

GREEN BUILDING NOTE:
 OWNER IS PROVIDING RECYCLE TANKS FOR WATER REUSE.
 BUILDING IS BUILT ENTIRELY OUT OF STEEL (WHICH IS RECYCLED BY NATURE) AND CHU WHICH IS A NATURAL MATERIAL.

PARKING CALCULATION:
 EQUIPMENT ROOMS/REVISIONS TEST ROOM
 AUTO-CARWASH BAY AND SELF-SERVICE
 CARWASH BAYS ARE ALL SELF-CONTAINED. NO SPACES REQUIRED.
 ONE HANDICAP SPACE PROVIDED TO ACCOMMODATE ADA REQUIREMENTS.

STREET NOTE:
 NEW DECELERATION LANE, NEW CURBS AND GUTTER, NEW ISLAND, NEW LEFT TURN LANE FROM MONTGOMERY AND NEW PAVING COMPLETED BY THE CITY OF ALBUQUERQUE WITHIN THE CARLISE/MONTGOMERY INTERSECTION RECONSTRUCTION PROJECT.

TRAFFIC CONTROL LIGHTS LOCATED AT CARLISE INTERSECTION APPROX 2800 FT. TO THE EAST. OTHERWISE, THERE ARE NO TRAFFIC CONTROL DEVICES THAT EFFECT THIS PROPERTY.

1002330

- LEGEND:**
- WM WATER METER
 - ELEC ELECTRIC SERVICE RISER
 - SD SANITARY SEWER CLEANOUTS
 - TEL TELEPHONE RISER
 - FH FIRE HYDRANT
 - MH SANITARY SEWER MANHOLE
 - WV WATER VALVE
 - LP LIGHT POLE
 - NEW 16" HIGH PARKING LOT LIGHT FIX.
- SPOT ELEVATION**
 UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE.
- EOA EDGE OF ASPHALT
 - TC TOP OF CURB
 - FL FLOWLINE
 - BSW BACK OF SIDEWALK

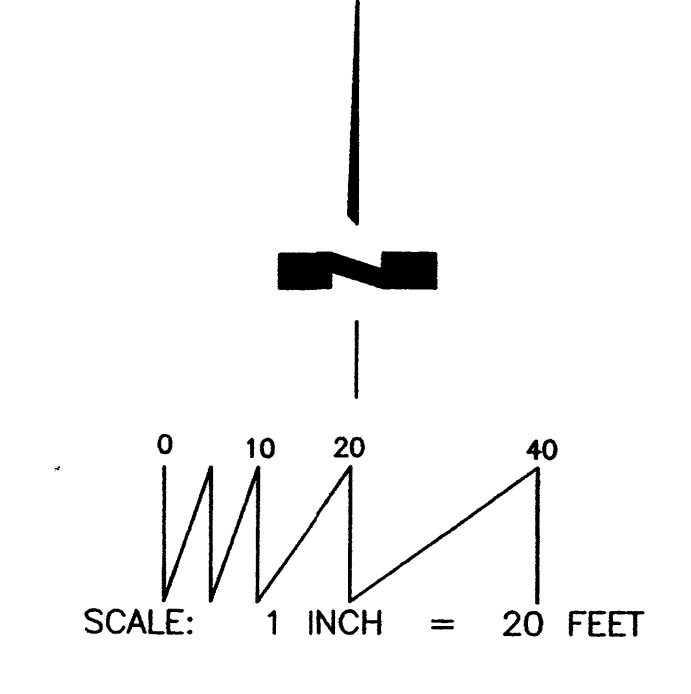
LEGAL DESCRIPTION
 Tract lettered "G-2-A-2" of MONTGOMERY COMPLEX, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 27, 2006, in Plat Book 2006C, page 25.

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	1367.50'	92.07'	92.05'	N 88° 19' 23" W	03° 51' 28"
(C1)	(1367.50')	(92.09')	(92.07')	(S 88° 10' 34" W)	(03° 51' 30")

LINE TABLE

LINE	DISTANCE	BEARING
L1	26.75'	S 89° 54' 52" W
(L1)	(26.73')	(S 89° 53' 41" W)



PROJECT NUMBER: 1002330
Application Number: 06PRB-01642(SBP)

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Bradley J. Byham</i> Traffic Engineer, Transportation Division	10/15/07 Date
<i>Rose A. Hines</i> Water Utility Department	10/15/07 Date
<i>Christina Sandoral</i> Parks and Recreation Department	4/16/07 Date
<i>Bradley J. Byham</i> City Engineer	4/11/07 Date
<i>N/A</i>	
Environmental Health Department (conditional)	Date
<i>Michael Helton</i> Solid Waste Management	6/28/07 Date
<i>DMatson</i> DRB Chairperson, Planning Department	10/16/07 Date

* Environmental Health, if necessary
 5-13-05



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Plan No: 0520/0502500
 Date: June 07
 Drawn by: SED
 Checked by: MG

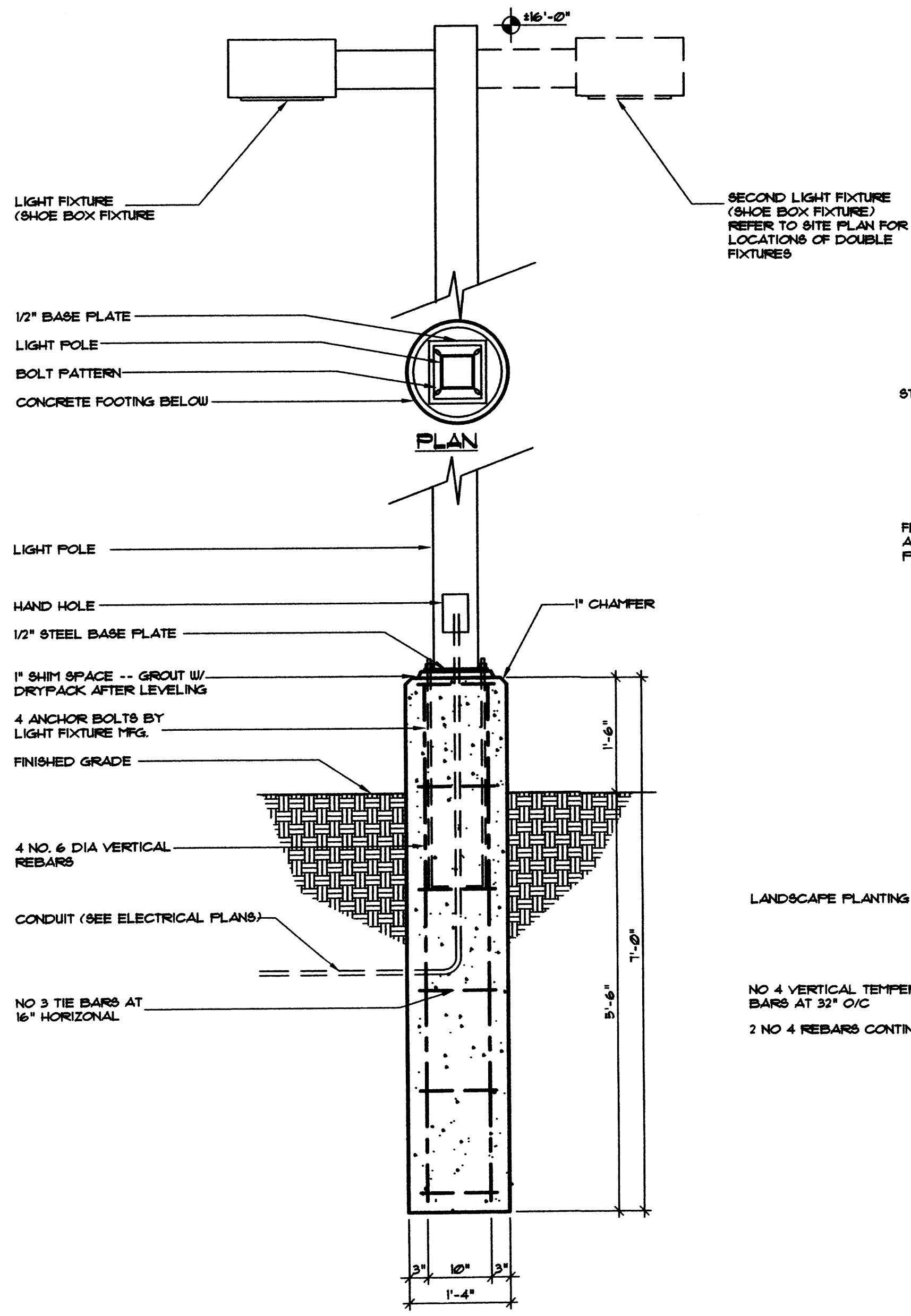
The Ultimate Car Wash
 Montgomery Blvd.
 Albuquerque, New Mexico

No.	Revision / Issue	Date:

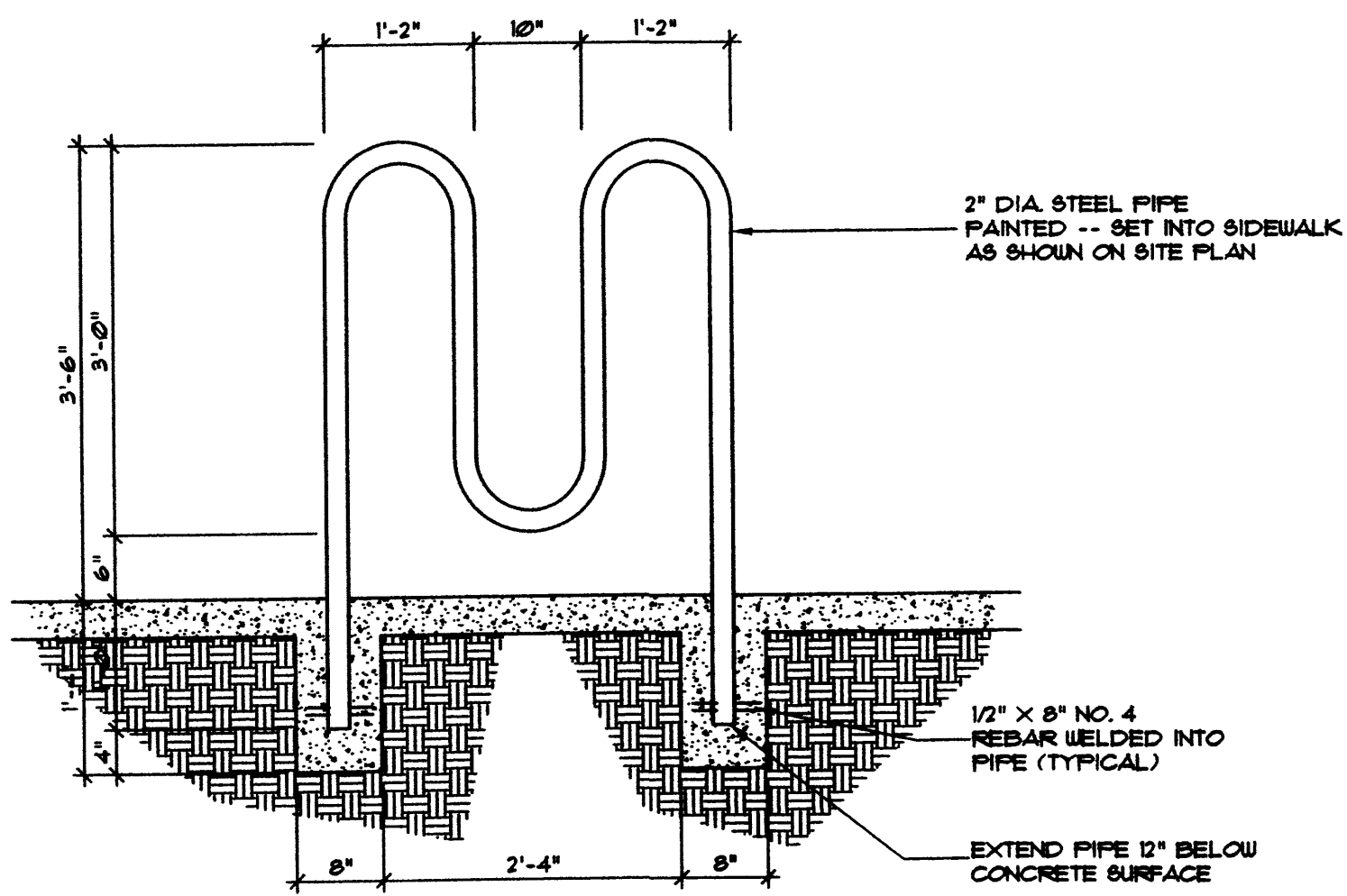
SITE PLAN
SITE DEVELOPMENT
PLAN FOR BUILDING
PERMIT

Sheet Description

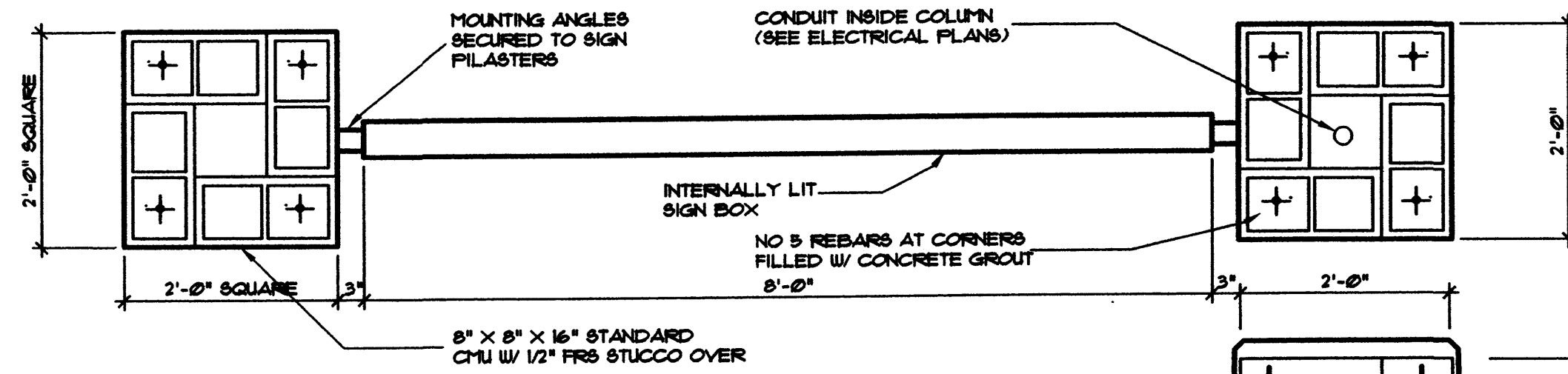
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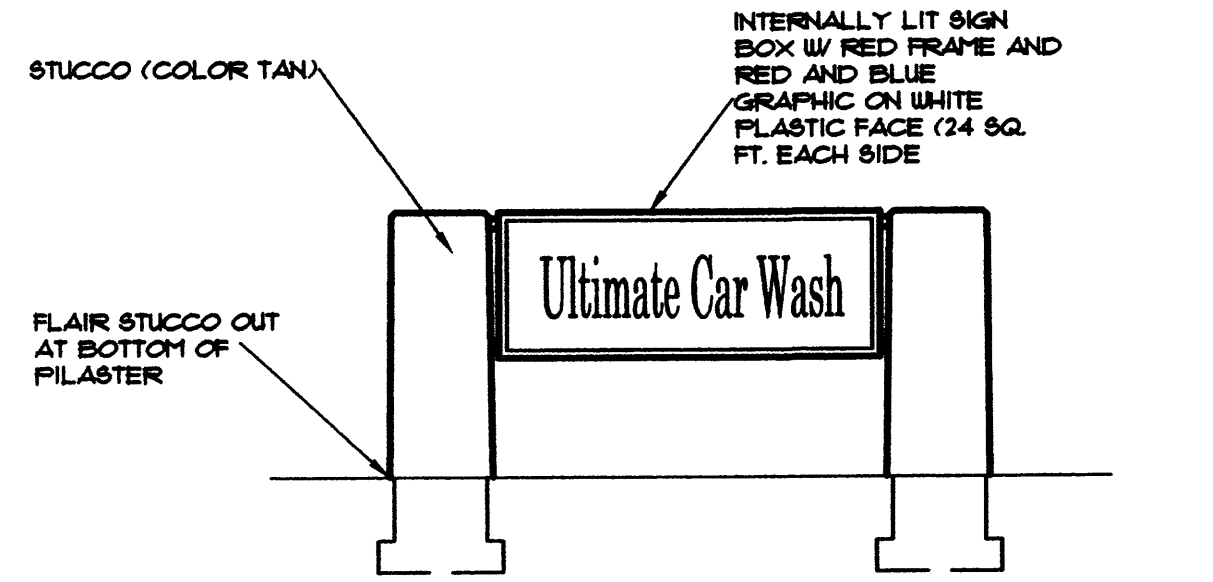
LIGHT FIXTURE COLUMN
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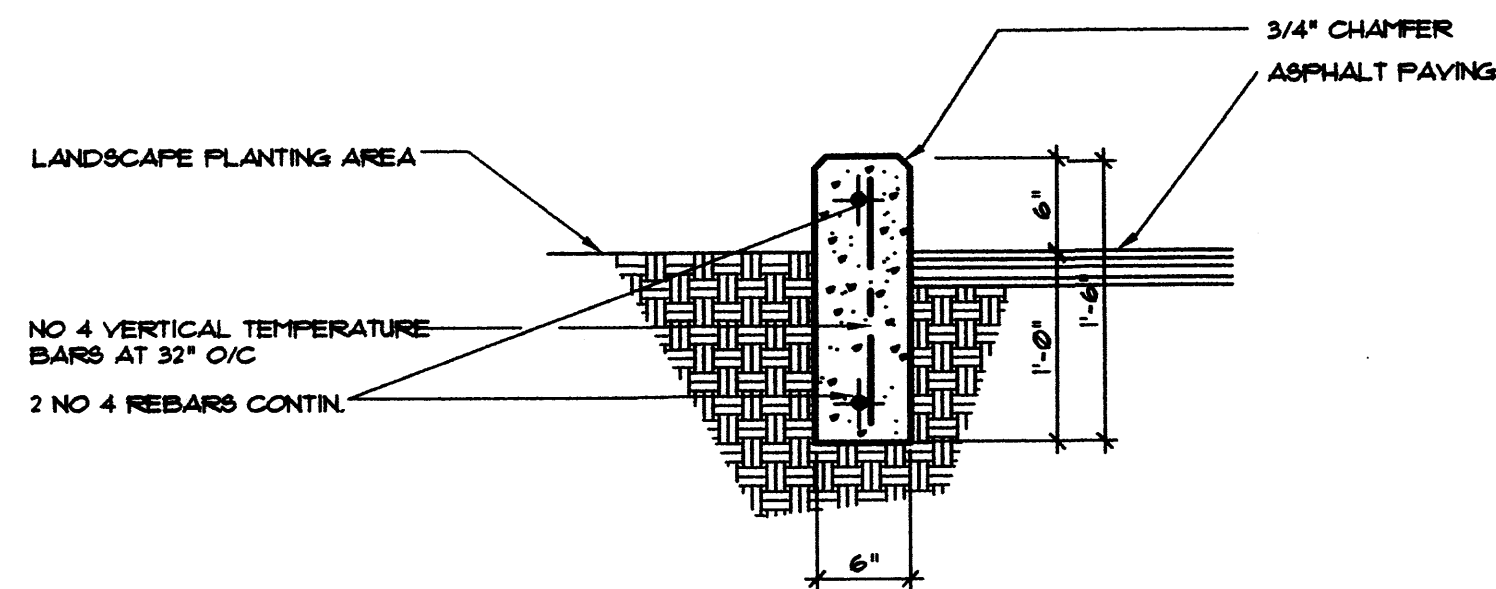
BIKE RACK DETAIL
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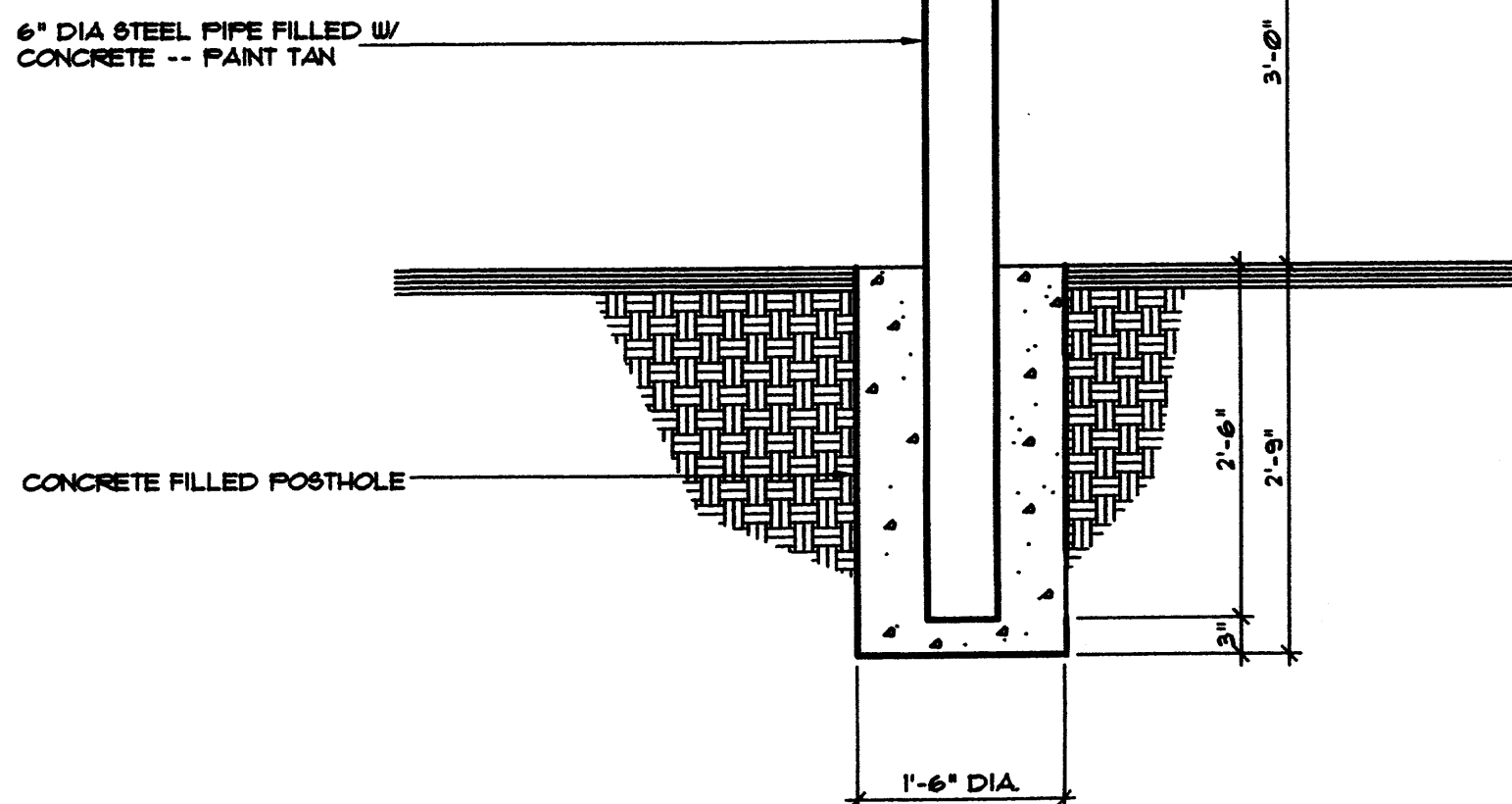
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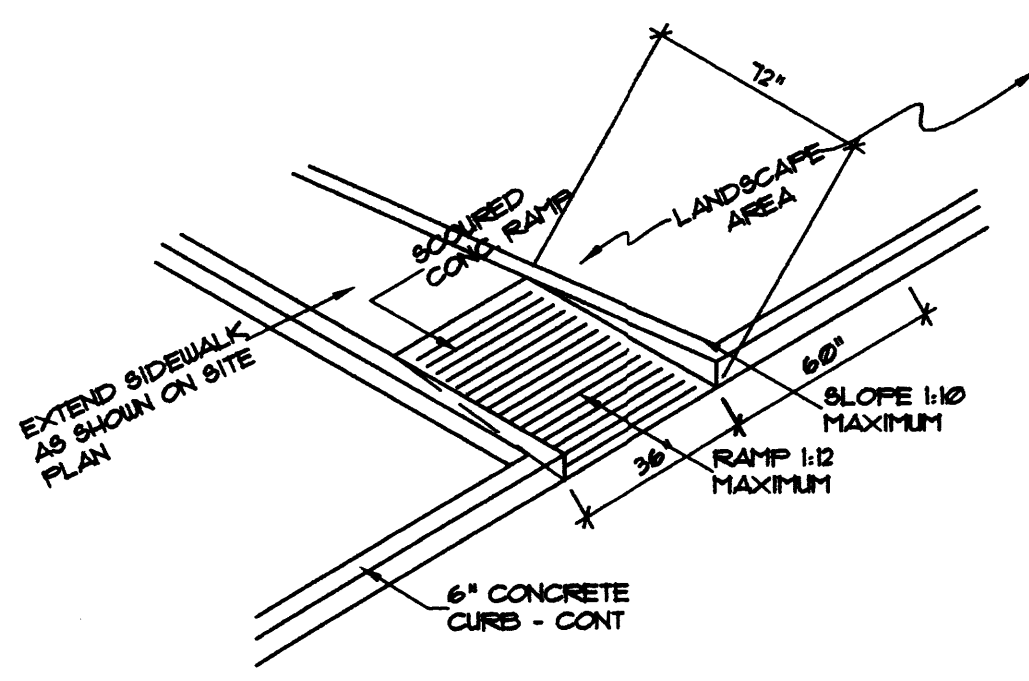
SIGN ELEVATION
SCALE 1/4" = 1'-0"



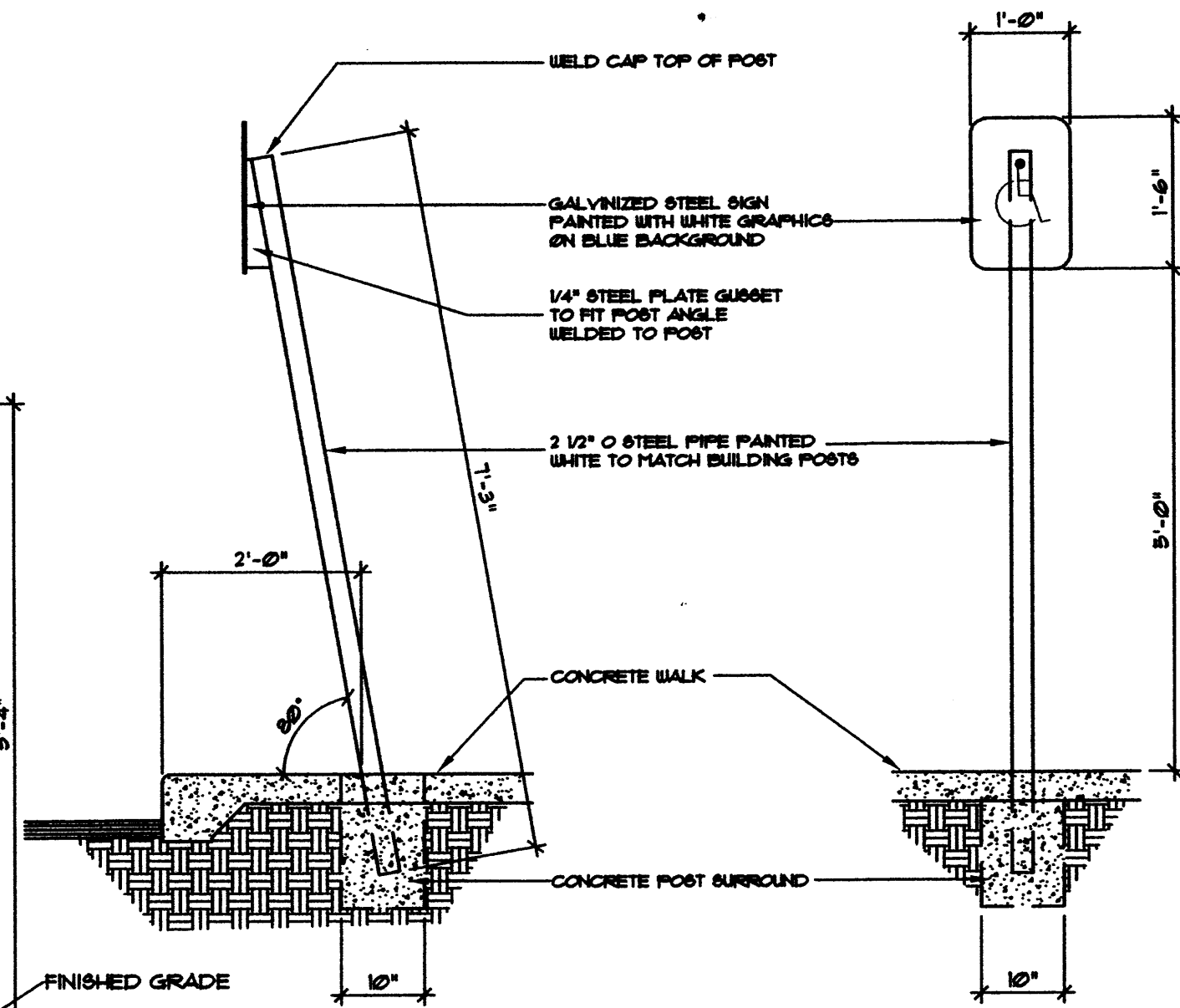
STAND-UP CURB DETAIL
SCALE 1" = 1'-0"



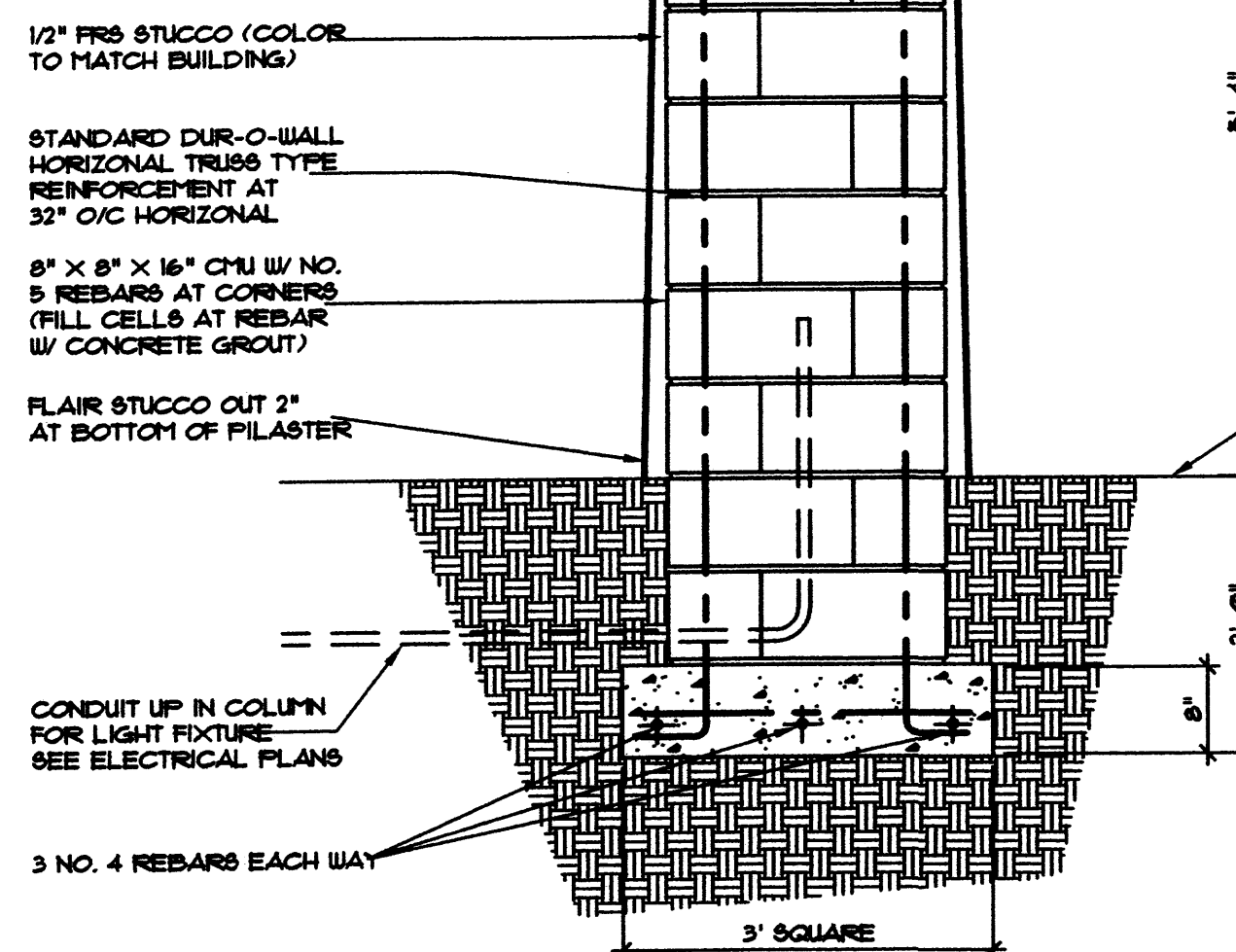
6" DIA STEEL PIPE BOLLARD DETAIL
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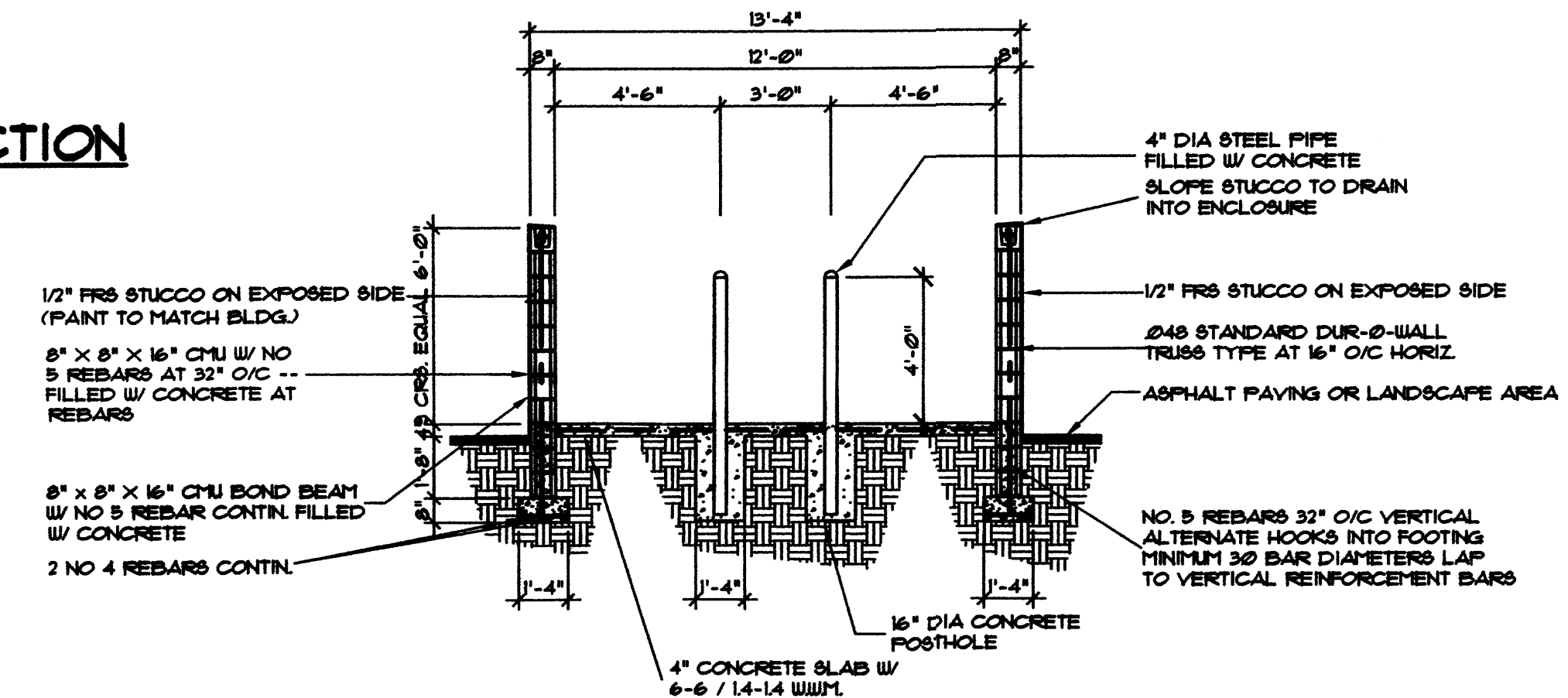
HANDICAP RAMP
NO SCALE



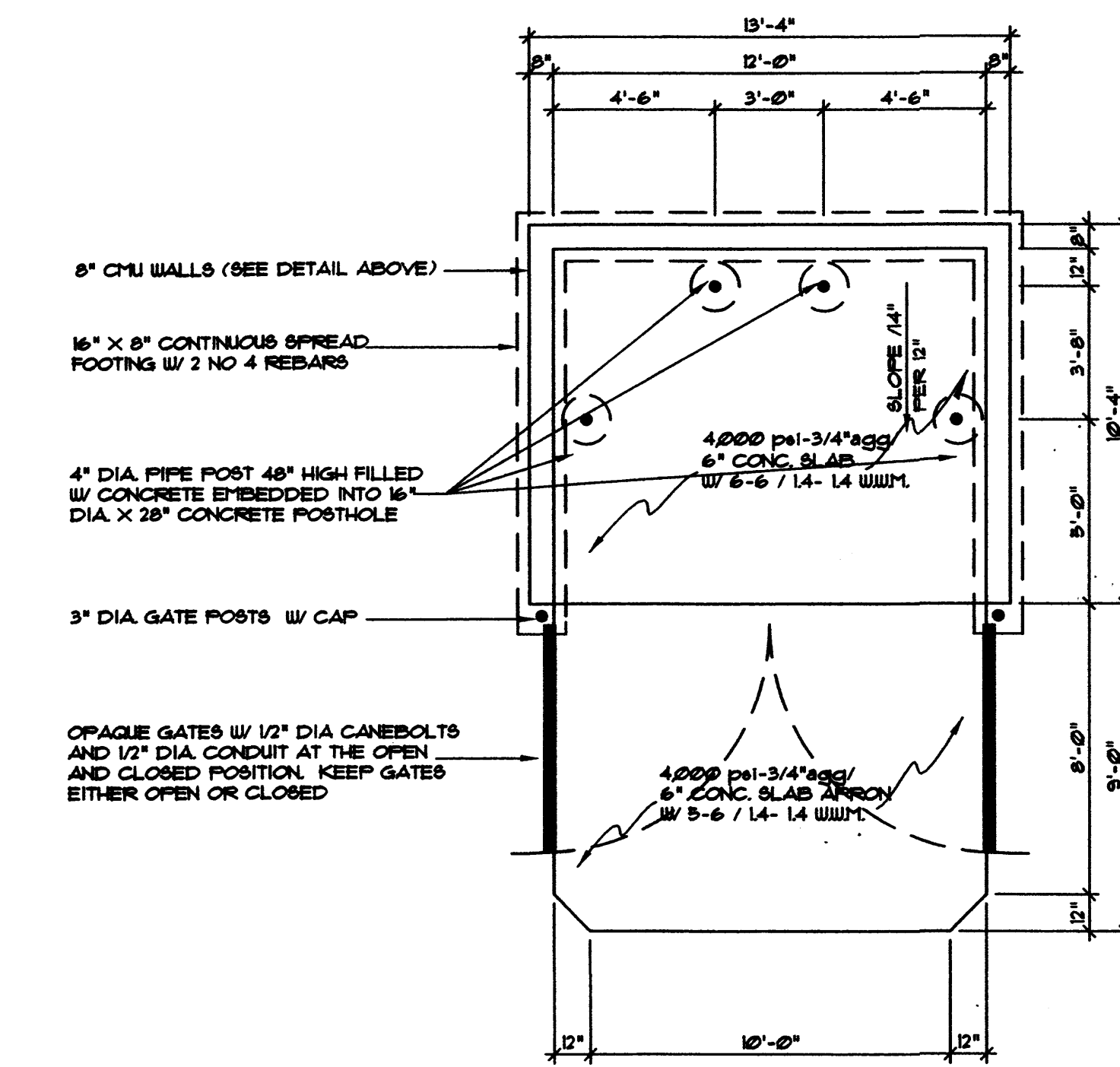
HANDICAP PARKING SIGN
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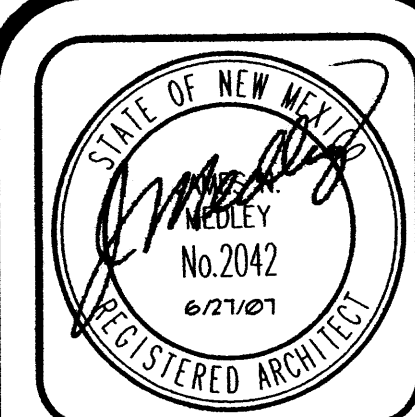
SIGN PILASTER SECTION
SCALE 3/4" = 1'-0"



REFUSE ENCLOSURE SECTION
SCALE 1/4" = 1'-0"



REFUSE ENCLOSURE PLAN
SCALE 1/4" = 1'-0"



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Plan No.	05-07-BEDT5001
Date:	June 07
Drawn by:	SED
Checked by:	FG

The Ultimate Car Wash
Montgomery Blvd.
Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description:
SITE PLAN
SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

Sheet:
C2.1

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	6	GLEDTISIA TRIACANTHOS	HONEYLOCUST	2" CAL.
	5	PINUS NIGRA	AUSTRIAN PINE	5'-6" HT.
	26	JUNIPERUS SABINA	"TAM" JUNIPER	5 GAL.
	23	ROSMARINUS OFF. PRO.	CREeping ROSEMARY	5 GAL.
	12	LONICARA JAPONICA "HALLIANA"	HALL'S HONEYSUCKLE	5 GAL.

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

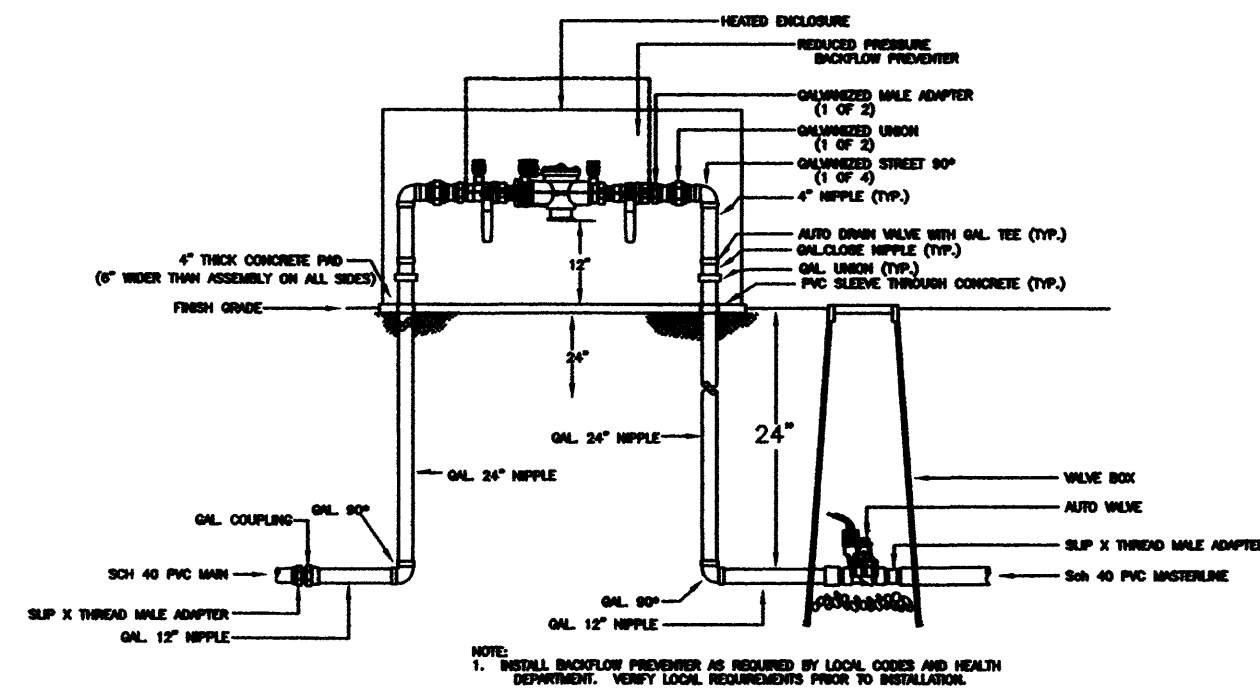
NOTE

MAINTENANCE OF LANDSCAPE/IRRIGATION PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 85% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH (COLOR TO MATCH BLDG.) OVER FILTER FABRIC
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

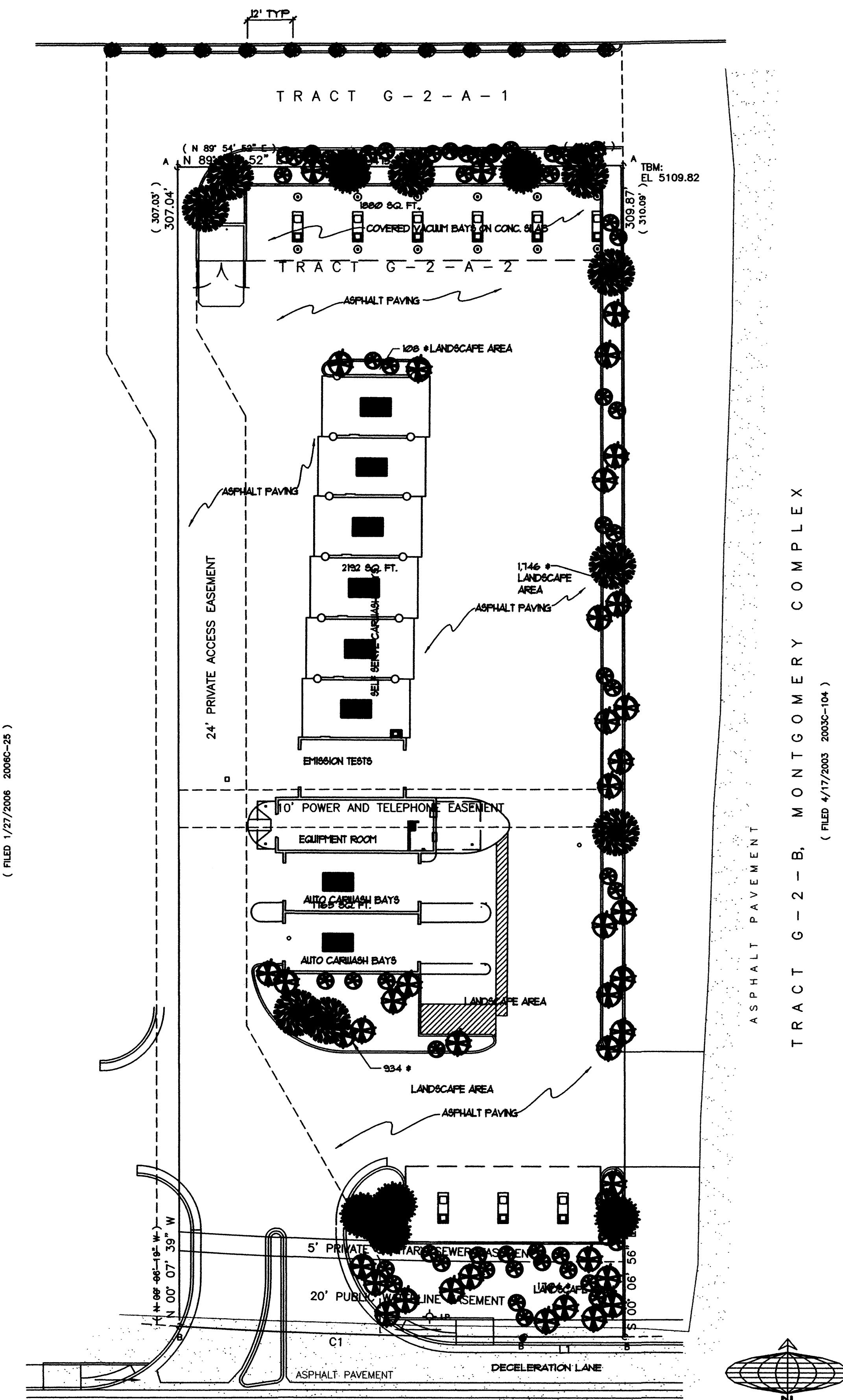
SITE DATA

GROSS LOT AREA	30,044	SF
LESS BUILDING(S)	5,837	SF
NET LOT AREA	24,207	SF
REQUIRED LANDSCAPE	3,632	SF
15% OF NET LOT AREA	5,967	SF
PROPOSED LANDSCAPE	25	%
PERCENT OF NET LOT AREA		

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET 5 (4 req'd)

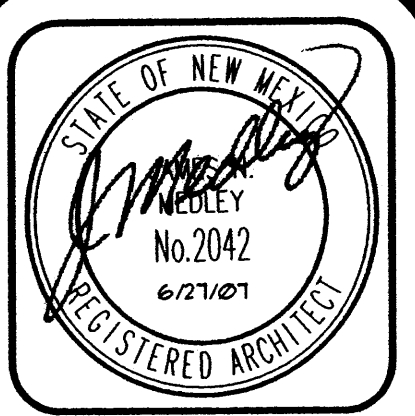


Mastervalue w/RPBA



MONTGOMERY BOULEVARD, N. E.
(130' R.O.W.)

LANDSCAPE PLAN
SCALE 1" = 20'



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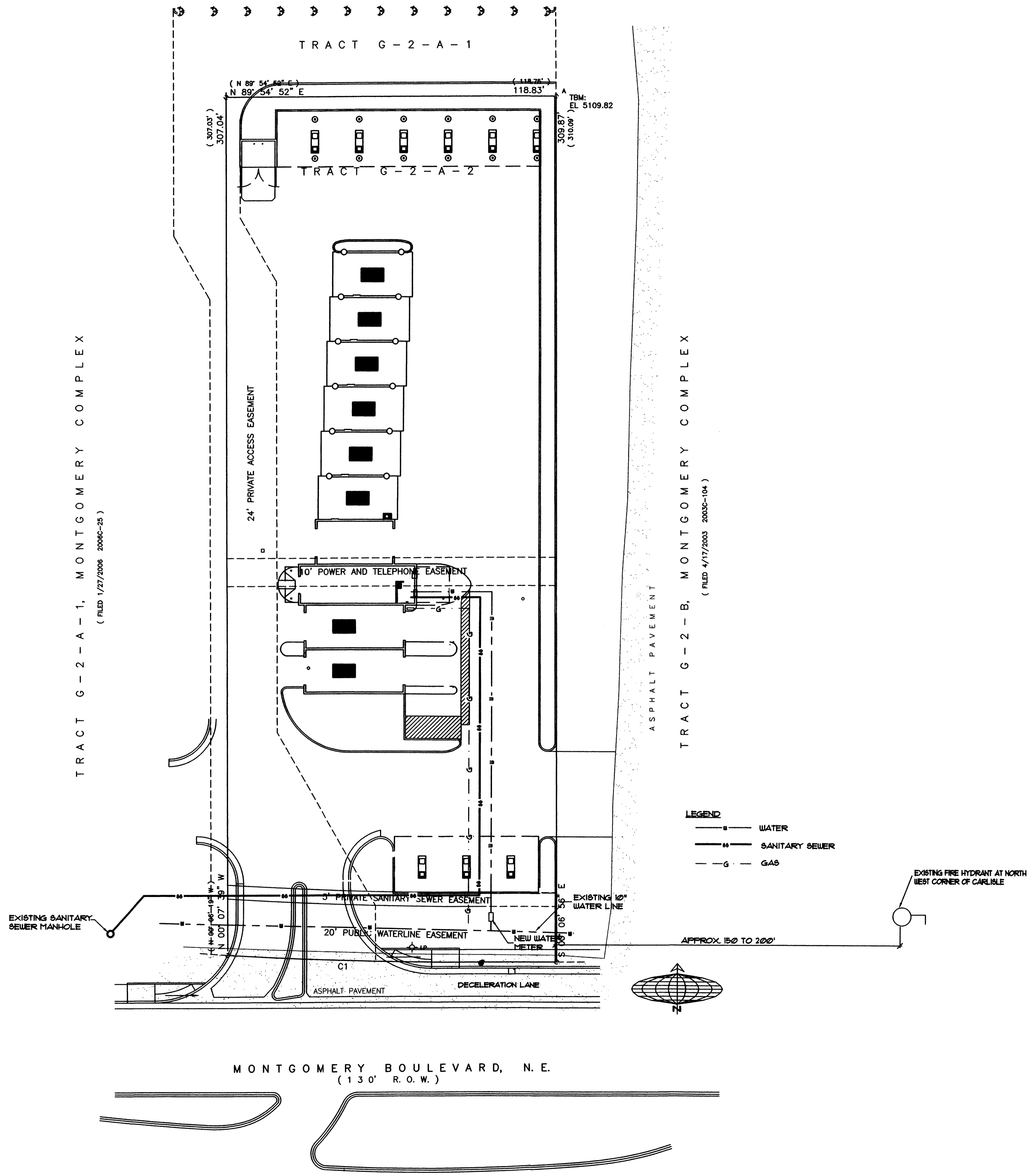
Plan No. 02-02/SEC/25001
 Date: June 07
 Drawn by: SED
 Checked by: HSG

The Ultimate Car Wash
 Montgomery Blvd.
 Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description
**LANDSCAPE PLAN
 SITE DEVELOPMENT
 PLAN FOR BUILDING
 PERMIT**

Sheet:
L1.1



TRACT G-2-A-1, MONTGOMERY COMPLEX
(FILED 1/27/2006 20060-25)

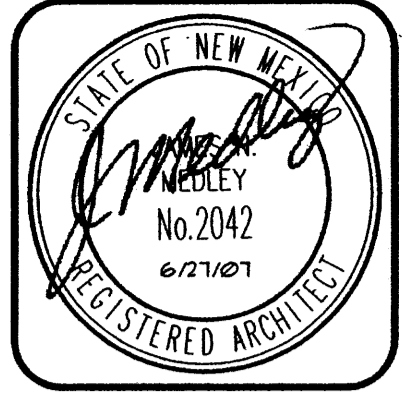
TRACT G-2-A-1

TRACT G-2-A-2

TRACT G-2-B, MONTGOMERY COMPLEX
(FILED 4/17/2003 20030-104)

MONTGOMERY BOULEVARD, N.E.
(130' R.O.W.)

CONCEPTUAL UTILITY PLAN
SCALE 1" = 20'



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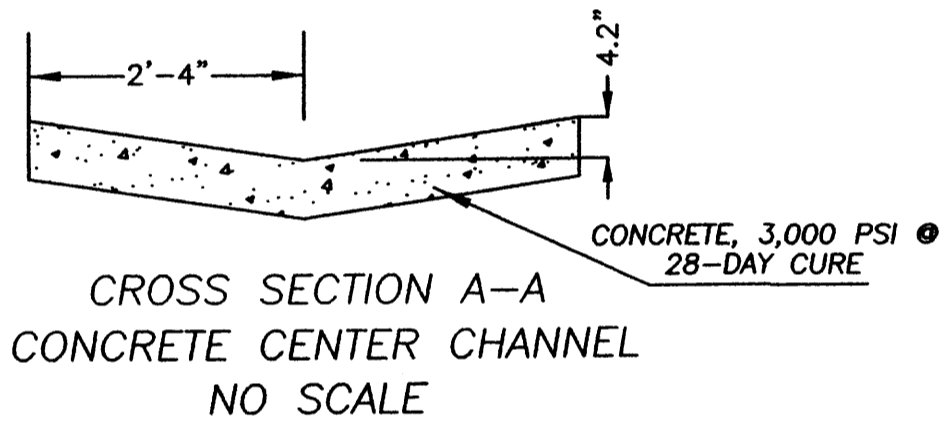
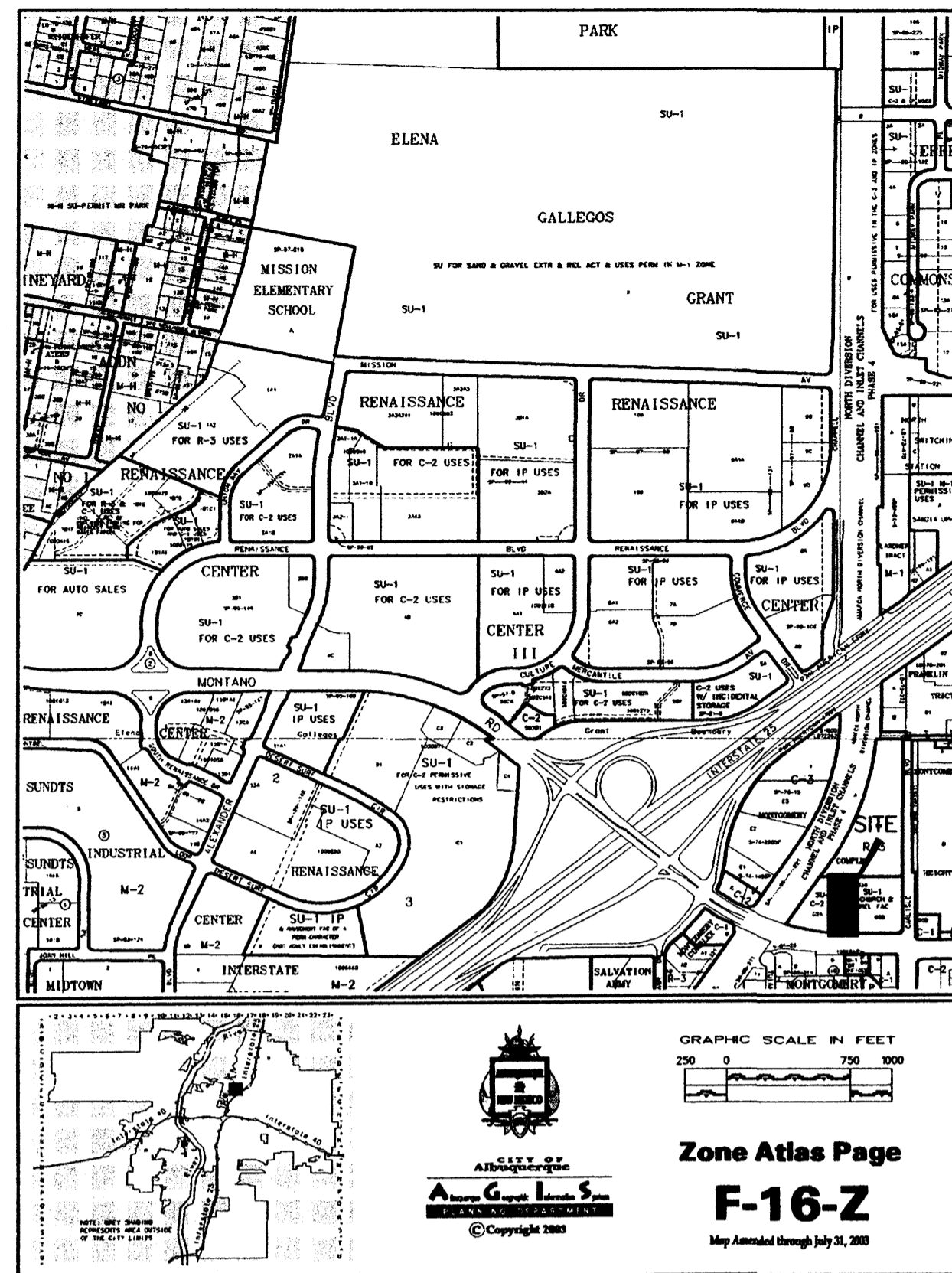
Plan No.	0507/SED25001
Date:	June 07
Drawn by:	SED
Checked by:	MS

The Ultimate Car Wash
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Sheet Description
**UTILITY PLAN
SITE DEVELOPMENT
PLAN FOR BUILDING
PERMIT**

Sheet:
U1.1



DRAINAGE SWALE CAPACITY CALCULATION:
 USE MANNING'S EQUATION
 $Q = (1.49/n)(A)(Rh)^{2/3}(SQ.RT.(S))$
 $n = 0.013$ FOR CONCRETE
 $Rh = A/P$ (TRIANGULAR CHANNEL, FULL FLOW CONDITIONS) = 0.197 FT.
 $S = 0.00236$ FT/FT
 $A = 0.96$ SQ.FT. (TRIANGULAR CHANNEL)
 $Q(CAPACITY) = 1.81$ CFS

DESIRED FLOW CAPACITY = 1.8 CFS TO MEET INCREASED DISCHARGE FROM SITE. EXCESS FLOWS WILL OVERTOP CHANNEL AND PROCEED WEST, TO MEET CURRENT CONDITIONS.

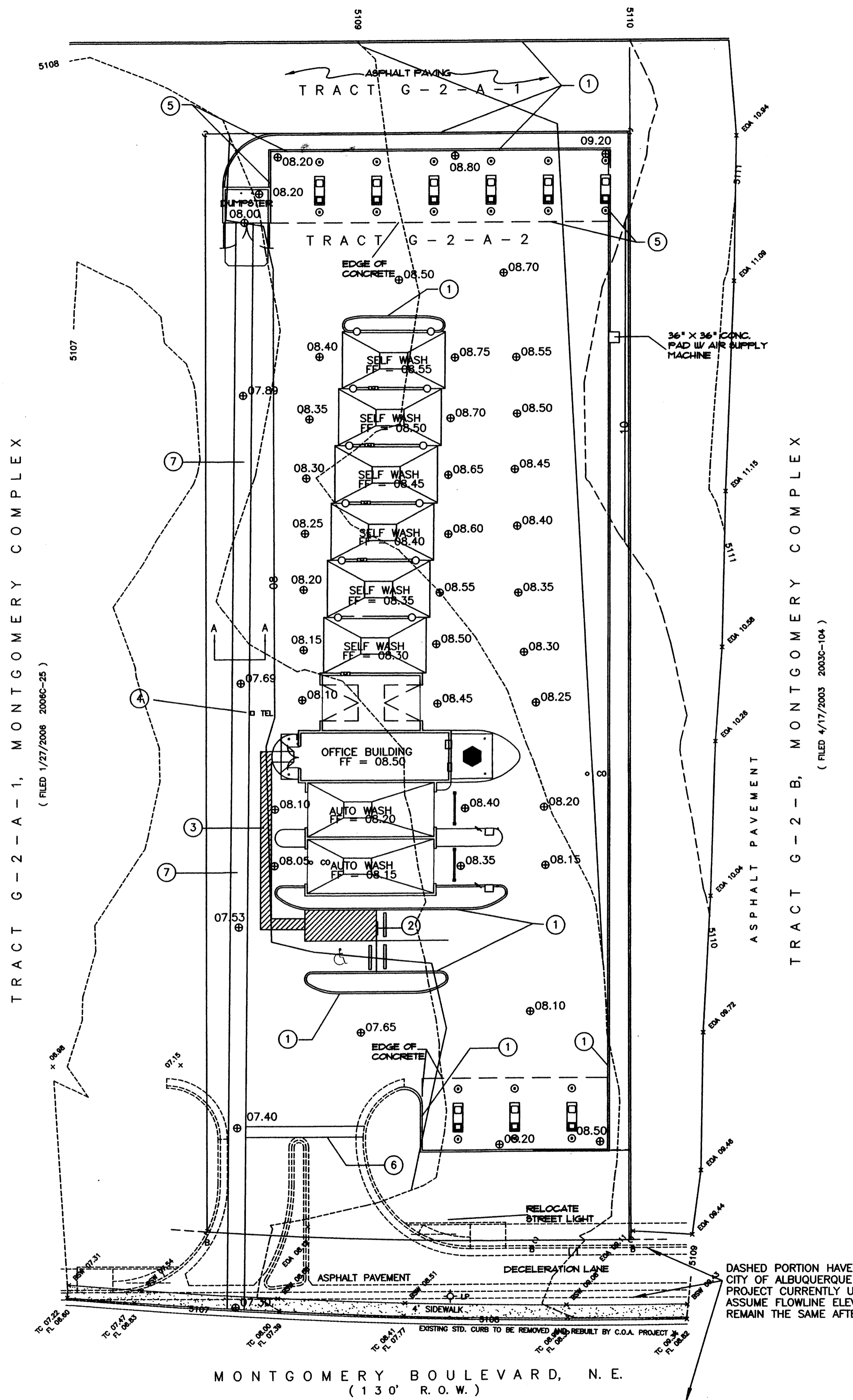
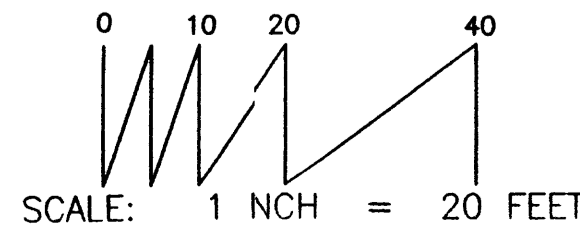
LEGEND:

- WM WATER METER
- ESR ELEC. SERVICE RISER
- SC SANITARY SEWER CLEANOUTS
- TEL TELEPHONE RISER
- FH FIRE HYDRANT
- SM SANITARY SEWER MANHOLE
- WV WATER VALVE
- LP LIGHT POLE
- SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE
- EOA EDGE OF ASPHALT
- TC TOP OF CURB
- FL FLOWLINE
- BSW BACK OF SIDEWALK
- EXISTING CONTOURS @ 1 FT. INTERVALS
- INDEX CONTOURS @ 5 FT. INTERVALS
- EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- EXISTING CONTOURS @ 1 FT. INTERVALS
- PROPOSED CONTOURS @ 1.0' INTERVALS
- PROPOSED SPOT ELEVATION
- TOP OF CONCRETE FLOW LINE
- TOP OF SIDEWALK RIM OF MANHOLE

LEGAL DESCRIPTION / FLOOD NOTE

Tract lettered "G-2-A-2" of MONTGOMERY COMPLEX, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 27, 2006, in Plat Book 2006C, page 25.

The above described property is located within Zone "X (No flood hazard)", Community Panel No. 350002 0138 E, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.



DRAINAGE DATA
THIS SITE LIES WITHIN PRECIPITATION ZONE 2

Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-9 (cfs/ac)	Volume (cu. Ft.)	Rate (cfs)
EXISTING	100	A	0	0.53	1.56	0.0	0.00
		B	36,681	0.78	2.28	2,384.3	1.92
		C	0	1.13	3.14	0.0	0.00
EXISTING	10	A	0	0.13	0.38	0.0	0.00
		B	36,681	0.28	0.95	855.9	0.80
		C	0	0.52	1.71	0.0	0.00
DEVELOPED	100	A	0	0.53	1.56	0.0	0.00
		B	4,092	0.78	2.28	266.0	0.21
		C	0	1.13	3.14	0.0	0.00
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00
		B	4,092	0.28	0.95	95.5	0.09
		C	0	0.52	1.71	0.0	0.00
TOTAL (EXT)	100				2,384.3	1.9	
	10				855.9	0.8	
TOTAL (DEV)	100				6,023.4	3.7	
	10				3,734.6	2.4	

DRAINAGE CONCEPT:
 THE DRAINAGE CONCEPT FOR THIS SITE IS TO FREE DISCHARGE THE EXCESS RUNOFF FROM IMPERVIOUS SURFACES VIA A CONCRETE GUTTER TO MONTGOMERY BLVD. HISTORICAL FLOWS WILL BE ALLOWED TO CONTINUE TO DISCHARGE TO THE WEST. THE SITE IS SUBJECT TO A CROSS DRAINAGE EASEMENT FROM TRACT G-2-B, WHICH ALLOWS FLOWS FROM THE EAST TO CROSS THE SITE AND CONTINUE THRU TO THE PROPERTY WEST OF THE SITE. THE PROPERTY WEST OF THE SITE IS ALSO SUBJECT TO THE SAME CROSS DRAINAGE EASEMENT.

BENCH MARK
 Basis of elevations: ACS STATION "M-6"
 Aluminum disk set in top of concrete post in median of Montgomery Blvd, NE, of North Overton Channel.
 ELEV. 5110.492 (S.D. 1929)
 TBM: #5 rebar and cap "LS 8686" at Northeast corner of property; El. 5109.82

- KEYED NOTES**
- 6" STAND UP CURB, CONCRETE
 - 12" X 18" BLUE/WHITE HANDICAP SIGN 60" AFG
 - 36" WIDE PAINTED HANDICAP ACCESS ROUTE
 - REMOVE TELEPHONE RISER
 - EDGE OF ROOF OVERHANG
 - 3" HIGH WATER BLOCK. THE PURPOSE OF THIS WATER BLOCK IS TO ENSURE THAT THE UPSTREAM FLOWS ARE CONVEYED TO THE DRAINAGE SWALE AND NOT DIRECTLY DISCHARGED TO MONTGOMERY BLVD.
 - DRAINAGE SWALE, SEE SECTION A-A FOR DETAIL

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISHED SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE IS NOT SUBJECT TO NPDES SWPPP REQUIREMENTS (< 1 ACRE).

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING OR DRIVE SURFACES LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

OFFSITE FLOW INFORMATION

OFFSITE FLOWS ARE GENERATED FROM LOT G-2-B, EAST OF THE SITE AND DRAIN ACROSS THE SITE BASED ON A CROSS DRAINAGE EASEMENT FOR THE SITE. THE UPSTREAM SITE IS 2.25 ACRES, 70% D TREATMENT AND 30% B TREATMENT. DURING THE 100-YEAR FLOW, 8.9 CFS OF RUNOFF IS GENERATED ON THE UPSTREAM SITE. THIS RUNOFF WILL BE CONVEYED ON SURFACE AND ALLOWED TO PASS THRU THE SITE TO THE LOT TO THE WEST, WHICH IS ALSO SUBJECT TO THE SAME CROSS DRAINAGE EASEMENT.

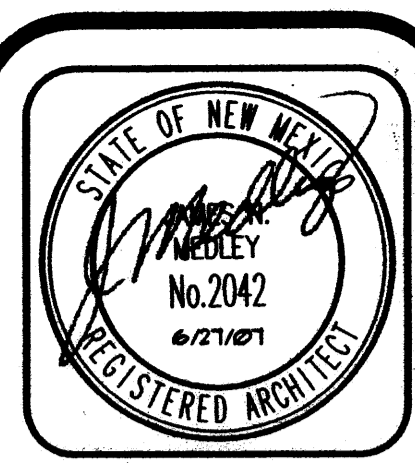
I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2006, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

THOMAS D. JOHNSTON, NMPE NO. 17158



DRAINAGE AND GRADING PLAN
 ULTIMATE CAR WASH

TJG ENGINEERING INC.
 330 LOUISIANA BLVD. NE
 ALBUQUERQUE, NM 87108
 (505)266-7256
 Fax: (505) 255-2887



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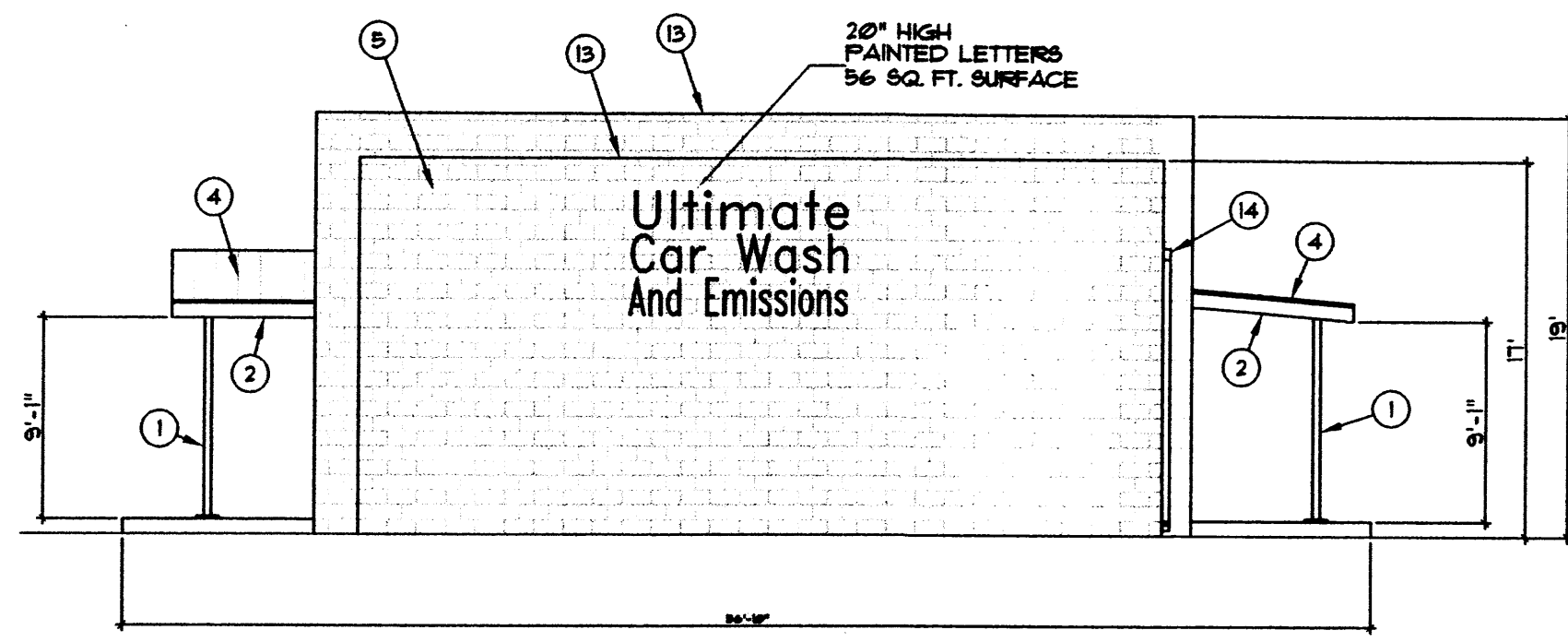
Plan No. 200602020001
 Date: June 07
 Drawn by: SED
 Checked by: HJS

Project: **The Ultimate Car Wash**
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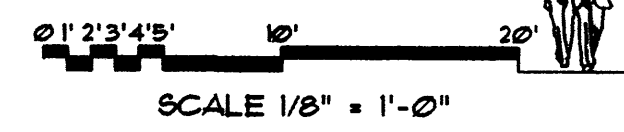
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Sheet: **C8.1**

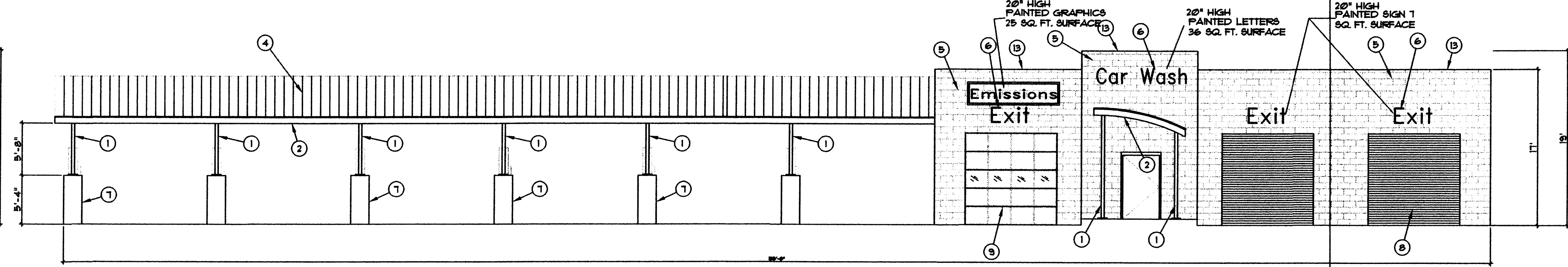


CARWASH SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

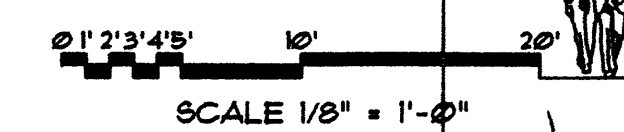


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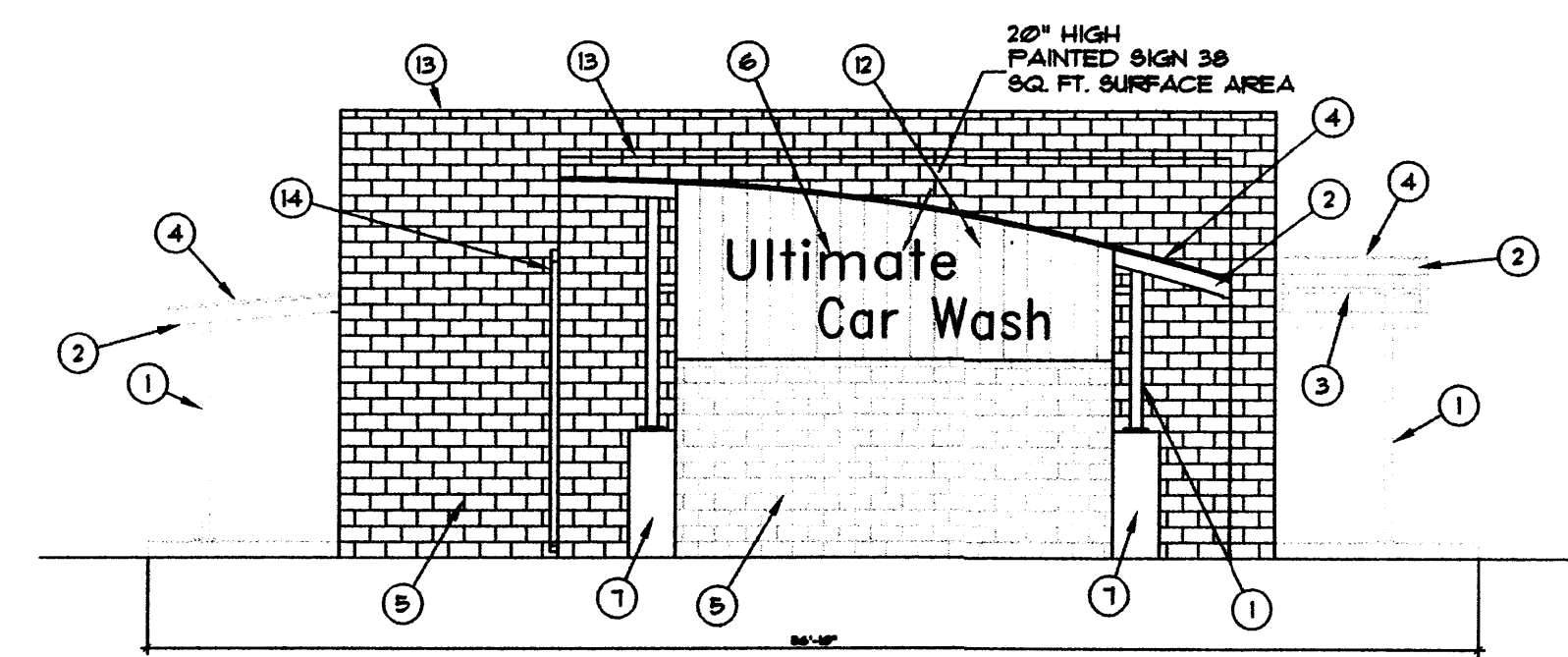


CARWASH WEST ELEVATION

SCALE: 1/8" = 1'-0"

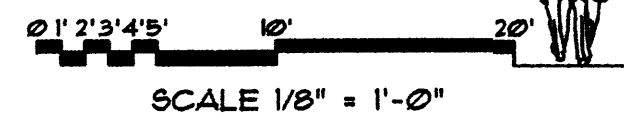


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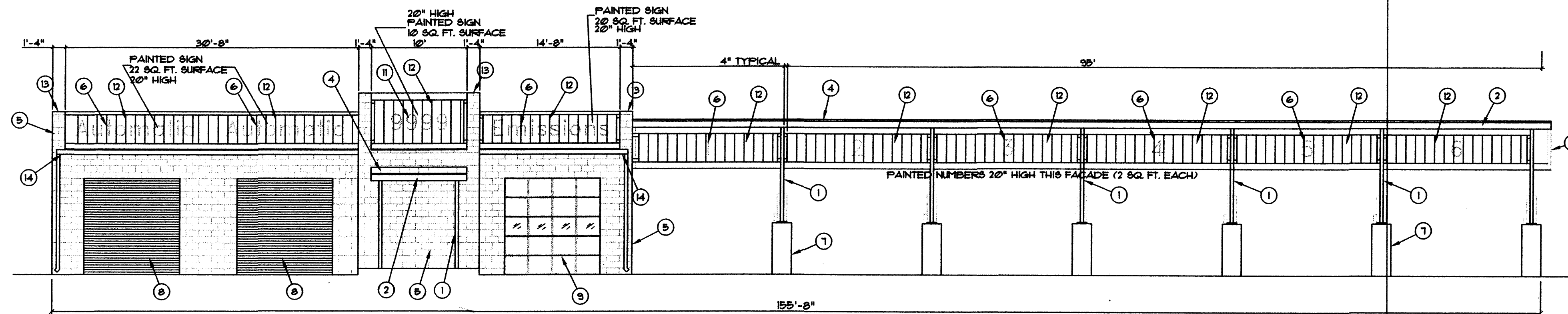


CARWASH NORTH ELEVATION

SCALE: 1/8" = 1'-0"

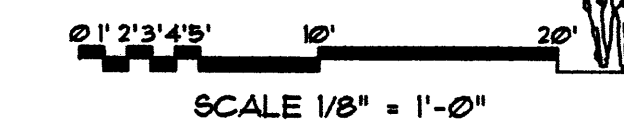


SCALE 1/8" = 1'-0"



CARWASH EAST ELEVATION

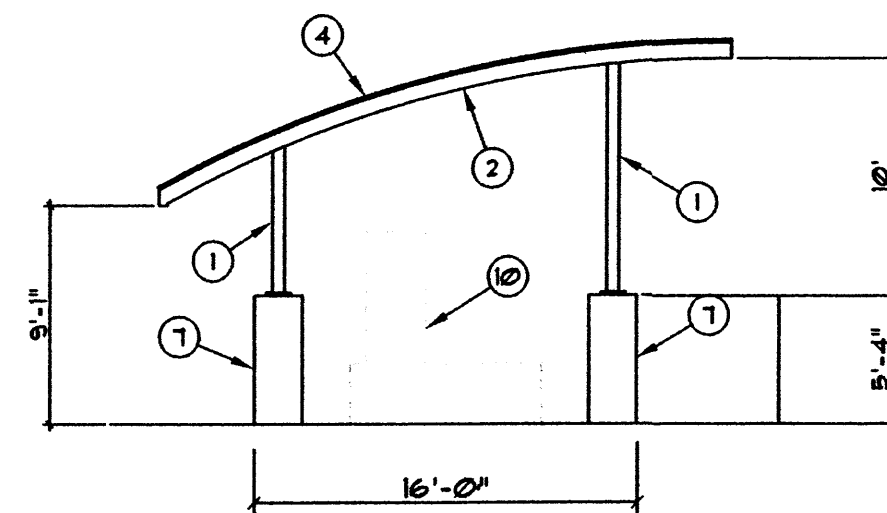
SCALE: 1/8" = 1'-0"



SCALE 1/8" = 1'-0"

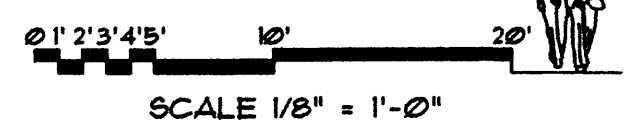
NOTE: OFFSET OF SELF-SERVE BAYS NOT SHOWN FOR CLERITY. REFER TO FLOOR PLAN FOR OFFSET.

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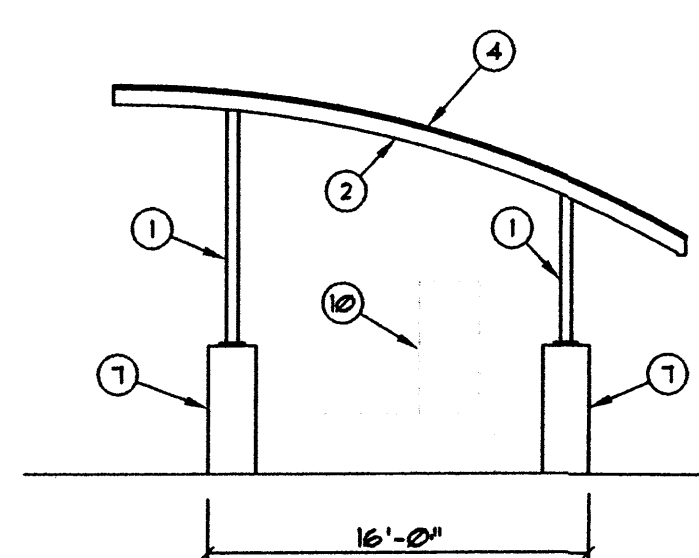


CANOPY WEST ELEVATION

SCALE: 1/8" = 1'-0"

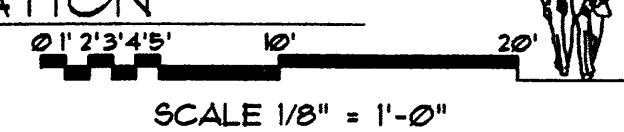


SCALE 1/8" = 1'-0"

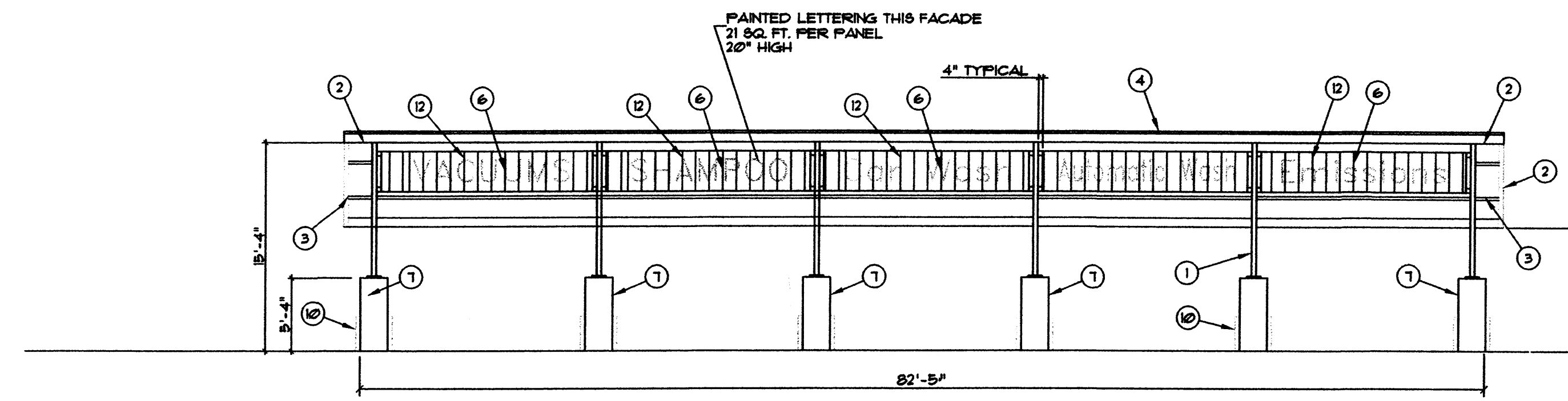


CANOPY EAST ELEVATION

SCALE: 1/8" = 1'-0"

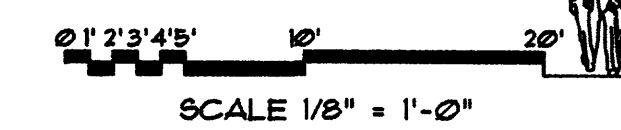


SCALE 1/8" = 1'-0"

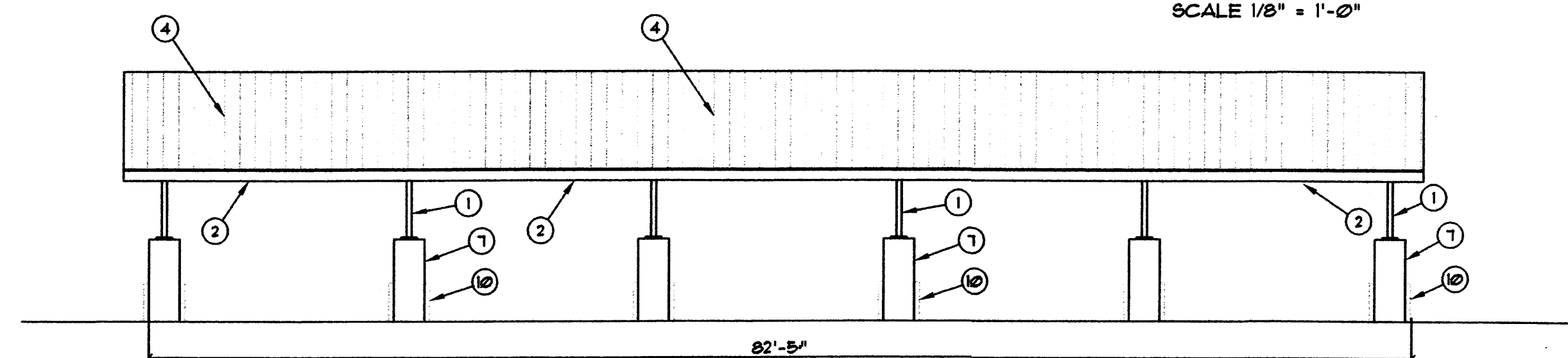


CANOPY SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

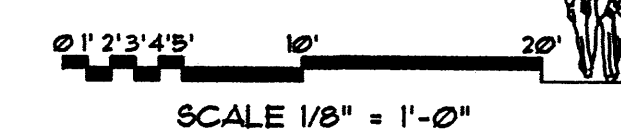


SCALE 1/8" = 1'-0"



CANOPY NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SCALE 1/8" = 1'-0"

General Notes

SEE ELECTRICAL PLANS FOR EXTERIOR LIGHTING LOCATIONS.

Notes Specific to Sheet

- ① PAINTED STEEL COLUMN (RED).
- ② PAINTED STEEL FRAME (RED).
- ③ STEEL ROOF JOISTS (RED).
- ④ STANDING SEAM METAL ROOF, (GALVALUME).
- ⑤ REDDISH-TAN CMU, TYPICAL.
- ⑥ SIGN GRAPHICS, N.I.C.
- ⑦ CONCRETE BASE.
- ⑧ ROLL-UP OVERHEAD DOOR (PAINTED RED).
- ⑨ SECTIONAL OVERHEAD DOOR W/ VISION PANELS.
- ⑩ CARWASH EQUIPMENT.
- ⑪ ADDRESS NUMBERS, N.I.C.
- ⑫ PREFINISHED METAL PANEL.
- ⑬ 4" SOLID CMU CAP, TYPICAL.
- ⑭ GUTTER AND DOWNSPOUT (PAINTED RED).



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 Drawn by: SED
 Checked by: MG

Project: **The Ultimate Car Wash**
 Montgomery Blvd.
 Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description
**EXTERIOR ELEVATIONS
 SITE DEVELOPMENT
 PLAN FOR BUILDING PERMIT**

Sheet:
A1.1