

EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-LT TRACT 7A

TRACT F-1
Zoning R-LT

FUTURE CITY
COMMUNITY PARK

Natural Basalt and Soil Cement Drainage Conveyance

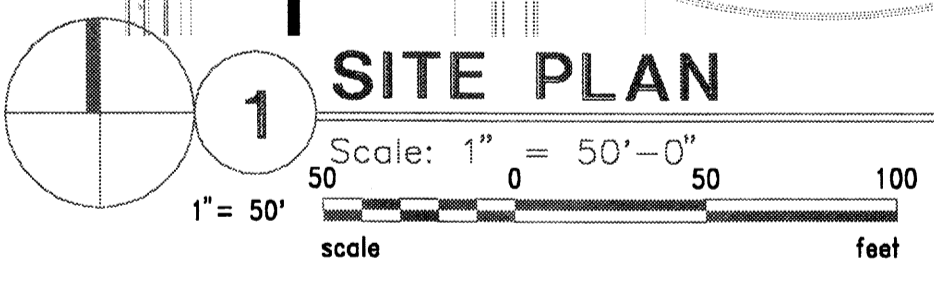
TRACT Z
AMAFCA
DRAINAGE
FACILITY

BUILDING AREA & PARKING CALCULATIONS:
 MAJOR 1: 41,450 SF. BUILDING.
 LOT SIZE = 234,301 SF OR 5.38 AC.
 41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST
 15,000 SF OF NET LEASABLE AREA; 75 CARS,
 1 SPACE PER 250 SF FOR THE NEXT 26,450 SF
 OF NET LEASABLE AREA; 106 CARS
 = 181 CARS
 SPACES PROVIDED 181 SPACES.
 FAR = .17
 OCCUPANT LOAD: 41,450 / 30 = 1,382
 SHOPS 1: 11,600 SF. BUILDING.
 LOT SIZE = 48,127 SF OR 1.10 AC.
 11,600 SF / 200 = 58 SPACES.
 SPACES PROVIDED 58 SPACES.
 FAR = .24
 OCCUPANT LOAD: 11,600 / 30 = 387
 PAD 1 : 2,005 SF. BUILDING.
 LOT SIZE = 31,266 SF OR .718 AC.
 1 CAR PER 4 PROVIDED SEATS
 48 SEATS / 4 = 12 REQ. CARS.
 SPACES PROVIDED 31 SPACES.
 FAR = .06
 OCCUPANT LOAD: 2,005 / 15 = 134
 PAD 2 : 2,763 SF. BUILDING.
 LOT SIZE = 38,457 SF OR .88 AC.
 1 CAR PER 4 PROVIDED SEATS
 80 SEATS / 4 = 20 REQ. CARS.
 SPACES PROVIDED 42 SPACES.
 FAR = .07
 OCCUPANT LOAD: 2,763 / 15 = 185
 SHOPS 2: 10,500 SF. BUILDING.
 LOT SIZE = 47,748 SF OR 1.05 AC.
 10,500 SF / 200 = 53 SPACES.
 SPACES PROVIDED 57 SPACES.
 FAR = .22
 OCCUPANT LOAD: 10,500 / 30 = 350
FLOOR AREA RATIO
 BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000
 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT
 WITH C.O.A.
 TOTAL BUILDING AREA = 66,318 SQ/FT
 TOTAL LOT AREA = 397,832 SQ/FT
 TOTAL FAR = .17
PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20'-0"
 SMALL CARS SPACES ARE 8'-0" X 16'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *
 25 BICYCLE SPACES.
 10 MOTORCYCLE SPACES.
 TOTAL STANDARD PARKING SPACES PROVIDED 319 SPACES
 TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES
 TOTAL H.C. PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 27 SPACES
 TOTAL PROVIDED 369 SPACES
 TOTAL REQUIRED SPACES = 324 SPACES
 TOTAL PROVIDED SPACES = 347 SPACES

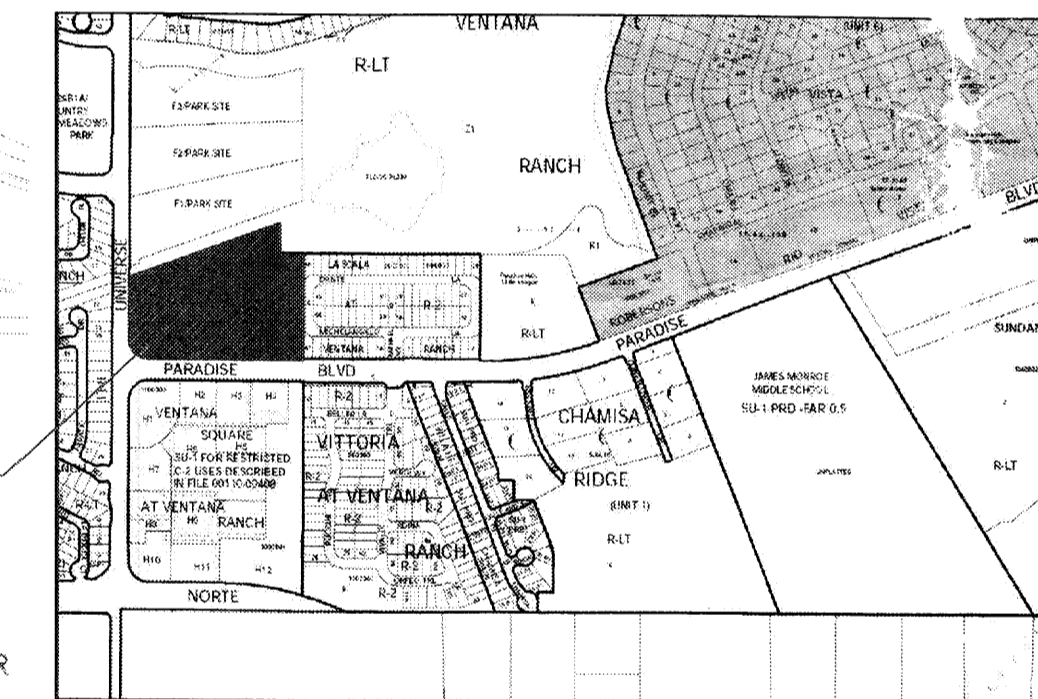
TRACTS G 1 FOR SUBDIVISION
 LEGAL DESCRIPTION ON
 TRACTS G AT VENTANA SQUARE
 CURRENT ZONING SU-1 FOR C-2
 TOTAL ACRES (TOTAL GROSS) TO INCLUDE G-1, G-2, G-3,
 G-4, G-5 AND G-6
**PEDESTRIAN AND VEHICULAR
 CIRCULATION**
 See sheet A1.1 for pedestrian and vehicular connections to the surrounding
 Ventana Ranch road and trail system.
INTERNAL CIRCULATION
 See sheet A1.2 for internal circulation
BUILDING HEIGHTS AND SETBACKS
 The maximum height of buildings within tract G shall be 35'-0" See plan A-1.1 for
 additional restrictions. Setbacks are shown on sheet A1.2.
FLOOR AREA RATIOS
 The overall FAR for tract G shall not exceed 10,000sq/ft per gross acre in
 accordance with the May 31, 1998 agreement with the City of Albuquerque
LANDSCAPE
 See sheet L1 and L2

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

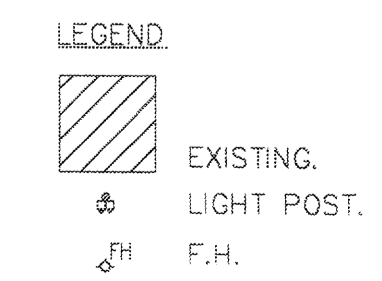


ZONING SU-1 FOR R-2 TRACT 1



- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 35'-0"
 - ⑨ RADIUS = 40'-0"
 - ⑩ RADIUS = 50'-0"
 - ⑪ RADIUS = 60'-0"
 - ⑫ RADIUS = 100'-0"

- KEYED NOTES**
1. PYLON SIGN.
 2. 6'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK.
 3. GATED REFUSE ENCLOSURE—PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
 4. 6'-0"x6'-0" TREE PLANTERS.
 5. BIKE RACK PER C.O.A. STANDARDS.
 6. 2'-6" GARDEN WALL.
 7. CONCRETE OUT DOOR PATIO AREA.
 8. ASPHALT TRAIL.
 9. DOCK METAL.
 10. LANDSCAPE AREA.



SU-1 FOR C2 PURPOSES

PROJECT NUMBER: 1002346
 APPLICATION NUMBER: 05 DRB-01430

This plan is consistent with the specific site development plan approved by the
 Environmental Planning Commission (EPC) on _____ and the
 findings and conditions in the Official Notification of Decision are satisfied
 is on Infrastructure List required? () YES (X) NO If yes, then a set of
 approved DRD plans with a work order is required for any construction within
 Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

| | |
|---|------------------|
| <i>William G. Baker</i> Traffic Engineering Transportation Division | 12-20-05 Date |
| <i>Christina Randall</i> Water Utility Department | 12/14/05 Date |
| <i>Bradley B. Bly</i> Parks and Recreation Department | 12/14/05 Date |
| <i>N/A</i> City Engineer | |
| <i>N/A</i> Environmental Health Department | |
| <i>N/A</i> Public Works Department | |
| <i>N/A</i> City Manager | |
| <i>N/A</i> City Chairperson, Planning Department | |

* Environmental Health, if necessary

PROJECT TITLE
VENTANA SQUARE.
 (NEC) UNIVERSE & PARADISE
 ALBUQUERQUE, NEW MEXICO

DRAWN BY:
 ATZ

JOB NO.
 992

SHEET TITLE
SITE PLAN, SUBDIVISION.

DATE:
 072305

SCALE:
 1"=50'

Sheet:
 A1.2

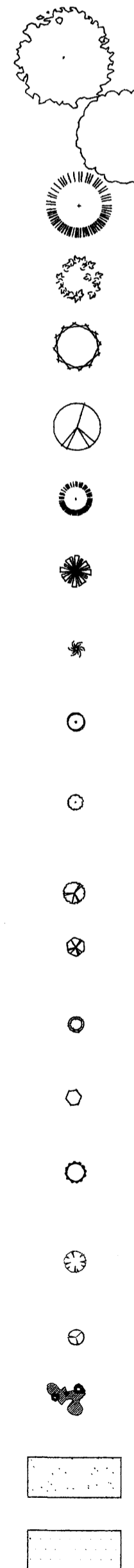
of:

1002346

LANDSCAPE CALCULATIONS

| | MAJOR 1 | SHOPS 1 | SHOPS 2 | PAD 1 | PAD 2 | SITE |
|--------------------------------|--------------------|-------------------|-------------------|-------------------|-------------------|--------------------|
| TOTAL LOT AREA | 234301 square feet | 48127 square feet | 45748 square feet | 31280 square feet | 38471 square feet | 397932 square feet |
| TOTAL BUILDINGS AREA | 42860 square feet | 11400 square feet | 9600 square feet | 2005 square feet | 2763 square feet | 68628 square feet |
| OFFSITE AREA | 0 square feet | 0 square feet | 0 square feet | 0 square feet | 0 square feet | 0 square feet |
| NET LOT AREA | 191441 square feet | 36727 square feet | 36148 square feet | 29275 square feet | 35708 square feet | 329299 square feet |
| LANDSCAPE REQUIREMENT | 15% | 15% | 15% | 15% | 15% | 15% |
| TOTAL LANDSCAPE REQUIREMENT | 28716 square feet | 5509 square feet | 5422 square feet | 4391 square feet | 5356 square feet | 49394 square feet |
| TOTAL BED PROVIDED | 35078 square feet | 2257 square feet | 5555 square feet | 6297 square feet | 9006 square feet | 58193 square feet |
| GROUND COVER REQ. | 75% | 75% | 75% | 75% | 75% | 75% |
| TOTAL GROUND COVER REQUIREMENT | 27481 square feet | 1634 square feet | 5999 square feet | 4409 square feet | 4846 square feet | 43645 square feet |
| TOTAL GROUND COVER PROVIDED | 30781 square feet | 2880 square feet | 6836 square feet | 4503 square feet | 4711 square feet | 49711 square feet |
| TOTAL PONDING AREA | 0 square feet | 0 square feet | 0 square feet | 0 square feet | 0 square feet | 0 square feet |
| TOTAL LANDSCAPE PROVIDED | 34093 square feet | 3420 square feet | 7700 square feet | 5259 square feet | 5971 square feet | 58193 square feet |

| PLANT LEGEND | QUANTITY MAJOR 1 | QUANTITY SHOPS 1 | QUANTITY SHOPS 2 | QUANTITY PAD 1 | QUANTITY PAD 2 | QUANTITY SITE |
|---|------------------|------------------|------------------|----------------|----------------|---------------|
| ARIZONA ASH (H) Fraxinus velutina 2" Cal | - | - | 4 | 1 | 4 | 9 |
| RAYWOOD ASH (H) Fraxinus oxycarpa raywood 2" Cal | 9 | 5 | 3 | 1 | 5 | 23 |
| AUSTRIAN PINE(H) Pinus nigra 6"-8" | 15 | - | - | 7 | - | 22 |
| WASHINGTON HAWTHORN (H) Crataegus phaenopyrum 15 gal | 2 | - | - | 1 | 1 | 4 |
| DESERT WILLOW (M) Chilopsis linearis 5 gal 225 sf | 51 | - | 12 | 3 | - | 66 |
| FLOWERING PEAR (H) Pyrus caleryana 1 1/2" cal | 10 | 1 | 1 | 3 | - | 15 |
| MUGHO PINE Pinus mugho 5 gal | 4 | - | - | - | - | 4 |
| PALM YUCCA (L) | 1 | - | - | - | - | 1 |
| MAIDEN GRASS (L) Miscanthus sinensis 5 gal 25sf | 53 | 15 | 8 | 12 | 6 | 94 |
| RUSSIAN SAGE (M) Perovskia atriplicifolia 5 gal 25sf | 1 | - | 3 | 4 | 9 | 17 |
| PHOTINIA Nandina domestica 5 gal 25sf | 36 | 9 | 33 | 8 | - | 86 |
| CREeping ROSEMARY (L) Rosmarinus officinalis Prostrata' 1 gal 36sf Symbol indicates 3 plants | 92 | 15 | 24 | 21 | 35 | 187 |
| INDIAN HAWTHORN (M) Raphiolepis indica 5 gal 12sf | 3 | - | 3 | 1 | 5 | 12 |
| ROSEMARY (M) Rosmarinus officinalis 5 gal 36sf | 72 | 9 | 9 | 6 | 6 | 102 |
| AUTUMN SAGE (M) Salvia greggii 5 gal 12sf | 17 | - | 3 | 6 | 21 | 47 |
| SILVERBERRY (M) Elaeagnus pungens 5 gal 100sf | 35 | 3 | - | 6 | - | 44 |
| CHAMISA (L) Chrysothamnus nauseosus 1 gal 36sf | 13 | - | - | 1 | - | 14 |
| WILDFLOWER 1 gal 4sf | 56 | 3 | 12 | 6 | 7 | 84 |
| OVERSIZE GRAVEL AND BOULDERS | | | | | | |
| SANTA FE BROWN GRAVEL W/ FF | | | | | | |
| SANTA FE BROWN CF W/ FF | | | | | | |



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 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT TITLE
VENTANA
 (NEO) UNIVERSE & PARADISE
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
 GEORGE RAINHART

JOB NO.
 982

DRAWN BY
 DJT

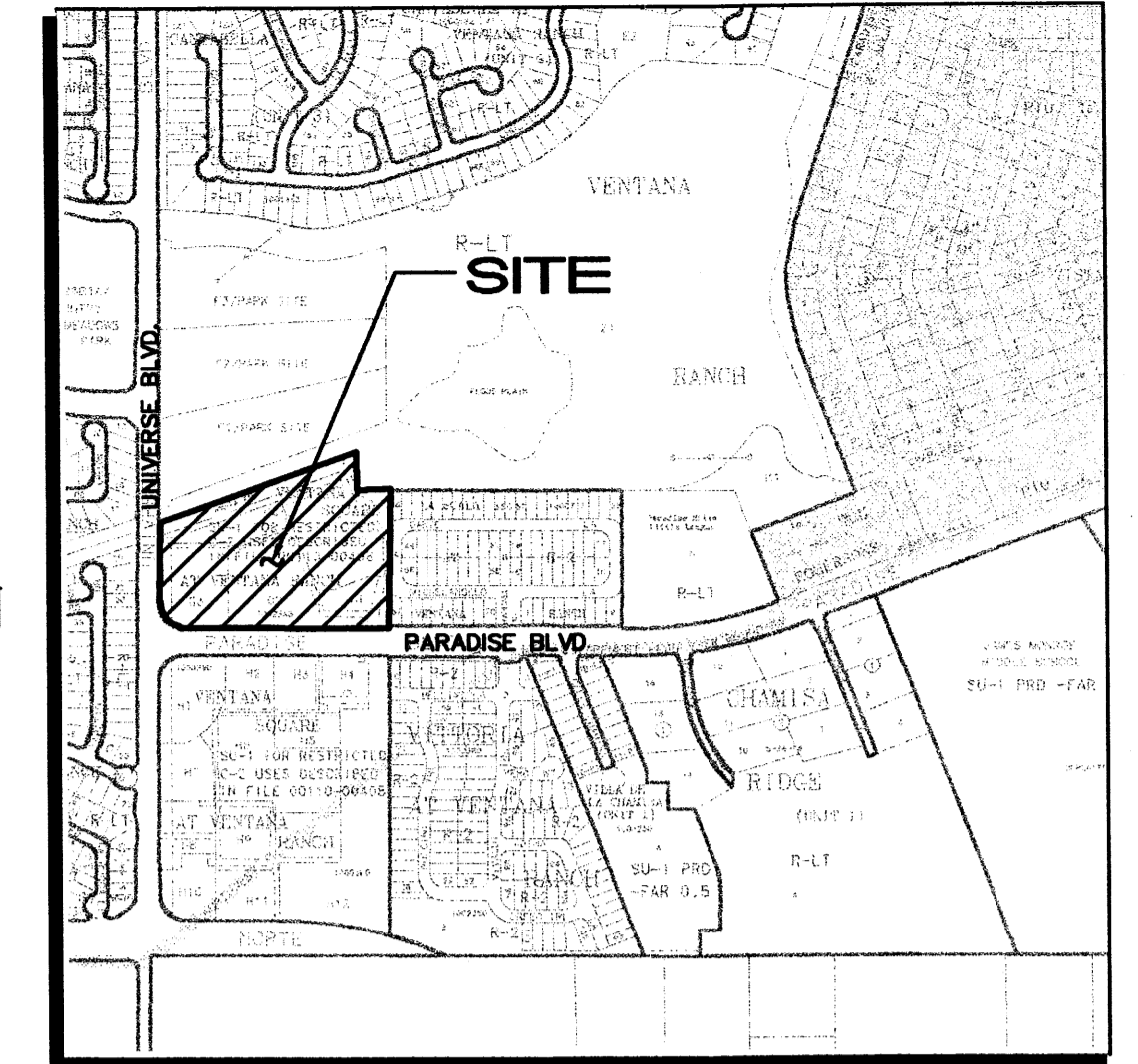
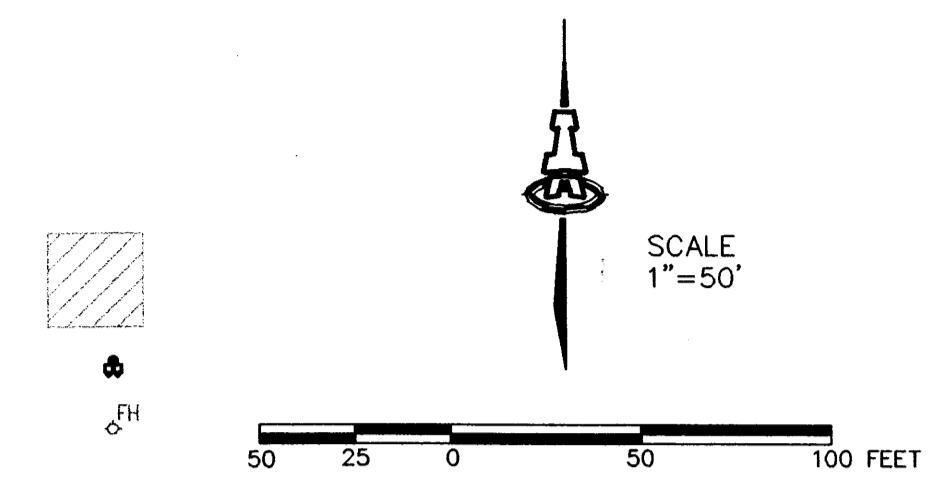
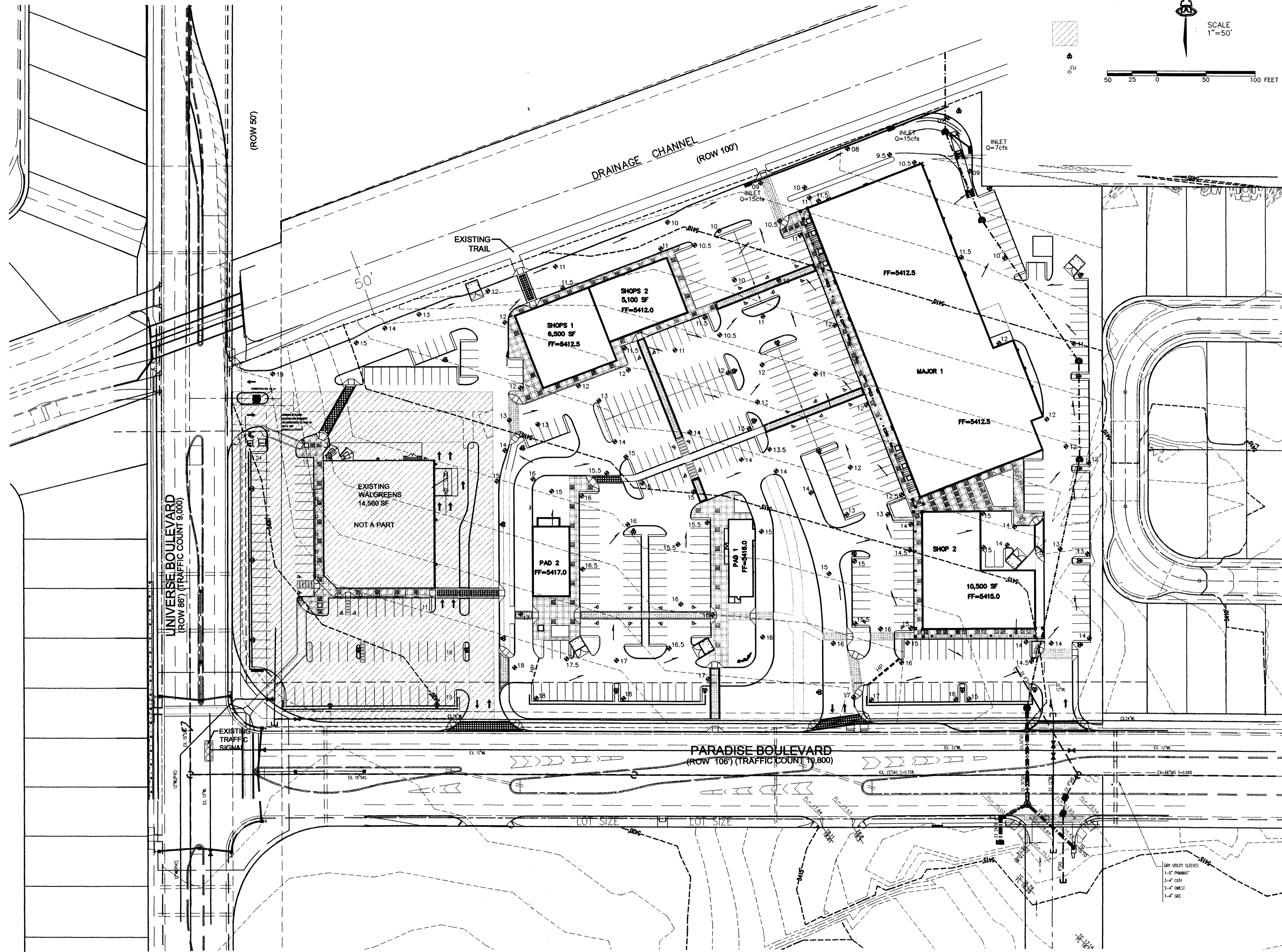
SHEET TITLE
LANDSCAPE PLAN



LANDSCAPE ARCHITECTS + CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax. (505) 898-7737
 c.johnson@hilltoplandscaping.com

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DATE: 11/15/05 sheet
 SCALE: 1"=50' L2.0 of



B-10-Z
VICINITY MAP
1"=750'±

SITE AREA: 9.13 ACRES
LEGAL: TRACT G-2 VENTANA RANCH
FLOOD PLAN: THIS SITE IS IN ZONE 'X' AND OUTSIDE THE 500-YEAR FLOOD PLAN PER FEMA MAP PANEL 103.
EXISTING CONDITIONS: A PLAN WAS PREVIOUSLY APPROVED FOR BOTH SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT. THE WALGREEN'S SITE HAS BEEN DEVELOPED AT THE NE CORNER OF UNIVERSE AND PARADISE BOULEVARDE AND IS NOT A PART OF THIS NEW PLAN.
EXISTING HYDROLOGY: 100% A, ZONE: 1
 $Q = (9.13 \text{ acres})(1.29 \frac{cfs}{\text{acre}}) = 11.8 \text{ cfs}$
PROPOSED CONDITIONS: 10% B & 90% D
 $Q = (9.13 \text{ acres})(4.06 \frac{cfs}{\text{acre}}) = 37.1 \text{ cfs}$
 OFFSITE FLOW IS ACCEPTED ONSITE FROM THE WALGREEN'S SITE (0=8.0cfs) AND WILL BE PASSED THROUGH THE SITE TO DISCHARGE TO THE AMAFCA DRAINAGE FACILITY ALONG THE NORTH SIDE OF THE SITE.

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - 78.3 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - FF = 5412.5 FINISH FLOOR ELEVATION
 - HP HIGH POINT

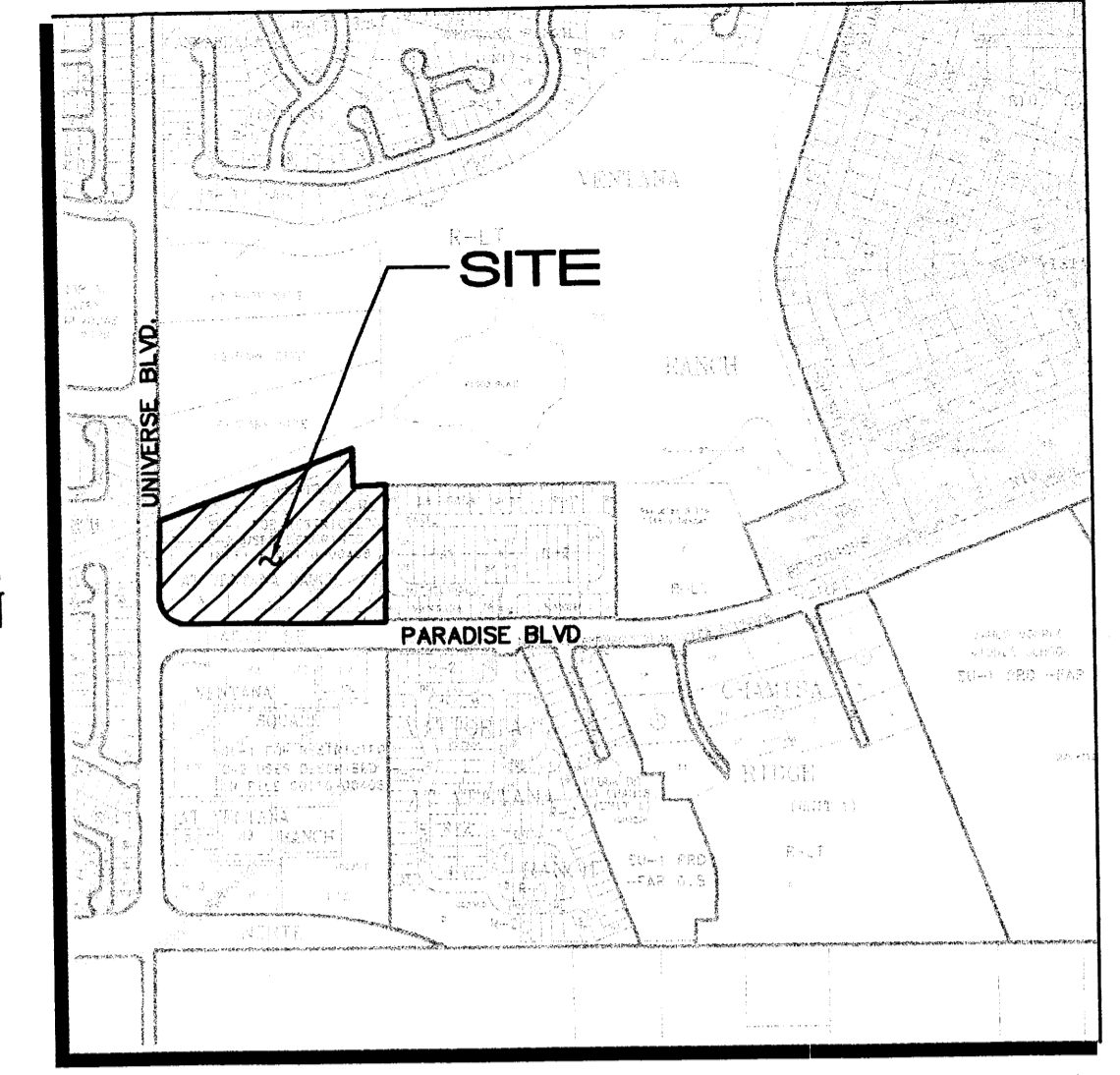
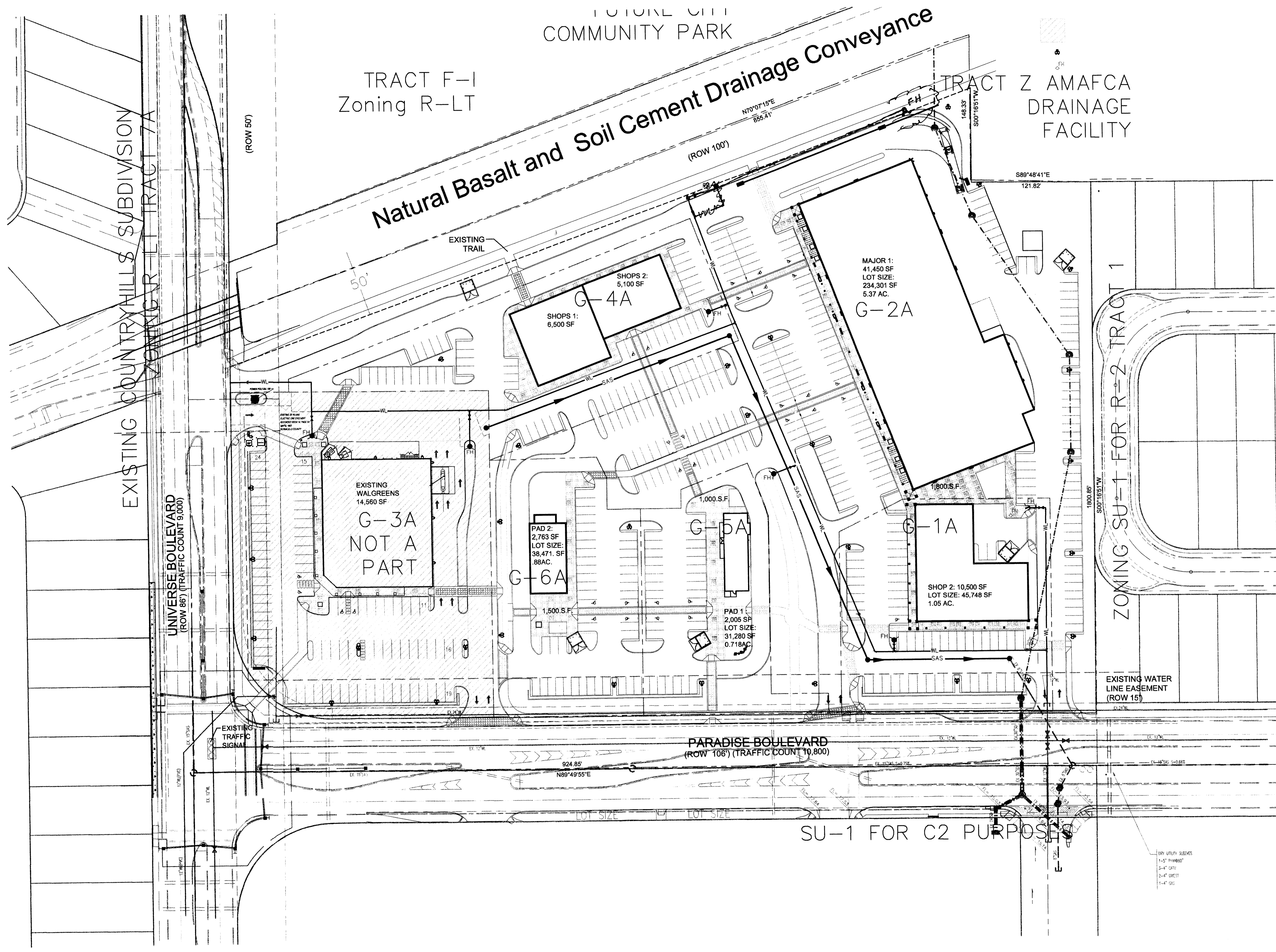
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| | ISAACSON & ARFMAN, P.A. Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 PH: 505-268-8828 Fax: 505-268-2632 1474GRD.DWG.rh 11/07/05 |
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VENTANA SQUARE NORTH

CONCEPTUAL GRADING & DRAINAGE PLAN

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| | | | | 31 OF |

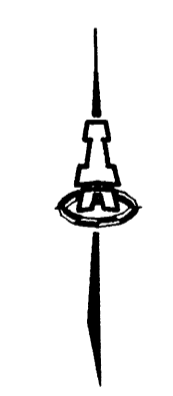


B-10-Z
VICINITY MAP
1"=750'

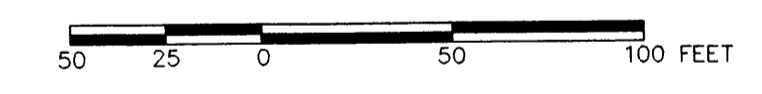
LEGEL: TRACT G-2 VENTANA RANCH
AREA: 9.13 ACRES

LEGEND

- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- SAS MANHOLE
- WATER LINE W/ FITTING



SCALE
1"=50'



SCOTT M. MCGEE
NEW MEXICO
10510
LICENSED PROFESSIONAL ENGINEER

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
125 Monroe Street N.E.
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VENTANA SQUARE NORTH

CONCEPTUAL UTILITY PLAN

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FUTURE CITY COMMUNITY PARK

TRACT F-I
Zoning R-LT

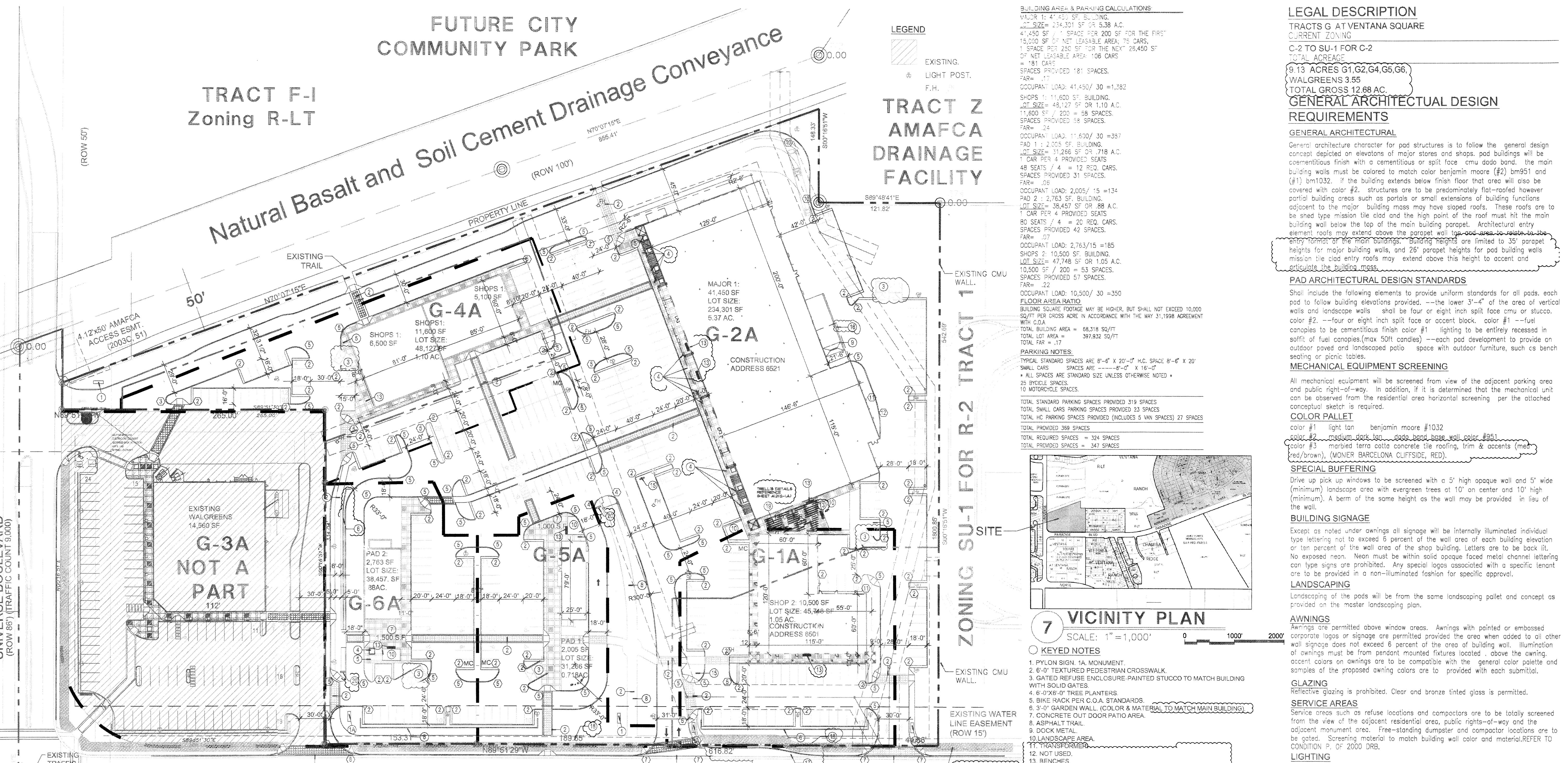
TRACT Z
AMAFCA
DRAINAGE
FACILITY

Natural Basalt and Soil Cement Drainage Conveyance

EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-LT TRACT 7A

UNIVERSE BOULEVARD
(ROW 85) (TRAFFIC COUNT 9,000)

PARADISE BOULEVARD
(ROW 106) (TRAFFIC COUNT 10,800)



LEGEND

- EXISTING.
- LIGHT POST.
- F.H.

BUILDING AREA & PARKING CALCULATIONS

MAJOR 1: 41,450 SF LOT SIZE: 234,301 SF 5.37 AC.
 SHOPS 1: 11,600 SF BUILDING. LOT SIZE: 48,127 SF OR 1.10 AC. SPACES PROVIDED 58 SPACES. FAR = .24
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 PAD 1: 2,005 SF BUILDING. LOT SIZE: 31,266 SF OR .718 AC. 1 CAR PER 4 PROVIDED SEATS
 48 SEATS / 4 = 12 REQ. CARS. SPACES PROVIDED 31 SPACES. FAR = .09
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 PAD 2: 2,763 SF BUILDING. LOT SIZE: 38,457 SF OR .88 AC. 1 CAR PER 4 PROVIDED SEATS
 80 SEATS / 4 = 20 REQ. CARS. SPACES PROVIDED 42 SPACES. FAR = .07
 OCCUPANT LOAD: 2,763 / 15 = 185
 SHOPS 2: 10,500 SF BUILDING. LOT SIZE: 47,746 SF OR 1.05 AC. 1 CAR PER 4 PROVIDED SEATS
 10,500 SF / 200 = 53 SPACES. SPACES PROVIDED 57 SPACES. FAR = .22
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 TOTAL LOT AREA = 397,832 SQ FT
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 ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED
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 10 MOTORCYCLE SPACES
 TOTAL STANDARD PARKING SPACES PROVIDED 319 SPACES
 TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES
 TOTAL HC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 27 SPACES
 TOTAL PROVIDED 369 SPACES
 TOTAL REQUIRED SPACES = 324 SPACES
 TOTAL PROVIDED SPACES = 347 SPACES

LEGAL DESCRIPTION

TRACTS G AT VENTANA SQUARE
 CURRENT ZONING
 C-2 TO SU-1 FOR C-2
 TOTAL ACRES
 9.13 ACRES G1,G2,G4,G5,G6,
 WALGREENS 3.55
 TOTAL GROSS 12.68 AC.
 GENERAL ARCHITECTURAL DESIGN
 REQUIREMENTS

GENERAL ARCHITECTURAL

General architecture character for pad structures is to follow the general design concept depicted on elevations of major stores and shops. pad buildings will be cementitious finish with a cementitious or split face crmu dodo band, the main building walls must be colored to match color benjamin moore (#2) bm951 and (#1) bml032. If the building extends below finish floor that area will also be covered with color #2. structures are to be predominately flat-roofed however partial building areas such as porches or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type mission tile clad and the high point of the roof must hit the main building wall below the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall. Parapet heights for major building walls, and 26' parapet heights for pad building walls mission tile clad entry roofs may extend above this height to accent and articulate the building mass.

PAD ARCHITECTURAL DESIGN STANDARDS

Shall include the following elements to provide uniform standards for all pads. each pad to follow building elevations provided. --the lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face crmu or stucco. color #2. --four or eight inch split face or accent block. color #1 --fuel canopies to be cementitious finish color #1 lighting to be entirely recessed in soffit of fuel canopies (max 50ft candles) --each pad development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.

MECHANICAL EQUIPMENT SCREENING

All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be observed from the residential area horizontal screening per the attached conceptual sketch is required.

COLOR PALETTE

color #1 light tan benjamin moore #1032
 color #2 medium dark taupe color base wall color #951
 color #3 marbled terra cotta concrete tile roofing, trim & accents (med red/brown). (MONIER BARCELONA CLIFFSIDE, RED).

SPECIAL BUFFERING

Drive up pick up windows to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE

Except as noted under awnings all signage will be internally illuminated individual type lettering not to exceed 6 percent of the wall area of each building elevation or ten percent of the wall area of the shop building. Letters are to be back lit. No exposed neon. Neon must be within solid opaque faced metal channel lettering can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.

LANDSCAPING

Landscaping of the pads will be from the same landscaping pallet and concept as provided on the master landscaping plan.

AWNINGS

Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of building wall. Illumination of awnings must be from pendant mounted fixtures located above the awning. accent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.

GLAZING

Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.

SERVICE AREAS

Service areas such as refuse locations and compactors are to be totally screened from the view of the adjacent residential area, public rights-of-way and the adjacent monument area. Free-standing dumpster and compactor locations are to be gated. Screening material to match building wall color and material. REFER TO CONDITION P. OF 2000 DRB.

LIGHTING

Site lighting for pad structures is to match the site lighting provided for the main parking area. pad site lighting not to exceed 20' to fixture. Main parking area lighting not to exceed 20' to fixture. Exposed, i.e. unshield light fixtures are prohibited. All lamps must be shielded shoe box type fixtures. Maximum light level under fuel canopies to be 50ft candles, from totally recessed lighting.

FREE STANDING SIGNAGE

250 sq ft tall architecturally coordinated signs are permitted, one each at the parcel and entry to G and one on Paseo del Norte frontage. Each pad building or group of pad buildings to have one 50 sf monument sign.

TRAFFIC REQUIREMENTS:

All traffic requirements have been met per May 31, 1998 agreement between the city and Las Ventanas limited partnership.

PARKING

The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entries

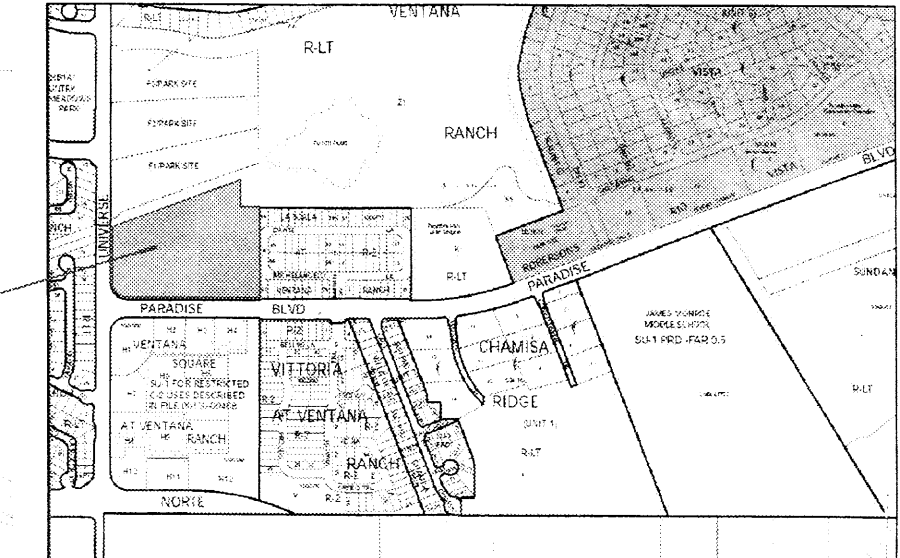
ALTERNATE USE

Concept: if one of the approved schematic alternate use plans is selected for development in lieu of the approved Site Plan for Building Permit, a complete Site Plan for Building Permit Purposes will be prepared and submitted to the DRB for review and approval. (EPC review not required unless the plan for development does not match one of the alternate schematic plans).

RADIUS INFORMATION:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 35'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 100'-0"

FILE: PROJECT# 1002346
 OSEP-01264 EPC SITE DEVELOPMENT PLAN BUILDING PERMIT.
 OSEP-01263 EPC AMENDED SITE DEVELOPMENT PLAN-SUBDIVISION.
 LEGAL DESCRIPTION: FOR ALL OR A PORTION OF TRACTS G1,G2,G4, VENTANA SQUARE AT VENTANA RANCH, ZONED SU-1 FOR RESTRICTED C-2 USES, LOCATED AT THE NORTHEAST CORNER OF UNIVERSE BLVD. NW AND PARADISE BLVD. NW, APPROXIMATELY 9.13 ACRES. (B-10 CARMEN MARRONE, STAFF PLANNER.



7 VICINITY PLAN
 SCALE: 1" = 1,000'

KEYED NOTES

1. PYLON SIGN. 1A. MONUMENT.
2. 6'-0" TEXTURED PEDESTRIAN CROSSWALK.
3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
4. 6'-0"X6'-0" TREE PLANTERS.
5. BIKE RACK PER C.O.A. STANDARDS.
6. 3'-0" GARDEN WALL. (COLOR & MATERIAL TO MATCH MAIN BUILDING)
7. CONCRETE OUT DOOR PATIO AREA.
8. ASPHALT TRAIL.
9. DOCK METAL.
10. LANDSCAPE AREA.
11. TRANSFORMER.
12. NOT USED.
13. BENCHES.
14. 12"X18" MOTORCYCLE SIGN AS PER CITY REQ.(MC)
15. SIGN, SLOW DOWN DUE TO PEOPLE CROSSING.
16. 10'-0" SCREEN WALL.
17. RIGHT TURN LANE.
18. EXISTING MULTI-PURPOSE TRAIL (PER LONG RANGE BIKEWAY SYSTEMS MAP).
19. TRELLIS.
20. DO NOT ENTER (SIGN)

PROJECT NUMBER: 100 2346
 APPLICATION NUMBER: 05 DRB- 01794

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [] and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES (X) NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

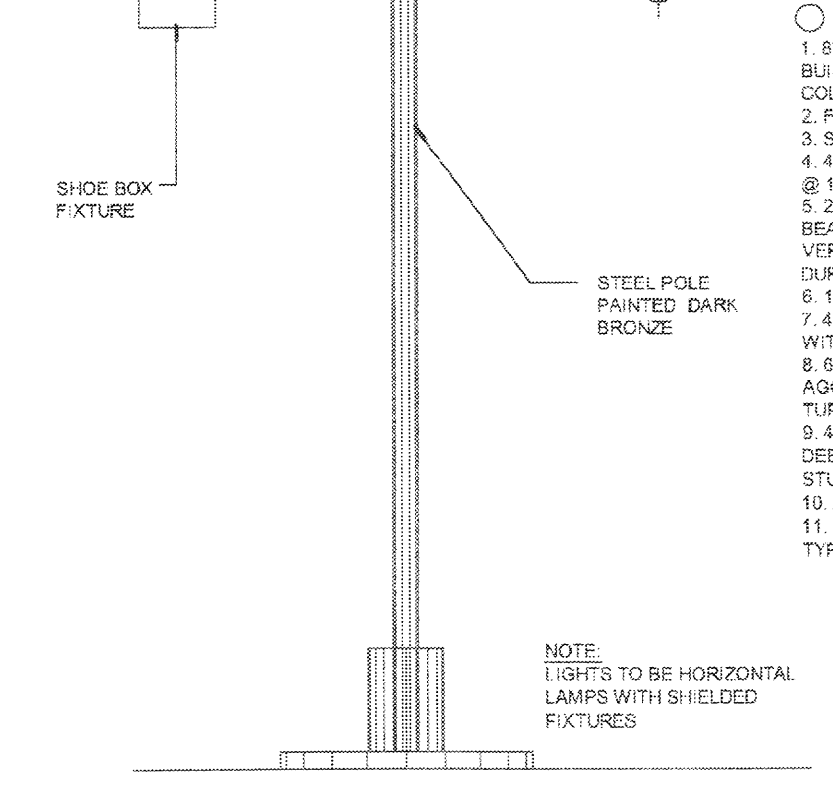
Traffic Engineering, Transportation Division
 William G. Balala
 Water Utility Department
 Christina Sandoval
 Parks and Recreation Department
 Bradley L. Bihl
 City Engineer
 N/A
 Environmental Health Department
 Michael Heston
 City Utility Management
 M. Wilson
 DRB Chairperson, Planning Department

12/14/05
 12/20/05
 12/14/05
 12/20/05
 12/14/05
 12/20/05

* Environmental Health, if necessary

1 SITE PLAN

Scale: 1" = 50'-0"

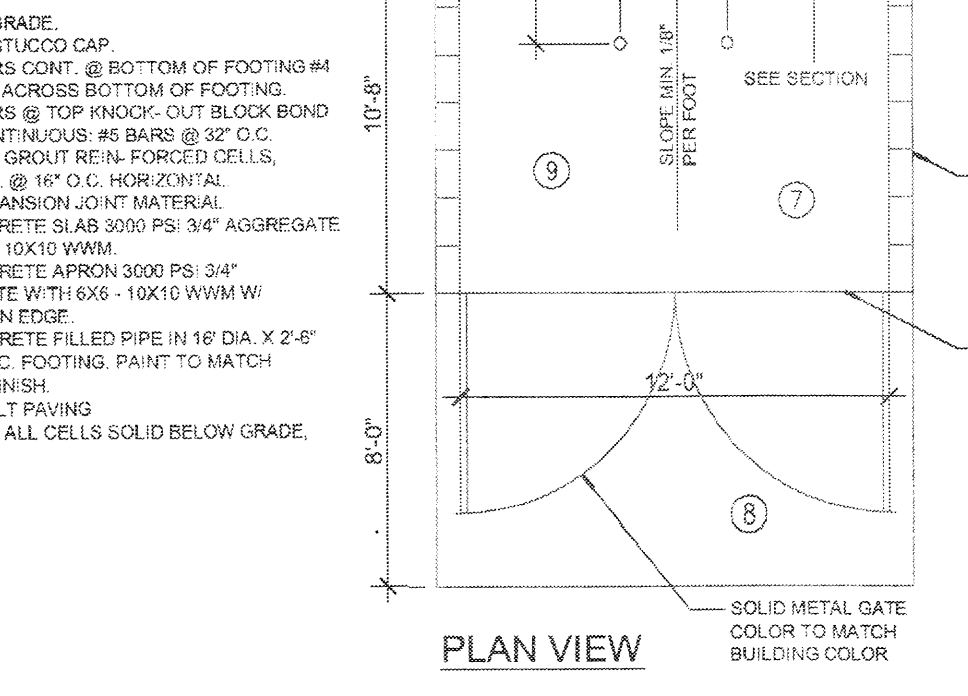


3 SITE LIGHTING

Scale: Not to Scale

4 REFUSE ENCLOSURE

Scale: Not to Scale

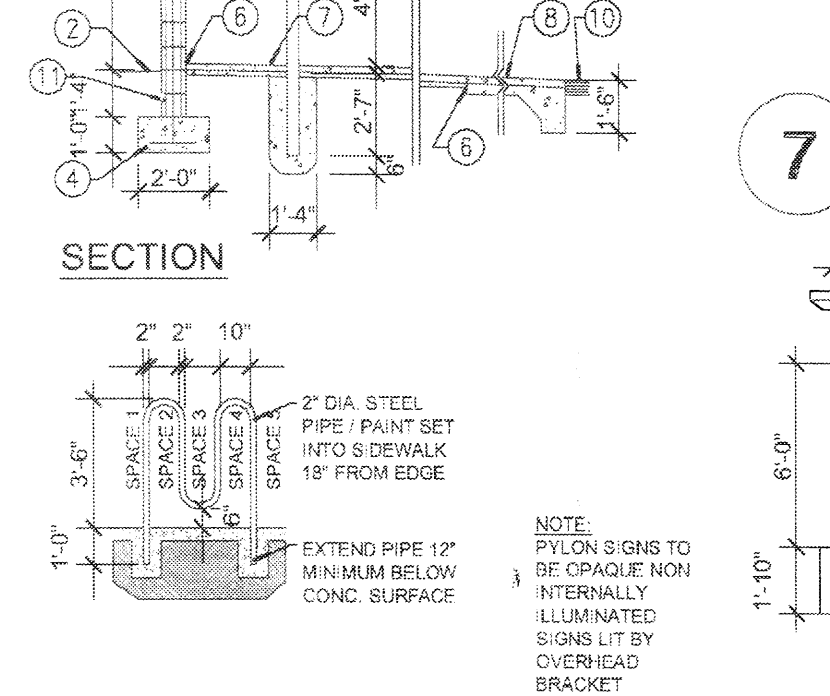


2 BIKE RACK

Scale: Not to Scale

7 GARDEN WALL

Scale: Not to Scale

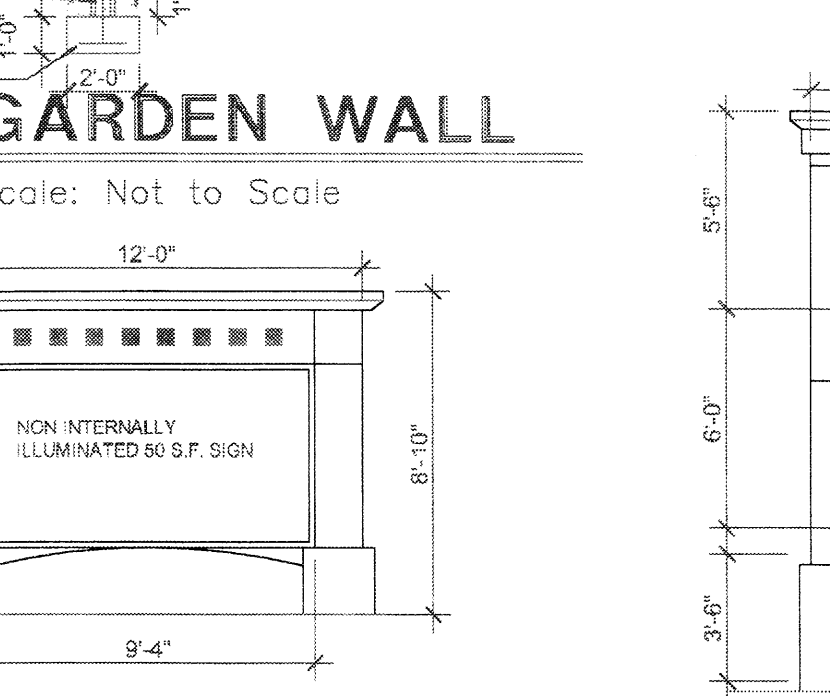


5 MONUMENT SIGN

Scale: Not to Scale

SU-1 FOR C2 PURPOSES

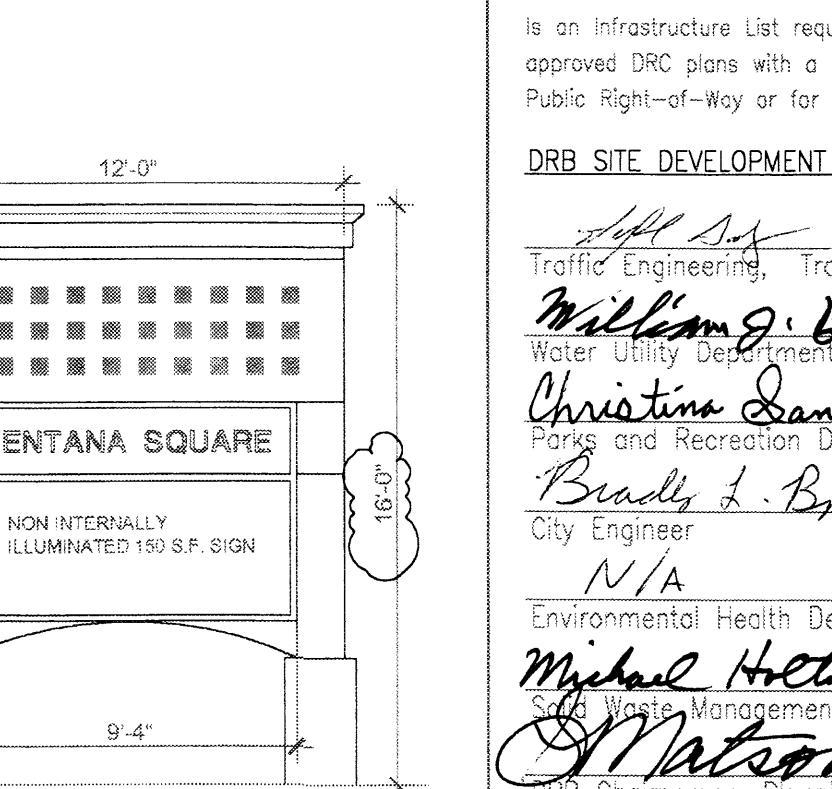
Scale: Not to Scale



6 MONUMENT SIGN

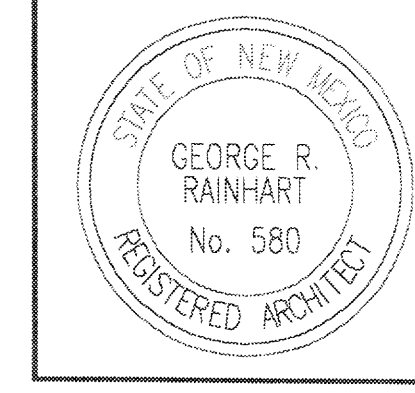
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VENTANA SQUARE



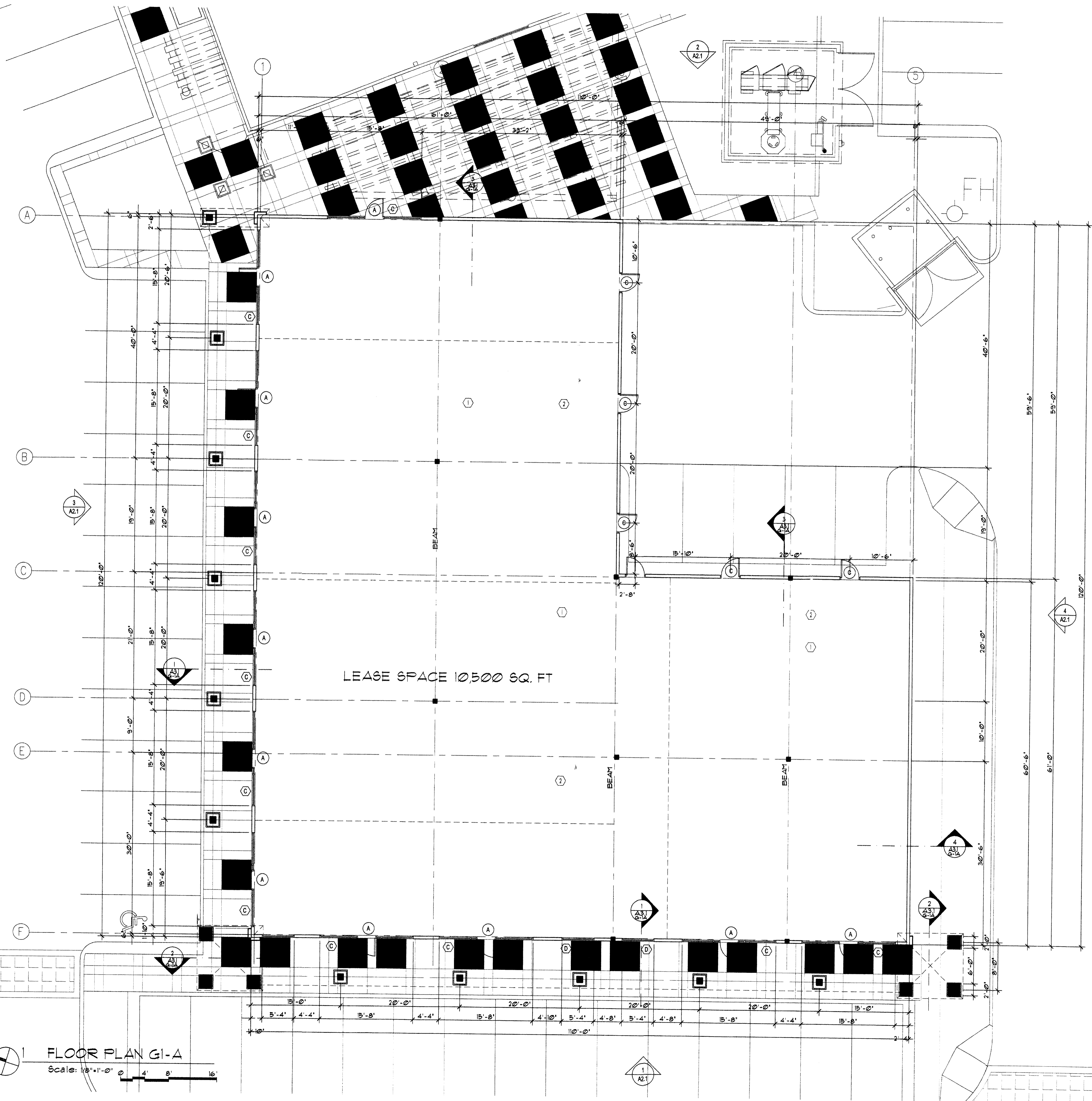
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE: VENTANA SQUARE (NEO UNIVERSE & RANCHO ALBUQUERQUE, NEW MEXICO)
 PROJECT MANAGER: GEORGE RAINHART
 DRAWN BY: APZ
 JOB NO: 8002
 SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 11/15/2005 sheet
 SCALE: 1"=50' G-1A & G-2A of



GENERAL NOTES
 1. REINFORCED CONCRETE SLAB READY FOR TENANT IMPROVEMENT. (DO NOT SEAL.) REFER STRUCTURAL DRAWINGS.
 2. MAIN PLUMBING LINE WITH CLEANOUTS (PER BAY OR PER OWNER). REFER MECHANICAL DRAWINGS.

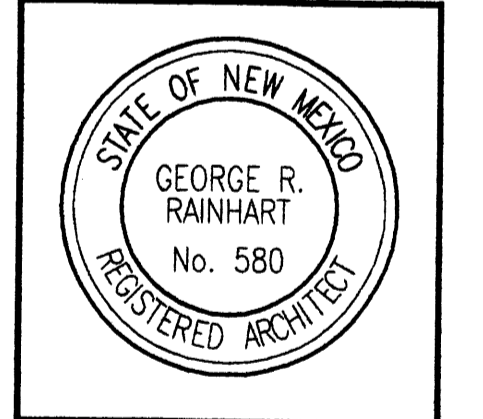
LEGEND
 (A) WINDOW TYPE
 (A) DOOR TYPE

1 FLOOR PLAN G1-A
 Scale: 1/8" = 1'-0"

2 KEY PLAN
 Scale: N.T.S.

| REV | DATE | BY | REVISION |
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
VENTANA SQUARE
 PARADISE AND UNIVERSE BOULEVARDS
 ALBUQUERQUE, NEW MEXICO

JOB NO.
 9052

DRAWN BY:
 A P-Z

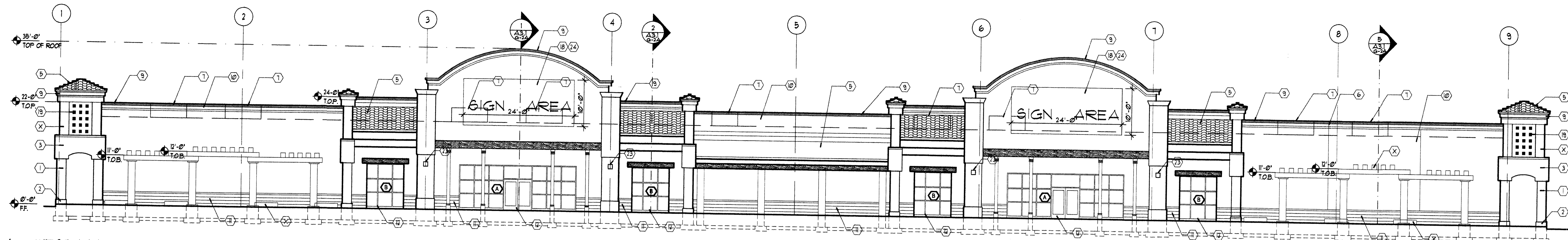
PROJECT MANAGER
 Anton Dattilo

SHEET TITLE
FLOOR PLAN

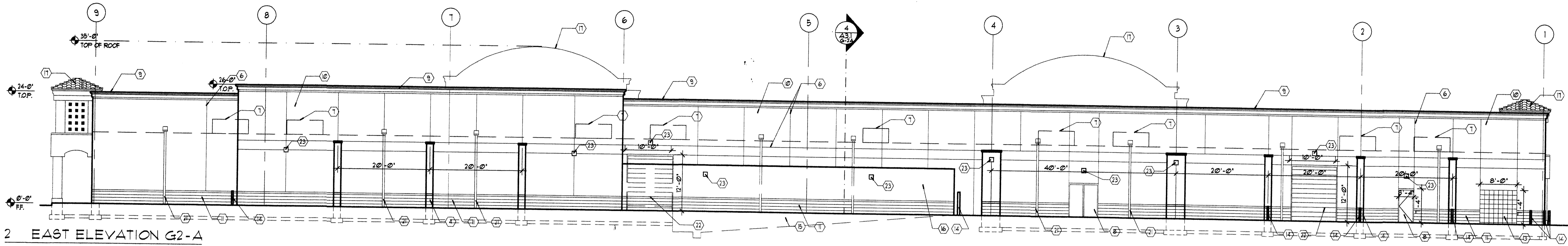
DATE:
 11/15/05

SCALE:
 1/8" = 1'-0"

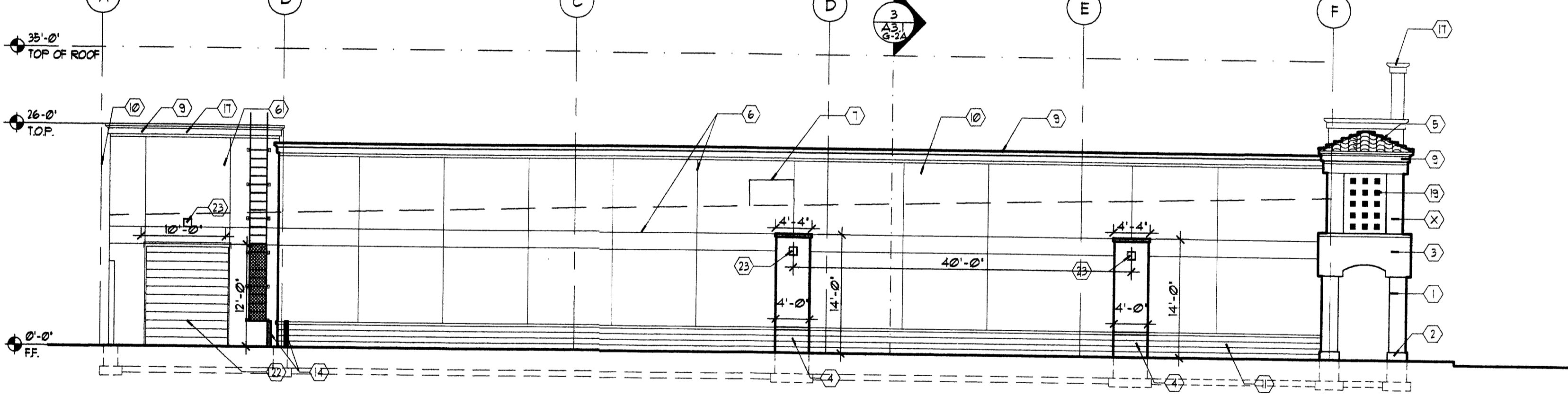
sheet-
A1.2
 G-1A
 of 1



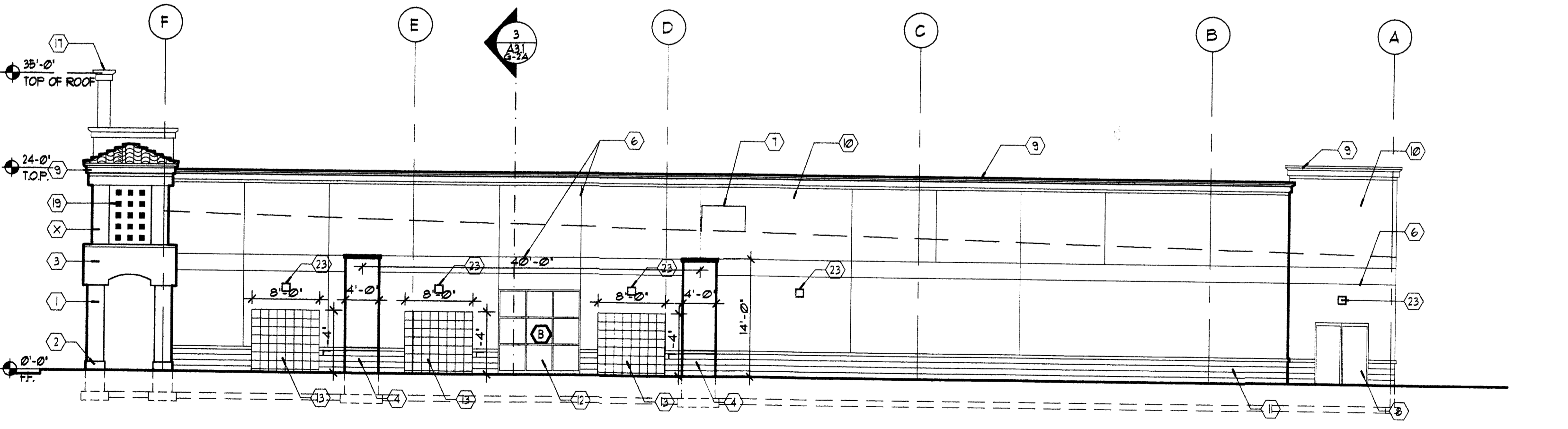
1 WEST ELEVATION G2-A
Scale: 3/32"=1'-0"
0' 4' 8' 16'



2 EAST ELEVATION G2-A
Scale: 3/32"=1'-0"
0' 4' 8' 16'



3 NORTH ELEVATION G2-A
Scale: 3/32"=1'-0"
0' 4' 8' 16'

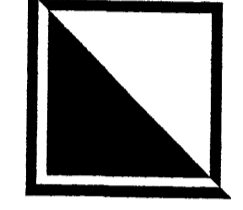


4 SOUTH ELEVATION G2-A
Scale: 3/32"=1'-0"
0' 4' 8' 16'

○ GENERAL NOTES

1. LIGHT TAN (BENJAMIN MOORE #032) TYPICAL.
2. 2'-4"x2'-4" CONCRETE BASE TYPICAL WITH STUCCO FINISH.
3. LIGHT TAN (BENJAMIN MOORE #123) TYPICAL.
4. FILASTER 1'-6" FROM FACE OF BUILDING.
5. MONIER ROOF TILE 'MISSION 'S' STYLE COLOR TO BLEND WITH BLDG. COLOR.
6. STUCCO CONTROL JOINT, TYP.
7. LOCATION OF MECHANICAL UNITS DASHED.
8. HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
9. FOAM MOLDING CORNICE WITH STUCCO FINISH TO MATCH.
10. 2" GOAT STUCCO SYSTEM OVER MESH AND 1510 BUILDING PAPER OVER TILT UP REINFORCED CONCRETE PANELS.
11. SPLIT FACED CMU PAINTED 'RED TAN' - TYP.
12. DARK BRONZE ALUMINUM STOREFRONT SYSTEM, WITH 1" INSULATED GLASS. SEE WINDOW TYPES A41.
13. TRELKIS.
14. 6"x6" STEEL BOLLARD FILL WITH CONCRETE 5'-0" ABOVE GRADE AND 5'-0" BELOW GRADE, PAINT 'Y'.
15. RETAINING WALL AND TRUCK RAMP TO 48" BELOW FINISH FLOOR.
16. 10' PAINTED TO MATCH EXTERIOR CMU VISUAL BARRIER.
17. ROOFLINE BEYOND.
18. RED OPAQUE FACED BACKLIT INDIVIDUAL CHANNEL LETTERS.
19. RECESSED SQUARE 8"x8"x1" DEEP.
20. FOOTING FOUNDATIONS, REFER TO STRUCTURAL DRAWINGS.
21. GUTTER AND DOWNSPOUT. SEE ROOF PLAN DRAWING.
22. 10"x12" METAL OVERHEAD DOOR. SEE DOOR TYPES DRAWINGS.
23. LIGHTING FIXTURE. SEE ELECTRICAL DRAWINGS.
24. ALL PURPOSE SIGN LOCATION IS TO RECEIVE A J. BOX TO THAT LOCATION. REFER ELECTRICAL.

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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
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 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
VENTANA SQUARE
 PARADISE AND UNIVERSE BOULEVARDS
 ALBUQUERQUE NEW MEXICO

PROJECT MANAGER
 Anton Dattilo

JOB NO.
 9052

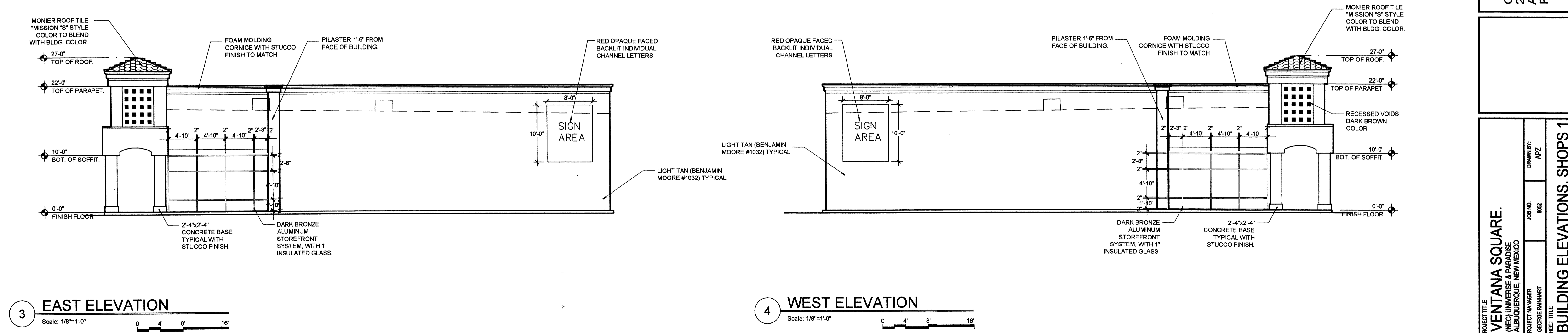
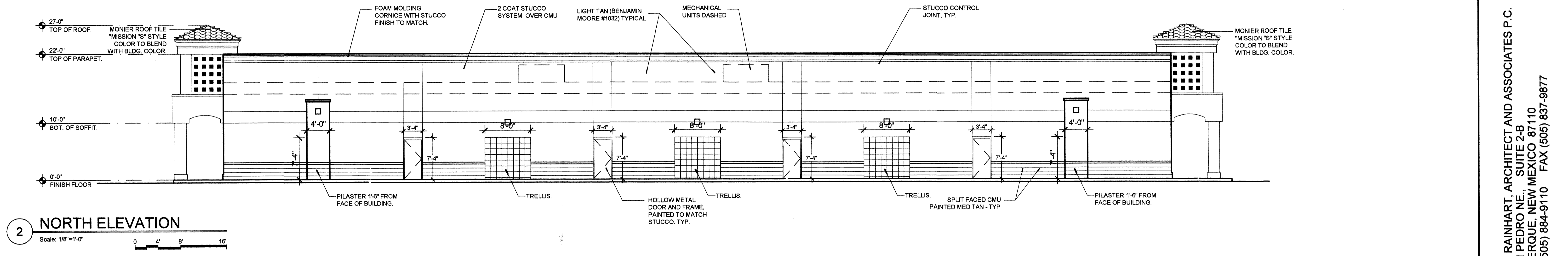
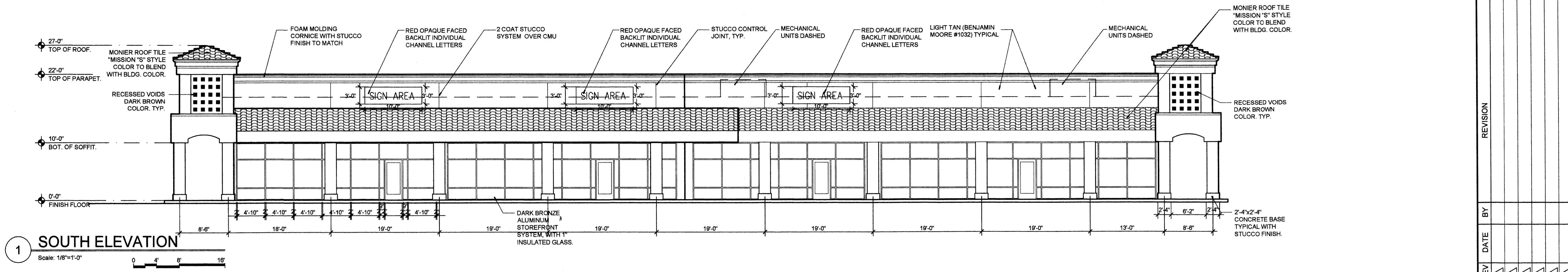
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 A. P-Z

SHEET TITLE
ELEVATIONS MAJOR 1

DATE:
 11/15/05

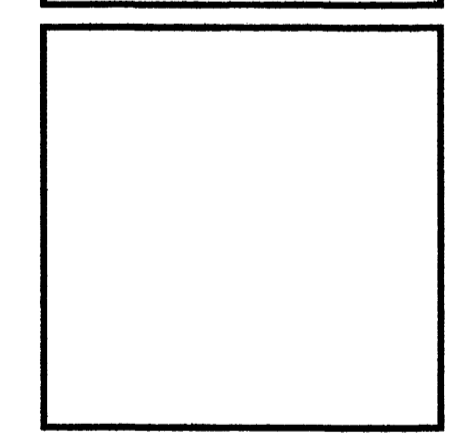
SCALE:
 3/32"=1'-0"

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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
VENTANA SQUARE.
(NEO) UNIVERSE & PARADISE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
GEORGE RAINHART

JOB NO.
902

DRAWN BY
APZ

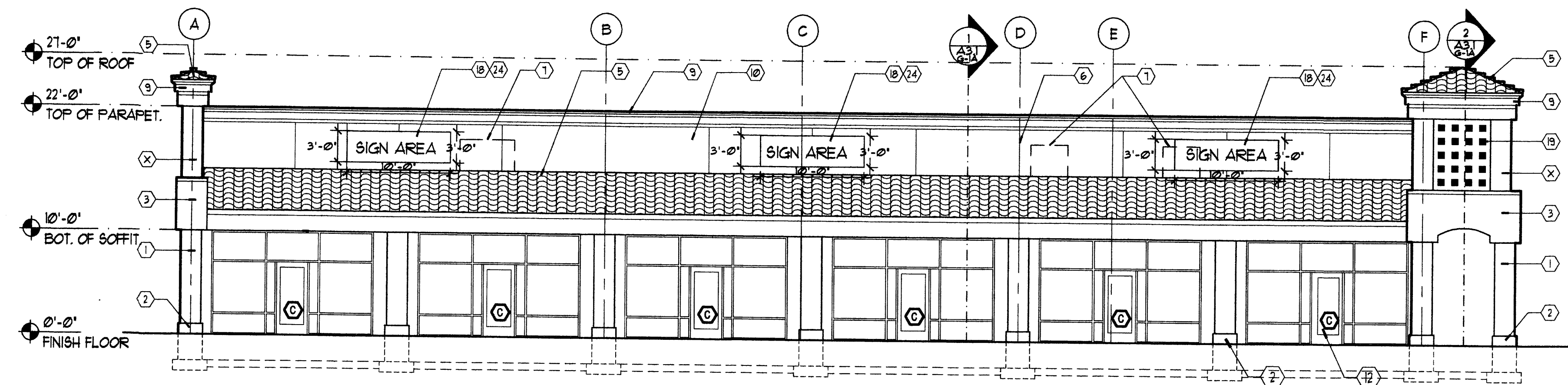
SHEET TITLE
BUILDING ELEVATIONS, SHOPS 1

DATE:
111505

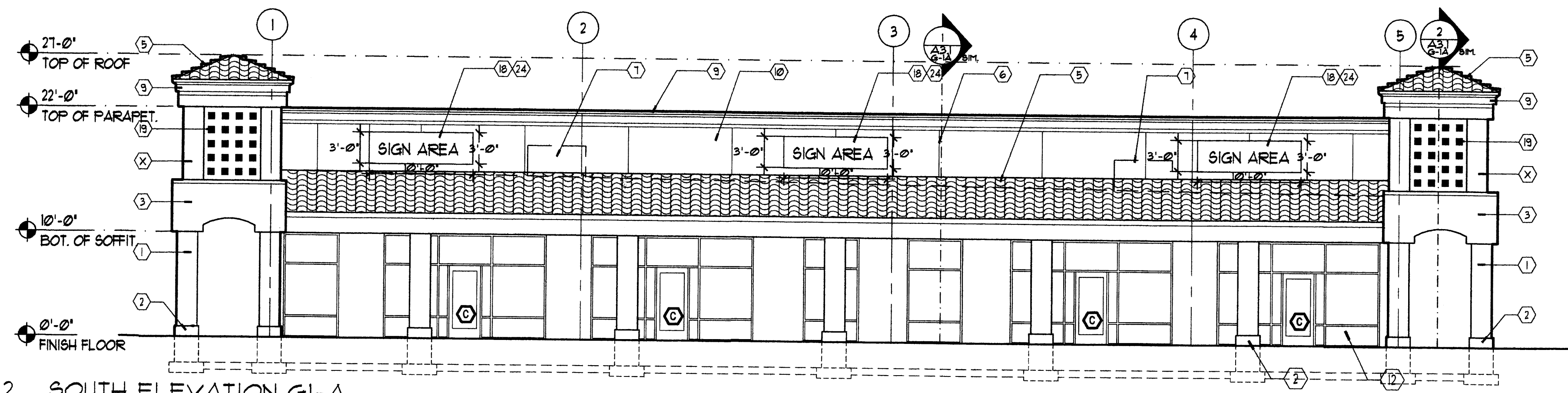
SCALE:
1/8" = 1'-0"

sheet:
A2.2

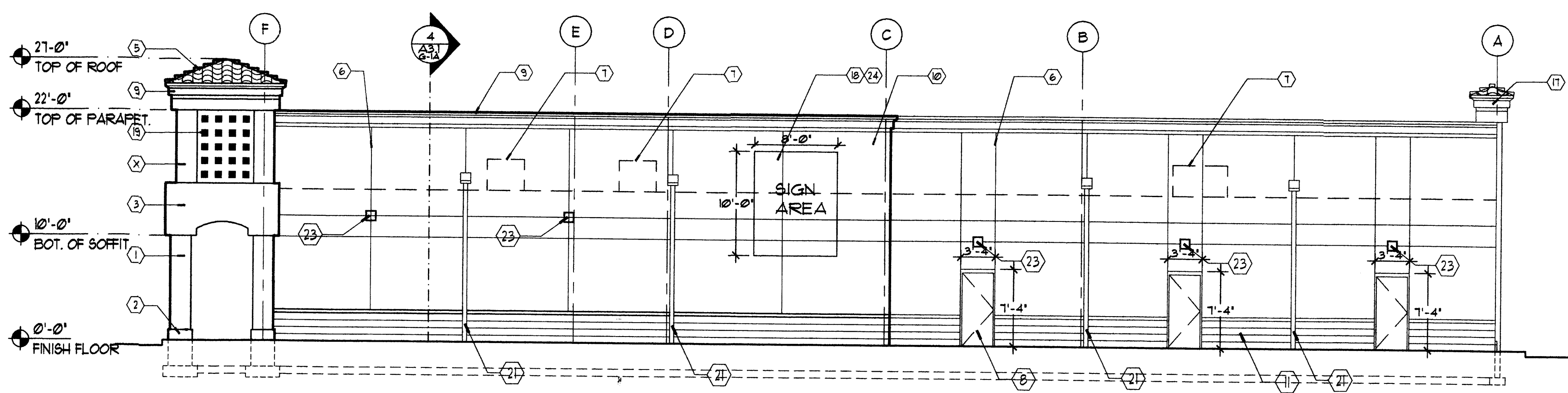
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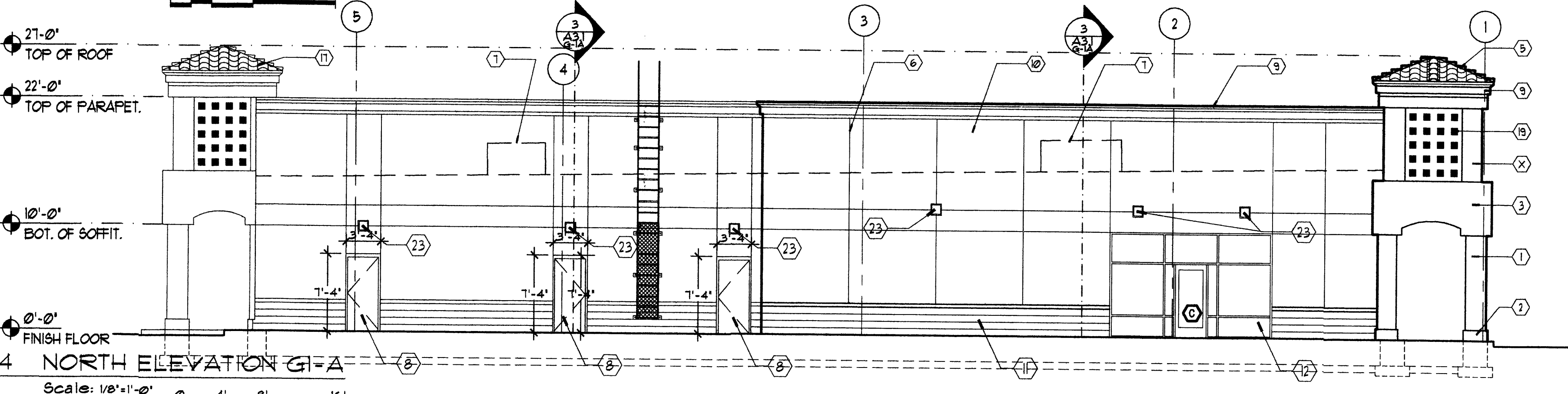
1 WEST ELEVATION G1-A
Scale: 1/8"=1'-0" 0 4' 8' 16'



2 SOUTH ELEVATION G1-A
Scale: 1/8"=1'-0" 0 4' 8' 16'



3 EAST ELEVATION G1-A
Scale: 1/8"=1'-0" 0 4' 8' 16'

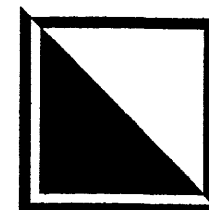


4 NORTH ELEVATION G1-A
Scale: 1/8"=1'-0" 0 4' 8' 16'

GENERAL NOTES

1. LIGHT TAN (BENJAMIN MOORE #1232) TYPICAL.
2. 2'-4"x2'-4" CONCRETE BASE TYPICAL WITH STUCCO FINISH.
3. LIGHT TAN (BENJAMIN MOORE #123) TYPICAL.
4. PLASTER 1'-6" FROM FACE OF BUILDING.
5. MONIER ROOF TILE 'MISSION '9' STYLE COLOR TO BLEND WITH BLDG. COLOR.
6. STUCCO CONTROL JOINT, TYP.
7. LOCATION OF MECHANICAL UNITS DASHED.
8. HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
9. FOAM MOLDING CORNICE WITH STUCCO FINISH TO MATCH.
10. 2-COAT STUCCO SYSTEM OVER MESH AND 15lb. BUILDING PAPER OVER TILT UP REINFORCED CONCRETE PANELS.
11. SPLIT FACED CMU PAINTED MED TAN - TYP.
12. DARK BRONZE ALUMINUM STOREFRONT SYSTEM, WITH 1" INSULATED GLASS. SEE WINDOW TYPES A4.1.
13. TRELLIS.
14. 6"x6" STEEL BOLLARD FILL WITH CONCRETE 5'-0" ABOVE GRADE AND 5'-0" BELOW GRADE, PAINT T.
15. RETAINING WALL AND TRUCK RAMP TO 48" BELOW FINISH FLOOR.
16. 10' PAINTED TO MATCH EXTERIOR CMU VISUAL BARRIER.
17. ROOFLINE BEYOND.
18. RED OPAQUE FACED BACKLIT INDIVIDUAL CHANNEL LETTERS.
19. RECESSED SQUARE 8"x8"x1" DEEP.
20. FOOTING FOUNDATIONS, REFER TO STRUCTURAL DRAWINGS.
21. GUTTER AND DOWNSPOUT, SEE ROOF PLAN DRAWING.
22. 10"x12" METAL OVERHEAD DOOR, SEE DOOR TYPES DRAWINGS.
23. LIGHTING FIXTURE, SEE ELECTRICAL DRAWINGS.
24. ALL PURPOSED SIGN LOCATION IS TO RECEIVE A J. BOX TO THAT LOCATION, REFER ELECTRICAL.

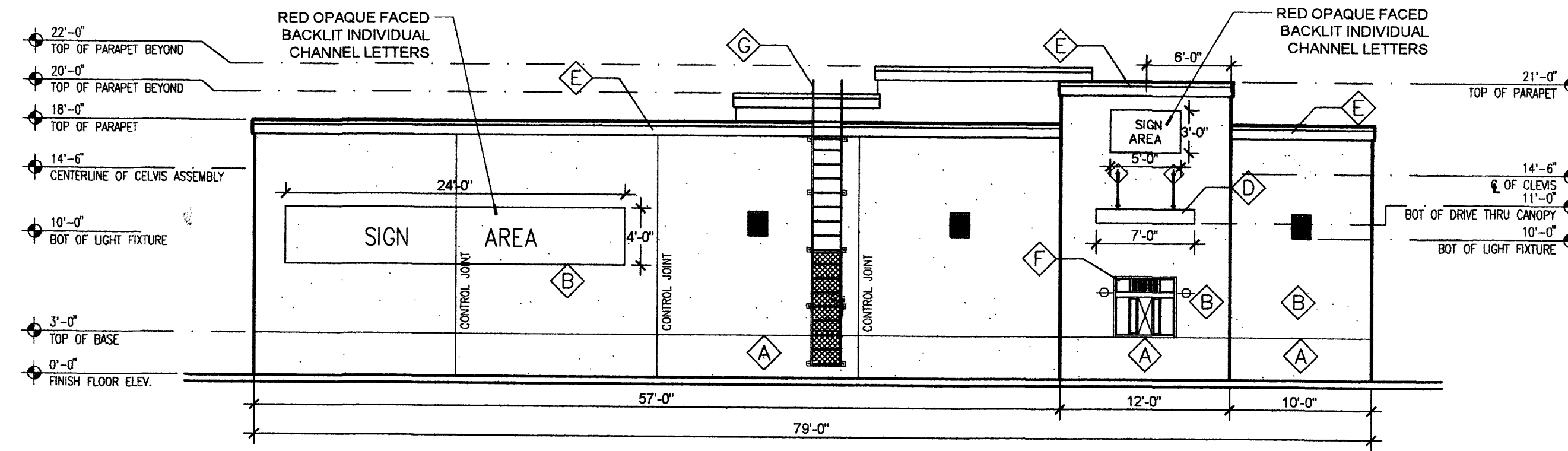
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
VENTANA SQUARE
 PARADISE AND UNIVERSE BOULEVARDS
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER
 Anton Dattilo
 SHEET TITLE
ELEVATIONS SHOPS 2

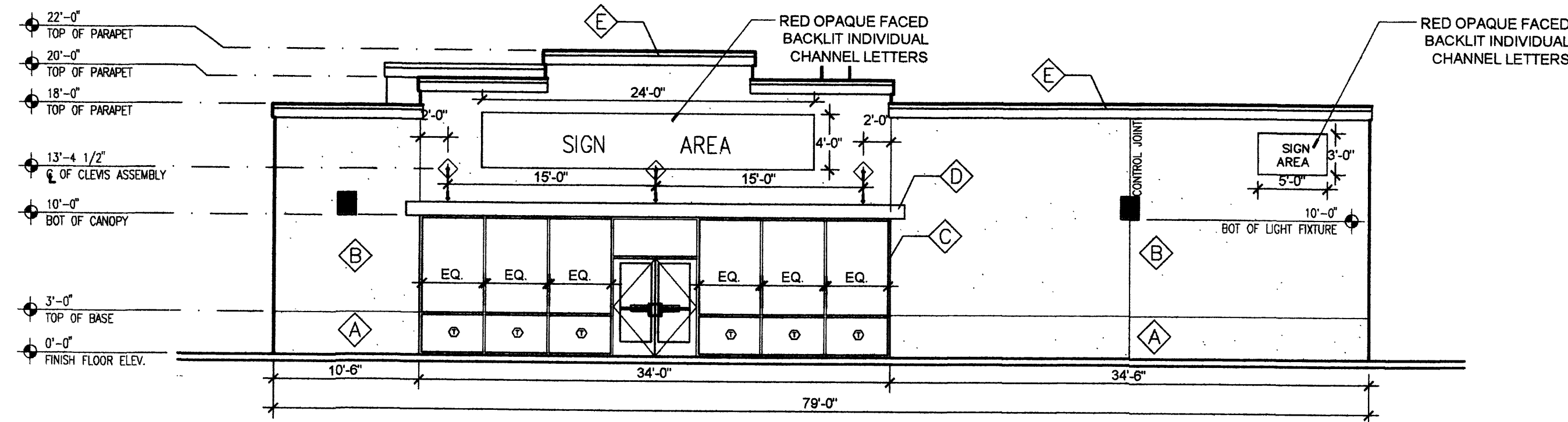
JOB NO. 9052
 DRAWN BY:
 A P-Z

DATE: 11/15/05
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 SHEET: **A2.3**
 OF:



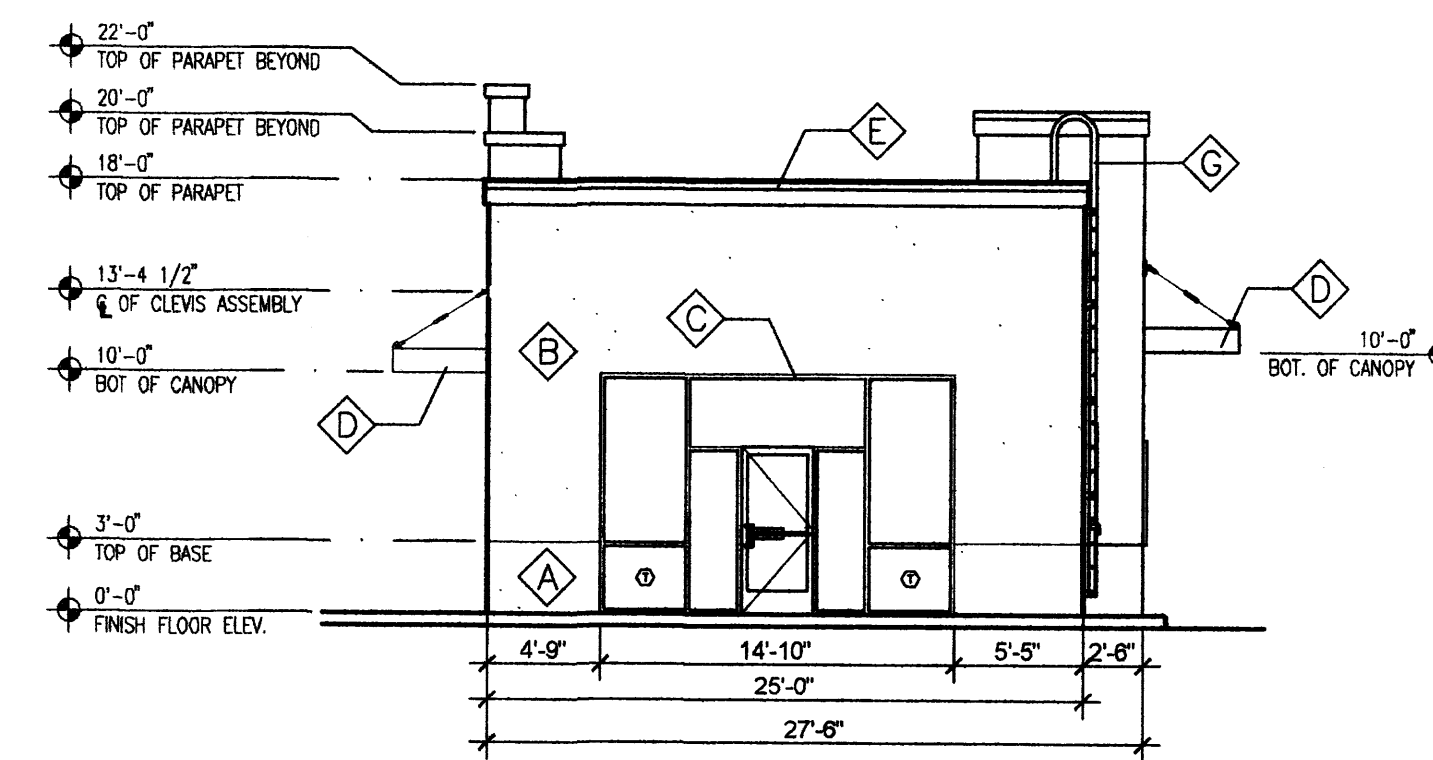
2 EAST ELEVATION

Scale: 1/8"=1'-0"
0 4' 8' 16'



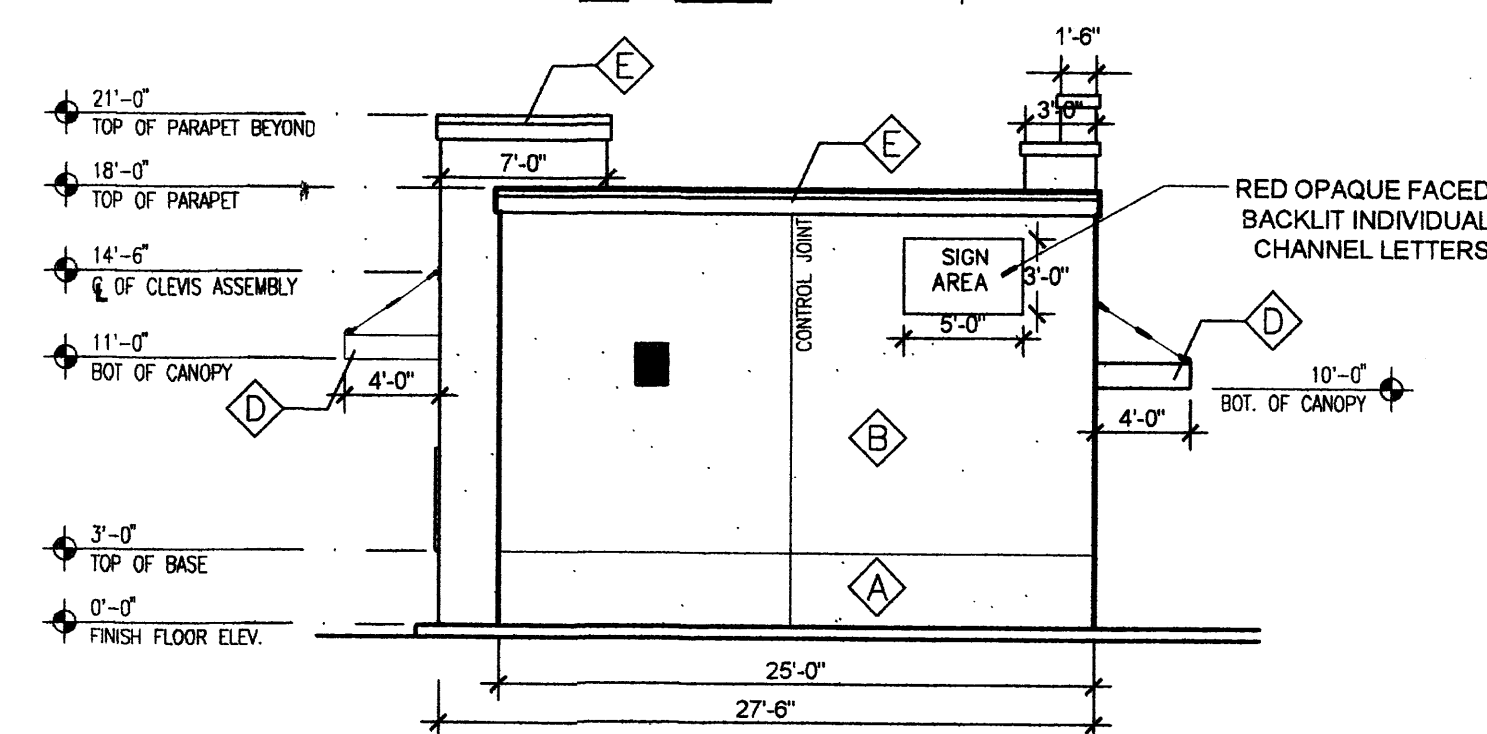
1 WEST ELEVATION

Scale: 1/8"=1'-0"
0 4' 8' 16'



3 SOUTH ELEVATION

Scale: 1/8"=1'-0"
0 4' 8' 16'



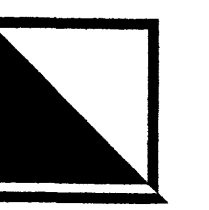
4 NORTH ELEVATION

Scale: 1/8"=1'-0"
0 4' 8' 16'

Keyed Color / Material Schedule

| | | |
|---|--------------------|---|
| Ⓐ | STUCCO BASE | MEDIUM DARK TAN DADO BAND WALL COLOR # 951. |
| Ⓑ | STUCCO | LIGHT TAN BENJAMIN MOORE # 1032 |
| Ⓒ | ALUM. STOREFRONT | DARK BRONZE. |
| Ⓓ | STEEL CANOPY | DARK BRONZE. |
| Ⓔ | METAL COPING | GREEN |
| Ⓕ | DRIVE-THRU WINDOW | DARK BRONZE. |
| Ⓖ | ROOF ACCESS LADDER | PAINT TO MATCH STUCCO COLOR |

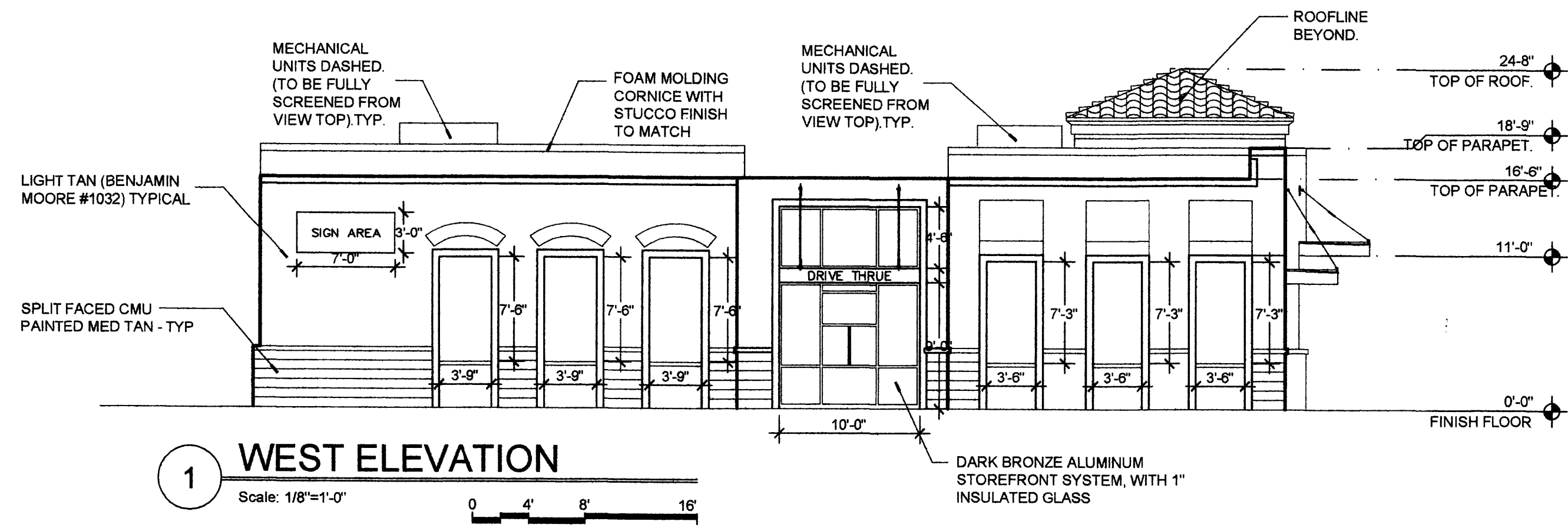
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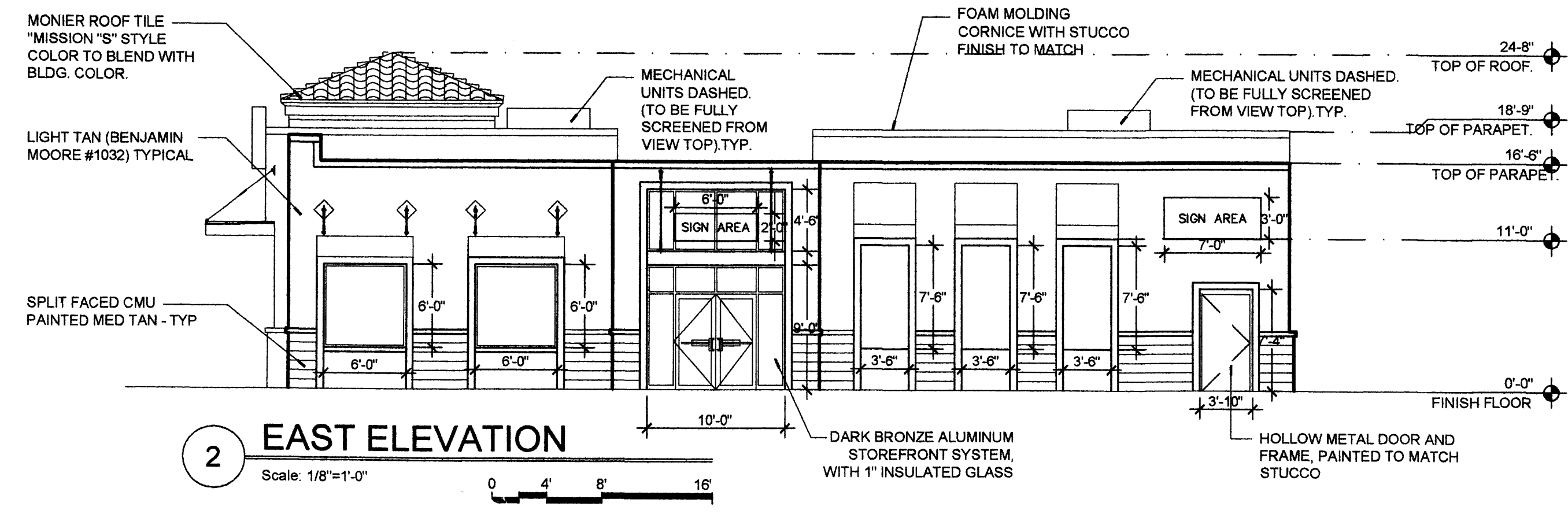
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 864-9110 FAX (505) 837-9877

| | |
|-----------------|-----------------------------|
| PROJECT TITLE | VENTANA SQUARE. |
| PROJECT NUMBER | 111505 |
| PROJECT MANAGER | APZ |
| SHEET TITLE | BUILDING ELEVATIONS, PAD 1. |

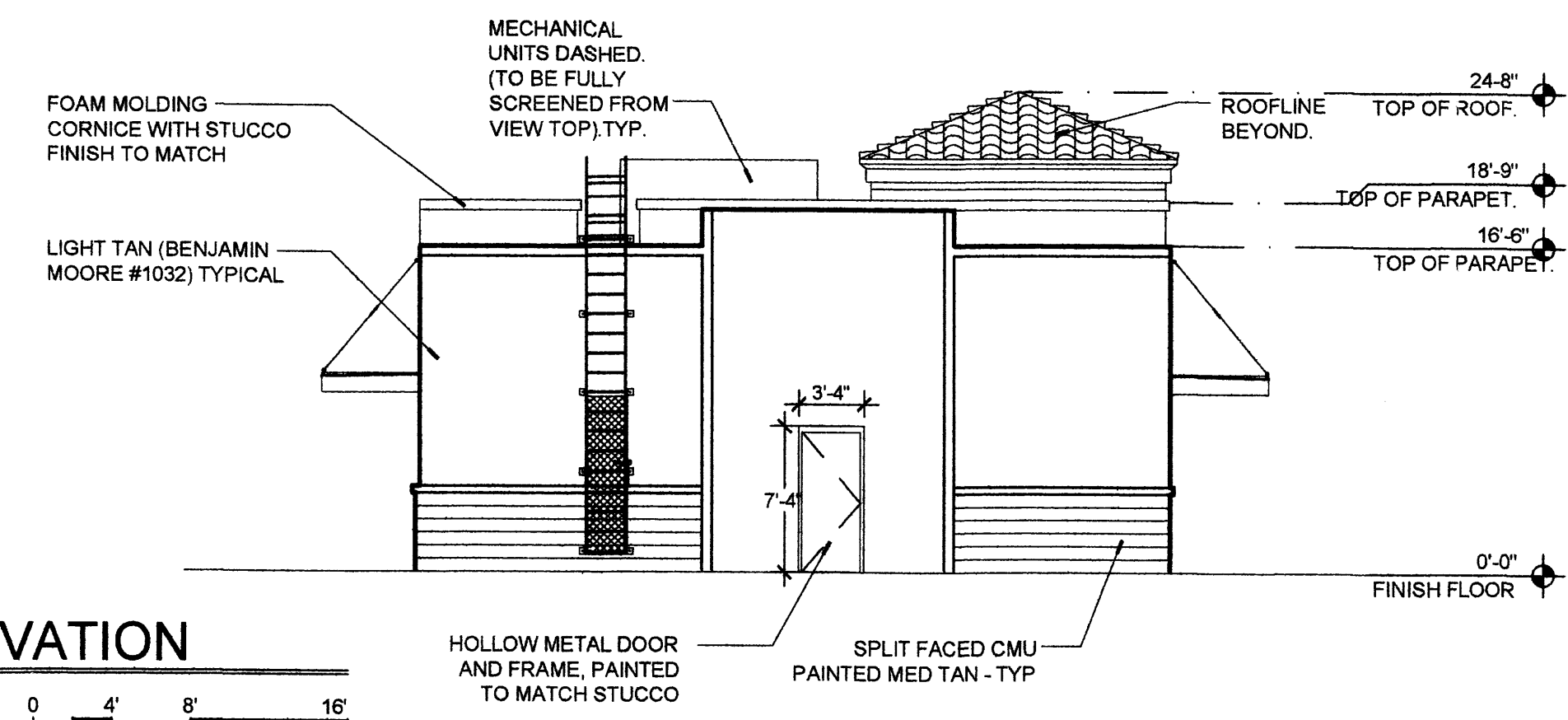
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| SCALE: | 1/8" = 1'-0" | of: | |



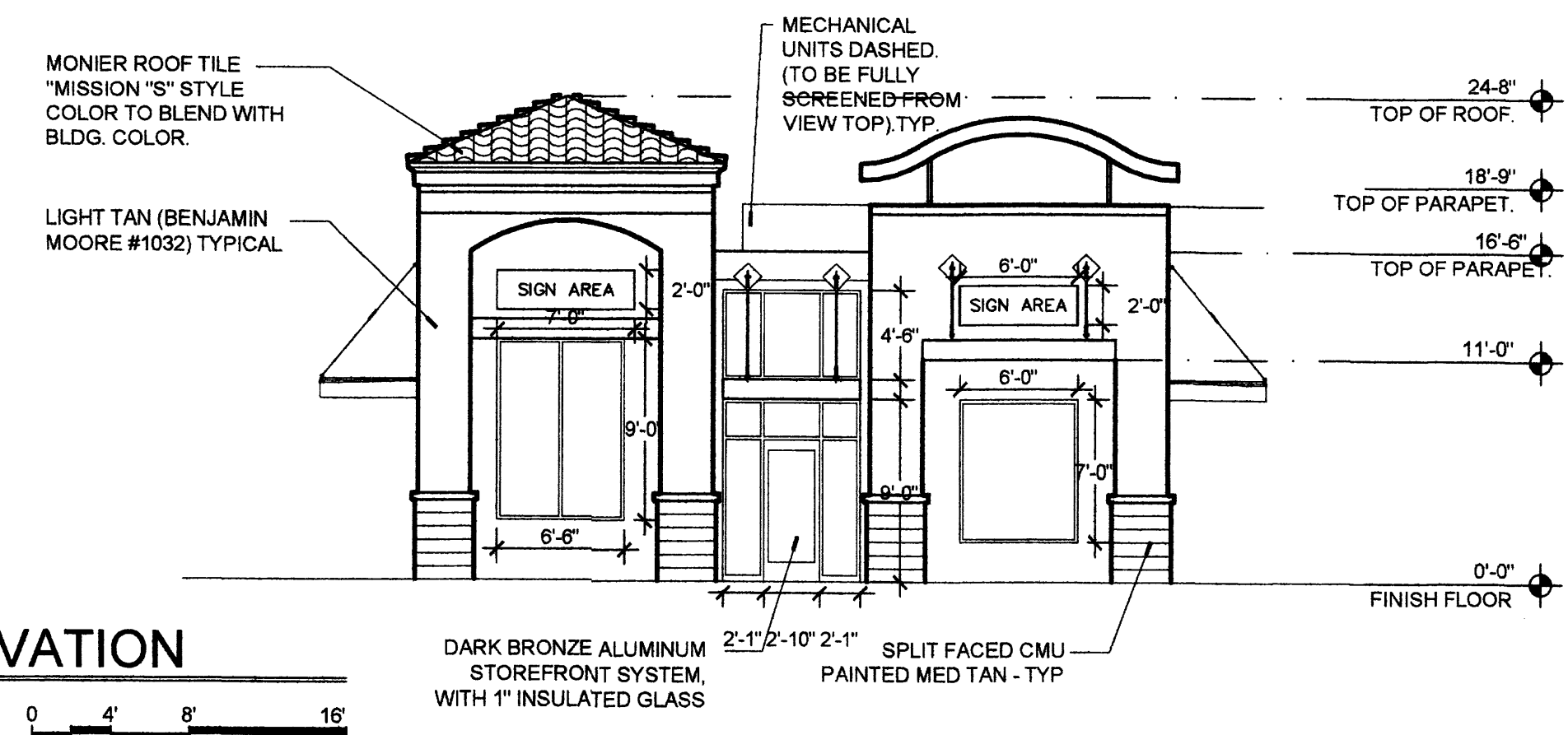
1 WEST ELEVATION
Scale: 1/8"=1'-0"



2 EAST ELEVATION
Scale: 1/8"=1'-0"

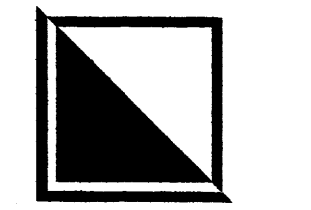


3 NORTH ELEVATION
Scale: 1/8"=1'-0"



4 SOUTH ELEVATION
Scale: 1/8"=1'-0"

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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 864-9110 FAX (505) 837-9877

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|-----------------|------------------------------------|-----------|-----|
| PROJECT TITLE | VENTANA SQUARE. | | |
| PROJECT NUMBER | 111505 | JOB NO. | 802 |
| PROJECT MANAGER | GEORGE RAINHART | DRAWN BY: | APZ |
| SHEET TITLE | BUILDING ELEVATIONS, PAD 2. | | |

DATE: 111505
SCALE: 1/8" = 1'-0"
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A2.5
of