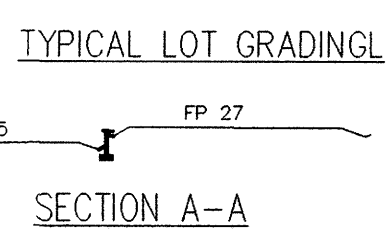
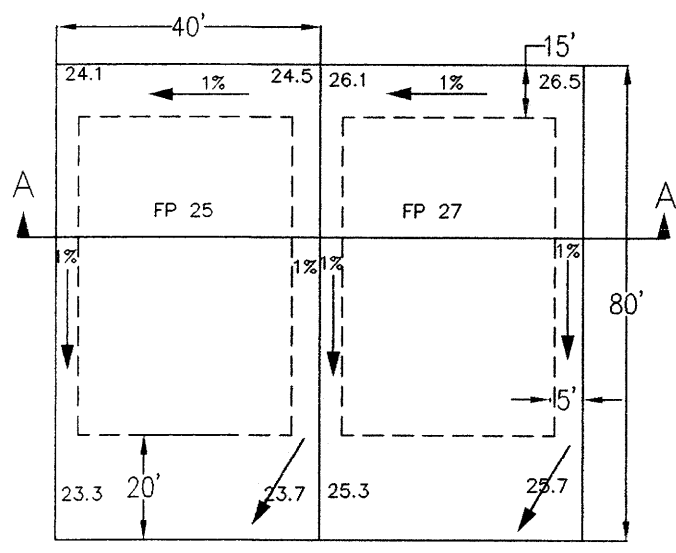
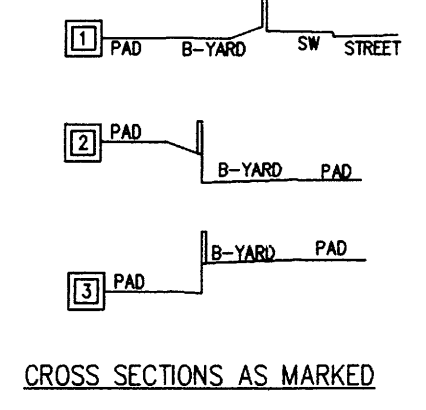
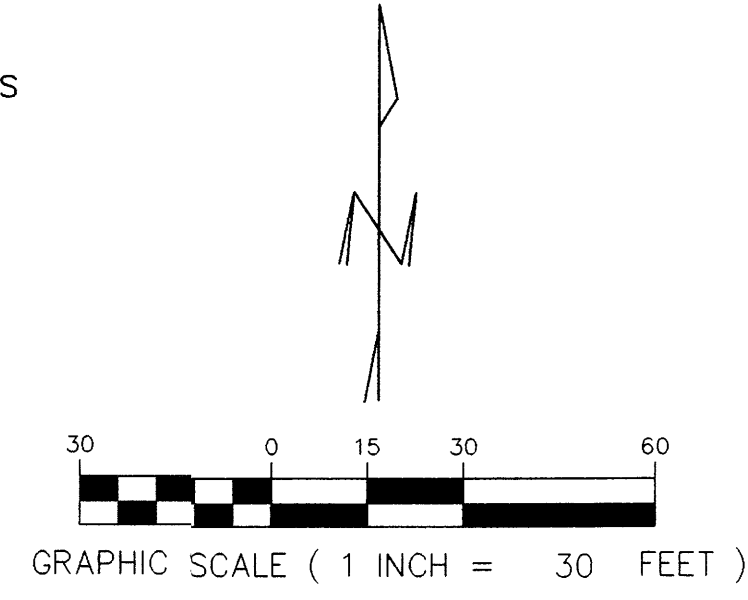


GROUND TIE ACS MONUMENT
 3-C18
 Y=15214.55.09
 X=402255.61
 GRD-GND=0.9996608
 Δα= 0°11'19"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)



- EASEMENTS
- ① 10' PUBLIC UTILITY EASEMENT
 - ② 15' C.O.A. PUBLIC WATERLINE EASEMENT

Existing Conditions

The existing conditions for the site is undeveloped bulk land with a small erosion channel crossing it. The flow that used to cross the site has been cut by Wyoming Blvd. The flow has been diverted south to the North Domingo Baca channel by the storm drain in Wyoming Blvd. The soil on the site is silty clayey sand with moderately permeability. The vegetation is sparse desert grasses with scattered woody brush. The storm runoff drains generally to the southwest to Wilshire. The natural slope of the existing is between three and four percent. The 100 year storm runoff is 3.82 CFS.

Wyoming Blvd. is scheduled for widening from Paseo del Norte to the Reservation line. The storm runoff that will concentrate at the Wilshire Ave. Intersection will be directed south to the Domingo Baca to be controlled by Kinney Dam.

Developed Conditions

The developed condition provides single family dwelling lots requiring approximately half open space. The land treatment mix is A-0, B-20, C-20, D-60. The resulting runoff computation is 8.56 CFS.

The runoff from this subdivision will flow onto Wilshire Ave. and be joined by the flow from the Coppel Subdivision which the same size hence the runoff should be equal. When the flow reaches Murrel it is picked up by inlets in Wilshire and conveyed to the Kinney Dam Reservoir via a stormdrain. The Murrel system was designed with the Eagle Springs Subdivision by Lyle Losack P.E. Mr Losack included in the design flood the runoff expected from Wilshire with all contributing areas being developed.

Computations

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
START									TIME = .00
*S COMPUTE 100 YR. HYDROGRAPHS FOR THE TREVISO SITE IN THE NATURAL CONDITION									
*S	TREVISO.DAT	-	AHYMO PER JAN 1997 DPM REVISIONS						
RAINFALL TYPE= 1									
COMPUTE NM HYD	101.10	-	1	.00313	3.82	.109	.65520	1.500	1.908 PER IMP= .00
*S COMPUTE 100 YR HYDROGRAPHS FOR TREVISO SITE AFTER DEVELOPMENT									
COMPUTE NM HYD	102.10	-	2	.00313	9.54	.357	2.14219	1.500	4.768 PER IMP= 80.00
*S COMPUTE FLOW FROM TREVISO, CAPPELL AND WILSHIRE AVE FROM WYO. TO									
*S MURRIETA STORM DRAIN INLETS. SEE DC3, DC2 DC1 ON THE EXCERPT									
COMPUTE NM HYD	103.10	-	3	.00961	28.75	1.078	2.10230	1.500	4.674 PER IMP= 80.00
FINISH									

WILSHIRE

THE INLETS CONSIST OF TWO DOUBLE C'S ON THE SOUTH SIDE AND ONE DOUBLE C AND ONE SINGLE C ON THE NORTH. WILSHIRE'S GRADE AT THIS POINT IS 2.7%. CONSEQUENTLY THE DEPTH OF THE FLOW IS 0.35FT. USING PLATES 22.3 D-6 AND 22.3 D-7 THE CAPACITY OF THE COMBINED INLETS IS COMPUTED TO BE 20 CFS LEAVING ONLY 4 CFS TO PROCEED IN EACH GUTTER DOWN WILSHIRE TO THE NEXT DRAINAGE PICKUP.

TREVISO CT.

TREVISO BEING SLOPED TO THE WEST TO MATCH WILSHIRE, (4%) WILL HAVE THE 100 YR FLOW IN THE WEST GUTTER ONLY. DETERMINE THE DEPTH.

$$9.54 = \frac{1.49}{.017} \times .008^{1/2} \times 243^{2/3} \times .5 \times 12.65$$

$$9.54 = 9.38 \text{ CLOSE ENOUGH!!}$$

$$D = 0.5'$$

LEGEND

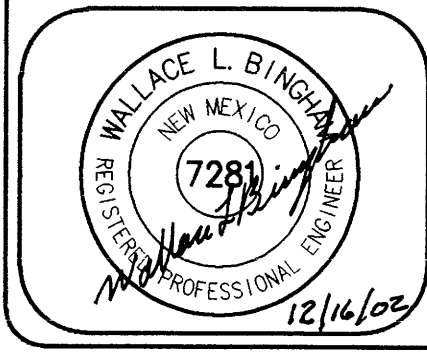
- EXISTING PAVEMENT
- EXISTING SANITARY MANHOLE
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- BOUNDARY LINE
- EASEMENT
- EXISTING WALL
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- PROPOSED MOUNTABLE CURB AND GUTTER
- ASPHALT CURB
- LUMINAIRES
- DOUBLE METER WATER SERVICE
- RETAINING WALL
- CROSS SECTION

EROSION CONTROL PLAN AND POLLUTION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHTS-OF-WAY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON THE SITE.
3. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL _____ DATE _____

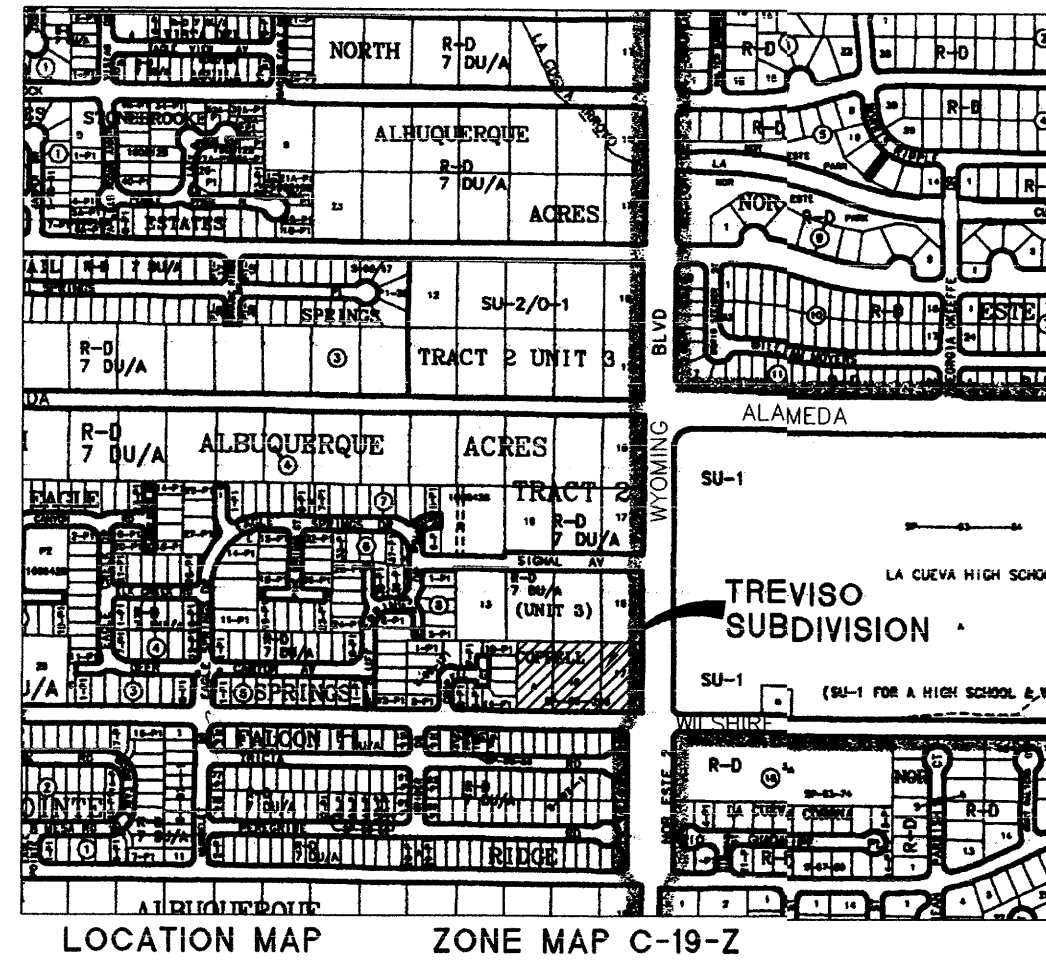
TREVISO SUBDIVISION
GRADING AND DRAINAGE PLAN



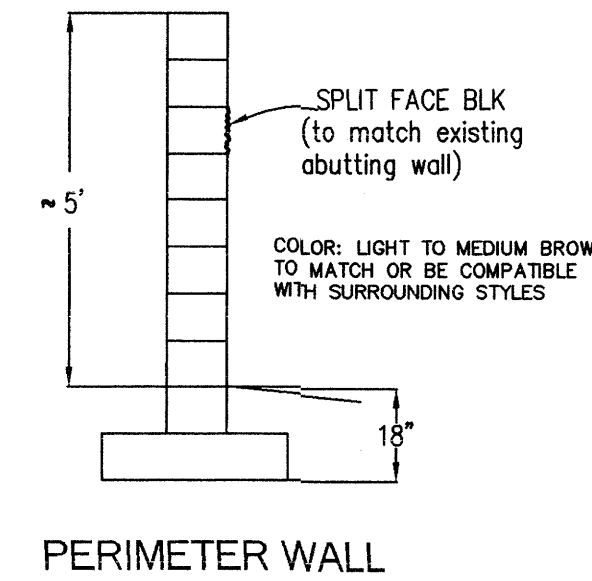
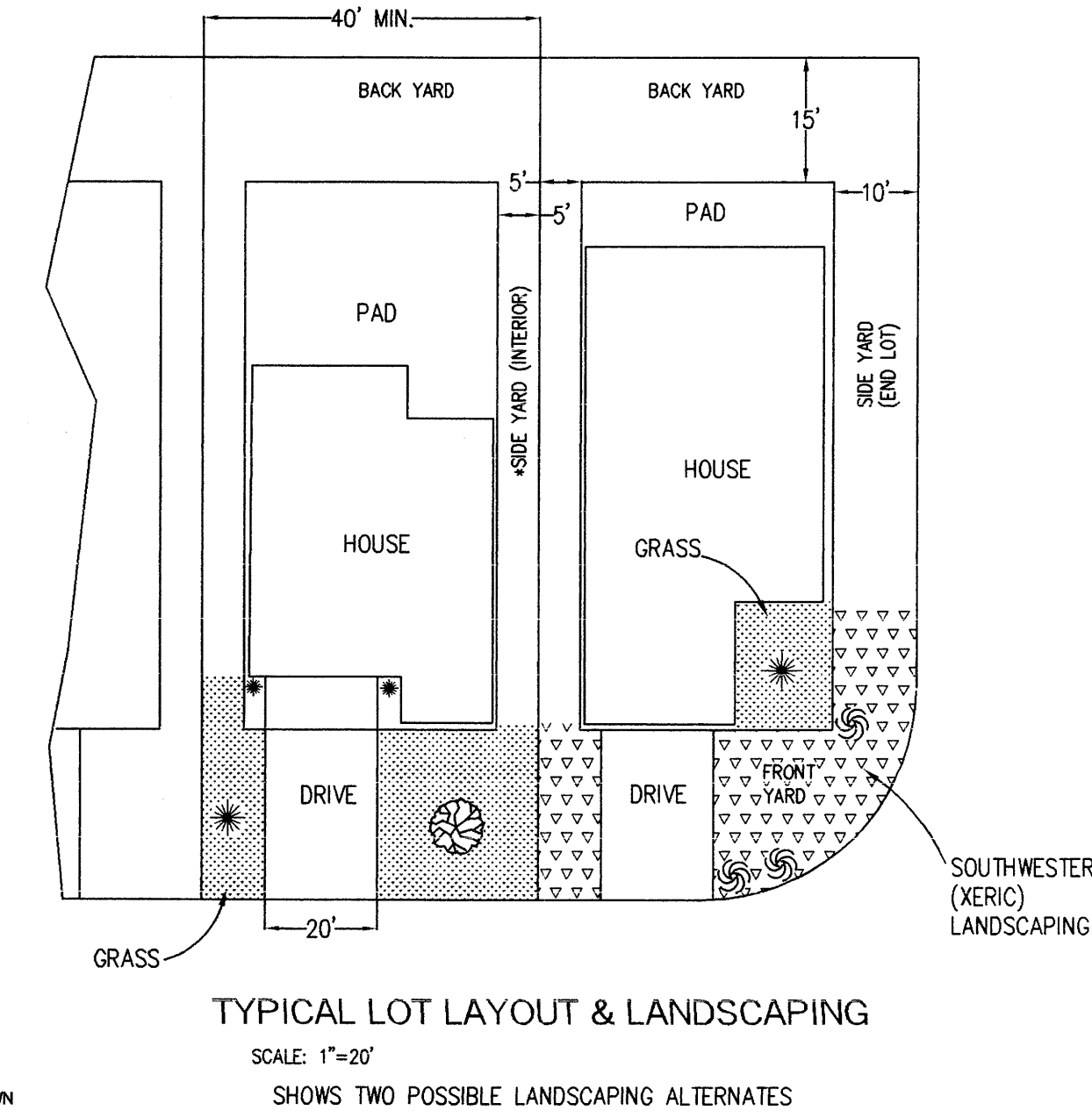
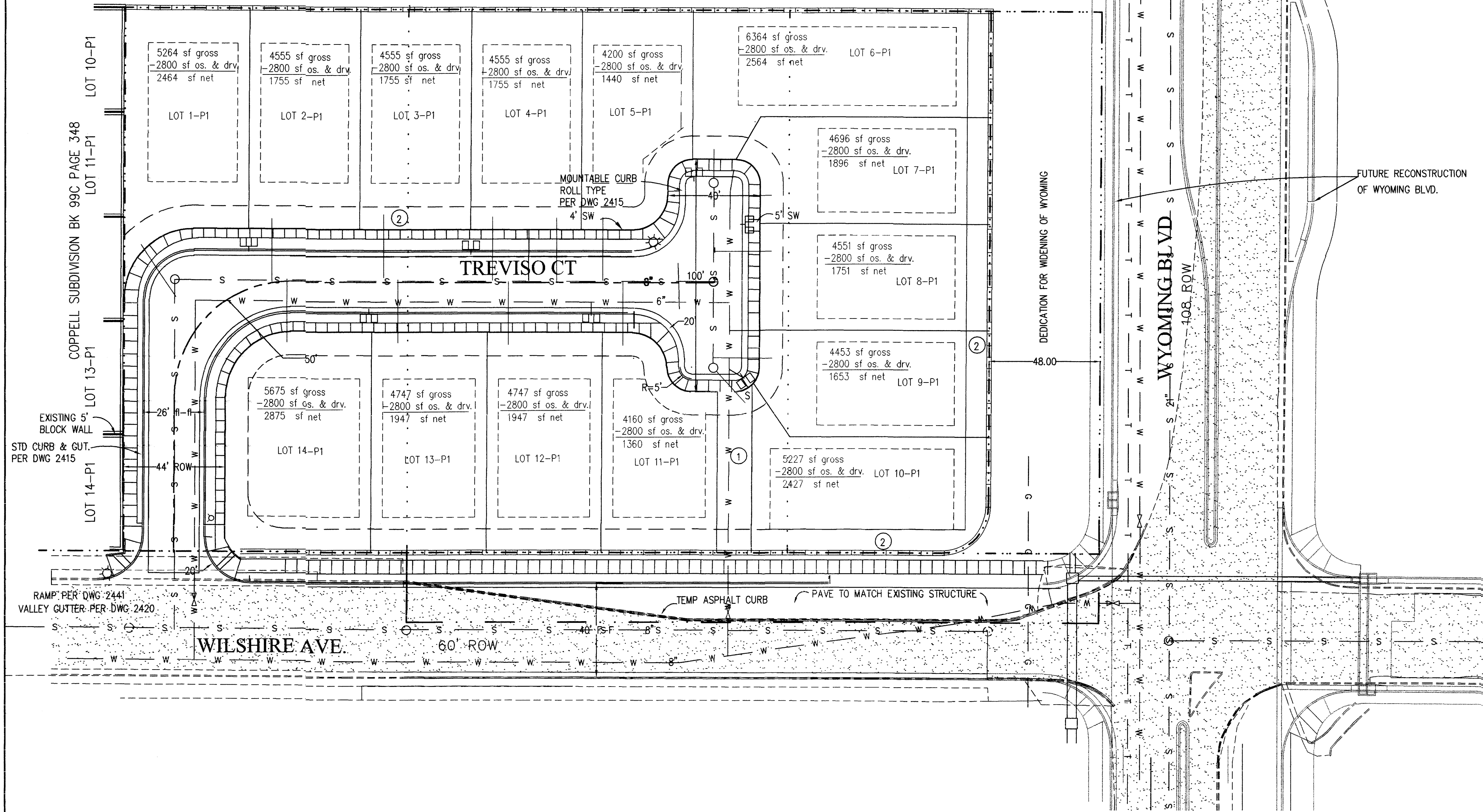
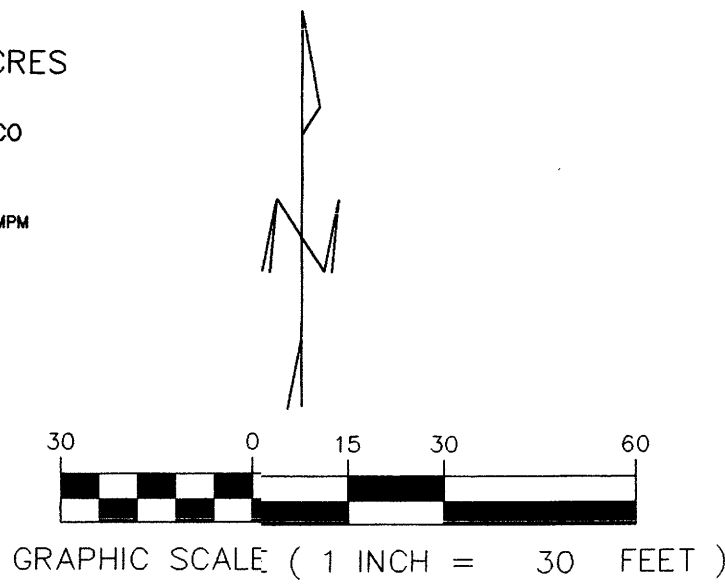
BINGHAM ENGINEERING
 ALBUQUERQUE, NEW MEXICO
 505 797 4699

BENCHMARK
 NCS MONUMENT
 "HEAVEN"
 ELEV. 5378.79

GROUND TIE
 NCS MONUMENT
 "HEAVEN"
 Y=15187.37.03
 X=407051.03
 GRD-GND=0.99965263
 Δα= 0°10'45"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEV.=5378.79



TRACT A, LOTS 17 and 18
BLOCK 5
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO



LA CUEVA SECTOR PLAN REQUIREMENTS:

THE GOAL OF THE DESIGN POLICY TO BE PURSUED IN TREVISO SUBDIVISION IS TO USE AN ITALIAN / MEDITERRANEAN THEME FOR ALL OF THE STRUCTURES AND LANDSCAPING AS FAR AS POSSIBLE IN A ALBUQUERQUE LOCATION. THE REQUIREMENTS OF THE LA CUEVA PLAN AND DPM WILL BE ADHERED TO.

VEWS OF THE MOUNTAINS AND VALLEY ARE STILL AVAILABLE FROM EVERY LOT IN THE SUBDIVISION. INTERFERENCE CAUSED BY THE PROSCRIBED DENSITY ALLOWED AND THE ON-SITE OPEN SPACE REQUIREMENT IS A CONSEQUENCE OF THE ZONING REQUIREMENTS.

CONNECTION TO THE TRAIL SYSTEM WILL BE VIA THE STREET/SIDEWALK SYSTEM AS THERE ARE NO TRAILS ADJACENT TO THE SUBDIVISION.

THE ARCHITECTURAL THEME OF THE DEVELOPMENT WILL BE OF A MEDITERRANEAN FLAVOR WITH MATERIALS OF STUCCO AND STONE OR BRICK AND COLORS USING MUTED MEDIUM TO LIGHT EARTH TONES. ROOFS WILL BE FLAT OR GENTLY SLOPING WITH SLATE LIKE SHINGLES OR TILE OF A MEDIUM TO LIGHT HUE COMPATIBLE WITH THE HOUSE AND SURROUNDING COLORATION.

ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER 14-16-3-8-(A) (2)

EASEMENTS

- ① 15' C.O.A. PUBLIC WATERLINE EASEMENT
- ② 10' PUBLIC UTILITY EASEMENT

APPROVED - SOLID WASTE Date
NOTE: INDIVIDUAL ROLL-OUT CARTS WILL BE USED FOR SOLID WASTE PICK-UP. CARTS SHALL BE STORED OUT OF SIGHT FROM THE STREET, EITHER IN THE REAR YARD OR IN THE GARAGE. DECLARATION OF COVENANTS AND RESTRICTION SHALL REQUIRE THAT THE HOMEOWNER IS RESPONSIBLE FOR KEEPING THE CARTS OUT OF SITE.

Traffic Engineer, Transportation Division	Date
Design and Development, OIP	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
APPROVAL AND CONDITION ACCEPTANCE: as specified by the Development Process Manual	
City Planner, Albuquerque / Bernalillo County Planning Division	Date

SITE DATA

PROPOSED USAGE: SINGLE FAMILY RESIDENTIAL
EXISTING ZONING: R-D, 7 DU/ACRE MAX.
LOT AREA: 87,522.5 SF (2.009 Ac.)
NUMBER OF LOTS: 14
DENSITY: 6.97 DU/Ac.

GENERAL NOTES

1. WALLS:
A 5' SCREEN WALL WILL BE PROVIDED AROUND THE PERIMETER. NO MORE THAN 1.5' DIFFERENCE IN GRADE WILL BE ALLOWED WITHOUT A RETAINING WALL.
2. CURB AND GUTTER:
STANDARD CURB AND GUTTER WILL BE USED ON THE STREET AND MOUNTABLE CURB WILL BE USED AROUND THE Cui-de-sac
3. MAXIMUM BUILDING HEIGHT WILL BE 26 FEET
4. THERE IS NO DIRECT ACCESS TO WYOMING BLVD. ALLOWED

PARKING

THERE IS A MAXIMUM OF FOUR PARKING SPACES FOR EACH HOUSE, 2 IN THE GARAGE AND TWO ON THE DRIVEWAY. ONLY INTERMITTENT PARKING IS ALLOWED ON THE STREET.

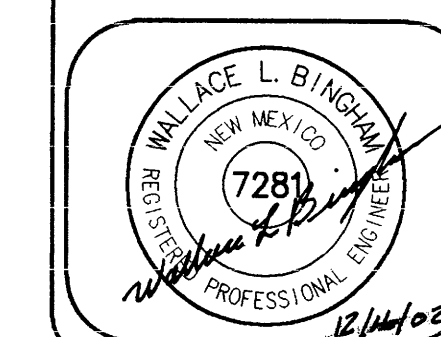
LEGEND

	EXISTING PAVEMENT
	EXISTING SANITARY MANHOLE
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	EXISTING WALL
	PROPOSED SCREEN WALL
	PROPOSED SIDEWALK
	PROPOSED MOUNTABLE CURB AND GUTTER
	ASPHALT CURB
	LUMINAIRES
	DOUBLE METER WATER SERVICE

TREVISO SUBDIVISION

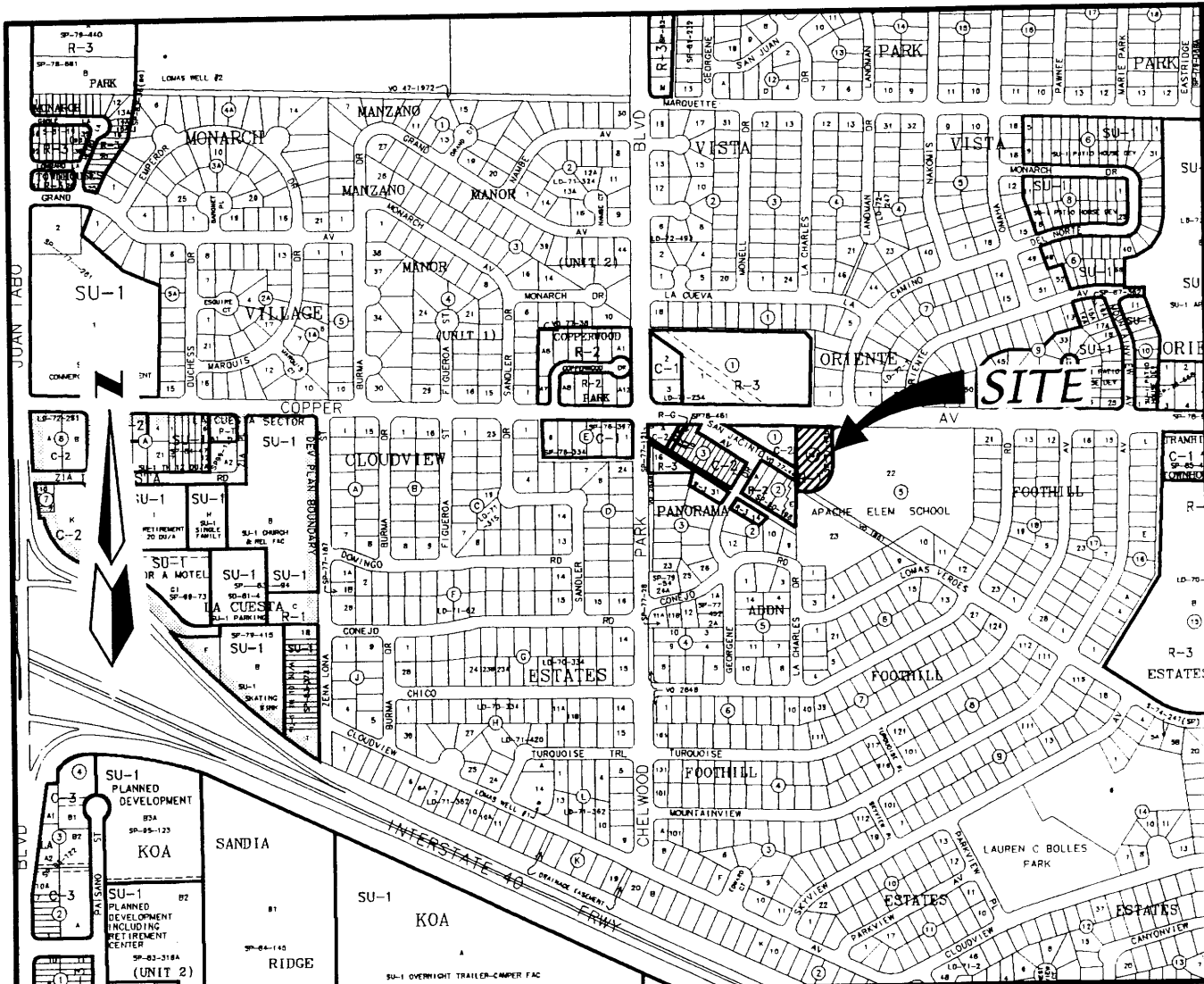
SITE PLAN FOR SUBDIVISION

Date 12/02



BINGHAM ENGINEERING
ALBUQUERQUE, NEW MEXICO
505 797 4699

SHT. 1 of 1



PURPOSE OF PLAT

1. SUBDIVIDE ONE (1) TRACT INTO EIGHT (8) RESIDENTIAL LOTS
2. GRANT NEW EASEMENTS AS SHOWN HEREON
3. DEDICATED RIGHT-OF-WAY
4. VACATE EASEMENT AS SHOWN HEREON

LEGAL DESCRIPTION

A tract of land situate within Section 22, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of BLOCK 19-A, FOOTHILL ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 10, 1977 in Book C12, Page 151 and containing 0.9538 acres more or less.

PLAT FOR
COPPER PARK SUBDIVISION
 WITHIN
 SECTION 22
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002334

Application Number: _____

PLAT APPROVAL

Utility Approvals:

<i>Leonel G. Muts</i> PNM Electric Services	11-19-04 Date
<i>Leon D. Muts</i> PNM Gas Services	11-18-04 Date
<i>David R. Muller</i> Qwest Telecommunications	11-19-04 Date
<i>Rita Eucles</i> Comcast	11-19-04 Date

City Approvals:

<i>MB Hunt</i> City Surveyor	11-19-04 Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION:

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich
 Timothy Aldrich P.L.S. No. 7119
 11-10-04
 Date



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

ZONE ATLAS

K-22-Z
 SCALE 1" = 750'

SUBDIVISION DATA

GROSS ACREAGE.....0.9538 AC
 ZONE ATLAS NO.....K-22-Z
 NO. OF EXISTING TRACT/LOT.....1 TRACT / 0 LOT
 NO. OF TRACT/LOTS CREATED.....0 TRACT / 8 LOTS
 NO. OF TRACT ELIMINATED.....1
 MILES OF FULL WIDTH STREETS CREATED.....0.04
 AREA DEDICATED TO CITY OF ALBUQUERQUE.....0.3084 AC
 DATE OF SURVEY.....MAY 2004
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER.....2004372020
 ZONNING.....R-T

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Harvest Homes, LLC
 Lowell Williams
 Managing Member

Lowell Williams
 10/26/04
 DATE

OWNER'S ACKNOWLEDGMENT

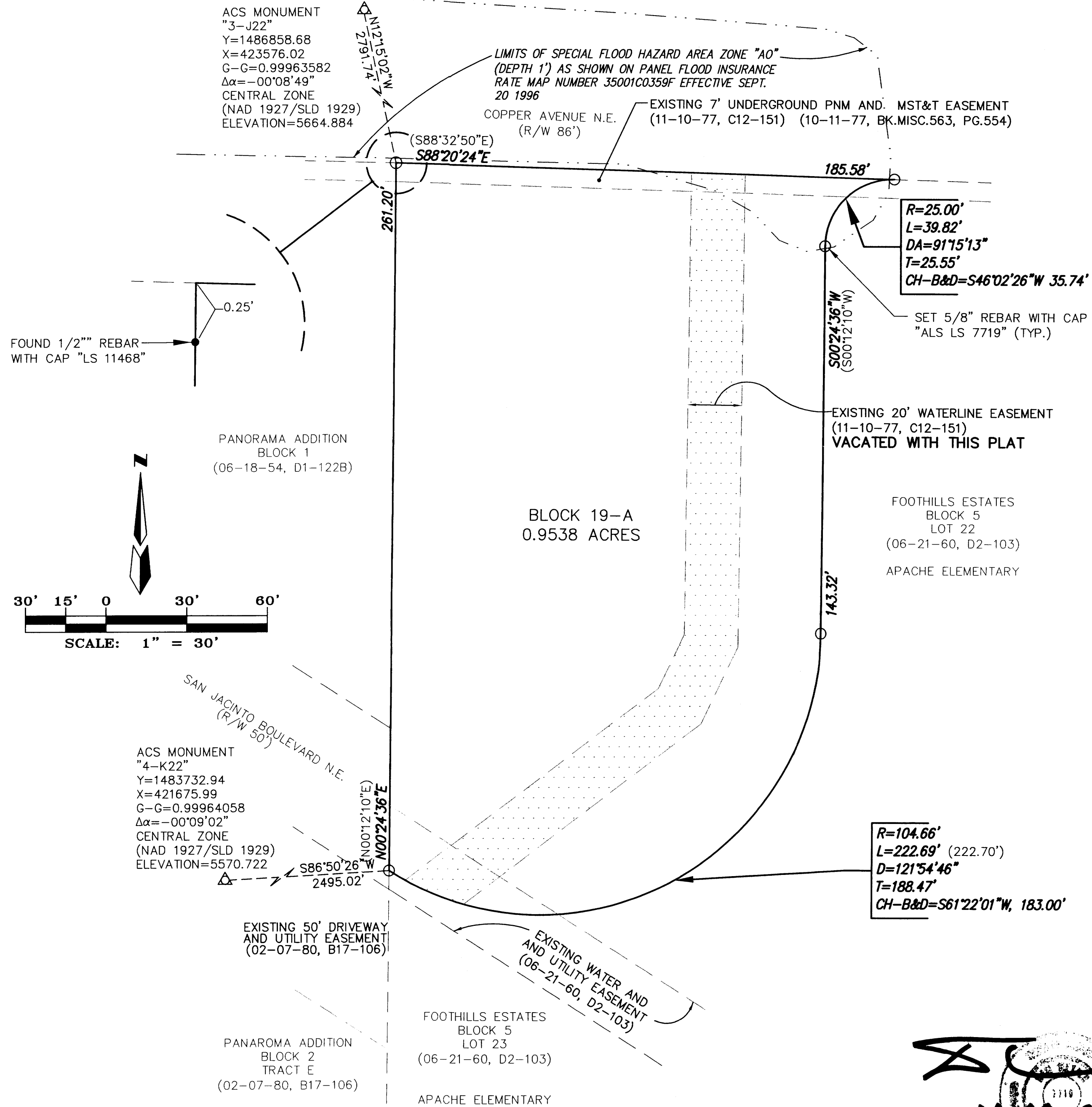
STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on October 26, 2004
 By Lowell Williams Managing Member Harvest Homes, LLC, A New Mexico Corporation on behalf of said corporation

Beth Gonzales
 10-08-07
 MY COMMISSION EXPIRES
 OFFICIAL SEAL
 BETH GONZALES
 NOTARY PUBLIC-STATE OF NEW MEXICO

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PLAT FOR
COPPER PARK SUBDIVISION
 WITHIN
 SECTION 22
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004



NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary is the following plats of record entitled:
 PLAT OF "FOOTHILL ESTATES", (06-21-60, D2-103)
 PLAT OF "FOOTHILL ESTATES SUBDIVISION, BLOCK 19-A", (11-10-77, C12-151)
 PLAT OF "PANORAMA ADDITION", (06-18-54, D1-122B)
 PLAT OF "PANORAMA ADDITION", (03-13-78, C13-26)
 PLAT OF "PANORAMA ADDITION", (02-07-80, B17-106)
 being records of Bernalillo County, New Mexico.
- Field Survey performed: May, 2004.
- Title Report: provided by Fidelity National Title Insurance Company
 Commitment No.: 04-1044229-B-RAD (Effective date: 04-19-04)
- Utility Council Location System No.: 2004372020

ALS
 11-10-04

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: SHEET2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 3
Scale: AS SHOWN	Date: 10/25/04	Job: A04041	

I:\A04JOBS\A041CP\Final Plat\Sheet2.dwg, 10/25/2004 11:41:16 AM, DMG.SPS

PLAT FOR
COPPER PARK SUBDIVISION
 WITHIN
 SECTION 22
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

ABBREVIATIONS:

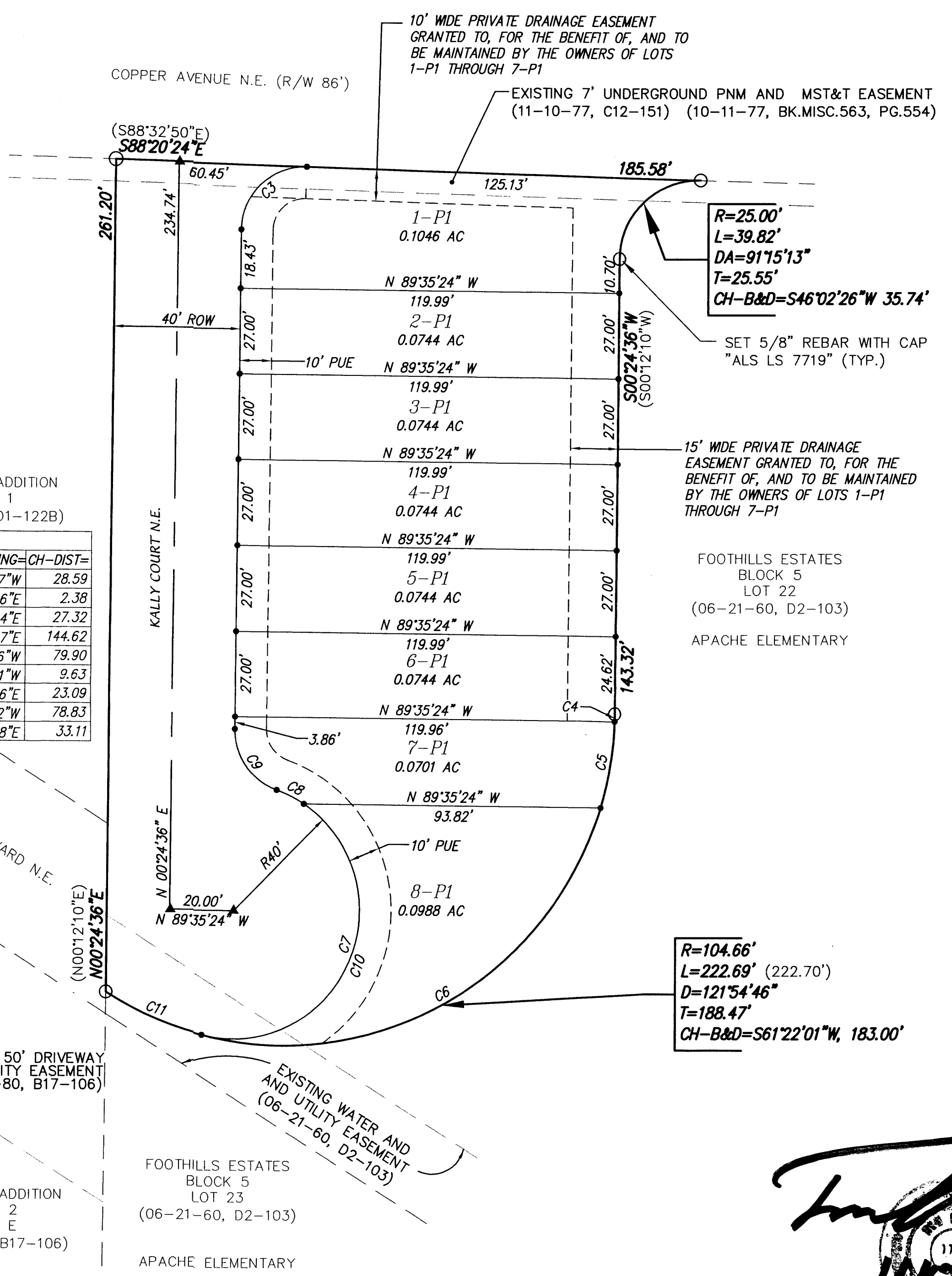
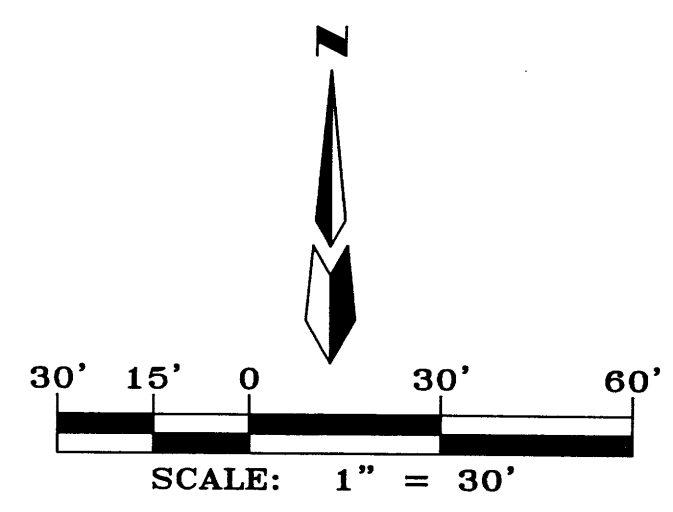
PUE = PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)

ROW = RIGHT-OF-WAY (DEDICATED BY THIS PLAT)

UNLESS SHOWN OTHERWISE ALL POINTS ARE SET 5/8" REBAR WITH CAP "ALS LS 7719"

PANORAMA ADDITION
 BLOCK 1
 (06-18-54, D1-122B)

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C3	31.85	20.00	91°15'00"	20.44	S46°02'07"W	28.59
C4	2.38	104.66	1°18'18"	1.19	N01°03'46"E	2.38
C5	27.40	104.66	15°00'01"	13.78	N09°12'54"E	27.32
C6	159.66	104.66	87°24'25"	100.03	N60°25'07"E	144.62
C7	121.64	40.00	174°14'27"	--	S17°00'06"W	79.90
C8	9.65	40.00	13°49'33"	4.85	N63°12'21"W	9.63
C9	24.62	20.00	70°31'44"	14.14	S34°51'16"E	23.09
C10	111.99	40.00	160°24'54"	231.76	S23°54'52"W	78.83
C11	33.25	104.66	18°12'05"	16.77	S66°46'38"E	33.11

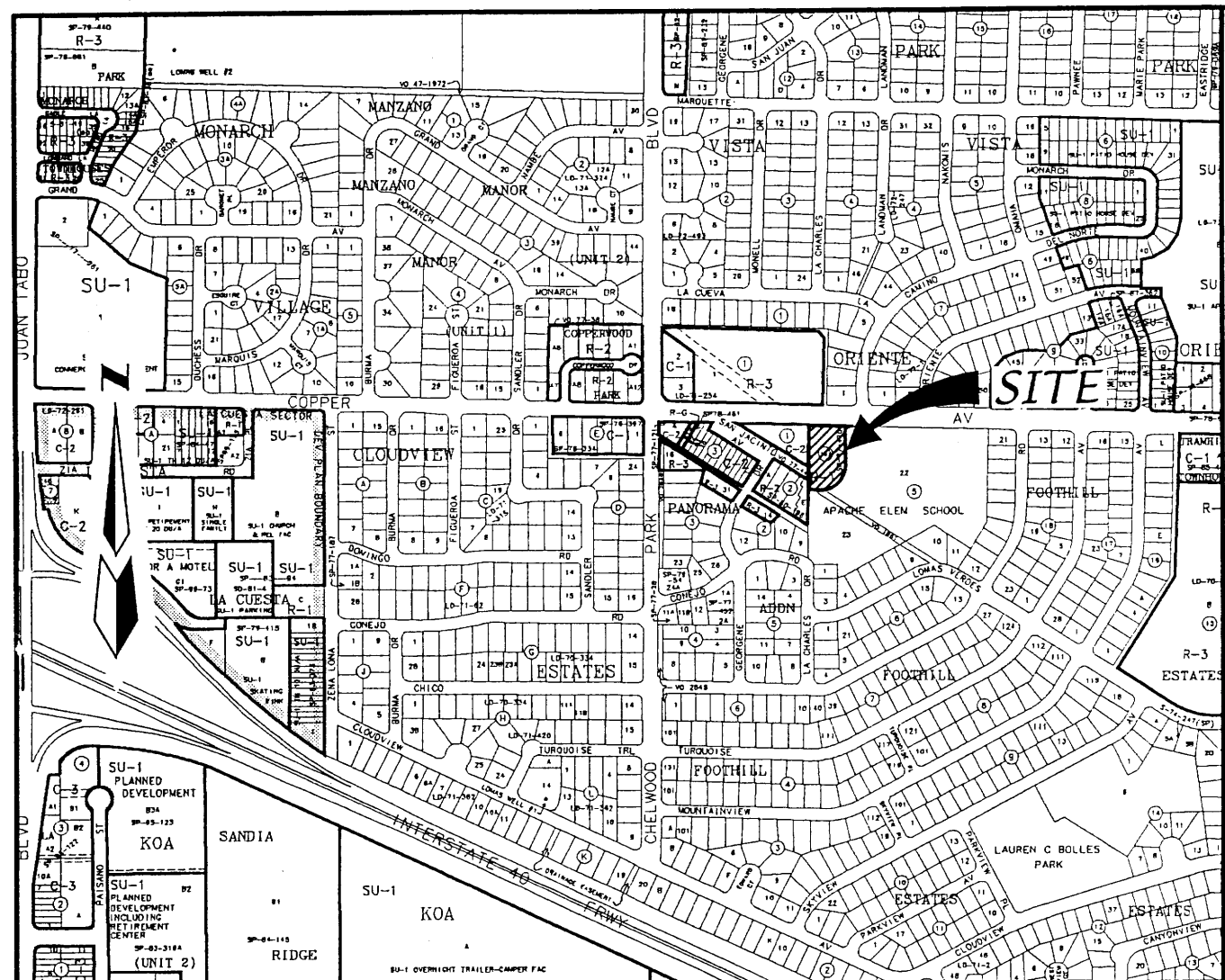


R=104.66'
 L=222.69' (222.70')
 D=121°54'46"
 T=188.47'
 CH-B&D=S61°22'01"W, 183.00'

Handwritten signature
 11-0-04
 NEW MEXICO
 1710

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



PURPOSE OF PLAT

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ZONE ATLAS K-22-Z
SCALE 1"= 750'

SUBDIVISION DATA

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 NO. OF EXISTING TRACT/LOT.....1 TRACT / 0 LOT
 NO. OF TRACT/LOTS CREATED.....0 TRACT / 8 LOTS
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Harvest Homes, LLC
 Lowell Williams
 Managing Member

Lowell Williams 10/26/04
 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO

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 By Lowell Williams Managing Member Harvest Homes, LLC, A New Mexico Corporation on behalf of said corporation

Beth Gonzales 10-08-07
 NOTARY PUBLIC MY COMMISSION EXPIRES
 OFFICIAL SEAL
 BETH GONZALES
 NOTARY PUBLIC-STATE OF NEW MEXICO

Wipman SH

PLAT FOR
COPPER PARK SUBDIVISION
 WITHIN
 SECTION 22
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002334

Application Number: 0A-01479

PLAT APPROVAL

Utility Approvals:

<i>Lenal D. Mads</i> PNM Electric Services	<u>11-19-04</u> Date
<i>Lenal D. Mads</i> PNM Gas Services	<u>11-18-04</u> Date
<i>David R. Muller</i> Qwest Telecommunications	<u>11-19-04</u> Date
<i>Rita Eickes</i> Comcast	<u>11-19-04</u> Date

City Approvals:

<i>MB Hunt</i> City Surveyor	<u>11-19-04</u> Date
<i>John S. J.</i> Traffic Engineering, Transportation Division	<u>3-2-05</u> Date
<i>Roger A. Hean</i> Utilities Development	<u>3-2-05</u> Date
<i>Christina Sandoral</i> Parks and Recreation Department	<u>4/14/05</u> Date
<i>Bradley L. Bingham</i> AMAFCIA	<u>3/2/05</u> Date
<i>Bradley L. Bingham</i> City Engineer	<u>3/2/05</u> Date
<i>Susan Makoo</i> DRB Chairperson, Planning Department	<u>02/05</u> Date

SURVEYOR'S CERTIFICATION:

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 11-10-04
 Timothy Aldrich P.L.S. No. 7119 Date

CERTIFY THAT TAXES ARE CURRENT AND
 PAYMENT IS 1022057340 245.41900
 POSEN J. LORENZEN
 COUNTY CLERK'S OFFICE
Donny Vignola 20 Apr 05

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

REVIEWED
 APR 2 2005
 HYDROLOGY SECTION

Dwg: Cover sheet.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 3
Scale: N/A	Date: 10/25/04	Job: A04041	

PLAT FOR
COPPER PARK SUBDIVISION
 WITHIN
 SECTION 22
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004



NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is the following plats of record entitled:
 PLAT OF "FOOTHILL ESTATES", (06-21-60, D2-103)
 PLAT OF "FOOTHILL ESTATES SUBDIVISION, BLOCK 19-A", (11-10-77, C12-151)
 PLAT OF "PANORAMA ADDITION", (06-18-54, D1-122B)
 PLAT OF "PANORAMA ADDITION", (03-13-78, C13-26)
 PLAT OF "PANORAMA ADDITION", (02-07-80, B17-106)
 being records of Bernalillo County, New Mexico.
5. Field Survey performed: May, 2004.
6. Title Report: provided by Fidelity National Title Insurance Company
 Commitment No.: 04-1044229-B-RAD (Effective date: 04-19-04)
7. Utility Council Location System No.: 2004372020

ACS MONUMENT
 "3-J22"
 Y=1486858.68
 X=423576.02
 G-G=0.99963582
 $\Delta\alpha=-00^{\circ}08'49"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5664.884

LIMITS OF SPECIAL FLOOD HAZARD AREA ZONE "AO"
 (DEPTH 1') AS SHOWN ON PANEL FLOOD INSURANCE
 RATE MAP NUMBER 35001C0359F EFFECTIVE SEPT.
 20 1996

EXISTING 7' UNDERGROUND PNM AND MST&T EASEMENT
 (11-10-77, C12-151) (10-11-77, BK.MISC.563, PG.554)

COPPER AVENUE N.E.
 (R/W 86')

$N12^{\circ}15'02"W$
 2791.74'

$(S88^{\circ}32'50"E)$
 588'20'24"E

185.58'

$R=25.00'$
 $L=39.82'$
 $DA=91^{\circ}15'13"$
 $T=25.55'$
 $CH-B&D=S46^{\circ}02'26"W 35.74'$

SET 5/8" REBAR WITH CAP
 "ALS LS 7719" (TYP.)

$S00^{\circ}24'36"W$
 (S0012'10"W)

EXISTING 20' WATERLINE EASEMENT
 (11-10-77, C12-151)
 VACATED WITH THIS PLAT

FOOTHILLS ESTATES
 BLOCK 5
 LOT 22
 (06-21-60, D2-103)
 APACHE ELEMENTARY

143.32'

$R=104.66'$
 $L=222.69'$ (222.70')
 $D=121^{\circ}54'46"$
 $T=188.47'$
 $CH-B&D=S61^{\circ}22'01"W, 183.00'$

ACS MONUMENT
 "4-K22"
 Y=1483732.94
 X=421675.99
 G-G=0.99964058
 $\Delta\alpha=-00^{\circ}09'02"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5570.722

SAN JACINTO BOULEVARD N.E.
 (R/W 50')

$N00^{\circ}24'36"E$
 2495.02'

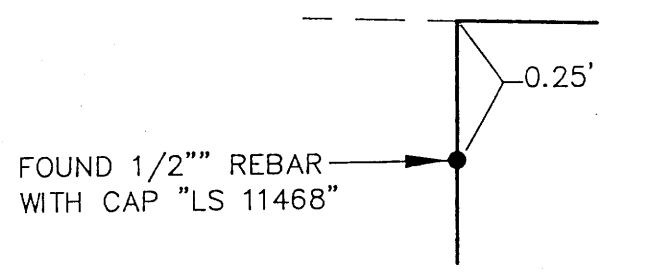
$S86^{\circ}50'26"W$
 2495.02'

EXISTING 50' DRIVEWAY
 AND UTILITY EASEMENT
 (02-07-80, B17-106)

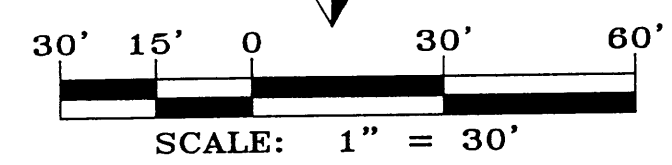
EXISTING WATER AND
 UTILITY EASEMENT
 (06-21-60, D2-103)

FOOTHILLS ESTATES
 BLOCK 5
 LOT 23
 (06-21-60, D2-103)
 APACHE ELEMENTARY

PANORAMA ADDITION
 BLOCK 2
 TRACT E
 (02-07-80, B17-106)



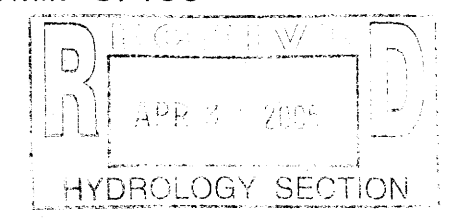
PANORAMA ADDITION
 BLOCK 1
 (06-18-54, D1-122B)



Signature
 11-10-04

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



Dwg: SHEET2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 3
Scale: AS SHOWN	Date: 10/25/04	Job: A04041	

PLAT FOR
COPPER PARK SUBDIVISION
 WITHIN
 SECTION 22
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2004

2885554848
 6258986
 Page: 3 of 3
 04/21/2005 10:18A
 EX-2885C Pg-121
 Mary Herrera Bern. Co. PLAT R 17.88

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

ABBREVIATIONS:

PUE = PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)

ROW = RIGHT-OF-WAY (DEDICATED BY THIS PLAT)

UNLESS SHOWN OTHERWISE ALL POINTS ARE SET 5/8" REBAR WITH CAP "ALS LS 7719"

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=CH-DIST=	
C3	31.85	20.00	91°15'00"	20.44	S46°02'07"W	28.59
C4	2.38	104.66	1°18'18"	1.19	N01°03'46"E	2.38
C5	27.40	104.66	15°00'01"	13.78	N09°12'54"E	27.32
C6	159.66	104.66	87°24'25"	100.03	N60°25'07"E	144.62
C7	121.64	40.00	174°14'27"	--	S17°00'06"W	79.90
C8	9.65	40.00	13°49'33"	4.85	N63°12'21"W	9.63
C9	24.62	20.00	70°31'44"	14.14	S34°51'16"E	23.09
C10	111.99	40.00	160°24'54"	231.76	S23°54'52"W	78.83
C11	33.25	104.66	18°12'05"	16.77	S66°46'38"E	33.11

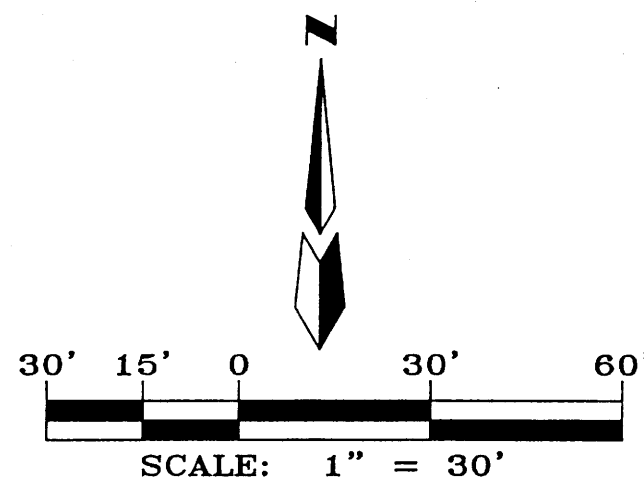
PANORAMA ADDITION
 BLOCK 1
 (06-18-54, D1-122B)

R=25.00'
 L=39.82'
 DA=91°15'13"
 T=25.55'
 CH-B&D=S46°02'26"W 35.74'

15' WIDE PRIVATE DRAINAGE EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE OWNERS OF LOTS 1-P1 THROUGH 7-P1

FOOTHILLS ESTATES
 BLOCK 5
 LOT 22
 (06-21-60, D2-103)
 APACHE ELEMENTARY

R=104.66'
 L=222.69' (222.70')
 D=121°54'46"
 T=188.47'
 CH-B&D=S61°22'01"W, 183.00'



EXISTING 50' DRIVEWAY AND UTILITY EASEMENT (02-07-80, B17-106)

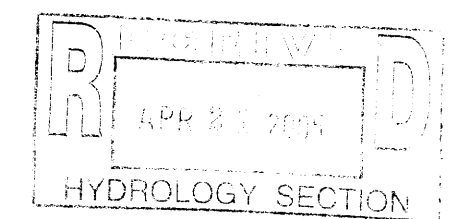
EXISTING WATER AND UTILITY EASEMENT (06-21-60, D2-103)

PANORAMA ADDITION
 BLOCK 2
 TRACT E
 (02-07-80, B17-106)

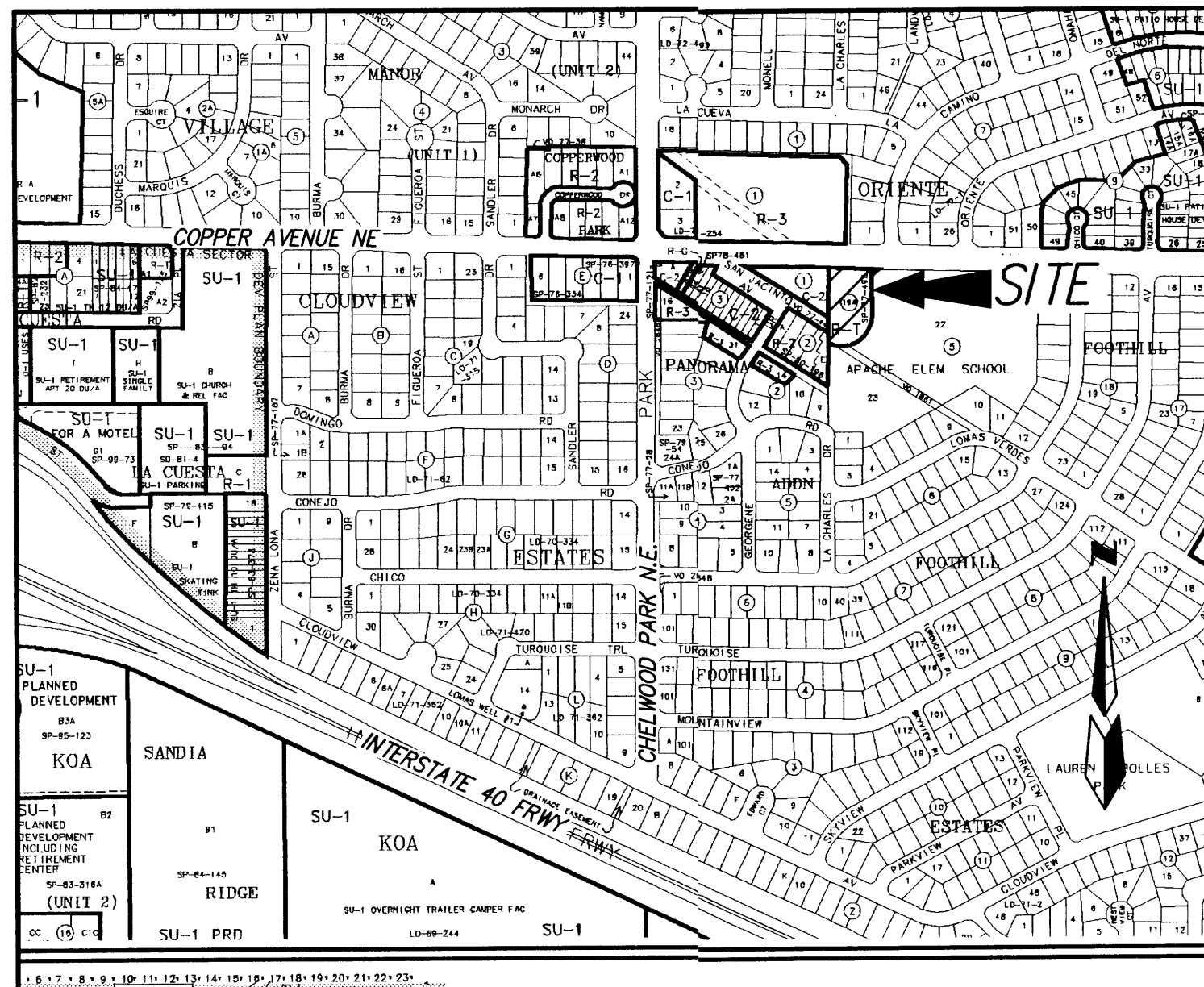
FOOTHILLS ESTATES
 BLOCK 5
 LOT 23
 (06-21-60, D2-103)
 APACHE ELEMENTARY

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 3
Scale: as shown	Date: 11/01/04	Job: A04041	



ZONE ATLAS MAP # K-22-Z
SCALE: NONE

DESCRIPTION
A tract of land situate within Section 22, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of BLOCK 19-A, FOOTHILL ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 10, 1977 in Book C12, Page 151 and containing 0.9538 acres more or less.

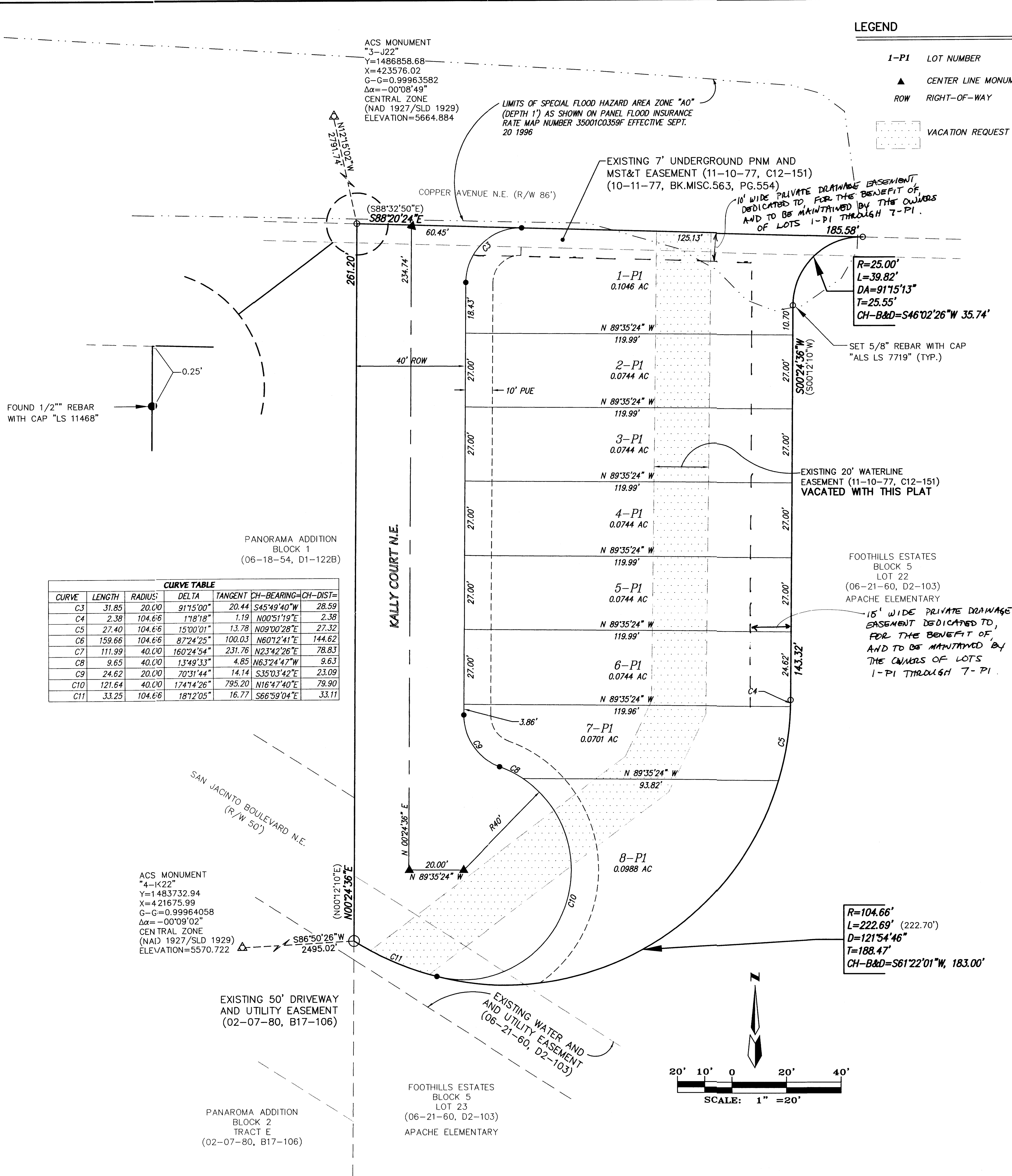
PURPOSE OF PLAT

- SUBDIVIDE 1 LOT INTO 8 RESIDENTIAL LOTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN
- GRANT NEW EASEMENTS AS SHOWN
- VACATE EASEMENTS AS SHOWN

OWNERS
HARVEST HOMES, LLC
Lowell Williams, Managing Member
P.O. BOX 92246 ALBUQUERQUE, N.M. 87199
(505) 269-8801

ENGINEERS
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR
ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990



LEGEND
1-P1 LOT NUMBER
▲ CENTER LINE MONUMENT
ROW RIGHT-OF-WAY
VACATION REQUEST

PRELIMINARY PLAT FOR
COPPER PARK SUBDIVISION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2004

PRELIMINARY PLAT
APPROVED BY DRB
ON 10/20/04

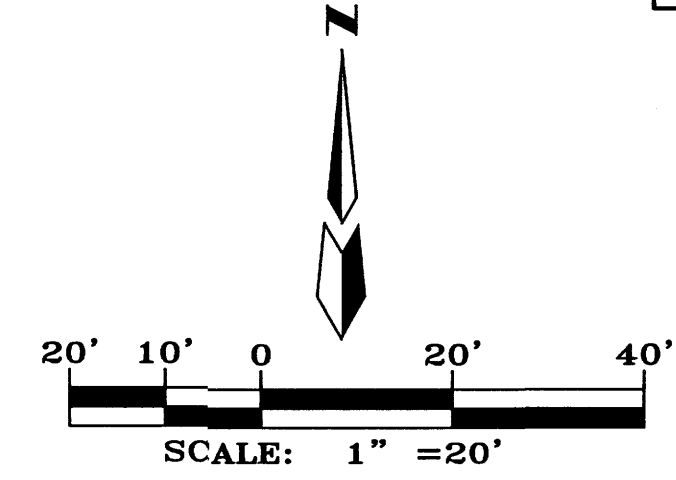
SUBDIVISION DATA
GROSS ACREAGE 0.9538 AC
ZONE ATLAS NO. K-22-Z
NO. OF LOTS CREATED 8 LOTS
NO. OF TRACTS ELIMINATED 1 TRACT
AREA DEDICATED TO CITY 0.0384 AC
DATE OF SURVEY JUNE 2004
ZONING R-T

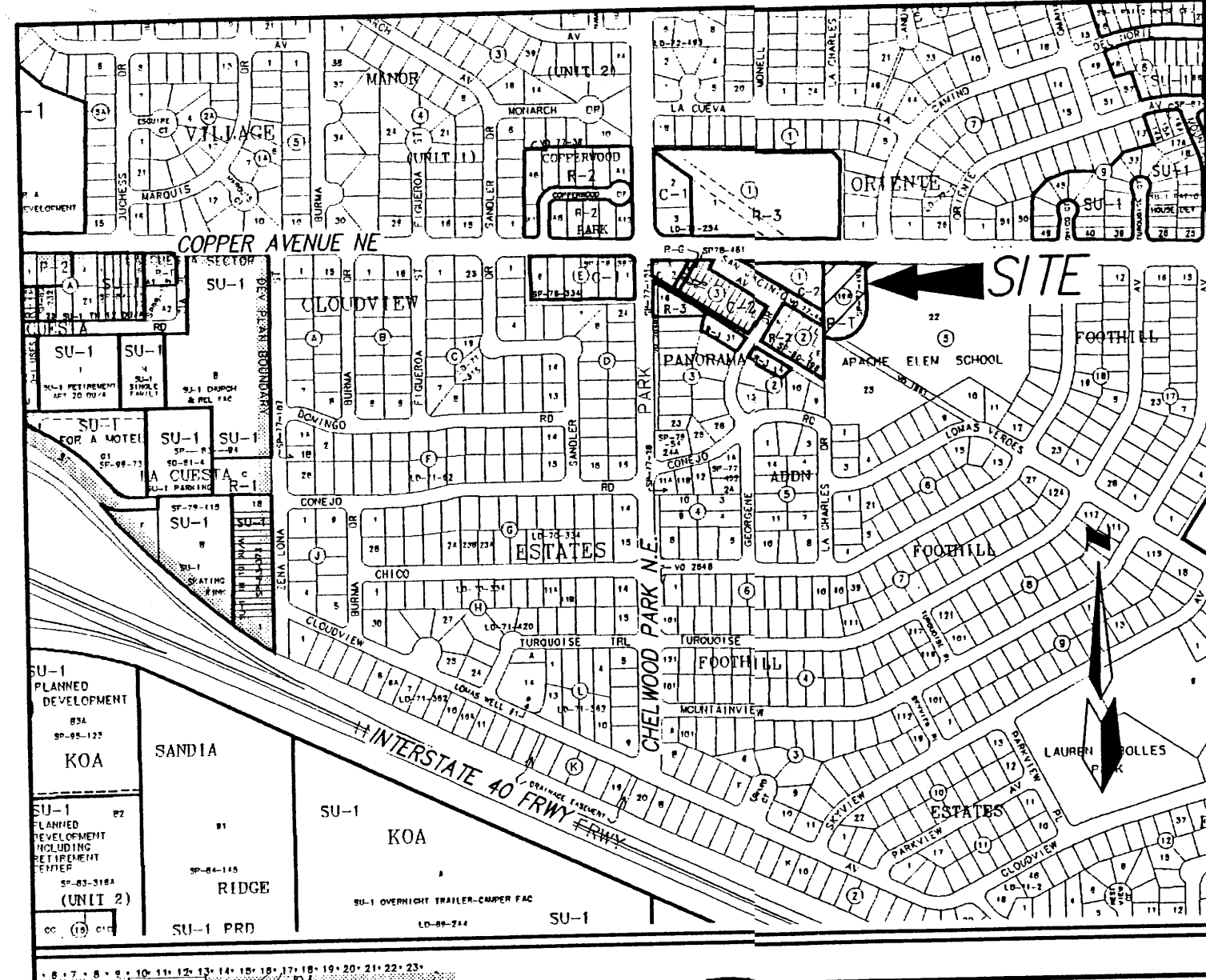
- NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#7719
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED: "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" "DO NOT DISTURB" PS#7719"
 - BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - ALL DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
 - FLOOD ZONE DESIGNATION: ZONE AO, PANEL 359 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 20, 1996.

APPROVED FOR MONUMENTATION AND STREET NAMES

PLB Hart
City Surveyor, City of Albuquerque, N.M. 9-23-04
Date

Owner: HARVEST HOMES, LLC
Lowell Williams
LOWELL WILLIAMS
Managing Member 9/23/04
DATE





ZONE ATLAS MAP # K-22-Z
SCALE: NONE

DESCRIPTION
A tract of land situate within Section 22, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of BLOCK 19-A, FOOTHILL ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 10, 1977 in Book C12, Page 151 and containing 0.9538 acres more or less.

PURPOSE OF PLAT

- SUBDIVIDE 1 LOT INTO 8 RESIDENTIAL LOTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN
- GRANT NEW EASEMENTS AS SHOWN
- VACATE EASEMENTS AS SHOWN

OWNERS

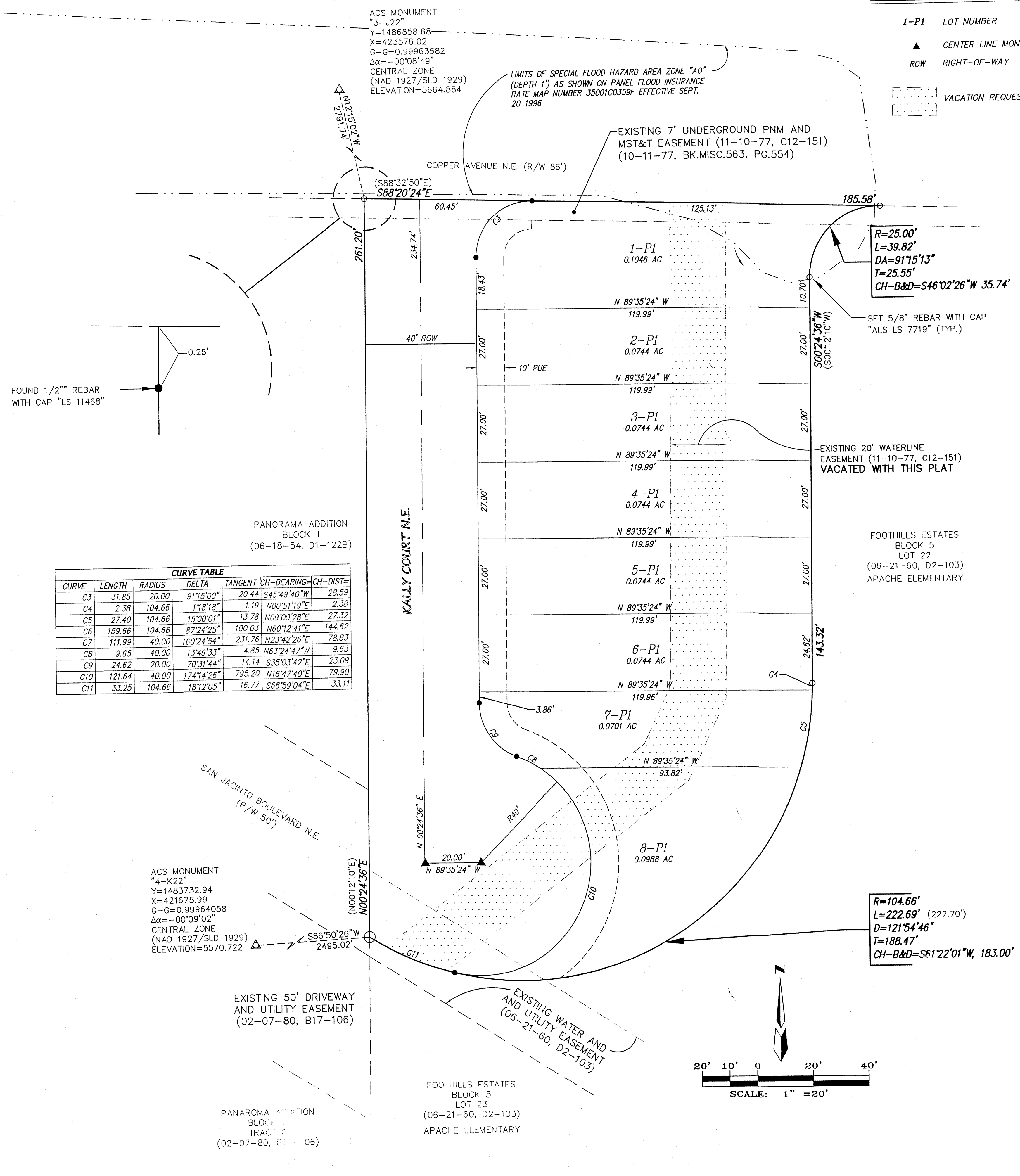
HARVEST HOMES, LLC
Lowell Williams, Managing Member
P.O. BOX 92246 ALBUQUERQUE, N.M. 87199
(505) 269-8801

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990



LEGEND

1-P1	LOT NUMBER
▲	CENTER LINE MONUMENT
ROW	RIGHT-OF-WAY
[Dotted Area]	VACATION REQUEST

PRELIMINARY PLAT FOR
COPPER PARK SUBDIVISION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2004

SUBDIVISION DATA

GROSS ACREAGE	0.9538 AC
ZONE ATLAS NO.	K-22-Z
NO. OF LOTS CREATED	8 LOTS
NO. OF TRACTS ELIMINATED	1 TRACT
AREA DEDICATED TO CITY	0.0384 AC
DATE OF SURVEY	JUNE 2004
ZONING	R-T

- NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#7719
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
PS#7719"
 - BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - ALL DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
 - FLOOD ZONE DESIGNATION: ZONE AO, PANEL 359 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 20, 1996.

APPROVED FOR MONUMENTATION AND STREET NAMES

City Surveyor, City of Albuquerque, N.M. _____ Date _____

Owner: HARVEST HOMES, LLC

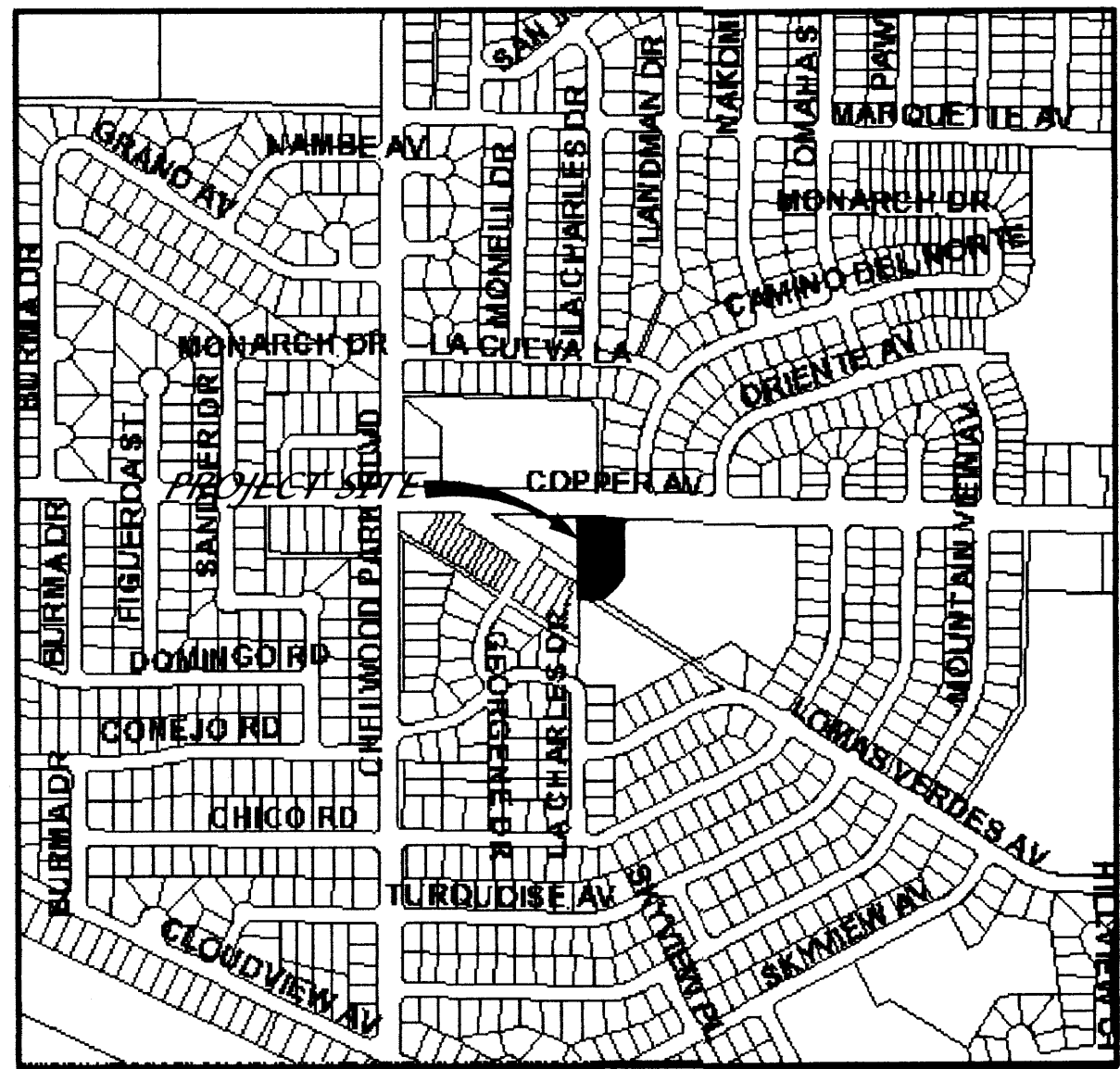
LOWELL WILLIAMS _____ DATE _____
Managing Member

VACATION EXHIBIT

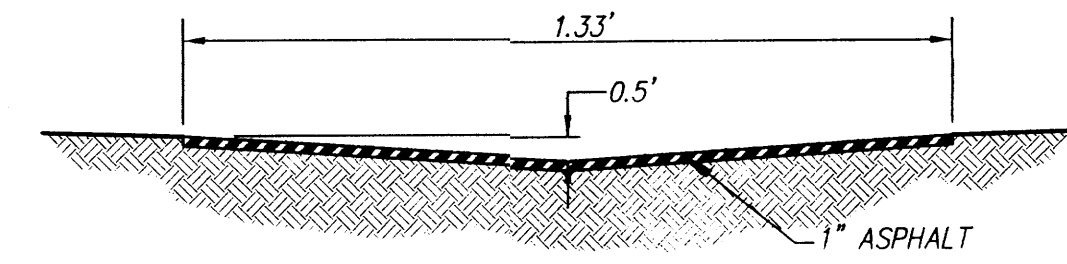
EXHIBIT B
10/20/04

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBUQUERQUE, N.M. 87190
505-884-1990

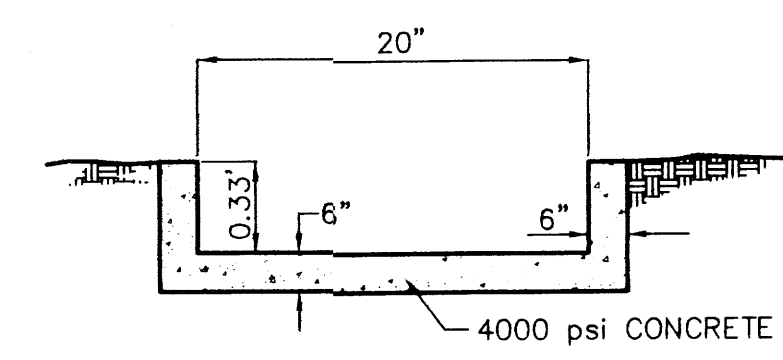
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Scale: 1" = 50'	Date: 09/20/04	Job: A04041	



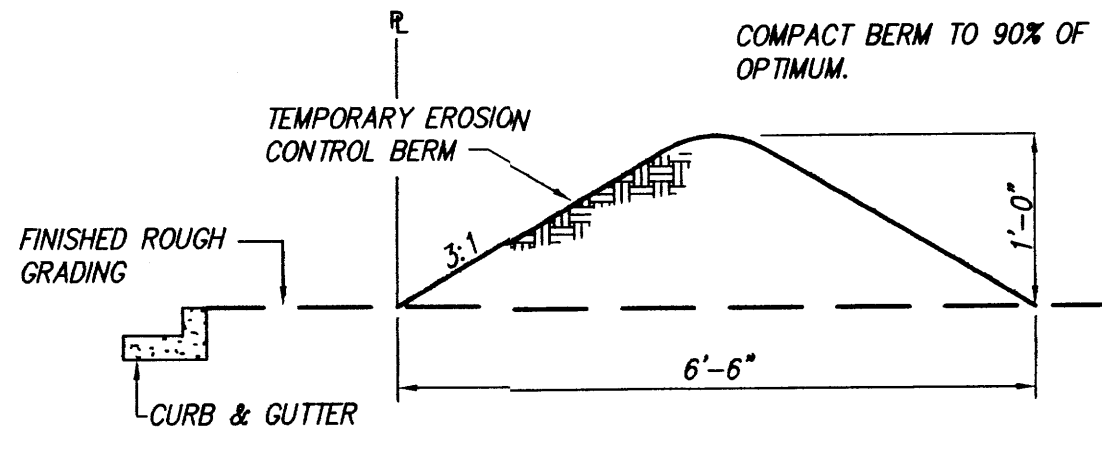
LOCATION MAP ZONE ATLAS H-10 SCALE: NONE



VALLEY GUTTER SECTION N.T.S.

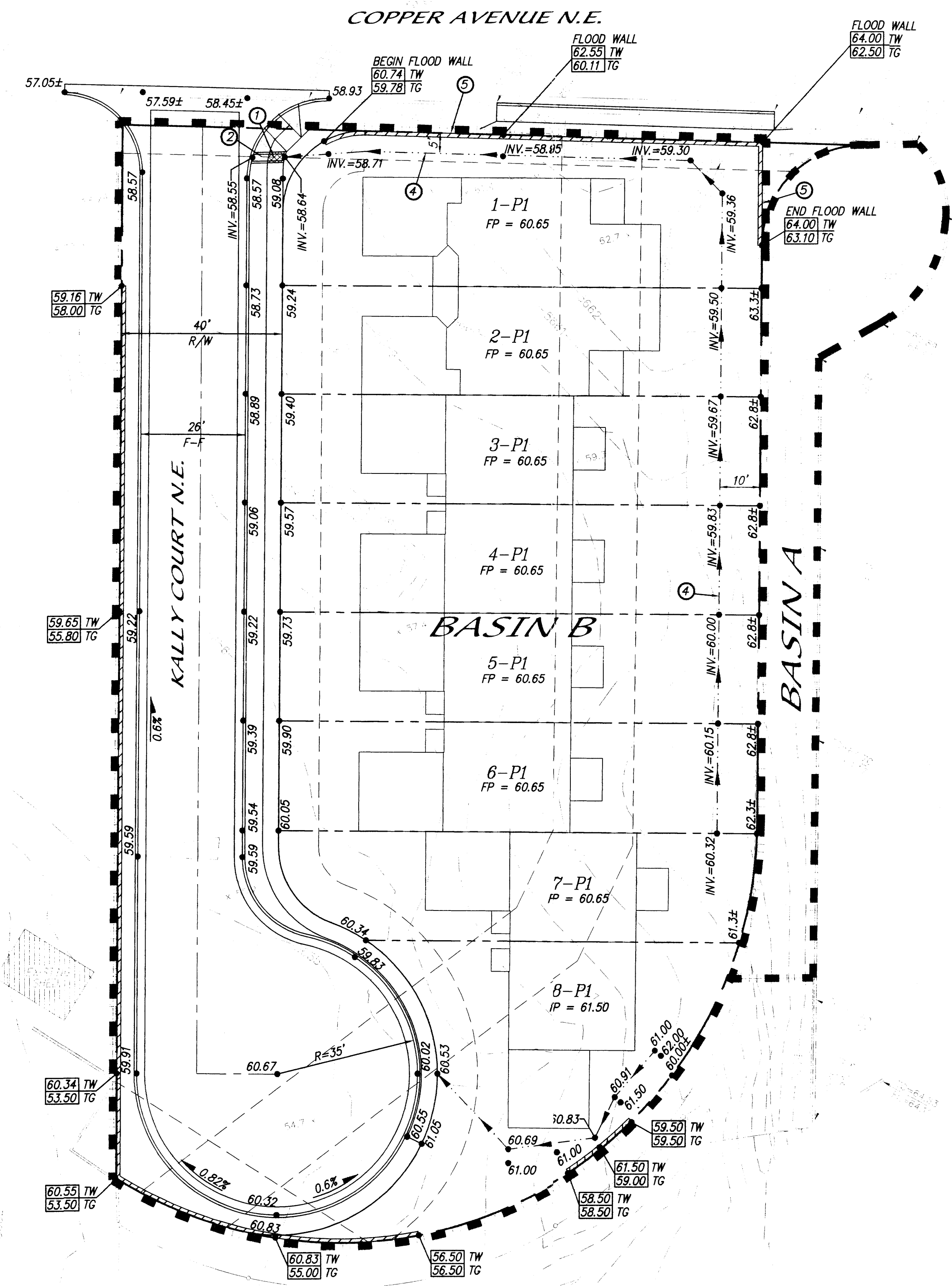


CONCRETE CHANNEL SECTION N.T.S.



EROSION CONTROL BERM DETAIL N.T.S.

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
 5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



- NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL RESOURCES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

- NOTES**
- EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - - - EXISTING TOP CURB ELEVATION
 - - - EXISTING FLOWLINE ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CONCRETE CURB
 - EXISTING CONCRETE/SIDEWALK
 - EXISTING WALL OR HEAD WALL
 - EXISTING SIGN
 - EXISTING CHAIN LINK FENCE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING TELEPHONE PEDESTAL
 - PROPOSED CURB & GUTTER
 - FP = 60.65 PROPOSED FINISHED PAD ELEVATION
 - INV.=60.00 PROPOSED INVERT ELEVATION
 - 59.90• PROPOSED SPOT ELEVATION
 - 60.83 TW PROPOSED TOP WALL ELEVATION
 - 55.00 TG PROPOSED TOP GROUND ELEVATION
 - 0.6% PROPOSED SLOPE
 - PROPOSED VALLEY GUTTER

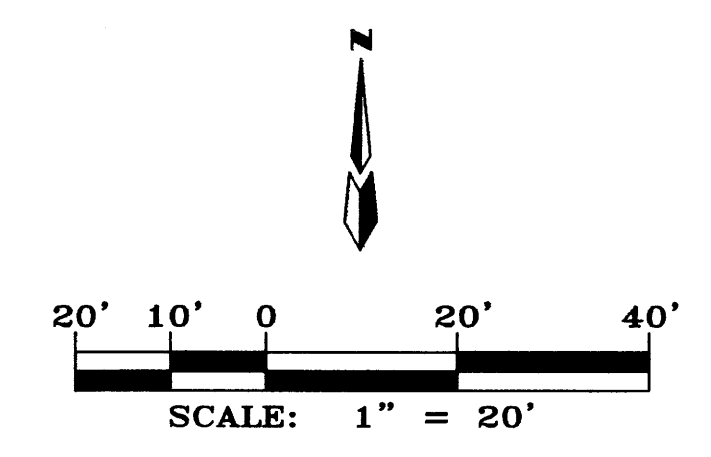
- KEYED NOTES**
- ① 20" WIDE SIDEWALK CULVERT PER C.O.A. STANDARD DWG #2236.
 - ② 20" WIDE X 0.33' HIGH CONCRETE CHANNEL PER DETAIL THIS SHEET.
 - ④ NEW VALLEY GUTTER PER DETAIL THIS SHEET.
 - ⑤ STRUCTURAL DESIGN OF FLOOD WALL BY OTHERS.
- SIDEWALK WAIVER AND DEFERRAL EXHIBITS DEFERRED SIDEWALK WAIVED SIDEWALK

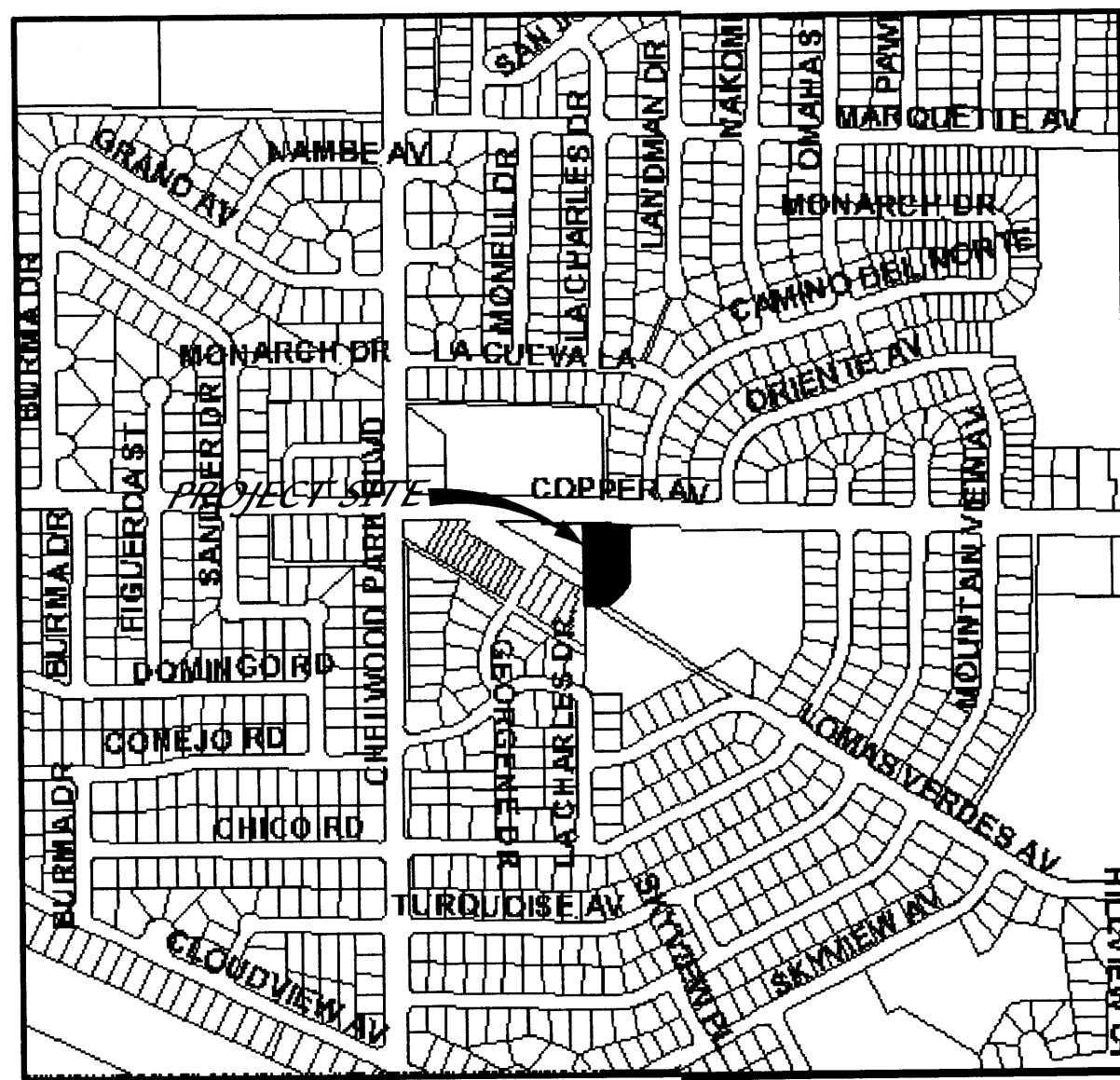
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

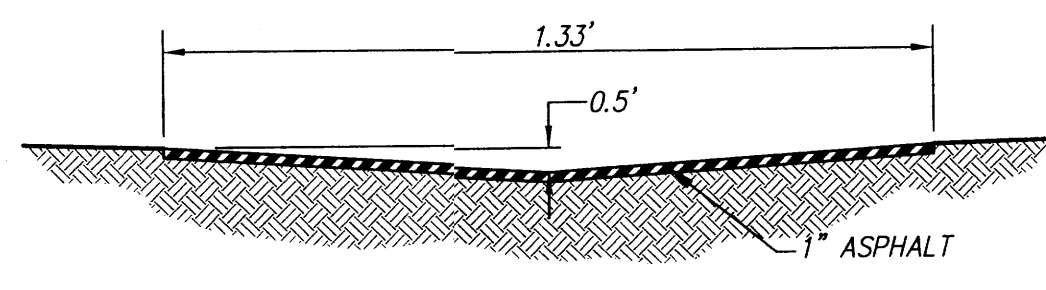
TITLE: **COPPER PARK SUBDIVISION GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	K-22-Z	1	1

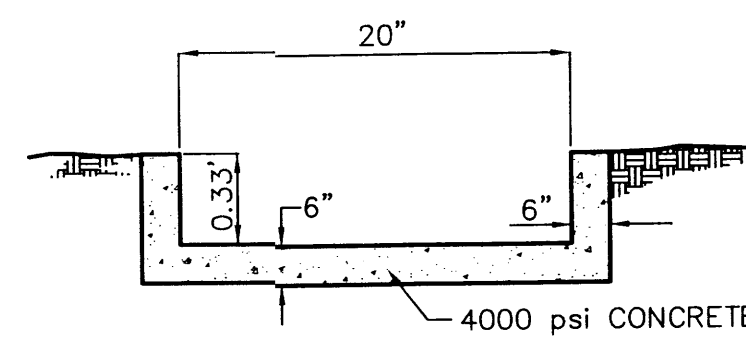




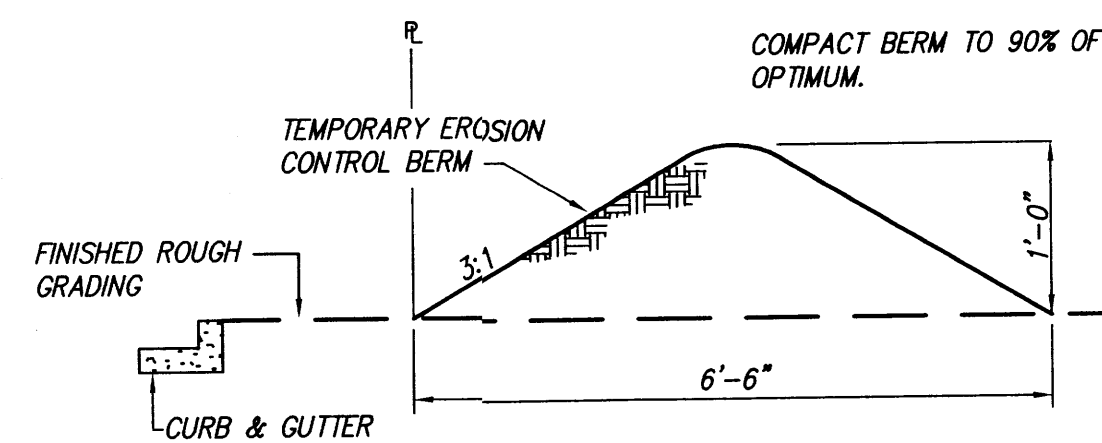
LOCATION MAP
ZONE ATLAS H-10
SCALE: NONE



VALLEY GUTTER SECTION
N.T.S.



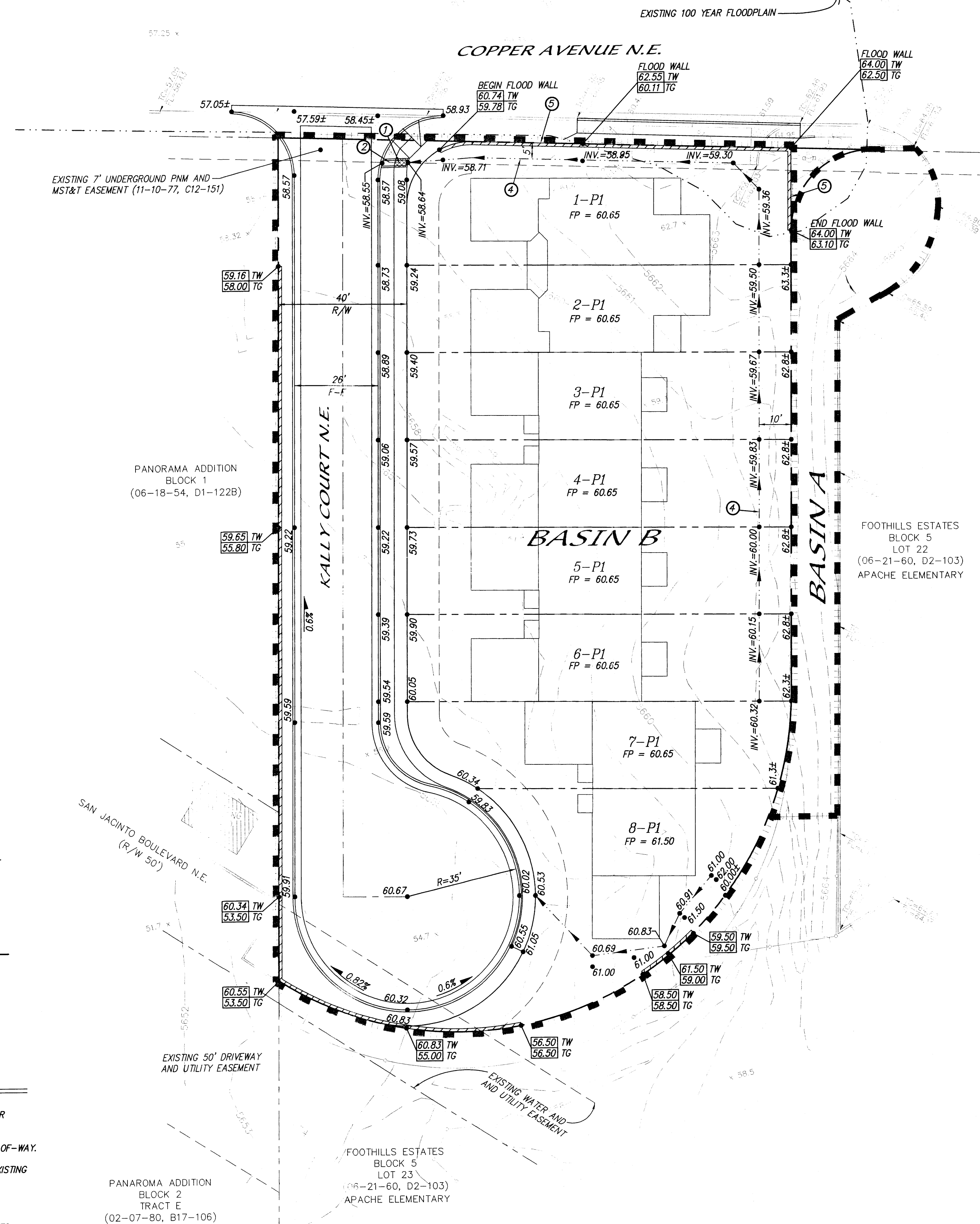
CONCRETE CHANNEL SECTION
N.T.S.



EROSION CONTROL BERM DETAIL
N.T.S.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
- ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

NOTES

- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING TOP CURB ELEVATION
- EXISTING FLOWLINE ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE CURB
- EXISTING CONCRETE/SIDEWALK
- EXISTING WALL OR HEAD WALL
- EXISTING SIGN
- EXISTING CHAIN LINK FENCE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING TELEPHONE PESTAL
- PROPOSED CURB & GUTTER
- FP = 60.65 PROPOSED FINISHED PAD ELEVATION
- INV.=60.00 PROPOSED INVERT ELEVATION
- 59.90 PROPOSED SPOT ELEVATION
- 60.83 TW 55.00 TG PROPOSED TOP WALL ELEVATION
- PROPOSED TOP GROUND ELEVATION
- 0.6% PROPOSED SLOPE
- PROPOSED VALLEY GUTTER

KEYED NOTES

- 20" WIDE SIDEWALK CULVERT PER C.O.A. STANDARD DWG #2236.
- 20" WIDE X 0.33' HIGH CONCRETE CHANNEL PER DETAIL THIS SHEET.
- NEW VALLEY GUTTER PER DETAIL THIS SHEET.
- STRUCTURAL DESIGN OF FLOOD WALL BY OTHERS.

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

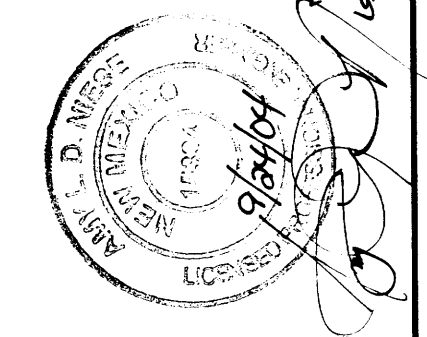
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **COPPER PARK SUBDIVISION GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	K-22-Z	1	1

DESIGNED BY: DMG DATE: 07/04
DRAWN BY: DER DATE: 07/04
CHECKED BY: DMG DATE: 07/04

AS BUILT INFORMATION	
CONTRACTOR	DATE
BENCH MARKS	
WORK STAKED BY	DATE
SURVEY INFORMATION	
FIELD NOTES	DATE
ENGINEER'S SEAL	



A12-151

NOTE: THIS PLAT IS BEING RE-FILED FOR THE PURPOSE OF CORRECTING THE WIDTH OF THE WATER LINE EASEMENT THAT WAS PREVIOUSLY SHOWN AS 30' WIDE TO A 20' WIDE EASEMENT.

77-6637

APPROVED: [Signature] DATE: 10/25/77
CITY OF ALBUQUERQUE - PROPERTY MANAGEMENT

APPROVED: [Signature]
BERNALILLO COUNTY MAPPING DEPT.

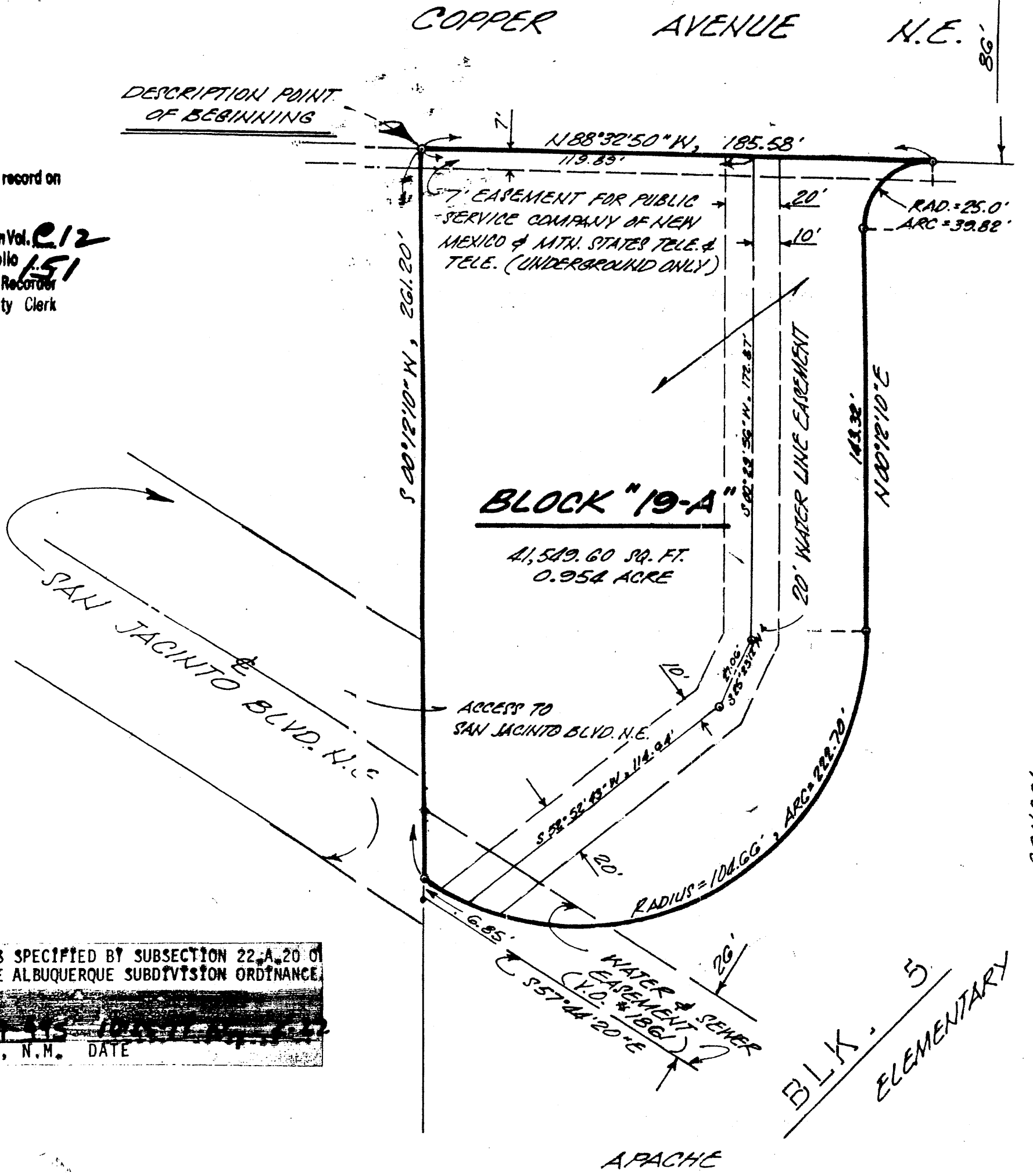
State of New Mexico
County of Bernalillo
This instrument was filed for record on
3:55 NOV 7 1977
At 10 o'clock p.m. Recorded in Vol. 112
of records of said County Folio 139
[Signature] Clerk

- CORRECTED -
- AMENDED -
SUMMARY PLAT
SHOWING
BLOCK 19-A
OF
FOOTHILL ESTATES
SUBDIVISION
ALBUQUERQUE, NEW MEXICO
OCTOBER, 1977
(AMENDED NOVEMBER 7, 1977)

State of New Mexico } ss
County of Bernalillo }
This instrument was filed for record on
1001 OCT 26 1977
At 10 o'clock p.m. Recorded in Vol. 112
of records of said County Folio 139
[Signature] Deputy Clerk

NOTE: RECORDED OR UNRECORDED EASEMENTS OTHER THAN SHOWN ON THE MAP HEREON ARE NOT COVERED BY THIS SURVEY PLAT.

State of New Mexico } ss
County of Bernalillo }
This instrument was filed for record on
NOV 10 1977
At 10 o'clock p.m. Recorded in Vol. 112
of records of said County Folio 151
[Signature] Clerk & Recorder
[Signature] Deputy Clerk



SCALE: 1" = 40'

APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY SUBSECTION 22-A.20 OF THE ALBUQUERQUE SUBDIVISION ORDINANCE.
[Signature]
PLANNING DIRECTOR, CITY OF ALBUQUERQUE, N.M. DATE

THE FOREGOING REPLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE CITY LIMITS OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; BEING IDENTIFIED AS ALL OF BLOCK NUMBERED NINETEEN (19) OF THE FOOTHILL ESTATES SUBDIVISION, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 21, 1960; TOGETHER WITH, ALL OF THAT VACATED PORTION OF SAN JACINTO AVENUE N.E., VACATED BY THE CITY OF ALBUQUERQUE, NEW MEXICO, ON THE 15th DAY OF SEPTEMBER, 1977, BY VACATION ORDINANCE NO. 77-29,
BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS SURVEY AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, SAID NORTHWEST CORNER BEING COMMON TO THE NORTHWEST CORNER OF SAID BLOCK NUMBERED NINETEEN (19), (A POINT ON THE SOUTHERLY LINE OF COPPER AVENUE N.E.); THENCE, LEAVING SAID BEGINNING POINT,
S 00° 12' 10" W, 261.20 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, A POINT OF CURVATURE ON THE SOUTHERLY LINE OF SAID VACATED SAN JACINTO AVENUE N.E.; THENCE,
NORTHEASTERLY, 222.70 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT ALONG THE SOUTHERLY LINE OF SAID VACATED SAN JACINTO AVE. N.E. (SAID CURVE BEING A RADIUS OF 104.66 FEET AND A CHORD WHICH BEARS N 61° 09' 40" E, 183.00 FEET DISTANCE) TO A POINT OF TANGENCY ON THE EASTERLY LINE OF SAID VACATED SAN JACINTO AVE. N.E.; THENCE,
N 00° 12' 10" E, 143.32 FEET DISTANCE ALONG THE EASTERLY LINE OF VACATED SAN JACINTO AVE. N.E. TO A POINT OF CURVATURE; THENCE,
NORTHEASTERLY, 39.82 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT ALONG SAID EASTERLY LINE OF VACATED SAN JACINTO AVE. N.E. (SAID CURVE BEING A RADIUS OF 25.00 FEET AND A CHORD WHICH BEARS N 45° 50' 00" E, 35.74 FEET DISTANCE) TO A POINT OF TANGENCY ON THE AFOREMENTIONED SOUTHERLY LINE OF COPPER AVENUE N.E., THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE,
N 88° 32' 50" W, 185.58 FEET DISTANCE ALONG SAID SOUTHERLY LINE OF COPPER AVENUE N.E. TO THE NORTHWEST CORNER, THE POINT AND PLACE OF BEGINNING OF THE TRACT HEREIN DESCRIBED, AND CONTAINING 41,549.60 SQUARE FEET, MORE OR LESS.

SURVEYED, REPLATTED, AND NOW BEING IDENTIFIED AS BLOCK 19-A, OF THE FOOTHILL ESTATES SUBDIVISION, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, WITH THE FREE CONSENT OF, AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE DESIGNATED OWNER(S) AND PROPRIETOR(S); THEREOF.
[Signature] E.H. CRAVEN
[Signature] GARNETTE CRAVEN, HIS WIFE



I, D.T. MORRISON, NEW MEXICO REGISTERED LAND SURVEYOR NO. 1010, DO HEREBY CERTIFY THAT THE MAP AND SURVEY SHOWN ON THE PLAT HEREON WAS PREPARED BY ME OR UNDER MY SUPERVISION, AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY BELIEF AND KNOWLEDGE.
[Signature]
D.T. MORRISON, NEW MEXICO REGISTERED LAND SURVEYOR NO. 1010

STATE OF NEW MEXICO } ss
COUNTY OF BERNALILLO }
ON THIS 27th DAY OF OCTOBER, 1977, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED.

MY COMMISSION EXPIRES: November 22, 1980
NOTARY PUBLIC [Signature]



PREPARED BY: D.T. MORRISON-SURVEYOR, INC.
ALBUQUERQUE, NEW MEXICO

A12-151

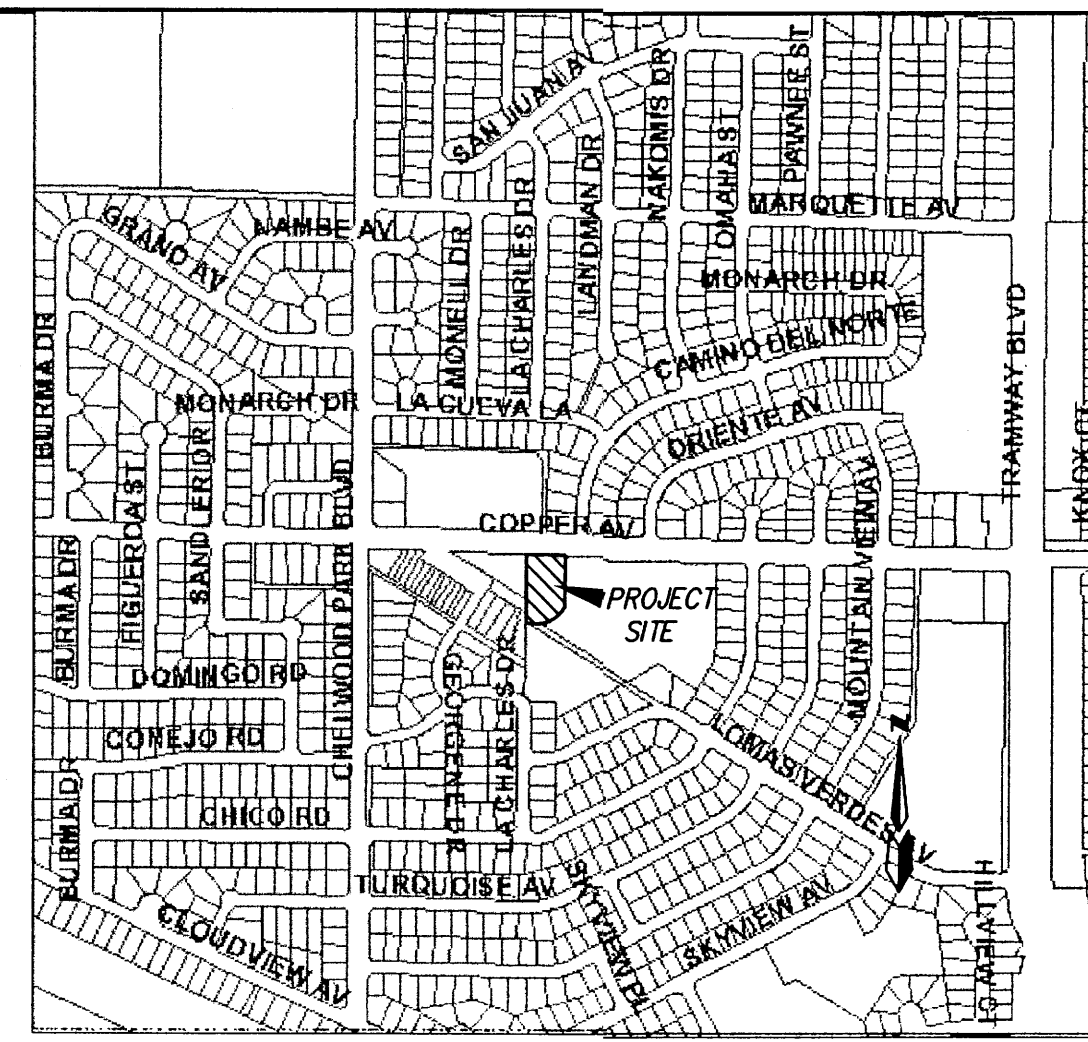
101-151

(0-593-1)

SKETCH PLAT

LOT 19A, FOOTHILL ESTATES

WITHIN THE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2004



LOCATION MAP

ZONE ATLAS K-22
SCALE: NONE

LEGAL DESCRIPTION

LOT 19A FOOTHILL ESTATES, WITHIN THE CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO.

SUBDIVISION DATA

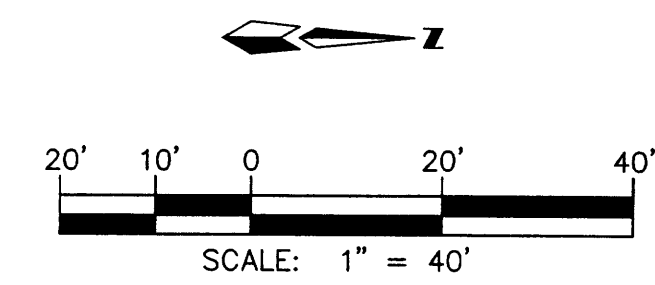
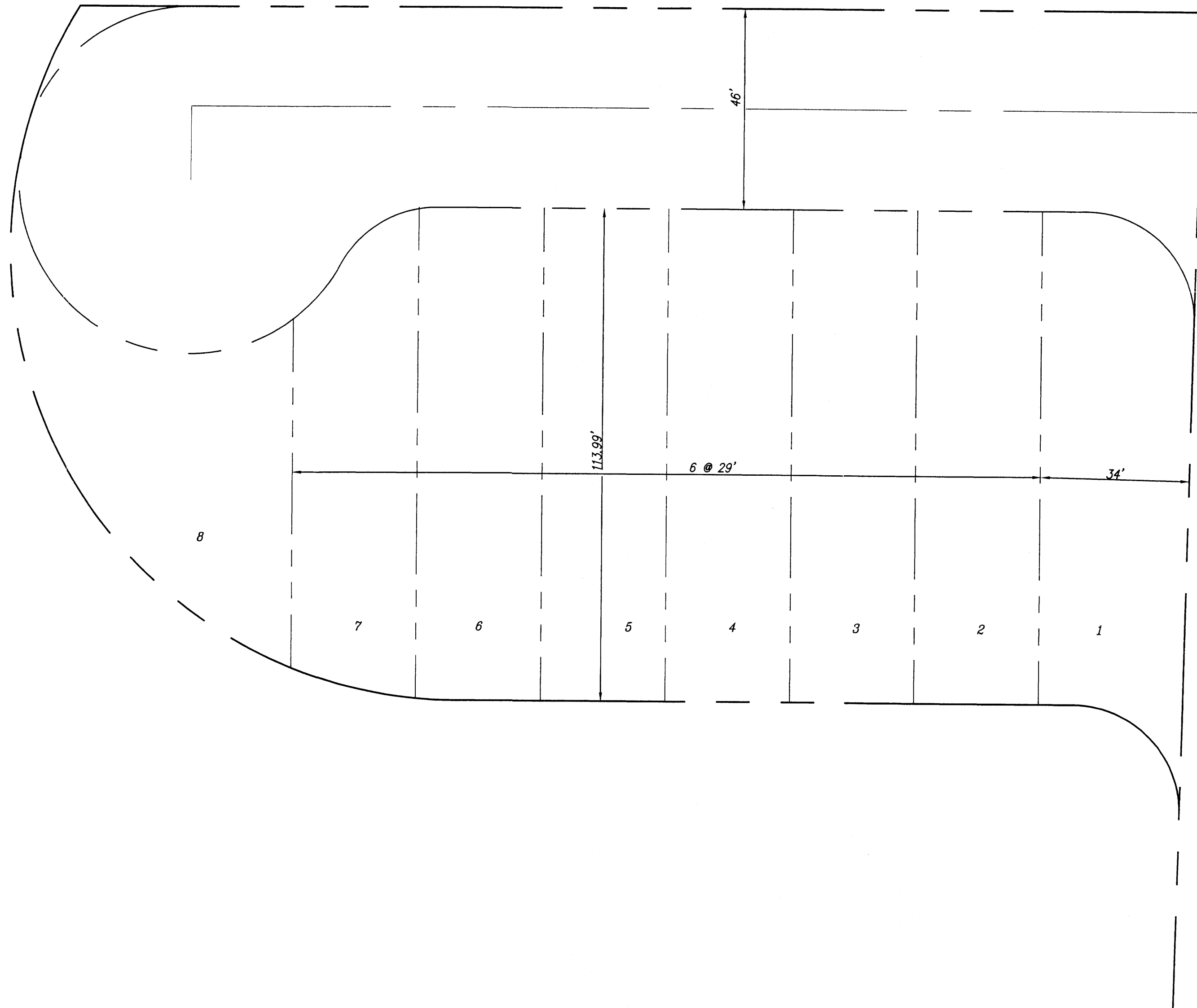
GROSS ACREAGE	0.9539 AC
ZONE ATLAS NO.	K-22-Z
NO. OF EXISTING TRACTS	1
NO. OF TRACTS/LOTS CREATED	8
NO. OF TRACTS ELIMINATED	1
ZONING	R-T


OWNERS

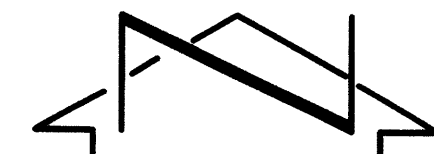
STV INVESTMENTS, LLC
1015 TIJERAS NW, SUITE 210
ALBUQUERQUE, N.M. 87102
(505) 338-2286

ENGINEERS

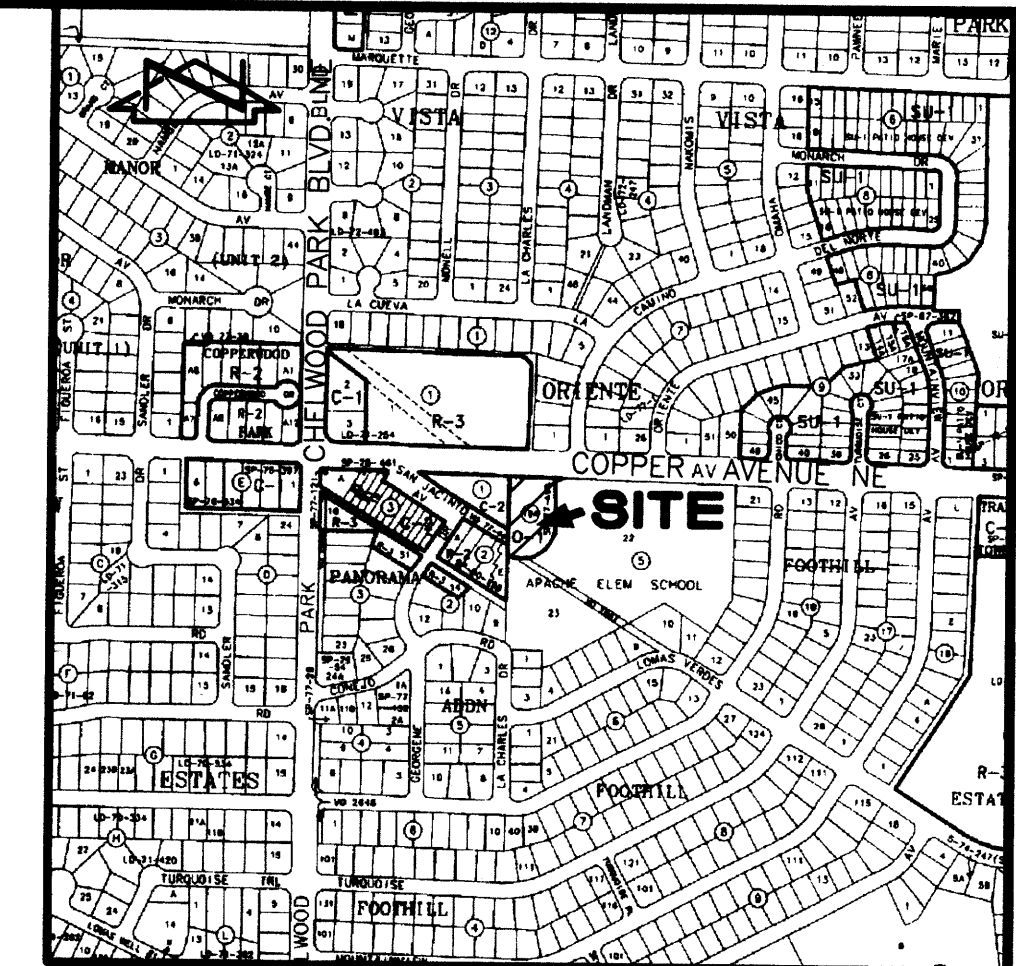
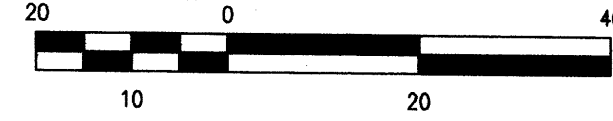
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200



COPPER PARK			
SKETCH PLAT			
 MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: DMG	Drawn: KJS	Checked: DMG	Sheet J of J
Scale: 1" = 20'	Date: 05-17-04	Job: A04041	



SCALE: 1" = 20'



VICINITY MAP
SCALE: 1" = 750'

K-22

COPPER AVENUE N.E.

(86' R.O.W.)

PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE. AREA = 0.3018 ACRES ±.

BLOCK 1
PANORAMA ADDITION
(FILED 06-18-1954, D1-122B)

COPPER PARK COURT N.E.

(40' R.O.W.)

SAN JACINTO BOULEVARD N.E.

(50' R.O.W.)

LOT 22, BLOCK 5
FOOTHILL ESTATES
(FILED 06-21-1960, D2-103)
APACHE ELEMENTARY SCHOOL

LOT 23, BLOCK 5
FOOTHILL ESTATES
(FILED 06-21-1960, D2-103)
APACHE ELEMENTARY SCHOOL

KEYED NOTES

VACATED EASEMENTS

- ① 20' WATERLINE EASEMENT GRANTED BY PLAT C12-151, TO BE VACATED BY THIS REQUEST
- ② UTILITY EASEMENTS RETAINED BY VACATION OF SAN JACINTO AVENUE, V-77-29, TO BE VACATED BY THIS REQUEST
- ③ 20' A.T.&T. EASEMENT GRANTED BY PLAT D2-103, TO BE VACATED BY THIS REQUEST

NEW EASEMENTS

- ④ 10' PUBLIC UTILITY EASEMENT, TO BE GRANTED BY FORTHCOMING PLATTING ACTION
- ⑤ CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER AND WATERLINE EASEMENT, TO BE GRANTED BY FORTHCOMING PLATTING ACTION????

EXISTING EASEMENTS

- ⑥ 7' P.N.M. AND M.S.T.&T. UNDERGROUND EASEMENT GRANTED BY PLAT C12-151
- ⑦ 28' PUBLIC UTILITY LINES, SEWER AND WATER LINES EASEMENT RETAINED BY COMMISSION ORDINANCE No. 1861 (V-312)

EXISTING EASEMENTS - OFFSITE

- ⑧ 50' DRIVEWAY AND UTILITY EASEMENT DEPICTED ON PLAT B17-106
- ⑨ RIGHT-OF-WAY VACATED BY V-77-44, EASEMENTS RETAINED, REPLATTED BY PLAT C13-26
- ⑩ 20' A.T.&T. EASEMENT GRANTED BY PLAT D2-103

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA
C1	25.00'	39.82'	35.74'	S 45°50'00" W	91°15'13"
C2	104.66'	222.69'	183.00'	N 61°09'35" E	121°54'46"

THE PURPOSE OF THIS REQUEST IS TO CREATE LOTS 1 THROUGH 11, DEDICATE THE PUBLIC STREET RIGHT-OF-WAY, DEMONSTRATE THE GRANTING OF EASEMENTS, VACATE THE PUBLIC UTILITY EASEMENTS RETAINED BY V-77-29, VACATE THE A.T.&T. EASEMENT AND VACATE THE PUBLIC WATERLINE EASEMENT AS SHOWN ON THIS DRAWING

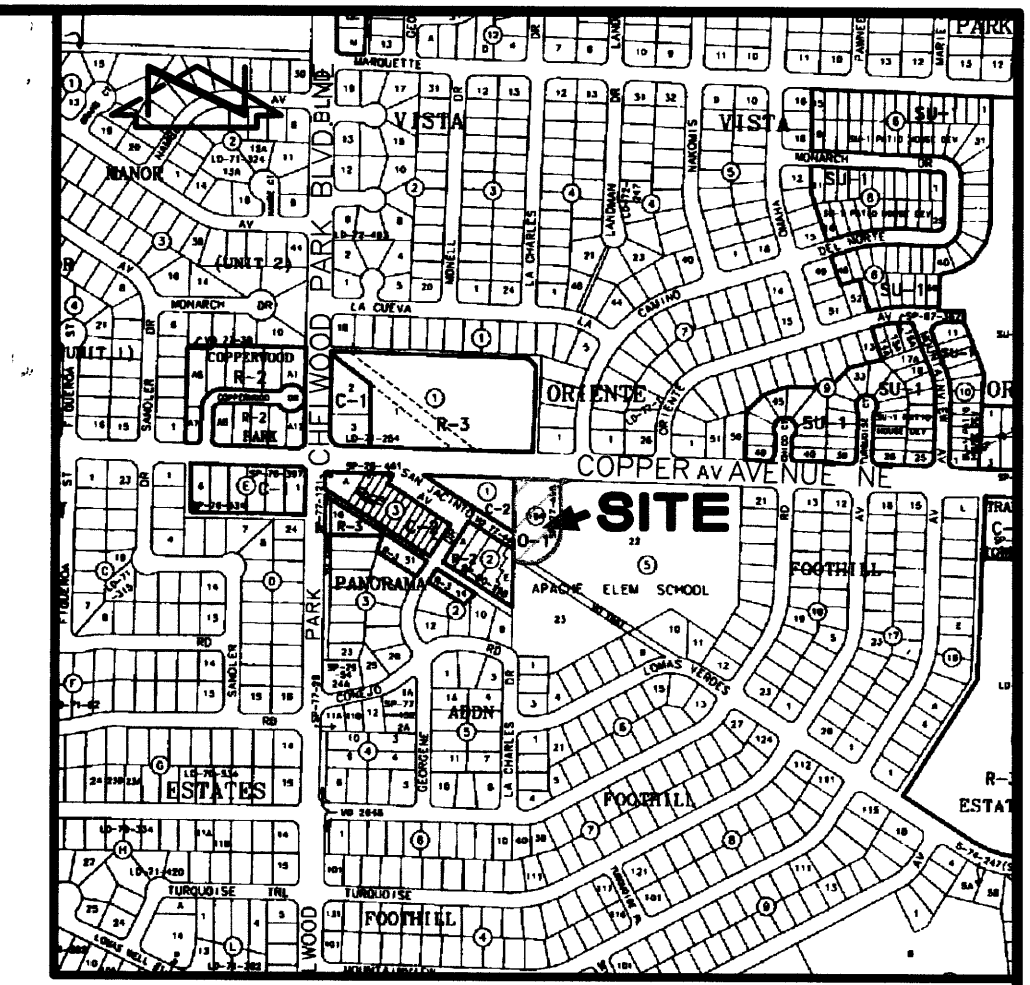


JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD., N.E.
 ALBUQUERQUE, N.M. 87109
 ENGINEERS SURVEYORS (505) 345-4250

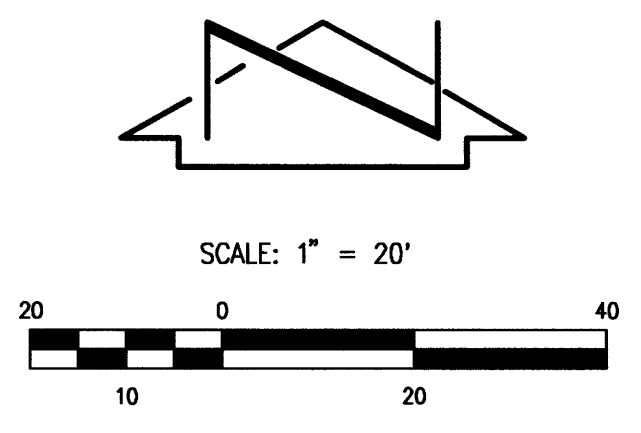
SKETCH PLAT AND VACATION REQUEST LOTS 1 - 11, COPPER PARK

SURVEYED BY JMA	NO.	DATE	BY	REVISIONS		JOB NO. 2002.084.2
						DATE 02-2003
						SHEET 1 OF 1
DRAWN BY T.N.T.						
APPROVED BY C.G.C.						

File Path: \\JMA\WORK\2002\02-25-2003
 File Name: 20842SKETCH.DWG | Plot Time: 10:21 am



VICINITY MAP
SCALE: 1" = 750'



COPPER AVENUE N.E.
(86' R.O.W.)

PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE AREA = 0.3018 ACRES ±.

BLOCK 1
PANORAMA ADDITION
(FILED 06-18-1954, D1-122B)

COPPER PARK COURT N.E.
(40' R.O.W.)

SAN JACINTO BOULEVARD N.E.
(50' R.O.W.)

LOT 22, BLOCK 5
FOOTHILL ESTATES
(FILED 06-21-1960, D2-103)
APACHE ELEMENTARY SCHOOL

LOT 23, BLOCK 5
FOOTHILL ESTATES
(FILED 06-21-1960, D2-103)
APACHE ELEMENTARY SCHOOL

KEYED NOTES

VACATED EASEMENTS

- ① 20' WATERLINE EASEMENT GRANTED BY PLAT C12-151, TO BE VACATED BY THIS REQUEST
- ② UTILITY EASEMENTS RETAINED BY VACATION OF SAN JACINTO AVENUE, V-77-29, TO BE VACATED BY THIS REQUEST
- ③ 20' A.T.&T. EASEMENT GRANTED BY PLAT D2-103, TO BE VACATED BY THIS REQUEST

NEW EASEMENTS

- ④ 10' PUBLIC UTILITY EASEMENT, TO BE GRANTED BY FORTHCOMING PLATTING ACTION
- ⑤ CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER AND WATERLINE EASEMENT, TO BE GRANTED BY FORTHCOMING PLATTING ACTION????

EXISTING EASEMENTS

- ⑥ 7' P.N.M. AND M.S.T.&T. UNDERGROUND EASEMENT GRANTED BY PLAT C12-151
- ⑦ 26' PUBLIC UTILITY LINES, SEWER AND WATER LINES EASEMENT RETAINED BY COMMISSION ORDINANCE No. 1861 (V-312)
- ⑧ 50' DRIVEWAY AND UTILITY EASEMENT DEPICTED ON PLAT B17-106
- ⑨ RIGHT-OF-WAY VACATED BY V-77-44, EASEMENTS RETAINED, REPLATTED BY PLAT C13-26
- ⑩ 20' A.T.&T. EASEMENT GRANTED BY PLAT D2-103

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA
C1	25.00'	39.82'	35.74'	S 45°00'00" W	91°15'13"
C2	104.66'	222.69'	183.00'	N 61°09'35" E	121°54'46"

EXHIBIT B
3/24/03

THE PURPOSE OF THIS REQUEST IS TO CREATE LOTS 1 THROUGH 11, DEDICATE THE PUBLIC STREET RIGHT-OF-WAY, DEMONSTRATE THE GRANTING OF EASEMENTS, VACATE THE PUBLIC UTILITY EASEMENTS RETAINED BY V-77-29, VACATE THE A.T.&T. EASEMENT AND VACATE THE PUBLIC WATERLINE EASEMENT AS SHOWN ON THIS DRAWING

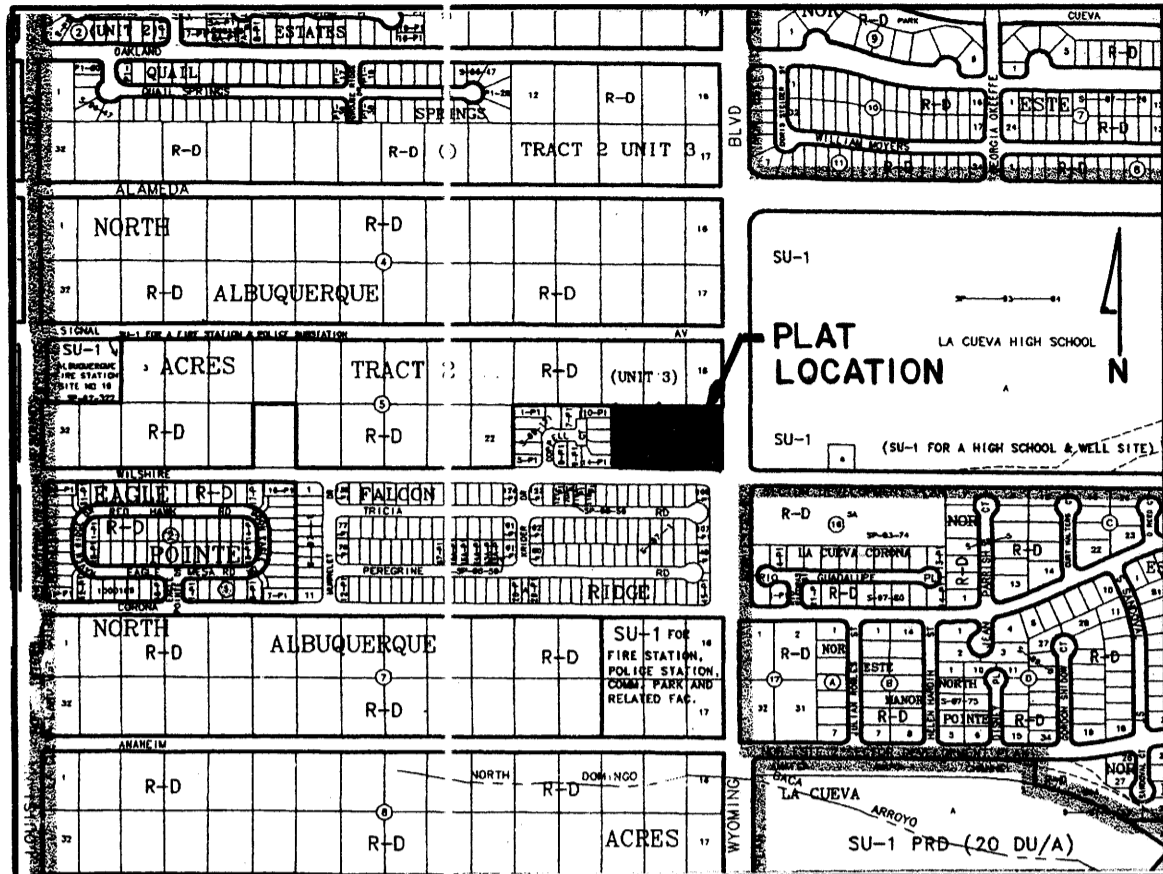
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File Name: 208425\SKETCH.DWG Plot Date: 02-25-2003 Plot Time: 10:21 am



JEFF MORTENSEN & ASSOCIATES, INC.
6012-B NEWWAY PARK, BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (SIC) 345-4250

SKETCH PLAT AND VACATION REQUEST
LOTS 1 - 11, COPPER PARK

SURVEYED BY	DATE	BY	REVISIONS		JOB NO.
			NO.	DATE	
JMA					2002.084.2
T.N.T.					DATE 02-2003
C.G.C.					SHEET 1 OF 1



LOCATION MAP 1" = 750' C-19-Z

PURPOSE OF PLAT

1. To grant 10' public utility easement as shown hereon.
2. To grant 15' C.O.A. public waterline easement as shown hereon.
3. To create Lots 1-P1 through 14-P1 as shown hereon.
4. To eliminate lot lines as shown hereon.
5. To dedicate street right-of-way to the C.O.A. as shown hereon.

SUBDIVISION DATA

1. Project No.: Application No.:
2. Zone Atlas Index No.: C-19-Z
3. Total Number of Existing Lots: 2
4. Total Number of Existing Tracts: 1
5. Total Number of Lots created: 14
6. Total Number of Tracts created: 0
7. Gross Subdivision Acreage: 2.6567 Ac.
8. Total Mileage of Full Width Streets Created: 0.0621
9. Total Mileage of Half Width Streets Created: 0

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats (and documents) of record entitled:
 PLAT OF "NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3", (09-10-31, D1-20)
 PLAT OF "COPPELL SUBDIVISION", (12-30-99, 99C-348)
 PLAT OF "COPPELL SUBDIVISION, TRACT A", (11-23-99, 99C-321)
 all being records of Bernalillo County, New Mexico.
5. Field Survey performed October, 2002.
6. Address of Property: None provided.
7. City of Albuquerque, New Mexico Zone: R-D
8. Title Report: None provided.
9. Utility Council Location System Log No.: 2003171873
10. Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monument", "Do Not Disturb", "PLS # 7719".
11. 2400 Sq. Ft. of open usable space shall be provided on each lot.
12. Unless otherwise noted all corners are set 5/8" rebar with cap marked "ALS LS 7719".

DESCRIPTION

A tract of land situate within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 17 and 18, BLOCK 5, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 together with all of TRACT A, COPPELL SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 23, 1999 in Volume 99C, Folio 321 and containing 2.6567 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance, and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgear, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owners and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the creating of Lots 1-P1 thru 14-P1 as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways to the City of Albuquerque in fee simple or in fee simple with warranty covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby consent that this subdivision is their free act and deed.

Owner(s): Treviso Subdivision
Esmail Haidari May 22, 03
 Esmail Haidari DATE

STATE OF NEW MEXICO)
 BERNALILLO COUNTY)
 This instrument was acknowledged before me on May 22, 2003 by Esmail Haidari, Owner Treviso Subdivision.
[Signature] 8-23-2003
 Notary Public My Commission Expires

**PLAT FOR
 TREVISO SUBDIVISION
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2003**

PROJECT NUMBER: 1002335
 Application Number: _____
 PLAT APPROVAL **FINAL**
 Utility Approvals:

PNM Electric Services Division _____ Date
 PNM Gas Services Division _____ Date
 Qwest Telecommunications _____ Date
 Comcast _____ Date

City Approval: *[Signature]* **5-27-03**
 City Surveyor _____ Date

Real Property Division _____ Date
 Environmental Health Department _____ Date
 Traffic Engineering, Transportation Division _____ Date
 Utilities Development _____ Date
 Parks and Recreation Department _____ Date
 AMAFCA _____ Date
 City Engineer _____ Date
 DRB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."
[Signature] 05-27-03
 Timothy Aldrich, P.S. No. 7719 Date



Drawn By:	RJA	Date:	05-06-03
Checked By:	TA	Drawing Name:	98001PT3.DWG
Job No.:	98-001	Sheet:	1 of 2

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
TREVISO SUBDIVISION
 WITHIN THE
ELENA GALLEGOS GRANT
 PROJECTED SECTION 18
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2003

CURVE	LENGTH	DE TA	RADIUS	TANGENT	DIRECTION	CHORD
C1	78.54'	90°0'00"	50.00'	50.00'	N45°14'54"E	70.71'
C2	47.17'	90°0'49"	30.00'	30.05'	N45°11'59"E	42.46'
C3	32.08'	91°54'37"	20.00'	20.68'	N44°17'36"E	28.75'
C4	16.04'	91°54'37"	10.00'	10.34'	N44°17'36"E	14.38'
C5	15.71'	90°0'00"	10.00'	10.00'	S44°45'06"E	14.14'
C6	15.71'	90°0'00"	10.00'	10.00'	S45°14'54"W	14.14'
C7	7.74'	44°13'53"	10.00'	4.07'	N22°24'20"E	7.54'
C8	7.97'	45°41'07"	10.00'	4.21'	N67°24'20"E	7.76'
C9	14.03'	80°24'21"	10.00'	8.45'	N49°32'55"W	12.91'
C10	28.07'	80°24'21"	20.00'	16.90'	N49°32'55"W	25.82'
C11	43.98'	90°0'00"	28.00'	28.00'	S45°14'54"W	39.60'
C12	39.27'	90°0'00"	25.00'	25.00'	S44°45'06"E	35.36'
C13	39.31'	90°0'56"	25.00'	25.04'	N45°11'56"E	35.39'

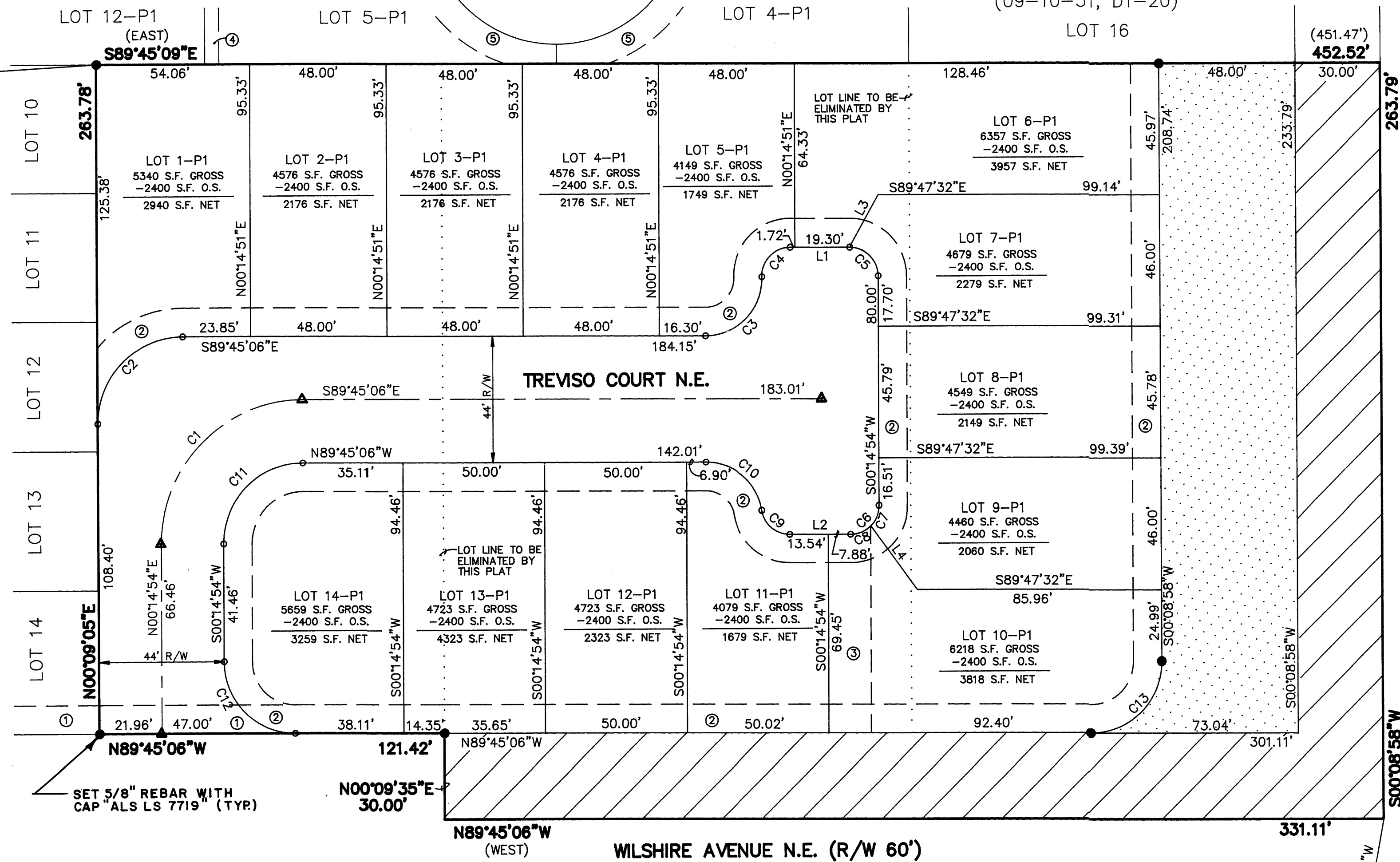
LINE	DIRECTION	DISTANCE
L1	S89°45'06"E	21.02'
L2	S89°45'06"E	21.42'
L3	N29°08'17"E	20.90'
L4	S35°46'23"E	27.81'

DESERT RIDGE AT
 LA CUEVA SUBDIVISION
 (12-23-02, 02C-408)

NORTH ALBUQUERQUE ACRES
 TRACT 2, UNIT 3, BLOCK 5
 (09-10-31, D1-20)

ACS MONUMENT
 "9-C18"
 Y=1521435.09
 X=402255.61
 G-G=0.9996608
 Δα=-00°11'19"
 CENTRAL ZONE
 (NAD 1927)

COPPELL SUBDIVISION
 (12-30-99, 99C-348)



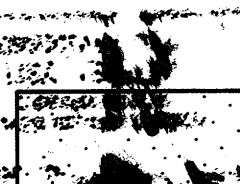
WYOMING BOULEVARD N.E. (156' R/W)

EASEMENTS

- ① EXISTING 10' PUBLIC UTILITY EASEMENT (12-30-99, 99C-348)
- ② 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)
- ③ 15' C.O.A. PUBLIC WATERLINE EASEMENT (GRANTED BY THIS PLAT)
- ④ EXISTING 7' PRIVATE DRAINAGE EASEMENT (12-23-02, 02C-408)
- ⑤ EXISTING 10' PUE (12-23-02, 02C-408)



(HATCHED AREA)
 STREET RIGHT-OF-WAY
 DEDICATED TO THE CITY
 OF ALBUQUERQUE BY
 THIS PLAT, IN FEE SIMPLE
 (0.3890 Ac.)



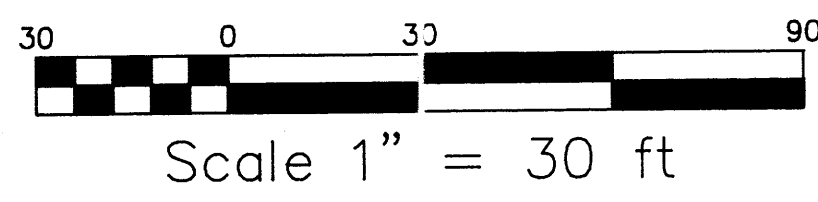
(HATCHED AREA)
 STREET RIGHT-OF-WAY
 DEDICATED TO THE CITY
 OF ALBUQUERQUE BY
 THIS PLAT, IN FEE SIMPLE
 WITH WARRANTY COVENANTS.
 (0.2607 Ac.)

[Signature]
 05-02-03

NGS MONUMENT
 "HEAVEN"
 Y=1518737.03
 X=407051.31
 G-G=0.99965263
 Δα=-00°10'45"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5375.62



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



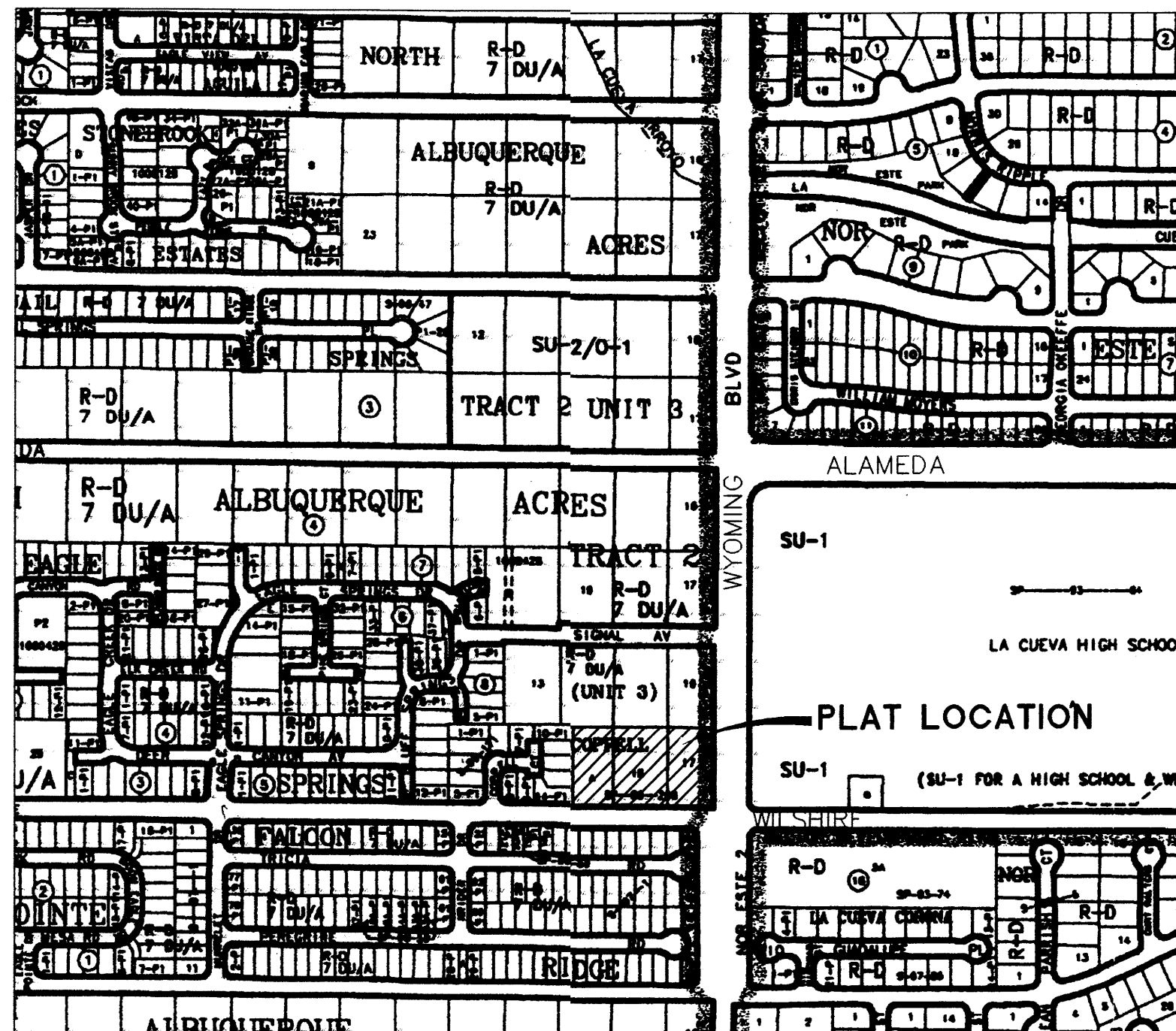
Drawn By:	RJA	Date:	05-06-03
Checked By:	TA	Drawing Name:	98001PT3.DWG
Job No.:	98-001	Sheet:	2 of 2

PRELIMINARY PLAT FOR TREVISO SUBDIVISION

TRACT A, LOTS 17 and 18
BLOCK 5
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

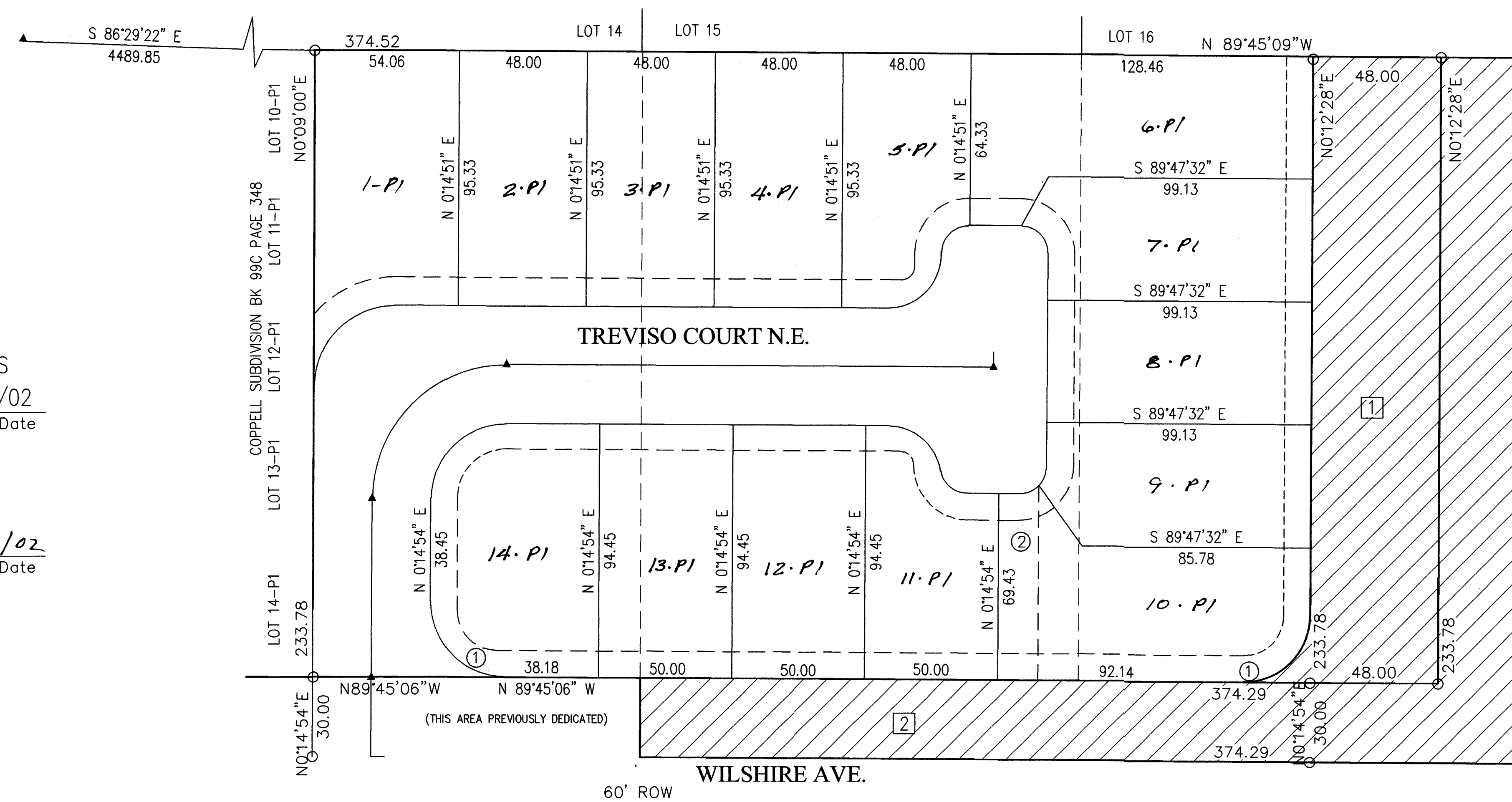
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
DECEMBER, 2002

PRELIMINARY PLAT
APPROVED BY DTD
ON 12/18/02



LOCATION MAP ZONE MAP C-19-Z

GROUND TIE
ACS MONUMENT
9-C18
Y=1521435.09
X=407255.61
GRD-GND=0.9996608
Δα= -0011'19"
CENTRAL ZONE
(NAD 1927/SLD 1929)



(HATCHED AREA)
STREET RIGHT-OF-AREA
DEDICATED TO CITY
OF ALBUQUERQUE BY
THIS PLAT

WYOMING BOULEVARD N.E.

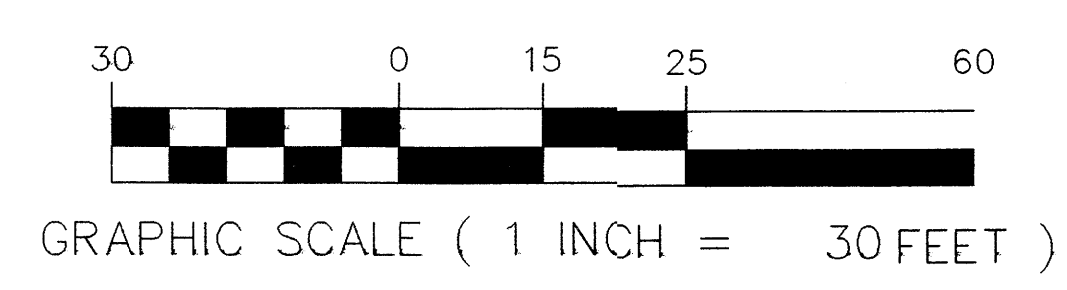
APPROVED FOR MONUMENTATION AND STREET NAMES
/s/ Glen Haikin 10/28/02
City Surveyor, City of Albuquerque, N.M. Date

Glen Haikin 12/16/02
Owner TREVISO SUBDIVISION Date
ESMAIL HADARI

- NOTES**
- Unless otherwise noted all boundary and lot corners will be marked by a rebar with cap stamped "ALS LS 7719"
 - All street centerline points will be marked by a "City of Albuquerque" centerline monument stamped "LS 7719"
 - Boundary will be tied to the New Mexico State Plane Coordinate System as shown.
 - Basis of bearing will be New Mexico State Plane grid bearings.
 - Distances will be ground distances.
 - Manholes will be offset at all points of curvature, points of tangency, street intersections and all other points to allow use of centerline monumentation.

- PURPOSE OF THIS PLAT**
- THIS PLAT WILL CREATE 14 SINGLE FAMILY LOTS. TWO PARCELS WILL BE DEDICATED FOR PUBLIC STREET RIGHT OF WAY.
- ① INDICATES THE PARCEL FOR FUTURE WIDENING OF WYOMING BLVD
 - ② INDICATES DEDICATION FOR WILSHIRE AVENUE
- EASEMENTS GRANTED BY THIS PLAT**
- ① 10' PUBLIC UTILITY EASEMENT
 - ② 15' C.O.A. PUBLIC WATERLINE EASEMENT

OPEN SPACE REQUIREMENT TO BE SATISFIED ON THE LOT WITH THE DWELLING PER 14-16-3-8(A)(2) OF THE ZONING CODE



GROUND TIE
NGS MONUMENT
"HEAVEN"
Y=1518737.03
X=407051.03
GRD-GND=0.99965263
Δα= -0010'45"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEV.=5378.79