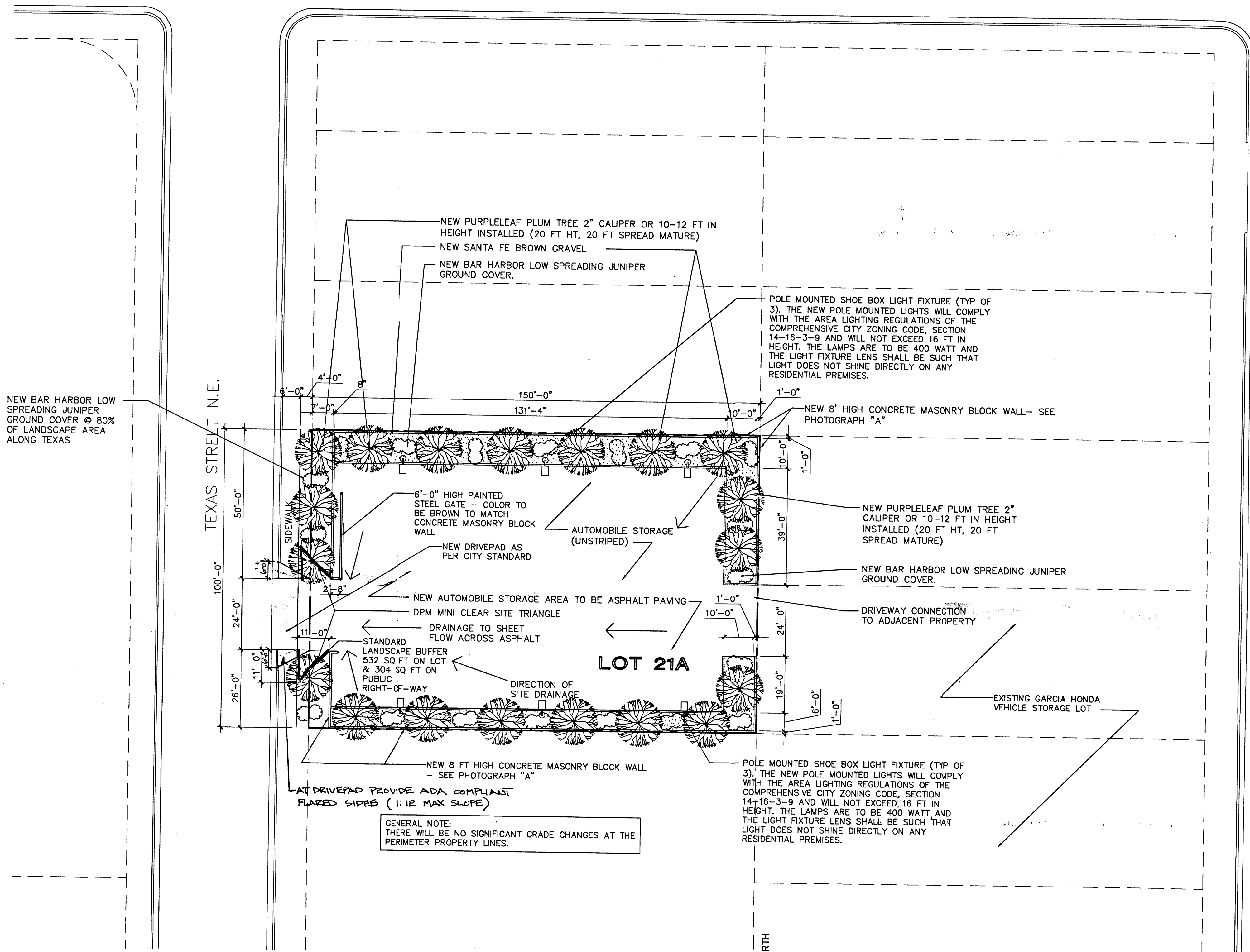


MAPLE AVENUE N.E.



NEW BAR HARBOR LOW SPREADING JUNIPER GROUND COVER @ 80% OF LANDSCAPE AREA ALONG TEXAS

POLE MOUNTED SHOE BOX LIGHT FIXTURE (TYP OF 3). THE NEW POLE MOUNTED LIGHTS WILL COMPLY WITH THE AREA LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE, SECTION 14-16-3-9 AND WILL NOT EXCEED 16 FT IN HEIGHT. THE LAMPS ARE TO BE 400 WATT AND THE LIGHT FIXTURE LENS SHALL BE SUCH THAT LIGHT DOES NOT SHINE DIRECTLY ON ANY RESIDENTIAL PREMISES.

NEW 8' HIGH CONCRETE MASONRY BLOCK WALL - SEE PHOTOGRAPH "A"

NEW PURPLELEAF PLUM TREE 2" CALIPER OR 10-12 FT IN HEIGHT INSTALLED (20 FT HT, 20 FT SPREAD MATURE)

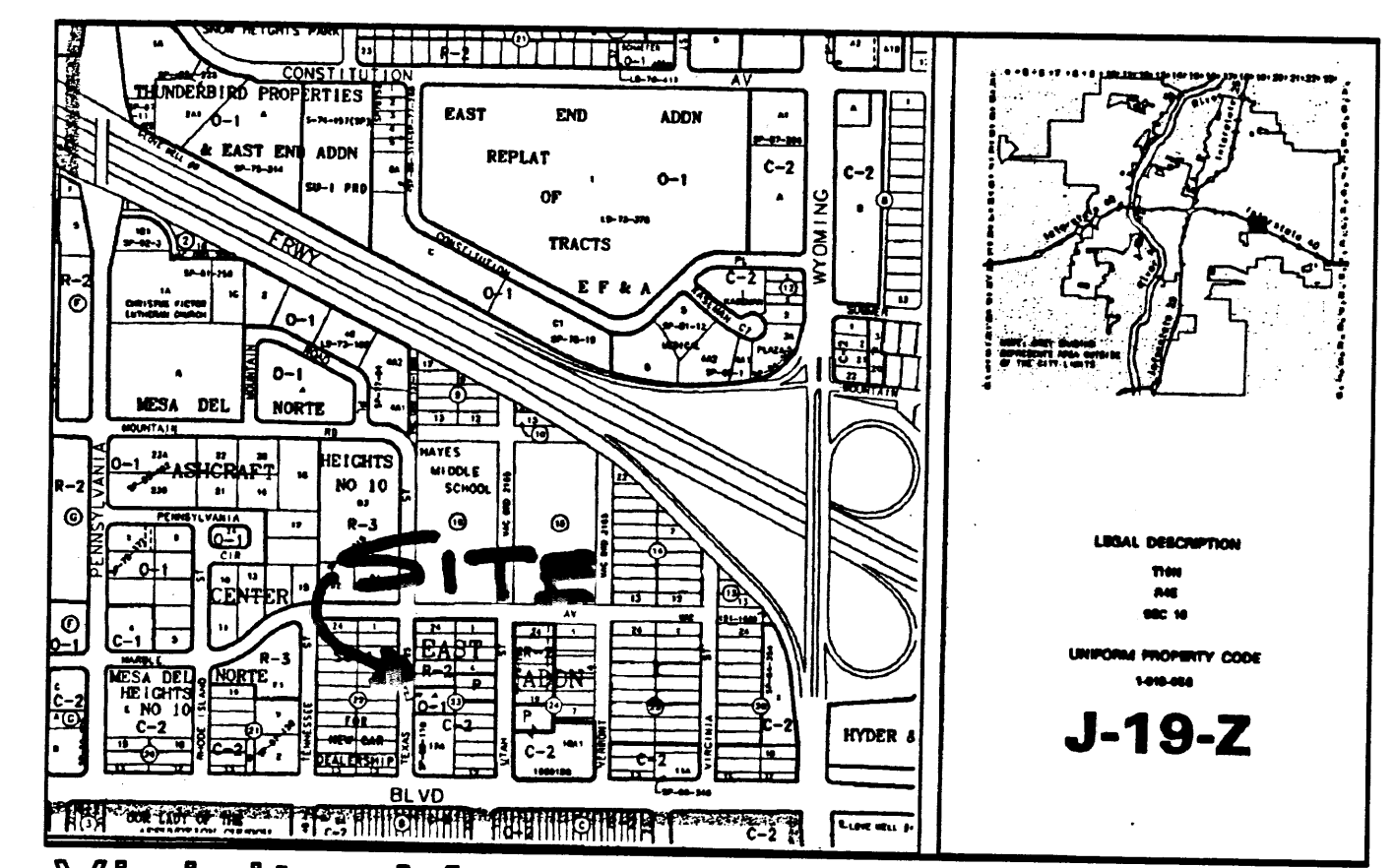
NEW BAR HARBOR LOW SPREADING JUNIPER GROUND COVER.

DRIVEWAY CONNECTION TO ADJACENT PROPERTY

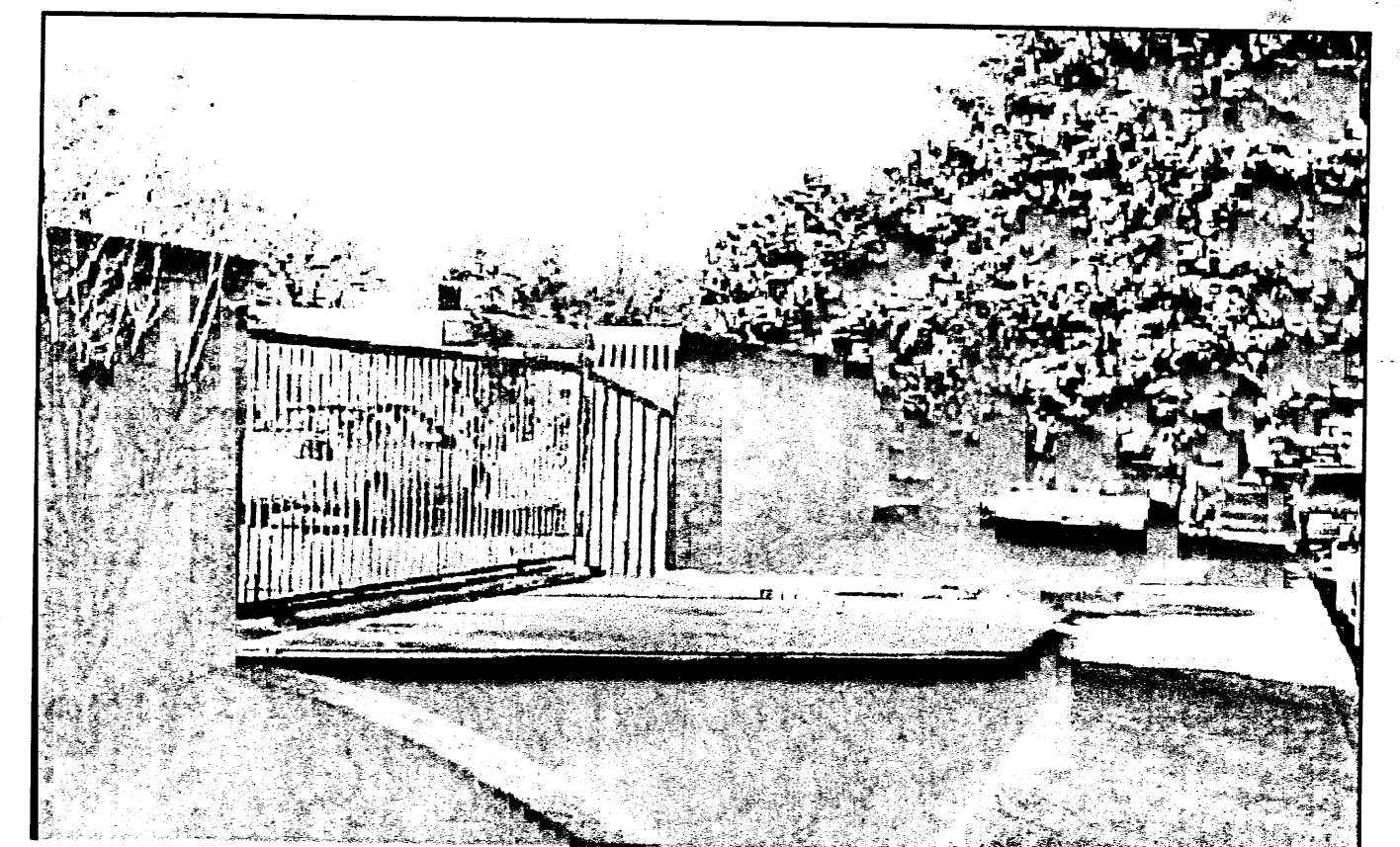
POLE MOUNTED SHOE BOX LIGHT FIXTURE (TYP OF 3). THE NEW POLE MOUNTED LIGHTS WILL COMPLY WITH THE AREA LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE, SECTION 14-16-3-9 AND WILL NOT EXCEED 16 FT IN HEIGHT. THE LAMPS ARE TO BE 400 WATT AND THE LIGHT FIXTURE LENS SHALL BE SUCH THAT LIGHT DOES NOT SHINE DIRECTLY ON ANY RESIDENTIAL PREMISES.

GENERAL NOTE: THERE WILL BE NO SIGNIFICANT GRADE CHANGES AT THE PERIMETER PROPERTY LINES.

UTAH STREET N.E.



Vicinity Map



"A" PHOTOGRAPH SHOWING THE PROPOSED TYPE OF GATE & CONCRETE MASONRY BLOCK WALL (NOTE: THE HEIGHT OF THE CONCRETE MASONRY BLOCK WALL IS TO BE 8'-0". THE COLOR OF BLOCK TO BE "CREGG TAY" FROM CSR (THIS COLOR IS A LIGHT EARTH TONE BROWN.) THE FLUTTED CAP WILL NOT BE INSTALLED ON THE WALLS AT THE TEXAS STREET SITE.

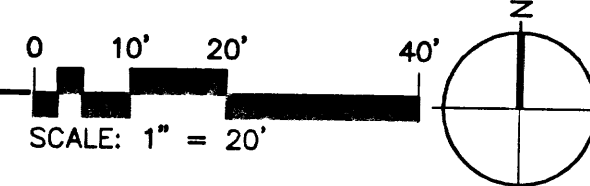
Project Number: 1002325  
Application Number: 03 DRB- #00290

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC).  
Dated \_\_\_\_\_ and the finding and conditions in the Official Notice.  
Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN APPROVAL:

NA Environmental Health Department - conditional	Date
Michael Patton - (for parking lot only)	2-25-03
Paul J. [Signature]	3-05-03
Roger A. [Signature]	3/5/03
Bradley B. [Signature]	3/5/03
Sharon Matson	3/5/03
Christina Sandoval	3/5/03

SITE PLAN  
SCALE: 1"=20'-0"



Irrigation Notes

- IRRIGATION NOTES**
- TREES TO RECEIVE (5) 1.0 GPM DRIP EMITTERS
  - SHRUBS TO RECEIVE (1) 1.0 GHP DRIP EMITTERS
  - DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.
  - RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.
  - POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.
  - IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED.

Landscaping Notes

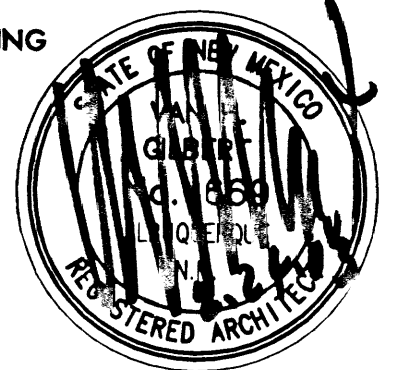
- LANDSCAPE NOTES**
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
  - THE LANDSCAPE PLAN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER WASTE AND CONSERVATION ORDINANCE.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

Landscaping Area Requirements.

LOT AREA:	15,000 SQ. FT.
MINUS LANDSCAPING IN PUBLIC RIGHT-OF-WAY:	-304 SQ. FT.
TOTAL NET LOT AREA:	14,696 SQ. FT.
LANDSCAPING REQUIRED: (15% X 14,696):	2,204 SQ. FT.
LANDSCAPING PROVIDED: (76X7 + 141X10 + 39X10 + 19X10 + 141X6)	3,368 SQ. FT.
TOTAL LANDSCAPING PROVIDED IS EQUAL TO 22.9% OF THE NET LOT AREA.	

GARCIA TEXAS STREET SITE

Van H. Gilbert Architect P.C.  
ARCHITECTURE • INTERIORS • PLANNING  
2428 baylor drive se albuquerque, nm 87106  
tel 505.247.9955 fax 505.247.1826  
Drawn By: MCB UNQA Project No: 950.07  
Checked By: Date: FEBRUARY 24, 2003

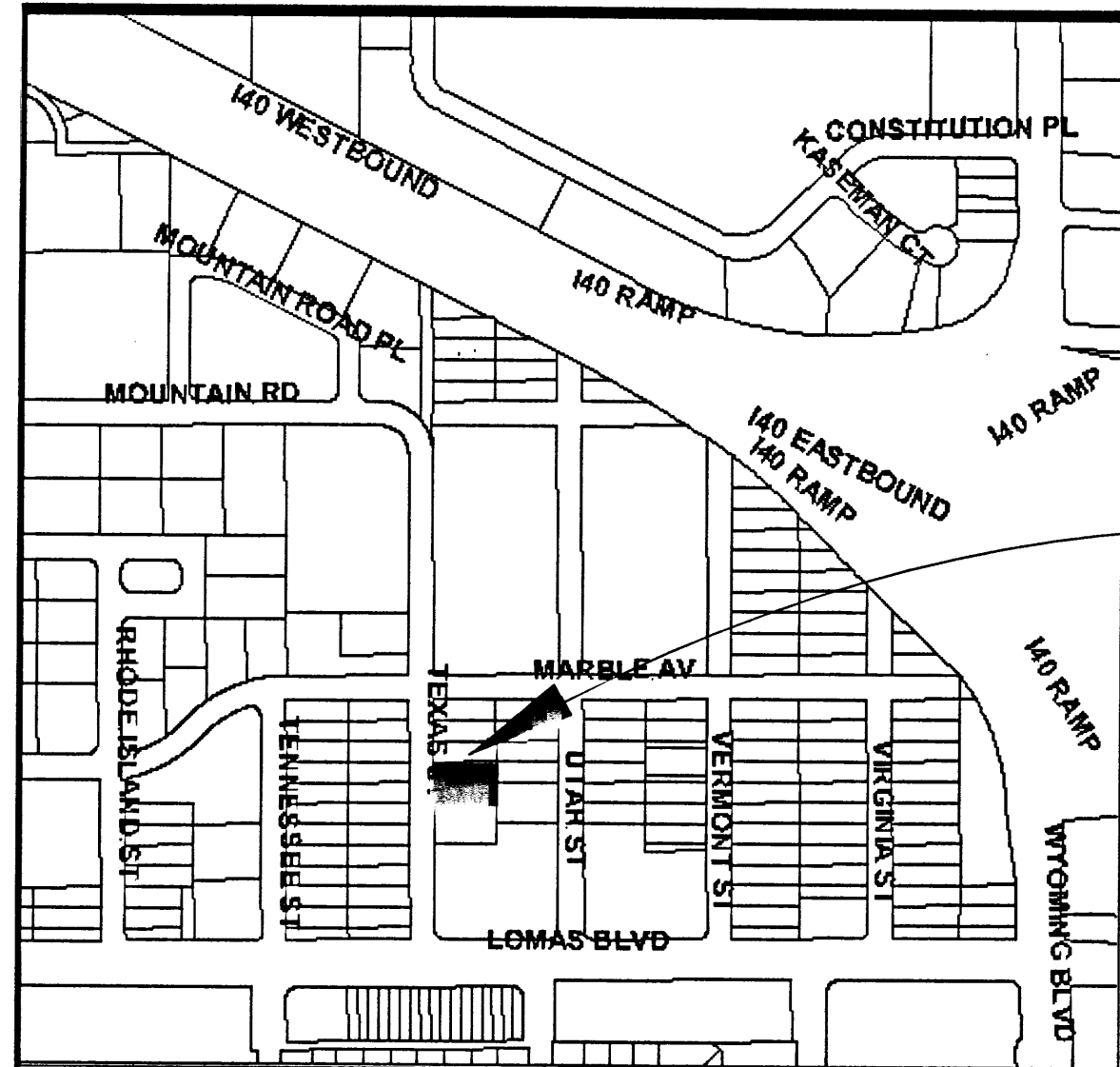


SITE PLAN

COPYRIGHT © 2000  
Sheet No. C1.1  
SHEET OF

PROJECT 1002325

AND PLUMBING CHECKED BY [Signature] 2-24-03  
approved for parking lot only. No fire hydrants involved in approval.

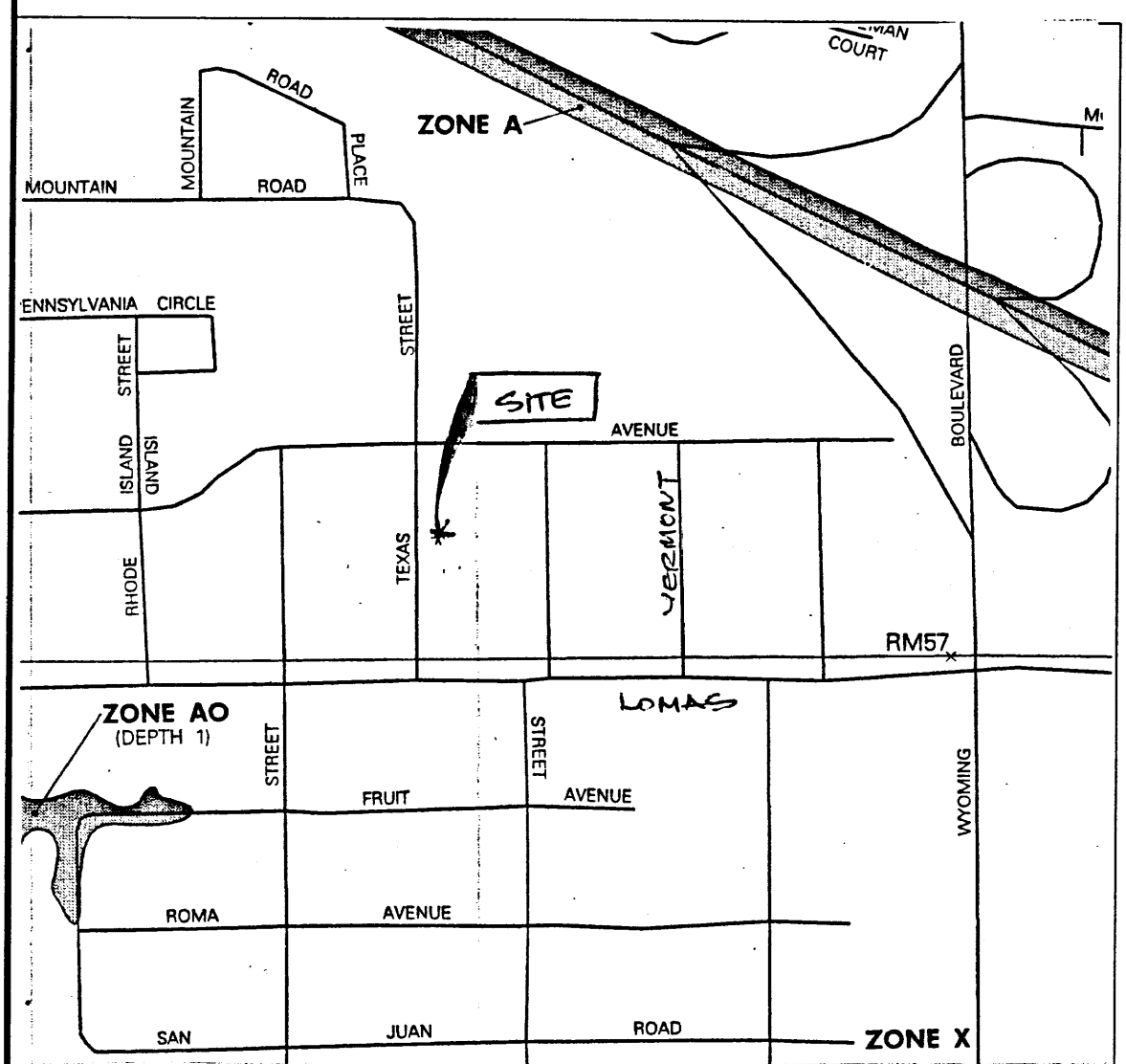


SITE: 1020 TEXAS ST.  
LOT 21-A, BLOCK 23

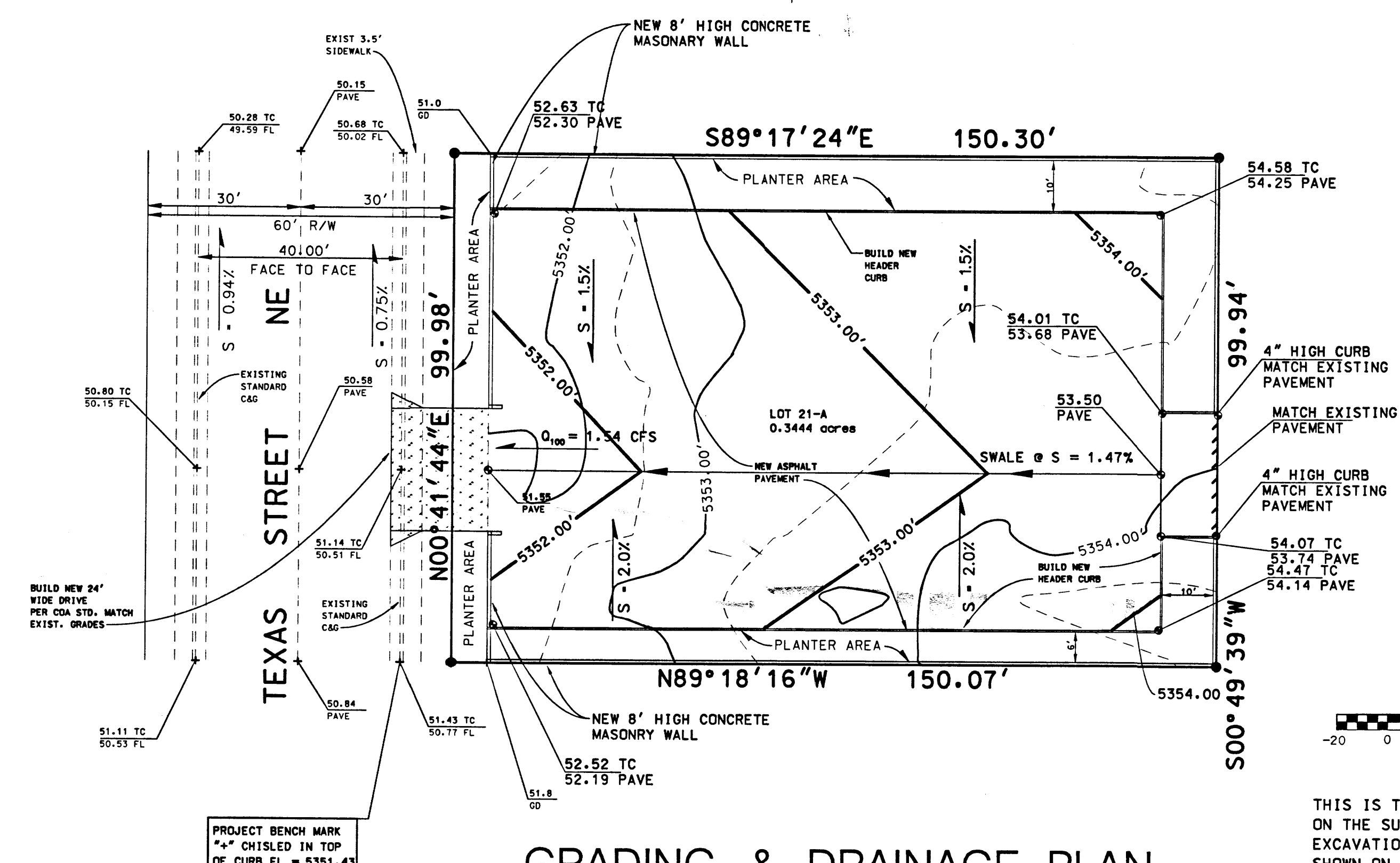
**DRAINAGE FACILITIES WITHIN CITY  
RIGHT-OF-WAY NOTICE TO CONTRACTOR**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 265-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.)

VACINITY MAP NTS  
ZONE ATLAS MAP NO. J-19-Z



FLOOD MAP 35001C0358 D NTS  
SEPTEMBER 20, 1996



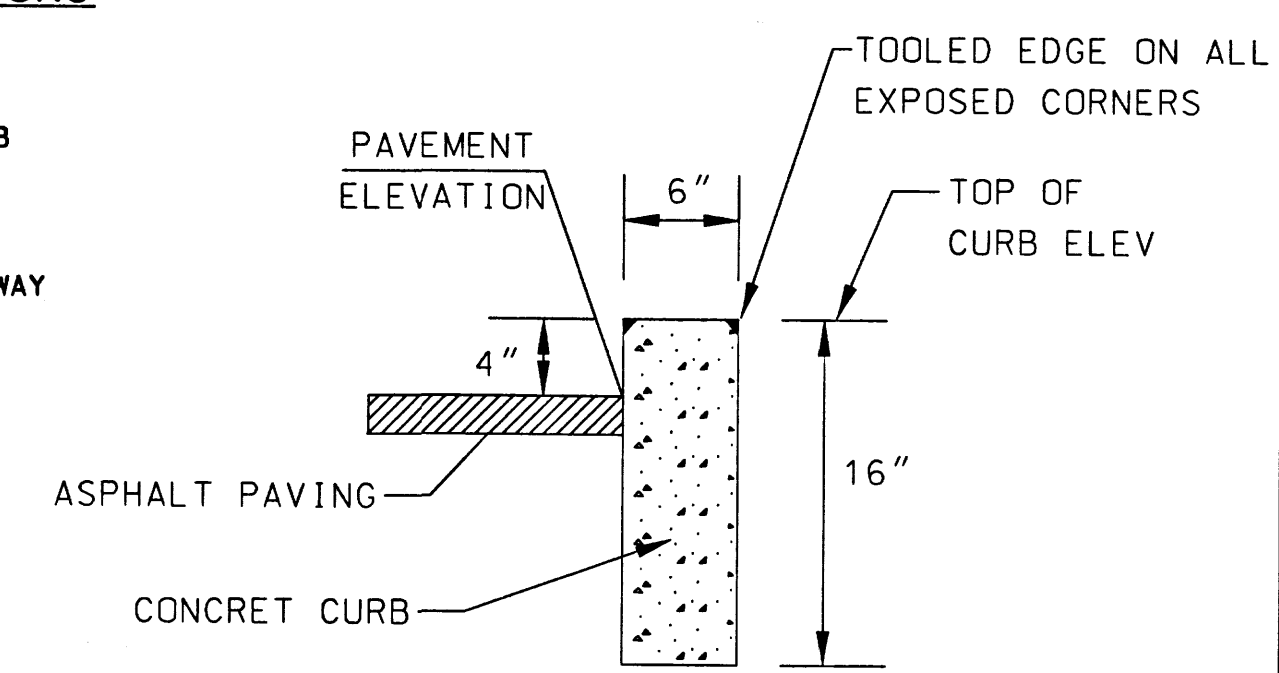
**GRADING & DRAINAGE PLAN**

**LEGEND**

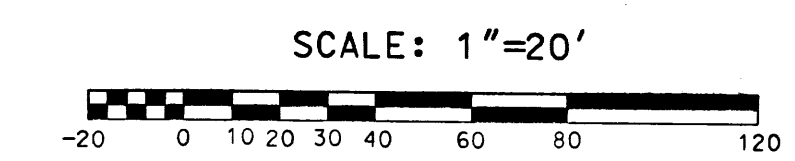
- EXISTING 1 FOOT CONTOUR
- EXISTING 0.5' FOOT CONTOUR
- NEW FINISHED GRADE CONTOUR
- EXISTING SPOT ELEVATION
- NEW FINISHED GRADE SPOT ELEVATION
- FLOW DIRECTION

**ABBREVIATIONS**

- S = SLOPE
- GD = GROUND
- TC = TOP OF CURB
- FL = FLOW LINE
- PAVE = PAVEMENT
- EL = ELEVATIONS
- R/W = RIGHT OF WAY



**NEW CONCRETE HEADER CURB DETAIL**



THIS IS TO CERTIFY THAT I INSPECTED AND PERFORMED A TOPOGRAPHY SURVEY ON THE SUBJECT SITE ON FEBRUARY 21, 2003 AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

**DRAINAGE NOTES**

1. THE 100 YEAR PEAK DISCHARGE FROM THIS AREA IS DETERMINED TO BE 1.54 CFS.
2. THE SITE WILL BE GRADED AS SHOWN AND PAVED TO DISCHARGE DIRECTLY TO THE STREET THROUGH A NEW DRIVEWAY.
3. AT A PRE-DESIGN MEETING WITH CITY OF ALBUQUERQUE ON 2-20-03 IT WAS DETERMINED THAT FREE DISCHARGE TO THE STREET WOULD BE ACCEPTABLE FOR THIS SITE DUE TO THE FOLLOWING CONDITIONS.
  - A. INFILL SITE.
  - B. NOT IN FLOOD ZONE.
  - C. LARGE STORM DRAIN DOWN-STREAM.
  - D. MINIMUM IMPACT TO DOWN-STREAM.
4. THIS SITE IS IN ZONE X; OUTSIDE OF 500 YR FLOOD PLAIN.
5. THERE ARE NO OFFSITE FLOWS ENTERING THIS SITE. THE SITE WILL BE FENCED ON ALL SIDES.
6. TOPOGRAPHY SURVEY WAS PERFORMED BY NMOC ON 2-16-03.

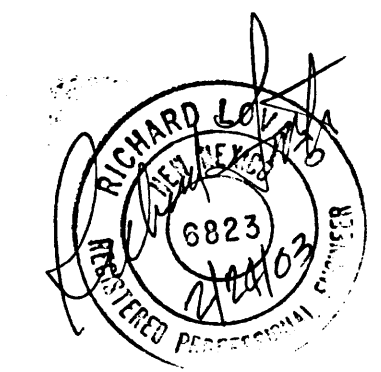
DESCRIPTION	LAND USE				TOTAL	REMARKS
	A	B	C	D		
EXCESS PERCIPITATION INCHES ZONE 3	0.66	0.92	1.29	2.36		
PEAK DISCHARGE (CFS/ACRE) ZONE 3	1.87	2.60	3.45	5.02		
DEVELOPED CONDITIONS		3.384 <sup>sq</sup> ft 0.0777 ac	11.616 <sup>sq</sup> ft 0.2667 ac	15.000 <sup>sq</sup> ft 0.3444 ac		
Q <sub>100</sub> (CFS)		0.20 <sup>cfs</sup>	1.34 <sup>cfs</sup>	1.54 <sup>cfs</sup>		

**NOTE:**

LAND USE B LANDSCAPING/PLANTER AREAS  
LAND USE D PAVED

RICHARD LOVATO NMPE NO 6823

DATE



**GARCIA**  
1020 TEXAS STREET SITE

**NEW MEXICO QUALITY CONSULTANTS**  
Construction Management, Surveying & Civil Engineering

1020 SAN PEDRO DR. NE ALBUQUERQUE, NEW MEXICO 87110 PH: 505-710-3099 FAX: 505-254-4952

FILE: BND	DATE	REVISION	DATE	APPROVED BY:
JOB# 03-0018	01-08-2003			
DES. BY CCjr	01-13-2003			SHEET
DRW. BY CCjr	01-13-2003			1 OF 1
CHK. BY RL	01-13-2003			

**GRADING & DRAINAGE PLAN**

...03-0018\texas\texasgd.dgn Feb. 24, 2003 04:05:52