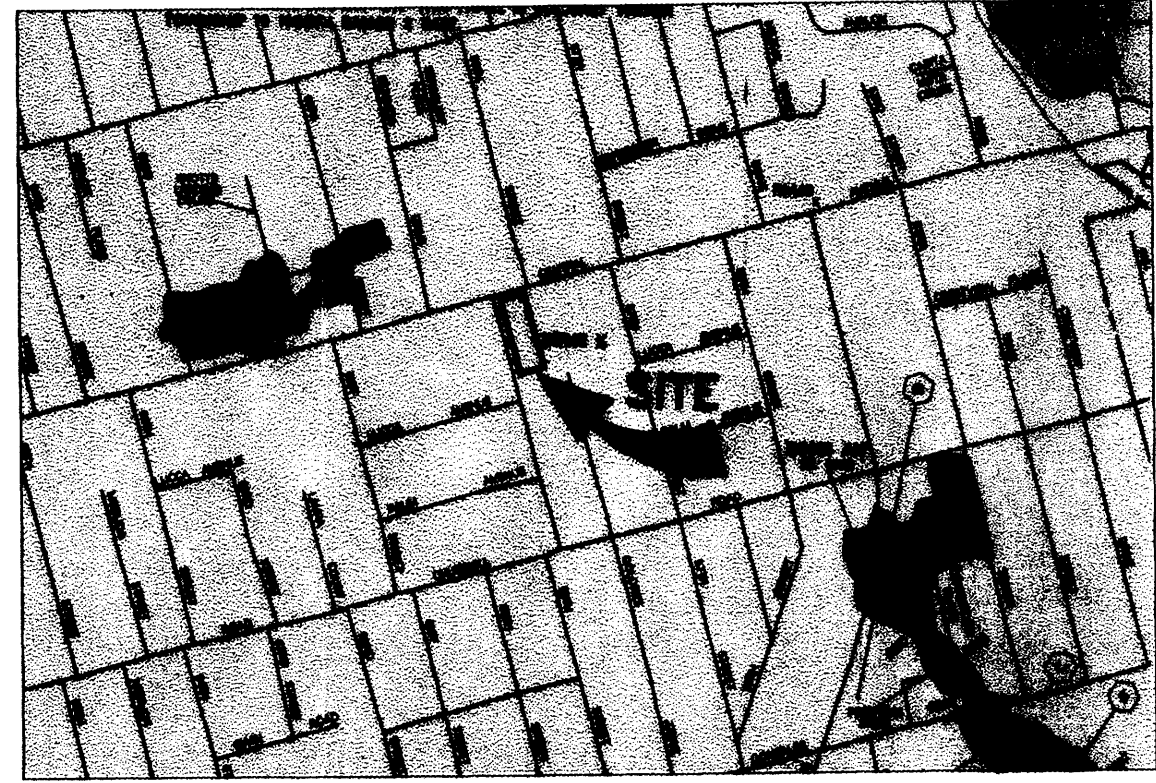
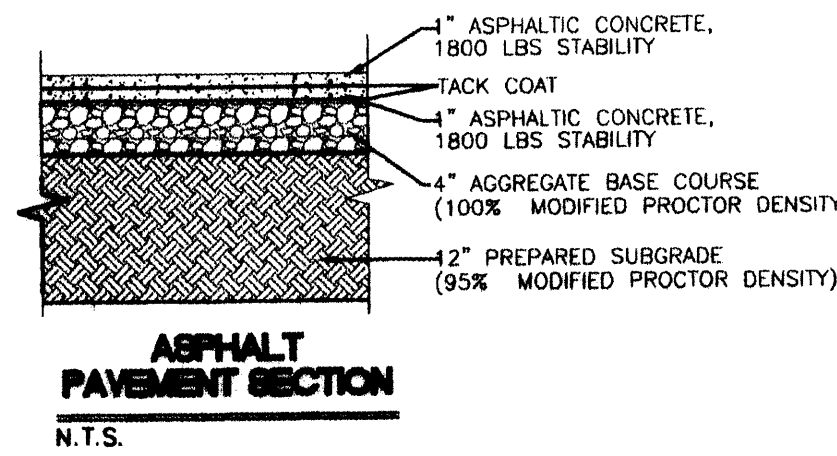


LOCATION MAP K-11-Z  
NOT TO SCALE



FIRM MAP 35001C0329 D  
NOT TO SCALE



- GENERAL NOTES:
- THE CONTRACTOR IS RESPONSIBLE FOR DETAINING ON-SITE STORM WATER RUNOFF FROM CONSTRUCTION ACTIVITIES AND FOR CLEANUP OF ANY SEDIMENT WASHED ONTO THE PUBLIC RIGHT-OF-WAY AND/OR ADJACENT PROPERTIES.
  - UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO INITIATING EXCAVATION.
  - THE OWNER AND ENGINEER ASSUME NO LIABILITY FOR DAMAGE TO UTILITIES. THE CONTRACTOR SHALL REPAIR UTILITIES AT NO COST TO THE OWNER OR ENGINEER.
  - ADD 5000 FEET TO FINISHED FLOOR AND SPOT ELEVATIONS.

THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY.

LEGAL DESCRIPTION  
Lot 75, Unit 6, Town of Atrisco Grant, (Albuquerque, New Mexico).

FLOOD HAZARD ZONE  
Lot 75 is located in Flood Hazard Zone X (i.e., areas of 100-year flood with average depths of less than 1 foot) designated on the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Map Panel No. 35001C0329 D (September 20, 1996).

DRAINAGE ANALYSIS  
REFERENCE: City of Albuquerque, Development Process Manual -Vol. 2, Section 22.2 - Hydrology, January, 1993.

Principal Design Storm: 100-year 6-hour event  
Precipitation Zone 1 (Table A-1)

Excess Precipitation (Table A-8):  
E<sub>1</sub> = 0.44 in (Land Treatment 'A'), E<sub>2</sub> = 0.67 in (Land Treatment 'B')  
E<sub>3</sub> = 0.99 in (Land Treatment 'C'), & E<sub>4</sub> = 1.97 in (Land Treatment 'D')

Peak Discharge (Table A-9):  
Q<sub>p1</sub> = 1.29 ft<sup>3</sup>/sec-acre (Land Treatment 'A')  
Q<sub>p2</sub> = 2.03 ft<sup>3</sup>/sec-acre (Land Treatment 'B')  
Q<sub>p3</sub> = 2.87 ft<sup>3</sup>/sec-acre (Land Treatment 'C')  
Q<sub>p4</sub> = 4.37 ft<sup>3</sup>/sec-acre (Land Treatment 'D')

On-Site 'Existing' Condition (Lot 75):  
Lot 75 Area = 29,500 ft<sup>2</sup> x 1 acre/43,560 ft<sup>2</sup> = 0.68 acres  
V<sub>500</sub> = 0.99 in x 0.68 acres x 1 ft/12 in  
= 0.055 acre-ft x 43,560 ft<sup>3</sup>/acre  
= 2,434 ft<sup>3</sup>  
Total Q<sub>p</sub> = 2.87 ft<sup>3</sup>/sec-acre x 0.68 acres  
= 1.94 ft<sup>3</sup>/sec

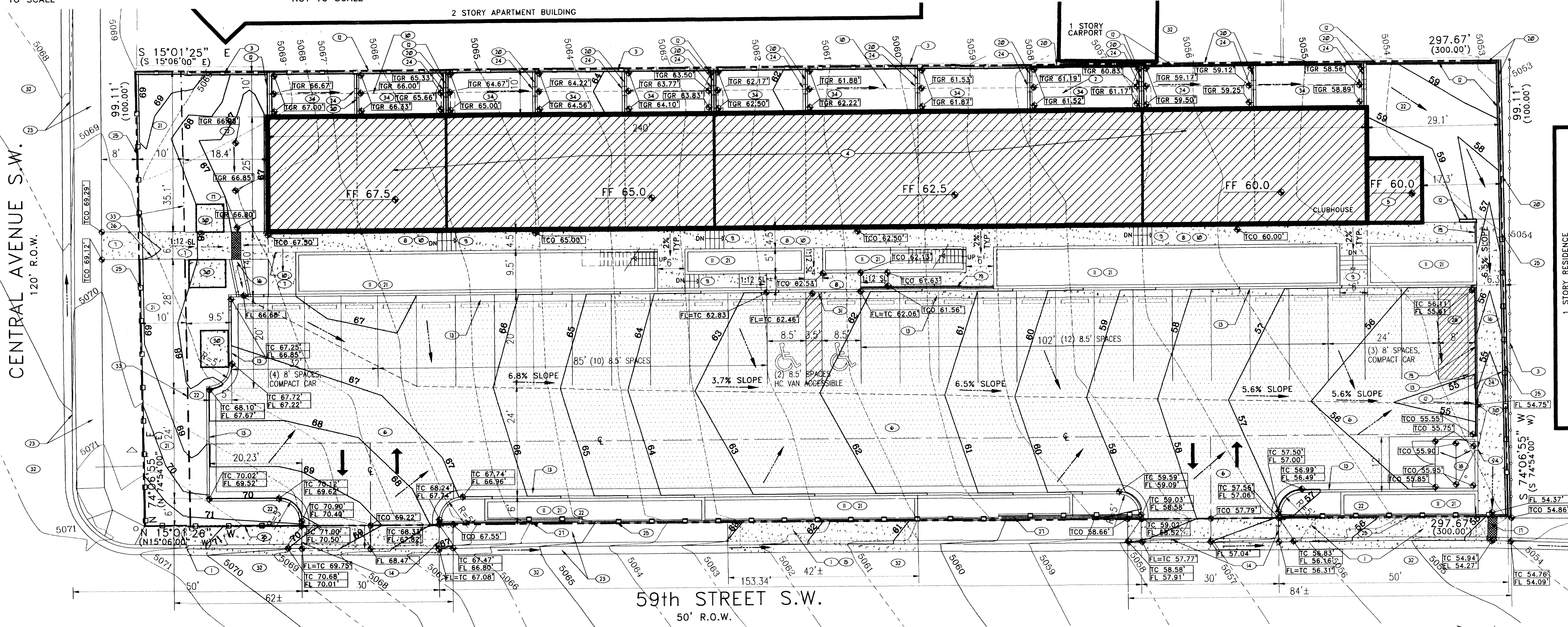
On-Site 'Post Development' Condition (Lot 75):  
0.00% Land Treatment 'A', 20.99% Land Treatment 'B'  
4.07% Land Treatment 'C', & 74.94% Land Treatment 'D'  
Weighted E = ((E<sub>1</sub> x 0.00 acres) + (E<sub>2</sub> x 0.14 acres) + (E<sub>3</sub> x 0.03 acres) + (E<sub>4</sub> x 0.51 acres))/0.68 acres  
= 1.66 in  
V<sub>500</sub> = (1.66 in x 0.68 acres) x 1 ft/12 in  
= 0.0935 acre-ft x 43,560 ft<sup>3</sup>/acre  
= 4,051 ft<sup>3</sup>  
Total Q<sub>p</sub> = (Q<sub>p1</sub> x 0.00 acres) + (Q<sub>p2</sub> x 0.14 acres) + (Q<sub>p3</sub> x 0.03 acres) + (Q<sub>p4</sub> x 0.31 acres)  
= 2.59 ft<sup>3</sup>/sec

Storm water runoff from off-site drainage basins does not enter into Lot 75; therefore, runoff volumes and peak discharges from off-site basins were not analyzed. Storm flows from off-site basins are conveyed eastward or southward, past Lot 75, in Central Avenue and 59th Street, respectively. The Central Avenue and in 59th Street roadways have standard curbs and gutters. Street flow in Central Avenue and in 59th Street is intercepted by storm inlets in Central Avenue and at the intersection of 59th Street and Churchill Road.

As demonstrated by the calculations presented herein, under the 'Post Development Condition' the peak discharge from Lot 75 will increase by 0.65 ft<sup>3</sup>/sec. The impact of this increased discharge on the capacity of the Churchill Road storm drain is negligible; therefore, free discharge from Lot 75 is recommended.

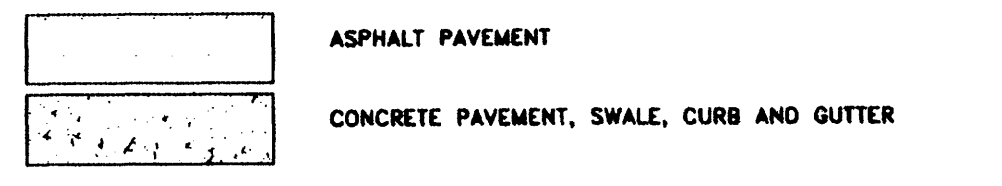
Free discharge of 'Post Development' runoff from Lot 75 to 59th Street is acceptable for the following reasons:

- There are no storm water ponds on other development parcels within the off-site drainage basin.
- The 'Post Development' runoff from Lot 75 is a small percentage of the total runoff from the off-site drainage basin (i.e., 490 cfs at Churchill Road and Old Coors Drive).
- Existing curb and gutter in 59th Street and Churchill Road will intercept and convey nuisance flows to the Gonzales Detention Pond.
- The Osage/La Media storm drain system will provide the ultimate outfall from the Gonzales Detention Pond and provide the capacity to eliminate all drainage problems west of Old Coors Drive between Central Avenue and Gonzales Road.
- The expansion of the Gonzales Detention Pond and the Osage/La Media storm drain system will eliminate the floodplain at Old Coors Drive south of Churchill Road.



LEGEND

5065	EXISTING CONTOURS TO REMAIN
5063	EXISTING CONTOURS TO BE MODIFIED
66	NEW CONTOURS
6.5% SLOPE	DIRECTION OF FLOW
TC 58.43'	PROPOSED TOP OF CURB ELEVATION
FL 58.12'	PROPOSED FLOWLINE ELEVATION
TCO 58.54'	PROPOSED TOP OF CONCRETE ELEVATION
TGR 59.97'	PROPOSED TOP OF GRADE ELEVATION
TA 58.35'	PROPOSED TOP OF ASPHALT ELEVATION
TW 58.35'	PROPOSED TOP OF WALL/PLANTER ELEVATION



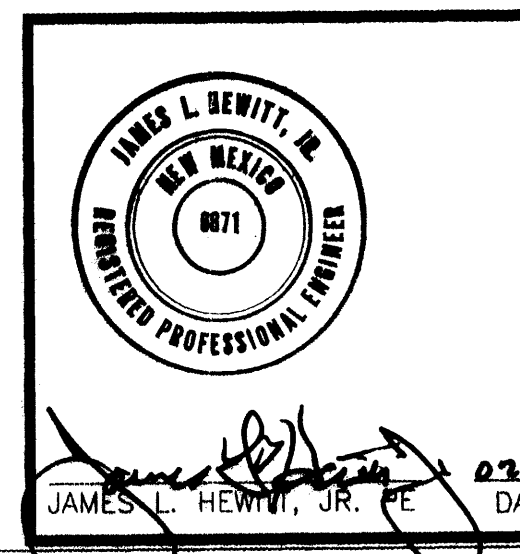
- KEYED NOTES
- EXISTING DRIVEPAD TO BE DEMOLISHED.
  - EXISTING 83 SF PUMP HOUSE TO BE DEMOLISHED.
  - EXISTING WROUGHT IRON OR CHAIN LINK FENCE TO REMAIN.
  - PROPOSED 2-STORY APARTMENT BUILDING (21 UNITS AND CLUBHOUSE), 6000 SF PER STORY.
  - PROPOSED 1-STORY LAUNDRY BUILDING (168 SF)
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED 6' WIDE CONCRETE SIDEWALK.
  - PROPOSED 4.5' WIDE CONCRETE SIDEWALK.
  - PROPOSED WIDE CONCRETE STAIRS.
  - PROPOSED 4.5' AND 5' WIDE BALCONY ABOVE.
  - PROPOSED RAISED PLANTER, INTEGRAL COLOR "GALLUP GOLD" CMU BLOCK, AS MANUFACTURED BY CREGO BLOCK COMPANY OR APPROVED EQUAL.
  - PROPOSED CONCRETE MEDIAN CURB AND GUTTER, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2415.
  - PROPOSED CONCRETE DRIVEPAD, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2425.
  - PROPOSED CONCRETE CURB, GUTTER AND SIDEWALK INFILL, MATCH ADJACENT SIDEWALK, CURB AND GUTTER ELEVATIONS, ASSURE SMOOTH TRANSITION.
  - CONSTRUCT TYPE "A" DRAINAGE EASEMENT LINING, PER CITY OF ALBUQUERQUE

- STANDARD DETAIL #2260.
- PROPOSED DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP, PER CITY OF ALBUQUERQUE STANDARD DETAIL #2236.
  - PROPOSED REFUSE BIN ENCLOSURE, CONSTRUCTED IN COMPLIANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS.
  - PROPOSED 36" HIGH STEEL RAILING.
  - PROPOSED 6' HIGH WOOD OPAQUE FENCE
  - PROPOSED LANDSCAPING BUFFER AREA
  - PROPOSED OPEN AREA
  - EXISTING CONCRETE SIDEWALK, CURB AND GUTTER TO REMAIN.
  - PROVIDE DRAINAGE OUTLET AT BASE OF FENCE / WALL.
  - 6' WROUGHT IRON FENCE
  - 6' WROUGHT IRON PEDESTRIAN GATE
  - 6' WROUGHT IRON ROLLING GATE
  - NO PARKING AREA
  - PROPOSED 2' CURB CUT, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2415.
  - BICYCLE PARKING, SEE DETAIL.
  - PROPOSED 20'-8" CURB CUT, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 24
  - EXISTING ASPHALT PAVEMENT
  - WEST ROUTE 66 SECTOR DEVELOPMENT PLAN LANDSCAPED SET BACK LINE
  - PROPOSED OUTDOOR AREA FOR GROUND FLOOR APARTMENT.

## GRADING AND DRAINAGE PLAN

ENGINEERS CERTIFICATION  
THE ENGINEER HAS PERSONALLY VISITED AND INSPECTED THE SITE. NO GRADING OR EXCAVATION HAS OCCURRED SINCE THE DATE OF THE TOPOGRAPHIC SURVEY COMPLETED ON SEPTEMBER 19, 2002.

JAMES L. HEWITT, JR., P.E. DATE  
JAMES L. HEWITT, JR., P.E. DATE

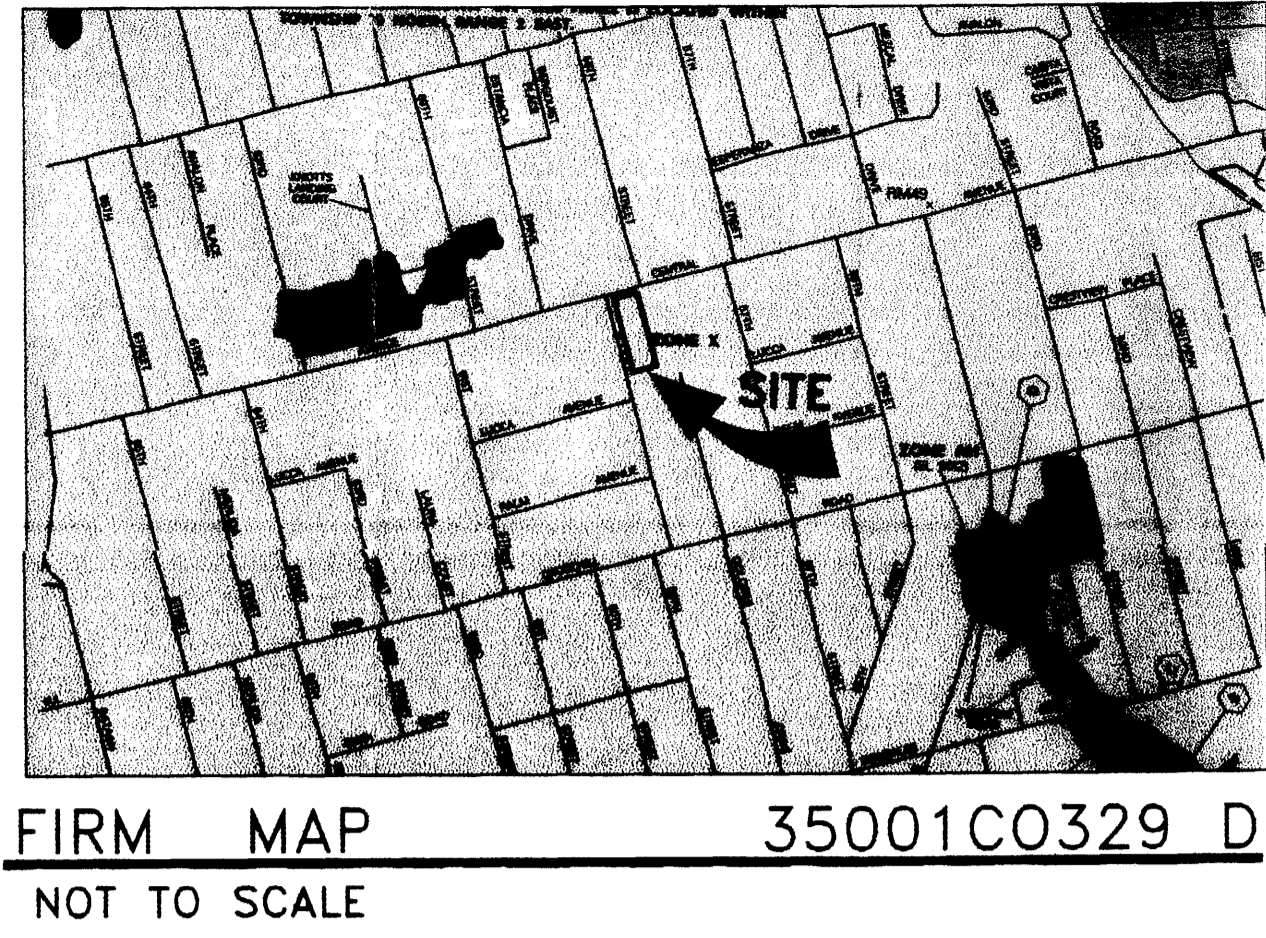
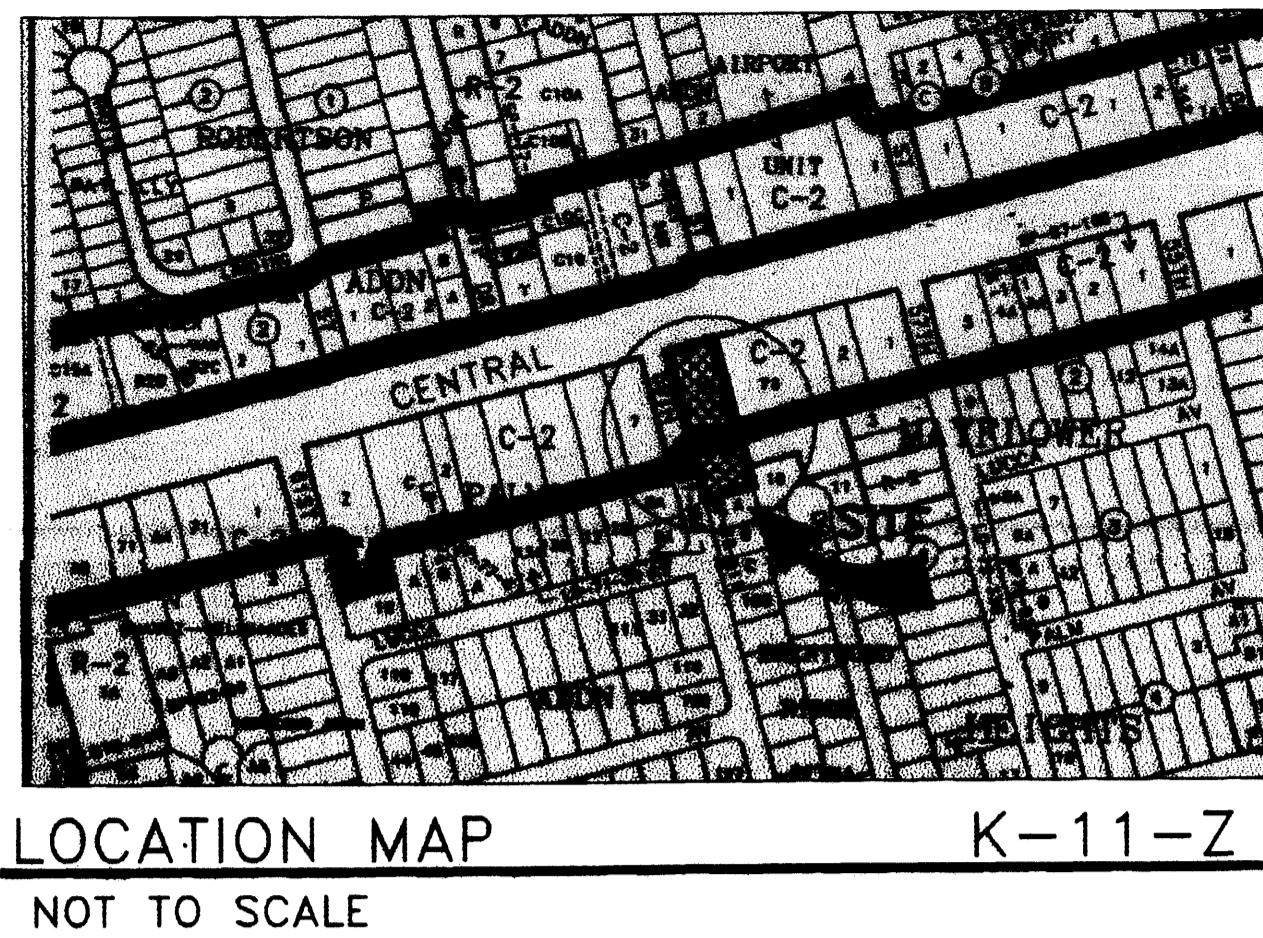


HEWITT ENGINEERING & ENVIRONMENTAL CONSULTANTS  
3730 COORS BLVD., NW SUITE E ALBUQUERQUE, NM 87120 TEL: (505) 352-1243

KEITH APARTMENTS  
LOT 75, UNIT 6, TOWN OF ATRISCO GRANT  
ALBUQUERQUE, NEW MEXICO

SIZE	FSCM NO.	DWG NO.	REV
D			

SCALE 1"=10' DRAWN BY: JLH, RG SHEET 1 OF 1



**LANDSCAPING LEGEND**

- NEW MEXICO OLIVE (FORESTICRA NEOMEXICANA) 10'-12" HIGH
- CRABAPPLE (MALUS "RADIANT") 10'-12" HIGH, TO HAVE 25' MIN CANOPY @ MATURITY. LANDOWNER SHALL COORDINATE AND BE RESPONSIBLE FOR TRIMMING UNDER OVERHEAD POWER LINES.
- CHERRY PLUM (PRUNUS CERASIFERA) 10'-12" HIGH, TO HAVE 25' MIN. CANOPY AT MATURITY.
- BUFFALO JUNIPER (JUNIPERUS SABINA BUFFALO), 5 GAL.
- RHAPHIOLEPIS "BALERINA" AND "JACK EVANS", 5 GAL.
- COMMON BUTTERFLY BUSH (BUDDLEIA DAVIDII), 5 GAL.
- CHERRY SAGE (SALVIA GREGGI), 5 GAL.
- BARBERRY (BERBERIS NANA), 1 GAL.
- ROSEMARY (ROSMARINUS OFFICINALIS) 1 GAL @ 4' O.C., 12' LONG SECTIONS AS SHOWN

**LANDSCAPING NOTES**

1. LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM. LANDSCAPING MAINTENANCE AND IRRIGATION SYSTEM MAINTENANCE SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.
2. APPROVAL OF THIS PLAN SHALL NOT IMPLY OR CONSTITUTE EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER WASTE AND LANDSCAPING ORDINANCES. WATER MANAGEMENT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.
3. THE OWNER SHALL PRUNE AND TRIM STREET TREES UNDER THE POWER LINES IN CLOSE COORDINATION AND PER UTILITY COMPANY'S REQUIREMENTS.
4. LANDSCAPING SHALL ACHIEVE 70% GROUND COVER AT MATURITY.
5. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER ON TERMS DEFINED IN THE CITY OF ALBUQUERQUE ZONING, PLANNING AND BUILDING CODE.
6. ALL RAISED PLANTERS AND LANDSCAPING AREAS SHALL HAVE 3" SANTA FE BROWN GRAVEL OR CRUSHER FINES OVER A COMMERCIAL GRADE WEED BARRIER FABRIC.
7. 75% OF REQUIRED LANDSCAPING AREA (2825 SF) SHALL BE COVERED WITH A LIVING VEGETATIVE MATERIALS, SUCH AS DROUGHT RESISTANT GRASSES AND/OR SPREADING GROUNDCOVERS, LIKE DRAGON BLOOD SEDUM.

**LANDSCAPING CALCULATIONS**

TOTAL SITE AREA:	29,500 SF
TOTAL BUILDING AREA:	6,188 SF
NET SITE AREA:	23,312 SF
REQUIRED LANDSCAPING AREA (15%):	3,500 SF
PROVIDED LANDSCAPING AREA (15%):	7,619 SF

**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT, SWALE, CURB AND GUTTER
- EXISTING WATER LINE
- EXISTING SEWER MANHOLE
- EXISTING SEWER LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING POWER POLE
- PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT LOCATION
- PROPOSED WATER METER LOCATION
- PROPOSED SEWER LINE AND MANHOLE
- PROPOSED OVERHEAD POWER LINE LOCATION
- PROPOSED ELECTRICAL METER(S) LOCATION
- PROPOSED LIGHT POLE LOCATION
- PROPOSED STOP SIGN LOCATION
- CONCRETE STANDARD PARKING BUMPER

**KEYED NOTES**

- 1. EXISTING DRIVEWAY TO BE DEMOLISHED.
- 2. EXISTING 8.5' SP. PUMP HOUSE TO BE DEMOLISHED.
- 3. EXISTING WROUGHT IRON OR CHAIN LINK FENCE TO REMAIN.
- 4. PROPOSED 2-STORY APARTMENT BUILDING (21 UNITS AND CLUBHOUSE).
- 5. PROPOSED 1-STORY LAUNDRY BUILDING (168 SF)
- 6. PROPOSED ASPHALT PAVEMENT
- 7. PROPOSED 6" WIDE CONCRETE SIDEWALK.
- 8. PROPOSED 4.5" WIDE CONCRETE SIDEWALK.
- 9. PROPOSED WIDE CONCRETE STAIRS.
- 10. PROPOSED 4.5" AND 5" WIDE BALCONY ABOVE.
- 11. PROPOSED RATED PLANTER, INTEGRAL COLOR "GALLOP GOLD" CMU BLOCK, AS MANUFACTURED BY CREGO BLOCK COMPANY OR APPROVED EQUAL. PLANTER WALL HEIGHT 30" MIN.
- 12. PROPOSED CONCRETE MEDIAN CURB AND GUTTER, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2415.
- 13. PROPOSED CONCRETE DRIVEWAY, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2423.
- 14. PROPOSED CONCRETE CURB, OUTER AND SIDEWALK INFILL, MATCH ADJACENT SIDEWALK, CURB AND GUTTER ELEVATIONS, ASSURE SMOOTH TRANSITION.
- 15. CONSTRUCT TYPE "A" DRAINAGE EASEMENT LINING, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2238.
- 16. PROPOSED REFUSE BIN ENCLOSURE, CONSTRUCTED IN COMPLIANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS.
- 17. PROPOSED 34" HIGH STEEL RAILING.
- 18. PROPOSED 6" HIGH WOOD OPAQUE FENCE
- 19. PROPOSED LANDSCAPING BUFFER AREA
- 20. PROPOSED OPEN AREA
- 21. EXISTING CONCRETE SIDEWALK, CURB AND GUTTER TO REMAIN.
- 22. PROVIDE DRAINAGE OUTLET AT BASE OF FENCE / WALL.
- 23. 6" WROUGHT IRON FENCE
- 24. 6" WROUGHT IRON PEDESTRIAN GATE
- 25. 6" WROUGHT IRON ROLLING GATE
- 26. NO PARKING AREA
- 27. PROPOSED 2" CURB CUT, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2415.
- 28. BICYCLE PARKING, SEE DETAIL.
- 29. PROPOSED 20"-6" CURB CUT, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2415.
- 30. EXISTING ASPHALT PAVEMENT
- 31. WEST ROUTE 46 SECTOR DEVELOPMENT PLAN LANDSCAPED SET BACK LINE
- 32. PROPOSED OUTDOOR AREA FOR GROUND FLOOR APARTMENT.

PROJECT NUMBER: 1002332

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON DECEMBER 20, 2002, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICES: NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Dept. \_\_\_\_\_ Date \_\_\_\_\_

Parks and General Services Department \_\_\_\_\_ Date \_\_\_\_\_

Public Works, Water Utilities Division \_\_\_\_\_ Date \_\_\_\_\_

City Engineer, Engineering Division / AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

SOLID WASTE \_\_\_\_\_ Date 2-4-03

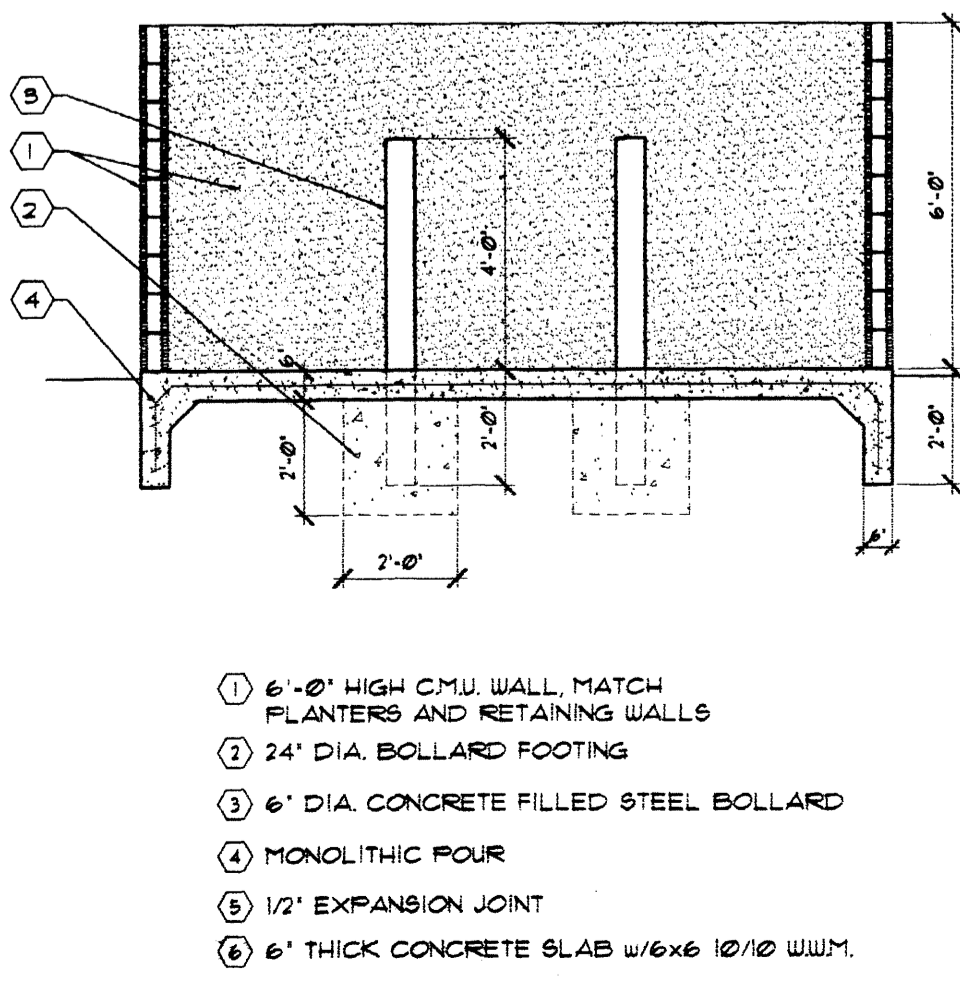
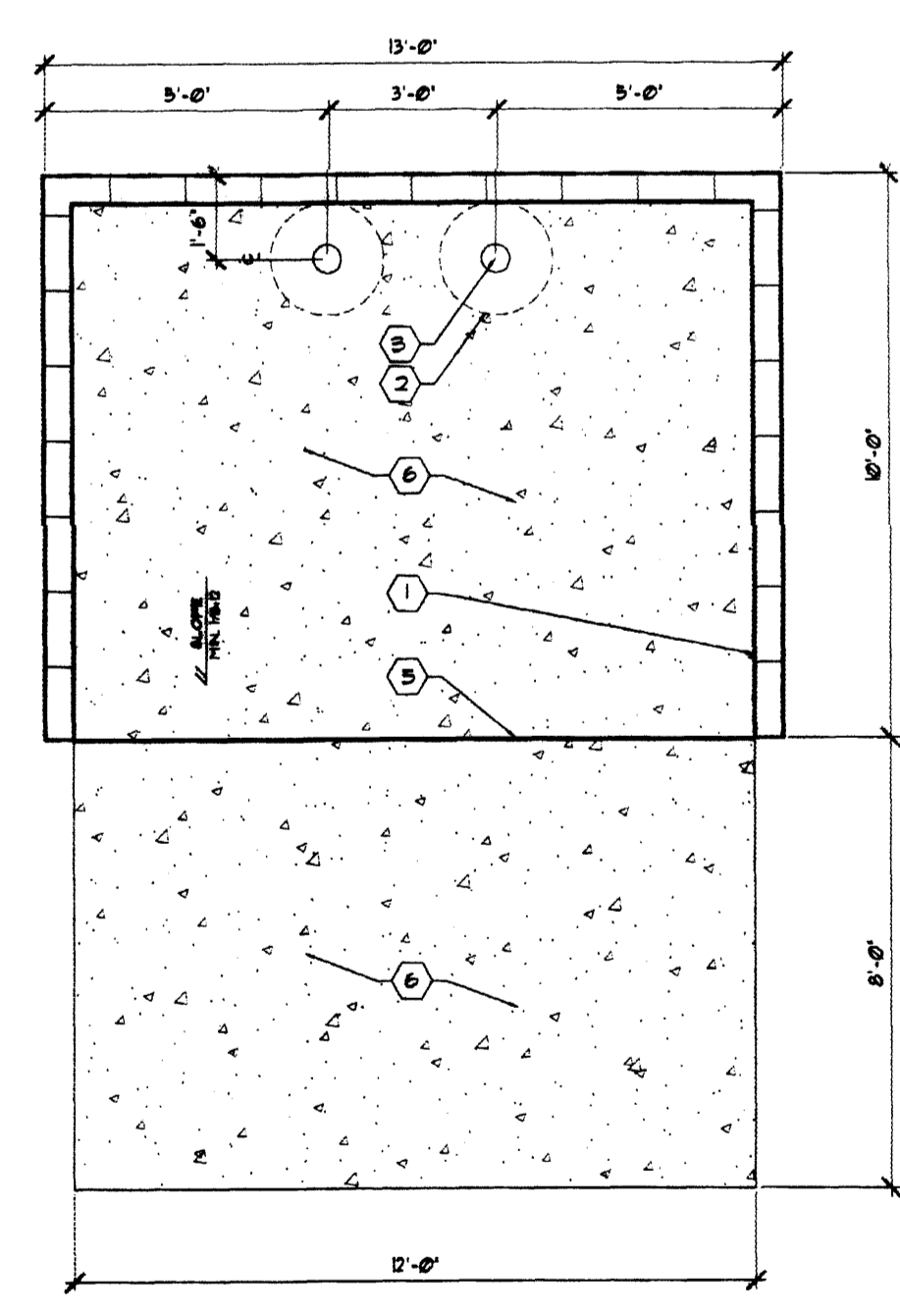
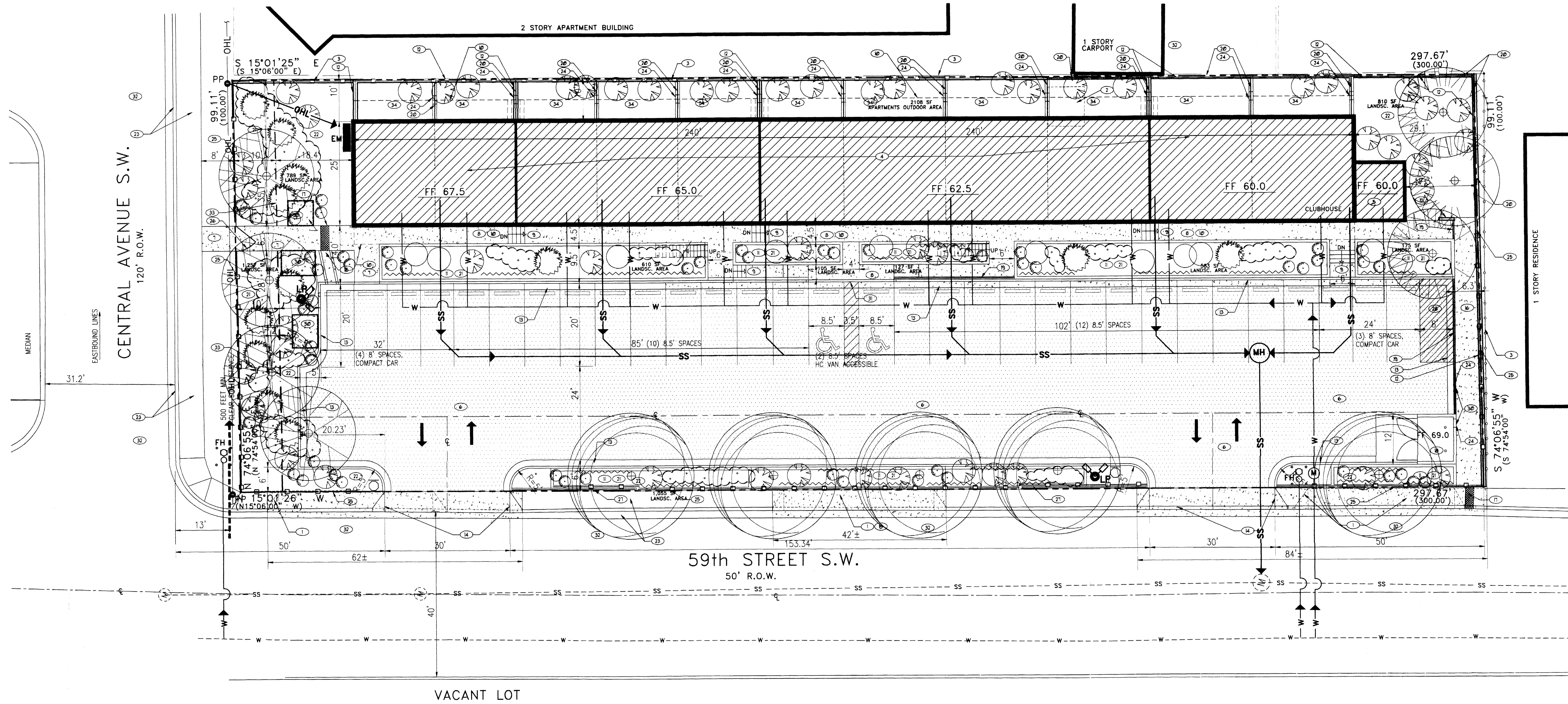
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division \_\_\_\_\_ Date \_\_\_\_\_

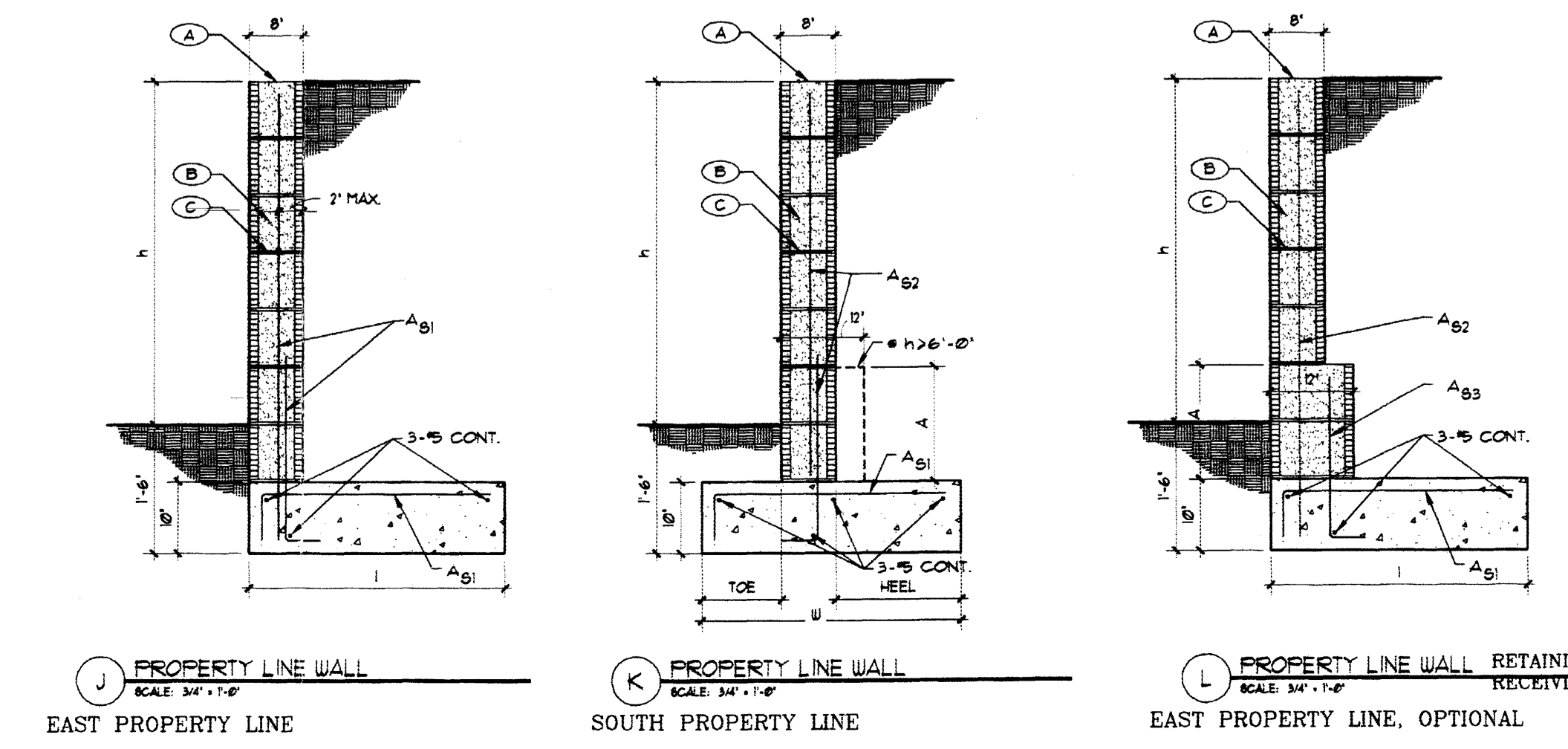
**NOTICE TO CONTRACTOR**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED, EXCEPT AS OTHERWISE PROVIDED HEREON, IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (753-1234) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
5. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE DRAWING.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
7. CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

NOTE: THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.



**SITE PLAN**



**KEYED NOTES**

- A. RESIDENTIAL BEARING WALL OPTIONAL.
  - B. FILL ALL CELLS WITH GROUT.
  - C. HORIZONTAL REINFORCEMENT ALL WALLS - # 6 20" O.C. WALL # 16" O.C.
- | H    | 3'-0"     | 4'-0"     | 5'-0"     | 6'-0"     | 7'-0"     | 8'-0"     | 9'-0"     |
|------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|
| A    | 2'-6"     | 3'-0"     | 3'-6"     | 4'-0"     | 4'-6"     | 5'-0"     | 5'-6"     |
| B    | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. |
| C    | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. | 14#2 O.C. |
| A    | ---       | ---       | ---       | ---       | ---       | ---       | ---       |
| A    | ---       | ---       | ---       | ---       | ---       | ---       | ---       |
| A    | ---       | ---       | ---       | ---       | ---       | ---       | ---       |
| TOE  | 6'-6"     | 7'-0"     | 7'-6"     | 8'-0"     | 8'-6"     | 9'-0"     | 9'-6"     |
| HEEL | 1'-0"     | 1'-0"     | 1'-3"     | 1'-3"     | 1'-3"     | 1'-6"     | 1'-6"     |
| W    | 2'-2"     | 2'-0"     | 2'-11"    | 3'-3"     | 4'-6"     | 5'-0"     | 5'-0"     |

**OFF-STREET PARKING CALCULATIONS**

Proposed Development 21 DUs (one bedroom & efficiency apartments)  
 Parking Requirement 1 1/2 Parking Spaces per Both  
 10% Reduction for Building within 300 feet of Albuquerque Transit System route.  
 Required Parking: 21 DUs x 1 1/2 Spaces/Bath = 31.5 Spaces  
 Reduced Parking Requirement: 31.5 x 0.9 = 28 spaces  
 Total Parking Spaces Provided = 29

If premises contains more than 20 parking spaces, 1/2 of the required spaces may be 8 feet wide.  
 Total number of compact spaces = 7 Spaces  
 Total number of standard spaces = 22 Spaces

Total Number of Parking Spaces Provided > 25; Therefore, 2 spaces and adjacent delineated access aisle (i.e., 3.5 feet wide) are designated for disabled parking.  
 Standard Space Dimensions: 8.5 ft x 20 ft  
 Compact Space Dimensions: 8 ft x 20 ft  
 Concrete bumpers shall be provided for all parking spaces. Parking bumpers shall be located at least 2 ft away from any pedestrian walkway, landscaped area, wall or fence.

**BICYCLE PARKING CALCULATIONS:**  
 Proposed Development 21 apartments (one bedroom & efficiency units)  
 Parking Requirement 1 Bicycle Space per 2 Dwelling Units  
 Required Parking: 21 DUs x 1/2 Space/DU = 11 Spaces  
 Total Parking Spaces Provided = 11

REFUSE BIN ENCLOSURE 1/4" = 1'-0"

PROPERTY LINE WALL EAST PROPERTY LINE SCALE 3/4" = 1'-0"

PROPERTY LINE WALL SOUTH PROPERTY LINE SCALE 3/4" = 1'-0"

PROPERTY LINE WALL EAST PROPERTY LINE, RETAINING WALL SIZE AND REINFORCEMENT WILL BE ADJUSTED UPON RECEIVING GEOTECHNICAL SOIL REPORT RECOMMENDATIONS. SCALE 3/4" = 1'-0"

APD PLANS CHECKING OFFICIAL: 924-3611 APPROVED AS APPROVED HYDRANT(S) ONLY. SIGNATURE & DATE: R.C. JAMES 2-4-03

**HEWITT ENGINEERING & ENVIRONMENTAL CONSULTANTS**  
 3730 COORS BLVD., NW SUITE 2 ALBUQUERQUE, NM 87120 TEL: (505) 368-1843

KEITH APARTMENTS  
 LOT 75, UNIT 6, TOWN OF ATRISCO GRANT  
 ALBUQUERQUE, NEW MEXICO

SIZE: E FSCM NO. DWG NO. REV  
 SCALE: 1"=10' DRAWN BY: JLM, RG SHEET 1 OF 1