

FUTURE CITY COMMUNITY PARK

TRACT F-I
Zoning R-LT

TRACT Z
AMAFCA
DRAINAGE
FACILITY

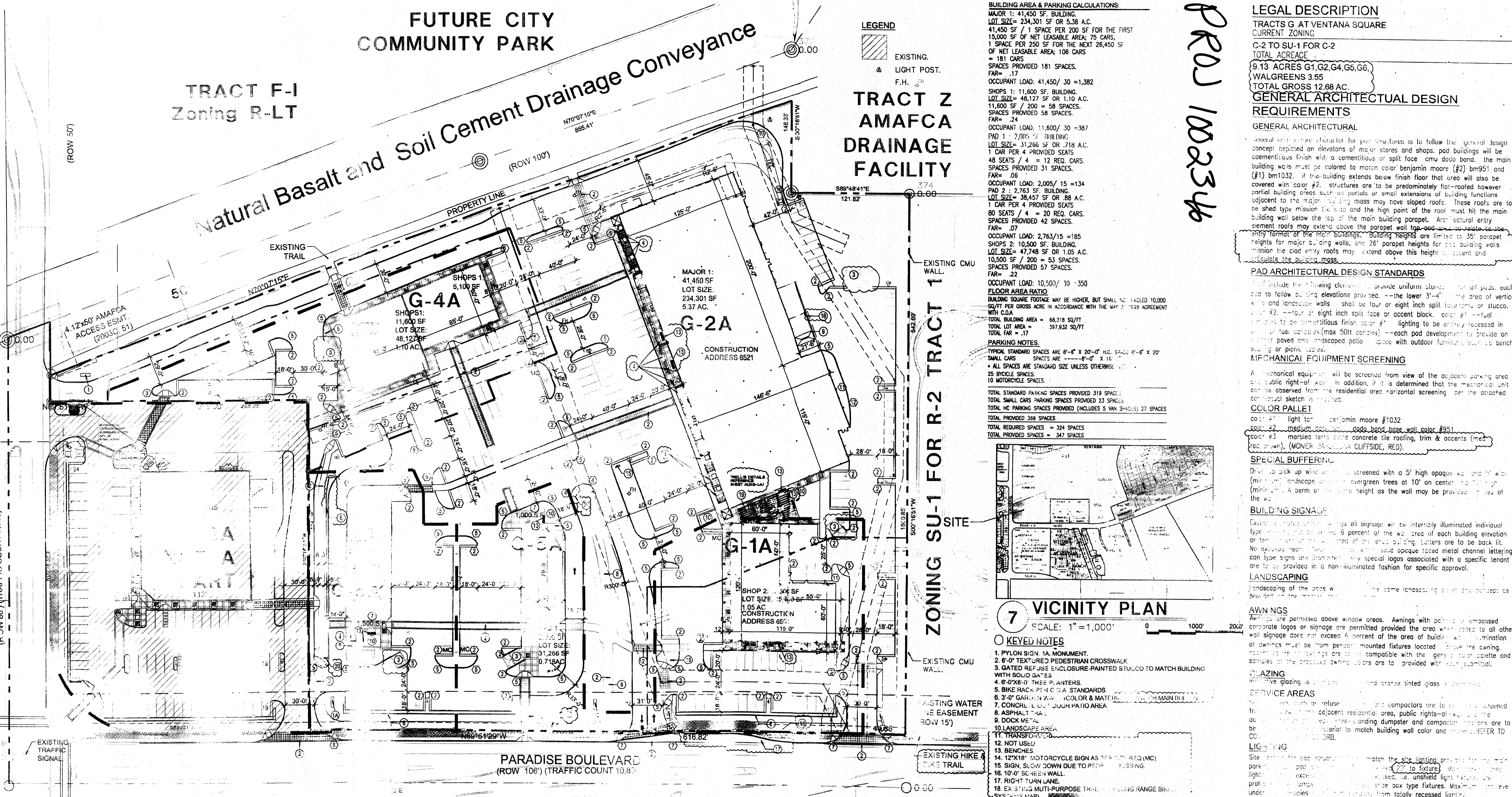
Natural Basalt and Soil Cement Drainage Conveyance

EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-LT TRACT 7A

UNIVERSE BOULEVARD
(ROW 86') (TRAFFIC COUNT 5,000)

PARADISE BOULEVARD
(ROW 106') (TRAFFIC COUNT 10,850)

ZONING SU-1 FOR R-2 TRACT 1



LEGEND
EXISTING.
LIGHT POST.
F.H.

BUILDING AREA & PARKING CALCULATIONS:
MAJOR 1: 41,450 SF. BUILDING.
LOT SIZE = 234,301 SF OR 5.38 AC.
41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST 15,000 SF OF NET LEASABLE AREA: 75 CARS.
1 SPACE PER 250 SF FOR THE NEXT 26,450 SF OF NET LEASABLE AREA: 106 CARS
= 181 CARS
SPACES PROVIDED 181 SPACES.
FAR = .17
OCCUPANT LOAD: 41,450 / 30 = 1,382
SHOP 1: 11,600 SF. BUILDING.
LOT SIZE = 48,127 SF OR 1.10 AC.
11,600 SF / 200 = 58 SPACES.
SPACES PROVIDED 58 SPACES.
FAR = .24
OCCUPANT LOAD: 11,600 / 30 = 387
PAD 2: 2,763 SF. BUILDING.
LOT SIZE = 31,266 SF OR 0.718 AC.
1 CAR PER 4 PROVIDED SEATS
48 SEATS / 4 = 12 REQ. CARS.
SPACES PROVIDED 31 SPACES.
FAR = .06
OCCUPANT LOAD: 2,005 / 15 = 134
PAD 2: 2,763 SF. BUILDING.
LOT SIZE = 38,457 SF OR .88 AC.
1 CAR PER 4 PROVIDED SEATS
80 SEATS / 4 = 20 REQ. CARS.
SPACES PROVIDED 42 SPACES.
FAR = .07
OCCUPANT LOAD: 2,763 / 15 = 185
SHOP 2: 10,500 SF. BUILDING.
LOT SIZE = 47,748 SF OR 1.05 AC.
10,500 SF / 200 = 53 SPACES.
SPACES PROVIDED 57 SPACES.
FAR = .22
OCCUPANT LOAD: 10,500 / 30 = 350
TOTAL BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 11, 1999 AGREEMENT WITH C.O.A.
TOTAL BUILDING AREA = 68,319 SQ/FT
TOTAL LOT AREA = 397,832 SQ/FT
TOTAL FAR = .17
PARKING NOTES:
TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20" SMALL CARS SPACES ARE 8'-0" X 16"
ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED
25 BICYCLE SPACES
10 MOTORCYCLE SPACES
TOTAL STANDARD PARKING SPACES PROVIDED 319 SPACES
TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES
TOTAL H.C. PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 27 SPACES
TOTAL PROVIDED 389 SPACES
TOTAL REQUIRED SPACES = 324 SPACES
TOTAL PROVIDED SPACES = 347 SPACES

PROJ 1002346

LEGAL DESCRIPTION
TRACTS G AT VENTANA SQUARE
CURRENT ZONING
C-2 TO SU-1 FOR C-2
TOTAL ACREAGE
9.13 ACRES G1, G2, G4, G5, G6
WALGREENS 3.55
TOTAL GROSS 12.68 AC.
GENERAL ARCHITECTURAL DESIGN REQUIREMENTS
GENERAL ARCHITECTURAL
Annual and nature character for past structures is to follow the general design concept depicted on elevations of major stores and shops. pad buildings will be cementitious finish with a cementitious or split face ocmu dado band. The main building walls must be colored to match color benjamin moore (#2) bm951 and (#1) bm1032. If the building extends below finish floor that area will also be covered with color #2. Structures are to be predominately flat-roofed however partial building areas such as porches or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type mission style and the high point of the roof must hit the main building wall below the top of the parapet wall. Architectural entry element roofs may extend above the parapet wall for a maximum of 35' parapet height for major building walls, and 26' parapet heights for pad building walls. Mission the clad entry roofs may extend above this height to accent and articulate the building mass.

PAD ARCHITECTURAL DESIGN STANDARDS
Provide the following elevations to provide uniform standards for all pads, each pad to follow building elevations provided. The lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face ocmu or stucco, color #2. Four or eight inch split face or eight block color #1. Full height to be cementitious finish color #1. Lighting to be entirely recessed in landscape wall spaces (max 50ft cones) - each pad development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.

MECHANICAL EQUIPMENT SCREENING
All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be observed from the residential area horizontal screening per the attached conceptual sketch is required.

COLOR PALETTE
Color #1 light tan benjamin moore #1032
Color #2 medium tan color bond base wall color #951
Color #3 marbled terra cotta concrete tile roofing, trim & accents (medium brown) (MONIER TERRAZZO CLIFFSIDE, RED).

SPECIAL BUFFERING
Drive up back up windward screened with a 5' high opaque wall and 10' wide (minimum) landscape area with evergreen trees at 10' on center to 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE
Except as noted above all signage will be internally illuminated individual type letters and signs. In addition, if it is determined that the mechanical unit can be observed from the residential area horizontal screening per the attached conceptual sketch is required.

LANDSCAPING
Landscaping of the pads will include some landscaping plant and concept as provided on the site plan.

AWNINGS
Awnings are permitted above window areas. Awnings with perforated or embossed concrete logos or signage are permitted provided the area above the awning does not exceed 6 percent of the area of building. Illumination of awnings must be from pendant mounted fixtures located above the awning. Samples of the proposed awning colors are to be provided with signage approval.

GLAZING
All glazing is to be double paneled and bronze tinted glass with a minimum U-value of 0.30.

SERVICE AREAS
Service areas such as refuse enclosures, compactors are to be screened from view of the adjacent residential area, public rights-of-way, and adjacent streets. Dumpsters and compactors are to be screened from view of the adjacent residential area and public rights-of-way. All compactors are to be screened from view of the adjacent residential area and public rights-of-way. All compactors are to be screened from view of the adjacent residential area and public rights-of-way.

LIGHTING
Site plan shows location of lighting to match the site layout provided for the pad parking areas. All lighting is to be shielded and directed downwards. All lighting is to be shielded and directed downwards. All lighting is to be shielded and directed downwards.

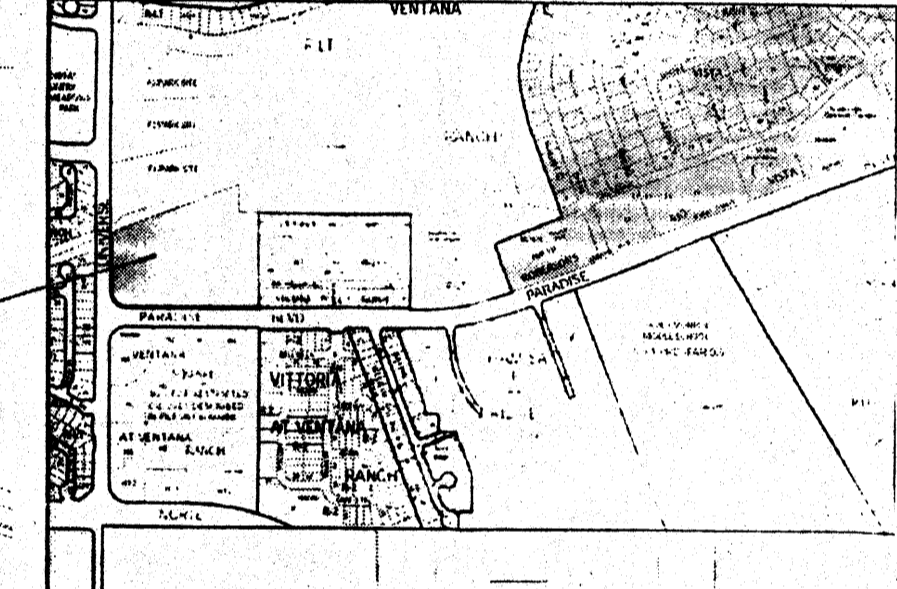
FREE STANDING SIGNAGE
Free standing signs and coordinated signs are permitted, one per lot at the Paradise Blvd entry to the development. Signs are to be located on the Paradise Blvd. Signs are to be located on the Paradise Blvd. Signs are to be located on the Paradise Blvd.

TRAFFIC REQUIREMENTS
All traffic requirements have a minimum of May 31, 1998 agreement between the city and the applicant. Traffic requirements are to be located adjacent to building entries.

PARKING
The parking area shall be enclosed and provide parking plus 10% maximum ADA requirements. All parking is to be located adjacent to building entries.

ALTERNATE USE
Alternate use of the approved site plan for alternate use plans is subject to development of an alternate use plan, a Building Permit, a complete Site Plan for the alternate use, and a copy of the alternate use plan submitted to the City for review and approval. The alternate use plan must be approved by the City Engineer. The alternate use plan must be approved by the City Engineer.

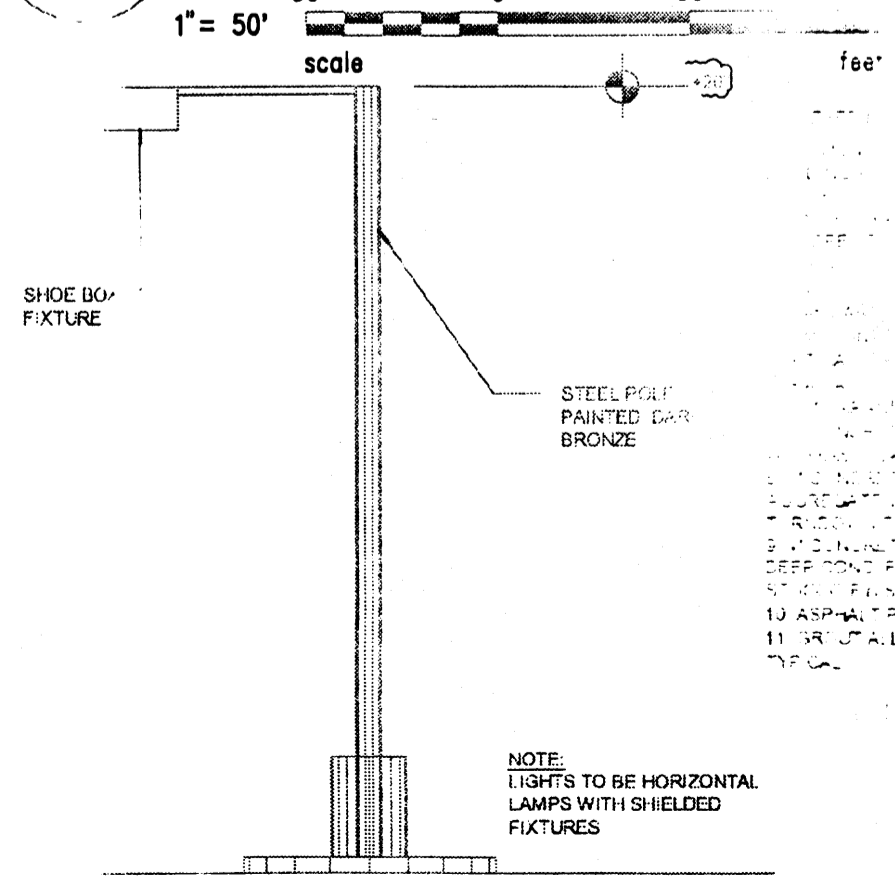
RADIUS INFORMATION:
① RADIUS = 2'-0"
② RADIUS = 3'-0"
③ RADIUS = 5'-0"
④ RADIUS = 10'-0"
⑤ RADIUS = 15'-0"
⑥ RADIUS = 20'-0"
⑦ RADIUS = 25'-0"
⑧ RADIUS = 35'-0"
⑨ RADIUS = 40'-0"
⑩ RADIUS = 50'-0"
⑪ RADIUS = 60'-0"
⑫ RADIUS = 100'-0"



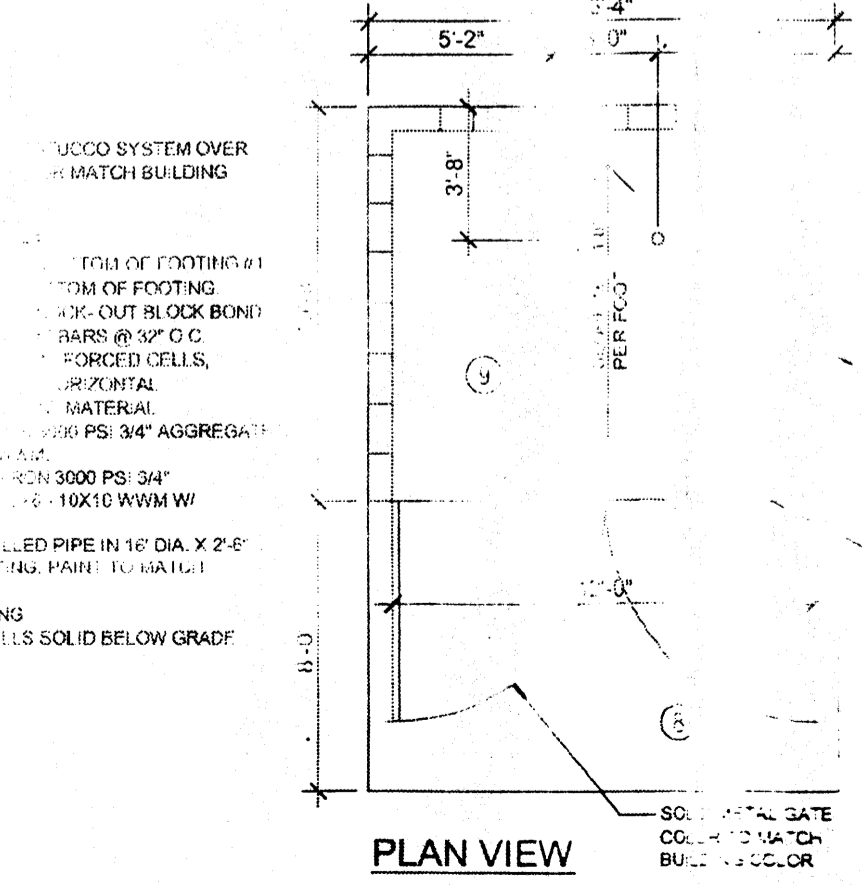
7 VICINITY PLAN
SCALE: 1" = 1,000'

- KEYED NOTES**
1. PYLON SIGN: 1A MONUMENT.
 2. 8'-0" TEXTURED PEDESTRIAN CROSSWALK WITH SOLID GATES.
 3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
 4. 6'-0" X 8'-0" TREE PLANTERS.
 5. BIKE RACK PER C.O.A. STANDARDS.
 6. 3'-0" GARDEN WALL (COLOR & MATERIAL TO MATCH MAIN BUILDING).
 7. CONCRETE DECK UNDER PATIO AREA.
 8. ASPHALT "4" MIN.
 9. DOCK METAL.
 10. LANDSCAPE AREA.
 11. TRANSFORMED.
 12. NOT USED.
 13. BENCHES.
 14. 12" X 18" MOTORCYCLE SIGN AS PER REQ (MC).
 15. SIGN, SLOW DOWN DUE TO PEOP. CROSSING.
 16. 10'-0" SCREEN WALL.
 17. RIGHT TURN LANE.
 18. EXISTING MULTI-PURPOSE TRAIL (LONG RANGE BIKESYS TRAIL MAP).
 19. 20' DRAIN CENTER (SIGN).

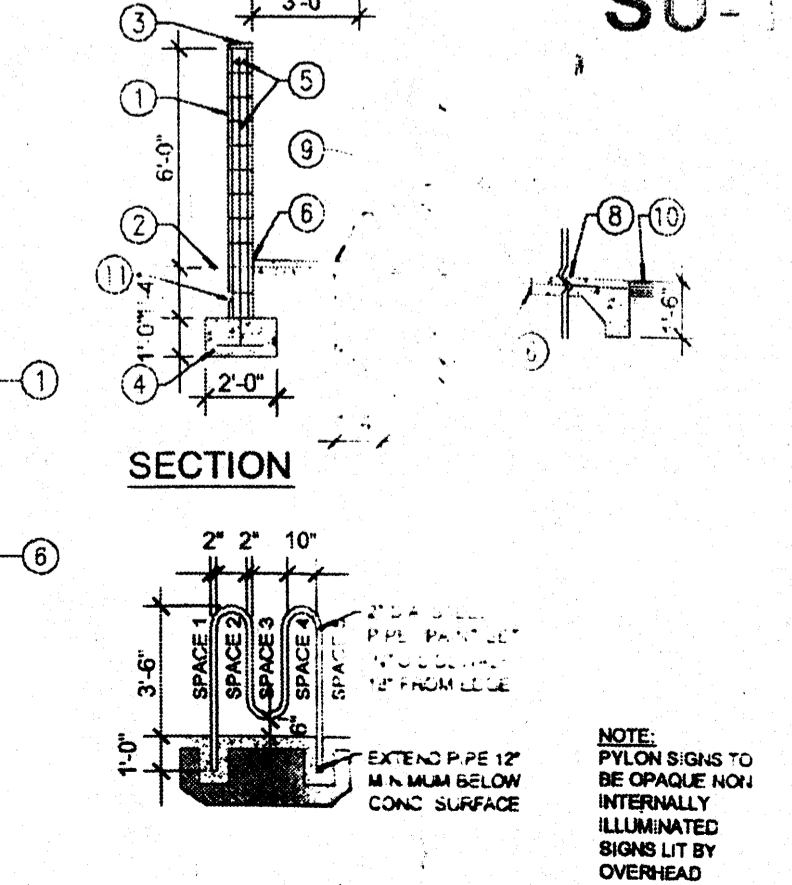
1 SITE PLAN
Scale: 1" = 50'-0"



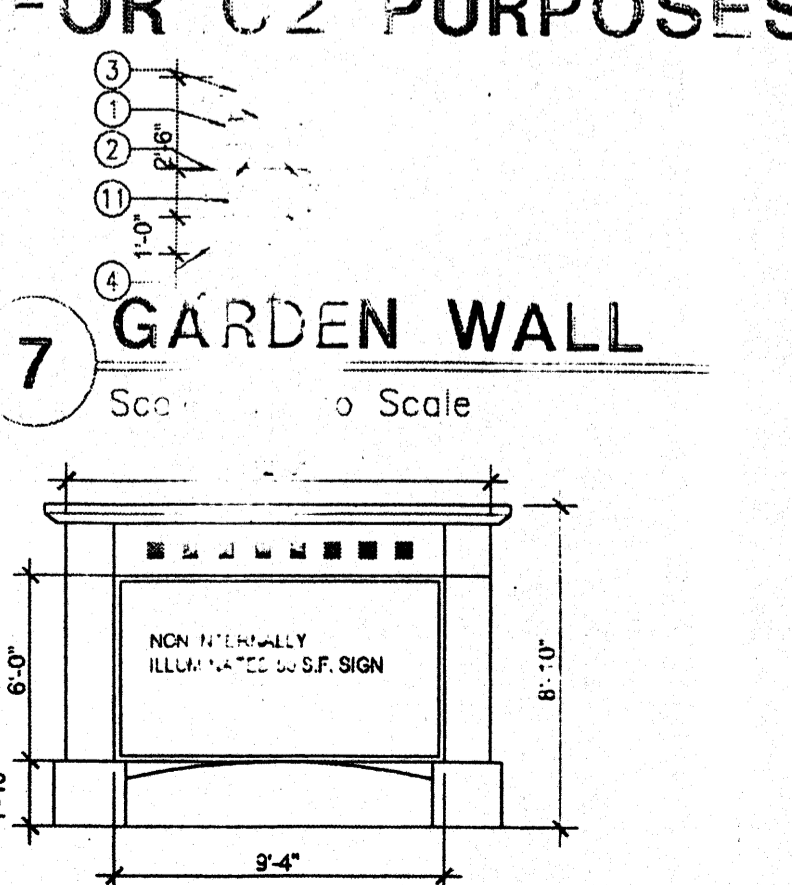
3 SITE LIGHTING
Scale: Not to Scale



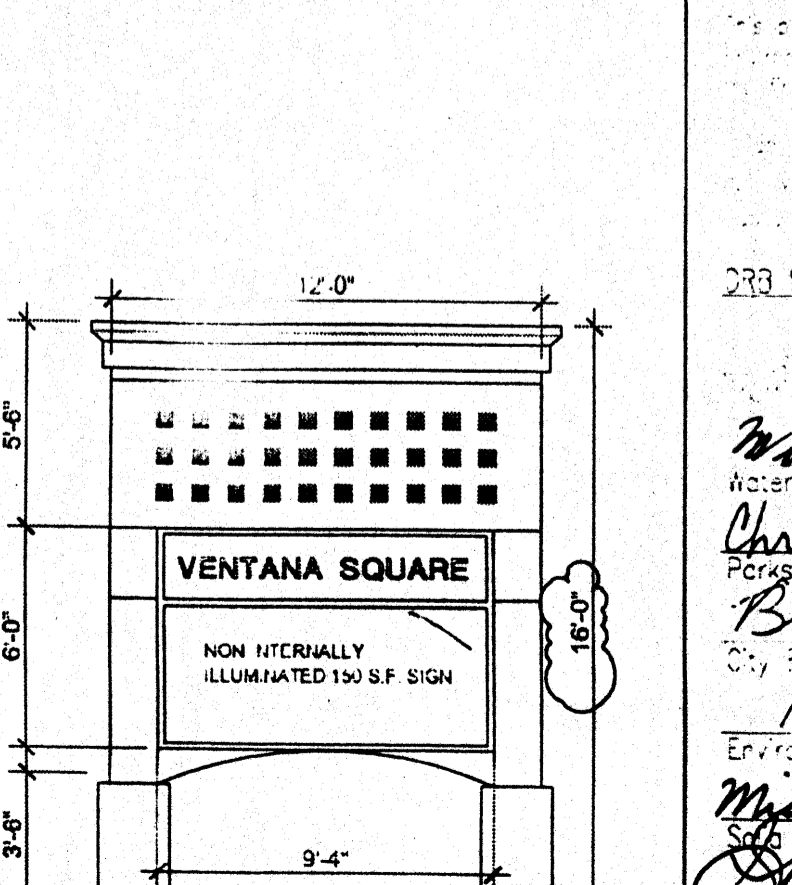
4 REFUSE ENCLOSURE
Scale: Not to Scale



2 BIKE RACK
Scale: Not to Scale

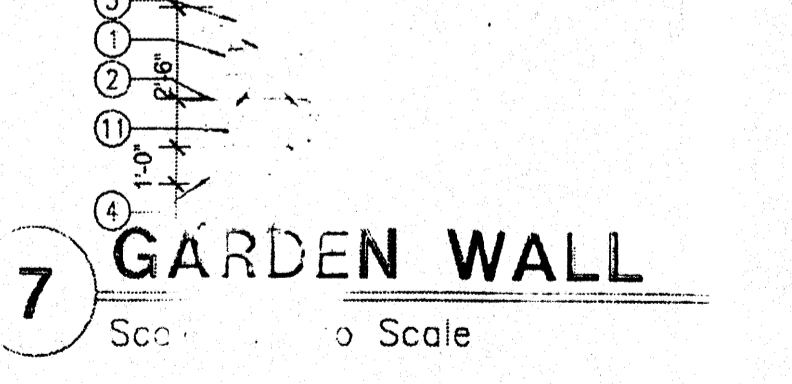


5 MONUMENT SIGN
Scale: Not to Scale



6 MONUMENT SIGN
Scale: Not to Scale

SU-1 FOR C2 PURPOSES



7 GARDEN WALL
Scale: Not to Scale

PROJECT TITLE: VENTANA SQUARE (NEO UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO)

DATE: 11/15/2001

PROJECT NO. 1002346