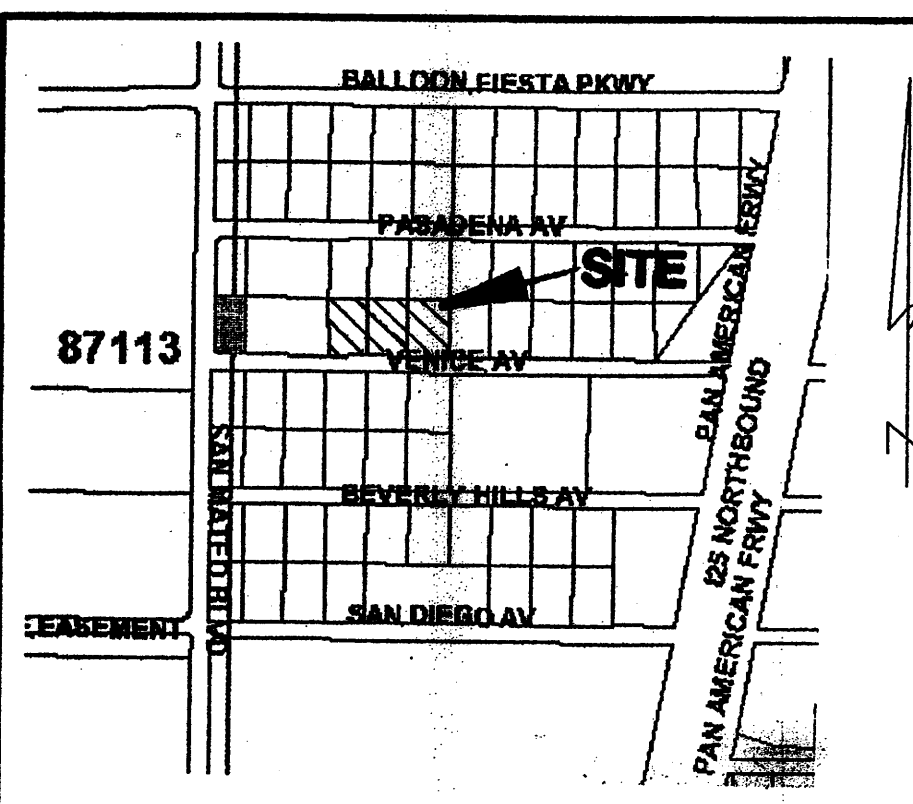


AGTS



Vicinity Map
no scale

Talos Log Number 2002511040
Zone Atlas Page Number B-18

Subdivision Data

- Total mileage of streets created by this plat is 0.0000
- Total number of lots created by this plat is 1.
- Case Number of plat DRB
- Bearings are New Mexico State Plane Grid Bearings, (Central Zone), based on the easterly line of Lot 30-A, Block 3, Tract A, Unit B, North Albuquerque Acres, filed 06/08/2001, Book 2001C, Page 159.
- Distances are ground distances.
- The purpose of this plat is to consolidate lots 27, 28 & 29 into one lot, grant the 10' public utility easement, and to dedicate the right-of-way on Venice Avenue NE.
- () - indicates record bearings and distances.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Documents used:
 - Title Commitment File No. 213517BR, prepared by Albuquerque Title Company, effective date December 04, 2002.
 - Trustee's Deed filed 11/16/1945, Volume 127, Folio 592.
 - Plat of Lots 1-A, 3-A, 31-A and 32-A, Tract A, Unit B North Albuquerque Acres filed 02/23/2000, Book 2000C, Page 57.
 - Plat of Lot 30-A, Block 3, Tract A, Unit B, North Albuquerque Acres filed 06/08/2001 Book 2001C, Page 159.
 - Plat of Tract A, Unit B North Albuquerque Acres filed 04/24/1936, Volume D, Folio 130.
 - Warranty Deed filed 12/27/2002, in Book A47, Page 3087.
- Total Gross acreage: 2.9881 acres
- Date of field survey: November 26, 2002.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- The Public Service Co. of NM- Electric Services Division for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The Public Service Co. of NM-Gas Services Division for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

<u>Lead D. Mott</u>	<u>2-10-03</u>
PNM ELECTRIC SERVICES	DATE
<u>Lead D. Mott</u>	<u>2-10-03</u>
PNM GAS SERVICES	DATE
<u>David P. Muller</u>	<u>2-19-03</u>
QWEST COMMUNICATIONS	DATE
<u>Rita E. Erickson</u>	<u>2-10-03</u>
COMCAST CABLE	DATE

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

2889832754
5615793
Page: 1 of 2
02/27/2003 03:52P
BK-2883C Pg-43
Mary Herrera Bern. Co. PLRT R 12.00

LEGAL DESCRIPTION

A certain parcel of land being identified as Lots 27, 28 and 29, Block 3, Tract A, Unit B, North Albuquerque Acres as the same are shown and designated on the plat entitled "TRACT A-UNIT B, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE-BERNALILLO COUNTY-NEW MEXICO" filed in the Office of the County Clerk of Bernalillo County, New Mexico on April 04, 1936 in Volume D, Folio 130.

FREE CONSENT AND DEDICATION

The platting of the land comprising Lots 27, 28 and 29 as shown hereon, and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners do hereby dedicate additional street right-of-way as shown hereon to the City of Albuquerque in Fee Simple.

Americus, L.L.C.
John E. Mechenbier
John E. Mechenbier
Managing Member

ACKNOWLEDGMENT

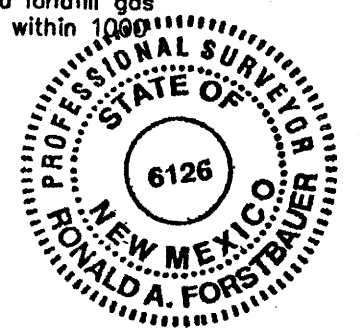
State of New Mexico) SS
County of Bernalillo)
This instrument was acknowledged before me this 10th day of JANUARY, 2003 by John E. Mechenbier

Notary Public TERESE FORSTBAUER My Commission expires August 2, 2006

The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with the expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 Feet of Landfills") shall be consulted prior to development of the site.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC & See Attached PROPERTY OWNER OF RECORD:

Sena Jose R. Garcia
BERNALILLO COUNTY TREASURER'S OFFICE
Juana A. Chayla 02-27-03



PLAT OF
Lot 29-A
Block 3, Tract A, Unit B
North Albuquerque Acres
BEING A REPLAT OF
Lots 27, 28 & 29
Block 3, Tract A, Unit B
North Albuquerque Acres

Within
Projected Section 13, T.11N., R.3E., N.M.P.M.
Elena Gallegos Grant
Albuquerque, Bernalillo County, New Mexico
December 2002

PROJ# 1002338 APP# 03-00145

APPROVED AND ACCEPTED BY:

<u>Sharon Watson</u>	<u>2/5/03</u>
PLANNING DEPARTMENT, DRB CHAIR	DATE
<u>Bradley L. Birkens</u>	<u>2-4-03</u>
CITY ENGINEER/HYDROLOGY	DATE
<u>Christina Sandoval</u>	<u>2/6/03</u>
PARKS & RECREATION	DATE
<u>Richard D. Douthett</u>	<u>1-31-03</u>
TRANSPORTATION DEVELOPMENT	DATE
<u>Ronald A. Forstbauer</u>	<u>1-14-03</u>
CITY SURVEYOR	DATE
<u>N/A</u>	
REAL PROPERTY	DATE
<u>Roger A. Sheen</u>	<u>2-3-03</u>
UTILITY DEVELOPMENT	DATE
<u>Richard D. Douthett</u>	<u>1-31-03</u>
A.M.A./C.A.	DATE
<u>Terese Forstbauer</u>	<u>Jan. 23, 2003</u>
ENVIRONMENTAL HEALTH	DATE

SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Commitment File No. 213517BR issued by Albuquerque Title Company, on December 04, 2002, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 1/2/03
Ronald A. Forstbauer Date
NMPS No. 6126

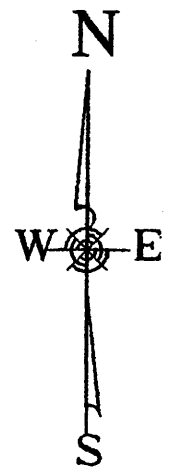
Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

PLAT OF
 Lot 29-A
 Block 3, Tract A, Unit B
 North Albuquerque Acres

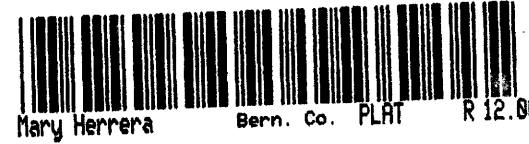
BEING A REPLAT OF
 Lots 27, 28 & 29
 Block 3, Tract A, Unit B
 North Albuquerque Acres

Within
 Elena Gallegos Grant
 Projected Section 13, T.11N., R.3E., N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 December 2002

USGLO/NGS Monument
 CC 11/12
 EG
 New Mexico State Plane
 Grid Coordinates (Central Zone) NAD 1927
 X=399,866.45
 Y=1,528,501.83
 GROUND/GRID FACTOR 0.99988600
 Δsc = -0011'37"
 NGVD 1929 ELEVATION 5132.823



0 25 50 100 Feet
 1" = 50'

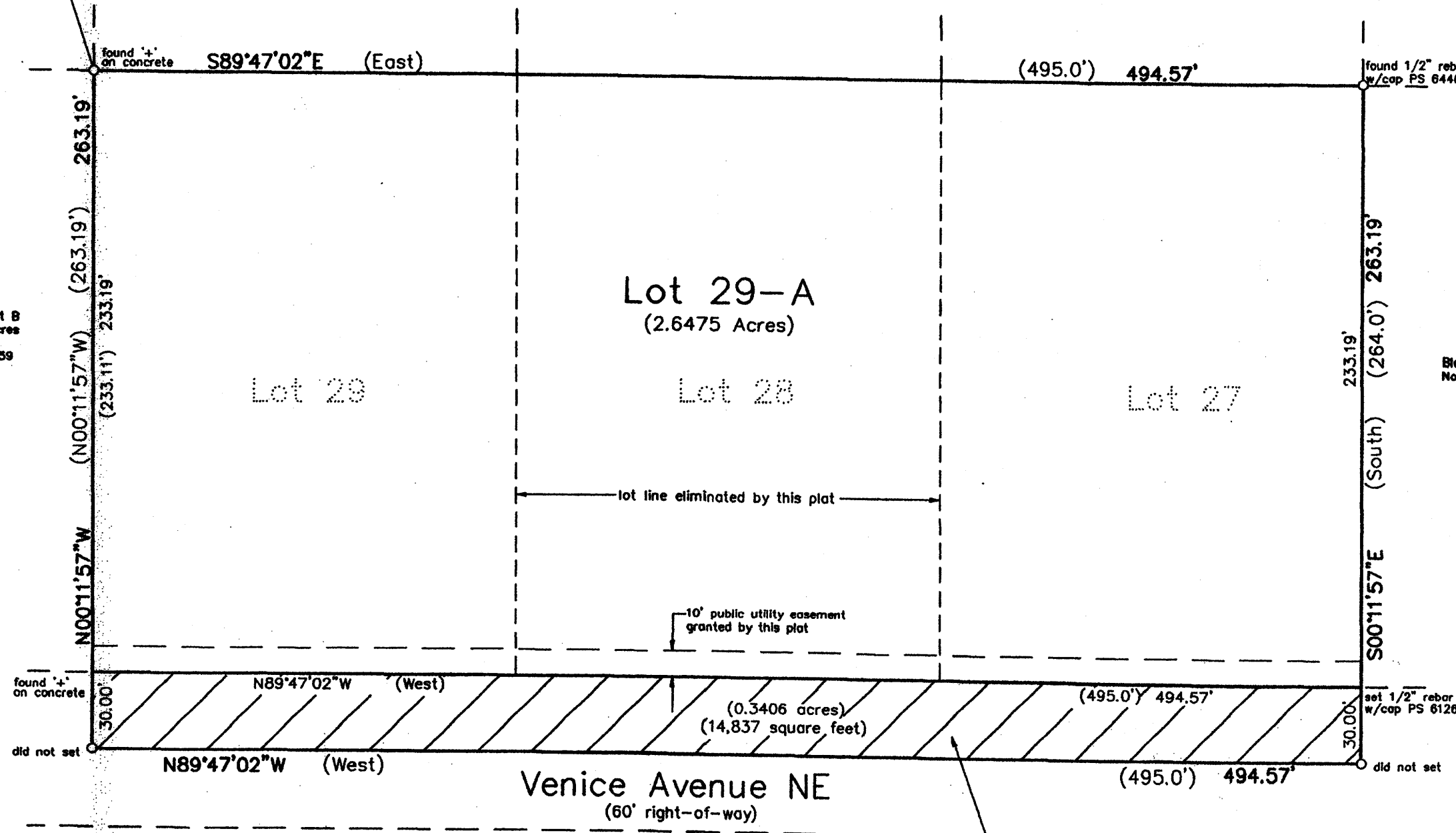


2683032754
 5815753
 Page: 2 of 2
 62/27/2883 63:52P
 BK-2883C Pg-43

Block 3, Tract A, Unit B
 North Albuquerque Acres
 filed 04/24/1936
 Volume D, Folio 130

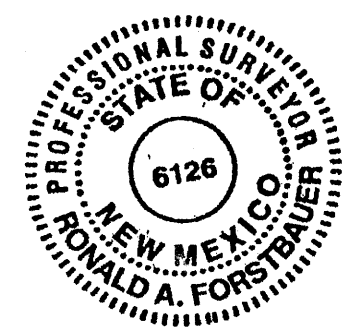
Lot 30-A
 Block 3, Tract A, Unit B
 North Albuquerque Acres
 filed 06/06/2001
 Book 2001C, Page 159

Lot 28
 Block 3, Tract A, Unit B
 North Albuquerque Acres
 filed 04/24/1936
 Volume D, Folio 130



Hatched area indicates right-of-way dedicated to the City of Albuquerque by this plat (0.3406 acres, 14,837 square feet)

The owners of the property shown hereon acknowledge the public street right-of-way of Venice Avenue NE and hereby waive any further claim or interest to the property lying within said right-of-way.

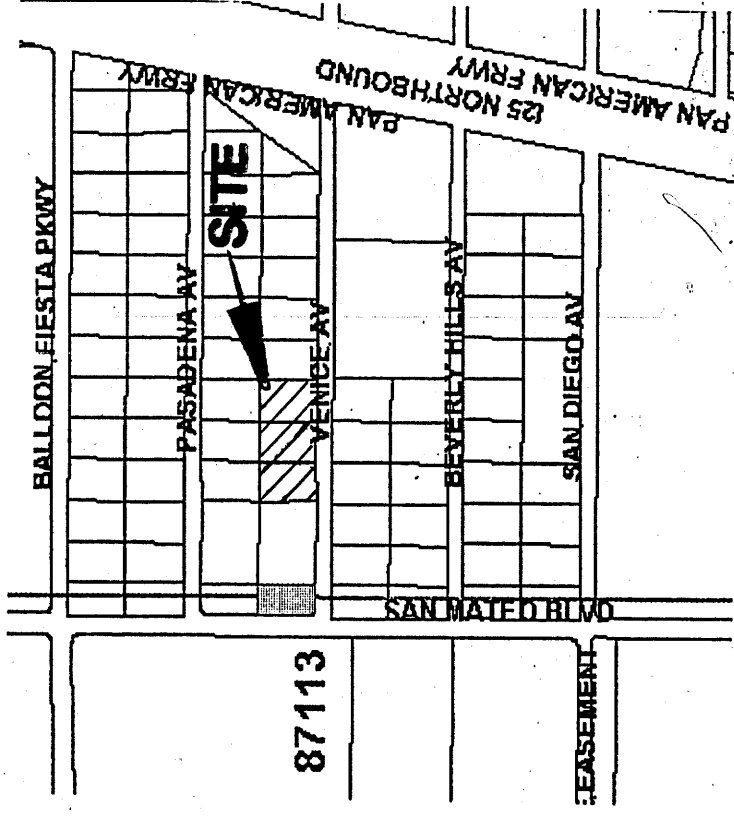


SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Commitment File No. 213517BR issued by Albuquerque Title Company, on December 04, 2002, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 11/12/02
 Ronald A. Forstbauer Date
 NMPS No. 6126

Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032



Vicinity Map
at Scale
Toloz Log Number 200251040
Zone Atlas Page Number B-118
SUBDIVISION DTG

- Total mileage of streets created by this plot is 0.0000
- Total mileage of streets to be created by this plot is 0.
- Case Number of plat DRB
- Case Number of plat DRB
- File No. 2135788, prepared by Albuquerque Title Company, filed 06/08/2001, Book 2001C, Page 159.
- Distances are ground distances.
- The purpose of this plot is to consolidate lots 27, 28 & 29 into one lot, grant the right-of-way to the City of Albuquerque and hereby waive any further claim in the property lying within said right-of-way.
- Unless otherwise indicated bearings and distances.
- Unless otherwise indicated all corners are set 1/2" rebar w/ Cop. LS 6126.
- The instrument File No. 2135788, prepared by Albuquerque Title Company, effective date December 04, 2002.
- Trustee's Deed filed 11/16/1945, Volume 127, Folio 592.
- Trustee's Deed filed 02/23/2000, Book 2000C, Page 47.
- Plot of Lot 30-A, Block 3, Tract A, Unit B, North Albuquerque Acres filed 05/08/2001 Book 2001C, Page 159.
- Warranty Deed filed 04/24/1936, Volume D, Folio 130.
- Warranty Deed filed 12/27/2002, in Book A47, Page 3087.
- Total Gross acreage: 2.8881 acres
- Date of field survey: November 28, 2002.

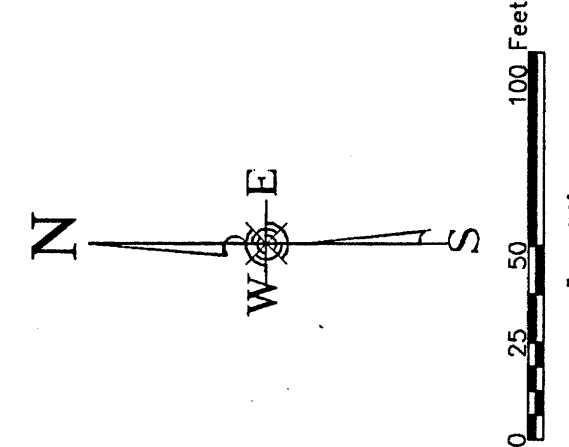
PUBLIC UTILITY EASEMENTS
PUBLIC UTILITY EASEMENTS shown on this plot are granted for the common and joint use of:

- The Public Service Co. of NM - Electric Services Division for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles, towers, structures and related facilities reasonably necessary to provide electrical service.
- The Public Service Co. of NM - Gas Services Division for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Quest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and conduits.

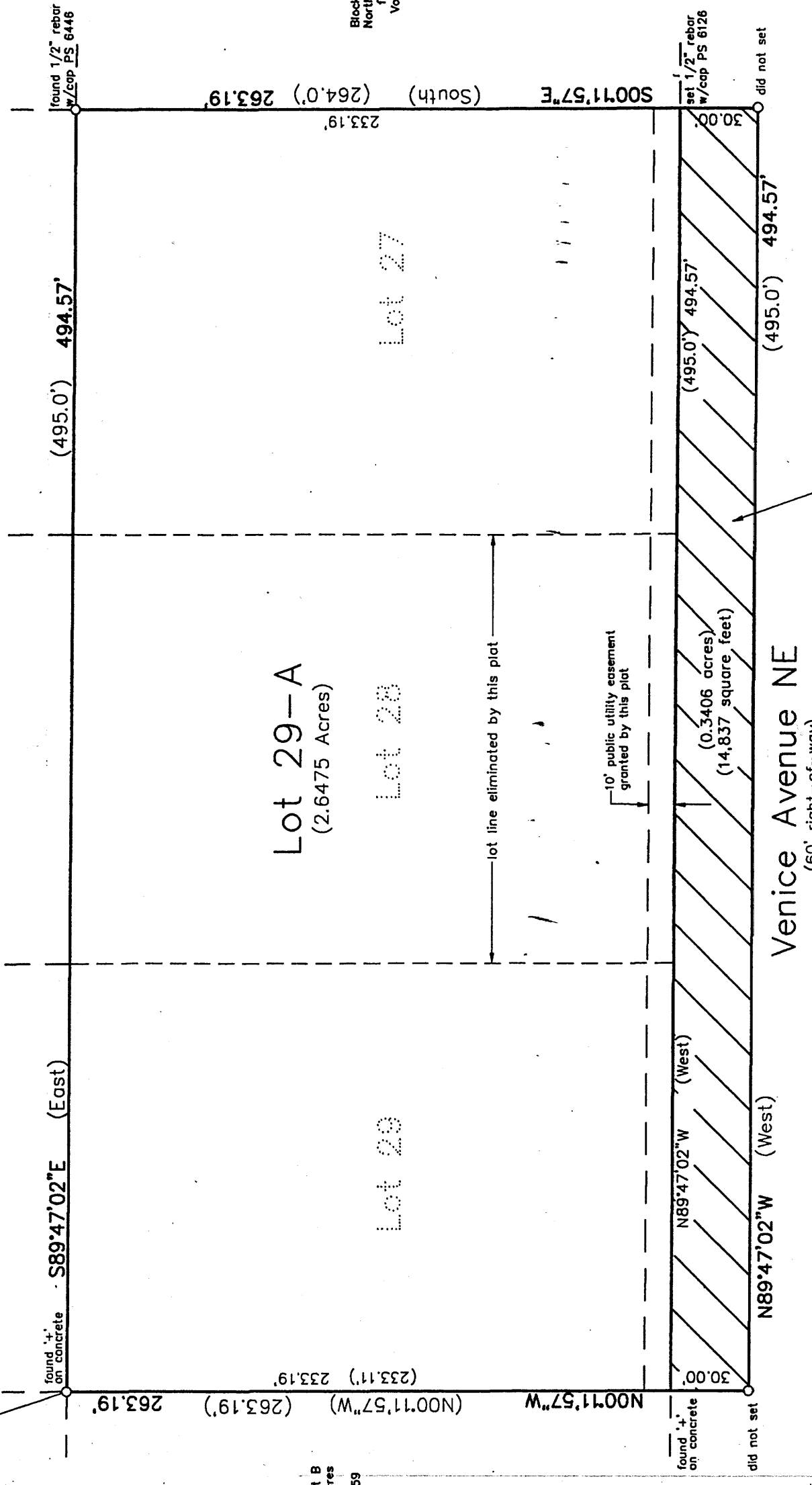
- Comcast Cable for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, repair, alter, improve, upgrade, replace, install, remove, or otherwise modify any and all above ground and underground facilities, including but not limited to, but not limited to, working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No easement shall be created or constructed on said easements, nor shall any well or other structure shall be drilled or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any and all utility easement issues caused by construction or poles, decking, or any structures adjacent to, within, or near easements shown on this plot.

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QUEST COMMUNICATIONS	DATE
COMCAST CABLE	DATE

Easements for electric transformers/switchgear, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



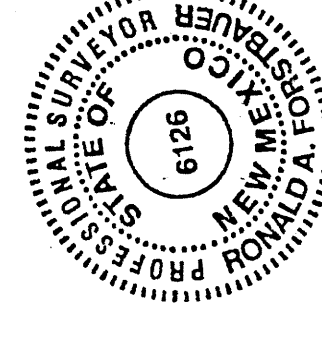
USGS/ANOS Monument
CC 122
Lot 29
New Mexico State Plane
NAD 83
Zone 12N
Datum: NAVD83
PROJECTION FACTOR 0.99986600
SCALE FACTOR 0.99986600
MERCATOR ELEVATION 5132.823



Lot 29-A
Book 3, Tract A, Unit B
North Albuquerque Acres
Filed 05/08/2001
Book 2001C, Page 159

Lot 28
Book 3, Tract A, Unit B
North Albuquerque Acres
Filed 05/08/2001
Book 2001C, Page 159

The owners of the property shown hereon acknowledge the public street right-of-way and hereby waive any further claim in the property lying within said right-of-way.



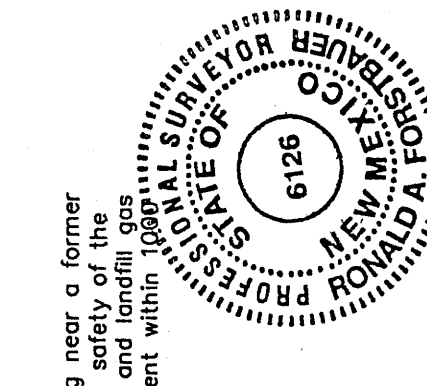
Ronald A. Forstbauer
1/12/02
Date

Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

PLAT OF
Lot 29-A
Block 3, Tract A, Unit B
North Albuquerque Acres
BEING A REPLAT OF
Lots 27, 28 & 29
Block 3, Tract A, Unit B
North Albuquerque Acres
Within
Projected Section 13, T.11N., R.3E., N.M.P.M.
Elena Gallegos Grant
Albuquerque, Bernalillo County, New Mexico
December 2002

APPROVED AND ACCEPTED BY:

PLANNING DEPARTMENT, DRB CHAIR	DATE
CITY ENGINEER/HYDROLOGY	DATE
PARKS & RECREATION	DATE
TRANSPORTATION DEVELOPMENT	DATE
	1-14-03
CITY SURVEYOR	DATE
REAL PROPERTY	DATE
UTILITY DEVELOPMENT	DATE
A.M.A.F.C.A.	DATE
ENVIRONMENTAL HEALTH	DATE



The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with the expertise in landfills and landfill gas (LFGL) are provided herein. These recommendations are intended to be used as a guide for development within the (Feet of Landfill) and shall be consulted prior to development of the site.

Ronald A. Forstbauer
1/12/02
Date

Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

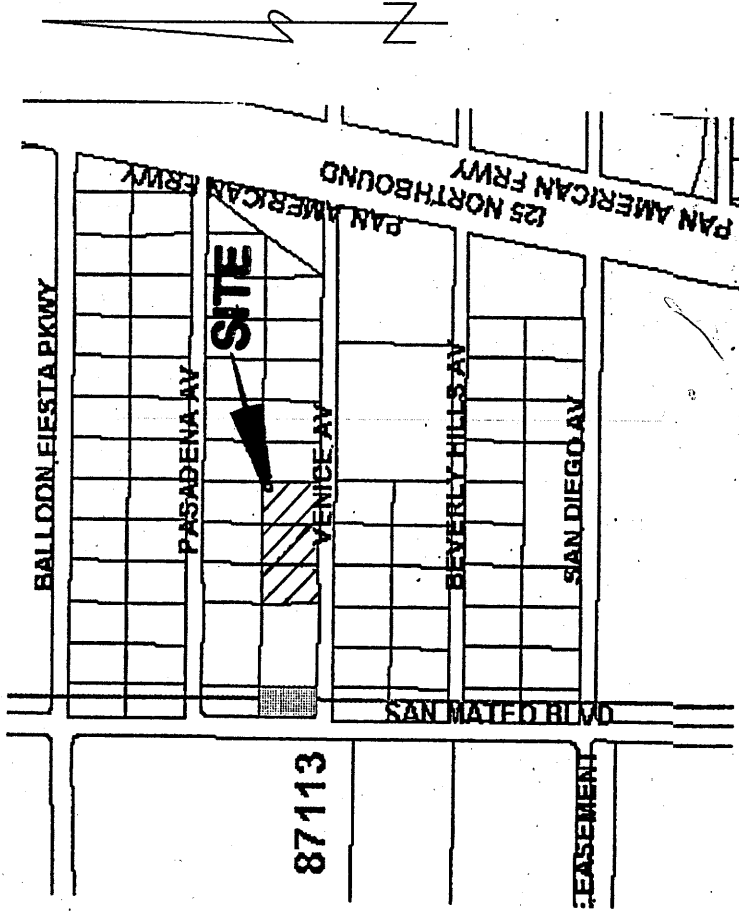
PLAT OF
Lot 29-A
Block 3, Tract A, Unit B
North Albuquerque Acres
BEING A REPLAT OF
Lots 27, 28 & 29
Block 3, Tract A, Unit B
North Albuquerque Acres
Within
Elena Gallegos Grant
Projected Section 13, T.11N., R.3E., N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
December 2002

SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plot shown hereon was established by me or under my direct supervision, that the same conform to and meet the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for monumentation and surveys of the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Professional Engineers and Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Commitment File No. 2135788 issued by Albuquerque Title Company, on December 04, 2002, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
1/12/02
Date

Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032



Vicinity Map
no scale

Tales Log Number 200251040
Zone Atlas Page Number B-18

Subdivision Data

- Total acreage of streets created by this plat is 0.0000 no scale
- Record of Survey for this plat is 1.
- Bearings are New Mexico State Plane Grid Bearings, (Central Zone), based on the National Triangulation Network, Block 3, Tract A, Unit B, North Albuquerque Acres, filed 08/09/2001, Book 2001C, Page 159.
- Case Number of plat DRB 09/23/2006, Book 2006C, Page 57.
- Distances are ground distances.
- The purpose of this plat is to consolidate lots 27, 28 & 29 into one lot, grant the right-of-way on Venic Avenue NE.
- () indicates record bearings and distances.
- Unless otherwise indicated all corners are set 1/2" rebar w/ cap LS 6126.
- Documents used:
 - Contract File No. 01351789, prepared by Albuquerque Title Company, effective date December 04, 2002.
 - Trustee's Deed filed 11/16/1945, Volume 127, Folio 592.
 - Plat of Lot 30-A, Block 3, Tract A, Unit B, North Albuquerque Acres filed 05/08/2001, Book 2001C, Page 159.
 - North Albuquerque Acres, filed 04/27/1935, Volume D, Folio 130.
 - Warranty Deed filed 12/27/2002, in Book 442, Page 3087.
- Total Gross acreage: 2.9991 acres
- Date of field survey: November 26, 2002.

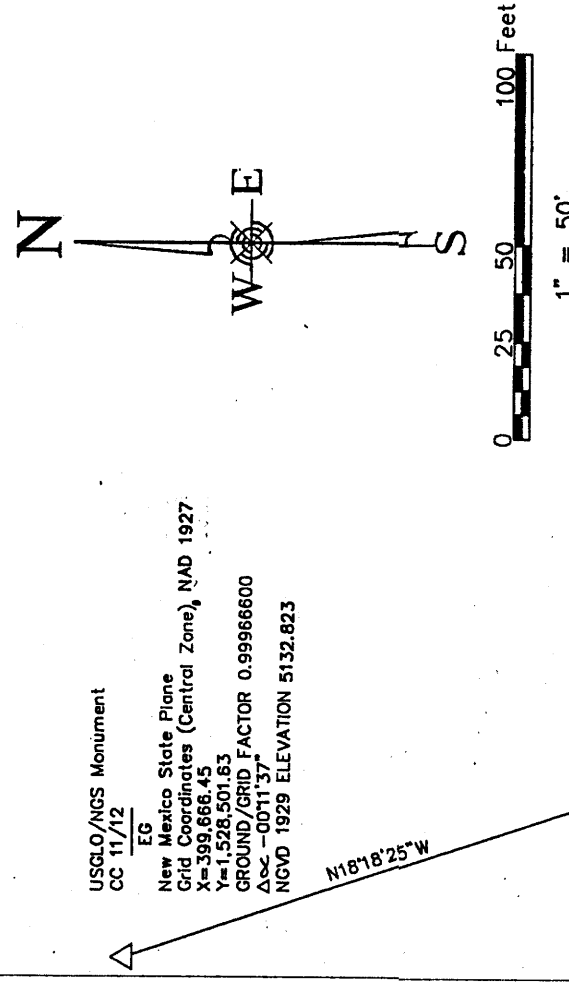
PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

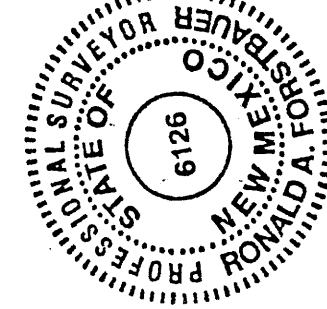
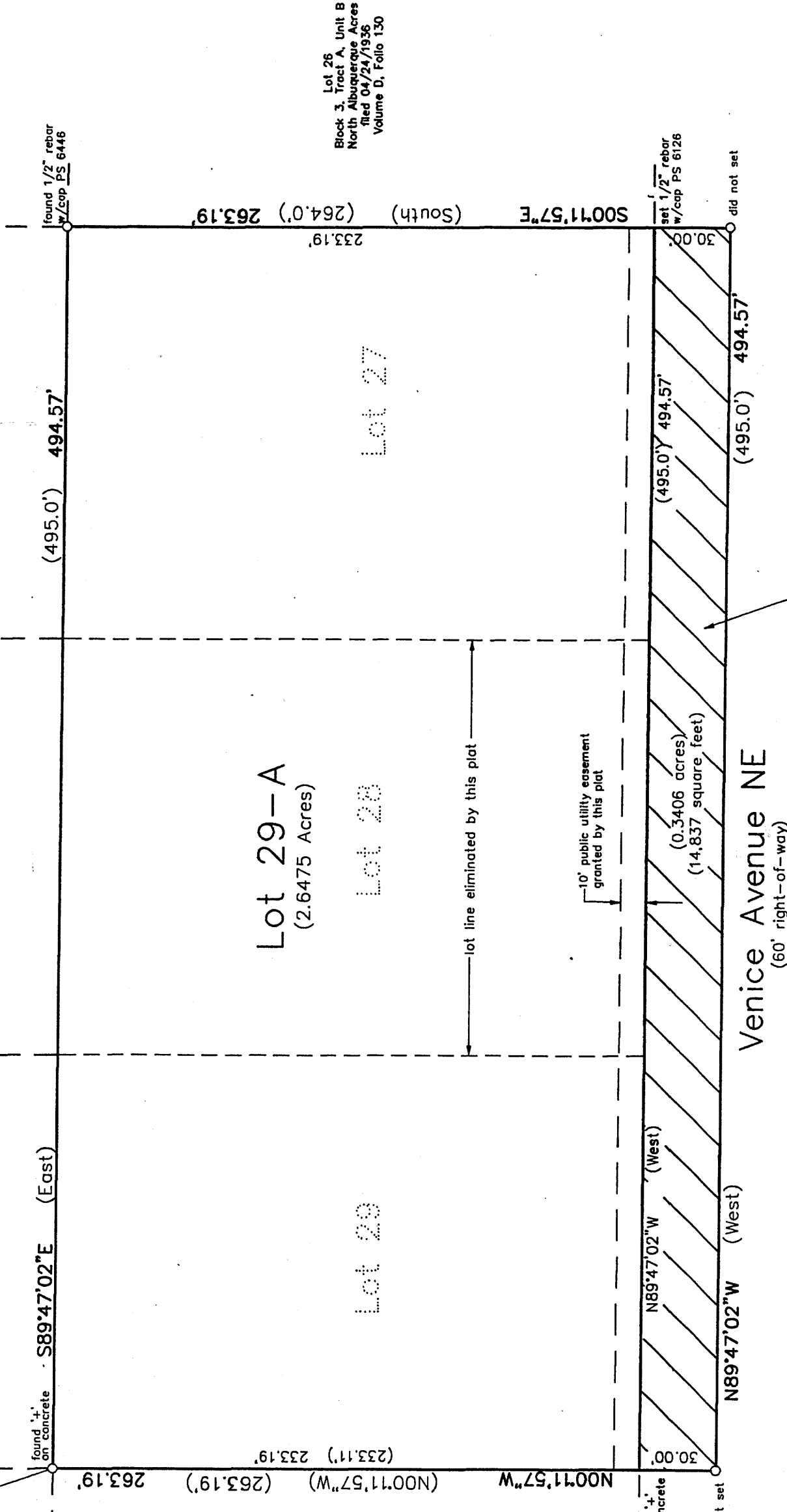
- The Public Service Co. of NM - Electric Services Division for the installation, maintenance, and service of overhead and underground electric lines, transformers, substations, structures and related facilities reasonably necessary to provide electrical service.
- The Public Service Co. of NM - Gas Services Division for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Owens for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, move, repair, operate, and maintain facilities for the purposes described above, together with the right to use, occupy, and control the land and any working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No easement shall be created or constructed on said easements, nor shall any other structure be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting or any National Electric Safety Code caused by construction or poles, necking, or any structures adjacent to, within, or near easements shown on this plat.

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
OWENS COMMUNICATIONS	DATE
COMCAST CABLE	DATE

Easements for electric transformers/switchgear, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



USDA/NRCS Monument
CS-1122
New Mexico State Plane
NAD 83
Zone 10N
Central Zone, NAD 1987
NAD 83
GEOID/GRID FACTOR 0.9998600
NAD 1983 ELEVATION 5132.823



The owners of the property shown hereon acknowledge the public street right-of-way of Venic Avenue NE and hereby waive any 1/4th within said right-of-way.

PLAT OF
Lot 29-A
Block 3, Tract A, Unit B
North Albuquerque Acres
BEING A REPLAT OF
Lots 27, 28 & 29
Block 3, Tract A, Unit B
North Albuquerque Acres
Within
Projected Section 13, T.11N., R.3E., N.M.P.M.
Elena Gallegos Grant
Albuquerque, Bernalillo County, New Mexico
December 2002

APPROVED AND ACCEPTED BY:

PLANNING DEPARTMENT, DRB CHAIR _____ DATE _____

CITY ENGINEER/HYDROLOGY _____ DATE _____

PARKS & RECREATION _____ DATE _____

TRANSPOSITION DEVELOPMENT _____ DATE _____

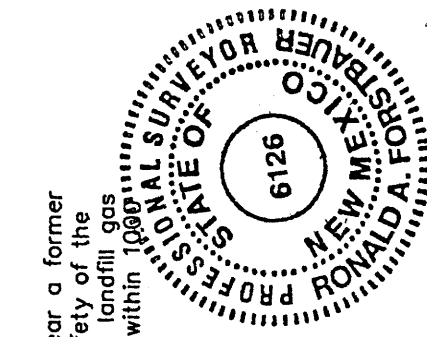
CITY SURVEYOR _____ DATE 1-14-03

REAL PROPERTY _____ DATE _____

UTILITY DEVELOPMENT _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

ENVIRONMENTAL HEALTH _____ DATE _____

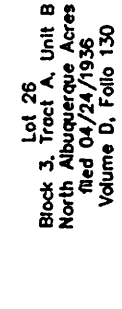


The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautions were taken by a professional engineer with the expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within Landfills Part of Landfill") shall be consulted prior to development of the site.

Ronald A. Forstbauer
Ronald A. Forstbauer
NMPFS No. 6126
Date 1/14/03

Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax: 268-2032

PLAT OF
Lot 29-A
Block 3, Tract A, Unit B
North Albuquerque Acres
BEING A REPLAT OF
Lots 27, 28 & 29
Block 3, Tract A, Unit B
North Albuquerque Acres
Within
Elena Gallegos Grant
Projected Section 13, T.11N., R.3E., N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
December 2002



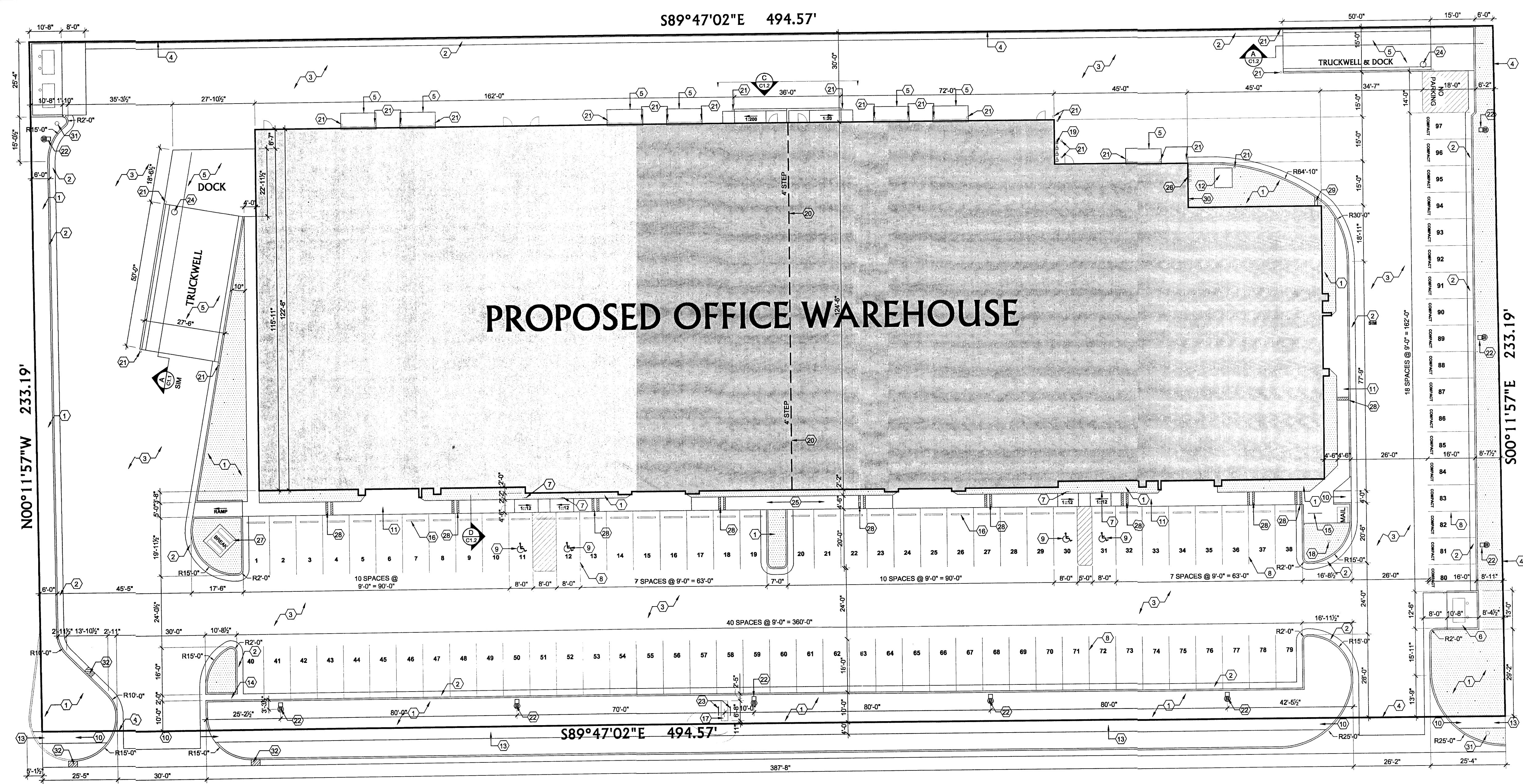
SURVEYOR'S AFFIDAVIT
I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the requirements of the Uniform Land Use System Act and the City of Albuquerque Ordinance No. 10-1-1999, and that the City of Albuquerque has approved the plat and the City of Albuquerque has adopted the New Mexico Board of Licensure for Professional Engineers and Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Commitment File No. 21351789 issued by Albuquerque Title Company, on December 04, 2002, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
Ronald A. Forstbauer
NMPFS No. 6126
Date 1/14/03

Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax: 268-2032

KEYED NOTES:

- 1.) LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
- 2.) MEDIAN CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 3.) 3" ASPHALT PAVING @ DRIVELANES, 2" ASPHALT PAVING @ PARKING STALLS.
- 4.) PROPERTY LINE.
- 5.) 5" THICK CONCRETE DRIVEPAD.
- 6.) DUMPSTER PAD, APRON, AND ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAIL G/C1.2 & H/C1.2.
- 7.) POLE MOUNTED HANDICAPPED PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS.
- 8.) PARKING STALL STRIPING.
- 9.) PAINTED HANDICAPPED PARKING SYMBOL.
- 10.) CURB RAMP PER CITY STANDARDS. 36" WIDE, 1:12 MAX. SLOPE, 1:10 SIDE SLOPE.
- 11.) 4'-6" WIDE CONCRETE SIDEWALK.
- 12.) POWER TRANSFORMER LOCATION PAD MOUNTED, PER PNM SPECIFICATIONS.
- 13.) 4'-0" CITY SIDEWALK.
- 14.) CONCRETE CHANNEL. SEE GRADING & DRAINAGE PLAN.
- 15.) BIKE RACK. SEE DETAIL MC1.2.
- 16.) PARKING BUMPER SET 2'-0" FROM CURB.
- 17.) MONUMENT SIGN. SEE DETAIL K/C1.2 INDIVIDUAL SUITE SIGNAGE/IDENTIFICATION 18"x24" TO BE BUILDING MOUNTED AT EACH ENTRY.
- 18.) FLAGPOLE. 25' HIGH POLE W/BRUSHED ALUMINUM FINISH.
- 19.) GAS METER LOCATIONS. (4 OVER 5, 9 TOTAL).
- 20.) 4'-0" CHANGE IN BUILDING SLAB ELEVATION.
- 21.) 6" STEEL BOLLARDS. FILLED W/ CONCRETE. SEE DETAIL F/C1.2.
- 22.) POLE LIGHT SEE DETAIL L/C1.1. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING. ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE ORDINANCES.
- 23.) MONUMENT SIGN LIGHTING.
- 24.) SUMP PUMP.
- 25.) RAMP. 1:20 MAX. SLOPE.
- 26.) ELECTRICAL METER LOCATION 3 HIGH, 3 WIDE PLUS HOUSE METER.
- 27.) 8"x8" CONC. PAD FOR PICNIC TABLE.
- 28.) SIDEWALK TRENCH DRAIN, REFER TO DETAIL E/C1.2.
- 29.) CONC. SLAB RUNDOWN.
- 30.) TELEPHONE DEMARKATION PANEL.
- 31.) FIRE HYDRANT LOCATION.
- 32.) DROP INLET. SEE GRADING & DRAINAGE PLAN.



LANDSCAPE NOTES

- 1.) ALL PLANTING IMPROVEMENTS ARE TO BE WATERED BY MEANS OF A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH SPRAY HEADS, STREAM BUBBLERS, AND FLOOD BUBBLERS. THE SOURCE OF IRRIGATION WATER SHALL BE CITY OF ALBUQUERQUE WATER SYSTEM.
- 2.) ALL PLANTING AND IRRIGATION IMPROVEMENTS ARE TO BE MAINTAINED BY THE OWNER.
- 3.) LANDSCAPING TO CONFORM W/ COA LANDSCAPE ORDINANCE.
- 4.) LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING THE ADJUTING PUBLIC RIGHT OF WAY, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OF LOTS 30A, BLOCK 3, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES AND ITS ASSIGNS AND/OR TRANSFERS.

BUILDING & SITE DATA

PROJECT: SAN MATEO INDUSTRIAL PARK BUILDING #6 OFFICES / SHOWROOM / WAREHOUSES (SHELL)

ADDRESS: 5401 VENICE N.E. SUITES A THRU I ALBUQUERQUE, NEW MEXICO 87113

LEGAL DESCRIPTION: LOTS #27, 28 & 29 BLOCK 3 TRACT A UNIT B N.A.A. TO BE REPLATTED TO LOT 28A BLOCK 3 TRACT A UNIT B N.A.A.

EXISTING ZONING: IP

ZONE MAP: B-18-Z

LANDSCAPE & PARKING CALCULATIONS

LOT 28A	
LANDSCAPE REQUIREMENTS:	115,326 SQ. FT.
TOTAL SITE AREA:	42,493 SQ. FT.
TOTAL BUILDING AREA:	2,176 SQ. FT.
OFFSITE AREA:	70,657 SQ. FT.
NET SITE AREA:	
LANDSCAPE REQUIRED (15% OF NET SITE AREA):	10,599 SQ. FT.
LANDSCAPE PROVIDED:	12,925 SQ. FT.
PARKING REQUIREMENTS:	
OFFICE (200):	13,975 SQ. FT. = 70
WAREHOUSE (2000):	28,478 SQ. FT. = 15
TOTAL REQUIRED:	85
TOTAL PROVIDED:	97
HANDICAPPED REQUIRED:	4
HANDICAPPED PROVIDED:	(1 VAN SPACE) 4
BICYCLE SPACES REQ'D:	5
BICYCLE SPACES PROVIDED:	6

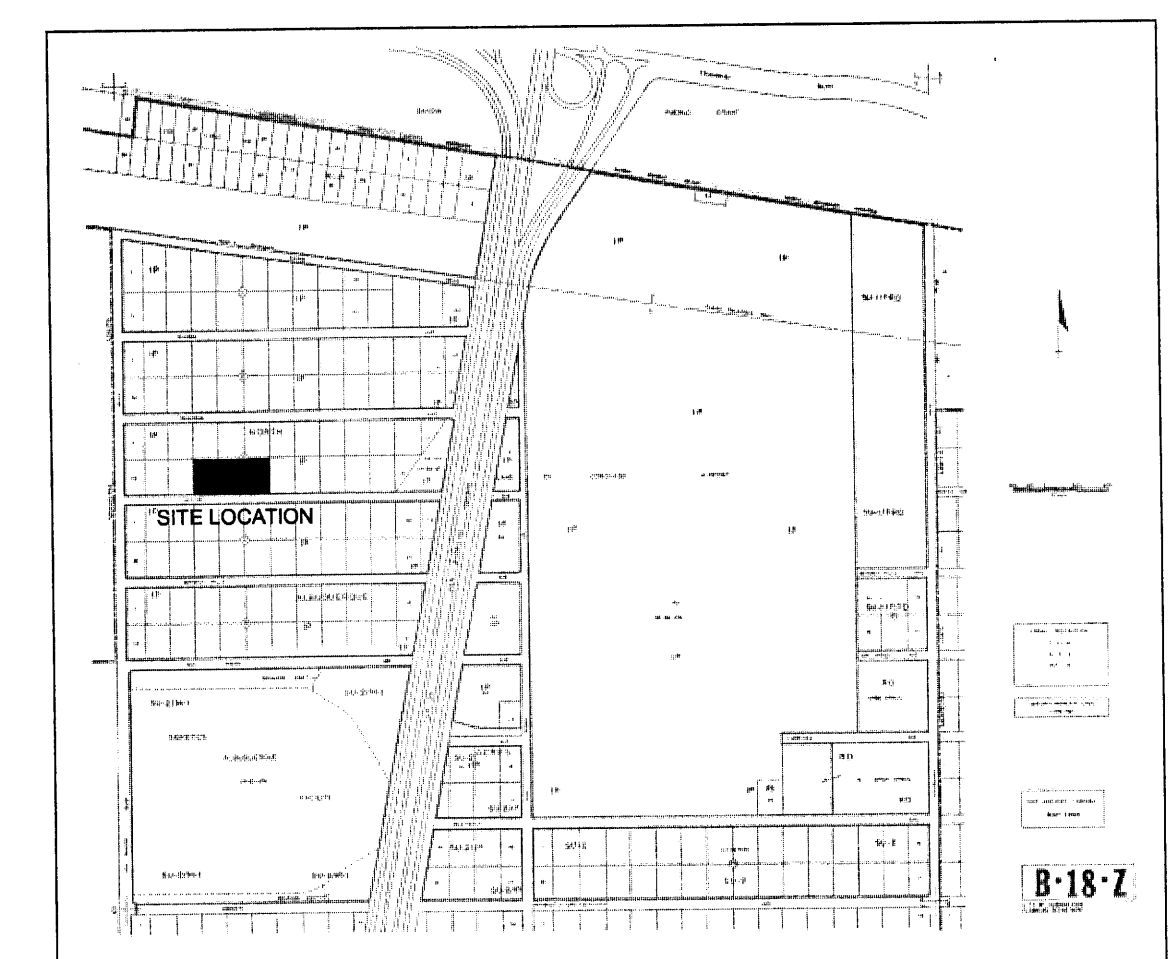
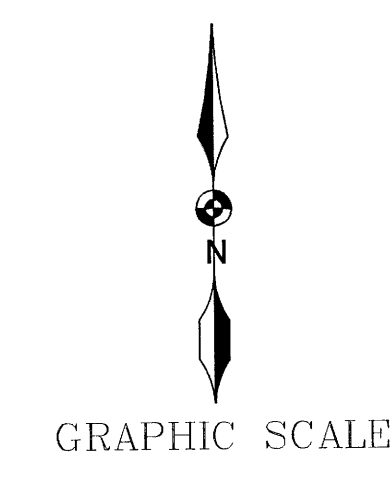
GENERAL NOTES:

- A.) NO PERMATE CHAIN LINK FENCE WILL BE USED ON THIS PROJECT.
- B.) ALL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING OR POLE LIGHTING. LIGHTING TO MEET ALL APPLICABLE ORDINANCES.

LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL CERTAIN PER CAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE "INTERIM GUIDELINES FOR DEVELOPMENT" WITHIN 1000 FEET OF LANDFILLS" (REVISED AUGUST 28, 2000) SHALL BE CONSULTED PRIOR DEVELOPMENT OF THE SITE.

VENICE BLVD.



VICINITY MAP
SCALE = N.T.S.

CASE NUMBER: Z-_____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON _____, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

DESIGN AND DEVELOPMENT, CIP

PUBLIC WORKS, WATER UTILITIES DIVISION

CITY ENGINEER, ENGINEERED DIVISION / AMAFCA

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

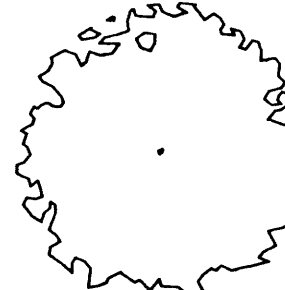
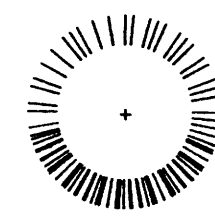

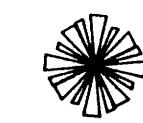
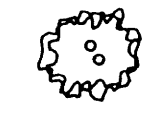

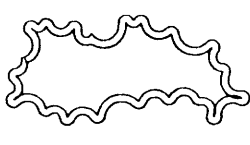










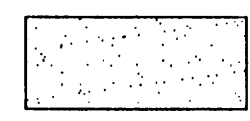
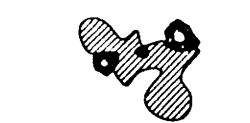
CITY PLANNER, ALBUQUERQUE, PLANNING DIVISION

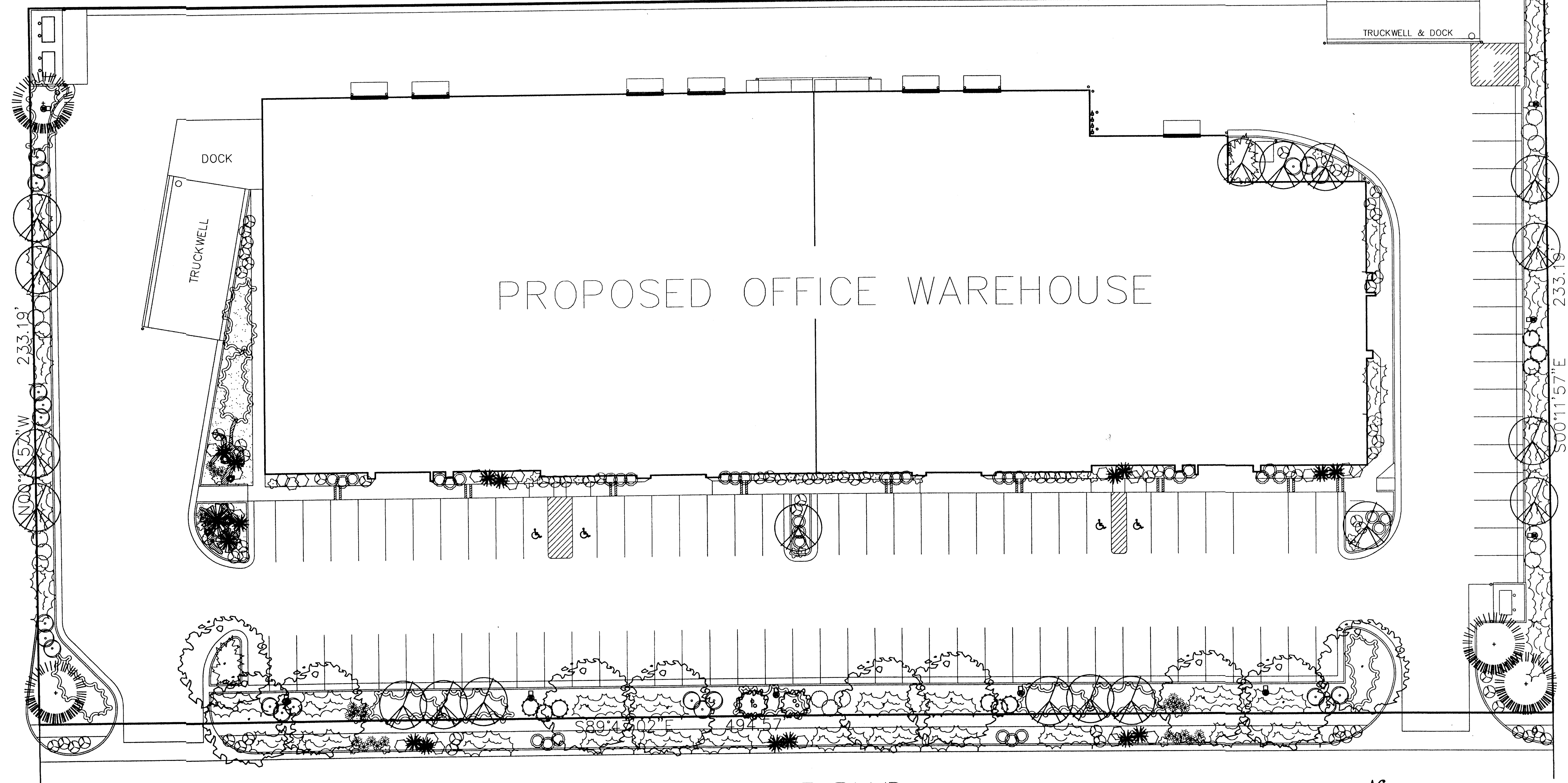
PLNz (10706) 4/96

PROPOSED SITE DEVELOPMENT PLAN

S89°47'02"E 494.57'

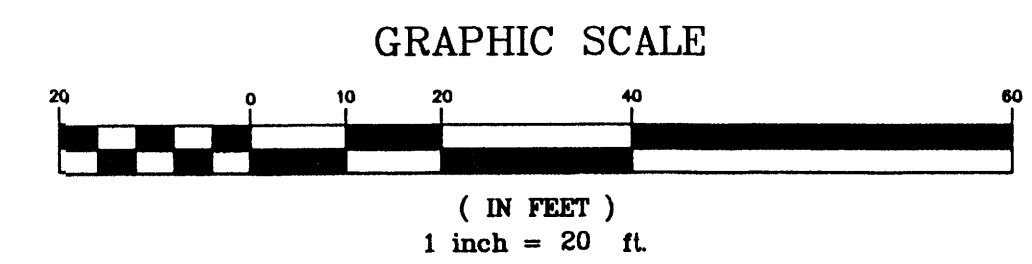
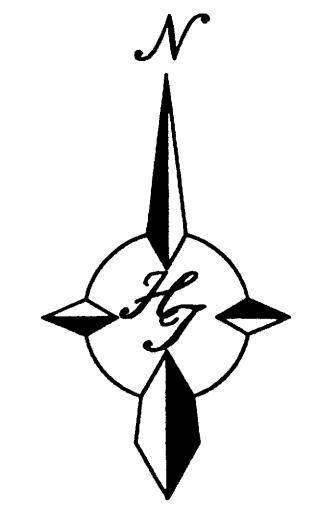
PLANT LEGEND

-  RAYWOOD ASH (H) 10
Fraxinus pennsylvanica
2-1/2" Cal.
-  AUSTRIAN PINE (H) 4
Pinus nigra
6"-8"
-  FLOWERING PEAR (H) 19
Pyrus calleryana
2-1/2" Cal.
-  PALM YUCCA (L) 2
Dasyliroa wheeleri
-  COMPACT MAHONIA
Mahonia compacta
5 Gal.
-  APACHE PLUME (L) 15
Fallugia paradoxa
5 Gal. 25sf
-  BLUE CHIP JUNIPER 30
Juniperus horizontalis 'Blue Chip'
1 Gal.
-  TAM JUNIPER (M) 114
Juniperus sabinia
1 Gal. 225sf
-  RUSSIAN SAGE (L) 21
Perovskia atriplicifolia
5 Gal. 25sf
-  BUFFALO JUNIPER (L) 6
Juniperus sabena 'Buffalo'
1 Gal. 81 sf
-  LANAS BROOM (M) 9
Genista hispanica
5 Gal. 25 sf
-  RED YUCCA (L) 15
Hesperaloe parviflora
5 Gal.
-  BLUE MIST SPIREA (M) 26
Caryopteris clandonensis
5 Gal.
-  ROSEMARY (M) 36
Rosmarinus officinalis
2 Gal. 36sf
-  POTENTILLA (M) 27
Potentilla fruticosa
2 Gal.
-  AUTUMN SAGE (M) 23
Salvia greggii
2 Gal. 9sf
-  WILDFLOWER 76
1 Gal. 4sf
-  GRAY CRUSHER FINES WITH FILTER FABRIC
-  OVERSIZED GRAVEL & BOULDERS



PROPOSED OFFICE WAREHOUSE

VENICE BLVD.



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Crusher Fines over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

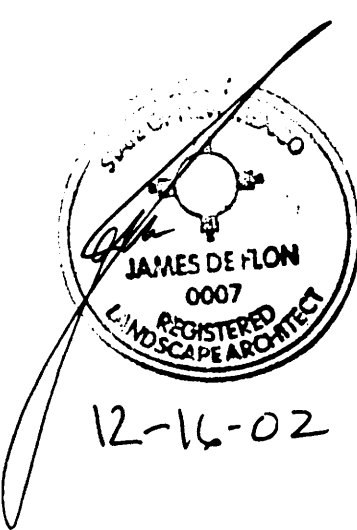
NET LANDSCAPE AREA	
TOTAL LOT AREA	115,326 square feet
TOTAL BUILDINGS AREA	42,493 square feet
OFFSITE AREA	2,176 square feet
NET LOT AREA	70,657 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	10,599 square feet
TOTAL LANDSCAPE PROVIDED	12,925 square feet
TOTAL BED PROVIDED	12,925 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Venice
Required #17 Provided #19

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



12-16-02

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmd@hilltoplandscaping.com

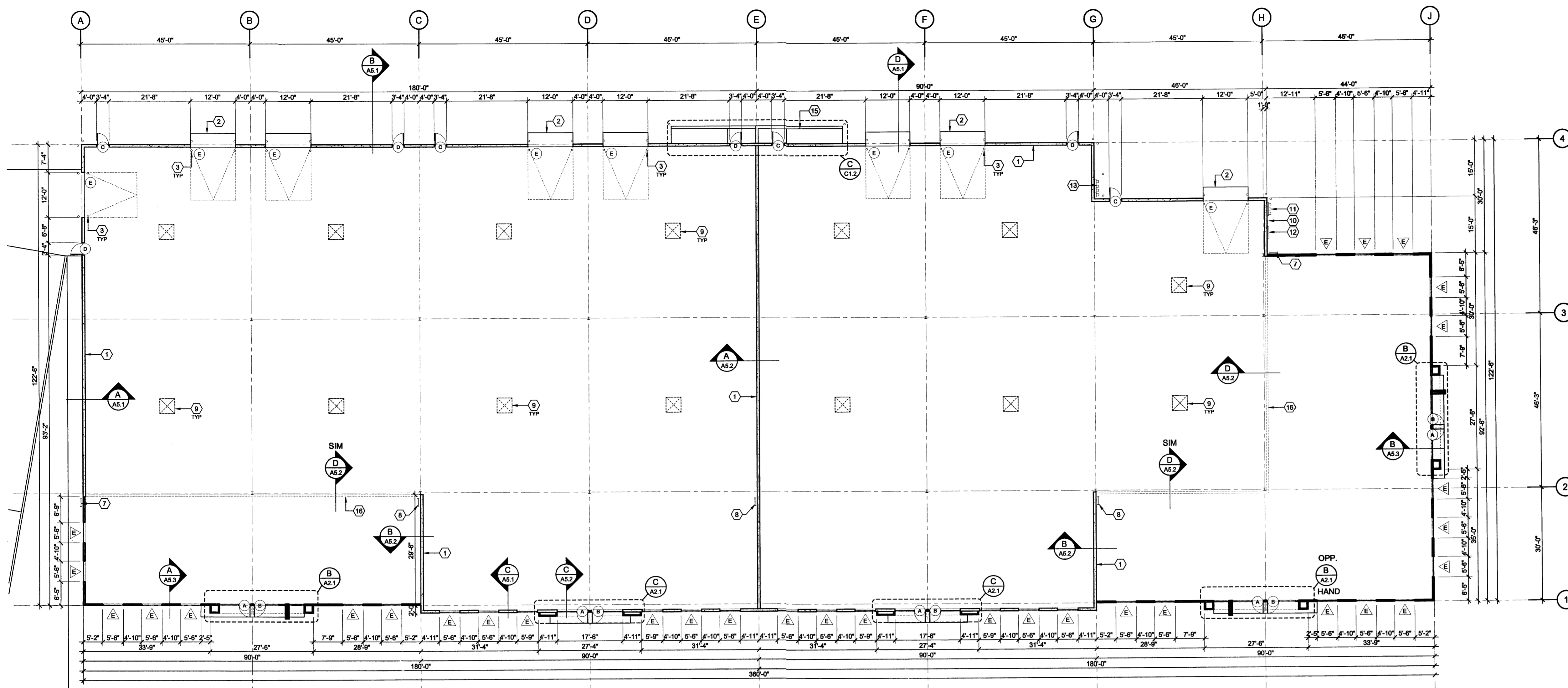
THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of THE HILLTOP.

PROPOSED OFFICE SHOWROOM WAREHOUSE
 LOT 28A, BLOCK 3, TRACT A UNIT B N.A.A.
 5401 VENICE
 ALBUQUERQUE, NEW MEXICO 87113

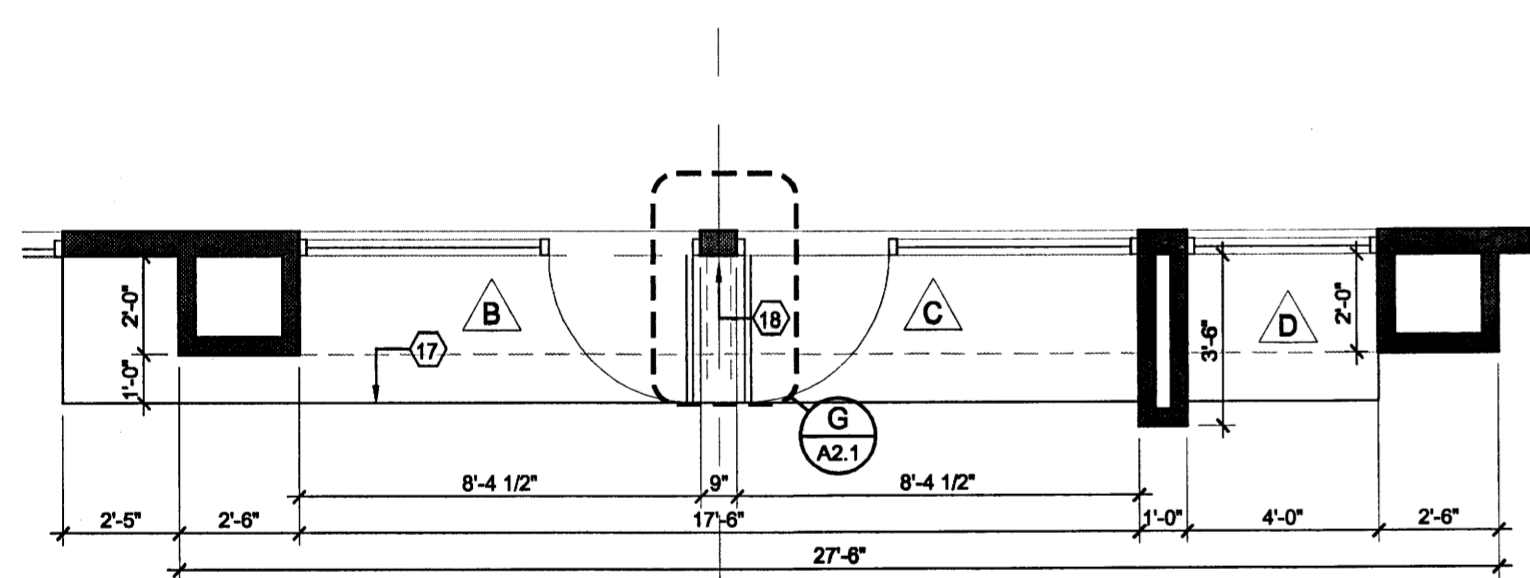
8000 WASHINGTON BLVD. SUITE A
 ALBUQUERQUE, NM 87113
 OFFICE: (505) 965-8676
 FAX: (505) 935-1616
 WWW.HILLTOPLANDSCAPING.COM
 LANDSCAPE ARCHITECTS

KEYED NOTES:

- 1) TILT UP PANEL WALL. REFER TO STRUCTURAL DRAWINGS.
- 2) 5" THICK CONCRETE DRIVEPAD.
- 3) 6" BOLLARD REFER TO DETAIL FC1.2.
- 4) NOT USED.
- 5) NOT USED.
- 6) NOT USED.
- 7) ROOF LADDER.
- 8) ROOF LADDER FROM LOW ROOF TO HIGH ROOF.
- 9) SKYLIGHT ABOVE. REFER TO ROOF PLAN.
- 10) HOUSE PANEL LOCATION.
- 11) ELECTRICAL METER LOCATION. 3 WIDE X 3 HIGH PLUS HOUSE.
- 12) TELEPHONE DEMARCATION PANEL LOCATION.
- 13) GAS METER LOCATIONS. (4 OVER 5)
- 14) NOT USED.
- 15) 8" BLOCK WALL 42" ABOVE HIGHEST GRADE, CAPPED & PAINTED. SEE DETAIL GC1.2
- 16) CLEARSTORY WALL ABOVE. REFER TO ROOF PLAN & SECTION DIA2.3.
- 17) CLEAR ANODIZED ALUMINUM SHADE STRUCTURE, REFER TO SHEET AS.3.
- 18) ALUMINUM FACED WALL. FINISH TO MATCH STOREFRONT.

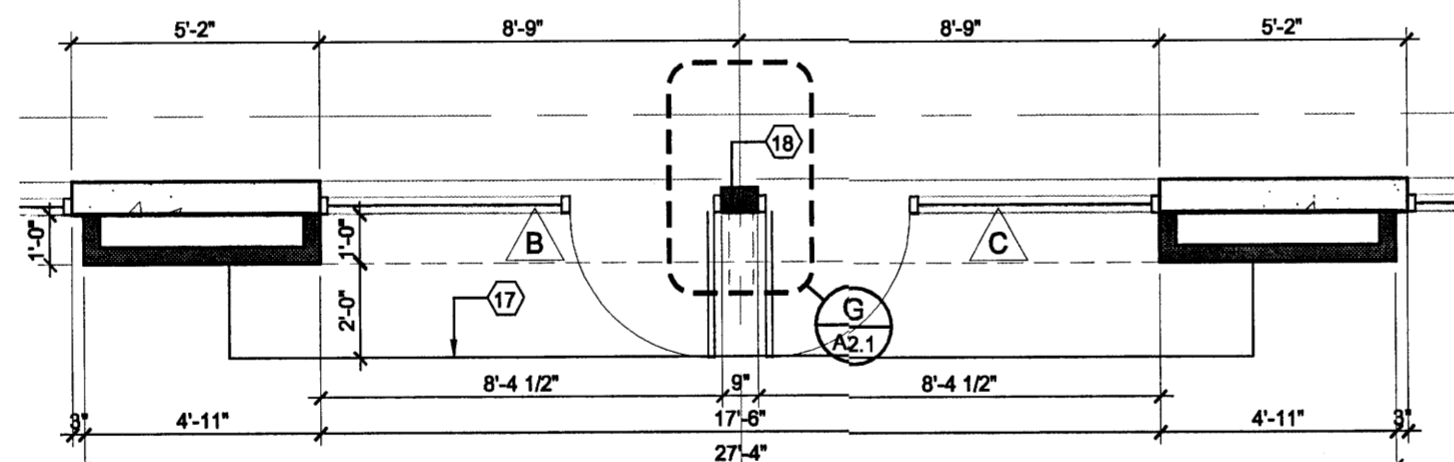


A FLOOR PLAN
SCALE = 1/16" = 1'-0"



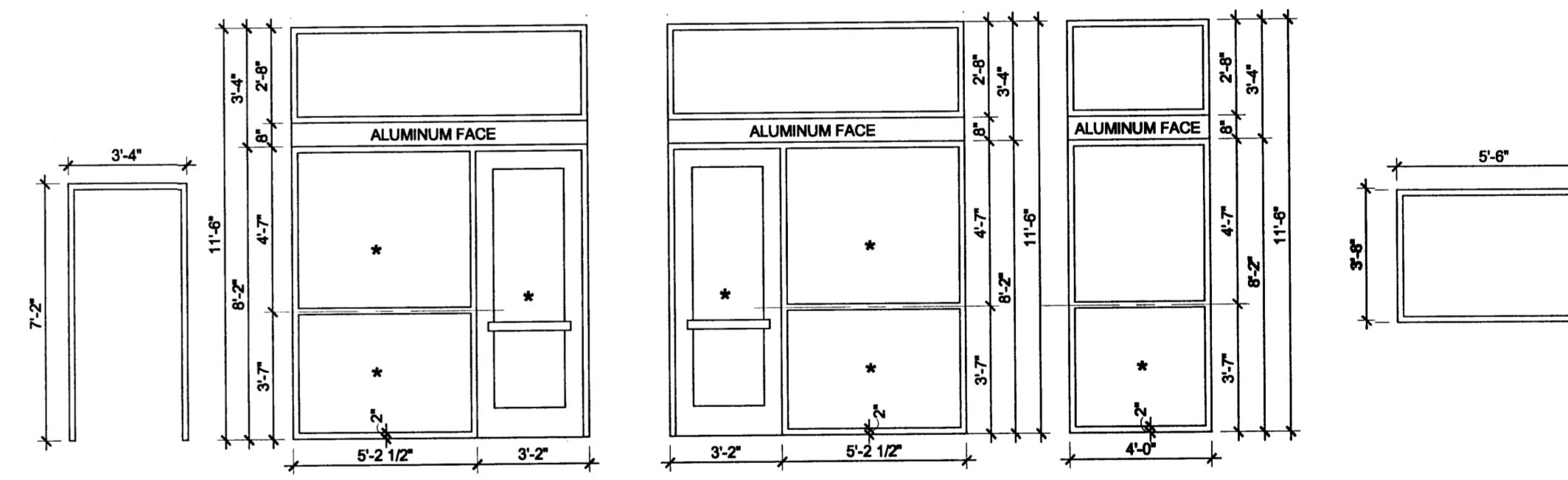
ALL DIMENSIONS ARE TO FINISH (NOT FRAME)

B ENLARGED ENTRY PLAN
SCALE = 1/4" = 1'-0"



ALL DIMENSIONS ARE TO FINISH (NOT FRAME)

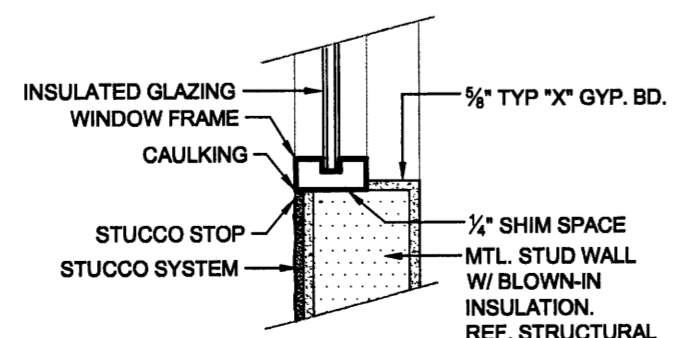
C ENLARGED ENTRY PLAN
SCALE = 1/4" = 1'-0"



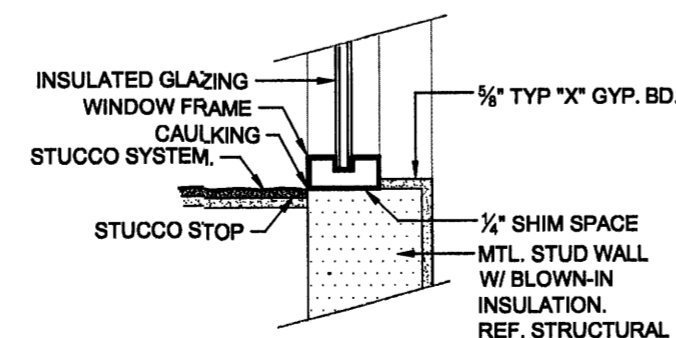
FRAME TYPES
SCALE = 1/4" = 1'-0"
* = SAFTY GLAZING AT THESE LOCATIONS

DOOR SCHEDULE											
DOOR NUMBER	OPENING SIZE/THICK	TYP	FRM	HD-DTL	JMB-DTL		SILL-DTL	LBL	HDW	SGN	REMARKS
					LEFT	RIGHT					
A	3'-0" X 8'-0" X 1 3/4"	B	AL	-	-	-	-	-	-	-	-
B	3'-0" X 8'-0" X 1 3/4"	B	AL	-	-	-	-	-	-	-	-
C	3'-0" X 7'-0" X 1 3/4"	A	HMF	-	-	-	-	-	-	-	-
D	3'-0" X 7'-0" X 1 3/4"	A	HMF	-	-	-	-	-	-	-	-
E	12'-0" X 14'-0" O.H.	C	-	-	-	-	-	-	-	-	-

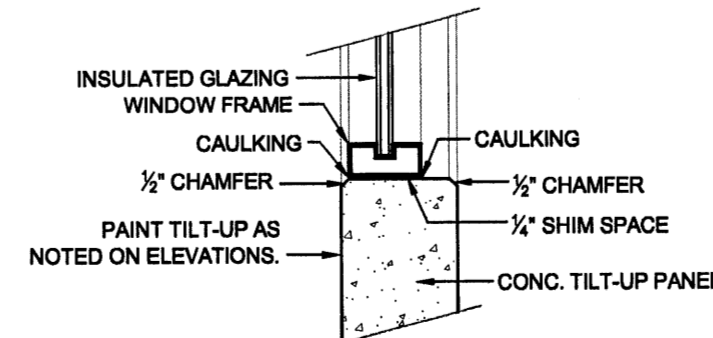
FRAME TYPE:
KD KNOCK DOWN (REDI) METAL
HMF HOLLOW METAL FRAME
AL ALUMINUM STORE FRONT



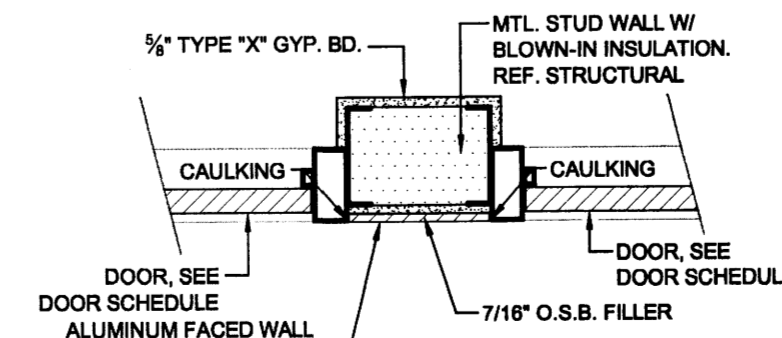
D WINDOW HEAD/JAMB AT MTL. STUD WALL
SCALE = 1" = 1'-0"



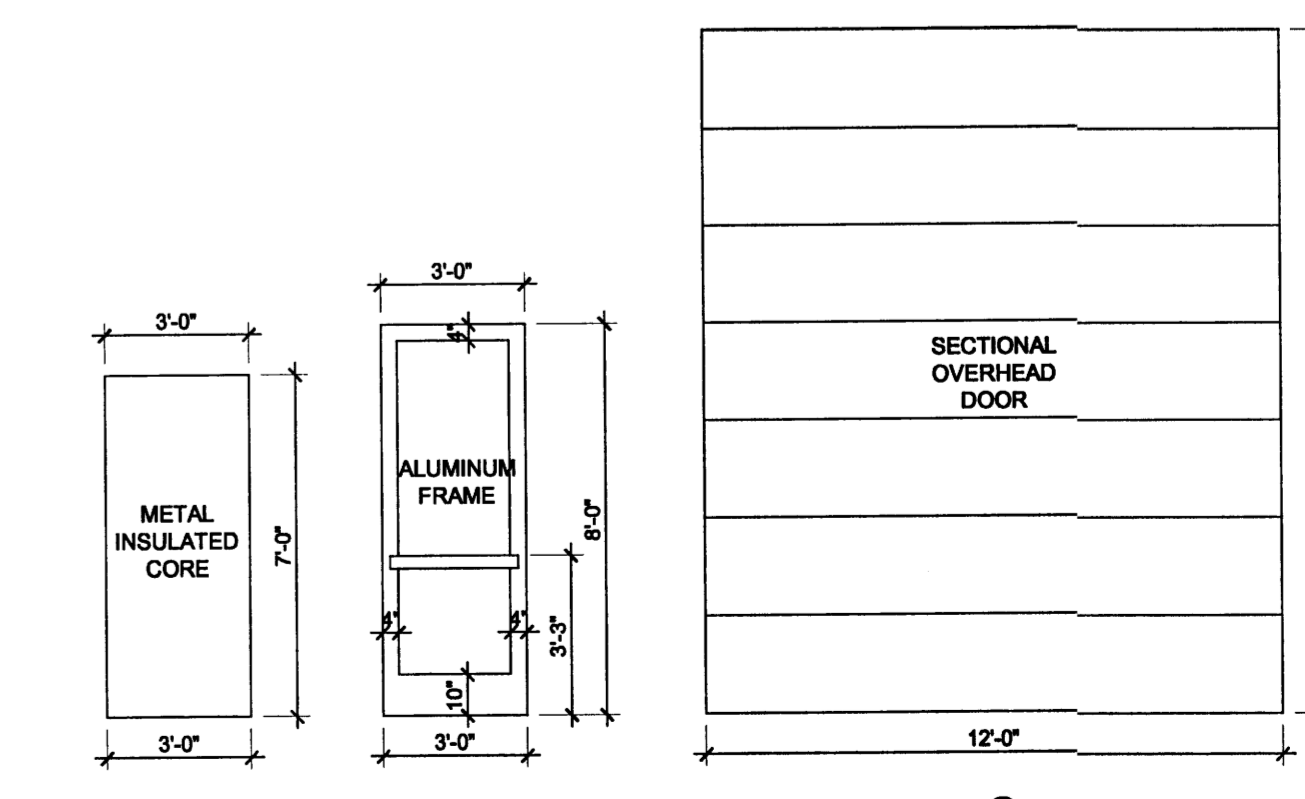
E WINDOW JAMB AT MTR. STUD WALL
SCALE = 1" = 1'-0"



F WINDOW HEAD/JAMB AT TILT-UP
SCALE = 1" = 1'-0"



G DOOR JAMB
SCALE = 1" = 1'-0"






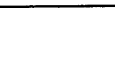
DOOR TYPES
SCALE = 1/4" = 1'-0"

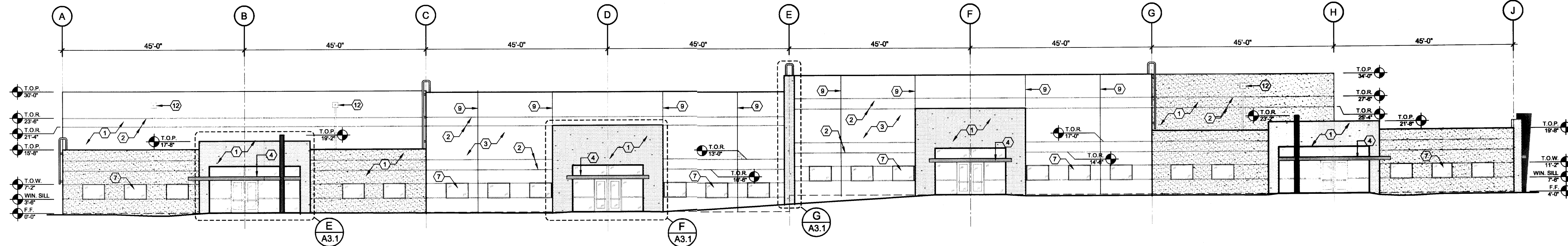
FLOOR PLAN

KEYED NOTES:

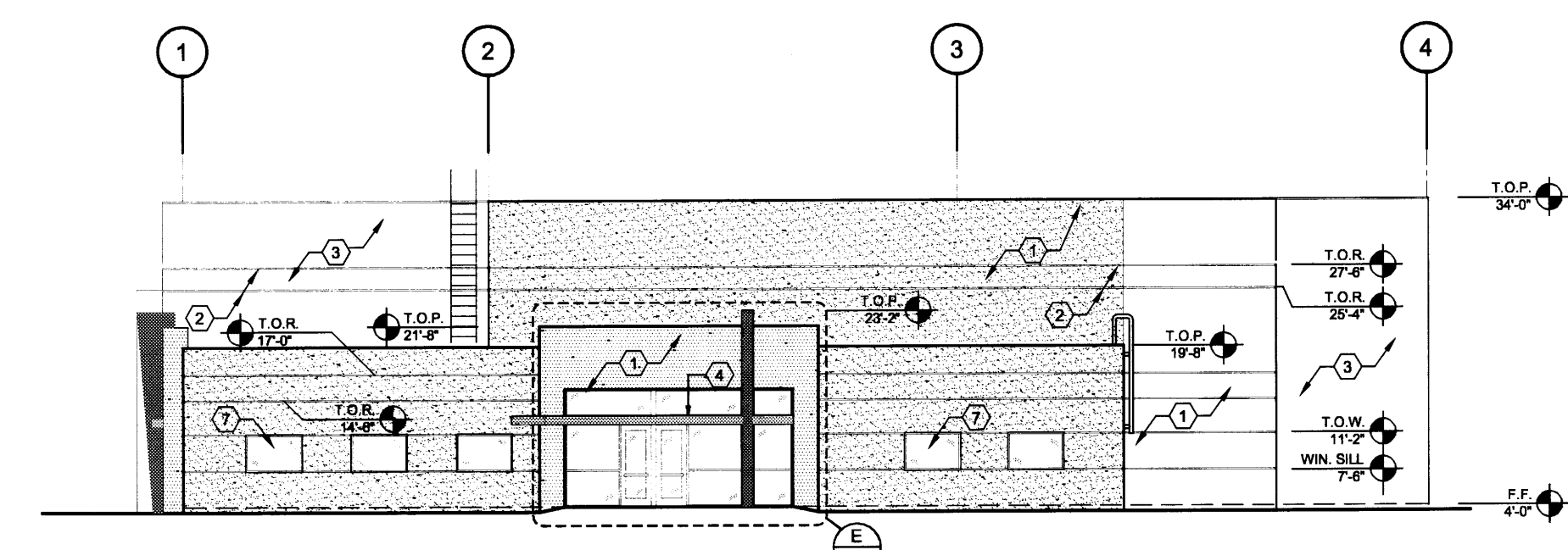
- 1) EPS STUCCO SYSTEM; REFER TO EXTERIOR FINISH LEGEND.
- 2) 1/2" DEEP RECESS, 1 1/2" WIDE. REFER TO DETAILS HIA3.1 & JIA3.1.
- 3) TILT UP PANEL PAINTED; REFER TO EXTERIOR FINISH LEGEND.
- 4) CLEAR ANODIZED ALUMINUM SUNSHADE, REFER TO SHEET A5.3.
- 5) STORE FRONT REFER TO FRAME TYPE ON SHEET A2.1.
- 6) SECTIONAL DOOR WITH BOLLARD EACH SIDE. REFER TO FLOOR PLAN SHEET A2.1.
- 7) WINDOW REFER TO FRAME TYPE "E" ON SHEET A2.1.
- 8) 6" BOLLARD. REFER TO DETAIL FC1.2.
- 9) TILT UP JOINT. REFER TO STRUCTURAL.
- 10) NOT USED.
- 11) ROOF ACCESS LADDER.
- 12) COLLECTOR HEAD AND DOWNSPOUT.

EXTERIOR FINISH LEGEND:

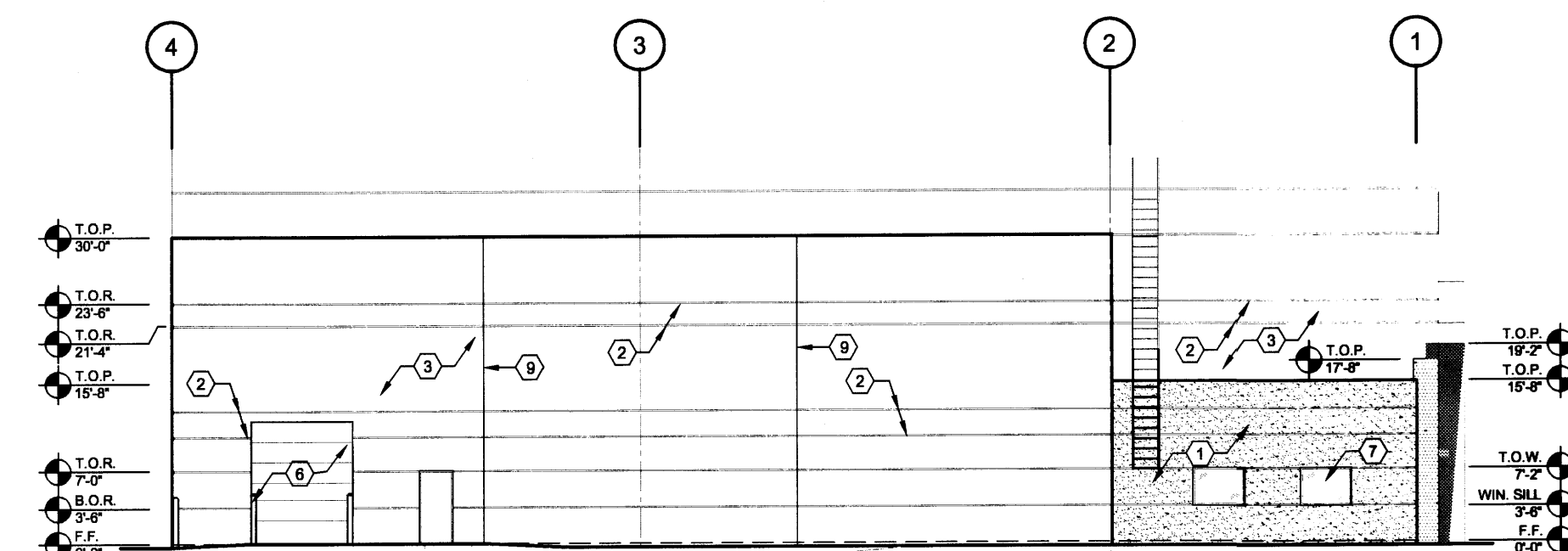
-  EPS STUCCO SYSTEM, COLOR BEIGE
-  EPS STUCCO SYSTEM, COLOR BROWN
-  EPS STUCCO SYSTEM, COLOR BLUE
-  TEXTURED PAINT, COLOR BEIGE



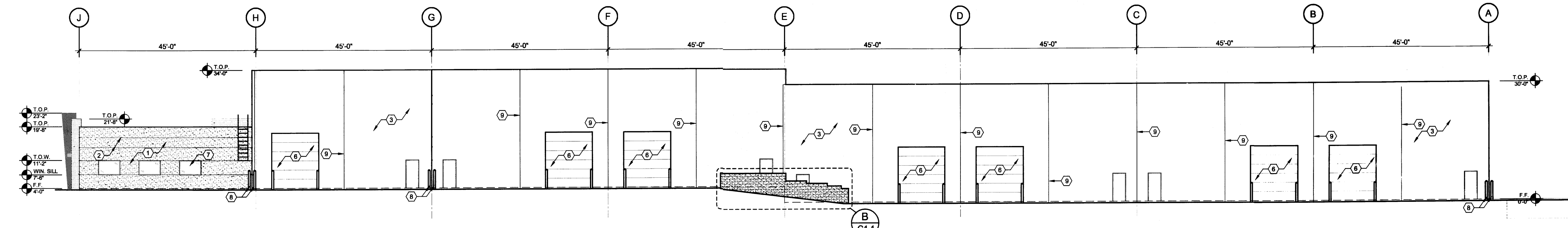
A FRONT ELEVATION - (SOUTH)
SCALE = 1/16" = 1'-0"



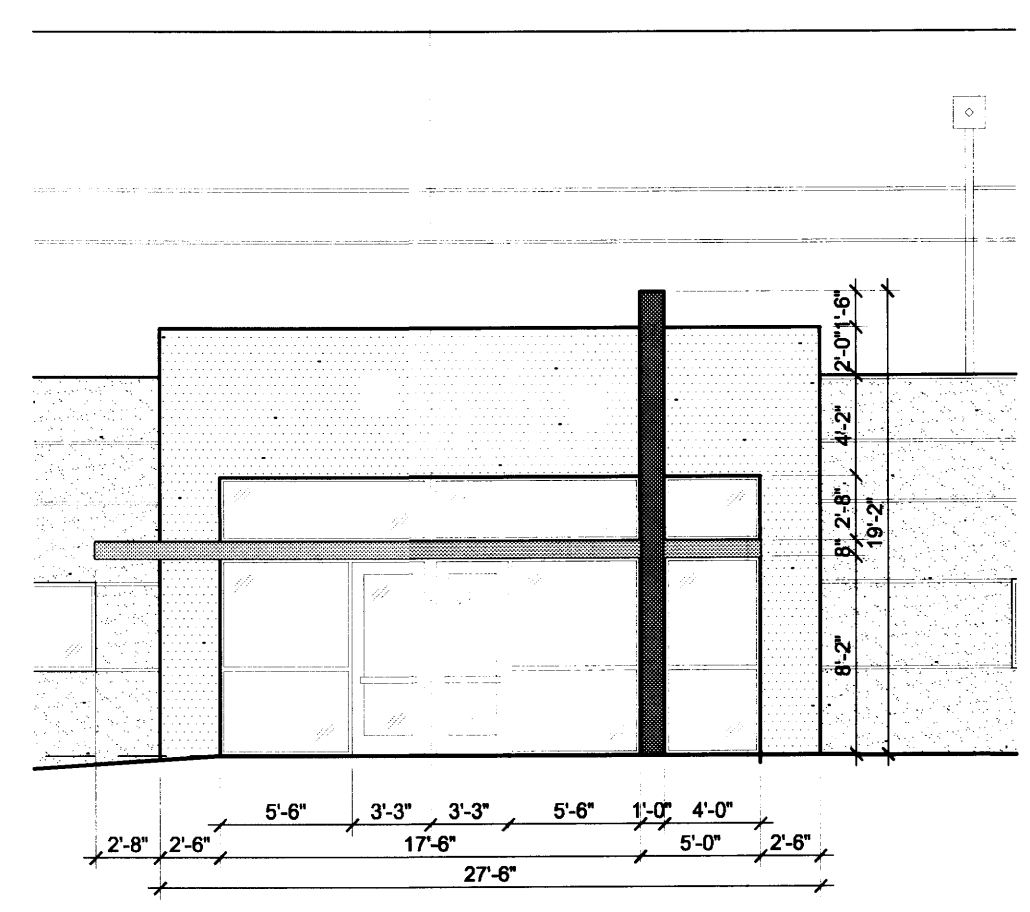
B RIGHT ELEVATION - (EAST)
SCALE = 1/16" = 1'-0"



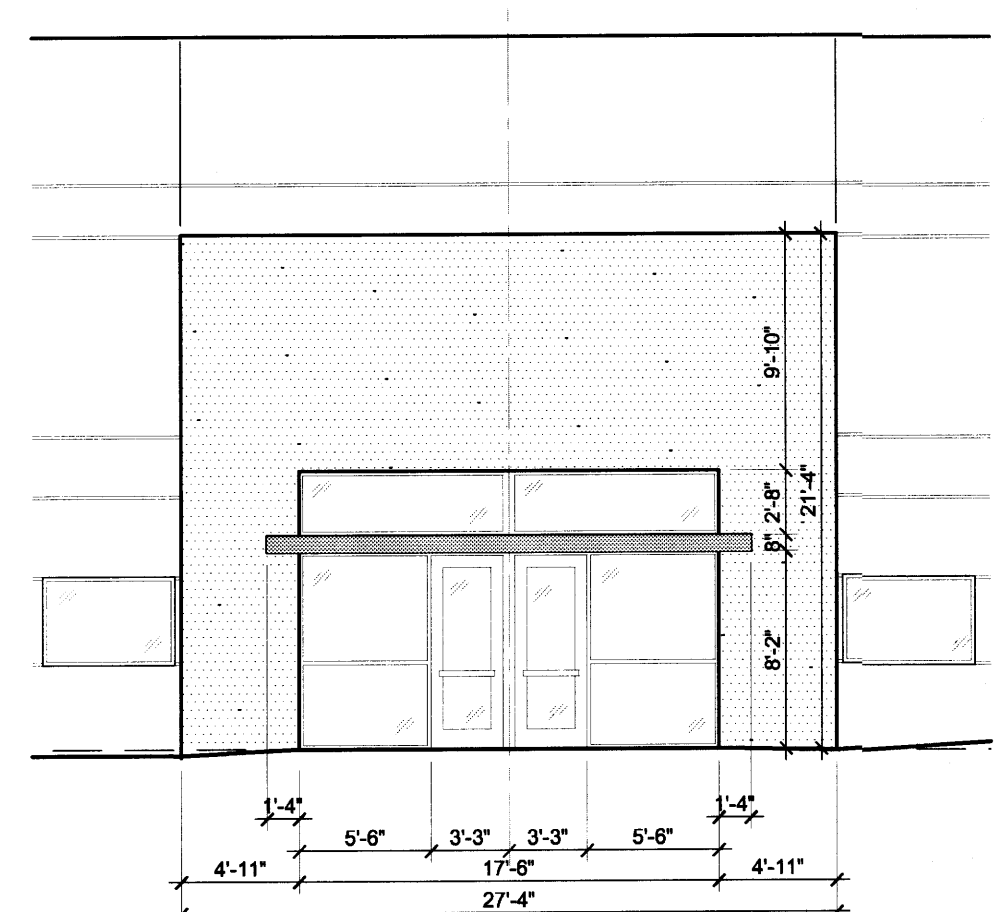
C LEFT ELEVATION - (WEST)
SCALE = 1/16" = 1'-0"



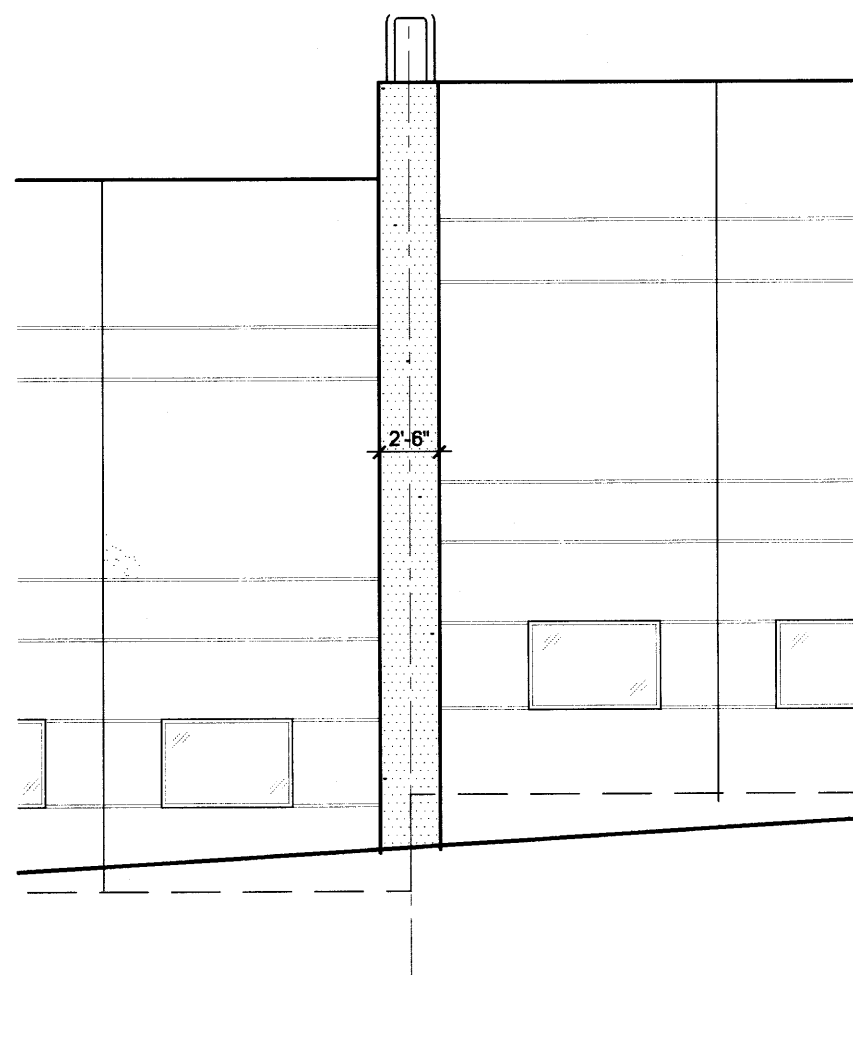
D BACK ELEVATION - (NORTH)
SCALE = 1/16" = 1'-0"



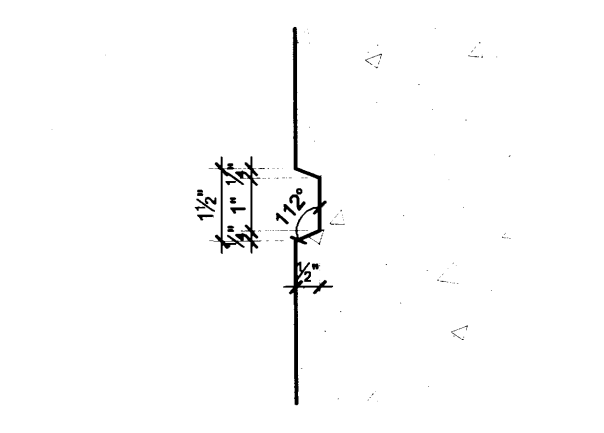
E ENLARGED ENTRANCE ELEV.
SCALE = 1/8" = 1'-0"



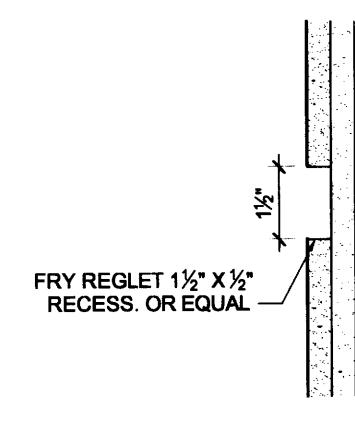
F ENLARGED ENTRANCE ELEV.
SCALE = 1/8" = 1'-0"



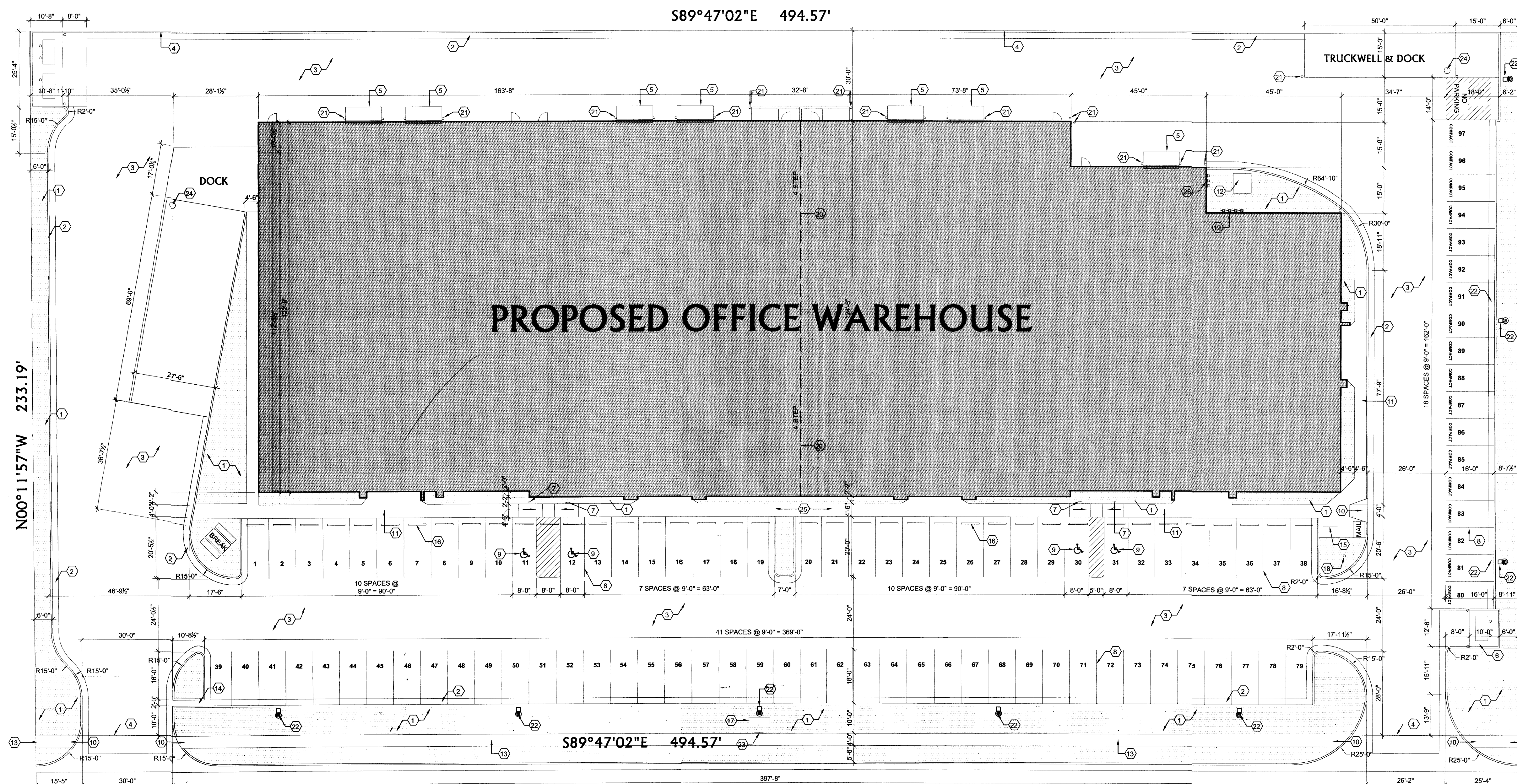
G ENLARGED BLDG. TRANSITION
SCALE = 1/8" = 1'-0"



H TYP. TILT-UP RECESS
SCALE = 3" = 1'-0"



J TYP. FRAME WALL RECESS
SCALE = 3" = 1'-0"



KEYED NOTES:

- 1) LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
- 2) MEDIAN CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 3) 3" ASPHALT PAVING @ DRIVELANES, 2" ASPHALT PAVING @ PARKING STALLS.
- 4) PROPERTY LINE.
- 5) 5" THICK CONCRETE DRIVEPAD.
- 6) DUMPSTER PAD AND ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAIL A/C1 & B/C1.
- 7) POLE MOUNTED HANDICAPPED PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS.
- 8) PARKING STALL STRIPING.
- 9) PAINTED HANDICAPPED PARKING SYMBOL.
- 10) CURB RAMPS PER CITY STANDARDS. 36" WIDE, 1:12 MAX. SLOPE, 1:10 SIDE SLOPE.
- 11) 4'-6" WIDE CONCRETE SIDEWALK.
- 12) POWER TRANSFORMER LOCATION PAD MOUNTED, PER PNM SPECIFICATIONS.
- 13) 4'-0" CITY SIDEWALK.
- 14) 2'-0" TRENCH DRAIN.
- 15) BIKE RACK. SEE DETAIL C/C1.
- 16) PARKING BUMPER SET 2'-0" FROM CURB.
- 17) MONUMENT SIGN. SEE DETAIL D/C1. INDIVIDUAL SUITE SIGNAGE/IDENTIFICATION 18"X24" TO BE BUILDING MOUNTED AT EACH ENTRY.
- 18) FLAGPOLE, 25' HIGH POLE W/BRUSHED ALUMINUM FINISH.
- 19) GAS METER LOCATIONS. (4 WIDE, 2 HIGH).
- 20) 4'-0" DROP IN BUILDING SLAB.
- 21) 6" STEEL BOLLARDS, FILLED W/ CONCRETE.
- 22) POLE LIGHT SEE DETAIL E/C1. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING. ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE ORDINANCES.
- 23) MONUMENT SIGN LIGHTING.
- 24) SUMP PUMP.
- 25) RAMP: 1:20 MAX. SLOPE.
- 26) ELECTRICAL METER LOCATION 3 HIGH, 3 WIDE.

LANDSCAPE NOTES

- 1) ALL PLANTING IMPROVEMENTS ARE TO BE WATERED BY MEANS OF A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH SPRAY HEADS, STREAM BUBBLERS, AND FLOOD BUBBLERS. THE SOURCE OF IRRIGATION WATER SHALL BE CITY OF ALBUQUERQUE WATER SYSTEM.
- 2) ALL PLANTING AND IRRIGATION IMPROVEMENTS ARE TO BE MAINTAINED BY THE OWNER.
- 3) LANDSCAPING TO CONFORM W/ COA LANDSCAPE ORDINANCE.
- 4) LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING THE ADJUTING PUBLIC RIGHT OF WAY, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OF LOTS 30A, BLOCK 3, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES AND ITS ASSIGNS AND/OR TRANSFERS.

BUILDING & SITE DATA

PROJECT:	SAN MATEO INDUSTRIAL PARK, BUILDING #5 OFFICES / SHOWROOM / WAREHOUSES (SHELL)
ADDRESS:	5401 VENICE N.E. SUITES A THRU E ALBUQUERQUE, NEW MEXICO 87113
LEGAL DESCRIPTION:	LOTS #27, 28 & 29 BLOCK 3 TRACT A UNIT B N.A.A. TO BE REPLATTED TO LOT 28A BLOCK 3 TRACT A UNIT B N.A.A.
EXISTING ZONING:	1P
ZONE MAP:	B-18-Z

LANDSCAPE & PARKING CALCULATIONS

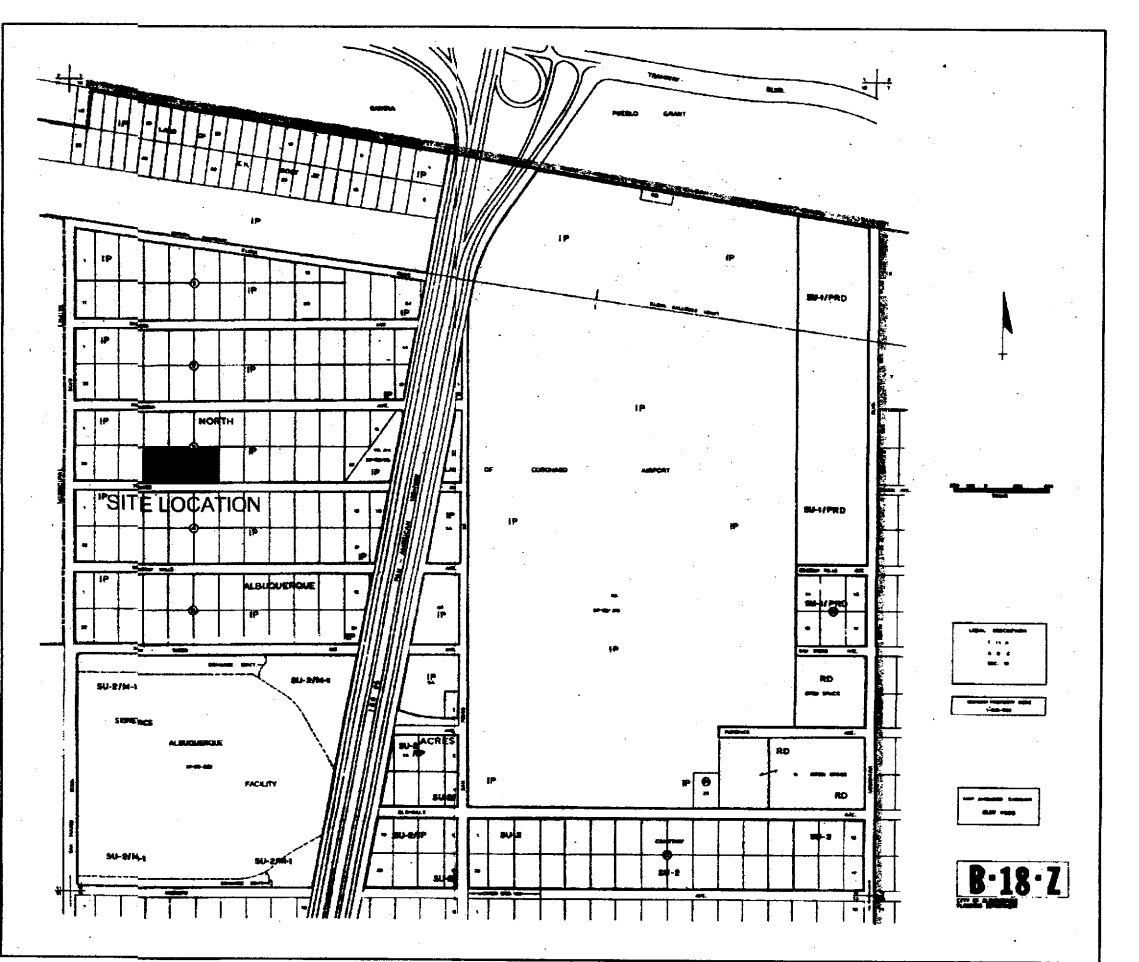
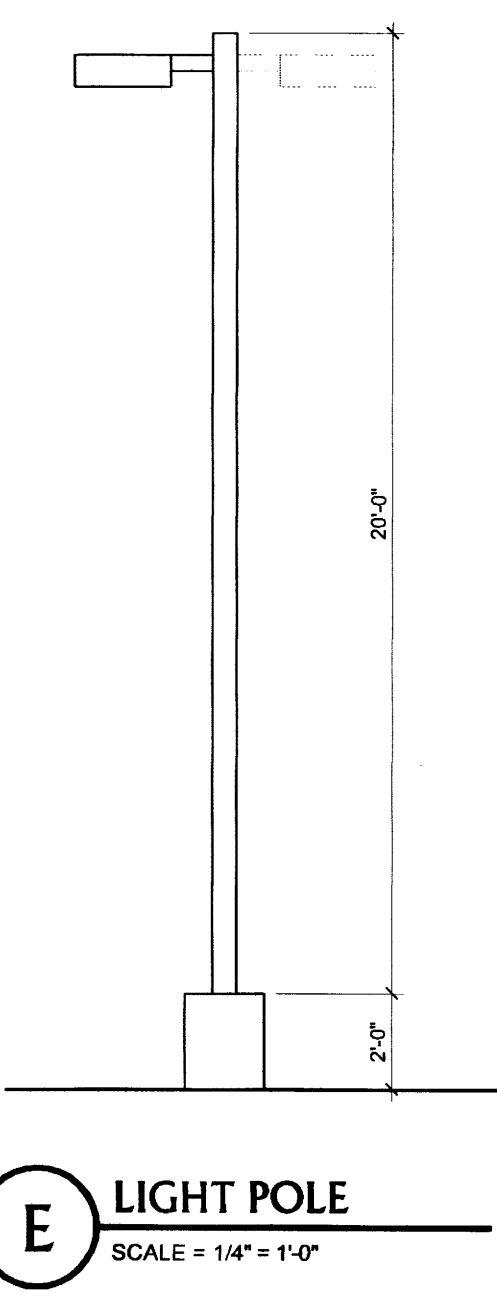
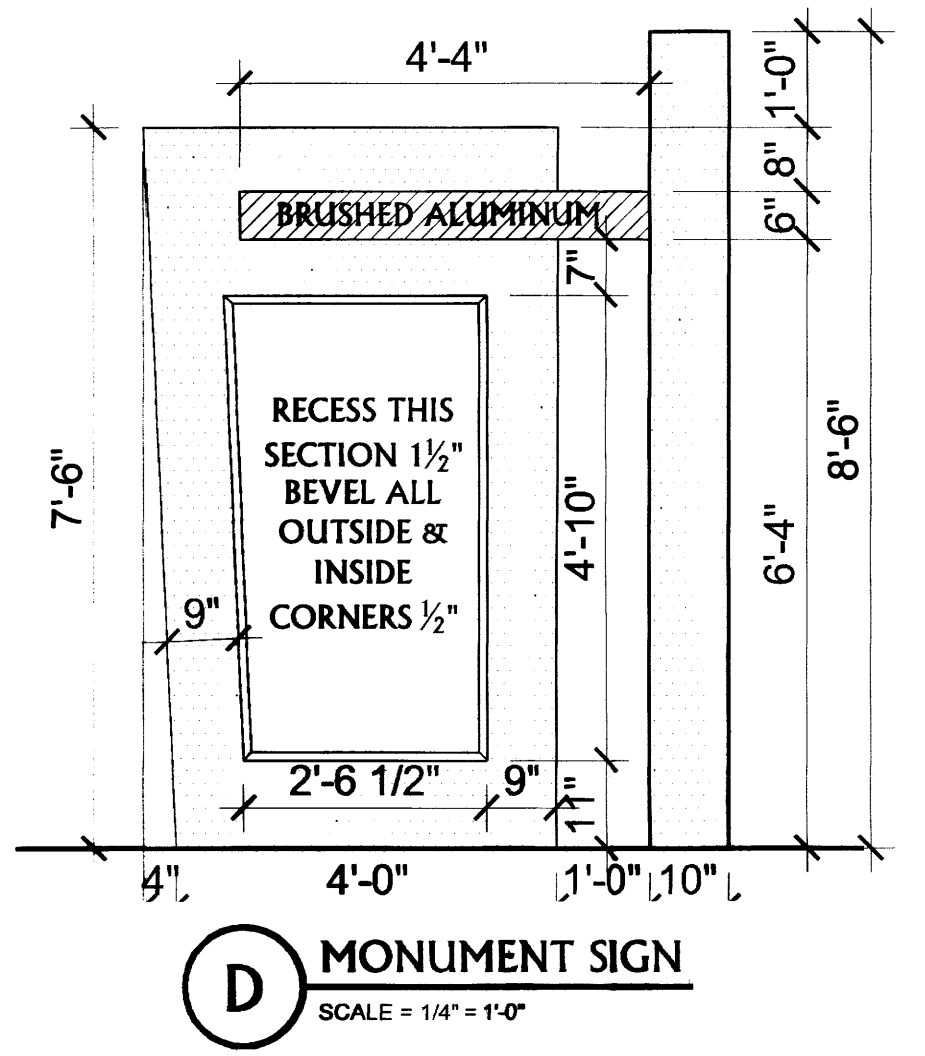
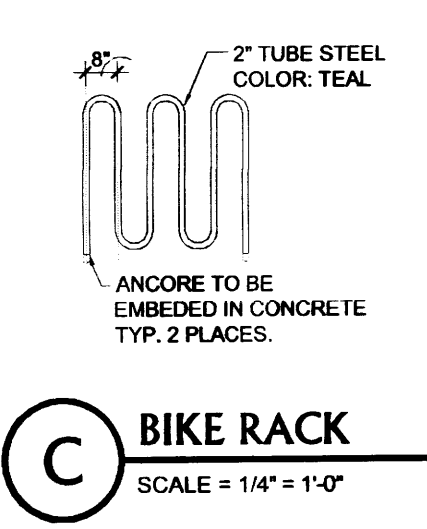
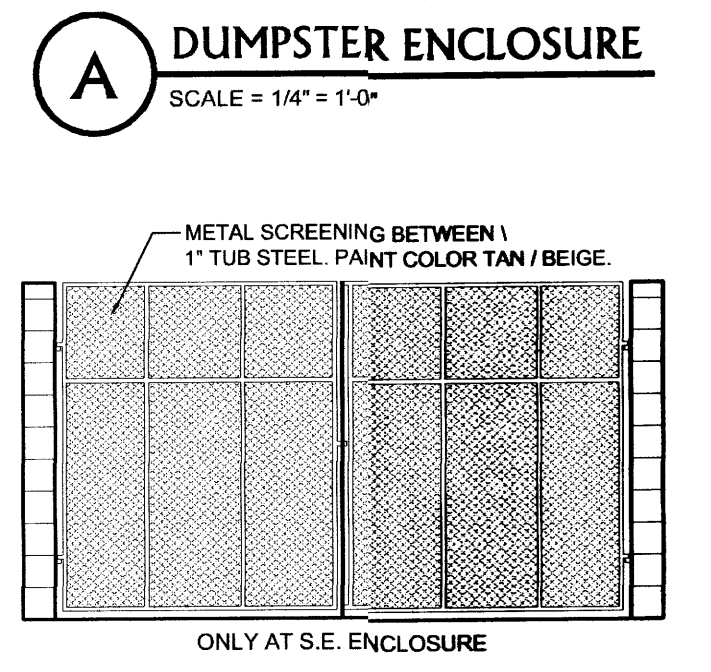
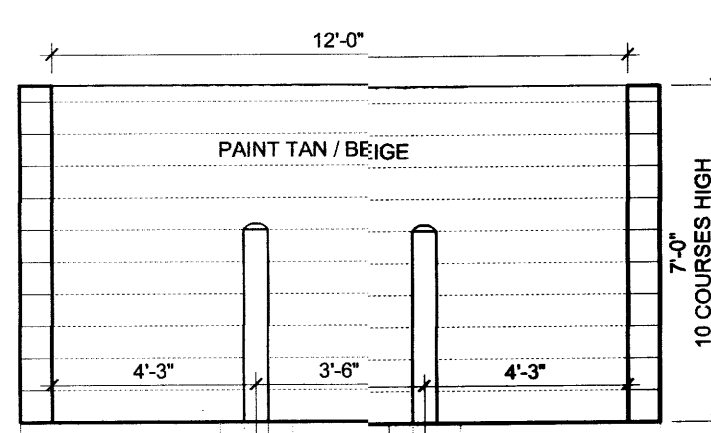
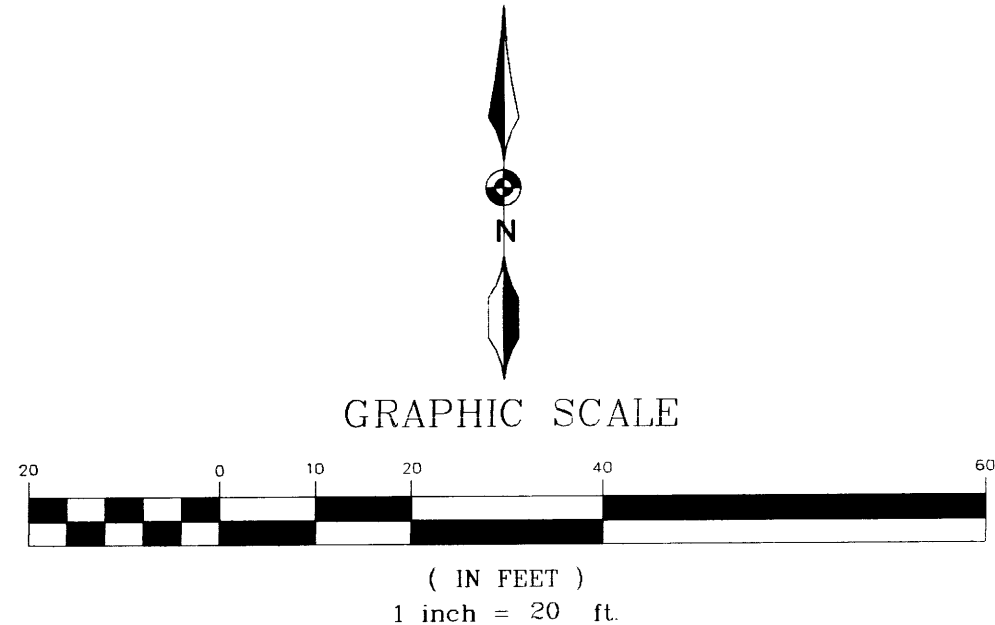
LOT 28A	
LANDSCAPE REQUIREMENTS:	
TOTAL SITE AREA:	115,326 SQ. FT.
TOTAL BUILDING AREA:	42,493 SQ. FT.
OFFSITE AREA:	2,176 SQ. FT.
NET SITE AREA:	70,657 SQ. FT.
LANDSCAPE REQUIRED (15% OF NET SITE AREA):	10,599 SQ. FT.
LANDSCAPE PROVIDED:	10,659 SQ. FT.
PARKING REQUIREMENTS:	
OFFICE (2000):	13,975 SQ. FT. = 70
WAREHOUSE (2000):	28,478 SQ. FT. = 15
TOTAL REQUIRED:	85
TOTAL PROVIDED:	97
HANDICAPPED REQUIRED:	4
HANDICAPPED PROVIDED:	(1 VAN SPACE) 4
BICYCLE SPACES REQ'D:	5
BICYCLE SPACES PROVIDED:	5

GENERAL NOTES:

- NO PERMATE CHAIN LINK FENCE WILL BE USED ON THIS PROJECT.
- ALL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING OR POLE LIGHTING. LIGHTING TO MEET ALL APPLICABLE ORDINANCES.

LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL CERTAIN PER CAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS" REVISED AUGUST 29, 2000) SHALL BE CONSULTED PRIOR DEVELOPMENT OF THE SITE.



CASE NUMBER: Z- _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON _____, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

DESIGN AND DEVELOPMENT, CIP

PUBLIC WORKS, WATER UTILITIES DIVISION

CITY ENGINEER, ENGINEERED DIVISION / AMAFCA

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

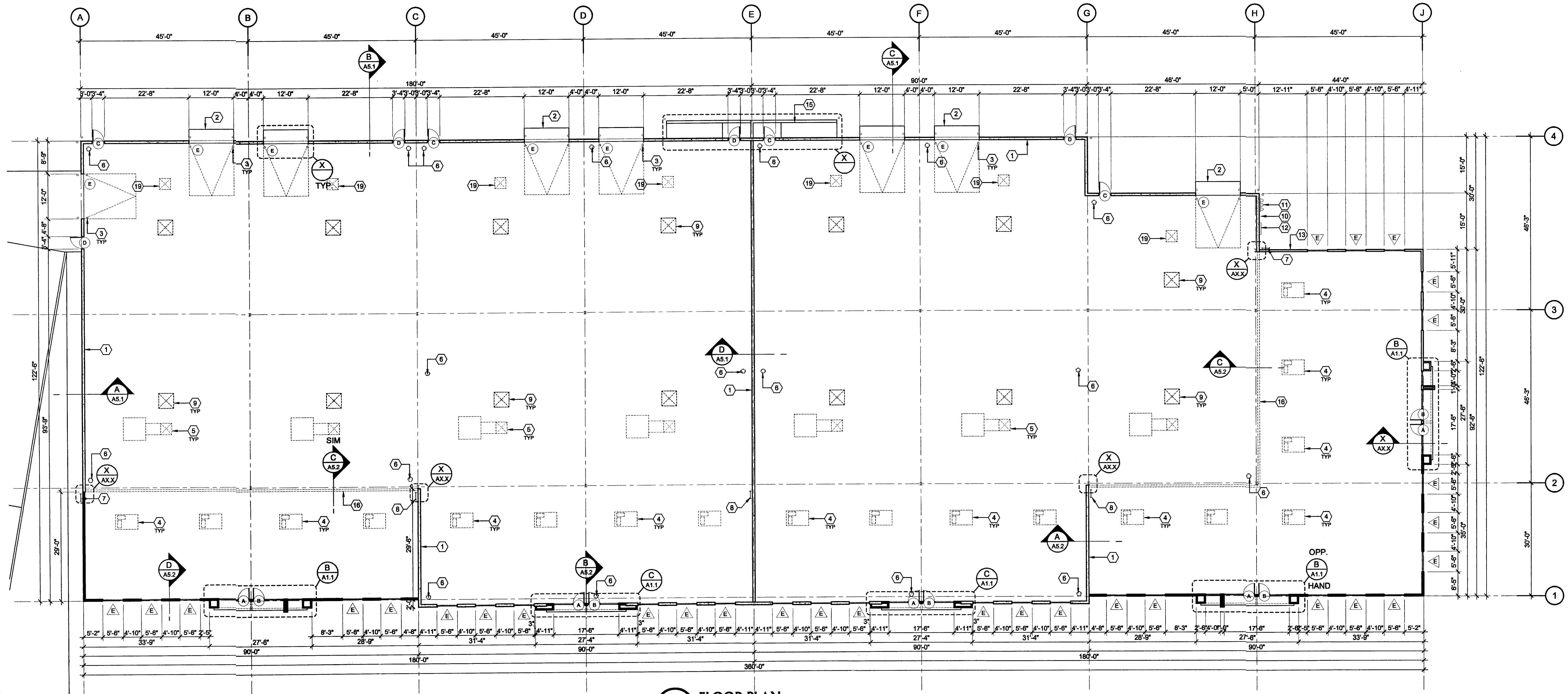
CITY PLANNER, ALBUQUERQUE, PLANNING DIVISION

PLNZ (10706) 4/96

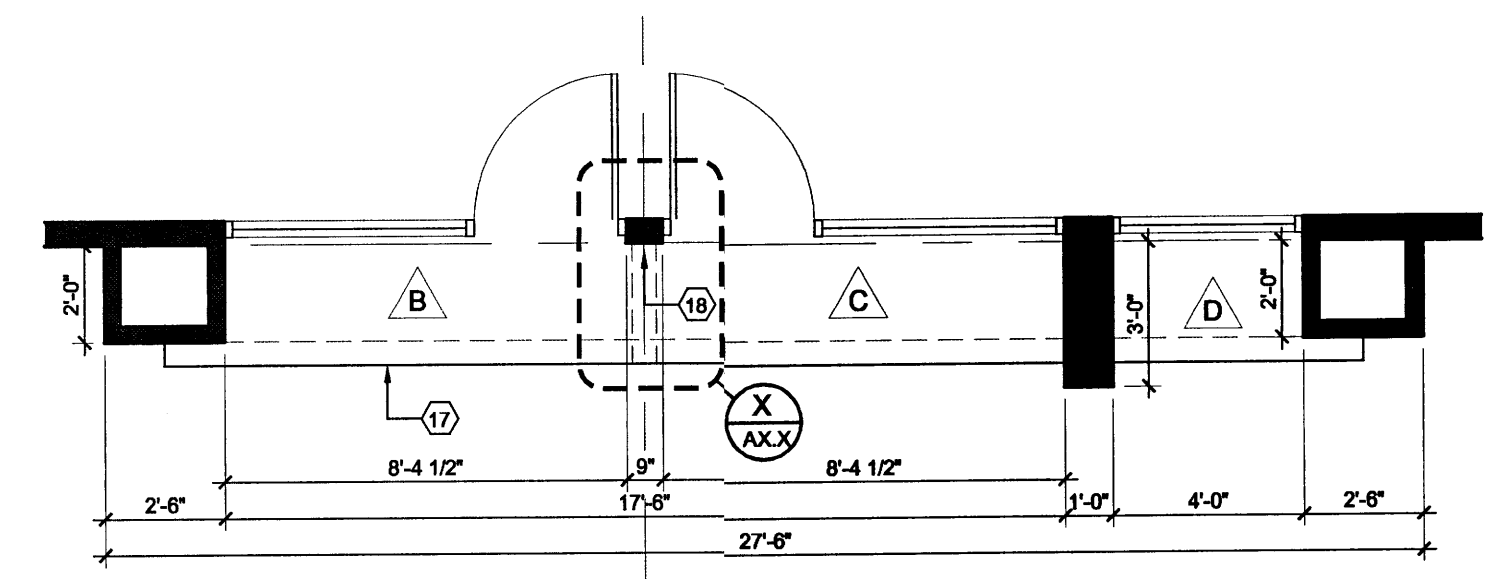
PROPOSED SITE DEVELOPMENT PLAN

KEYED NOTES:

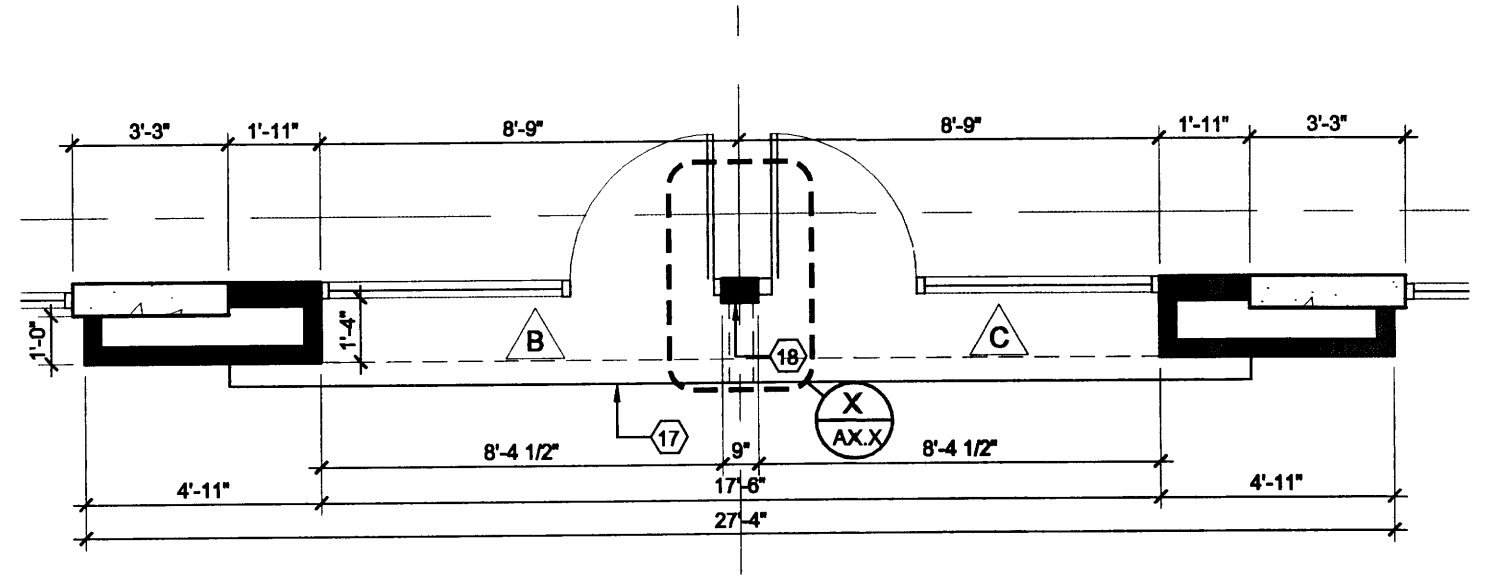
- 1) TILT UP PANEL WALL. REFER TO STRUCTURAL DRAWINGS.
- 2) 5" THICK CONCRETE DRIVEPAD. REFER TO X.X.
- 3) 6" BOLLARD REFER TO DETAIL X.X.
- 4) HVAC CURB ON ROOF, REFER TO ROOF PLAN AND MECHANICAL DRAWINGS.
- 5) 36"X36" EVAPORATIVE COOLER CURB ON ROOF. REFER TO ROOF PLAN AND MECHANICAL DRAWINGS.
- 6) 14" UNIT HEATER VENT (CAPPED). REFER TO ROOF PLAN AND MECHANICAL DRAWINGS.
- 7) ROOF LADDER. SEE DETAIL X.X.
- 8) ROOF LADDER FROM LOW ROOF TO HIGH ROOF. REFER TO DETAIL X.X.
- 9) SKYLIGHT ABOVE. REFER TO ROOF PLAN.
- 10) HOUSE PANEL LOCATION.
- 11) ELECTRICAL METER LOCATION. 3 WIDE X 3 HIGH.
- 12) TELEPHONE DMARK LOCATION.
- 13) GAS METER LOCATIONS.
- 14) FIRE EXTINGUISHERS.
- 15) 8" BLOCK WALL 42" ABOVE GRADE, CAPPED & PAINTED.
- 16) CLEARSTORY WALL ABOVE. REFER TO ROOF PLAN & SECTION X.X.
- 17) BRUSH ALUMINUM SHADE STRUCTURE, REFER TO DETAIL X.X.
- 18) ALUMINUM FACED WALL. FINISH TO MATCH STOREFRONT.
- 19) 36"X36" RELIEF AIR FOR EVAPORATIVE COOLING.



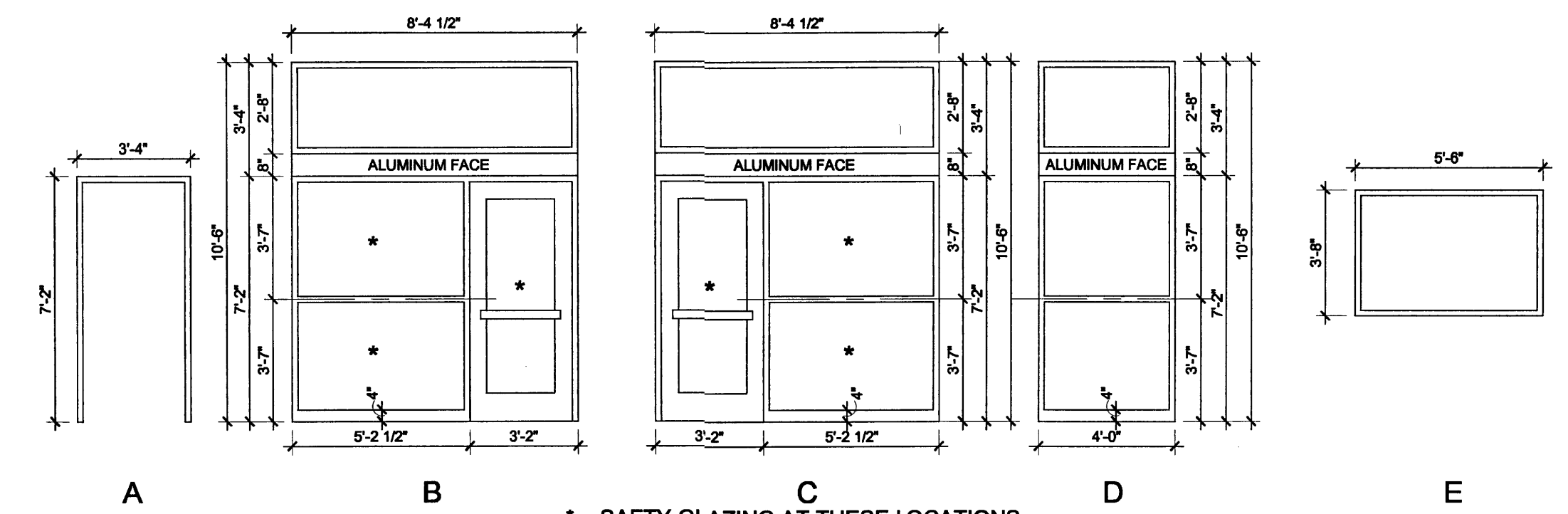
A FLOOR PLAN
SCALE = 1/16" = 1'-0"



B ENLARGED ENTRY PLAN
SCALE = 1/4" = 1'-0"



C ENLARGED ENTRY PLAN
SCALE = 1/4" = 1'-0"

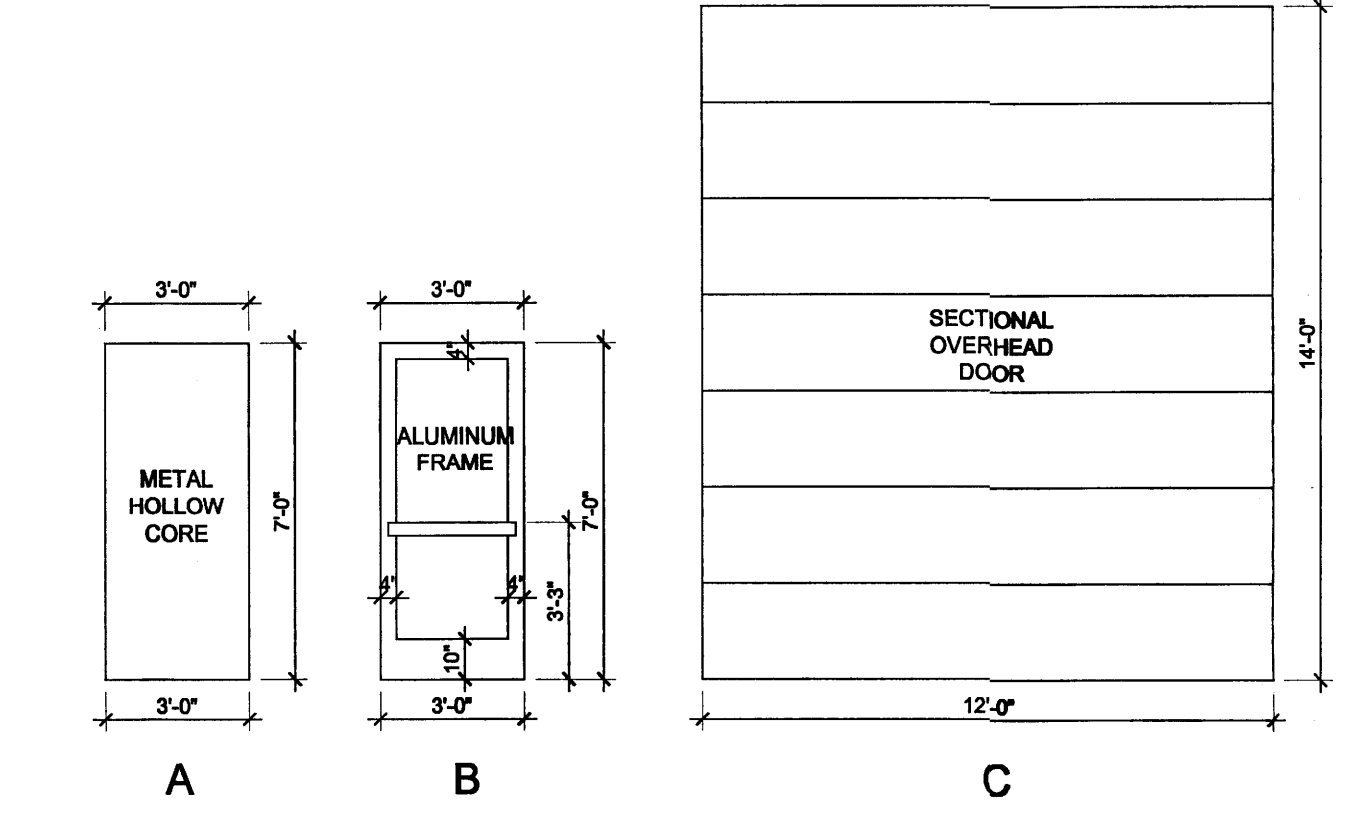


FRAME TYPES
SCALE = 1/4" = 1'-0"

DOOR NUMBER	OPENING SIZE/THICK	TYP	FRM	HD-DTL	JMB-DTL		SILL-DTL	LBL	HDW	SGN	REMARKS
					LEFT	RIGHT					
A	3'-0" X 7'-0" X 1 3/4"	GL	KD	X/XX	-	-	-	-	-	-	-
B	3'-0" X 7'-0" X 1 3/4"	GL	KD	-	-	-	-	-	-	-	-
C	3'-0" X 7'-0" X 1 3/4"	HM	KD	-	-	-	-	-	-	-	-
D	3'-0" X 7'-0" X 1 3/4"	HM	KD	-	-	-	-	-	-	-	-
E	12'-0" X 14'-0" O.H.	SEC	-	-	-	-	-	-	-	-	-

HARDWARE SETS:	DOOR TYPE:	FRAME TYPE:
HW-1 LOCKSET, 1 1/2" HINGES, WALL STOP	SC SOLID CORE WOOD	KD KNOCK DOWN (REDI) METAL
HW-2 PASSAGE SET, 1 1/2" HINGES, WALL STOP	HC HOLLOW CORE WOOD	
HW-3 PRIVACY SET, 1 1/2" HINGES, WALL STOP	SEC INSULATED SECTIONAL DOOR	
HW-4 PUSH/PULL, CLOSURE, 1 1/2" HINGES	HM HOLLOW METAL INSULATED	
HW-5 PULL KNOBS	GL ALUMINUM FRAME W/GLAZING	
HW-6 LOCKSET, CLOSURE, 1 1/2" HINGES		

NOTES:
SIGN: *MUST BE UNLOCKED DURING NORMAL BUSINESS HOURS*

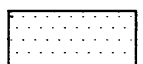
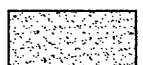




DOOR TYPES
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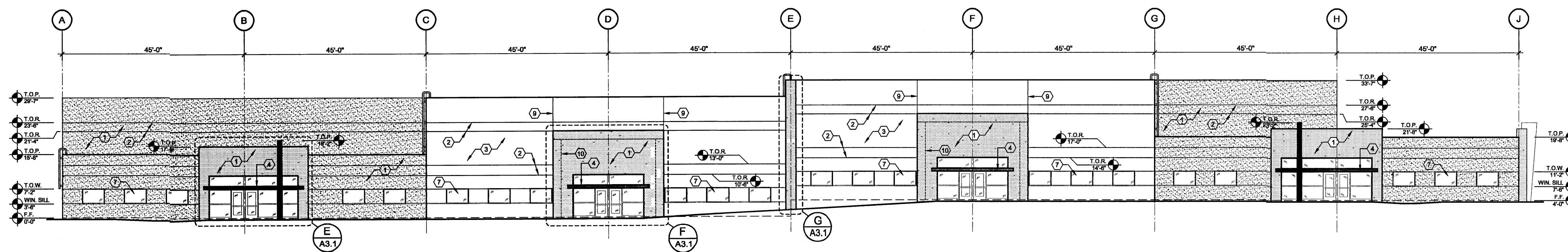
KEYED NOTES:

- 1) EPS STUCCO SYSTEM, REFER TO EXTERIOR FINISH LEGEND.
- 2) 1/2" DEEP RECESS, 1 1/2" WIDE. INSTALL PER DETAIL XX.
- 3) TILT UP PANEL PAINTED, REFER TO EXTERIOR FINISH LEGEND.
- 4) BRUSHED ALUMINUM SUNSHADE. REFER TO SHEET X.X.
- 5) STORE FRONT REFER TO FRAME TYPE ON SHEET X.X.
- 6) OVERHEAD DOOR W/6" BOLLARD EACH SIDE. REFER TO FLOOR PLAN SHEET X.X.
- 7) WINDOW REFER TO WINDOW SCHEDULE AND FLOOR PLAN SHEET X.X.
- 8) 6" BOLLARD. REFER TO DETAIL X.X.
- 9) TILT UP EXPANSION JOINT. REFER TO STRUCTURAL.
- 10) EDGE OF TILT UP BEHIND BUMP OUT.
- 11) ROOF ACCESS LADDER.
- 12) RAIN GUTTER.

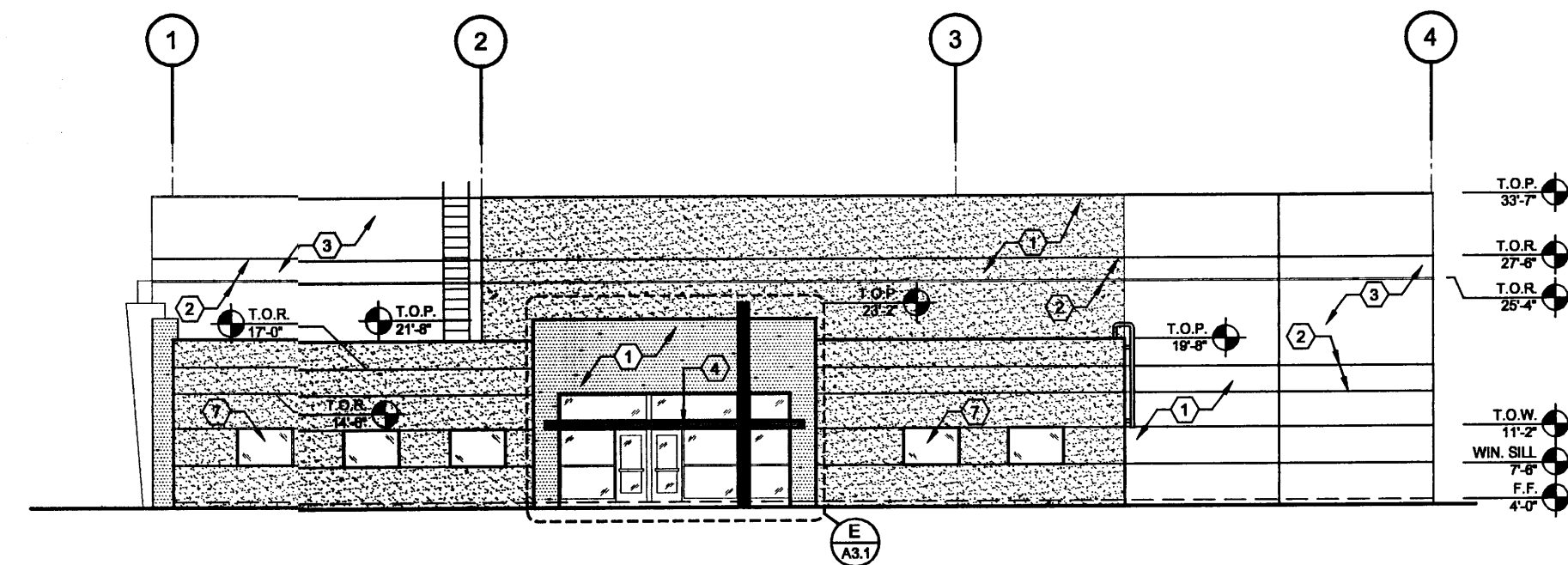
EXTERIOR FINISH LEGEND:

-  EPS STUCCO SYSTEM, COLOR BEIGE
-  EPS STUCCO SYSTEM, COLOR BROWN
-  EPS STUCCO SYSTEM, COLOR BLUE
-  TEXTURED PAINT, COLOR BEIGE

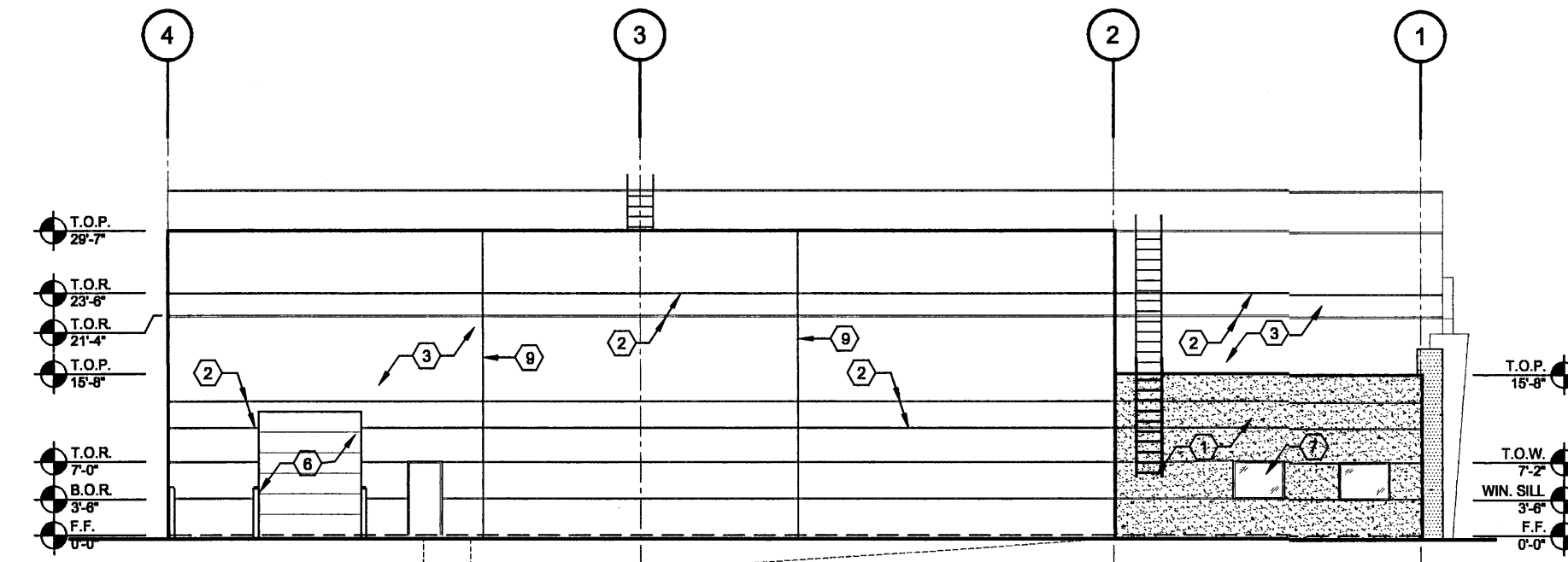
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FILENAME:
DRAWN BY:
M. FLURE



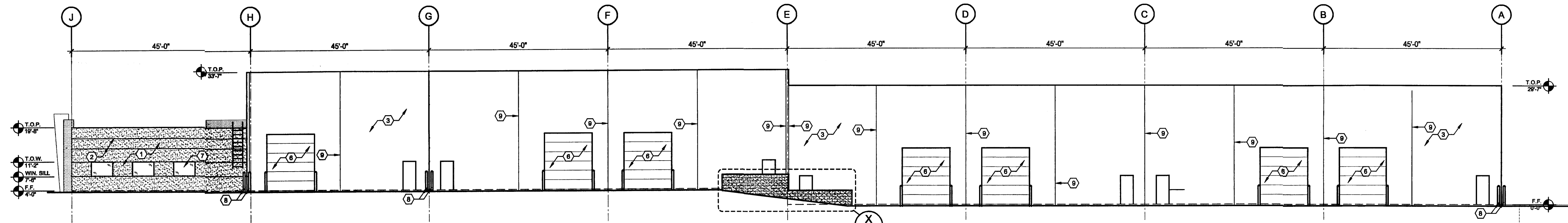
A FRONT ELEVATION - (SOUTH)
SCALE = 1/16" = 1'-0"



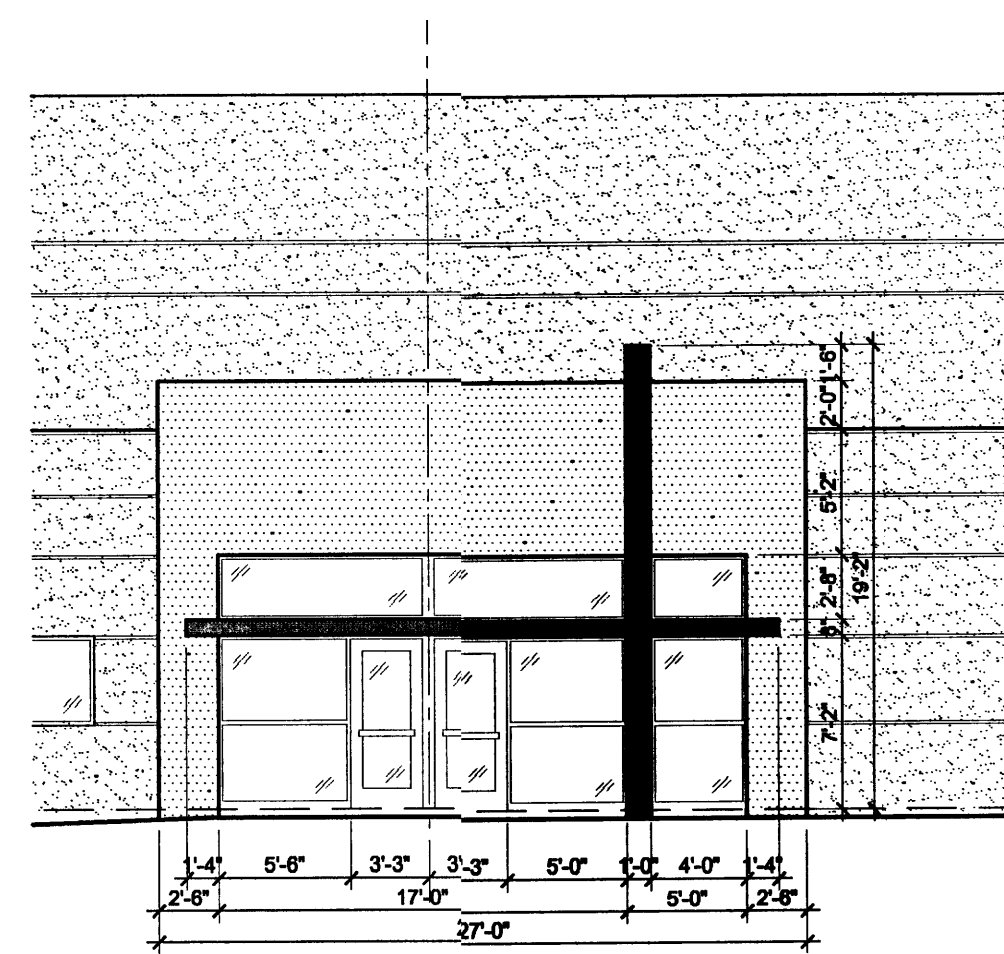
B RIGHT ELEVATION - (EAST)
SCALE = 1/16" = 1'-0"



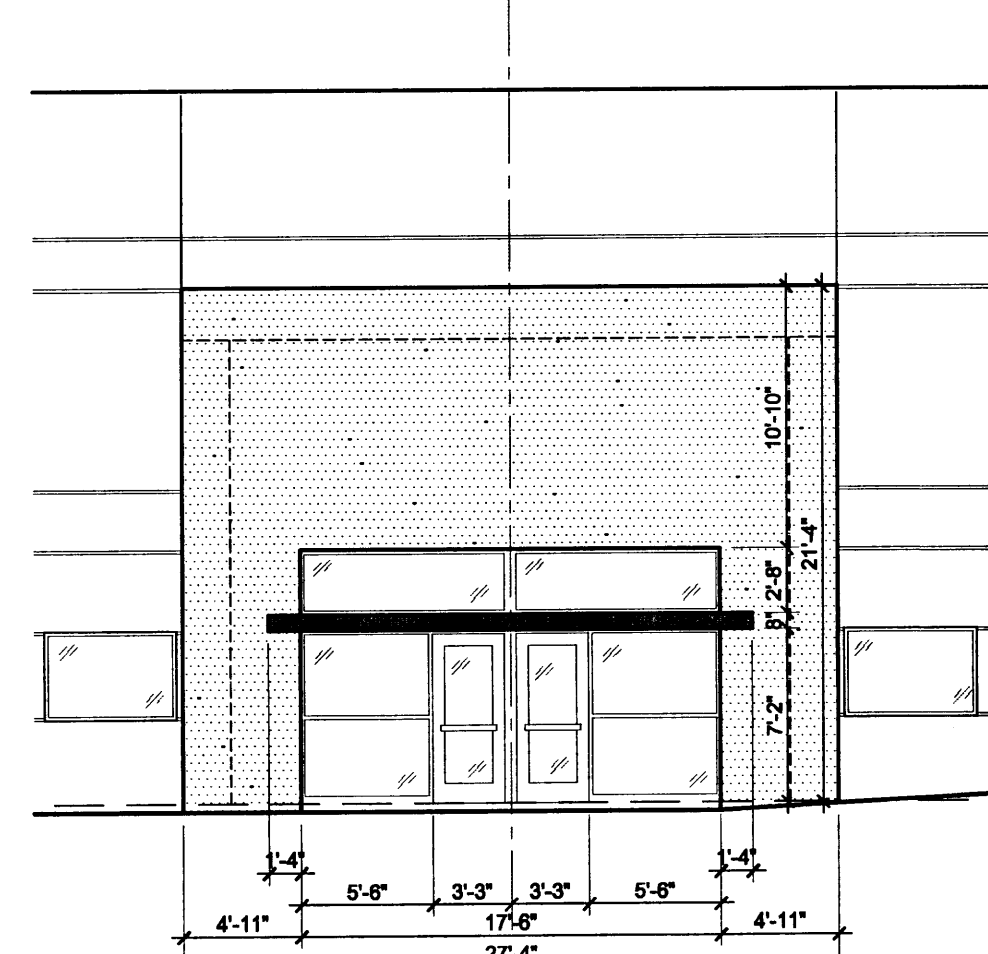
C LEFT ELEVATION - (WEST)
SCALE = 1/16" = 1'-0"



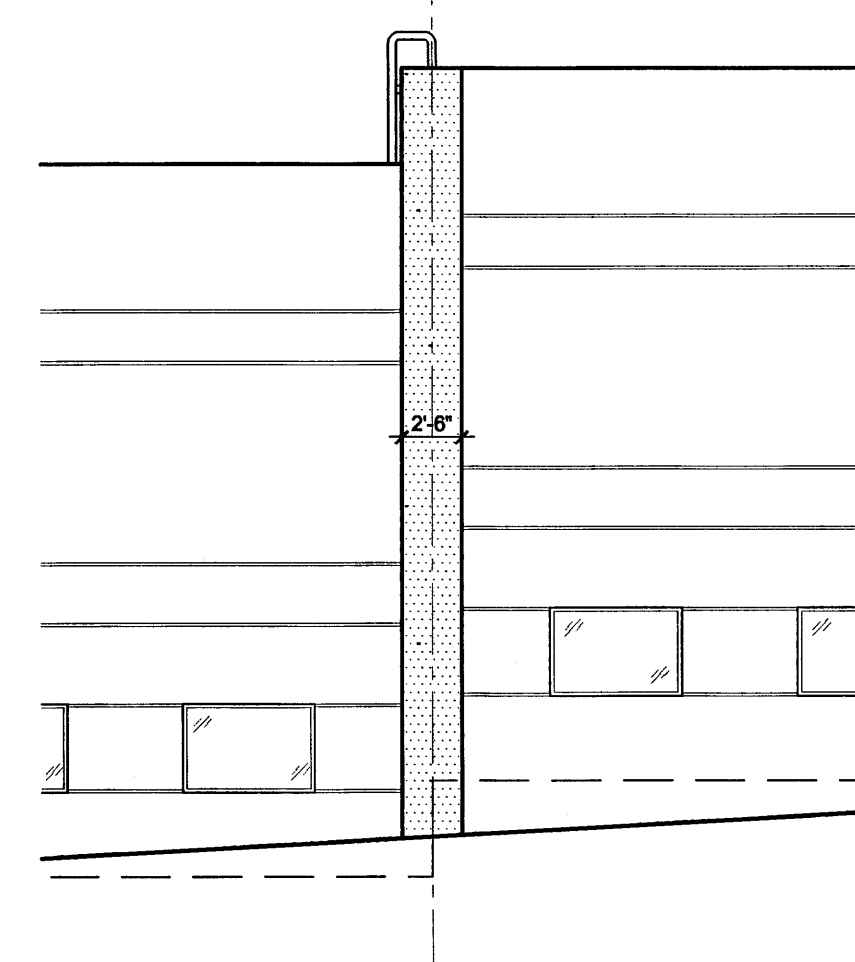
D BACK ELEVATION - (NORTH)
SCALE = 1/16" = 1'-0"



E ENLARGED ENTRANCE ELEV.
SCALE = 1/8" = 1'-0"

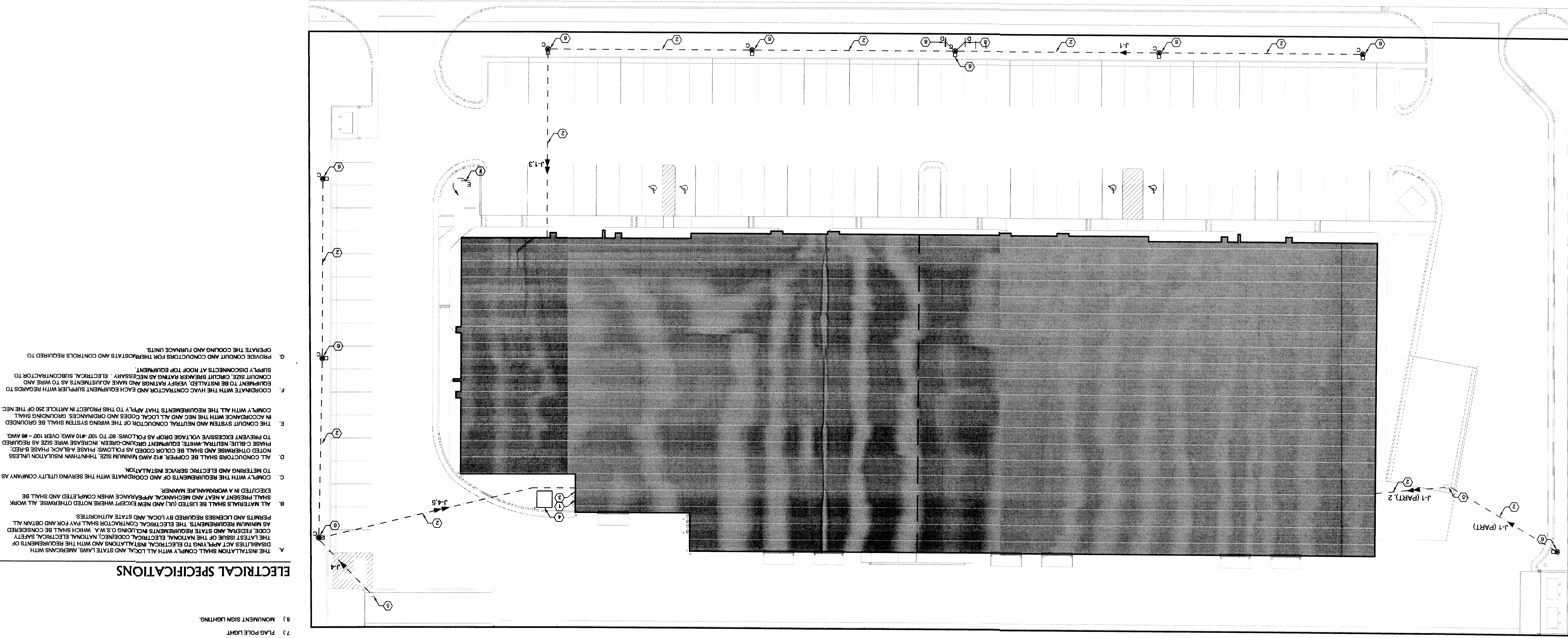


F ENLARGED ENTRANCE ELEV.
SCALE = 1/8" = 1'-0"

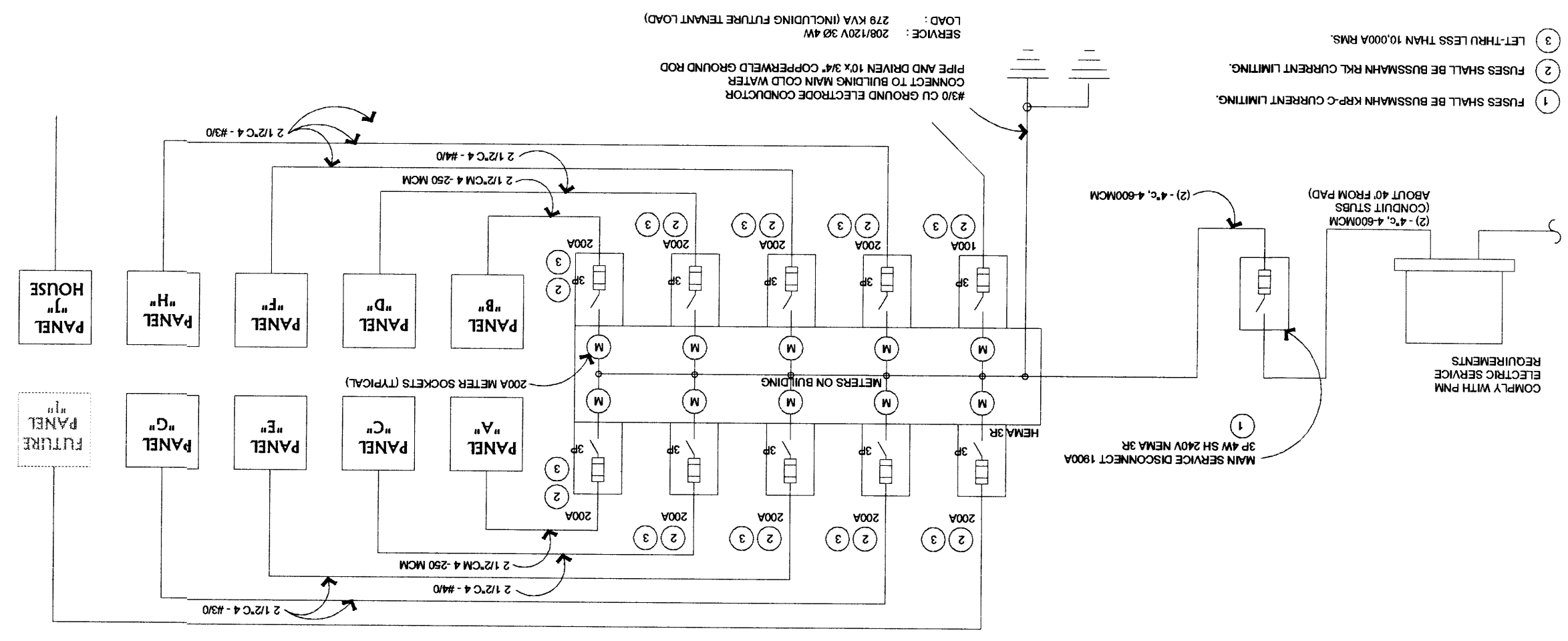


G ENLARGED BLDG. TRANSITION
SCALE = 1/8" = 1'-0"

ELECTRICAL SITE PLAN



ELECTRICAL POWER RISER DIAGRAM



ITEM #	FIXTURE/MODEL/DESCRIPTION	GENERAL PLACEMENT	MOUNTING
A	FRONT WALL PACK 175W MH, RUDD S12-2PER 175MH MT	FRONT WALL PACKS	WALL
B	RECESSED CAN, RUDD REC HD 50MH 12027Y	ENTRIES	RECESSED
C	(1) 250W MH LIGHT, RUDD AC16 250PS MT EPM ON POLE ST 80 2X19X 180X18Z	PERMETER POLE LIGHT	GROUND / POLE
D	SIGN LIGHT, RUDD MICRO 70 MH DL 12ADJ	SIGN AT STREET	GROUND
E	FLAG POLE LIGHT, RUDD WL-GT 35MH PAR DL SPT	FLAG POLE (NW OF BLDG.)	GROUND

LOAD CALCULATIONS:

AREA:	42,500 S.F.
33 % OFFICE SPACE:	14,025 SF @ 15VA/SF
67 % WAREHOUSE SPACE:	28,475 SF @ 2 VA/SF
SUB-TOTAL:	287,325 VA
HOUSE PANEL:	12,000 VA
TOTAL:	279,325 VA

- ELECTRICAL SPECIFICATIONS**
- 1) ELECTRIC METER LOCATIONS (3 HIGH X 3 WIDE).
 - 2) HOUSE PANEL LOCATION (PANEL "H") EXTERIOR FACE MOUNT.
 - 3) TRANSFORMER LOCATION, PAD MOUNTED PER PFM SPECIFICATIONS.
 - 4) SUMP PUMP.
 - 5) POLE LIGHT: REFER TO DETAIL XX.
 - 6) FLAG POLE LIGHT.
 - 7) MOUNTMENT SIGN LIGHTING.
- KEYED NOTES:**
- 1) THE INSTALLATION SHALL COMPLY WITH ALL LOCAL AND STATE LAWS, AMERICANS WITH DISABILITY ACT PERTAINING TO ELECTRICAL INSTALLATIONS AND WITH THE REQUIREMENTS OF THE LATEST ISSUE OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE REQUIREMENTS OF CODE, FEDERAL AND STATE REQUIREMENTS INCLUDING O.S.W.A. WHICH SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND LICENSES REQUIRED BY LOCAL AND STATE AUTHORITIES.
 - 2) ALL MATERIALS SHALL BE LISTED (UL) AND NEW EXCEPT WHERE NOTED OTHERWISE. ALL WORK EXECUTED IN A WORKMANLIKE MANNER.
 - 3) COMPLY WITH THE REQUIREMENTS OF AND COORDINATE WITH THE SERVING UTILITY COMPANY AS TO METERING AND ELECTRIC SERVICE INSTALLATION.
 - 4) ALL CONDUCTORS SHALL BE COPPER, #12 AWG MINIMUM SIZE, THIRTYTHREE (33) UNLESS NOTED OTHERWISE AND SHALL BE COLOR CODED AS FOLLOWS: PHASE A-BLACK, PHASE B-RED, PHASE C-BLUE, NEUTRAL-WHITE, EQUIPMENT GROUND-GREEN. WIRE SIZE AS REQUIRED TO PREVENT EXCESSIVE VOLTAGE DROP AS FOLLOWS: 60 TO 100 AMP OVER 100' - #8 AWG.
 - 5) THE CONDUIT SYSTEM AND NEUTRAL CONDUCTOR OF THE WIRING SYSTEM SHALL BE GROUNDING SHALL IN ACCORDANCE WITH THE NEC AND ALL LOCAL CODES AND ORDINANCES. GROUNDING SHALL COMPLY WITH ALL THE REQUIREMENTS THAT APPLY TO THIS PROJECT IN ARTICLE 250 OF THE NEC.
 - 6) COORDINATE WITH THE HVAC CONTRACTOR AND EACH EQUIPMENT SUPPLIER WITH REGARD TO EQUIPMENT TO BE INSTALLED. VERIFY TYPES AND MAKE ADJUSTMENTS AS TO WIRE AND SUPPLY DISCONNECTS AT ROOF TOP EQUIPMENT.
 - 7) PROVIDE CONDUIT AND CONDUCTORS FOR THERMOSTATS AND CONTROLS REQUIRED TO OPERATE THE COOLING AND FURNACE UNITS.

PROPOSED OFFICE SHOWROOM WAREHOUSE
 LOT 28A, BLOCK 3, TRACT A UNIT B N.A.A.
 5401 VENICE
 ALBUQUERQUE, NEW MEXICO 87113

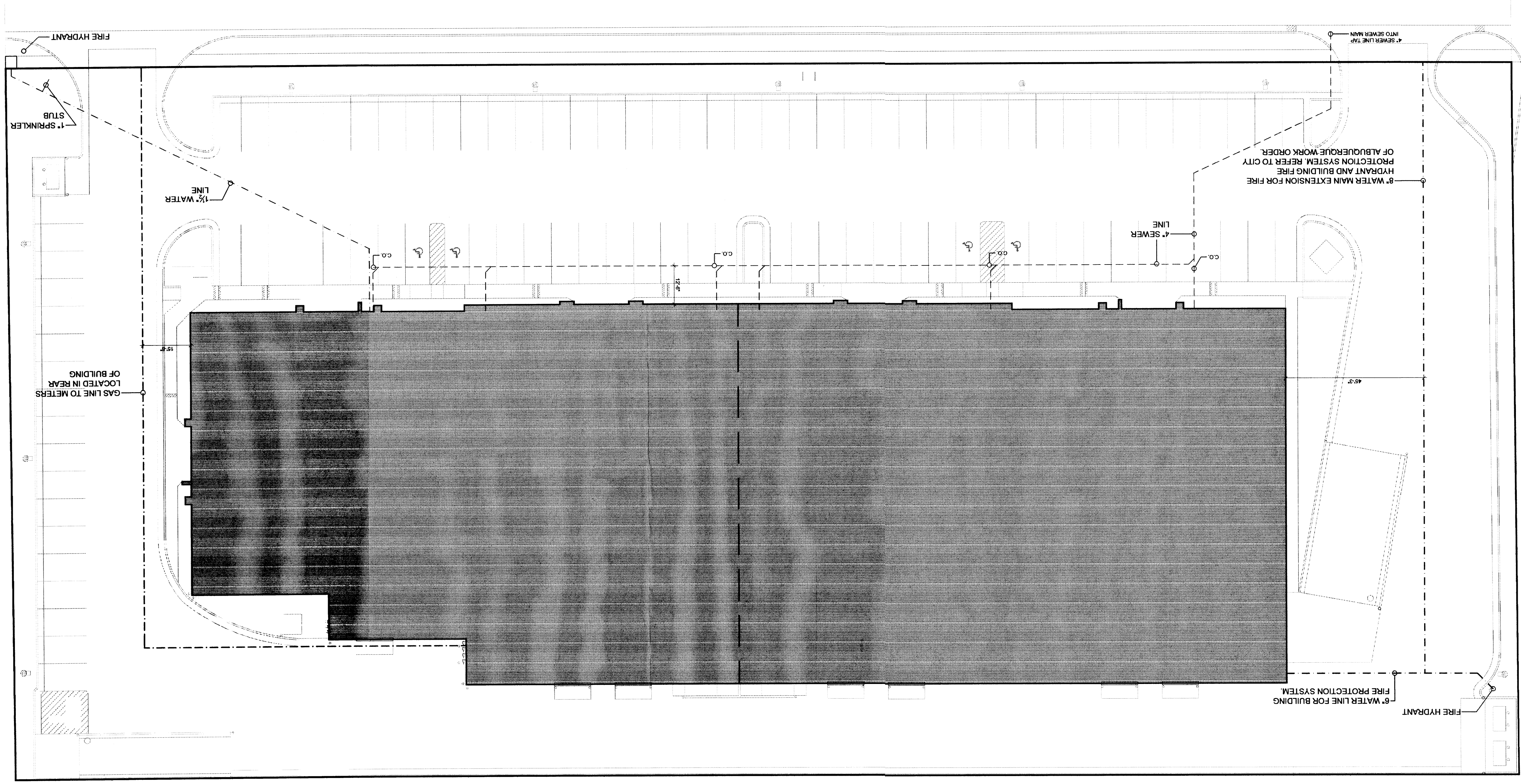
SCALE:
 SEE PLAN
 PLOT DATE:
 DEC. 16, 2002
 FILENAME:
 DRAWN BY:
 M. FLURE


DESIGN DATA:
 Planning

SHEET
 E1.0

8804 WASHINGTON N.E. SUITE A
 ALBUQUERQUE, NM 87113
 OFFICE: (505) 823-1616
 FAX: (505) 823-1616
 WEB: WWW.MECHENBERGER.COM

PLUMBING SITE PLAN




M. FLURE
8804 WASHINGTON N.E. SUITE A
ALBUQUERQUE, NM 87113
TEL: (505) 824-1516
FAX: (505) 824-1516
WEB: WWW.MECHEMBER.COM

PROPOSED OFFICE SHOWROOM WAREHOUSE
LOT 28A, BLOCK 3, TRACT A UNIT B N.A.A.
5401 VENICE
ALBUQUERQUE, NEW MEXICO 87113

SCALE: SEE PLAN
PLOT DATE: DEC. 16, 2002
FILENAME: M. FLURE
DRAWN BY: M. FLURE

DESIGN DATA:

SHEET P1.0