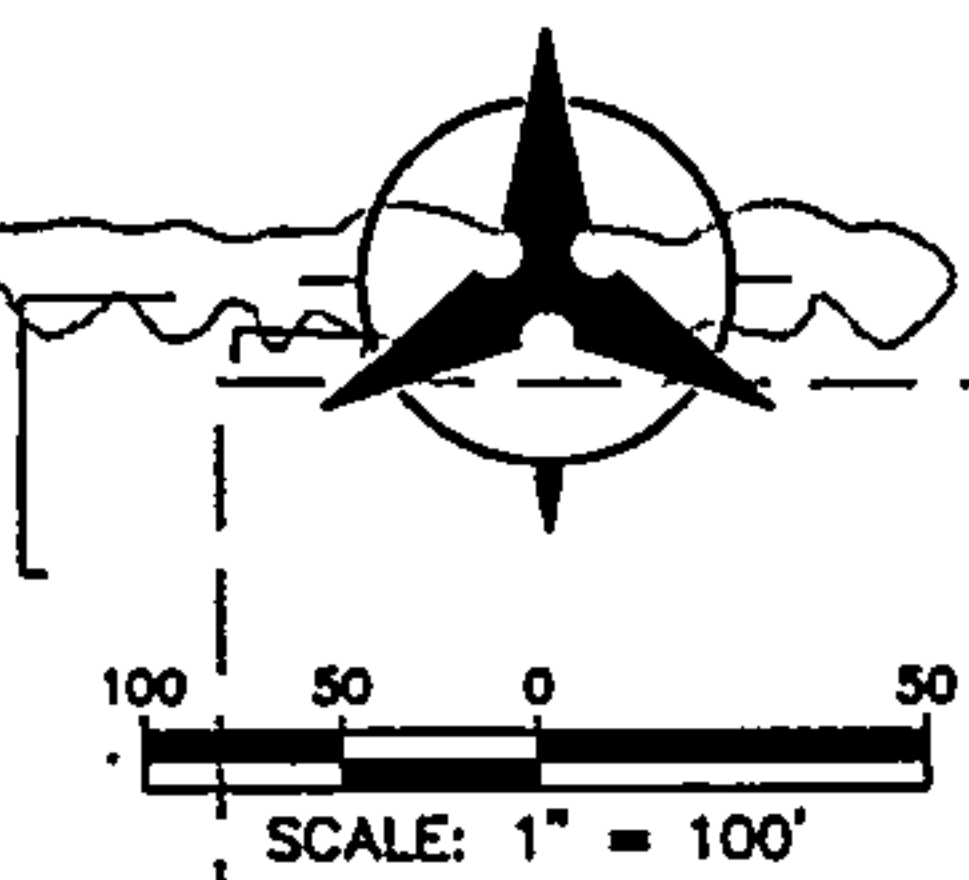
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APPROVED FOR ROUGH GRADING _____ DATE _____

LEGEND

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---	PROPOSED CONTOUR
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→	DIRECTION OF FLOW
---	DRAINAGE CONTROL BERM SEE SECTION THIS SHEET
---	SLOPE
⊥	STORM DRAIN INLET
---	TEMPORARY GRADING LIMIT
---	UNIT BOUNDARY

- KEYED NOTES**
- ① TYPE C INLET, DOUBLE GRATE
 - ② TYPE A INLET, DOUBLE GRATE WITH WINGS ON BOTH SIDES



AS-BUILT INFORMATION

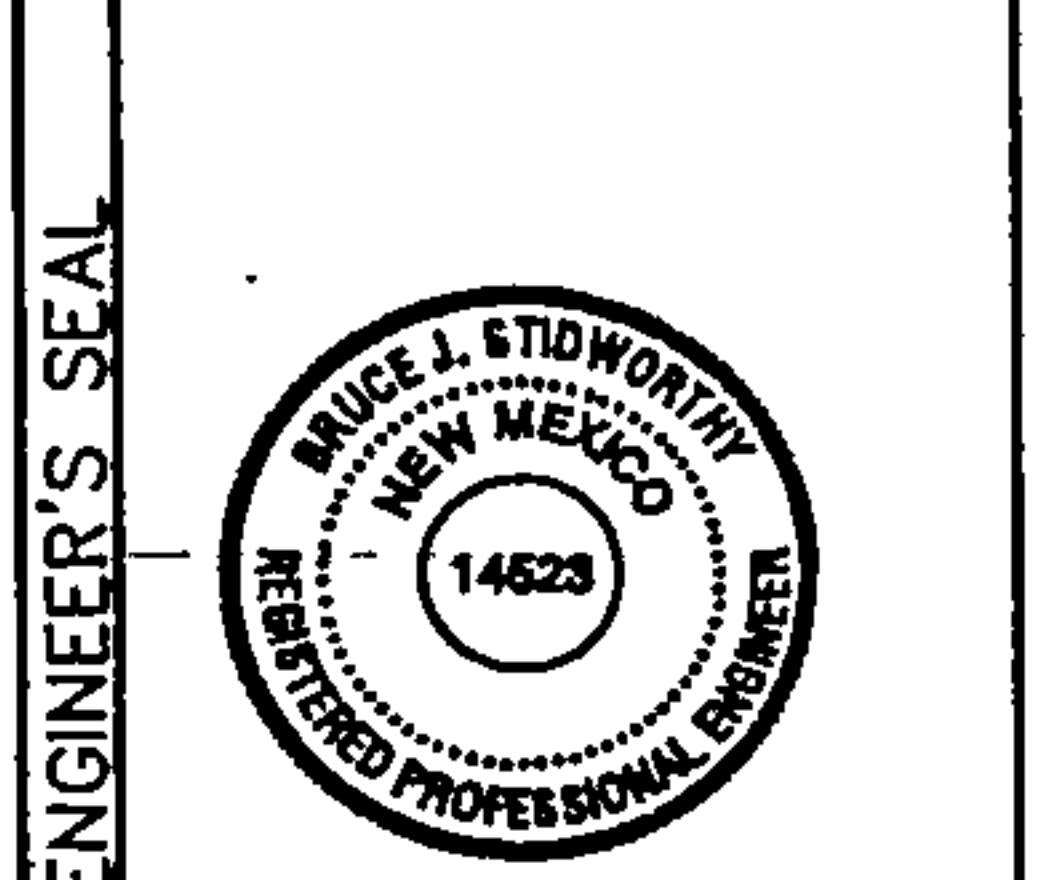
CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
REVISIONS	DATE
DESIGN	DATE

BENCH MARKS

CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
REVISIONS	DATE
DESIGN	DATE

SURVEY INFORMATION

NO.	BY	DATE



ENGINEER'S SEAL

DESIGNED BY	DATE
Drawn By: BJS	DATE: 10/2002
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Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
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