

EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-LT TRACT 7A

FUTURE CITY
COMMUNITY PARK

TRACT F-I
Zoning R-LT

Natural Basalt and Soil Cement Drainage Conveyance

TRACT Z
AMAFCA
DRAINAGE
FACILITY

LEGEND

- EXISTING.
- LIGHT POST.
- F.H.

BUILDING AREA & PARKING CALCULATIONS:
 MAJOR 1: 41,450 SF. BUILDING.
 LOT SIZE = 234,301 SF OR 5.38 A.C.
 41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST 15,000 SF OF NET LEASABLE AREA; 75 CARS.
 1 SPACE PER 250 SF FOR THE NEXT 26,450 SF OF NET LEASABLE AREA; 106 CARS
 = 181 CARS SPACES PROVIDED 181 SPACES.
 FAR = .17
 OCCUPANT LOAD: 41,450 / 30 = 1,382
 SHOPS 1: 11,600 SF. BUILDING.
 LOT SIZE = 48,127 SF OR 1.10 A.C.
 11,600 SF / 200 = 58 SPACES.
 SPACES PROVIDED 58 SPACES.
 FAR = .24
 OCCUPANT LOAD: 11,600 / 30 = 387
 PAD 1: 2,005 SF. BUILDING.
 LOT SIZE = 31,266 SF OR .718 A.C.
 1 CAR PER 4 PROVIDED SEATS
 48 SEATS / 4 = 12 REQ. CARS.
 SPACES PROVIDED 31 SPACES.
 FAR = .06
 OCCUPANT LOAD: 2,005 / 15 = 134
 PAD 2: 2,763 SF. BUILDING.
 LOT SIZE = 38,457 SF OR .88 A.C.
 1 CAR PER 4 PROVIDED SEATS
 80 SEATS / 4 = 20 REQ. CARS.
 SPACES PROVIDED 42 SPACES.
 FAR = .07
 OCCUPANT LOAD: 2,763 / 15 = 185
 SHOPS 2: 10,500 SF. BUILDING.
 LOT SIZE = 47,748 SF OR 1.08 A.C.
 10,500 SF / 200 = 53 SPACES.
 SPACES PROVIDED 57 SPACES.
 FAR = .22
 OCCUPANT LOAD: 10,500 / 30 = 350
FLOOR AREA RATIO
 BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT WITH C.D.A.
 TOTAL BUILDING AREA = 88,319 SQ/FT
 TOTAL LOT AREA = 397,932 SQ/FT
 TOTAL FAR = .17
PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20'-0"
 SMALL CARS SPACES ARE 8'-0" X 18'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *
 25 BICYCLE SPACES.
 10 MOTORCYCLE SPACES.
 TOTAL STANDARD PARKING SPACES PROVIDED 319 SPACES
 TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES
 TOTAL HC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 27 SPACES
 TOTAL PROVIDED 369 SPACES
 TOTAL REQUIRED SPACES = 324 SPACES
 TOTAL PROVIDED SPACES = 347 SPACES

PROJ 1002346

LEGAL DESCRIPTION

TRACTS G AT VENTANA SQUARE
 CURRENT ZONING
 C-2 TO SU-1 FOR C-2
 TOTAL ACRES
 9.13 ACRES G1, G2, G4, G5, G6,
 WALGREENS 3.55
 TOTAL GROSS 12.68 AC.
GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURAL
 General architecture character for pad structures is to follow the general design concept depicted on elevations of major stores and shops. pad buildings will be cementitious finish with a cementitious or split face crmu dodo band. the main building walls must be colored to match color benjamin moore (#2) bm951 and (#1) bm1032. if the building extends below finish floor that area will also be covered with color #2. structures are to be predominately flat-roofed however partial building areas such as portals or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type mission tile clad and the high point of the roof must hit the main building well below the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and space-to-space-to-the-entry format of the main buildings. Building heights are limited to 35' parapet heights for major building walls, and 28' parapet heights for pad building walls mission tile clad entry roofs may extend above this height to accent and articulate the building mass.

PAD ARCHITECTURAL DESIGN STANDARDS

Shall include the following elements to provide uniform standards for all pads. each pad to follow building elevations provided. --the lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face crmu or stucco. color #2. --four or eight inch split face or accent block. color #1 --fuel canopies to be cementitious finish color #1 lighting to be entirely recessed in soffit of fuel canopies (max 50ft candles) --each pad development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.

MECHANICAL EQUIPMENT SCREENING

All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be observed from the residential area horizontal screening per the attached conceptual sketch is required.

COLOR PALETTE

color #1 light tan benjamin moore #1032
 color #2 medium dark tan dodo band base wall color #951
 color #3 marbled terra cotta concrete tile roofing, trim & accents (med red/brown), (MONIER BARCELONA CLIFFSIDE, RED).

SPECIAL BUFFERING

Drive up pick up windows to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE

Except as noted under awnings all signage will be internally illuminated individual type lettering not to exceed 6 percent of the wall area of each building elevation or ten percent of the wall area of the shop building. Letters are to be back lit. No exposed neon. Neon must be within solid opaque faced metal channel lettering can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.

LANDSCAPING

Landscaping of the pads will be from the same landscaping pallet and concept as provided on the master landscaping plan.

AWNINGS

Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of building wall. Illumination of awnings must be from pendant mounted fixtures located above the awning. recent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.

GLAZING

Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.

SERVICE AREAS

Service areas such as refuse locations and compactors are to be totally screened from the view of the adjacent residential area, public rights-of-way and the adjacent monument area. Free-standing dumpster and compactor locations are to be gated. Screening material to match building wall color and material. REFER TO CONDITION P. OF 2000 DRB.

LIGHTING

Site lighting for pad structures is to match the site lighting provided for the main parking area. pad site lighting not to exceed 20' to fixtures. Main parking area lighting not to exceed 20' to fixture. Exposed, i.e. unshielded light fixtures are prohibited. All lamps must be shielded shoe box type fixtures. Maximum light level under fuel canopies to be 50ft candles, from totally recessed lighting.

FREE STANDING SIGNAGE

250 sq ft x 18" tall architecturally coordinated signs are permitted. one each at the paradise blvd. entry to G. and one on Paseo del Norte frontage. Each pad building or group of pad buildings to have one 50 sf monument sign.

TRAFFIC REQUIREMENTS:

All traffic requirements have been met per May 31, 1998 agreement between the city and Los Ventanas limited partnership.

PARKING

The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entries

ALTERNATE USE

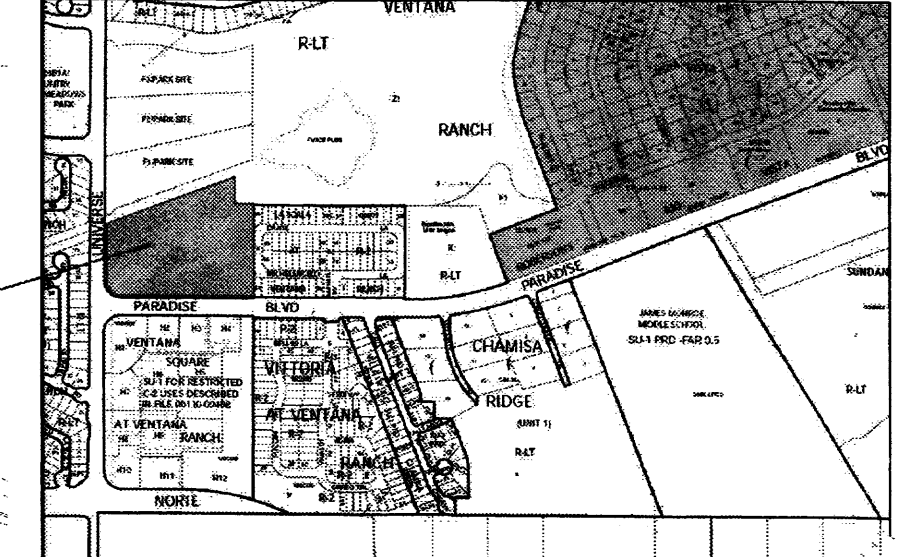
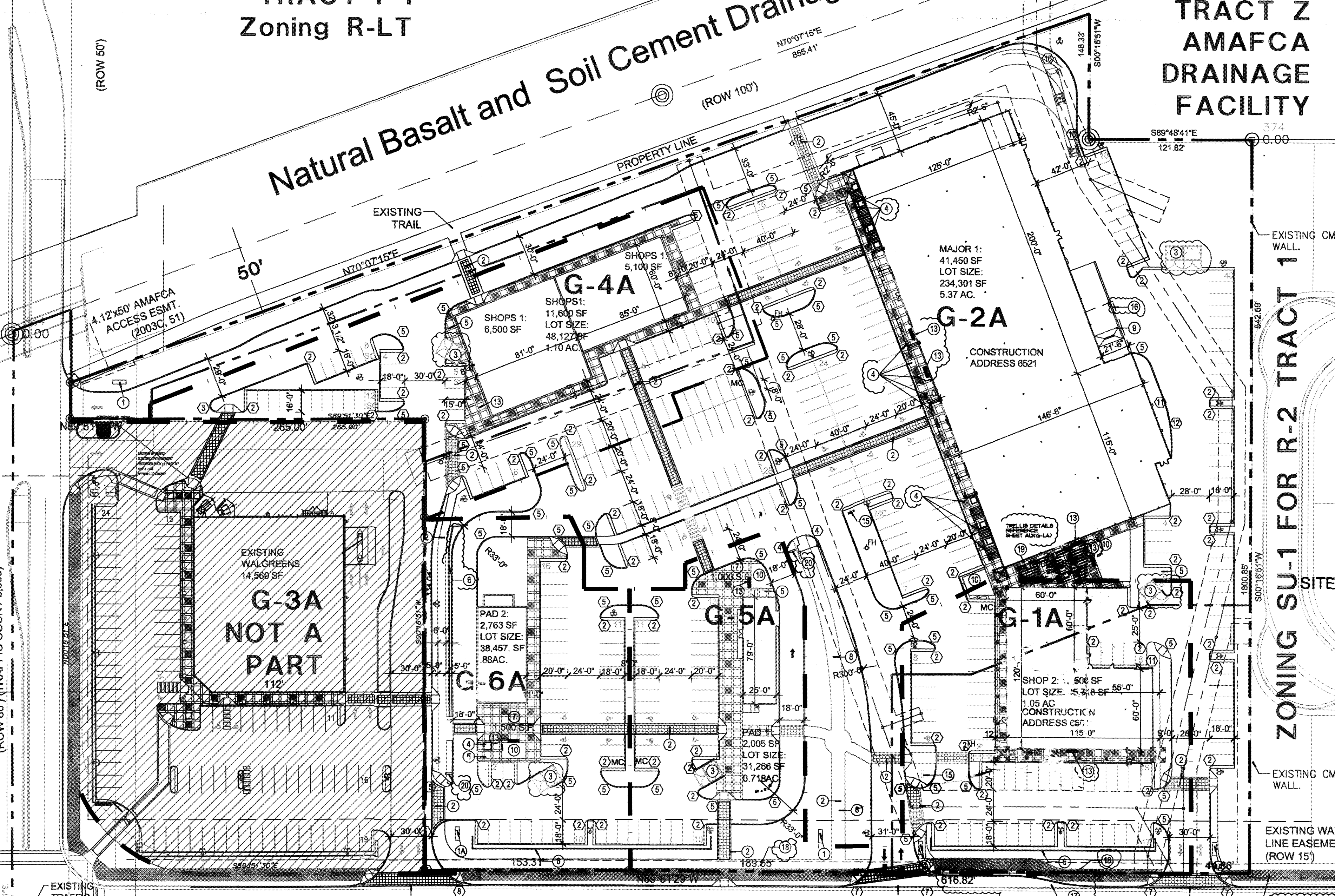
Concept: If one of the approved schematic alternate use plans is selected for development in lieu of the approved Site Plan for Building Permit, a complete Site Plan for Building Permit Purposes will be prepared and submitted to the DRB for review and approval. (EPC review not required unless the plan for development does not match one of the alternate schematic plans).

RADIUS INFORMATION:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 35'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 100'-0"

FILE: PROJECT 1002346

05EPC-01264 EPC SITE DEVELOPMENT PLAN BUILDING PERMIT.
 05EPC-01263 EPC AMENDED SITE DEVELOPMENT PLAN-SUBDIVISION.
 LEGAL DESCRIPTION: FOR ALL OR A PORTION OF TRACTS G1, G2, G4, VENTANA SQUARE AT VENTANA RANCH, ZONED SU-1 FOR RESTRICTED C-2 USES, LOCATED AT THE NORTHEAST CORNER OF UNIVERSE BLVD. NW AND PARADISE BLVD. NW, APPROXIMATELY 9.13 ACRES. (B-10 CARMEN MARRONE, STAFF PLANNER.



7 VICINITY PLAN

SCALE: 1" = 1,000'

KEYED NOTES

1. PYLON SIGN. 1A. MONUMENT.
2. 6'-0" TEXTURED PEDESTRIAN CROSSWALK.
3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
4. 6'-0"x6'-0" TREE PLANTERS.
5. BIKE RACK PER C.O.A. STANDARDS.
6. 3'-0" GARDEN WALL. (COLOR & MATERIAL TO MATCH MAIN BUILDING).
7. CONCRETE OUT DOOR PATIO AREA.
8. ASPHALT TRAIL.
9. DOCK METAL.
10. LANDSCAPE AREA.
11. TRANSFORMER.
12. NOT USED.
13. BENCHES.
14. 12"x18" MOTORCYCLE SIGN AS PER CITY REQ.(MC)
15. SIGN, SLOW DOWN DUE TO PEOPLE CROSSING.
16. 10'-0" SCREEN WALL.
17. RIGHT TURN LANE.
18. EXISTING MULTI-PURPOSE TRAIL (PER LONG RANGE BIKEWAY SYSTEMS MAP).
19. TRELLIS.
20. DO NOT ENTER (SIGN)

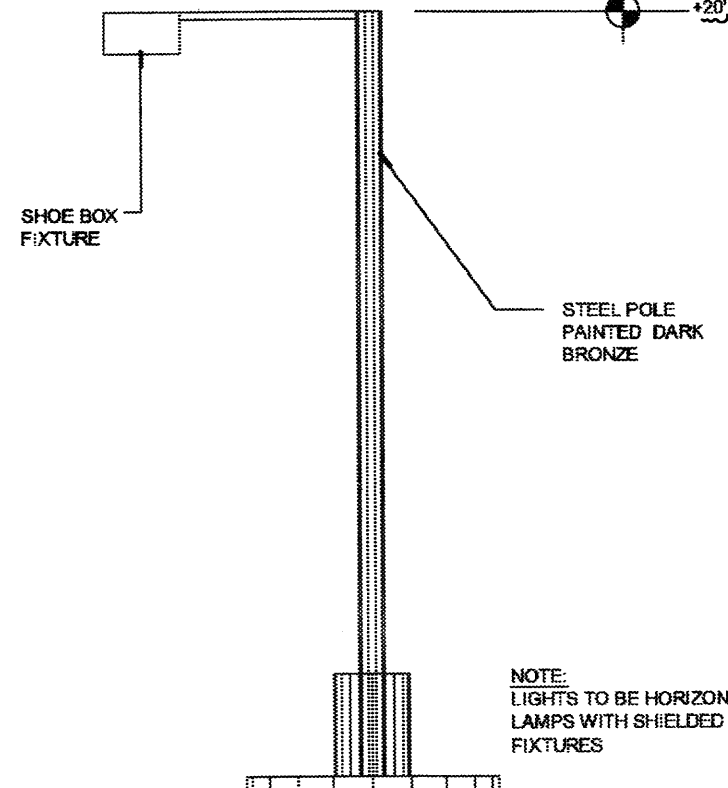
PROJECT NUMBER: 1002346
 APPLICATION NUMBER: 05DRB-01794

Traffic Engineering, Transportation Division	12-18-05
William G. Balch	12-20-05
Water Utility Department	12/16/05
Christine Quastrol	12/20/05
and Recreation Department	
Bradley J. Bish	
City Engineer	
N/A	
Environmental Health Department	12/21/05
Michael Horton	12/14/05
Staff Management	
DRB Chairperson, Planning Department	

* Environmental Health, if necessary

1 SITE PLAN

Scale: 1" = 50'-0"

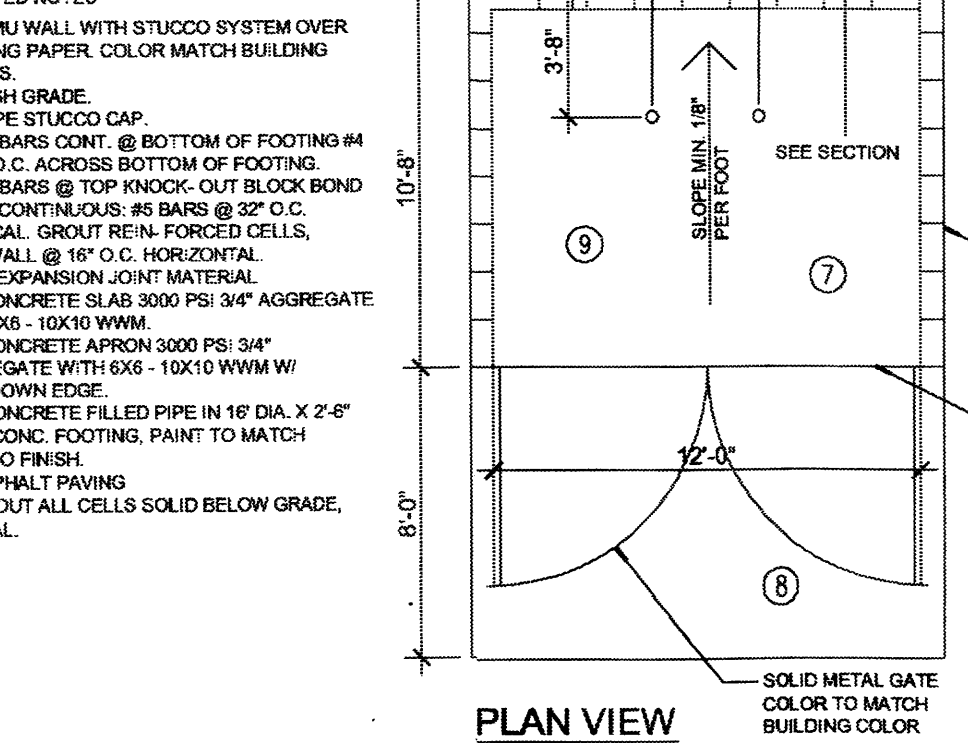


3 SITE LIGHTING

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4 REFUSE ENCLOSURE

Scale: Not to Scale

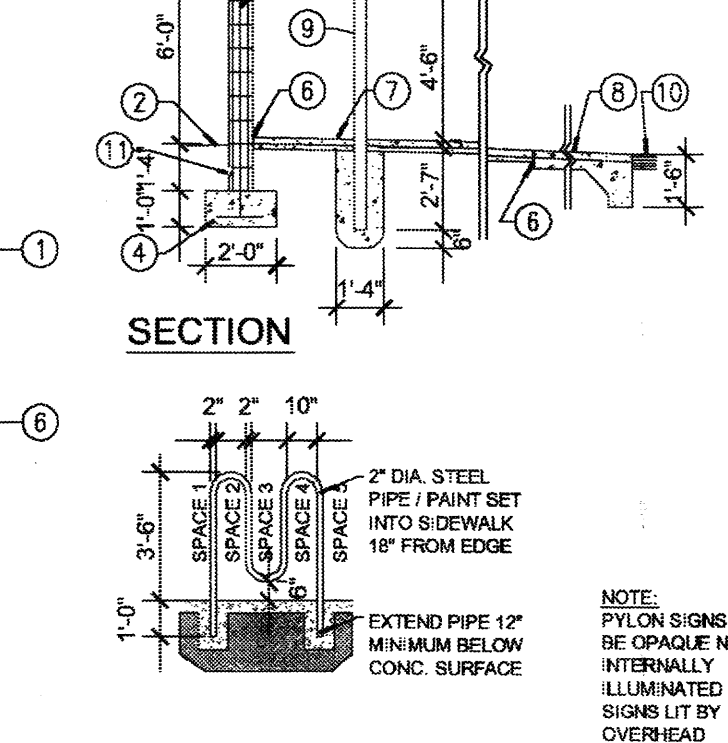


4 REFUSE ENCLOSURE

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2 BIKE RACK

Scale: Not to Scale

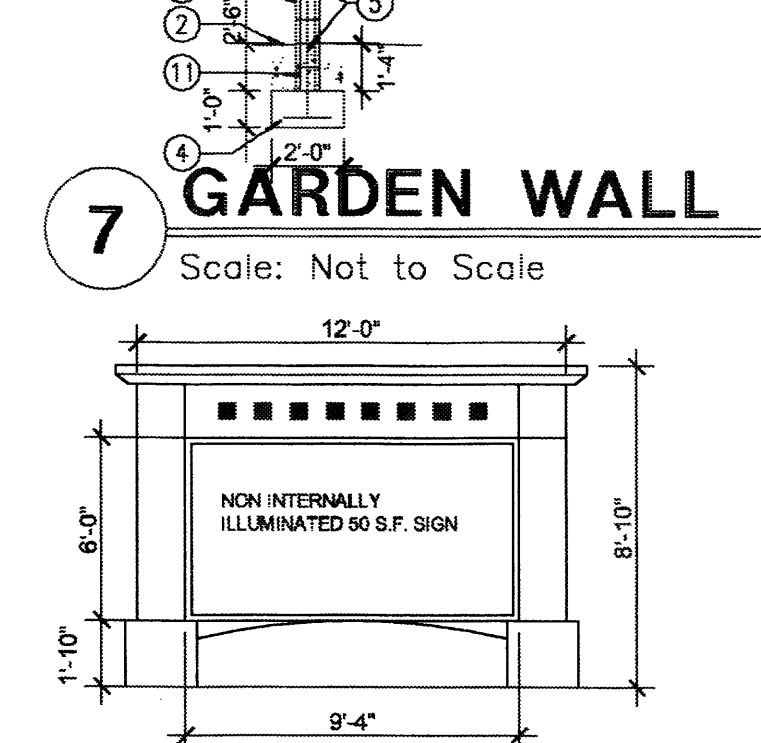


2 BIKE RACK

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7 GARDEN WALL

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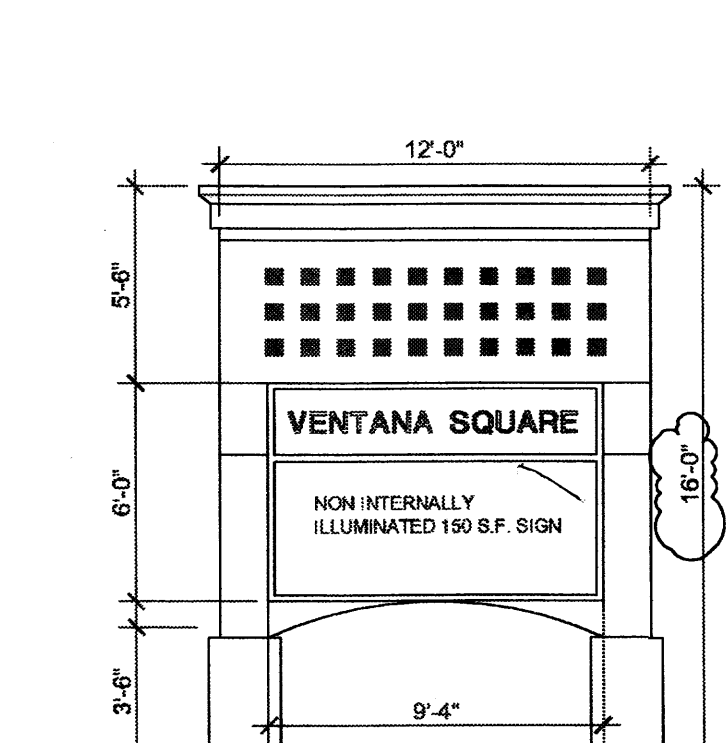


5 MONUMENT SIGN

Scale: Not to Scale

6 MONUMENT SIGN

Scale: Not to Scale

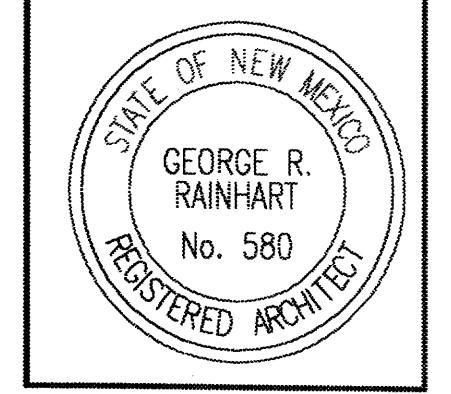


6 MONUMENT SIGN

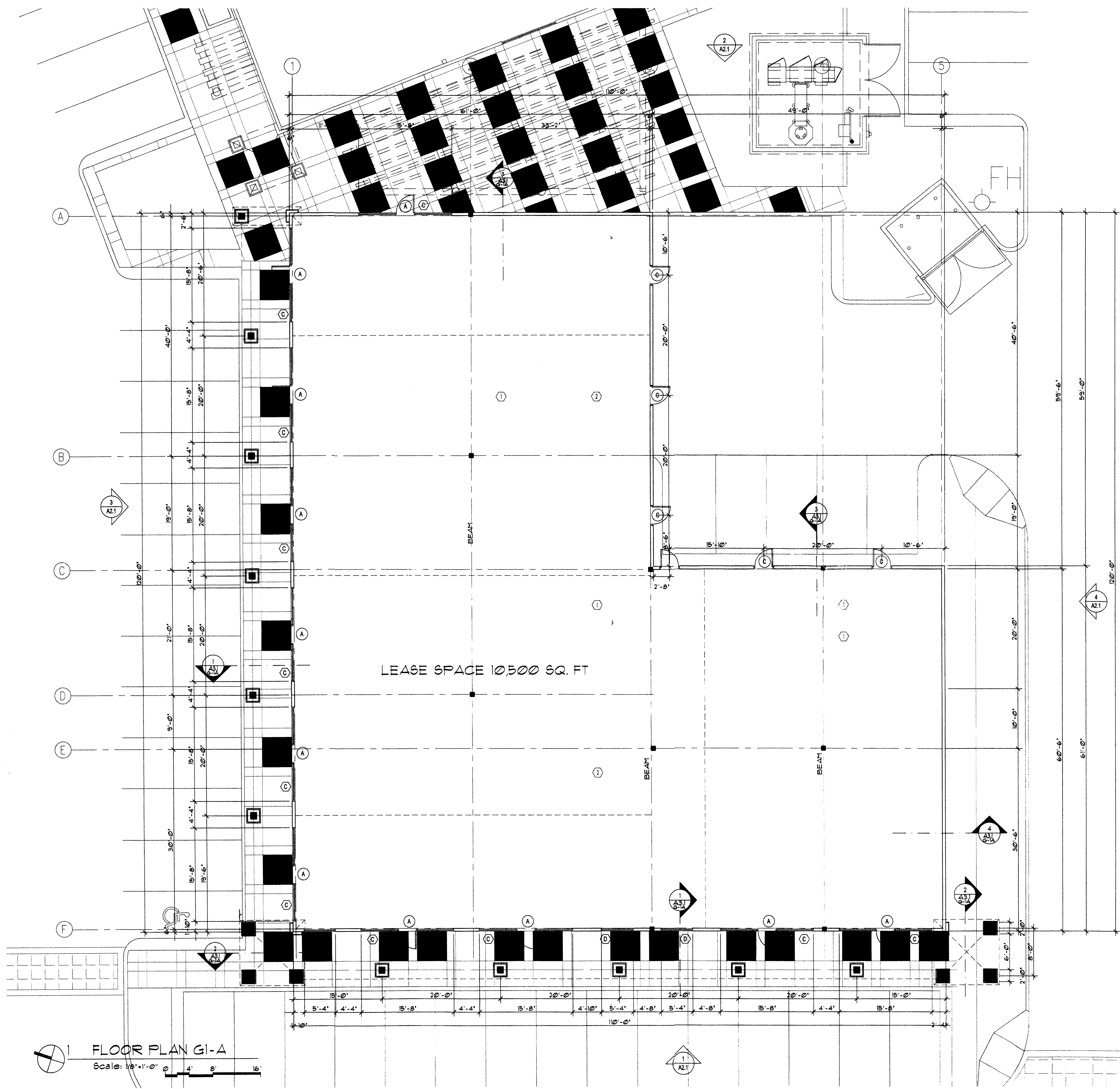
Scale: Not to Scale

REV	DATE	BY	REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

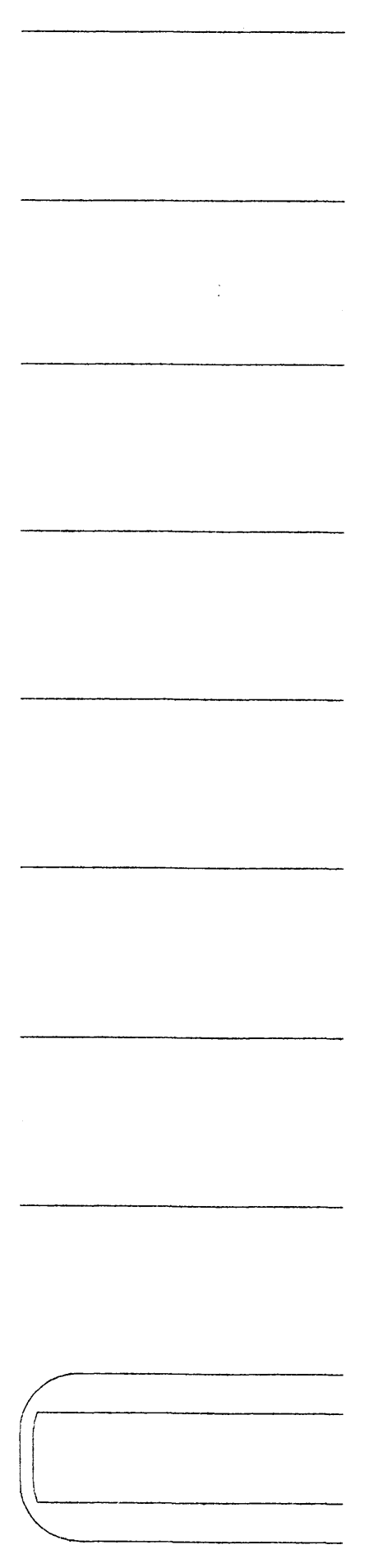


PROJECT TITLE: VENTANA SQUARE.
 (NEC) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER: GEORGE RAINHART
 DRAWN BY: APZ
 SHEET TITLE: SITE PLAN FOR BLDG. PERMIT
 DATE: 11/15/2005
 SCALE: 1"=50'
 sheet: A1.1
 of: G-1A & G-2A



1 FLOOR PLAN G-1-A
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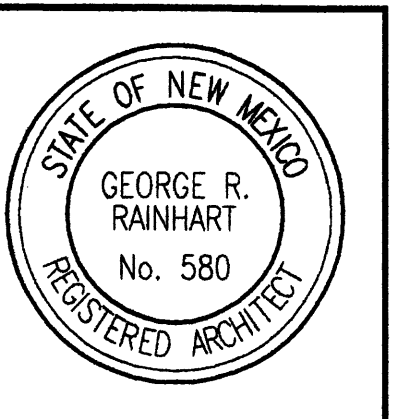
GENERAL NOTES
 1. REINFORCED CONCRETE SLAB READY FOR TENANT IMPROVEMENT. (DO NOT SEAL). REFER STRUCTURAL DRAWINGS.
 2. MAIN PLUMBING LINE WITH CLEANOUTS (PER BAY OR PER OWNER). REFER MECHANICAL DRAWINGS.



LEGEND
 (A) WINDOW TYPE
 (A) DOOR TYPE

REV	DATE	BY	REVISION
Δ			
Δ			
Δ			
Δ			
Δ			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
VENTANA SQUARE
 PARADISE AND UNIVERSO BOULEVARDS
 ALBUQUERQUE NEW MEXICO

PROJECT MANAGER
 Anton Dattilo

JOB NO.
 9052

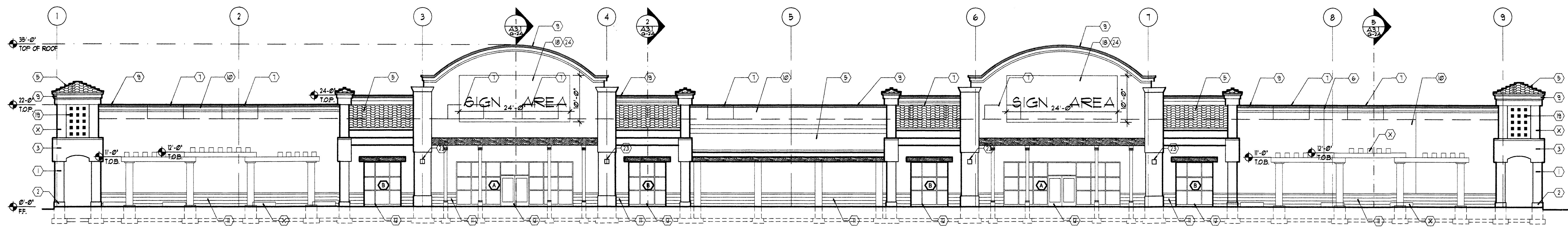
DRAWN BY
 A P-Z

SHEET TITLE
FLOOR PLAN

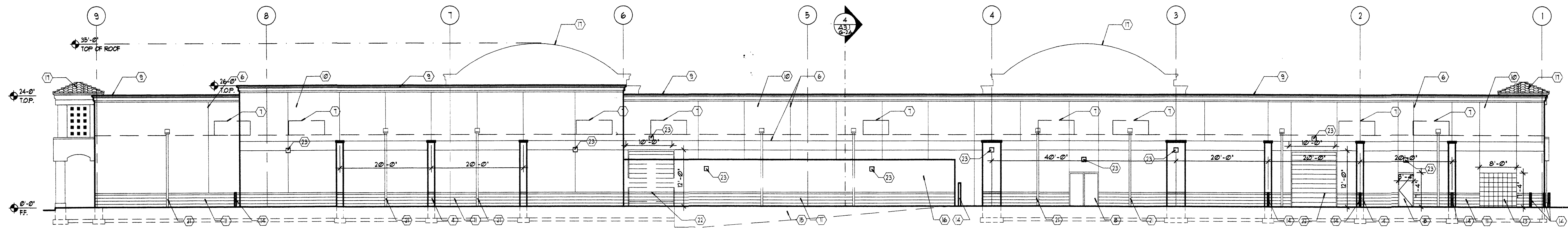
DATE:
 11/15/05

SCALE:
 1/8" = 1'-0"

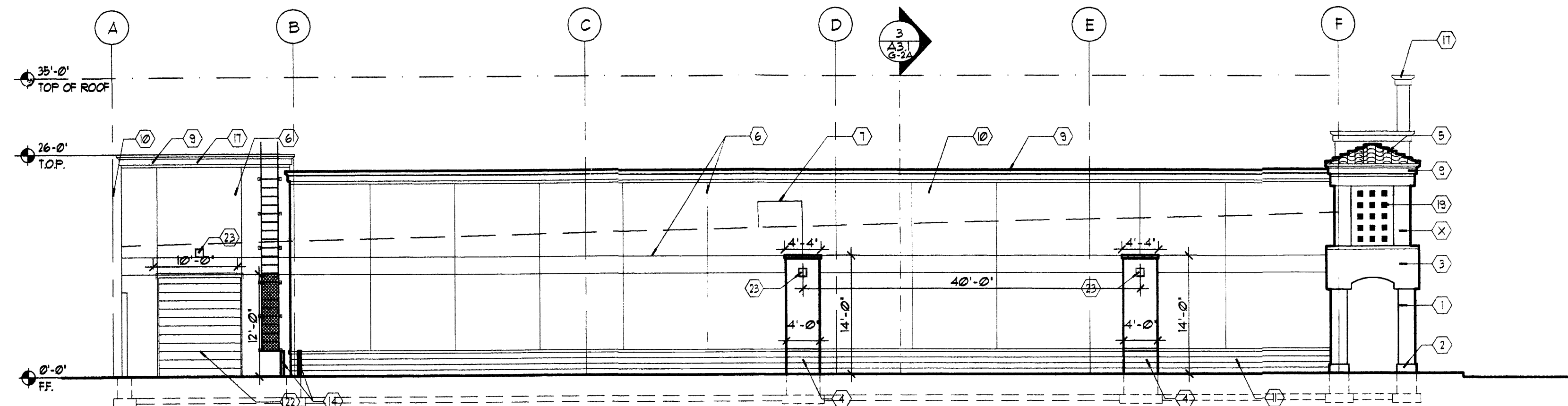
sheet-
A1.2
 of-
 G-1A



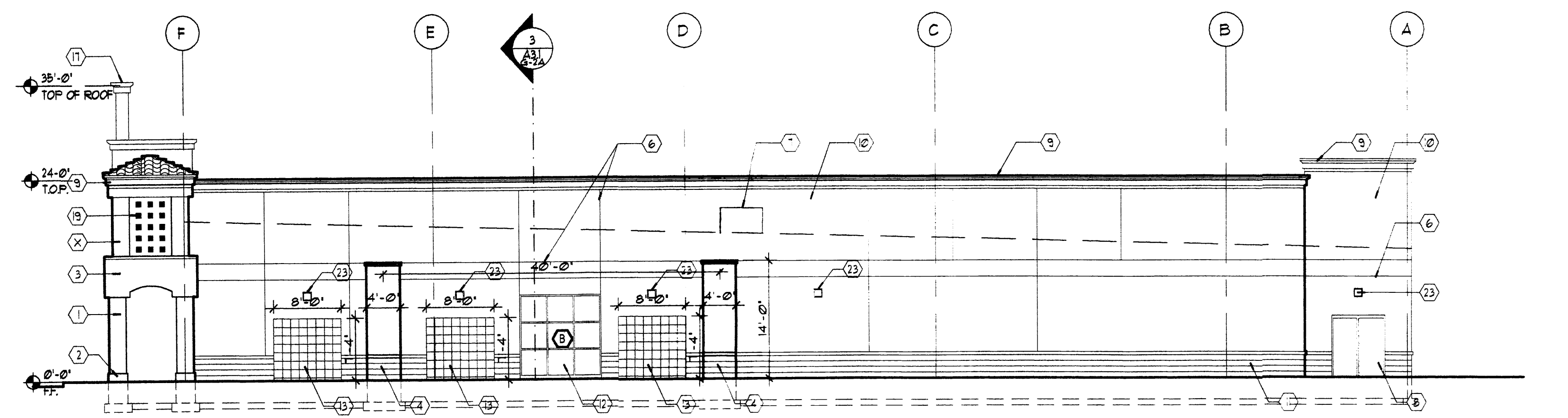
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Scale: 3/32"=1'-0"



2 EAST ELEVATION G2-A
Scale: 3/32"=1'-0"



3 NORTH ELEVATION G2-A
Scale: 3/32"=1'-0"

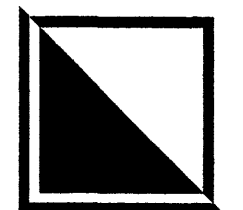


4 SOUTH ELEVATION G2-A
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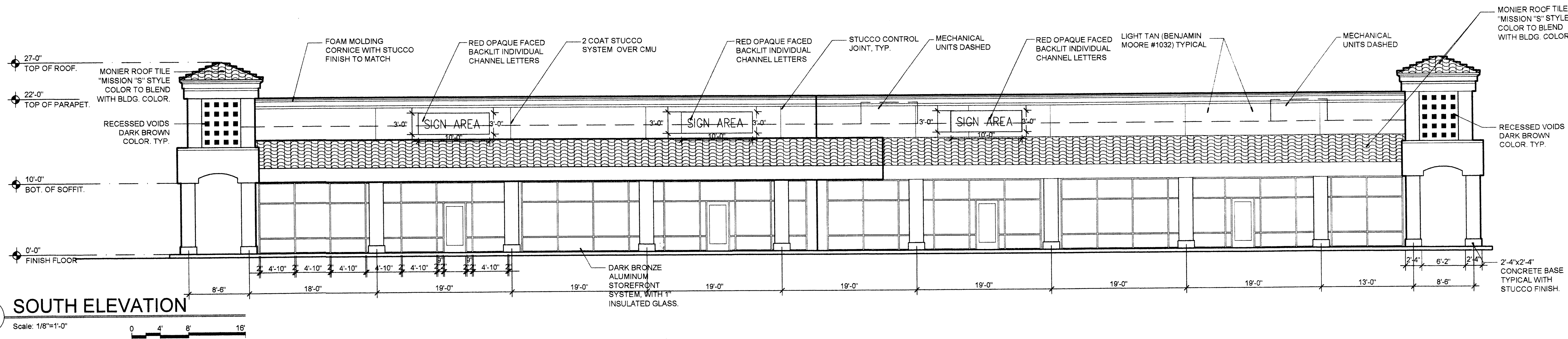
GENERAL NOTES

1. LIGHT TAN (BENJAMIN MOORE #033) TYPICAL.
2. 2'-4"X2'-4" CONCRETE BASE TYPICAL WITH STUCCO FINISH.
3. LIGHT TAN (BENJAMIN MOORE #123) TYPICAL.
4. PILASTER 1'-6" FROM FACE OF BUILDING.
5. MONIER ROOF TILE 'MISSION '91' STYLE COLOR TO BLEND WITH BLDG. COLOR.
6. STUCCO CONTROL JOINT TYP.
7. LOCATION OF MECHANICAL UNITS DASHED.
8. HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
9. FOAM MOLDING CORNICE WITH STUCCO FINISH TO MATCH.
10. 2-COAT STUCCO SYSTEM OVER MESH AND 15lb. BUILDING PAPER OVER TILT UP REINFORCED CONCRETE PANELS.
11. SPLIT FACED CMU PAINTED MED TAN - TYP.
12. DARK BRONZE ALUMINUM STOREFRONT SYSTEM, WITH 1" INSULATED GLASS. SEE WINDOW TYPES A4.1.
13. 'RELIXIS.
14. 6"x6" STEEL BOLLARD FILL WITH CONCRETE 5'-0" ABOVE GRADE AND 5'-0" BELOW GRADE, PAINT TYP.
15. RETAINING WALL AND TRUCK RAMP TO 48" BELOW FINISH FLOOR.
16. 10' PAINTED TO MATCH EXTERIOR CMU VISUAL BARRIER.
17. ROOFLINE BEYOND.
18. RED OPAQUE FACED BACKLIT INDIVIDUAL CHANNEL LETTERS.
19. RECESSED SQUARE 8"x8"x1" DEEP.
20. FOOTING FOUNDATIONS. REFER TO STRUCTURAL DRAWINGS.
21. GUTTER AND DOWNSPOUT. SEE ROOF PLAN DRAWING.
22. 10"x12" METAL OVERHEAD DOOR. SEE DOOR TYPES DRAWINGS.
23. LIGHTING FIXTURE. SEE ELECTRICAL DRAWINGS.
24. ALL PURPOSE SIGN LOCATION IS TO RECEIVE A J. BOX TO THAT LOCATION. REFER ELECTRICAL.

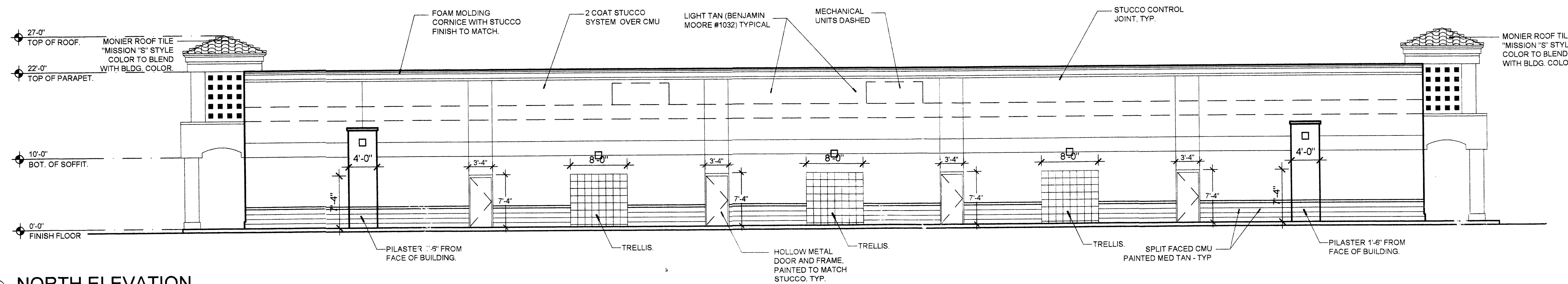
REV	DATE	BY	REVISION


GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
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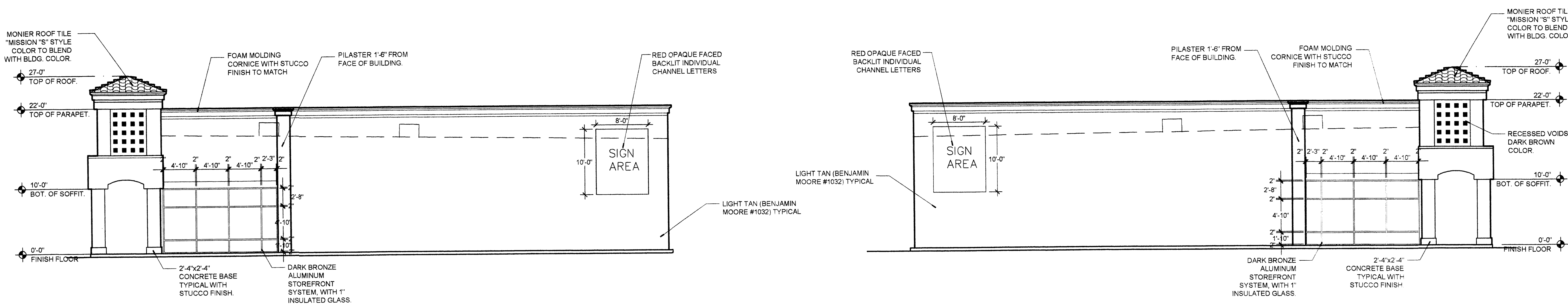
PROJECT TITLE	VENTANA SQUARE	DRAWN BY:	A P-Z
	PARADISE AND UNIVERSE BOULEVARDS		
	ALBUQUERQUE, NEW MEXICO		
PROJECT MANAGER	Antoni Dotito	JOB NO.	9052
SHEET TITLE	ELEVATIONS MAJOR 1		
DATE:	11/15/05	sheet-	
SCALE:	3/32"=1'-0"	A2.1	
		of-	



1 SOUTH ELEVATION
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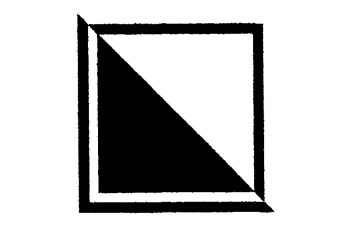
2 NORTH ELEVATION
Scale: 1/8"=1'-0"



3 EAST ELEVATION
Scale: 1/8"=1'-0"

4 WEST ELEVATION
Scale: 1/8"=1'-0"

REV	DATE	BY	REVISION
1			
2			
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4			
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PROJECT TITLE
VENTANA SQUARE.
ONEC UNIVERSE & PARADISE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
GEORGE RAINHART

JOB NO.
9032

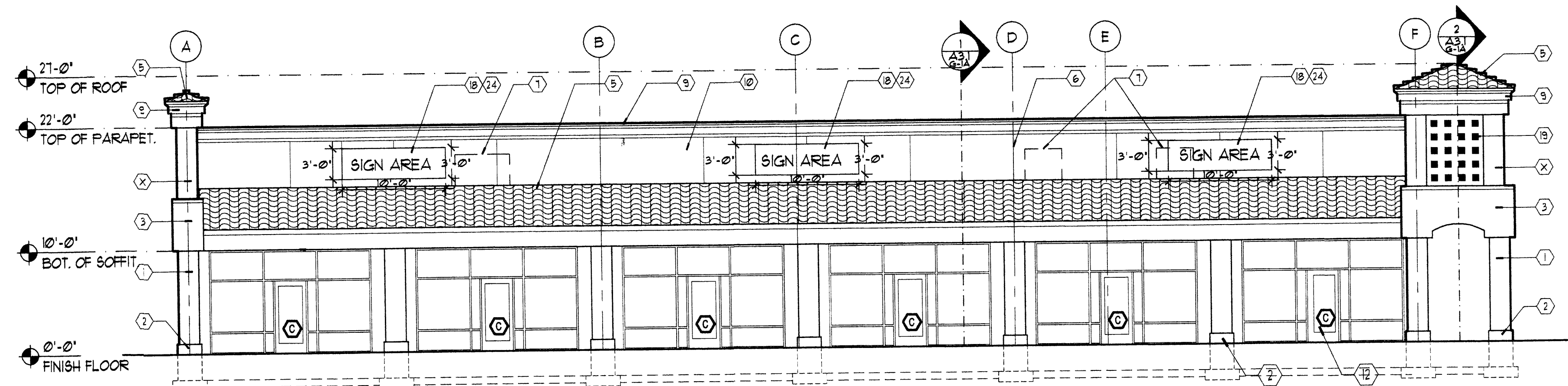
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APZ

SHEET TITLE
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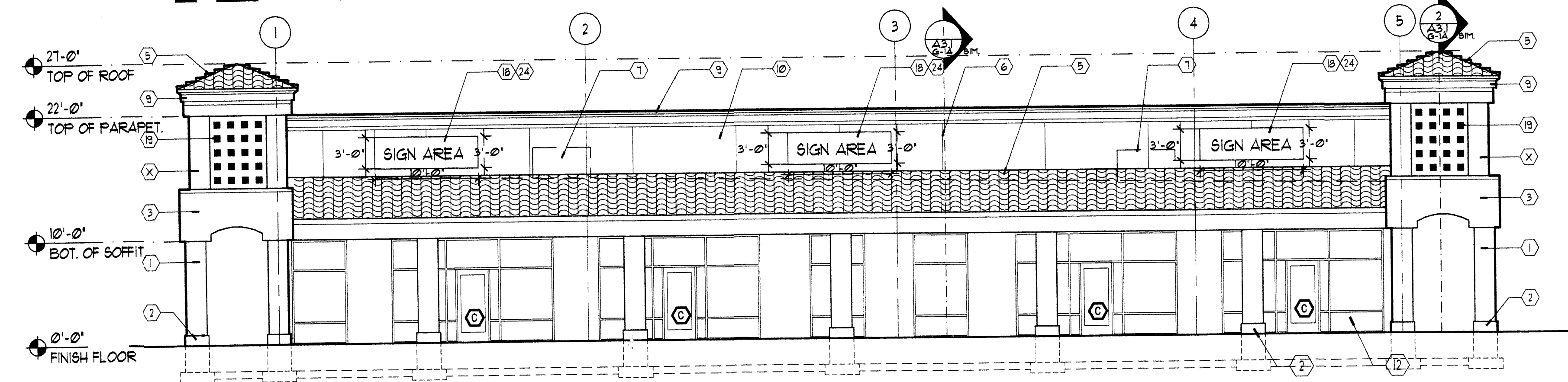
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11/15/05

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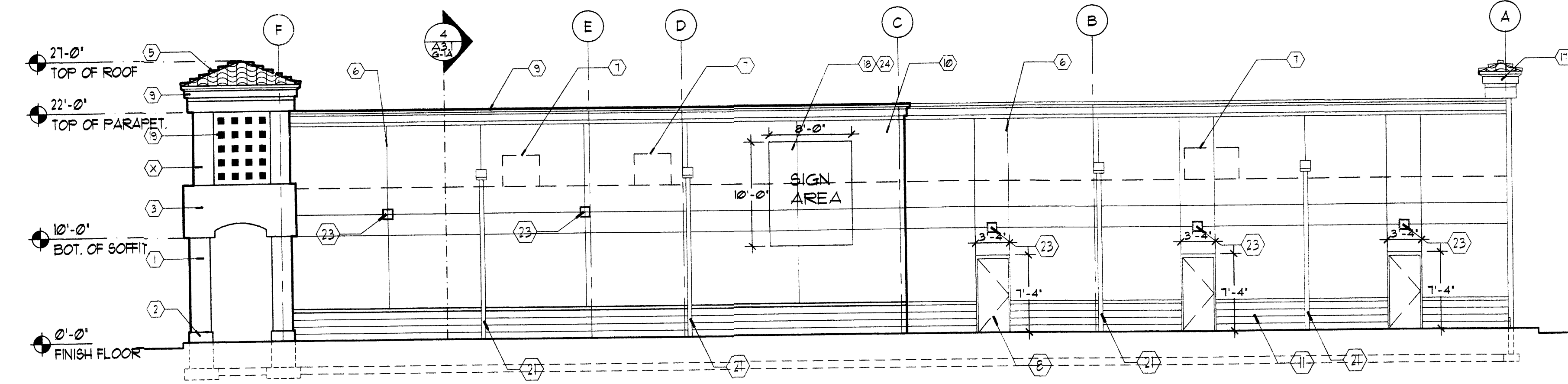
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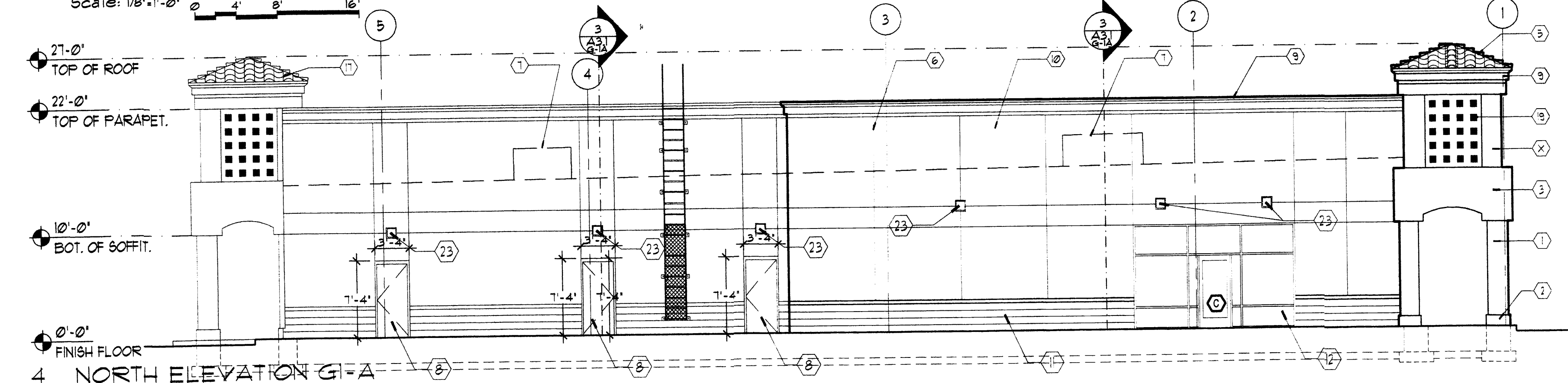
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2 SOUTH ELEVATION G1-A
Scale: 1/8"=1'-0" 0 4' 8' 16'



3 EAST ELEVATION G1-A
Scale: 1/8"=1'-0" 0 4' 8' 16'

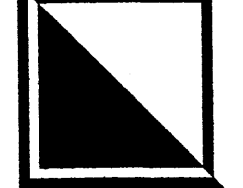


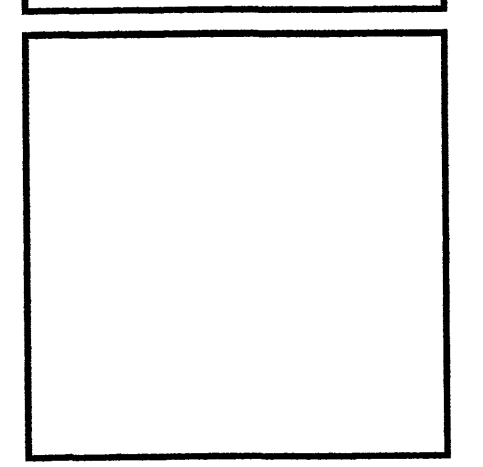
4 NORTH ELEVATION G1-A
Scale: 1/8"=1'-0" 0 4' 8' 16'

GENERAL NOTES

1. LIGHT TAN (BENJAMIN MOORE #032) TYPICAL.
2. 4"x2'-4" CONCRETE BASE TYPICAL WITH STUCCO FINISH.
3. LIGHT TAN (BENJAMIN MOORE #123) TYPICAL.
4. PLASTER 1-6" FROM FACE OF BUILDING.
5. MONIER ROOF TILE 'MISSION 'S' STYLE COLOR TO BLEND WITH BLDG. COLOR.
6. STUCCO CONTROL JOINT, TYP.
7. LOCATION OF MECHANICAL UNITS DASHED.
8. HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
9. FOAM MOLDING CORNICE WITH STUCCO FINISH TO MATCH.
10. 2-COAT STUCCO SYSTEM OVER MESH AND 1/2" BLDG. PAPER OVER TILT UP REINFORCED CONCRETE PANELS.
11. SPLIT FACED CMU PAINTED 'MED TAN' TYP.
12. DARK BRONZE ALUMINUM STOREFRONT SYSTEM, WITH 1" INSULATED GLASS, SEE WINDOW TYPES A4.1.
13. TRELLIS.
14. 6"Ø STEEL BOLLARD FILL WITH CONCRETE 5'-0" ABOVE GRADE AND 5'-0" BELOW GRADE, PAINT TYP.
15. RETAINING WALL AND TRUCK RAMP TO 48" BELOW FINISH FLOOR.
16. 10" PAINTED TO MATCH EXTERIOR CMU VISUAL BARRIER.
17. ROOFLINE BEYOND.
18. RED OPAQUE FACED BACKLIT INDIVIDUAL CHANNEL LETTERS.
19. RECESSED SQUARE 8"x8"x1" DEEP.
20. FOOTING FOUNDATIONS, REFER TO STRUCTURAL DRAWINGS.
21. GUTTER AND DOWNSPOUT, SEE ROOF PLAN DRAWING.
22. 10"x12" METAL OVERHEAD DOOR, SEE DOOR TYPES DRAWINGS.
23. LIGHTING FIXTURE, SEE ELECTRICAL DRAWINGS.
24. ALL PURPOSED SIGN LOCATION IS TO RECEIVE A J. BOX TO THAT LOCATION, REFER ELECTRICAL.

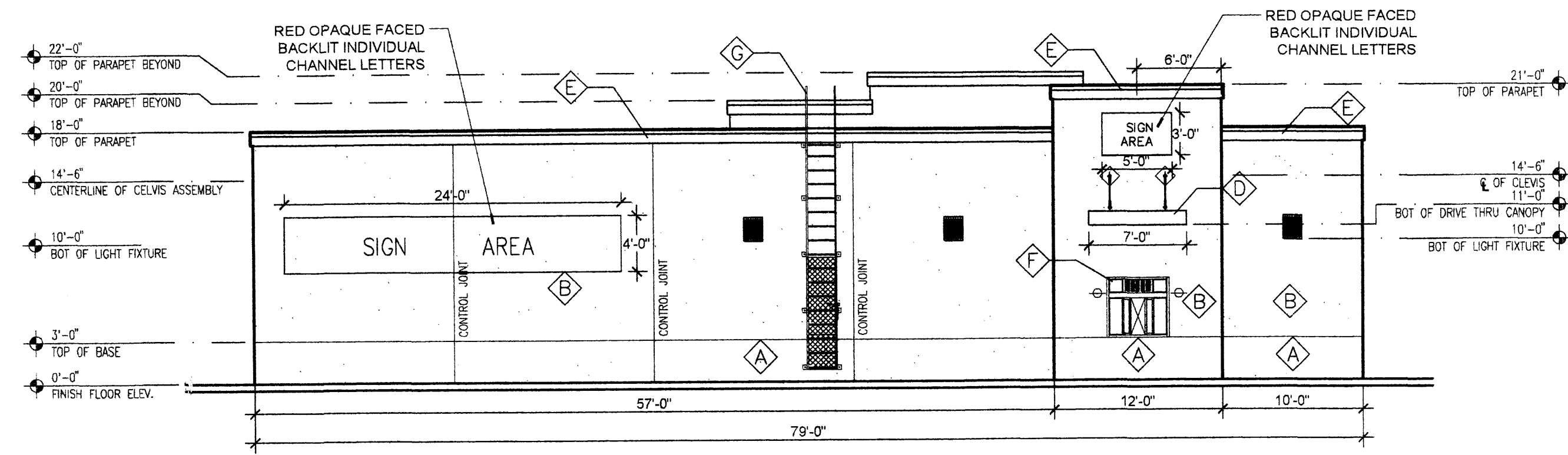
REV	DATE	BY	REVISION


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 ALBUQUERQUE, NEW MEXICO 87110
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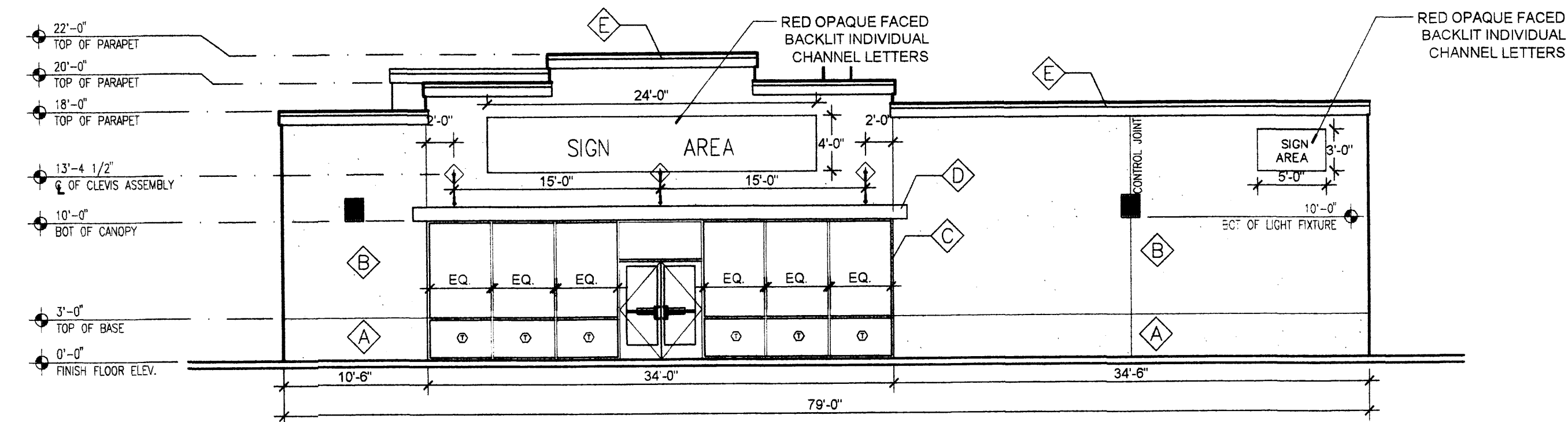


PROJECT TITLE	VENTANA SQUARE PARADISE AND UNIVERSE BOULEVARDS ALBUQUERQUE NEW MEXICO
PROJECT MANAGER	Anton Dettilo
JOB NO.	9052
DRAWN BY	A P-Z
SHEET TITLE	ELEVATIONS SHOPS 2

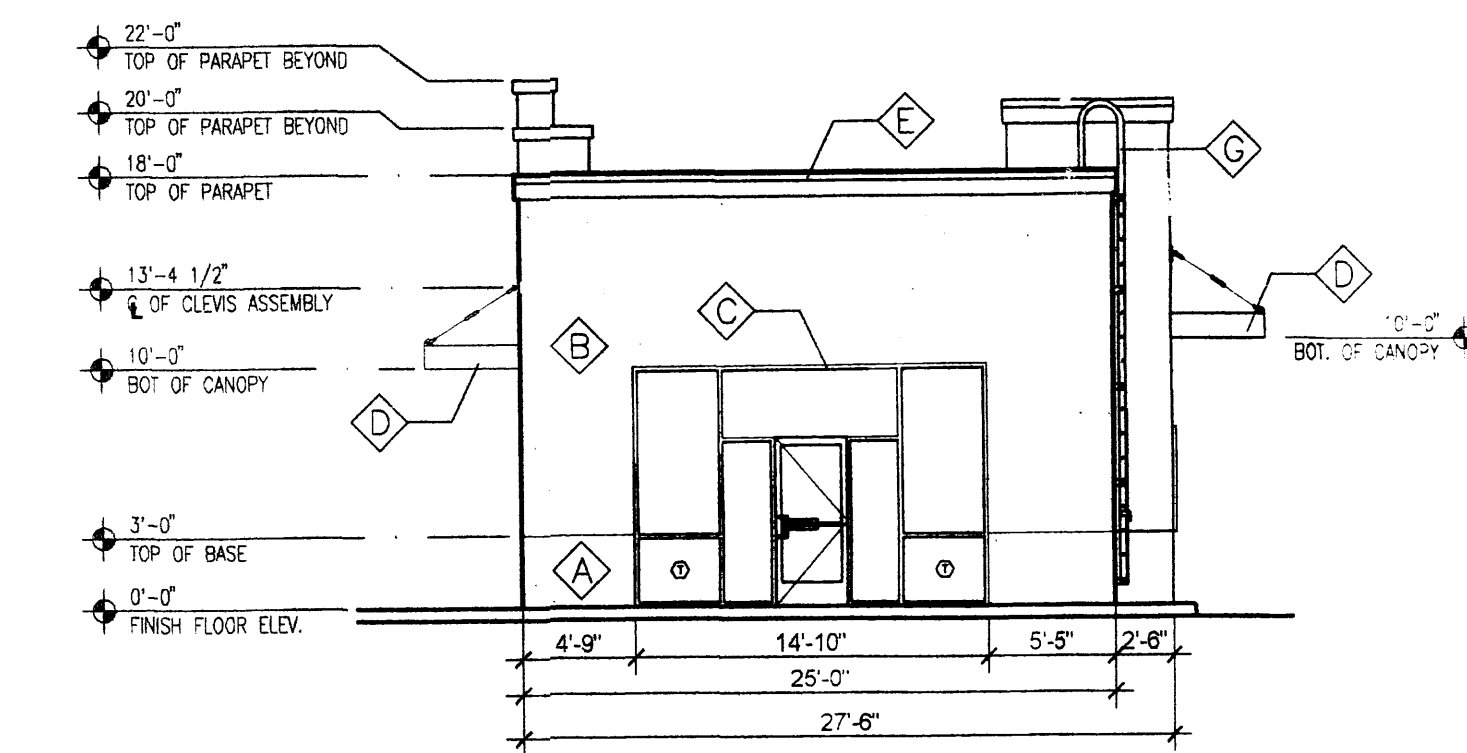
DATE	11/15/05	SHEET	A2.3
SCALE	1/8"=1'-0"	OF	



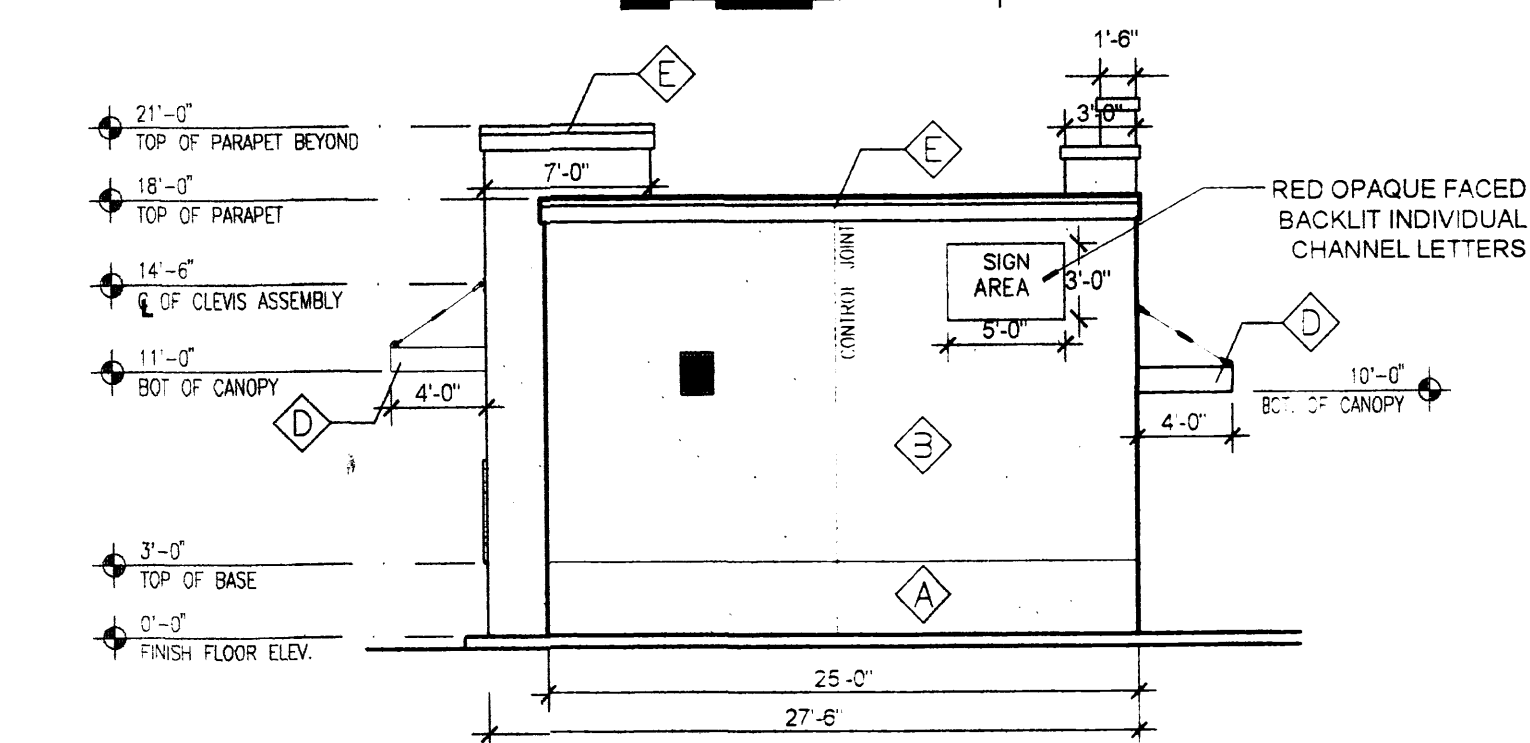
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1 WEST ELEVATION
Scale: 1/8"=1'-0"



3 SOUTH ELEVATION
Scale: 1/8"=1'-0"



4 NORTH ELEVATION
Scale: 1/8"=1'-0"

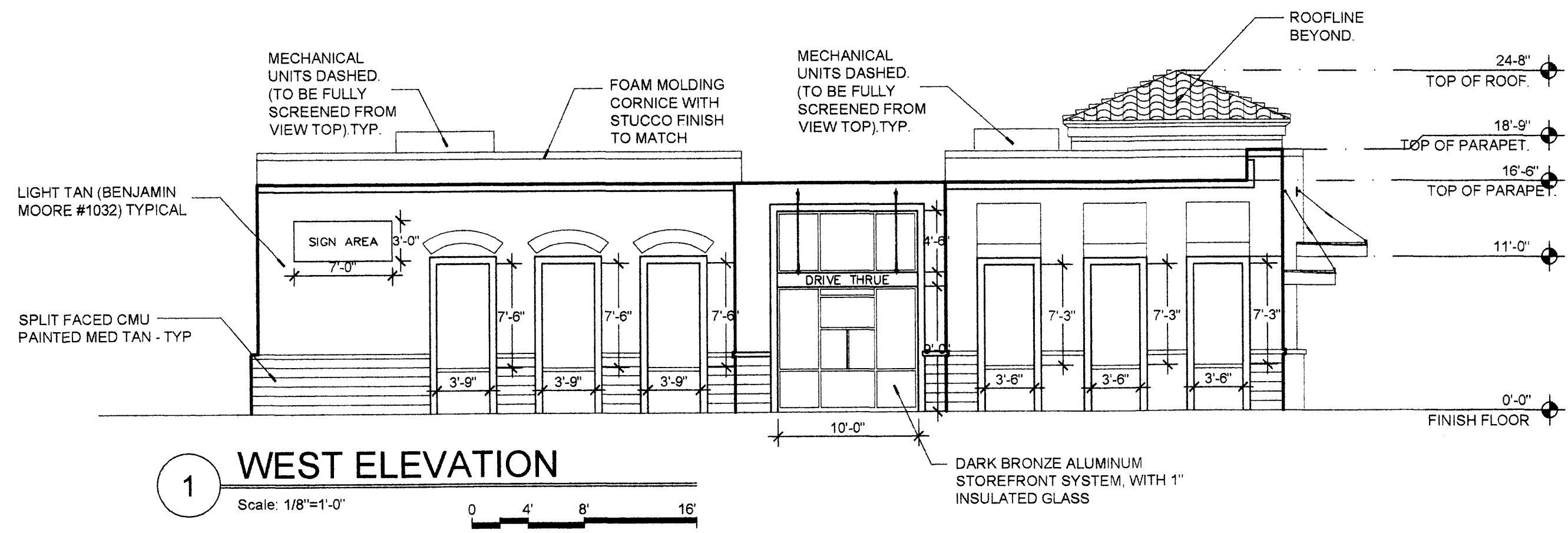
Keyed Color / Material Schedule

Ⓐ	STUCCO BASE	MEDIUM DARK TAN DADO BAND WALL COLOR # 951.
Ⓑ	STUCCO	LIGHT TAN BENJAMIN MOORE # 1032
Ⓒ	ALUM. STOREFRONT	DARK BRONZE.
Ⓓ	STEEL CANOPY	DARK BRONZE.
Ⓔ	METAL COPING	GREEN
Ⓕ	DRIVE-THRU WINDOW	DARK BRONZE.
Ⓖ	ROOF ACCESS LADDER	PAINT TO MATCH STUCCO COLOR

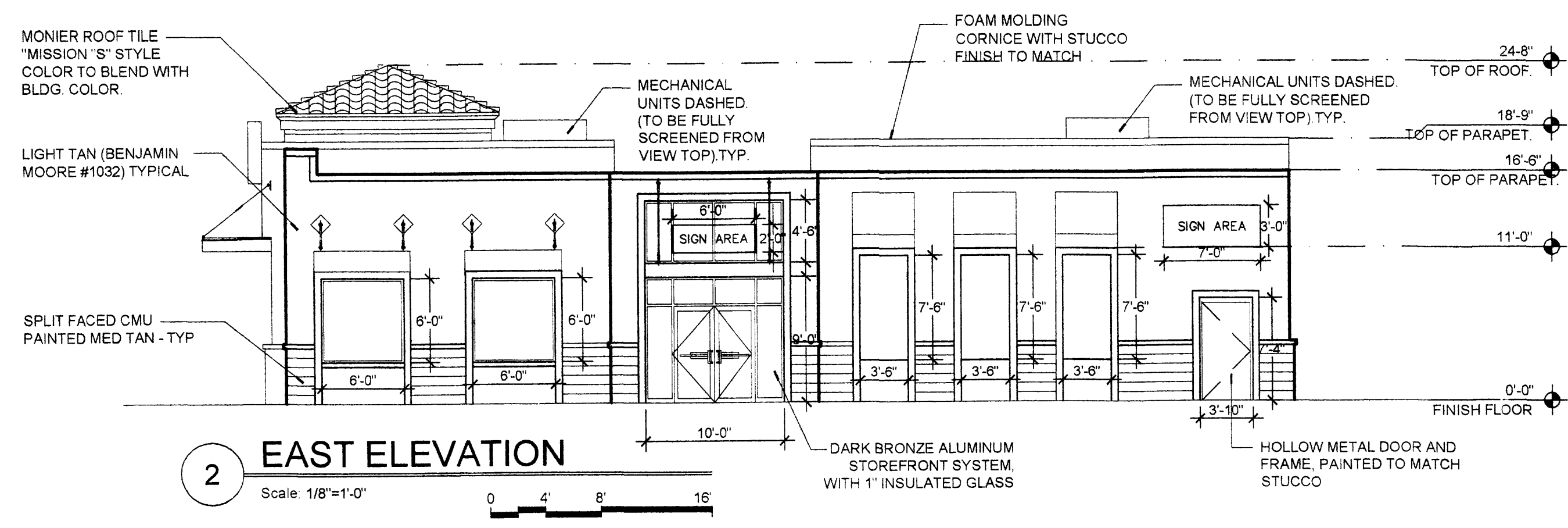
REV	DATE	BY	REVISION
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
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PHONE (505) 884-9110 FAX (505) 837-9877

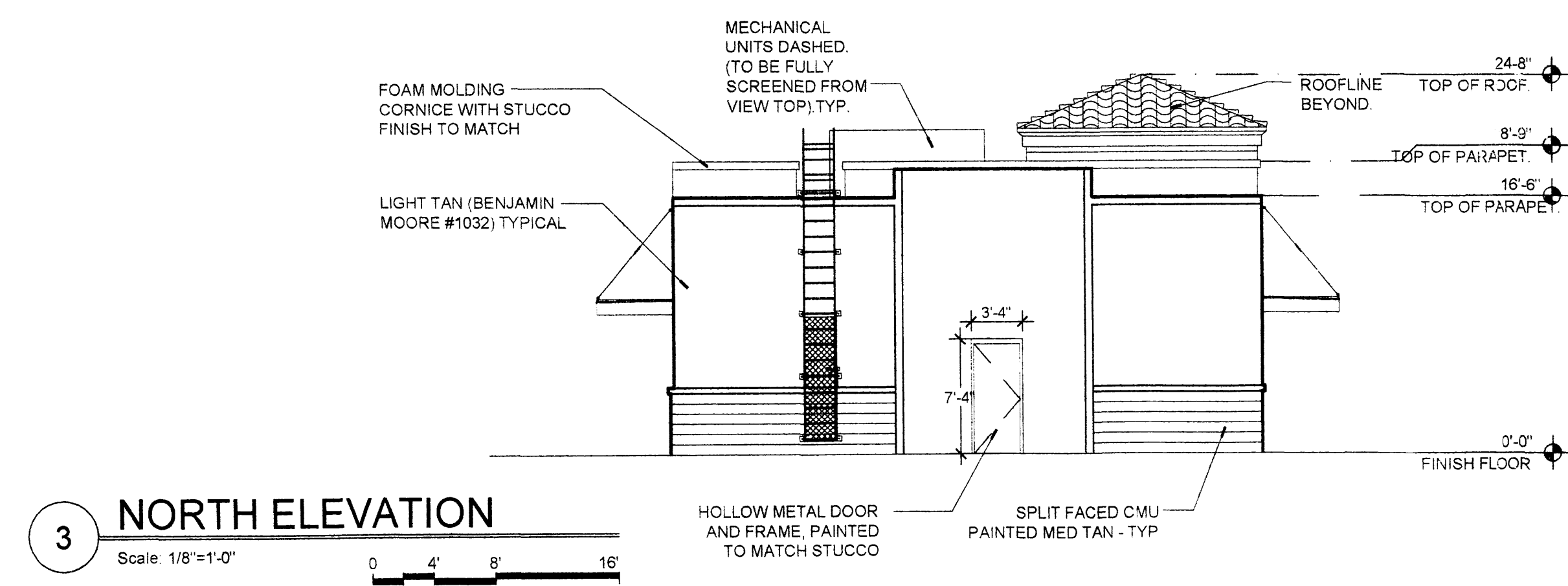
PROJECT TITLE	VENTANA SQUARE.	DATE:	11/5/05
(NEC) UNIVERSE & PARADISE	ALBUQUERQUE, NEW MEXICO	JOB NO.	9002
PROJECT MANAGER	GEORGE RAINHART	DRAWN BY:	APZ
SHEET TITLE	BUILDING ELEVATIONS, PAD 1.	sheet-	A2.4
		SCALE:	1/8" = 1'-0"
		of.	



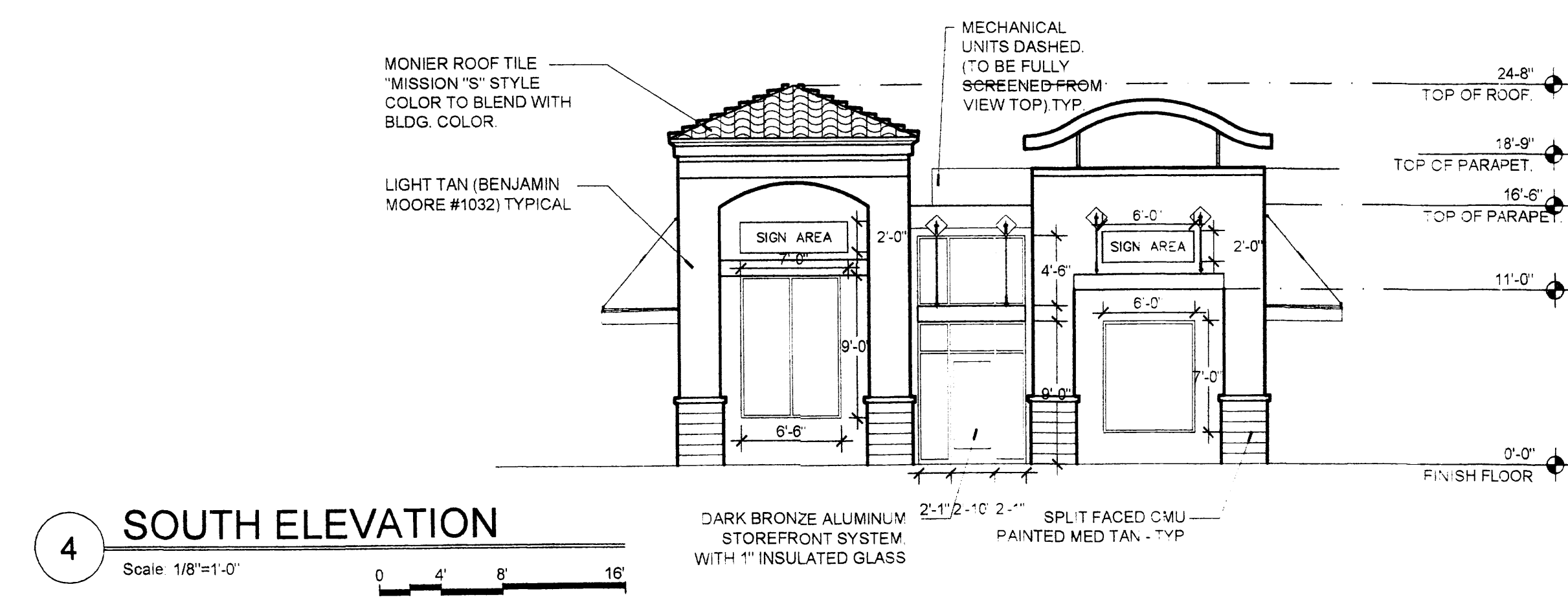
1 WEST ELEVATION
Scale: 1/8"=1'-0"



2 EAST ELEVATION
Scale: 1/8"=1'-0"




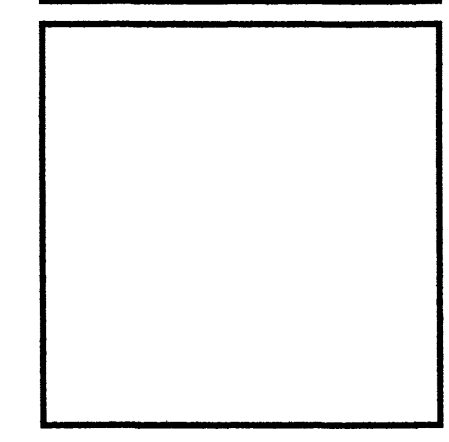
3 NORTH ELEVATION
Scale: 1/8"=1'-0"



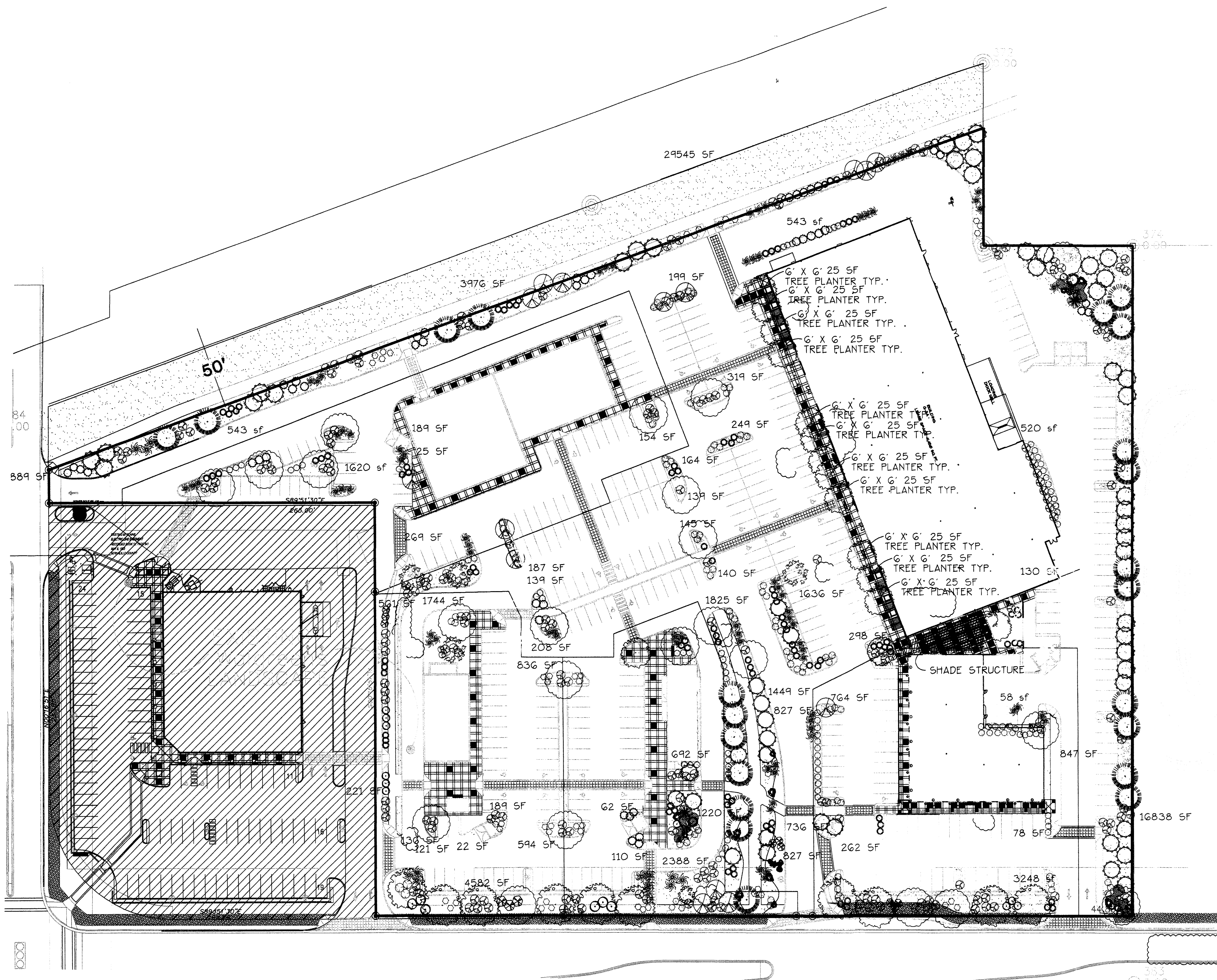
4 SOUTH ELEVATION
Scale: 1/8"=1'-0"

REV	DATE	BY	REVISION
1			
2			
3			
4			


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PROJECT TITLE	VENTANA SQUARE.		
	(NEC) UNIVERSE & PARADISE		
	ALBUQUERQUE, NEW MEXICO		
PROJECT MANAGER	JOB NO.	DRAWN BY	
GEORGE RAINHART	982	APZ	
SHEET TITLE	BUILDING ELEVATIONS, PAD 2.		
DATE:	111505	sheet:	A2.5
SCALE:	1/8" = 1'-0"	of:	



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

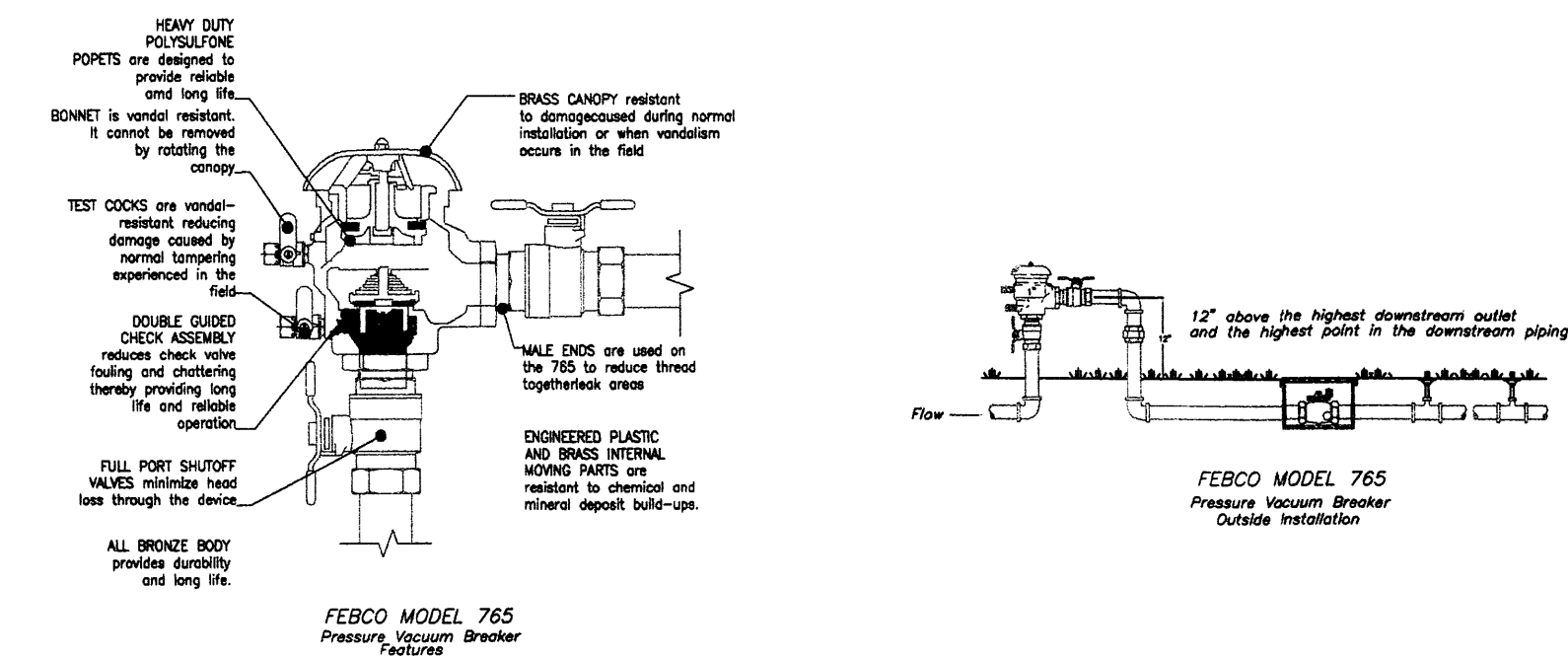
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.



BACKFLOW PREVENTER DETAIL

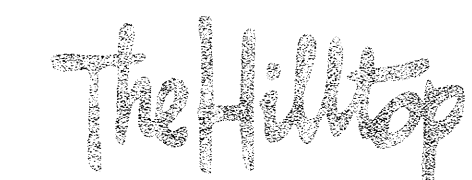
no scale



GRAPHIC SCALE



SCALE: 1"=50'



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cjohnson@hilltoplandscaping.com

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REV	DATE	BY	REVISION
1	11-7-05	drr	EPC COMMENTS
2	11/15/05	drr	revised site plan

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PROJECT TITLE
VENTANA
(NEO) UNIVERSE & PARADISE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
GEORGE RAINHART

JOB NO.
9052

DRAWN BY:
drr

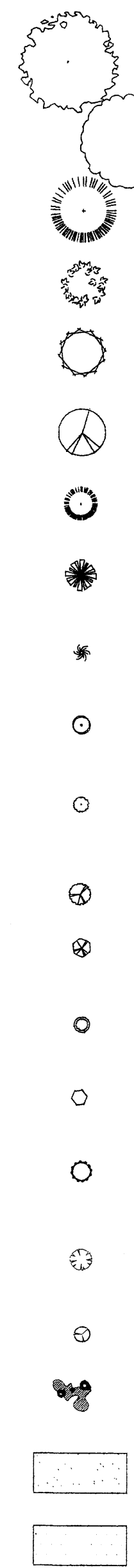
SHEET TITLE
LANDSCAPE PLAN

DATE: 072305	sheet: L1.0
SCALE: 1"=50'	of:

LANDSCAPE CALCULATIONS

	MAJOR 1	SHOPS 1	SHOPS 2	PAD 1	PAD 2	SITE
TOTAL LOT AREA	234301 square feet	48127 square feet	45748 square feet	31280 square feet	38471 square feet	397932 square feet
TOTAL BUILDINGS AREA	42860 square feet	11400 square feet	9600 square feet	2005 square feet	2763 square feet	68628 square feet
OFFSITE AREA	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet
NET LOT AREA	191441 square feet	36727 square feet	36148 square feet	29275 square feet	35708 square feet	329299 square feet
LANDSCAPE REQUIREMENT	15%	15%	15%	15%	15%	15%
TOTAL LANDSCAPE REQUIREMENT	28716 square feet	5509 square feet	5422 square feet	4391 square feet	5356 square feet	49394 square feet
TOTAL BED PROVIDED	35078 square feet	2257 square feet	5555 square feet	6297 square feet	9006 square feet	58193 square feet
GROUNDCOVER REQ.	75%	75%	75%	75%	75%	75%
TOTAL GROUNDCOVER REQUIREMENT	27481 square feet	1634 square feet	5999 square feet	4409 square feet	4846 square feet	43645 square feet
TOTAL GROUNDCOVER PROVIDED	30781 square feet	2880 square feet	6836 square feet	4503 square feet	4711 square feet	49711 square feet
TOTAL PONDING AREA	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet
TOTAL LANDSCAPE PROVIDED	34093 square feet	3420 square feet	7700 square feet	5259 square feet	5971 square feet	58193 square feet

PLANT LEGEND	QUANTITY MAJOR 1	QUANTITY SHOPS 1	QUANTITY SHOPS 2	QUANTITY PAD 1	QUANTITY PAD 2	QUANTITY SITE
ARIZONA ASH (H) Fraxinus velutina 2" Cal	-	-	4	1	4	9
RAYWOOD ASH (H) Fraxinus oxycarpa raywood 2" Cal	9	5	3	1	5	23
AUSTRIAN PINE(H) Pinus nigra 6"-8"	15	-	-	7	-	22
WASHINGTON HAWTHORN (H) Crataegus phaenopyrum 15 gal	2	-	-	1	1	4
DESERT WILLOW (M) Chilopsis linearis 5 gal 225 sf	51	-	12	3	-	66
FLOWERING PEAR (H) Pyrus caleryana 1 1/2" cal	10	1	1	3	-	15
MUGHO PINE Pinus mugho 5 gal	4	-	-	-	-	4
PALM YUCCA (L)	1	-	-	-	-	1
MAIDEN GRASS (L) Miscanthus sinensis 5 gal 25sf	53	15	8	12	6	94
RUSSIAN SAGE (M) Perovskia atriplicifolia 5 gal 25sf	1	-	3	4	9	17
PHOTINIA Nandina domestica 5 gal 25sf	36	9	33	8	-	86
CREeping ROSEMARY (L) Rosmarinus officinalis Prostrata' 1 gal 36sf Symbol indicates 3 plants	92	15	24	21	35	187
INDIAN HAWTHORN (M) Raphiolepis indica 5 gal 12sf	3	-	3	1	5	12
ROSEMARY (M) Rosmarinus officinalis 5 gal 36sf	72	9	9	6	6	102
AUTUMN SAGE (M) Salvia greggii 5 gal 12sf	17	-	3	6	21	47
SILVERBERRY (M) Elaeagnus pungens 5 gal 100sf	35	3	-	6	-	44
CHAMISA (L) Chrysothamnus nauseosus 1 gal 36sf	13	-	-	1	-	14
WILDFLOWER 1 gal 4sf	56	3	12	6	7	84
OVERSIZE GRAVEL AND BOULDERS						
SANTA FE BROWN GRAVEL W/ FF						
SANTA FE BROWN CF W/ FF						



REV	DATE	BY	REVISION
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PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT TITLE
VENTANA
 (NEO) UNIVERSE & PARADISE
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
 GEORGE RAINHART

JOB NO.
 902

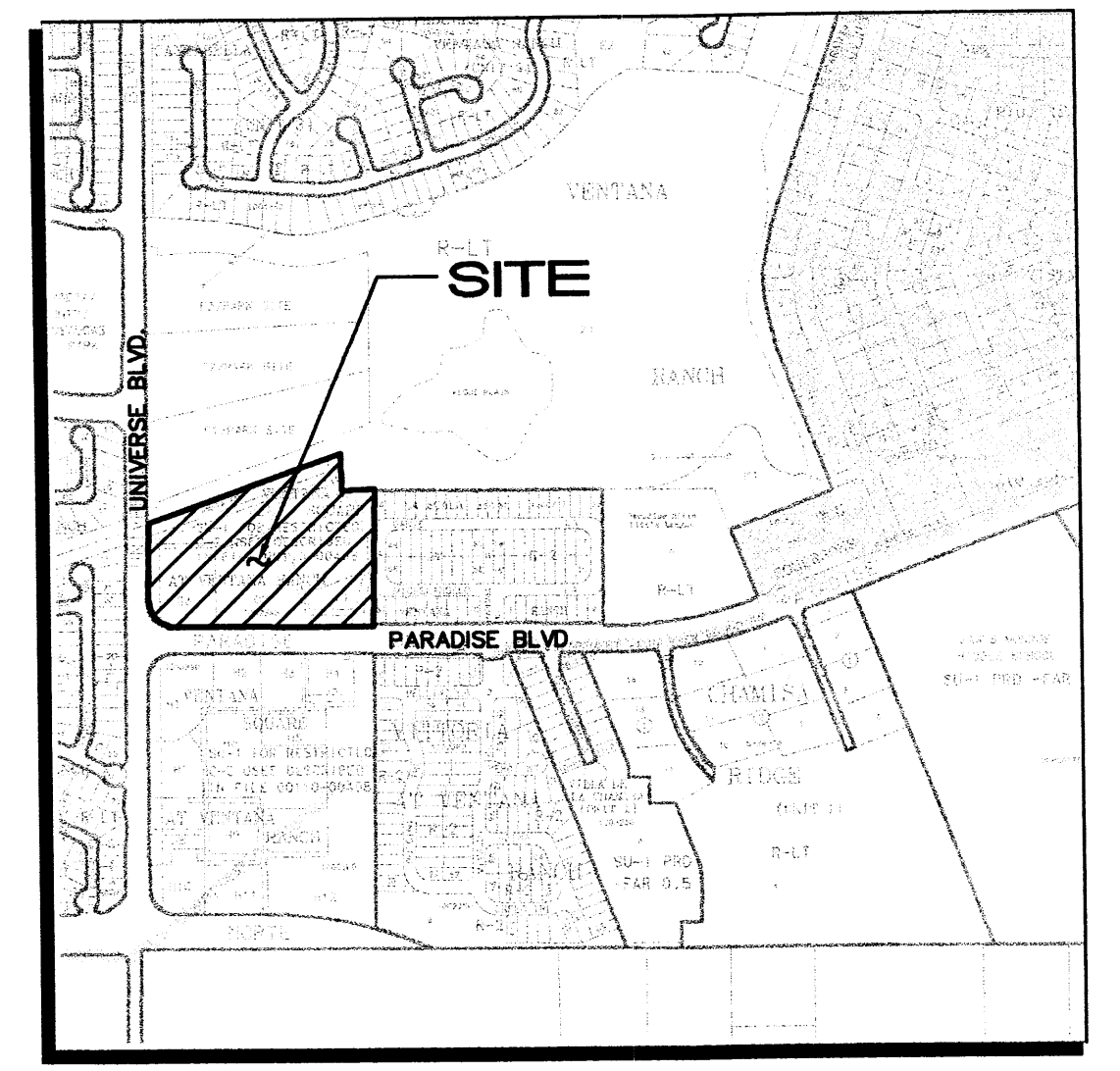
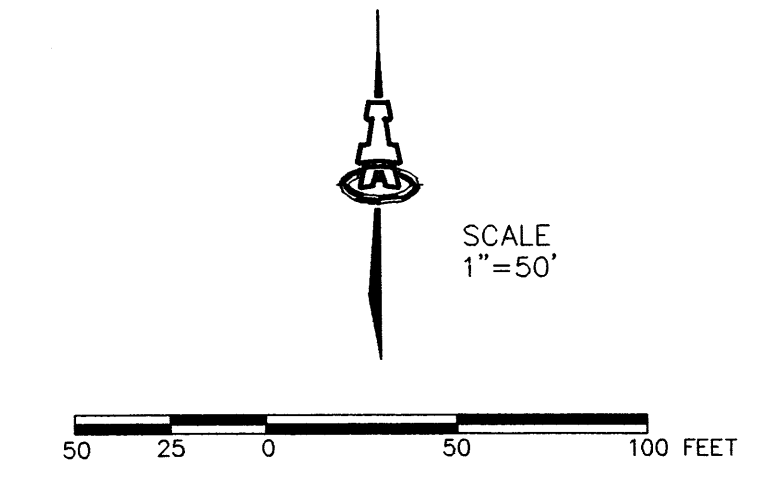
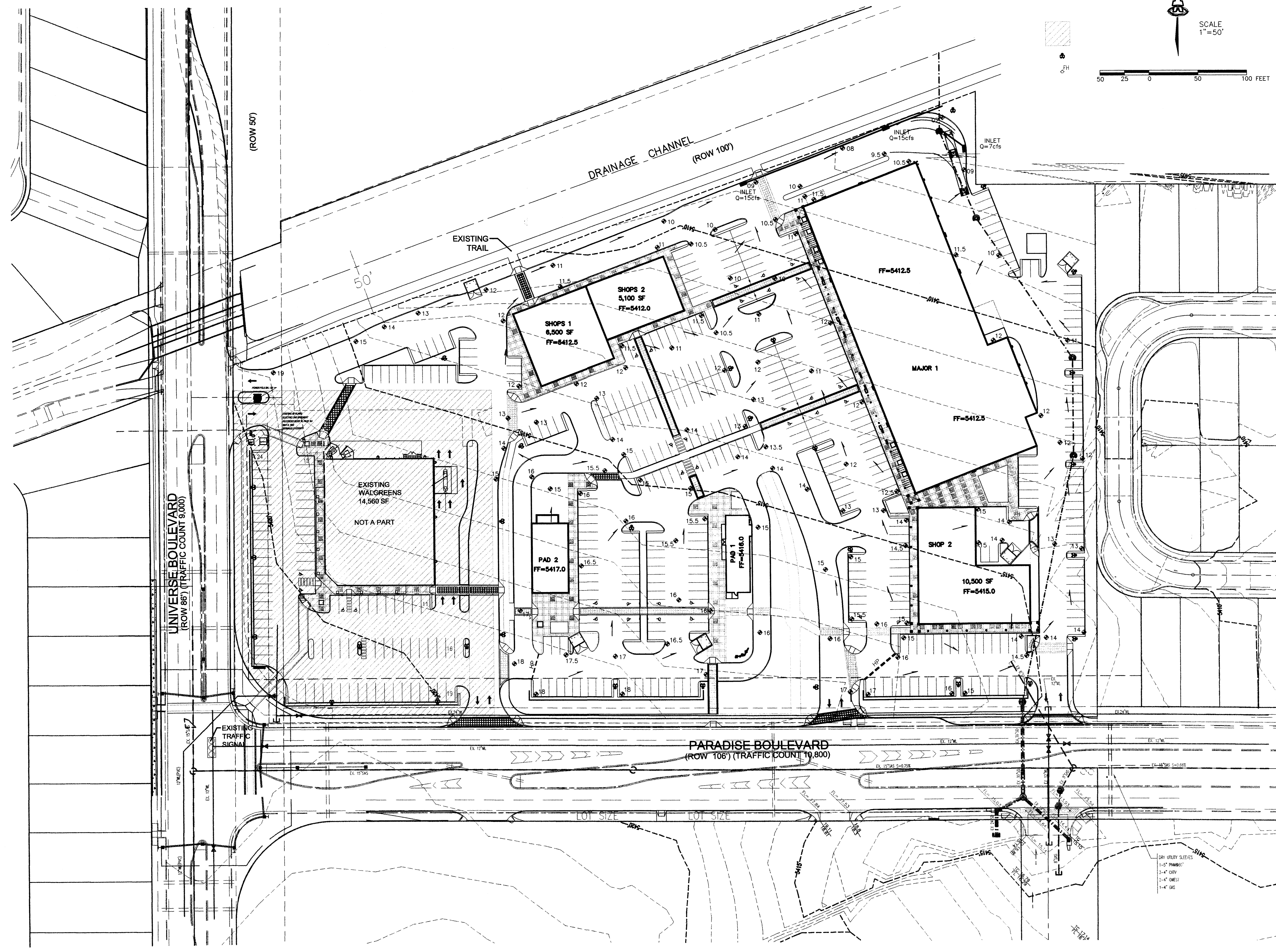
DRAWN BY
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SHEET TITLE
LANDSCAPE PLAN



LANDSCAPE ARCHITECTS + CONTRACTORS
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 c.johnson@hilltoplandscaping.com

DATE: 11/15/05 sheet: 2 of 20
 SCALE: 1"=50'



B-10-Z VICINITY MAP 1"=750'

SITE AREA: 9.13 ACRES
LEGAL: TRACT G-2 VENTANA RANCH
FLOOD PLAIN: THIS SITE IS IN ZONE 'X' AND OUTSIDE THE 500-YEAR FLOOD PLAIN PER FEMA MAP PANEL 103.
EXISTING CONDITIONS: A PLAN WAS PREVIOUSLY APPROVED FOR BOTH SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT. THE WALGREEN'S SITE HAS BEEN DEVELOPED AT THE NE CORNER OF UNIVERSE AND PARADISE BOULEVARDE AND IS NOT A PART OF THIS NEW PLAN.
EXISTING HYDROLOGY: 100% A, ZONE: 1
 $Q = (9.13 \text{ acres})(1.29 \frac{cfs}{\text{acre}}) = 11.8 \text{ cfs}$
PROPOSED CONDITIONS: 10% B & 90% D
 $Q = (9.13 \text{ acres})(4.06 \frac{cfs}{\text{acre}}) = 37.1 \text{ cfs}$
 OFFSITE FLOW IS ACCEPTED ONSITE FROM THE WALGREEN'S SITE (0=8.0cfs) AND WILL BE PASSED THROUGH THE SITE TO DISCHARGE TO THE AMAFCA DRAINAGE FACILITY ALONG THE NORTH SIDE OF THE SITE.

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - ⊕ 78.3 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - FF = 5412.5 FINISH FLOOR ELEVATION
 - HP - HIGH POINT

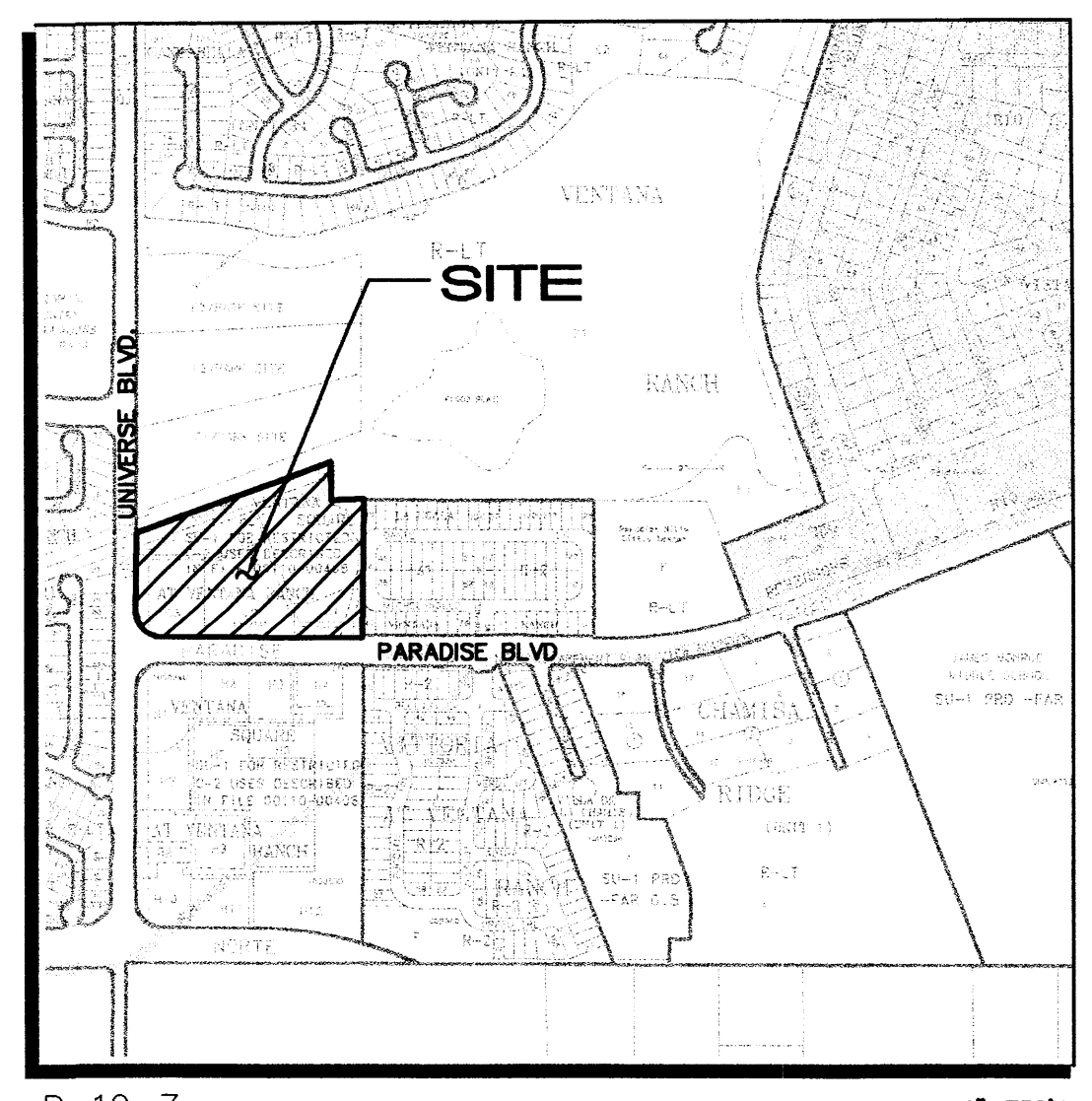
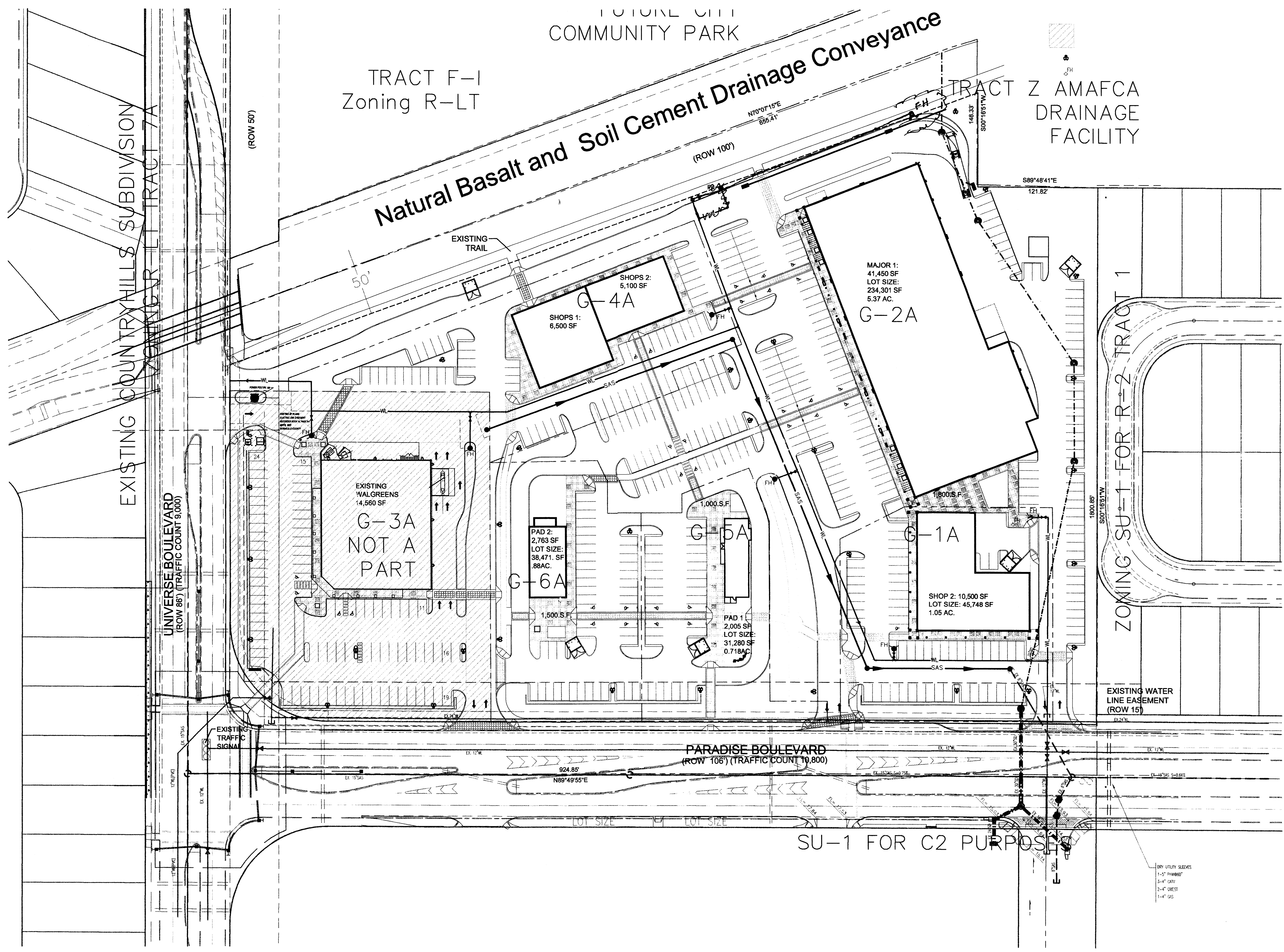
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1474GRD.DWG.rtn 11/07/005

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VENTANA SQUARE NORTH

CONCEPTUAL GRADING & DRAINAGE PLAN

Checked By	Drawn By	No.	Revision	PAGE
				31 OF
Date	Job Number			

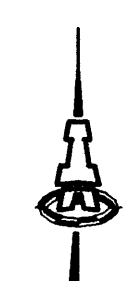


B-10-Z
VICINITY MAP
1"=750'

LEGEL: TRACT G-2 VENTANA RANCH
AREA: 9.13 ACRES

LEGEND

- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- SAS MANHOLE
- WATER LINE W/ FITTING



SCALE
1"=50'



SCOTT M. McGEHEE
NEW MEXICO
10519
LICENSED PROFESSIONAL ENGINEER

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Consulting Engineering Associates
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VENTANA SQUARE NORTH

CONCEPTUAL UTILITY PLAN

Checked By: _____	Drawn By: _____	Date: _____	PAGE 31 of 37
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EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-LI TRACT 7A

TRACT F-I
Zoning R-LT

FUTURE CITY
COMMUNITY PARK

Natural Basalt and Soil Cement Drainage Conveyance

TRACT Z
AMAFCA
DRAINAGE
FACILITY

ZONING SU-1 FOR R-2 TRACT 1

BUILDING AREA + PARKING CALCULATIONS:
 MAJOR 1: 41,450 SF. BUILDING.
 LOT SIZE = 234,301 SF OR 5.38 AC.
 41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST
 15,000 SF OF NET LEASABLE AREA; 75 CARS.
 1 SPACE PER 250 SF FOR THE NEXT 26,450 SF
 OF NET LEASABLE AREA; 106 CARS
 = 181 CARS
 SPACES PROVIDED 181 SPACES.
 FAR = .17
 OCCUPANT LOAD: 41,450 / 30 = 1,382
 SHOPS 1: 11,600 SF. BUILDING.
 LOT SIZE = 48,127 SF OR 1.10 AC.
 11,600 SF / 200 = 58 SPACES.
 SPACES PROVIDED 58 SPACES.
 FAR = .24
 OCCUPANT LOAD: 11,600 / 30 = 387
 PAD 1: 2,005 SF. BUILDING.
 LOT SIZE = 31,266 SF OR 7.18 AC.
 1 CAR PER 4 PROVIDED SEATS
 48 SEATS / 4 = 12 REQ. CARS.
 SPACES PROVIDED 31 SPACES.
 FAR = .06
 OCCUPANT LOAD: 2,005 / 15 = 134
 PAD 2: 2,763 SF. BUILDING.
 LOT SIZE = 38,457 SF OR 8.8 AC.
 1 CAR PER 4 PROVIDED SEATS
 80 SEATS / 4 = 20 REQ. CARS.
 SPACES PROVIDED 42 SPACES.
 FAR = .07
 OCCUPANT LOAD: 2,763 / 15 = 185
 SHOPS 2: 10,500 SF. BUILDING.
 LOT SIZE = 47,748 SF OR 1.05 AC.
 10,500 SF / 200 = 53 SPACES.
 SPACES PROVIDED 57 SPACES.
 FAR = .22
 OCCUPANT LOAD: 10,500 / 30 = 350
FLOOR AREA RATIO
 BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000
 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT
 WITH C.O.A.
 TOTAL BUILDING AREA = 66,318 SQ/FT
 TOTAL LOT AREA = 397,932 SQ/FT
 TOTAL FAR = .17
PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 6'-6" X 20'
 SMALL CARS SPACES ARE 6'-0" X 16'-0"
 • ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED •
 25 BICYCLE SPACES.
 10 MOTORCYCLE SPACES.
 TOTAL STANDARD PARKING SPACES PROVIDED 319 SPACES
 TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES
 TOTAL H.C. PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 27 SPACES
 TOTAL PROVIDED 369 SPACES
 TOTAL REQUIRED SPACES = 324 SPACES
 TOTAL PROVIDED SPACES = 347 SPACES

LEGEND
 [Hatched Box] EXISTING.
 [Star] LIGHT POST.
 [Circle] F.H.

TRACTS G FOR SUBDIVISION

LEGAL DESCRIPTION

TRACTS G AT VENTANA SQUARE
CURRENT ZONING

C-2 TO SU-1 FOR C-2

TOTAL ACREAGE

12.68 ACRES (TOTAL GROSS), TO INCLUDE G-1, G-2, G-3,
G-4, G-5 AND G-6

**PEDESTRIAN AND VEHICULAR
CIRCULATION**

See sheet A1.1 for pedestrian and vehicular connections to the surrounding
Ventana Ranch road and trail system.

INTERNAL CIRCULATION

See sheet A1.2 for internal circulation

BUILDING HEIGHTS AND SETBACKS

The maximum height of buildings within tract G shall be 35'-0" See plan A-1.1 for
additional restrictions Setbacks are shown on sheet A1.2.

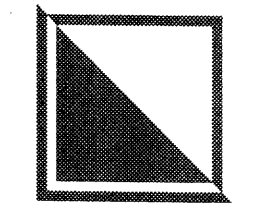
FLOOR AREA RATIOS

The overall FAR for tract G shall not exceed 10,000sq/ft per gross acre in
accordance with the May 31, 1998 agreement with the City of Albuquerque

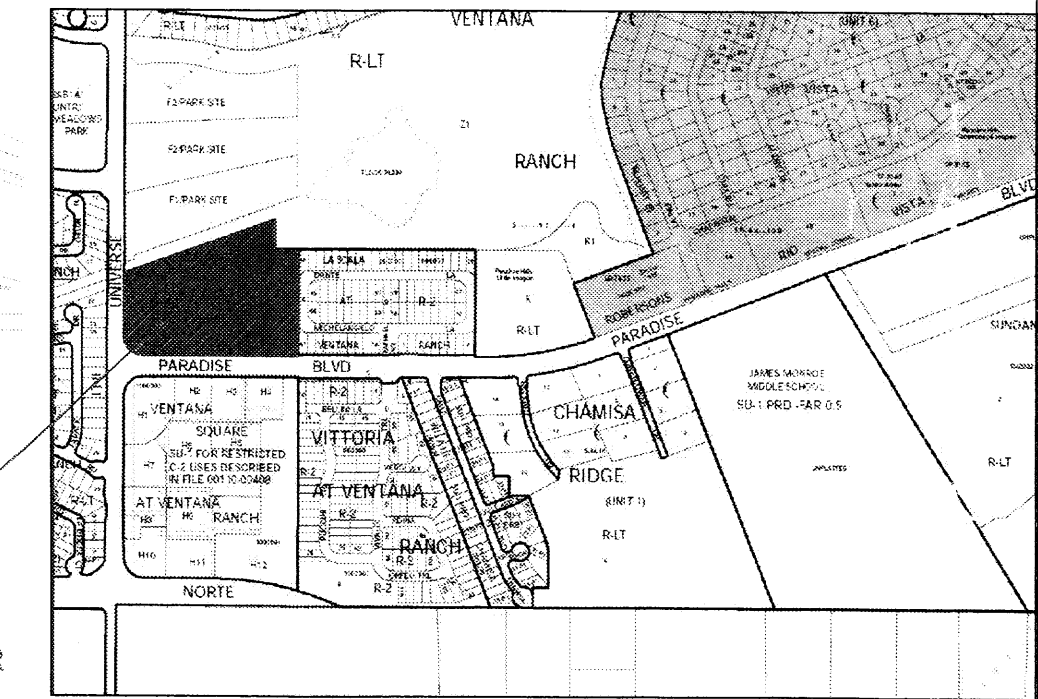
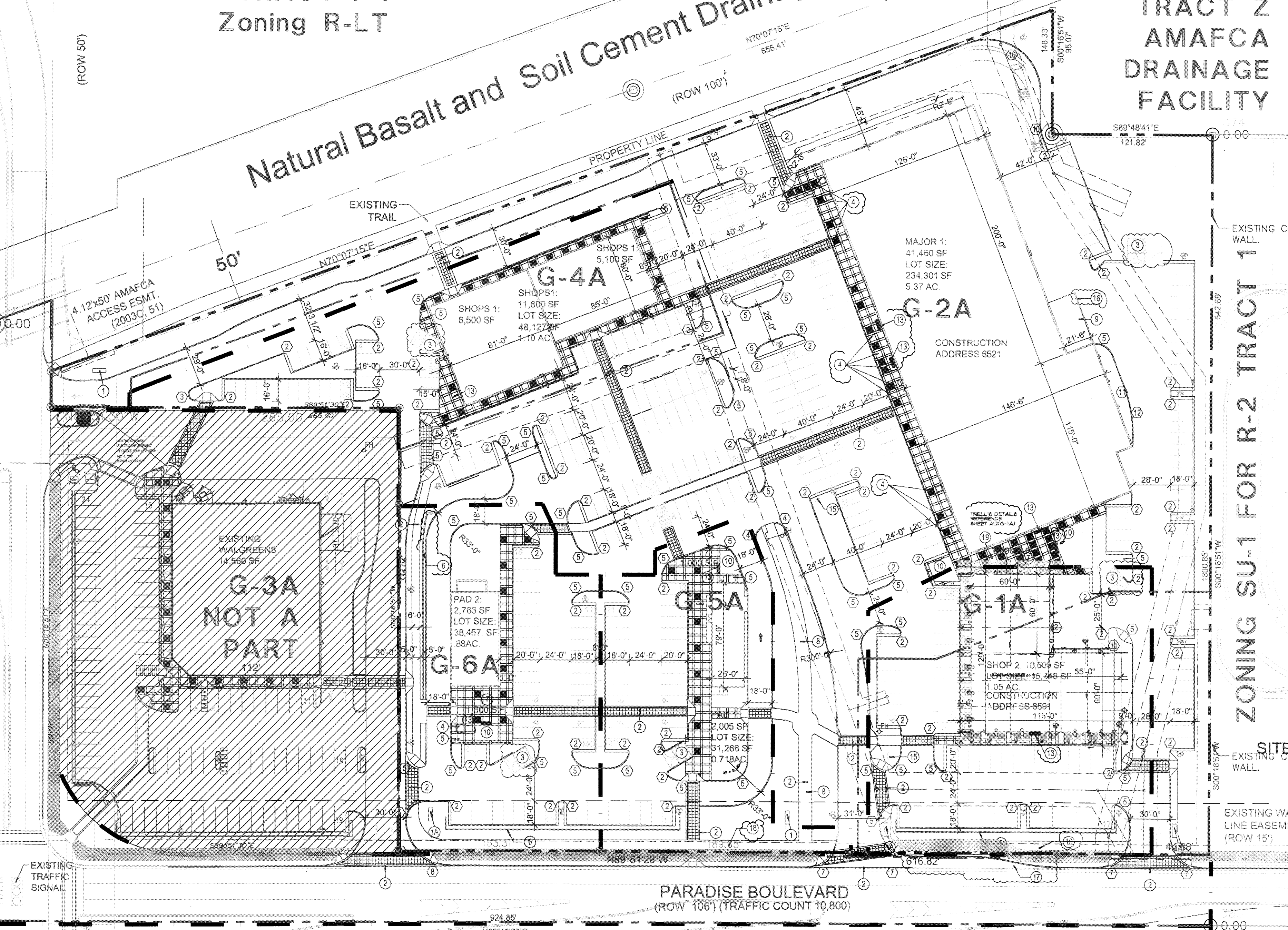
LANDSCAPE

See sheet L1 and L2

REVISION	
BY	
DATE	
REV	6
	5
	4
	3
	2
	1



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



7 VICINITY PLAN
SCALE: 1" = 1,000'

1 SITE PLAN
Scale: 1" = 50'-0"
0 50 100
feet

SU-1 FOR C2 PURPOSES

RADIUS INFORMATION:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 35'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 100'-0"

KEYED NOTES

1. PYLON SIGN.
2. 6'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK.
3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
4. 6'-0"x6'-0" TREE PLANTERS.
5. BIKE RACK PER C.O.A. STANDARDS.
6. 2'-6" GARDEN WALL.
7. CONCRETE OUT DOOR PATIO AREA.
8. ASPHALT TRAIL.
9. DOCK METAL.
10. LANDSCAPE AREA.

LEGEND

[Hatched Box] EXISTING.
 [Star] LIGHT POST.
 [Circle] F.H.

PROJECT NUMBER: 1002346
 APPLICATION NUMBER: 05DRB-01830

This plan is consistent with the specific site development plan approved by the
 Environmental Planning Commission (EPC) on [] and the
 findings and conditions in the Official Notification of Decision are satisfied
 Is an Infrastructure List required? () YES (X) NO If yes, then a set of
 approved DRB plans with a work order is required for any construction within
 Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

<i>William G. Belsch</i> Traffic Engineering, Transportation Division	Date: 12-20-05
<i>Christina Sandoval</i> Water Utility Department	Date: 12/14/05
<i>Bradley A. Bly</i> Parks and Recreation Department	Date: 12/14/05
<i>N/A</i> City Engineer	Date:
<i>N/A</i> Environmental Health Department	Date:
<i>N/A</i> Project Management	Date:
<i>D. Mateen</i> DRB Chairperson, Planning Department	Date: 12/14/05

• Environmental Health, if necessary

PROJECT TITLE VENTANA SQUARE. (NEO) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO	DRAWN BY: AFZ
PROJECT MANAGER GEORGE RAINHART	JOB NO. 9052
SHEET TITLE SITE PLAN, SUBDIVISION.	

DATE: 072305	sheet: A1.2
SCALE: 1"=50'	of: