

**Conditions for Approval of Site Plan for Subdivision**

1. Comply with Transportation Development Division as follows:

- A. A TIS has been performed for this request. An update of the TIS/AQA to reflect the changes in proposed land use intensities, this includes a comparison of the approved as amended land uses with those proposed for the current site plan. The implementation of any monetary contributions for mitigation measures required subsequent to the TIS report must be done by the developer and accepted by the city prior to site plan sign-off by the DRB.
- B. Implementation of applicable Uptown SDP requirements. This includes the development of the Uptown Loop Road. A proposal to realign the Loop Road from the originally agreed U-3 Alignment in this section, from Louisiana Boulevard to Indian School Road, to improve intersection spacing is being considered. An agreement between this property and Winrock Center needs to be reached on realignment.
- C. The modification to the design of Southern entrance to America's Parkway may be considered if the proposed ramp to the 401 Interstate 40 is eliminated as part of the redesign of the Louisiana Interchange.
- D. Dedication of 62 feet and 43 feet from the existing centerline, and the full width of 86 feet of right-of-way for Louisiana Boulevard, Indian School Road & Uptown Loop Road, respectively.
- E. Construction of the needed street improvements, including pavement, curb and gutter, signal cabinet, turn bays, medians and deceleration lanes, and 6 feet to 15 feet sidewalks for Louisiana Boulevard, Indian School Road & Uptown Loop Road, respectively.

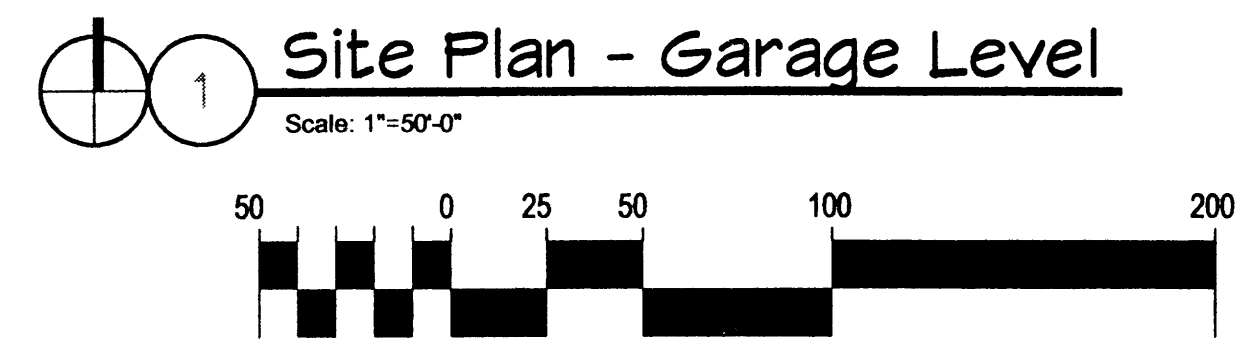
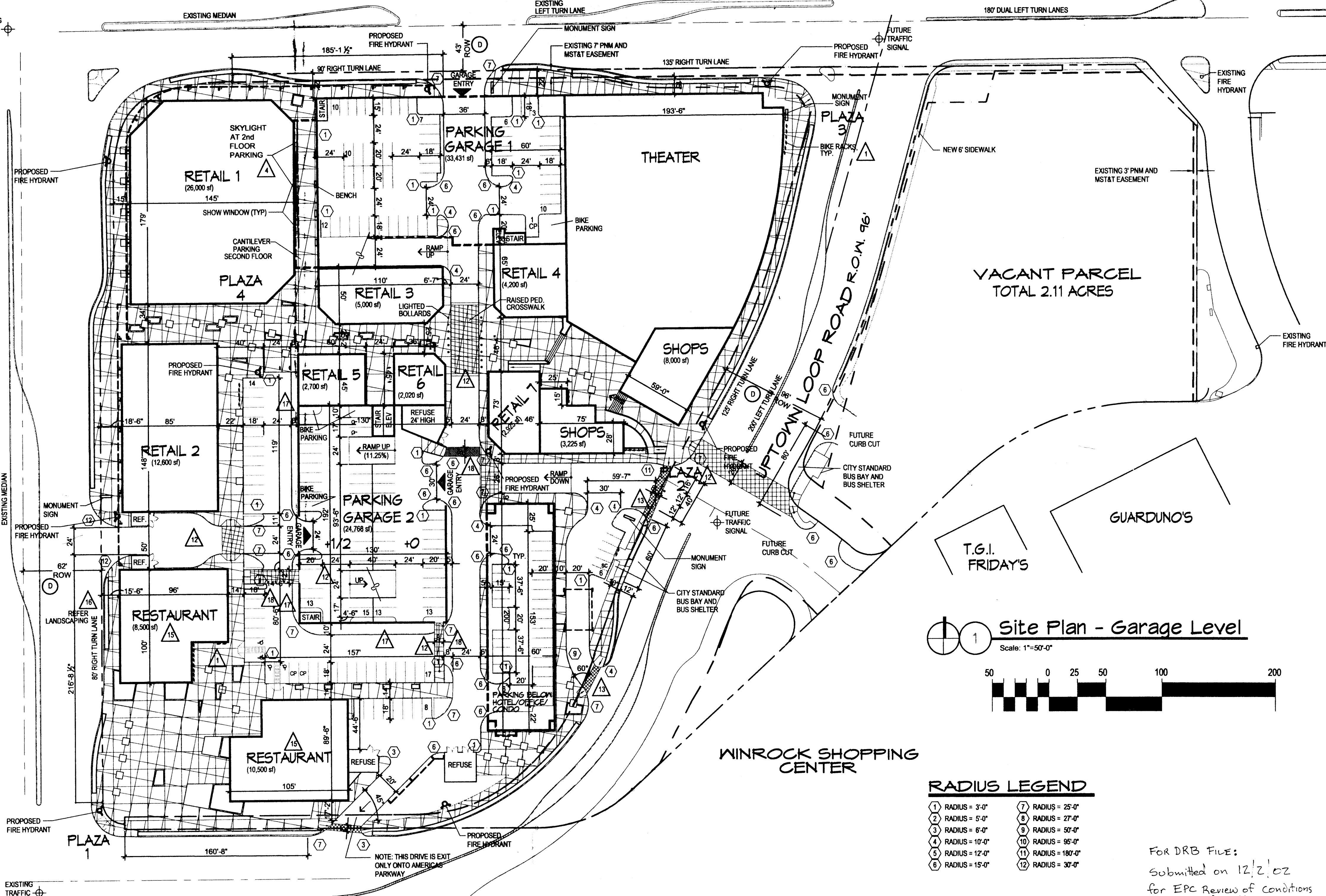
2. The submittal of this Site Plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal indicating how the site development plan has been modified to meet the EPC conditions.

**Conditions for Approval of Site Plan for Building Permit**

1. The applicant shall participate in a Transportation Management Organization (TMO), providing and installing bicycle racks or storage, employee lockers and showers, carpool and valet parking, and create ATMs as per the original agreed on traffic mitigation plan for this site (attached).
2. The applicant shall submit for DRB review detailed plans and elevations for each building, plaza, and landscaped area which show proposed facade improvements and decorative features, etc.
3. The applicant shall submit for DRB review a complete landscape plan, including all required vegetation elements, specifying such specific landscape details as bench placement, planter areas, tree planting hole and gate details, drainage, and irrigation. The applicant shall also provide landscape plan for all plaza areas drawn in detail at a maximum scale of 1"=10'. The plan should also locate and identify lighting, signage, public art and other elements not well illustrated in the submitted plans.
4. Additional design drawings should be submitted prior to DRB showing design enhancement of the pedestrian path to the north, east of Retail 1. This could include skylights, window treatment of Retail 1, furniture, color, texture, lighting, and other enhancements to make this path attractive and safe.
5. The north facade of Garage 1 shall be enhanced by providing display windows along the lower elevation of the garage.
6. The applicant shall conform to all applicable portions of the Americans With Disabilities Act, including providing convenient and safe access to all major entries and pedestrian connections. Pedestrian ramps shall be given locational priority over stairs.
7. Building and plaza signage, lighting and ornamentation shall substantially conform to the illustrations presented in the applicant's submittal package, including the booklet entitled, Design Elements and Supplemental Information. Permitted ornamentation shall include one or more of these features per tenant space, to the satisfaction of the Planning Department.
  - Awnings
  - Decorative banners, flags, streamers, etc., of a semi-permanent nature, including banners advertising public or private cultural events
  - Light Fixtures
  - Additional Landscaping, including portable plantings
  - Additional Pedestrian features
  - Other amenities and decorative elements to the satisfaction of the Planning Department
8. Illuminated signage is not permitted on the east building facades from 20' above finish grade to the uppermost building elevation.
9. Monument signs shall not be higher than 10' or greater than 100 square feet in area. The number of monument signs shall be restricted to four, one at the entrance on Indian School Road, one at the northeast corner of the site, one at the American Parkway entrance, and one at the Louisiana Boulevard entrance.
10. The signage criteria submitted is a condition of approval except where it may conflict with the Zoning Code or with the Uptown Sector Plan. Delete the criteria which prohibits flags and banners.
11. Standard parking spaces are 20' x 8.5' and shall be as noted on the site plans.
12. Provide pedestrian connections to adjacent uses at Winrock Center including clearly marked traditional alternative paths across the Loop Road. A connection across American Parkway at mid-site along the east property line shall be 20 feet wide, this connection shall occur directly to the north of the access road. All pedestrian crossings of drive aisles shall have textured pavement and a minimum 8 foot width.
13. Comply with the following Transportation Development Division conditions:
  - A. Modifications to the Indian School Road entrance -
    - provision of a deceleration lane (includes dedication & construction)
    - modification of entrance to include adequate space for all traffic movements either entering or leaving the site, and an adequate throat area for queuing of traffic entering or leaving the parking structure.
    - the entrance will operate as a full movement access point, construction of a median opening for left turns will be required. Additional right-of-way may be required as determined by the requested traffic analysis.
  - B. Modifications to the east side entrance -
    - must be 40 feet wide to accommodate a 16 foot entrance lane & two 12 foot exit lanes for approximately 50 feet before the transition to 30 feet in width.
    - the hotel entrance must be 30 feet in width; the turnaround at the 'Porte cochere' entrance must have a minimum radius of 30 feet; and provision of an exit lane with a maximum width of 18 feet, and intersect at a 60 degree angle with the Loop Road.
  - C. Modifications to the south side entrance -
    - entrance must be a service drive exit only.
    - the exit must intersect west of the Interstate 40 Ramp/Loop Road intersection.
    - the 20 foot exit lane must intersect at a 45 to 60 degree angle to the Loop Road.
  - D. Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets, this includes connections to the adjacent residential and commercial developments.
  - E. The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, drive aisles, parking spaces, walls, signs, etc.
  - F. Vehicular and pedestrian circulation pattern must be developed to the satisfaction of the Traffic Engineer.
  - G. Provision of direction pedestrian access from parking garage elevators to the proposed pedestrian mall.

14. The submittal of this Site Plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal indicating how the site development plan has been modified to meet the EPC conditions.
15. The restaurant shall be architecturally integrated into the overall site architecture period. Guidelines shall be developed and submitted to the EPC site plan review committee.
16. Street trees shall be added at 30 feet on center on the Westside of the restaurant building along Louisiana.
17. Delete the walkways shown on the east, west and south side of the parking garage number 2, convert it to landscaping.
18. Improve pedestrian connections from garage number 2 to the pedestrian ways to the east, west, and south of the site.
19. Within the sidewalk directly to the east of the south restaurant, the sidewalk runs in an east/west direction. Shade trees shall be added at 25 feet on center along the pedestrian way.
20. Housing units shall be added to the site at a rate of 1 unit per 2,000 square feet of retail above the 10% former requirements up to a maximum of 20% of retail on the site. Parking shall be required at a maximum of 1 space per unit.
21. Each housing unit shall have a minimum of 80 square feet of open space adjacent to the unit in form of decks, terraces, or patios and a maximum of 1 parking space per unit. The revised site plan shall be submitted to the EPC site plan review committee for final approval prior to DRB submittal.
22. Refuse will have central roll-off compactor location and must have solid waste approval prior to bid, permit.

LOUISIANA BLVD. N.E.  
R.O.M. VARIES 135'-143'

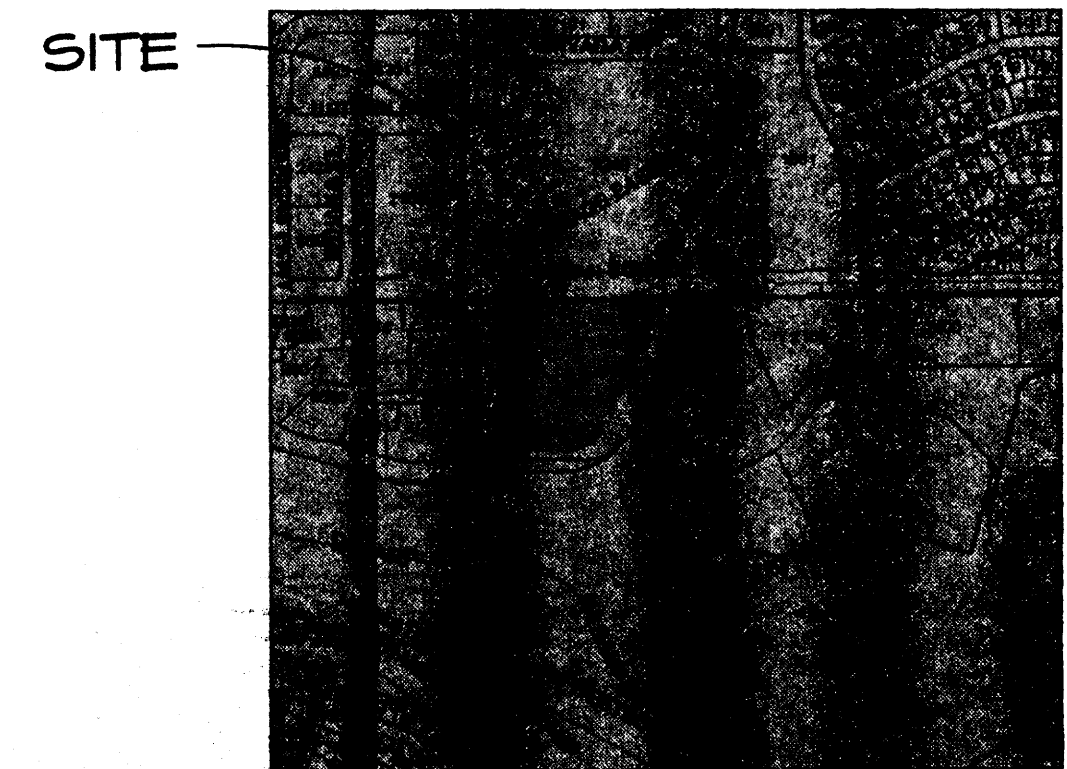


**RADIUS LEGEND**

① RADIUS = 3'-0"	⑦ RADIUS = 25'-0"
② RADIUS = 5'-0"	⑧ RADIUS = 27'-0"
③ RADIUS = 6'-0"	⑨ RADIUS = 33'-0"
④ RADIUS = 10'-0"	⑩ RADIUS = 35'-0"
⑤ RADIUS = 12'-0"	⑪ RADIUS = 180'-0"
⑥ RADIUS = 15'-0"	⑫ RADIUS = 30'-0"

For DRB File:  
Submitted on 12/2/02  
for EPC Review of Conditions  
15 + 21 of 2-98-123

VICINITY MAP J-19 1"=500'-0"



For DRB File  
# 1002337  
02-01708  
Hunt Uptown

**DRAWING SHEET INDEX**

SHEET NO.	SHEET TITLE
1	GARAGE LEVEL PLAN
2	GROUND LEVEL
3	CONCEPTUAL GRADING & DRAINAGE PLAN
4	CONCEPTUAL UTILITY PLAN
5	LANDSCAPE PLAN
6	ENLARGED LANDSCAPE PLANS
7	ENLARGED LANDSCAPE PLANS
8	PARKING GARAGE PLANS
9	BUILDING ELEVATIONS: HOUSING
10	BUILDING ELEVATIONS: THEATER + RETAIL 5&7
11	BUILDING ELEVATIONS: THEATER + GARAGE
12	BUILDING ELEVATIONS: WEST GARAGE ELEVATIONS
13	BUILDING ELEVATIONS: RETAIL 1+2 ELEVATIONS
14	BUILDING ELEVATIONS: HOTEL WEST/SOUTH ELEVATIONS
15	BUILDING ELEVATIONS: HOTEL NORTH ELEVATION
16	BUILDING ELEVATIONS: HOTEL EAST ELEVATION
17	BUILDING AND LANDSCAPE DESIGN STANDARDS
18	DESIGN ELEMENTS
19	DESIGN ELEMENTS
20	DESIGN ELEMENTS
21	DESIGN ELEMENTS

**SITE CALCULATIONS**

SITE AREA	9.63 ACRES
PHASE I SITE AREA	7.52 ACRES
VACANT PARCEL SITE AREA	2.11 ACRES
ALLOWABLE BUILDING AREA	43,560 sf x 7.52 ACRES = 327,572 sf min.
	327,572 sf x 1.5 F.A.R. = 491,358 sf max.
ALLOWABLE RETAIL AREA	491,358 sf x 2 = 98,272 sf (max 20%)
*VACANT PARCEL* IS A PART OF THIS SUBMITTAL FOR 'SITE PLAN FOR SUBDIVISION' ONLY.	
*VACANT PARCEL* WILL BE SUBMITTED TO CITY PLANNING FOR 'SITE PLAN BUILDING PURPOSES' AT A LATER DATE. AS OUTLINED IN THE UPTOWN SECTOR PLAN	

**BUILDING AREAS**

THEATER (INCLUDES LOBBY & AUDITORIUMS)	70,000 sf
HOTEL (300 ROOMS)	300,000 sf
RESTAURANT 1	8,500 sf
RESTAURANT 2	10,500 sf
RETAIL 1	26,000 sf
RETAIL 2	12,500 sf
RETAIL 3	5,000 sf
RETAIL 4	4,200 sf
RETAIL 5	2,700 sf
RETAIL 6	2,020 sf
RETAIL 7	2,825 sf
SHOPS (IN THEATER)	8,000 sf
SHOPS	3,225 sf
TOTAL AREA	455,570 sf
TOTAL RETAIL AREA	85,570 sf

**RESIDENTIAL**

RETAIL PROVIDED OVER 10% IS 37,790sf(2,000=19 UNITS REQUIRED 24 RESIDENTIAL UNITS PROVIDED ABOVE GARAGE 1

**PARKING CALCULATIONS**

THEATER (3,000 SEATS 2 FLOORS)	1 CAR/4 SEATS	750 CARS
HOTEL (300 ROOMS)	1 CAR/ROOM =	300 CARS
RETAIL USES	85,570 sf/300 =	286 CARS
RETAIL 1 THRU 7 SHOPS BLDG. REST. 1 & 2		
HOUSING 24 units =		24 CARS
LESS 15% BUS CREDIT - 1,360 x .85 =		
TOTAL REQUIRED PARKING		1,156 CARS
TOTAL HANDICAP SPACES REQUIRED (23 CARS)		
TOTAL PARKING PROVIDED		1,156 CARS
1 MOV (CP) / 15 SPACES =		77 CARS
IF THE DEMAND FOR MOV INCREASES THEN THE NUMBER OF MOV SPACES SHALL BE INCREASED TO (1) MOV PARKING SPACE FOR EVERY (10) REQUIRED PARKING SPACES.		
BICYCLE PARKING		
TOTAL PROVIDED		116 BICYCLE SPACES
20 PLAZA =		80
REMAINDER IN PARKING STRUCTURES		35
20% (24 SPACES) WILL BE PROVIDED IN LOCKERS LOCATED IN PARKING STRUCTURES		

**PARKING NOTES**

- ▲ TYPICAL STANDARD SPACES ARE 8'-6" x 18'-0" + 2' OVERHANG
- ▲ TYPICAL SMALL CAR SPACES ARE 7'-0" x 15'-0"
- ▲ TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0" WITH A 5' WIDE ACCESS AISLE
- ▲ ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED.
- ▲ TOTAL STANDARD PARKING SPACES 1,047 CARS
- ▲ TOTAL SMALL CAR SPACES 107 CARS

**NOTES**

- ▲ THE TRAFFIC MITIGATION PLAN, AGREED TO BY THE APPLICANT, ENVIRONMENTAL HEALTH DEPARTMENT, TRANSPORTATION DEVELOPMENT DIVISION, CONTAINS ELEMENTS WHICH ARE INTEGRAL TO THE SITE DESIGN, AND IT SHALL BE USED DURING EACH PHASE OF SITE DEVELOPMENT.
- ▲ THERE SHALL BE NO MORE THAN 98,272 SQUARE FEET OF RETAIL/RESTAURANT USES ON THIS SITE.

**SITE PLAN FOR BLDG. PERMIT SITE PLAN FOR SUBDIVISION**

**UPTOWN SPECTRUM DRB SUBMITTAL**

HUNT UPTOWN II, LLC  
A LIMITED LIABILITY COMPANY  
500 MARQUETTE, NW SUITE 350  
ALBUQUERQUE, NEW MEXICO 87103

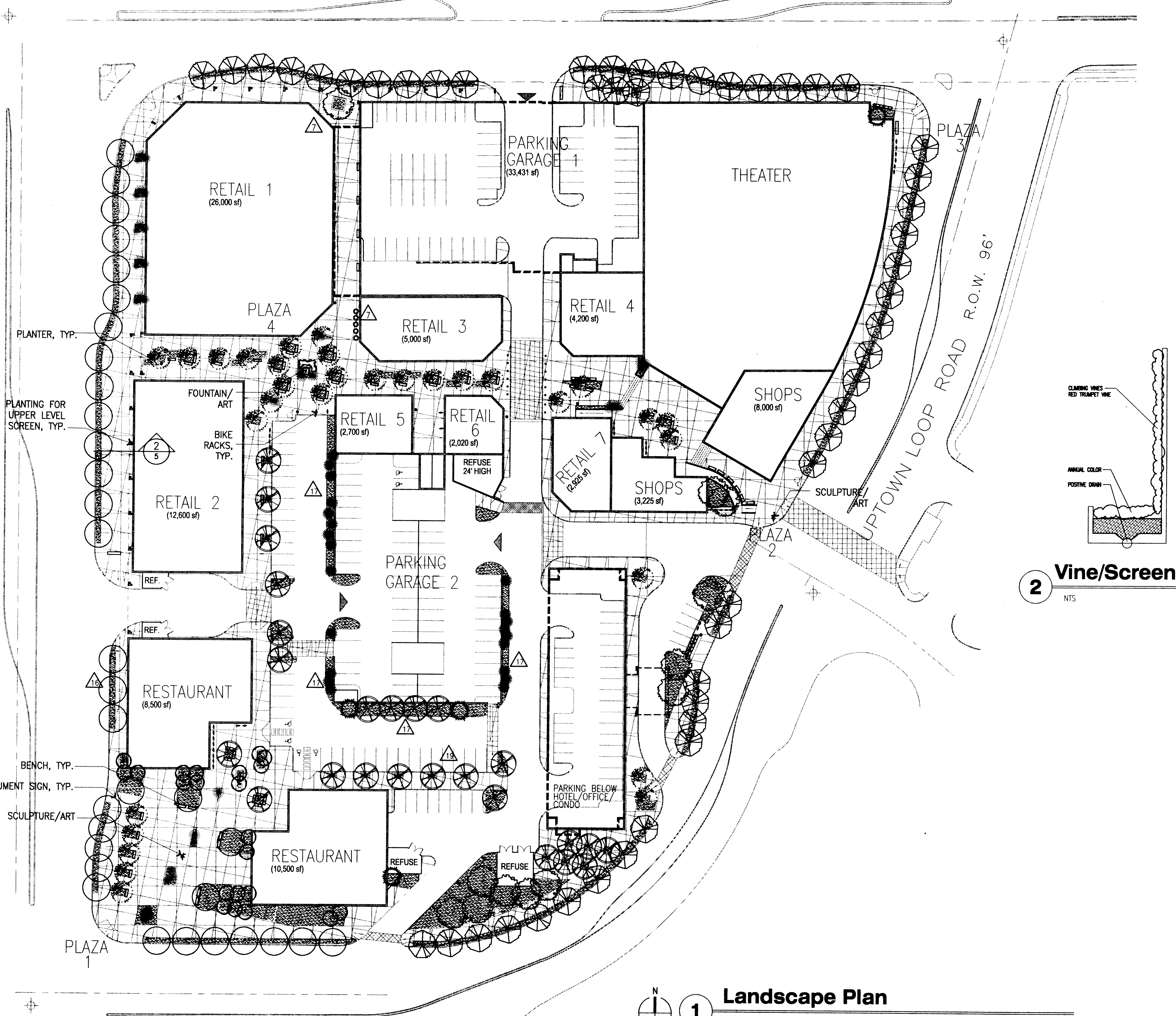
GEORGE RAINHART, ARCHITECT + ASSOCIATES P.C.  
2326 SAN PEDRO NE, SUITE 2-B  
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PHONE (505) 884-9110 FAX (505) 837-9877

**GARAGE LEVEL PLAN**

INDIAN SCHOOL ROAD N.E.  
R.O.W. 103'

LOUISIANA BLVD. N.E.  
R.O.W. VARIES 135'-143'

UPTOWN LOOP ROAD  
R.O.W. 96'



**RESPONSE TO CONDITIONS**

- 3 The Landscape Plan consists of three sheets - one 40-scale site plan and two sheets of 10-scale Plaza enlargement plans. Locations for site furnishings, including benches, waste receptacles, portable planters, tree guards and art, are illustrated on the landscape plans. Plant materials are illustrated on the plans and keyed to plant schedules located on each Landscape sheet.
- 3 Planting and irrigation installation details shall be per City of Albuquerque standards.
- 7 Additional landscaping has been added at several locations around the site. Portable plantings have been added at an entrance to the north-south pedestrian walkway east of Retail 1. A fountain is now illustrated in the center of the pedestrian mall between retail buildings 1, 2, 3 and 5.
- 16 Street trees at 30' o.c. have been added to the west side of the restaurant building located on Louisiana.
- 17 The walkways on the east, south and west of Garage 2 have been converted to landscaping.
- 19 The east-west sidewalk on the north side of the restaurant has been widened. At grade planters and shade trees at approximately 25 feet o.c. have also been added to the plan.

**LANDSCAPE NOTES**

Irrigation system to be comprised of a combination of drip and spray zones. Drip emitters shall be used for all plant material except sod areas. Sod areas shall be irrigated with a spray emitters appropriately designed to avoid overspray onto impermeable surfaces and adjacent property.

The run time for the various zones shall be approximately 30 minutes for drip zones and 15 minutes for spray zones. Run times shall be adjusted according to season.

The point of connection for irrigation system shall be coordinated with overall water service to be delivered to the property. Exact location is unknown at this time.

Planting and irrigation maintenance shall be the responsibility of the Property Owner.

Planting and irrigation shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance.

All planting beds shall be covered by Santa Ana Tan gravel mulch with filter fabric.

**LANDSCAPE CALCULATIONS**

Total Phase 1 Area: 7.52 acres= 327,571 SF  
Total Building Area (Footprint Area): 191,318 SF  
Offsite Area: 0 SF  
Net Lot Area: 327,571-191,318= 136,253 SF  
Landscape Requirement: 15%  
Total Landscape Required: 20,437 SF

Total Landscape Provided: 28,136 SF  
Total Planter Area Provided: 16,698 SF  
Max. allowable High Water Use Plantings:  
20% of required landscape area =  
20 x 20,437 SF = 4,087 SF  
Total Vertical Screening Provided: 9,438 SF

**LIGHTING NOTE**

Lighting shall comply with applicable City of Albuquerque lighting regulations.

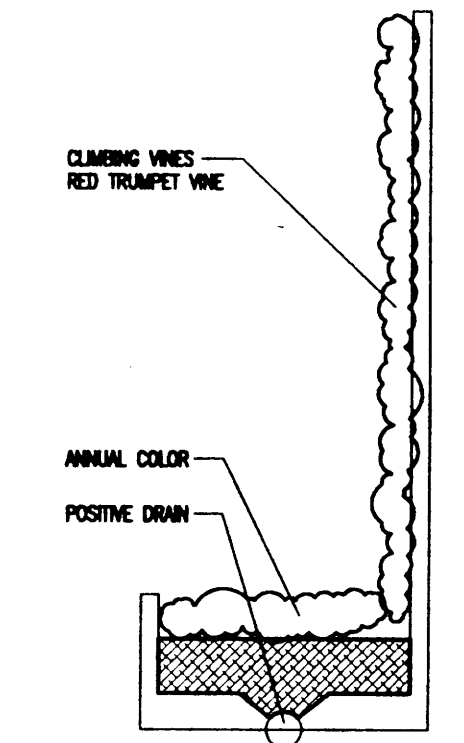
**FURNISHINGS**

- 6' Bench w/ Back
- 6' Sofa-style Bench
- Waste Receptacle
- Sculpture/Art
- Tree Guard
- Planter - portable, with annuals
- Bike Rack

**PLANT SCHEDULE**

symbol	botanical name/ common name	condition	mature size (HxW)/ water use
	<i>Chilopsis linearis</i> / Desert Willow	48" Box/ Large, Multi-trunked	20'x25'/ Low
	<i>Chitalpa tashkentensis</i> / Chitalpa	48" Box/ Large, Multi-trunked	30'x30'/ Medium
	<i>Cupressocyparis leylandii</i> / Leland Falsecypress	12' High/B&B	50'x20'/ Medium
	<i>Fraxinus angustifolia</i> "Roywood"/ Roywood Ash	2 1/2" Cal./B&B	35'x30'/ Medium
	<i>Fraxinus velutina</i> "Modesto"/ Modesto Ash	2 1/2" Cal./B&B	40'x40'/ Medium
	<i>Lagerstroemia indica</i> / Crape Myrtle (tree form)	24" Box/ Large, Multi-trunked	18'x10'/ High
	<i>Pinus eldarica</i> / Afghan Pine	12' High/B&B	40'x15'/ Medium
	<i>Platanus acerifolia</i> / London Plane Tree	3 1/2" Cal./ B&B	50'x25'/ High
	<i>Populus fremontii</i> "Wyalizeni"/ Rio Grande Valley Cottonwood	4" Cal./B&B	50'x30'/ High
	<i>Yucca elata</i> / Sooptree Yucca	24" Box/ Large, Multi-trunked	24" Box/ Large, Multi-trunked
	Landscape Area/ (See Other Landscape Sheets for Plaza Enlargements)		

**2 Vine/Screen Detail**  
NTS



**1 Landscape Plan**

Scale: 1"=40'-0"  
0 20' 40'

**Dekker/Perich/Sabatini**  
architecture • interiors • planning • engineering

**UPTOWN SPECTRUM  
DRB SUBMITTAL**

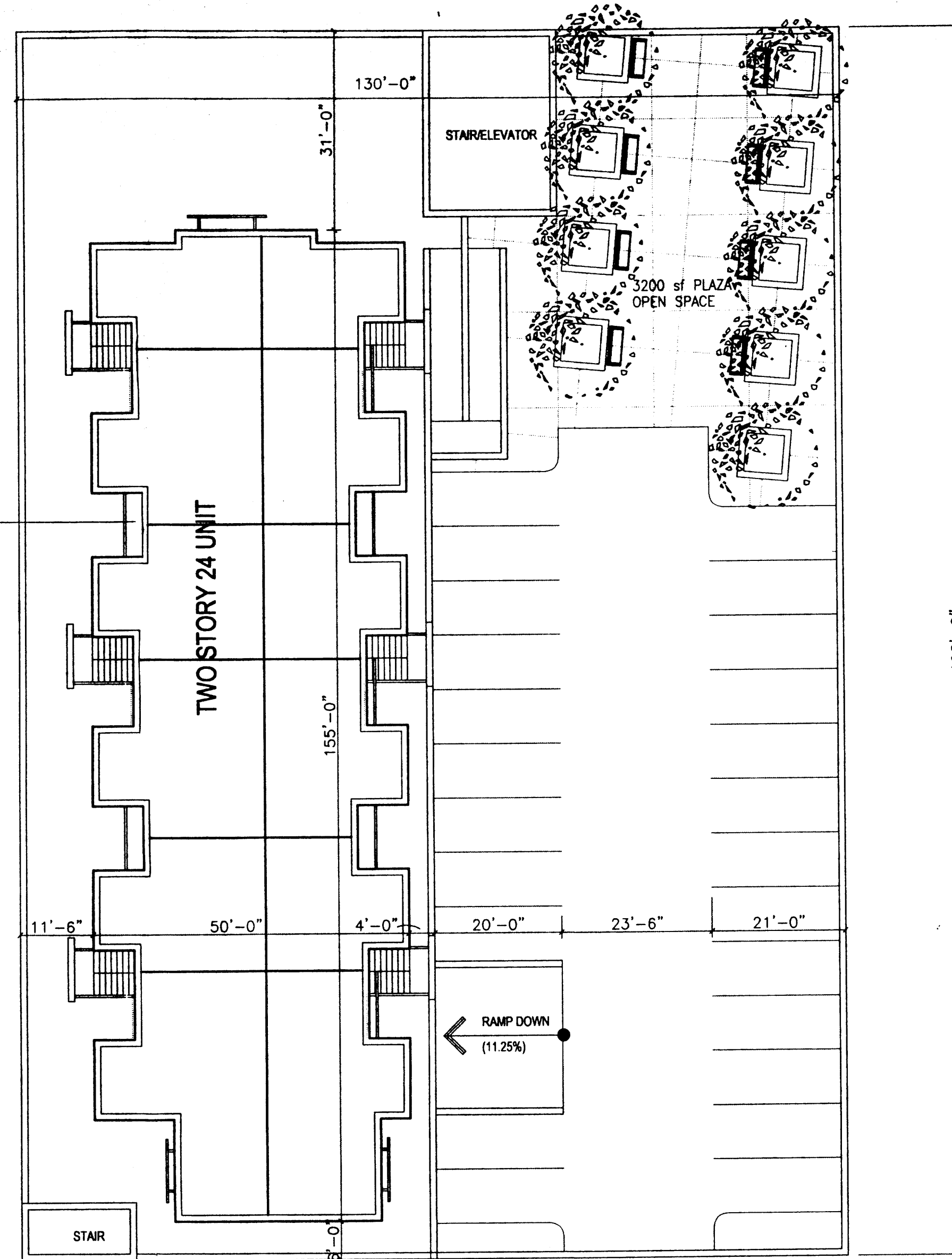
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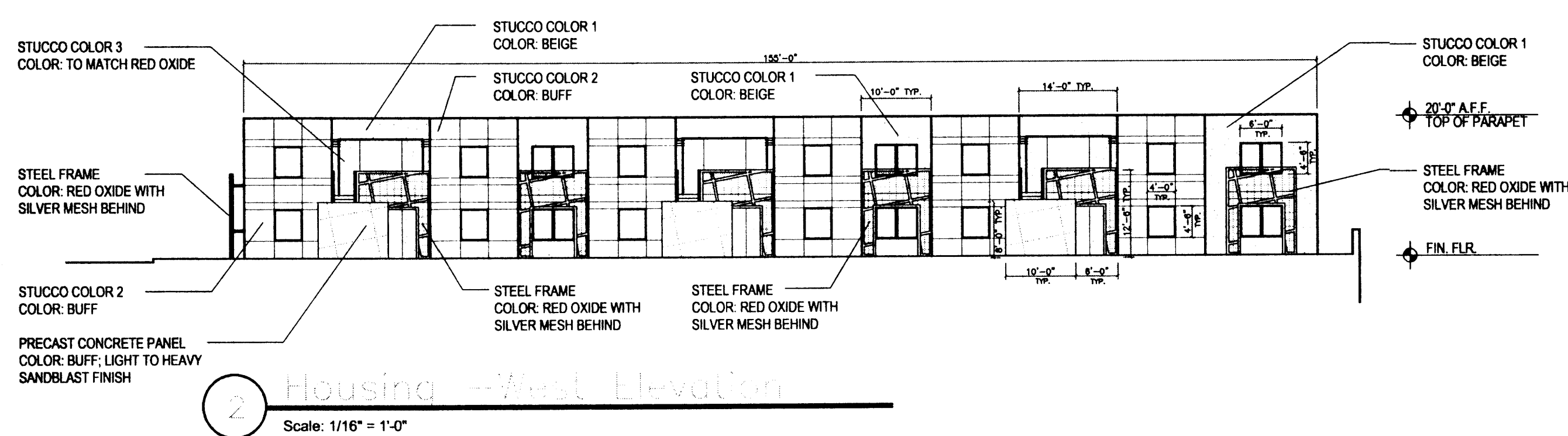
**LANDSCAPE PLAN**

05 NOVEMBER 2002  
sheet: 05 of 21

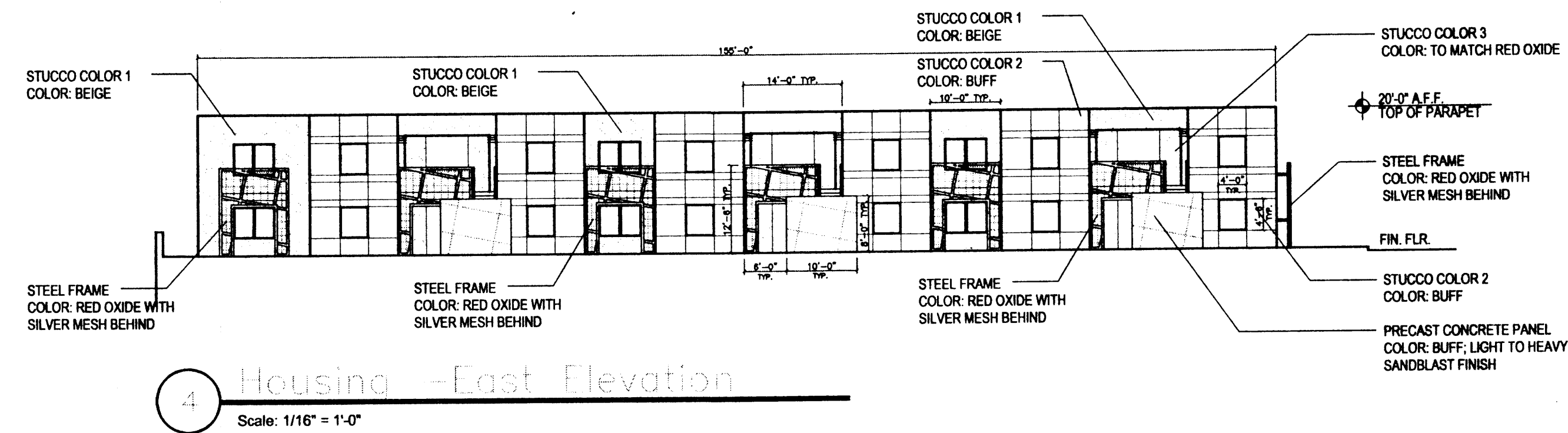
80 SF OUTSIDE  
DECK/PATIO (1 PER UNIT)



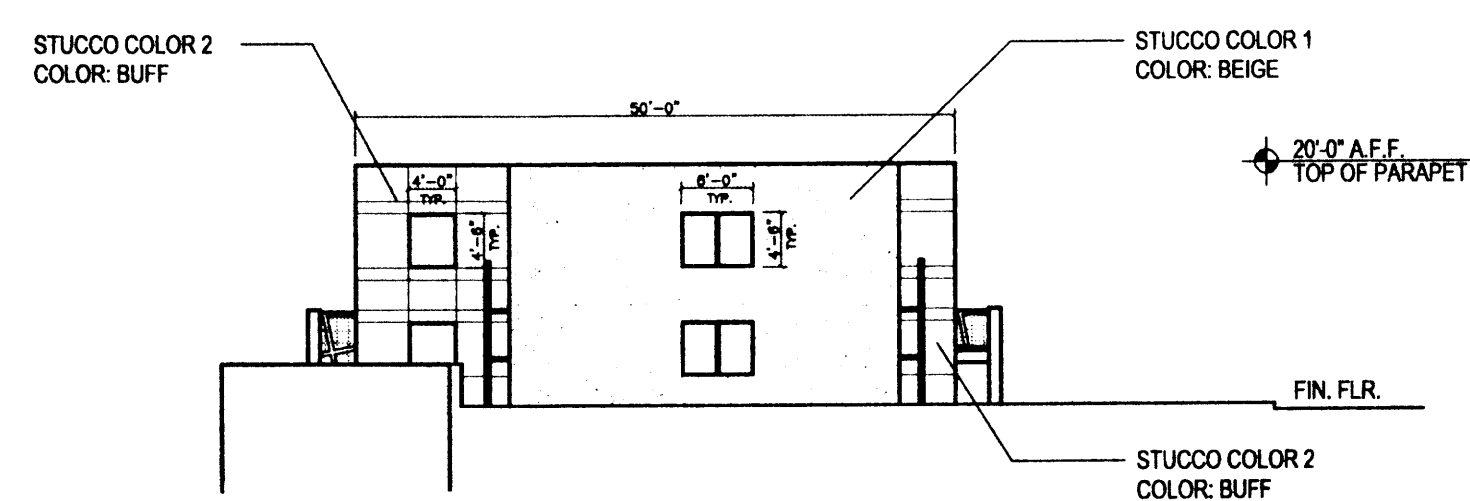
1 Housing over Garage - Site Plan  
Scale: 1/16" = 1'-0"



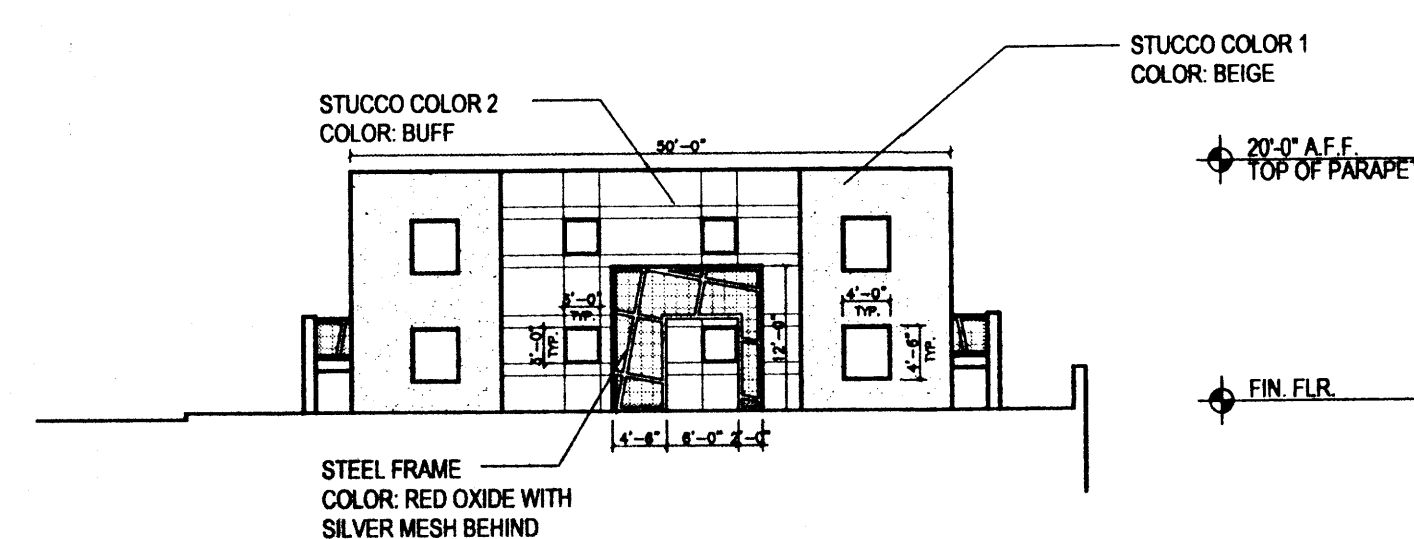
2 Housing - West Elevation  
Scale: 1/16" = 1'-0"



4 Housing - East Elevation  
Scale: 1/16" = 1'-0"



3 Housing - South Elevation  
Scale: 1/16" = 1'-0"



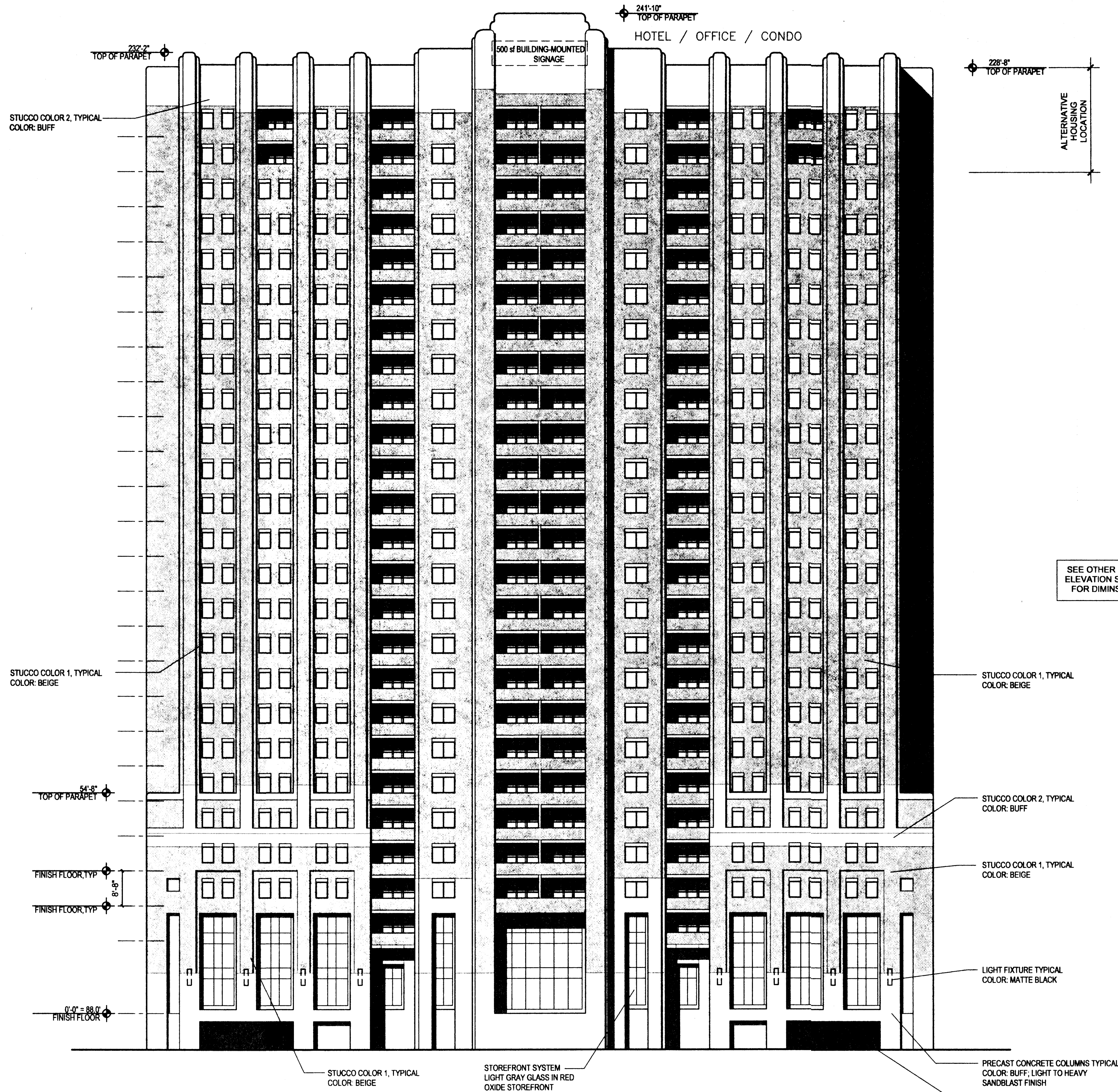
5 Housing - North Elevation  
Scale: 1/16" = 1'-0"

**UPTOWN SPECTRUM  
DRB SUBMITTAL**

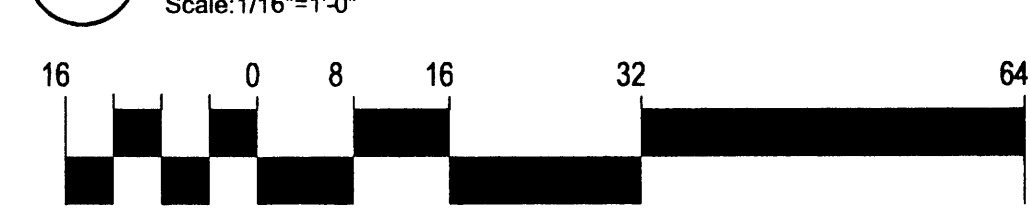
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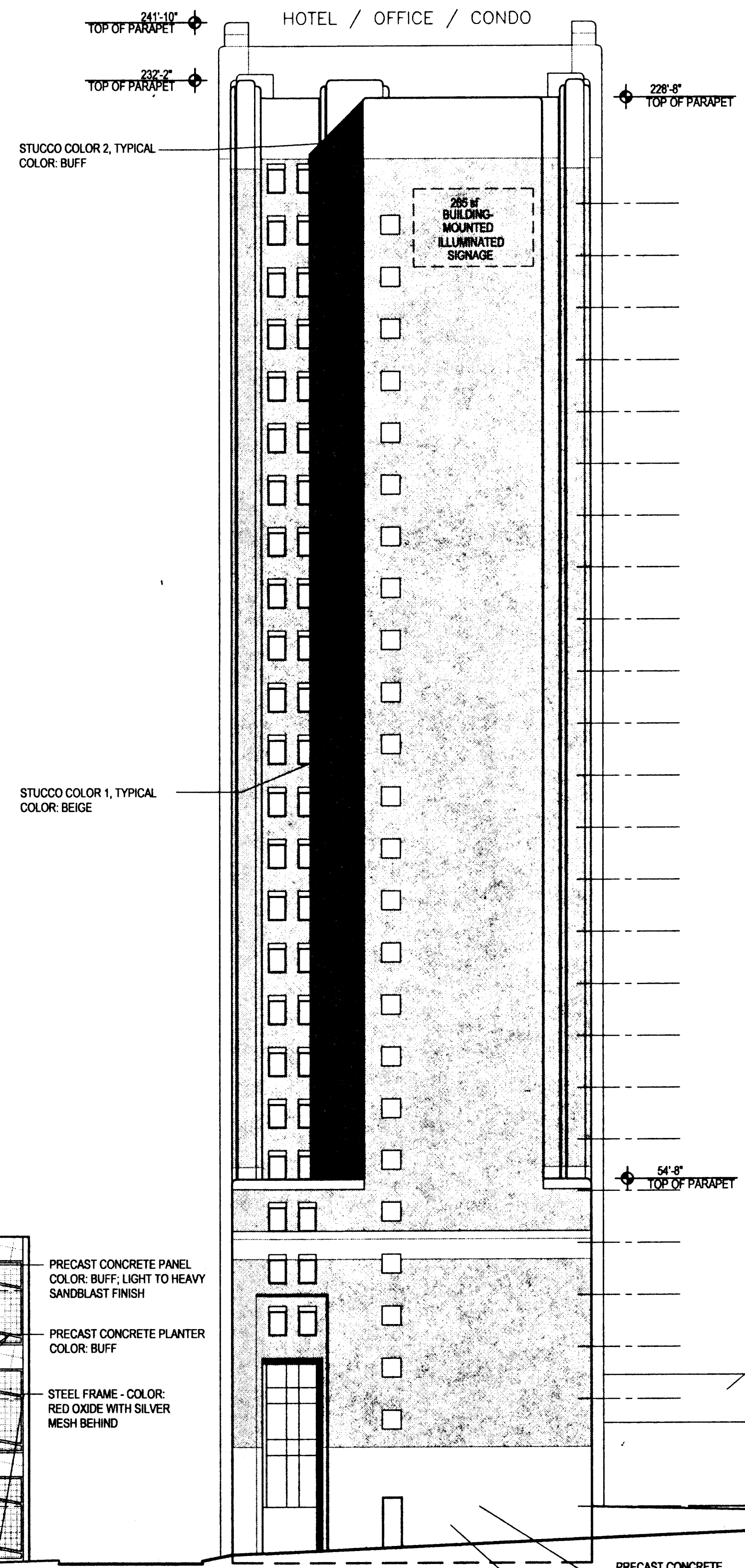
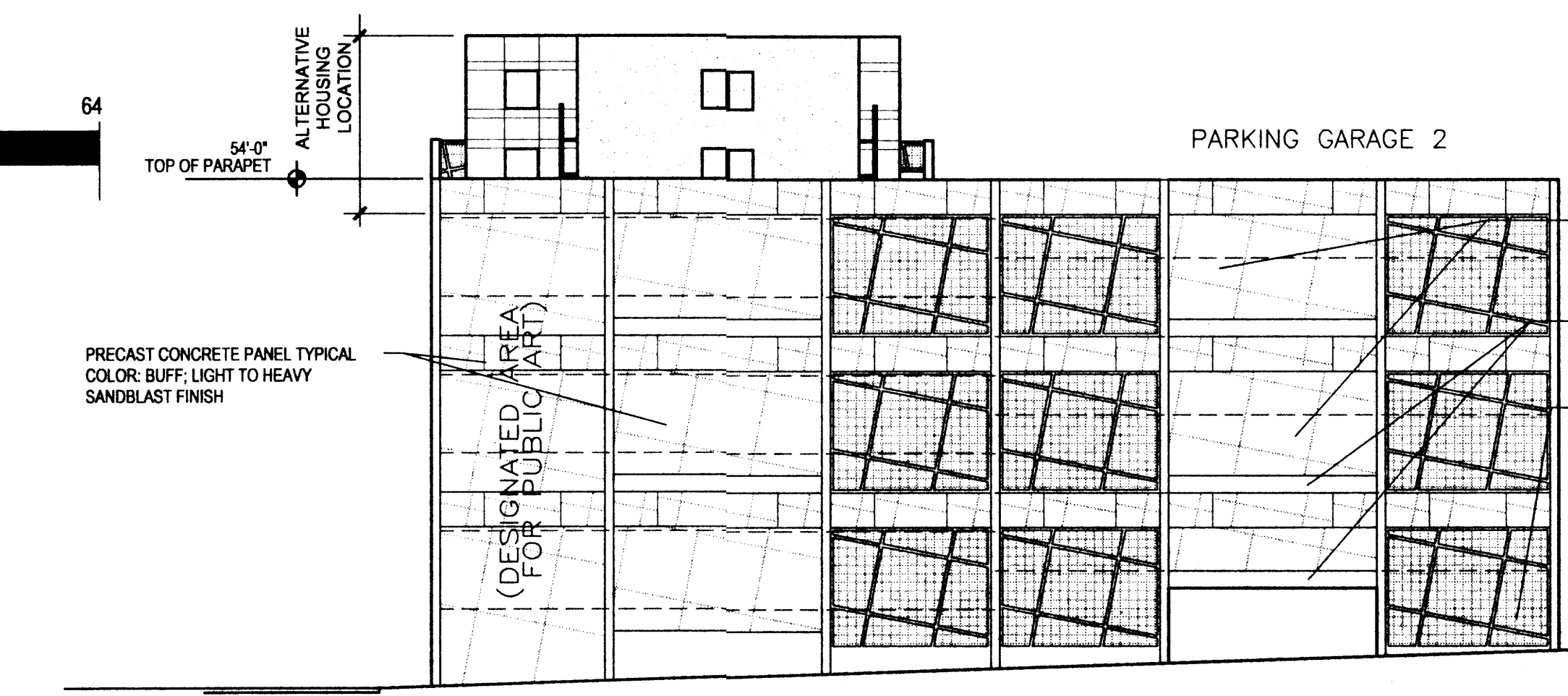
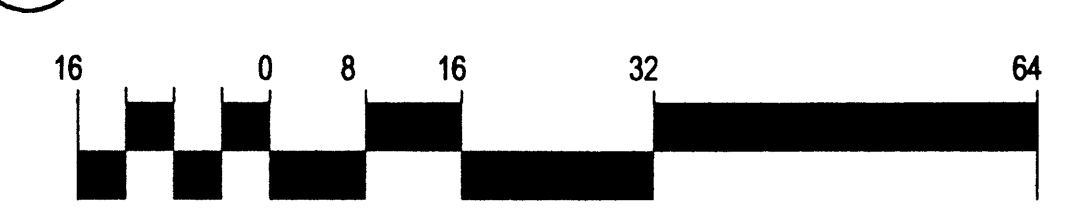
ALTERNATE HOUSING LOCATION



1 West Elevation  
Scale: 1/16"=1'-0"



2 South Elevation  
Scale: 1/16"=1'-0"



NOTE:  
THE ELEVATIONS GIVEN ARE RELATIVE FROM THE '0'-0" FINISH FLOOR AND/OR SECTION, AND DIFFER FROM ONE ANOTHER.

- Notes:
1. The hotel/office/condo tower shall provide showers and lockers for employees desiring to bicycle or walk to work. There shall be a reasonable number of lockers and they shall be reasonably accessible to employees. At a minimum, one shower per gender shall be provided for each 50,000 sq ft of office use.
  2. A publicly accessible ATM shall be provided on site.
  3. The hotel/office/condo shall incorporate a seating area within the ground floor lobby area, open to the public using the city transit system.

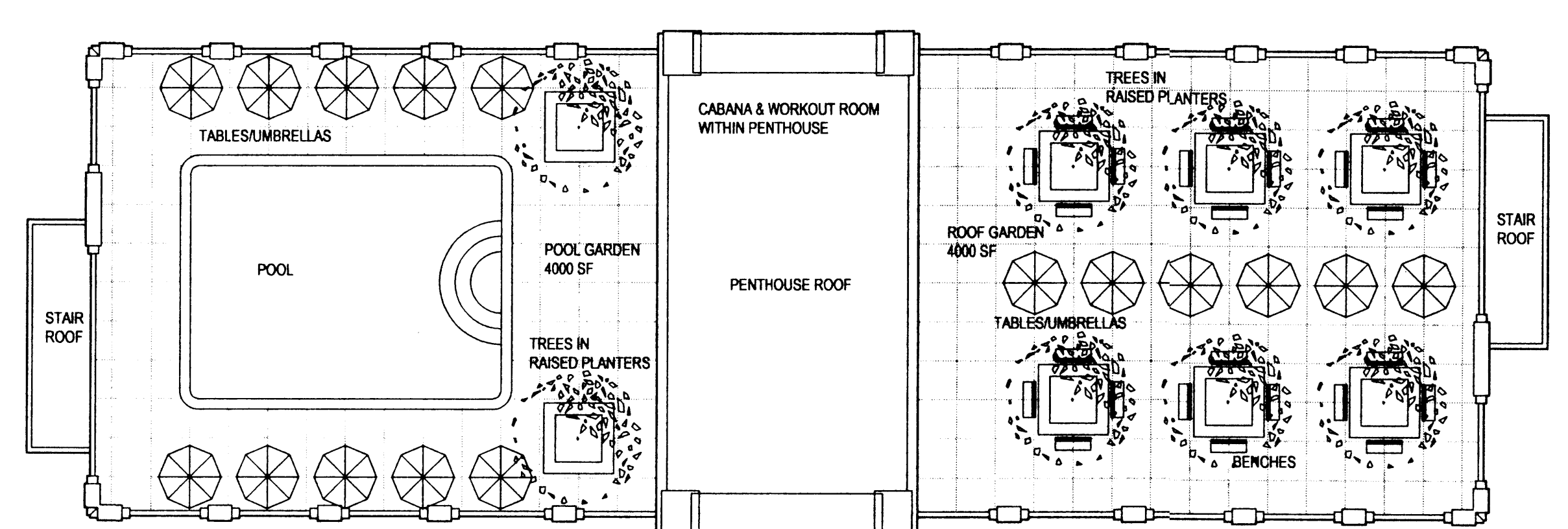
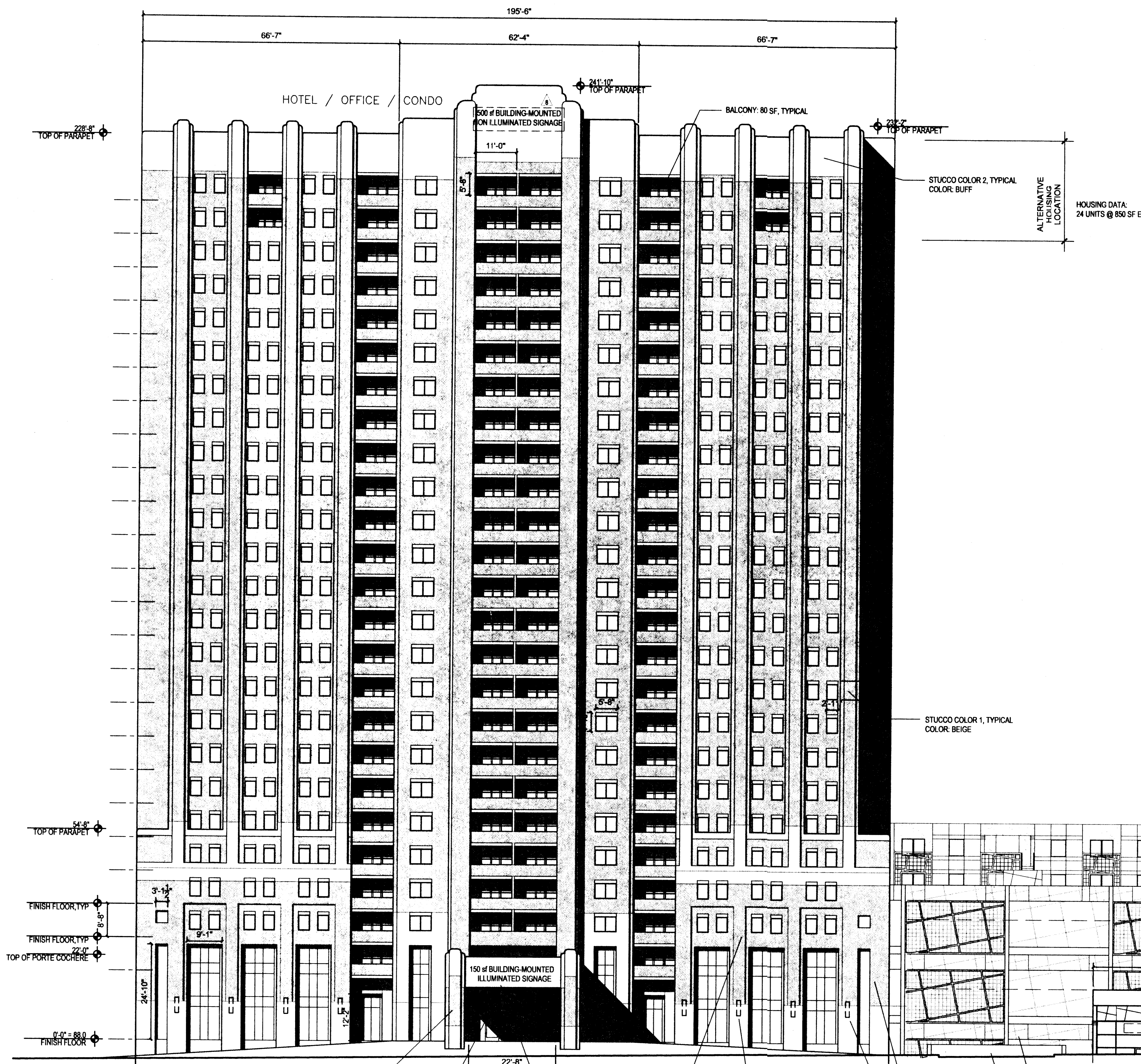
**Dekker/Perich/Sabatini**  
architecture • interiors • planning • engineering

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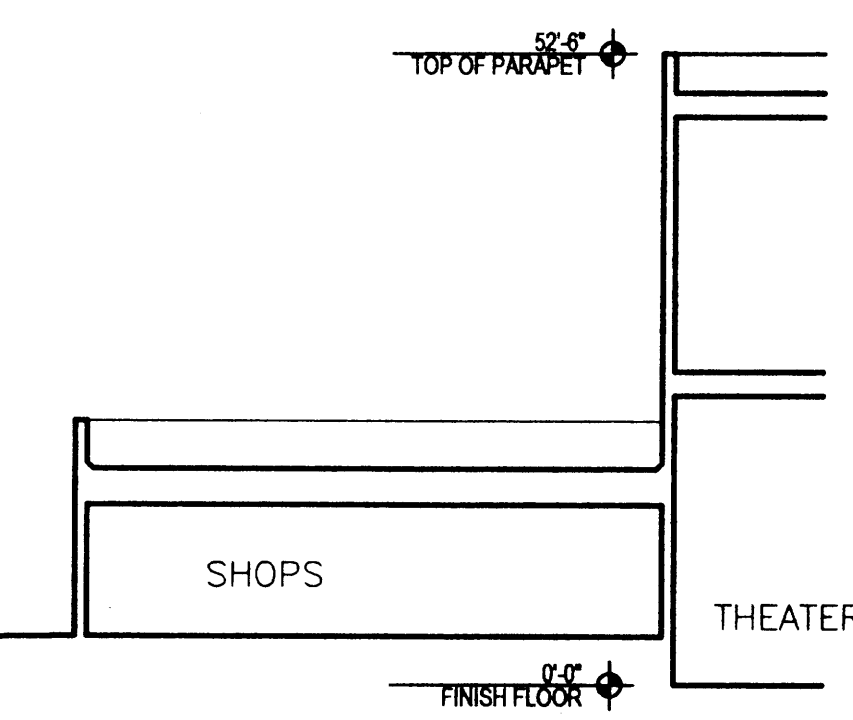
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HOTEL WEST/SOUTH ELEV.



2 Roof Garden Plan  
Scale: 1/16"=1'-0"  
16 0 8 16 32 64

1 East Elevation  
Scale: 1/16"=1'-0"  
16 0 8 16 32 64



**Dekker/Perich/Sabatini**  
architecture • interiors • planning • engineering

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NOTE:  
THE ELEVATIONS GIVEN ARE RELATIVE FROM THE 17'-0" FINISH FLOOR. ELEVATION GIVEN ON EACH ELEVATION AND/OR SECTION, AND DIFFER FROM ONE ANOTHER.

HOTEL EAST ELEV.

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**Conditions for Approval of Site Plan for Building Permit**

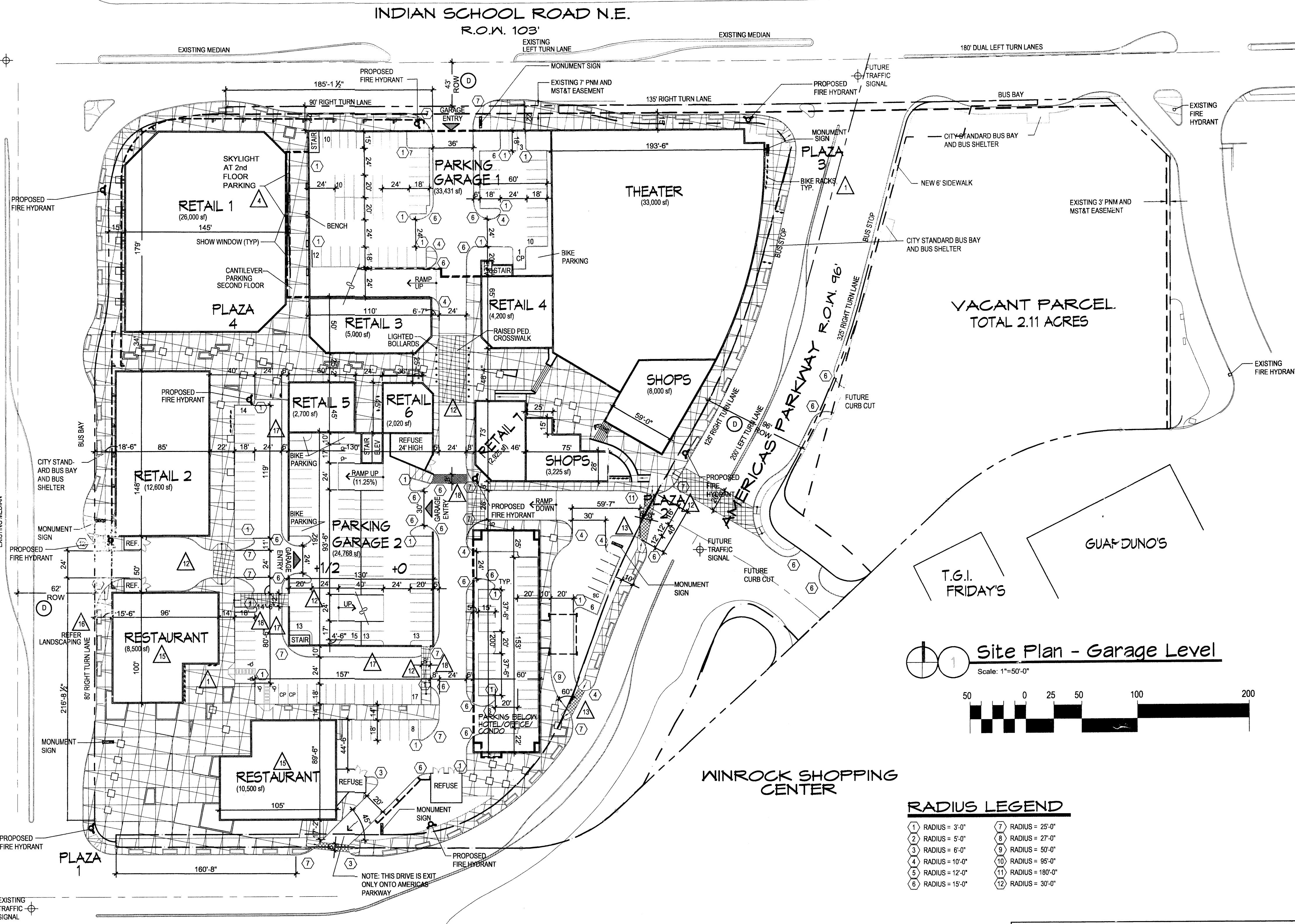
- The applicant shall participate in a Transportation Management Organization (TMO), providing and installing bicycle racks or storage, employee lockers and showers, carpool and vanpool parking, and onsite ATMs as per the original agreed on traffic mitigation plan for this site (attached).
- The applicant shall submit for DRB review detailed plans and elevations for each building, plaza, and landscaped area which show proposed landscape improvements and decorative features, etc.
- The applicant shall submit for DRB review a complete landscape plan, including all required vegetation elements, specifying such specific landscape details as bench placement, planter areas, tree planting hole and grade details, drainage, and irrigation. The applicant shall also provide landscape plans for all plaza areas, drawn in detail at a maximum scale of 1"=10'. The plan should also locate and identify lighting, signage, public art and other elements not well illustrated in the submitted plans.
- Additional design drawings should be submitted prior to DRB showing design enhancement of the pedestrian path to the north, east of Retail 1. This could include skylights, window treatment of Retail 1, furniture, color, texture, lighting, and other enhancements to make this path attractive and safe.
- The north facade of Garage 1 shall be enhanced by providing display windows along the lower elevation of the garage.
- The applicant shall conform to all applicable portions of the Americans With Disabilities Act, including providing convenient and safe access to all major entries and pedestrian connections. Pedestrian ramps shall be given locational priority over stairs.
- Building and plaza signage, lighting and ornamentation shall substantially conform to the illustrations presented in the applicant's submittal package, including the booklet entitled, Design Elements and Supplemental Information. Permitted ornamentation shall include one or more of these features per tenant space, to the satisfaction of the Planning Department.
  - Awings
  - Decorative banners, flags, streamers, etc. of a semi-permanent nature, including banners advertising public or private cultural events
  - Light Fixtures
  - Additional Landscaping, including portable plantings
  - Additional Pedestrian features
  - Other amenities and decorative elements to the satisfaction of the Planning Department
- Illuminated signage is not permitted on the east building facades from 26' above finish grade to the uppermost building elevation.
- Monument signs shall not be higher than 10' or greater than 100 square feet in area. The number of monument signs shall be restricted to four, one at the entrance on Indian School Road, one at the northeast corner of the site, one at the America's Parkway entrance, and one at the Louisiana Boulevard entrance.
- The signage criteria submitted is a condition of approval except where it may conflict with the Zoning Code or with the Uptown Sector Plan. Delete the criteria which prohibits flags and banners.
- Standard parking spaces are 20' x 8.5' and shall be so noted on the site plans.
- Provide pedestrian connections to adjacent uses at Winrock Center including clearly marked textured alternative paving across the loop road. A connection across America's Parkway at mid-site along the east property line shall be 20 feet wide, this connection shall occur directly to the north of the access road. All pedestrian crossings of drive aisles shall have textured pavement and a minimum 8 foot width.

**Comply with the following Transportation Development Division conditions:**

- Modifications to the Indian School Road entrance -
  - provision of a deceleration lane (includes dedication & construction).
  - modification of entrance to include adequate space for all traffic movements either entering or leaving the site, and an adequate throat area for queuing of traffic entering or leaving the parking structure.
  - the entrance will operate as a full movement access point, construction of a median opening for left turns will be required. Additional right-of-way may be required as determined by the requested traffic analysis.
- Modifications to the east side entrance -
  - must be 40 feet wide to accommodate a 16 foot entrance lane & two 12 foot exit lanes for approximately 50 feet before the transition to 30 feet in width.
  - the hotel entrance must be 30 feet in width; the turnaround at the 'Porte cochere' entrance must have a minimum radius of 30 feet, and provision of an exit lane with a maximum width of 18 feet, and intersect at a 60 degree angle with the Loop Road.
- Modifications to the south side entrance -
  - entrance must be a service drive exit only.
  - the exit must intersect west of the Interstate 40 Ramp/Loop Road intersection.
  - the 20 foot exit lane must intersect at a 45 to 60 degree angle to the Loop Road.
- Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets, this includes connections to the adjacent residential and commercial developments.

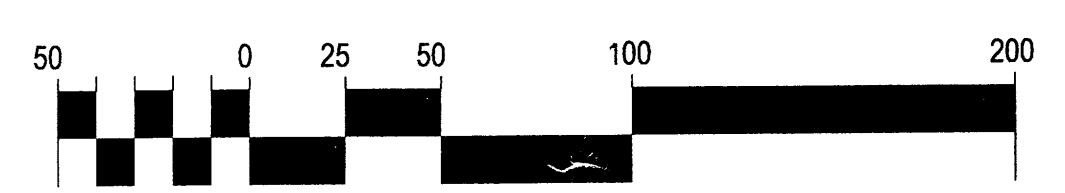
- The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, drive aisles, parking spaces, walls, signs, etc.
- Vehicle and pedestrian circulation pattern must be developed to the satisfaction of the Traffic Engineer.
- Provision of direction pedestrian access from parking garage elevators to the proposed pedestrian mall.
- The completion of the America's Parkway should be determined and participants are urged to complete negotiations as quickly as possible.
- The submittal of this Site Plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal indicating how the site development plan has been modified to meet the EPC conditions.
- The restaurant shall be architecturally integrated into the overall site architecture period. Guidelines shall be developed and submitted to the EPC site plan review committee.
- Street trees shall be added at 30 feet on center on the Westside of the restaurant building along Louisiana.
- Delete the walkways shown on the east, west and south side of the parking garage number 2, convert it to landscaping.
- Improve pedestrian connections from garage number 2 to the pedestrian ways to the east, west, and south of the site.
- Widen the sidewalk directly to the east of the south restaurant; the sidewalk runs in an east/west direction. Shade trees shall be added at 25 feet on center along the pedestrian way.
- Housing units shall be added to the site at a rate of 1 unit per 2,000 square feet of retail above the 10% former requirements up to a maximum of 20% of retail on the site. Parking shall be required at a maximum of 1 space per unit.
- Each housing unit shall have a minimum of 80 square feet of open space adjacent to the unit in form of decks, terraces, or patios and a maximum of 1 parking space per unit. The revised site plan shall be submitted to the EPC site plan review committee for final approval prior to DRB submittal.
- Refuse will have central roll-off compactor location and must have solid waste approval prior to bldg permit.

LOUISIANA BLVD. N.E.  
R.O.W. VARIES 135'-143'



INDIAN SCHOOL ROAD N.E.  
R.O.W. 103'

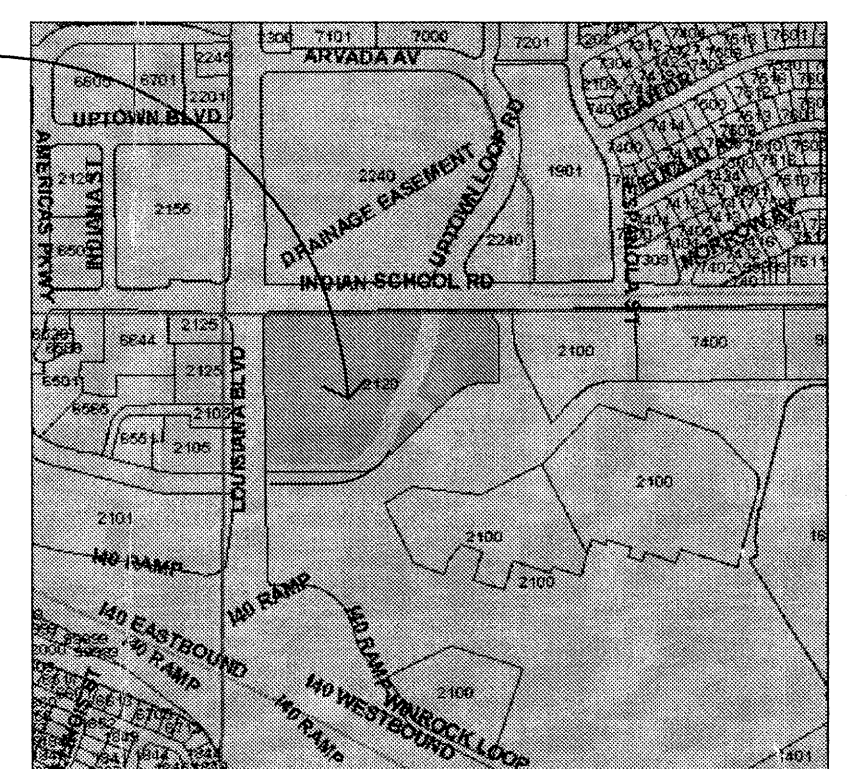
Site Plan - Garage Level  
Scale: 1"=50'-0"



**RADIUS LEGEND**

- 1 RADIUS = 3'-0"
- 2 RADIUS = 5'-0"
- 3 RADIUS = 6'-0"
- 4 RADIUS = 10'-0"
- 5 RADIUS = 12'-0"
- 6 RADIUS = 15'-0"
- 7 RADIUS = 25'-0"
- 8 RADIUS = 27'-0"
- 9 RADIUS = 50'-0"
- 10 RADIUS = 95'-0"
- 11 RADIUS = 180'-0"
- 12 RADIUS = 30'-0"

**VICINITY MAP J-19** 1"=500'-0"



**DRAWING SHEET INDEX**

SHEET NO.	SHEET TITLE
1	GARAGE LEVEL PLAN
2	GROUND LEVEL
3	CONCEPTUAL GRADING & DRAINAGE PLAN
4	CONCEPTUAL UTILITY PLAN
5	LANDSCAPE PLAN
6	ENLARGED LANDSCAPE PLANS
7	ENLARGED LANDSCAPE PLANS
8	PARKING GARAGE PLANS
9	BUILDING ELEVATIONS: HOUSING
10	BUILDING ELEVATIONS: THEATER + RETAIL 5/6/7
11	BUILDING ELEVATIONS: THEATER + GARAGE
12	BUILDING ELEVATIONS: WEST GARAGE ELEVATIONS
13	BUILDING ELEVATIONS: RETAIL 1-2 ELEVATIONS
14	BUILDING ELEVATIONS: HOTEL WEST/SOUTH ELEVATIONS
15	BUILDING ELEVATIONS: HOTEL NORTH ELEVATION
16	BUILDING ELEVATIONS: HOTEL EAST ELEVATION
17	BUILDING AND LANDSCAPE DESIGN STANDARDS
18	DESIGN ELEMENTS
19	DESIGN ELEMENTS
20	DESIGN ELEMENTS
21	DESIGN ELEMENTS

**SITE CALCULATIONS**

SITE AREA	9.63 ACRES
PHASE 1 SITE AREA	7.52 ACRES
VACANT PARCEL SITE AREA	2.11 ACRES
ALLOWABLE BUILDING AREA	
43,560 sf x 7.52 ACRES =	327,572 sf min.
327,572 sf x 1.5 F.A.R. =	491,358 sf max.
ALLOWABLE RETAIL AREA	
491,358 sf x .2 =	98,272 sf (max 20%)
"VACANT PARCEL" IS A PART OF THIS SUBMITTAL FOR "SITE PLAN FOR SUBDIVISION" ONLY.	
"VACANT PARCEL" WILL BE SUBMITTED TO CITY PLANNING FOR "SITE PLAN BUILDING PURPOSES" AT A LATER DATE.	
AS OUTLINED IN THE UPTOWN SECTOR PLAN	
<b>BUILDING AREAS</b>	
THEATER (INCLUDES LOBBY & AUDITORIUMS)	70,000 sf
HOTEL (300 ROOMS)	300,000 sf
RESTAURANT 1	8,500 sf
RESTAURANT 2	10,500 sf
RETAIL 1	26,000 sf
RETAIL 2	12,500 sf
RETAIL 3	5,000 sf
RETAIL 4	4,200 sf
RETAIL 5	2,700 sf
RETAIL 6	2,020 sf
RETAIL 7	2,925 sf
SHOPS (IN THEATER)	8,000 sf
SHOPS	3,225 sf
TOTAL AREA	455,570 sf
TOTAL RETAIL AREA	85,570 sf
RESIDENTIAL	
RETAIL PROVIDED OVER 10% IS 37,790sf/2,000=19 UNITS REQUIRED	
24 RESIDENTIAL UNITS PROVIDED ABOVE GARAGE 1	
<b>PARKING CALCULATIONS</b>	
THEATER (3,000 SEATS 2 FLOORS)	
1 CAR/4 SEATS	3,000 SEATS/4= 750 CARS
HOTEL (300 ROOMS)	1 CAR/ROOM= 300 CARS
RETAIL USES	85,570 sf/300= 286 CARS
RETAIL 1 THRU 7	
SHOPS BLDG.	
REST. 1 & 2	
HOUSING 24 units =	24 CARS
LESS 15% BUS CREDIT - 1,360 x .85=	
TOTAL REQUIRED PARKING	1,156 CARS
TOTAL HANDICAP SPACES REQUIRED (23 CARS)	
TOTAL PARKING PROVIDED	1,156 CARS
1 MOV (CP) / 15 SPACES =	77 CARS
IF THE DEMAND FOR MOV INCREASES THEN THE NUMBER OF MOV SPACES SHALL BE INCREASED TO (1) MOV PARKING SPACE FOR EVERY (10) REQUIRED PARKING SPACES.	
<b>BICYCLE PARKING</b>	
TOTAL PROVIDED	116 BICYCLE SPACES
20 PLAZA	35
REMAINDER IN PARKING STRUCTURES	80
20% (24 SPACES) WILL BE PROVIDED IN LOCKERS LOCATED IN PARKING STRUCTURES	
<b>PARKING NOTES</b>	
TYPICAL STANDARD SPACES ARE 8'-6" x 18'-0" + 2' OVERHANG	
TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-0"	
TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0"	
WITH A 5' WIDE ACCESS AISLE	
ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED.	
TOTAL STANDARD PARKING SPACES	1,047 CARS
TOTAL SMALL CAR SPACES	107 CARS
<b>NOTES</b>	
THE TRAFFIC MITIGATION PLAN, AGREED TO BY THE APPLICANT, ENVIRONMENTAL HEALTH DEPARTMENT, TRANSPORTATION DEVELOPMENT DIVISION, CONTAINS ELEMENTS WHICH ARE INTEGRAL TO THE SITE DESIGN, AND IT SHALL BE USED DURING EACH PHASE OF SITE DEVELOPMENT.	
THERE SHALL BE NO MORE THAN 98,272 SQUARE FEET OF RETAIL/RESTAURANT USES ON THIS SITE.	

EPC CASE # 98-123 DRB CASE #

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks and General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date
Solid Waste	

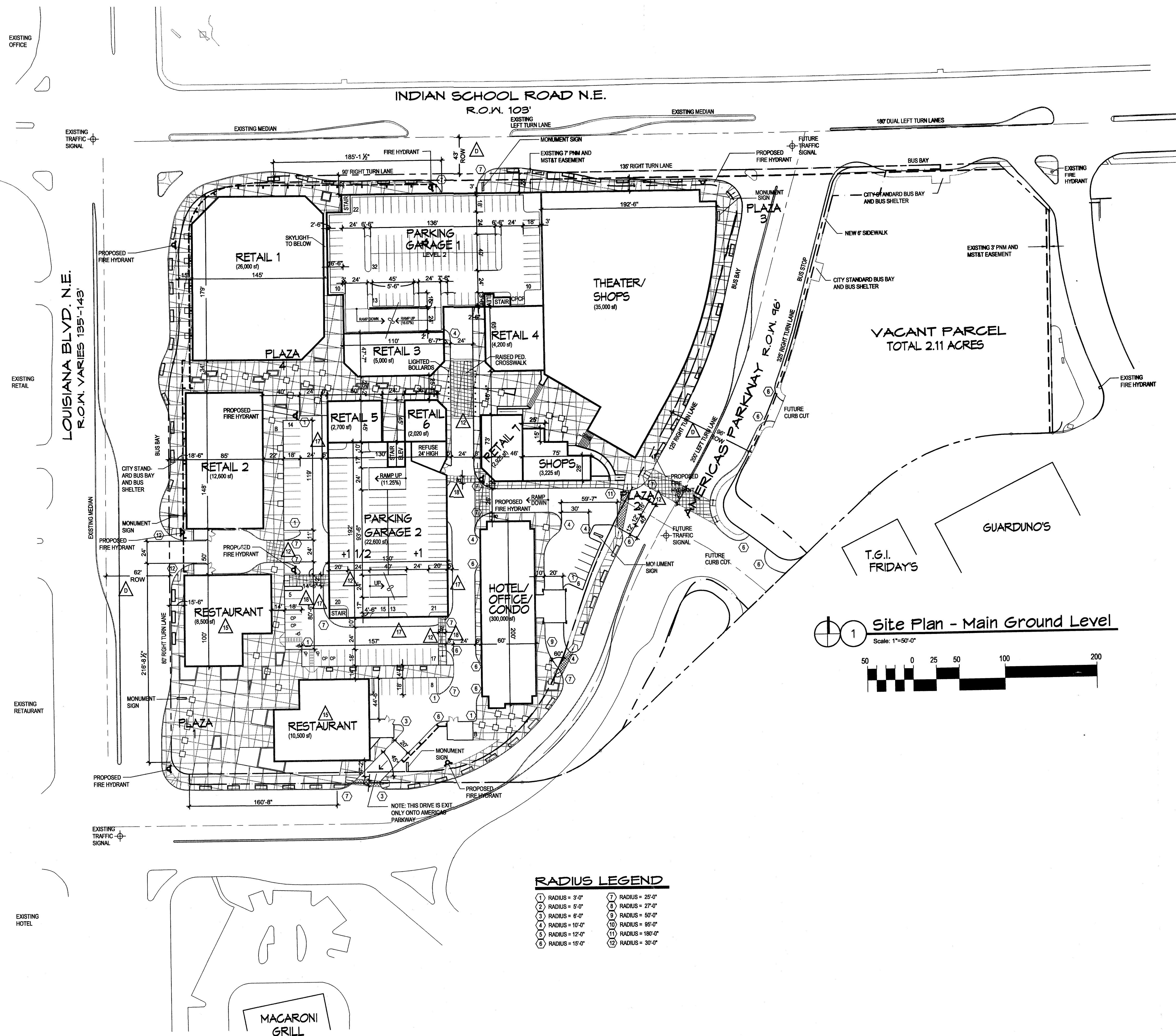
**SITE PLAN FOR BLDG. PERMIT**  
**SITE PLAN FOR SUBDIVISION**

**UPTOWN SPECTRUM**  
**DRB SUBMITTAL**

HUNT UPTOWN II, LLC  
A LIMITED LIABILITY COMPANY  
500 Marquette, NW Suite 350  
Albuquerque, New Mexico 87103

GEORGE RAINHART, ARCHITECT + ASSOCIATES P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

**GARAGE LEVEL PLAN**



**SITE CALCULATIONS**

SITE AREA	9.63 ACRES
PHASE I SITE AREA	7.52 ACRES
VACANT PARCEL SITE AREA	2.11 ACRES
ALLOWABLE BUILDING AREA	43,560 sf x 7.52 ACRES = 327,572 sf min.
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 AS OUTLINED IN THE UPTOWN SECTOR PLAN

**BUILDING AREAS**

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SHOPS	3,225 sf
<b>TOTAL AREA</b>	<b>455,570 sf</b>
<b>TOTAL RETAIL AREA</b>	<b>85,570 sf</b>

RESIDENTIAL RETAIL PROVIDED OVER 10% IS 37,790sf/2,000=19 UNITS REQUIRED  
 24 RESIDENTIAL UNITS PROVIDED ABOVE GARAGE 1

**PARKING CALCULATIONS**

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RETAIL USES	85,570 sf/300 = 286 CARS
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SHOPS BLDG.	
REST. 1 & 2	
HOUSING 24 units =	24 CARS
LESS 15% BUS CREDIT - 1,360 x .85 =	
<b>TOTAL REQUIRED PARKING</b>	<b>1,156 CARS</b>
<b>TOTAL HANDICAP SPACES REQUIRED</b>	<b>(23 CARS)</b>
<b>TOTAL PARKING PROVIDED</b>	<b>1,156 CARS</b>

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**PARKING NOTES**

BICYCLE PARKING	116 BICYCLE SPACES
TOTAL PROVIDED	80
20/ PLAZA =	35
REMAINDER IN PARKING STRUCTURES	
20% (24 SPACES) WILL BE PROVIDED IN LOCKERS LOCATED IN PARKING STRUCTURES	

**NOTES**

THE TRAFFIC MITIGATION PLAN, AGREED TO BY THE APPLICANT, ENVIRONMENTAL HEALTH DEPARTMENT, TRANSPORTATION DEVELOPMENT DIVISION, CONTAINS ELEMENTS WHICH ARE INTEGRAL TO THE SITE DESIGN, AND IT SHALL BE USED DURING EACH PHASE OF SITE DEVELOPMENT.  
 THERE SHALL BE NO MORE THAN 98,272 SQUARE FEET OF RETAIL/RESTAURANT USES ON THIS SITE.

**SITE PLAN FOR BLDG. PERMIT**  
**SITE PLAN FOR SUBDIVISION**

**UPTOWN SPECTRUM**  
**DRB SUBMITTAL**

HUNT UPTOWN II, LLC  
 A LIMITED LIABILITY COMPANY  
 500 Marquette, NW Suite 350  
 Albuquerque, New Mexico 87103

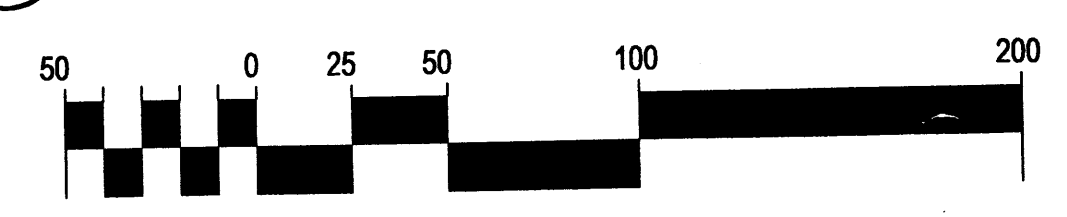
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 2325 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

**GROUND LEVEL**

**RADIUS LEGEND**

① RADIUS = 3'-0"	⑦ RADIUS = 25'-0"
② RADIUS = 5'-0"	⑧ RADIUS = 27'-0"
③ RADIUS = 6'-0"	⑨ RADIUS = 50'-0"
④ RADIUS = 10'-0"	⑩ RADIUS = 95'-0"
⑤ RADIUS = 12'-0"	⑪ RADIUS = 180'-0"
⑥ RADIUS = 15'-0"	⑫ RADIUS = 30'-0"

Site Plan - Main Ground Level  
 Scale: 1"=50'-0"



EXISTING HOTEL

EXISTING RESTAURANT

EXISTING RETAIL

EXISTING OFFICE

LOUISIANA BLVD. N.E.  
 R.O.W. VARIES 135'-143'

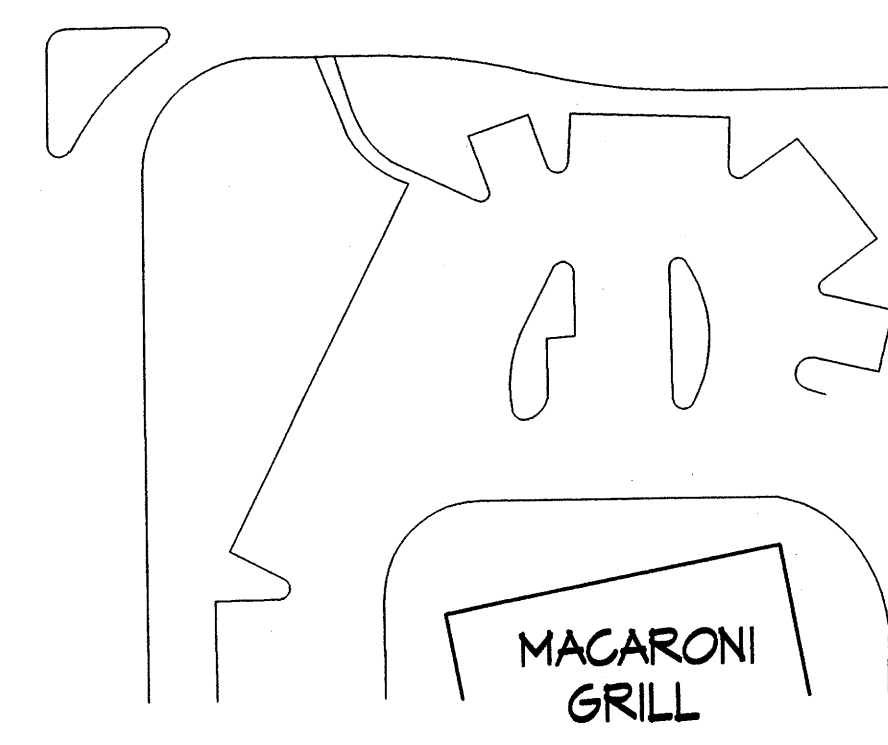
EXISTING TRAFFIC SIGNAL

EXISTING TRAFFIC SIGNAL

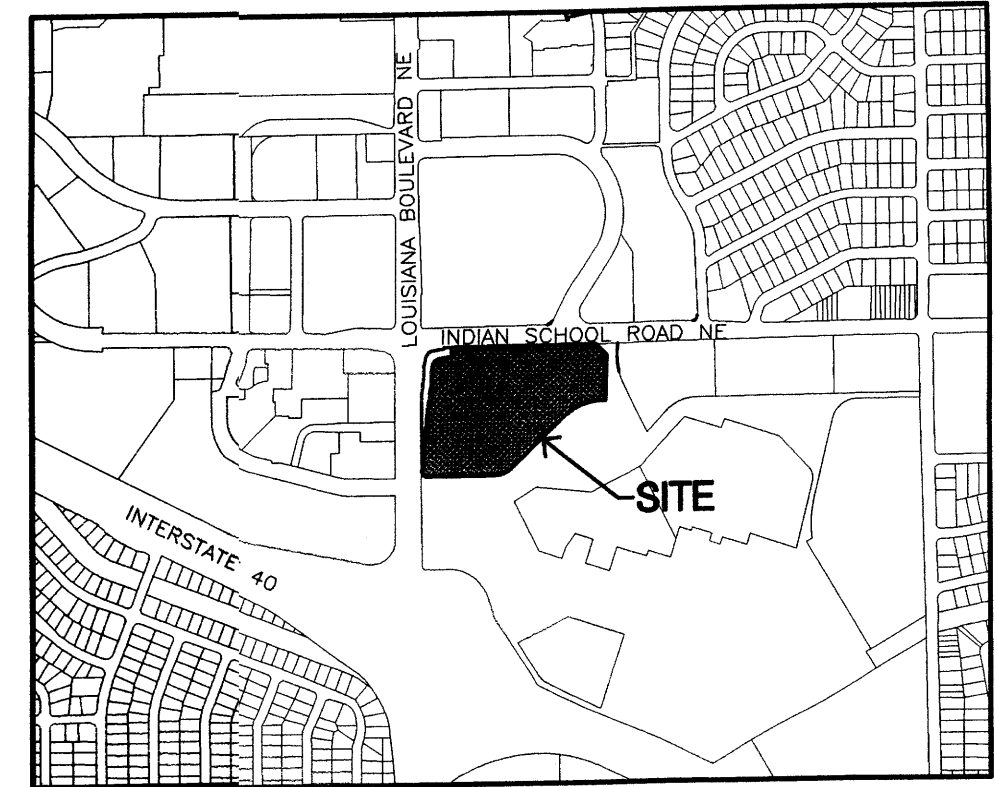
EXISTING TRAFFIC SIGNAL

EXISTING TRAFFIC SIGNAL

EXISTING TRAFFIC SIGNAL



NOTE: THIS DRIVE IS EXIST ONLY ONTO AMERICAS PARKWAY



LOCATION MAP  
ZONE ATLAS INDEX MAP No. J-19-Z  
NOT TO SCALE

**Uptown Spectrum  
Drainage Management Plan**

**Site Location and Background Information**

This site is located on the southeast corner of Indian School and Louisiana, in Northeast Albuquerque. The site is known as the Monroe School Site, and was formerly owned by APS. The Spectrum site is bounded on the east and south by the proposed Uptown Loop Road, and on the north and west by Indian School and Louisiana respectively. A portion of the Monroe School Site is located east of the proposed Uptown Loop Road; that portion is not a part of this submittal. The site is in precipitation zone 3 as defined by Figure A-1 of the DPM section 22.2.A.1. The legal description of the site is Tract A Monroe Jr. High School. Please see the vicinity map on this sheet for a graphic depiction of the site location.

The development plan proposed with this submittal is known as Uptown Spectrum. Both the Site Plan for Subdivision Purposes and the Site Plan for Building Permit purposes have been approved through the EPC process (EPC Case No Z-98-123). This Conceptual Grading and Drainage Plan is submitted to support DRB final sign-off of the Site Plan for Subdivision and the Site Plan for Building permit.

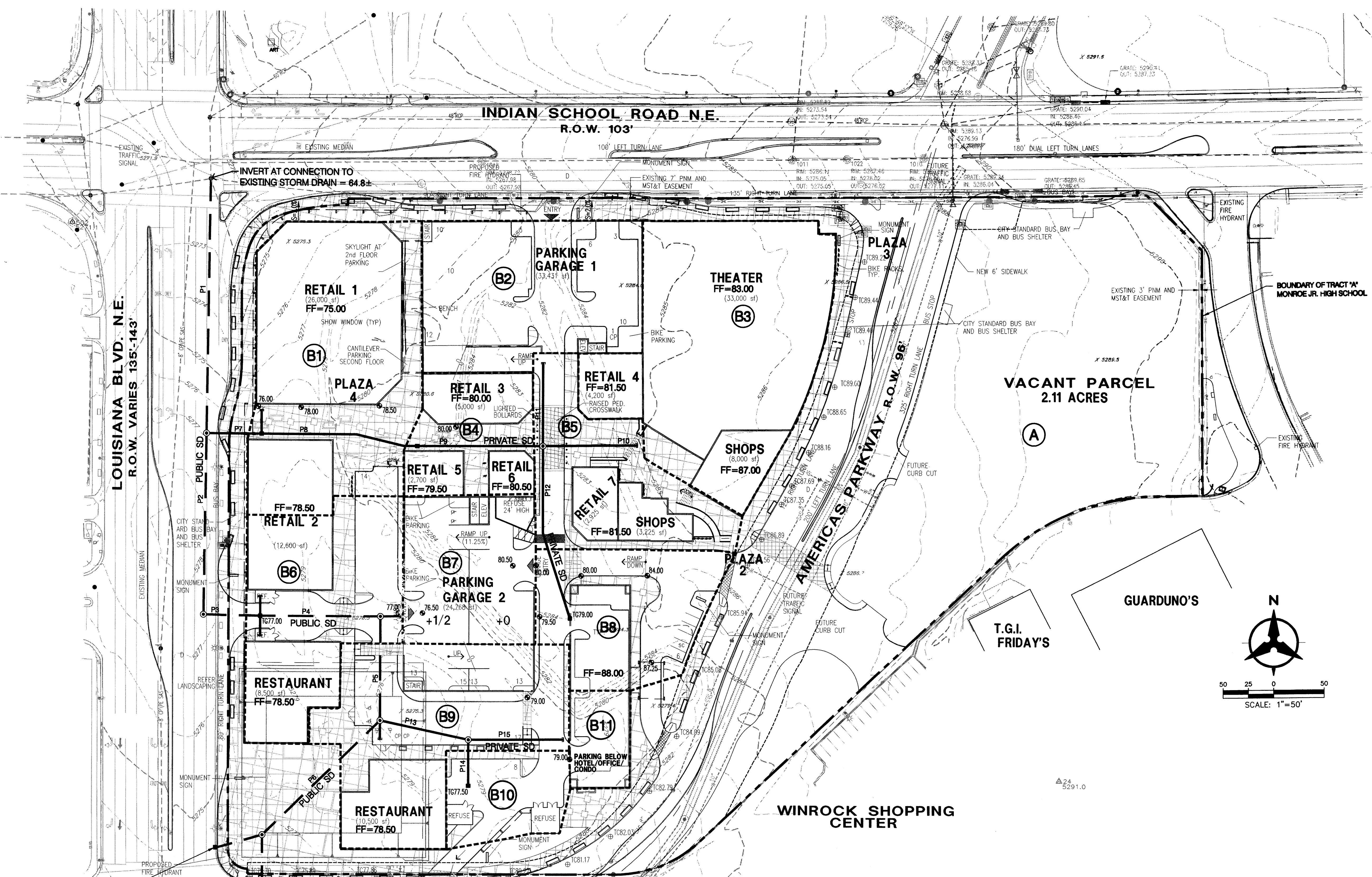
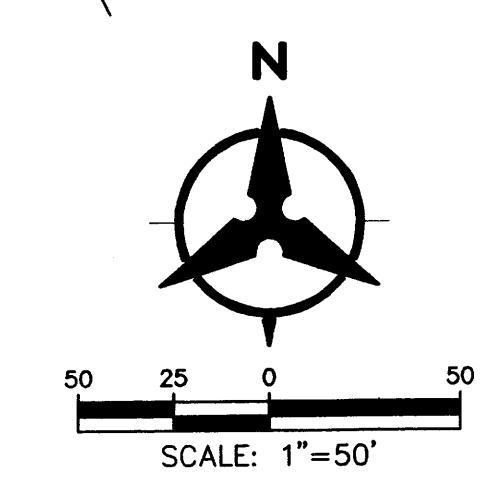
The most recent drainage report to address drainage of this site and the surrounding area is entitled "Drainage Study for the ABQ Uptown Area", dated August 13, 2002, and prepared by Bohannon Huston. That drainage report has been approved (see letter dated August 30<sup>th</sup>, 2002 from Carlos Montoya to Elizabeth Smith) and can be found in hydrology file H19/D72. This submittal is in full compliance with the guidance and recommendations set forth in that report.

**Existing Conditions**

The site under existing conditions drains to the west at a slope of approximately 1.7%. Since the site was previously developed, it may be considered 100% land treatment C as defined by Table A-4, Section 22.2.A.3 of the DPM. As such, the existing runoff from the 11.75 acre site in the 100 year storm is 40.5cfs (11.75 acres x 3.34 cfs/ac). This runoff enters Indian School and Louisiana mainly by sheet flow. Note that the 11.75 acres calculated above includes the portion of Tract A which is to be dedicated to the city for Uptown Loop Road, as well as the portion east of the Loop Road.

**Proposed Conditions**

Under proposed conditions the site is virtually 100% impervious. Accordingly, the developed discharge from the entirety of Tract A is 59cfs (11.75 acres x 5.02 cfs/ac). All of the runoff from the Spectrum site will drain to the public storm drain at the intersection of Louisiana and Indian School. Small portions of the site around the perimeter of the site (Basin B12, 1.06ac.) will drain to the surface of the surrounding public streets. These flows will then be conveyed by the public streets to proposed inlets located at the intersection of Uptown Loop Road and Louisiana and existing inlets located at the corner of Indian School and Louisiana. Basin A shown on this drawing is composed of the portion of Tract A which is to become dedicated Uptown Loop Road right-of-way, as well as Tract A east of Uptown Loop Road. Basin A will drain to the proposed inlets at the intersection of Uptown Loop Road and Louisiana via the surface of Uptown Loop Road, in



**UPTOWN SPECTRUM BASIN CALCULATIONS**  
Ultimate Development Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone:3

BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages			Q(100) (cfs/ac)	Q(100) (cfs)	WT E (Inches)	V(100) <sub>min</sub> (CF)	V(100) <sub>max</sub> (CF)	
ID			A	B	C	D					
Basin A	186873	4.29	0.0%	0.0%	0.0%	100.0%	5.02	21.54	2.38	36752	43915
Basin B	324528	7.45	0.0%	0.0%	0.0%	100.0%	5.02	37.40	2.38	63824	78264
B1	44772	1.03	0.0%	0.0%	0.0%	100.0%	5.02	5.16	2.38	8806	10522
B2	30010	0.69	0.0%	0.0%	0.0%	100.0%	5.02	3.46	2.38	5902	7052
B3	48121	1.10	0.0%	0.0%	0.0%	100.0%	5.02	5.55	2.38	9464	11308
B4	14694	0.34	0.0%	0.0%	0.0%	100.0%	5.02	1.69	2.38	2890	3453
B5	22726	0.52	0.0%	0.0%	0.0%	100.0%	5.02	2.62	2.38	4469	5341
B6	28927	0.66	0.0%	0.0%	0.0%	100.0%	5.02	3.33	2.38	5689	6798
B7	18606.4	0.43	0.0%	0.0%	0.0%	100.0%	5.02	2.14	2.38	3659	4372
B8	20603.2	0.47	0.0%	0.0%	0.0%	100.0%	5.02	2.36	2.38	4032	4818
B9	34932	0.80	0.0%	0.0%	0.0%	100.0%	5.02	4.03	2.38	6870	8299
B10	10174.09	0.23	0.0%	0.0%	0.0%	100.0%	5.02	1.17	2.38	2001	2391
B11	5588.87	0.13	0.0%	0.0%	0.0%	100.0%	5.02	0.84	2.38	1099	1313
B12	46174	1.06	0.0%	0.0%	0.0%	100.0%	5.02	5.32	2.38	9081	10851

**STORM DRAIN PIPE TABLE**

PIPE #	Size in.	Slope	PIPE Capacity	ACTUAL FLOW	LENGTH	INVERT IN	INVERT OUT
P15	8	0.0100	1.21	0.64	94.44	69.02	68.08
P14	8	0.0100	1.21	1.17	45.26	68.53	68.08
P13	18	0.0100	10.50	1.82	89.43	68.08	67.19
P12	18	0.0100	10.50	2.36	168.48	70.69	69.01
P11	18	0.0100	10.50	3.46	78.39	69.79	69.01
P10	18	0.0100	10.50	5.55	90.55	69.92	69.01
P9	24	0.0100	22.62	13.99	119.70	68.91	67.71
P8	24	0.0100	22.62	15.68	151.85	67.71	66.19
P7	24	0.0100	22.62	20.84	54.37	66.19	65.65
*P6	36	0.0049	46.89	46.86	161.98	67.98	67.18
*P5	42	0.0027	52.28	52.70	102.23	67.08	66.81
*P4	42	0.0030	55.11	54.84	119.15	66.71	66.35
*P3	42	0.0035	59.52	58.18	55.94	66.25	66.05
*P2	48	0.0017	59.23	58.18	177.49	65.95	65.65
*P1	48	0.0030	78.68	79.02	250.27	65.55	64.80

\* DENOTES PUBLIC STORM DRAIN

PIPE CAPACITIES ARE BASED ON GRAVITY FLOW USING MANNING'S EQN. WHERE n=0.013

*Bohannon Huston*  
Professional Engineer  
11/14/02 - UPDATED TO SHOW COURSE-IT ARCHITECTURAL SITE PLAN

**Bohannon Huston**  
Court yard 1 7600 Jefferson St. NE Albuquerque, NM 87106-4335  
ENGINEERING ■ SPATIAL DATA ■ ADVANCED TECHNOLOGIES

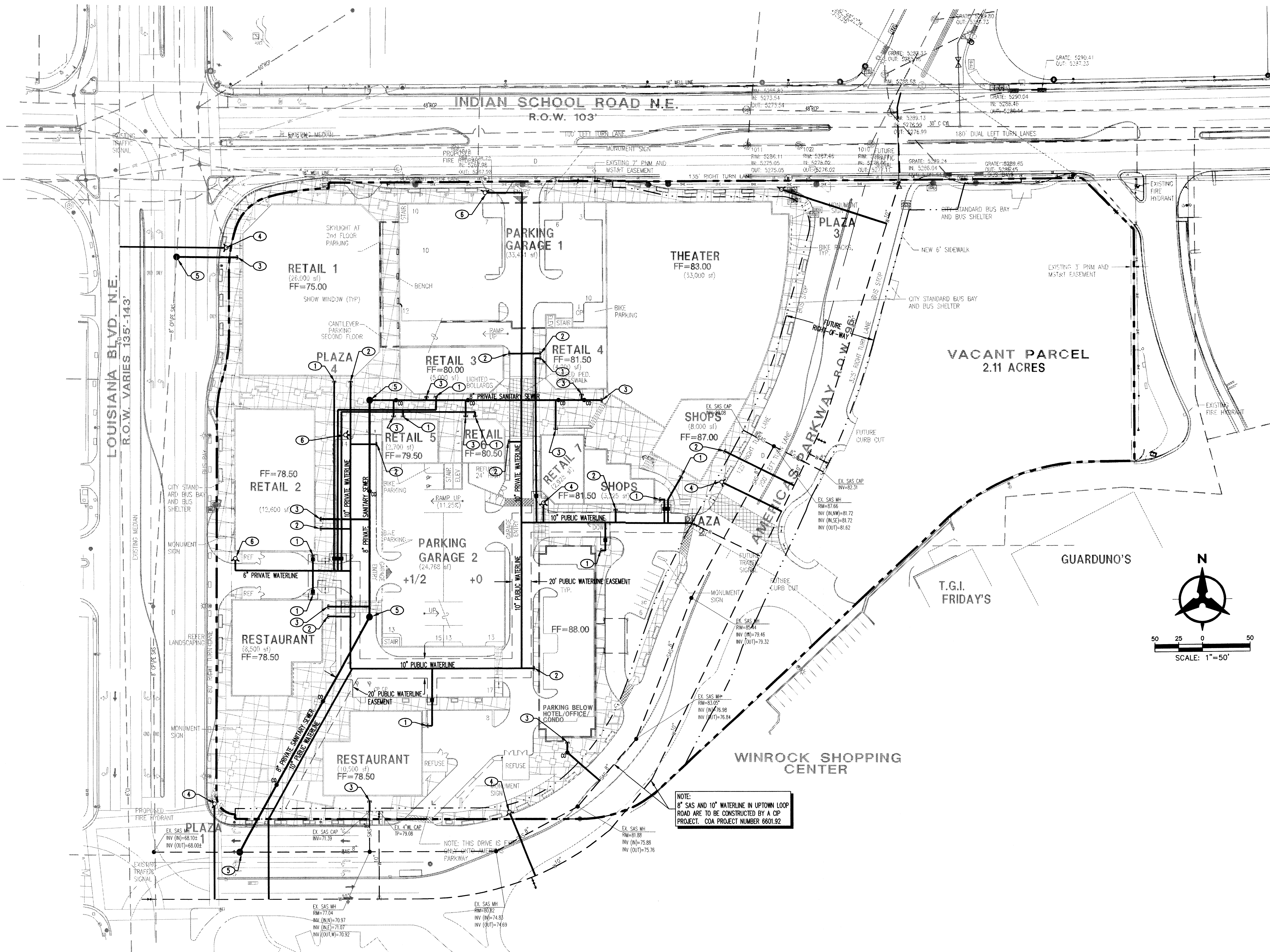
**UPTOWN SPECTRUM  
DRB SUBMITTAL**

HUNT UPTOWN II, LLC  
500 Marquette NW Suite 350  
Albuquerque, New Mexico 87102

GEORGE RAINHART, ARCHITECT + ASSOCIATES P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
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**CONCEPTUAL GRADING  
& DRAINAGE PLAN**  
11/05/2002  
sheet 3 of 21



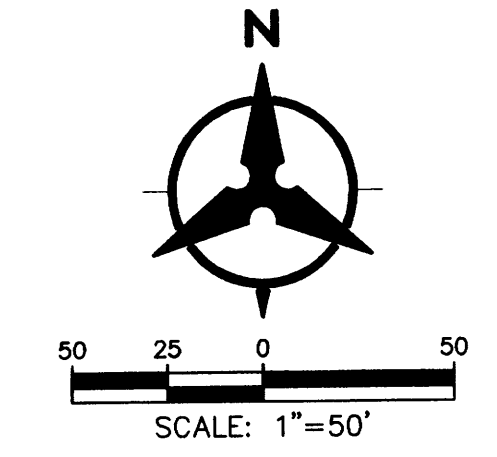


① UTILITY KEYED NOTES

1. DOMESTIC METERED SERVICE (2" OR SMALLER)
2. FIRE SERVICE (SPRINKLERS)
3. SANITARY SEWER SERVICE LINE (4", 6" OR 8" AS REQUIRED)
4. PUBLIC FIRE HYDRANT
5. SANITARY SEWER MANHOLE
6. PRIVATE FIRE HYDRANT

NOTE:  
ALL LINE SIZES ARE APPROXIMATE. FINAL LINE SIZES WILL BE BASED ON THE REQUIREMENTS OF THE WATER & SEWER AVAILABILITY STATEMENT AND UPON FINAL DESIGN CALCULATIONS.

NOTE:  
8" SAS AND 10" WATERLINE IN UPTOWN LOOP ROAD ARE TO BE CONSTRUCTED BY A CIP PROJECT. COA PROJECT NUMBER 6601.92



**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
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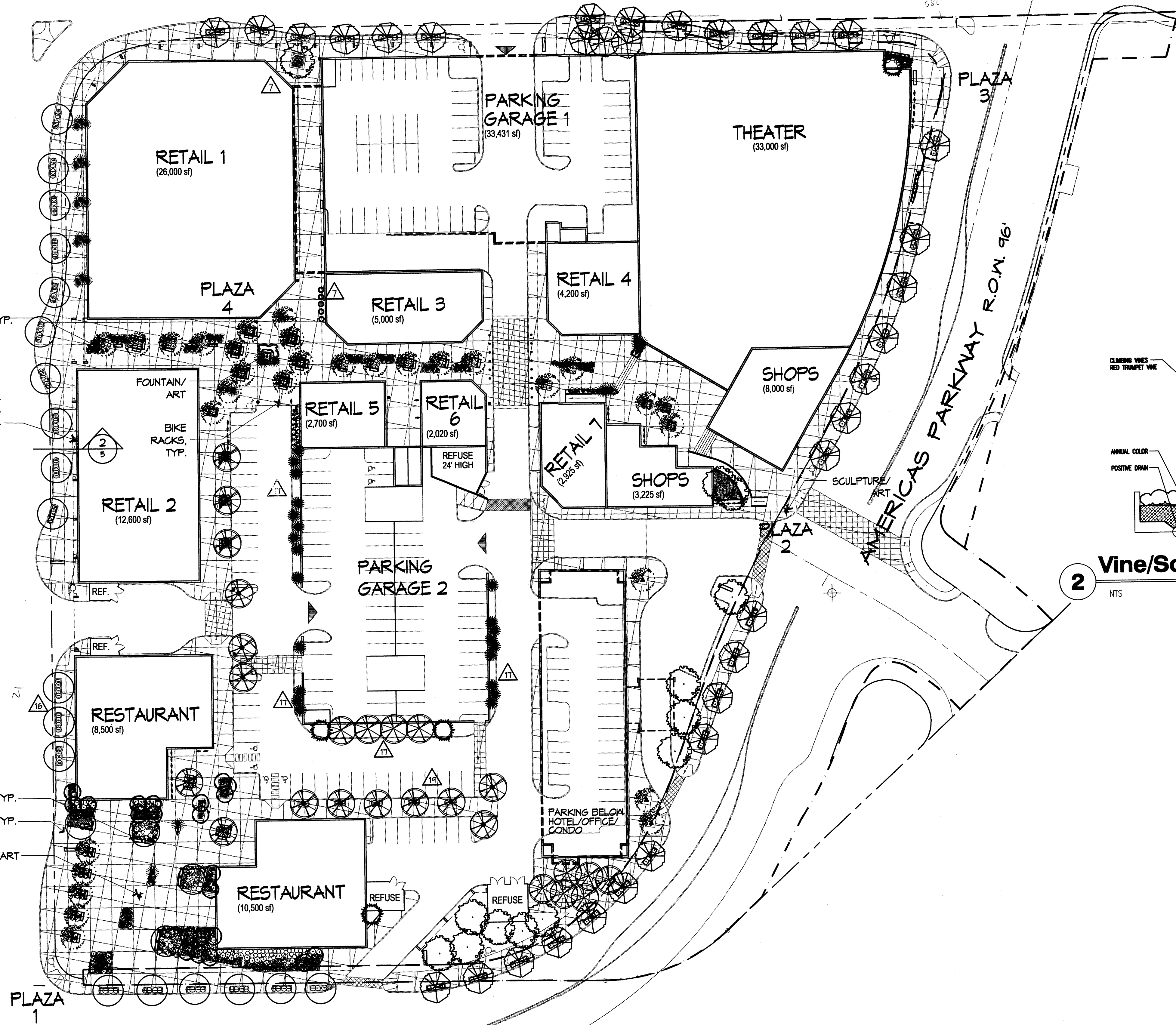
**CONCEPTUAL UTILITY PLAN**

LOUISIANA BLVD. N.E.  
R.O.W. VARIES 135'-143'

INDIAN SCHOOL ROAD N.E.  
R.O.W. 103'

PLAZA 3

AMERICAS PARKWAY R.O.W. 96'



**RESPONSE TO CONDITIONS**

- △ The Landscape Plan consists of three sheets - one 40-scale site plan and two sheets of 10-scale Plaza enlargement plans. Locations for site furnishings, including benches, waste receptacles, portable planters, tree guards and art, are illustrated on the landscape plans. Plant materials are illustrated on the plans and keyed to plant schedules located on each Landscape sheet.
- △ Planting and irrigation installation details shall be per City of Albuquerque standards.
- △ Additional landscaping has been added at several locations around the site. Portable plantings have been added as an entrance to the north-south pedestrian walkway east of Retail 1. A fountain is now illustrated in the center of the pedestrian mall between retail buildings 1, 2, 3 and 5.
- △ Street trees at 30' o.c. have been added to the west side of the restaurant building located on Louisiana.
- △ The walkways on the east, south and west of Garage 2 have been converted to landscaping.
- △ The east-west sidewalk on the north side of the restaurant has been widened. At grade planters and shade trees at approximately 25 feet o.c. have also been added to the plan.

**LANDSCAPE CALCULATIONS**

Total Phase 1 Area: 1.52 acres= 327,571 SF  
 Total Building Area (Footprint Area): 191,310 SF  
 Offsite Area: 0 SF  
 Net Lot Area: 327,571-191,310= 136,261 SF  
 Landscape Requirement: 15%  
 Total Landscape Required: 20,439 SF  
 Total Landscape Provided: 26,136 SF  
 Total Planter Area Provided: 16,648 SF  
 (Max. allowable High Water Use Plantings:  
 20% of required landscape area =  
 20 x 20,439 SF = 4,087 SF)  
 Total Vertical Screening Provided: 4,436 SF

**LANDSCAPE NOTES**

Irrigation system to be comprised of a combination of drip and spray zones. Drip emitters shall be used for all plant material except sod areas. Sod areas shall be irrigated with a spray emitters appropriately designed to avoid overspray onto impermeable surfaces and adjacent property.  
 The run time for the various zones shall be approximately 30 minutes for drip zones and 15 minutes for spray zones. Run times shall be adjusted according to season.  
 The point of connection for irrigation system shall be coordinated with overall water service to be delivered to the property. Exact location is unknown at this time.  
 Planting and irrigation maintenance shall be the responsibility of the Property Owner.  
 Planting and irrigation shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance.  
 All planting beds shall be covered by Santa Ana Tan gravel mulch with filter fabric.

**LIGHTING NOTE**

Lighting shall comply with applicable City of Albuquerque lighting regulations.

**FURNISHINGS**

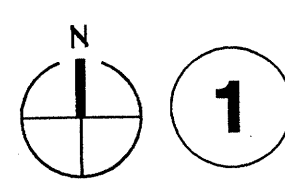
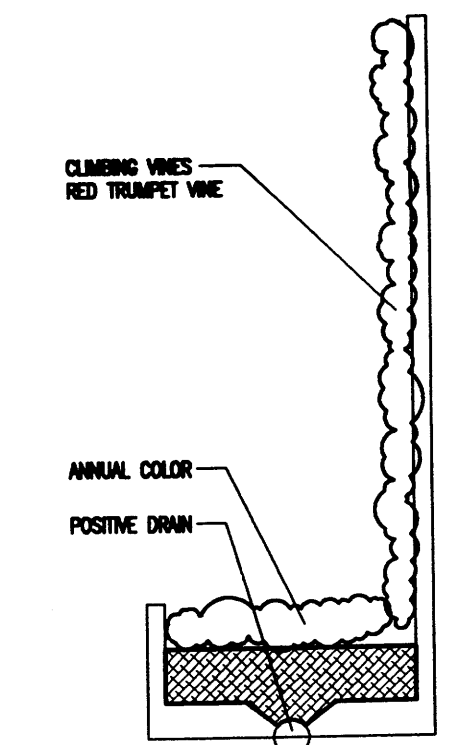
- 6' Bench w/ Back
- 6' Sofa-style Bench
- Waste Receptacle
- ✱ Sculpture/Art
- Tree Guard
- Planter - portable, with annuals
- Bike Rack

**PLANT SCHEDULE**

symbol	botanical name/ common name	condition	mature size (HxW)/ water use
○	Trees		
○	Chilopsis linearis/ Desert Willow	48" Box/ Large, Multi-trunked	20'x25'/ Low
○	Chitalpa tashkentensis/ Chitalpa	48" Box/ Large, Multi-trunked	30'x30'/ Medium
○	Cupressocyparis leylandii/ Leland Falsecypress	12' High/B&B	50'x20'/ Medium
○	Fraxinus angustifolia "Raywood"/ Raywood Ash	2 1/2' Cal./B&B	35'x30'/ Medium
○	Fraxinus velutina "Modesto"/ Modesto Ash	2 1/2' Cal./B&B	40'x40'/ Medium
○	Lagerstroemia indica/ Crape Myrtle (tree form)	24" Box/ Large, Multi-trunked	18'x10'/ High
○	Pinus edularica/ Afghan Pine	12' High/B&B	40'x15'/ Medium
○	Platanus acerifolia/ London Plane Tree	3 1/2' Cal./ B&B	50'x25'/ High
○	Populus fremontii "Nisilenii"/ Rio Grande Valley Cottonwood	4" Cal./B&B	50'x30'/ High
○	Yucca elata/ Soapstone Yucca	24" Box/ Large, Multi-trunked	24" Box/ Large, Multi-trunked
□	Landscape Area/ (See Other Landscape Sheets for Plaza Enlargements)		

**2 Vine/Screen Detail**

NTS



**1 Landscape Plan**

Scale: 1"=40'-0"  
0 20' 40'

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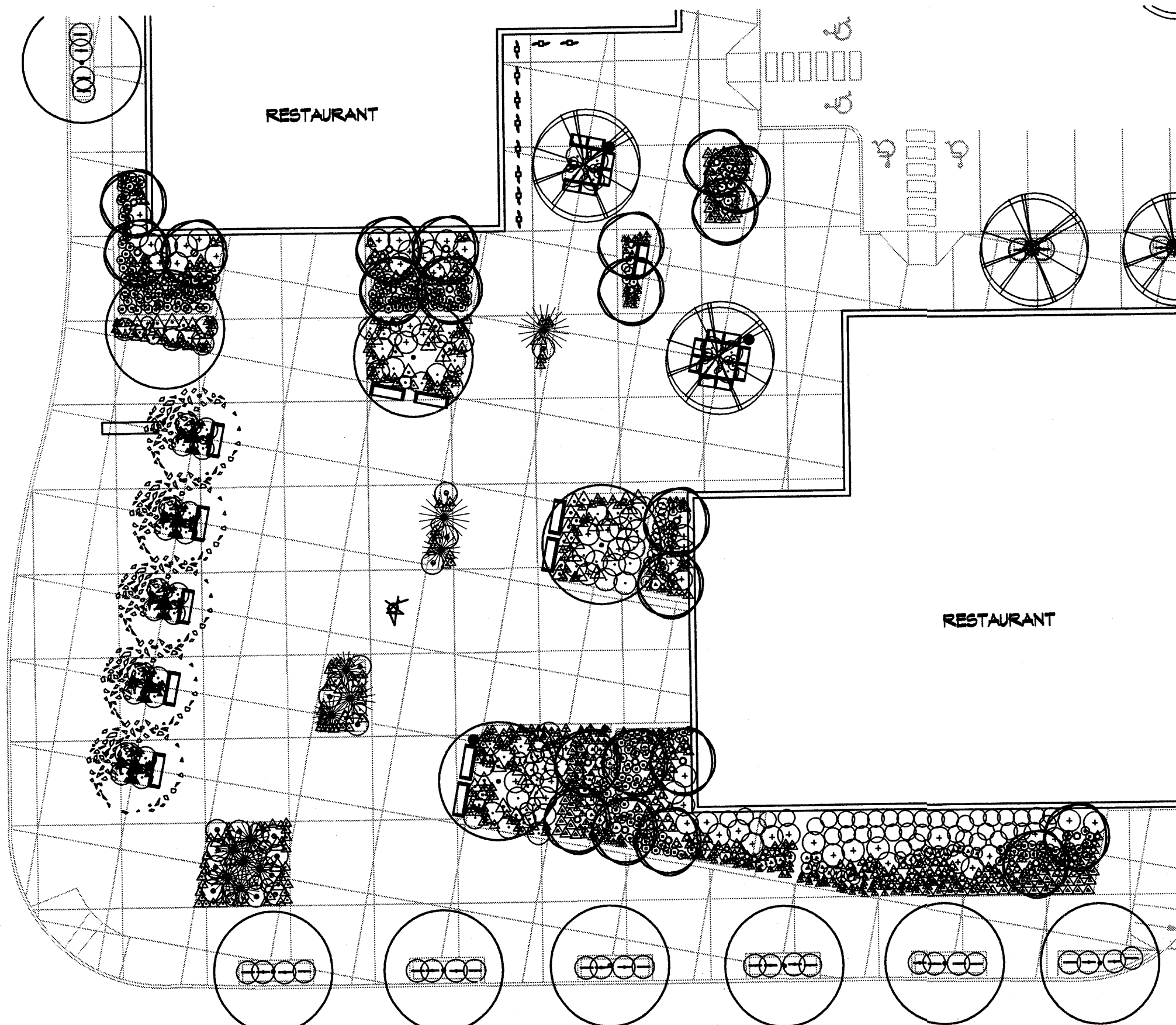
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**LANDSCAPE PLAN**

05 NOVEMBER 2002  
sheet: 5 of 21



**2 Plaza 2: Enlarged Landscape Plan**  
 Scale: 1"=20'-0"  
 0 10' 20'



**1 Plaza 1: Enlarged Landscape Plan**  
 Scale: 1"=20'-0"  
 0 10' 20'

symbol	botanical name/ common name	condition	mature size (HxW)/ water use	botanical name/ common name	condition	mature size (HxW)/ water use
	Trees			<b>Grasses</b>		
	Chilopsis linearis/ Desert Willow	48" Box/ Large, Multi-trunked	20'x25'/ Low		Festuca idahoensis "Siskiyou Blue" / Siskiyou Blue Fescue	1 Gal. Cont. 18'x15'/ Medium
	Chitalpa tashkentensis/ Chitalpa	48" Box/ Large, Multi-trunked	30'x30'/ Medium		Helictotrichon sempervirens/ Blue Avena Grass	1 Gal. Cont. 48'x24'/ Medium
	Cupressocypariss leylandii/ Leland Falsecypress	12 High/B4B	50'x20'/ Medium		Miscanthus sinensis "Gracillimus"/ Malden Grass	1 Gal. Cont. 60'x36'/ Medium
	Fraxinus angustifolia "Raywood"/ Raywood Ash	2 1/2" Cal./B4B	35'x30'/ Medium		Miscanthus sinensis "Purpurea"/ Purple Maiden Grass	1 Gal. Cont. 36'x18'/ Medium
	Fraxinus velutina "Modesto"/ Modesto Ash	2 1/2" Cal./B4B	40'x40'/ Medium		Muhlenbergia capillaris "Regal Mist"/ Regal Mist Muhlenbergia	1 Gal. Cont. 36'x42'/ Medium
	Lagerstroemia indica/ Crape Myrtle (tree form)	24" Box/ Large, Multi-trunked	18'x10'/ High	<b>Perennials/Vines</b>		
	Pinus eldarica/ Afghan Pine	12 High/B4B	40'x15'/ Medium		Achillea x "Moonshine"/ Moonshine Yarrow	1 Gal. Cont. 18'x24'/ Medium
	Platanus acerifolia/ London Plane Tree	3 1/2" Cal./ B4B	50'x25'/ High		Agastache cana/ Hummingbird Mint	1 Gal. Cont. 30'x18'/ Medium
	Populus fremontii "Missizeni"/ Rio Grande Valley Cottonwood	4" Cal./B4B	50'x30'/ High		Anemopsis californica/ Yerba de Mansa	1 Gal. Cont. 18'x24'/ Medium
	Yucca elata/ Soapstone Yucca	24" Box/ Large, Multi-trunked	24" Box/ Large, Multi-trunked		Artemisia x "Pouls Castle"/ Pouls Castle Sage	1 Gal. Cont. 36'x30'/ Medium
	Shrubs				Campsis radicans "Flava"/ Yellow Trumpet vine	1 Gal. Cont. Vine/ Medium
	Juniperus horizontalis sp/ Prostrate Juniper	5 Gal. Cont.	12'x56'/ Low		Caryopteris clandonensis "Dark Knight" / Dark Night Blue Mist Spirea	1 Gal. Cont. 48'x48'/ Medium
	Rosmarinus officinalis sp/ Prostrate Rosemary	5 Gal. Cont.	24'x12'/ Medium		Ceratostigma plumbaginoides/ Dwarf Plumbago	1 Gal. Cont. 12'x18'/ Medium
	Succulents				Hymenoxys acaulis/ Angelita Daisy	1 Gal. Cont. 12'x12'/ Low
	Hesperaloe parviflora/ Red Hesperaloe	5 Gal. Cont.	48'x48'/ Medium		Lavandula angustifolia "Hidcote Superior" / Hidcote Superior Lavender	1 Gal. Cont. 16'x18'/ Medium
	Hesperaloe parviflora "Yellow"/ Yellow Hesperaloe	5 Gal. Cont.	48'x48'/ Medium		Linum lewisii "Apper"/ Apper Blue Flax	1 Gal. Cont. 18'x18'/ Medium
	Opuntia engelmannii/ Engelmann's Prickly Pear	1 Gal. Cont.	48'x60'/ Low		Penstemon strictus/ Rocky Mountain Penstemon	1 Gal. Cont. 24'x36'/ Medium
	Opuntia santa-rita/ Santa Rita Prickly Pear	1 Gal. Cont.	60'x48'/ Low		Salvia greggii "Mild Thing"/ Mild Thing Bush Sage	1 Gal. Cont. 30'x36'/ Low
	FURNISHINGS				Salvia nemerosa "May Night"/ May Night Sage	1 Gal. Cont. 18'x18'/ Medium
	6' Bench w/ Back				Teucrium chamaedrys/ Trailing Germander	1 Gal. Cont. 12'x24'/ Medium
	6' Sofa-style Bench				Mistaria sinensis/ Chinese Mysteria	1 Gal. Cont. Vine/ Medium
	Waste Receptacle					
	Sculpture/Art					
	Tree Guard					
	Planter - portable, with annuals					
	Bike Rack					

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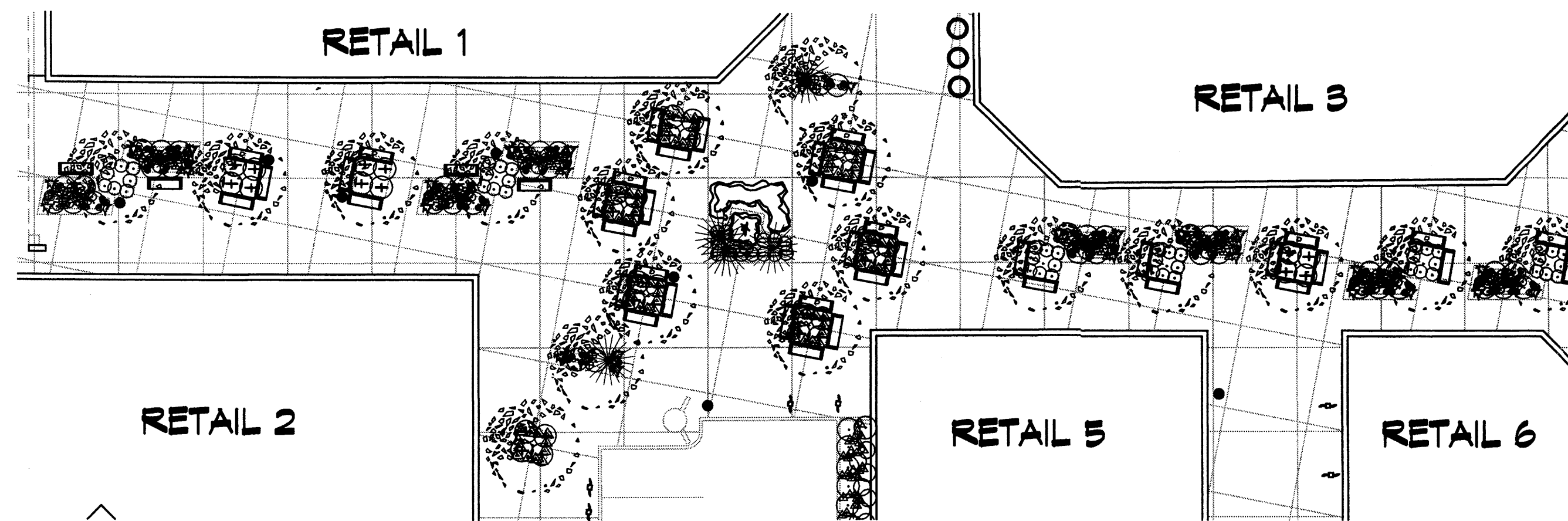
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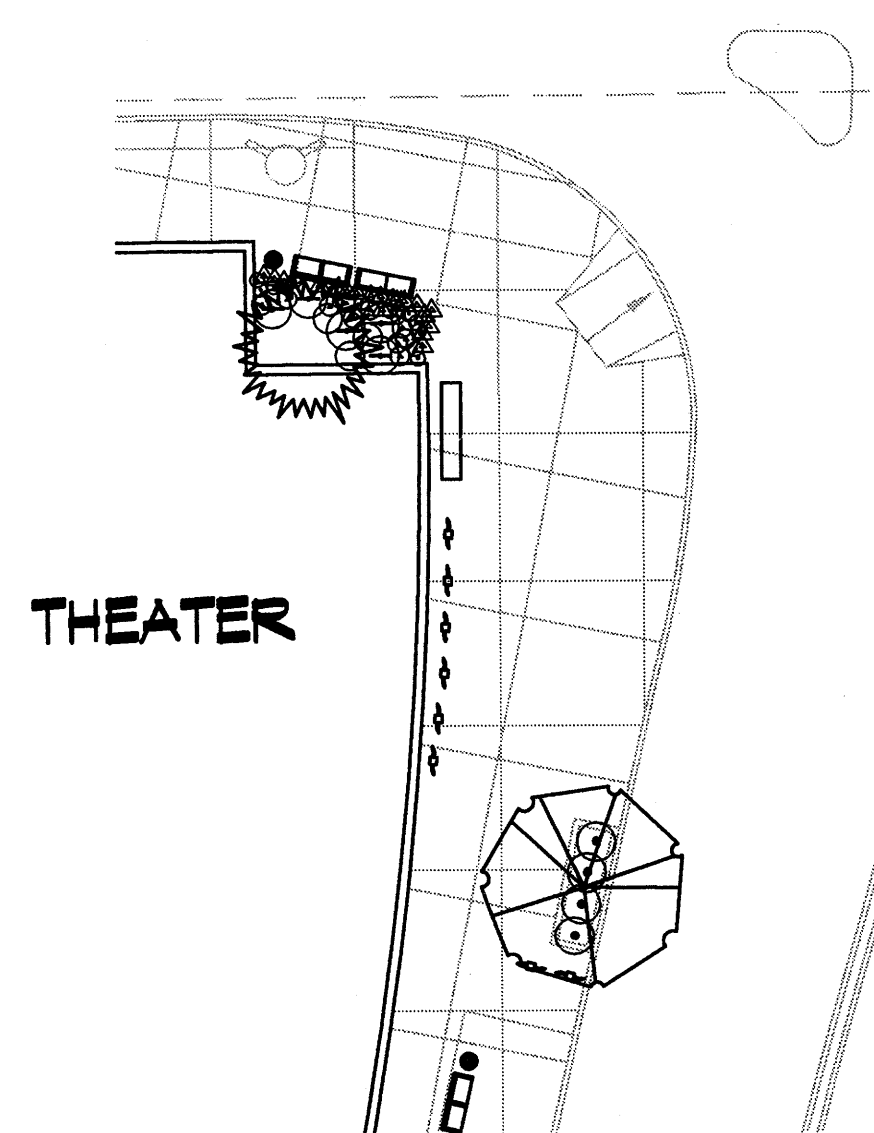
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**Enlarged Landscape Plans**

11/05/2002  
 sheet: 6 of 21



**2 Plaza 4: Enlarged Landscape Plan**  
 Scale: 1"=20'-0"  
 0 10' 20'



**1 Plaza 3: Enlarged Landscape Plan**  
 Scale: 1"=20'-0"  
 0 10' 20'

symbol	botanical name/ common name	condition	mature size (HxW)/ water use	botanical name/ common name	condition	mature size (HxW)/ water use
<b>PLANT SCHEDULE</b>						
<b>Trees</b>						
	<i>Chilopsis linearis</i> / Desert Willow	48" Box/ Large, Multi-trunked	20'x25'/ Low		<i>Festuca idahoensis</i> "Siskiyou Blue"/ Siskiyou Blue Fescue	1 Gal. Cont. 18'x15'/ Medium
	<i>Chitalpa tashkentensis</i> / Chitalpa	48" Box/ Large, Multi-trunked	30'x30'/ Medium		<i>Helictotrichon sempervirens</i> / Blue Avena Grass	1 Gal. Cont. 48'x24'/ Medium
	<i>Cupressocyparis leylandii</i> / Leland Falsecypress	12' High/B&B	50'x20'/ Medium		<i>Miscanthus sinensis</i> "Gracillimus"/ Maiden Grass	1 Gal. Cont. 60'x36'/ Medium
	<i>Fraxinus angustifolia</i> "Raywood"/ Raywood Ash	2 1/2" Cal./B&B	35'x30'/ Medium		<i>Miscanthus sinensis</i> "Purpurea"/ Purple Maiden Grass	1 Gal. Cont. 36'x18'/ Medium
	<i>Fraxinus velutina</i> "Modesto"/ Modesto Ash	2 1/2" Cal./B&B	40'x40'/ Medium		<i>Muhlenbergia capillaris</i> "Regal Mist"/ Regal Mist Muhlenbergia	1 Gal. Cont. 36'x42'/ Medium
	<i>Lagerstroemia indica</i> / Grape Myrtle (tree form)	24" Box/ Large, Multi-trunked	18'x10'/ High	<b>Perennials/Vines</b>		
	<i>Pinus eldarica</i> / Afghan Pine	12' High/B&B	40'x15'/ Medium		<i>Achillea</i> x "Moonshine"/ Moonshine Yarrow	1 Gal. Cont. 18'x24'/ Medium
	<i>Platanus acerifolia</i> / London Plane Tree	3 1/2" Cal./B&B	50'x25'/ High		<i>Agastache cana</i> / Hummingbird Mint	1 Gal. Cont. 30'x18'/ Medium
	<i>Populus fremontii</i> "Hilziteni"/ Rio Grande Valley Cottonwood	4" Cal./B&B	50'x30'/ High		<i>Anemopsis californica</i> / Yerba de Mansa	1 Gal. Cont. 18'x24'/ Medium
	<i>Yucca elata</i> / Soaptree Yucca	24" Box/ Large, Multi-trunked	24" Box/ Large, Multi-trunked		<i>Artemisia</i> x "Pouls Castle"/ Pouls Castle Sage	1 Gal. Cont. 36'x30'/ Medium
<b>Shrubs</b>						
	<i>Juniperus horizontalis</i> sp./ Prostrate Juniper	5 Gal. Cont.	12'x56'/ Low		<i>Campsis radicans</i> "Flava"/ Yellow Trumpet vine	1 Gal. Cont. Vine/ Medium 48'x48'/ Medium
	<i>Rosmarinus officinalis</i> sp./ Prostrate Rosemary	5 Gal. Cont.	24'x12'/ Medium		<i>Caryopteris clandonensis</i> "Dark Knight"/ Dark Night Blue Mist Spirea	1 Gal. Cont. 12'x18'/ Medium
<b>Succulents</b>						
	<i>Hesperaloe parviflora</i> / Red Hesperaloe	5 Gal. Cont.	48'x48'/ Medium		<i>Ceratostigma plumbaginoides</i> / Dwarf Plumbago	1 Gal. Cont. 12'x12'/ Low
	<i>Hesperaloe parviflora</i> "Yellow"/ Yellow Hesperaloe	5 Gal. Cont.	48'x48'/ Medium		<i>Hymenocys acaulis</i> / Angelita Daisy	1 Gal. Cont. 16'x18'/ Medium
	<i>Opuntia engelmannii</i> / Engelmann's Prickly Pear	1 Gal. Cont.	48'x60'/ Low		<i>Lavandula angustifolia</i> "Hidcote Superior"/ Hidcote Superior Lavender	1 Gal. Cont. 18'x18'/ Medium
	<i>Opuntia santa-rita</i> / Santa Rita Prickly Pear	1 Gal. Cont.	60'x48'/ Low		<i>Linum lewisii</i> "Appar"/ Appar Blue Flax	1 Gal. Cont. 18'x18'/ Medium
<b>FURNISHINGS</b>						
	6' Bench w/ Back				<i>Penstemon strictus</i> / Rocky Mountain Penstemon	1 Gal. Cont. 24'x36'/ Medium
	6' Sofa-style Bench				<i>Salvia greggii</i> "Wild Thing"/ Wild Thing Bush Sage	1 Gal. Cont. 30'x36'/ Low
	Waste Receptacle				<i>Salvia nemerosa</i> "May Night"/ May Night Sage	1 Gal. Cont. 18'x18'/ Medium
	Sculpture/Art				<i>Teucrium chamaedrys</i> / Trailing Germander	1 Gal. Cont. 12'x24'/ Medium
	Tree Guard				<i>Nisteria sinensis</i> / Chinese Nisteria	1 Gal. Cont. Vine/ Medium
	Planter - portable, with annuals					
	Bike Rack					

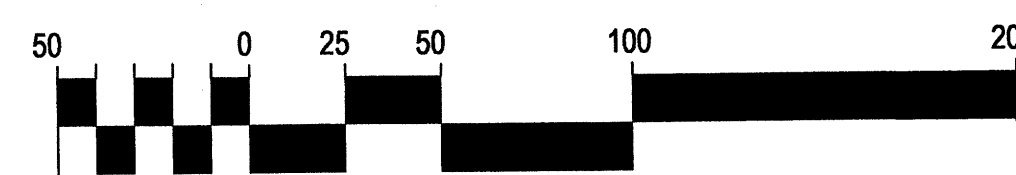
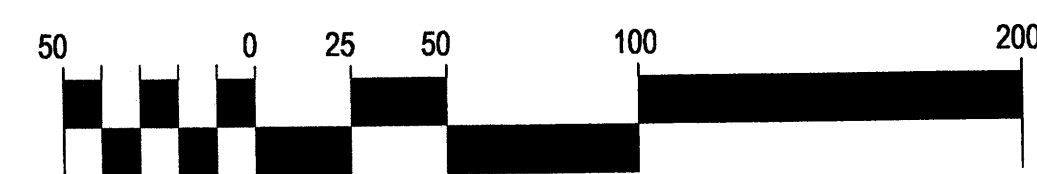
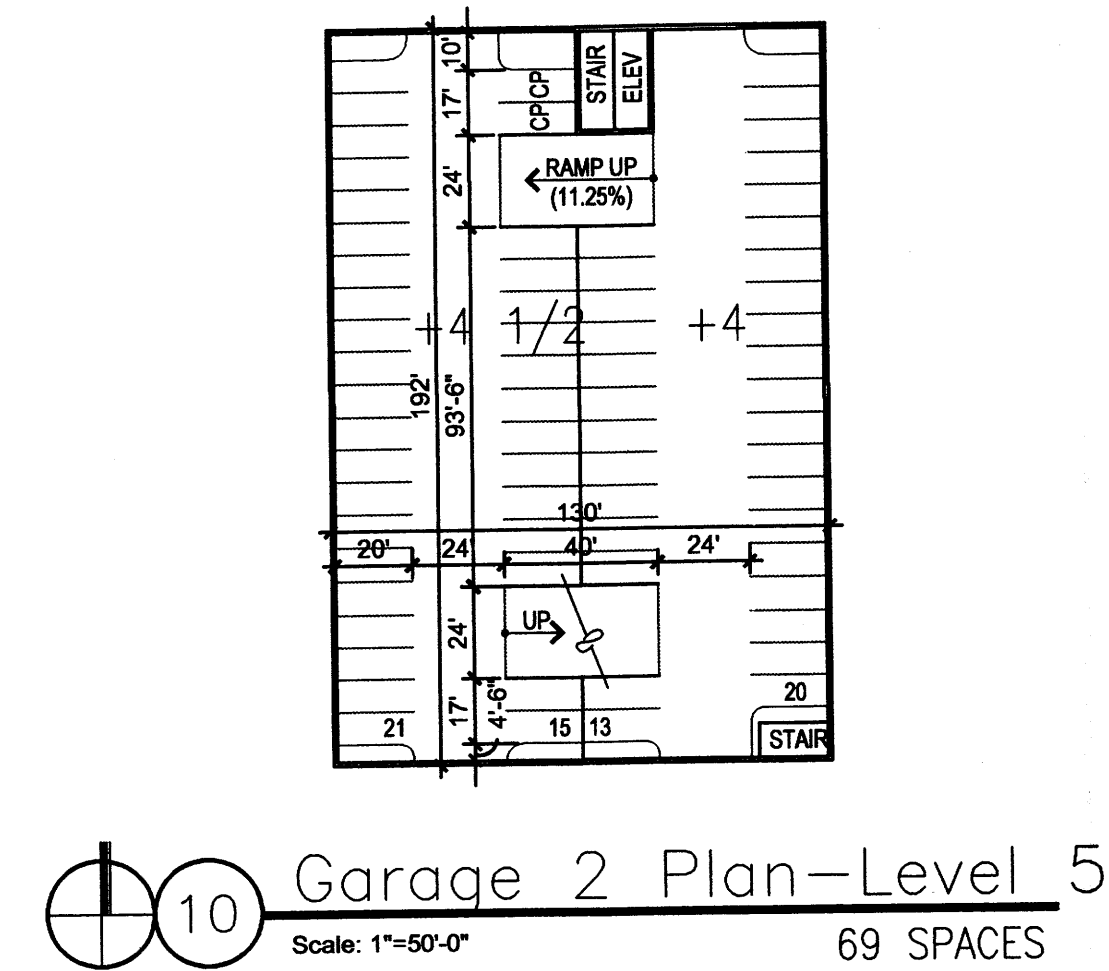
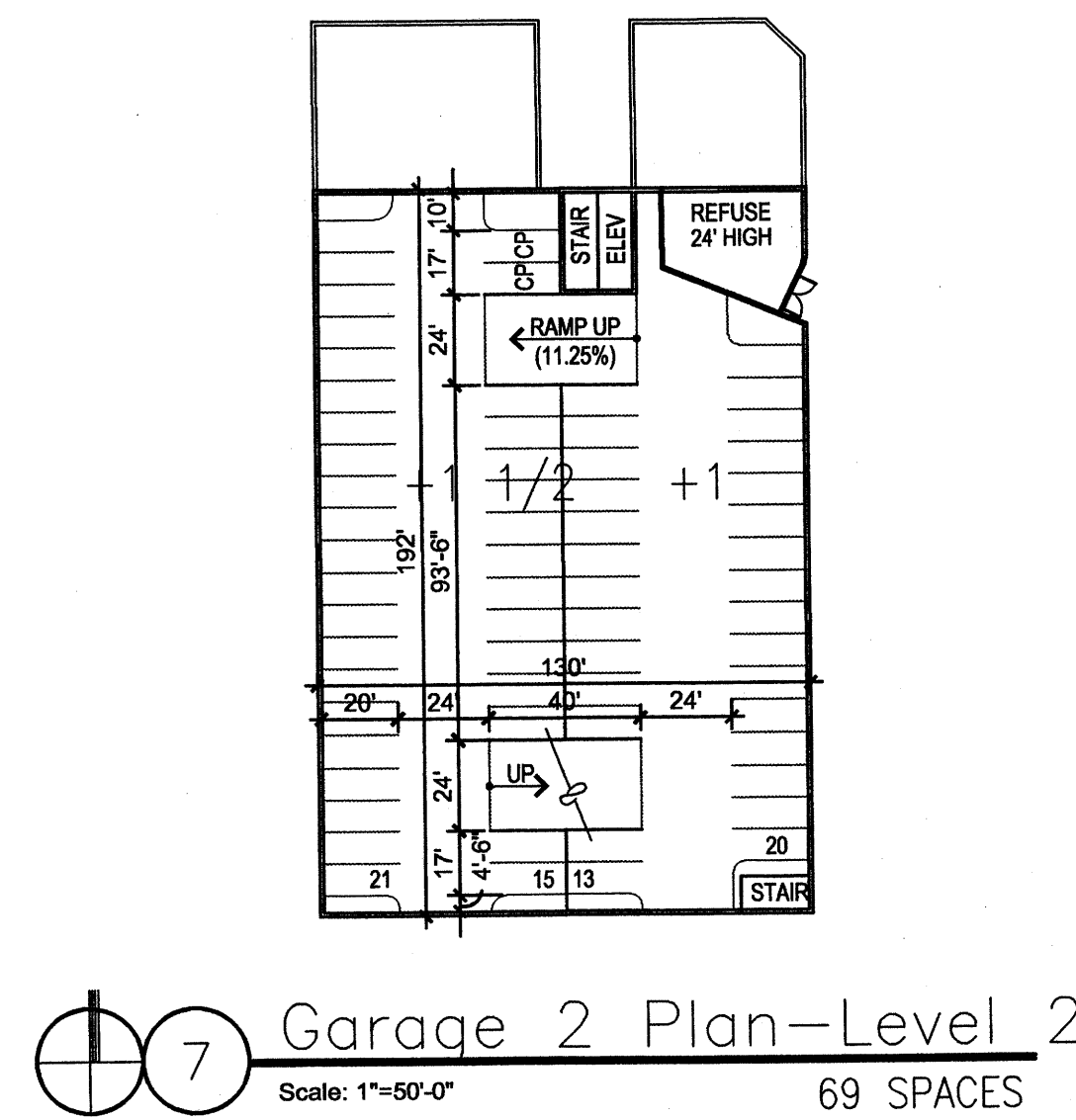
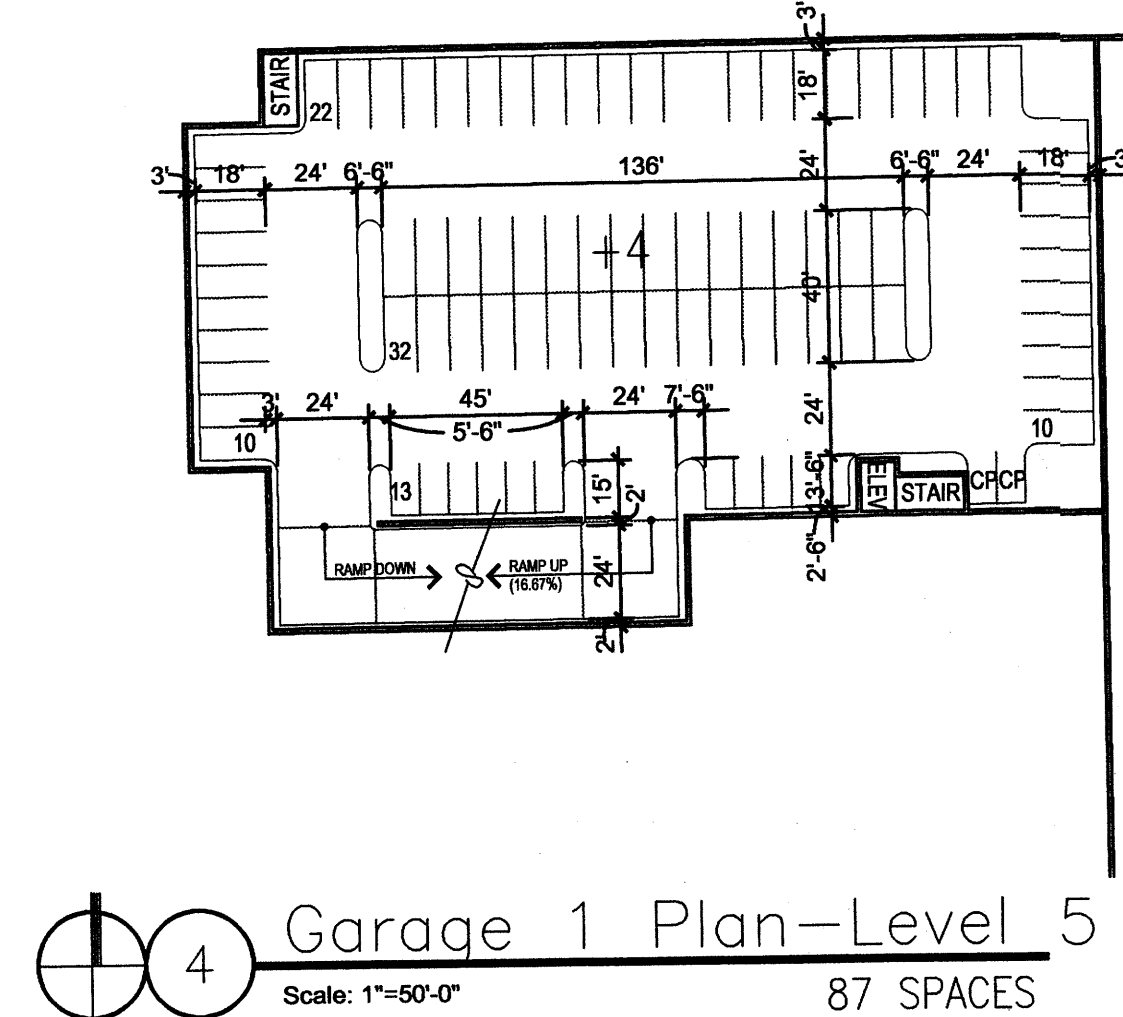
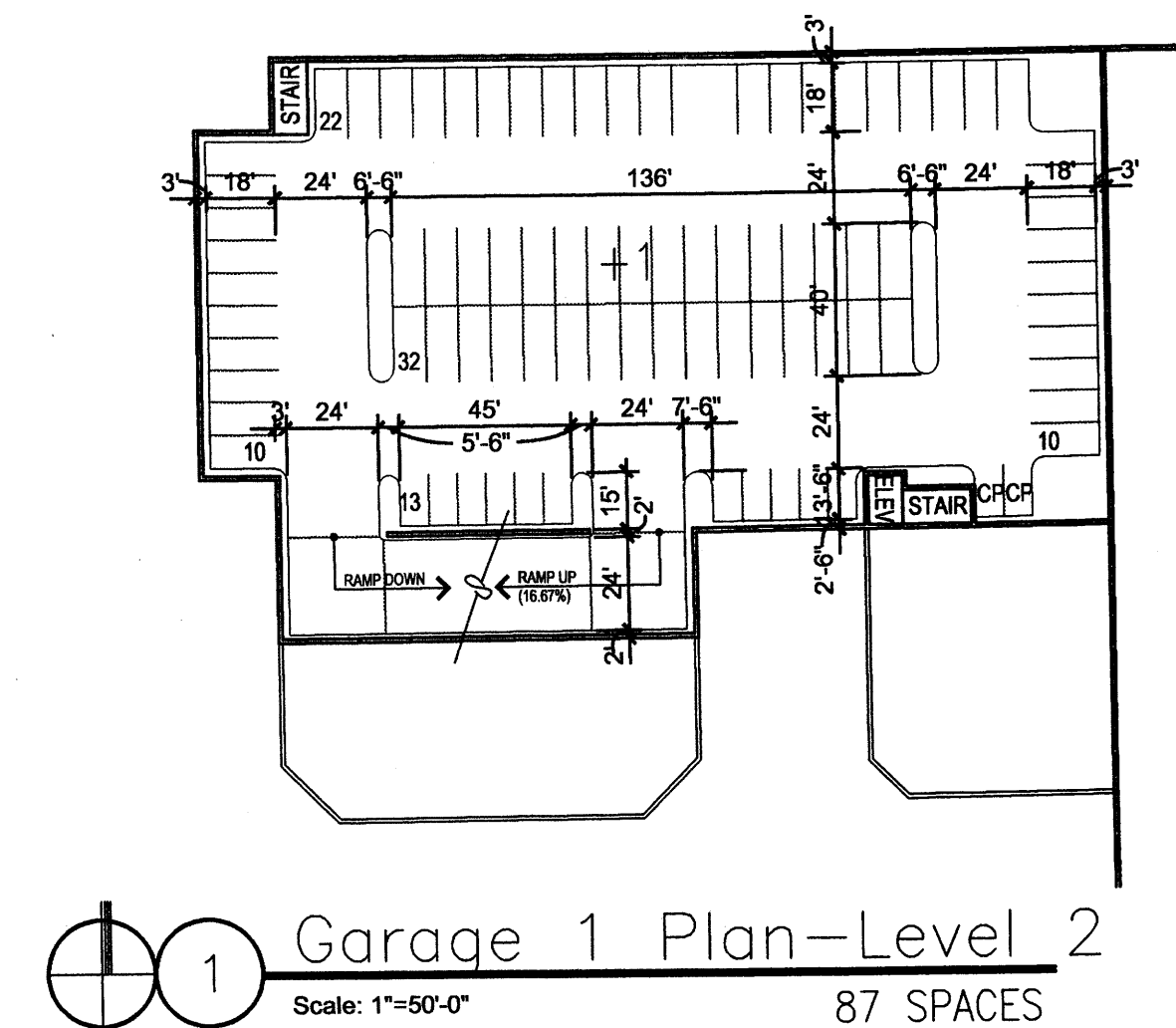
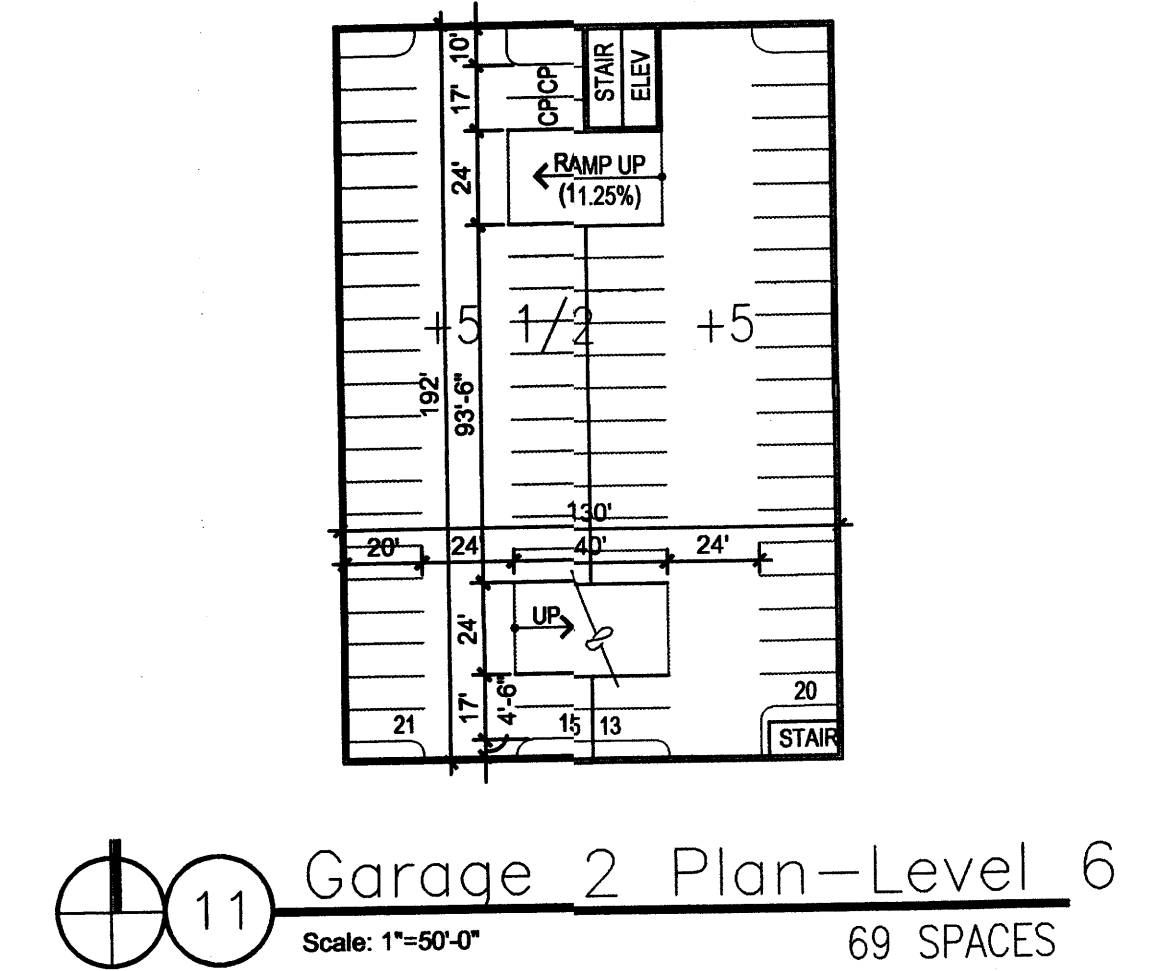
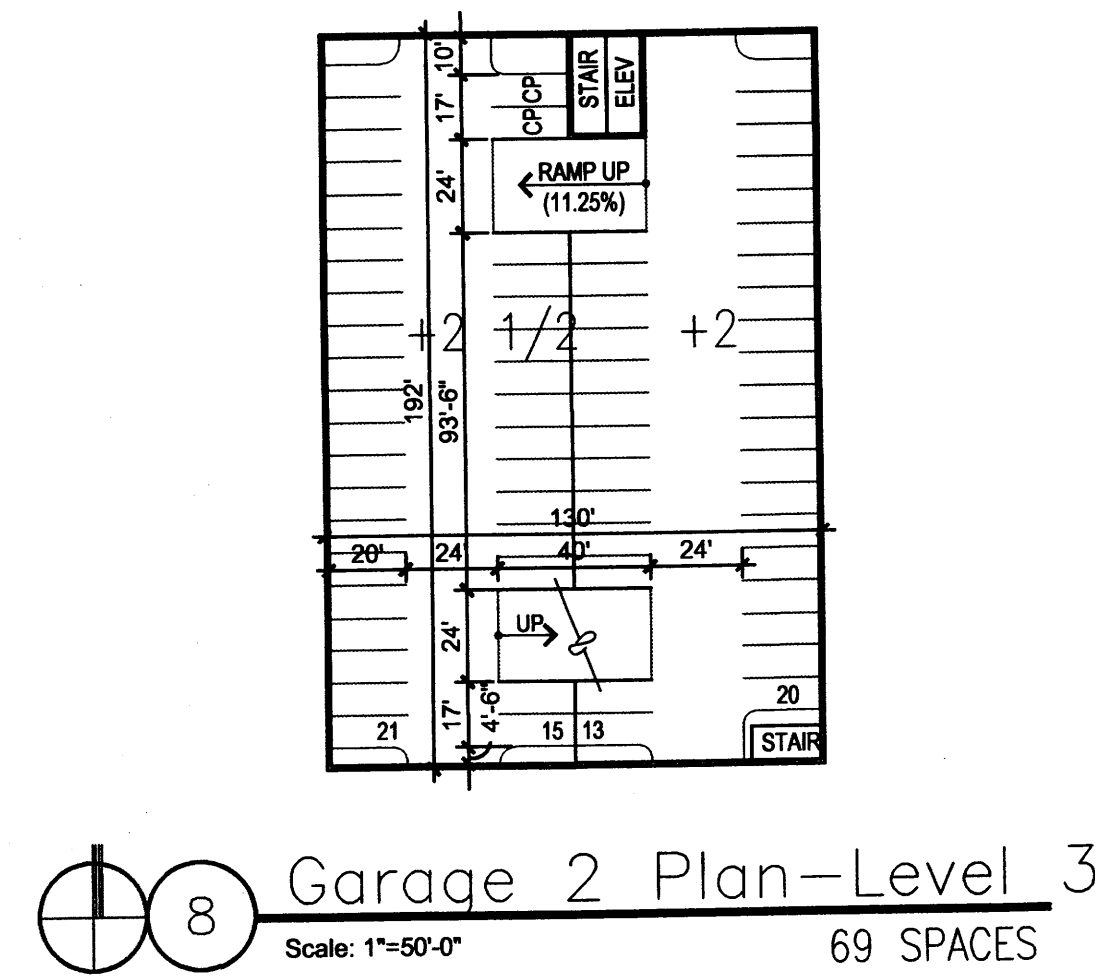
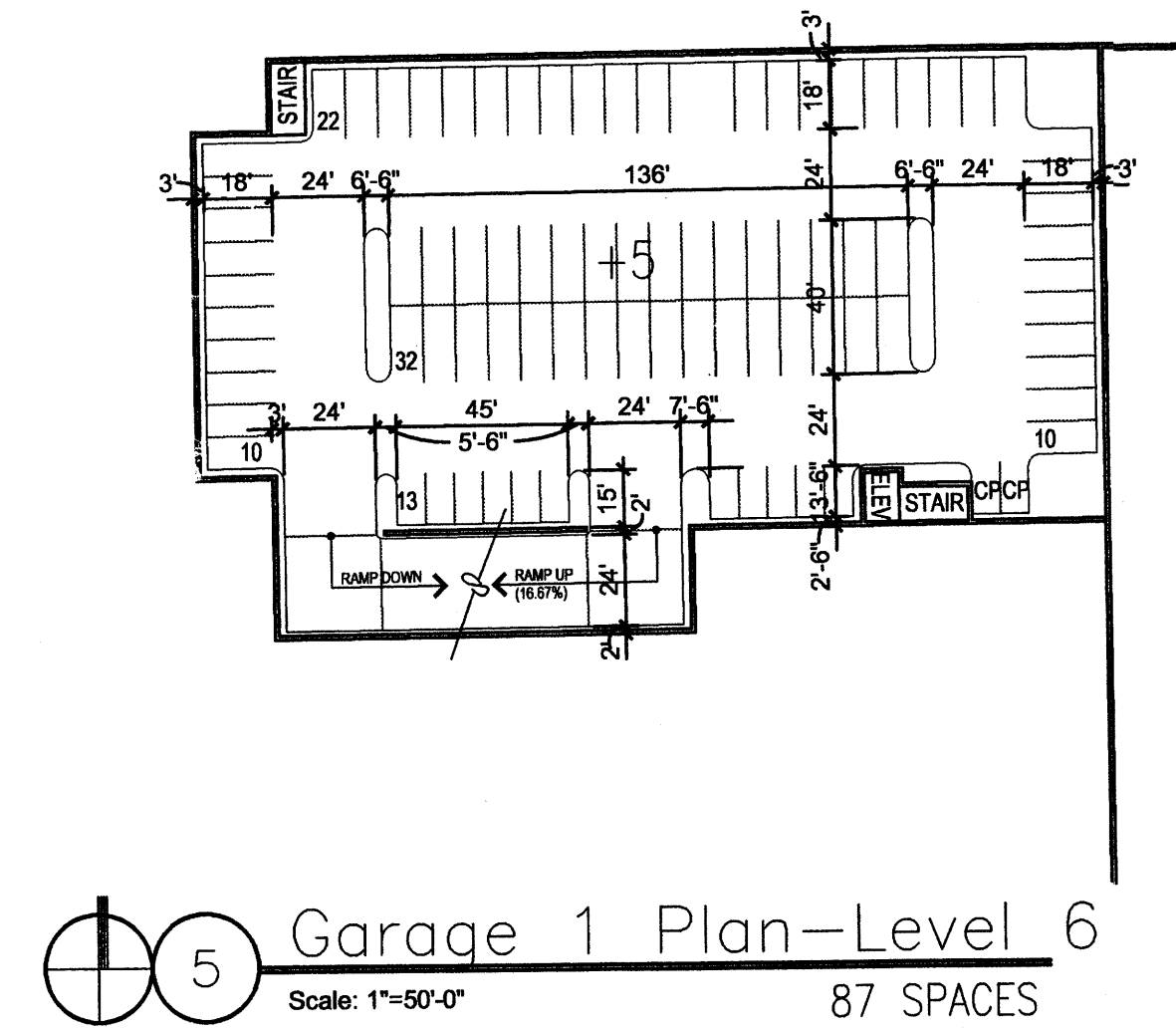
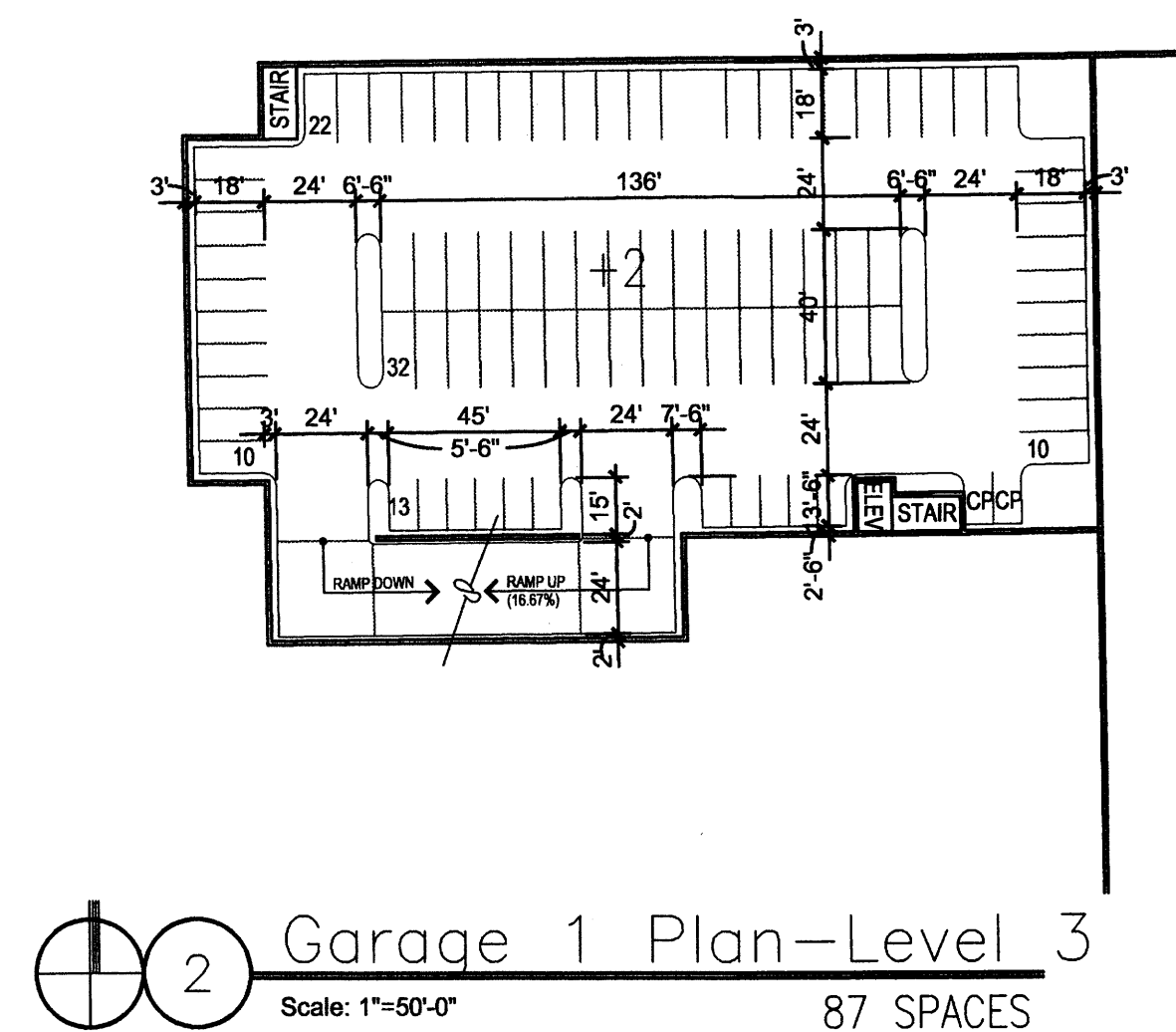
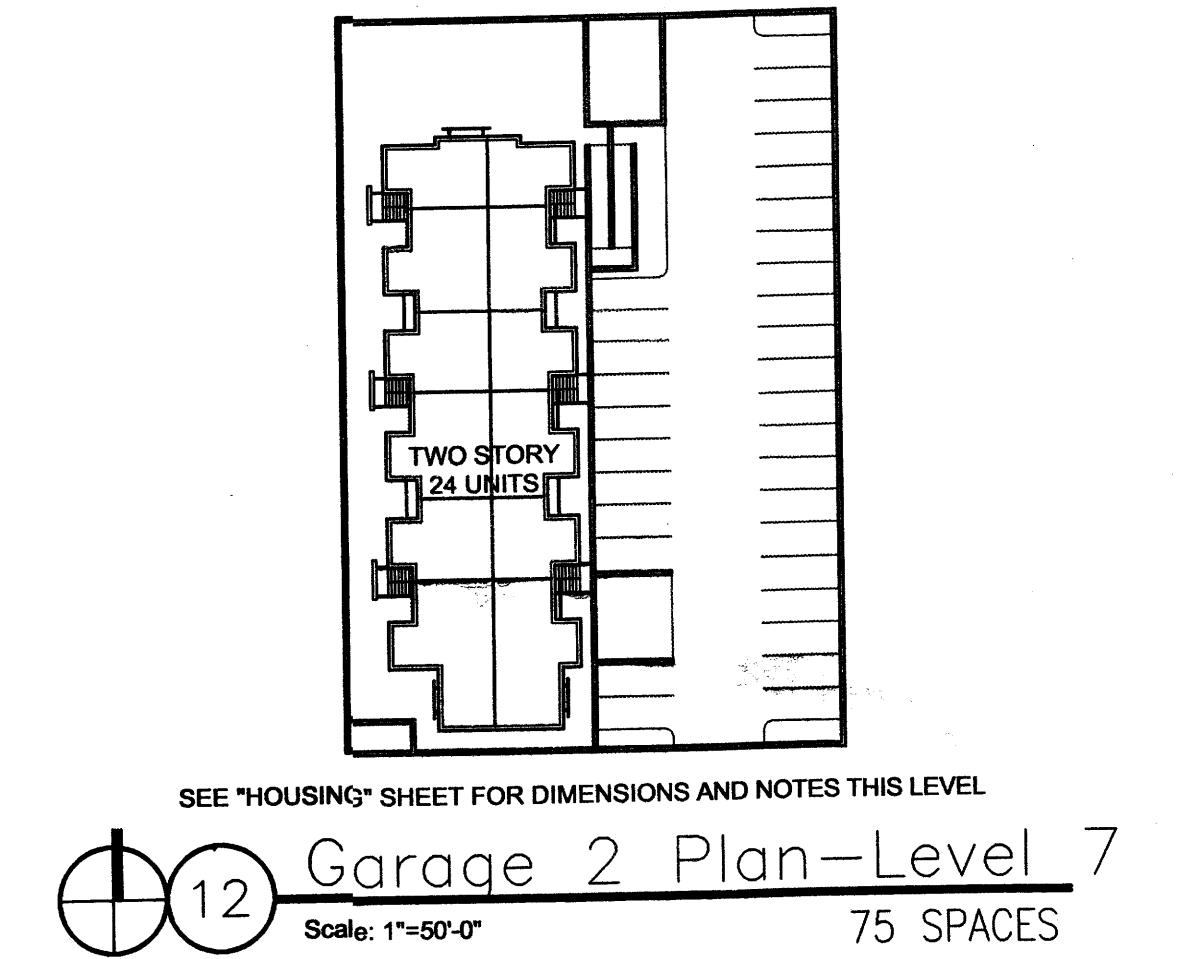
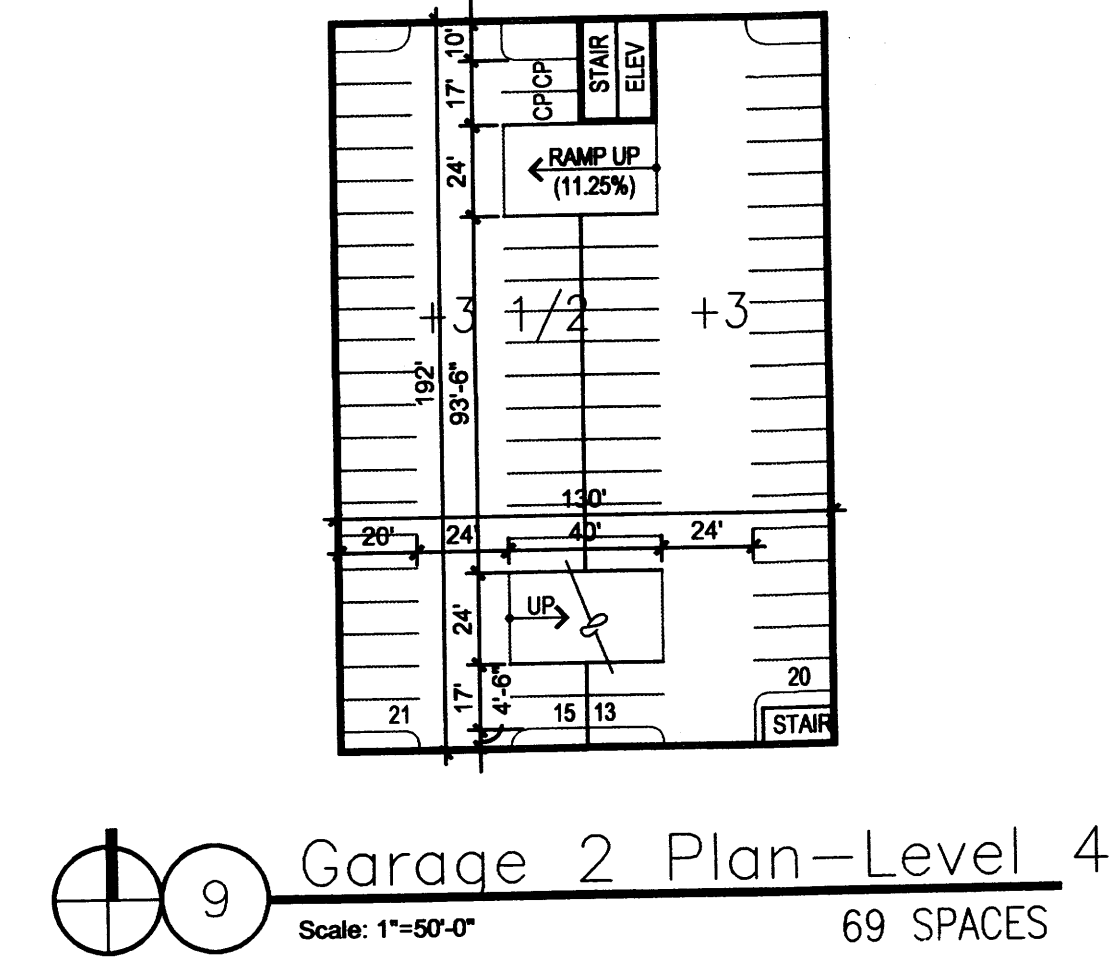
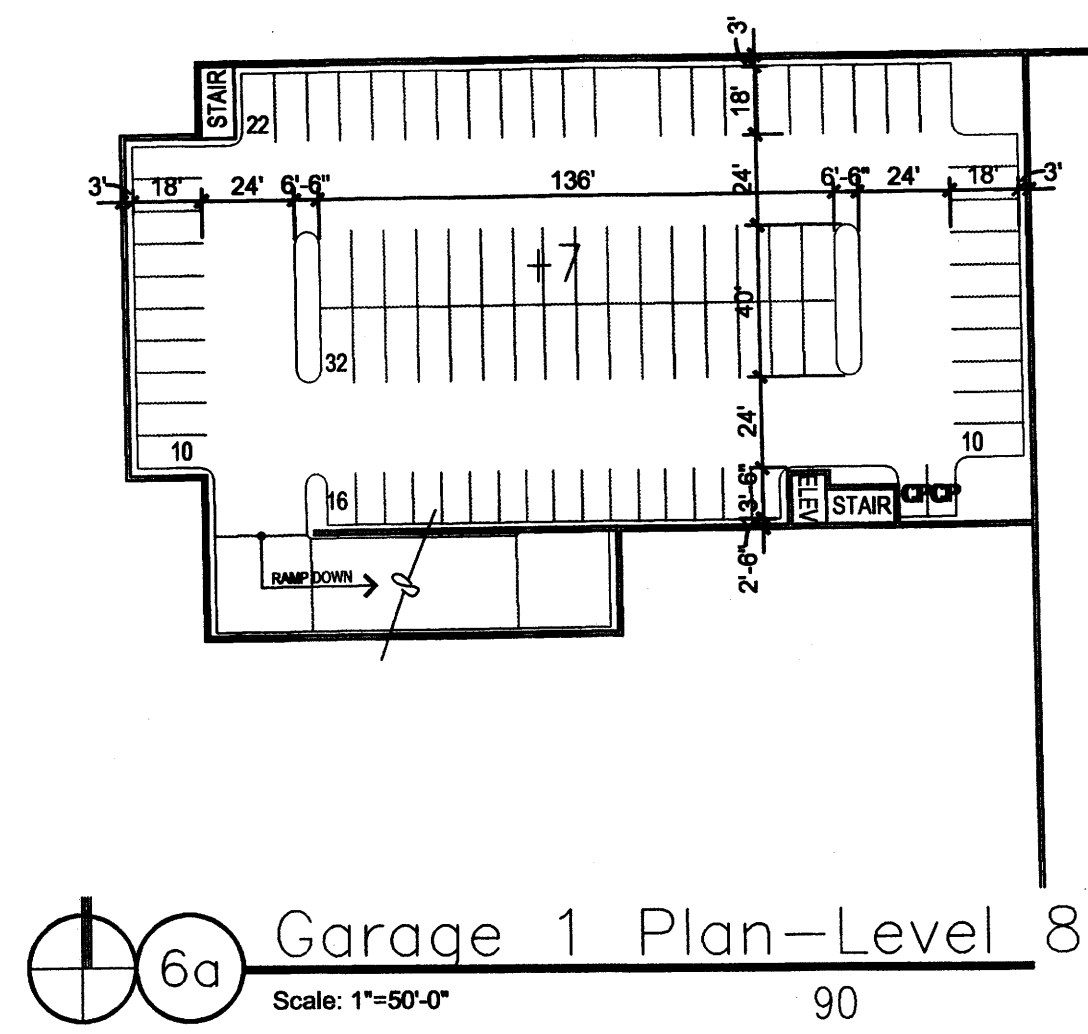
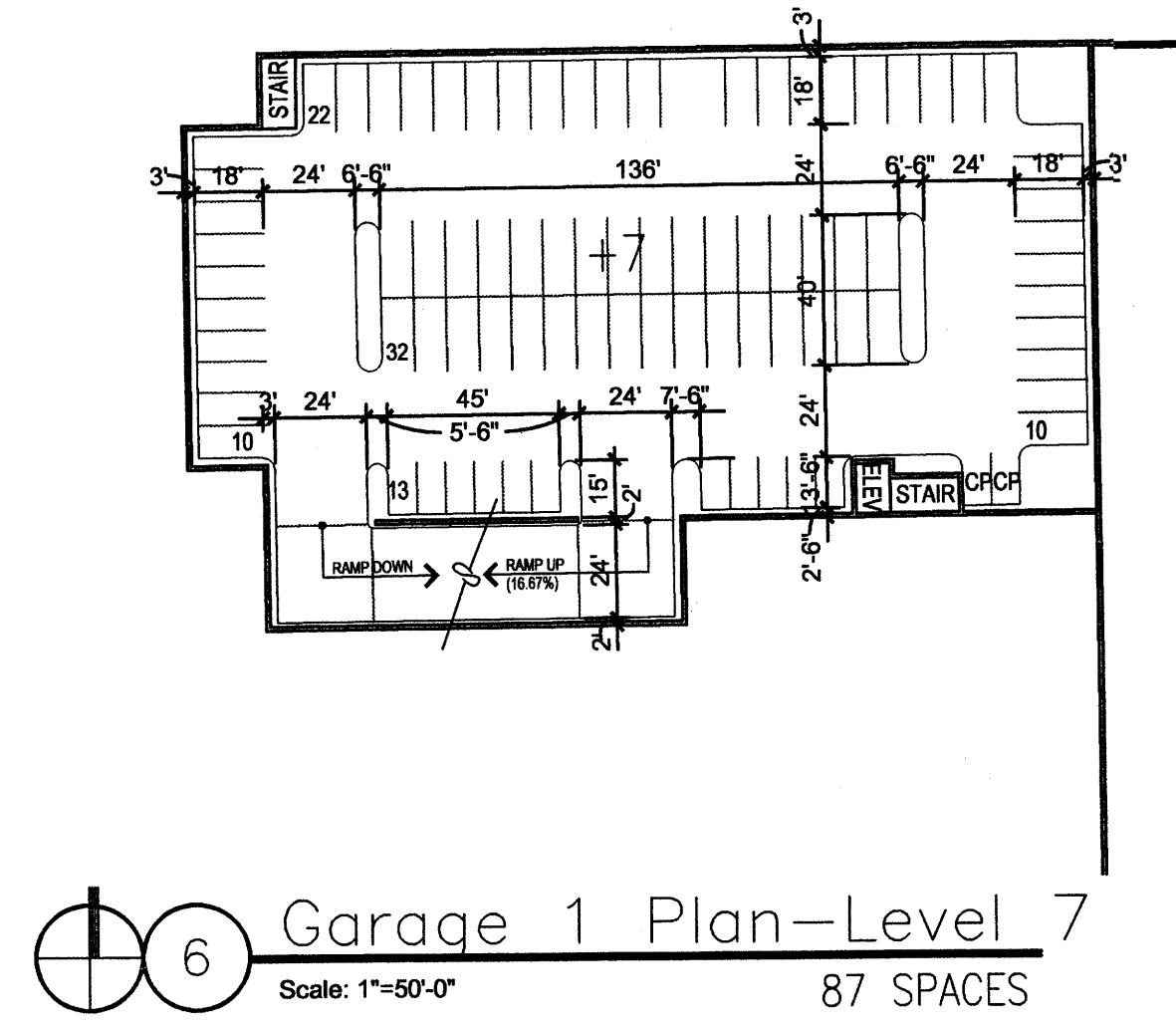
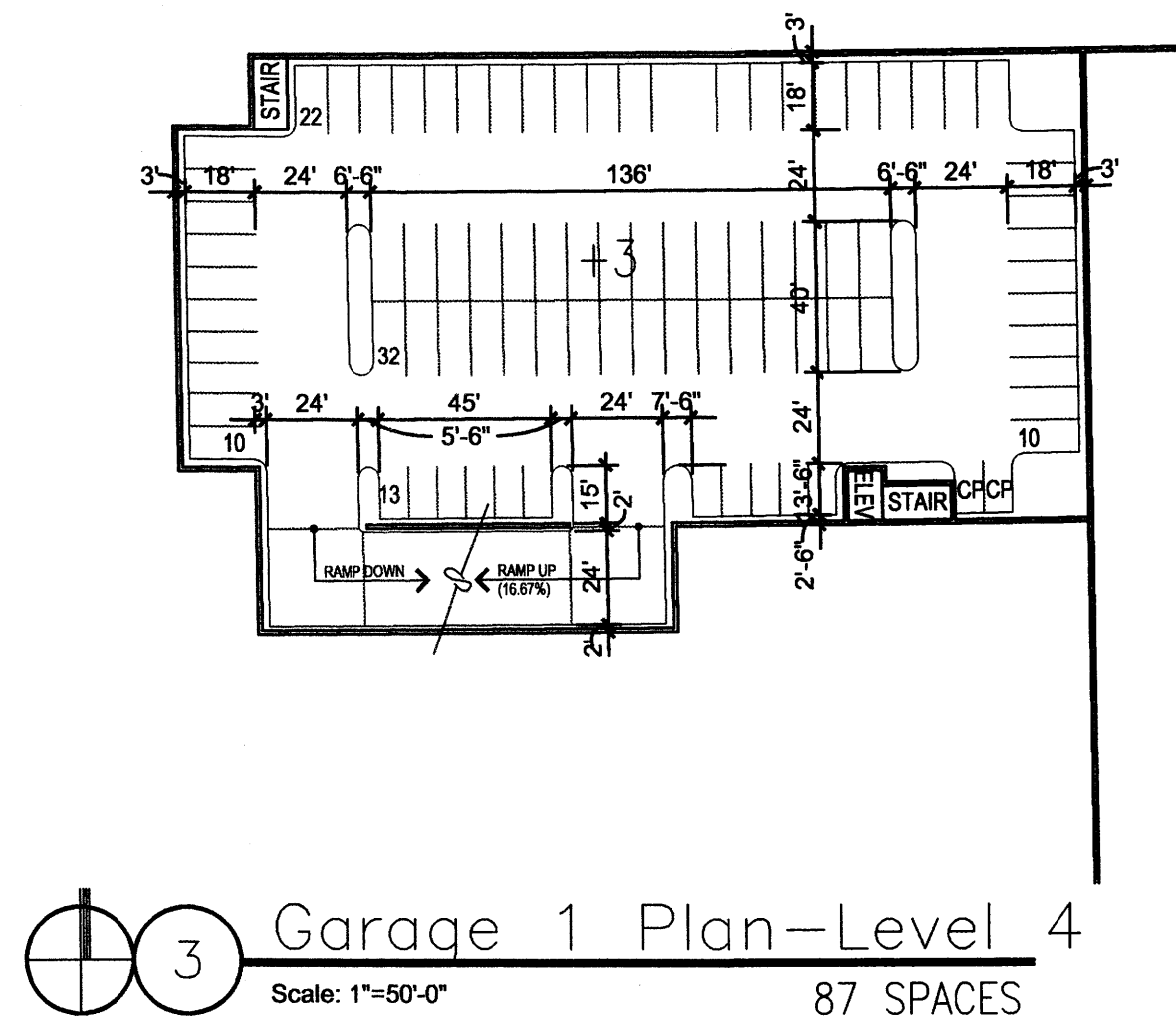
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**Enlarged Landscape Plans**



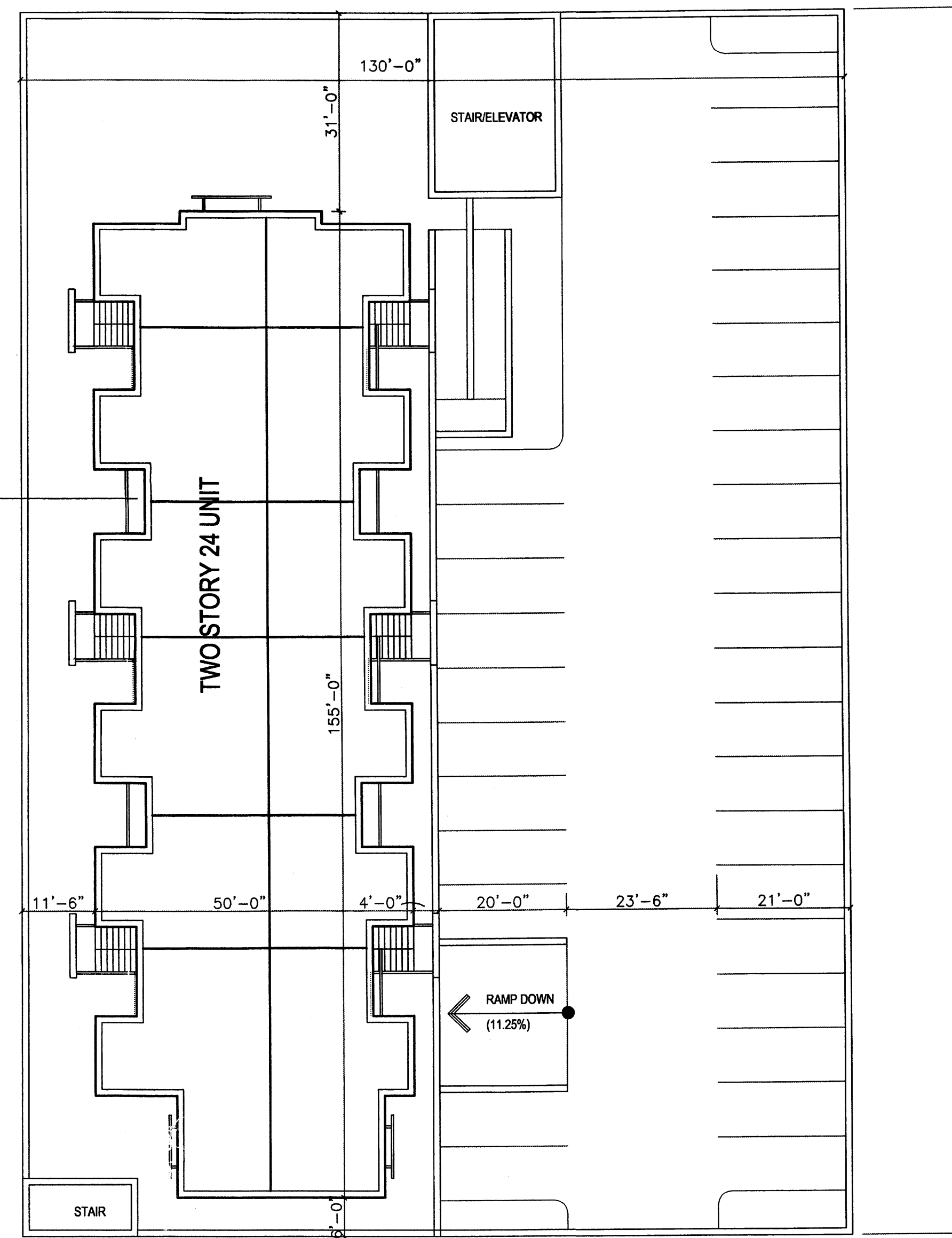
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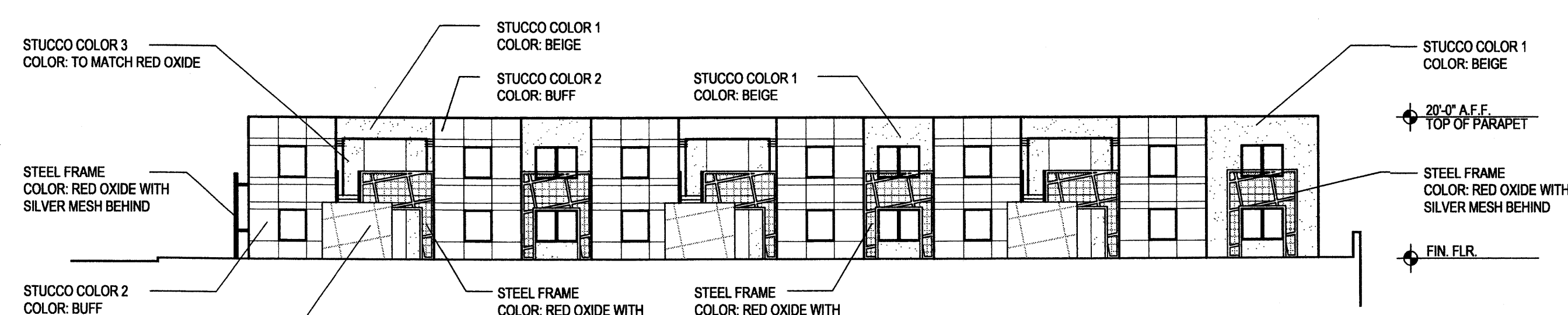
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PARKING GARAGE PLANS

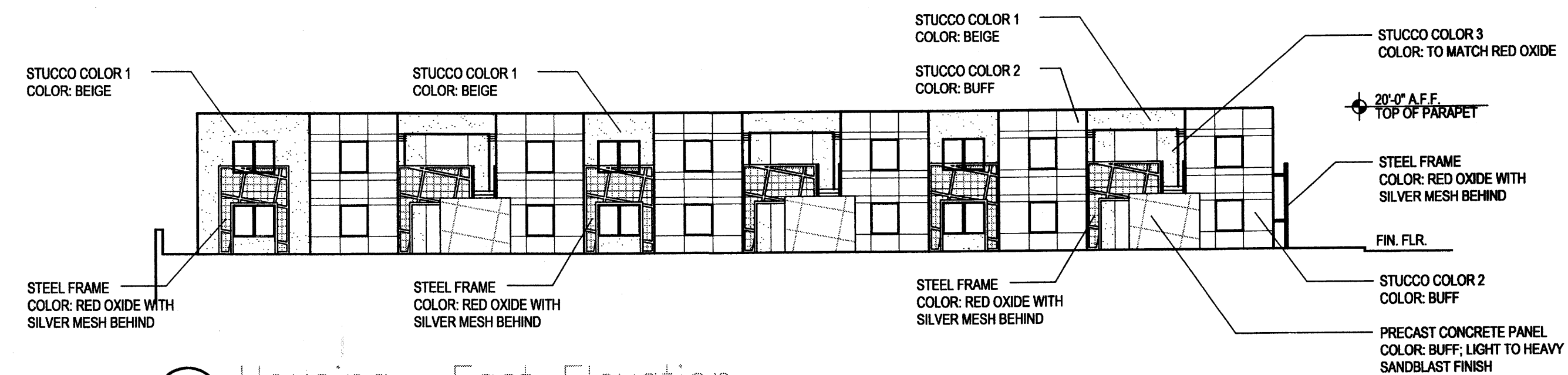
80 SF OUTSIDE  
DECK/PATIO (1 PER UNIT)



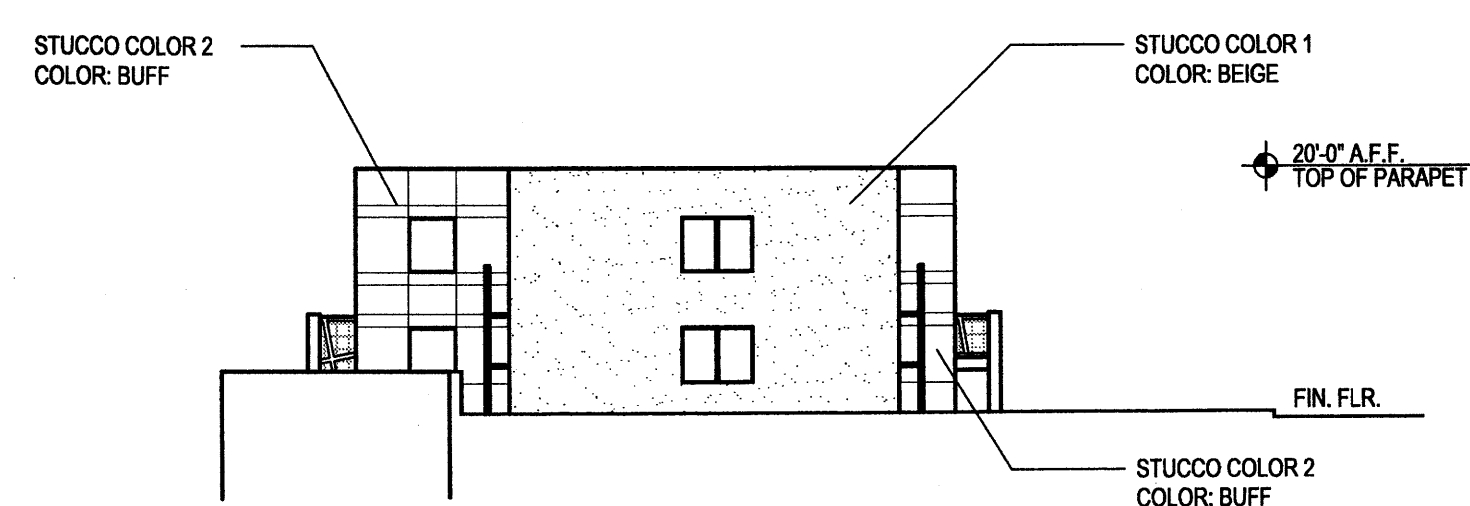
1 Housing over Garage 2 -Site Plan  
Scale: 1/16" = 1'-0"



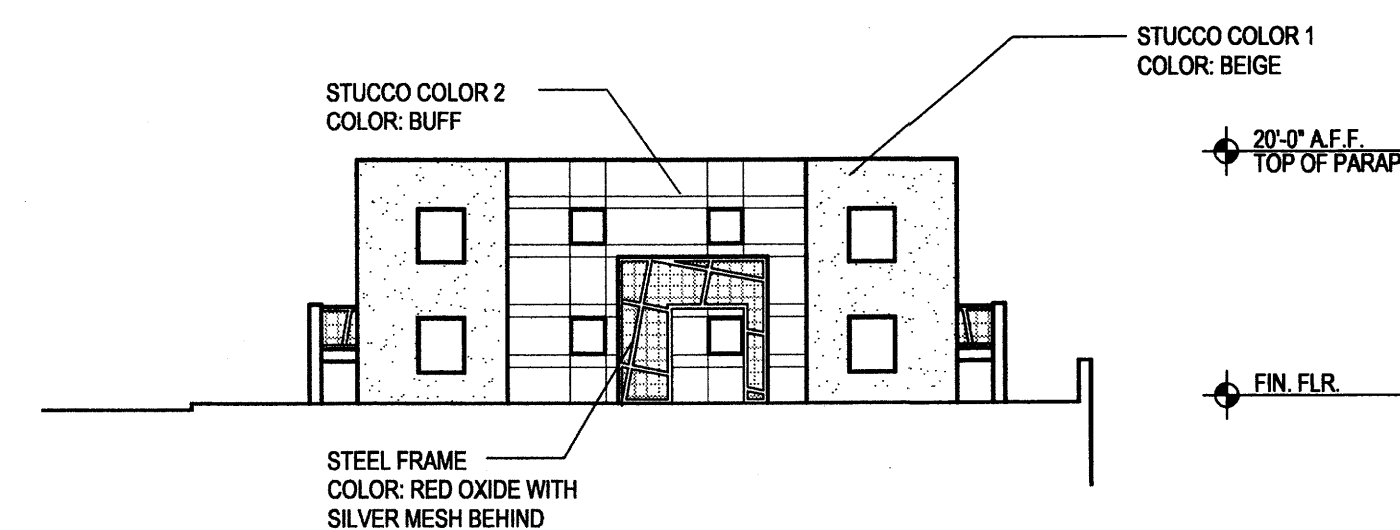
2 Housing -West Elevation  
Scale: 1/16" = 1'-0"



4 Housing -East Elevation  
Scale: 1/16" = 1'-0"



3 Housing -South Elevation  
Scale: 1/16" = 1'-0"



5 Housing -North Elevation  
Scale: 1/16" = 1'-0"

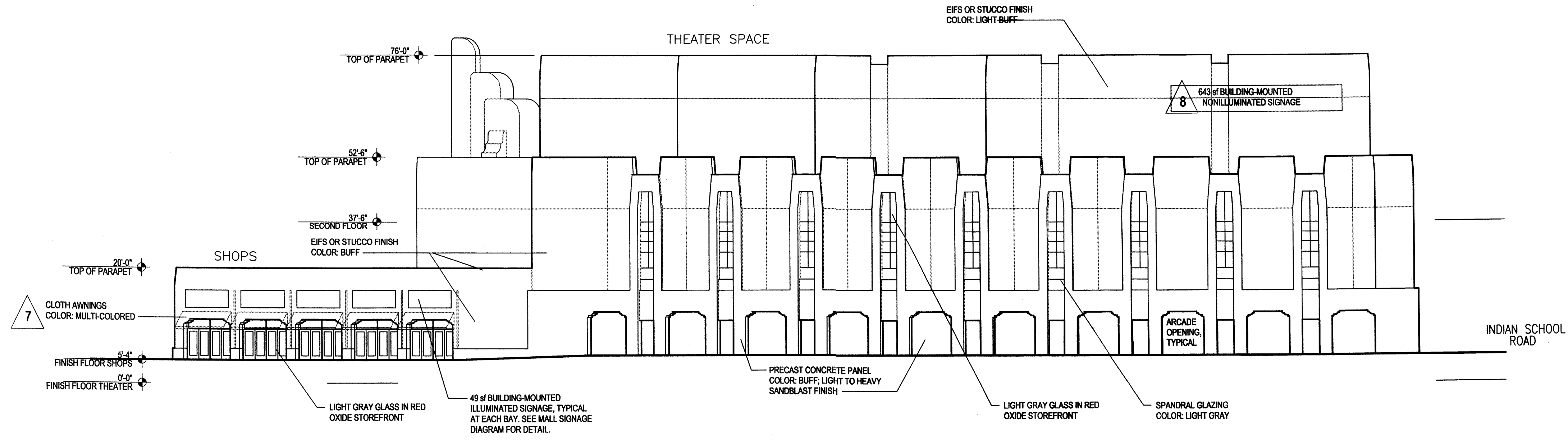
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GEORGE RAINHART, ARCHITECT + ASSOCIATES P.C.  
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PHONE (505) 884-9110 FAX (505) 837-9877

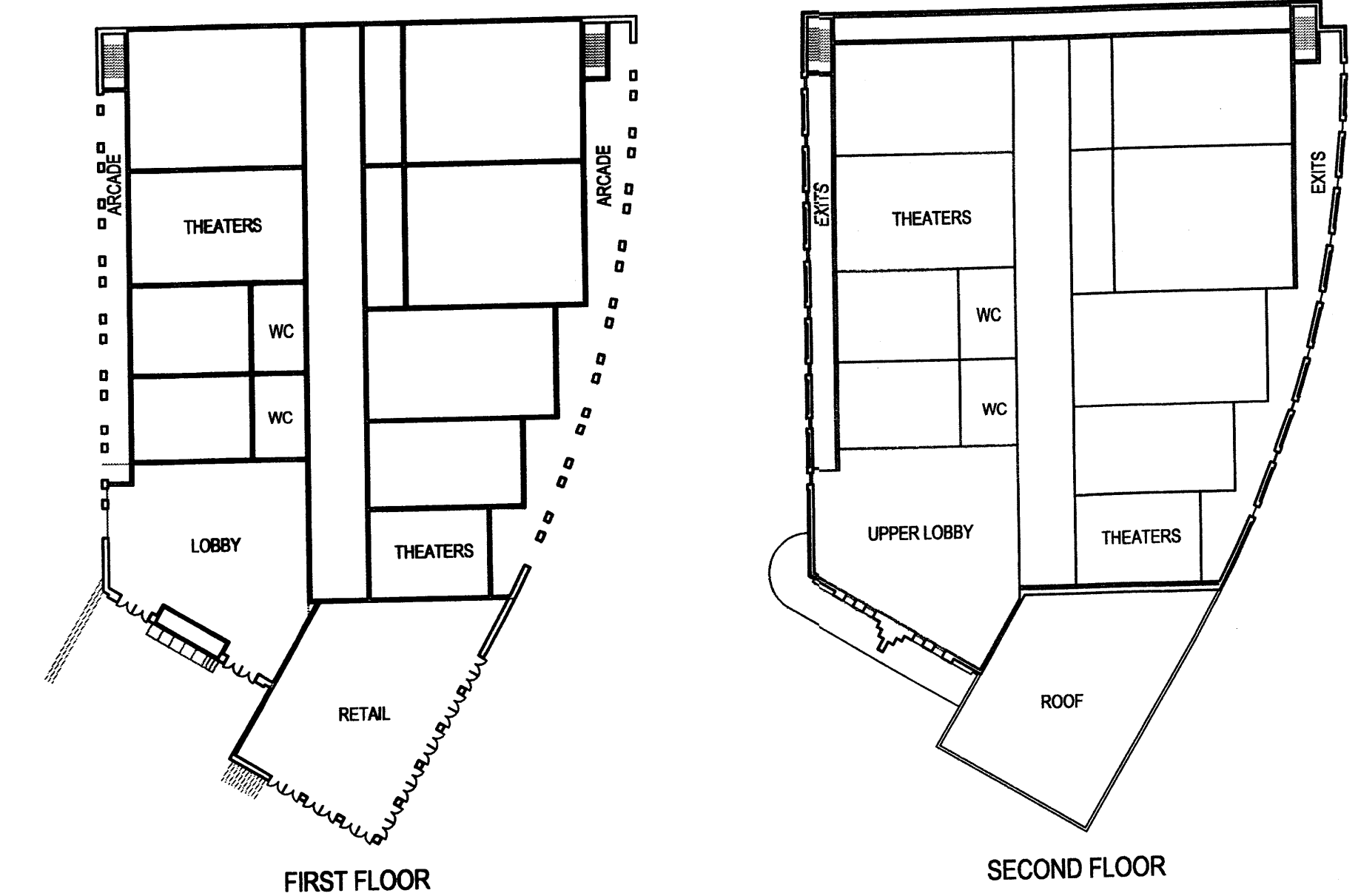
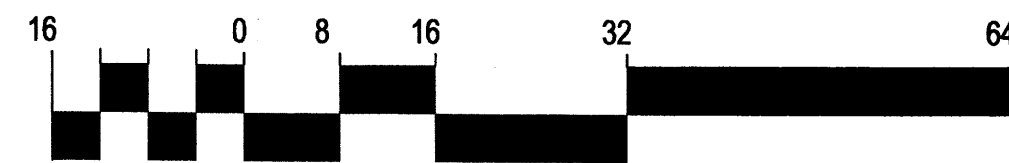
HOUSING





1 East Elevation @ Theater

Scale: 1/16"=1'-0"

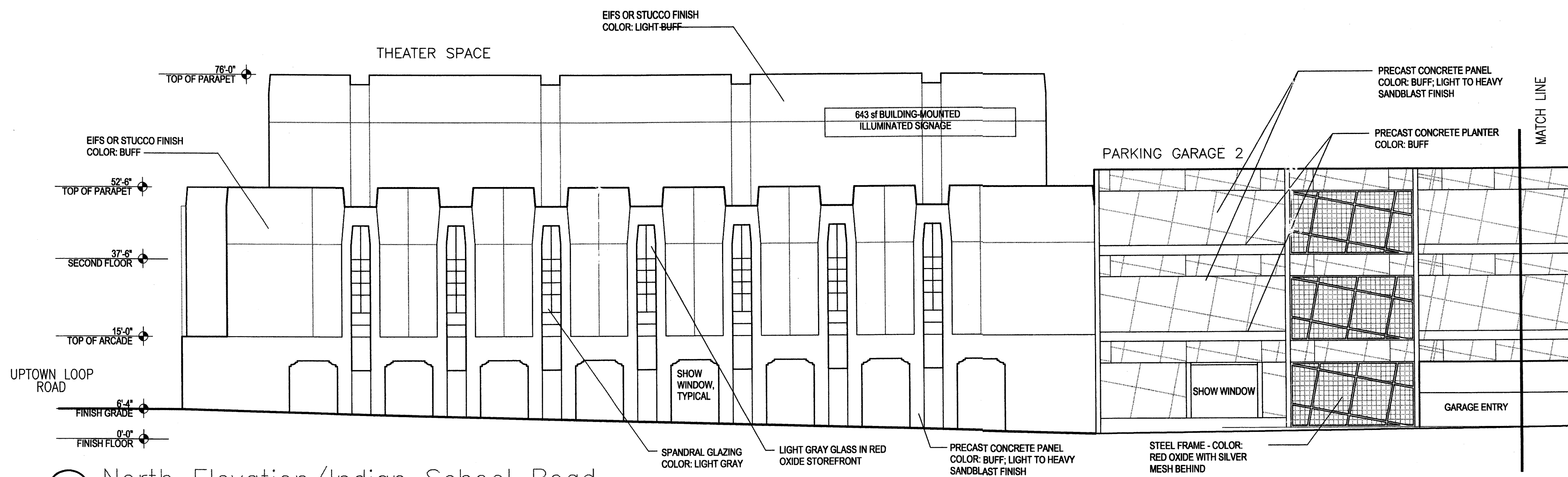


FIRST FLOOR

SECOND FLOOR

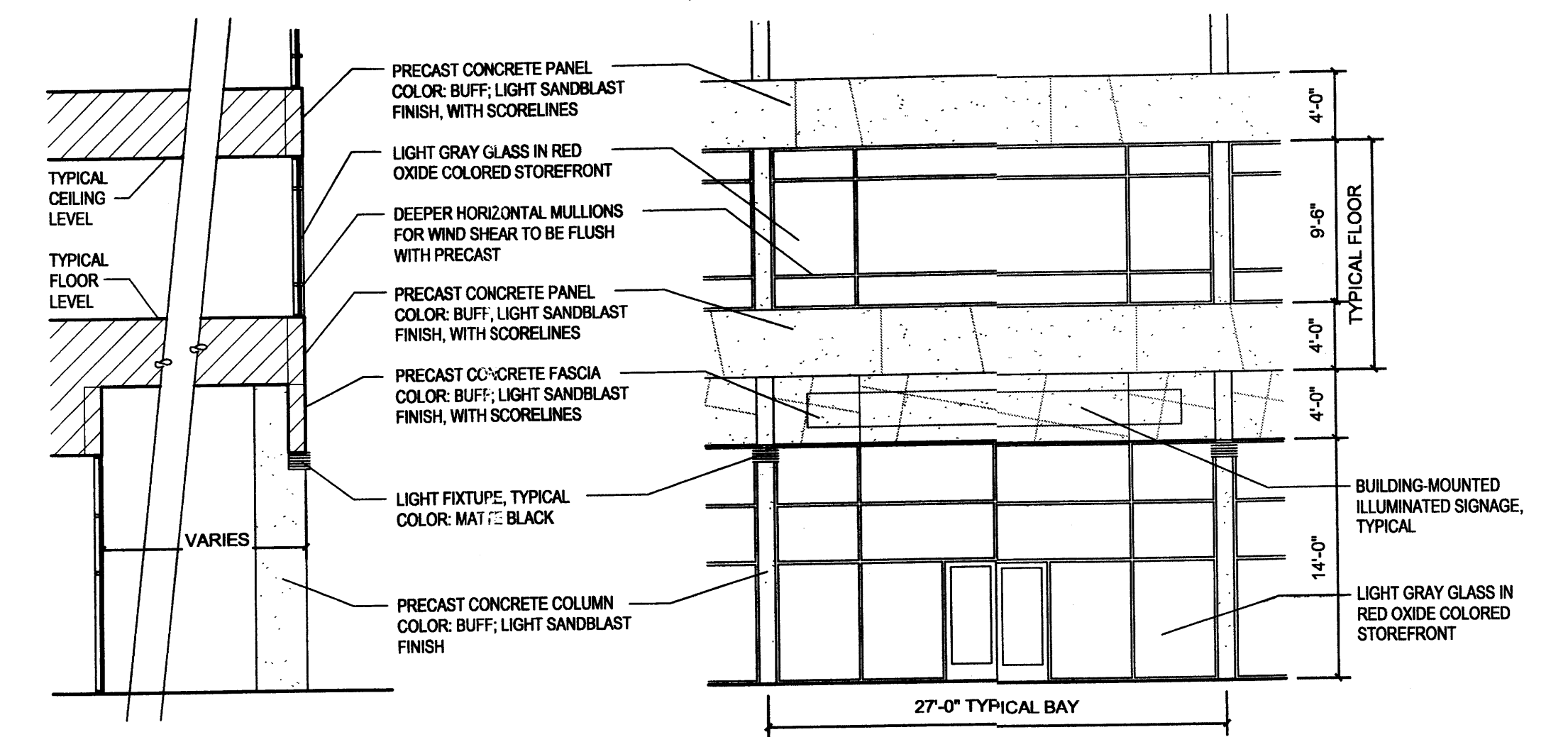
4 Conceptual Theater Floor Plan

Scale: 1"=50'



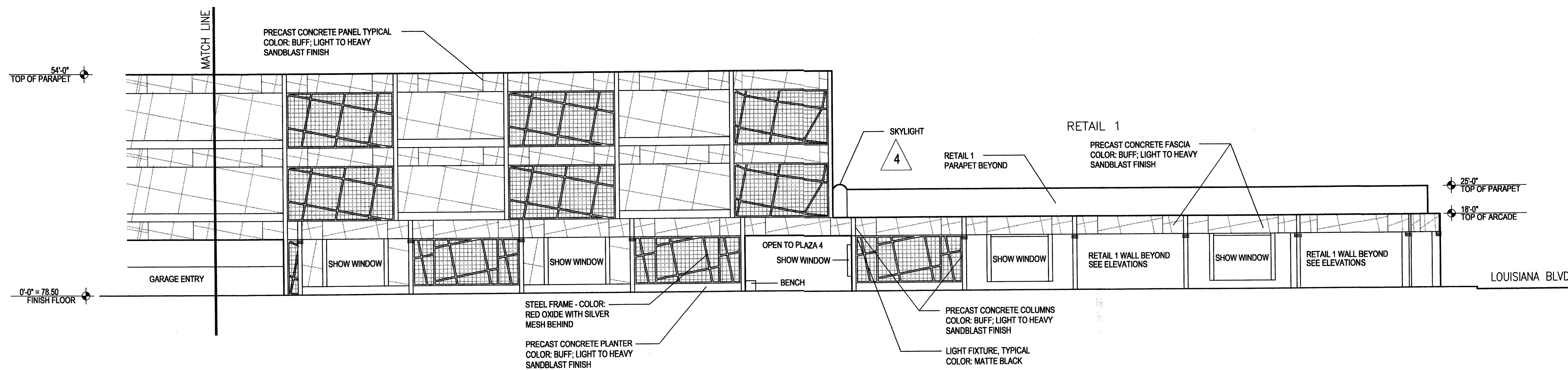
2 North Elevation/Indian School Road

Scale: 1/16"=1'-0"



3 Typical Bay and Section

Scale: 1/8"=1'-0"



NOTE: THE ELEVATIONS GIVEN ARE RELATIVE FROM THE "0'-0" - FINISH FLOOR" ELEVATION GIVEN ON EACH ELEVATION AND/OR SECTION, AND DIFFER FROM ONE ANOTHER.

**Dekker/Perich/Sabatini**  
architecture • interiors • planning • engineering

**UPTOWN SPECTRUM**  
DRB SUBMITTAL

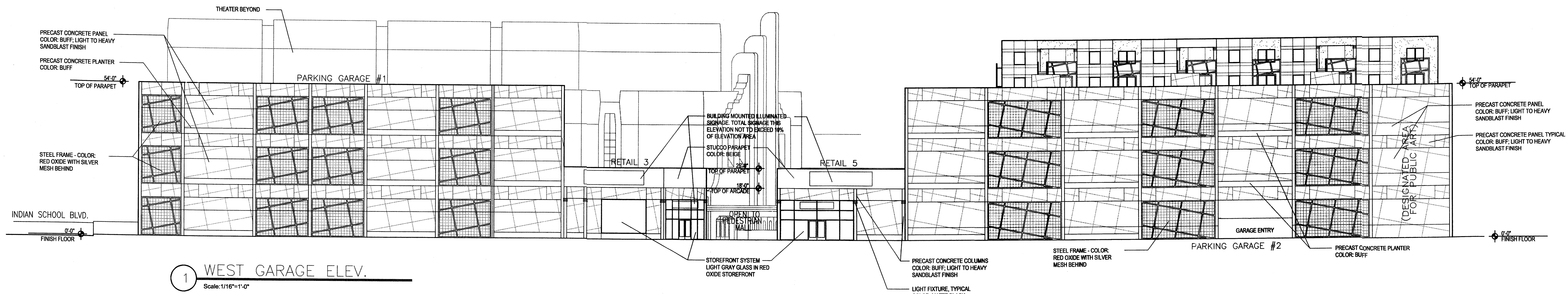
HUNT UPTOWN II, LLC  
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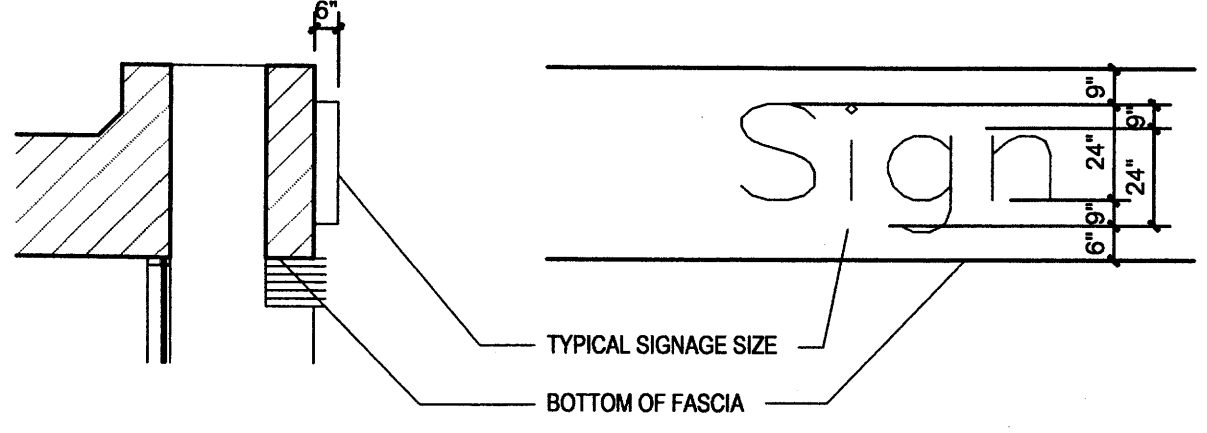
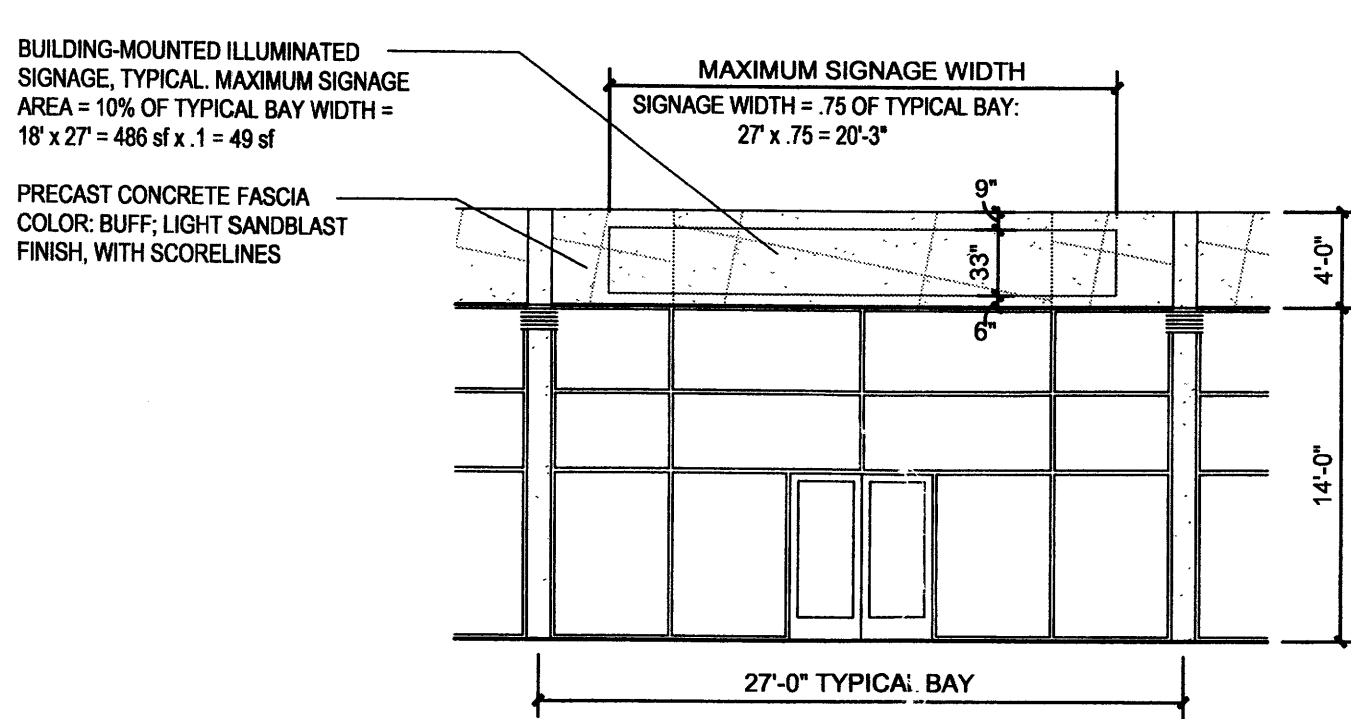
THEATER + GARAGE

11/05/2002  
sheet: 11 of 21

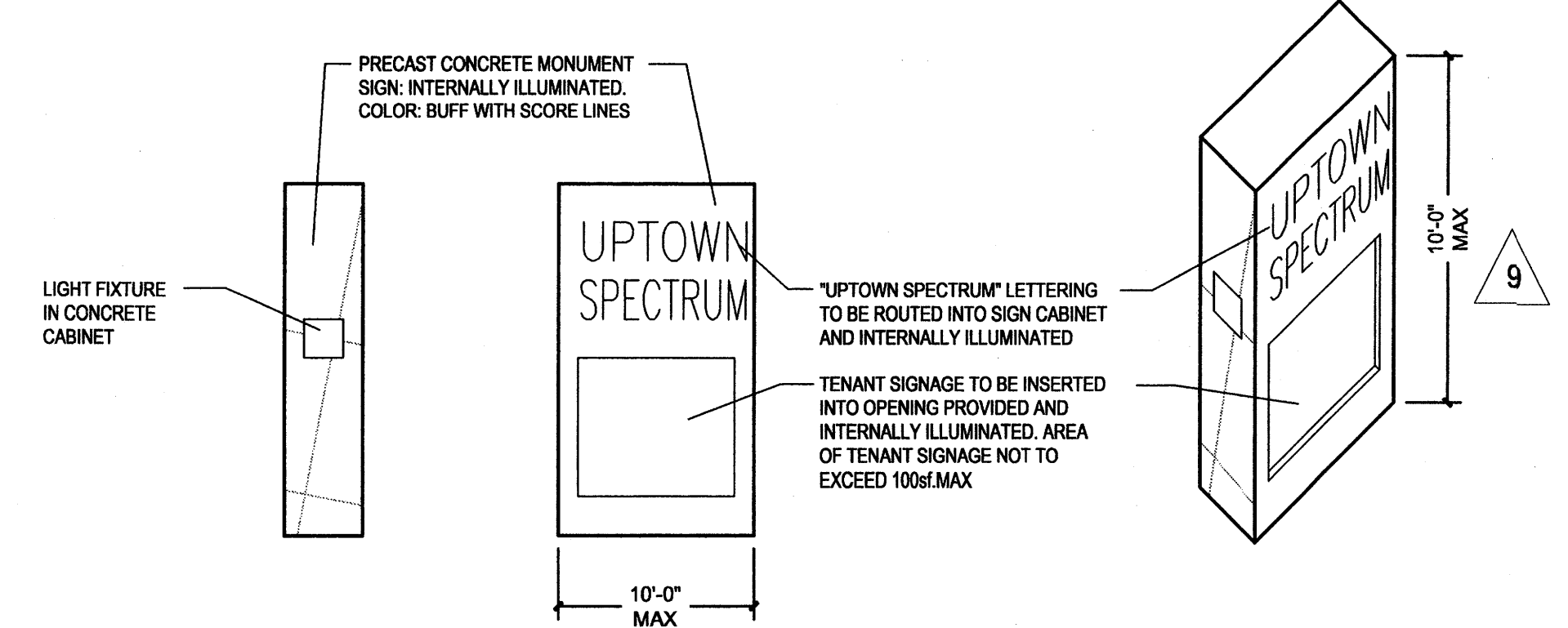




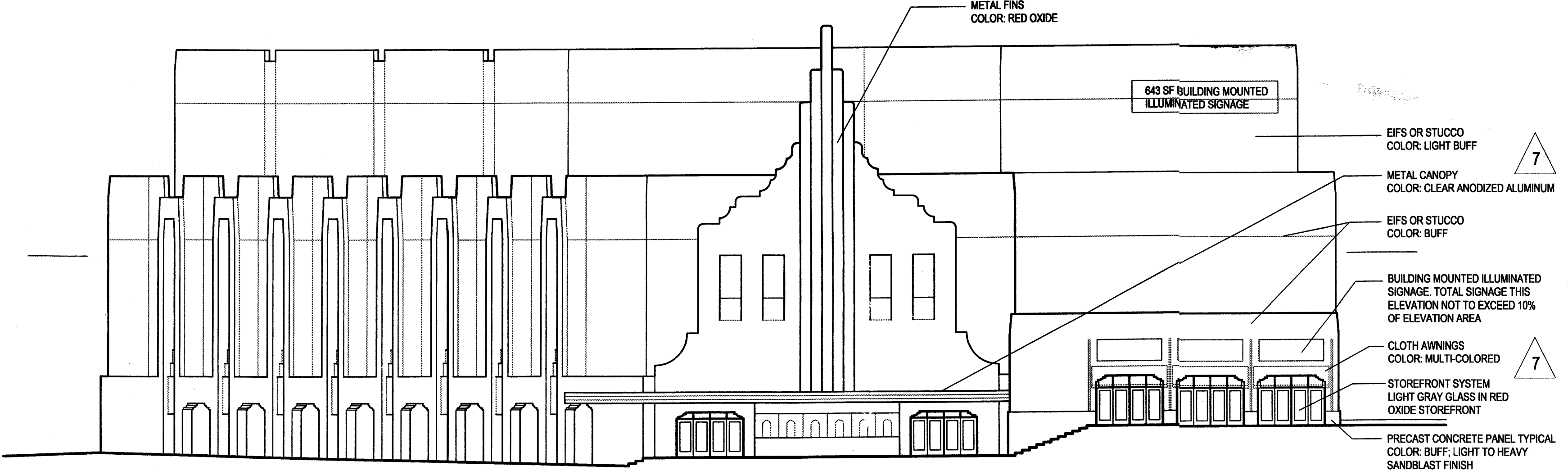
1 WEST GARAGE ELEV.  
Scale: 1/16"=1'-0"



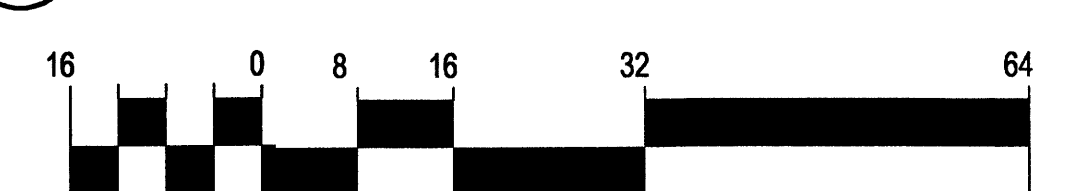
2 Signage for Mall Shops  
Scale: 1/4"=1'-0"



3 Monument Signage  
Scale: 1/4"=1'-0"



4 SOUTHWEST THEATER ELEV.  
Scale: 1/16"=1'-0"



10

**SIGNAGE CRITERIA for UPTOWN PLAZA**  
SIGNS FOR STRUCTURES OTHER THAN THE MALL SHOPS

- A. WORDING SHALL BE LIMITED TO THE NAME OF THE USER; HOWEVER, EACH PARTY'S CUSTOMARY SIGNATURE OR LOGO, HALLMARK, INSIGNIA, OR OTHER TRADE IDENTIFICATION WILL BE RESPECTED.
- B. ALL SIGNS MUST BE INTERNALLY ILLUMINATED, AND CONNECTED TO TENANT'S ELECTRIC SERVICE.
- C. LIGHT BOXES WILL NOT BE PERMITTED.
- D. SIGNS WITH INDIVIDUALLY ILLUMINATED LETTERS SHOULD HAVE LAMPS OR TUBES ENTIRELY CONCEALED WITHIN THE DEPTH OF THE LETTER WITH TRANSLUCENT PLASTIC FACE WITH NO VISIBLE OPENINGS.
- E. REVERSE CHANNEL LETTER SIGNS ARE NOT PERMITTED.
- F. SIGNS SHALL NOT PROJECT MORE THE 6" FROM THE FACE OF THE SIGNBAND.
- G. NO ANIMATED COMPONENTS, FLASHING LIGHTS, FORMED PLASTIC, OR INJECTION MOLDED PLASTIC SIGNS ARE PERMITTED.
- H. THERE SHALL BE NO EXPOSED CONDUITS, TRANSFORMERS, OR OTHER ELECTRICAL CONNECTIONS.
- I. NOT USED.
- J. TENANT SHALL NOT INSTALL ANY ROOF TOP SIGNS.
- K. LETTERING ON DOORS IN WINDOWS, OR ON SHOW WINDOWS MAY NOT BE ILLUMINATED ON EITHER EXTERIOR OR INTERIOR, SHALL NOT EXCEED 2" IN HEIGHT AND SHALL BE SUBMITTED FOR APPROVAL. EACH TENANT WILL BE PERMITTED TO PLACE UPON EACH ENTRANCE OF ITS LEASED PREMISES NOT MORE THAN 144 SQUARE INCHES (RECTANGLE ENCLOSED EACH GROUP OF LETTERS, SYMBOLS OR LOGOS) OF GOLD LEAF OR DECAL APPLICATIONS LETTERING, NOT TO EXCEED 3" IN HEIGHT, INDICATING HOURS OF BUSINESS, EMERGENCY PHONE NUMBERS, AND ADDRESS AS REQUIRED BY LOCAL AUTHORITIES. NO TEMPORARY OR PERMANENT PAPER SIGNS OR DECALS SHALL BE PERMITTED TO BE APPLIED TO THE INTERIOR OR EXTERIOR FACES OF THE STOREFRONT GLASS OR OTHER STOREFRONT MATERIALS.
- L. MAXIMUM SIZE OF INDIVIDUAL LETTERS AREA AS FOLLOWS (SEE ATTACHED DIAGRAM):  
72" FOR CAPITALS ABOVE 30';  
60" FOR CAPITALS BELOW 30';  
60" FOR LOWER CASE ABOVE 30';  
48" FOR LOWER CASE BELOW 30'.
- M. SEE PLANS FOR MAXIMUM OVERALL SIGN SIZE.

**SIGNAGE CRITERIA for UPTOWN PLAZA**  
SIGNS FOR THE MALL SHOPS

- A. WORDING SHALL BE LIMITED TO THE NAME OF THE USER; HOWEVER, EACH PARTY'S CUSTOMARY SIGNATURE OR LOGO, HALLMARK, INSIGNIA, OR OTHER TRADE IDENTIFICATION WILL BE RESPECTED.
- B. ALL SIGNS MUST BE COMPATIBLE TO COLOR AND MATERIALS OF TENANT'S STOREFRONT.
- C. ALL SIGNS MUST BE INTERNALLY ILLUMINATED, AND CONNECTED TO TENANT'S ELECTRIC SERVICE.
- D. LIGHT BOXES WILL NOT BE PERMITTED.
- E. SIGNS WITH INDIVIDUALLY ILLUMINATED LETTERS SHOULD HAVE LAMPS OR TUBES ENTIRELY CONCEALED WITHIN THE DEPTH OF THE LETTER WITH TRANSLUCENT PLASTIC FACE WITH NO VISIBLE OPENINGS.
- F. REVERSE CHANNEL LETTER SIGNS ARE NOT PERMITTED.
- G. SIGNS SHALL NOT PROJECT MORE THE 6" FROM THE FACE OF THE SIGNBAND.
- H. NO ANIMATED COMPONENTS, FLASHING LIGHTS, FORMED PLASTIC, OR INJECTION MOLDED PLASTIC SIGNS ARE PERMITTED.
- I. EXCEPT AS OTHERWISE APPROVED BY LANDLORD, ONLY ONE SIGN PER TENANT WILL BE PERMITTED.
- J. THERE SHALL BE NO EXPOSED CONDUITS, TRANSFORMERS, OR OTHER ELECTRICAL CONNECTIONS.
- K. BANNERS OR FLAGS ARE NOT PERMITTED.
- L. TENANT SHALL NOT INSTALL ANY ROOF TOP SIGNS.
- M. LETTERING ON DOORS IN WINDOWS, OR ON SHOW WINDOWS MAY NOT BE ILLUMINATED ON EITHER EXTERIOR OR INTERIOR, SHALL NOT EXCEED 2" IN HEIGHT AND SHALL BE SUBMITTED FOR APPROVAL. EACH TENANT WILL BE PERMITTED TO PLACE UPON EACH ENTRANCE OF ITS LEASED PREMISES NOT MORE THAN 144 SQUARE INCHES (RECTANGLE ENCLOSED EACH GROUP OF LETTERS, SYMBOLS OR LOGOS) OF GOLD LEAF OR DECAL APPLICATIONS LETTERING, NOT TO EXCEED 3" IN HEIGHT, INDICATING HOURS OF BUSINESS, EMERGENCY PHONE NUMBERS, AND ADDRESS AS REQUIRED BY LOCAL AUTHORITIES. NO TEMPORARY OR PERMANENT PAPER SIGNS OR DECALS SHALL BE PERMITTED TO BE APPLIED TO THE INTERIOR OR EXTERIOR FACES OF THE STOREFRONT GLASS OR OTHER STOREFRONT MATERIALS.
- N. TENANT SIGNS SHALL NOT EXCEED SEVENTY-FIVE PERCENT (75%) OF THE TENANT'S FOOTAGE IN LENGTH. LETTERS SHALL CONFORM TO THE FOLLOWING MAXIMUM SIZES:  
33" FOR CAPITALS  
24" FOR LOWER CASE  
5" LETTER DEPTH  
1 1/2" MINIMUM STROKE
- O. SEE PLANS FOR MAXIMUM OVERALL SIGN SIZE.

**SIGNAGE NOTES**

- A. NO ILLUMINATED SIGNAGE IS PERMITTED ON THE EAST BUILDING FACADES FROM 26' ABOVE FINISH GRADE TO THE UPPERMOST BUILDING ELEVATION.

NOTE:  
THE ELEVATIONS GIVEN ARE RELATIVE FROM THE '0'-0" FINISH FLOOR ELEVATION GIVEN ON EACH ELEVATION AND/OR SECTION, AND DIFFER FROM ONE ANOTHER.

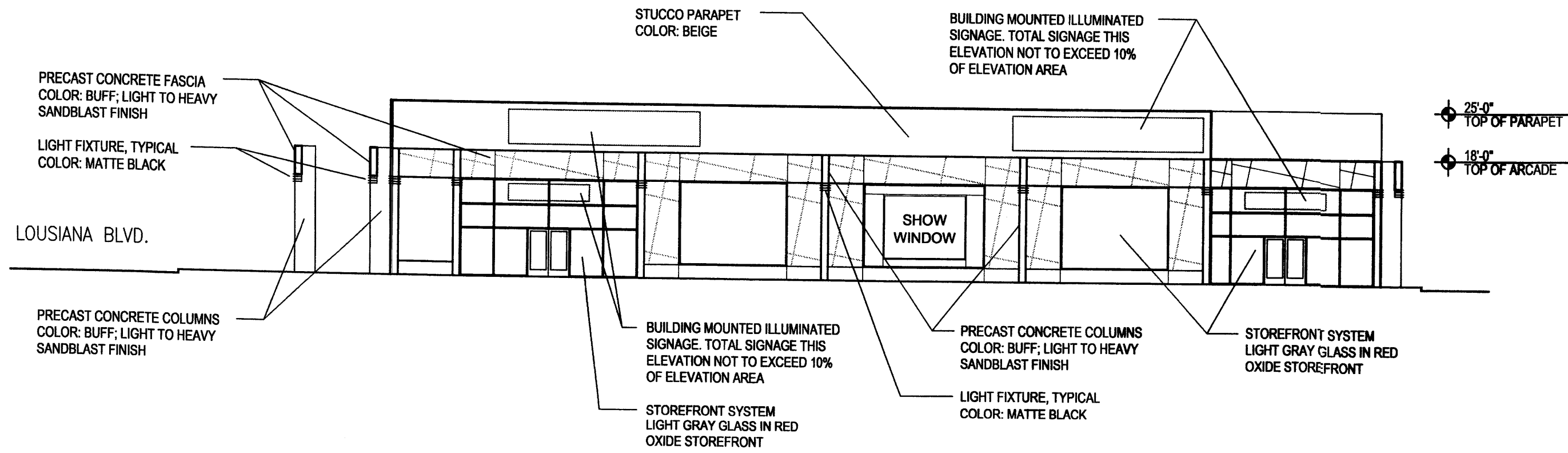
**Dekker/Perich/Sabatini**  
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**UPTOWN SPECTRUM**  
DRB SUBMITTAL

HUNT UPTOWN II, LLC  
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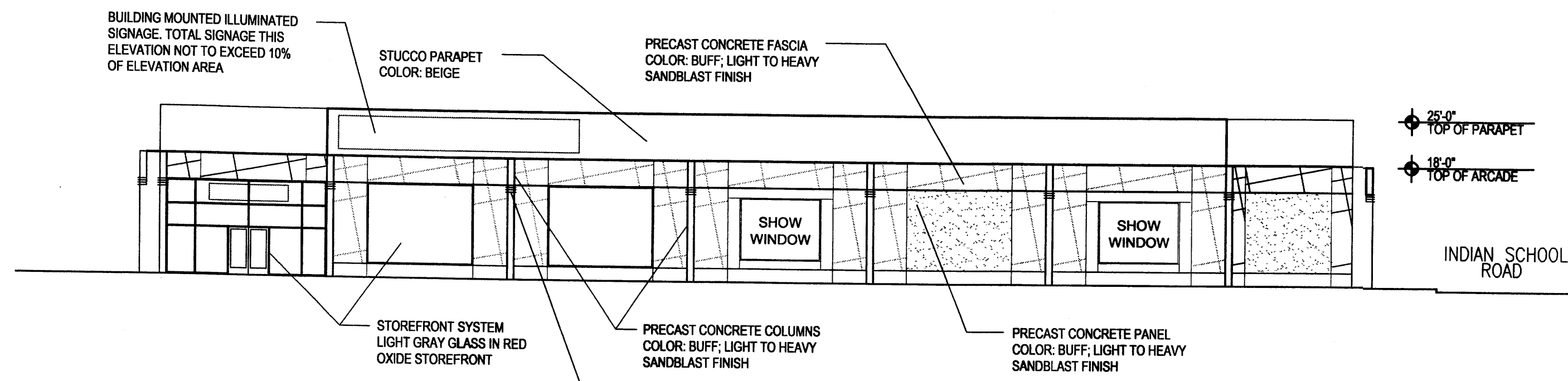
GEORGE RAINHART, ARCHITECT + ASSOCIATES P.C.  
2328 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

WEST GARAGE ELEV.



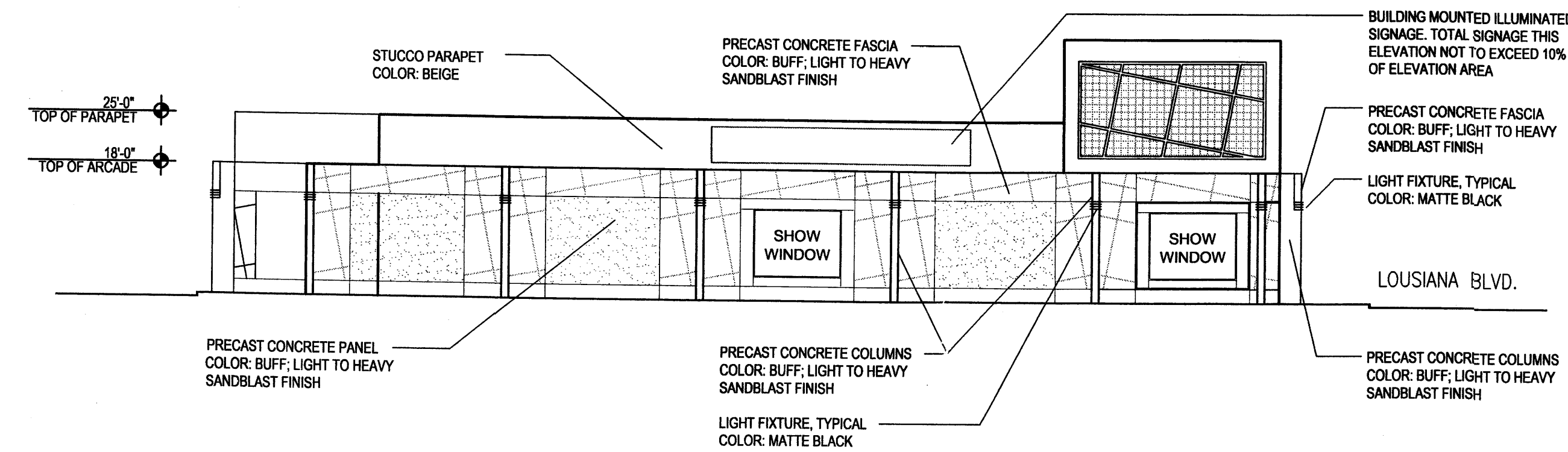
1 Retail 1 South Elevation

Scale: 1/16"=1'-0"



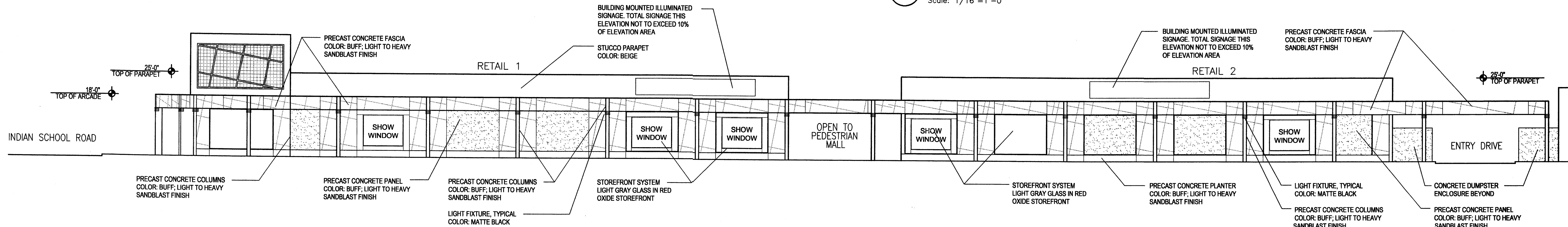
2 Retail 1 East Elevation

Scale: 1/16"=1'-0"



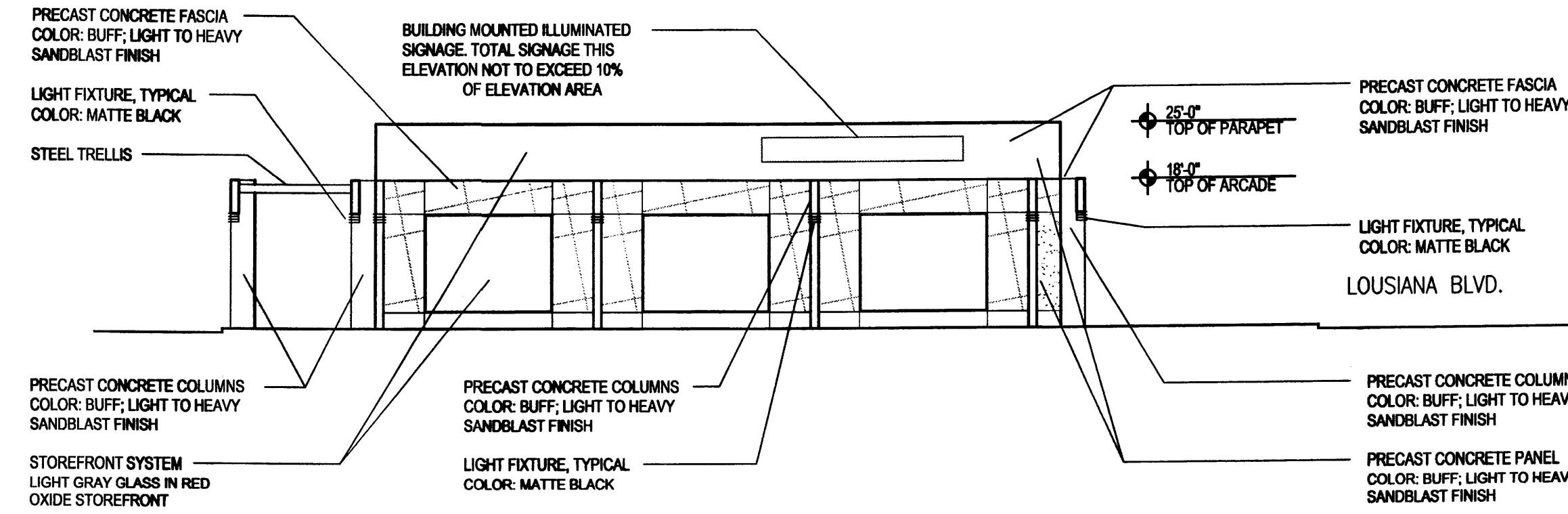
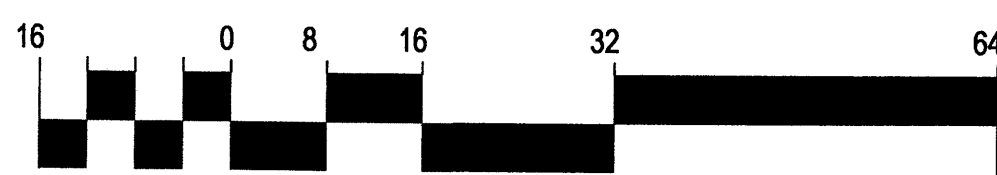
3 Retail 1 North Elevation

Scale: 1/16"=1'-0"



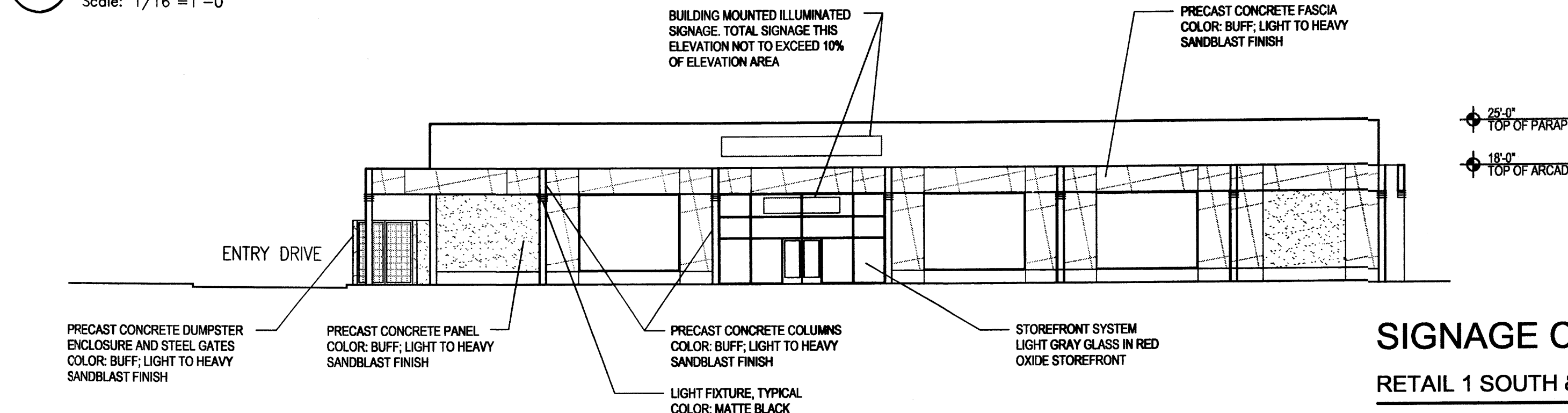
7 Louisiana Blvd. Elevation

Scale: 1/16"=1'-0" Office/Retail 1 and 2 West Elevation



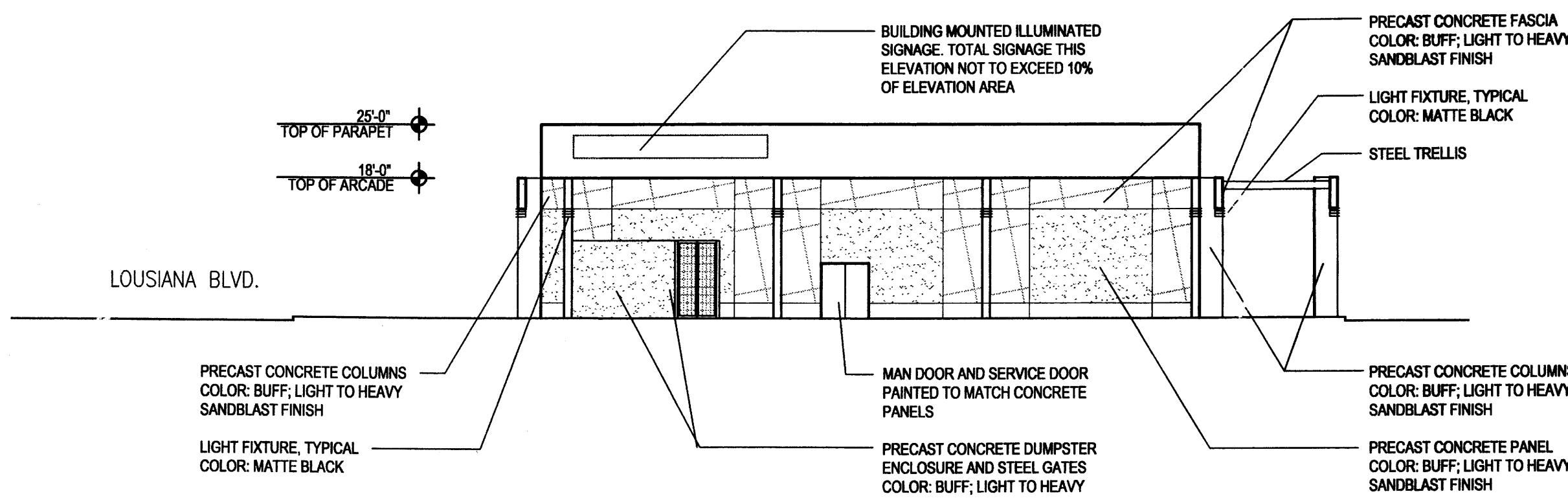
4 Retail 2 North Elevation

Scale: 1/16"=1'-0"



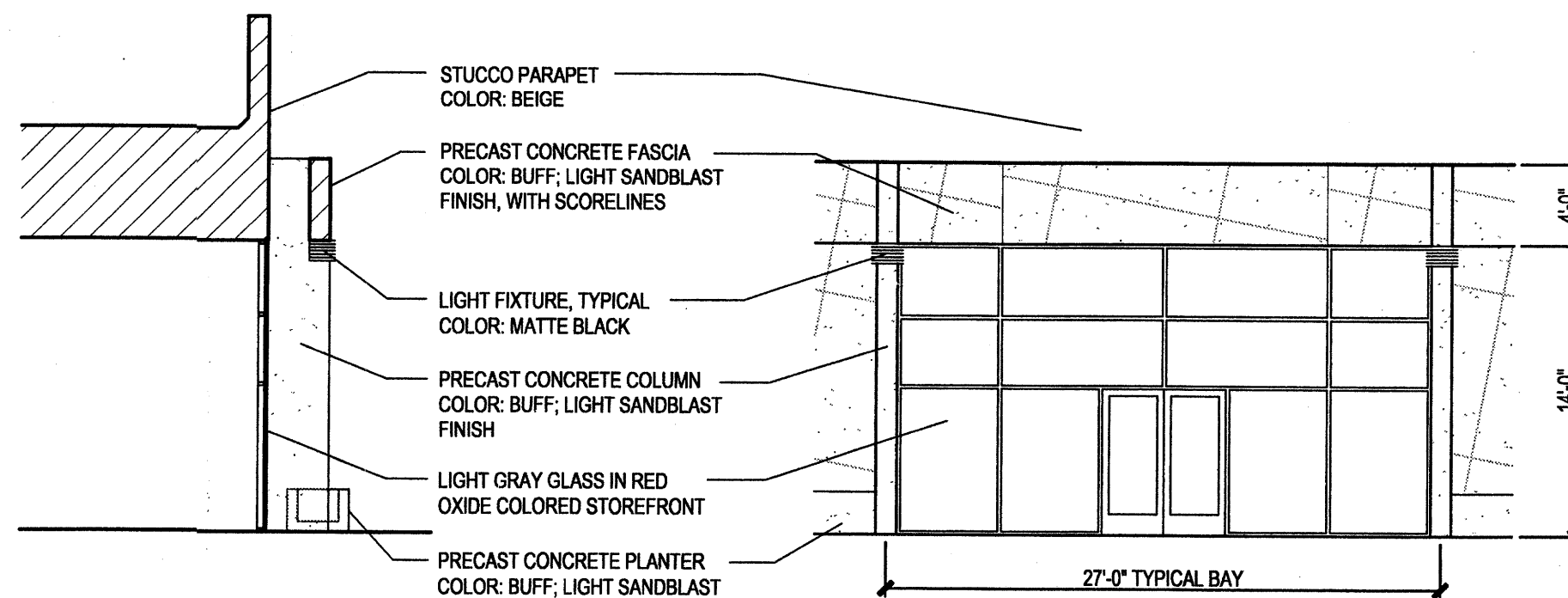
5 Retail 2 East Elevation

Scale: 1/16"=1'-0"



6 Retail 2 South Elevation

Scale: 1/16"=1'-0"



8 Retail 1 & 2 Bay and Section

Scale: 1/8"=1'-0"

**SIGNAGE CALCULATIONS**

**RETAIL 1 SOUTH & NORTH ELEVATIONS**

FACADE AREA - EACH ELEVATION	3,450 sf
AREA BELOW 30'	3,450 sf

SIGNAGE PERMITTED - EACH ELEVATION	10% OF 3,450 SF (BELOW 30') =	345 sf
------------------------------------	-------------------------------	--------

SIGNAGE PROPOSED - EACH ELEVATION	BELOW 30' =	345 sf
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**RETAIL 1 EAST & WEST ELEVATION**

FACADE AREA - EACH ELEVATION	3,625 sf
AREA BELOW 30'	3,625 sf

SIGNAGE PERMITTED - EACH ELEVATION	10% OF 3,625 SF (BELOW 30') =	363 sf
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SIGNAGE PROPOSED - EACH ELEVATION	BELOW 30' =	363 sf
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**RETAIL 2 SOUTH & NORTH ELEVATION**

FACADE AREA - EACH ELEVATION	2,886 sf
AREA BELOW 30'	2,730 sf

SIGNAGE PERMITTED - EACH ELEVATION	10% OF 2,730 SF (BELOW 30') =	273 sf
------------------------------------	-------------------------------	--------

SIGNAGE PROPOSED - EACH ELEVATION	BELOW 30' =	273 sf
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**RETAIL 2 EAST & WEST ELEVATION**

FACADE AREA - EACH ELEVATION	3,118 sf
AREA BELOW 30'	2,970 sf

SIGNAGE PERMITTED - EACH ELEVATION	10% OF 2,970 SF (BELOW 30') =	297 sf
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SIGNAGE PROPOSED - EACH ELEVATION	BELOW 30' =	297 sf
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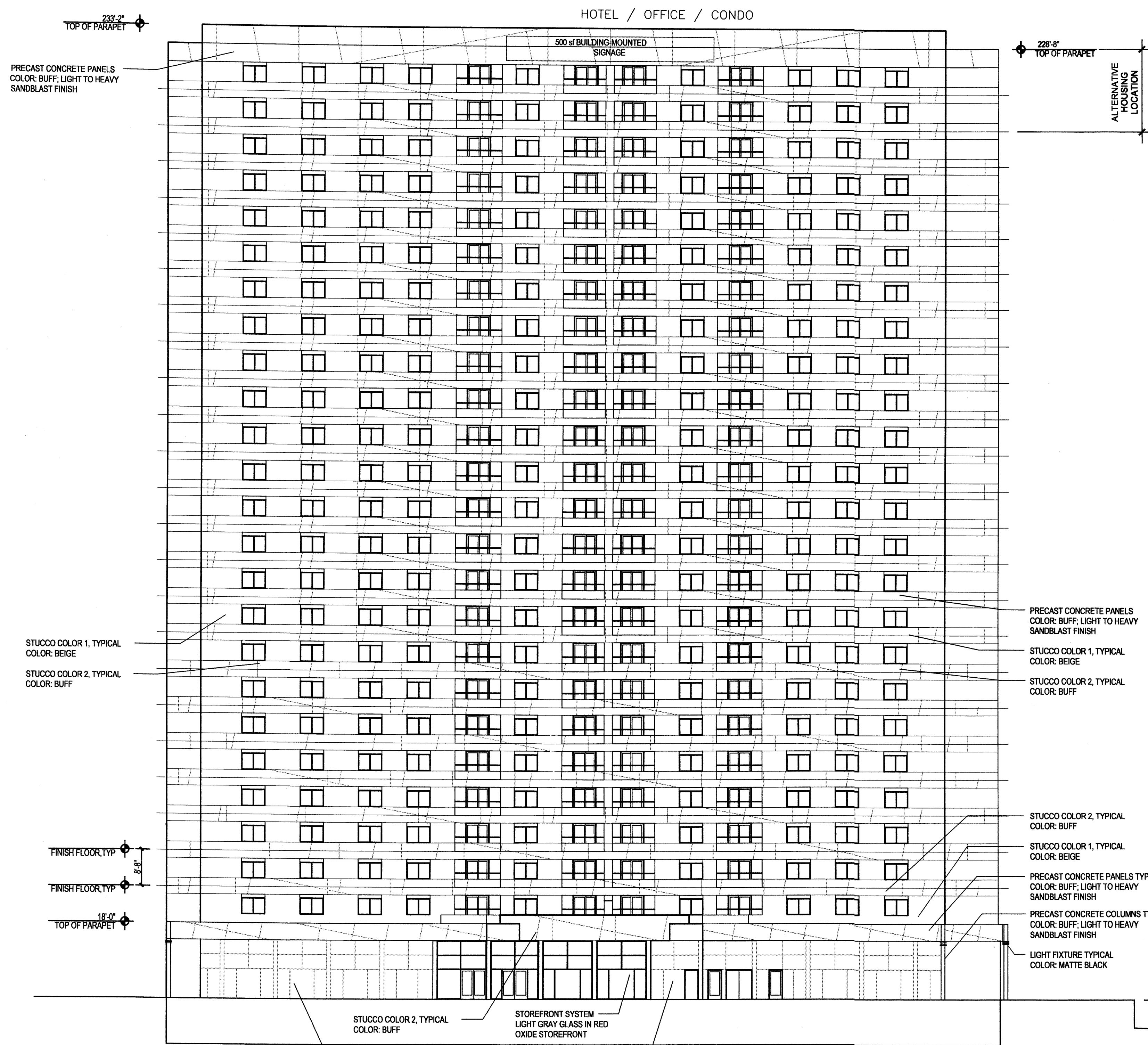
**UPTOWN SPECTRUM  
DRB SUBMITTAL**

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Albuquerque, New Mexico 87103

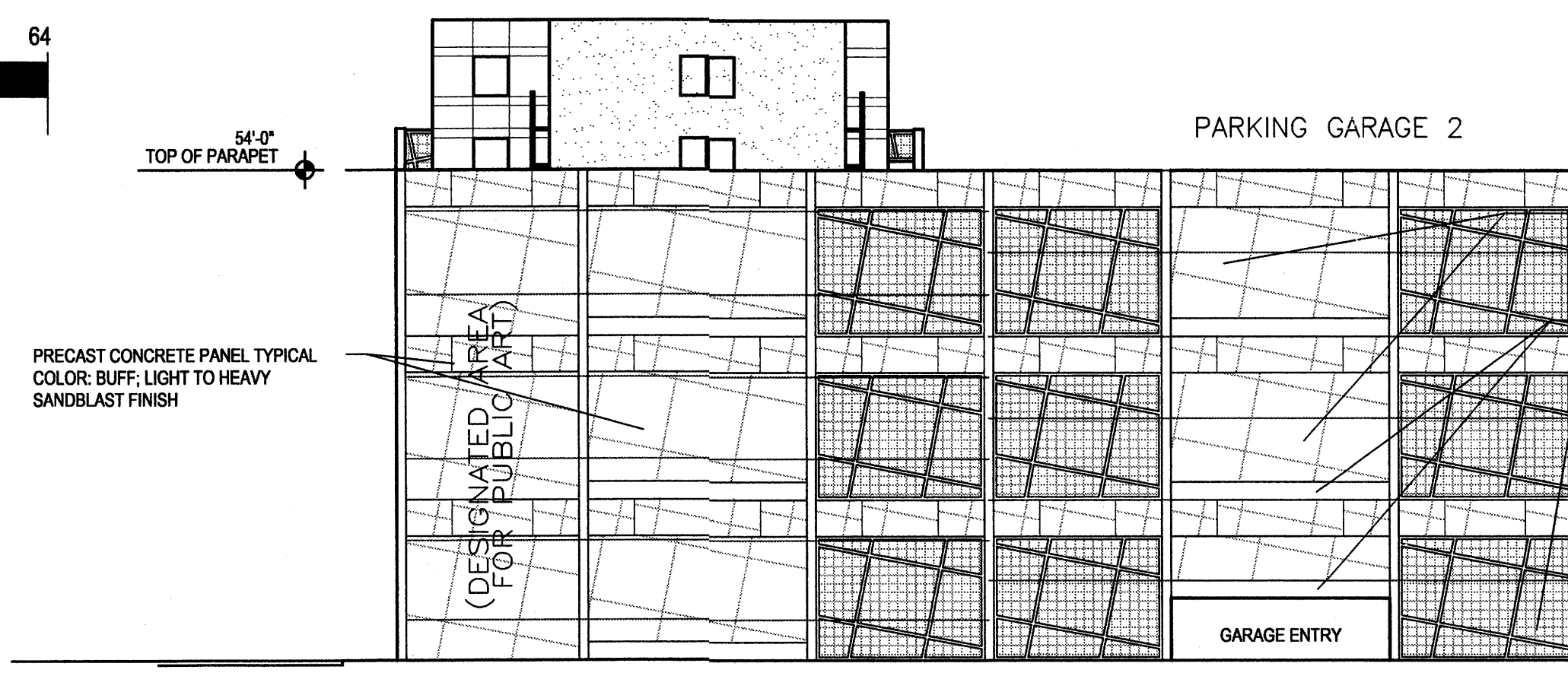
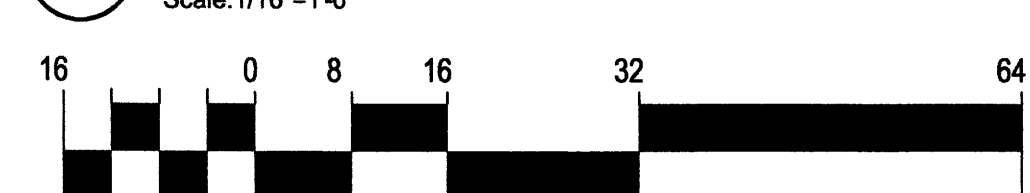
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**RETAIL 1 + 2 ELEVATIONS**

NOTE:  
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FROM THE "0'-0" FINISH FLOOR"  
ELEVATION GIVEN ON EACH ELEVATION  
AND/OR SECTION, AND DIFFER FROM  
ONE ANOTHER.



1 West Elevation  
Scale: 1/16"=1'-0"



2 South Elevation  
Scale: 1/16"=1'-0"



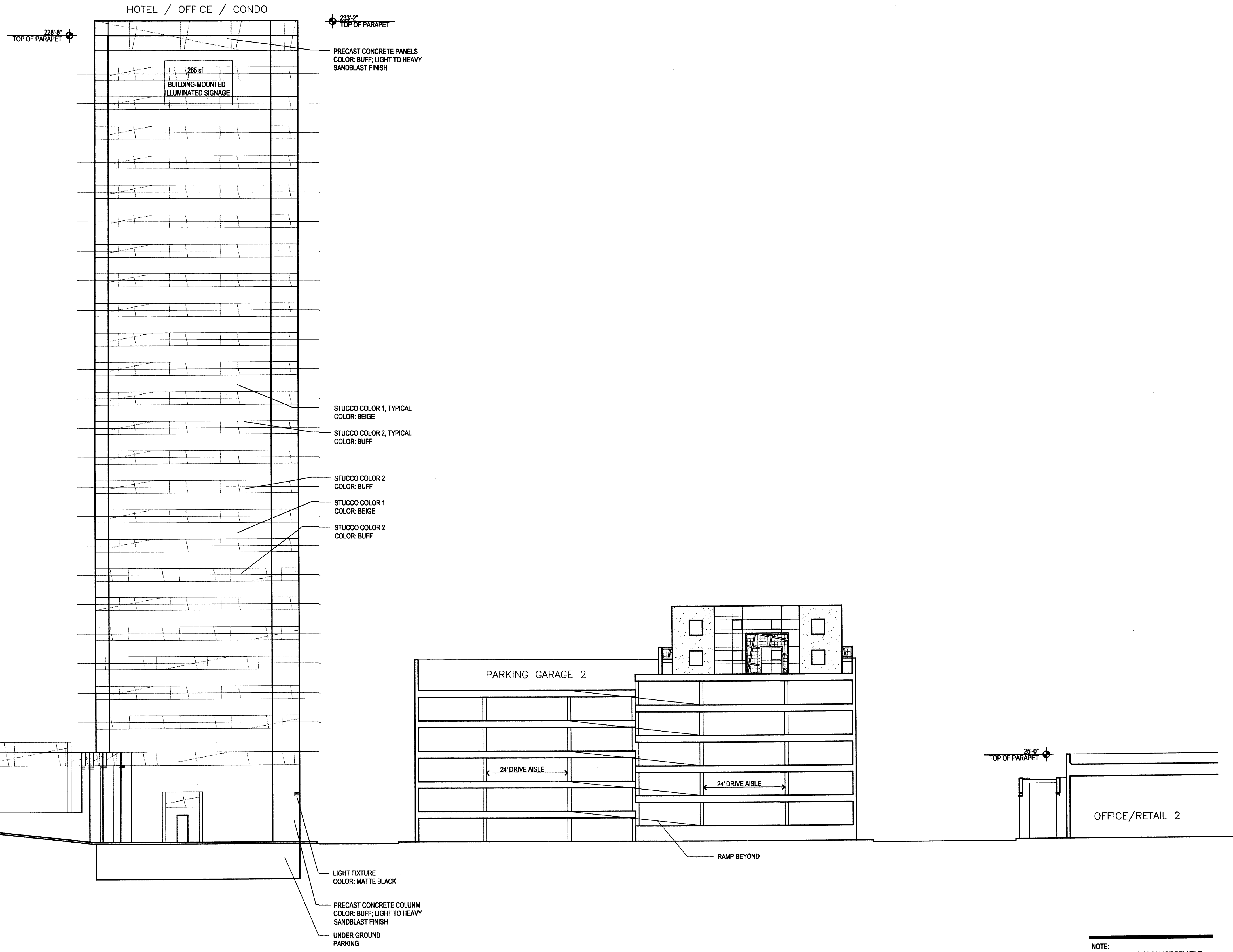
- Notes:
1. The hotel/office/condo tower shall provide showers and lockers for employees desiring to bicycle or walk to work. There shall be a reasonable number of lockers and they shall be reasonably accessible to employees. At a minimum, one shower per gender shall be provided for each 50,000 sf of office use.
  2. A publicly accessible ATM shall be provided on site.
  3. The hotel/office/condo shall incorporate a seating area within the ground floor lobby area, open to the public using the city transit system.

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HOTEL WEST/SOUTH ELEV.



2 North Elevation  
Scale: 1/16"=1'-0"

NOTE:  
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FROM THE '0'-0" FINISH FLOOR.  
ELEVATION GIVEN ON EACH ELEVATION  
AND/OR SECTION, AND DIFFER FROM  
ONE ANOTHER.

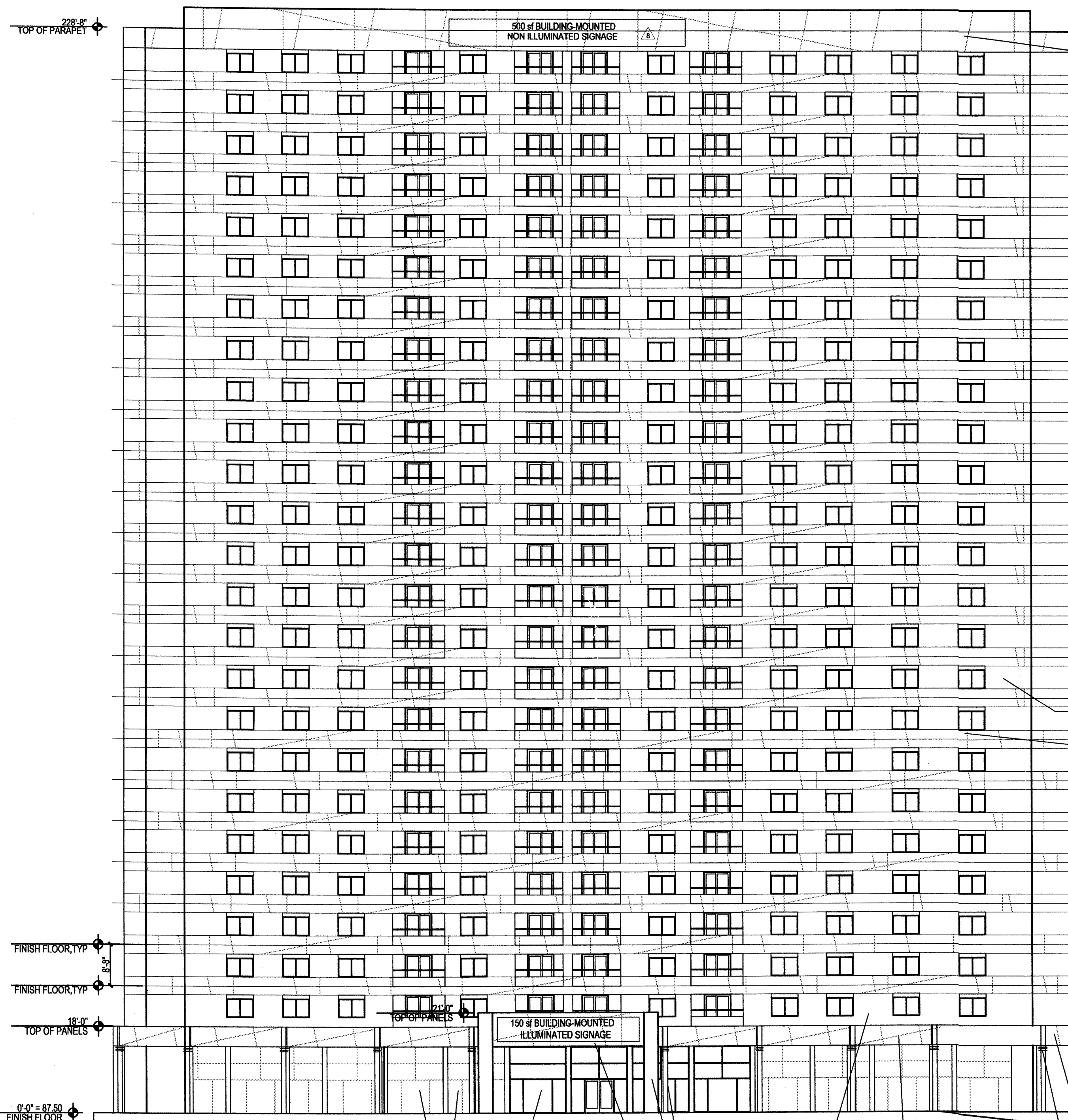
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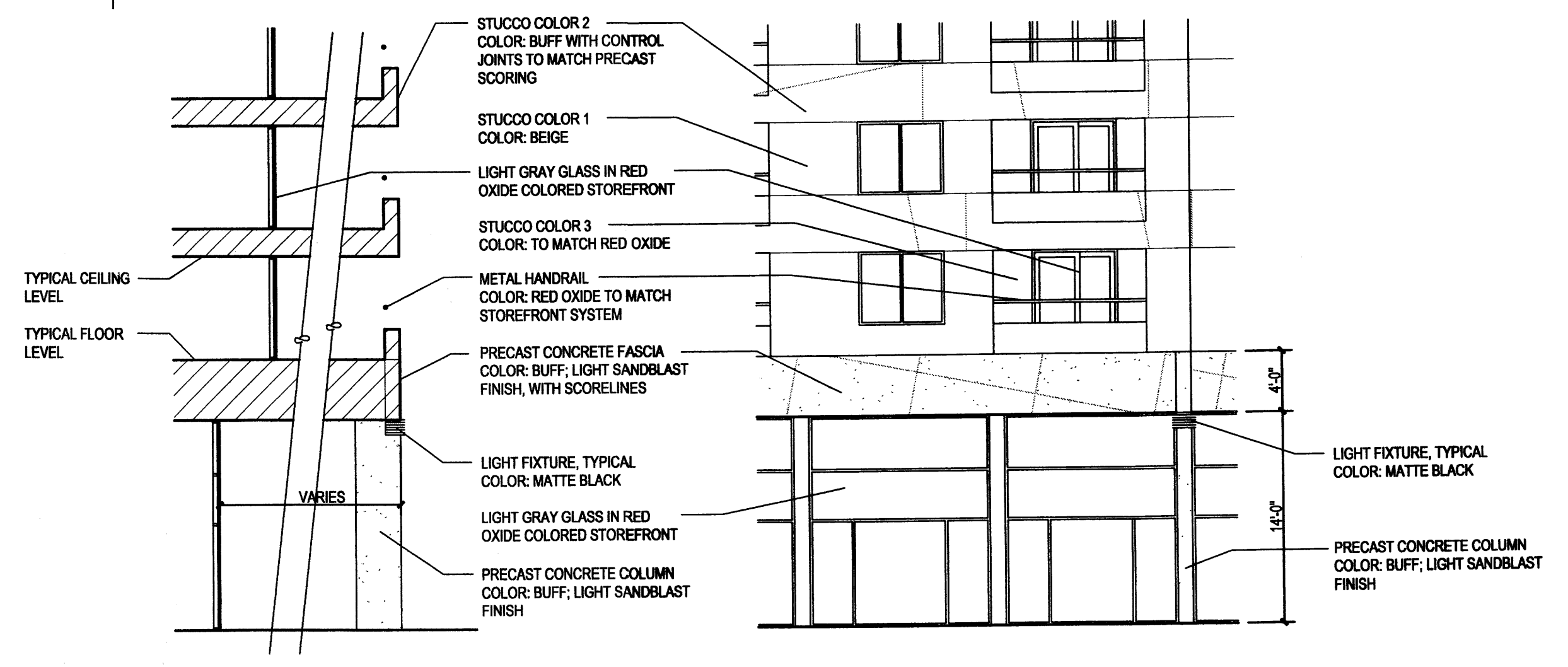
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HOTEL NORTH ELEV.

HOTEL / OFFICE / CONDO



238'-0" TOP OF PARAPET  
 PRECAST CONCRETE PANELS  
 COLOR: BUFF, LIGHT TO HEAVY  
 SANDBLAST FINISH  
 ALTERNATIVE HOUSING LOCATION

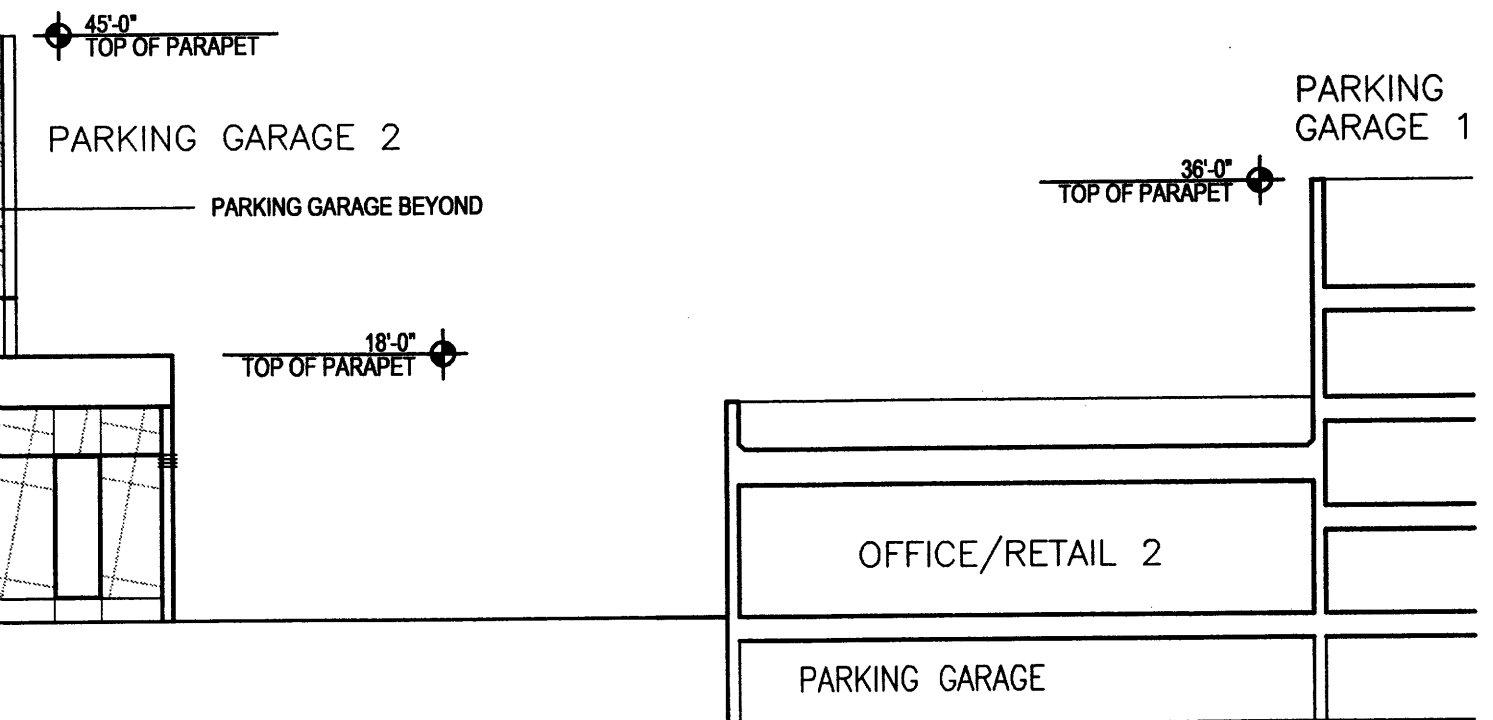


3 Typical Hotel/Office/Condo. Bay and Section  
 Scale: 1/8"=1'-0"

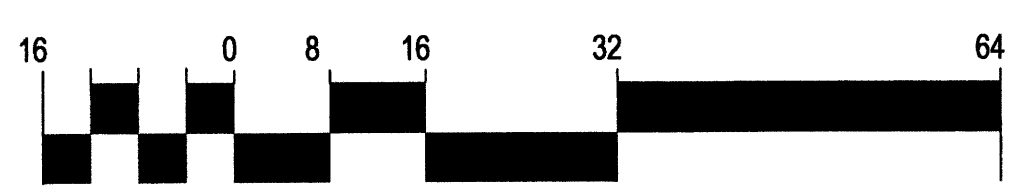
STUCCO COLOR 1, TYPICAL  
 COLOR: BEIGE  
 STUCCO COLOR 2, TYPICAL  
 COLOR: BUFF

FINISH FLOOR, TYP.  
 FINISH FLOOR, TYP.  
 TOP OF PANELS  
 TOP OF PANELS  
 0'-0" = 87.50  
 FINISH FLOOR

STUCCO COLOR 1, TYPICAL  
 COLOR: BEIGE  
 STUCCO WITH JOINTING TO  
 MATCH STOREFRONT SYSTEM  
 STOREFRONT SYSTEM  
 LIGHT GRAY GLASS IN RED  
 OXIDE STOREFRONT  
 150' of BUILDING-MOUNTED  
 ILLUMINATED SIGNAGE  
 PRECAST CONCRETE PANELS, TYPICAL  
 COLOR: BUFF, LIGHT TO HEAVY  
 SANDBLAST FINISH  
 PRECAST CONCRETE COLUMNS, TYPICAL  
 COLOR: BUFF, LIGHT TO HEAVY  
 SANDBLAST FINISH  
 STUCCO COLOR 1  
 COLOR: BEIGE  
 PRECAST CONCRETE WALL  
 COLOR: BUFF, LIGHT TO HEAVY  
 SANDBLAST FINISH  
 LIGHT FIXTURE  
 COLOR: MATTE BLACK  
 PRECAST CONCRETE COLUMN  
 COLOR: BUFF, LIGHT SANDBLAST  
 FINISH  
 PRECAST CONCRETE WALL  
 COLOR: BUFF, LIGHT TO HEAVY  
 SANDBLAST FINISH  
 LIGHT FIXTURE  
 COLOR: MATTE BLACK  
 OFFICE/RETAIL 4  
 PARKING GARAGE ENTRY  
 BEYOND



1 East Elevation  
 Scale: 1/16"=1'-0"



NOTE:  
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 ELEVATION GIVEN ON EACH ELEVATION  
 AND/OR SECTION, AND DIFFER FROM  
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HOTEL EAST ELEV.

# Uptown Spectrum

## Building Design Standards

### Background

Most memorable and successful cities provide not only a unique urban experience, but also a cultural experience identifiable with their location. New Mexico is world renowned as a one of a kind, special place. Uptown Spectrum will capitalize on that reputation by integrating New Mexican iconographic elements in its architecture. The authenticity associated with the various New Mexico architectural styles, art and natural materials will be used to create urban texture and celebrate our diversity while also providing continuity with this enchanted place.

These standards are provided to facilitate the evolution of a rich urban texture within Uptown Spectrum. Individual buildings shall be designed based on one of the listed architectural styles and according to the following standards.

#### Architectural Styles of New Mexico:

**Northern New Mexico:** Light tan stucco with pitched corrugated metal roof and oversized window trim appointments. Deep overhung, roofed and trellised outdoor patio space.

**Santa Fe Railroad:** Industrial brick warehouse with oversized exposed structure, precast architectural concrete parapets and sills, and exposed steel lintels. Deep overhung, soffited outdoor spaces. Awnings over punched windows.

**Spanish Mission:** Very light earth-colored stucco with curved and stepped wall forms. Heavy window and door lintels. A mix of pitched and flat roofs, and precast architectural concrete parapet caps. Light trellising and terraced patio elements, and inwardly focused courtyard spaces. Awnings over windows.

**Mountain timber:** Oversized timber frame with pitched metal roof and natural stone veneer. Oversized trellising elements.

**New Mexico Territorial:** Earth toned stucco wall surfaces with brick copings and white painted wood trim with pediments and dentals at openings.

**Pueblo Deco:** An eclectic mix of art deco and pueblo styles with monotone field and localized saturated accent color, in a more formal manner. High play of figure/ground.

**Northern New Mexico Pueblo:** Medium to darker earth-toned stucco with simple stepped parapet walls and protruding structural members expressed beyond wall plane.

**Anasazi:** Very simple circular, rectangular and arced organizational forms in unit masonry with structural protrusion expressed beyond wall plane. Heavy use of multi-level terracing.

**National Labs Tech:** Metal panels, stucco, glass, metal awnings, with a horizontal nature influenced by modern architecture, materials and technologies.

**Route 66 Deco:** Art deco influenced forms with a streamlined appearance reminiscent of 1930's diners. Brightly colored metallic trim with neon lighting accents.

### Intent:

To celebrate the uniqueness of New Mexico's culture through utilization of its various architectural styles and iconography.

To create an architecturally diverse urban texture by varying the styles of individual buildings within Uptown Spectrum.

### Standards:

1. Building architecture shall relate to one of New Mexico's indigenous architectural styles. Designs may be based on prototypical "trade dress" of national tenants with changes of materials or roof forms to reflect one of the architectural styles listed above. Each individual building shall be designed to reflect only one of the styles, not a conglomeration of several.
2. Building exteriors shall be constructed of high quality, long lasting materials, particularly where people come in contact with them. The use and location of materials shall be consistent with their inherent qualities and relationship to the selected architectural style.
3. All building faces shall be architecturally treated to compliment the selected architectural style. Blank building facades are not allowed.
4. Service areas and ground mounted mechanical/utility devices shall be screened from view with architecturally compatible screening elements such as walls or mature landscaping. Rooftop mounted mechanical equipment shall be concealed with architecturally compatible screens at least as tall as the highest part of the equipment.
5. Fenestration shall reflect the activities within the building. Glazing is encouraged on all sides of buildings. Windowless facades enclosing service and utility spaces shall be architecturally detailed to compliment the overall design of the building.
6. Building entries shall be architecturally articulated to make their presence obvious to pedestrians on the street.
7. Shading of outdoor gathering spaces is encouraged through the use of architecturally compatible shading devices or mature landscaping.
8. Roof forms shall be an integral part of the overall building design.
9. Signage shall comply with the City of Albuquerque Zoning Ordinance and the Uptown Sector Plan.
10. Sustainability shall be considered in the design of all buildings within Uptown Spectrum.

# Uptown Spectrum

## Landscape Design Standards

### Intent:

To reinforce the project identity

To provide visual and physical relief from large buildings, expanses of paving and their effects on microclimate.

To provide order and continuity in coordination with the project's organizational structure.

To reinforce the sense of project quality.

To provide buffers, transitions and screens between uses.

To be sensitive to water conservation.

### Standards:

#### General

1. The configuration and design of planting areas shall be compatible with landscaping on adjacent properties.
2. Earth berms shall have a maximum slope of 3:1 and shall be stabilized with plant materials and mulch.
3. All disturbed areas without paving or structures shall be stabilized with natural materials dominated by plant material.

#### Landscape Plan

1. All landscape areas shall receive irrigation via a fully automated irrigation system.
2. All irrigation systems shall be designed to accommodate non-potable water.
3. Low-flow irrigation techniques shall be utilized.

#### Plant Material

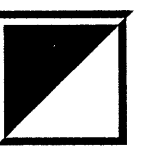
1. Regional native plants from the Southwestern U.S. and Northern Mexico shall be featured in the landscape design.
2. Low water use, heat and drought tolerant plant material shall be included in the landscape design.
3. Landscaping shall provide seasonal color, texture and shade.

**Dekker/Perich/Sabatini**  
architecture ■ interiors ■ planning ■ engineering

**UPTOWN SPECTRUM**  
DRB SUBMITTAL

HUNT UPTOWN II, LLC  
A LIMITED LIABILITY COMPANY  
500 Marquette, NW Suite 350  
Albuquerque, New Mexico 87103

GEORGE RAINHART, ARCHITECT + ASSOCIATES P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
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PHONE (505) 884-9110 FAX (505) 837-9877



Building & Landscape Design Standards

11-5-2002  
sheet: [7 of 21]

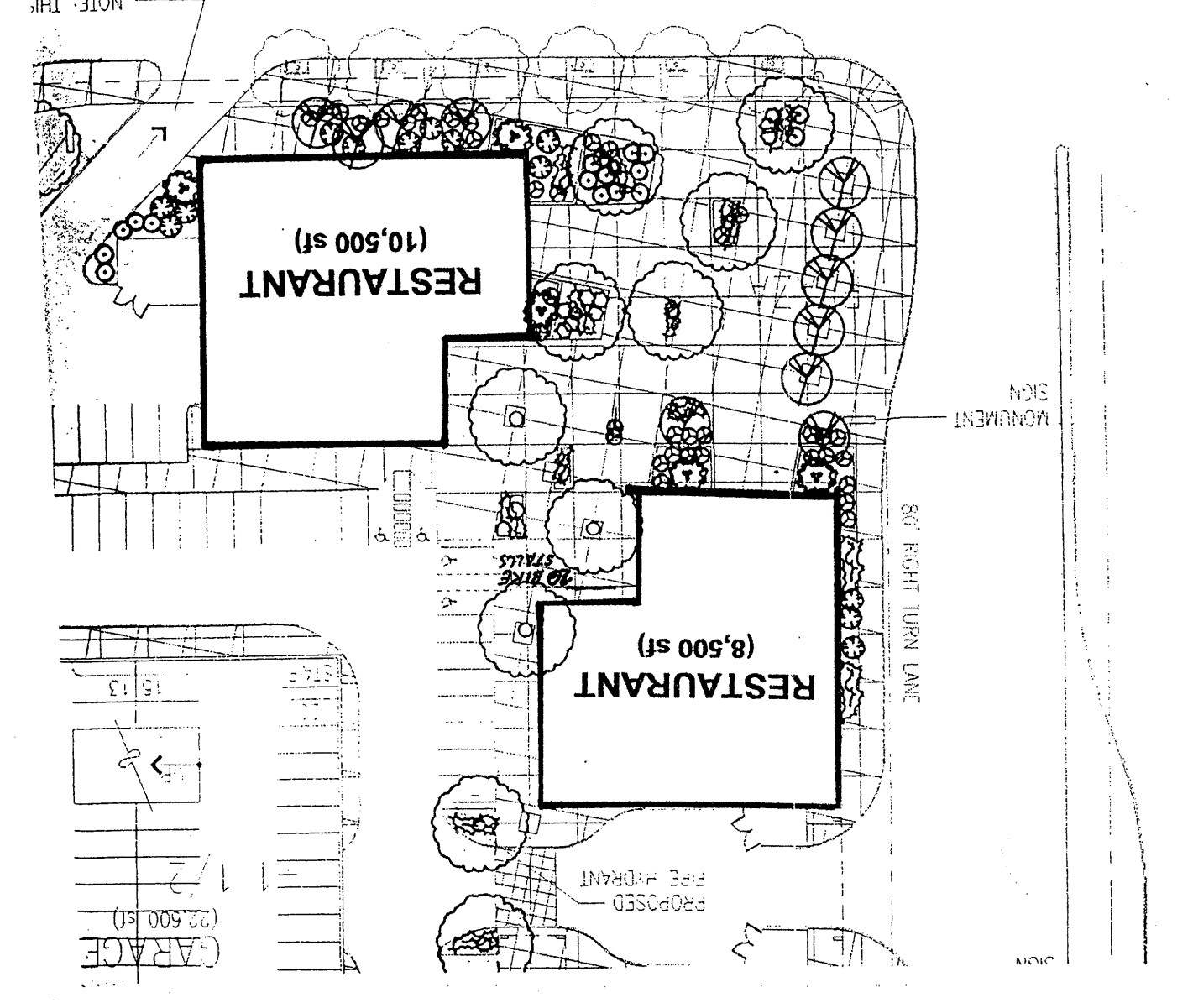
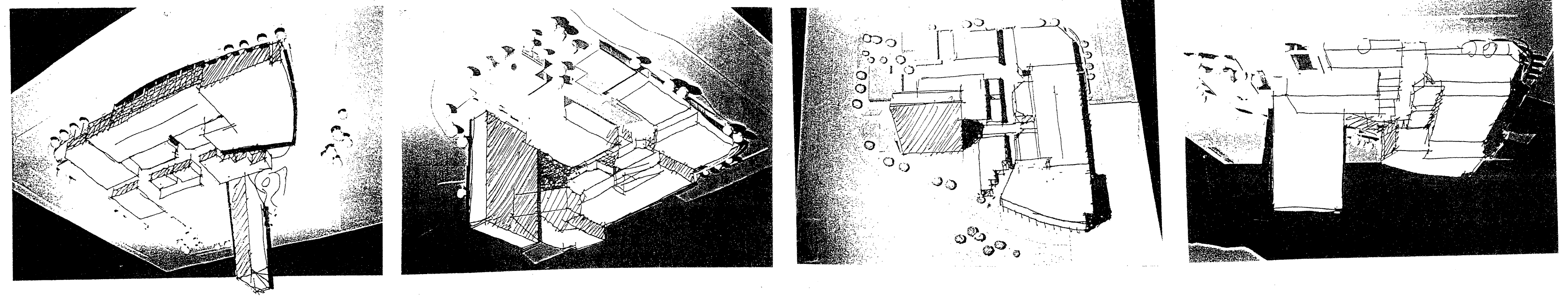
**DESIGN ELEMENTS**

HUNT- UPTOWN, LLC  
 500 Marquette NW, Suite 350  
 Albuquerque, New Mexico 87102

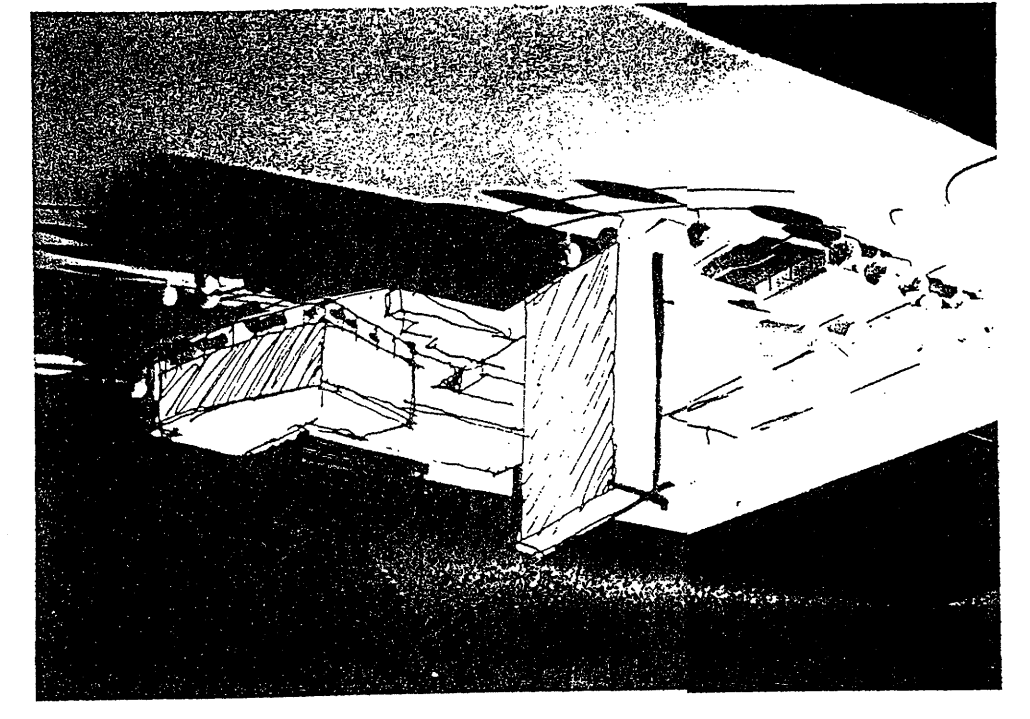
GEORGE RAINHART, ARCHITECT + ASSOCIATES P.C.  
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 ALBUQUERQUE, NEW MEXICO 87110  
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**UPTOWN SPECTRUM  
 EPC SUBMITTAL**

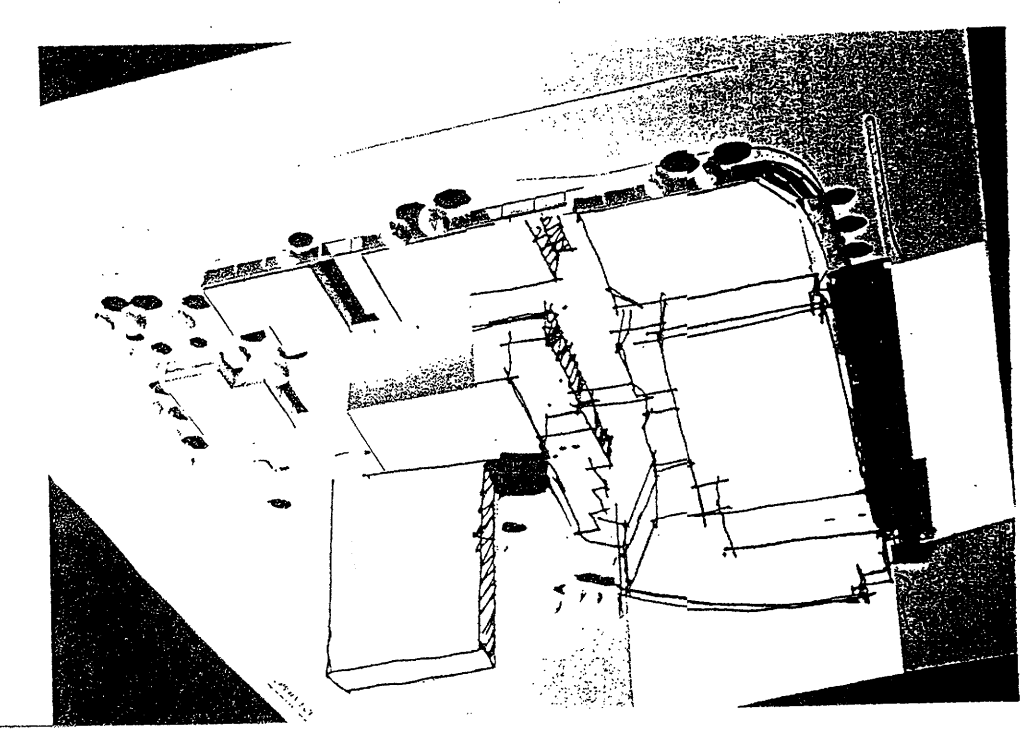
Site Photos



Solar Angles

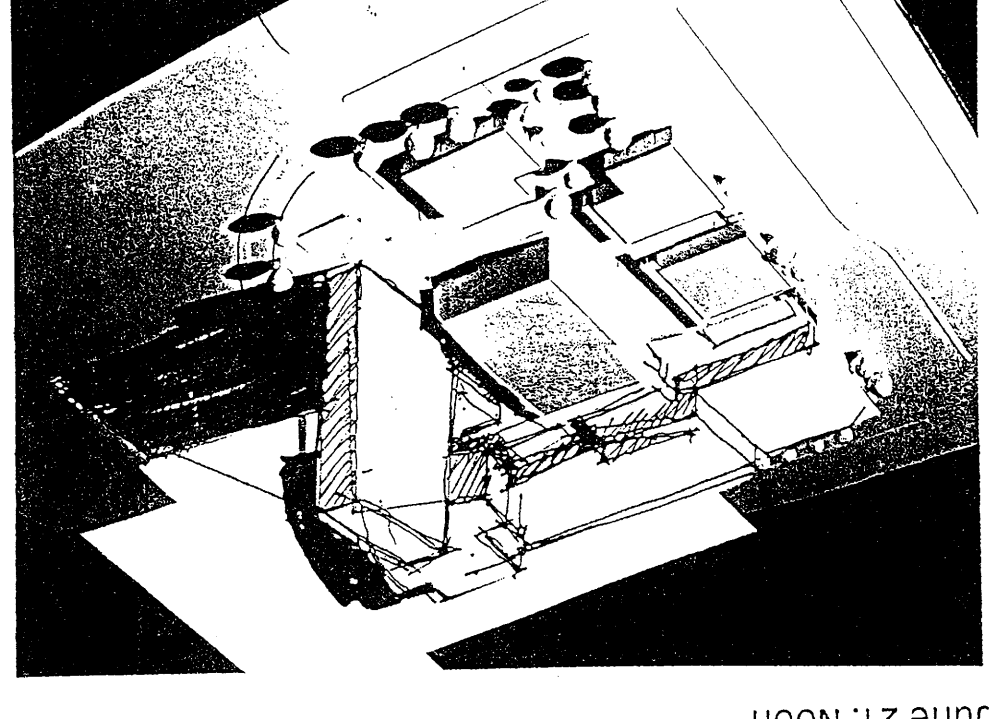


March 21/September 21: 4 pm

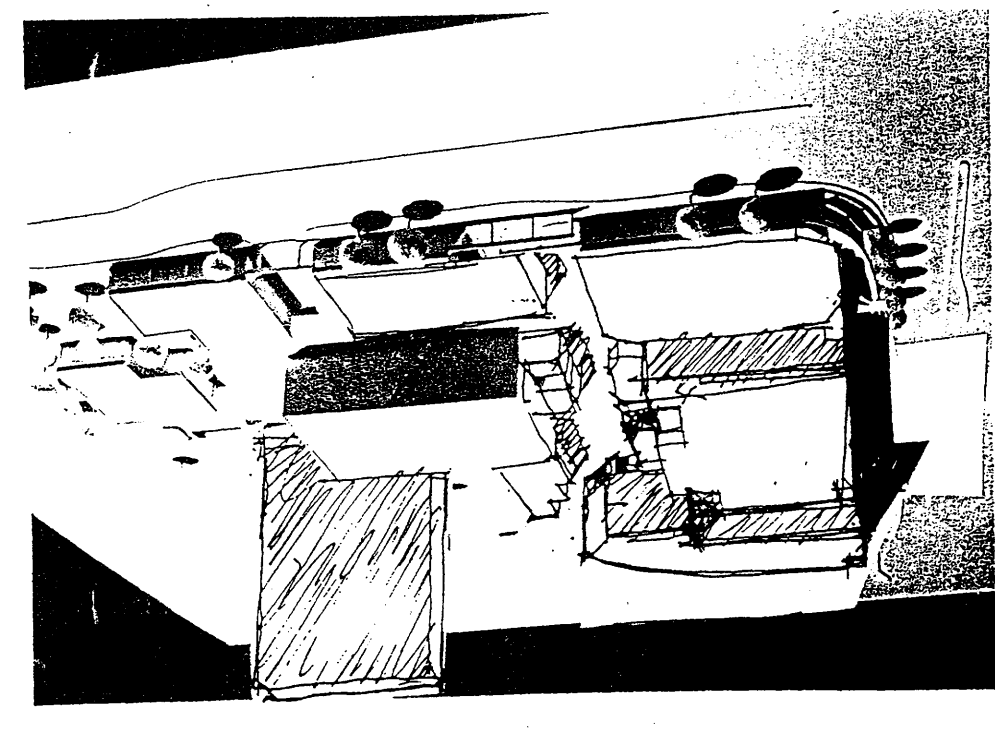


March 21/September 21: Noon

Solar Angles

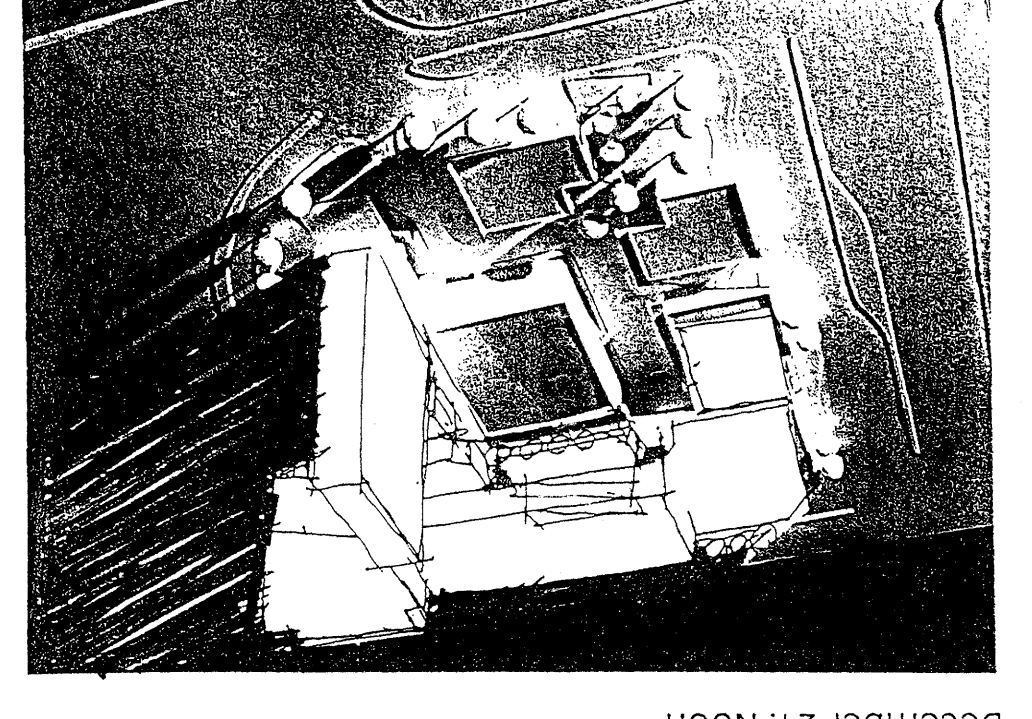


June 21: 4 pm

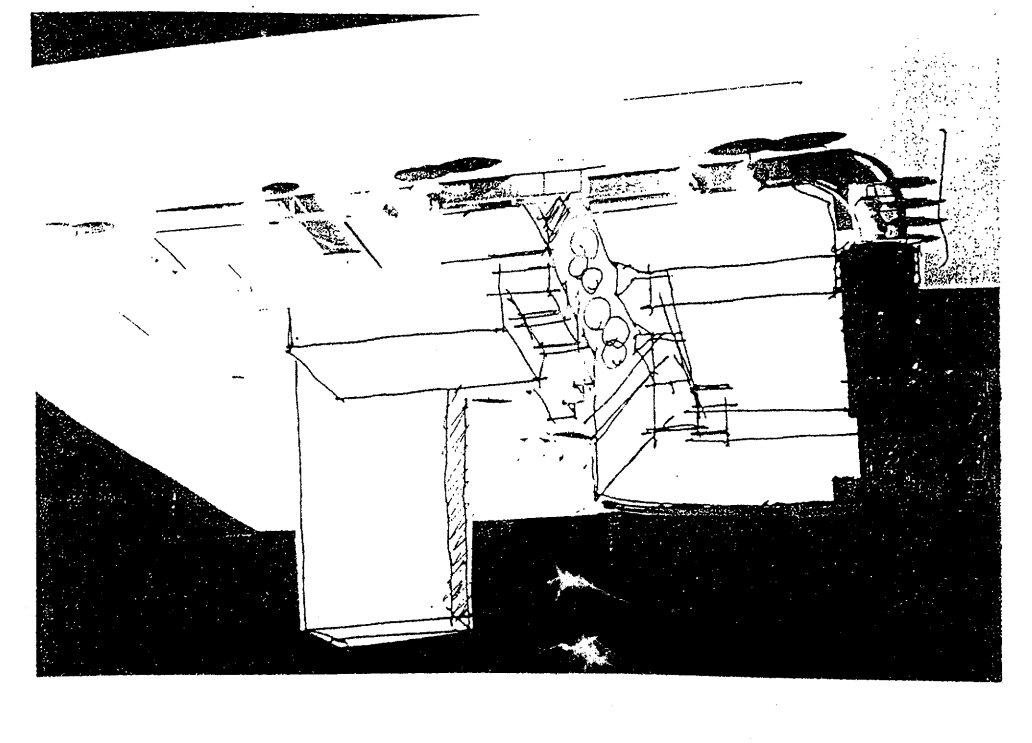


June 21: Noon

Solar Angles

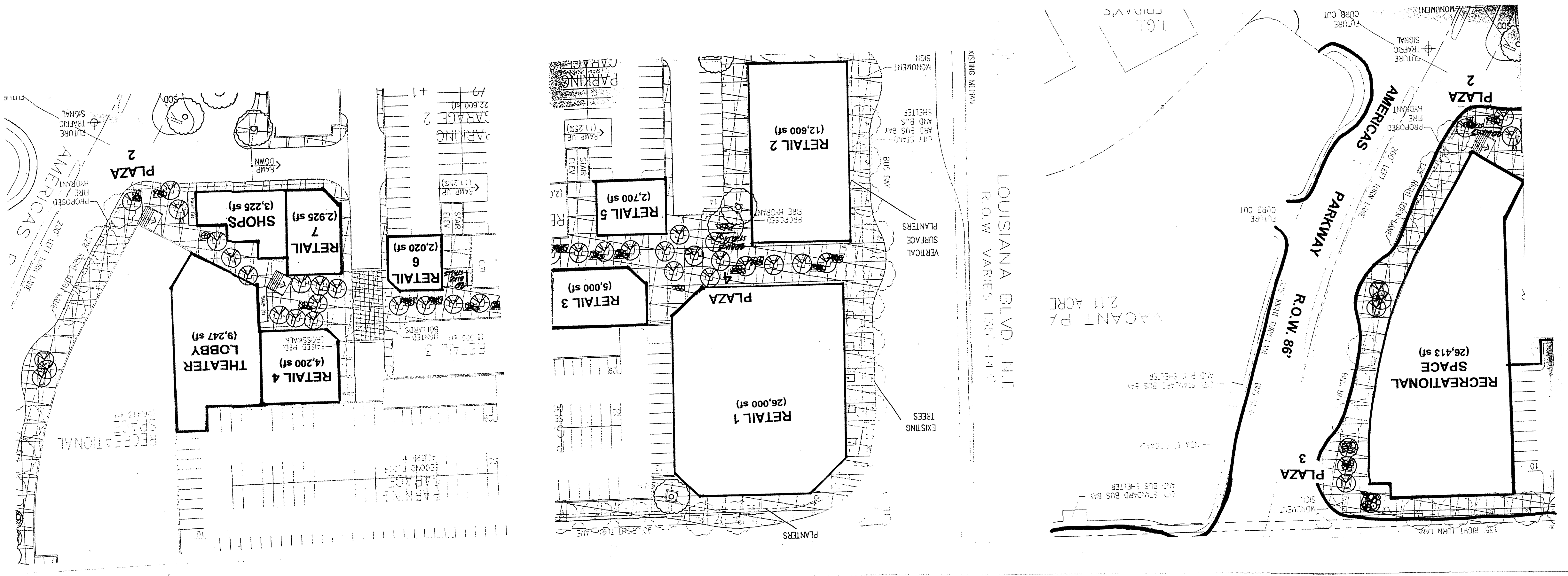
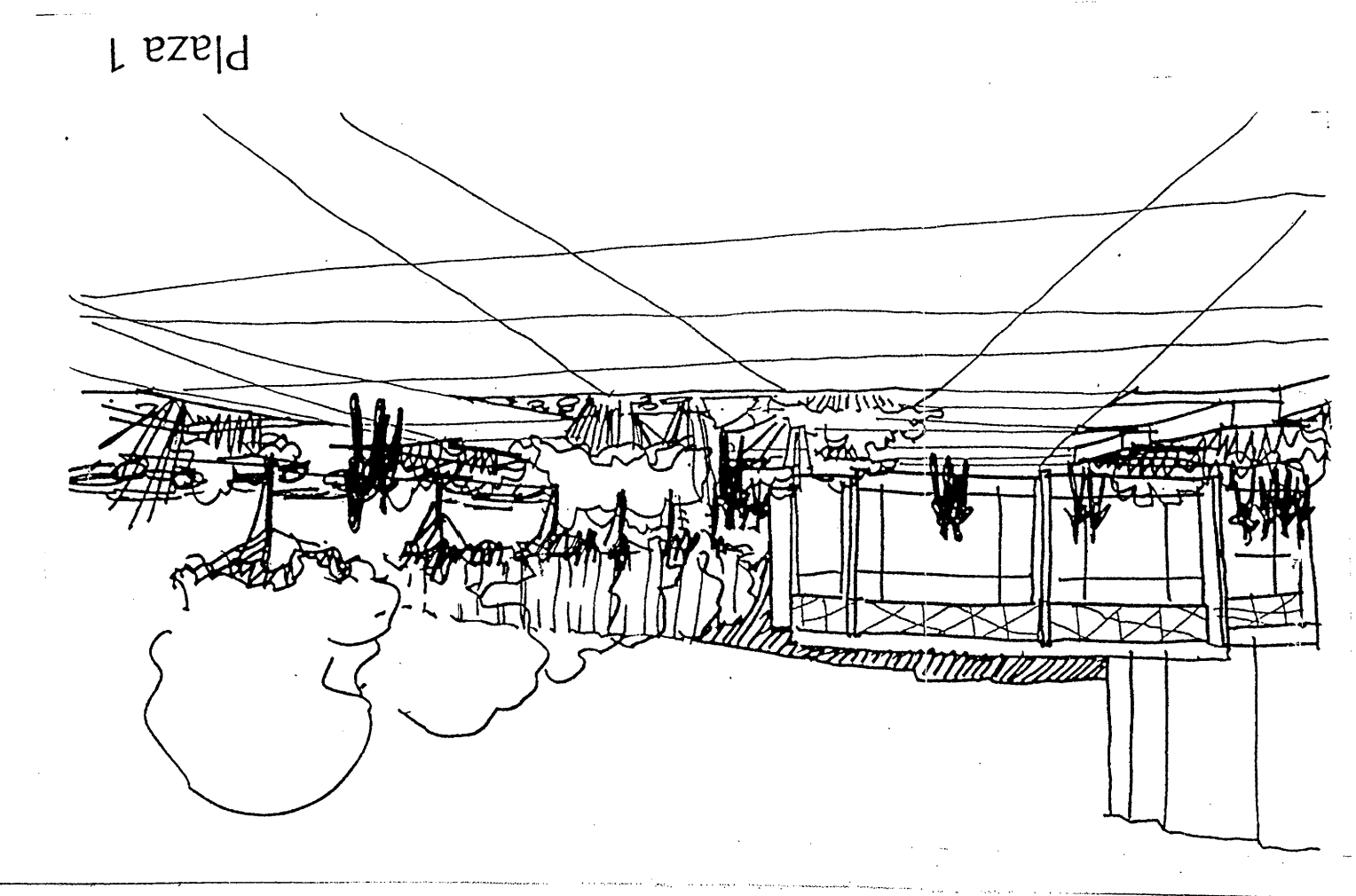
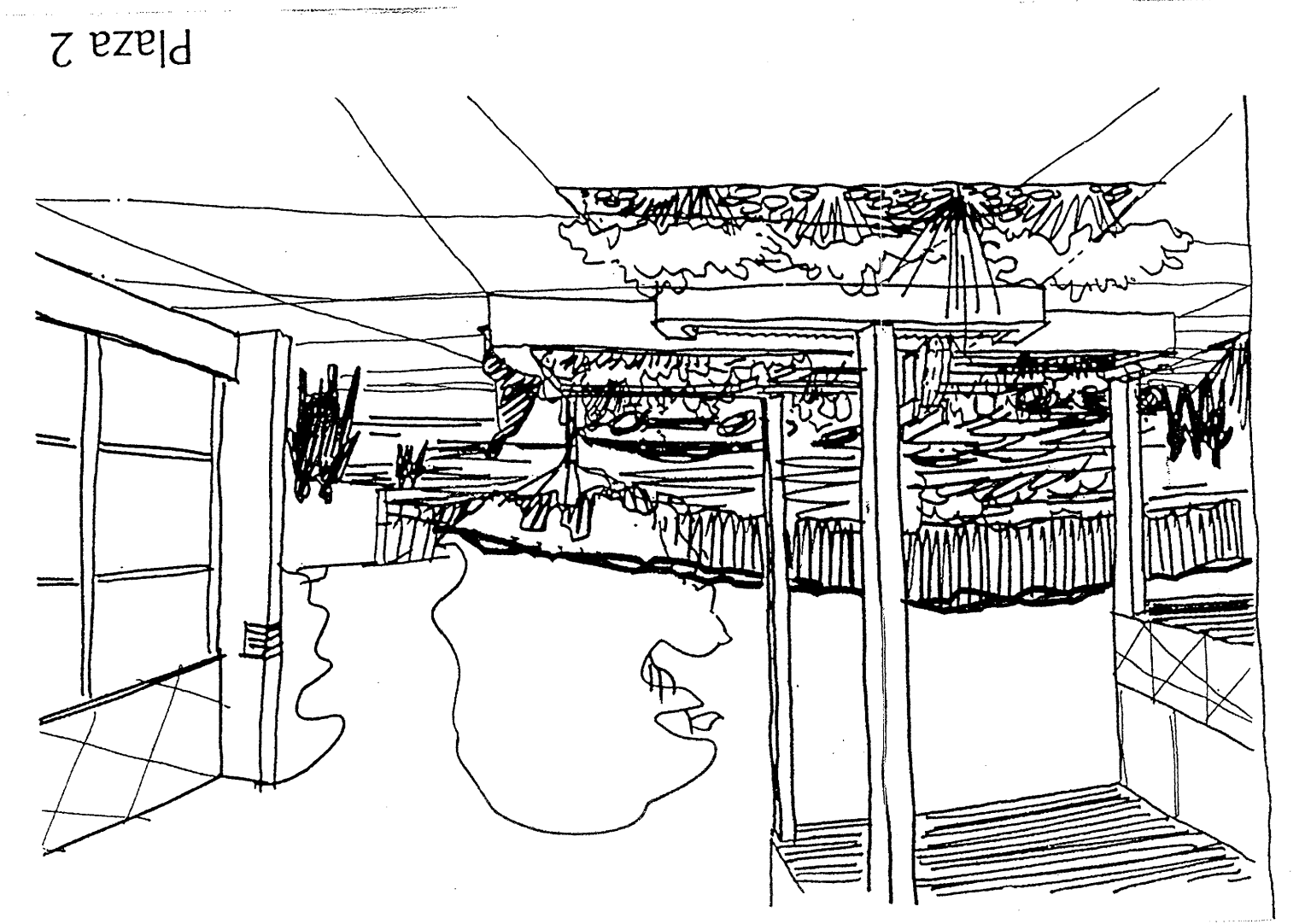
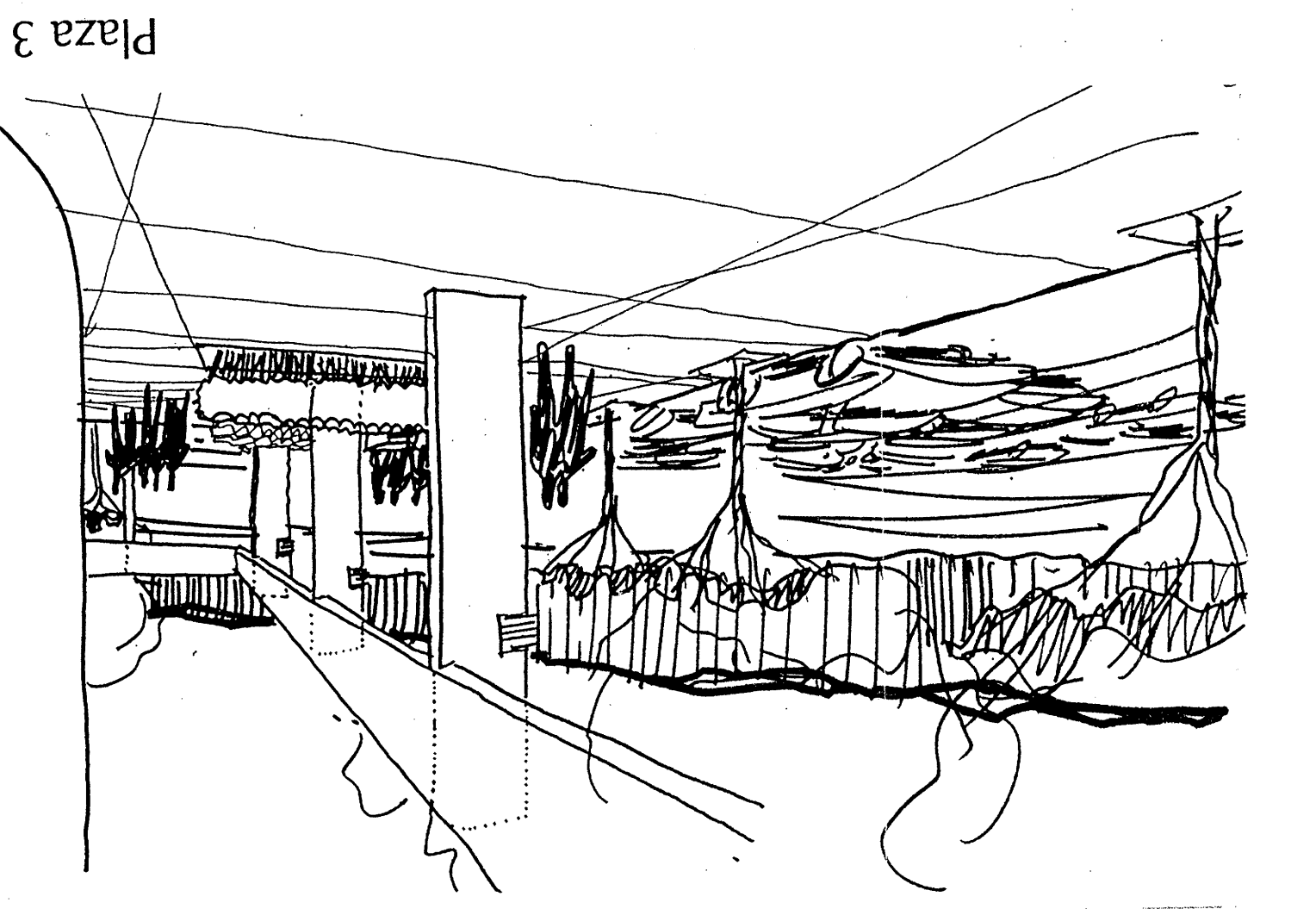


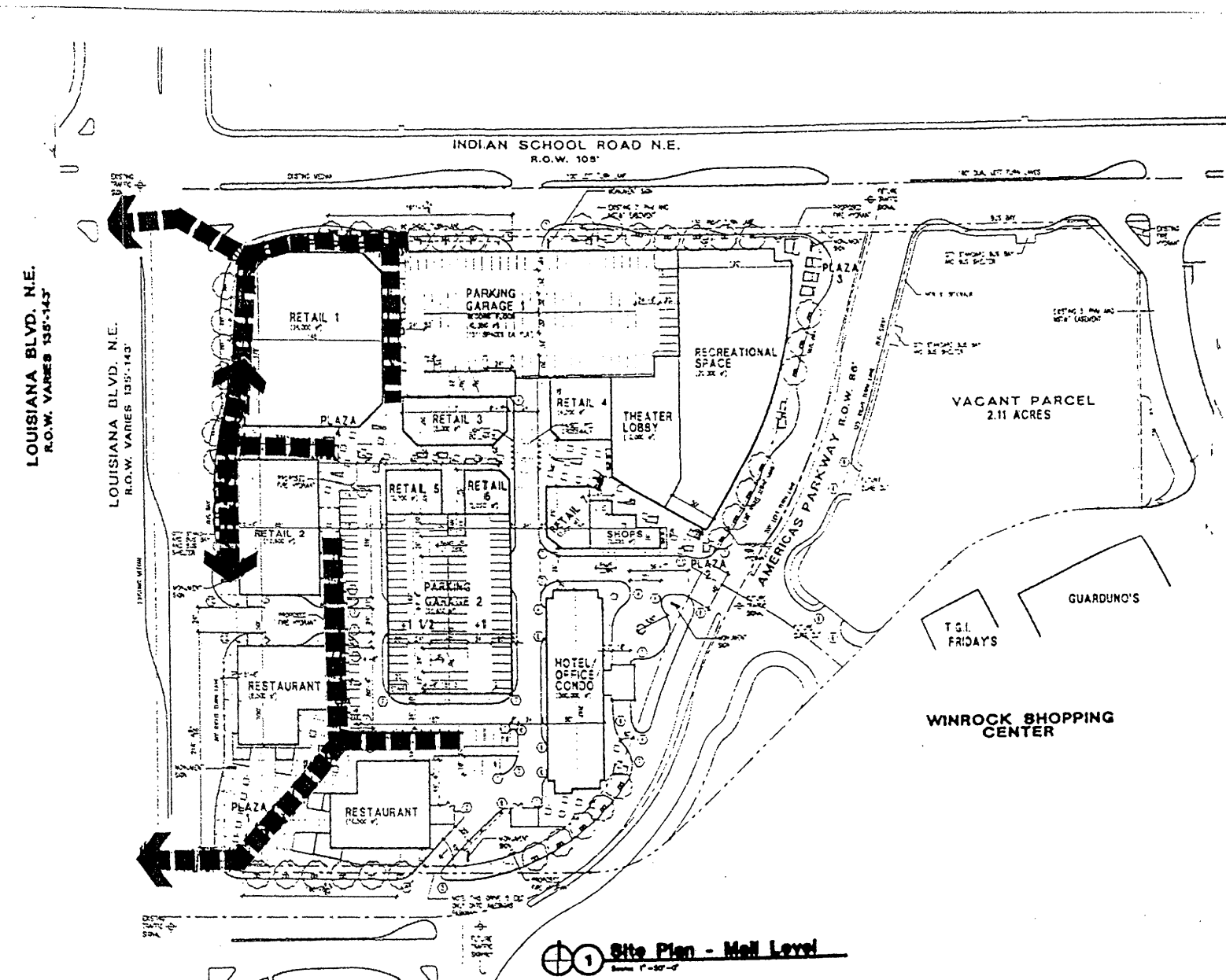
December 21: 4 pm



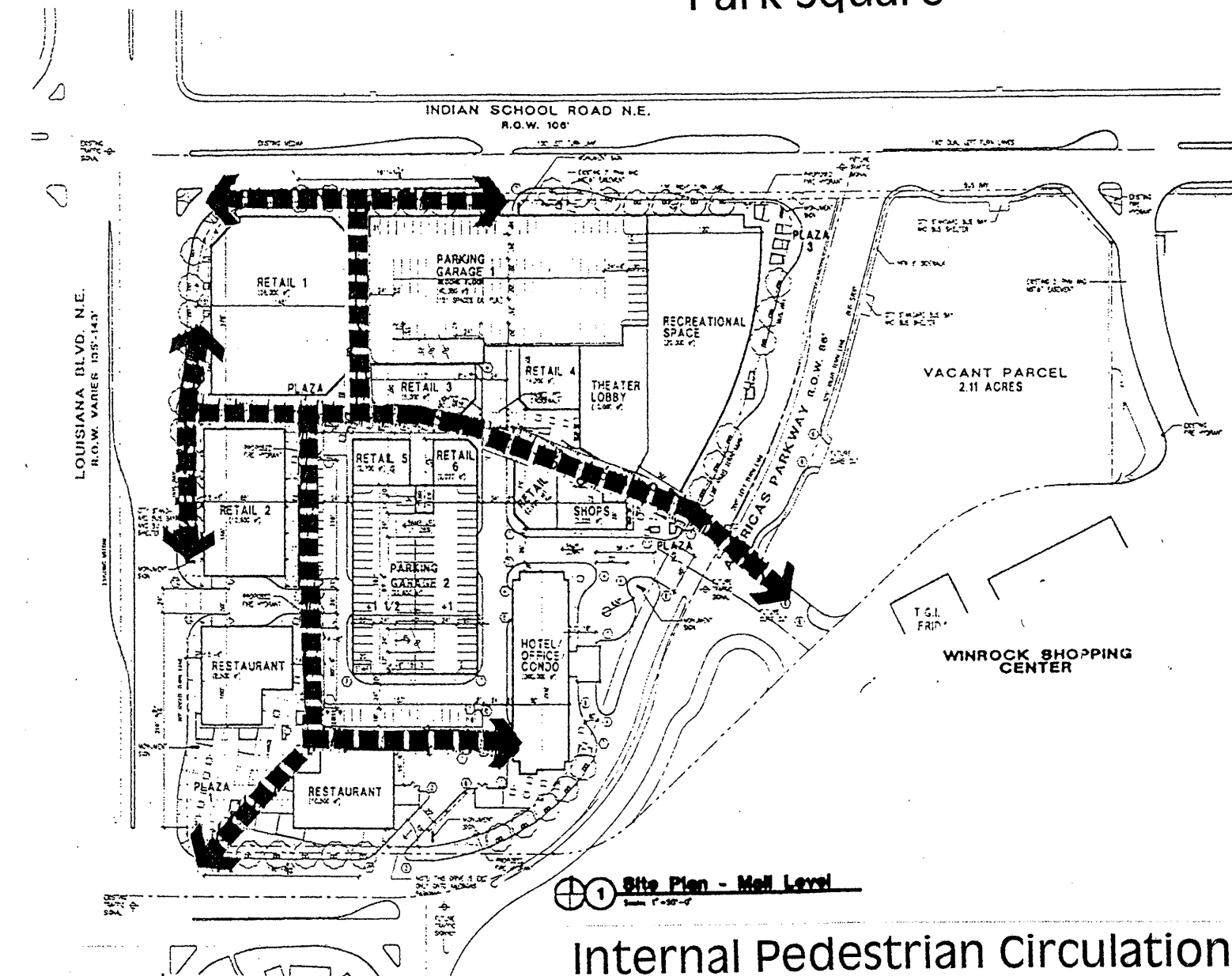
December 21: Noon

Perspectives  
 Plazas  
 Building Elements

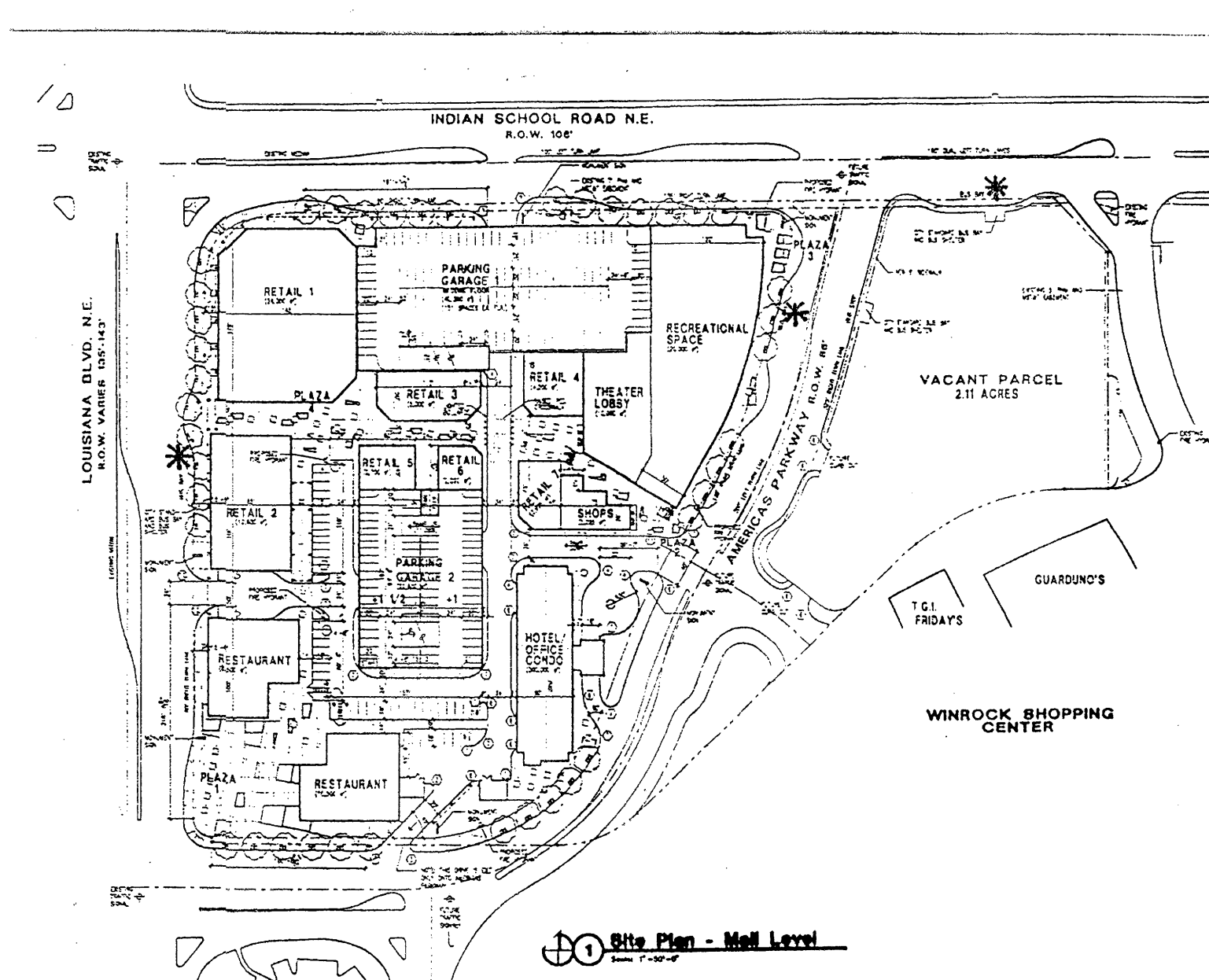




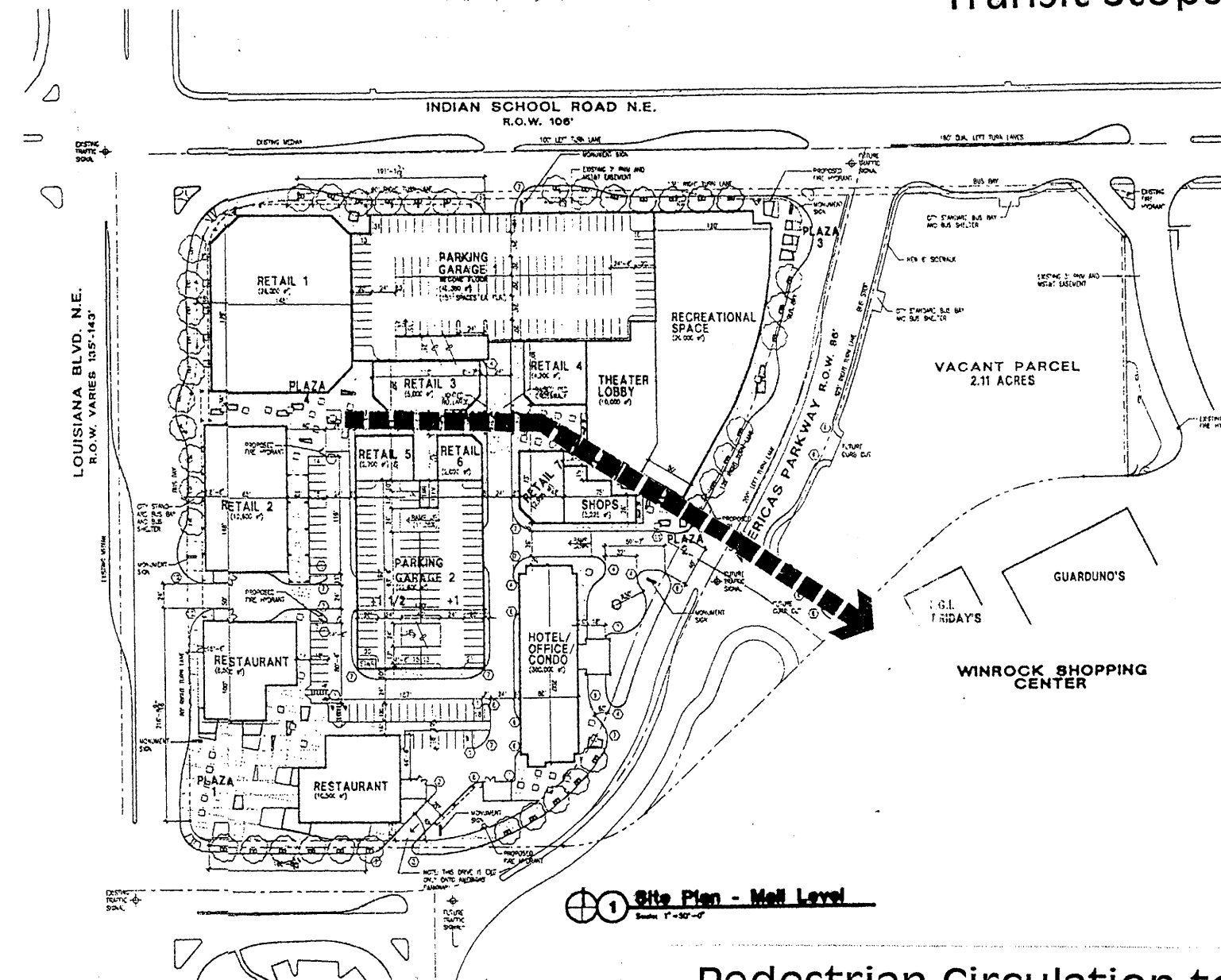
Pedestrian Circulation to Park Square



Internal Pedestrian Circulation



\* - Transit stop



Pedestrian Circulation to Winrock Shopping Center

### Information

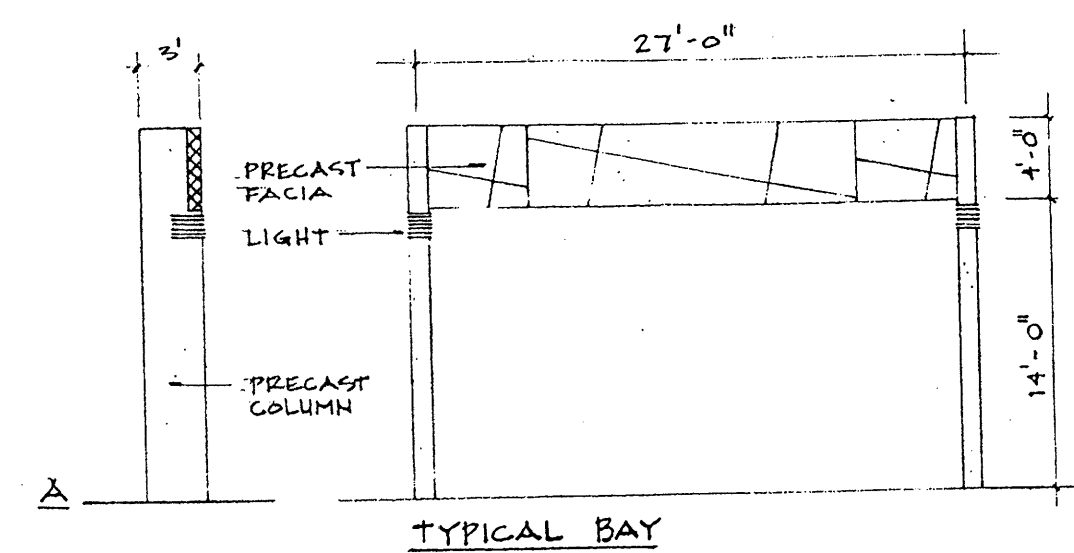
MONTH	DIRECTION	AVERAGE	AVERAGE SPEED
MARCH	SE	10 MPH	77 MPH
JUNE	S	9.9 MPH	68 MPH
SEPT	SE	8.5 MPH	61 MPH
DEC	N	7.7 MPH	71 MPH

PREVAILING WINDS FOR YEAR FROM SE

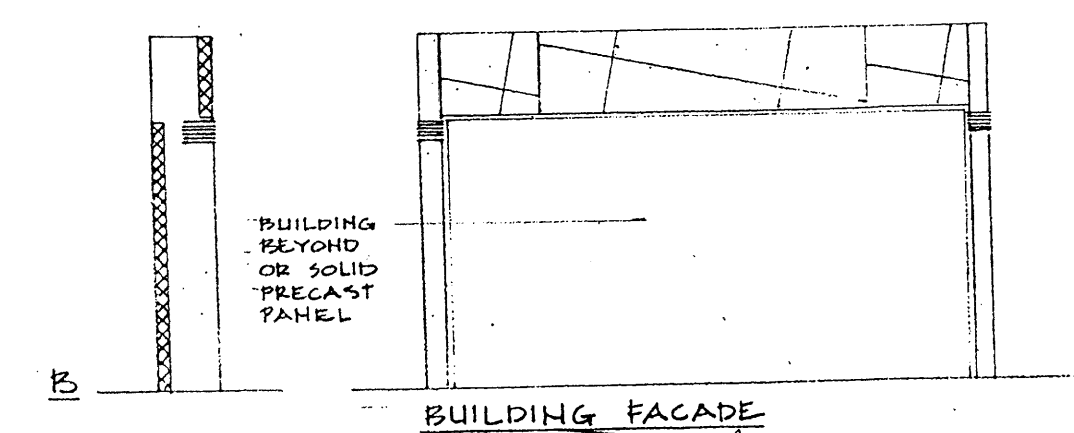
### Uptown Spectrum Prevailing Wind Patterns

Precast	Buff or Cream, light to heavy sandblast finish
EIFS	Cool gray
Metal Screens/Grills	Silver and Red Oxide
Lights in Precast	Matte Black
Concrete Paving	Gray (std.) and Buff
Benches, Light Fixtures, Other Site Furnishings	Matte Black
Glass in Storefront	Clear or Light Gray
Glass in Midrise	Light Gray
Glass in Hotels	Light Gray

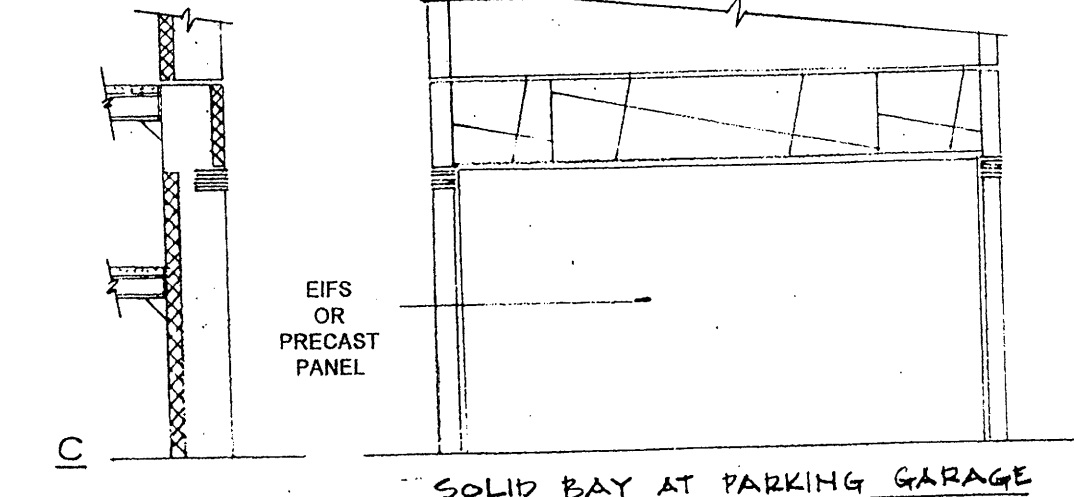
### Colors



TYPICAL BAY

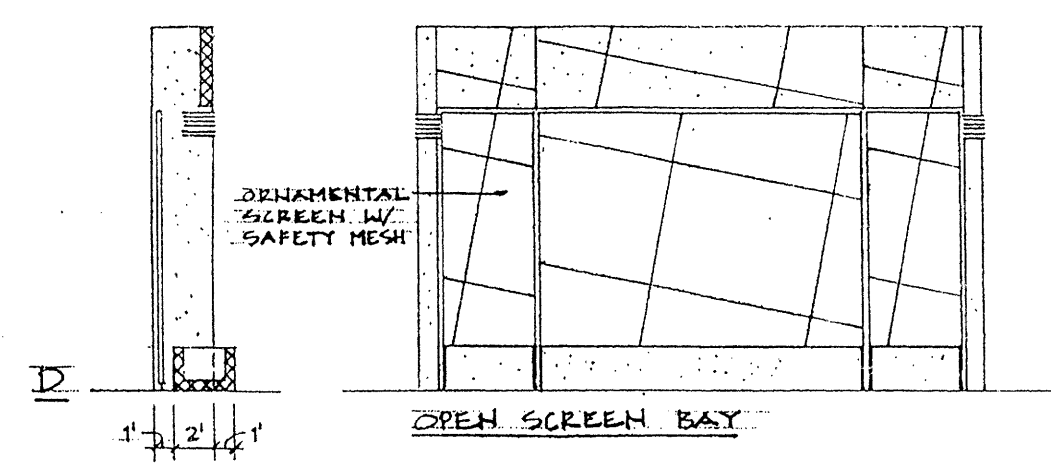


BUILDING FACADE

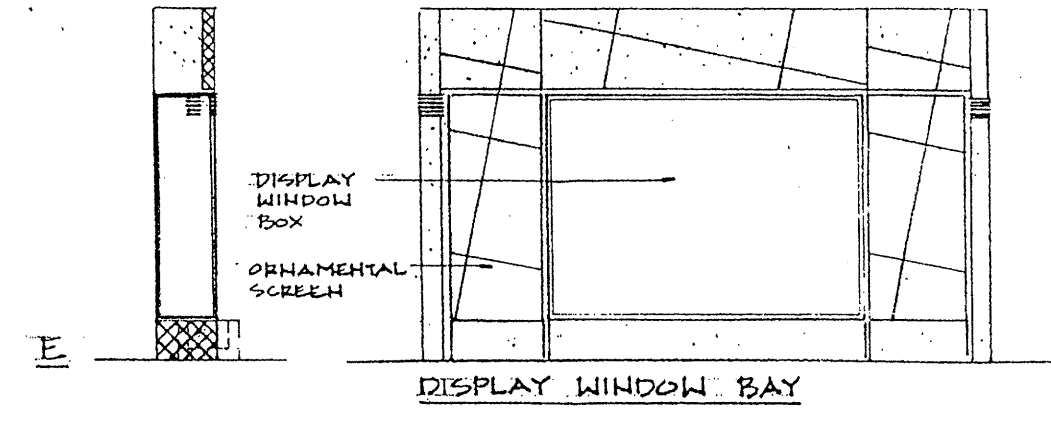


SOLID BAY AT PARKING GARAGE

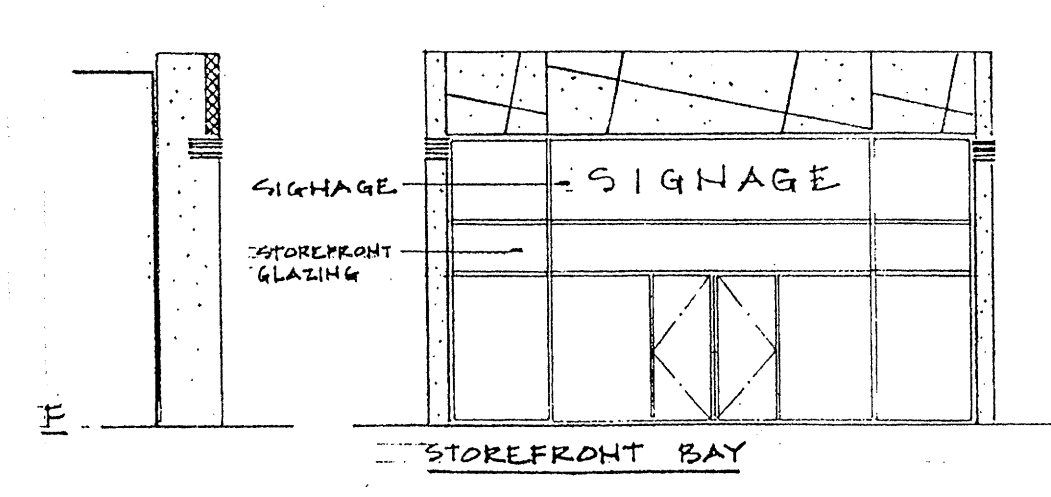
Portal or Precast Site & Building Components



OPEN SCREEN BAY



DISPLAY WINDOW BAY



STOREFRONT BAY

Portal or Precast Site & Building Components

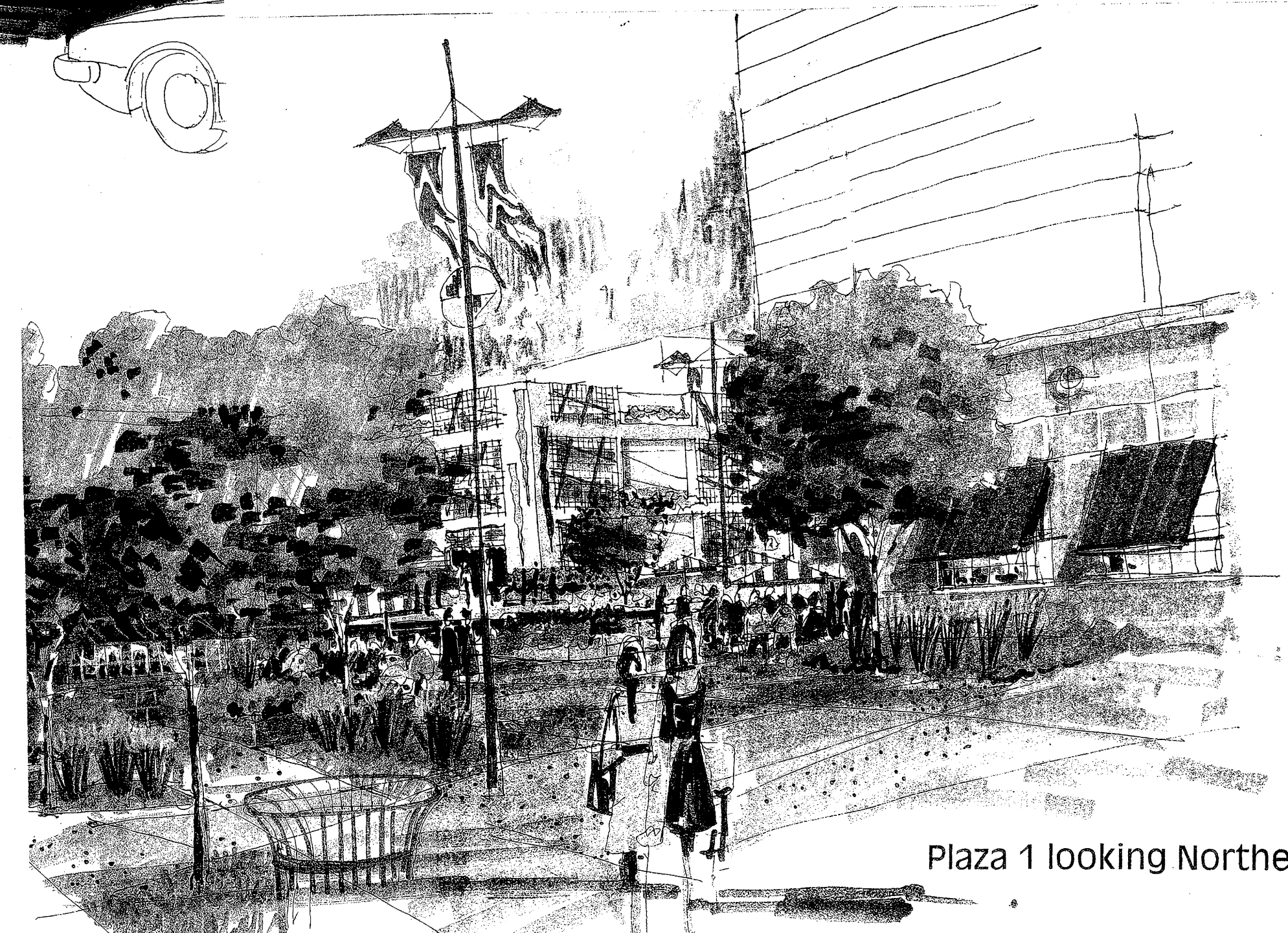
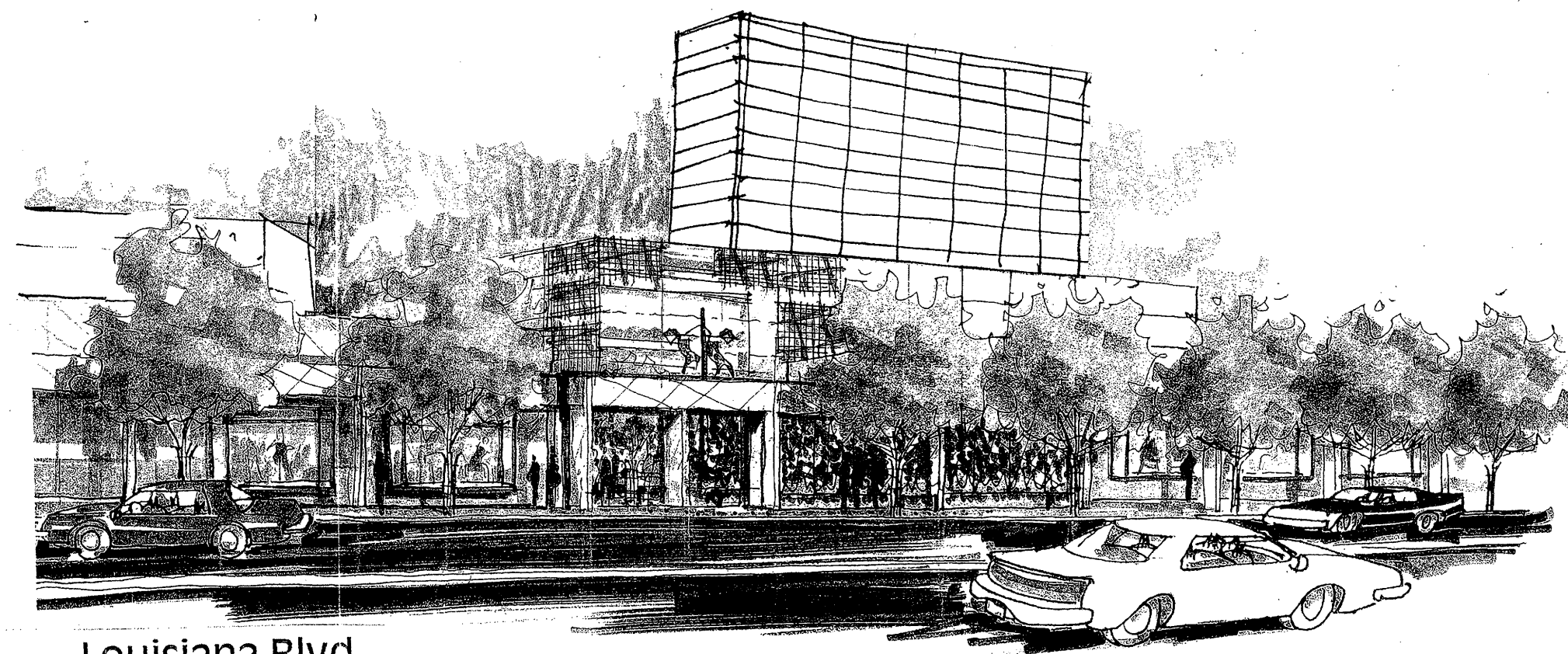
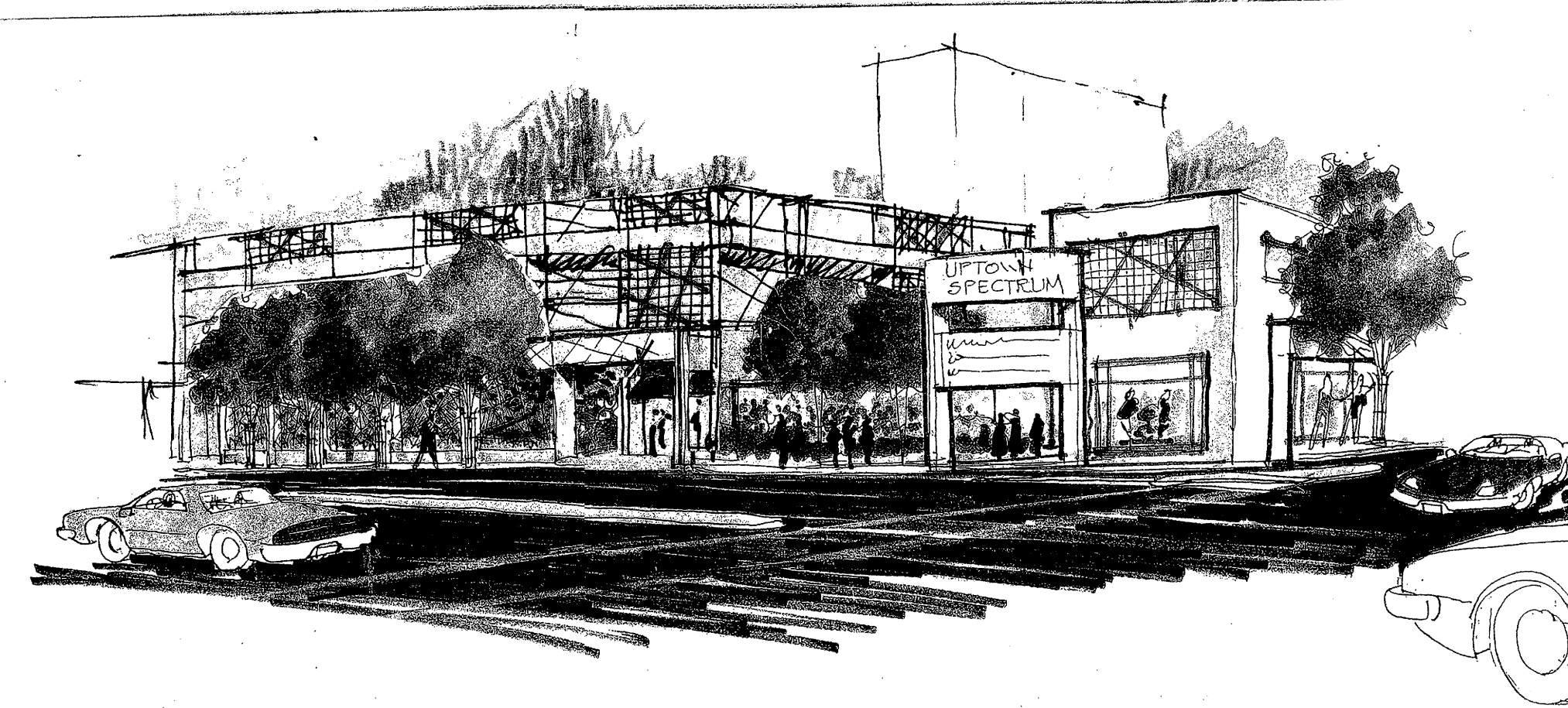
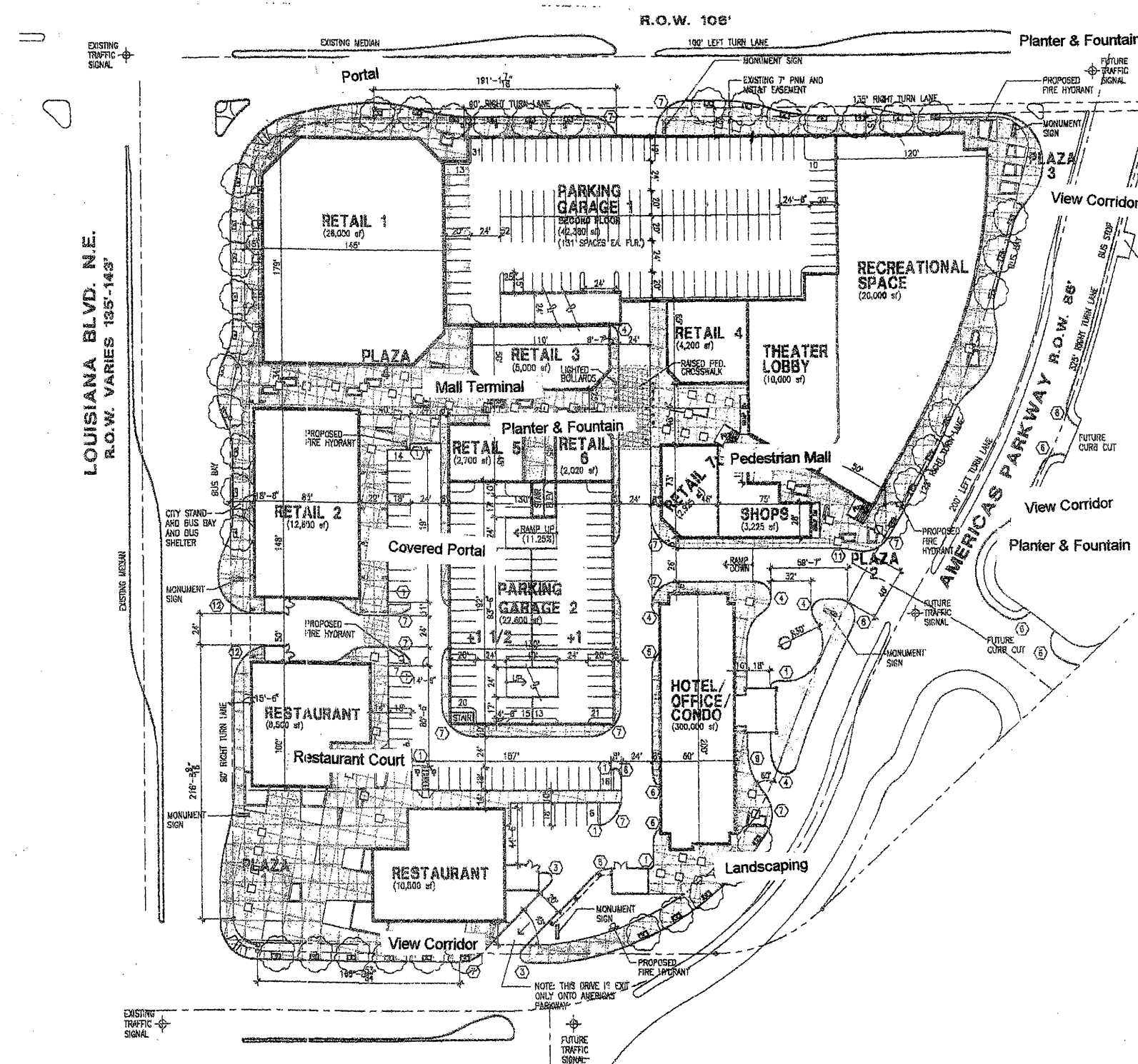
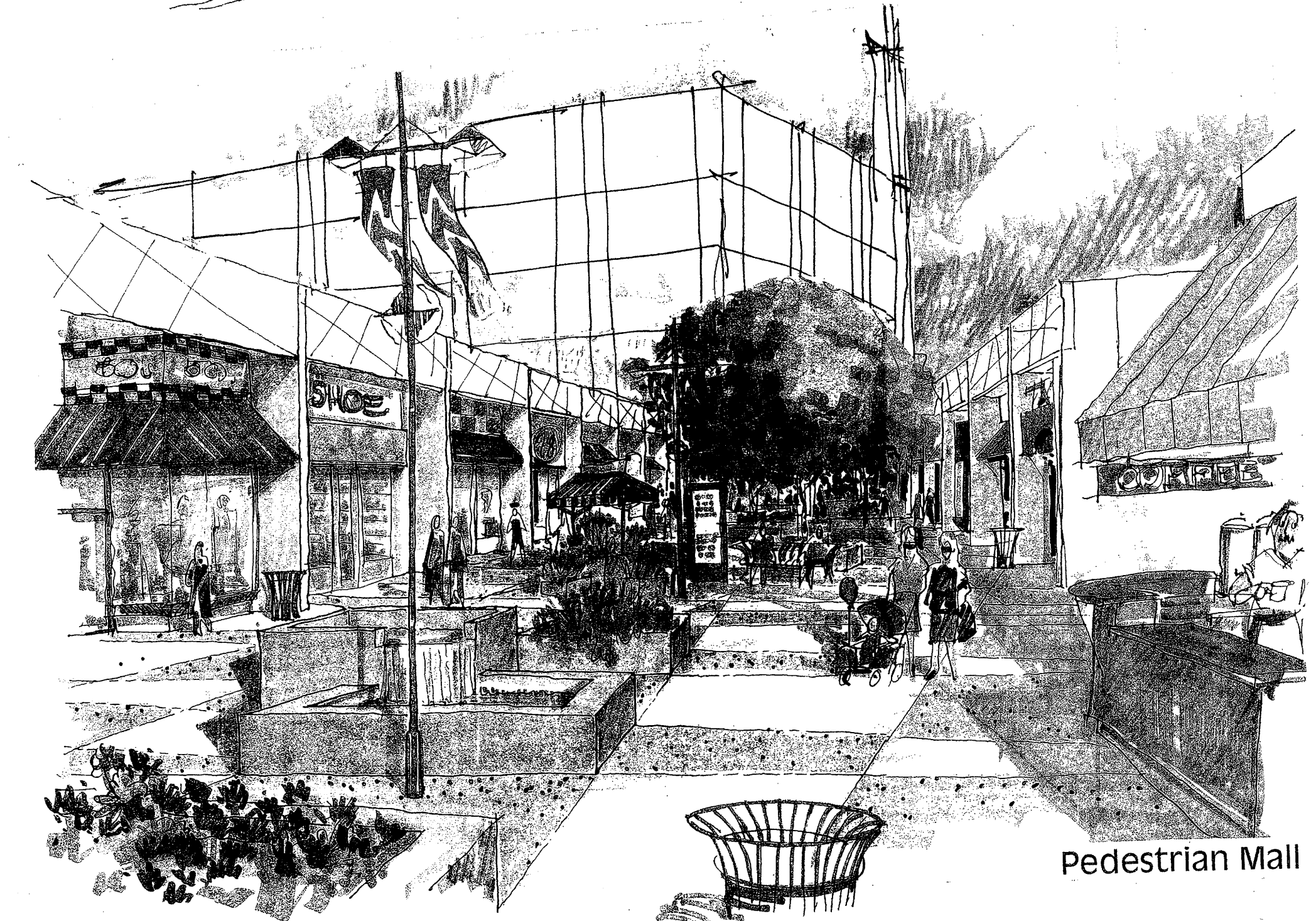
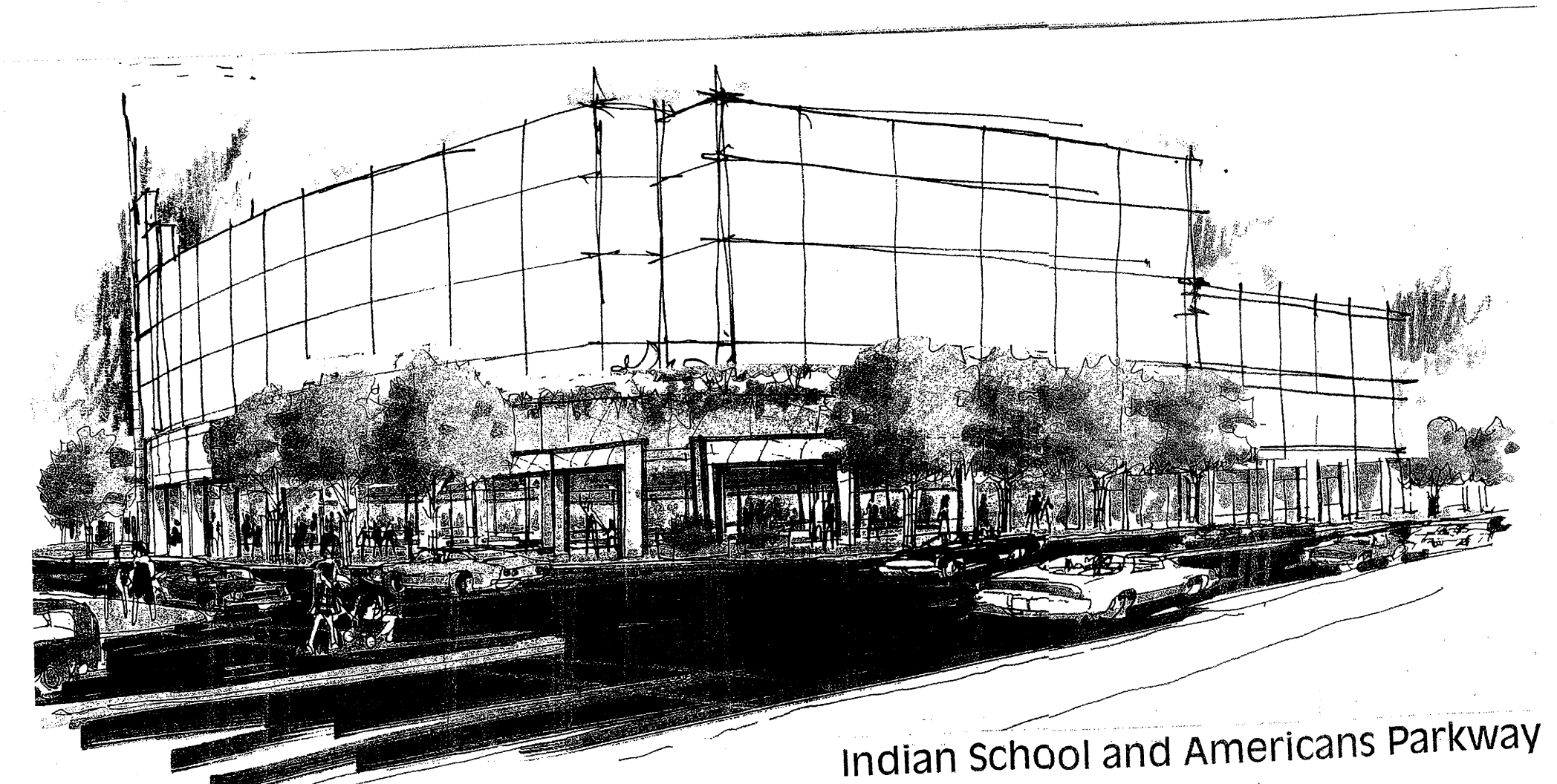
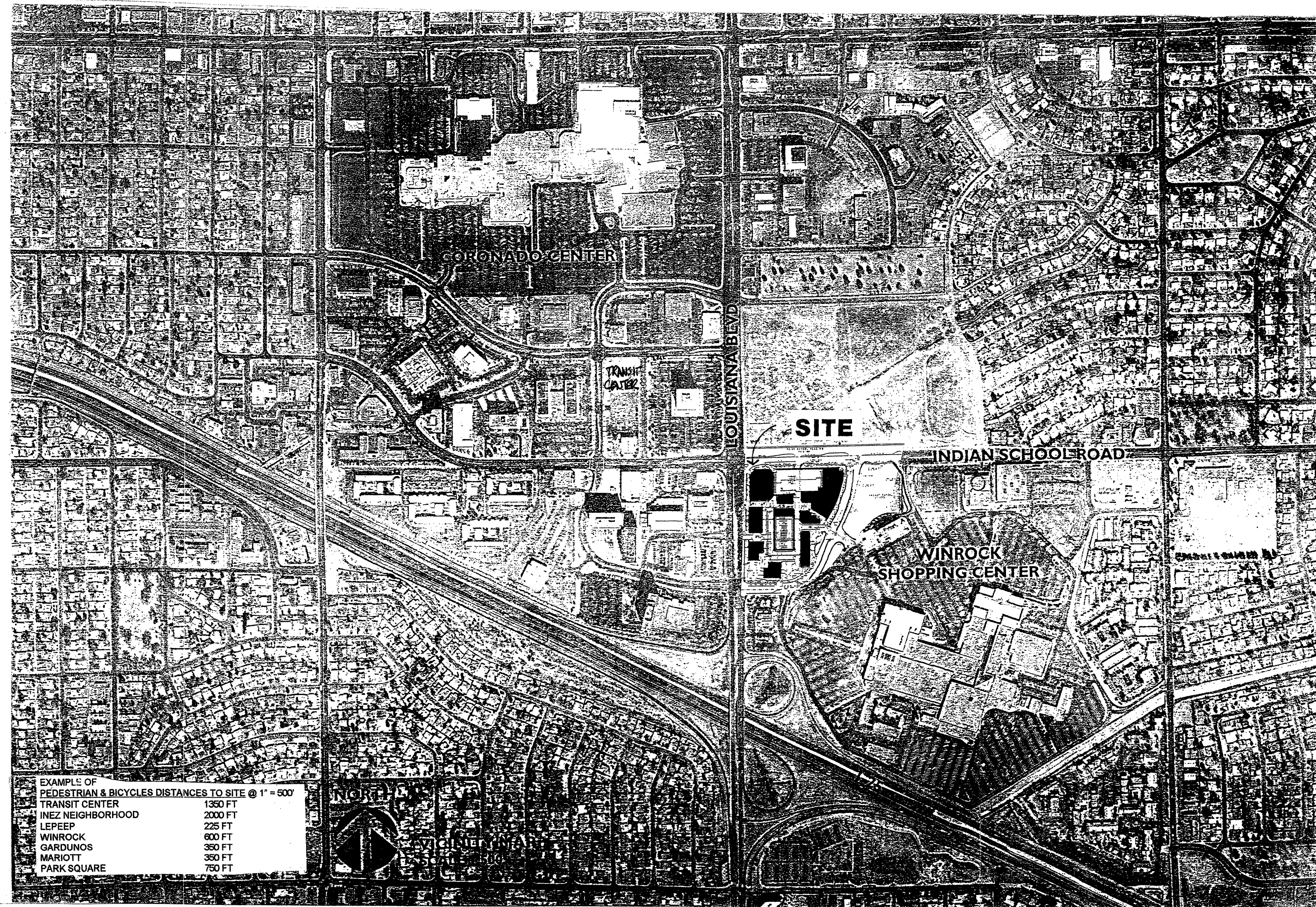
### UPTOWN SPECTRUM EPC SUBMITTAL

HUNT- UPTOWN, LLC  
500 Marquette NW Suite 350  
Albuquerque, New Mexico 87102

GEORGE RAINHART, ARCHITECT + ASSOCIATES P.C.  
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ALBUQUERQUE, NEW MEXICO 87110  
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### DESIGN ELEMENTS



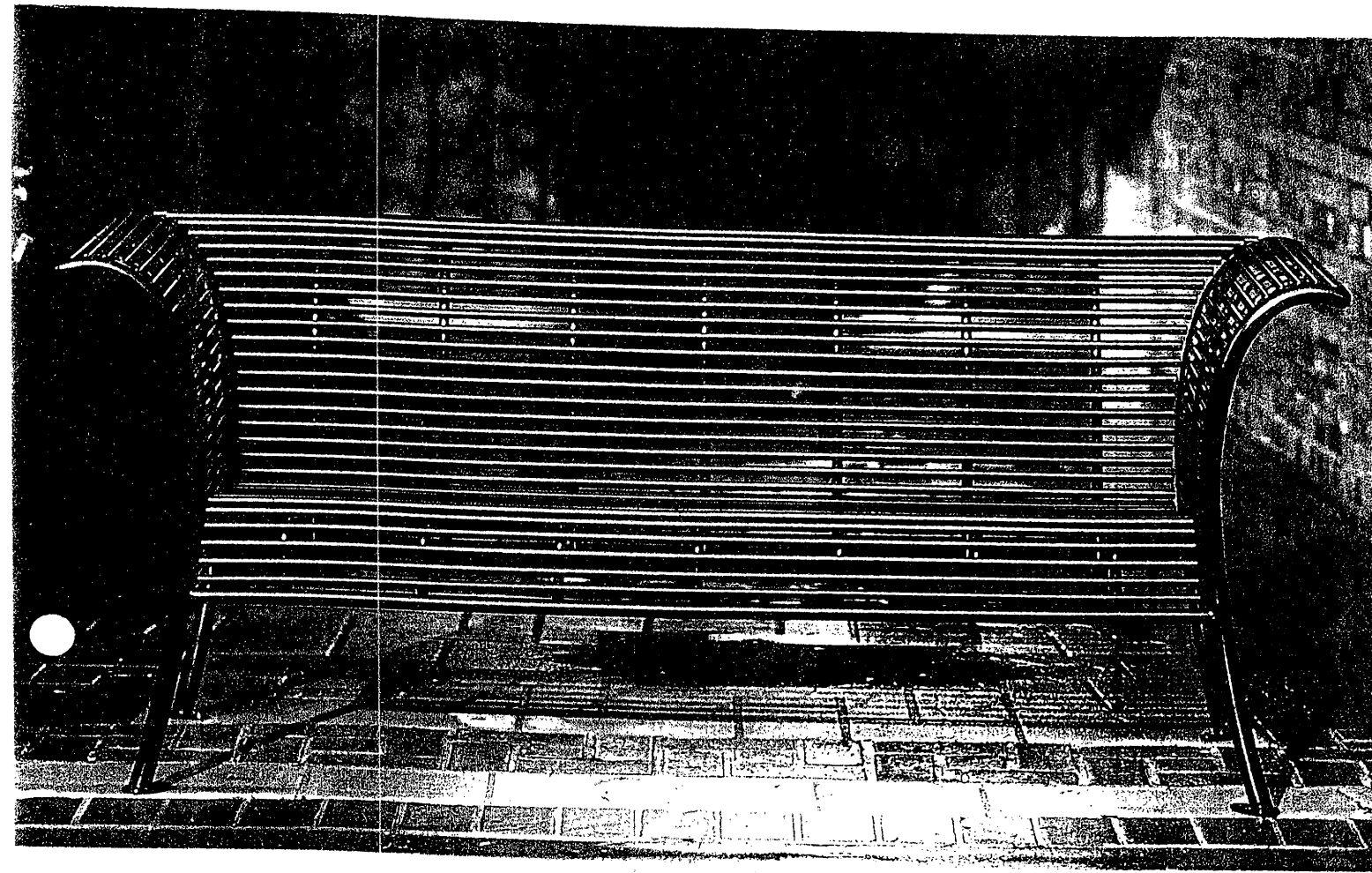


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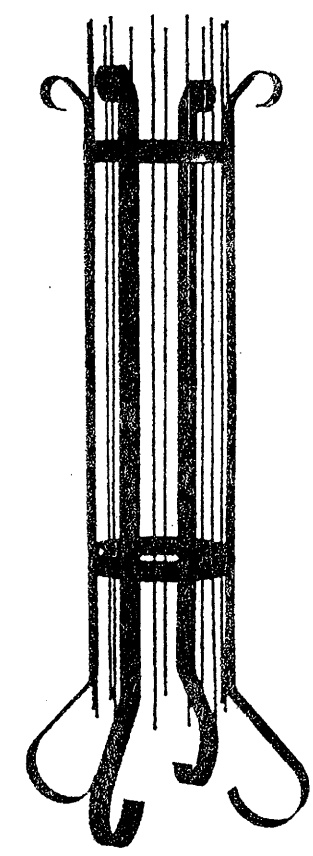
**DESIGN ELEMENTS**



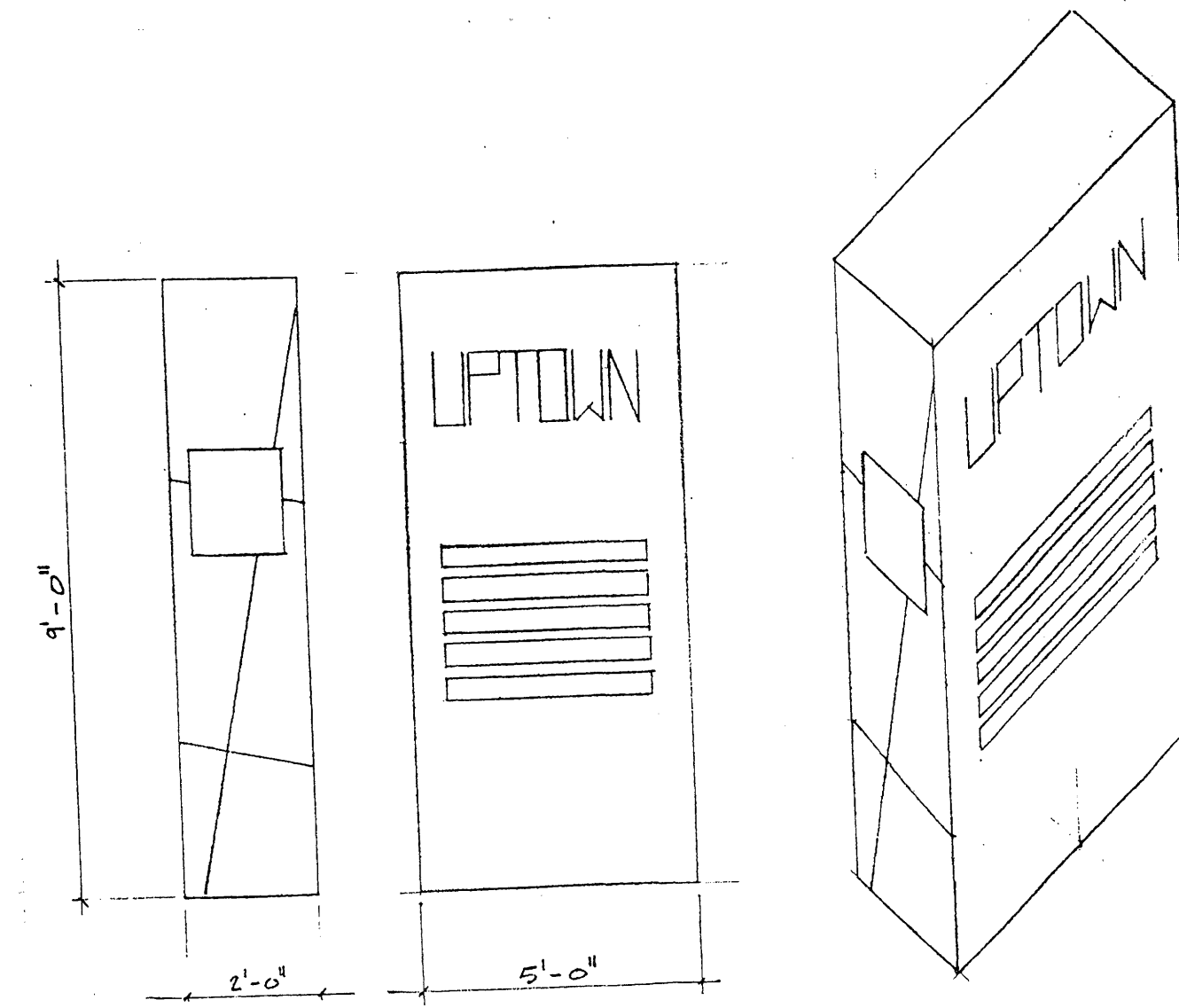
Bench

		Tempered ribbed glass lens with mask. Asymmetrical reflector. Integral 120V-11.6V electronic transformer. Lamp supplied with luminaire.		
		Molded borosilicate glass spread lens. Asymmetrical reflector with lamp shield. Integral 120V-11.6V electronic transformer. Lamp supplied with luminaire.		
		Tempered clear glass. Asymmetrical reflector with lamp shield. Integral 120V-11.6V electronic transformer. Lamp supplied with luminaire.		
		White tempered glass diffuser. Integral 120V, HFF ballast. 277V available - specify. Lamp not supplied.		

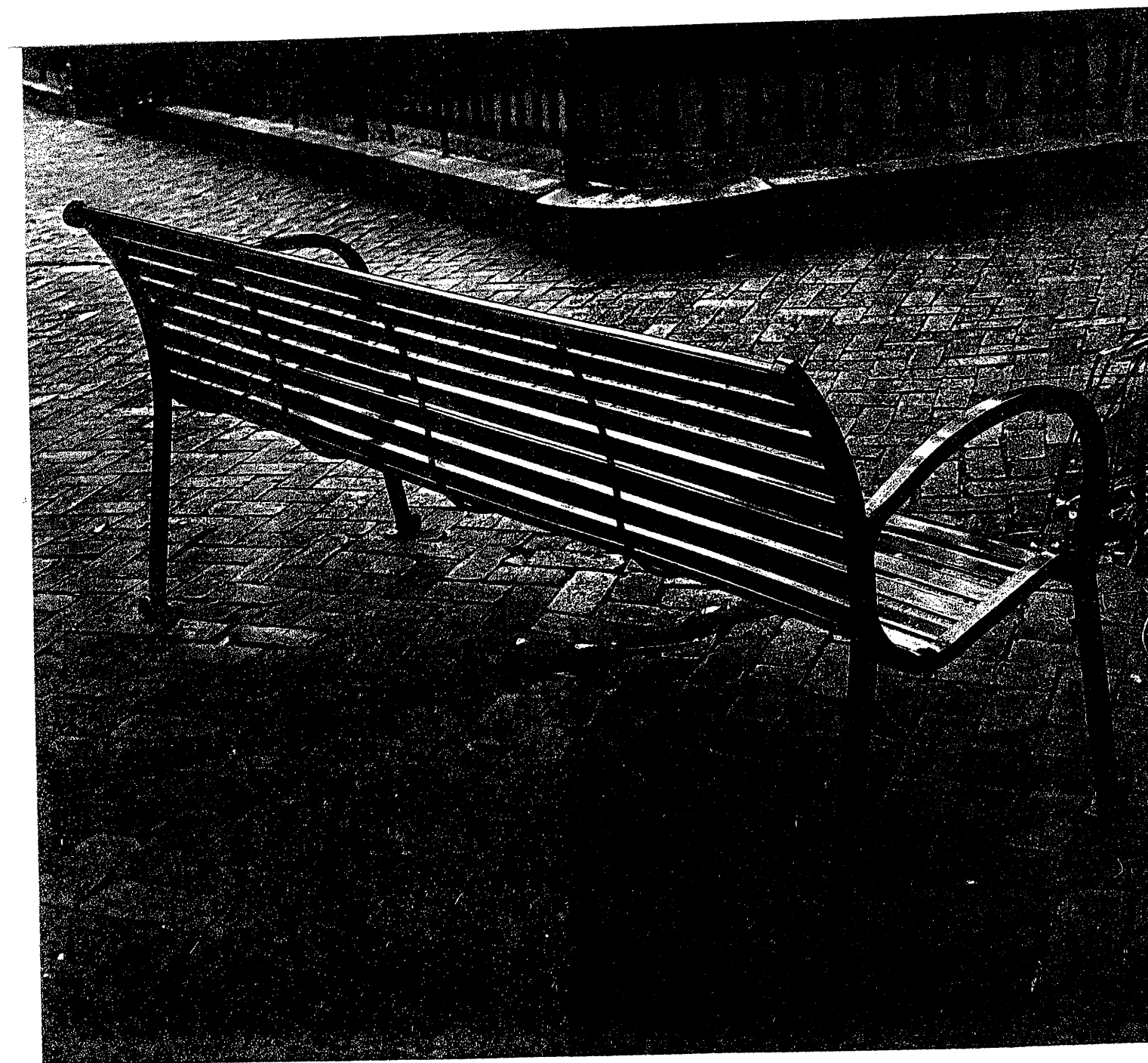
Recessed Lights



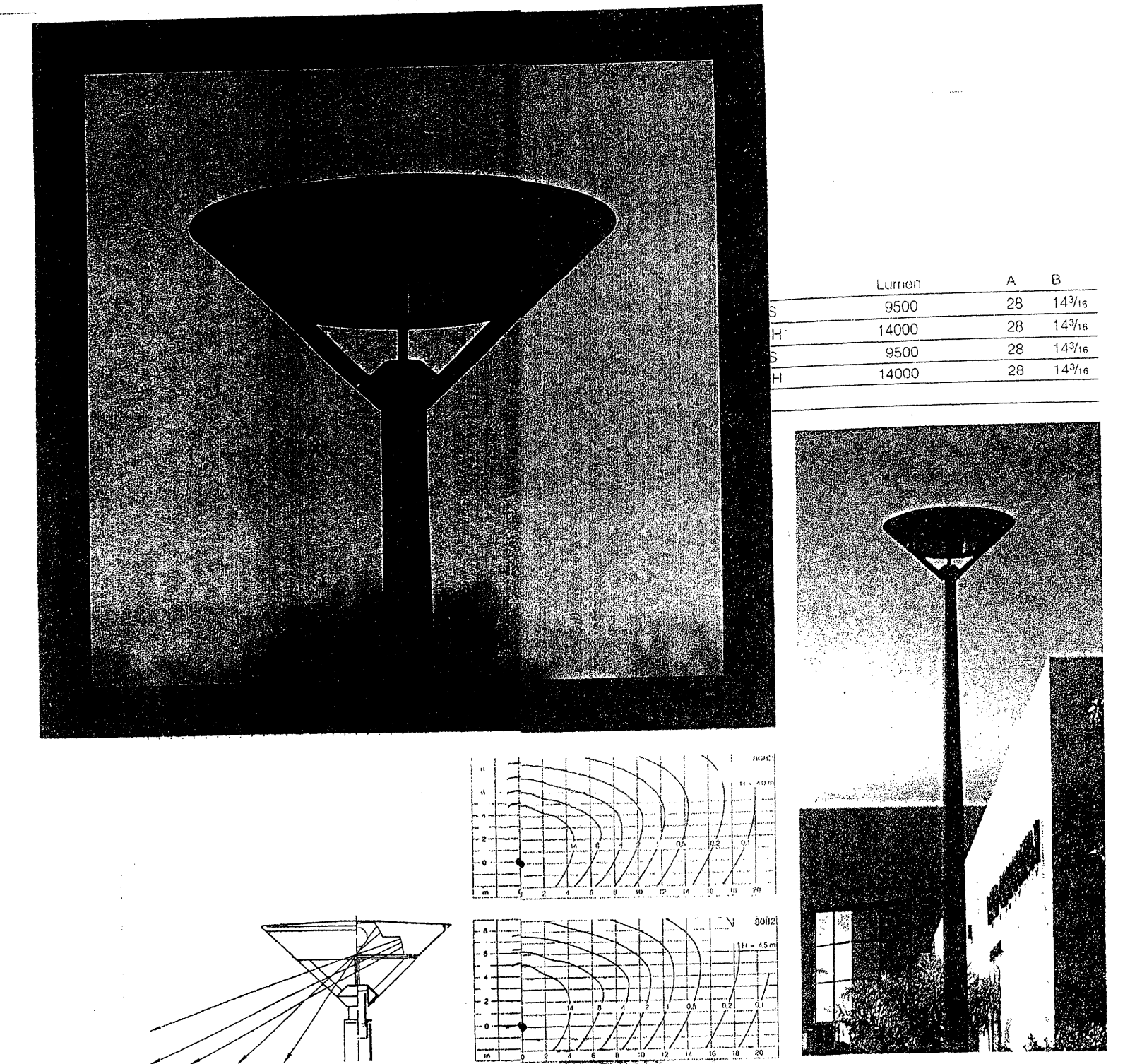
Tree Guards



Monument Signage

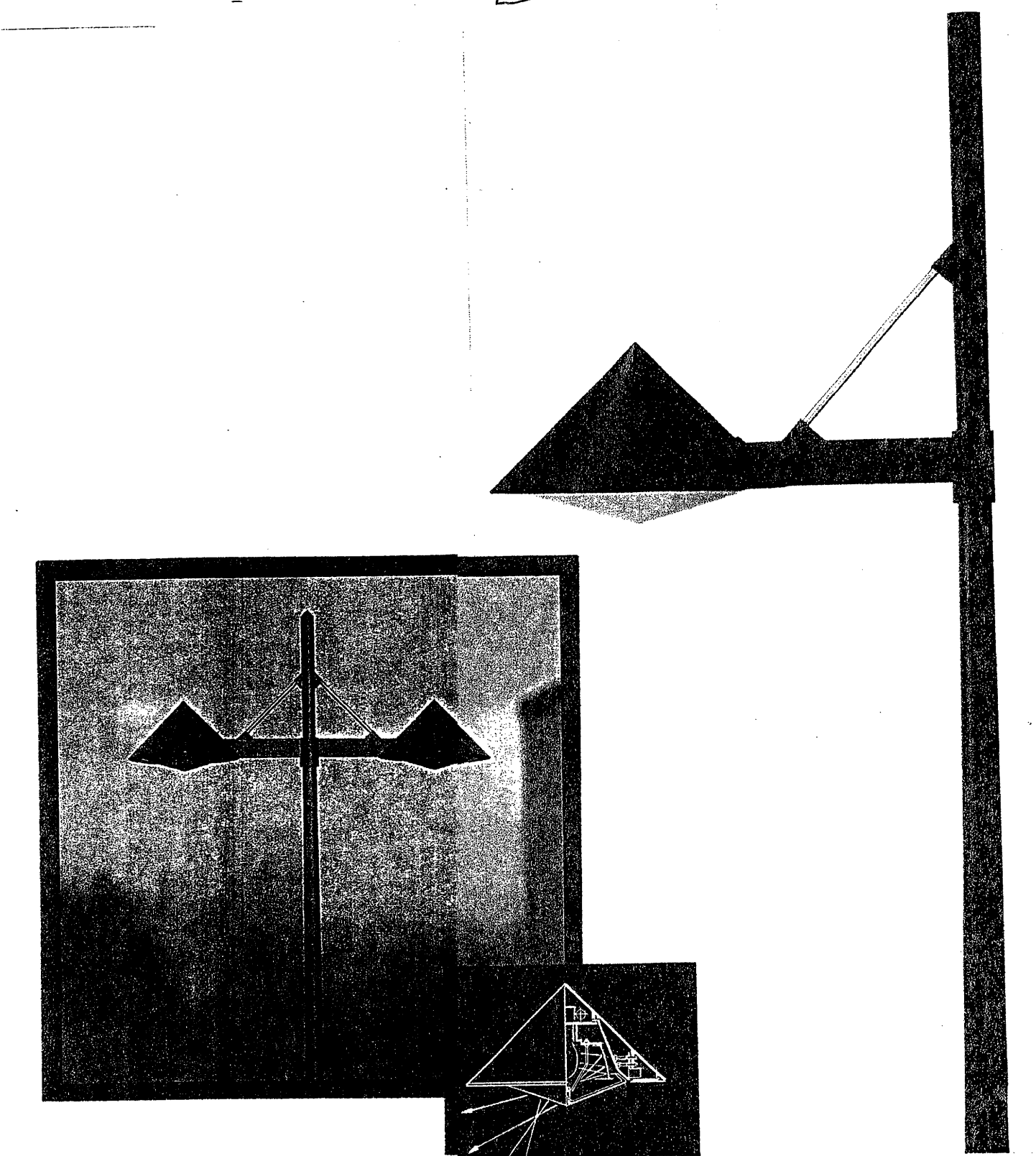


Bench



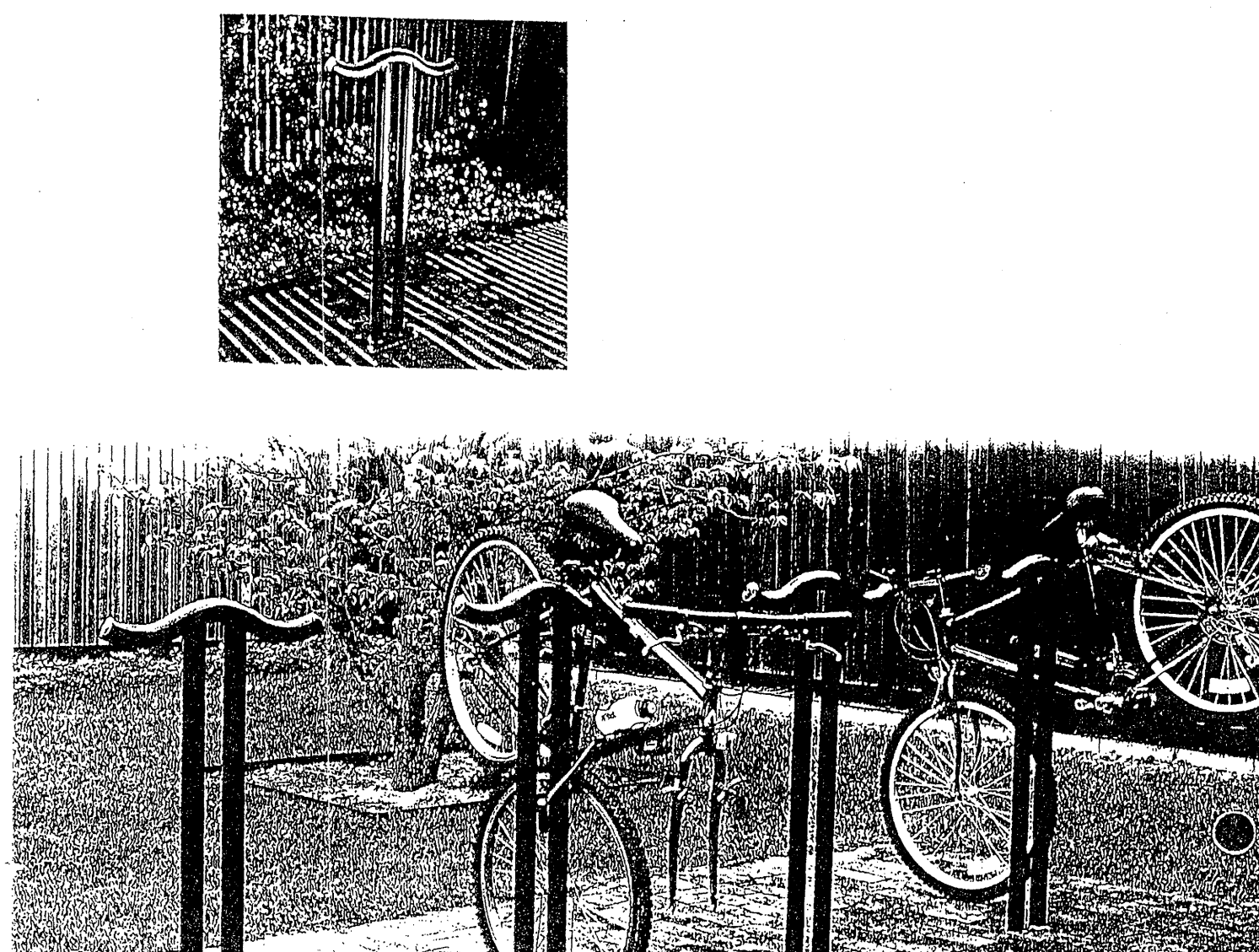
Pole Top Luminaires

FOR AREA LIGHTING ON PRIVATE PROPERTY



Pole Top Luminaires

FOR PEDESTRIAN LIGHTING ON PRIVATE PROPERTY



Bicycle Rack



Trash Receptacles / Tree Guards

Site Furnishings

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EPC SUBMITTAL

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**DESIGN ELEMENTS**