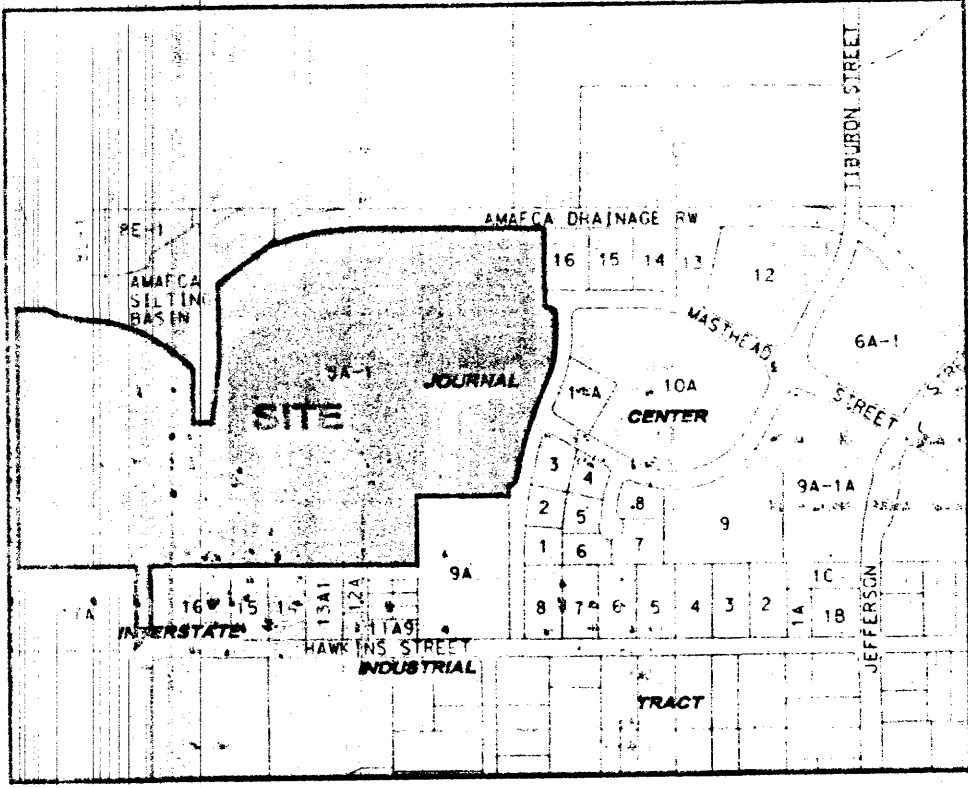


AGIS

SP-2003040267



LOCATION MAP

ZONE ATLAS INDEX MAP Nos. D-16-Z & D-17-Z NOT TO SCALE

SUBDIVISION DATA

App# 03DRB-00478

- 1. DRB Project No. 1002321
2. Zone Atlas Index Nos. D-16-Z & D-17-Z.
3. Gross Subdivision Acreage: 52.9679 Acres.
4. Total Number of Lots/Tracts created: Twenty (20) Lots and One (1) Tract.
5. Total Mileage of full width Streets created: 0.6367 mile.
6. Total Mileage of partial width Streets created: 0.0697 mile.
7. Date of Survey: December, 2002
8. Plat is located within the Elena Gallegos Grant, within Projected Sections 22 & 23, T11N, R3E, N7W.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract 8A-1, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156 together with a portion of public street right-of-way into Twenty (20) Lots and One (1) Tract, to dedicate Public Street Right-of-way to the City of Albuquerque, to vacate Public Street Right-of-way, and to grant Public Utility Easements.

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground and overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. COMCAST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool, decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Sections 22 and 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 8A-1 and a westerly portion of public street right-of-way of Washington Street NE, of the PLAT OF JOURNAL CENTER PHASE 2, UNIT 1, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927 Datum) and ground distances as follows:

BEGINNING the northwest corner of said Tract 8A-1, a point on the easterly right-of-way line of the A.M.A.F.C.A. North Diversion Channel and a point on the southerly right-of-way line of the A.M.A.F.C.A. Silting Basin, whence the Albuquerque City Survey (ACS) Monument "REEVES 2", a NGS brass tablet set in the concrete lined Flood Channel, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=394,062.557 and Y=1,516,507.279 bears N09°53'15"W, a distance of 502.29 feet and from said point of beginning running thence along the northerly boundary line of said Tract 8A-1 and also along said southerly right-of-way line.
589°59'38"E, a distance of 121.38 feet to a point of curvature (non-tangent); thence, 164.47 feet along the arc of a curve to the left having a radius of 505.00 feet and a chord which bears S74°39'50"E, a distance of 163.74 feet to a point of tangency; thence, S83°59'38"E, a distance of 74.17 feet to a point of tangency; thence, S76°30'17"E, a distance of 38.16 feet to a point of curvature; thence, 325.34 feet along the arc of a curve to the right having a radius of 506.20 feet and a chord which bears S61°07'47"E, a distance of 321.45 feet to a point of tangency; thence, S45°45'17"E, a distance of 208.08 feet to a point of tangency; thence, S00°09'41"W, a distance of 75.00 feet to a point of tangency; thence, S89°41'26"E, a distance of 251.44 feet to a point of tangency; thence, N05°52'03"E, a distance of 300.00 feet to a point of tangency; thence, N57°34'35"E, a distance of 283.35 feet to a point of tangency; thence, S19°56'39"E, a distance of 10.00 feet to a point of curvature (non-tangent) on the southerly right-of-way line of an eighty (80) foot wide A.M.A.F.C.A. Drainage right-of-way, thence running along the northerly boundary line of said Tract 8A-1 and also along said right-of-way line.
351.77 feet along the arc of a curve to the right having a radius of 987.76 feet and a chord which bears N80°15'44"E, a distance of 349.92 feet to a point of tangency; thence, S89°32'07"E, a distance of 736.15 feet to the northeast corner of said Tract 8A-1, thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract 8A-1.
S00°19'56"W, a distance of 252.09 feet to a point of tangency; thence, S89°40'04"E, a distance of 4.73 feet to a point on the northerly right-of-way line of Washhead Street NE, thence crossing said right-of-way.
S00°19'56"W, a distance of 66.90 feet to a point on the southerly right-of-way line of said Washhead Street NE; thence, S89°40'04"E, a distance of 10.11 feet to a point of curvature; thence, 47.12 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord which bears S44°40'04"E, a distance of 42.43 feet to a point of tangency on the westerly right-of-way line of Washington Street NE, thence running along the easterly boundary line of said Tract 8A-1 and also along said right-of-way line.
S00°19'56"W, a distance of 82.83 feet to a point of curvature; thence, 158.89 feet along the arc of a curve to the right having a radius of 470.00 feet and a chord which bears S12°27'19"W, a distance of 197.41 feet to a point of reverse curvature; thence, 338.45 feet along the arc of a curve to the left having a radius of 1693.66 feet and a chord which bears S17°51'30"W, a distance of 397.34 feet to a point of reverse curvature; thence, 44.47 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord which bears S52°44'07"W, a distance of 38.24 feet to a point of non-tangency; thence, S00°19'56"W, a distance of 42.00 feet to a point, thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract 8A-1.
N89°40'04"W, a distance of 368.11 feet to a point of tangency; thence, S00°05'07"W, a distance of 270.23 feet to a point of tangency; thence, N89°41'26"W, a distance of 1070.03 feet to a point on the northerly right-of-way line of S00°07'23"W, a distance of 268.32 feet to a point on the northerly right-of-way line of Hawkins Street NE, thence running along the southerly boundary line of said Tract 8A-1 and also along said right-of-way line.
N89°52'17"W, a distance of 30.00 feet to a point of curvature (non-tangent); thence, 46.17 feet along the arc of a curve to the right having a radius of 50.00 feet and a chord which bears S26°34'28"W, a distance of 44.54 feet to a point of reverse curvature; thence, 20.48 feet along the arc of a curve to the left having a radius of 50.00 feet and a chord which bears S41°17'35"W, a distance of 20.33 feet to a point of compound curvature, thence leaving said right-of-way line and running thence along the southerly boundary line of said Tract 8A-1.
12.84 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N14°50'30"E, a distance of 12.70 feet to a point of tangency; thence, N00°07'23"E, a distance of 309.41 feet to a point of tangency; thence, N89°41'26"W, a distance of 470.33 to the southwest corner of said Tract 8A-1, a point on the easterly right-of-way line of the A.M.A.F.C.A. North Diversion Channel, thence running along the westerly boundary line of said Tract 8A-1 and also along said right-of-way line.
N00°09'22"E, a distance of 1024.31 feet to the point and place of beginning.

Tract contains 52.9679 acres, more or less.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 27) and also the same as shown on the plat of the PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156.
2. Distances are ground distances.
3. All easements of record are shown.
4. Record bearings and distances are shown in parenthesis ( ).
5. A variance of waiver from certain subdivision requirements has been granted by the City and Albuquerque Metropolitan Arroyo Flood Control Authority in condition with this plat.
6. Future subdivision of lands within this plat, zoning site development plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies. In effect at the time for any specific proposal.
7. The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed with future plats or site development plans are approved.
8. By its approval the City makes no representative or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements; dedications and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items. It is understood that a separate notice of investigation of these conditions has been recorded with the County Clerk at the time of final plat recorded September 8, 1987 in Book 46571B, Page(s) 726-727.
9. Tract 8A-1 is subject to a temporary blanket drainage easement filed: March 15, 2001 in Book 2001C, Page 84. Easement is vacated by vacation action V-102DRB-01724.
10. Tract 8A-1 is subject to a 50' wide floating sanitary sewer easement granted to the City of Albuquerque Filed: March 15, 2001 in Book 2001C, Page 84. Easement is vacated by Vacation Action V-02DRB-01724.
11. Tract A is subject to a temporary blanket drainage easement to be granted to the City of Albuquerque with the filing of this plat.
12. Existing 150' wide Public Service of New Mexico easement granted by Grant of Right-of-Way dated August 8, 1956, recorded August 10, 1956 as Document No. 3174 in Book 0359, Pages 275-282, and Grant of Right-of-Way dated January 9, 1959, recorded January 15, 1959 as Document No. 98462 in Book 0459, Pages 329-333 and amended by Document recorded January 15, 1959 in Book 0459, Pages 359-361, of the County Records of Bernalillo County, New Mexico.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, within projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract 8A-1, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156 together with a portion of public street right-of-way, now comprising Lots 1 thru 20 inclusive and Tract A of the JOURNAL CENTER, PHASE 2, UNIT 2 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, do hereby grant: All access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and in the event Grantor, its successors and assigns, constructs and improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purpose of performing the Work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

TIBURON INVESTMENT, LLC

BY: Douglas H. Collister, Administrative Manager of Tiburon Investment, LLC

State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on 24 day of MARCH, 2003 by Douglas H. Collister, Administrative Manager of Tiburon Investment, LLC.

My Commission Expires: 11/15/04 Notary Public

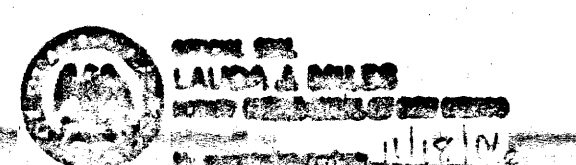


Table with 6 columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains curve data for various points.

Table with 2 columns: ID, BEARING, DISTANCE. Contains tangent data for various points.

Barcode and document identification numbers: 2003058753, 5841798, Page: 1 of 3, 04/18/2003 11:42A, Mary Herrera, Bern. Co. PLAT R 17.00, Bk-2003C Pg-98

PLAT OF JOURNAL CENTER PHASE 2, UNIT 2 (A REPLAT OF TRACT 8A-1, JOURNAL CENTER PHASE 2, UNIT 1) ALBUQUERQUE, NEW MEXICO MARCH, 2003

- APPROVALS
PLAT NUMBER: 1002321 03DRB-00478
Planning Director: Bryan Watson 4/1/03
City Engineer: Brad S. Byham 4/2/03
A.M.A.F.C.A.: Lynn M. Mason 4-3-03
Professional Engineer: Robert D. Dault 3-02-03
City Surveyor: [Signature] 3-25-03
Property Management: [Signature] 4-1-03
Utility Development Department: Roger A. Khan 4-4-03
City and Recreation: Christina Sandoval 4/2/03
City Engineer: David R. Miller 4-2-03
Comcast Cable: Rita E. Eubank 3-21-03
PNM Electric Services: [Signature] 4-01-03
PNM Gas Services: [Signature] 4-01-03

TAX CERTIFICATION
PROPERTY OWNER OF RECORD: Tiburon Investment, LLC
Bernalillo County Treasurer's Office
1-017-063-102208-30120

SURVEYOR'S CERTIFICATION
I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver, New Mexico Professional Surveyor 6544, Date: March 21, 2003

Bohannon & Huston ENGINEERING & SPATIAL DATA - ADVANCED TECHNOLOGIES, Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335, SHEET 1 OF 3



GP 10/3/00  
IL 10/4/00

PRELIMINARY PLAT  
APPROVED BY DRP  
ON 10/4/00

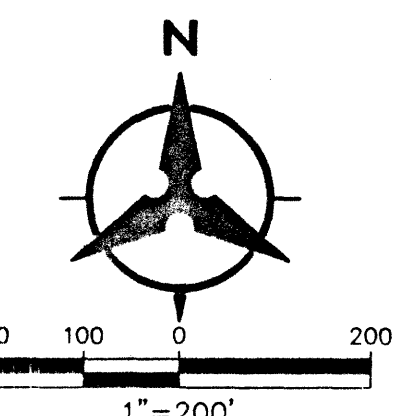
GENERAL NOTES

- EXISTING ZONING: IP  
PROPOSED ZONING: IP  
PROPOSED DEVELOPMENT: INDUSTRIAL PARK: OFFICE & OFFICE WAREHOUSE PROPERTIES
- GROSS ACREAGE: 72.19 Acres.  
TOTAL NUMBER OF LOTS: 63 D.U.  
PROPOSED DENSITY: 0.87 D.U./Acre.
- TYPICAL LOT ACREAGE: 4 TYPES  
UNIT 1:  
1-8 0.50-0.79 ACRES  
9-12 4.06-4.60 ACRES  
13 14.1 ACRES  
14-16 1.0 ACRES  
17-2 0.5 ACRES  
UNIT 2:  
1-19 1.0-1.1 ACRES  
20-42 0.5 ACRES
- ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE PUBLIC, AND TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE. WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON THE WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE.
- DEVELOPMENT REQUIREMENTS FOR INDIVIDUAL LOTS INCLUDING SETBACKS, LANDSCAPING, PARKING ECT. SHALL CONFORM TO THE REQUIREMENTS OF THE JOURNAL CENTER MASTER PLAN.
- LANDSCAPING WITHIN R/W WILL BE MAINTAINED SUBJECT TO APPROVAL BY THE CITY OF ALBUQUERQUE.

NCS TRIANGULATION STATION MONUMENT STAMPED "REEVES"  
GEOGRAPHIC POSITION (NAD 1927)  
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)  
X=393,890.55 Y=1,516,528.81  
GROUND TO GRID FACTOR = 0.99967155  
DELTA ALPHA = -00°12'16"  
NGVD 1929 ELEVATION = 5073.27

LEGEND

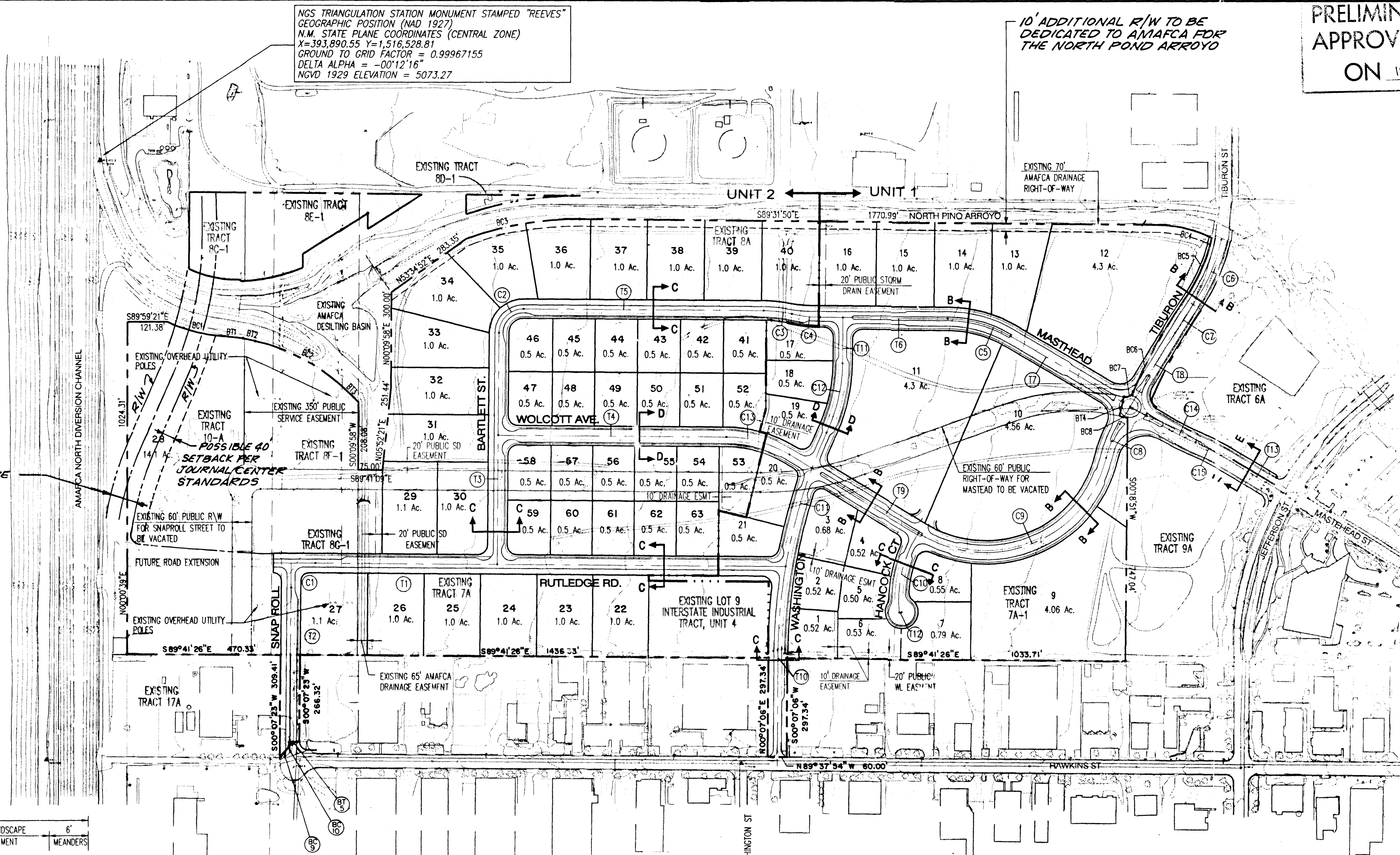
- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- OLD LOT LINE
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- CENTERLINE
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- 4" ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544"



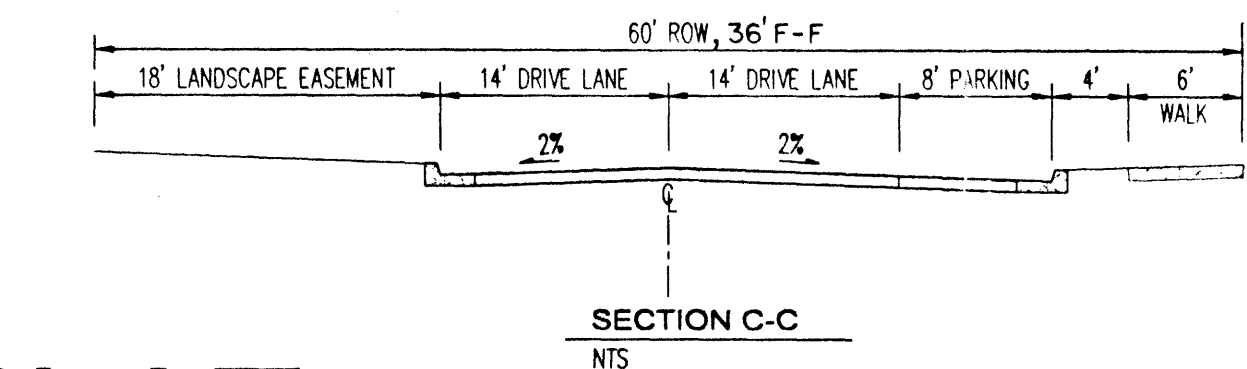
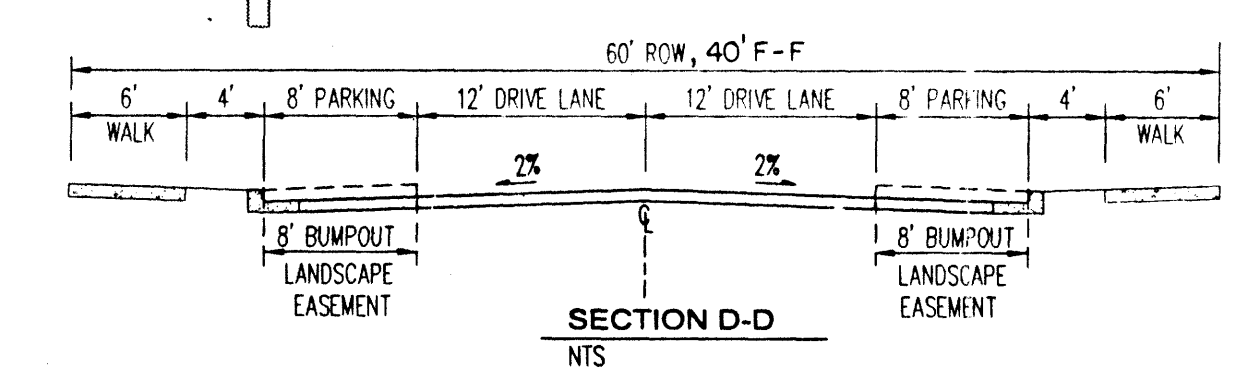
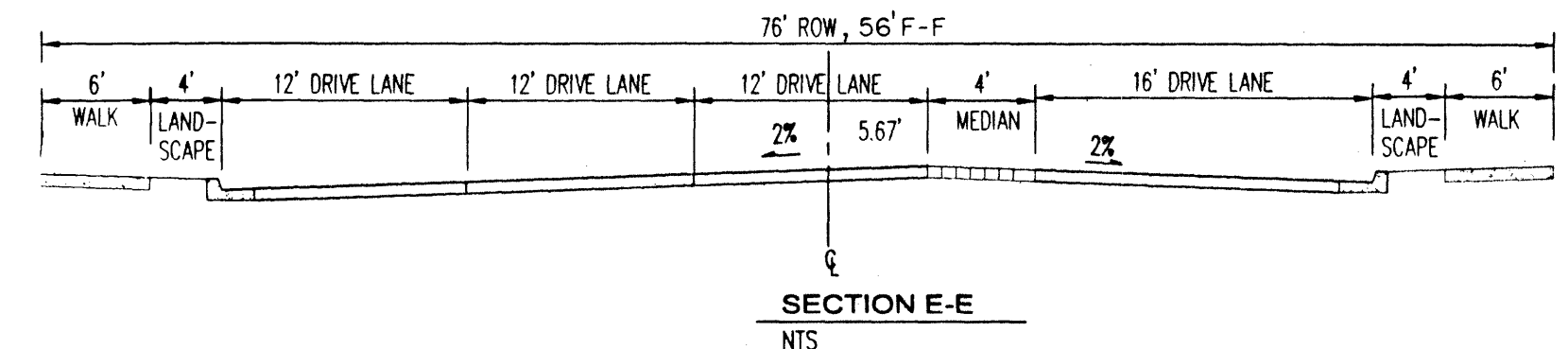
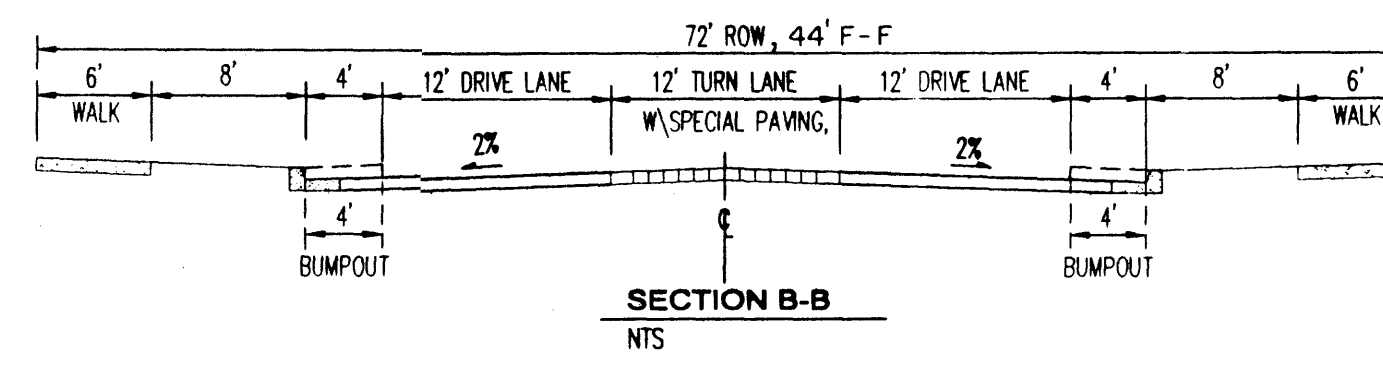
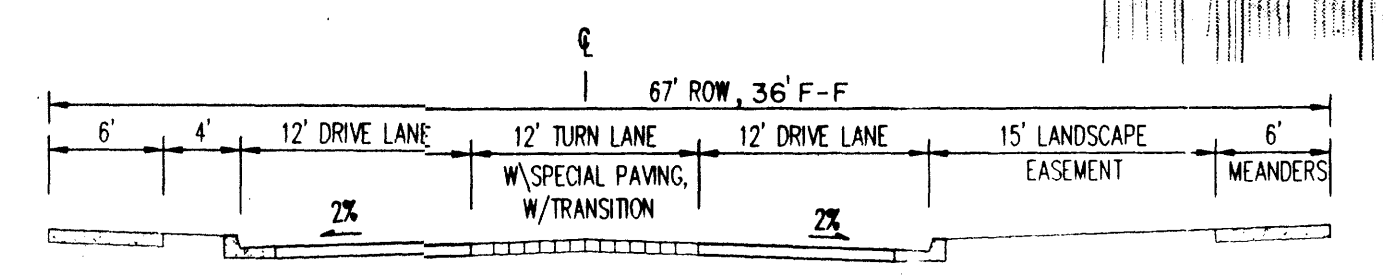
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GEOGRAPHIC POSITION (NAD 1927)  
N.M. STATE PLANE COORDINATES (CENTRAL ZON.)  
X=399,828.26 Y=1,514,860.93  
GROUND TO GRID FACTOR = 0.99966298  
DELTA ALPHA = -00°11'35"  
NGVD 1929 ELEVATION = 5196.73

- SURVEY NOTES:
- ALL BOUNDARY CORNERS ARE MARKED AS SHOWN.
  - STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT SELECTED CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (-) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544"
  - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
  - DISTANCES SHALL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES  
*[Signature]* 8/25/00  
CITY SURVEYOR



TIBURON INVESTMENT CO.  
*[Signature]* 8-24-00  
DICK ELKINS, TREASURER  
TIBURON INVESTMENT CO.



CENTERLINE TANGENT DATA

No.	BEARING	DISTANCE
T1	S 89°40'04"E	1442.32'
T2	S 00°19'57"W	574.18'
T3	S 00°19'59"W	714.30'
T4	S 89°40'04"E	700.41'
T5	S 89°40'04"E	737.28'
T6	S 89°40'04"E	390.23'
T7	S 59°20'37"E	568.21'
T8	N 30°39'23"E	327.53'
T9	S 59°00'27"E	474.09'
T10	N 00°07'39"E	346.83'
T11	N 00°19'56"E	142.89'
T12	N 85°49'20"E	7.13'
T13	S 59°20'37"E	234.60'

CENTERLINE CURVE DATA

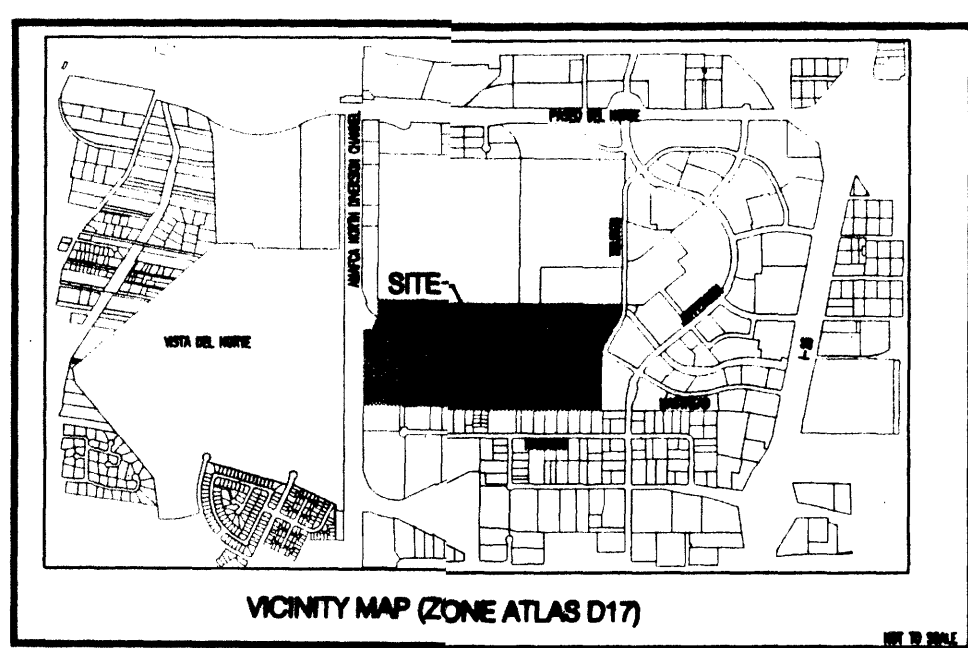
No.	DELTA	TANGENT	ARC	RADIUS
C1	89°59'58"	75.00'	75.00'	117.81'
C2	89°59'57"	75.00'	117.81'	75.00'
C3	13°10'24"	43.88'	87.37'	380.00'
C4	13°10'24"	43.88'	87.37'	380.00'
C5	30°19'27"	102.97'	201.12'	380.00'
C6	22°34'36"	112.71'	222.50'	564.68'
C7	03°31'32"	51.36'	102.68'	1668.66'
C8	17°08'49"	57.29'	113.72'	380.00'
C9	107°28'59"	518.09'	712.85'	380.00'
C10	38°32'41"	132.87'	265.74'	380.00'
C11	24°14'46"	107.40'	214.80'	500.00'
C12	24°14'46"	107.40'	214.80'	500.00'
C13	06°23'13"	44.64'	89.18'	800.00'
C14	06°23'13"	44.64'	89.18'	800.00'

BOUNDARY TANGENT DATA

No.	BEARING	DISTANCE
BT1	S 83°59'21"E	74.17'
BT2	S 76°30'00"E	38.16'
BT3	S 45°45'00"E	49.94'
BT4	S 12°38'45"W	60.00'
BT5	N 89°52'57"W	30.00'

BOUNDARY CURVE DATA

No.	DELTA	TANGENT	ARC	RADIUS
BC1	18°39'37"	82.97'	164.17'	505.00'
BC2	30°45'00"	166.69'	325.34'	606.20'
BC3	20°24'18"	179.57'	355.54'	997.76'
BC4	24°48'20"	87.81'	172.87'	399.30'
BC5	22°34'36"	106.73'	210.68'	534.68'
BC6	11°06'48"	165.26'	329.48'	1679.66'
BC7	79°29'59"	20.79'	34.69'	25.00'
BC8	02°26'01"	12.85'	25.70'	605.04'
BC9	29°29'58"	13.16'	25.74'	50.00'
BC10	52°54'10"	24.88'	46.17'	50.00'



# PRELIMINARY PLAT JOURNAL CENTER- PHASE 2 OFFICE AND OFFICE / WAREHOUSE PROPERTIES

ALBUQUERQUE, NEW MEXICO  
OCTOBER 2000

(REPLAT OF TRACTS 7A-1, 8A, 8F-1, 8G-1, 10-A)

**Bohannon & Huston**

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

BHI JOB NO. 01164

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

COPYRIGHT BOHANNAN HUSTON, INC. 2000

**GENERAL NOTES**

- EXISTING ZONING: IP  
PROPOSED ZONING: IP  
PROPOSED DEVELOPMENT: INDUSTRIAL PARK: OFFICE & OFFICE WAREHOUSE PROPERTIES
- GROSS ACREAGE: 72.19 Acres.  
TOTAL NUMBER OF LOTS: 63 D.U.  
PROPOSED DENSITY: 0.87 D.U./Acre.
- TYPICAL LOT ACREAGE: 4 TYPES  
UNIT 1:  
1-8 0.50-0.79 ACRES  
9-12 4.06-4.80 ACRES  
13 1.1 ACRES  
14-16 1.0 ACRES  
17-2 0.5 ACRES  
UNIT 2:  
1-19 1.0-1.1 ACRES  
20-42 0.5 ACRES
- ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE PUBLIC, AND TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE. WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON THE WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE.
- DEVELOPMENT REQUIREMENTS FOR INDIVIDUAL LOTS INCLUDING SETBACKS, LANDSCAPING, PARKING ECT. SHALL CONFORM TO THE REQUIREMENTS OF THE JOURNAL CENTER MASTER PLAN.
- LANDSCAPING WITHIN R/W WILL BE MAINTAINED SUBJECT TO APPROVAL BY THE CITY OF ALBUQUERQUE.

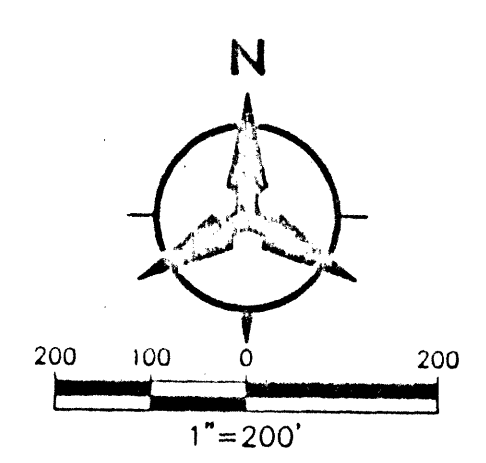
TIBURON INVESTMENT CO.

*Paul Ellman* 8-24-00  
DATE  
DICK ELLMAN, TREASURER  
TIBURON INVESTMENT CO. *Agely* 11-14-00

NCS TRIANGULATION STATION MONUMENT STAMPED "REEVES"  
GEOGRAPHIC POSITION (NAD 1927)  
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)  
X=393,890.55 Y=1,516,528.81  
GROUND TO GRID FACTOR = 0.99967155  
DELTA ALPHA = -00°12'16"  
NGVD 1929 ELEVATION = 5073.27

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- OLD LOT LINE
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- CENTERLINE
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- 4" ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544"
- PHASE BOUNDARY

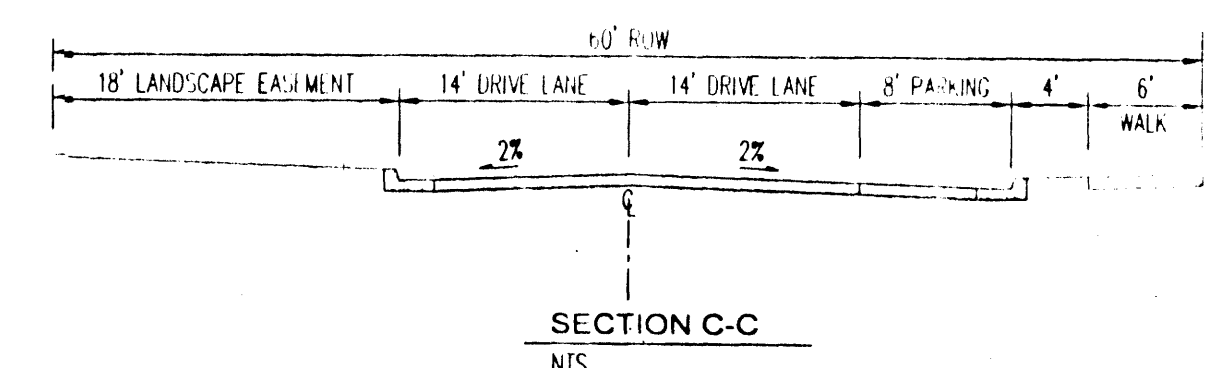
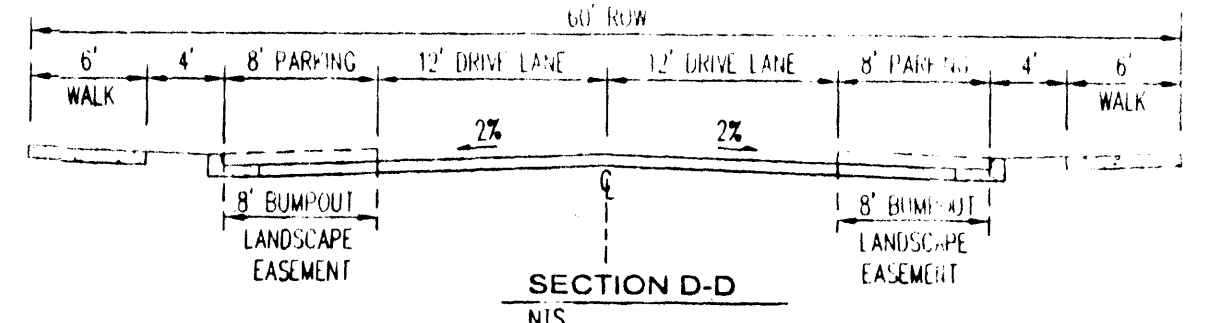
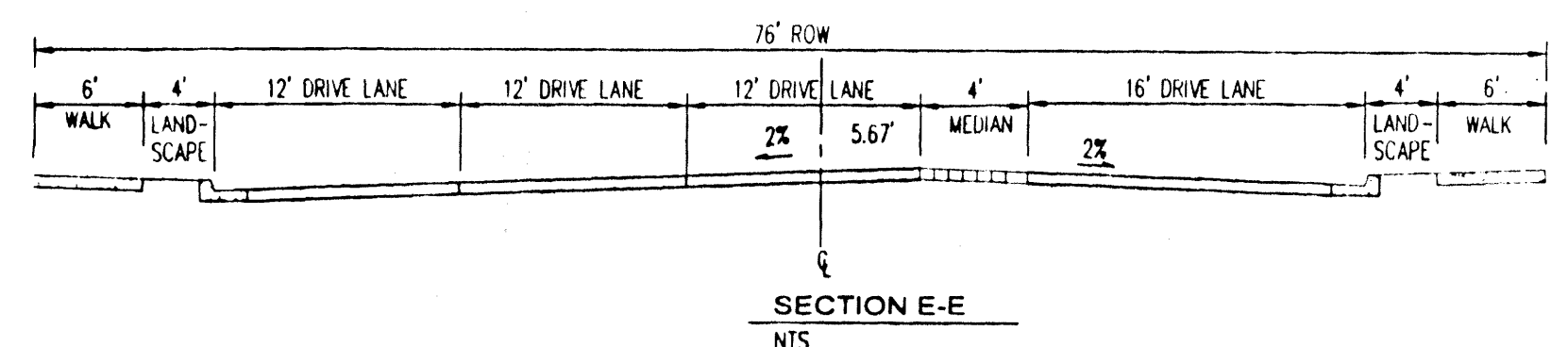
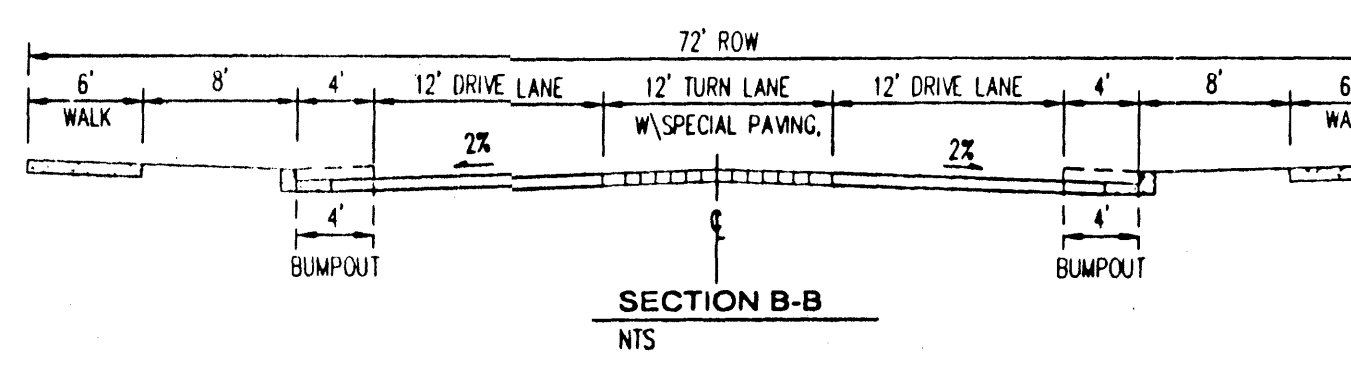
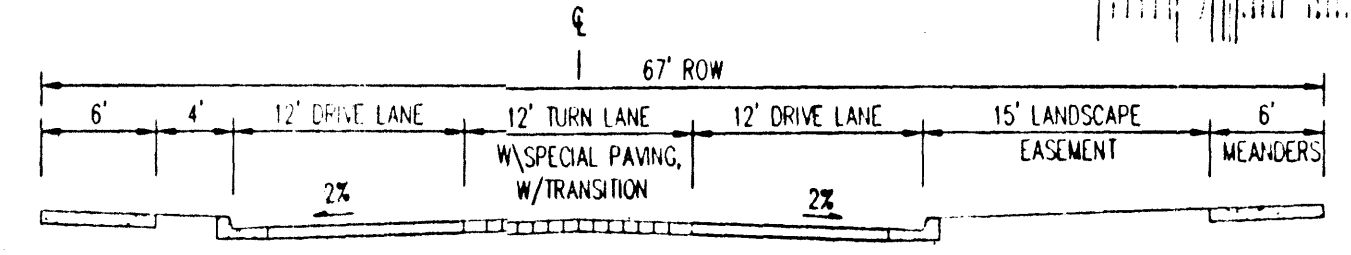
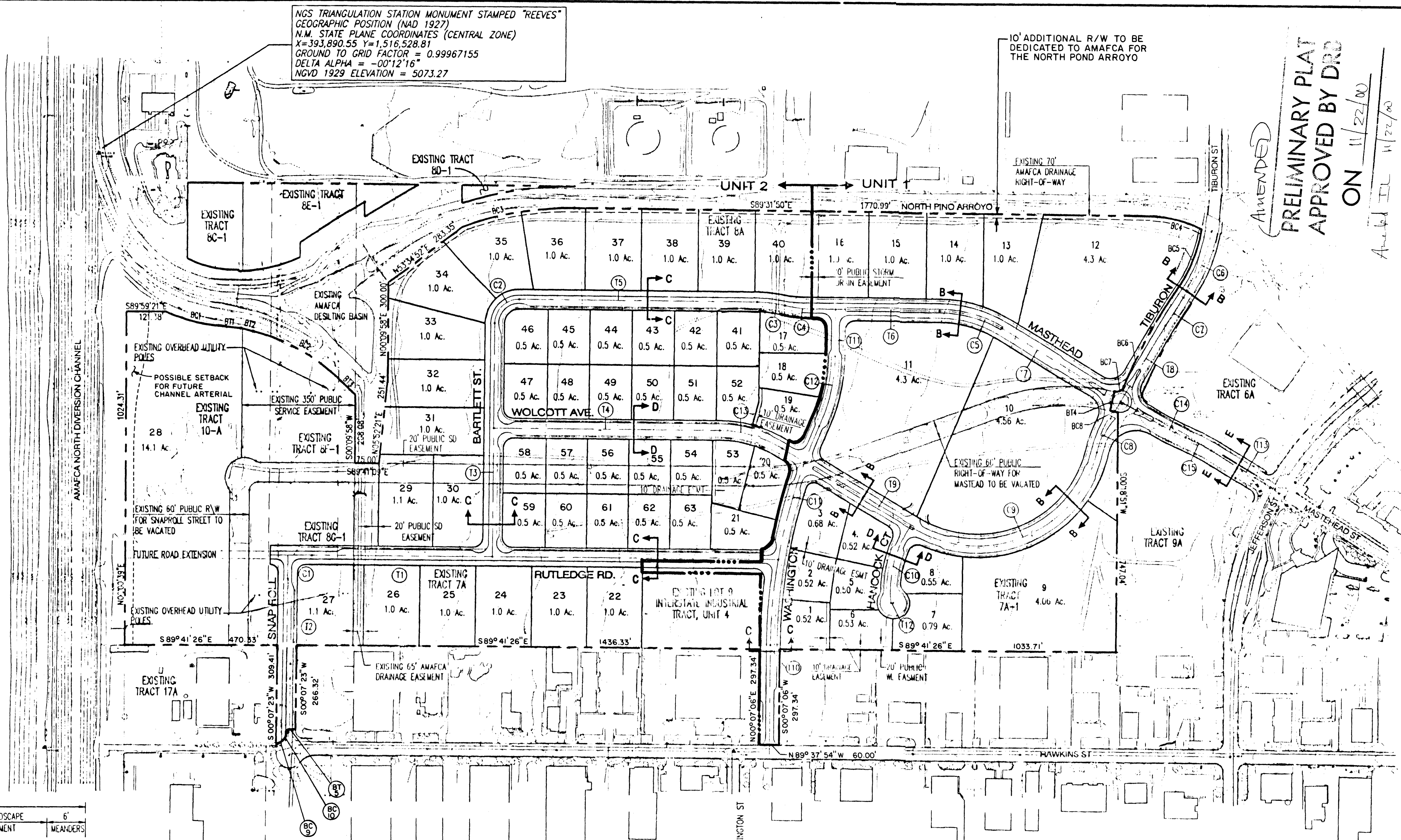


AL'S BRASS TABLE STAMPED "1-25-14, 1969"  
GEOGRAPHIC POSITION (NAD 1927)  
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)  
X=399,829.26 Y=1,514,860.93  
GROUND TO GRID FACTOR = 0.99966298  
DELTA ALPHA = -00°11'35"  
NGVD 1929 ELEVATION = 5146.73

**SURVEY NOTES:**

- ALL BOUNDARY CORNERS ARE MARKED AS SHOWN.
- STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT SELECTED CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (-) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544"
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES  
*John H. Hatt* 8/25/00  
CITY SURVEYOR DATE



**CENTERLINE TANGENT DATA**

No.	BEARING	DISTANCE
T1	S 89°40'04"E	1442.32'
T2	S 00°19'57"W	574.18'
T3	S 00°19'59"W	714.30'
T4	S 89°40'04"E	700.41'
T5	S 89°40'04"E	737.28'
T6	S 89°40'04"E	390.23'
T7	S 59°20'37"E	568.21'
T8	N 30°39'23"E	327.53'
T9	S 59°00'27"E	474.09'
T10	N 00°07'39"E	346.33'
T11	N 00°19'56"E	142.89'
T12	N 85°49'20"E	7.13'
T13	S 59°20'37"E	234.60'

**CENTERLINE CURVE DATA**

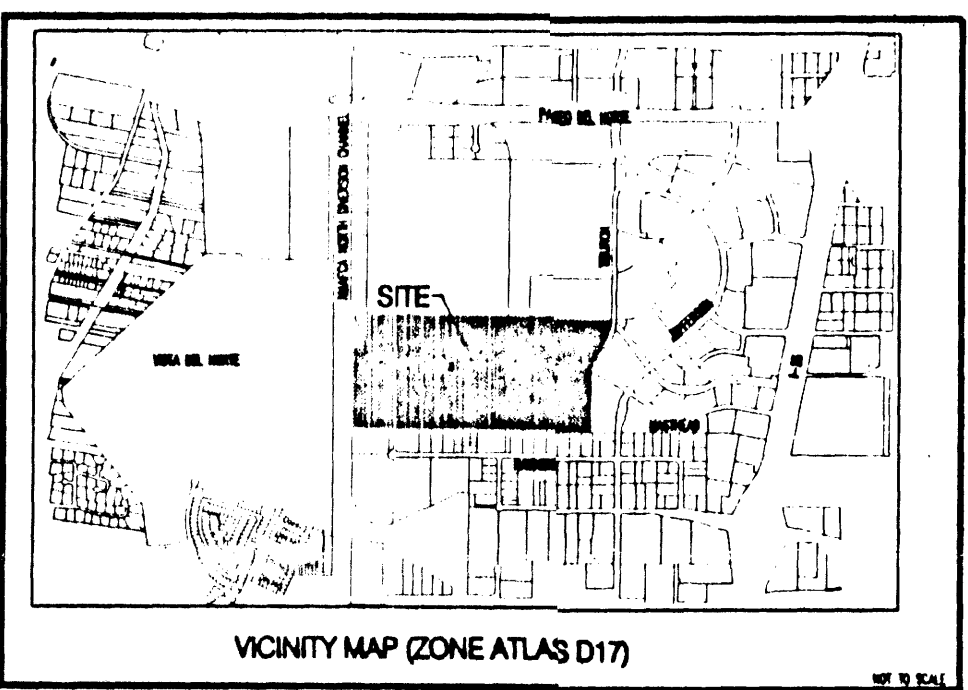
No.	DELTA	TANGENT	ARC	RADIUS
C1	89°59'59"	75.00'	75.00'	117.81'
C2	89°59'57"	75.00'	75.00'	117.81'
C3	131°02'41"	43.88'	87.37'	380.00'
C4	131°02'41"	43.88'	87.37'	380.00'
C5	30°19'27"	102.97'	201.12'	380.00'
C6	22°34'36"	112.71'	222.50'	564.68'
C7	03°31'32"	51.36'	102.68'	1668.66'
C8	17°08'49"	57.29'	113.72'	380.00'
C9	107°28'59"	518.09'	712.85'	380.00'
C10	38°32'41"	132.87'	255.64'	380.00'
C11	24°27'03"	361.55'	712.09'	1668.66'
C12	24°14'46"	107.40'	211.59'	500.00'
C13	30°39'37"	104.17'	203.35'	380.00'
C14	08°21'13"	44.84'	89.18'	800.00'
C14	08°24'47"	44.82'	89.54'	800.00'

**BOUNDARY TANGENT DATA**

No.	BEARING	DISTANCE
B1	S 83°59'21"E	74.17'
B2	S 76°45'00"E	38.16'
B3	S 45°45'00"E	49.94'
B4	S 12°38'46"W	60.00'
B5	N 89°52'37"W	30.00'

**BOUNDARY CURVE DATA**

No.	DELTA	TANGENT	ARC	RADIUS
BC1	18°39'37"	82.97'	164.47'	505.00'
BC2	30°45'00"	166.69'	325.34'	606.20'
BC3	20°24'18"	179.57'	355.34'	997.76'
BC4	24°48'20"	87.81'	172.87'	399.30'
BC5	22°34'36"	106.73'	210.68'	534.68'
BC6	11°08'48"	165.26'	329.48'	1698.66'
BC7	7°29'59"	20.79'	41.59'	25.00'
BC8	02°26'01"	12.85'	25.70'	605.00'
BC9	29°29'58"	13.16'	25.74'	50.00'
BC10	52°54'10"	24.88'	46.17'	50.00'



(AMENDED)  
**PRELIMINARY PLAT**  
**JOURNAL CENTER- PHASE 2**  
**OFFICE AND OFFICE / WAREHOUSE PROPERTIES**

ALBUQUERQUE, NEW MEXICO  
NOVEMBER, 2000

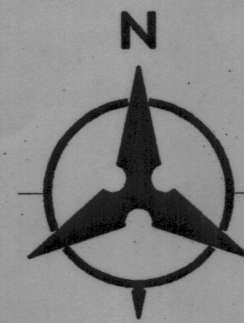
(REPLAT OF TRACTS 7A-1, 8A, 8F-1, 8G-1, 10-A)

**Bohannon-Houston**  
Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

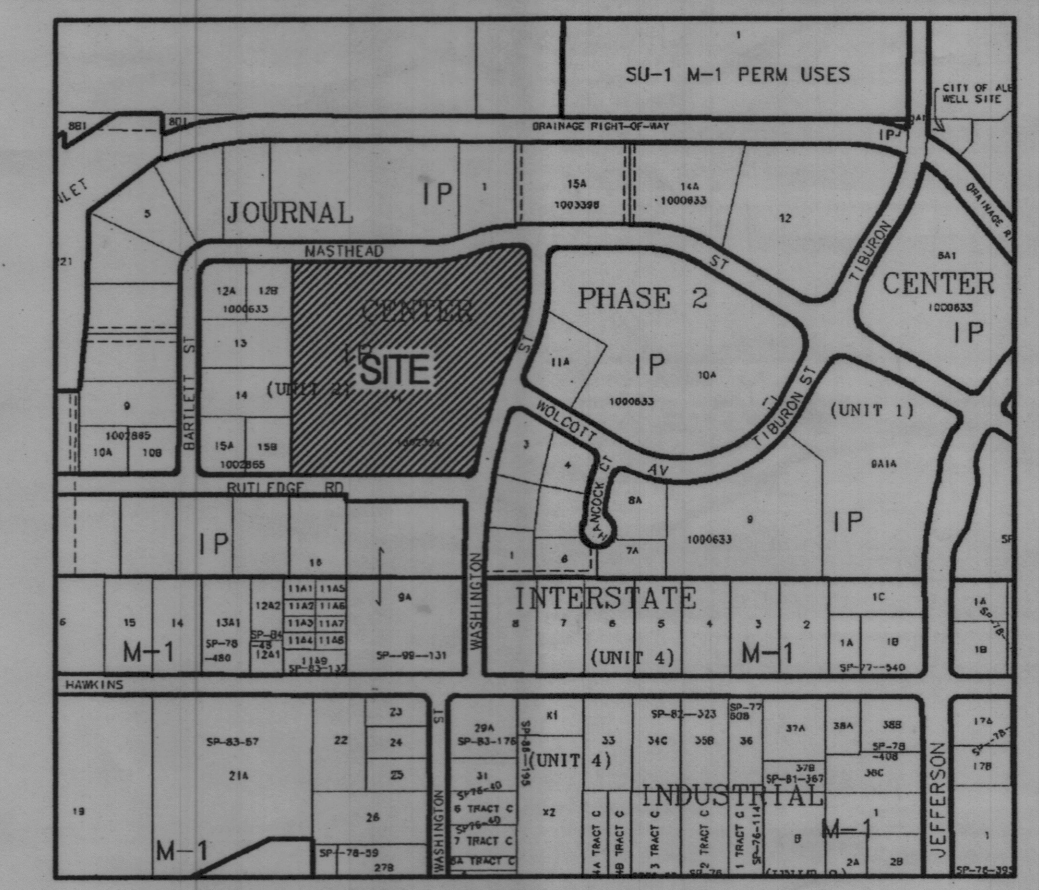
BHI JOB NO. 01164

**GENERAL NOTES**

1. SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
2. UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
3. SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 24' HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.



SCALE: 1"=50'



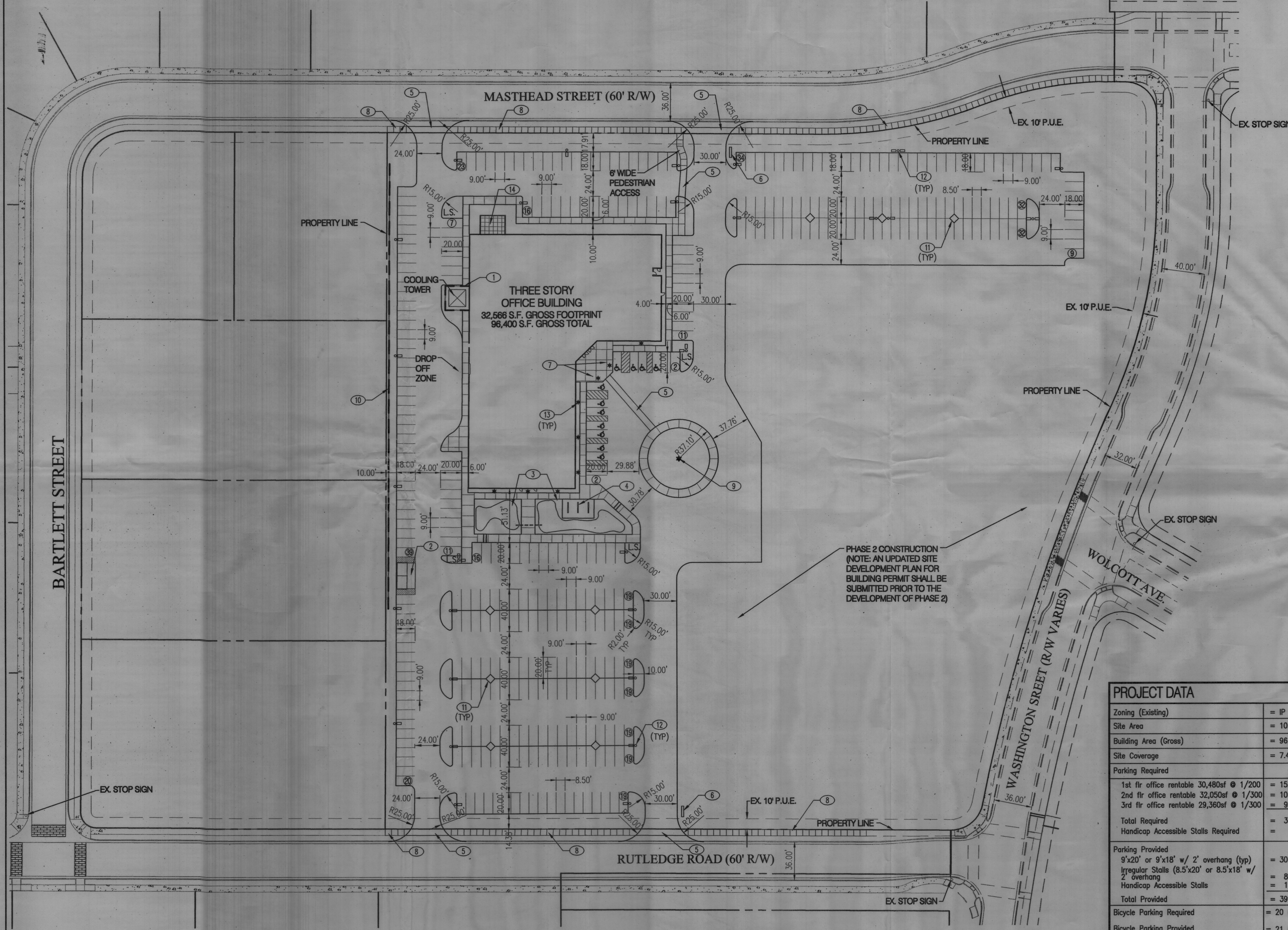
ZONE ATLAS PAGE D-17-Z  
SCALE: 1"=600'

**LEGAL DESCRIPTION**  
TRACT 11 OF JOURNAL CENTER UNIT 2, PHASE 2  
ALBUQUERQUE, NM, MARCH, 2003

**PRELIMINARY PLAT**  
APPROVED BY DRB  
ON 9/14/05

**KEYED NOTES**

1. 6' HIGH MASONRY SCREEN WALL TO MATCH BUILDING.
2. MASONRY REFUSE ENCLOSURE TO MATCH BUILDING. MIN 6' HIGH. SEE DETAIL ON SHEET AS.1
3. WATER HARVESTING AREA
4. BICYCLE PARKING (21 SPACES)
5. 6' WIDE, PIGMENTED CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2% MAX. CROSS SLOPE)
6. MONUMENT SIGN (MAX 60SF, MAX 6' HIGH) SEE DETAILS ON SHEET AS.1
7. FLAG POLE (30' HIGH), TOTAL 2 FLAG POLES ON SITE
8. NEW 6' WIDE SIDEWALK PER COA STD DWG 2430
9. ELK SCULPTURE
10. 3' HIGH MASONRY RETAINING WALL. (SPLIT FACE CONCRETE PER JOURNAL CENTER 2 STDS.)
11. 6'x6' TREE PLANTER (TYP)
12. SITE LIGHTING PER DETAIL ON SHEET C1.1 (TYP)
13. BOLLARD LIGHTING PER DETAIL ON SHEET C1.1
14. FENCED PATIO FOR EMPLOYEES (UNCOVERED)



PHASE 2 CONSTRUCTION  
(NOTE: AN UPDATED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SHALL BE SUBMITTED PRIOR TO THE DEVELOPMENT OF PHASE 2)

**PROJECT DATA**

Zoning (Existing)	= IP
Site Area	= 10,0496 ac.
Building Area (Gross)	= 96,400 sf
Site Coverage	= 7.44% sf
Parking Required	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,360sf @ 1/300	= 97.9
Total Required	= 358
Handicap Accessible Stalls Required	= 12
Parking Provided	
9'x20' or 9'x18' w/ 2' overhang (typ)	= 304
Irregular Stalls (8.5'x20' or 8.5'x18' w/ 2' overhang)	= 83
Handicap Accessible Stalls	= 12
Total Provided	= 399
Bicycle Parking Required	= 20 (1/20 automobile spaces)
Bicycle Parking Provided	= 21 (3 rows of 7 each)

**DRAWING INDEX**

- C1.0 - SITE PLAN
- C1.1 - SITE DETAILS
- L1.0 - LANDSCAPE PLAN
- C2.0 - PRELIMINARY GRADING PLAN
- A2.1 - BUILDING & STRUCTURE ELEVATIONS
- A2.2 - BUILDING & STRUCTURE ELEVATIONS
- AS.1 - REFUSE ENCLOSURE AND MONUMENTAL SIGN DETAILS
- C3.0 - CONCEPTUAL UTILITY PLAN

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
Water Utility Department	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date 8/19/05
DRB Chairperson, Planning Department	Date _____

**Bohannon & Huston**  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
505-255-6400 505-268-6954 FAX  
WWW.NCA-ARCHITECTS.COM



1306 RIO GRANDE BLVD NW  
ALBUQUERQUE, NM 87104  
505-255-6400 505-268-6954 FAX  
WWW.NCA-ARCHITECTS.COM

ARCHITECT  
CONSULTANT

PROJECT TITLE

NEW MEXICO  
ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES

US FOREST SERVICE  
ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Site Plan

REVISIONS

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:  
RWB JTW

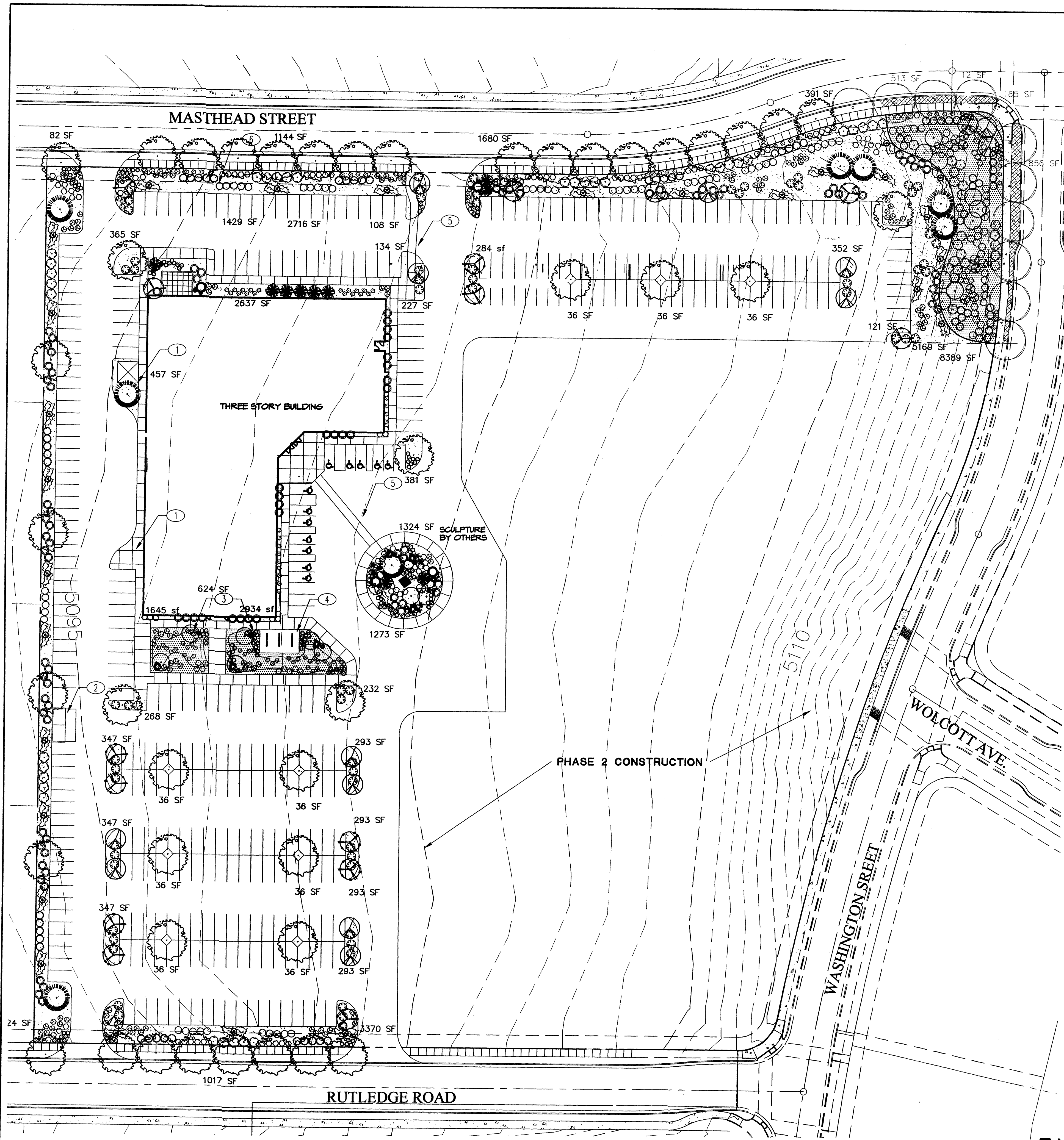
JOB NUMBER:  
A462

DATE:  
AUGUST 19, 2005

SHEET NO  
**C1.0**

N:\c\p\Forest Service\general\Site Development Plan.dwg, Layout1  
August 19, 2005 - 8:15am





**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

At the time common area irrigation is connected to common area irrigation system you must contact Investment LLC.

**PLANT LEGEND**

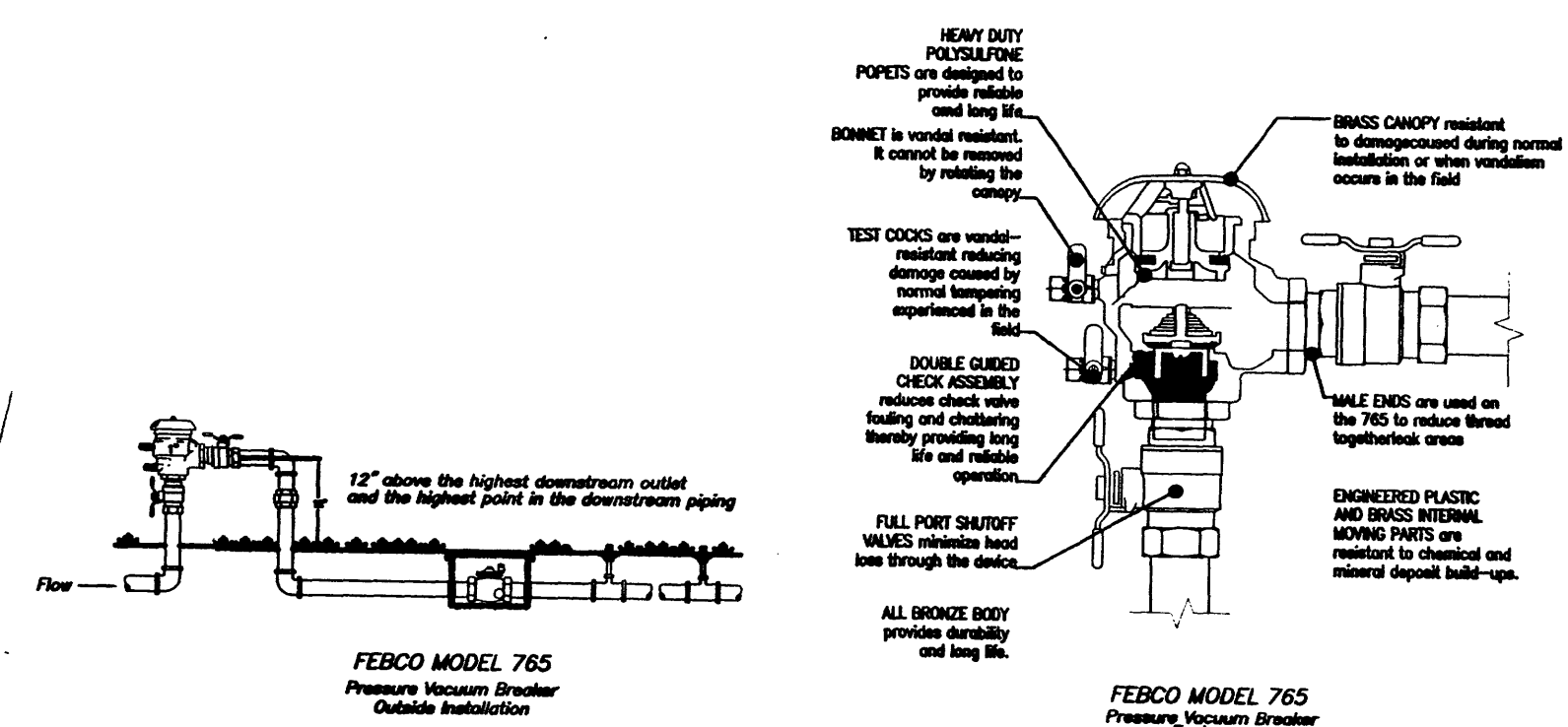
- EXISTING BERINDA ASH
- BERINDA ASH (H) 43  
Fraxinus spp.  
2" Cal.
- CHINESE PISTACHE (M) 14  
Pistachia chinensis  
2" Cal.
- REDBUD (M) 16  
Cercis reniformis  
2" Cal.
- AUSTRIAN PINE (M) 8  
Pinus nigra  
6"-8"
- THORNLESS HAWTHORN (M) 17  
Crataegus crus-galli inermis  
15 Gal. 225sf
- SOTOL 10  
Dasylirion wheeleri  
5 Gal. 36sf
- MUGO PINE (M) 4  
Pinus mugo  
5 Gal. 36sf
- CURLLEAF MTN MAHOGANY (L) 57  
Carpinus ledifolius  
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 74  
Rhus trilobata  
5 Gal. 36sf
- FOUNTAIN GRASS (M) 10  
Festucetum spp.  
1 Gal. 16sf
- APACHE PLUME (L) 85  
Fallugia paradoxa  
5 Gal. 25sf
- THREADGRASS (M) 143  
Stipa tenuissima  
1 Gal. 4sf
- AUTUMN SAGE (M) 130  
Salvia greggii  
5 Gal. 4sf
- LAVENDER (M) 150  
Lavandula angustifolia  
1 Gal. 9sf
- ARP ROSEMARY (M) 102  
Rosmarinus officinalis  
5 Gal. 36sf
- POWIS CASTLE SAGE (L) 10  
Artemisia x powis castle  
5 Gal. 25sf
- WINTER JASMINE (L) 69  
Jasminum nudiflorum  
5 Gal. 144sf
- WILDFLOWER 99  
1 Gal. 4sf
- GREYLEAF COTONEASTER 84  
Cotoneaster buxifolius  
5 Gal. 81sf

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	244191	square feet
TOTAL BUILDINGS AREA	32190	square feet
OFFSITE AREA	2906	square feet
NET LOT AREA	214095	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	32114	square feet

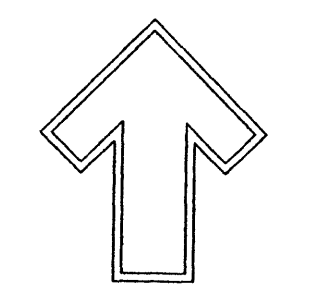
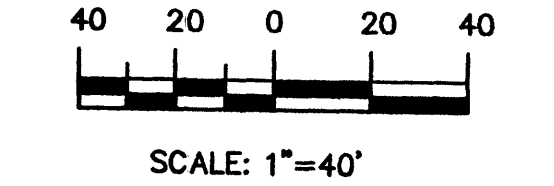
TOTAL BED PROVIDED	49584	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	31191	square feet
TOTAL GROUND COVER PROVIDED	39000 (74%)	square feet

TOTAL EXISTING LANDSCAPE	1546	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	49584	square feet



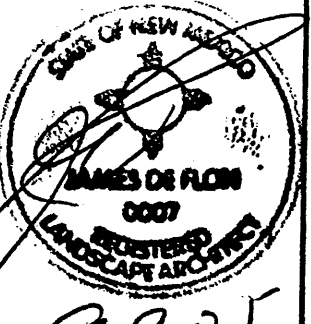
**BACKFLOW PREVENTER DETAIL**

**GRAPHIC SCALE**



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
emd@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

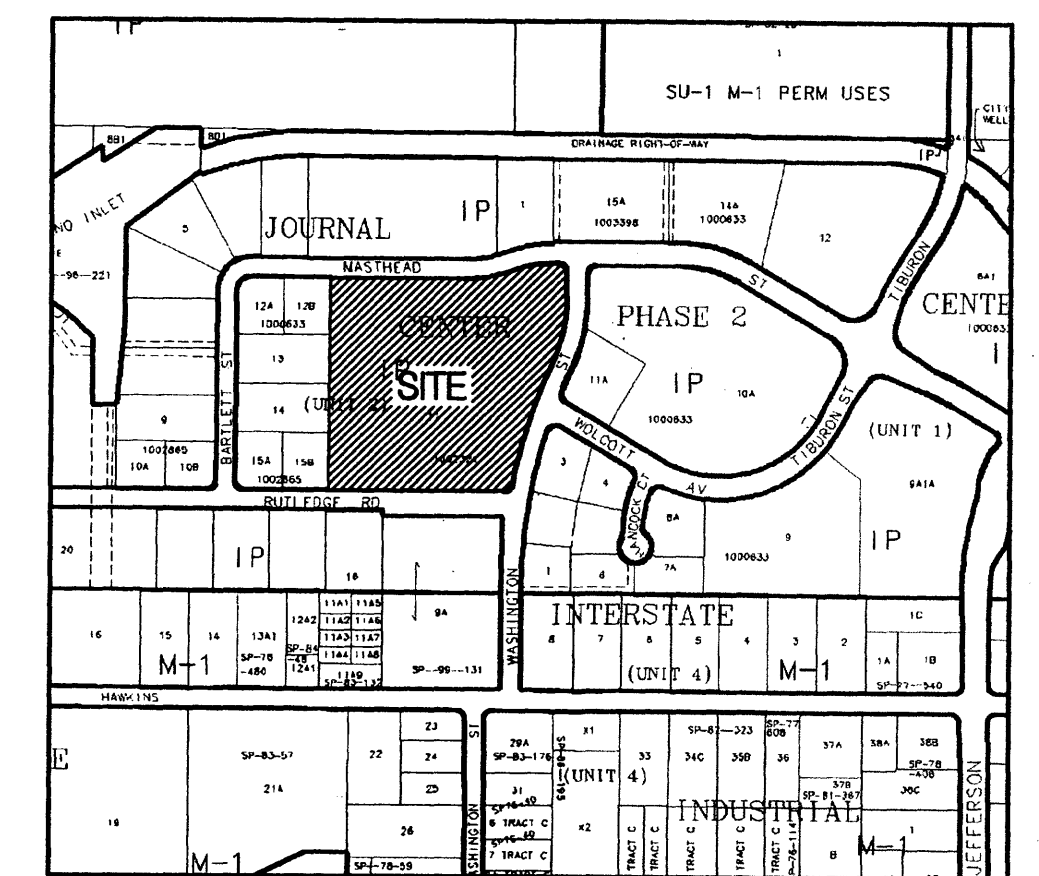
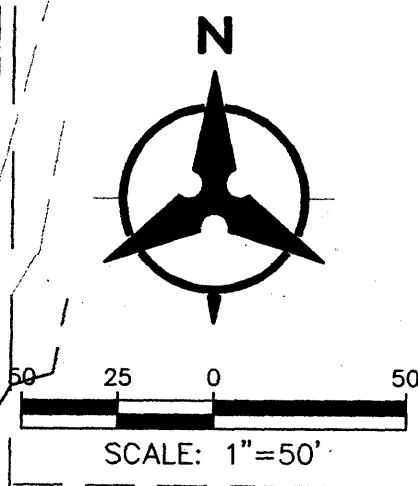
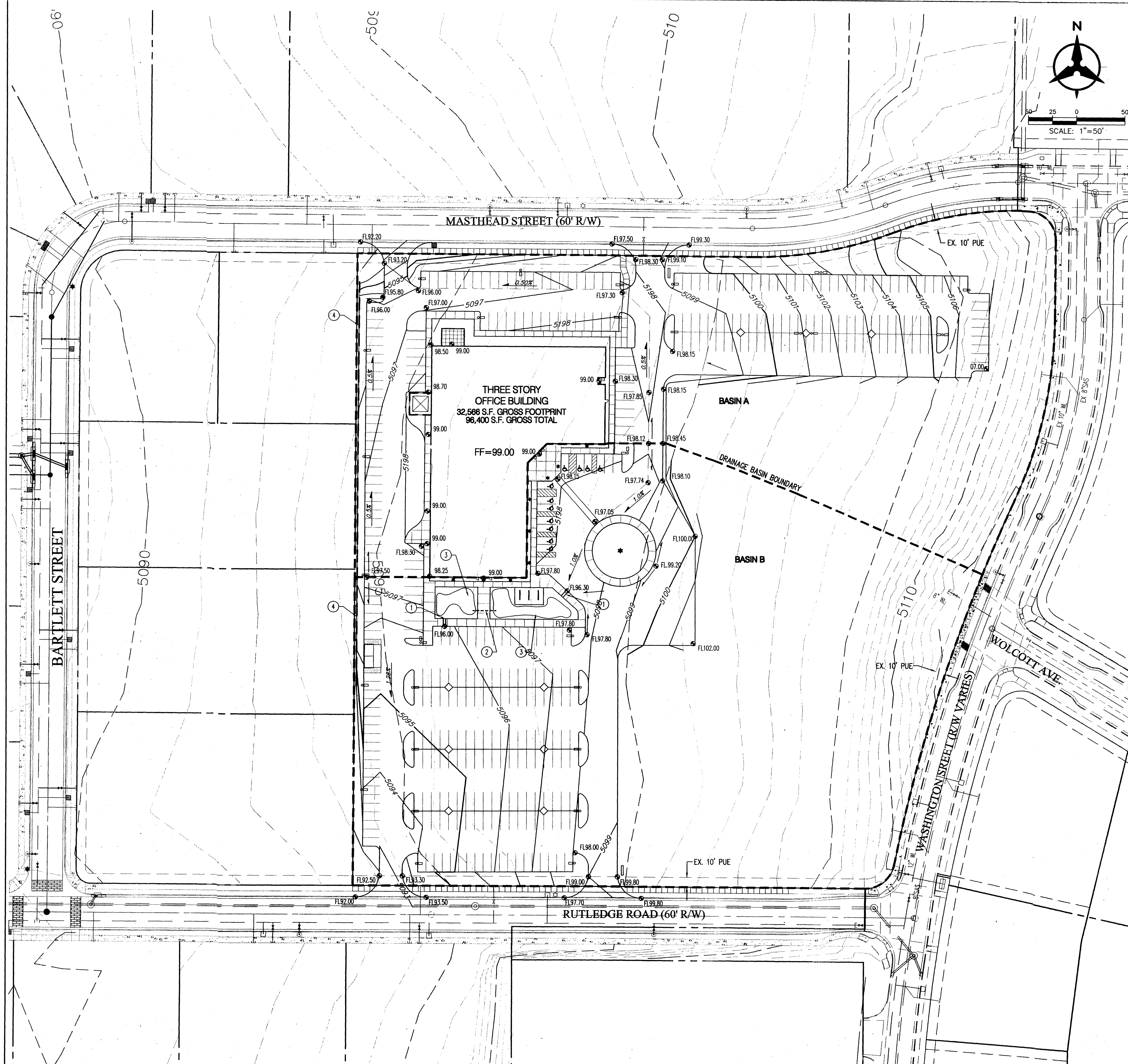
USDA FOREST SERVICE  
JOURNAL CENTER II  
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are protected by copyright laws. This is a working drawing. No part of this drawing or any part of the information contained herein shall be copied, reproduced, or otherwise used in any way without the prior written consent of The Hilltop Landscape Architects.

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: [blank]  
REVISION: 1  
DATE: 8-17-05

SHEET #  
L1 of L1



ZONE ATLAS PAGE D-17-Z

- LEGEND**
- PROPERTY LINE
  - - - - - 5040 - - - - - EXISTING CONTOUR
  - - - - - 35 - - - - - PROPOSED INDEX CONTOUR
  - - - - - 32 - - - - - PROPOSED INTERMEDIATE CONTOUR
  - ⊕ 32.40 - - - - - EXISTING SPOT ELEVATION
  - ⊙ 32.40 - - - - - PROPOSED SPOT ELEVATION
  - FL = FLOWLINE
  - TS = TOP OF SIDEWALK
  - FGH = FINISHED GROUND HIGH SIDE
  - FL = FINISHED GROUND LOW SIDE
  - DIRECTION OF FLOW
  - ▲ SLOPE SYMBOL

- KEYED NOTES**
1. 24" SIDEWALK CULVERT
  2. 6" PVC CULVERT UNDER SIDEWALK
  3. WATER HARVESTING AREA
  4. 3' HIGH ± MASONRY RETAINING WALL. SEE DETAIL SHEET C1.1

**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
 The purpose of this submittal is to provide a conceptual Drainage Management Plan for development of the new US Forest Service building located in the Journal Center, Phase 2, Unit 2, Lot 11 in NE Albuquerque.

**II. SITE LOCATION**  
 The site is currently legally described as, Journal Center, Phase 2, Unit 2, Lot 11 (4/- 10.0 acres). The site is located within zone atlas map #M-21, and is in hydrologic zone 2. The site is located at the southwest corner of Masthead and Washington, just west of Jefferson.

**III. EXISTING HYDROLOGIC CONDITIONS**  
 Currently the site is undeveloped land. The surrounding streets and infrastructure are in place. The site drains from east to west in a sheet flow condition. Per the approved Drainage Plan of Journal Center - Phase 2 located in file number D17/D3AA, this site has been approved as a fully developed site and can drain to both Masthead and Rutledge via the driveways. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
 The proposed conditions for the US Forest Service Building are shown on this Conceptual Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event. The site (4/- 10.0 acres) will generate a total of 44.44 cfs under newly developed conditions and consists of approximately 85% D land treatment. Flows will be conveyed to Masthead and Rutledge by surface and curb and gutters. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North Pino Arroyo, and then to the AMAFCA North Diversion Channel.

**V. PHASING**  
 The subject site will be developed in two phases, with only Phase 1 being planned at this time. Although Phase 2 is not shown on this plan, the above calculations allow for the fully developed flows of Phase 2 to drain from the site. Prior to the development of Phase 2, an updated Drainage Management Plan must be submitted to the City for review and approval. Phase 2 development will have to consider full build-out of the site and will need to consider the drainage basins draining to both Masthead and Rutledge to minimize impacts to the depth of flow in the roadways.

**VI. CONCLUSION**  
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved master drainage plan for Journal Center, Phase 2. With this submittal we are requesting conceptual grading and drainage plan approval for the Site Development Plan for Building Permit and Rough Grading Permit.

**US FOREST SERVICE BUILDING**  
 Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone 2

BASIN ID	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WTE (inches)	V(100) <sub>800</sub> (CF)	V(100) <sub>1440</sub> (CF)
			A	B	C	D					
PROPOSED CONDITIONS											
A	20000	4.59	0.0%	5.0%	10.0%	85.0%	4.42	20.31	7.95	32567	39083
B	237708	5.46	0.0%	5.0%	10.0%	85.0%	4.42	24.14	1.95	38707	46452
TOTAL	437708	10.05	-	-	-	-	4.42	44.44	3.91	71273.45	71273

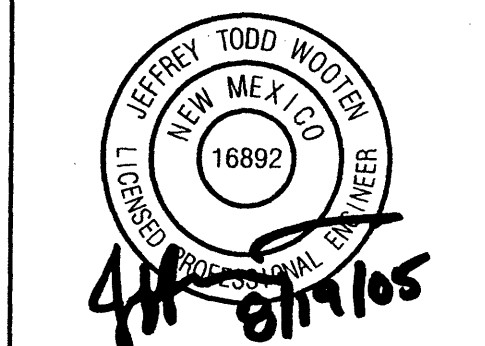
**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**NCA**  
 ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW  
 ALBUQUERQUE, NM 87104  
 505-255-6400 505-268-6954 FAX  
 WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT



PROJECT TITLE

**US FOREST SERVICE**  
**ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES**  
 ALBUQUERQUE  
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Grading Plan**  
 NEW MEXICO

REVISIONS

MK DATE DESCRIPTION  
 DRAWN BY: CHECKED BY:  
 RWB JTW

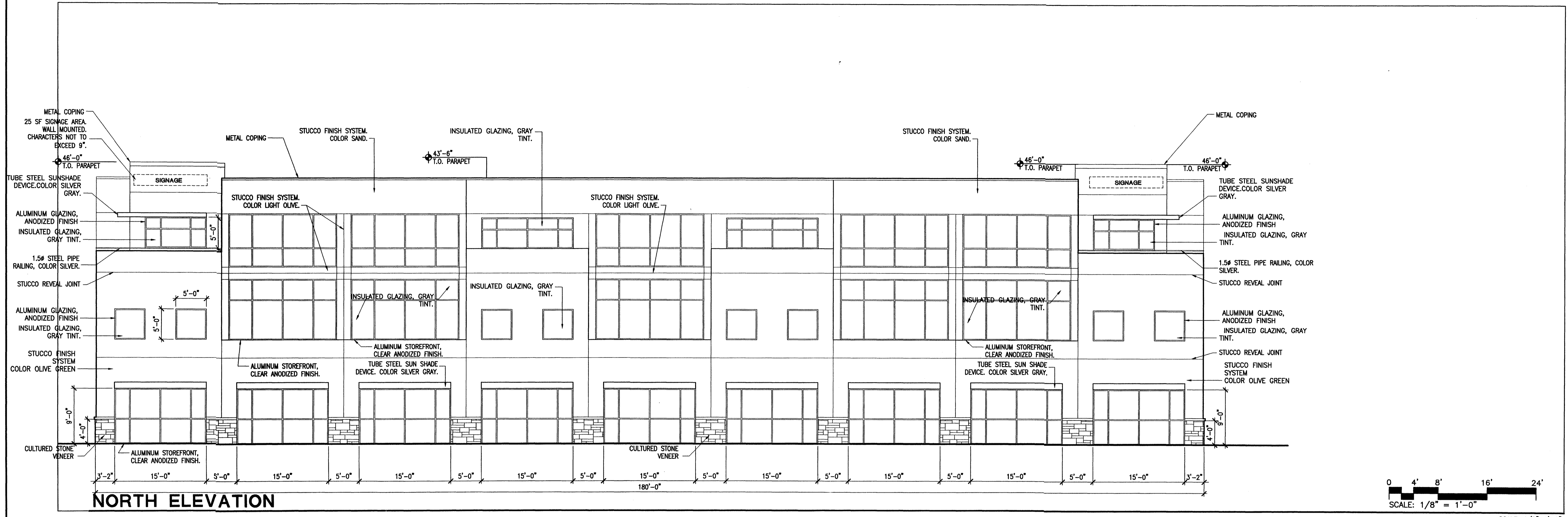
JOB NUMBER:  
 A462

DATE:  
 AUGUST 19, 2005  
 SHEET NO

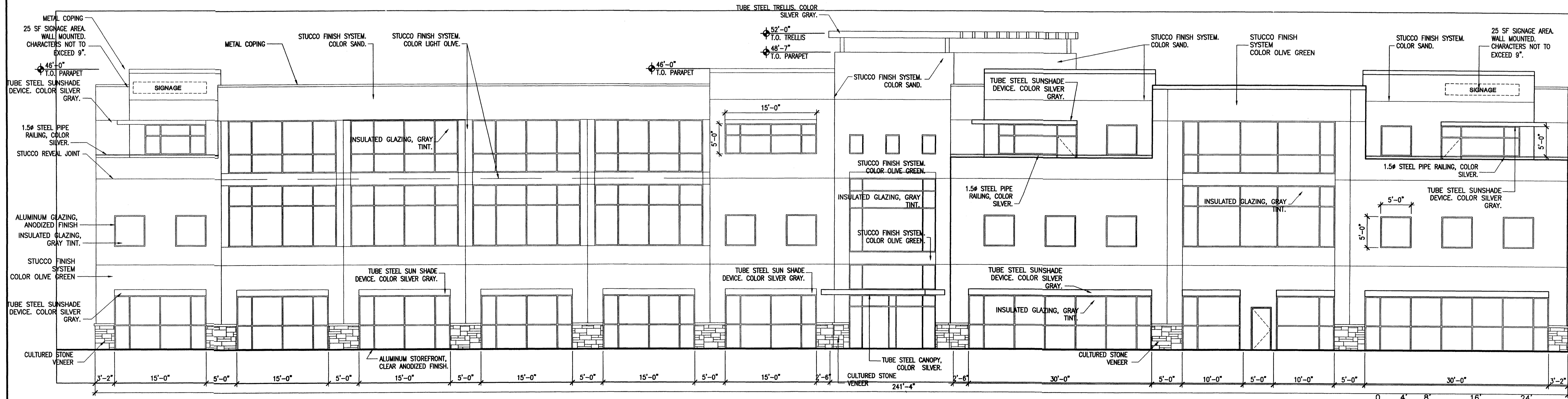
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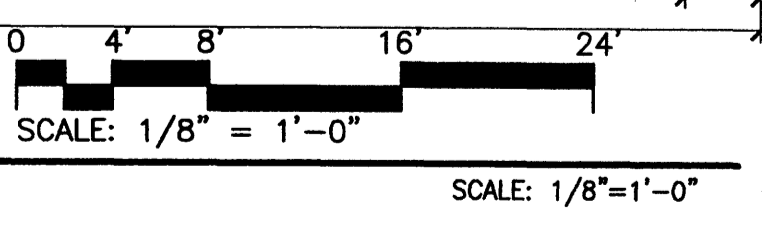


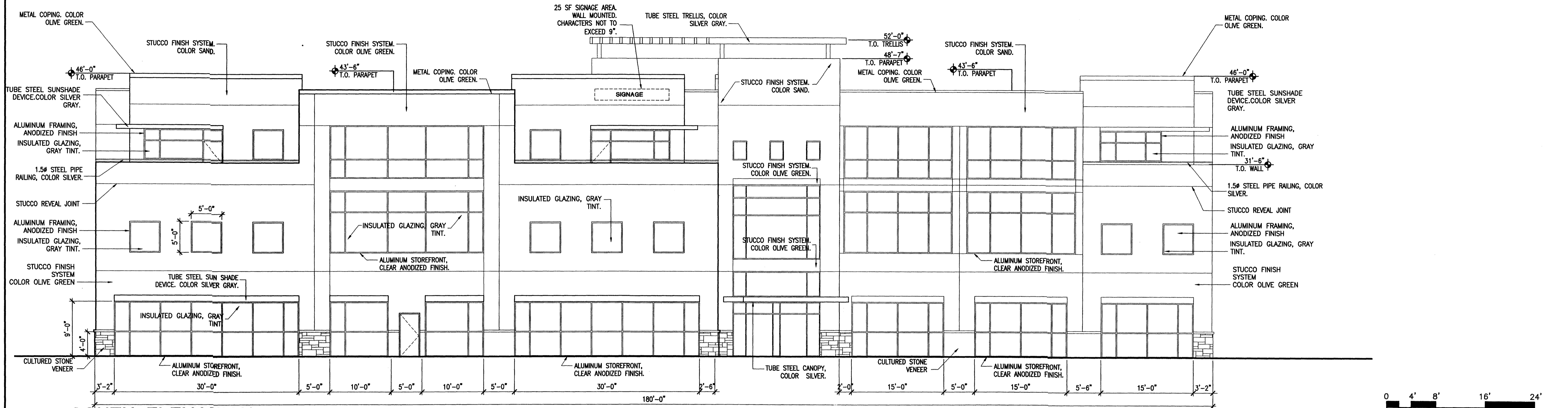


**NORTH ELEVATION**

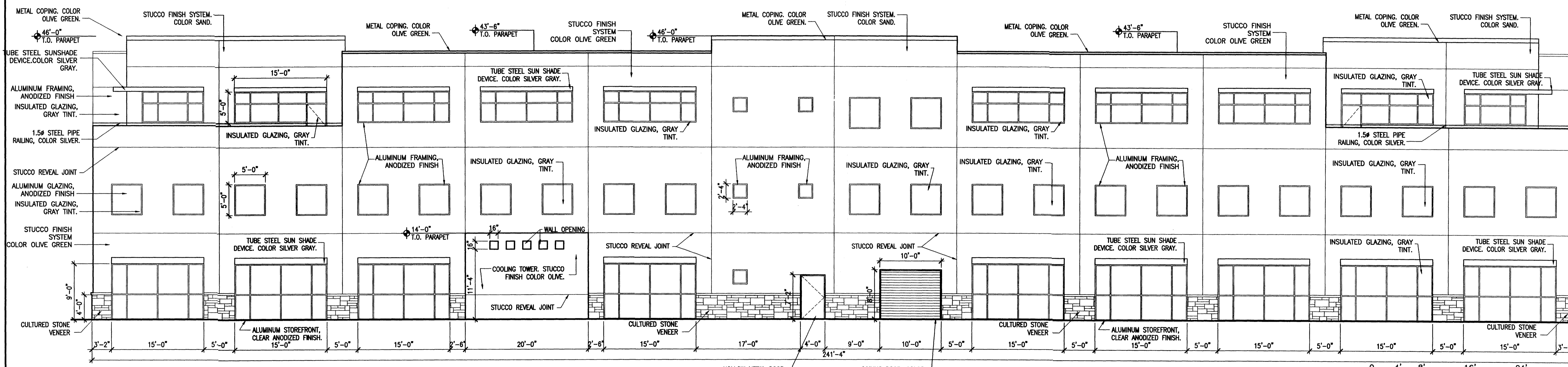


**EAST ELEVATION**

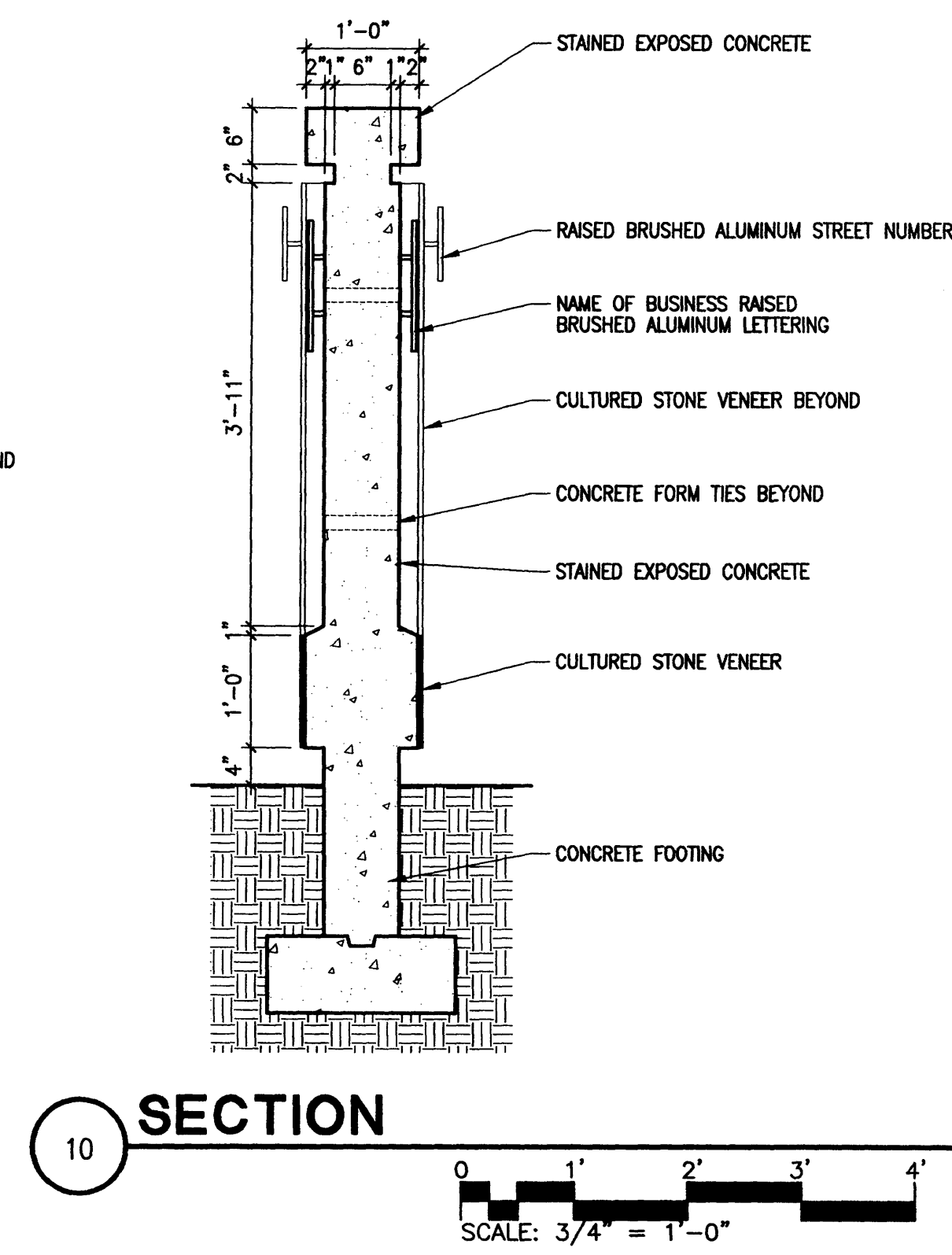
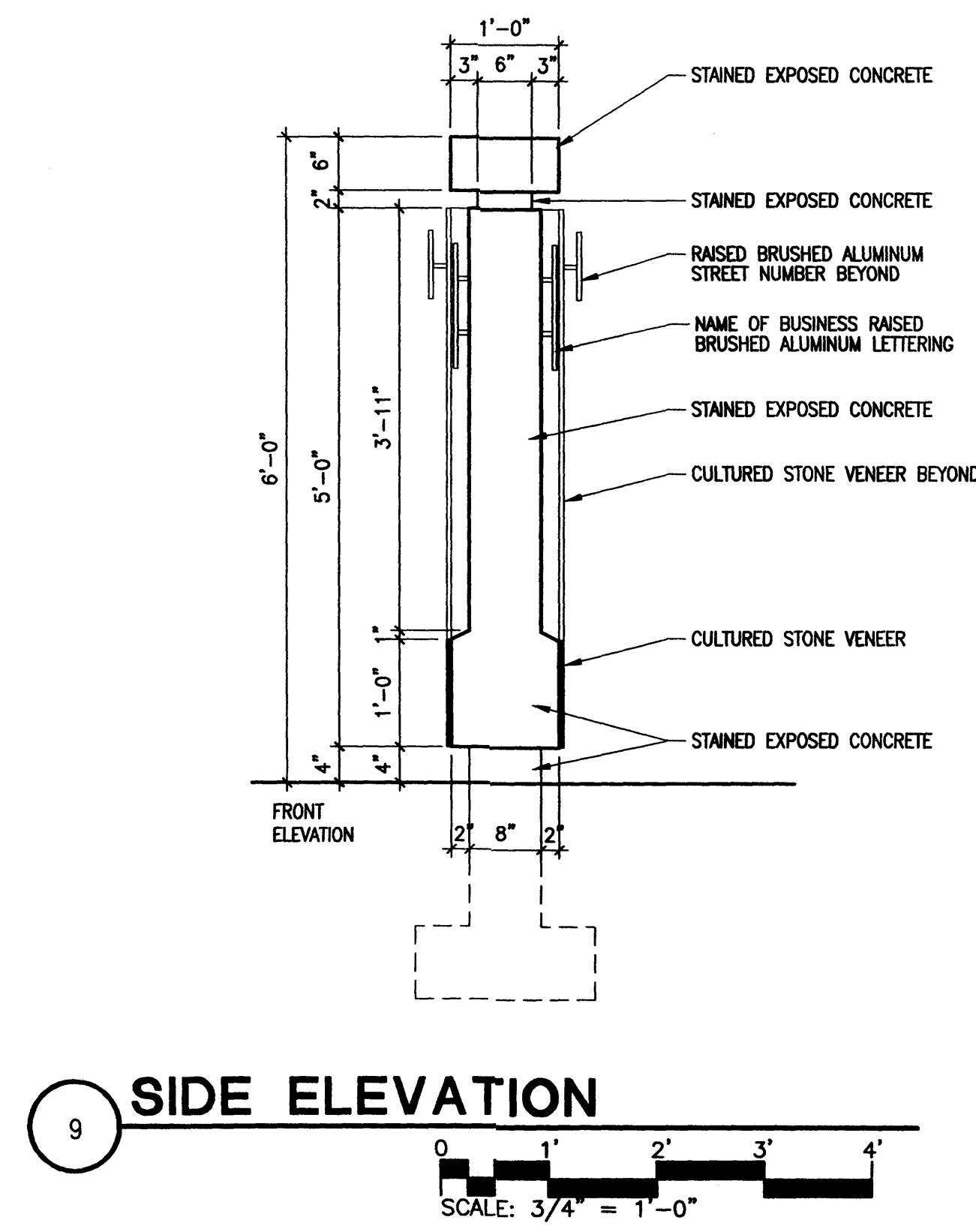
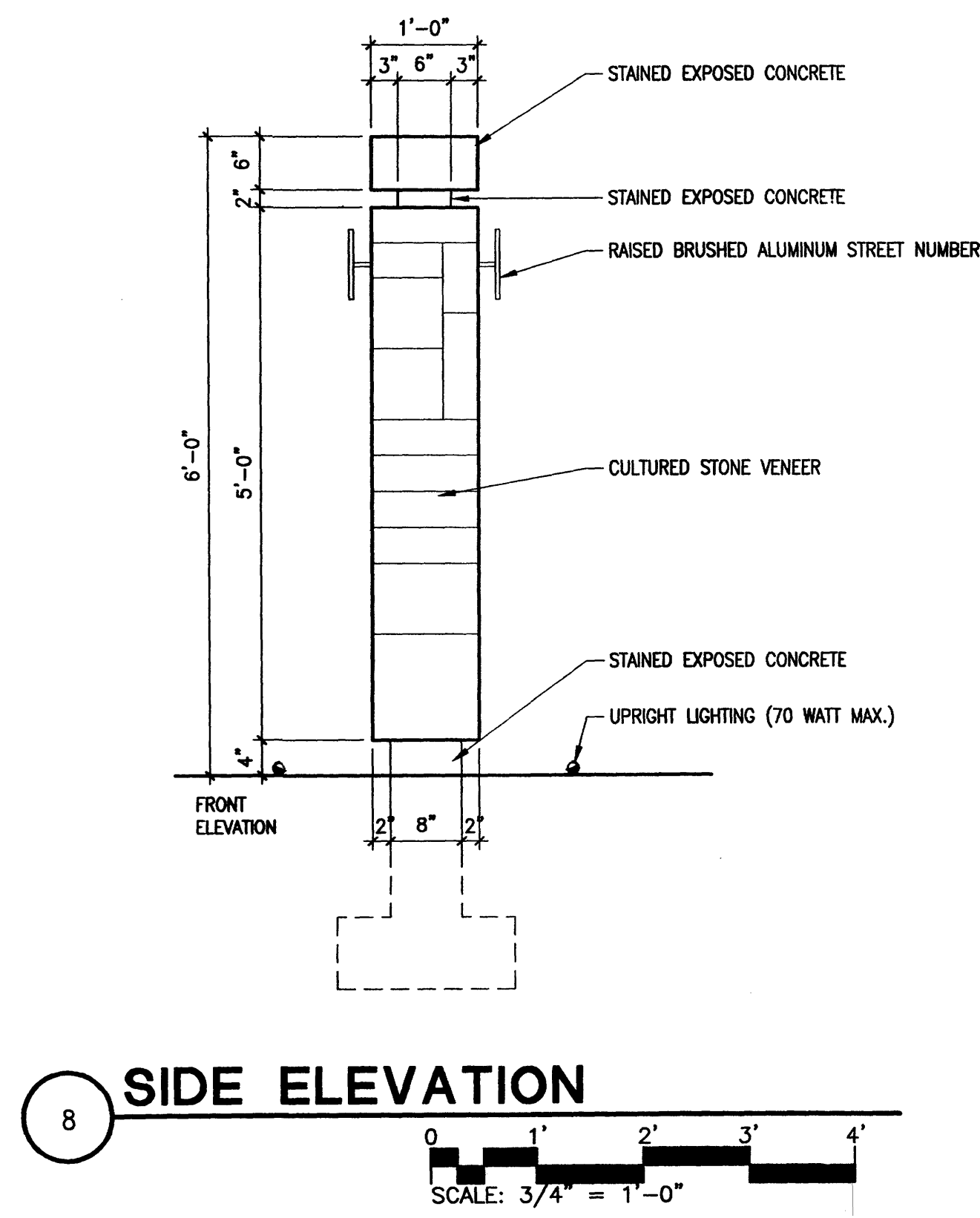
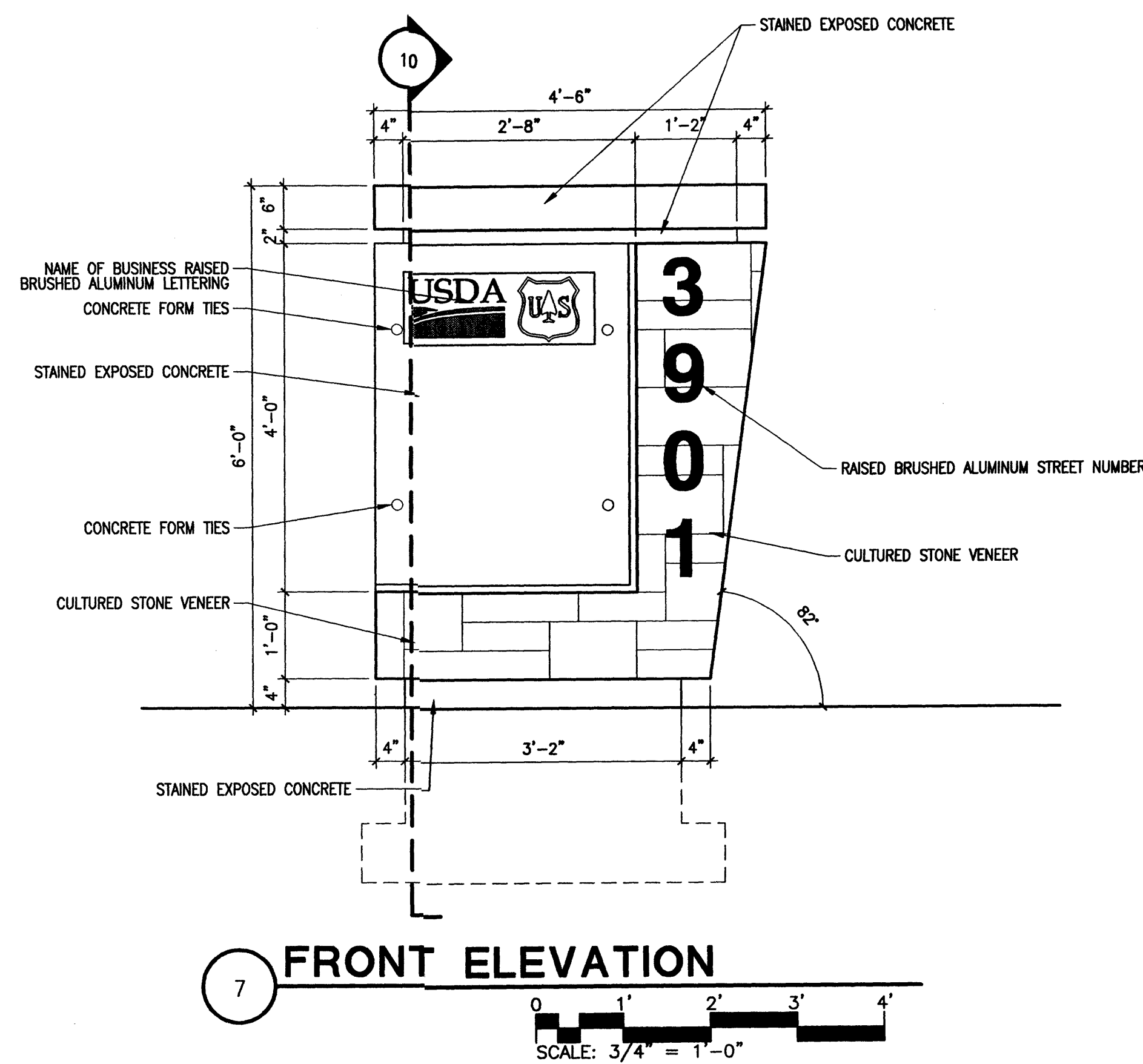
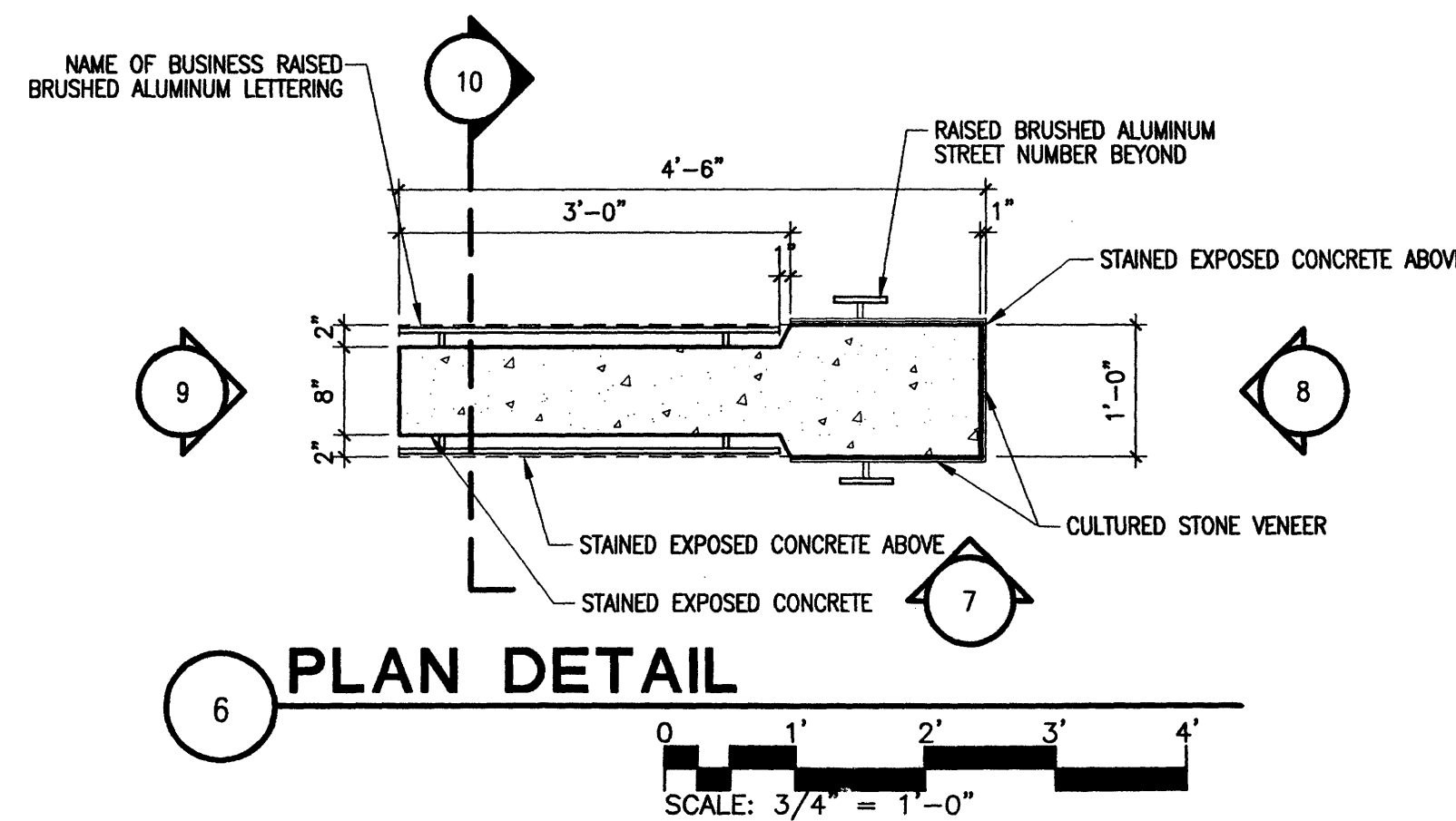
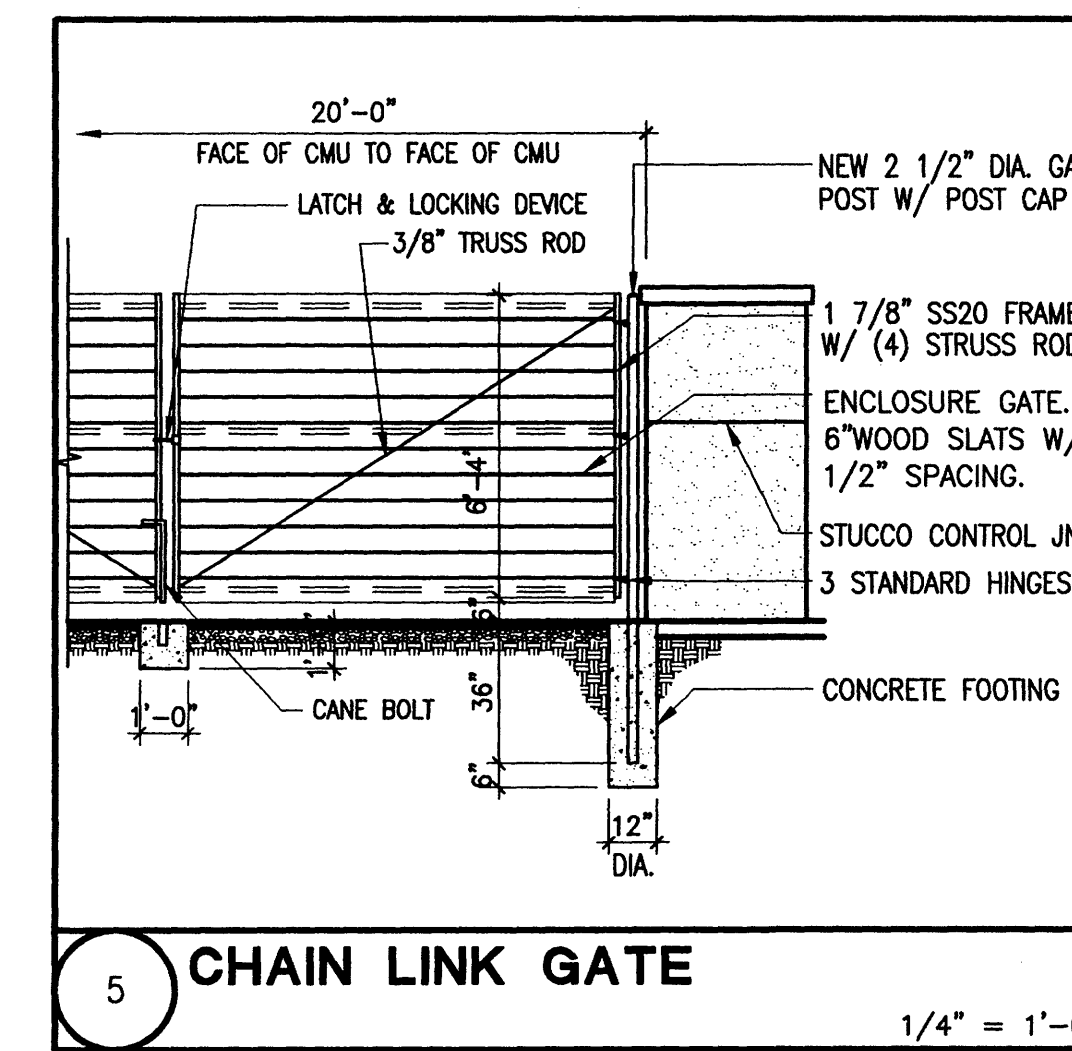
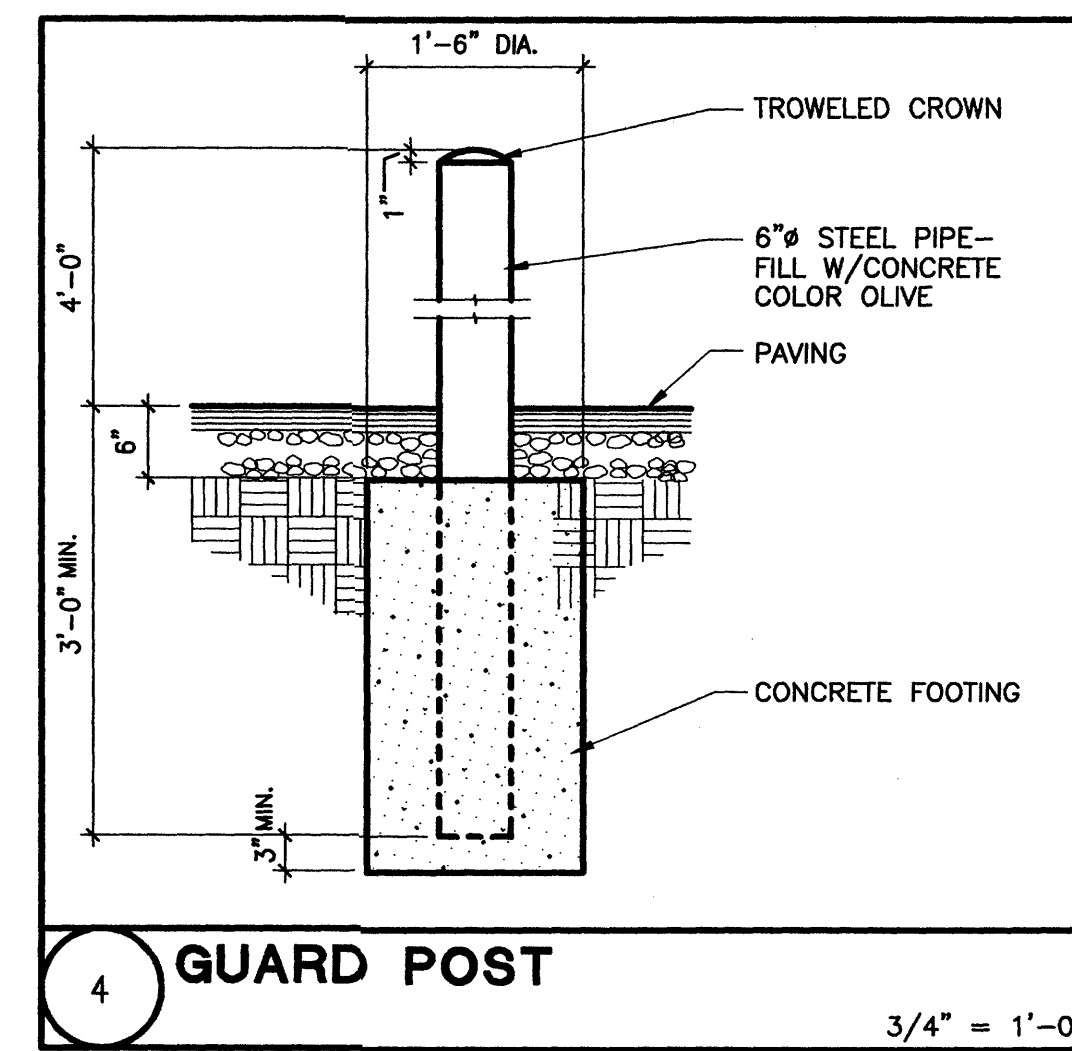
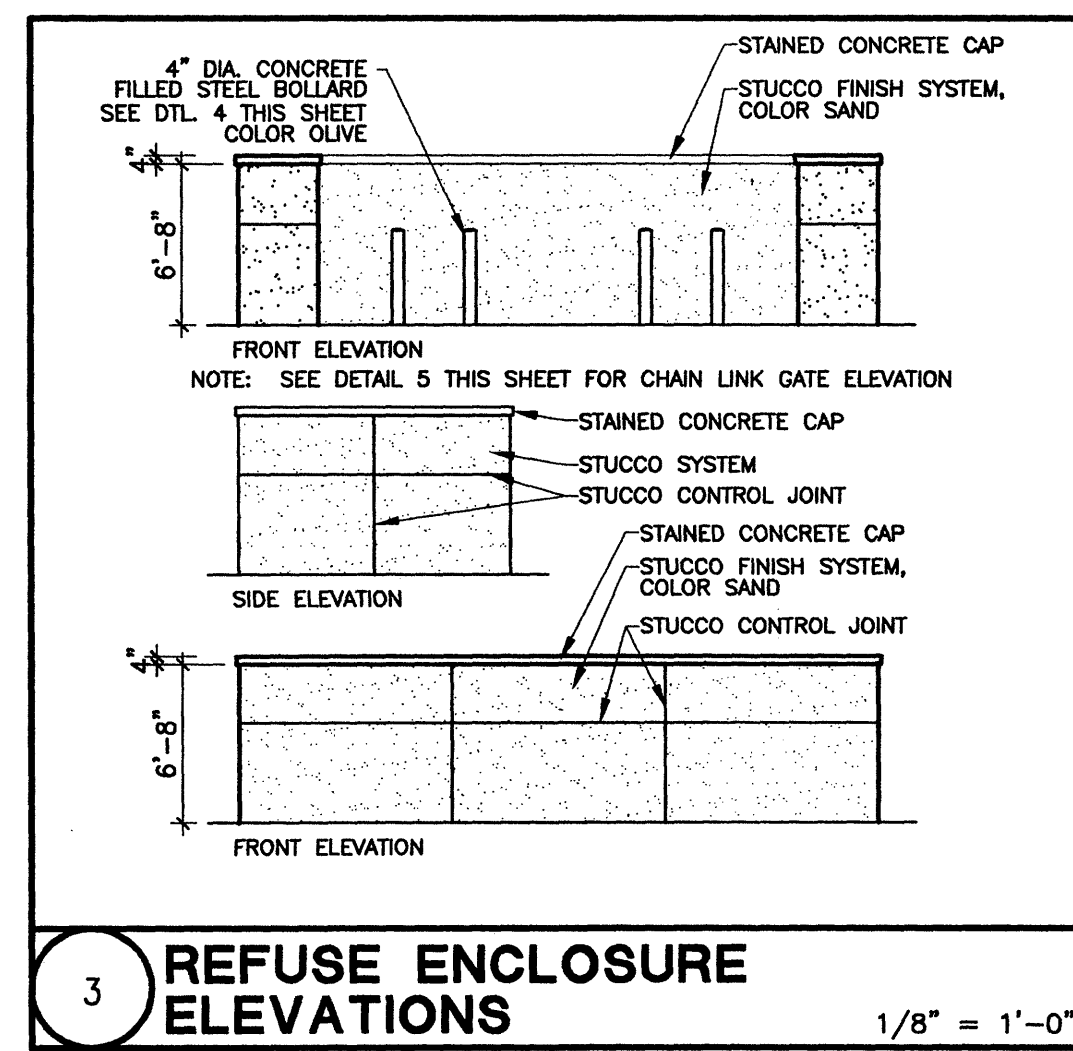
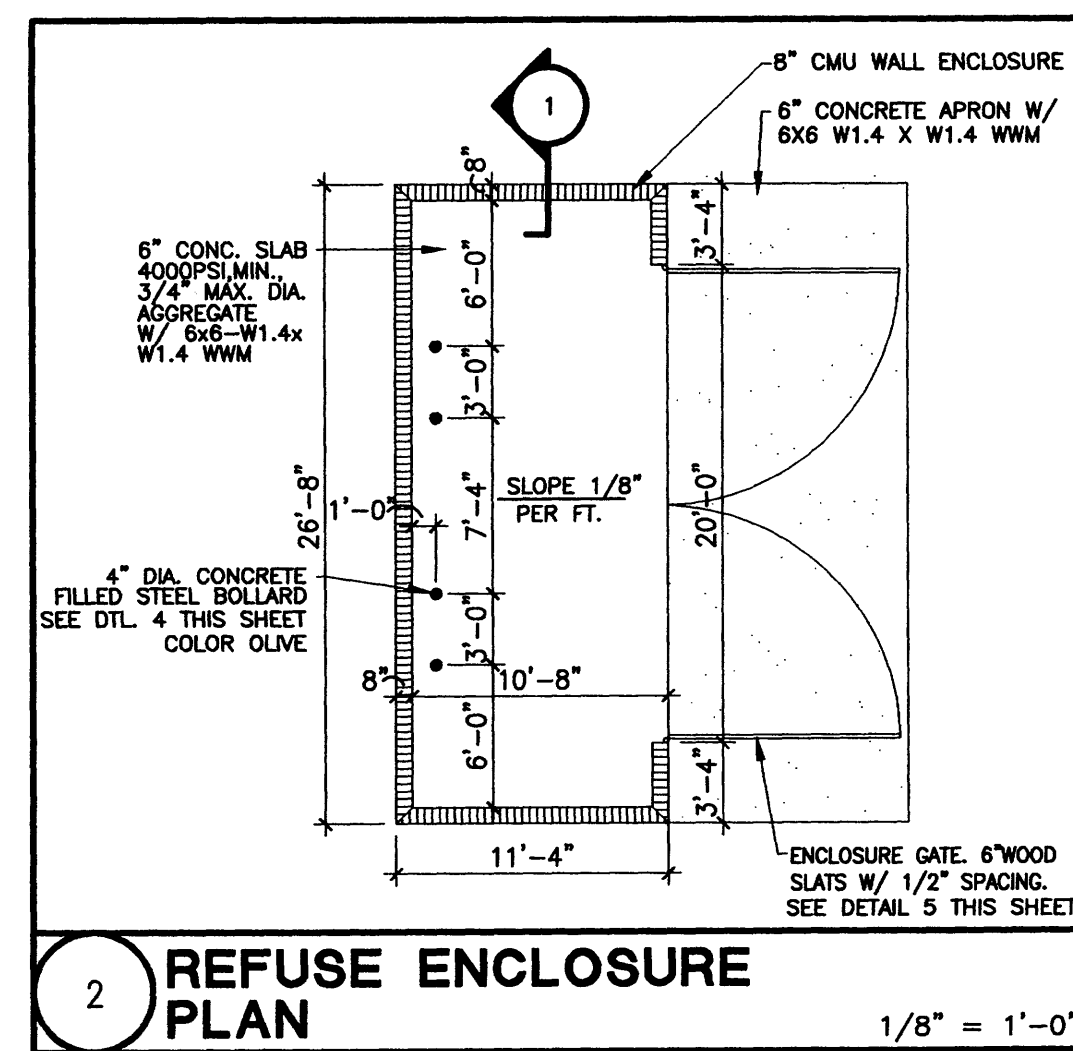
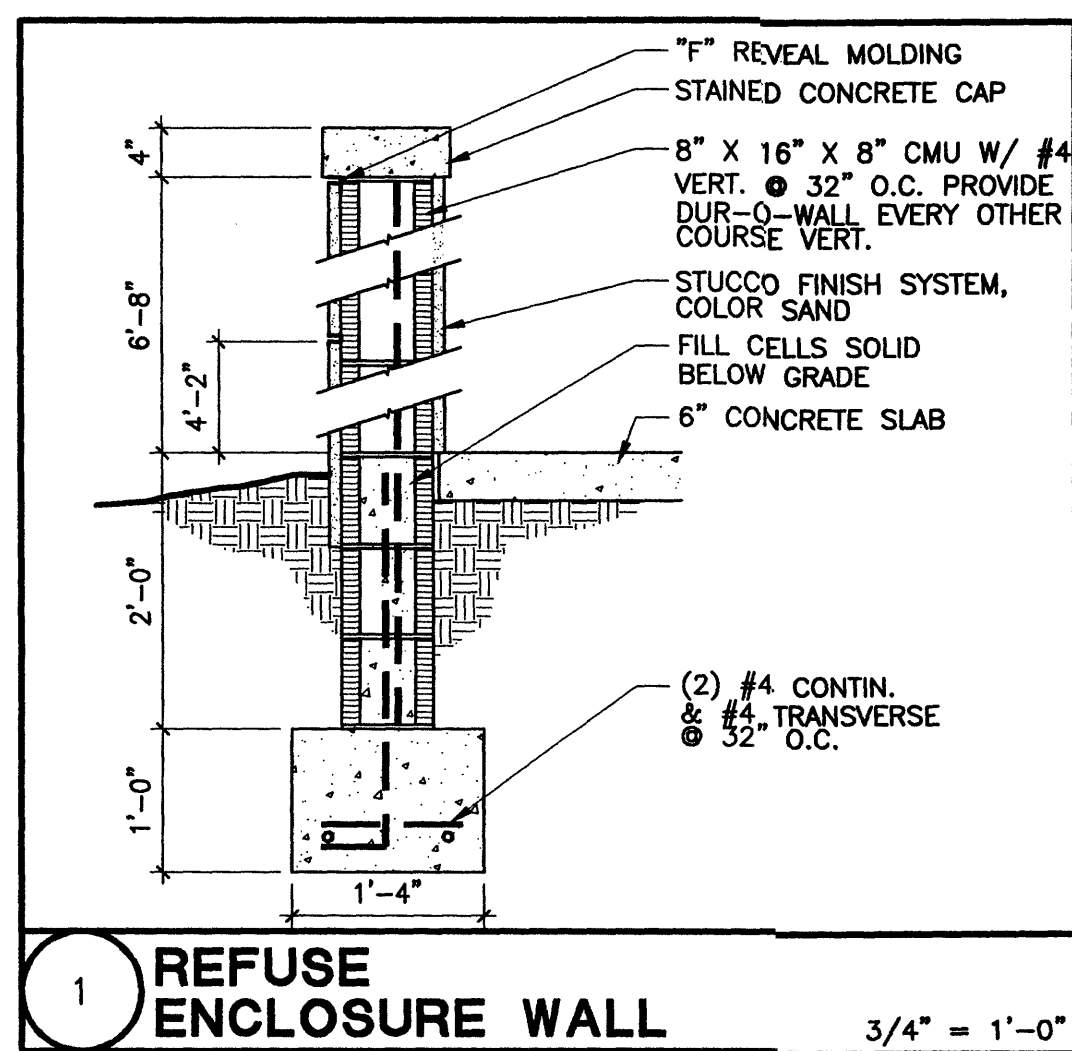




**SOUTH ELEVATION**



**WEST ELEVATION**



NOTE: ALL STAINED CONCRETE IS TO MATCH BUILDING COLOR SELECTION



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ARCHITECT

CONSULTANT

PROJECT TITLE

US FOREST SERVICE  
ALBUQUERQUE SERVICE CENTER  
HUMAN RESOURCES

NEW MEXICO

ALBUQUERQUE

REFUSE ENCLOSURE AND MONUMENTAL SIGN DETAILS

REVISIONS

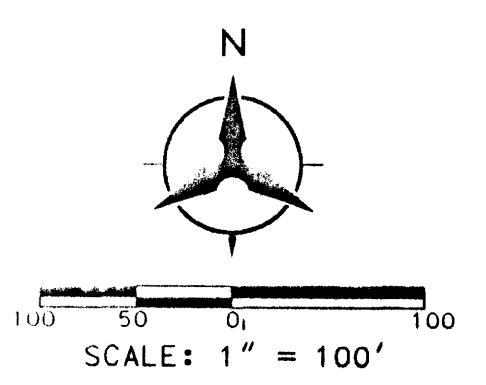
MK DATE DESCRIPTION  
DRAWN BY: CHECKED BY:

JOB NUMBER:  
A04.62  
DATE:  
AUGUST 2005  
SHEET NO

AS1.1



NGS BRASS TABLE STAMPED "REVES 2-1991"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 394,062.557 Y = 1,516,501.273  
 CHORD TO GRID FACTOR = 0.999610124  
 DELTA ALPHA = -00°12'15"  
 NGVD 1929 ELEVATION = 5073.26



- GENERAL NOTES**
- EXISTING ZONING: IP  
 PROPOSED ZONING: IP  
 INDUSTRIAL PARK, OFFICE & OFFICE WAREHOUSE PROPERTIES
  - GROSS ACREAGE: 52.9679 ACRES  
 TOTAL NUMBER OF LOTS: 22
  - TYPICAL LOT ACREAGE: MINIMUM 1.00 Acre  
 MAXIMUM 14.17 ACRES
  - ALL STREETS & DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE, WITH THE EXCEPTION OF THE DRAINAGE EASEMENT BETWEEN LOTS 12 & 13.
  - ALL SANITARY SEWER & WATER UTILITIES IN THE STREET R/W ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
  - THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE. WATER AND SANITARY SEWER CAPABILITIES AREA BASED ON WATER AND SANITARY SEWER INFRASTRUCTURE. IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE.
  - DEVELOPMENT REQUIREMENTS FOR INDIVIDUAL LOTS INCLUDING SETBACKS, LANDSCAPING, PARKING, ETC. SHALL CONFORM TO THE REQUIREMENTS OF THE JOURNAL CENTER MASTER PLAN.
  - LANDSCAPING WITHIN R/W WILL BE MAINTAINED SUBJECT TO APPROVAL BY THE CITY OF ALBUQUERQUE.
  - A TEMPORARY BLANKET DRAINAGE EASEMENT WITHIN TRACT 8A-1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1 FILED: MARCH 15, 2001 IN BOOK 2001C, PAGE 84 IS TO BE VACATED BY THIS PROJECT.
  - THE 50' WIDE FLOATING SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1 FILED: MARCH 15, 2001 IN BOOK 2001C IS TO BE VACATED WITH THIS PROJECT.
  - A TEMPORARY BLANKET DRAINAGE EASEMENT WITHIN LOT 22 TO BE GRANTED BY FINAL PLAT.

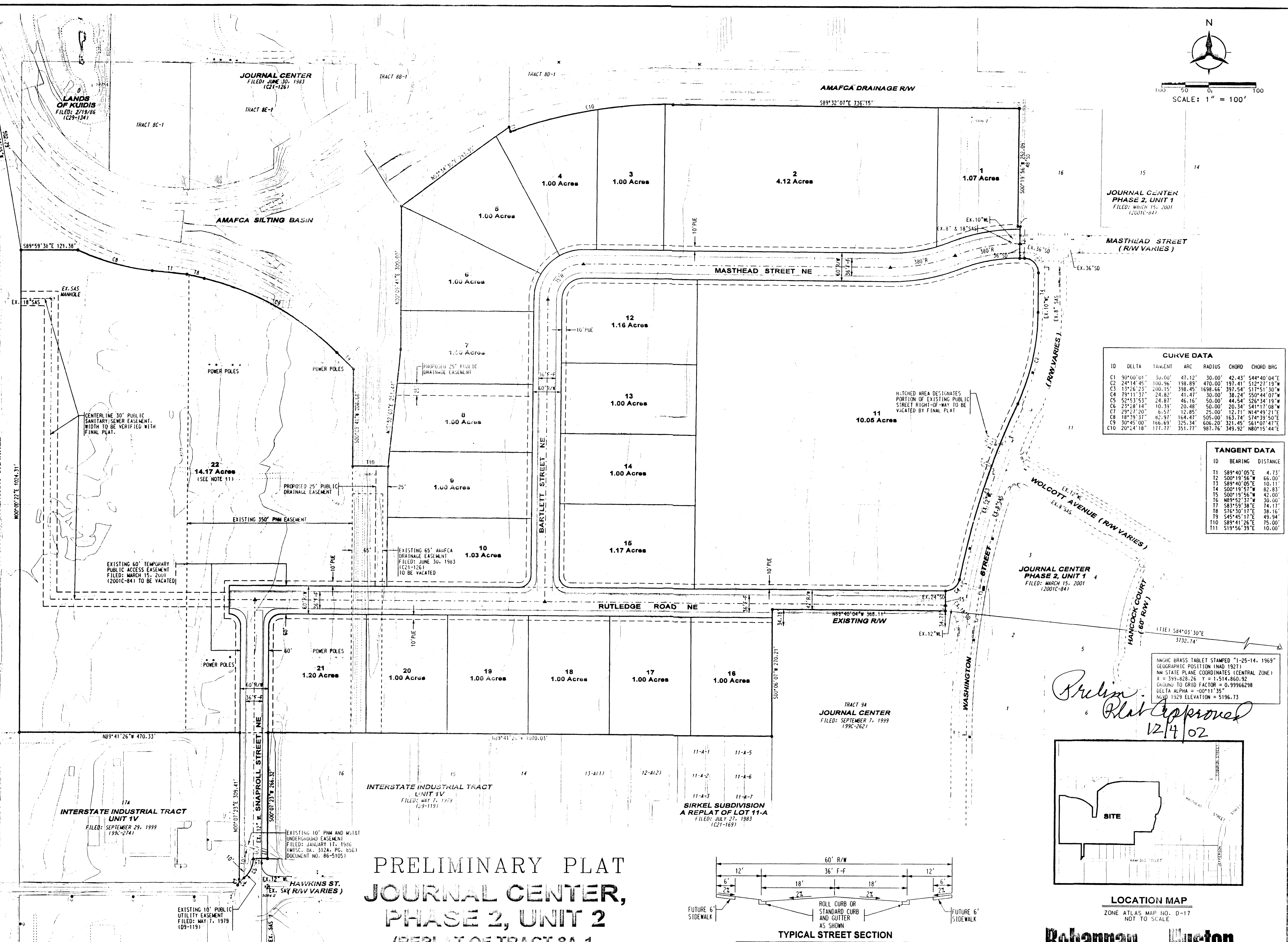
TIBURON INVESTMENT, LLC  
 D. A. HUBBARD  
 DOUGLAS H. HUBBARD, ADMINISTRATIVE MANAGER  
 TIBURON INVESTMENT, LLC  
 DATE: 11-7-02

- SURVEY NOTES:**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS PLAT SHALL BE MARKED BY A 1/2" REBAR STAMPED "HEAVY LS 6544".
  - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THIS PLAT. ALL WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. - 6544".
  - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE N.M. MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
  - DISTANCES SHALL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES  
 J. A. FOLEY  
 CITY SURVEYOR  
 DATE: 11-7-2002

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- EASEMENT LINE
- ADJOINING PROPERTY LINE
- RIGHT OF WAY
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- 1/2" REBAR WITH 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "PS 6544"
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT



**CURVE DATA**

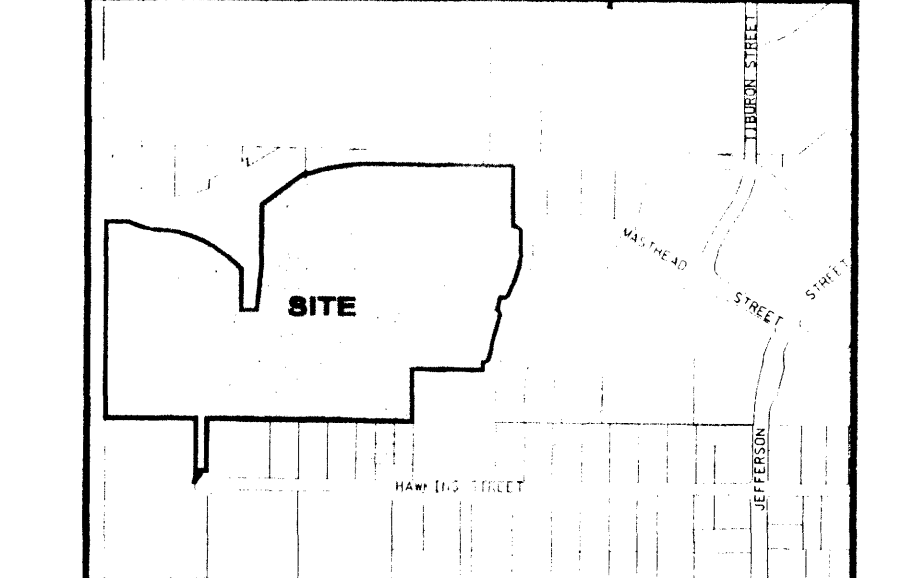
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°40'01"	30.00'	47.12'	30.00'	42.43'	S44°40'04"E
C2	24°14'45"	100.96'	198.89'	193.41'	512°27'19"W	
C3	13°26'23"	200.15'	398.45'	1698.66'	397.54'	S17°51'30"W
C4	19°11'33"	24.82'	41.47'	30.00'	38.24'	S59°44'07"E
C5	52°53'53"	24.87'	46.16'	50.00'	46.24'	S26°34'19"W
C6	23°28'14"	10.39'	20.48'	50.00'	20.34'	S41°17'08"W
C7	29°17'20"	6.51'	12.85'	25.00'	12.71'	N44°49'23"E
C8	18°39'33"	85.91'	164.47'	505.00'	163.74'	S14°39'50"E
C9	30°45'00"	166.69'	325.34'	606.20'	321.45'	S61°07'47"E
C10	20°4'18"	171.77'	331.77'	987.16'	349.92'	N80°15'44"E

**TANGENT DATA**

ID	BEARING	DISTANCE
T1	S89°40'05"E	4.73'
T2	S00°19'56"W	66.00'
T3	S89°40'05"E	10.11'
T4	S00°19'57"W	82.83'
T5	S00°19'56"W	42.00'
T6	N89°52'37"W	39.00'
T7	S89°59'38"E	74.17'
T8	S76°50'17"E	38.16'
T9	S45°45'17"E	49.94'
T10	S89°41'26"E	75.00'
T11	S19°56'59"E	10.00'

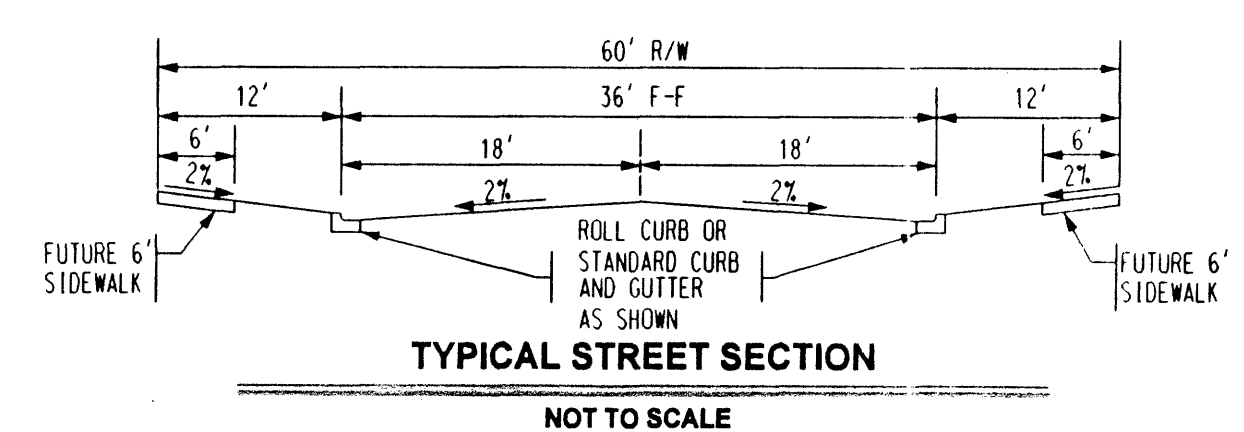
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 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 393,828.26 Y = 1,514,860.92  
 CHORD TO GRID FACTOR = 0.9996298  
 DELTA ALPHA = -00°11'35"  
 NGVD 1929 ELEVATION = 5196.73

*Prelim. Plat Approved*  
 12/4/02



**LOCATION MAP**  
 ZONE ATLAS MAP NO. D-17  
 NOT TO SCALE

**PRELIMINARY PLAT**  
**JOURNAL CENTER,**  
**PHASE 2, UNIT 2**  
 (REPLAT OF TRACT 8A-1  
 JOURNAL CENTER, PHASE 2, UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 NOVEMBER, 2002



**Behanman Houston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
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TRACT E  
**AMAFCA NORTH DIVERSION CHANNEL & INLET CHANNELS RW**  
**PHASE 4**  
 FILED: OCTOBER 11, 1996 (196C-429)  
 N00°00'22"E 1024.31'

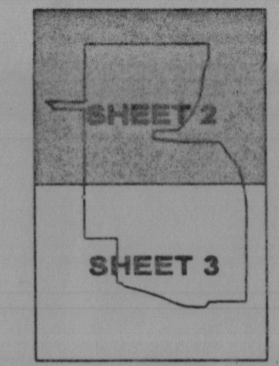
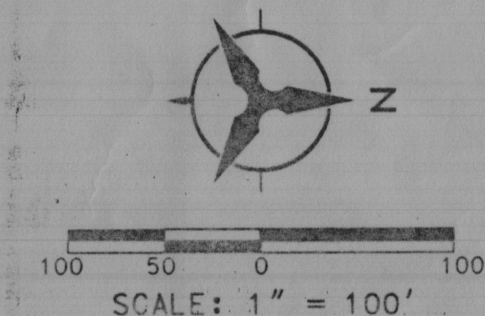
2003058753  
 5841758  
 Page: 2 of 3  
 04/18/2003 11:42A  
 Mary Herrera Bern. Co. PLRT R 17.00 Bk-2693C Pg-98

PLAT OF  
**JOURNAL CENTER**  
**PHASE 2, UNIT 2**  
 (A REPLAT OF TRACT 8A-1,  
 JOURNAL CENTER PHASE 2, UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 MARCH, 2003

NCS BRASS TABLE STAMPED "REEVES 2, 1991"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 394,062.557 Y = 1,516,507.279  
 PUBLIC VALUE = 0.99967022  
 DELTA ALPHA = -00°12'15"  
 NGVD 1929 TRIG ELEVATION = 5074.0

NOTE SEE SHEET 1 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	10' PUE
	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 2 OF 3

04-APR-2003 09:24 mciole  
 JOB NO. 020075 010  
 020075\survey\010\pl\graphics\020075plat01\_02.dgn

17A  
**INTERSTATE INDUSTRIAL TRACT**  
**UNIT IV**  
 FILED: SEPTEMBER 29, 1999  
 (199C-274)

**TRACT A**  
**14.1686 Acres**  
 (SEE NOTE 11, SHEET 1)

**JOURNAL CENTER**  
 FILED: JUNE 30, 1983  
 (C21-126)

**INTERSTATE INDUSTRIAL TRACT**  
**UNIT IV**  
 FILED: MARCH 22, 1977  
 (07-141)

15  
**1.0000 Acres**

14  
**1.0000 Acres**

13  
**1.0000 Acres**

12  
**1.1644 Acres**

11  
**1.1715 Acres**

20  
**2.1971 Acres**

19  
**1.0293 Acres**

18  
**1.0000 Acres**

17  
**1.0000 Acres**

16  
**1.0000 Acres**

15  
**1.0000 Acres**

14  
**1.0000 Acres**

13  
**1.0000 Acres**

12  
**1.0000 Acres**

11  
**1.0000 Acres**

10  
**1.0000 Acres**

9  
**1.0000 Acres**

8  
**1.0000 Acres**

7  
**1.0000 Acres**

6  
**1.0000 Acres**

5  
**1.0014 Acres**

4  
**1.0000 Acres**

3  
**1.0000 Acres**

EXISTING 10' PUBLIC UTILITY EASEMENT  
 FILED: MAY 7, 1979  
 (09-119)

CENTERLINE EXISTING 10' PNM AND M&T UNDERGROUND EASEMENT  
 FILED: JANUARY 17, 1986  
 (MISC. BK. 3124, PG. 856)  
 DOCUMENT NO. 86-5105

EXISTING 60' TEMPORARY PUBLIC ACCESS EASEMENT  
 FILED: MARCH 15, 2001  
 (2001C-84) VACATED BY VACATION ACTION V-02DRB-01724

EXISTING 65' AMAFCA DRAINAGE EASEMENT  
 FILED: JUNE 30, 1983  
 (C21-126) VACATED BY VACATION ACTION V-02DRB-01724

25' PUBLIC DRAINAGE & PUBLIC TRAIL EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

5' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 8, 9 & 10 TO BE GRANTED WITH THE FILING OF THIS PLAT. EASEMENT TO BE MAINTAINED BY OWNER OF SAID LOTS

45' PUBLIC DRAINAGE & PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

PUBLIC STREET RIGHT OF WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

EXISTING 350' PNM EASEMENT  
 (SEE NOTE 12, SHEET 1)

HAWKINS ST. NE  
 (ROW VARIES)

MASTHEAD ST. NE

RUTLEDGE ROAD NE

BARTLETT STREET NE

80' AMAFCA DRAINAGE RW