

LOT C-1, ALBUQUERQUE  
PUBLIC SCHOOL TRACT No. 34  
(FILED 12-06-1984, C25-165)  
ZONED C-2

LOT A, ALBUQUERQUE  
PUBLIC SCHOOL TRACT No. 34  
(FILED 09-24-1975, D6-179)

**PROJECT INFORMATION**

**PROJECT:** SITE DEVELOPMENT PLAN AMENDMENT AND BUILDING ADDITION  
**LOCATION:** 4601 JUAN TABO, N.E.  
**OWNER:** ST. STEPHEN'S UNITED METHODIST CHURCH  
**ARCHITECT:** R.D. HABIGER AND ASSOCIATES

**LEGAL DESCRIPTION:** TRACT SS-1, ST. STEPHEN'S UNITED METHODIST CHURCH

**CURRENT ZONING CLASSIFICATION:** SU-1 FOR CHURCH & INCIDENTAL FACILITIES

**GROSS BUILDING AREA:** EXISTING BLDG. 21,000 S.F.  
NEW ADDITION 26,289 S.F.  
TOTAL AREA 47,289 S.F.

**OCCUPANT LOAD:** WORSHIP/FELLOWSHIP- 500  
OFFICE- 10  
EDUC. STAFF- 10  
TOTAL- 520

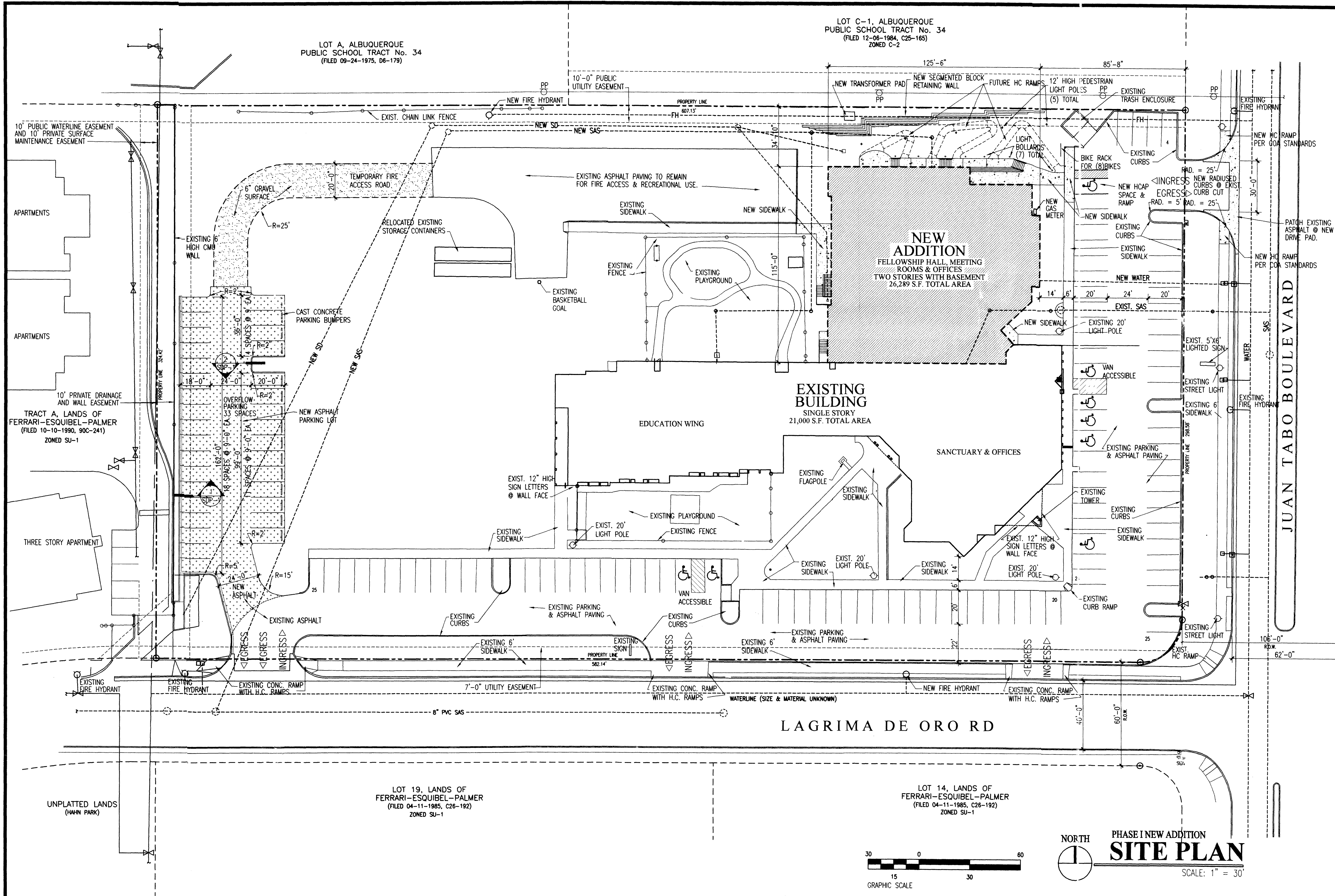
**TOTAL LOT AREA:** 4.5124 ACRES +/-

**PARKING ANALYSIS:**  
WORSHIP- 500/4= 125 SPACES  
OFFICE AREA - 10 SPACES  
EDUCATION- 10 SPACES  
10% REDUCTION FOR BUS ROUTE (14) SPACES  
TOTAL REQUIRED PARKING SPACES= 131 SPACES  
SPACES PROVIDED= 131 SPACES INCLUDING 8 HANDICAP  
BICYCLE SPACES PROVIDED= 8 SPACES

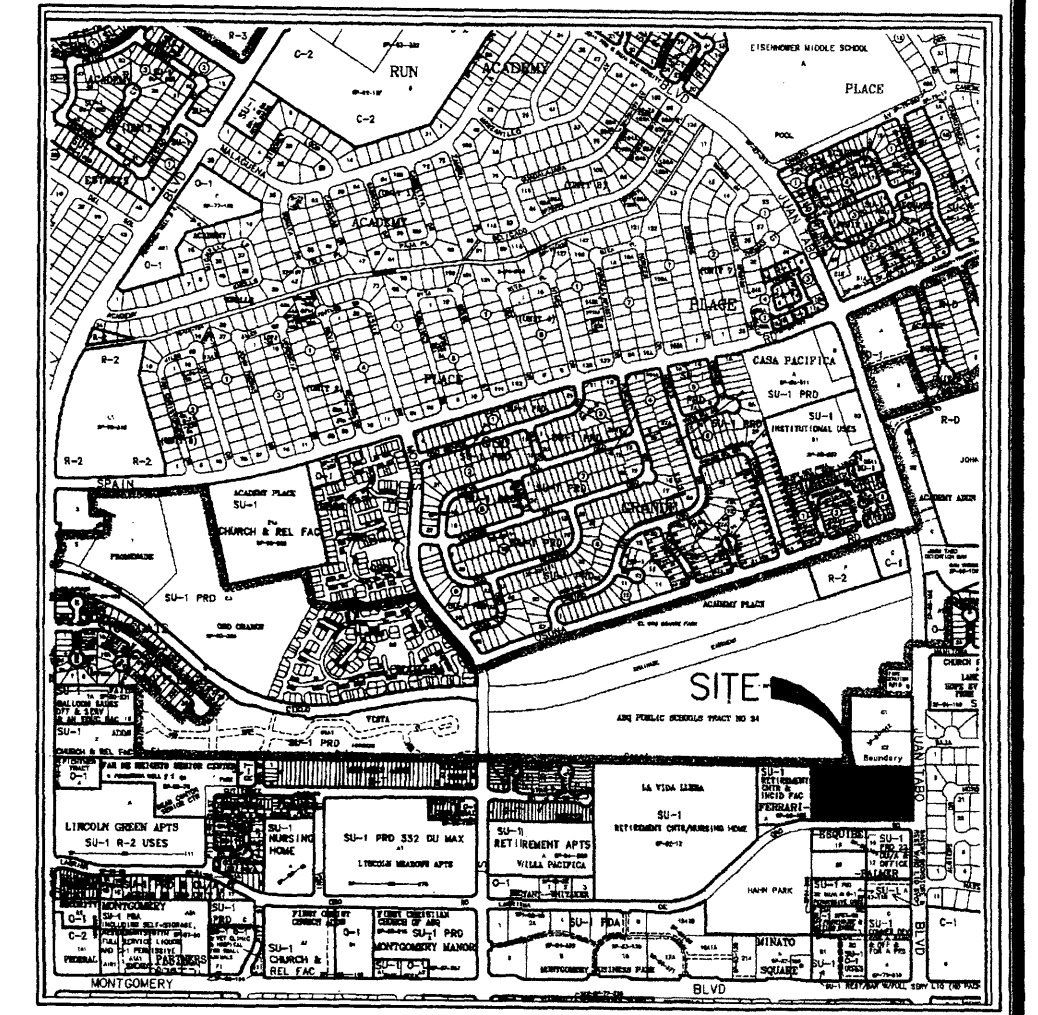
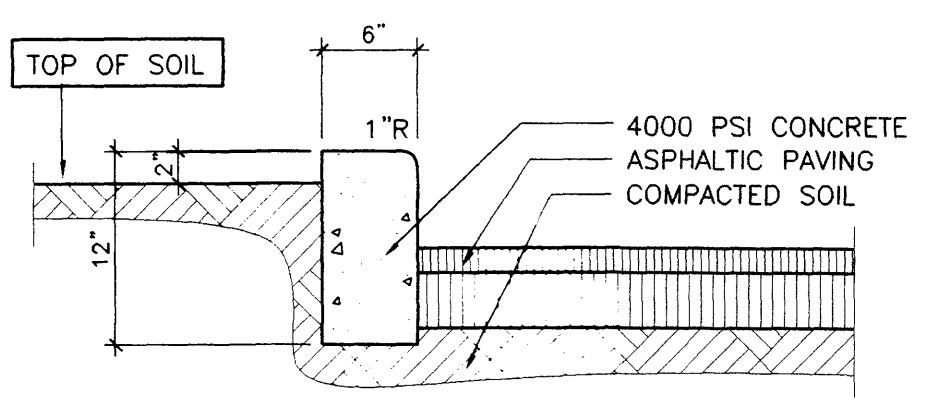
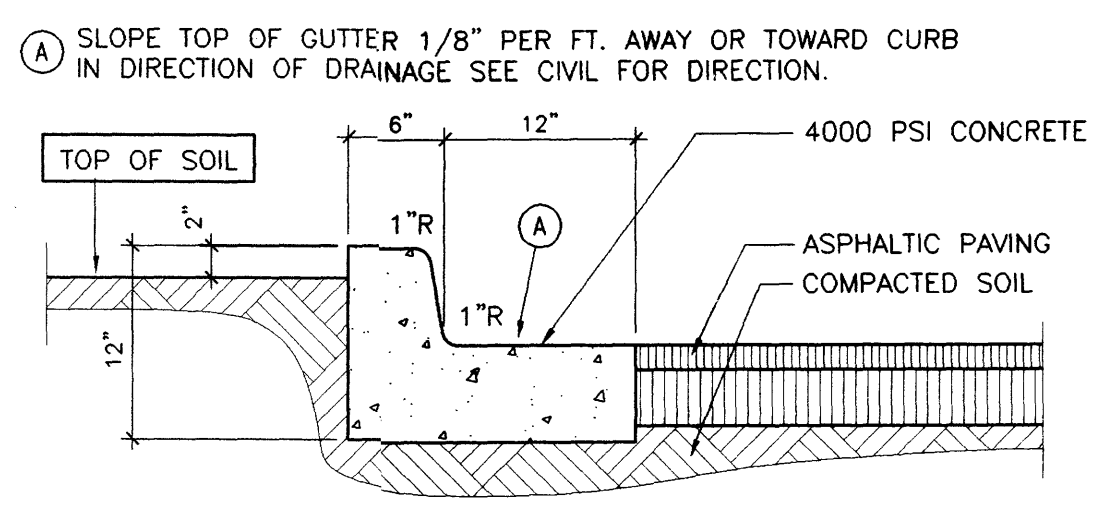
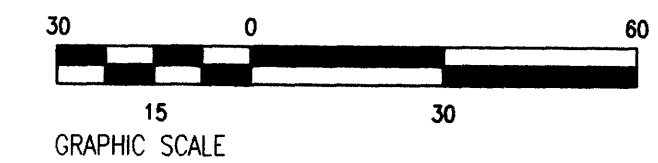
TYPICAL PARKING SPACE DIMENSION- 9'-0" X 20'-0"  
SPACES W/ 2'-0" OVERHANG- 9'-0" X 18'-0"

**RELATED CASES:** EPC- 02EPC 01682  
EPC- Z-93-88  
DRB- DRB-93-328

PROJECT NO.	
CASE NO.	
SITE DEVELOPMENT PLAN APPROVAL FOR ST. STEPHEN'S UNITED METHODIST CHURCH AT 4601 JUAN TABO, N.E. ALBUQUERQUE, NEW MEXICO. APPROVED EPC CASE NO. 02EPC 01682.	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	DATE
<i>Joe White</i>	2.17.03
SOLID WASTE	DATE
APPROVAL & CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT	DATE



**PHASE I NEW ADDITION SITE PLAN**  
SCALE: 1" = 30'



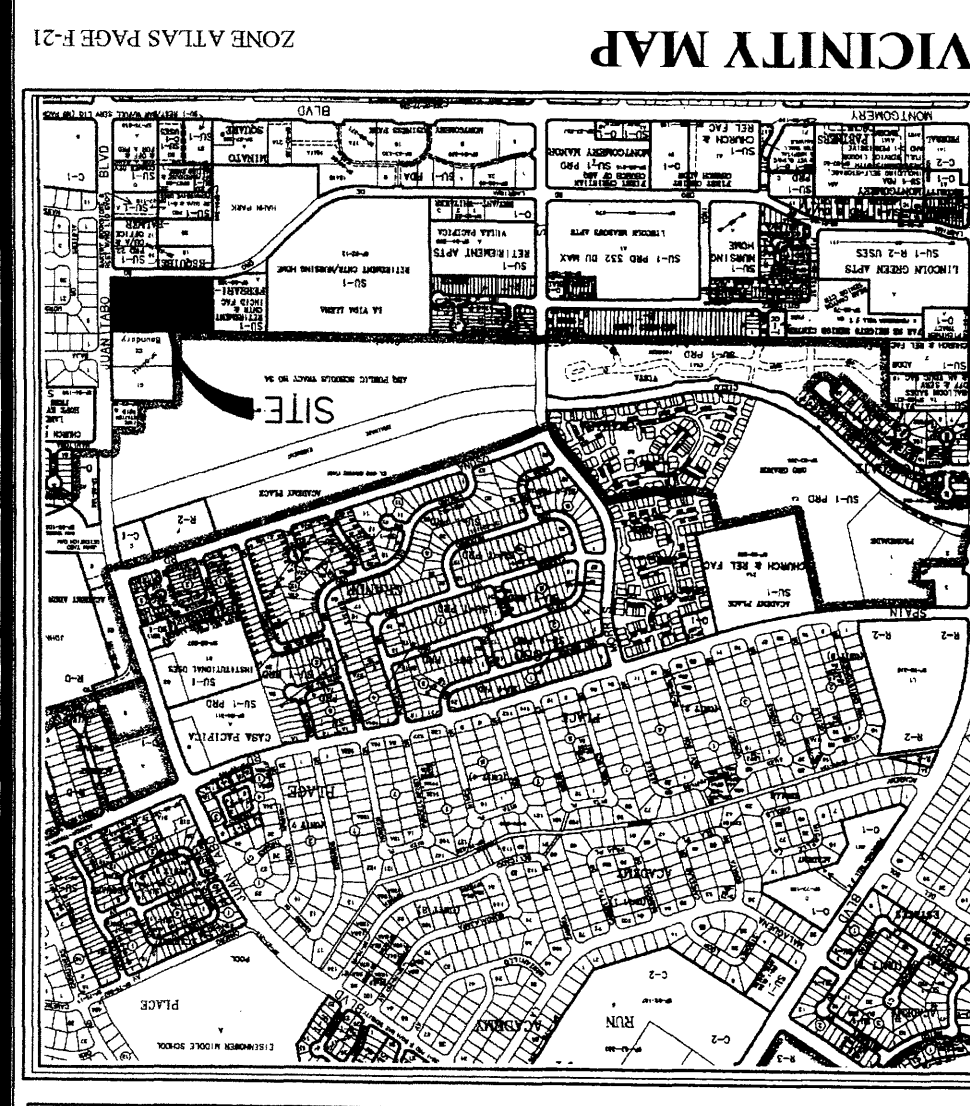
**ARCHITECT OF RECORD:**  
**RD HABIGER & ASSOCIATES, INC.**  
LITURGICAL DESIGN  
12101 PALOMAS NE  
ALBUQUERQUE, NEW MEXICO 87122  
TEL: 505-821-5172 FAX: 505-821-1479  
EMAIL: rdh@rhdesign.com  
ASSOCIATE ARCHITECT  
**TATE FISHBURN**  
ARCHITECT  
BOX 2941 CORRALES NEW MEXICO 87048 PHONE 505-899-9338 FAX 899-9238

**NEW ADDITION FOR SAINT STEPHENS UNITED METHODIST CHURCH**  
4601 Juan Tabo, N.E.  
Albuquerque, New Mexico 87111

**PROJECT NO:** -  
**DRAWN BY:** TRF  
**CHECKED BY:** RDH  
**DATE:** 02/06/03  
**REVISIONS:**  
△  
△  
△  
**SITE DEVELOPMENT PLAN**  
**SHEET:** SDP-1  
**OF:** 8

**MASTER PLAN**  
**SAINT STEPHENS**  
**UNITED METHODIST CHURCH**  
 4601 Juan Tabo, N.E.  
 Albuquerque, New Mexico 87111

ARCHITECT OF RECORD  
**RDD HABIGER & ASSOCIATES, INC.**  
 1301 PALOMAS, N.E.  
 ALBUQUERQUE, NEW MEXICO 87122  
 TEL: 505.873.1112 FAX: 505.873.3479  
 E-MAIL: rdh@rdhag.com  
 ASSOCIATE ARCHITECT  
**TATE FISHER**  
 BOX 9341 CORRALS NEW MEXICO 87048 PHONE: 505.899.9288 FAX: 899.9288

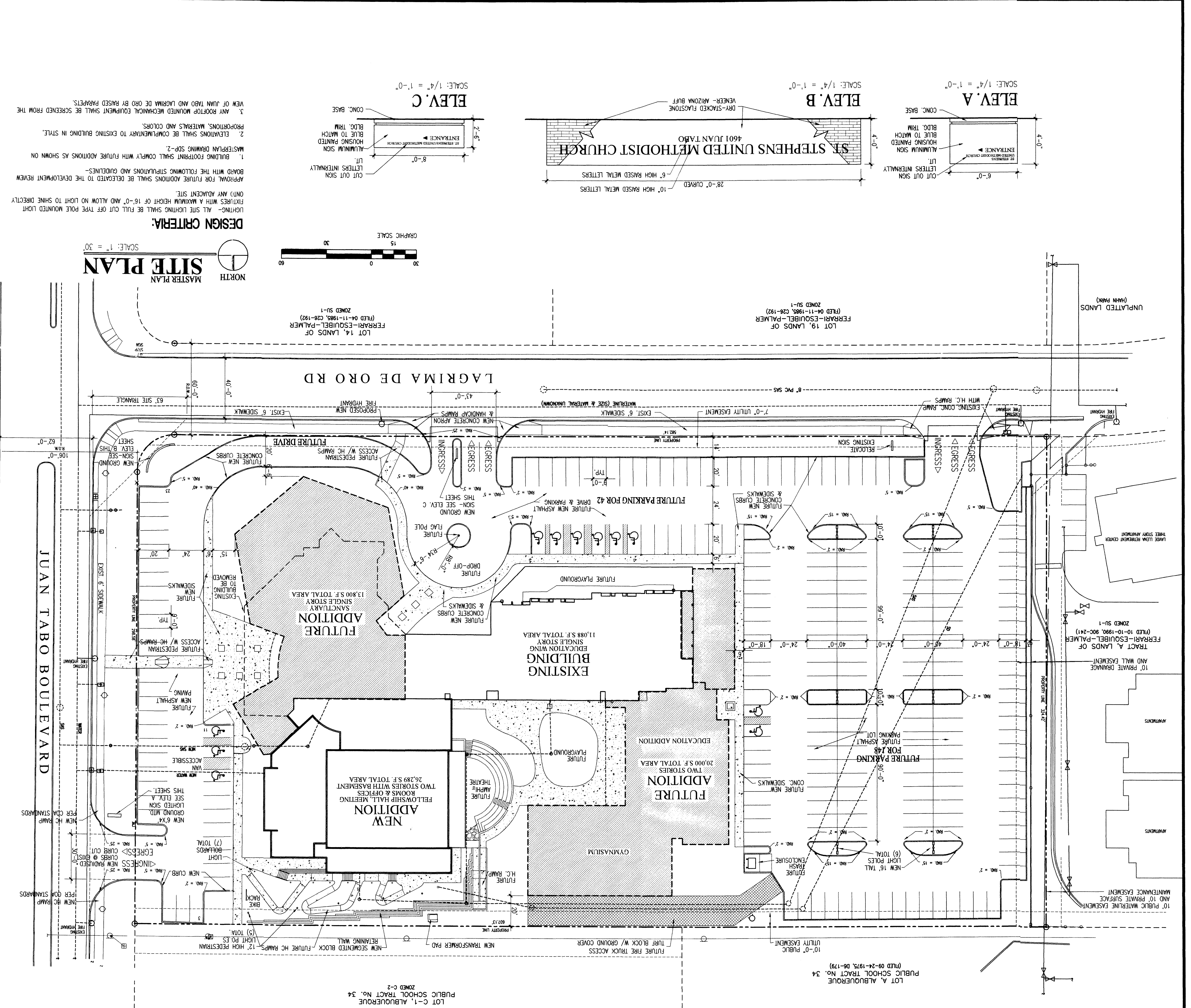


PROJECT INFORMATION

PROJECT NO.	DATE	CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT
CASE NO.	DATE	TRAFFIC ENGINEER, TRANSPORTATION DIVISION
SITE DEVELOPMENT PLAN APPROVAL FOR ST. STEPHEN'S UNITED METHODIST CHURCH AT 4601 JUAN TABO, N.E. ALBUQUERQUE, NEW MEXICO. APPROVED EPC CASE NO. 02EPC 016827.	DATE	PARKS & RECREATION DEPARTMENT
APPROVAL & CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	DATE	PUBLIC WORKS, WATER UTILITIES DIVISION
SOLID WASTE	DATE	CITY ENGINEER, ENGINEERING DIVISION / AMFCA

MASTER PLAN

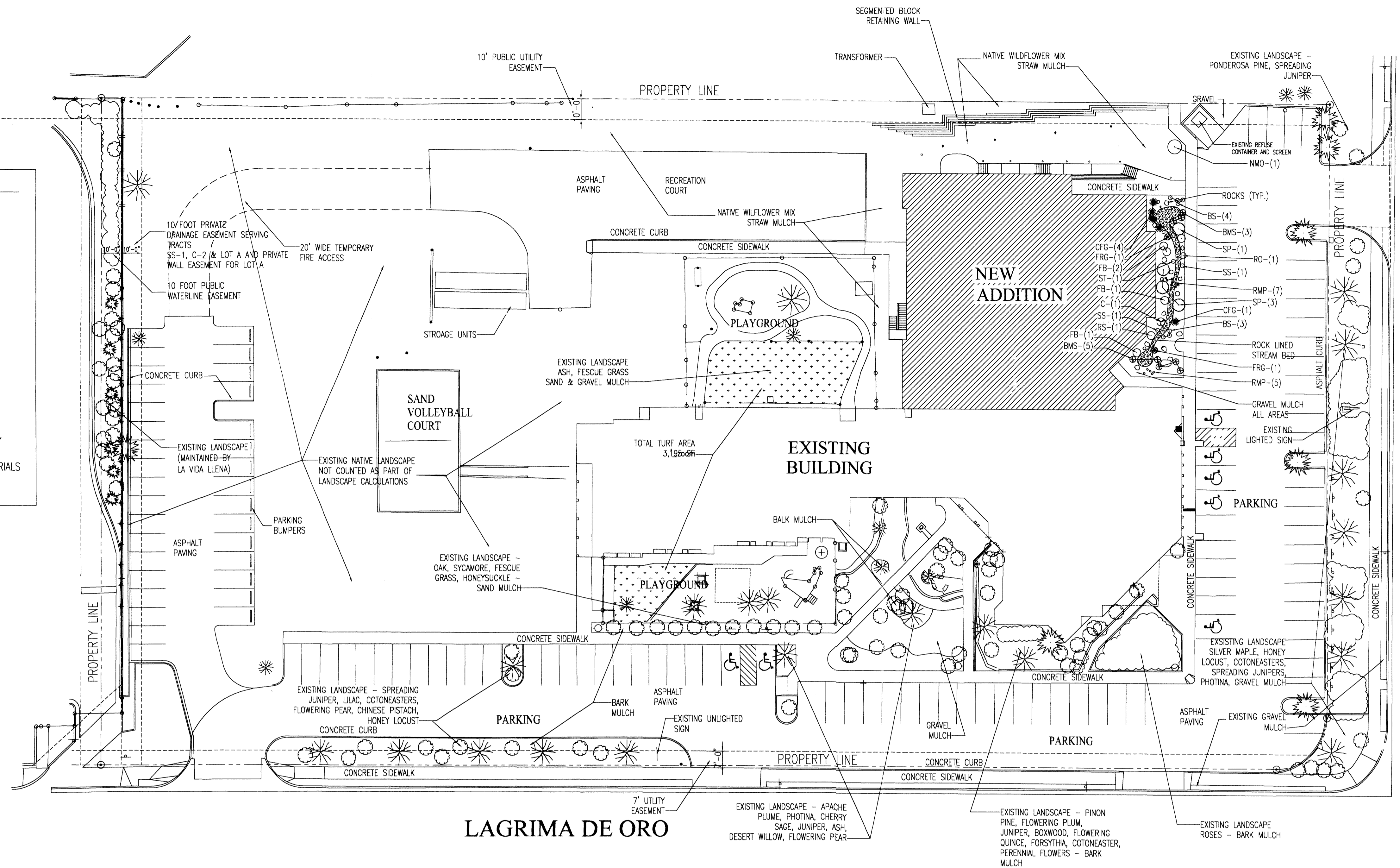
<b>PROJECT:</b> SITE DEVELOPMENT PLAN AMENDMENT AND BUILDING ADDITION 4601 JUAN TABO, N.E. ST. STEPHEN'S UNITED METHODIST CHURCH	<b>LEGAL DESCRIPTION:</b> TRACT SS-1, ST. STEPHEN'S UNITED METHODIST CHURCH
<b>OWNER:</b> ST. STEPHEN'S UNITED METHODIST CHURCH	<b>ARCHITECT:</b> R.D. HABIGER AND ASSOCIATES
<b>LOCATION:</b> 4601 JUAN TABO, N.E.	<b>CURRENT ZONING CLASSIFICATION:</b> SU-1 FOR CHURCH & INCIDENTAL FACILITIES
<b>GROSS BUILDING AREA:</b> EXISTING BLDG. 21,000 S.F. NEW ADDITION 26,289 S.F. TOTAL AREA 47,289 S.F.	<b>TOTAL LOT AREA:</b> 4.5124 ACRES +/-
<b>OCCUPANT LOAD:</b> WORSHIP/FELLOWSHIP- 600 OFFICE- 20 EDUC. STAFF- 20 TOTAL- 640	<b>PARKING ANALYSIS:</b> WORKSHOP- 600/4= OFFICE AREA - 20 SPACES EDUCATION- 20 SPACES 10% REDUCTION FOR BUS ROUTE (19) SPACES TOTAL REQUIRED PARKING SPACES= 171 SPACES SPACES PROVIDED= 227 SPACES INCLUDING 11 HANDICAP TYPICAL PARKING SPACE DIMENSION- 9'-0" X 20'-0"
<b>TOTAL LOT AREA:</b> 4.5124 ACRES +/-	<b>BICYCLE PARKING-</b> PROVIDED- 8 SPACES REQUIRED- 8 SPACES



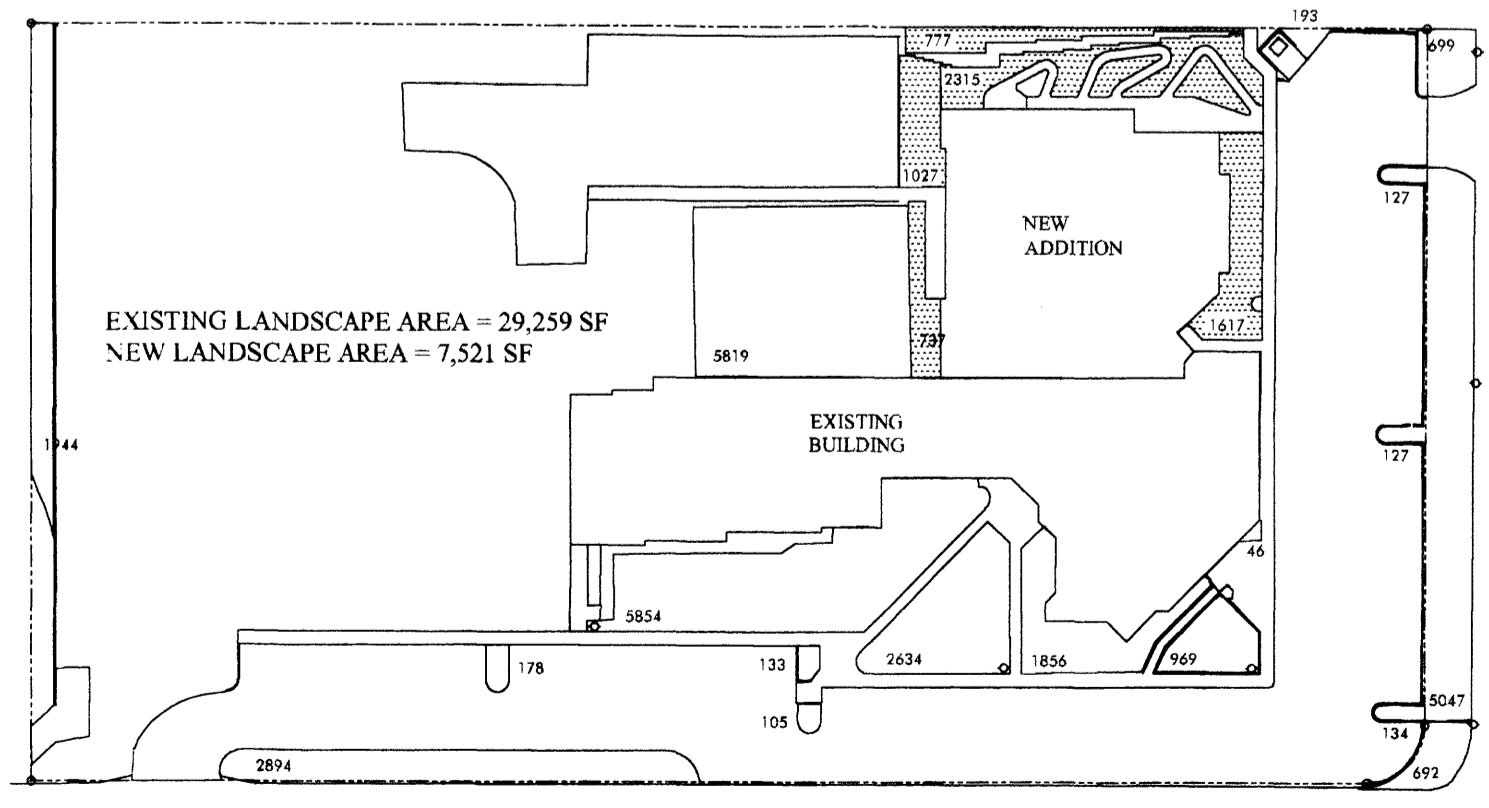
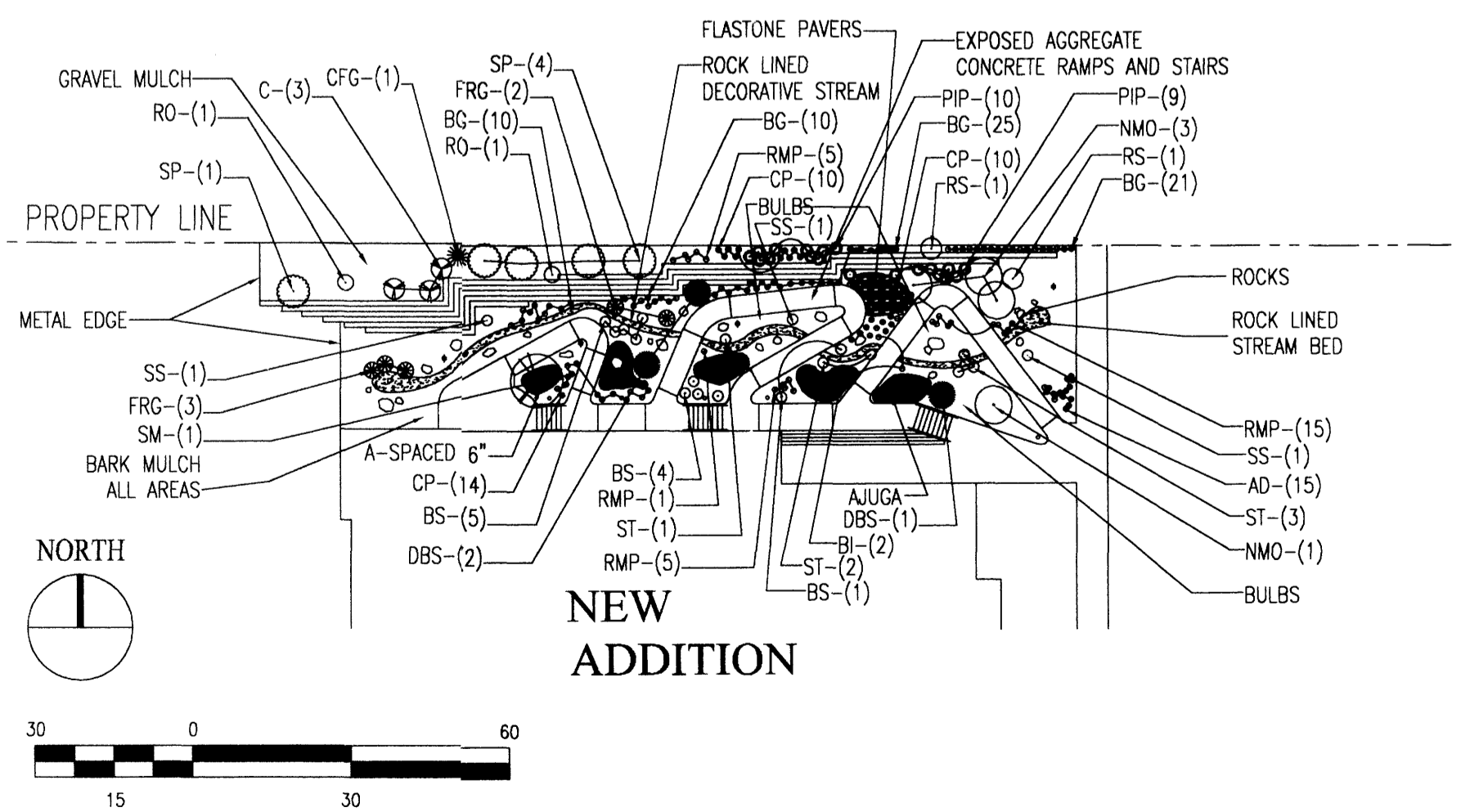
PROJECT INFORMATION

LOT C-1, ALBUQUERQUE ZONED C-2  
 PUBLIC SCHOOL TRACT NO. 34  
 LOT A, ALBUQUERQUE (FILED 09-24-1975, 08-179)  
 PUBLIC SCHOOL TRACT NO. 34

- LANDSCAPE NOTES:**
- TOTAL SITE ACREAGE IS 4.5124 ACRES
  - LOT AREA IN SQUARE FEET IS 196,560 SF
  - BUILDING AREA COVERAGE:  
EXISTING = 21,000SF  
NEW = 13,050 SF  
FUTURE PROPOSED = 18,900 SF  
BUILDING LOT COVERAGE = 52,950 SF (27% OF LOT AREA)
  - LANDSCAPE AREA REQUIRED:  
15% OF 196,560 = 29,484 SF
  - LANDSCAPE AREA PROVIDED:  
EXISTING = 27,507 SF  
NEW = 6,473 SF  
TOTAL LANDSCAPE = 33,980 SF (EXCEEDS REQUIREMENT BY 15%)  
HIGH WATER USE TURF AREA = 3,195 SF  
9.5% OF TOTAL LANDSCAPE PROVIDED  
11% OF REQUIRED LANDSCAPE
  - LANDSCAPE TO BE WATERED BY UNDERGROUND IRRIGATION SYSTEM.
  - MAINTENANCE OF LANDSCAPE AND IRRIGATION TO BE BY ST. STEPHEN'S UNITED METHODIST CHURCH, EXCEPT 10 FOOT WIDE LANDSCAPE AREA AT WEST PROPERTY LINE WHICH IS MAINTAINED BY LA VIDA LLENA.
  - LANDSCAPING SHALL PROVIDE 75% OF GROUNDCOVER BY LIVE AND ORGANIC MATERIALS AT FULL MATURITY FOR ALL LANDSCAPED AREAS.



**LAGRIMA DE ORO**



**PLANT LIST**

Mark	Scientific Name	Common Name	Size	QTY Phase 1	QTY Future	Mature Dia.
A	<i>Ajuga reptans</i>	Ajuga	6 pack	0	-	1'
AD	<i>Anacyclus depressus</i>	Atlas Daisy	4 Pack	0	15	1'
BI	<i>Iris hybrids</i>	Bearded Iris	Rhizomes	0	3	1'
BG	<i>Aurinia saxatilis</i>	Basket of Gold	4 Pack	0	56	2'
BMS	<i>Caryopteris x clandonensis</i>	Blue Mist Spirea	1 Gal.	8	0	3'
BS	<i>Salvia nemerosa</i> "Blue Hill"	Blue Salvia	4 Pack	7	11	2'
C	<i>Chrysothamnus nauseosus</i>	Chamisa	1 Gal.	1	3	4'
CFG	<i>Pennisetum setaceum</i> "Rubra"	Crimson Fountain Grass	1 Gal.	5	1	4'
CP	<i>Campanula rotundifolia</i>	Campanula	4 Pack	0	34	1'
DBS	<i>Picea unguis gluea</i> "Montgomery"	Dwarf Blue Spruce	5 Gal.	0	3	5'
FB	<i>Chamaebutaria millefolium</i>	Fernbush	5 Gal.	4	0	4'
FRG	<i>Calamagrostis acutiflora</i>	Feather Reed Grass	1 Gal.	2	5	3'
G	<i>Gaillardia aristata</i>	Gaillardia	1 Gal.	0	0	2'
NMO	<i>Forestiera neomexicana</i>	New Mexico Olive	5 Gal.	1	4	6'
PIP	<i>Delosperma cooperi</i>	Pink Ice Plant	4 Pack	0	19	2'
RMP	<i>Penstemon strictus</i>	Rocky Mountain Penstemon	4" Pot	12	26	1'
RO	<i>Rosmarinus officinalis</i>	Rosemary	1 Gal.	1	2	2'
RS	<i>Perovskia atriplicifolia</i>	Russian Sage	1 Gal.	2	2	4'
SM	<i>Acer ginnala</i>	Amur Maple	5 Gal.	0	1	10'
SP	<i>Cotoneaster divaricatus</i>	Spreading Cotoneaster	5 Gal.	5	5	6'
SS	<i>Salvia splendens</i>	Scarlet Sage	1 Gal.	2	3	2'
ST	<i>Santolina chamaecyparissus</i>	Santolina	1 Gal.	1	6	2'

**FUTURE LANDSCAPE PLAN AT PHASE ONE ADDITION**  
1" = 30'-0"

ARCHITECT OF RECORD:  
**RD HABIGER & ASSOCIATES, INC.**  
LITURGICAL DESIGN  
1501 PALOMAS NE ALBUQUERQUE, NEW MEXICO 87122  
TEL: 505.845.5112 FAX: 505.845.5479  
EMAIL: rdh@rdhabiger.com

ASSOCIATE ARCHITECT  
**TATE FISHER**  
ARCHITECT  
BOX 2941 CORRALES NEW MEXICO 87048 PHONE: 505.895.9338 FAX: 899.9328

**NEW ADDITION**  
**SAINT STEPHEN'S**  
**UNITED METHODIST CHURCH**  
4601 Juan Tabo, N.E.  
Albuquerque, New Mexico 87111

PROJECT NO: -  
DRAWN BY: LED  
CHECKED BY: RDH  
DATE: 02/06/02

REVISIONS:  
△  
△  
△

SITE DEVELOPMENT  
LANDSCAPE PLAN

SHEET:  
**SDP-3**  
OF: 8

**DRAINAGE PLAN**

I. INTRODUCTION AND EXECUTIVE SUMMARY  
 THIS PROJECT IS LOCATED IN NORTHWEST ALBUQUERQUE NEAR MONTGOMERY BLVD. NE AND JUAN TABO BLVD. NE AND REPRESENTS A MODIFICATION WITH AN INFILL SITE. FREE DISCHARGE FROM THE SITE INTO LAGUNA DE ORO RD. NE THROUGH NEW AND EXISTING DRAINWAYS AS WELL AS THROUGH AN EXISTING CONCRETE RUNDOWN WHICH IS LOCATED WITHIN AN EXISTING PRIVATE DRAINAGE EASEMENT. THE CONCEPT OF FREE DISCHARGE WILL BE UTILIZED AS ALLOWED BY THE PREVIOUSLY APPROVED DRAINAGE PLAN FOR THE SITE (F-21/013). OFFSITE FLOWS ENTER THE SITE FROM THE NORTH AND WILL BE ACCEPTED THROUGH THE SITE AND INTO LAGUNA DE ORO RD. NE.

II. PROJECT DESCRIPTION  
 AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED AT THE NORTHWEST CORNER OF JUAN TABO BLVD. NE AND LAGUNA DE ORO ROAD NE. THE CURRENT LEGAL DESCRIPTION IS TRACT SS-1, ST. STEPHEN'S METHODIST CHURCH, AS SHOWN BY PANEL 144 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, REVISED APRIL 2, 2002. THIS SITE DOES NOT LIE WITHIN NOR ADVERSELY IMPACT A DESIGNATED FLOOD HAZARDOUS ZONE (ZONE A).

III. BACKGROUND DOCUMENTS  
 THE FOLLOWING DOCUMENTS WERE USED IN THE PREPARATION OF THIS PLAN:  
 1) GRADING AND DRAINAGE PLAN FOR ST. STEPHEN'S UNITED METHODIST CHURCH (F-21/013). PREPARED BY TOM MANN ASSOCIATES, INC., OCTOBER 27, 1982. THIS PLAN WAS FOR A NEW BUILDING AND DRAINAGE PLAN FOR THE EXISTING CONCRETE RUNDOWN OF LAGUNA DE ORO RD. NE. THE BUILDING FOOTPRINT, THESE ADJACENT AREAS, WAS SHOWN BY PANEL 144 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, REVISED APRIL 2, 2002.

2) GRADING AND DRAINAGE PLAN FOR ST. STEPHEN'S UNITED METHODIST CHURCH (F-21/013). PREPARED BY THOMAS I. MANN, JR., OCTOBER 27, 1982. THIS PLAN STATES THAT FREE DISCHARGE FROM THE SITE INTO LAGUNA DE ORO RD. NE HAS BEEN ALLOWED BY THE CITY. OFFSITE FLOWS GENERATED BY LOT C-1 LOCATED TO THE NORTH AND ENTERING THE SITE AT TWO LOCATIONS ALONG THE NORTH PROPERTY LINE WERE CALCULATED TO BE 3.4 CFS AND 3.0 CFS. THESE OFFSITE FLOWS ENTER THE SITE AT THE NORTHWEST AND NORTHEAST PORTIONS OF THE SITE. RESPECTIVELY.

3) REPLAT OF LOTS 29 AND 30 LANDS OF FERRARI-ESQUIBEL-PALMER RECORDED ON OCTOBER 10, 1990, VOL. 90C, FOLIO 241. PREPARED BY BOHANNON HUSTON INC. THIS PLAT DEPICTS THE OFFSITE DRAINAGE EASEMENT WHICH SERVES THE SITE AND IS LOCATED NEAR THE SITES' SOUTHWEST CORNER.

4) REPLAT OF TRACT SS, ST. STEPHEN'S UNITED METHODIST CHURCH, RECORDED ON OCTOBER 18, 1990, VOL. 90C, FOLIO 258. PREPARED BY BOHANNON HUSTON INC. THIS PLAT DEPICTS THE ONSITE DRAINAGE EASEMENT WHICH SERVES THE SITE AS WELL AS TRACT C-2 AND LOT 1 LOCATED NORTH OF THE SITE.

IV. EXISTING CONDITIONS  
 CURRENTLY, THE SITE IS DEVELOPED AND CONSISTS OF A MULTI-LEVEL BUILDING, ASPHALT PAVED PARKING, LANDSCAPING, AND A PORTION OF UNDEVELOPED LAND. OFFSITE FLOWS AS QUANTIFIED BY THE PREVIOUSLY APPROVED DRAINAGE PLAN ENTER THE SITE FROM LOT C-1 TO THE NORTH. ALL RUNOFF GENERATED BY THE SITE DISCHARGES INTO LAGUNA DE ORO RD. NE THROUGH THE EXISTING DRIVE ENTRANCES TO THE SITE ALONG LAGUNA DE ORO. NE THROUGH THE SOUTHWESTERLY PORTION OF THE SITE DISCHARGES INTO LAGUNA DE ORO. NE THROUGH THE PORTION OF THE SITE, AS WELL AS THE OFFSITE FLOWS WHICH ENTER THE SITE. DRAIN INTO LAGUNA DE ORO RD. NE THROUGH AN EXISTING CONCRETE RUNDOWN LOCATED AT THE SOUTHWEST CORNER OF THE SITE THROUGH A NEW PIPE TO DRAIN INTO LAGUNA DE ORO. NE THROUGH THE EXISTING DRAINWAYS. THE REMAINDER OF THE SITE WILL REMAIN UNCHANGED AND WILL CONTINUE TO DRAIN INTO LAGUNA DE ORO. NE THROUGH THE EXISTING DRAINWAYS. THE CONCEPT OF FREE DISCHARGE AT THE NORTH SIDE OF THE BUILDING AT THE BASIN LEVEL TO ALLOW GRADE ON THE NORTH SIDE OF THE NEW ADDITION WITH A BASEMENT LEVEL. THE FINISHED PHASE 1 WILL CONSIST OF A NEW BUILDING ADDITION WITH A BASEMENT LEVEL. PHASE 1 DEVELOPED CONDITIONS

V. PHASE 1 DEVELOPED CONDITIONS  
 PHASE 1 DEVELOPMENT WILL BE AT THE BASIN LEVEL TO ALLOW GRADE ON THE NORTH SIDE OF THE NEW ADDITION WITH A BASEMENT LEVEL. THE FINISHED PHASE 1 WILL CONSIST OF A NEW BUILDING ADDITION WITH A BASEMENT LEVEL. THE FINISHED PHASE 1 DEVELOPED ADDITION WITH A BASEMENT LEVEL. THE FINISHED PHASE 1 DEVELOPED ADDITION WITH A BASEMENT LEVEL. THE FINISHED PHASE 1 DEVELOPED ADDITION WITH A BASEMENT LEVEL. THE FINISHED PHASE 1 DEVELOPED ADDITION WITH A BASEMENT LEVEL.

**CALCULATIONS**

I. PRECIPITATION ZONE = 4

II. P<sub>6.100</sub> = P<sub>360</sub> = 2.90 IN

III. TOTAL AREA (A<sub>T</sub>) = 196,500 SF / 4.51 AC

IV. EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
A	14,605/0.34	08
B	82,775/1.90	42
C	82,775/1.90	42
D	99,120/2.28	50
TOTAL		
A+B+C+D	279,280/1.64	100

V. PHASE 1 DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
A	4,270/0.10	02
B	82,775/1.90	42
C	82,775/1.90	42
D	109,456/2.51	56
TOTAL		
A+B+C+D	279,376/1.93	100

VI. FULLY DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
A	23,400/0.54	12
B	173,100/3.97	88
TOTAL		
A+B	196,500/4.51	100

7. PEAK DISCHARGE

$$Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$$

$$Q_p = (0.017A) + (0.017B) + (0.017C) + (0.017D)$$

$$Q_p = (0.017(14,605)) + (0.017(82,775)) + (0.017(82,775)) + (0.017(99,120))$$

$$Q_p = 249.685 + 1407.173 + 1407.173 + 1685.040$$

$$Q_p = 3548.071 \text{ CFS}$$

8. DISCHARGE TO RUNDOWN

$$Q_r = Q_p - Q_{off}$$

$$Q_r = 3548.071 - 224$$

$$Q_r = 3324.071 \text{ CFS}$$

9. FUTURE DEVELOPED

$$Q_{cap} = 29.1 \text{ CFS}$$

$$Q_p = 3548.071 + 29.1$$

$$Q_p = 3577.171 \text{ CFS}$$

10. EXISTING VS. PHASE 1 DEVELOPED

COMPARISON	VALUE
A. EXISTING VS. FUTURE DEVELOPED	$Q_{100.6-HR} = 22.4 - 20.0 = 2.4$ CFS (INCREASE)
B. EXISTING VS. FUTURE DEVELOPED	$Q_{100.6-HR} = 40.160 - 33.250 = 6.910$ CFS (INCREASE)
C. EXISTING VS. FUTURE DEVELOPED	$Q_{100.6-HR} = 34.515 - 33.250 = 1.265$ CFS (INCREASE)

11. FULLY DEVELOPED CONDITION

A. VOLUME

$$E_w = (E_{wA} + E_{wB} + E_{wC} + E_{wD})/4$$

$$E_w = [1.08(0.34) + 2.64(2.28)]/4.51 = 2.03 \text{ IN}$$

B. EXISTING VS. FUTURE DEVELOPED

C. EXISTING VS. FUTURE DEVELOPED

D. OFFSITE FLOWS

$$Q_{off} = 3.0 + 3.4 = 6.4 \text{ CFS (FROM PREVIOUS DRAINAGE PLAN)}$$

E. DISCHARGE TO RUNDOWN

$$Q = 0.50Q_{100} + Q_{off}$$

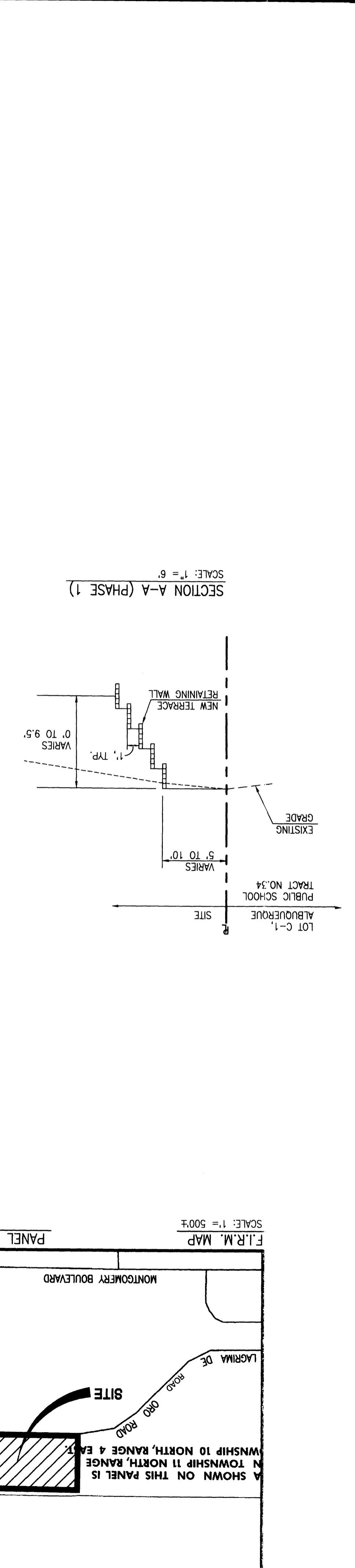
$$Q = 10.0 + 6.4 = 16.4 \text{ CFS}$$

F. DEVELOPED CONDITIONS

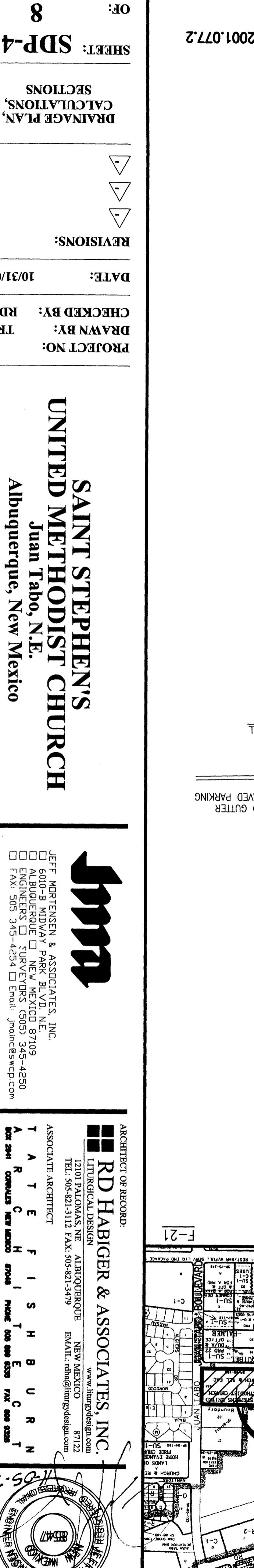
G. PHASE 1 DEVELOPED CONDITIONS

H. PHASE 1 DEVELOPED CONDITIONS

**SECTION A-A (PHASE 1)**



**SECTION B-B (FUTURE)**



**DRAINAGE PLAN, CALCULATIONS, SECTIONS**  
 SHEET: **SDP-4**  
 OF: **8**

**SAINT STEPHEN'S UNITED METHODIST CHURCH**  
 Juan Tabo, N.E., Albuquerque, New Mexico

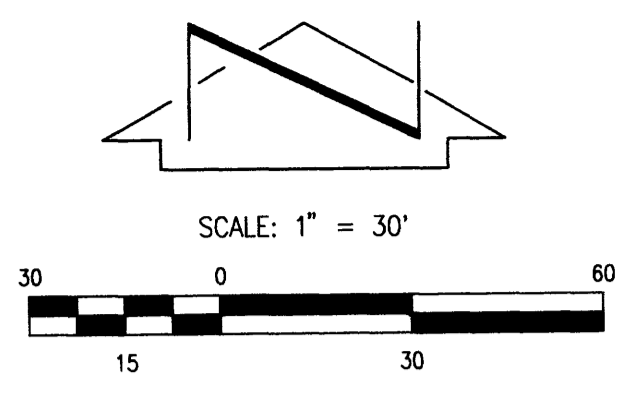
LOT C-1, ALBUQUERQUE TRACT NO. 34, PUBLIC SCHOOL TRACT NO. 34, ALBUQUERQUE

LOT C-1, ALBUQUERQUE TRACT NO. 34, PUBLIC SCHOOL TRACT NO. 34, ALBUQUERQUE

RD HABIGER & ASSOCIATES, INC.  
 LITTONICAL DESIGN NEW MEXICO  
 1310 E. PALOMAS, N.E. ALBUQUERQUE  
 TEL: 505-821-3112 FAX: 505-821-3419  
 ASSOCIATE ARCHITECT

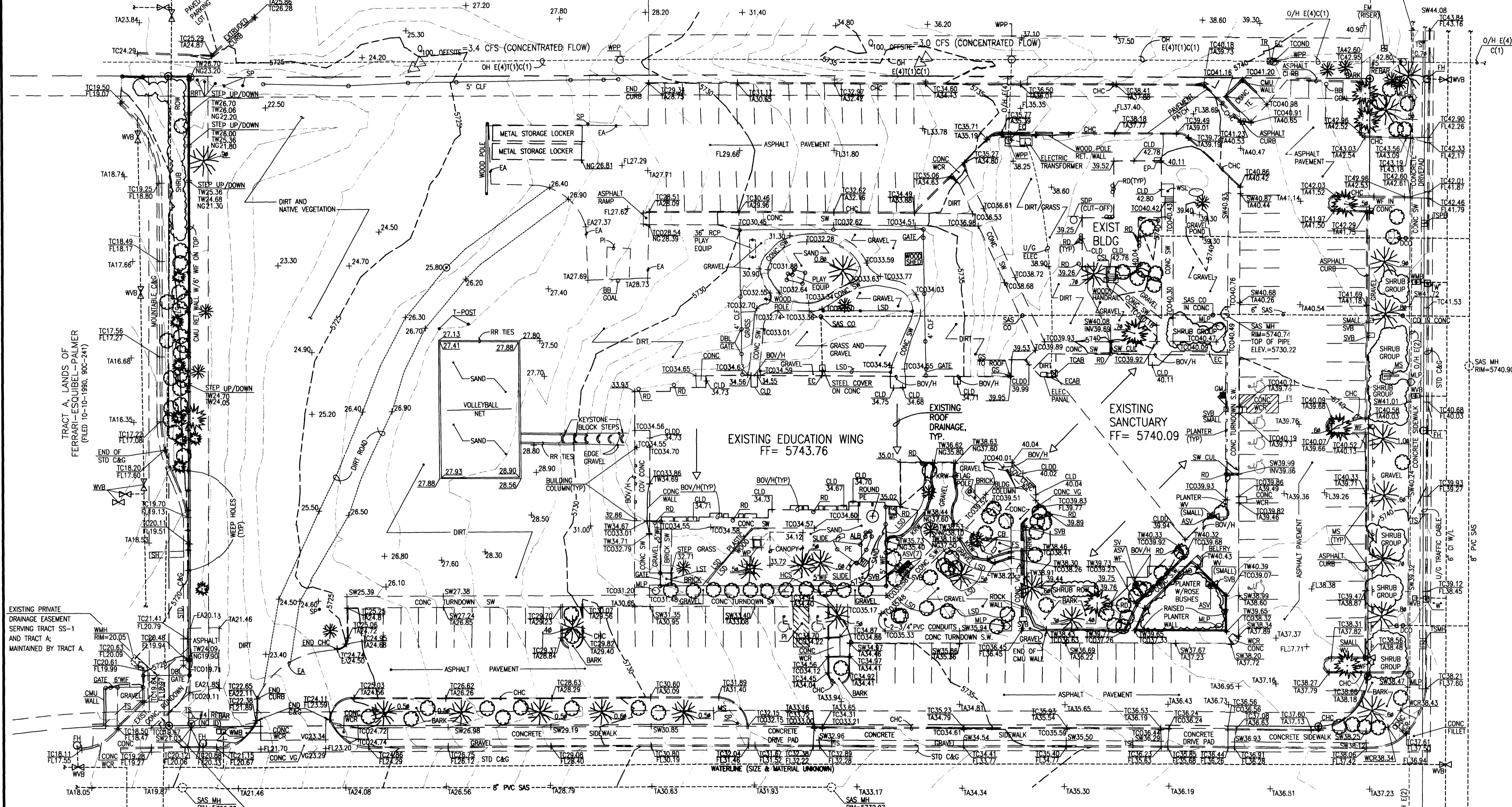
ARCHITECT OF RECORD: RD HABIGER & ASSOCIATES, INC.  
 LITTONICAL DESIGN NEW MEXICO  
 1310 E. PALOMAS, N.E. ALBUQUERQUE  
 TEL: 505-821-3112 FAX: 505-821-3419  
 ASSOCIATE ARCHITECT





LOT A, ALBUQUERQUE  
PUBLIC SCHOOL TRACT No. 34  
(FILED 09-24-1975, D6-179)

LOT C-1, ALBUQUERQUE  
PUBLIC SCHOOL TRACT No. 34  
(FILED 12-06-1984, C25-165)



LAGRIMA DE ORO RD N.E.

JUAN TABO BOULEVARD N.E.

TBM #2  
ELEV. = 5720.39 (NGVD 29)

TBM #1  
ELEV. = 5737.50 (NGVD 29)

LOT 19, LANDS OF  
FERRARI-ESQUIBEL-PALMER  
(FILED 04-11-1985, C26-192)

LOT 14, LANDS OF  
FERRARI-ESQUIBEL-PALMER  
(FILED 04-11-1985, C26-192)

T.B.M.  
T.B.M.#1  
TOP OF REBAR W/CAP (NO I.D.),  
IN CONCRETE SIDEWALK  
ELEVATION= 5737.50 FEET(NGVD 29)  
T.B.M.#2  
CHISELED "4" ON CONCRETE SIDEWALK  
ELEVATION= 5720.39 FEET(NGVD 29)

LEGAL DESCRIPTION  
TRACT SS-1, REPLAT OF TRACT SS,  
ST. STEPHEN'S METHODIST CHURCH

PROJECT BENCHMARK  
STANDARD ACS BRASS TABLET STAMPED "ASC JT-1A" SET IN TOP OF A  
CONCRETE POST FLUSH WITH TOP OF CURB OF THE SOUTH MEDIAN NOSE  
AT THE INTERSECTION OF MONTGOMERY BOULEVARD N.E. AND  
JUAN TABO BOULEVARD N.E. ELEV= 5721.248(NGVD 29)

LEGEND

ALB	ARCHED LADDER BARS
ASV	ANTI-SIPHON VALVE
BOU/H	BUILDING OVERHANG
C&G	CURB AND GUTTER
CB	CONCRETE BENCH
COP	CONCRETE CYLINDER PIPE
CHC	CONCRETE HEADER CURB
CI	CAST IRON
CLD	CENTERLINE DOOR
CLDD	CENTERLINE DOUBLE DOOR
CLF	CHAIN LINK FENCE
CMU	CONCRETE MASONRY UNIT
CONC	CLEAN OUT
CONC CONC	CONCRETE CONCRETE
CSV	CONCRETE STEPS AND LANDING
CUL	CULVERT
DD	DOUBLE CLEAN OUT
DD	DOUBLE DOOR
EA	EDGE OF ASPHALT
ELEC	ELECTRIC CABINET
EP	ELECTRIC
EPH	ELECTRIC PANEL
FL	FIRE HYDRANT
FS	FIRE LINE
GS	GAS SERVICE
HCS	HANDICAP SIGN
INV	INVERT
INV	KEYSTONE ROCK WALL
LST	LANDSCAPE TIMBER
MH	MANHOLE
MLP	METAL LIGHT POLE
MSP	METAL SIGN
O/H C(1)	OVERHEAD COMMUNICATION (NO. OF LINES)
O/H E(4)	OVERHEAD ELECTRIC (NO. OF LINES)
O/H T(1)	OVERHEAD TELEPHONE (NO. OF LINES)
PS	PARKING BUMPER
PE	PLAYGROUND EQUIPMENT
PVC	PAINTED ISLAND
RD	POLYVINYL CHLORIDE
RET	ROOF DRAIN
RRW	RETAINING
SAS	ROCK RETAINING WALL
SDP	SANITARY SEWER LINE
SH	SERVICE DROP POLE
SP	SPEED HUMP
SVB	STEEL POLE
SW	SPRINKLER VALVE BOX
TA	SIDE WALK
TC	TOP OF ASPHALT
TC	TOP OF CURB
TC	TOP OF CONCRETE
TR	TELEPHONE CONDUIT
TR	TRASH ENCLOSURE
TS	TELEPHONE RISER
TSPB	TRAFFIC SIGN
U/G	TRAFFIC SIGNAL MANHOLE
U/G	TRAFFIC SIGNAL PULL BOX
VG	UNDERGROUND
W/L	VALLEY GUTTER
WCR	WATER LINE
WF	WHEEL CHAIR RAMP
WFB	WATER FAUCET
WP	WROUGHT IRON FENCE
WPP	WOOD POWER POLE
WSL	WOOD STEPS AND LANDING
WVB	WATER VALVE BOX

NOTE:  
THIS IS NOT A BOUNDARY SURVEY. BOUNDARY DATA  
SHOWN HEREON WAS TAKEN FROM A TOPOGRAPHIC  
SURVEY PREPARED BY JEFF MORTENSEN & ASSOCIATES  
DATED JANUARY 2002, AND IS SHOWN FOR ORIENTATION  
PURPOSES ONLY.



ARCHITECT OF RECORD:  
**RD HABIGER & ASSOCIATES, INC.**  
LITURGICAL DESIGN  
1210 PALOMAS NE, ALBUQUERQUE, NEW MEXICO 87102  
TEL: 505-821-3112 FAX: 505-821-3479  
EMAIL: rdh@rdhabiger.com

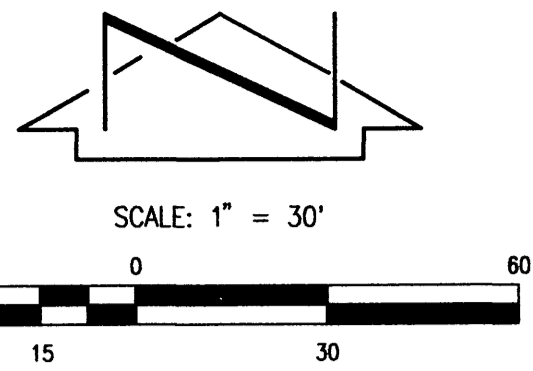
JEFF MORTENSEN & ASSOCIATES, INC.  
600-B MIDWAY PARK BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
TEL: 505-821-3112 FAX: 505-821-3479  
EMAIL: jmort@jeffmort.com

**SAINT STEPHEN'S  
UNITED METHODIST CHURCH**  
Juan Tabo, N.E.  
Albuquerque, New Mexico

PROJECT NO: -  
DRAWN BY: TRF  
CHECKED BY: RDH  
DATE: 10/31/02  
REVISIONS:  
△ -  
△ -  
△ -

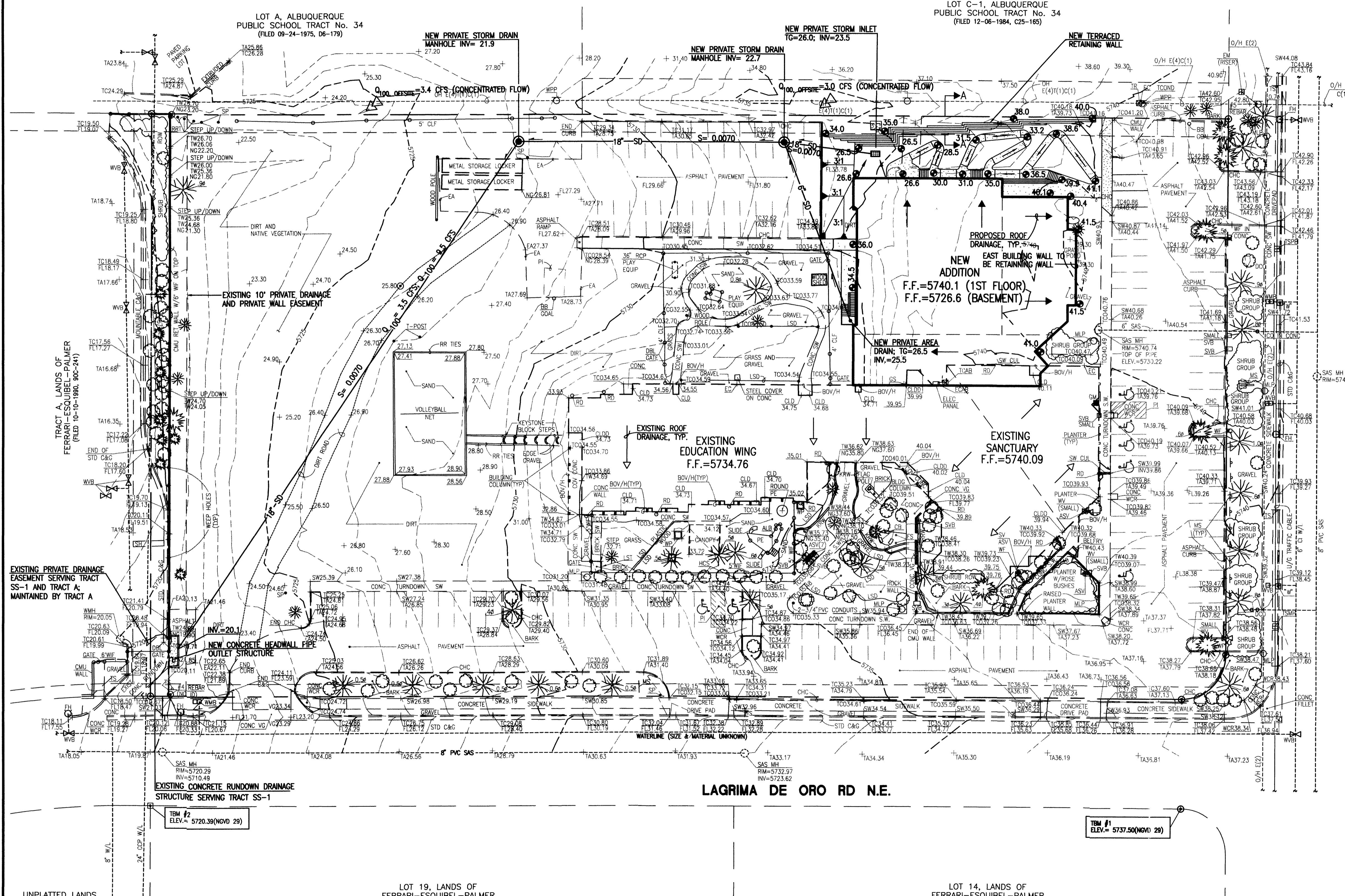
EXISTING  
CONDITIONS  
PLAN  
SHEET: **SDP-5**  
OF: **8**

Plot Date: 11-05-2002  
Plot Time: 2:14 pm  
File Path: E:\MORTEN\1072EC.DWG  
File Name: 1072EC.DWG



LOT A, ALBUQUERQUE  
PUBLIC SCHOOL TRACT No. 34  
(FILED 09-24-1975, D6-179)

LOT C-1, ALBUQUERQUE  
PUBLIC SCHOOL TRACT No. 34  
(FILED 12-06-1984, C25-185)



LAGRIMA DE ORO RD N.E.

LOT 19, LANDS OF  
FERRARI-ESQUIBEL-PALMER  
(FILED 04-11-1985, C26-192)

LOT 14, LANDS OF  
FERRARI-ESQUIBEL-PALMER  
(FILED 04-11-1985, C26-192)

**T.B.M.**

T.B.M.#1  
TOP OF REBAR W/CAP (NO I.D.),  
IN CONCRETE SIDEWALK  
ELEVATION= 5737.50 FEET(NGVD 29)

T.B.M.#2  
CHISELED "+" ON CONCRETE SIDEWALK  
ELEVATION= 5720.39 FEET(NGVD 29)

**LEGAL DESCRIPTION**

TRACT SS-1, REPLAT OF TRACT SS,  
ST. STEPHEN'S METHODIST CHURCH

**PROJECT BENCHMARK**

STANDARD ACS BRASS TABLE STAMPED "ASC JT-1A" SET IN TOP OF A  
CONCRETE POST FLUSH WITH TOP OF CURB OF THE SOUTH MEDIAN NOSE  
AT THE INTERSECTION OF MONTGOMERY BOULEVARD N.E. AND  
JUAN TABO BOULEVARD N.E. ELEV= 5721.248(NGVD 29)

**LEGEND**

- |           |                                       |
|-----------|---------------------------------------|
| ALB       | ARCHED LADDER BARS                    |
| ASV       | ANTI-SIPHON VALVE                     |
| BOU/H     | BUILDING OVERHANG                     |
| C&G       | CURB AND GUTTER                       |
| CB        | CONCRETE BENCH                        |
| CCP       | CONCRETE CYLINDER PIPE                |
| CHC       | CONCRETE HEADER CURB                  |
| CI        | CAST IRON                             |
| CLD       | CENTERLINE DOOR                       |
| CLDD      | CENTERLINE DOUBLE DOOR                |
| CLF       | CHAIN LINK FENCE                      |
| CMU       | CONCRETE MASONRY UNIT                 |
| CO        | CLEAN OUT                             |
| CONC      | CONCRETE                              |
| CONC CONC | COVERED CONCRETE                      |
| CSL       | CONCRETE STEPS AND LANDING            |
| CUL       | CULVERT                               |
| DCO       | DOUBLE CLEAN OUT                      |
| DD        | DOUBLE DOOR                           |
| EA        | EDGE OF ASPHALT                       |
| EC        | ELECTRIC CABINET                      |
| ELEC      | ELECTRIC                              |
| EP        | ELECTRIC PANEL                        |
| FL        | FIRE HYDRANT                          |
| FLH       | FLOWLINE                              |
| FS        | FLAG STONE                            |
| GS        | GAS SERVICE                           |
| HCS       | HANDICAP SIGN                         |
| INV       | INVERT                                |
| KRW       | KEYSTONE ROCK WALL                    |
| LST       | LANDSCAPE TIMBER                      |
| MH        | MANHOLE                               |
| MLP       | METAL LIGHT POLE                      |
| MS        | METAL SIGN                            |
| O/H C(1)  | OVERHEAD COMMUNICATION( NO. OF LINES) |
| O/H E(1)  | OVERHEAD ELECTRIC( NO. OF LINES)      |
| O/H T(1)  | OVERHEAD TELEPHONE( NO. OF LINES)     |
| PB        | PARKING BUMPER                        |
| PE        | PLAYGROUND EQUIPMENT                  |
| PI        | PAINTED ISLAND                        |
| PVC       | POLYVINYL CHLORIDE                    |
| RD        | ROOF DRAIN                            |
| RET       | RETAINING WALL                        |
| RRW       | ROCK RETAINING WALL                   |
| SAS       | SANITARY SEWER LINE                   |
| SDP       | SERVICE DROP POLE                     |
| SH        | SPEED HUMP                            |
| SP        | STEEL POLE                            |
| SVB       | SPRINKLER VALVE BOX                   |
| SW        | SIDE WALK                             |
| TA        | TOP OF ASPHALT                        |
| TC        | TOP OF CURB                           |
| TCOND     | TELEPHONE CONDUIT                     |
| TR        | TRASH ENCLOSURE                       |
| TS        | TELEPHONE RISER                       |
| TSMH      | TRAFFIC SIGNAL MANHOLE                |
| TSPB      | TRAFFIC SIGNAL PULL BOX               |
| U/G       | UNDERGROUND                           |
| V/G       | VALLEY GUTTER                         |
| W/L       | WATER LINE                            |
| WCR       | WHEEL CHAIR RAMP                      |
| WF        | WATER FAUCET                          |
| WMB       | WROUGHT IRON FENCE                    |
| WP        | WOOD PLANTER                          |
| WSP       | WOOD POWER POLE                       |
| WSL       | WOOD STEPS AND LANDING                |
| WVB       | WATER VALVE BOX                       |

JUAN TABO BOULEVARD N.E.

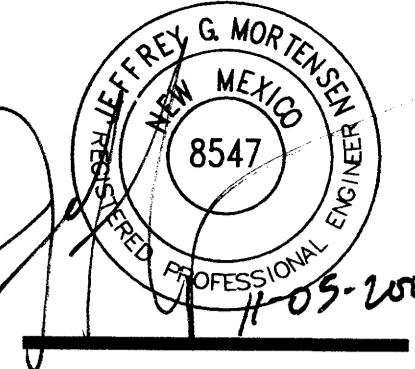
**EROSION CONTROL MEASURES:**

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDED ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

**NOTE:**

THIS IS NOT A BOUNDARY SURVEY. BOUNDARY DATA SHOWN HEREON WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY JEFF MORTENSEN & ASSOCIATES DATED JANUARY 2002, AND IS SHOWN FOR ORIENTATION PURPOSES ONLY.

Plot Date: 11-05-2002  
Plot Name: 10772C.DWG  
Plot Time: 2:19 pm



**RD HABIGER & ASSOCIATES, INC.**  
ARCHITECT OF RECORD  
12100 PALOMAS NE  
ALBUQUERQUE, NEW MEXICO 87122  
TEL: 505-821-3112 FAX: 505-821-3479  
EMAIL: rdhabiger@rdhabiger.com

**JEFF MORTENSEN & ASSOCIATES, INC.**  
SURVEYOR  
600-B MIDWAY PARK BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
TEL: 505-821-3112 FAX: 505-821-3479  
EMAIL: jmortensen@jeffmortensen.com

**SAINT STEPHEN'S  
UNITED METHODIST CHURCH**  
Juan Tabo, N.E.  
Albuquerque, New Mexico

PROJECT NO: -  
DRAWN BY: TRF  
CHECKED BY: RDH

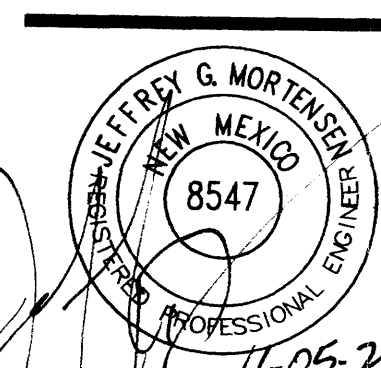
DATE: 10/31/02

REVISIONS:  
△  
△  
△

PHASE I  
CONCEPTUAL  
GRADING PLAN

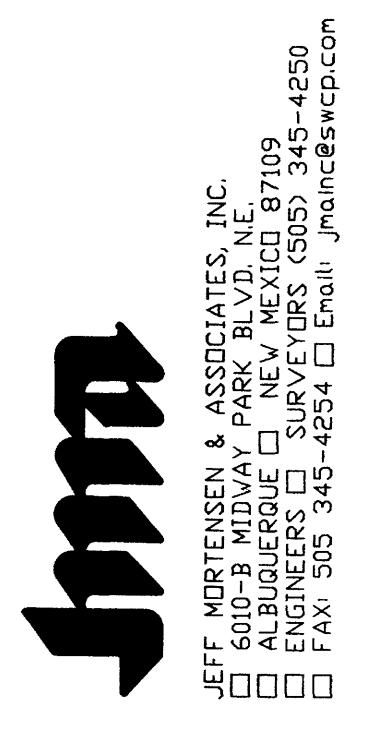
SHEET: **SDP-6**

OF: 8



ARCHITECT OF RECORD:  
**RD HABIGER & ASSOCIATES, INC.**  
 LITURGICAL DESIGN  
 12101 PALOMAS, N.E. ALBUQUERQUE, N.M. 87122  
 TEL: 505-821-3112 FAX: 505-821-3479  
 EMAIL: rdh@rdhabiger.com

ASSOCIATE ARCHITECT:  
**T A T E F I S H B U R N**  
 CONSULTANTS  
 Box 2841 CORRALES, New Mexico 87004  
 phone: 505-898-8238 fax: 505-898-8238



**SAINT STEPHEN'S  
 UNITED METHODIST CHURCH**  
 Juan Tabo, N.E.  
 Albuquerque, New Mexico

PROJECT NO: \_\_\_\_\_  
 DRAWN BY: TRF  
 CHECKED BY: RDH  
 DATE: 10/31/02  
 REVISIONS:  
 △  
 △  
 △

MASTER CONCEPTUAL  
 GRADING PLAN  
 SHEET: **SDP-7**  
 OF: 8

**PROJECT BENCHMARK**  
 STANDARD ACS BRASS TABLE STAMPED "ASC JT-1A" SET IN TOP OF A CONCRETE POST FLUSH WITH TOP OF CURB OF THE SOUTH MEDIAN NOSE AT THE INTERSECTION OF MONTGOMERY BOULEVARD N.E. AND JUAN TABO BOULEVARD N.E. ELEV.= 5721.248(NGVD 29)

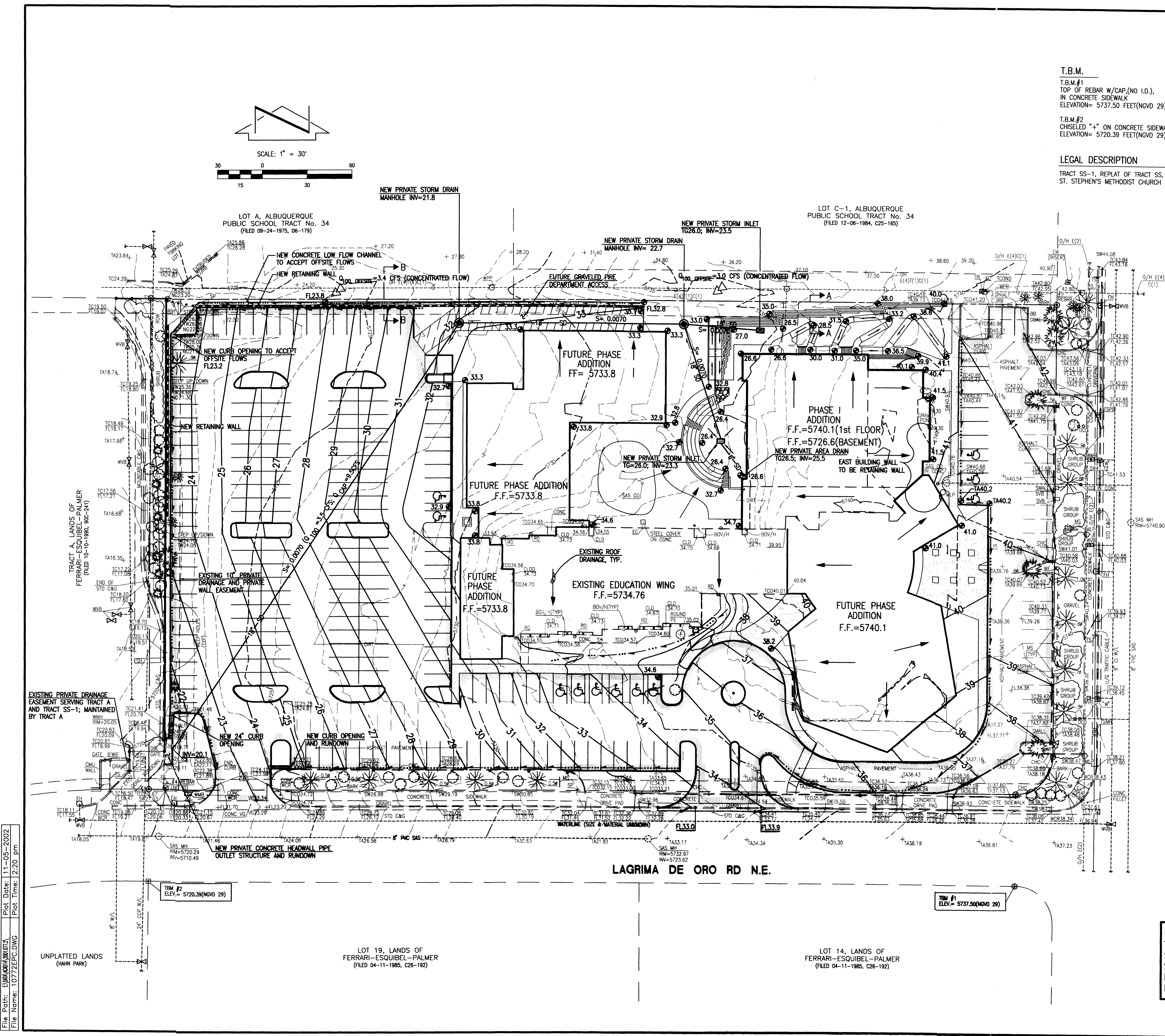
**T.B.M.**  
 T.B.M.#1  
 TOP OF REBAR W/CAP(NO I.D.), IN CONCRETE SIDEWALK ELEVATION= 5737.50 FEET(NGVD 29)  
 T.B.M.#2  
 CHISELED "+" ON CONCRETE SIDEWALK ELEVATION= 5720.39 FEET(NGVD 29)

**LEGAL DESCRIPTION**  
 TRACT SS-1, REPLAT OF TRACT SS, ST. STEPHEN'S METHODIST CHURCH

**LEGEND**

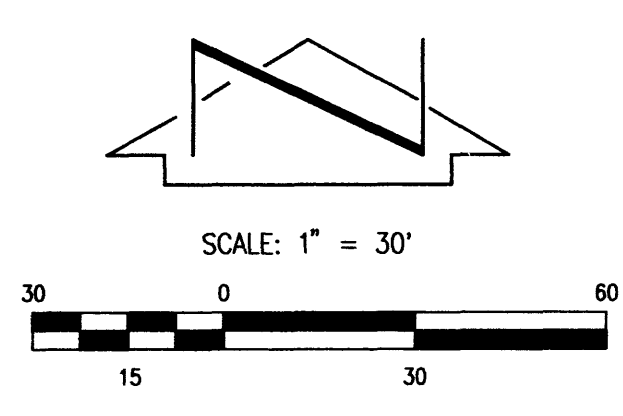
ALB	ARCHED LADDER BARS
ASV	ANTI-SIPHON VALVE
BOU/H	BUILDING OVERHANG
C&G	CURB AND GUTTER
CB	CONCRETE BENCH
CCP	CONCRETE CYLINDER PIPE
CHC	CONCRETE HEADER CURB
CI	CAST IRON
CLD	CENTERLINE DOOR
CLDD	CENTERLINE DOUBLE DOOR
CLF	CHAIN LINK FENCE
CMU	CONCRETE MASONRY UNIT
CO	CONCRETE
CONC	CONCRETE
COV CONC	COVERED CONCRETE
CSL	CONCRETE STEPS AND LANDING
CUL	CULVERT
DCO	DOUBLE CLEAN OUT
DD	DOUBLE DOOR
EA	EDGE OF ASPHALT
EC	ELECTRIC CABINET
ELEC	ELECTRIC
EP	ELECTRIC PANEL
FH	FIRE HYDRANT
FL	FLOWLINE
FS	FLAG STONE
GS	GAS SERVICE
HCS	HANDICAP SIGN
INVER	INVERT
KRW	KEYSTONE ROCK WALL
LST	LANDSCAPE TIMBER
MH	MANHOLE
MLP	METAL LIGHT POLE
MS	METAL SIGN
O/H C(1)	OVERHEAD COMMUNICATION(NO. OF LINES)
O/H E(4)	OVERHEAD ELECTRIC(NO. OF LINES)
O/H T(1)	OVERHEAD TELEPHONE(NO. OF LINES)
PB	PARKING BUMPER
PE	PLAYGROUND EQUIPMENT
PI	PAINTED ISLAND
PVC	POLYVINYL CHLORIDE
RD	ROOF DRAIN
RET	RETAINING
RRW	ROCK RETAINING WALL
SAS	SANITARY SEWER LINE
SDP	SERVICE DROP POLE
SH	SPEED HUMP
SP	STEEL POLE
SVB	SPRINKLER VALVE BOX
SW	SIDE WALK
TA	TOP OF CURB
TC	TELEPHONE CONDUIT
TE	TRASH ENCLOSURE
TR	TRAFFIC RISER
TS	TRAFFIC SIGN
TSMH	TRAFFIC SIGNAL MANHOLE
TSPB	TRAFFIC SIGNAL PULL BOX
U/G	UNDERGROUND
VG	VALLEY GUTTER
W/L	WATER LINE
WCR	WHEEL CHAIR RAMP
WF	WATER FAUCET
WIF	WROUGHT IRON FENCE
WMB	WATER METER BOX
WP	WOOD PLANTER
WPP	WOOD POWER POLE
WSP	WOOD STEPS AND LANDING
WV	WATER VALVE BOX
WVB	EXISTING SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED CONTOUR
	PROPOSED STORM DRAIN
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	EXISTING CURB
	FUTURE CURB
	HIGH POINT
	NEW RETAINING WALL
	GRAVEL

JUAN TABO BOULEVARD N.E.

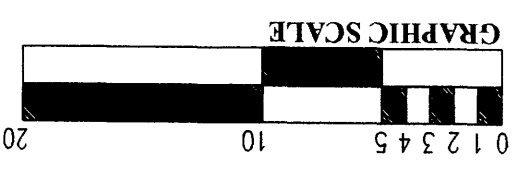


- EROSION CONTROL MEASURES:**
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
  2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
  3. WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
  4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDDED ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

**NOTE:**  
 THIS IS NOT A BOUNDARY SURVEY. BOUNDARY DATA SHOWN HEREON WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY JEFF MORTENSEN & ASSOCIATES DATED JANUARY 2002, AND IS SHOWN FOR ORIENTATION PURPOSES ONLY.

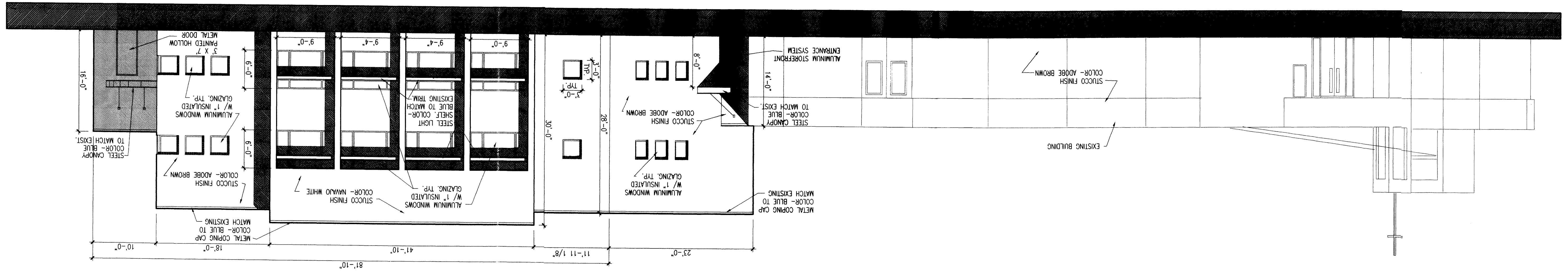


File Path: E:\WORK\2002\11-05-2002  
 File Name: 10772EPC.DWG  
 Plot Date: 11-05-2002  
 Plot Time: 2:20 pm

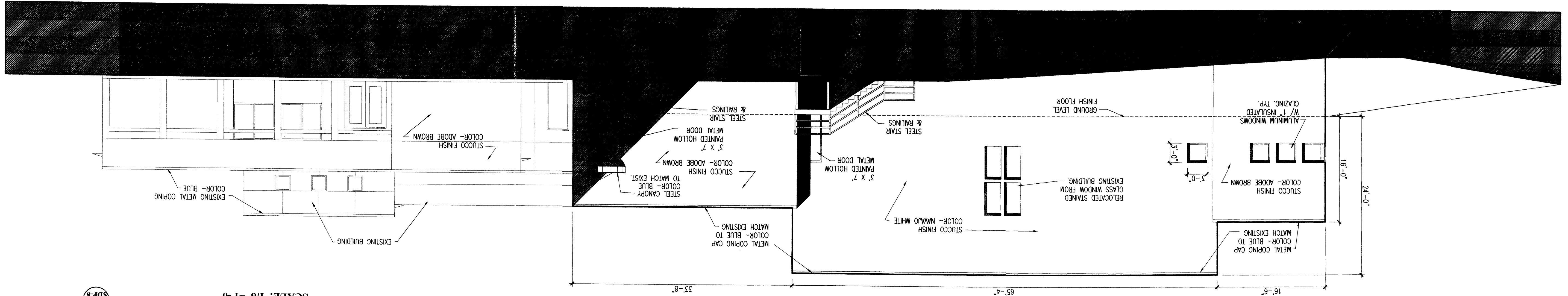


**1 EAST ELEVATION**  
 SCALE: 1/8"=1'-0"

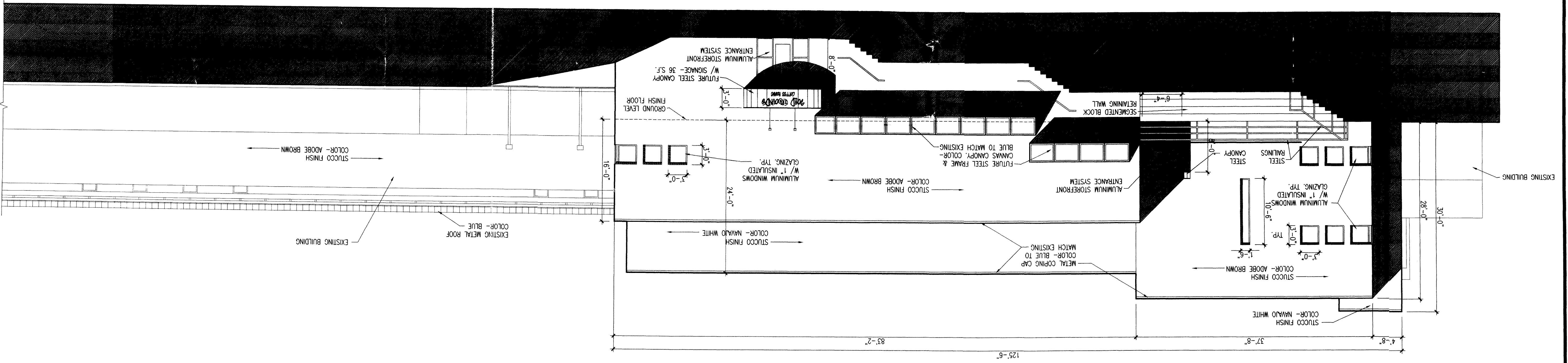
NOTE: ALL NEW WINDOWS SHALL HAVE WHITE ALUMINUM FRAMES WITH 1" INSULATED TINTED GLAZING.



**2 WEST ELEVATION**  
 SCALE: 1/8"=1'-0"



**3 NORTH ELEVATION**  
 SCALE: 1/8"=1'-0"





PROJECT INFORMATION

PROJECT: SITE DEVELOPMENT PLAN  
 PHASE 1A WEST PARKING LOT  
 LOCATION: 4601 JUAN TABO, N.E.  
 OWNER: ST. STEPHEN'S UNITED METHODIST CHURCH  
 ARCHITECT: RD HABIGER & ASSOCIATES INC  
 LEGAL DESCRIPTION: TRACT SS-1, ST. STEPHEN'S UNITED METHODIST CHURCH  
 CURRENT ZONING CLASSIFICATION: SU-1 FOR CHURCH & INCIDENTAL FACILITIES  
 GROSS BUILDING AREA: EXISTING BLDG. 47,289 S.F.  
 TOTAL AREA 47,289 S.F.  
 OCCUPANT LOAD: WORSHIP/FELLOWSHIP- 500  
 OFFICE- 10  
 EDUC. STAFF- 15  
 TOTAL- 520  
 TOTAL LOT AREA: 4.5124 ACRES +/-  
 PARKING ANALYSIS:  
 WORSHIP- 500/4= 125 SPACES  
 LOWER LEVEL WORSHIP- 150/4= 38 SPACES  
 OFFICE AREA - 10 SPACES  
 EDUCATION- 15 SPACES  
 10% REDUCTION FOR BUS ROUTE (18) SPACES  
 TOTAL REQUIRED PARKING SPACES= 170 SPACES  
 SPACES PROVIDED= 235 SPACES INCLUDING 11 HANDICAP  
 MOTORCYCLE SPACES PROVIDED= 5 SPACES  
 BICYCLE SPACES PROVIDED= 8 SPACES  
 TYPICAL PARKING SPACE DIMENSION- 9'-0" X 20'-0"  
 SPACES W/ 2'-0" OVERHANG- 9'-0" X 18'-0"  
 RELATED CASES:  
 EPC- 02EPC 01682  
 DRB- 1002329  
 EPC- Z-93-83  
 DRB- DRB-93-328

PROJECT NO.	
CASE NO.	
SITE DEVELOPMENT PLAN APPROVAL FOR ST. STEPHEN'S UNITED METHODIST CHURCH AT 4601 JUAN TABO, NE, ALBUQUERQUE, NEW MEXICO. APPROVED EPC CASE NO. 02EPC 01682	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	DATE
SOLID WASTE	DATE
APPROVAL & CONDITIONAL ACCEPTANCE: AS SPECIFIED IN THE DEVELOPMENT PROCESS MANUAL	
PARKS & RECREATION DEPARTMENT	DATE

ARCHITECT OF RECORD:  
**RD HABIGER & ASSOCIATES, INC**  
 LITURGICAL DESIGN  
 4005 TARA DRIVE NE, ALBUQUERQUE, NEW MEXICO 87111  
 TEL: 505-821-3112 FAX: 505-821-3479  
 EMAIL: rdh@rdhdesign.com

**WEST PARKING LOT  
 SAINT STEPHENS  
 UNITED METHODIST CHURCH**  
 4601 Juan Tabo, N.E.  
 Albuquerque, New Mexico 87111

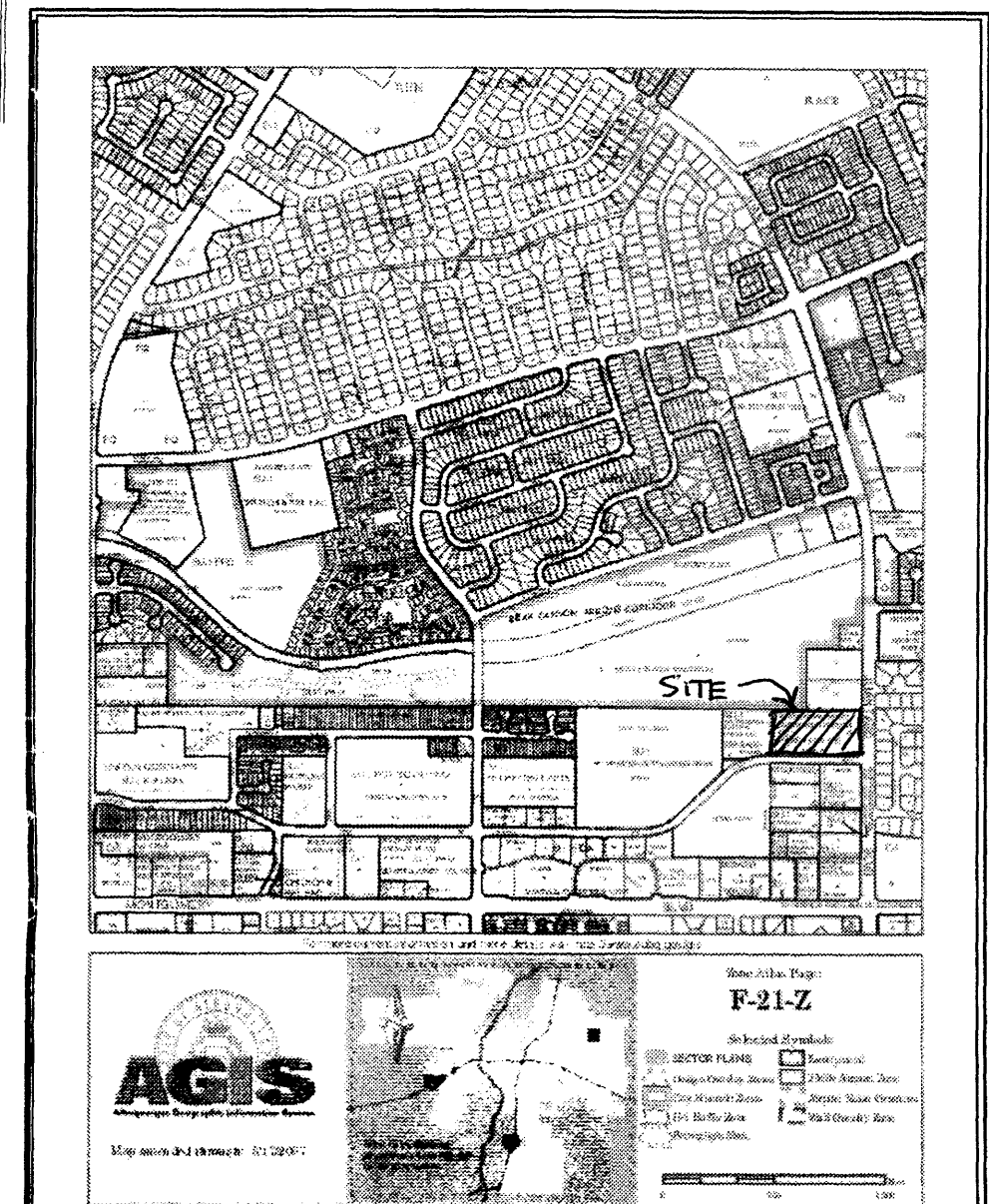
PROJECT NO: 040  
 DRAWN BY: RDH  
 CHECKED BY: RDH  
 DATE: JUNE 21, 2007

REVISIONS:

- ▲
- ▲
- ▲

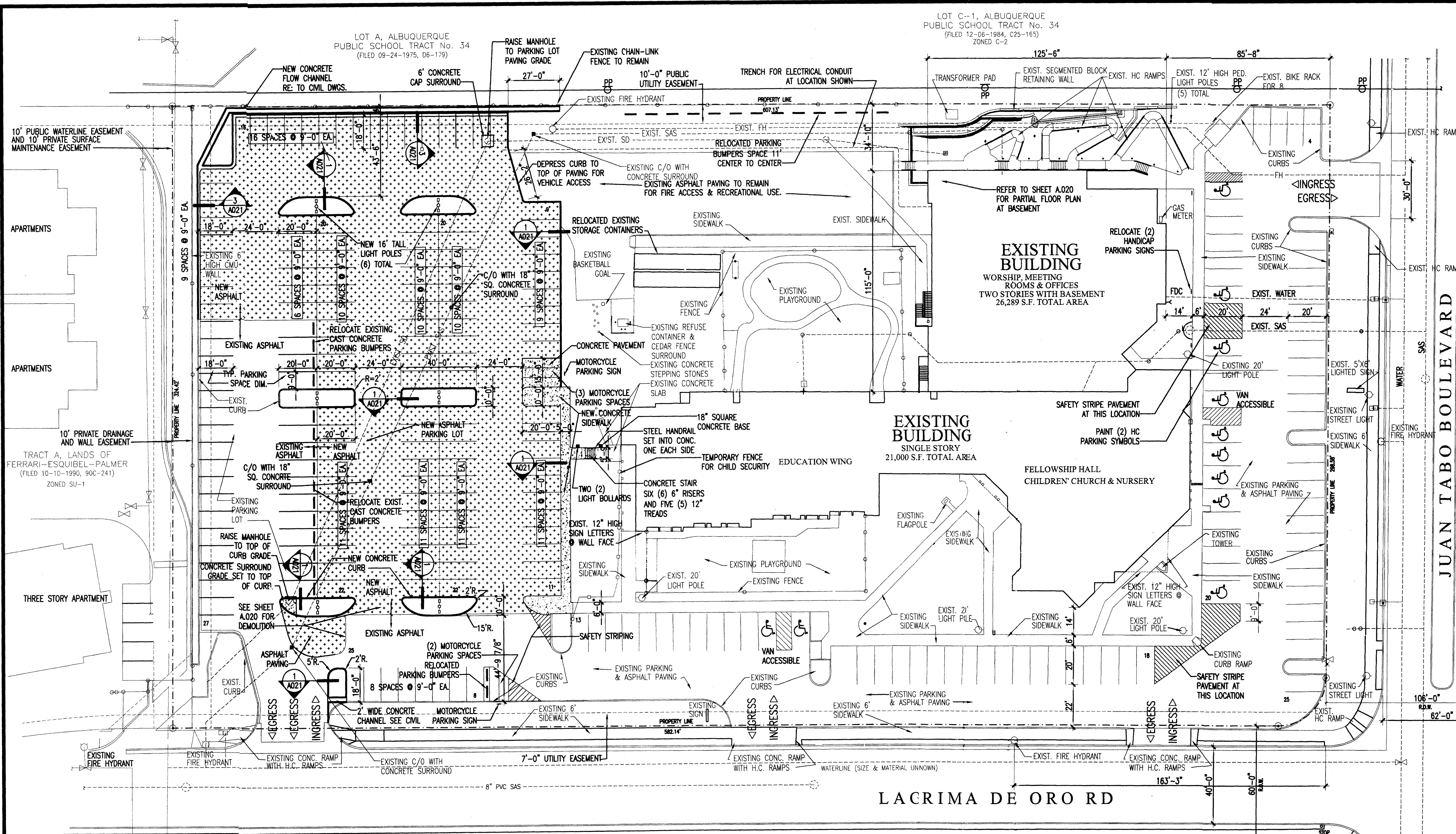
SITE DEVELOPMENT PLAN

SHEET: **SDP-1**  
 OF:



VICINITY MAP

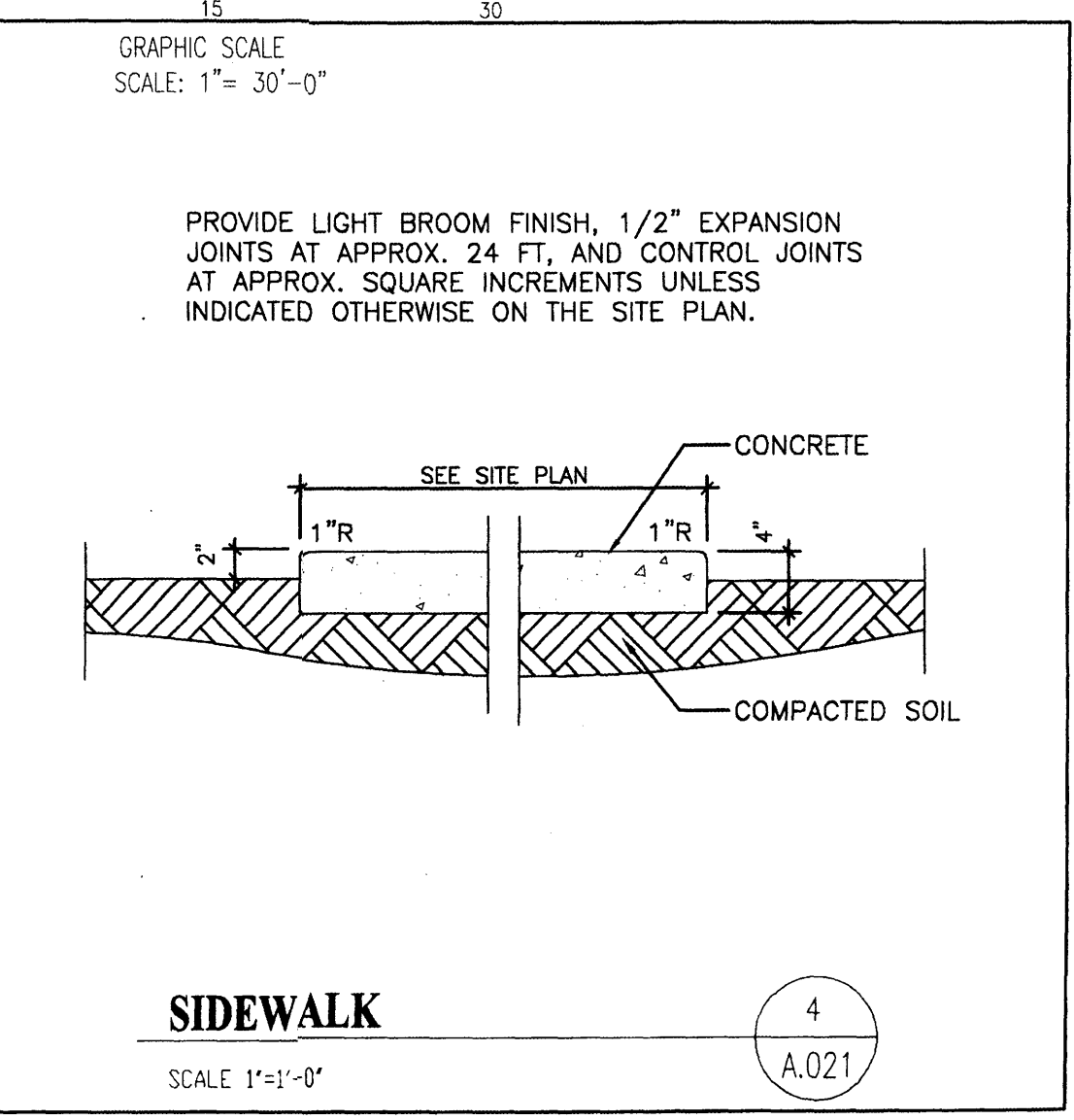
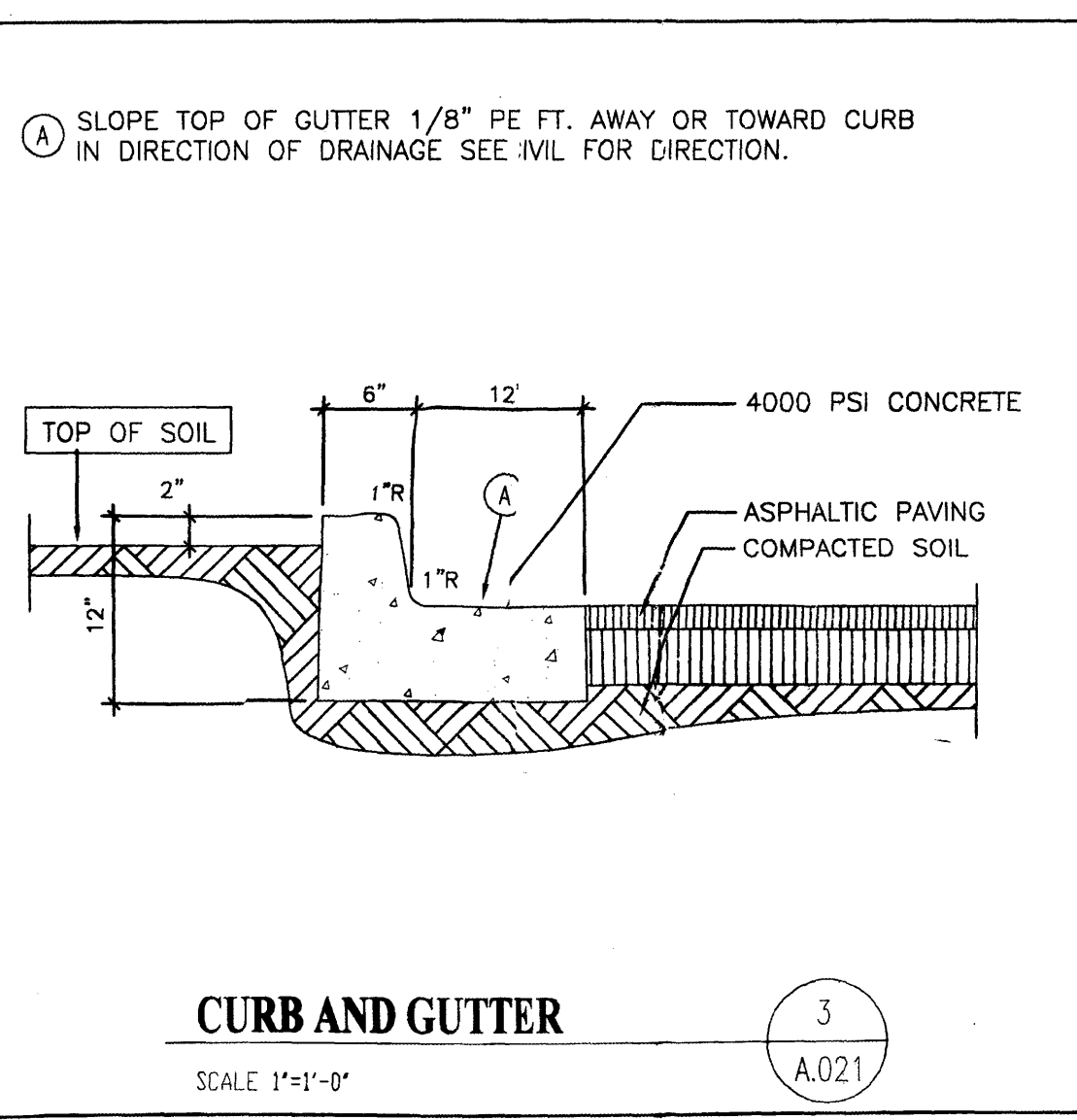
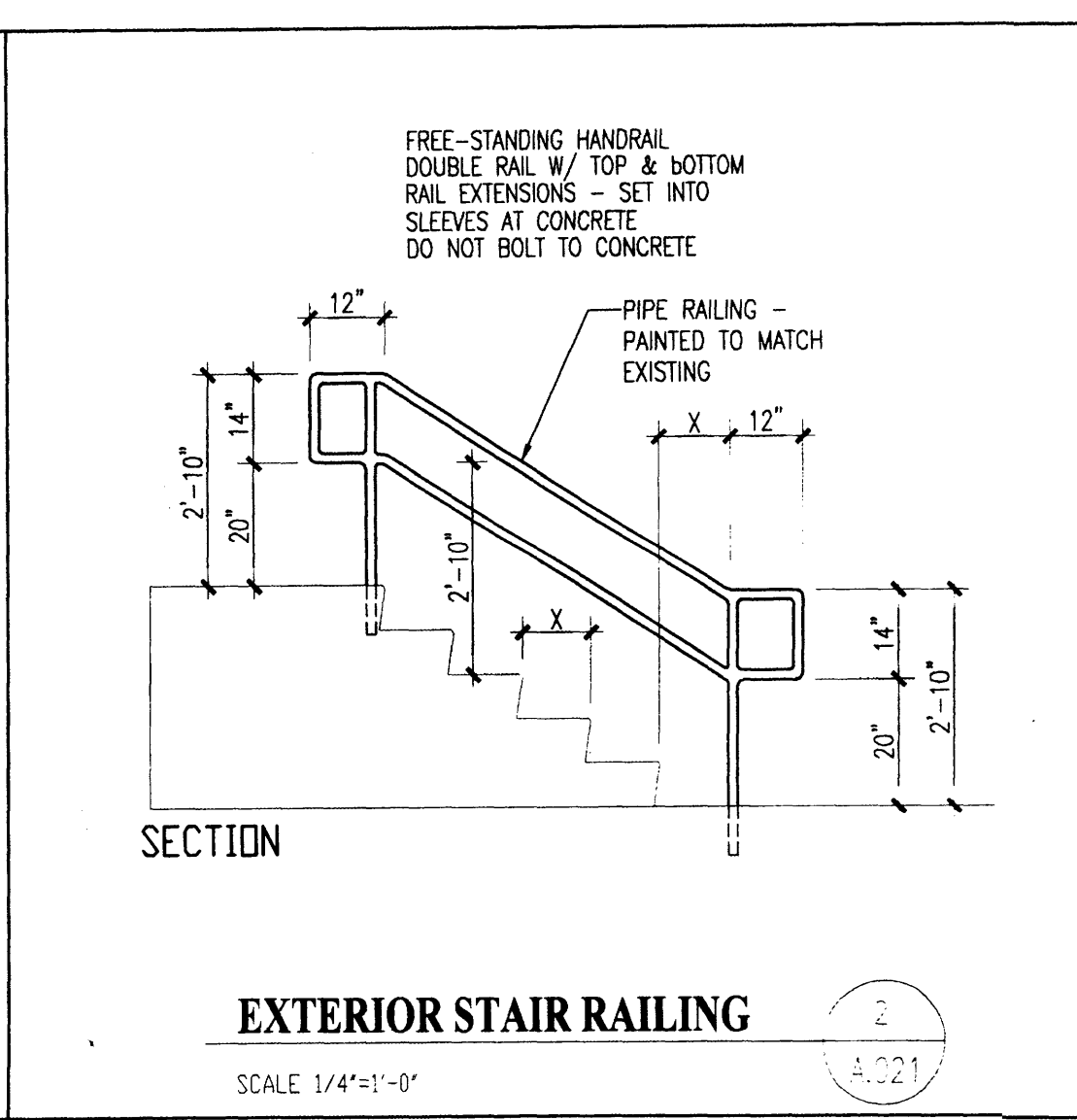
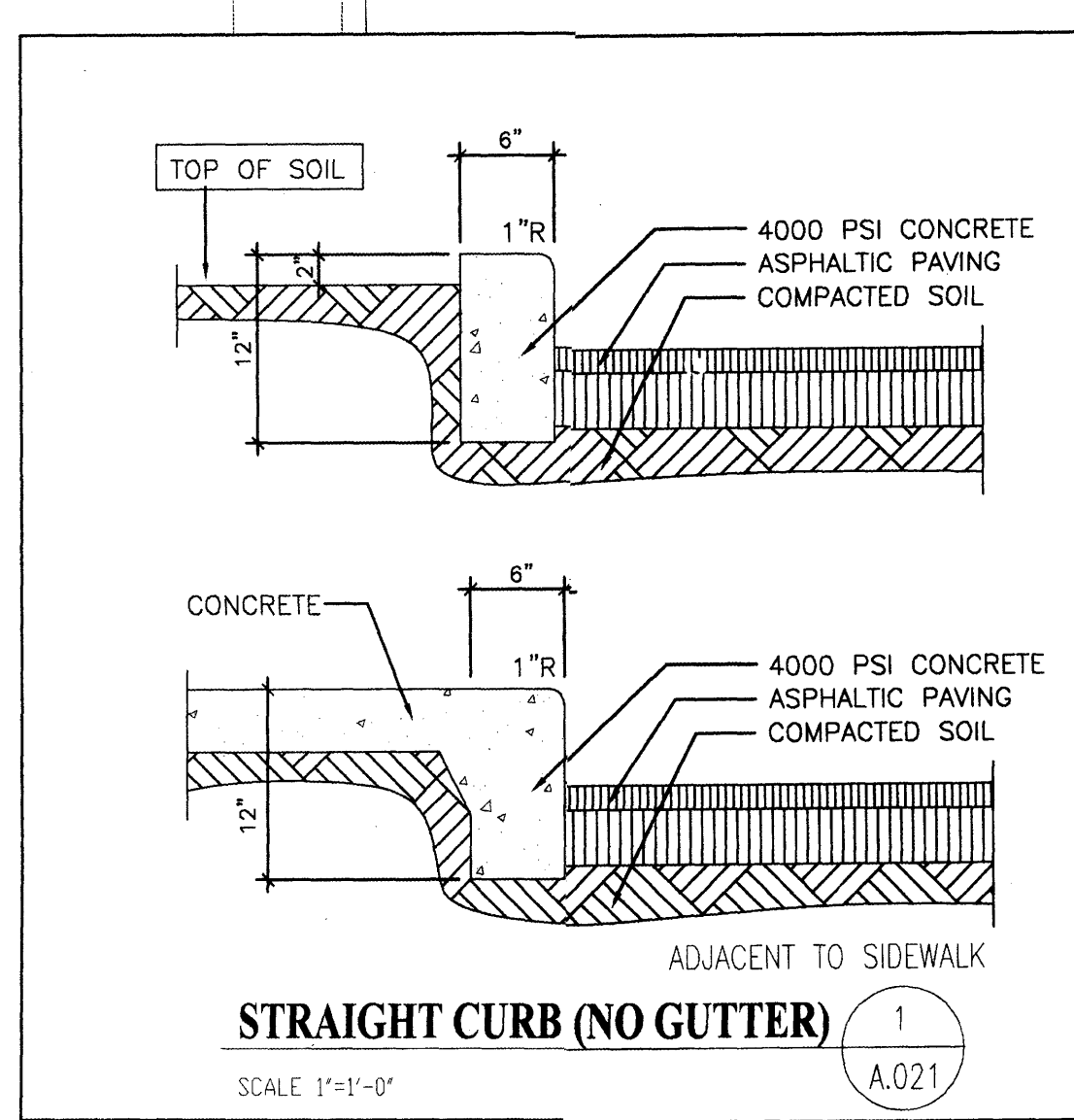
ZONE ATLAS PAGE F-21



LACRIMA DE ORO RD



PHASE 1A WEST PARKING LOT  
**SITE PLAN**  
 SCALE: 1" = 30'



AGIS

**MASTER PLAN  
PROJECT INFORMATION**

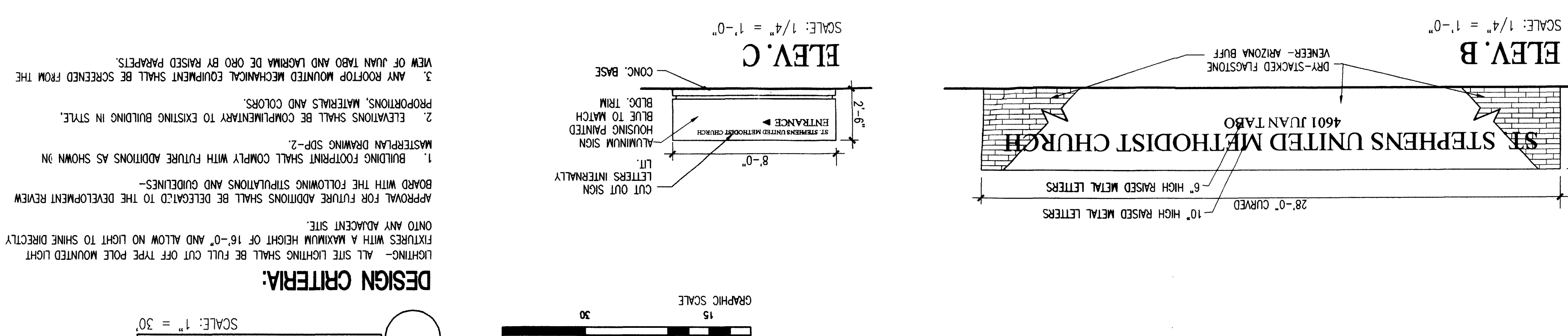
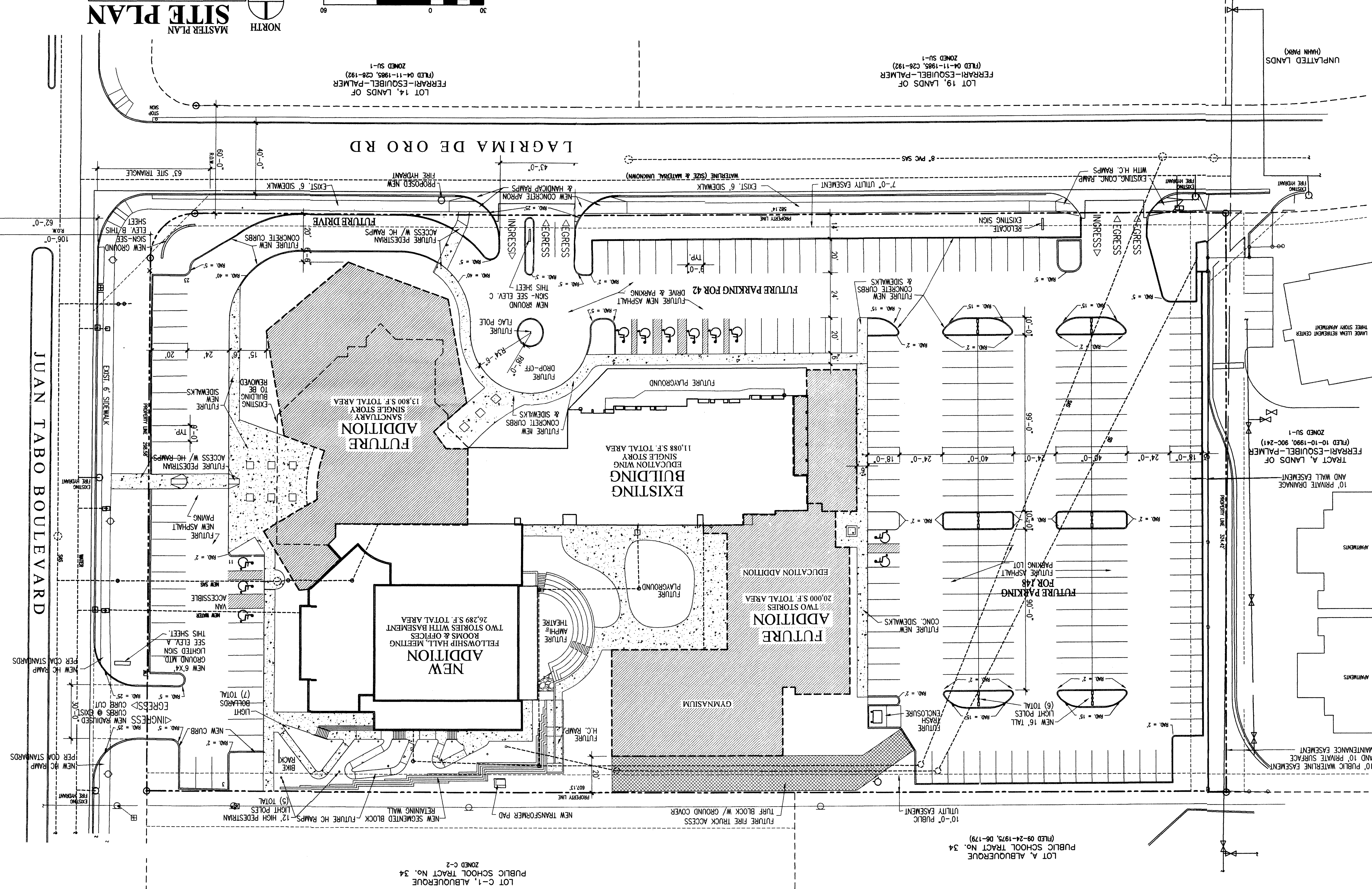
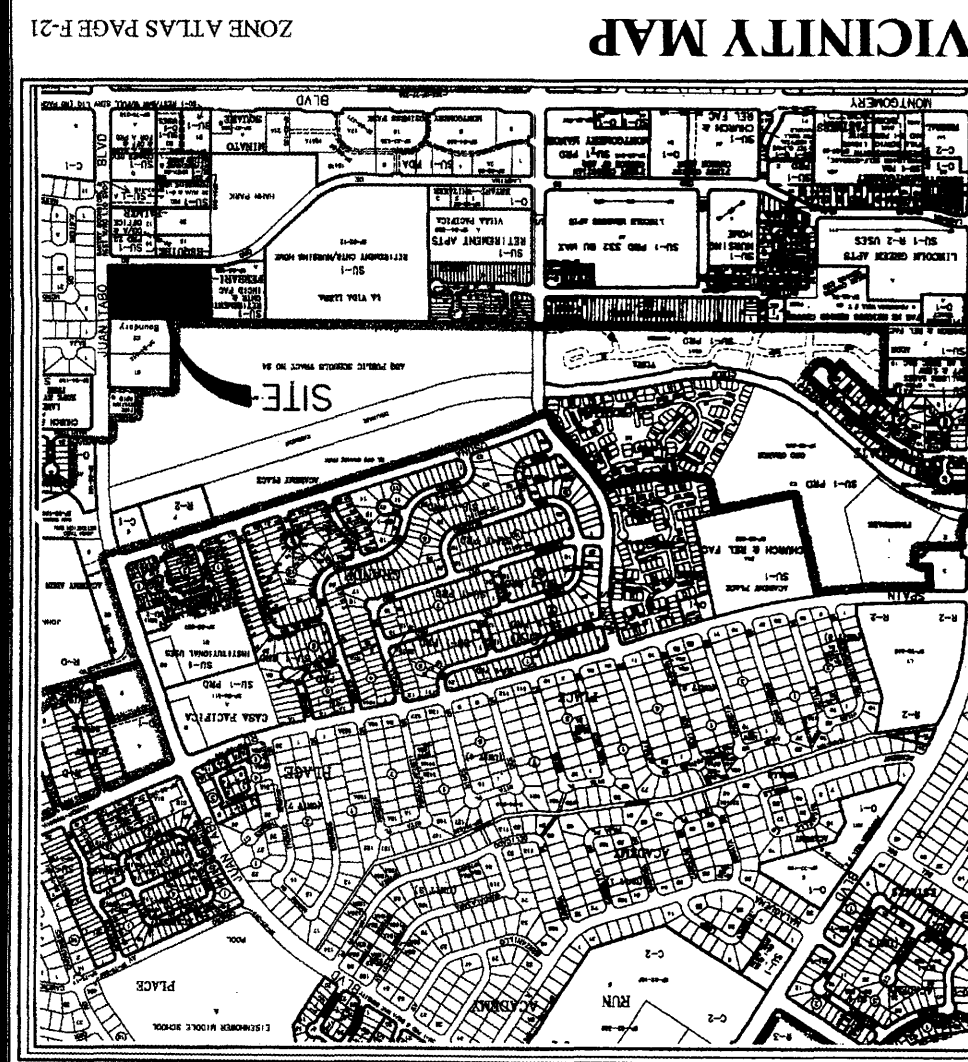
**PROJECT:** SITE DEVELOPMENT PLAN AMENDMENT AND BUILDING ADDITION  
**LOCATION:** 4601 JUAN TABO, N.E.  
**OWNER:** ST. STEPHEN'S UNITED METHODIST CHURCH  
**ARCHITECT:** R.D. HABIGER AND ASSOCIATES

**LEGAL DESCRIPTION:** TRACT SS-1, ST. STEPHEN'S UNITED METHODIST CHURCH  
**CURRENT ZONING CLASSIFICATION:** SU-1 FOR CHURCH & INCIDENTAL FACILITIES  
**GROSS BUILDING AREA:** EXISTING BLDG. 21,000 S.F.  
 NEW ADDITION 26,289 S.F.  
 FUTURE ADDITION 24,000 S.F.  
**OCCUPANT LOAD:** WORSHIP/FELLOWSHIP- 600  
 OFFICE- 20  
 EDUC. STAFF- 20  
**TOTAL LOT AREA:** 4.5124 ACRES +/-

**PARKING ANALYSIS:** WORKSHIP- 600/4=  
 OFFICE AREA- 20 SPACES  
 EDUCATION- 20 SPACES  
 10% REDUCTION FOR BUS ROUTE (19) SPACES  
 TOTAL REQUIRED PARKING SPACES= 171 SPACES  
 SPACES PROVIDED= 227 SPACES  
 INCLUDING 11 HANDICAP  
 TYPICAL PARKING SPACE DIMENSION- 9'-0" X 20'-0"  
 BICYCLE PARKING- 8 SPACES  
 PROVIDED- 8 SPACES

**PROJECT NO. 100 2829**  
**CASE NO. 03-00800**  
 SITE DEVELOPMENT PLAN APPROVAL FOR ST. STEPHEN'S UNITED METHODIST CHURCH AT 4601 JUAN TABO, N.E. ALBUQUERQUE, NEW MEXICO. APPROVED  
 EPC CASE NO. 02EPC 01682.  
**DATE:** 2/19/03  
**DATE:** 2/19/03  
**DATE:** 2/19/03  
**DATE:** 2/19/03  
**DATE:** 2/19/03  
**DATE:** 2/19/03  
**DATE:** 2/19/03

**APPROVAL & CONDITIONAL ACCEPTANCE:** AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.  
 CITY ENGINEER, ENGINEERING DIVISION / AMVCA  
 PUBLIC WORKS, WATER UTILITIES DIVISION  
 PARKS & RECREATION DEPARTMENT  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION  
 CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT

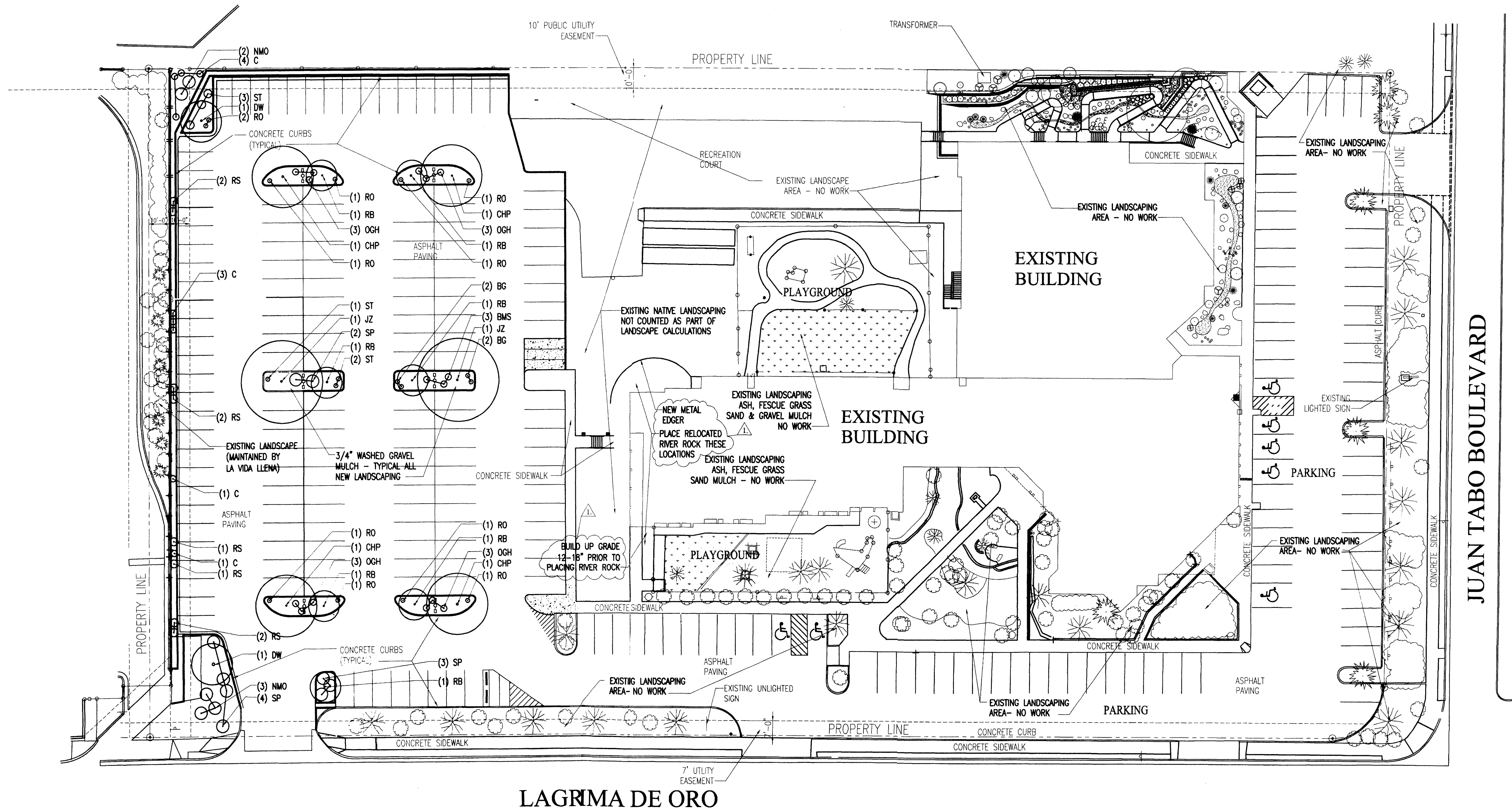


**DESIGN CRITERIA:**  
 APPROVAL FOR FUTURE ADDITIONS SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD WITH THE FOLLOWING STIPULATIONS AND GUIDELINES-  
 1. BUILDING FOOTPRINT SHALL COMPLY WITH FUTURE ADDITIONS AS SHOWN IN MASTERPLAN DRAWING SDF-2.  
 2. ELEVATIONS SHALL BE COMPLEMENTARY TO EXISTING BUILDING IN STYLE, PROPORTIONS, MATERIALS AND COLORS.  
 3. ANY ROOFTOP MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM THE VIEW OF JUAN TABO AND LAGRIMA DE ORO BY RAISED PAPERS.

**PROJECT NO. TRF**  
**CHECKED BY: RDH**  
**DATE: 02/06/03**  
**REVISIONS:**  
**SHEET: SDF-2**

**MASTER PLAN  
SAINT STEPHENS  
UNITED METHODIST CHURCH**  
 4601 Juan Tabo, N.E.  
 Albuquerque, New Mexico 87111

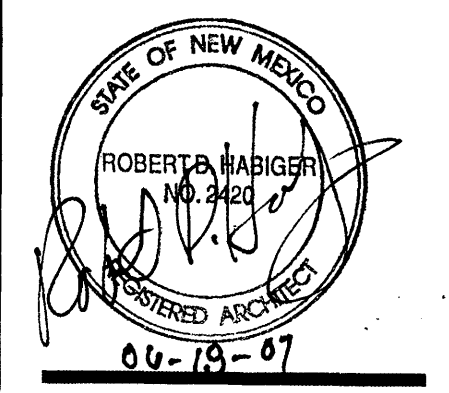
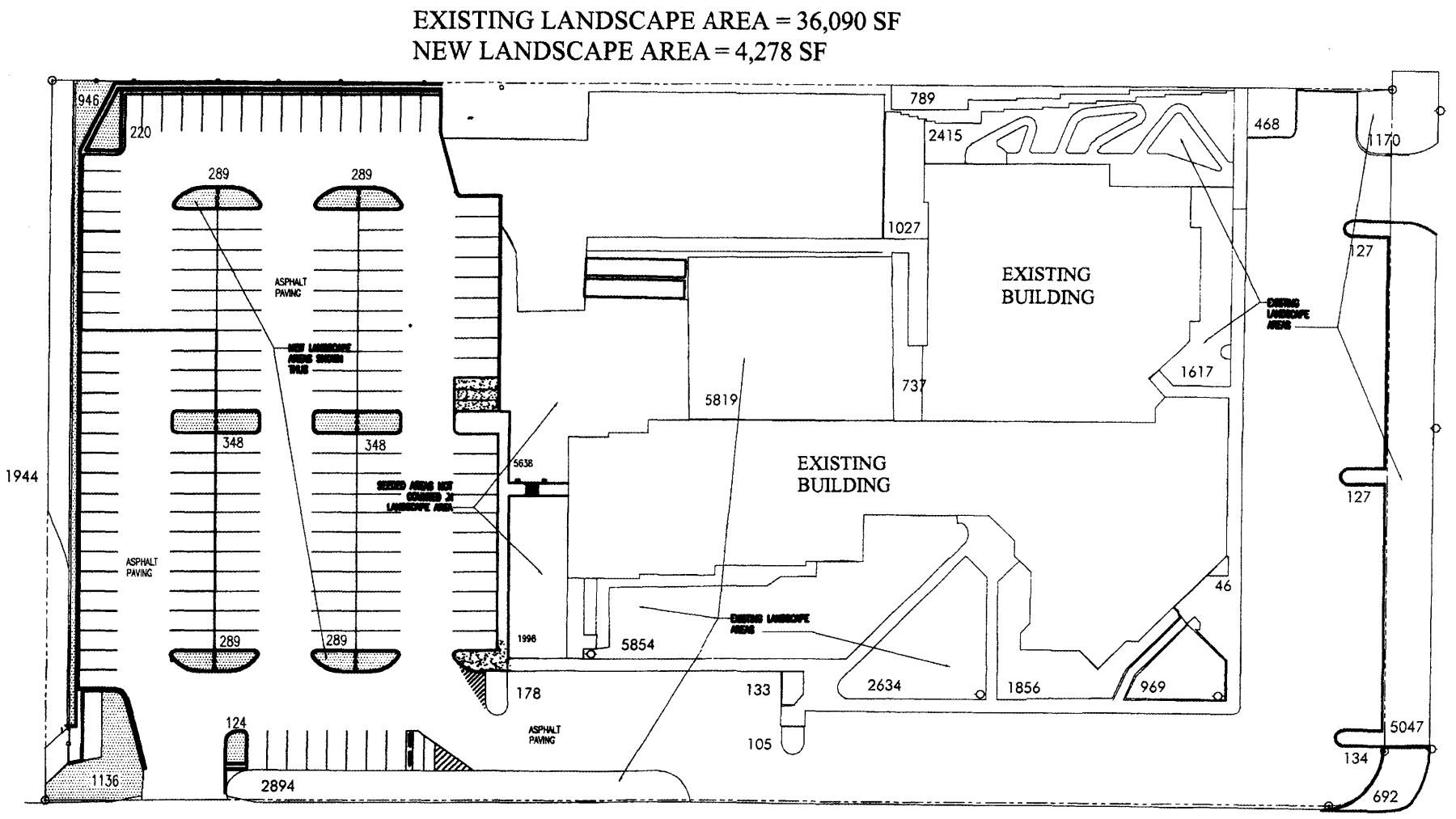
**ARCHITECT OF RECORD:**  
**RD HABIGER & ASSOCIATES, INC.**  
 LITURGICAL DESIGN  
 1110 UNIVERSITY BLVD. N.W.  
 ALBUQUERQUE, NM 87102  
 TEL: 505-821-5112 FAX: 505-821-5119  
 WWW.HABIGER.COM  
 ASSOCIATE ARCHITECT  
**T A R C H I T E C T**  
 BOX 2941 CORRALES, NEW MEXICO 87048 PHONE 505-979-9338 FAX 899-9338



NORTH  
 PHASE 1A - WEST PARKING LOT  
 LANDSCAPE PLAN  
 GRAPHIC SCALE  
 SCALE: 1" = 30'-0"

Mark	Scientific Name	Common Name	Site	QTY	Mature Dic.
BG	<i>Aurinia saxatilis</i>	Basket of Gold	4 Pack	4	2
BMS	<i>Coryopteris x clandonensis</i>	Blue Mist Spirea	1 Gal	3	3
C	<i>Chrysothamnus nauseosus</i>	Chamisa	1 Gal	9	4
CHP	<i>Pistachia chinensis</i>	Chinese Pistache	1 1/2" Gal.	4	30
DW	<i>Chilopsis linearis</i>	Desert Willow	1 1/2" Gal.	2	20
JZ	<i>Zelkova serrata</i>	Japanese Zelkova	1 1/2" Gal.	2	40
NMO	<i>Forestiera neomexicana</i>	New Mexico Olive	5 Gal.	5	6
OGH	<i>Mahonia aquifolium</i>	Oregon Grape Holly	1 Gal.	12	3
RB	<i>Cercis occidentalis</i>	Western Redbud	1" Gal.	7	15
RO	<i>Rosmarinus officinalis</i>	Rosemary	1 Gal.	10	2
RS	<i>Perovskia atriplicifolia</i>	Russian Sage	1 Gal.	8	4
SP	<i>Crotonotus diversifolius</i>	Spreading Cotoneaster	5 Gal.	7	6
ST	<i>Santolina chamaecyparissus</i>	Santolina	1 Gal.	6	2

- LANDSCAPE NOTES**
- TOTAL SITE COVERAGE IS 4.5124 ACRES.
  - LOT AREA IN SQUARE FEET IS 196,560 SF.
  - BUILDING AREA COVERAGE:  
 EXISTING = 34,050 SF  
 FUTURE PROPOSED = 18,900 SF  
 TOTAL BUILDING LOT COVERAGE (EXIST. & FUTURE) = 52,950 SF (27% OF LOT AREA)
  - LANDSCAPE AREA REQUIRED:  
 15% OF 196,560 = 29,484 SF  
 LANDSCAPE AREA PROVIDED:  
 EXISTING = 36,090 SF  
 NEW = 4,278 SF  
 TOTAL LANDSCAPE AREA = 40,368 SF  
 (EXCEEDS REQUIREMENT BY 37%)
  - HIGH WATER USE TURF AREA = 3,195 SF  
 7.9% OF TOTAL LANDSCAPE PROVIDED  
 11% OF REQUIRED LANDSCAPE  
 LANDSCAPE TO BE WATERED BY UNDERGROUND DRIP IRRIGATION SYSTEM.
  - MAINTENANCE OF LANDSCAPE AND IRRIGATION TO BE BY ST. STEPHEN'S UNITED METHODIST CHURCH, EXCEPT 10 FOOT WIDE LANDSCAPE AREA AT WEST PROPERTY LINE WHICH IS MAINTAINED BY LA VIDA LLENA.
  - LANDSCAPING SHALL PROVIDE 75% OF GROUND COVER BY LIVE AND ORGANIC MATERIALS AT FULL MATURITY FOR ALL LANDSCAPE AREAS.



Architect of Record:  
**RD HABIGER & ASSOCIATES, INC.**  
 1115 CALLE GARDEN  
 ALBUQUERQUE, NM 87111  
 TEL: 505-821-3112 FAX: 505-821-3478  
 WWW.HABIGERDESIGN.COM  
 E-MAIL: rhab@habiger.com

**WEST PARKING LOT  
 SAINT STEPHEN'S  
 UNITED METHODIST CHURCH**  
 4601 Juan Tabo Blvd., NE  
 Albuquerque, New Mexico 87111

Project No.: 040  
 Drawn By: RDH  
 Checked By: RDH

Date: June 7, 2007

Revisions:  
 ADD.#1 06/18/2007

Sheet Title:  
 LANDSCAPE PLAN

Sheet:  
**SDP-3**

**DRAINAGE PLAN**

**I. INTRODUCTION AND EXECUTIVE SUMMARY**

THIS PROJECT LOCATED IN THE NORTHEAST HEIGHTS NEAR THE MONTGOMERY BLVD. NE AND JUAN TABO BLVD. NE INTERSECTION REPRESENTS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA. THE DRAINAGE CONCEPT WILL CONSIST OF FREE DISCHARGE FROM THE SITE INTO LAGRIMA DE ORO ROAD NE THROUGH EXISTING DRIVEWAYS AS WELL AS THROUGH AN EXISTING CONCRETE RUNDOWN WHICH IS LOCATED WITHIN AN EXISTING PRIVATE DRAINAGE EASEMENT. THE CONCEPT FOR FREE DISCHARGE HAS BEEN PREVIOUSLY ESTABLISHED BY PREVIOUSLY APPROVED MASTER DRAINAGE PLAN (F-21/D13) PREPARED BY THIS OFFICE, 11-05-2002. OFFSITE FLOWS FROM THE NORTH WILL BE ACCEPTED AND CONVEYED THROUGH THE SITE TO BE DISCHARGED INTO LAGRIMA DE ORO ROAD NE.

THIS SUBMITTAL IS MADE IN SUPPORT OF GRADING AND DRAINAGE PERMIT APPROVAL FOR PHASE 2 DEVELOPMENT.

**II. PROJECT DESCRIPTION**

AS SHOWN BY THE VICINITY MAP THE SITE IS LOCATED AT THE NORTHWEST CORNER OF JUAN TABO BLVD. NE AND LAGRIMA DE ORO ROAD NE. THE CURRENT LEGAL DESCRIPTION IS TRACT SS-1, ST. STEPHEN'S METHODIST CHURCH. AS SHOWN BY PANEL 144 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, REVISED APRIL 2, 2002. THIS SITE DOES NOT LIE WITHIN NOR ADVERSELY IMPACT A DESIGNATED FLOOD HAZARD ZONE (ZONE A).

**III. BACKGROUND DOCUMENTS**

THE FOLLOWING PLANS WERE USED IN THE PREPARATION OF THIS DRAINAGE SUBMITTAL:

A. (F-21/D13) SAINT STEPHEN'S UNITED METHODIST CHURCH MASTER DRAINAGE PLAN, PREPARED BY JEFF MORTENSEN & ASSOCIATES, INC., DATED NOVEMBER 05, 2002 AND APPROVED 12/05/2002 FOR SITE PLAN FOR BUILDING PERMIT ACTION BY THE DRB. THIS PREVIOUS PLAN ESTABLISHED THE DRAINAGE CONCEPT OF FREE DISCHARGE. QUANTIFIED THE OFFSITE FLOWS FROM THE PROPERTY TO THE NORTH, ESTABLISHED THE HYDROLOGY OF THE SITE UNDER FULL BUILDOUT (22.4 CFS), EVALUATED THE HYDROLOGY AND HYDRAULICS FOR THE SUMP CONDITION AT THE NORTH SIDE OF THE EXISTING NORTH BUILDING, AND DELINEATED OVERALL PROJECT PHASING. THIS SUBMITTAL ADDRESSES THE FUTURE DEVELOPED CONDITIONS SECTION OF THE MDP (WHICH INCLUDES THIS PHASE 2), FOLLOWING THE SITE HYDROLOGY ESTABLISHED WITHIN THE MDP. AND USES THE MDP OFFSITE FLOW VALUE CALCULATIONS TO EVALUATE THE PHASE 2 LOW-FLOW CHANNEL CAPACITY.

B. DRAINAGE CERTIFICATION FOR SAINT STEPHEN'S UNITED METHODIST CHURCH GRADING AND DRAINAGE PLAN (PHASE 1), PREPARED BY JEFF MORTENSEN & ASSOCIATES, INC., DATED 03/02/2004. THE OUTFALL FOR THIS SITE AT THE SOUTHWEST CORNER OF THE SITE WAS BUILT UNDER THIS PHASE 1 PLAN. THIS PREVIOUS PLAN PROVIDES RECORD INFORMATION THAT IS USED AS THE BASE PLAN FOR THIS SUBMITTAL AND DEMONSTRATES NO OUTSTANDING DRAINAGE REQUIREMENTS FOR THIS SITE.

**IV. EXISTING CONDITIONS**

CURRENTLY, THE SITE IS DEVELOPED AND CONSISTS OF A MULTI-LEVEL BUILDING, ASPHALT PAVED PARKING, LANDSCAPING, AND A PORTION OF UNDEVELOPED LAND. OFFSITE FLOWS AS QUANTIFIED BY THE PREVIOUSLY APPROVED DRAINAGE PLAN ENTER THE SITE FROM LOT C-1 TO THE NORTH. ALL RUNOFF GENERATED BY THE SITE DISCHARGES INTO LAGRIMA DE ORO ROAD NE. THE EASTERN PORTION OF THE SITE IS FULLY DEVELOPED, AND DRAINS VIA EXISTING PAVING IMPROVEMENTS TO LAGRIMA DE ORO ROAD NE. THIS PORTION OF THE SITE IS NOT AFFECTED BY THIS PHASE 2 DEVELOPMENT. THE WESTERN PORTION OF THE SITE IS UNDEVELOPED LAND THAT DRAINS EAST TO WEST ONTO THE EXISTING PHASE 1 PAVED WEST PARKING LOT ALONG THE SOUTHWEST BORDERS OF THE SITE. RUNOFF COLLECTS AGAINST AN EXISTING PHASE 1 CURB AND GUTTER ALONG THE WEST PROPERTY EDGE AND IS DIRECTED SOUTH INTO LAGRIMA DE ORO ROAD NE THROUGH AN EXISTING CONCRETE RUNDOWN OUTFALL LOCATED AT THE SOUTHWEST CORNER OF THE SITE WITHIN AN EXISTING PRIVATE DRAINAGE EASEMENT. THIS OUTFALL WAS CONSTRUCTED DURING PHASE 1 OF SITE DEVELOPMENT. LAGRIMA DE ORO ROAD NE CONVEYS ALL RUNOFF FLOWS INTO MORRIS STREET NE WHICH IN TURN CONVEYS FLOWS INTO MONTGOMERY BLVD NE.

**V. DEVELOPED CONDITIONS**

THE PROPOSED DEVELOPMENT WILL CONSIST OF PHASE 2 PARKING LOT EXPANSION ON THE WEST SIDE OF THE SITE AS DELINEATED AS PART OF THE FUTURE DEVELOPED CONDITIONS IN THE ABOVE REFERENCED MASTER DRAINAGE PLAN. THE EASTERN PORTION OF THE CHURCH SITE WILL NOT BE AFFECTED BY PHASE 2 DEVELOPMENT. THE PHASE 2 PAVED PARKING LOT WILL CONTINUE TO DRAIN FROM EAST TO WEST AND COLLECT ALONG THE CURB AND GUTTER THAT WILL BE EXTENDED FROM THE PHASE 1 WEST PARKING LOT ALONG THE REMAINING LENGTH OF THE WEST PROPERTY EDGE. ALL COLLECTED RUNOFF ALONG THE EXISTING AND PROPOSED CURB AND GUTTER WILL BE DIRECTED TO LAGRIMA DE ORO ROAD NE PER THE EXISTING CONDITIONS.

THE PHASE 2 PARKING LOT WILL REQUIRE FILL IN ORDER TO NOT BLOCK OFFSITE FLOWS FROM THE NORTH. A CONCRETE LOW FLOW CHANNEL IS PROPOSED BETWEEN THE NORTH PROPERTY LINE AND THE NORTH EDGE OF THE PARKING LOT. THE CONCRETE LOW FLOW CHANNEL IS SIZED FOR THE 100-YEAR EXISTING CONDITIONS OFFSITE FLOW AND CONVEYS THAT FLOW SOUTH TO DISCHARGE ONTO THE PHASE 1 WEST PARKING LOT. FROM THAT POINT, THE ACCEPTED OFFSITE FLOWS DISCHARGE TO LAGRIMA DE ORO ROAD NE AS DELINEATED IN THE ABOVE MENTIONED MASTER DRAINAGE PLAN.

**VI. GRADING PLAN**

THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS AS TAKEN FROM TOPOGRAPHIC SURVEY PREPARED BY THIS OFFICE AND DATED JANUARY 2001 AND DRAINAGE CERTIFICATION FOR PHASE 1 OF THIS PROJECT DATED 3-2-2004, 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 3) THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES.

**VII. CALCULATIONS**

HYDROLOGIC CALCULATIONS ARE NOT PROVIDED WITH THIS SUBMITTAL AS THE ABOVE REFERENCED MDP CONTAINS REPRESENTATIVE CALCULATIONS FOR FULL DEVELOPMENT OF THE SITE. THE MDP CALCULATION FOR OFFSITE FLOWS IS USED IN THE EVALUATION OF LOW FLOW CHANNEL CAPACITY. MANNING'S EQUATION FOR OPEN CHANNEL FLOW WAS USED TO EVALUATE THE CONCRETE LOW FLOW CHANNEL.

**VIII. CONCLUSION**

THE CONTINUED FREE DISCHARGE FROM THE SITE INTO LAGRIMA DE ORO ROAD NE IS APPROPRIATE DUE TO THE FOLLOWING:

- 1) THE DEVELOPMENT REPRESENTS A MODIFICATION TO AN EXISTING SITE WITH AN INFILL AREA.
- 2) THE PROPOSED DRAINAGE CONCEPT CONFORMS TO THE PREVIOUSLY APPROVED MASTER DRAINAGE PLAN THAT ALLOWS FOR THE FREE DISCHARGE FROM THE SITE.
- 3) AVAILABLE DOWNSTREAM CAPACITY OF LAGRIMA DE ORO ROAD NE AS JUSTIFIED BY THE PREVIOUSLY APPROVED MASTER DRAINAGE PLAN FOR THIS SITE.
- 4) THE DEVELOPMENT WILL NOT HAVE AN ADVERSE IMPACT ON DOWNSTREAM FLOOD HAZARD ZONES.
- 5) THE PROPOSED IMPROVEMENTS WILL RESULT IN A MODEST INCREASE IN DEVELOPED RUNOFF DUE TO REPLACING EXISTING PERVIOUS LAND TREATMENT WITH IMPERVIOUS ASPHALT PAVING.
- 6) OFFSITE FLOWS WILL CONTINUE TO BE ACCEPTED AND CONVEYED THROUGH THE SITE.
- 7) THE EXISTING CONCRETE DRAINAGE RUNDOWN LOCATED AT THE SOUTHWEST CORNER OF THE SITE IS PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE OWNERS OF TRACT SS-1 AND NEIGHBORING TRACT A.T.E. R.

**CALCULATIONS**

**I. LOW FLOW CHANNEL CAPACITY (MANNING'S EQN)**

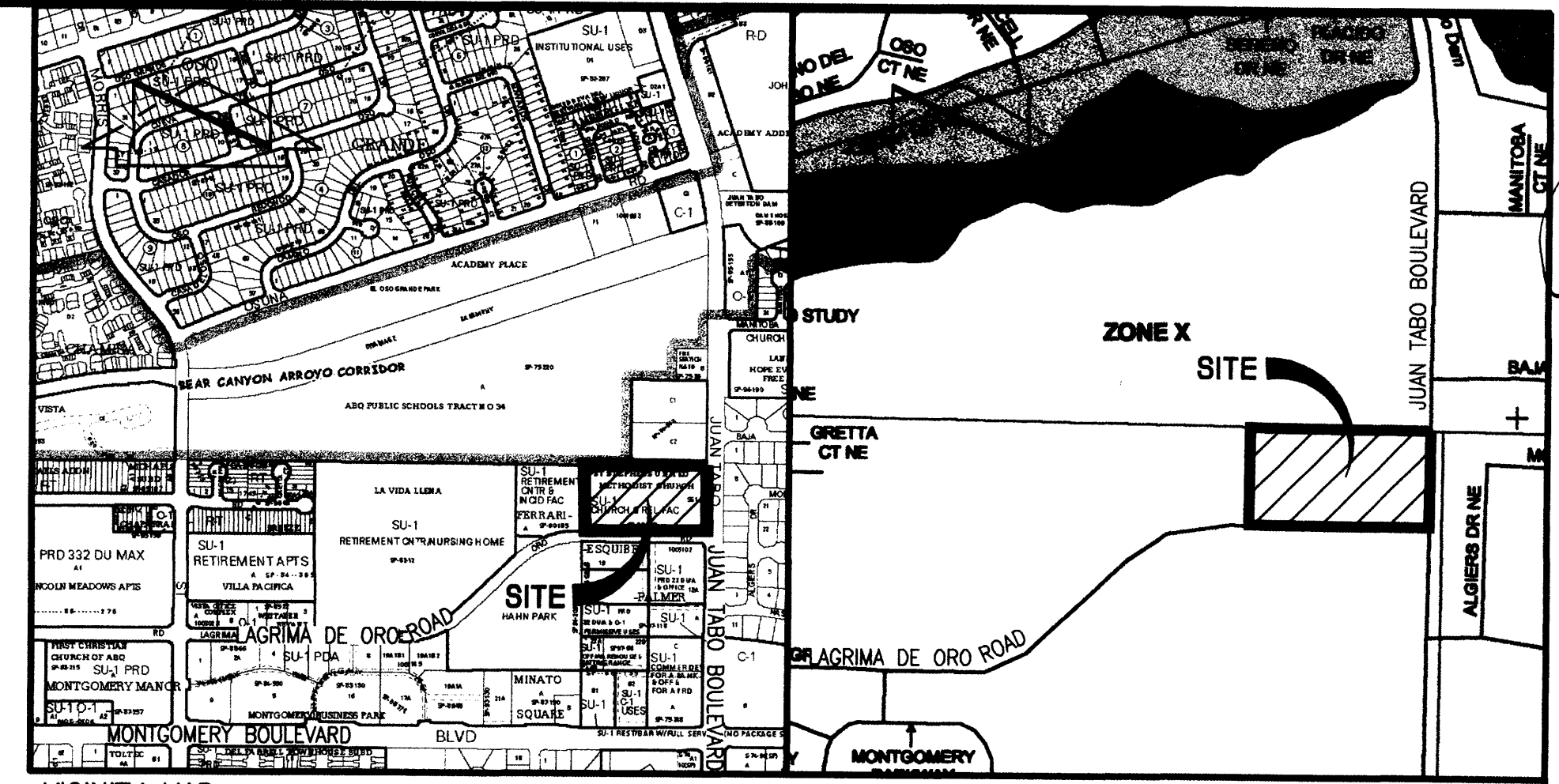
$$Q = 1.486/n AR^{2/3} S^{1/2}$$

WHERE:

- n = 0.013
- A = 2(0.5) = 1.0 SF
- P = 0.5+2.0+0.5 = 3 FT
- R = A/P = 1/3 = 0.33 FT
- R<sup>2/3</sup> = 0.48
- S = 0.0050 (MIN)

THEN:

$$Q = 3.9 \text{ CFS} > Q_{\text{OFFSITE}} = 3.4 \text{ CFS}$$



VICINITY MAP  
SCALE: 1" = 750'

F-21

F.I.R.M. MAP  
SCALE: 1" = 500'

PANEL 144 OF 825

**CONSTRUCTION NOTES:**

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

**EROSION CONTROL MEASURES:**

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

**PROJECT BENCHMARK**

STANDARD ACS BRASS TABLE STAMPED ASC JT-1A" SET IN TOP OF A CONCRETE POST FLUSH WITH TOP OF CURB OF THE SOUTH MEDIAN NOSE AT THE INTERSECTION OF MONTGOMERY BOULEVARD N.E. AND JUAN TABO BOULEVARD N.E. ELEV= 5721.248(NGVD 29)

**T.B.M.**

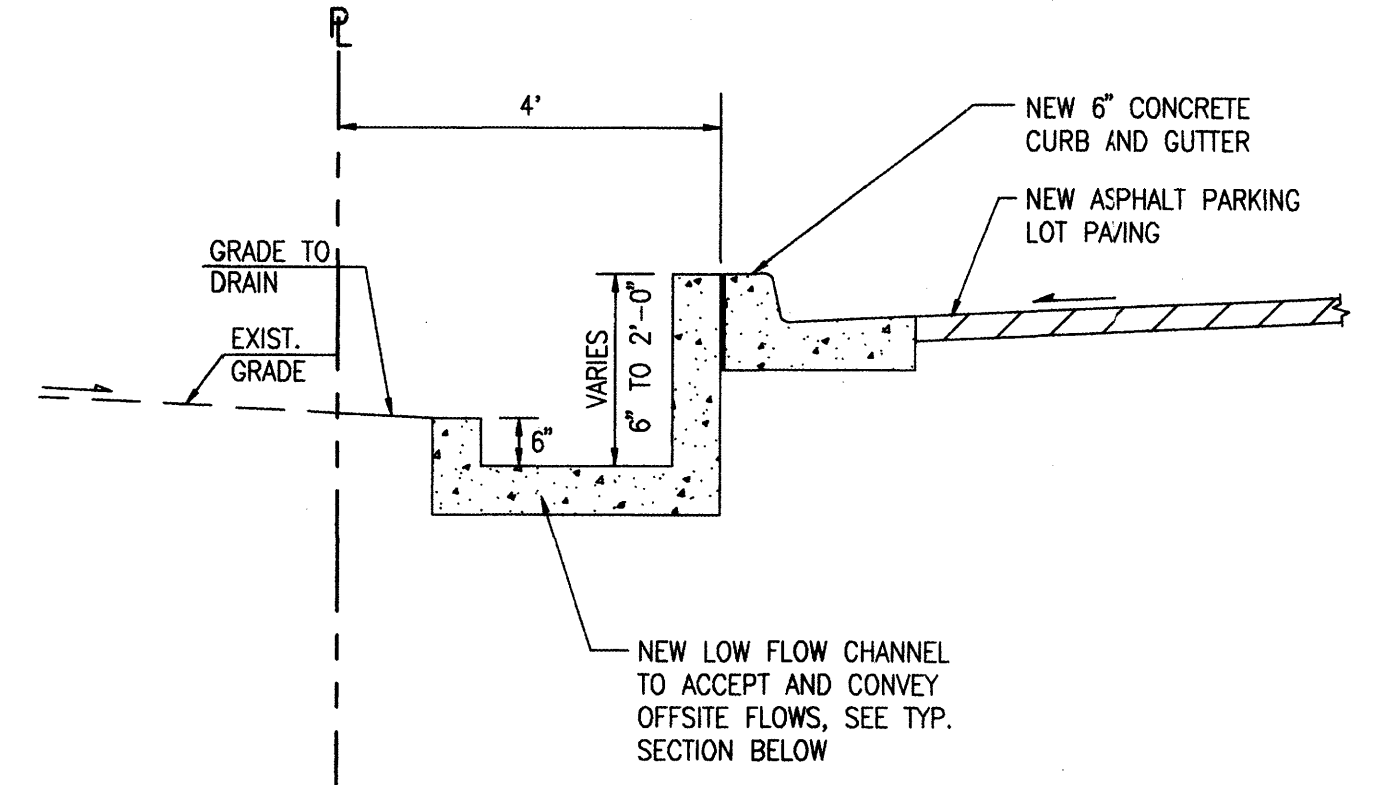
- T.B.M.#1  
TOP OF REBAR W/CAP.(NO I.D.),  
IN CONCRETE SIDEWALK  
ELEVATION= 5737.50 FEET(NGVD 29)
- T.B.M.#2  
CHISELED "+"  
ON CONCRETE SIDEWALK  
ELEVATION= 5720.39 FEET(NGVD 29)

**LEGAL DESCRIPTION**

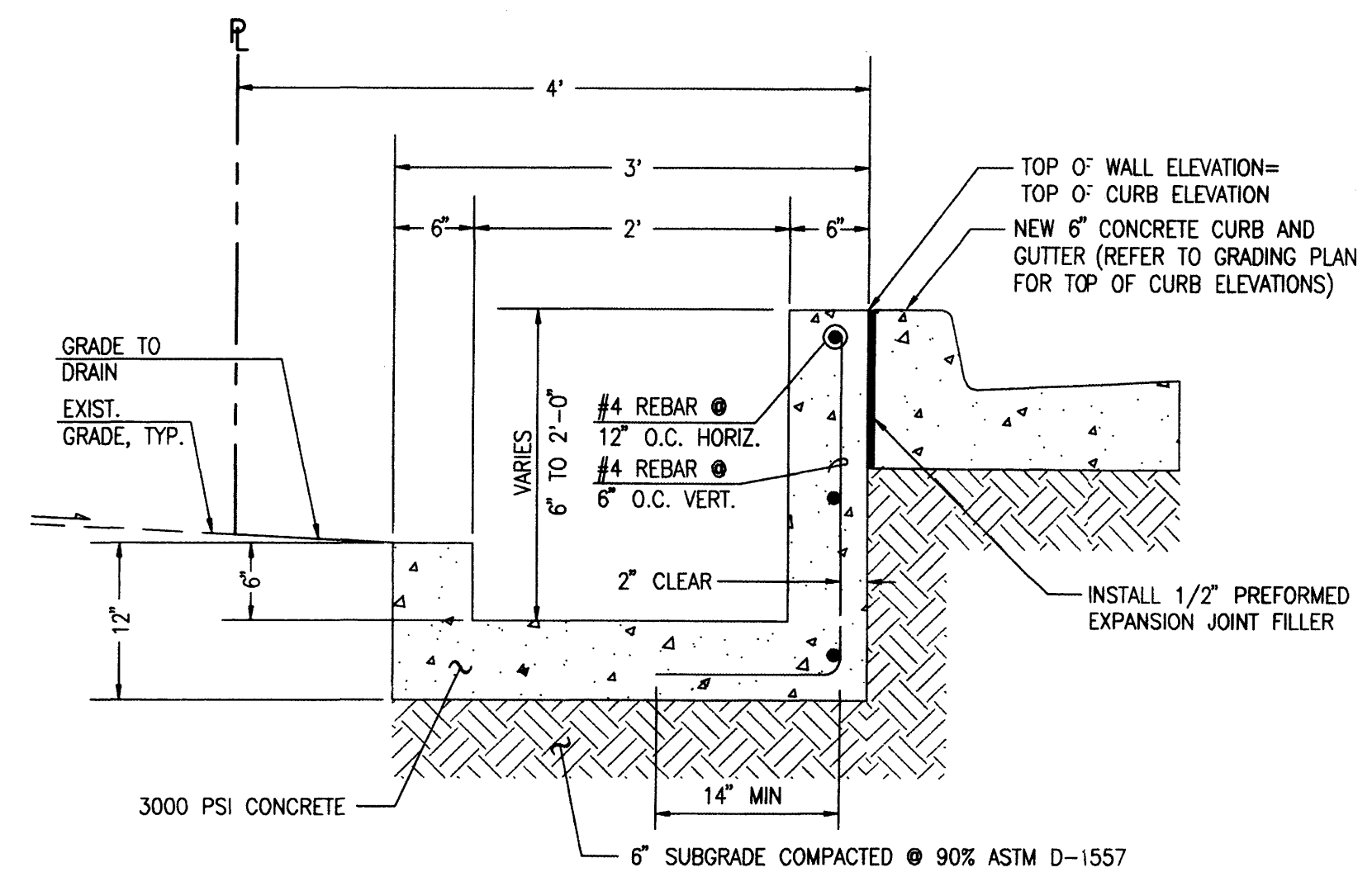
TRACT SS-1, REPLAT OF TRACT SS, ST. STEPHEN'S METHODIST CHURCH

**LEGEND**

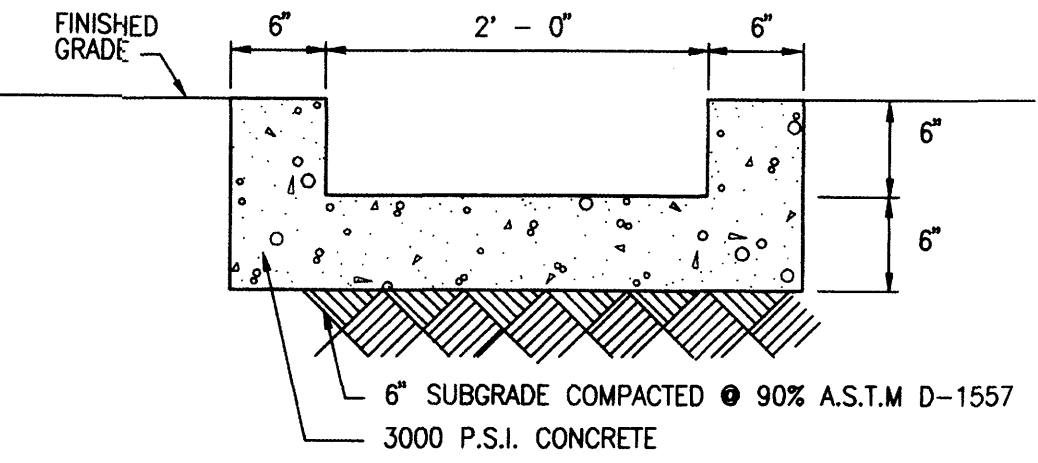
ALB	ARCHED LADDER BARS
ASV	ANTI-SIPHON VALVE
BOU/H	BUILDING OVERHANG
C&G	CURB AND GUTTER
CB	CONCRETE BENCH
CCP	CONCRETE CYLINDER PIPE
CHC	CONCRETE HEADER CURB
CI	CAST IRON
CLD	CENTERLINE DOOR
CLDD	CENTERLINE DOUBLE DOOR
CLF	CHAIN LINK FENCE
CMU	CONCRETE MASONRY UNIT
CO	CONCRETE
CONC	COVERED CONCRETE
COV CONC	CONCRETE STEPS AND LANDING
CUL	CULVERT
DOC	DOUBLE CLEAN OUT
DD	DOUBLE DOOR
EA	EDGE OF ASPHALT
EC	ELECTRIC CABINET
ELEC	ELECTRIC
EP	ELECTRIC PANEL
FH	FIRE HYDRANT
FL	FLOWLINE
FS	FLAG STONE
GS	GAS SERVICE
HCS	HANDICAP SIGN
INV	INVERT
KRW	KEYSTONE ROCK WALL
LST	LANDSCAPE TIMBER
MH	MANHOLE
MLP	METAL LIGHT POLE
MS	METAL SIGN
O/H C(1)	OVERHEAD COMMUNICATION(NO. OF LINES)
O/H E(4)	OVERHEAD ELECTRIC(NO. OF LINES)
O/H T(1)	OVERHEAD TELEPHONE(NO. OF LINES)
PE	PARKING BUMPER
PI	PLAYGROUND EQUIPMENT
PVC	PAINTED ISLAND
RD	POLYVINYL CHLORIDE
RET	ROOF DRAIN
RFRW	RETAINING
SAS	ROCK RETAINING WALL
SDP	SANITARY SEWER LINE
SH	SERVICE DROP POLE
SP	SPEED HUMP
SVB	STEEL POLE
SW	SPRINKLER VALVE BOX
TA	SIDE WALK
TC	TOP OF ASPHALT
TCOND	TOP OF CURB
TE	TELEPHONE CONDUIT
TG	TRASH ENCLOSURE
TR	TOP OF GRATE
TR	TELEPHONE RISER
TS	TRAFFIC SIGN
TSMH	TRAFFIC SIGNAL MANHOLE
TSPB	TRAFFIC SIGNAL PULL BOX
TW	TOP OF WALL
U/G	UNDERGROUND
VG	VALLEY GUTTER
W/L	WATER LINE
WCR	WHEEL CHAIR RAMP
WF	WATER FAUCET
WFB	WATER METER BOX
WP	WOOD PLANTER
WPP	WOOD POWER POLE
WSL	WOOD STEPS AND LANDING
WVB	WATER VALVE BOX



**SECTION A-A**  
SCALE: 1" = 2'-0"



**TYPICAL LOW FLOW CHANNEL SECTION**  
SCALE: 1" = 1'-0"



**TYPICAL RUNDOWN SECTION**  
SCALE: 1" = 1'-0"

File Path: E:\JMM\04\2007\A  
 File Name: 10777DFC1\_R.DWG  
 Plot Date: 06-04-2007  
 Plot Time: 08:40 am

ARCHITECT OF RECORD:  
**RD HABIGER & ASSOCIATES, INC.**  
 LITURGICAL DESIGN  
 1100 SOUTH ALBUQUERQUE AVENUE, SUITE 100  
 ALBUQUERQUE, NEW MEXICO 87109  
 TEL: 505.345.4250 FAX: 505.345.4254  
 EMAIL: rdh@rdhinc.com

**HIGH MESA Consulting Group**  
 FORMERLY AN ASSOCIATE AND MEMBER OF:  
 4010-S MIDWAY PARK BLVD. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 FAX: 505.345.4254  
 www.highmesacc.com

NEW MEXICO ENGINEER  
 8547  
 PROFESSIONAL ENGINEER  
 10777

**WEST PARKING LOT**  
**SAINT STEPHEN'S**  
**UNITED METHODIST CHURCH**  
 Juan Tabo, N.E.  
 Albuquerque, New Mexico

**PROJECT NO:**  
**DRAWN BY:** JLP/RRW  
**CHECKED BY:** JGM

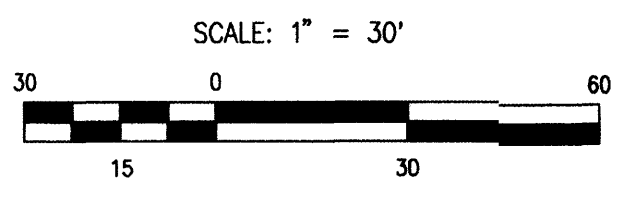
**DATE:** 06-2007

**REVISIONS:**  
 △  
 △  
 △

**PHASE 2**  
**DRAINAGE PLAN,**  
**CALCULATIONS,**  
**SECTIONS**

**SHEET:** **SDP-4**  
**OF:**

File Path: E:\MORTENSON\2007\10777\GPR2.DWG Plot Date: 06-04-2007  
 File Name: 10777GPR2.DWG Plot Time: 09:39 am



BOUNDARY TABLE				
CURVE	RADIUS	LENGTH	CHORD	DELTA
C1	25.00'	39.09'	39.23'	S 45°11'59" W 89°34'54"

**LEGEND**

ALB	ARCHED LADDER BARS	ELEC	ELECTRIC PANEL	RET	RETAINING WALL	WCR	WHEEL CHAIR RAMP
ASV	ANTI-SIPHON VALVE	EP	ELECTRIC VALVE	RAS	ROCK RETAINING WALL	WF	WATER FAUCET
BOU/H	BUILDING OVERHANG	EP	ELECTRIC VALVE	RWS	ROCKY SEWER LINE	WFF	WROUGHT IRON FENCE
C&G	CURB AND GUTTER	FL	FLOWLINE	SDP	SERVICE DROP POLE	WMB	WATER METER BOX
CB	CONCRETE BENCH	FS	FLAG STONE	SH	SPEED HUMP	WP	WOOD PLANTER
CCP	CONCRETE CYLINDER PIPE	GS	GAS SERVICE	SP	STEEL POLE	WPP	WOOD POWER POLE
CHC	CONCRETE HEADER CURB	HCS	HANDICAP SIGN	SVB	SPRINKLER VALVE BOX	WSP	WOOD STEPS AND LANDING
CI	CAST IRON	INV	INVERT	SW	SIDE WALK	WSL	WOOD VALVE BOX
CLD	CENTERLINE DOOR	KRW	KEYSTONE ROCK WALL	TA	TOP OF ASPHALT	WVB	WATER VALVE BOX
CLDD	CENTERLINE DOUBLE DOOR	LST	LANDSCAPE TIMBER	TC	TOP OF CURB		
CLF	CHAIN LINK FENCE	MH	MANHOLE	TCO	TOP OF CONCRETE		
CMU	CONCRETE MASONRY UNIT	MLP	METAL LIGHT POLE	TCO	TOP OF CONCRETE		
CO	CLEAN OUT	MS	METAL SIGN	TR	TRAFFIC SIGN		
CONC	CONCRETE	O/H C(1)	OVERHEAD COMMUNICATION(1 NO. OF LINES)	TS	TRAFFIC SIGNAL MANHOLE		
CONC CONC	COVERED CONCRETE	O/H E(4)	OVERHEAD ELECTRIC(4 NO. OF LINES)	TSMB	TRAFFIC SIGNAL MANHOLE		
CSL	CONCRETE STEPS AND LANDING	O/H T(1)	OVERHEAD TELEPHONE(1 NO. OF LINES)	TSPB	TRAFFIC SIGNAL PULL BOX		
CUL	CULVERT	PB	PARKING BUMPER	TW	TOP OF WALL		
DCO	DOUBLE CLEAN OUT	PE	PLAYGROUND EQUIPMENT	U/G	UNDERGROUND		
DD	DOUBLE DOOR	PI	PAINTED ISLAND	VC	VALLEY GUTTER		
EA	EDGE OF ASPHALT	PVC	POLYVINYL CHLORIDE	W/L	WATER LINE		
EC	ELECTRIC CABINET	RD	ROOF DRAIN				

**PROJECT BENCHMARK**

STANDARD ACS BRASS TABLE STAMPED "ASC JT-1" SET IN TOP OF A CONCRETE POST FLUSH WITH TOP OF CURB OF THE SOUTH MEDIAN NOSE AT THE INTERSECTION OF MONTGOMERY BOULEVARD N.E. AND JUAN TABO BOULEVARD N.E. ELEV= 5721.248(NGVD 29)

T.B.M.  
 T.B.M.#1  
 TOP OF REBAR W/CAP(NO I.D.),  
 IN CONCRETE SIDEWALK  
 ELEVATION= 5737.50 FEET(NGVD 29)  
 T.B.M.#2  
 CHISELED "+\*" ON CONCRETE SIDEWALK  
 ELEVATION= 5720.39 FEET(NGVD 29)

**LEGAL DESCRIPTION**

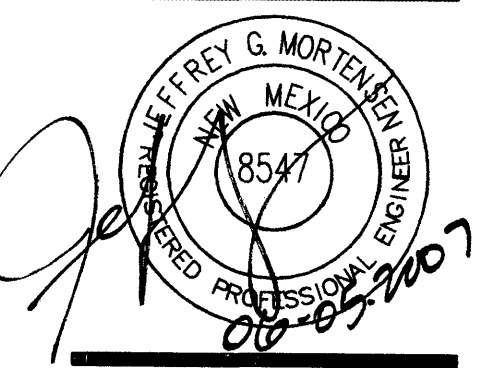
TRACT SS-1, REPLAT OF TRACT SS,  
 ST. STEPHEN'S METHODIST CHURCH

**CONSTRUCTION NOTES:**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537), (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

**EROSION CONTROL MEASURES:**

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
- UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDED ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.



**RD HABIGER & ASSOCIATES, INC.**  
 ARCHITECT OF RECORD  
 4007 TABO DRIVE NE  
 ALBUQUERQUE, NM 87111  
 TEL: 505-421-5172 FAX: 505-421-5479  
 EMAIL: rdhabiger@rdhabiger.com

**HIGH MESA Consulting Group**  
 CONSULTING ENGINEER  
 6010-B MIDWAY PARK BLVD. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 FAX: 505.345.4254  
 www.highmesacg.com

**WEST PARKING LOT  
 SAINT STEPHEN'S  
 UNITED METHODIST CHURCH**  
 Juan Tabo, N.E.  
 Albuquerque, New Mexico

**PROJECT NO:**  
**DRAWN BY:** JLP/RRW  
**CHECKED BY:** JGM

**DATE:** 06-2007

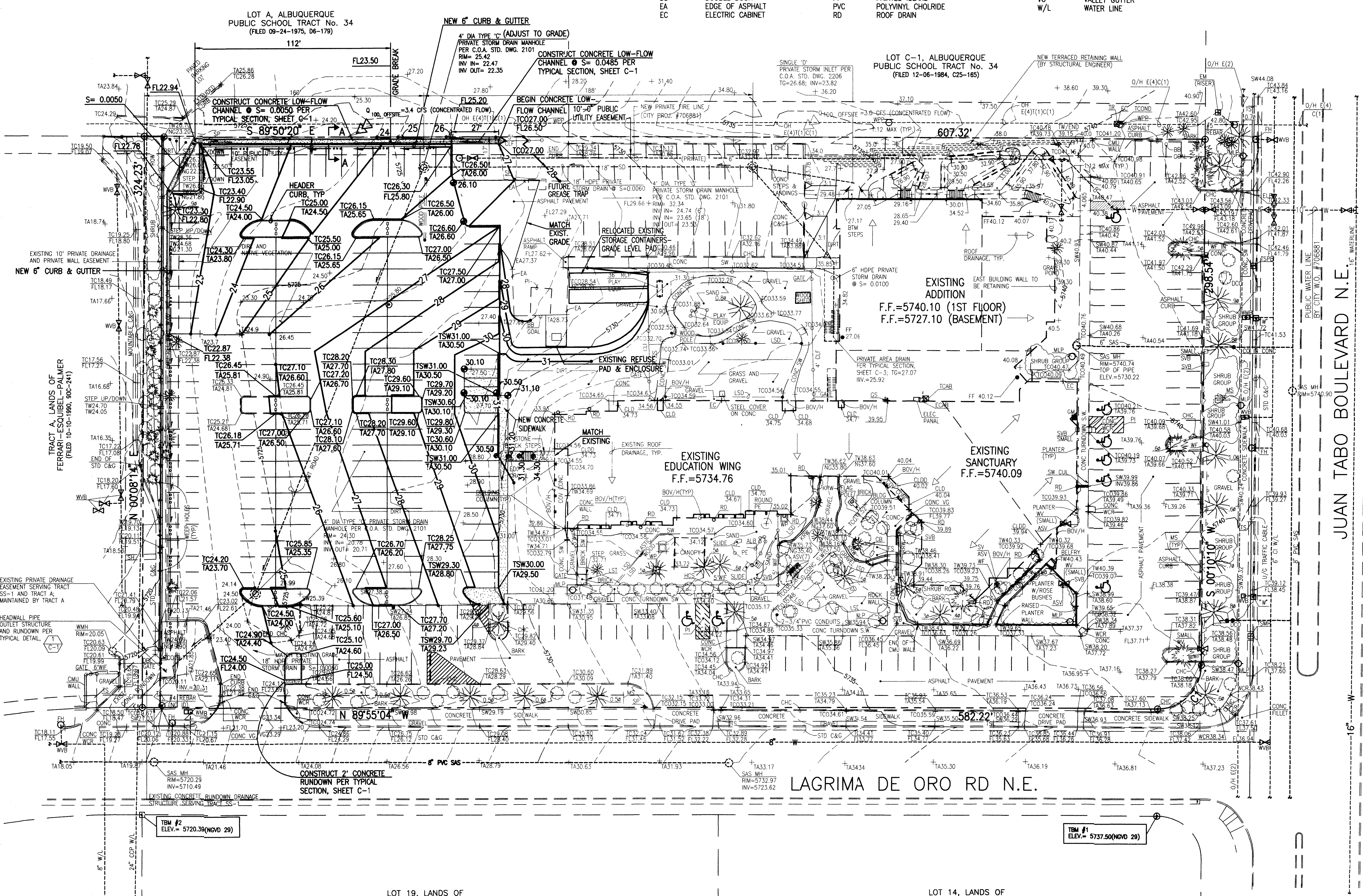
**REVISIONS:**

▲	
▲	
▲	

**PHASE 2  
 GRADING PLAN**

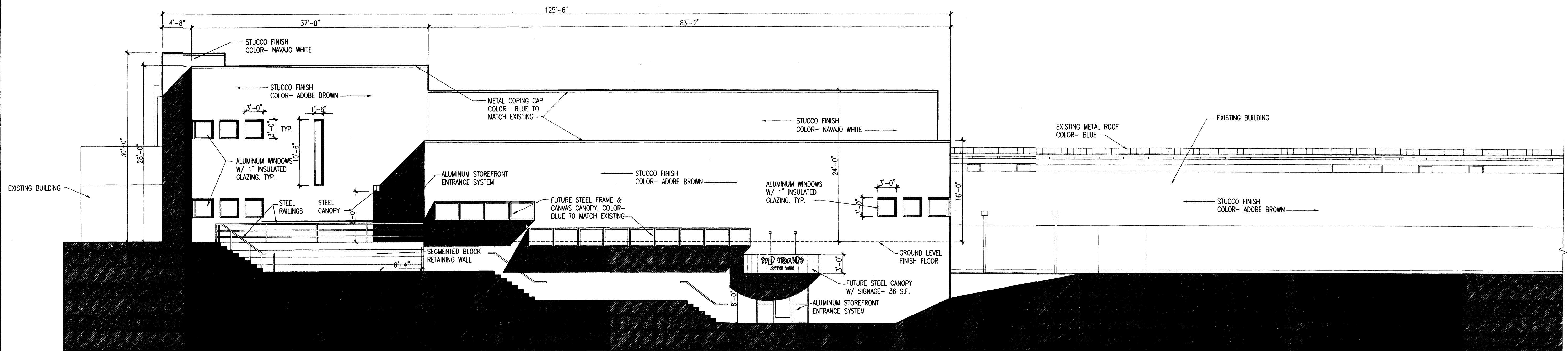
**SHEET: SDP-5**

**OF:**

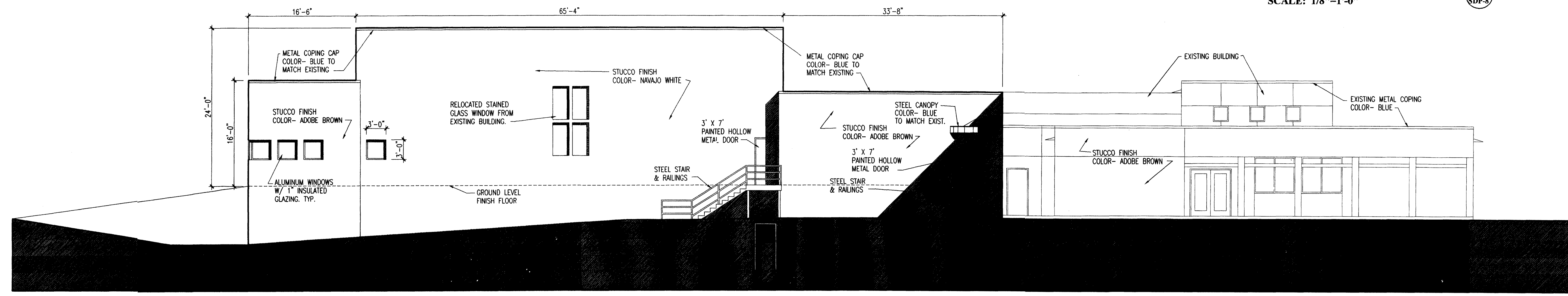


**NOTE:**  
 THIS IS NOT A BOUNDARY SURVEY. BOUNDARY DATA SHOWN HEREON WAS TAKEN FROM A BOUNDARY SURVEY PREPARED BY JEFF MORTENSEN & ASSOCIATES, INC., DATED JANUARY 2002, AND IS SHOWN FOR ORIENTATION PURPOSES ONLY. TOPOGRAPHIC INFORMATION TAKEN FROM DRAINAGE CERTIFICATION BY JMA (NMPE 8547) DATED 03-02-2004

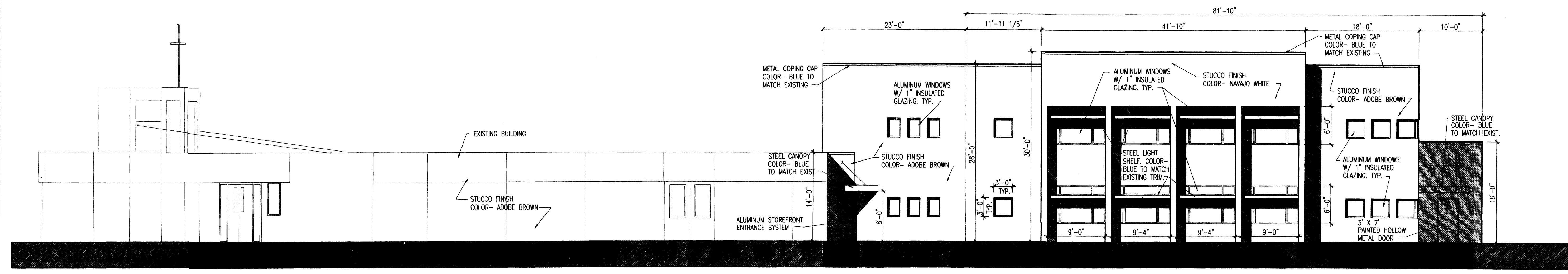
2001.077.7



**NORTH ELEVATION** 3  
SCALE: 1/8"=1'-0" SDP-8

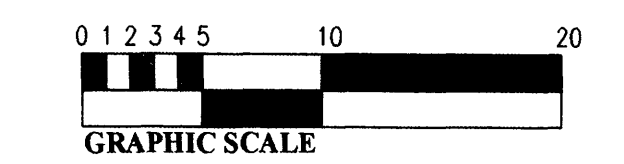


**WEST ELEVATION** 2  
SCALE: 1/8"=1'-0" SDP-8



NOTE: ALL NEW WINDOWS SHALL HAVE WHITE ALUMINUM FRAMES WITH 1" INSULATED TINTED GLAZING.

**EAST ELEVATION** 1  
SCALE: 1/8"=1'-0" SDP-8



ARCHITECT OF RECORD:  
RD HABIGER & ASSOCIATES, INC.  
LITURGICAL DESIGN  
12101 PALOMAS, N.E. ALBUQUERQUE, N.M. 87122  
TEL: 505-821-3112 FAX: 505-821-3479 EMAIL: rdh@rhugdesign.com  
ASSOCIATE ARCHITECT  
T A T E F I S H B U R N  
A R C H I T E C T  
BOX 2941 CORRALES NEW MEXICO 87048 PHONE 505-899-9238 FAX 899-9238

**NEW ADDITION FOR  
SAINT STEPHENS  
UNITED METHODIST CHURCH**  
4601 Juan Tabo, N.E.  
Albuquerque, New Mexico 87111

PROJECT NO: \_\_\_\_\_  
DRAWN BY: TRF  
CHECKED BY: RDH  
DATE: 02/06/03

REVISIONS:  
△  
△  
△

BUILDING ELEVATIONS  
SHEET: SDP-6  
OF: \_\_\_\_\_