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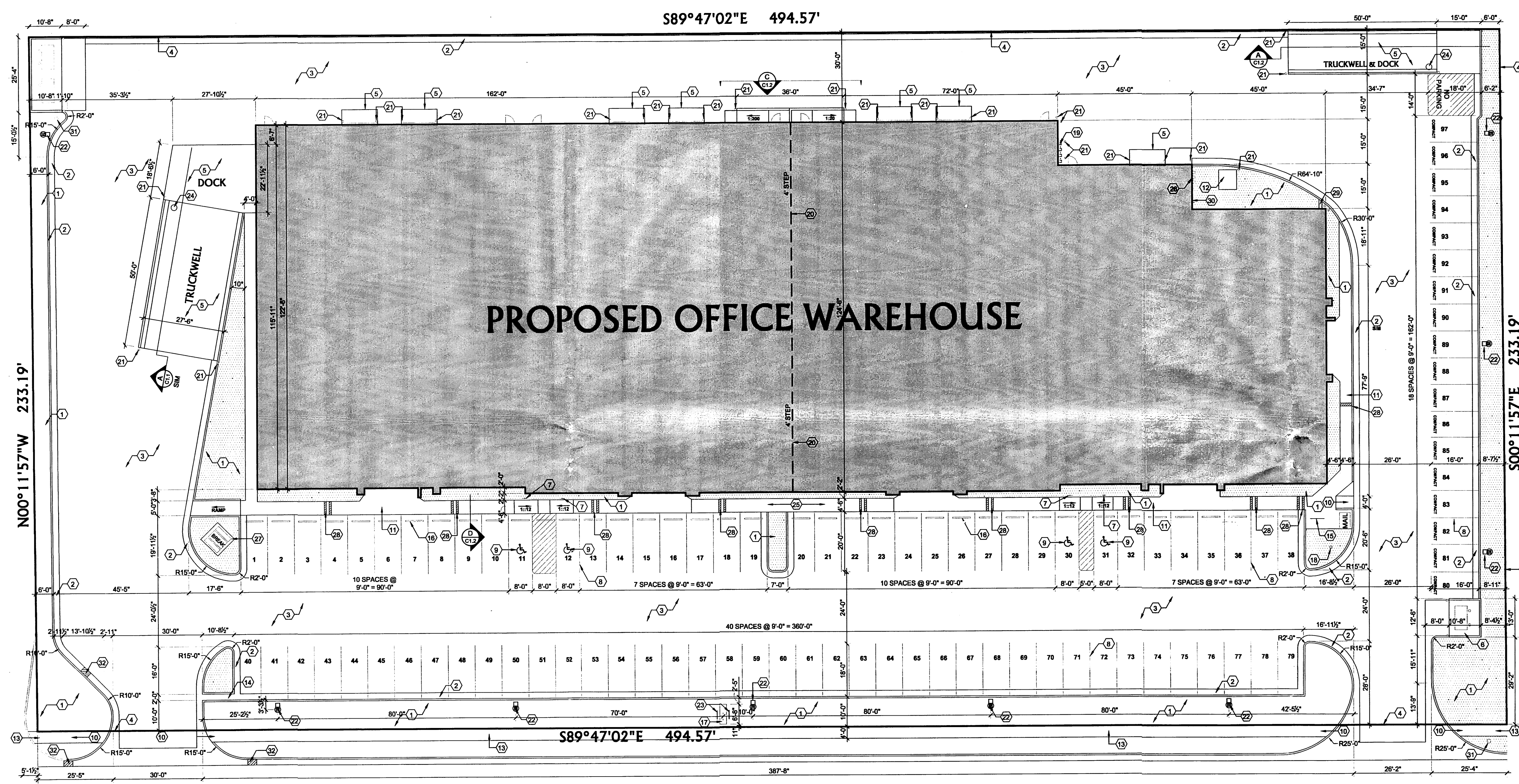
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PLOT DATE:
DEC. 16, 2002
FILENAME:
PROP.DWG
DRAWN BY:
M. FLURE

PROPOSED OFFICE SHOWROOM WAREHOUSE
LOT 28A, BLOCK 3, TRACT A UNIT B N.A.A.
5401 VENICE
ALBUQUERQUE, NEW MEXICO 87113

8804 WASHINGTON N.E. SUITE A
ALBUQUERQUE, NM 87113
OFFICE: (505) 823-1676
FAX: (505) 823-1616
WEB: WWW.MECHENBER.COM

KEYED NOTES:

- 1.) LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
- 2.) MEDIAN CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 3.) 3" ASPHALT PAVING @ DRIVELANES, 2" ASPHALT PAVING @ PARKING STALLS.
- 4.) PROPERTY LINE.
- 5.) 5" THICK CONCRETE DRIVEPAD.
- 6.) DUMPSTER PAD, APRON, AND ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAIL GIC1.2 & MC1.2.
- 7.) POLE MOUNTED HANDICAPPED PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS.
- 8.) PARKING STALL STRIPING.
- 9.) PAINTED HANDICAPPED PARKING SYMBOL.
- 10.) CURB RAMPS PER CITY STANDARDS. 36" WIDE, 1:12 MAX. SLOPE, 1:10 SIDE SLOPE.
- 11.) 4'-6" WIDE CONCRETE SIDEWALK.
- 12.) POWER TRANSFORMER LOCATION PAD MOUNTED, PER PNM SPECIFICATIONS.
- 13.) 4'-0" CITY SIDEWALK.
- 14.) CONCRETE CHANNEL, SEE GRADING & DRAINAGE PLAN.
- 15.) BIKE RACK, SEE DETAIL MC1.2.
- 16.) PARKING BUMPER SET 2'-0" FROM CURB.
- 17.) MONUMENT SIGN, SEE DETAIL MC1.2 INDIVIDUAL SUITE SIGNAGE/IDENTIFICATION 18"x24" TO BE BUILDING MOUNTED AT EACH ENTRY.
- 18.) FLAGPOLE, 25' HIGH POLE W/BRUSHED ALUMINUM FINISH.
- 19.) GAS METER LOCATIONS. (4 OVER 5, 9 TOTAL).
- 20.) 4'-0" CHANGE IN BUILDING SLAB ELEVATION.
- 21.) 6" STEEL BOLLARDS. FILLED W/ CONCRETE. SEE DETAIL FC1.2.
- 22.) POLE LIGHT SEE DETAIL LUC1.1 ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING. ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE ORDINANCES.
- 23.) MONUMENT SIGN LIGHTING.
- 24.) SUMP PUMP.
- 25.) RAMP. 1:20 MAX. SLOPE.
- 26.) ELECTRICAL METER LOCATION 3 HIGH, 3 WIDE PLUS HOUSE METER.
- 27.) 8"x8" CONC. PAD FOR PICNIC TABLE.
- 28.) SIDEWALK TRENCH DRAIN, REFER TO DETAIL EC1.2.
- 29.) CONC. SLAB ROUNDOFF.
- 30.) TELEPHONE DEMARKATION PANEL.
- 31.) FIRE HYDRANT LOCATION.
- 32.) DROP INLET, SEE GRADING & DRAINAGE PLAN.



PROPOSED OFFICE WAREHOUSE

VENICE BLVD.

LANDSCAPE NOTES

- 1.) ALL PLANTING IMPROVEMENTS ARE TO BE WATERED BY MEANS OF A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH SPRAY HEADS, STREAM BUBBLERS, AND FLOOD BUBBLERS. THE SOURCE OF IRRIGATION WATER SHALL BE CITY OF ALBUQUERQUE WATER SYSTEM.
- 2.) ALL PLANTING AND IRRIGATION IMPROVEMENTS ARE TO BE MAINTAINED BY THE OWNER.
- 3.) LANDSCAPING TO CONFORM W/ COA LANDSCAPE ORDINANCE.
- 4.) LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING THE ADJUTING PUBLIC RIGHT OF WAY, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OF LOTS 30A, BLOCK 3, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES AND ITS ASSIGNS AND/OR TRANSFERS

BUILDING & SITE DATA

PROJECT: SAN MATEO INDUSTRIAL PARK, BUILDING #6 OFFICES / SHOWROOM / WAREHOUSES (SHELL)

ADDRESS: 5401 VENICE N.E. SUITES A THRU I ALBUQUERQUE, NEW MEXICO 87113

LEGAL DESCRIPTION: LOTS #27, 28 & 29 BLOCK 3 TRACT A UNIT B N.A.A. TO BE REPLANTED TO LOT 28A BLOCK 3 TRACT A UNIT B N.A.A.

EXISTING ZONING: IP

ZONE MAP: B-18-Z

LANDSCAPE & PARKING CALCULATIONS

LOT 28A	
LANDSCAPE REQUIREMENTS:	115,326 SQ. FT.
TOTAL SITE AREA:	42,493 SQ. FT. = 15
TOTAL BUILDING AREA:	2,176 SQ. FT.
OFFSITE AREA:	70,657 SQ. FT.
NET SITE AREA:	10,599 SQ. FT.
LANDSCAPE REQUIRED (15% OF NET SITE AREA):	12,895 SQ. FT.
LANDSCAPE PROVIDED:	
PARKING REQUIREMENTS:	
OFFICE (2000):	13,975 SQ. FT. = 70
WAREHOUSE (2000):	28,478 SQ. FT. = 15
TOTAL REQUIRED:	85
TOTAL PROVIDED:	97
HANDICAPPED REQUIRED:	4
HANDICAPPED PROVIDED:	4 (1 VAN SPACE)
BICYCLE SPACES REQ'D:	5
BICYCLE SPACES PROVIDED:	5

GENERAL NOTES:

- NO PERMATE CHAIN LINK FENCE WILL BE USED ON THIS PROJECT.
- ALL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING OR POLE LIGHTING. LIGHTING TO MEET ALL APPLICABLE ORDINANCES.

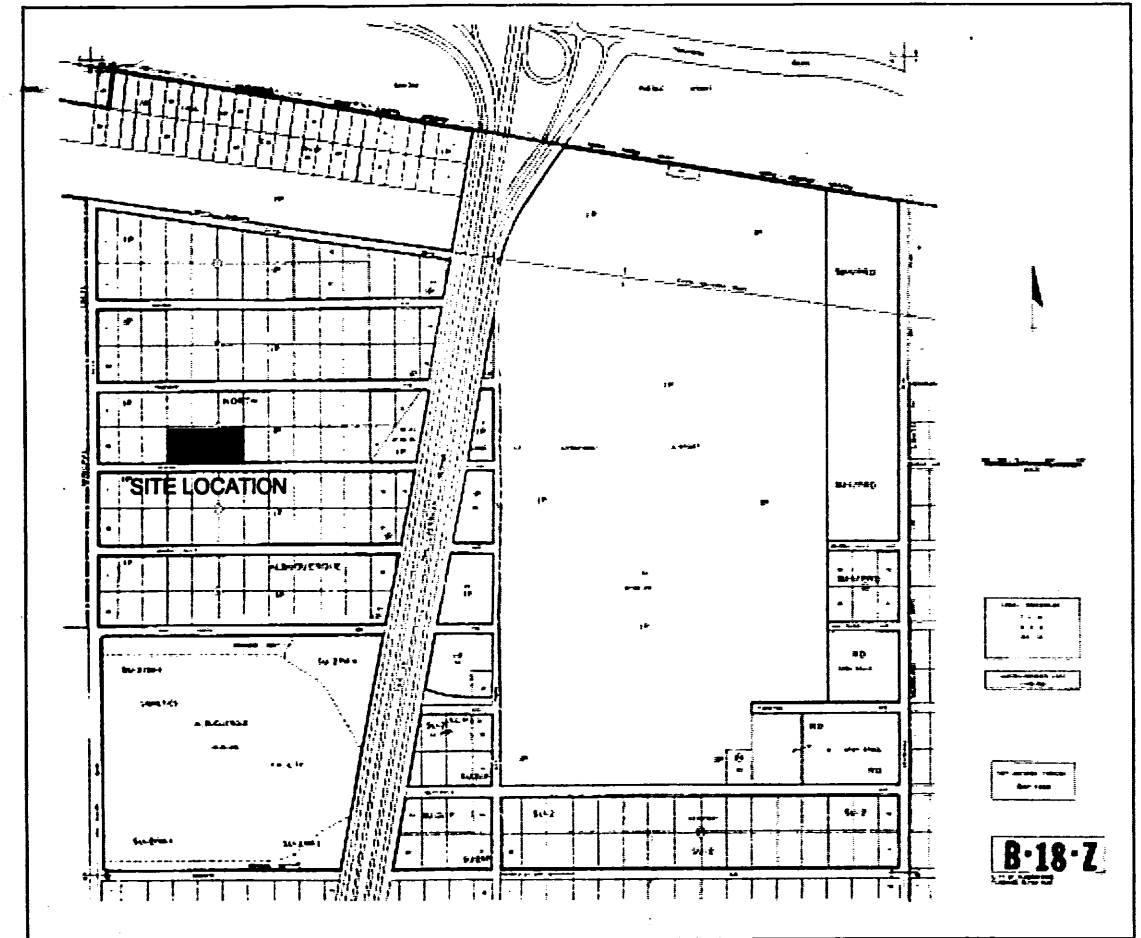
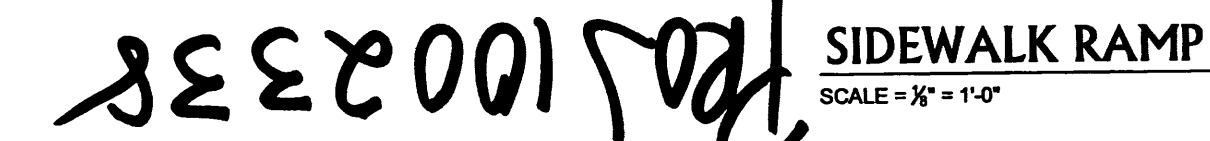
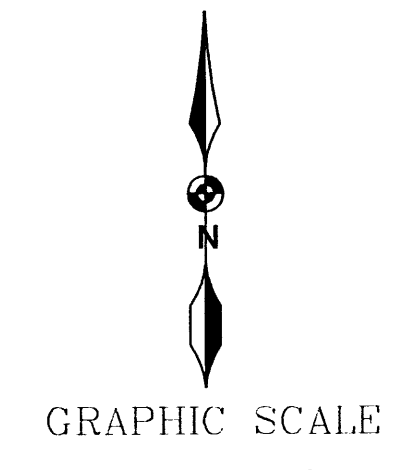
LANDFILL DISCLOSURE STATEMENT

~~THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL CERTAIN PER CAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES AS REQUIRED BY THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 100 FEET OF LANDFILLS" REVISED AUGUST 29, 2000) SHALL BE CONSULTED PRIOR DEVELOPMENT OF THE SITE.~~

LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL CERTAIN PER CAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES AS REQUIRED BY THE "MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 100 FEET OF LANDFILLS" SHALL BE CONSULTED PRIOR DEVELOPMENT OF THE SITE.

Maria Thomas Jan. 23, 2003
ENVIRONMENTAL HEALTH DEPT.



VICINITY MAP
SCALE = N.T.S.

1002338 // 02 DRB-01905
CASE NUMBER: Z-

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [] AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN
Bill Dost 1-08-03
TRAFFIC ENGINEER, TRANSPORTATION DIVISION
Christina Randall 1/8/03
REGION AND DEVELOPMENT DIVISION
Ronald Green 1-8-03
PUBLIC WORKS, WATER UTILITIES DIVISION
Bradley Babin 4/7/03
CITY ENGINEER, ENGINEERED DIVISION / AMAFCA
 APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.
Sheran Nakson 4/8/03
CITY PLANNER, ALBUQUERQUE, PLANNING DIVISION
 PLNZ (10706) 4/96

PROPOSED SITE DEVELOPMENT PLAN

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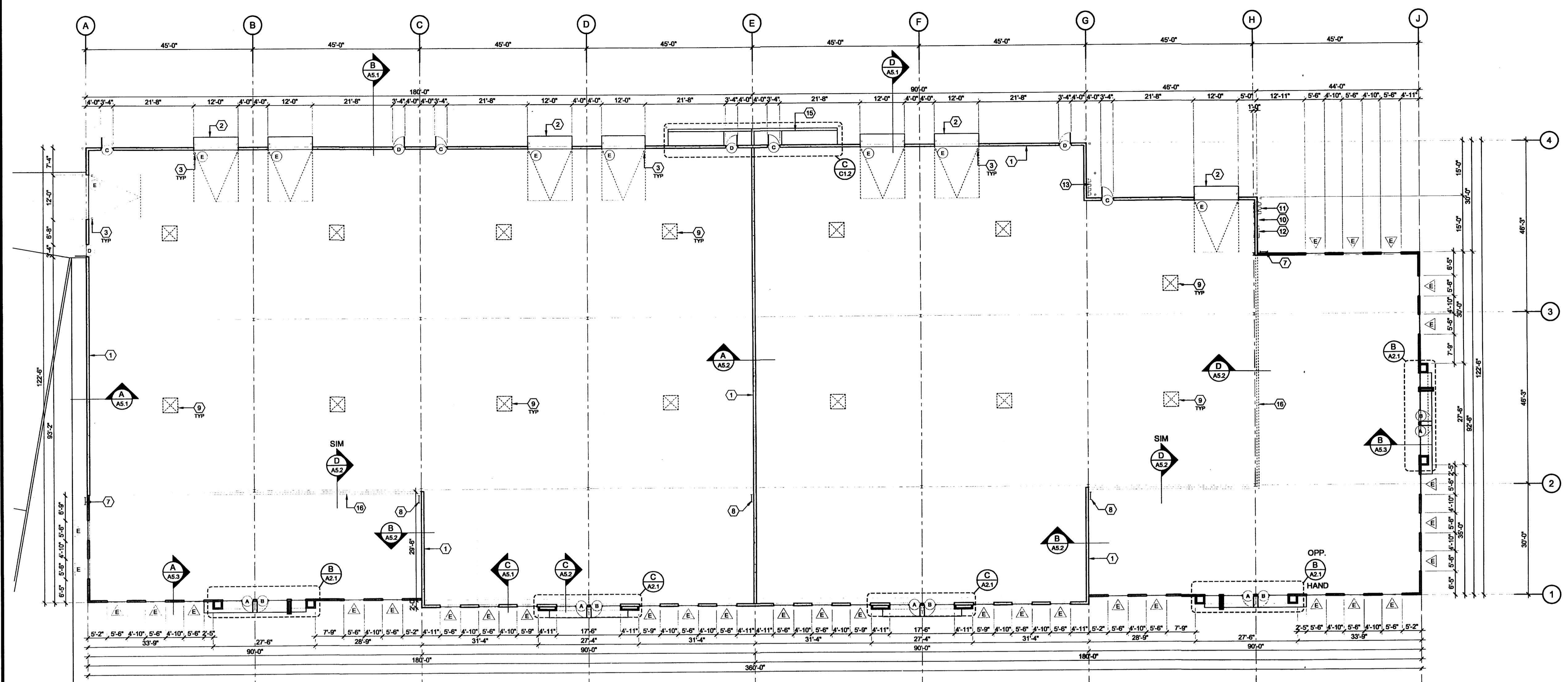
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1/16" = 1'-0"
PLOT DATE:
DEC. 16, 2002
FILENAME:
FLOOR.DWG
DRAWN BY:
M. FLURE

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LOT 28A, BLOCK 3, TRACT A UNIT B N.A.A.
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ALBUQUERQUE, NEW MEXICO 87113

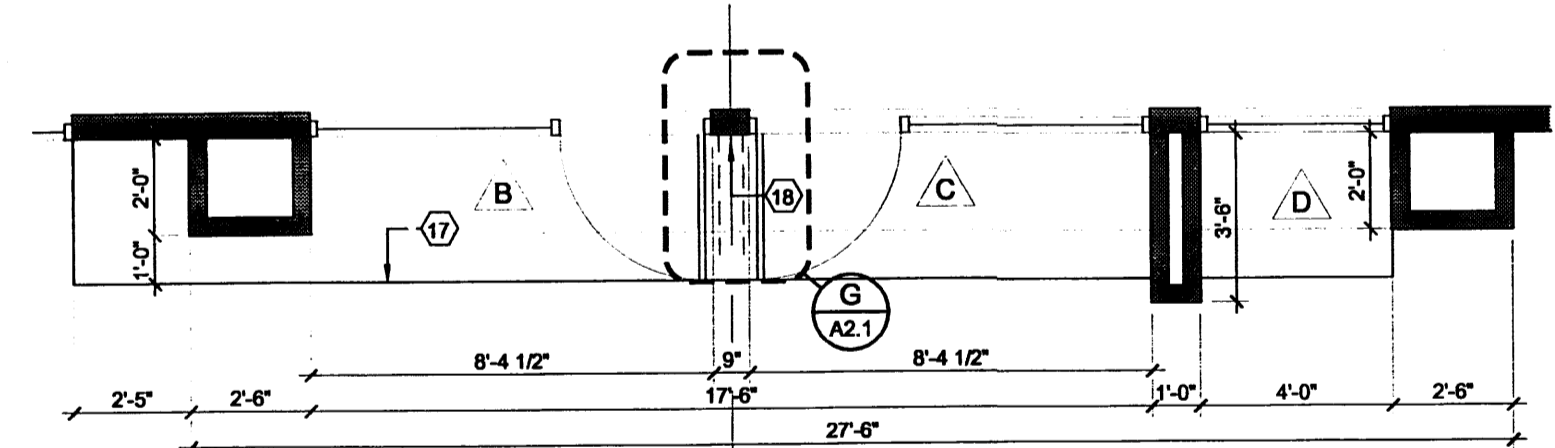
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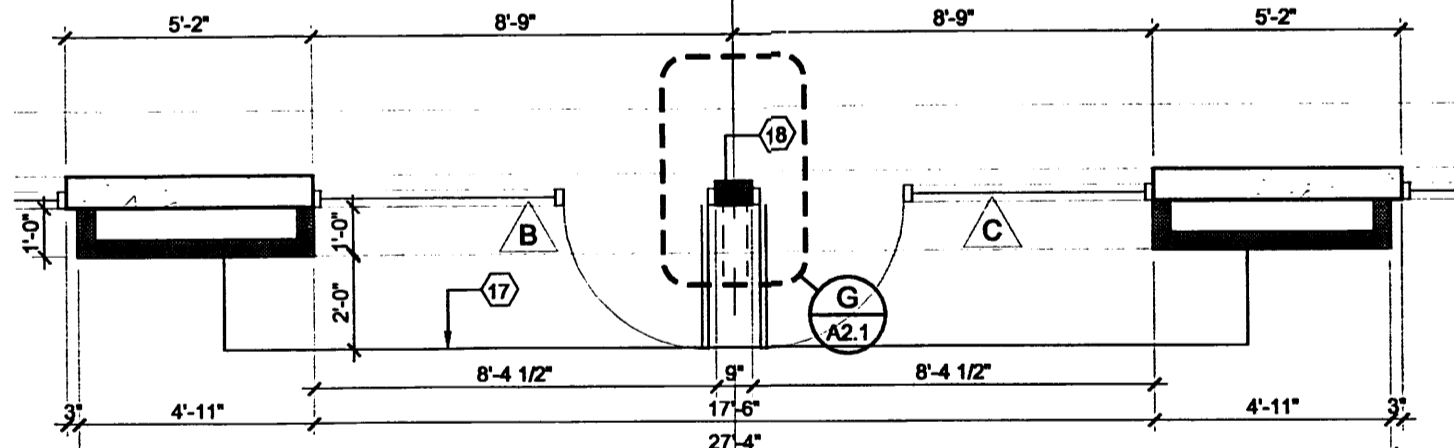
- KEYED NOTES:**
- 1.) TILT UP PANEL WALL. REFER TO STRUCTURAL DRAWINGS.
 - 2.) 5" THICK CONCRETE DRIVEPAD.
 - 3.) 6" BOLLARD REFER TO DETAIL FC1.2.
 - 4.) NOT USED.
 - 5.) NOT USED.
 - 6.) NOT USED.
 - 7.) ROOF LADDER.
 - 8.) ROOF LADDER FROM LOW ROOF TO HIGH ROOF.
 - 9.) SKYLIGHT ABOVE. REFER TO ROOF PLAN.
 - 10.) HOUSE PANEL LOCATION.
 - 11.) ELECTRICAL METER LOCATION. 3 WIDE X 3 HIGH PLUS HOUSE.
 - 12.) TELEPHONE DEMARCATION PANEL LOCATION.
 - 13.) GAS METER LOCATIONS. (4 OVER 5)
 - 14.) NOT USED.
 - 15.) 8" BLOCK WALL 42" ABOVE HIGHEST GRADE, CAPPED & PAINTED. SEE DETAIL C/C1.2
 - 16.) CLEARSTORY WALL ABOVE. REFER TO ROOF PLAN & SECTION DIAS.2.
 - 17.) CLEAR ANODIZED ALUMINUM SHADE STRUCTURE, REFER TO SHEET A5.3.
 - 18.) ALUMINUM FACED WALL. FINISH TO MATCH STOREFRONT.



A FLOOR PLAN
SCALE = 1/16" = 1'-0"



B ENLARGED ENTRY PLAN
SCALE = 1/4" = 1'-0"



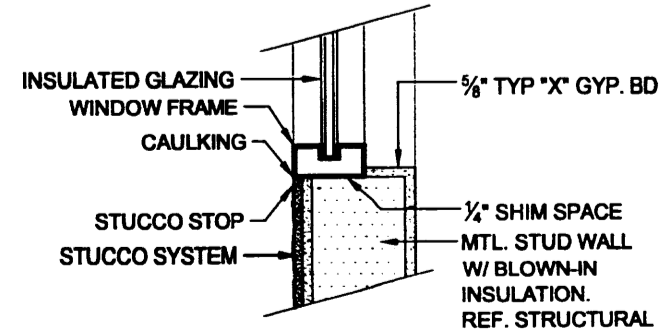
C ENLARGED ENTRY PLAN
SCALE = 1/4" = 1'-0"



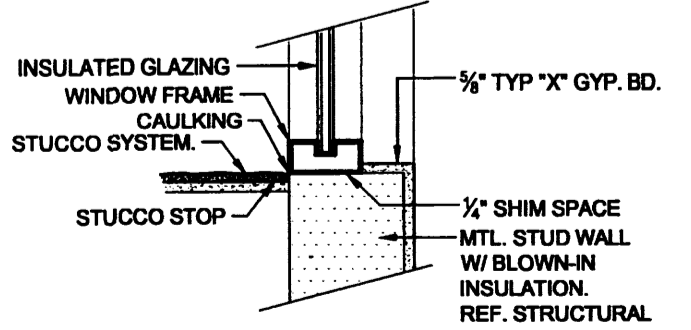
FRAME TYPES
SCALE = 1/4" = 1'-0"

DOOR SCHEDULE									
DOOR NUMBER	OPENING SIZE/THICK	TYP	FRM	HD-DTL	JMB-DTL	LEFT	RIGHT	SILL-DTL	REMARKS
A	3'-0" X 8'-0" X 1 3/4"	B	AL	-	-	-	-	-	-
B	3'-0" X 8'-0" X 1 3/4"	B	AL	-	-	-	-	-	-
C	3'-0" X 7'-0" X 1 3/4"	A	HMF	-	-	-	-	-	-
D	3'-0" X 7'-0" X 1 3/4"	A	HMF	-	-	-	-	-	-
E	12'-0" X 14'-0" O.H.	C	-	-	-	-	-	-	-

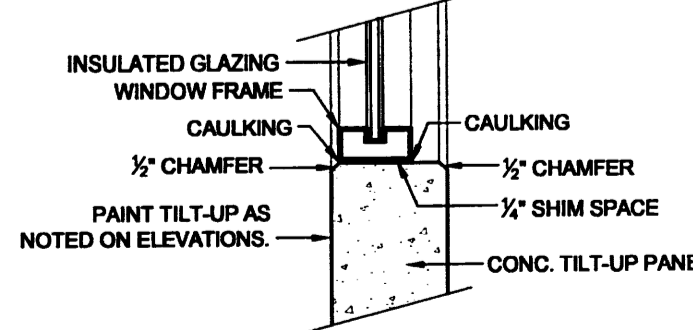
FRAME TYPE:
KD KNOCK DOWN (REDI) METAL
HMF HOLLOW METAL FRAME
AL ALUMINUM STORE FRONT



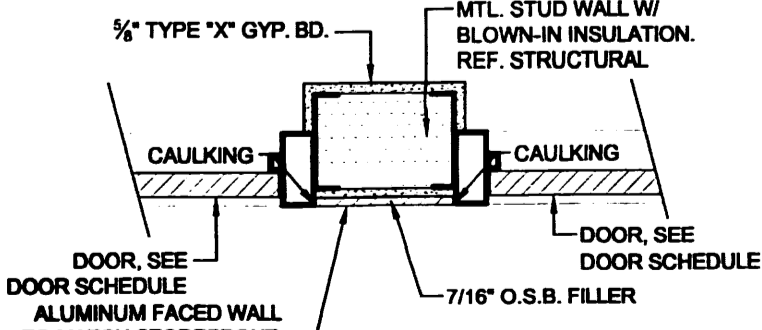
D WINDOW HEAD/JAMB AT MTL. STUD WALL
SCALE = 1" = 1'-0"



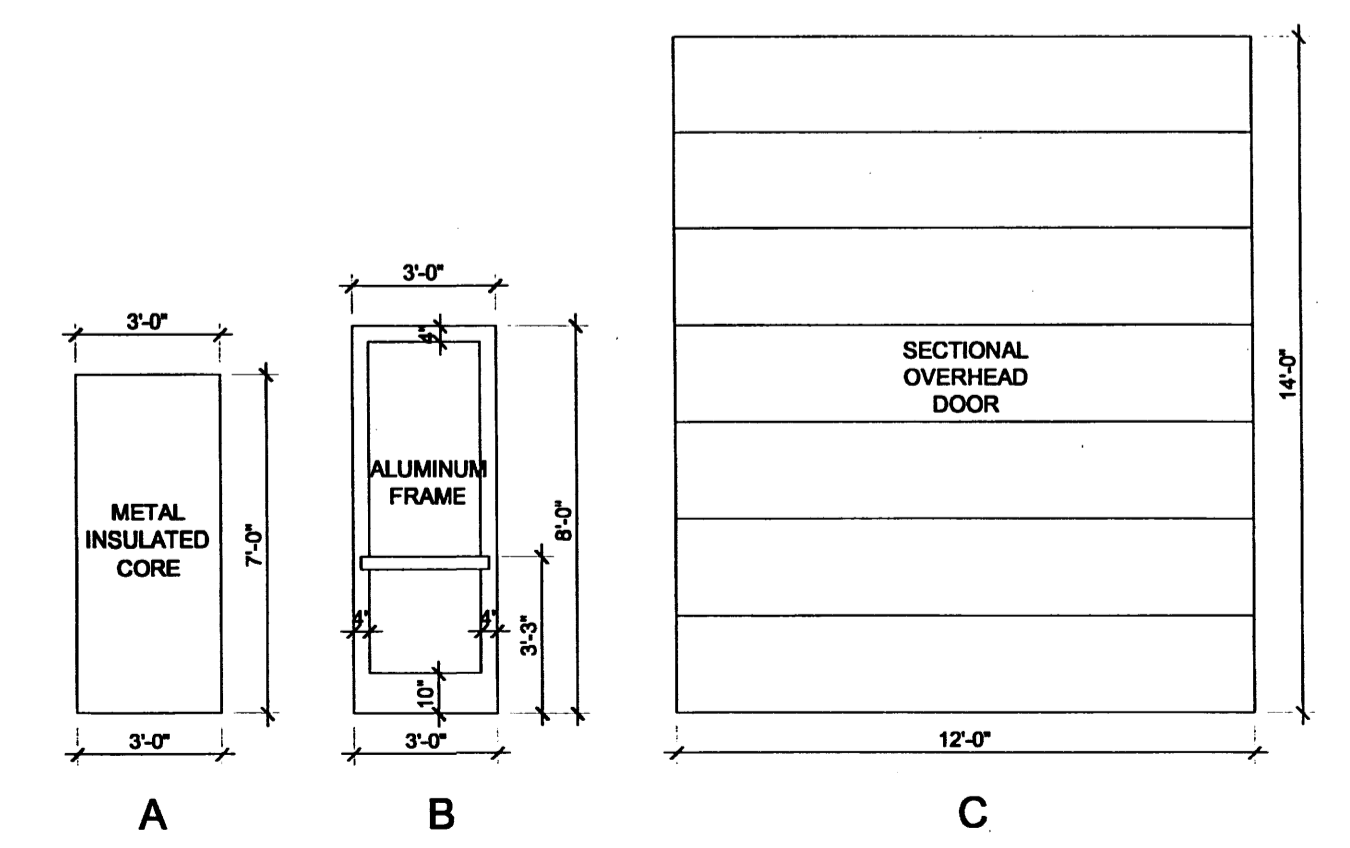
E WINDOW JAMB AT MTR. STUD WALL
SCALE = 1" = 1'-0"



F WINDOW HEAD/JAMB AT TILT-UP
SCALE = 1" = 1'-0"



G DOOR JAMB
SCALE = 1" = 1'-0"



DOOR TYPES
SCALE = 1/4" = 1'-0"

FLOOR PLAN

DESIGN DATA:

SCALE:
SEE PLAN
PLOT DATE:
DEC. 16, 2002
FILENAME:
DRAWN BY:
M. FLURE

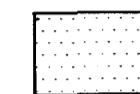



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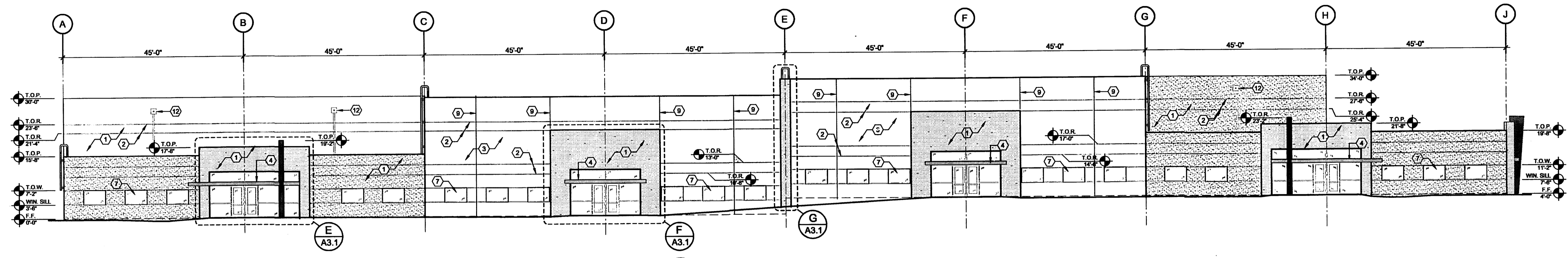
8804 WASHINGTON N.E. SUITE A
ALBUQUERQUE, NM 87113
OFFICE: (505) 828-1676
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OUR RESTORATION & REPAIR
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KEYED NOTES:

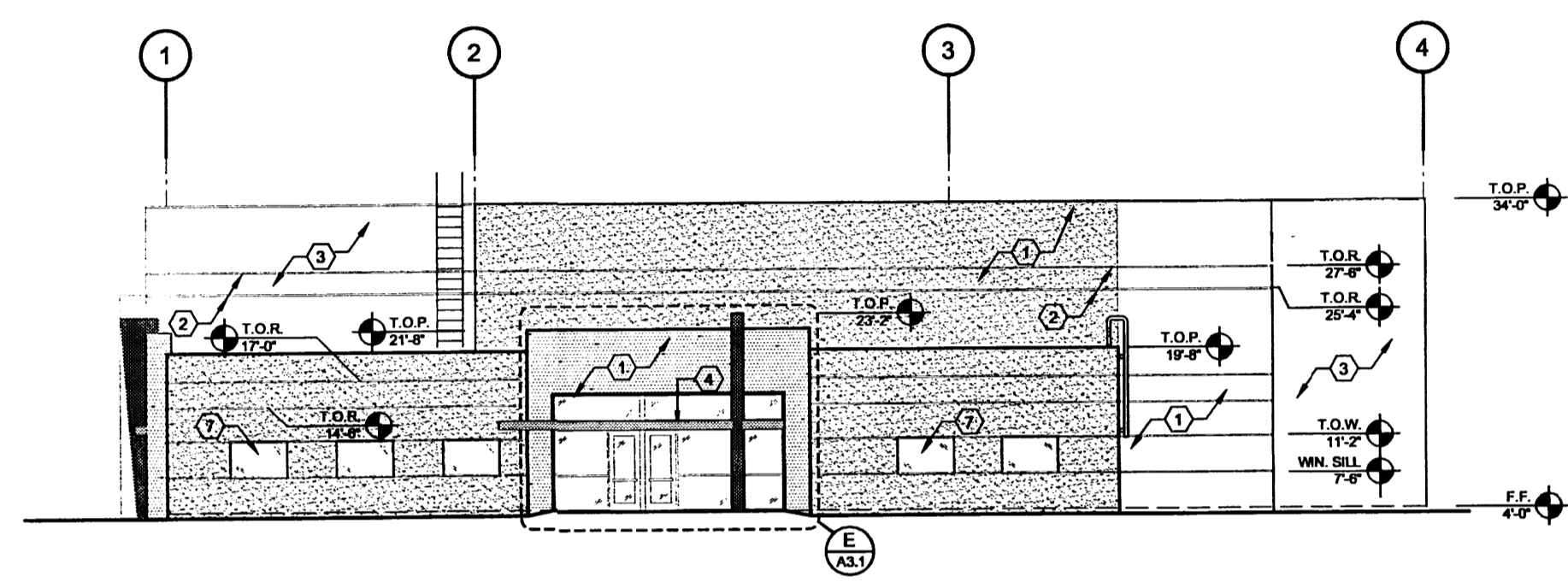
- 1.) EPS STUCCO SYSTEM; REFER TO EXTERIOR FINISH LEGEND.
- 2.) 1/2" DEEP RECESS, 1 1/2" WIDE. REFER TO DETAILS H.A3.1 & J.A3.1.
- 3.) TILT UP PANEL PAINTED; REFER TO EXTERIOR FINISH LEGEND.
- 4.) CLEAR ANODIZED ALUMINUM SUNSHADE. REFER TO SHEET A5.3.
- 5.) STORE FRONT REFER TO FRAME TYPE "E" ON SHEET A2.1.
- 6.) SECTIONAL DOOR W/6" BOLLARD EACH SIDE. REFER TO FLOOR PLAN SHEET A2.1.
- 7.) WINDOW REFER TO FRAME TYPE "E" ON SHEET A2.1.
- 8.) 6" BOLLARD. REFER TO DETAIL F.C1.2.
- 9.) TILT UP JOINT. REFER TO STRUCTURAL.
- 10.) NOT USED.
- 11.) ROOF ACCESS LADDER.
- 12.) COLLECTOR HEAD AND DOWNSPOUT.

EXTERIOR FINISH LEGEND:

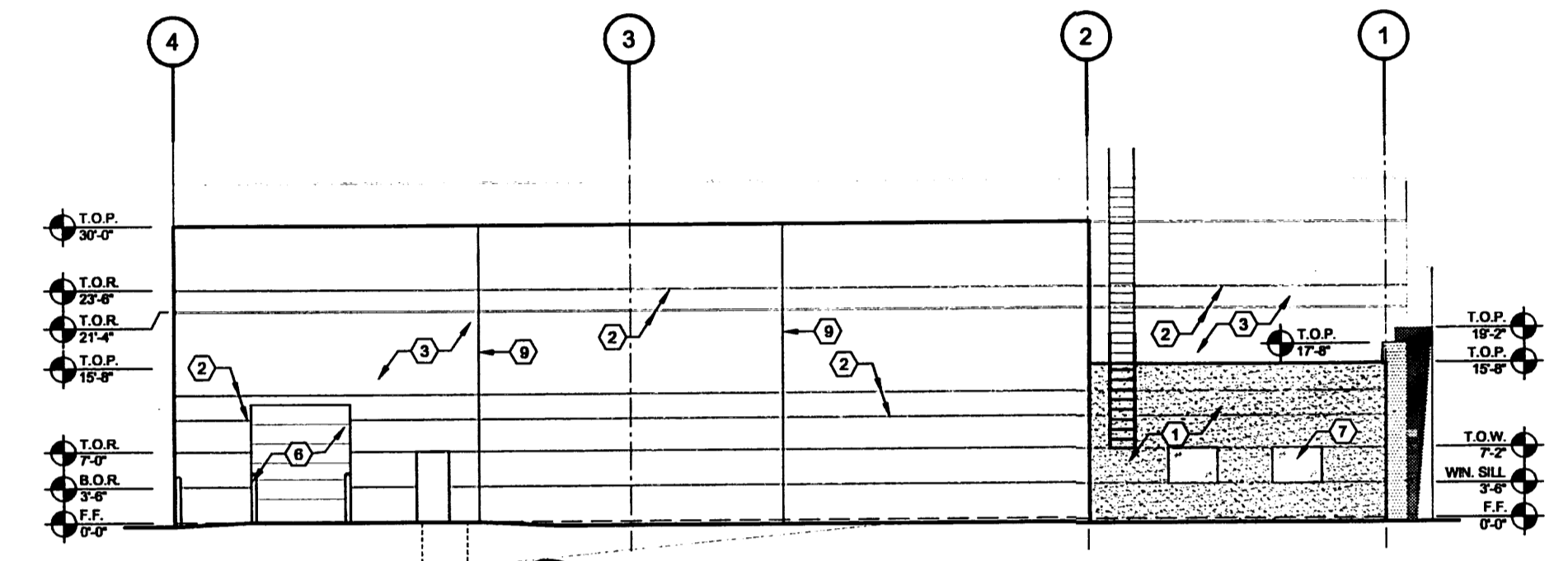
-  EPS STUCCO SYSTEM, COLOR BEIGE
-  EPS STUCCO SYSTEM, COLOR BROWN
-  EPS STUCCO SYSTEM, COLOR BLUE
-  TEXTURED PAINT, COLOR BEIGE



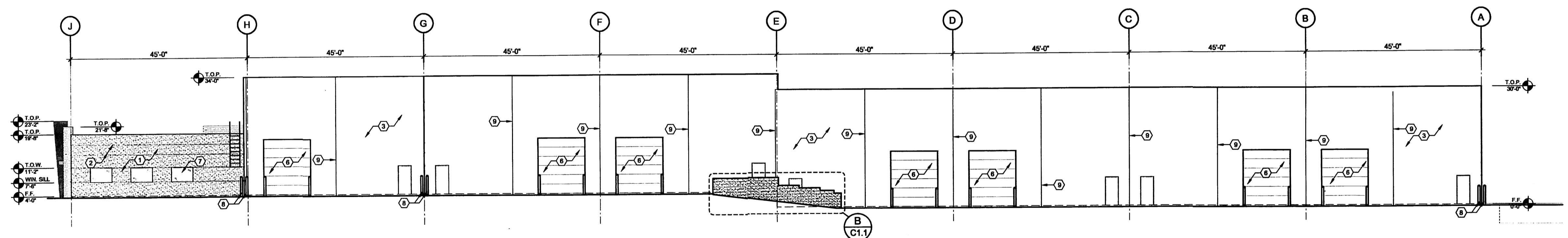
A FRONT ELEVATION - (SOUTH)
SCALE = 1/16" = 1'-0"



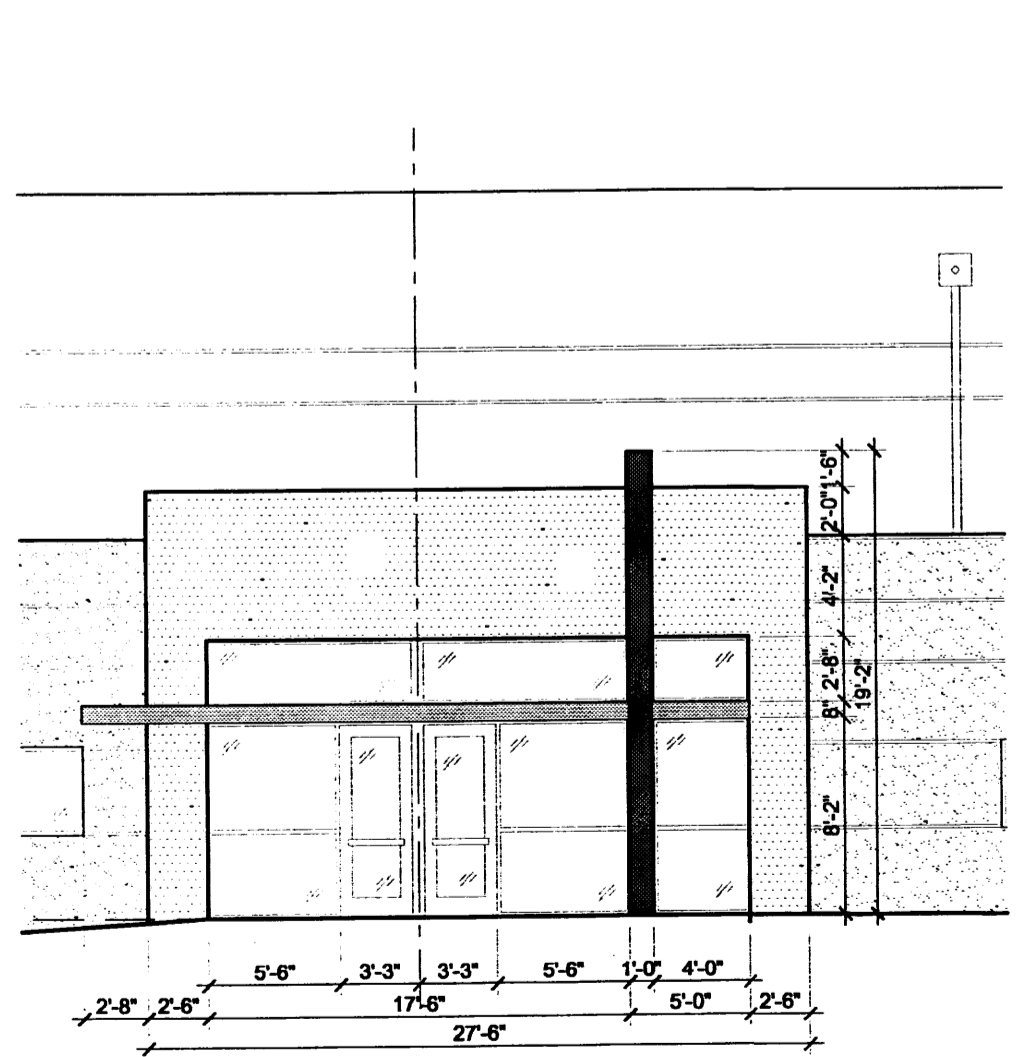
B RIGHT ELEVATION - (EAST)
SCALE = 1/16" = 1'-0"



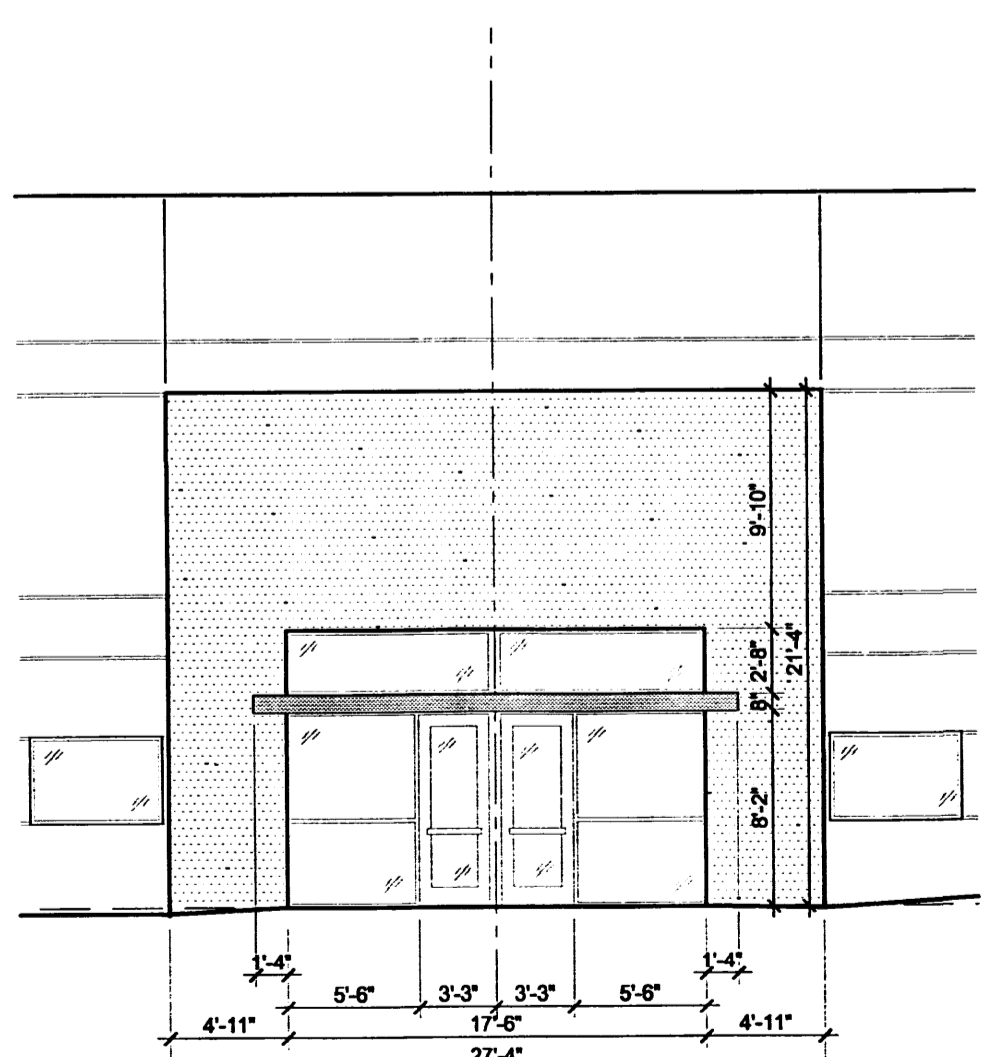
C LEFT ELEVATION - (WEST)
SCALE = 1/16" = 1'-0"



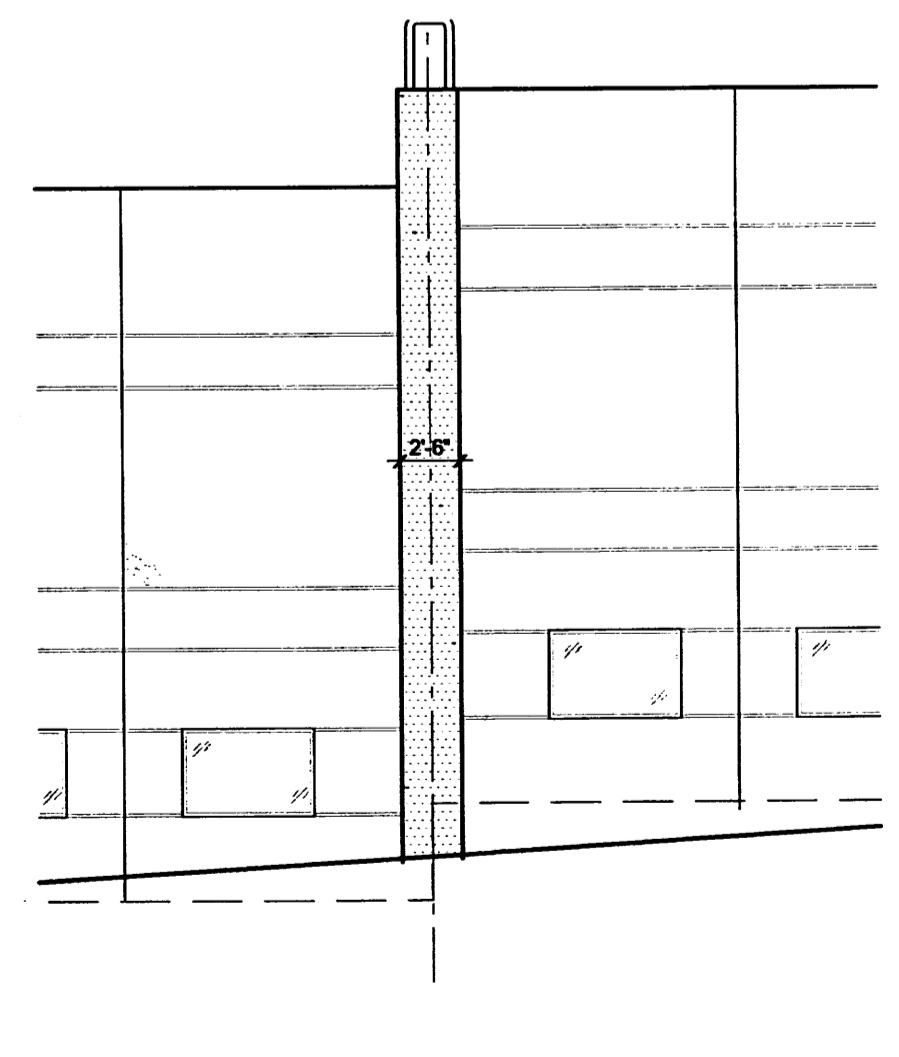
D BACK ELEVATION - (NORTH)
SCALE = 1/16" = 1'-0"



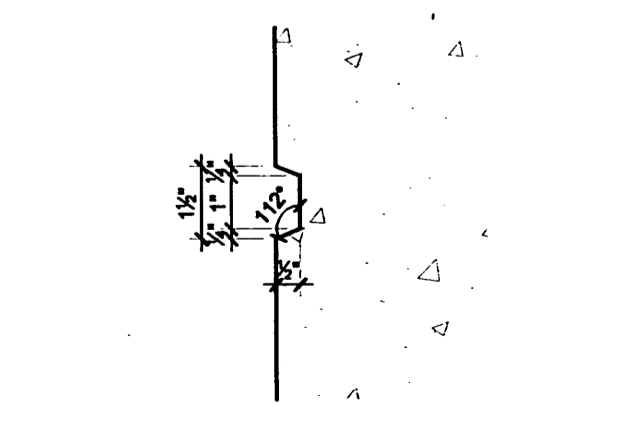
E ENLARGED ENTRANCE ELEV.
SCALE = 1/8" = 1'-0"



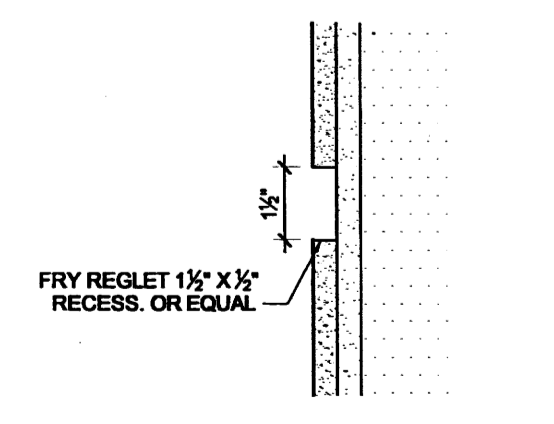
F ENLARGED ENTRANCE ELEV.
SCALE = 1/8" = 1'-0"



G ENLARGED BLDG. TRANSITION
SCALE = 1/8" = 1'-0"



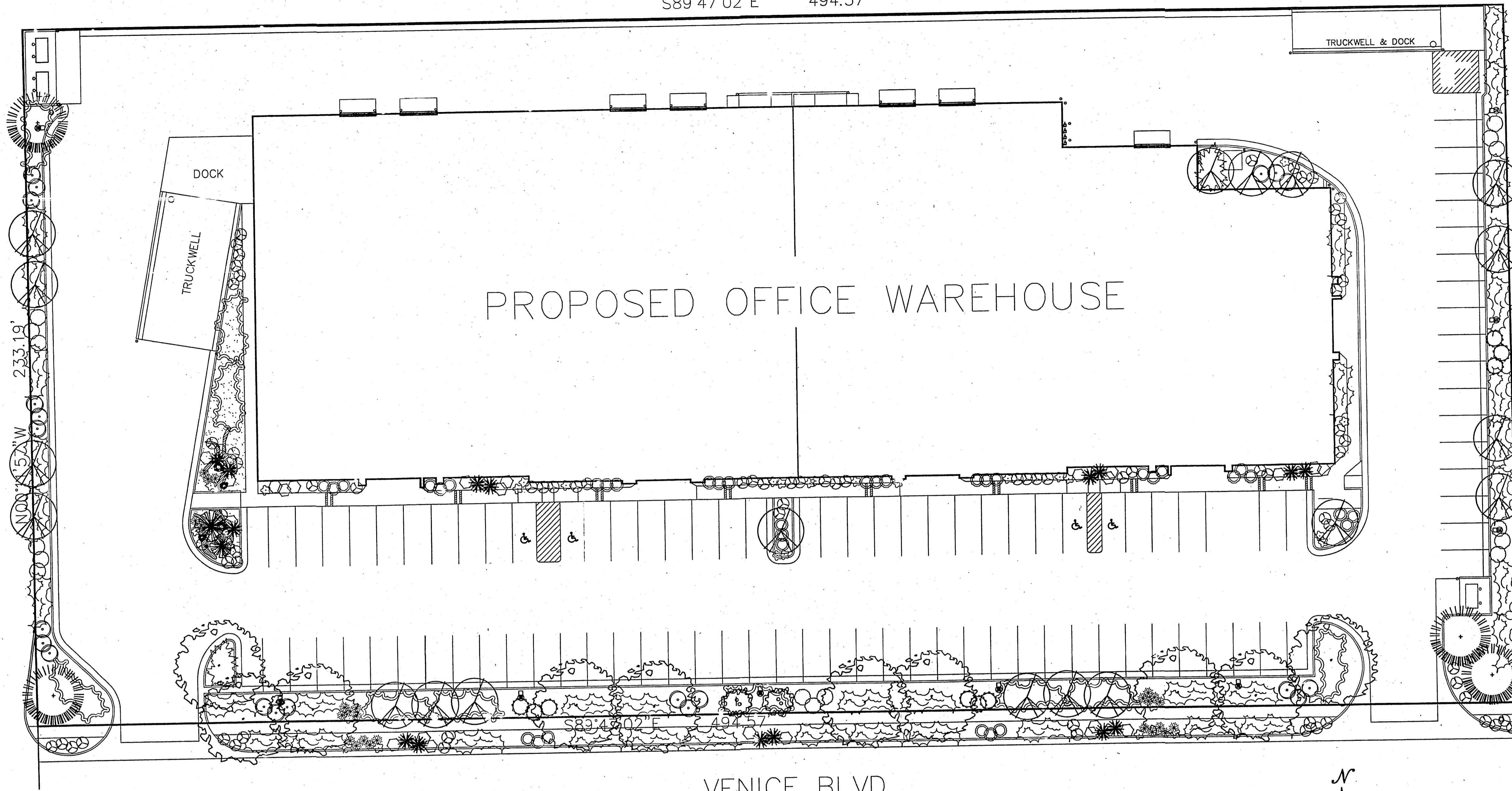
H TYP. TILT-UP RECESS
SCALE = 3" = 1'-0"



J TYP. FRAME WALL RECESS
SCALE = 3" = 1'-0"

EXTERIOR ELEVATIONS

S89°41'02"E 494.5'

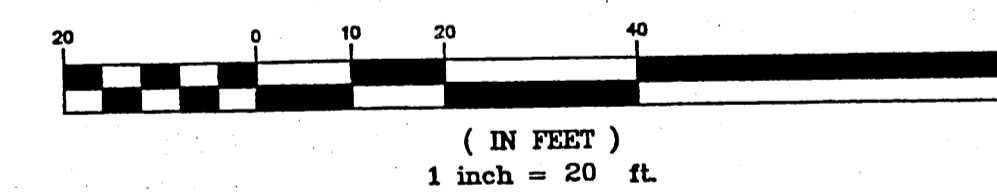


PROPOSED OFFICE WAREHOUSE


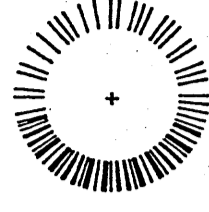
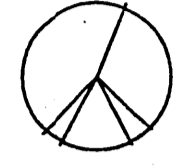

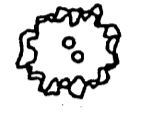

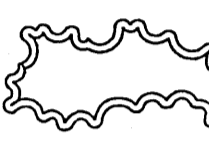

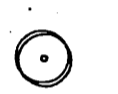

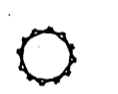




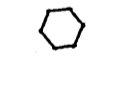



VENICE BLVD.



GRAPHIC SCALE



PLANT LEGEND

-  RAYWOOD ASH (H) 10
Fraxinus pennsylvanica
2-1/2" Cal.
-  AUSTRIAN PINE (H) 4
Pinus nigra
6'-8'
-  FLOWERING PEAR (H) 19
Pyrus calleryana
2-1/2" Cal.
-  PALM YUCCA (L) 2
Dasylirotion wheeleri
-  COMPACT MAHONIA
Mahonia compacta
5 Gal.
-  APACHE PLUME (L) 15
Fallugia paradoxa
5 Gal. 25sf
-  BLUE CHIP JUNIPER 30
Juniperus horizontalis 'Blue Chip'
1 Gal.
-  TAM JUNIPER (M) 114
Juniperus sabina
1 Gal. 225sf
-  RUSSIAN SAGE (L) 21
Perovskia atriplicifolia
5 Gal. 25sf
-  BUFFALO JUNIPER (L) 6
Juniperus sabena 'Buffalo'
1 Gal. 81 sf
-  LANAS BROOM (M) 9
Genista hispanica
5 Gal. 25 sf
-  RED YUCCA (L) 15
Hesperaloe parviflora
5 Gal.
-  BLUE MIST SPIREA (M) 26
Caryopteris clandonensis
5 Gal.
-  ROSEMARY (M) 36
Rosmarinus officinalis
2 Gal. 36sf
-  POTENTILLA (M) 27
Potentilla fruticosa
2 Gal.
-  AUTUMN SAGE (M) 23
Salvia greggii
2 Gal. 9sf
-  WILDFLOWER 76
1 Gal. 4sf
-  GRAY CRUSHER FINES
WITH FILTER FABRIC
-  OVERSIZED GRAVEL
& BOULDERS

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PROPOSED OFFICE SHOWROOM WAREHOUSE
LOT 28A, BLOCK 3, TRACT A UNIT B N.A.A
5401 VENICE
ALBUQUERQUE, NEW MEXICO 87115

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Crusher Fines over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

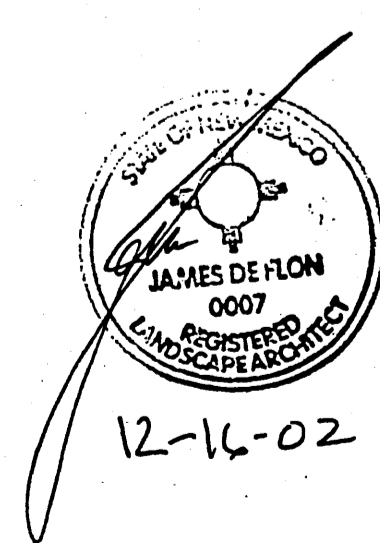
NET LANDSCAPE AREA	
TOTAL LOT AREA	115,326 square feet
TOTAL BUILDINGS AREA	42,493 square feet
OFFSITE AREA	2,176 square feet
NET LOT AREA	70,657 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	10,599 square feet
TOTAL LANDSCAPE PROVIDED	12,925 square feet
TOTAL BED PROVIDED	12,925 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Venice
Required #17 Provided #19

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



The Hilltop
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