

#9



DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

Comp 12/22/05 CS.

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01830 (SPS)

Project # 1002346

Project Name: VENTANA SQUARE @ VENTANA RANCH

Agent: George Rainhart Architects

Phone No.: 884-9110

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12-14-05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: Clear up confusion of property line boundaries
 3 Copies

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1002346



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 14, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:25 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1004360

05DRB-01736 Major-SiteDev Plan
Subd

05DRB-01737 Major-Preliminary Plat
Approval

RIO GRANDE ENGINEERING agent(s) for WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-A, ACRES ADDITION (to be known as **ENTRADA DEL BOSQUE SUBDIVISION**) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between GABALDON NW and LULAC AVE NW containing approximately 3 acre(s). [REF: 05DRB01245] [Deferred from 12/14/05] (J-12) **DEFERRED AT THE BOARD'S REQUEST TO 12/21/05.**

2. **Project # 1003132**
05DRB-01754 Major- Vacation of Public Easements
05DRB-01753 Major- Vacation of Public Easements

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for MWS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A & 9-B, **BROADWAY INDUSTRIAL CENTER, UNIT 3**, zoned SU-2 - HM located on KARSTEN COURT SE, between SAN JOSE SE and GIBSON AVE SE containing approximately 4 acre(s). [REF: 03DRB020703, DRB-97-271] (M-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A CONDITION OF FINAL PLAT: THE EXISTING LOTS WILL BE CONSOLIDATED INTO A SINGLE LOT.**

3. **Project # 1001594**
05DRB-01761 Major-Vacation of Public Easements

WILSON & COMPANY agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 29A, LANDS OF SALAZAR/QUATRO/JSJ/ HANNETT, (to be known as **ARROWWOOD HILLS, UNIT 1**, zoned R-LT residential zone, located on AMOLE MESA SW, between MESA ARENOSO DR SW and MESSINA DR SW containing approximately 1 acre(s). [REF: 02DRB01621, 01622,, 04DRB00137, 00261, 00262,00263] (N-8/N-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1003921**
05DRB-01758 Major-Vacation of Pub Right-of-Way
05DRB-01759 Major-Vacation of Public Easements
05DRB-01760 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for AMAFCA & CITY OF ALBUQUERQUE, MUNICIPAL DEVELOPMENT DIVISION, request(s) the above action(s) for all or a portion of Lot(s) 1-32, Block(s) 7 and Lot(s) 1-32, Block(s) 8, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-1, R-D, R-T, located on CORONA AVE NE, between LOUISIANA BLVD NE and WYOMING AVE NE containing approximately 10 acre(s). (C-19) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN.**

5. **Project # 1004387**
05DRB-01332 Major-Vacation of Pub
Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [Deferred from 9/14/05 & 10/5/05 & 11/9/05 & 12/14/05] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

6. **Project # 1004462**
05DRB-01525 Major-Vacation of Public
Easements
05DRB-01524 Major-Preliminary Plat
Approval
05DRB-01526 Minor-Sidewalk Waiver
05DRB-01527 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [Deferred from 10/26/06 & 11/2/05 & 11/9/05 & 11/16/05 & 11/23/05 & 11/30/05 & 12/7/05 & 12/14/05] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1004343**
05DRB-01213 Minor-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC. agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 22-27, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on EDITH BLVD NW, between ALAMEDA PARK DR NW and the AMAFCA DIVERSION CHANNEL containing approximately 12 acre(s). [REF: DRB-98-223] [Deferred from 8/3/05 & 8/10/05 & INDEF DEFERRED ON 9/7/05] (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK DIMENSIONING AND SIDEWALK DETAIL AND 3 COPIES OF THE SITE PLAN.**

8. **Project # 1004097**
05DRB-01790 Minor-SiteDev Plan
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON LLC request(s) the above action(s) for all or a portion of Tract(s) 4-1, **MESA DEL SOL EMPLOYMENT CENTER, PHASE 1**, zoned SU-1 FOR IP USES, located at the intersection of BOBBY FOSTER SE and UNIVERSITY BLVD SE Extension, containing approximately 7 acre(s). [Catalina Lehner, EPC Case Planner] [Deferred from 12/7/05] (Q-16/R-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RADII TURNING TEMPLATES, A COPY OF COUNTY LETTER AND 3 COPIES OF THE SITE PLAN.**

05DRB-01826 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for REGENTS OF UNM & COMMISSIONER OF PUBLIC LANDS OF THE STATE OF NEW MEXICO TRUSTEE, request(s) the above action(s) for all or a portion of Tract(s) 9-A & 9-B, **MESA DEL SOL, EMPLOYMENT CENTER PHASE 1**, zoned SU-2 PLANNED COMMUNITY, located on BOBBY FOSTER SE, between UNIVERSITY BLVD SE Extension, containing approximately 7 acre(s). Q-16, R-15/R-16, S-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/14/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: A 17-FOOT RIGHT-OF-WAY EXCHANGE WITH THE COUNTY SHALL BE REVISITED PRIOR TO FINAL PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

9. **Project # 1002346**
05DRB-01794 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01792 Minor-Prelim&Final Plat
Approval

GEORGE RAINHART ARCHITECT & ASSOCIATES agent(s) for GRADY RENTALS LLC request(s) the above action(s) for all or a portion of Tract(s) G, VENTANA RANCH, (to be known as **VENTANA SQUARE @ VENTANA RANCH**) zoned C-2 community commercial zone, located on UNIVERSE BLVD NW, between PARADISE BLVD NW and VENTANA RD NW containing approximately 10 acre(s). [REF: 05EPC-01264, 05EPC-01263, 02DRB-01735, 03DRB-00070, 03DRB-00171] [Carmen Marrone, EPC Case Planner] [Deferred from 12/7/05] (B-10) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR COORDINATION AND APPROVAL WITH AMAFCA OF MAINTENANCE ROAD**

#9



DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01830 (SPS)

Project # 1002346

Project Name: VENTANA SQUARE @ VENTANA RANCH

Agent: George Rainhart Architects

Phone No.: 884-9110

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12-14-05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: Clear up confusion of property line boundaries
3 copies
~~_____~~

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1002346

ACCESS AND PLANNING FOR 3 COPIES OF THE SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/14/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITIONS OF FINAL PLAT: AMAFCAS SIGNATURE ON FINAL PLAT. MAINTENANCE NOTES FOR CROSS ACCESS EASEMENTS ARE ADDED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.

~~05DRB-01830-Minor-SiteDev,Plan
Subd/EPC~~

GEORGE RAINHART ARCHITECT & ASSOCIATES agent(s) for GRADY RENTALS LLC request(s) the above action(s) for all or a portion of Tract(s) G, VENTANA RANCH, (to be known as **VENTANA SQUARE @ VENTANA RANCH**) zoned C-2 community commercial zone, located on UNIVERSE BLVD NW, between PARADISE BLVD NW and VENTANA RD NW containing approximately 10 acre(s). [REF: 05EPC-01264, 05EPC-01263, 02DRB-01735, 03DRB-00070, 03DRB-00171] [Carmen Marrone, EPC Case Planner] (B-10) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER TO CLARIFY TRACT BOUNDARY AND PLANNING FOR 3 COPIES OF SITE PLAN.**

10. **Project # 1000871**
05DRB-01839 Minor-SiteDev Plan
Subd/EPC
05DRB-01840 Minor-SiteDev Plan
BldPermit/EPC

DESIGN GROUP agent(s) for JIM JEPPSON request(s) the above action(s) for all or a portion of Lot(s) B-5-B-1, B-5-C-1, **ACADEMY ACRES SUBDIVISION**, zoned SU-1, located on HARPER AVE NE, between I-25 FRONTAGE RD NE and BARNHART ST NE containing approximately 8 acre(s). [REF: 05-EPC-01257, 05-EPC-01261, 05-DRB-01458,05DRB-01715,05DRB-01706] [David Stallworth, EPC Case Planner] [Deferred from 12/14/05] (E-17, E-18) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

05DRB-01837 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for PRESBYTERIAN HEALTHCARE SERVICES request(s) the above action(s) for Tract(s) B-5-B-1 and B-5-C-1, **ACADEMY ACRES SUBDIVISION, UNIT 5**, zoned SU-1, located on HARPER DR NE, between INTERSTATE 25 NE and SAN PEDRO DR NE containing approximately 8 acre(s). [Deferred from 12/14/05] (E-17/E-18) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

11. **Project # 1002739**
05DRB-01835 Minor-Amnd SiteDev Plan
Subd
05DRB-01832 Minor-Amnd Prelim Plat
Approval
05DRB-01834 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for K B HOME NEW MEXICO INC request(s) the above action(s) for, ANDERSON HEIGHTS, UNIT 1 (to be known as **ANDERSON HEIGHTS, UNIT 5**) zoned RD/RLT, located on 118TH STREET SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 57 acre(s). [REF: 05DRB00681, 05DRB00683, 05DRB00684, 05DRB00685, 05DRB00686, 05DRB00639] (N-8/P-8) **THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1003886**
05DRB-01831 Minor-Amnd Prelim Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for EVERGREEN DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) C & 42, MESA VILLAGE SUBDIVISION, (to be known as **SILVER LEAF SUBDIVISION**) zoned R-3, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY DR NE containing approximately 6 acre(s). [REF: 05DRB-00908, 05DRB-01572] (J-20) **WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 12/14/05 AND APPROVAL OF THE AMENDED GRADING PLAN DATED 11/9/05 THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: REVISED PERIMETER WALL LOCATION MAP. P-1 LOT DESIGNATIONS ARE REQUIRED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

13. **Project # 1001770**
05DRB-01232 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for JPS, LLC request(s) the above action(s) for all or a portion of Tract(s) 5-A1-B & 5-A2-A, LANDS OF JOEL P. TAYLOR (to be known as **MONTANO RETAIL**), zoned C-2, (SC) located on COORS BLVD NW, between MONTANO NW and MONTANO PLAZA NW containing approximately 7 acre(s). [REF: 05-DRB-00320] *[Final Plat Indef Deferred for SIA]* (E-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR REMOVAL OF EASEMENT 24 AND EASEMENT 22 SHOULD BE PRIVATE AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

14. **Project # 1003655**
05DRB-01833 Minor-Final Plat Approval

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 8, 15, 16 & 17, Block(s) 1, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **LA VISTA AT DESERT RIDGE TRAILS**) zoned RD, located on WYOMING BLVD NE, between EAGLE ROCK AVE NE and MODESTO AVE NE containing approximately 3 acre(s). [REF: 04DRB01373] *[Deferred from 12/14/05]* (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 1/11/06.**

15. **Project # 1003594**
05DRB-01827 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Lot(s) 109-A-1 thru 113-A-1 and Tract(s) N-1, **VENTANA MESA SUBDIVISION, UNIT 1, @ VENTANA RANCH WEST**, zoned R-LT, located on PASEO DEL NORTE NW, between CARSON MESA DR NW and VENTANA WEST PARKWAY NW containing approximately 1 acre(s). [REF: 04-DRB-01199] (B-9) **PRELIMINARY AND FINAL PLAT WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR NMU INC SIGNATURE.**

16. **Project # 1002330**
05DRB-01838 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for JIM HAKEEM request(s) the above action(s) for all or a portion of Tract(s) G-2-A, **MONTGOMERY COMPLEX**, zoned SU-1 for C-2, located near the AMAFCA NORTH DIVERSION CHANNEL NE, between MONTGOMERY BLVD NE and CARLISLE BLVD NE containing approximately 3 acre(s). [REF: 04DRB-01985, 03DRB-00401, 03DRB-00402, 03DRB-00347] (F-16) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCAS SIGNATURE AND TRANSPORTATION DEVELOPMENT FOR MEDIAN MODIFICATION ON MONTGOMERY, 15-FOOT RADIUS AND 20-FOOT WATER LINE EASEMENT.**

17. **Project # 1004570**
05DRB-01828 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for BRUCE & KATHERINE BESSER request(s) the above action(s) for all or a portion of Lot(s) 6A1 & 6A2, Block(s) 14, Tract(s) A, **UNIT B, NORTH ALBUQUERQUE ACRES**, zoned SU-2 M-1, located between WILSHIRE AVE NE and INTERSTATE 25, containing approximately 3 acre(s). [Deferred from 12/14/05] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

18. **Project # 1000922**
05DRB-01829 Minor-Extension of
Preliminary Plat

WILSON & COMPANY INC agent(s) for LEGACY SUSTAINABLE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) A, **LA CUENTISTA SUBDIVISION**, zoned R-1, located on KIMMICK DR NW, between URRACA ST NW and CAMINO DE PAZ NW containing approximately 50 acre(s). [REF: 04-DRB-01880, 04DRB-01881] (C-10/C-11/D-10/D-11) **AN EXTENSION OF PRELIMINARY PLAT WAS APPROVED TO APRIL 30, 2006. THE CONDITIONS OF FINAL PLAT STILL APPLY.**

19. **Project # 1001085**
05DRB-01836 Minor-Prelim&Final Plat
Approval

ANTHONY DECK request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, Block(s) B, **ROSEWOOD SUBDIVISION, UNIT 1**, zoned R-D, located on BLOSSOMWOOD PL NW, between HANOVER RD NW and I-40 NW containing approximately 10 acre(s). [REF: 05-DRB-00133, 05DRB00402] (J-10) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK . . .

20. Approval of the Development Review Board Minutes for November 30, 2005. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR NOVEMBER 30, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:25 A.M.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Division

#9

INTER-OFFICE MEMO

December 13, 2005

TO: Sheran Matson, DRB Chair
FROM: Carmen Marrone, Senior Planner
RE: **Project #1002346, Ventana Square**

On September 15, 2005, the EPC approved an amendment to a Site Plan for Subdivision and a Site Plan for Building Permit to construct retail and restaurant buildings in Ventana Square North. **The DRB site plan for subdivision is deficient per the following:**

1. Need a DRB signature block
2. The site plan, notes and calculations need to be updated to be consistent with the site plan for building permit.
3. The total acreage needs to be corrected (12.68 acres)

The site plan for building permit submittal must also comply with the following:

Condition 15: One additional shade tree should be provided in the patio area north of Pad 1 Building.

Condition 16: Provide additional seating in the patio between Major 1 and Shop 2 buildings.

If you have any questions regarding this case, please call me at 924-3814.

INFRASTRUCTURE LIST

(Rev 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Site Plan Approved: _____
Date Preliminary Plat Approved: 12/14/05
Date Preliminary Plat Expires: 12/14/06
DRB Project No.: 1002346
DRB Application No.: 05-01792

ORIGINAL

VENTANA SQUARE AT VENTANA RANCH

PROPOSED NAME OF PLAT

TRACT G, VENTANA RANCH

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		100'	WB DECEL LANE/ENTRY <i>INCLUDING REDIRECTION of 6' S.W. AND TRAIL</i>	PARADISE BLVD. NW	MAIN ENTRY	200' EAST	/	/	/
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ORIGINAL

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 Fire hydrants per Fire Marshall's requirements (NMUI franchise area).

2

3

AGENT / OWNER

Scott M. McGee, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM
Scott M. McGee 11/29/05
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Matthew 12/14/05
DRB CHAIR - date

Christina Sandoval 12/14/05
PARKS & GENERAL RECREATION - date

Will Sy 12-14-05
TRANSPORTATION DEVELOPMENT - date

William J. Baker 12/14/05
UTILITY DEVELOPMENT - date

Bradley L. Bingham 12/14/05
CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: GRADY RENTALS, LLC PHONE: 884-8493
 ADDRESS: P.O. BOX 30801 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87190 E-MAIL: _____
 Proprietary interest in site: _____ List all owners: GRADY RENTALS, LLC
 AGENT (if any): GEORGE RAINHART ARCHITECT ASSOC PHONE: 884-9110
 ADDRESS: 2325 SAN PEDRO, NE, SUITE 2B FAX: 837-9877
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

DESCRIPTION OF REQUEST: DRB FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS G AT VENTANA SQUARE Block: _____ Unit: _____
 Subdiv. / Addn. VENTANA RANCH
 Current Zoning: C-2 Proposed zoning: SU-1 FOR C2
 Zone Atlas page(s): B-10.2 No. of existing lots: 3 No. of proposed lots: 5
 Total area of site (acres): 9.13AC Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. 101006504705730704 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: NE CORNER UNIVERSE BLVD NW & PARADISE BLVD NW
 Between: _____ and VENTANA RD NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Carmen Maximo EPC Case Planner
05EPC0126A, 05EPC01263

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Anton M. Dattilo DATE 11-29-05
 (Print) ANTON M. DATTILO _____ Applicant _____ Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>05DRD 01830</u>	<u>SPS</u>	<u>P(3)</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All checklists are complete		<u>CMP</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>12/14/05</u>			Total \$ <u>20.00</u>

12/6/05

Project # 1002346

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

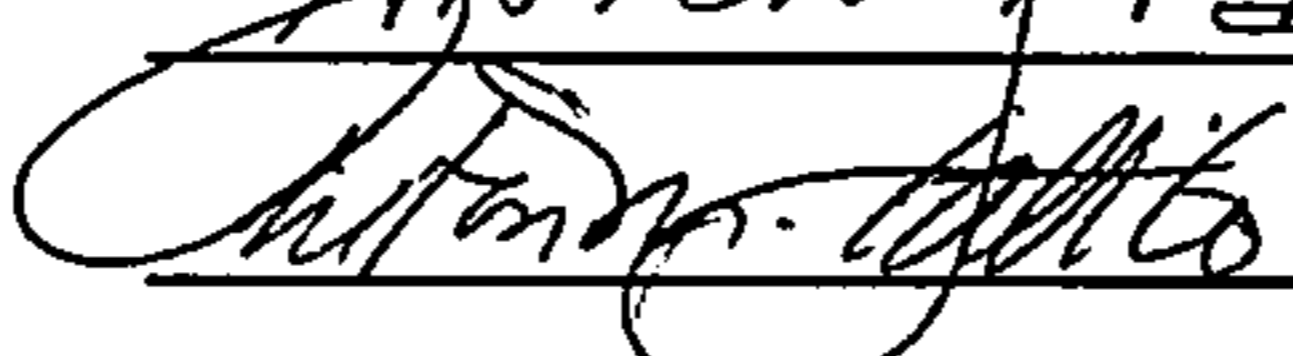
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ANTON M. DATTILO
 Applicant name (print)

 Applicant signature / date
 12/6/2005



Form revised JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 050RB - 01830

Vi... 12/6/05
 Planner signature / date
Project # 1002346

Grady Rentals, LLC
P.O. Box 30801
Albuquerque, New Mexico 87190
505-884-8493

November 8, 2005

City of Albuquerque
Attn: DRB Committee
600 Second Street
Albuquerque, NM 87102

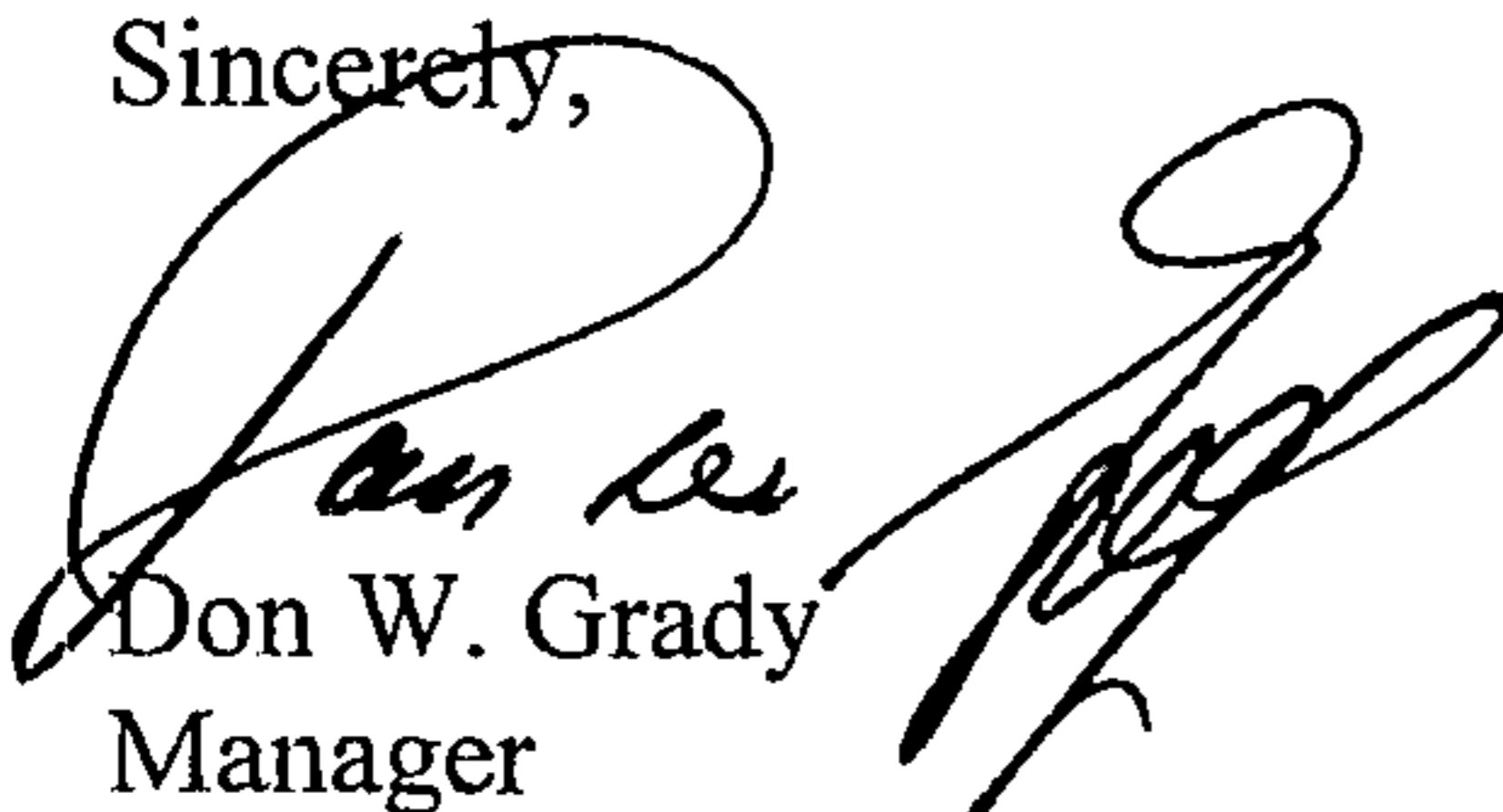
**Re: DRB submittal for Building Permit
Ventana Square G-1A and G-2A**

Project No. 1002346*
05EPC-01264 EPC Site Development Plan-Building Permit
05EPC-01263 EPC Amended Site Development Plan-Subdivision

George Rainhart Architects and Associates P.C. are authorized to submit the site plan and elevations for DRB approval and that of the building permit on our behalf.

If you should have any questions please do not hesitate to contact our office. Thank you.

Sincerely,


Don W. Grady
Manager

Terry O. Brown, P.E.

P. O. Box 92051
Albuquerque, NM 87199-2051
(505) 883-8807 - Voice
(303) 942-3600 - FAX
e-mail: tobe@swcp.com



Monday, November 21, 2005

Tony Loyd
City of Albuquerque Transportation Development
600 2nd St. NW
Albuquerque, NM 87102

Re: Ventana Square (Tr. G-1 thru G-6)

Dear Tony:

As requested, I have forecast the BUILD Conditions driveway volumes analysis for entering vehicles to determine warrants for the right turn deceleration lanes on Paradise Blvd. and on Universe Blvd. for the proposed Ventana Square Commercial Development (Tr. G-1 thru G-6). There is an existing Walgreen's on Tract G-3.

There are four proposed driveways on the project as shown on the attached site plan for the project. One driveway is located on Universe Blvd. and the other three are located on Paradise Blvd. Three of the four driveways are proposed to be full access driveways. The easternmost driveway on Paradise Blvd. is proposed to be a right-turn-in, right-turn-out driveway. The driveway designations are shown on the attached site plan. This study will primarily focus on Driveway "A" (the center driveway on Paradise Blvd.).

The trip distribution for the entering trips on this project were distributed based on a population gravity model within a two-mile radius of the project utilizing the population data from the 2025 Socioeconomic Forecasts by Data Analysis Subzones for the Mid-Region of New Mexico (MRCOG Publication S-03-01). The analysis resulted in approximately 28% of the trips approaching the project from the south, approximately 34.5% of the trips approaching from the north, and approximately 37.5% of the trips approaching from the east.

Based on that trip distribution, the trip assignments for entering trips were made into the proposed driveways. The maximum (AM or PM) entering right turn volume at each driveway was compared to the minimum requirement for a right turn taper lane and a right turn deceleration lane as defined in the City of Albuquerque Development Process Manual (D.P.M.).

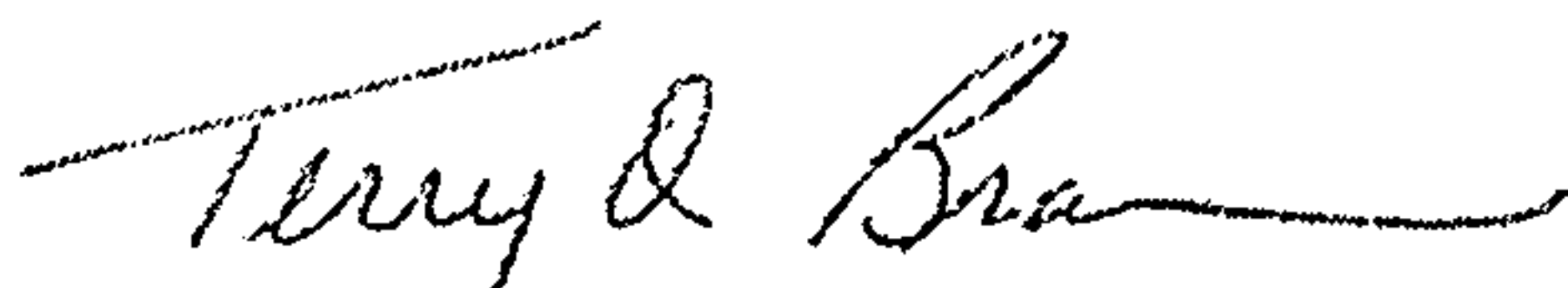
Page 2 of 2
Tony Loyd
Monday, November 21, 2005

Re: Ventana Square (Tr. G-1 thru G-6)

The result of the analysis demonstrated that a westbound right turn deceleration lane is warranted for Driveway "A" (on Paradise Blvd.). The right turn deceleration lane should be constructed to a length of 100 feet plus a 150' – 150' reverse curve transition to satisfy the City of Albuquerque D.P.M. requirement. No other right turn lanes are warranted for this project.

Please call if you have questions or need additional information.

Sincerely Yours,

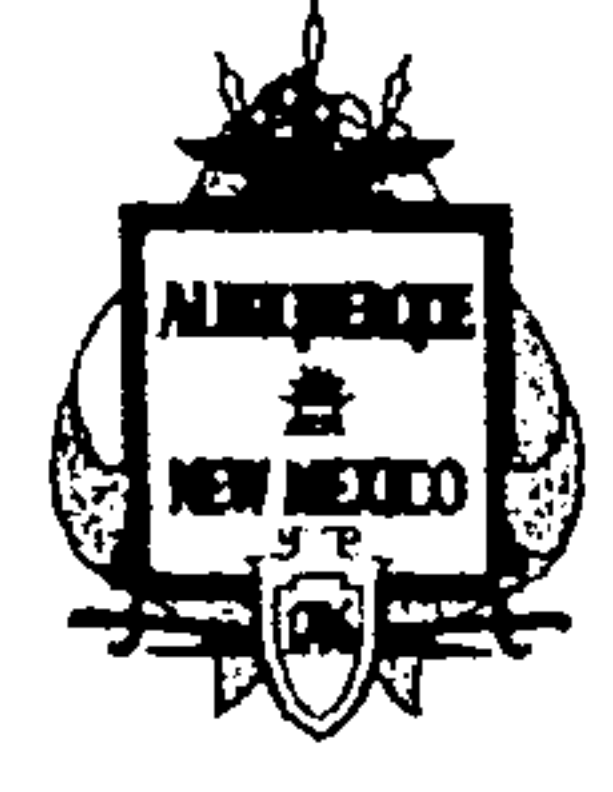
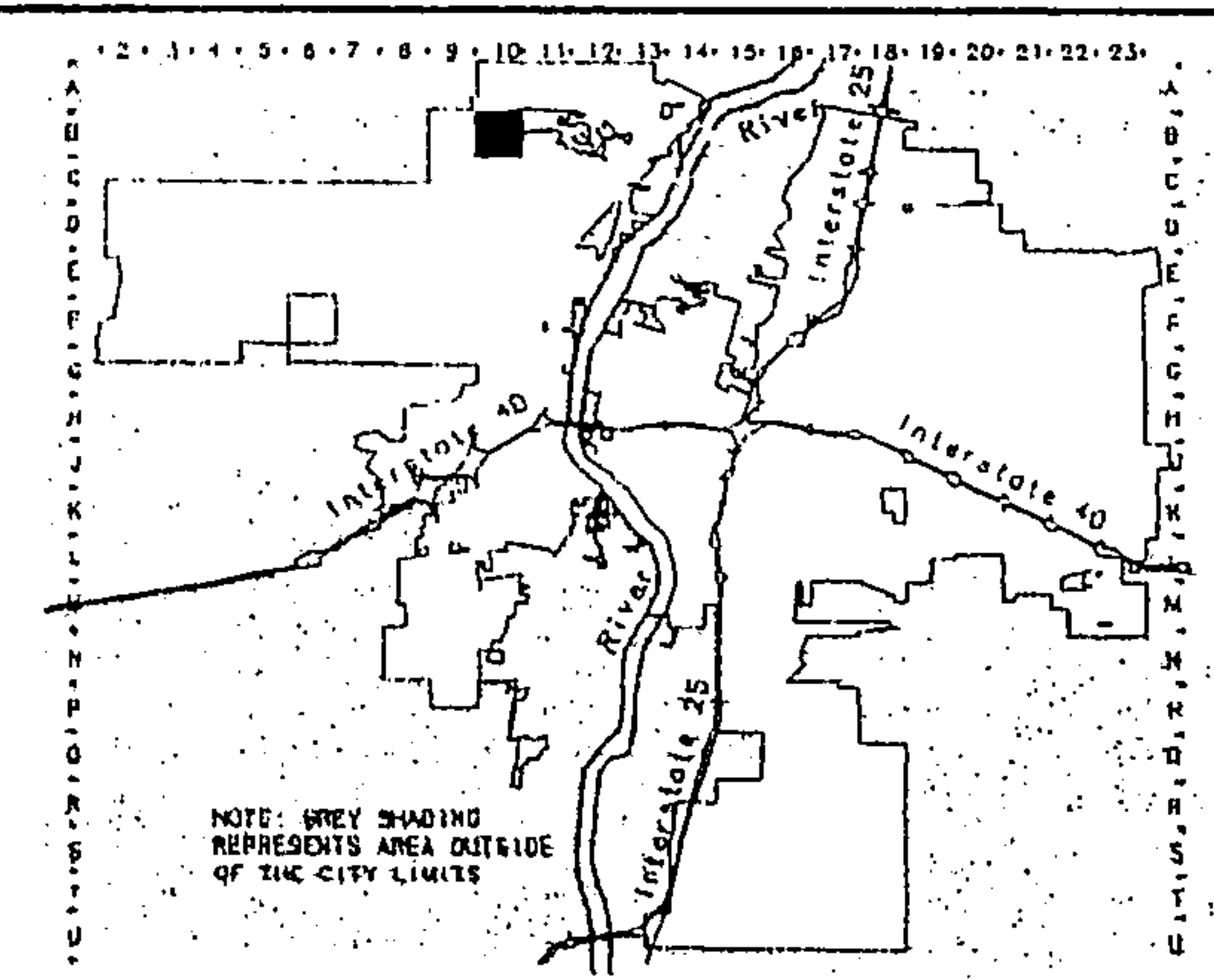
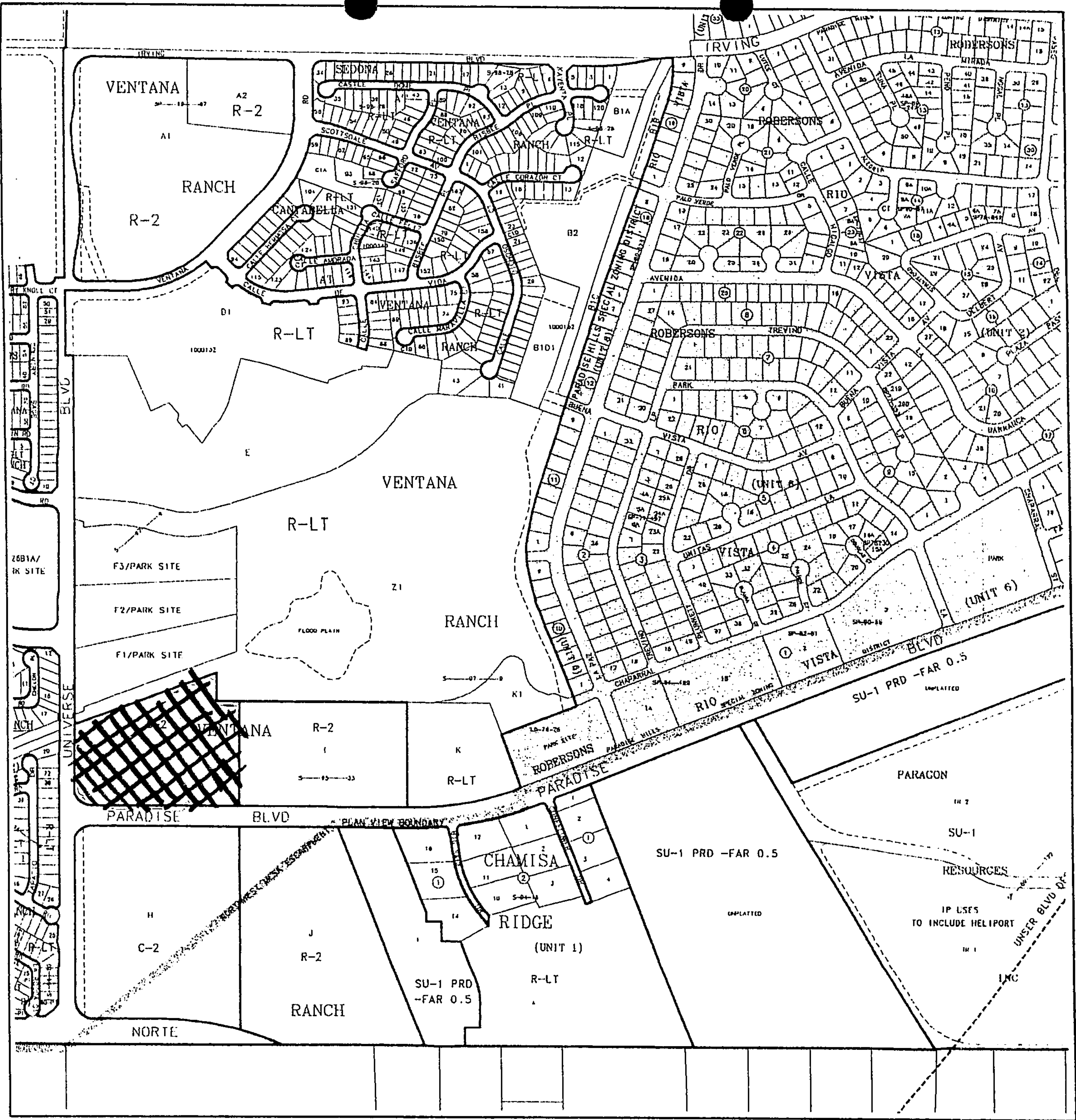


Terry O. Brown

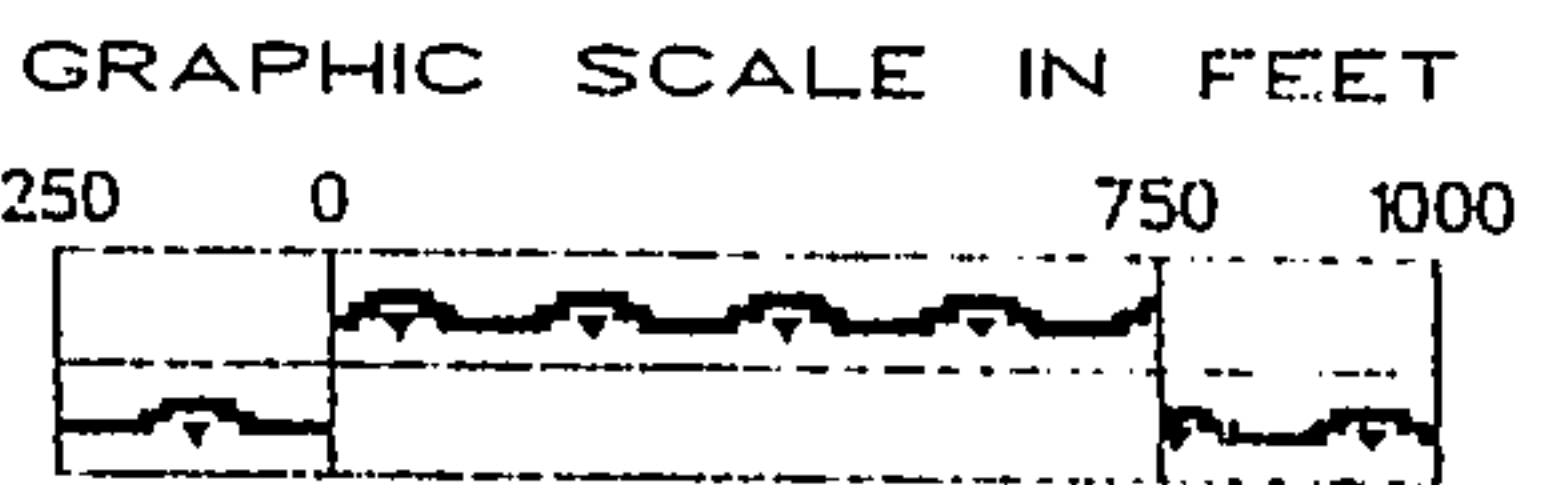
cc: Anton Eattilo, George Rainhart Architects w/one copy of report (via e-mail)

attachments:

Page A-1:	Vicinity Map
Page A-2:	Site Plan for Ventana Square
Page A-3:	New Site Plan for Ventana Square, Tr. G1 – G6
Page A-4:	Trip Distribution Map – DASZ
Page A-5 thru A-6	Trip Distribution Worksheet
Page A-7:	Trip Distribution Map
Page A-8:	Trip Assignments (% Entering)
Page A-9 thru A-16	Turning Movements Volumes Worksheets (Entering Trips)
Page A-17	Summary of Driveway Volumes (Entering) for Ventana Square



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2001



Zone Atlas Page

B-10-Z

Map Amended through July 20, 2001

November 29, 2005

City of Albuquerque
Attn: DRB Committee
600 Second Street
Albuquerque, NM 87102

**Re: DRB submittal for Building Permit
Ventana Square G-1A and G-2A**

Project Summary:

Project No. 1002346*

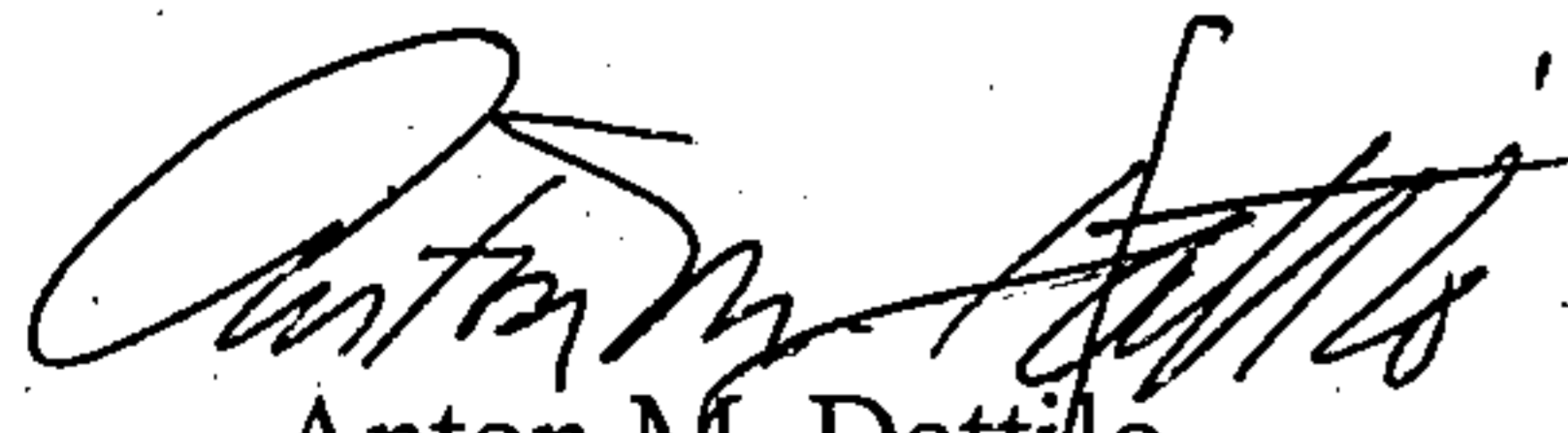
05EPC-01264 EPC Site Development Plan-Building Permit
05EPC-01263 EPC Amended Site Development Plan-Subdivision

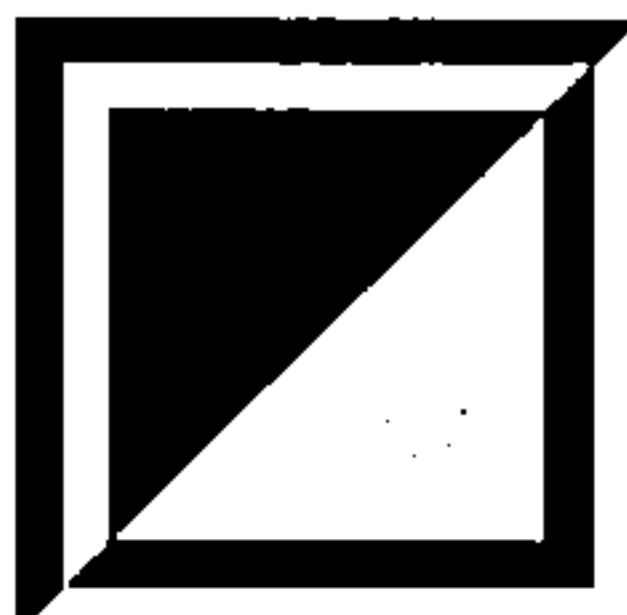
Legal Description: for all or a portion of Tracts G1, G2, G4, Ventana Ranch, zoned SU-1 for restricted C-2 Uses, located at the northeast corner of Universe Blvd. NW and Paradise Blvd. NW, approximately 9.13 acres. (B-10) (Carmon Marrone, Staff Planner).

We herewith wish to inform you that we will be submitting a DRB application Tuesday November 29, 2005. The proposed project is located at the Northeast corner of Universe Boulevard NW and Paradise Boulevard NW on tracts G1, G2, G4 Ventana Ranch as described above, zone map B-10-Z. The proposed building G-2 Major, is 41,450 square feet and G-1 Shops 2, is 10,500 square feet, totaling 51,950 square feet. The height and size of the buildings will be appropriate for the site and the use is appropriate for C-2 use. The finishes of the buildings will blend and match those established architectural guidelines set with the development of Ventana Square. Landscaping will be of similar of the development and existing.

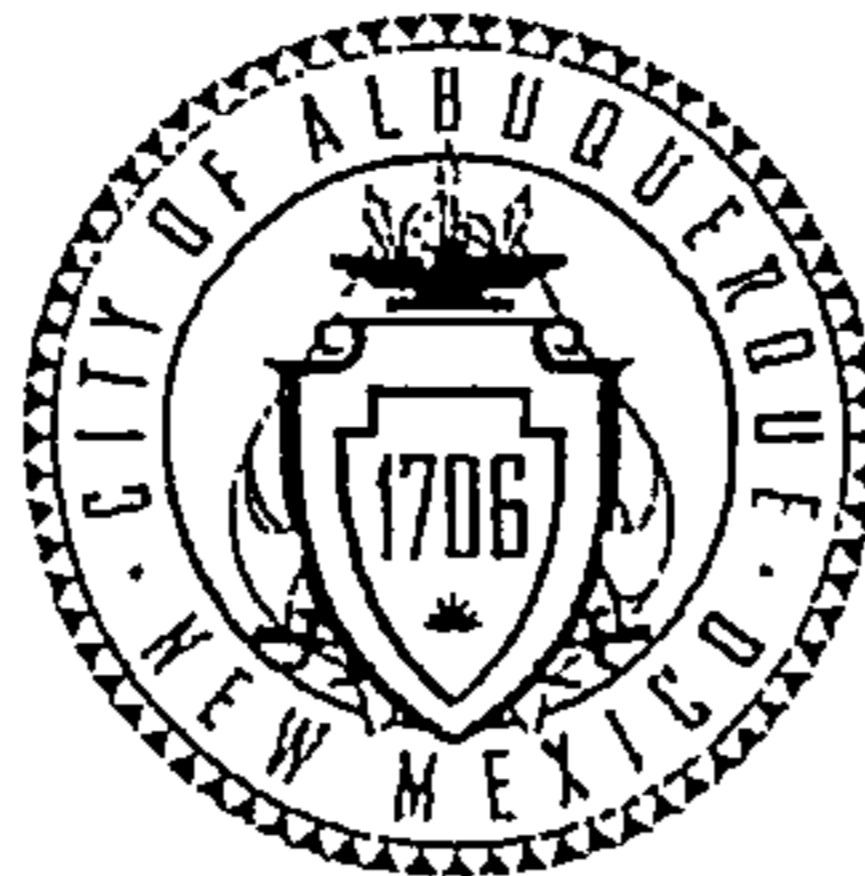
Sincerely,

George Rainhart Architects and Associates


Anton M. Dattilo
Project Manager



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com



1002346
Letter of Approval

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 16, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002346***
05EPC-01264 EPC Site Development Plan-
Building Permit
05EPC-01263 EPC Amended Site Development
Plan-Subdivision

Grady Rentals, LLC
5808 McLeod NE, Suite P
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of Tracts G1, G2, G4, **Ventana Square at Ventana Ranch**, zoned SU-1 for Restricted C-2 Uses, located at the northeast corner of UNIVERSE BLVD. NW and PARADISE BLVD. NW, approximately 9.13 acres. (B-10) Carmen Marrone, Staff Planner

On September 15, 2005 the Environmental Planning Commission voted to approve Project 1002346/05EPC 01263, an Amendment to a Site Plan for Subdivision for Tracts G-1, G-2, and G-4, Ventana Square at Ventana Ranch, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for an amendment to a site plan for subdivision involving Tracts G-1, G-2 and G-4, Ventana Square at Ventana Ranch, containing approximately 10 acres and located at the northeast corner of Paradise Boulevard and Universe Boulevard NW.
2. The site is zoned SU-1 for Restricted C-2 Uses. The proposed uses are in compliance with the established zoning.
3. The subject site is part of Ventana Square, a neighborhood commercial center that is intended to provide commercial goods and services to the residents of Ventana Ranch, a master planned community surrounding the site. The applicant proposes retail, restaurant, and services uses that will provide employment opportunities for the surrounding residents. (*Comp. Plan Policies 5i and 5j*)

4. The location, intensity and design of the proposed development is generally consistent with the 2000 approved site plan for subdivision which was produced in collaboration with the Ventana Ranch Community Association and the Paradise Hills Civic Association, thereby respecting neighborhood values and resources of social, cultural and recreational concern. (*Comp. Plan Policy 5d*)
5. The building design is in accordance with the 2000 approved site plan for subdivision design guidelines and is complementary to existing buildings within the area. (*Comp. Plan Policy 5l*)
6. The site plan proposes two fast food restaurants with drive-up windows which does not promote quality urban and site design, particularly in a Neighborhood Activity Center (*Comp. Plan Policy 5m*). However, the applicant has clustered the drive-up uses along Paradise Blvd., leaving the rest of the site to function in a pedestrian-friendly manner. The approved site plan for Ventana Square does not prohibit drive-up windows, and in fact, requires them to be located adjacent to Paradise Blvd.
7. The site plan provides pedestrian opportunities to create safe and pleasant non-motorized travel conditions, both to and within the site. (*Comp. Plan, Transportation and Transit, Policy g*).
8. The site plan meets the design guidelines for commercial development as articulated in the *West Side Strategic Plan*.
9. There is no opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that the conditions of approval are adequately met.
3. The site plan for subdivision shall be corrected to reflect the correct acreage.
4. The note under "Building Heights and Setbacks" shall be amended to reflect the correct height requirements (25 feet and 22 feet).

26'0"

10'0" - 20'0" - 30'0" - 40'0" - 50'0" - 60'0" - 70'0" - 80'0" - 90'0" - 100'0"

5. Conditions from the City Engineer and the Department of Municipal Development:
- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Right turn lanes into site on Paradise Blvd. at site drives may be required per DPM and/or Traffic Impact Study. *Tony Lee & Wilford*
 - e. Provide cross access to all tracts.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Platting must be a concurrent DRB action.
 - h. Construction of the commercial facilities on Lots G-1, G-2, G-4, and proposed lots G-5, and G-6 will be subject to Impact Fees for Public Safety, Drainage, and Roadways. Based on a total floor area of 65,228 square feet and an impervious area of 7.78 acres, estimated impact fees will be approximately \$22,243 for Public Safety in the West Side Service Area; \$109,325 for Drainage in the Northwest Mesa Service Area; and \$292,664 in the Northwest Mesa Service Area for Roadways. Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees of \$424,231 may be paid at a rate of 34% (\$144,239) if building permits are obtained by December 30, 2005, and 67% (\$284,235) if permits are obtained by December 29, 2006.
 - i. Construction of the multi-purpose trail facilities along Universe Boulevard and Paradise Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.

On September 15, 2005 the Environmental Planning Commission voted to approve Project 1002346/05EPC 01264 a Site Plan for Building Permit for Tracts G-1, G-2, and G-4, Ventana Square at Ventana Ranch, based on the following Findings and subject to the following Conditions:

THE FOLLOWING IMPACTS ARE TO BE LISTED IN SEPARATE DOCUMENT

FINDINGS:

1. This is a request for approval of a site plan for building permit involving Tracts G-1, G-2 and G-4, Ventana Square at Ventana Ranch, containing approximately 10 acres and located at the northeast corner of Paradise Boulevard and Universe Boulevard NW.
2. The site is zoned SU-1 for Restricted C-2 Uses. The proposed uses are in compliance with the established zoning.
3. The subject site is part of Ventana Square, a neighborhood commercial center that is intended to provide commercial goods and services to the residents of Ventana Ranch, a master planned community surrounding the site. The applicant proposes retail, restaurant, and services uses that will provide employment opportunities for the surrounding residents. (*Comp. Plan Policies 5i and 5j*)
4. The location, intensity and design of the proposed development is generally consistent with the 2000 approved site plan for subdivision which was produced in collaboration with the Ventana Ranch Community Association and the Paradise Hills Civic Association, thereby respecting neighborhood values and resources of social, cultural and recreational concern. (*Comp. Plan Policy 5d*)
5. The building design is in accordance with the 2000 approved site plan for subdivision design guidelines and is complementary to existing buildings within the area. (*Comp. Plan Policy 5l*)
6. The site plan proposes two fast food restaurants with drive-up windows which does not promote quality urban and site design, particularly in a Neighborhood Activity Center (*Comp. Plan Policy 5m*). However, the applicant has clustered the drive-up uses along Paradise Blvd., leaving the rest of the site to function in a pedestrian-friendly manner. The approved site plan for Ventana Square does not prohibit drive-up windows, and in fact, requires them to be located adjacent to Paradise Blvd.
7. The site plan provides pedestrian opportunities to create safe and pleasant non-motorized travel conditions, both to and within the site. (*Comp. Plan, Transportation and Transit, Policy g*)
8. The site plan meets the design guidelines for commercial development as articulated in the *West Side Strategic Plan*.
9. An alternate site plan is proposed for new Tract G-6. This plan includes a drive-up bank which is an allowable use under the current zone. The applicant proposes for the EPC to approve both the definite and alternate use site plans for building permit with the stipulation that the alternate site plan, if selected for development, is delegated to the DRB for review and approval. If a use is selected which does not conform to the approved site plan or the alternate use plan, then a new submittal to the EPC will be required.

10. There is no opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that the conditions of approval are adequately met.
3. The site plan for building permit shall be corrected to reflect the correct acreage.
4. Post signs along the middle drive aisle from Paradise, where the drive aisle intersects with the pedestrian walkways (total of two signs). These signs should caution motorists to SLOW DOWN, due to PEOPLE CROSSING.
5. The screen walls along Paradise Blvd shall be similar in color and material to the main building on the site.
6. The motorcycle spaces shall be designated by conspicuously posted upright signs no smaller than 12x18 inches. The signs should have its lower edge no less than four feet above grade.
7. Revise the "Parking Notes" to state that the handicap spaces will be a minimum of 8.5' x 20'.
8. The "Parking Notes" should be amended to reflect 25 bicycle spaces provided rather than 20 spaces.
9. The refuse container walls shall be of a similar color to the buildings (light to medium tan). In addition, the refuse container intended to serve Building G-4 appears to be encroaching into the drive aisle. This container may have to be relocated to prevent this from occurring.
10. The site lighting detail drawing and the description under "Lighting" on Sheet A1.1 will have to be amended to be consistent with condition "p" on the 2000 site plan for subdivision.
11. Provide at least four additional evergreen trees within the landscape buffer along the eastern boundary of the site.

12. The tree planters in front of Major Building 1 shall be labeled consistently on the site plan for building permit and the landscape plan.
13. The Honeysuckle plant shall be replaced with other plants from the 2000 site plan plant list or, if these plants are hard to come by, staff supports the introduction of the Nandina shrub.
14. Replace the shrubs along the western boundary of Tract G-6 with a 3-foot high decorative wall, similar in color and material to the adjacent building.
15. One additional shade tree shall be provided in the patios adjacent to Pad 1 and Pad 2 and a shade structure shall be provided in the patio between Major 1 and Shop 2 buildings.
16. Indicate seating for each patio.
17. Delete the last sentence under "General Architectural Design Requirements" since approval of the site plans for building permit is not delegated to the COA Planning staff.
18. The color of the sloped roof tiles shall be "Desert Glow" or similar.
19. Provide additional articulation along the north elevation of Shop 1.
20. The description under "Free-Standing Signage" on sheet A1.1 shall be corrected from 26' tall to 16' tall. In addition, the monument sign detail (6) shall be amended from 26' tall to 16' tall.
21. Conditions from the City Engineer and the Department of Municipal Development:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Right turn lanes into site on Paradise Blvd. at site drives may be required per DPM and/or Traffic Impact Study.
 - e. Provide cross access to all tracts.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Platting must be a concurrent DRB action.

pg
pg
pg

- h. Construction of the commercial facilities on Lots G-1, G-2, G-4, and proposed lots G-5, and G-6 will be subject to Impact Fees for Public Safety, Drainage, and Roadways. Based on a total floor area of 65,228 square feet and an impervious area of 7.78 acres, estimated impact fees will be approximately \$22,243 for Public Safety in the West Side Service Area; \$109,325 for Drainage in the Northwest Mesa Service Area; and \$292,664 in the Northwest Mesa Service Area for Roadways. Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees of \$424,231 may be paid at a rate of 34% (\$144,239) if building permits are obtained by December 30, 2005, and 67% (\$284,235) if permits are obtained by December 29, 2006.
- i. Construction of the multi-purpose trail facilities along Universe Boulevard and Paradise Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.

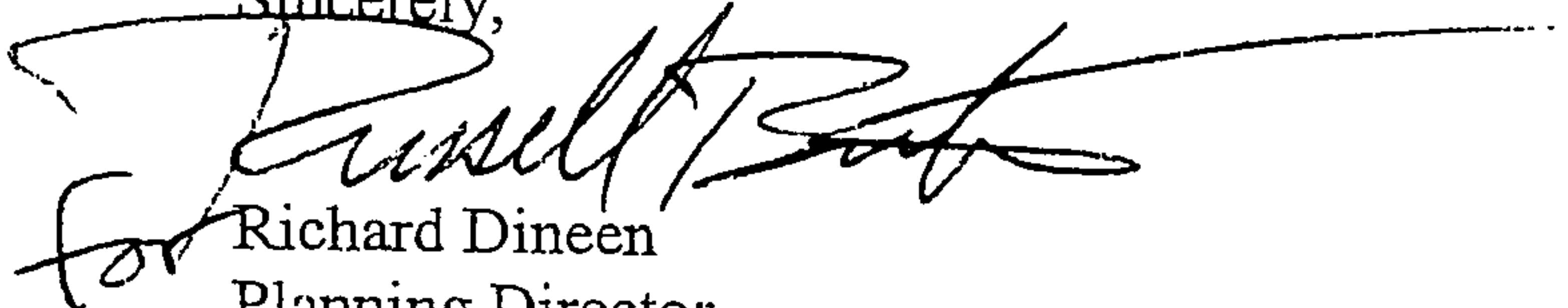
IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **SEPTEMBER 30, 2005** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION
SEPTEMBER 15, 2005
PROJECT #1002346
PAGE 8 OF 8

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

for Richard Dineen
Planning Director

RD/CM/ac

cc: George Rainhart, 2325 San Pedro NE, Suite 2B, Albuquerque, NM 87110
Laura Horton, 7224 Cascada Rd. NW, Albuquerque, NM 87114
Bruce Nyberg, 6824 Brushfield Rd. NW, Albuquerque, NM 87114

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Division

INTER-OFFICE MEMO

December 5, 2005

TO: Sheran Matson, DRB Chair
FROM: Carmen Marrone, Senior Planner
RE: Project #1002346, Ventana Square

On September 15, 2005, the EPC approved an amended Site Plan for Subdivision and a Site Plan for Building Permit to construct retail and restaurant buildings in Ventana Square North. **The DRB submittal does not include the site plan for subdivision**, which I understand will be forthcoming. The site plan for building permit submittal meets all of the EPC conditions except for the following:

Site Plan for Building Permit

Condition 12: The EPC submittal indicates 11 tree planters, evenly spaced, in front of Major 1 Building. The DRB submittal indicates 7 tree planters at the ends of the same building. The DRB submittal should be consistent with the EPC submittal. In addition, the tree planters are not labeled on the Landscape Plan nor are any trees indicated in the planters.

Condition 14: The Zoning Code requires screening of drive-up windows with either 3' high evergreen vegetation or a 3' high wall. The EPC approved a screen wall along the western boundary of Tract G-6-A rather than vegetation since the narrowness of the landscape strip would likely cause any vegetation to encroach into the abutting walkway, thus impeding pedestrian movement. The wall should be placed on the east side of the walkway. The site plan does not indicate the 3' high screen wall.

Condition 15: ^{*} [One additional shade tree should be provided in the patio area north of Pad 1 Building.] Also, the Landscape Plan notes that the shade structure between Major 1 and Shop 2 is "to be determined". This note should be removed since the DRB will make the final determination. Note 19 on Sheet A1.1 indicates that a trellis will be provided between these buildings however, Note 19 is not indicated on the site, or if it is, it's difficult to decipher.

Condition 16: ^{*} [No seating is indicated in the patio between Major 1 and Shop 2 buildings.]

Condition 17: Delete the words "(per Carmen Marrone)" in the last sentence under GENERAL ARCHITECTURAL DESIGN REQUIREMENTS.

If you have any questions regarding this case, please call me at 924-3814.

* still outstanding

November 29, 2005

City of Albuquerque
Attn: DRB Committee
600 Second Street
Albuquerque, NM 87102

**Re: OFFICAL NOTICE OF DECISION (September 15, 2005)
Condition corrections
Ventana Square G-1A and G-2A**

Project Summary:

Project No. 1002346*
05EPC-01264 EPC Site Development Plan-Building Permit
05EPC-01263 EPC Amended Site Development Plan-Subdivision

Conditions:

Item no. 1. A letter shall accompany the submittal, specifying all modifications that have been made prior to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions.

Responses: This is to serve as the requested letter.

Item no. 2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that the conditions of approval are adequately met.

Responses: Anton Dattilo met with Carmen Marrone (Staff Planner) Tuesday 9, 2005

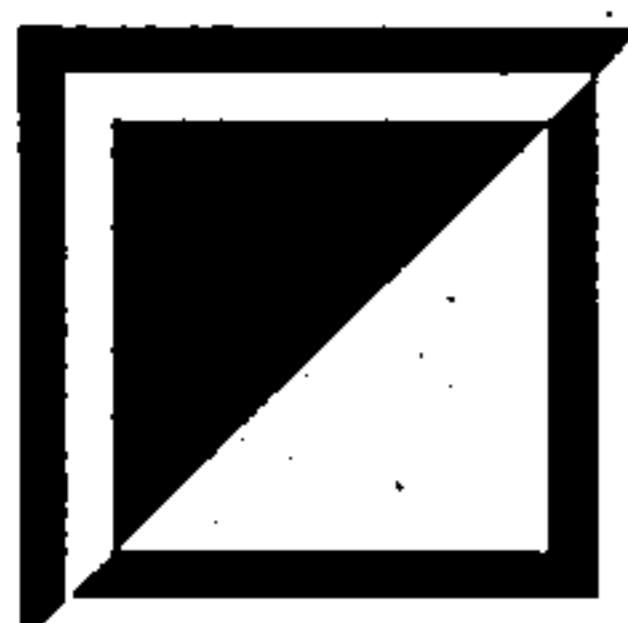
Item no. 3. The site plan for subdivision shall be corrected to reflect the correct acreage.

Responses: The acreage total gross has been indicated to include the existing Walgreen G-3 site on the site plan

Item no. 4. The note under "Building Heights and Setbacks" shall be amended to reflect the correct height requirements (25 feet and 22 feet).

Response: Met with staff planner Carmen Marrone on 11/11/05, Building Height and Setbacks comply with DRB approved SPS (Project # 1000390)

Item no. 5. Conditions from the City Engineer and the Department of Municipal Development (A thru I).



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

- Response:**
- A. It is the full intent of the developer to satisfy and comply with all previous actions taken by EPC and/or the DRB.
 - B. It is the full intent of the developer to satisfy and comply with all permanent improvements to the facilities adjacent to the proposed site development plan for building permit.
 - C. It is the full intent of the developer to satisfy and comply with all as identified in the TIS.
 - D. The site plan has been corrected to show a right turn into the site on Paradise Boulevard.
 - E. The site plan has been corrected to show a cross access to all tracts.
 - F. The site plan has been corrected to comply and designed per DPM Standards.
 - G. Platting is concurrently being amended with DRB actions.
 - H. The developer is aware of and understands the requirements for the impact fee.
 - I. The added note number 18 indicates the required Muti-Purpose Trail per Long Range Bikeway System Map.

Additional CONDITIONS per pages 5 thru 8 are as follows.

Conditions:

Item no. 1. As above with the same response.

Item no. 2. As above with the same response.

Item no. 3. As above with the same response.

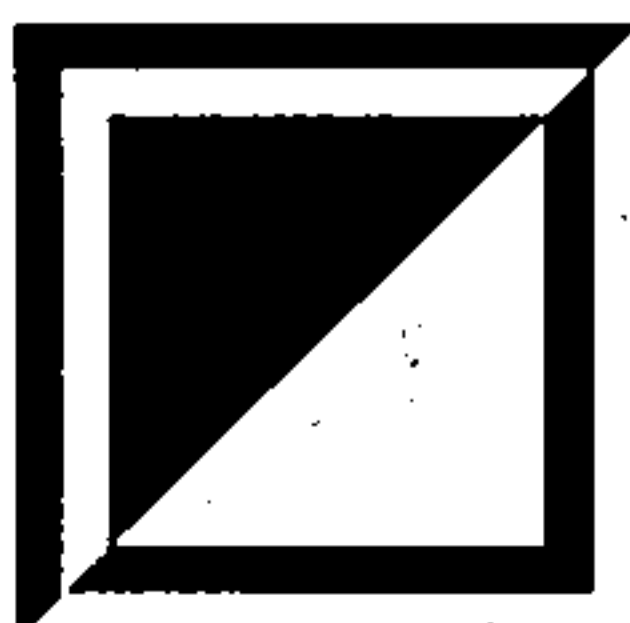
Item no. 4. Post signs along the middle drive from Paradise, where the drive aisle intersects with the pedestrian walkways (SLOW DOWN, due to PEOPLE CROSSING).

Response: The site plan has been revised with a note number 15 (SLOW DOWN, due to PEOPLE CROSSING) and location within the along the drive isle.

Item no. 5. The screen walls along Paradise Blvd shall be similar in color and material to the main building on the site.

Response: The site plan has been revised with a note number 6 the garden wall is to match the main building color and materials.

Item no. 6. The motorcycle spaces shall be designated by conspicuously posted upright sign no smaller than 12 x 18 inches.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

Response: The site plan has been revised with a note number 14 to provide motorcycle signs per city requirements.

Item no. 7. Revise the "Parking Notes" to state that the handicapped spaces will be a minimum of 8.5' x 20'.

Response: The "Parking Note" directly above the Vicinity map has been corrected to reflect this dimension.

Item no. 8. The "Parking Notes" should be amended to reflect 25 motorcycle spaces rather than 20 spaces.

Response: The "Parking Note" directly above the Vicinity map has been corrected to reflect this count.

Item no. 9. The refuse container walls shall be of similar color to the buildings. Refuse Container intended to service Building G-4 appears to be encroaching into the drive isle.

Response: Note number 1 on the lower left corner of the sheet within the detail 4-REFUSE ENCLOSURE has been corrected to color to match building. The container for G-4 has been relocated to the west corner of the G-4 building.

Item no. 10. The site lighting detail drawing and description under "lighting" on Sheet A1.1 will have to be amended to be consistent with condition "P" on 2000 site plan for subdivision.

Response: Per meeting with Staff Planner Carmen Marrone it was established that all fixtures would be 20'-0" in height.

Item no. 11. Provide at least four additional evergreen trees within the landscape buffer along the eastern boundary of the site.

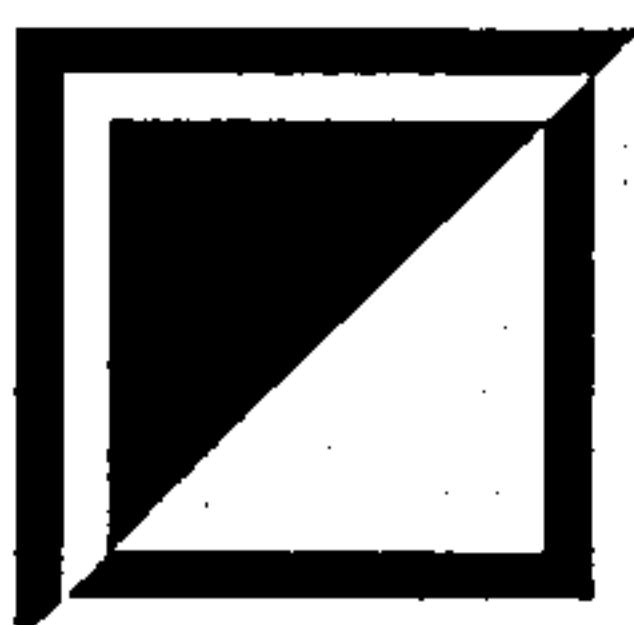
Response: This is corrected on the revised Landscape Plan.

Item no. 12. The tree planters in front of Major Building 1 shall be labeled consistently on the on the site plan for building permit and landscape plan.

Response: Reference the note on the Landscape Plan to refer to sheets A1.1 and A1.2 for the correct layout.

Item no. 13. The Honeysuckle plant shall be replaced with other plants from the 2000 site plan plant list or if these plants are hard to come by, staff supports the introduction of the Nandina shrub.

Response: This is corrected on the revised Landscape Plan.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
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Item no. 14. Replace the scrubs along the western boundary of Tract G-6 with a 3 foot high decorative wall. Similar in color and material to the adjacent building.

Response: This is corrected on the revised Landscape Plan.

Item no. 15. One additional shade tree shall be provided in patios adjacent to Pad 1 and Pad 2 and a shade structure shall be provided in the patio between Major 1 and Shop 2 buildings.

Response: The trees are corrected on the revised Landscape Plan. The shade structure is noted on the Landscape Plan and shown on sheets A1.1 and A1.2.

Item no. 16. Indicate seating for each patio.

Response: The site plan has been revised with note number 13 to indicate benches.

Item no. 17. Delete the last sentence under "General Architectural Design Requirements" since approval of the site plans for building permit is not delegated to the COA Planning staff.

Response: This sentence has been deleted fro sheet A1.1 Site Plan.

Item no. 18. The color of the sloped tile roof shall be- refer to design requirements of SPBP-marbled terra cotta.

Response: The site plan notes color pallet has been revised to reflect this correction.

Item no. 19. Provide additional articulation along the north elevation of shop 1 (G-4A Building).

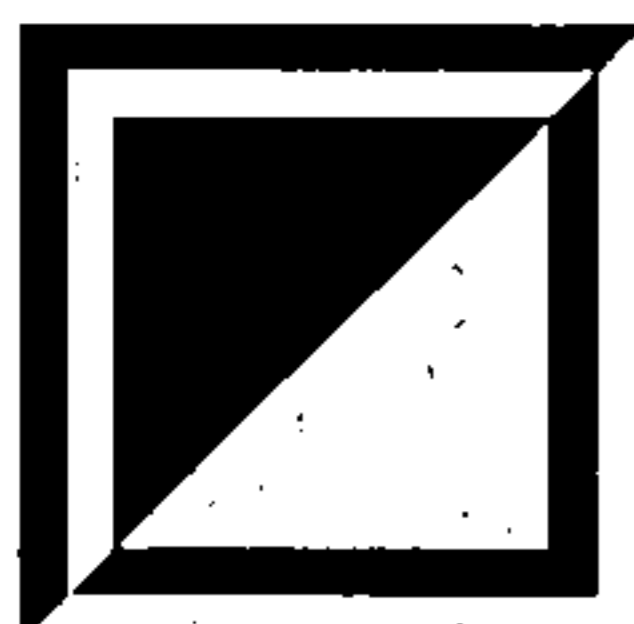
Response: Reference the revised G-4A Building elevations sheet A2.2.

Item no. 20. The description under "Free-Standing Signage" on sheet A1.1 shall be corrected from 26' tall to 16' tall. In addition, the monument sign detail shall be amended from 26' to 16' tall.

Response: Sheet A1.1 has been revised to correct the se signage requirements.

Item no. 21. Conditions from the City Engineer and the Department of Municipal Development (A thru I).

Response: A. It is the full intent of the developer to satisfy and comply with all previous actions taken by EPC and/or the DRB.

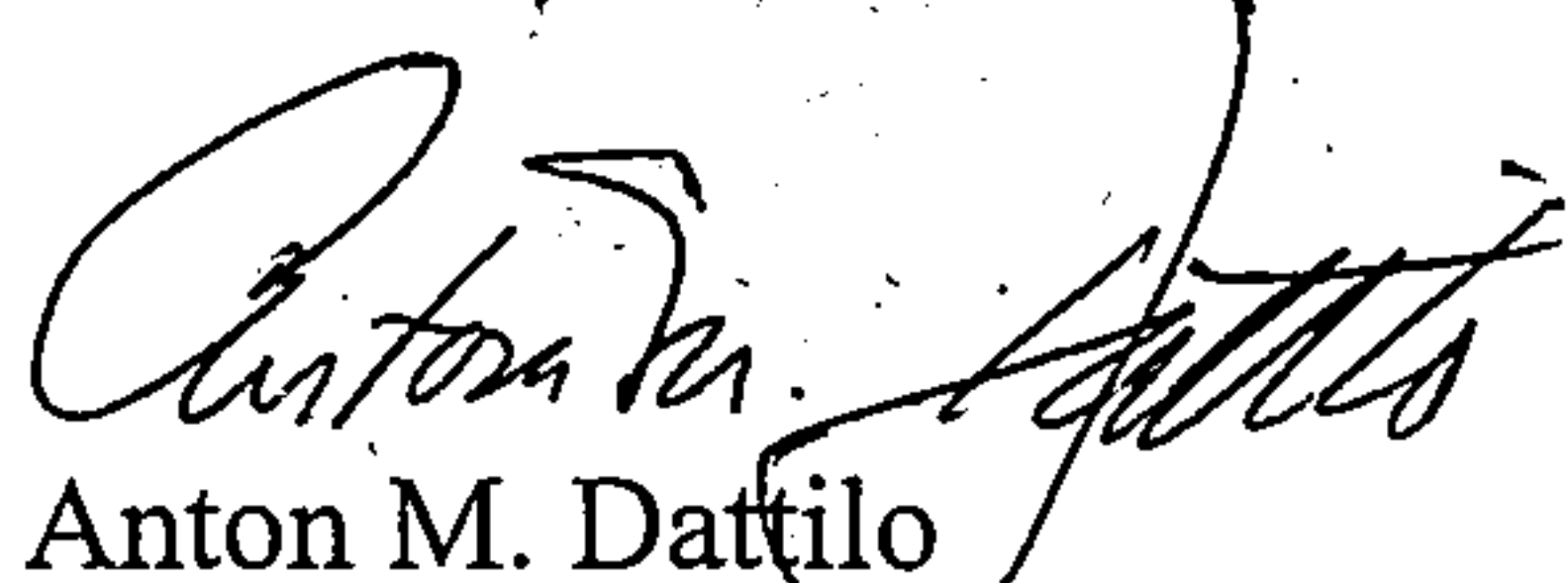


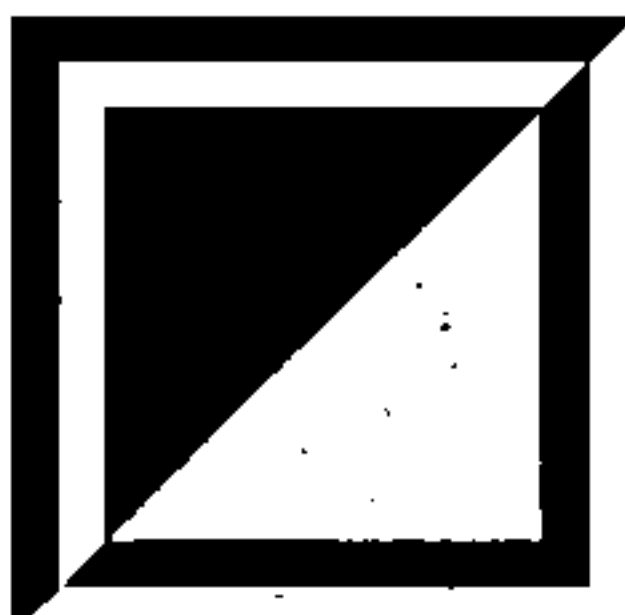
GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

- J. It is the full intent of the developer to satisfy and comply with all permanent improvements to the facilities adjacent to the proposed site development plan for building permit.
- K. It is the full intent of the developer to satisfy and comply with all as identified in the TIS.
- L. The site plan has been corrected to show a right turn into the site on Paradise Boulevard.
- M. The site plan has been corrected to show a cross access to all tracts.
- N. The site plan has been corrected to comply and designed per DPM Standards.
- O. Platting is concurrently being amended with DRB actions.
- P. The developer is aware of and understands the requirements for the impact fee.
- Q. The added note number 18 indicates the required Muti-Purpose Trail per Long Range Bikeway System Map.

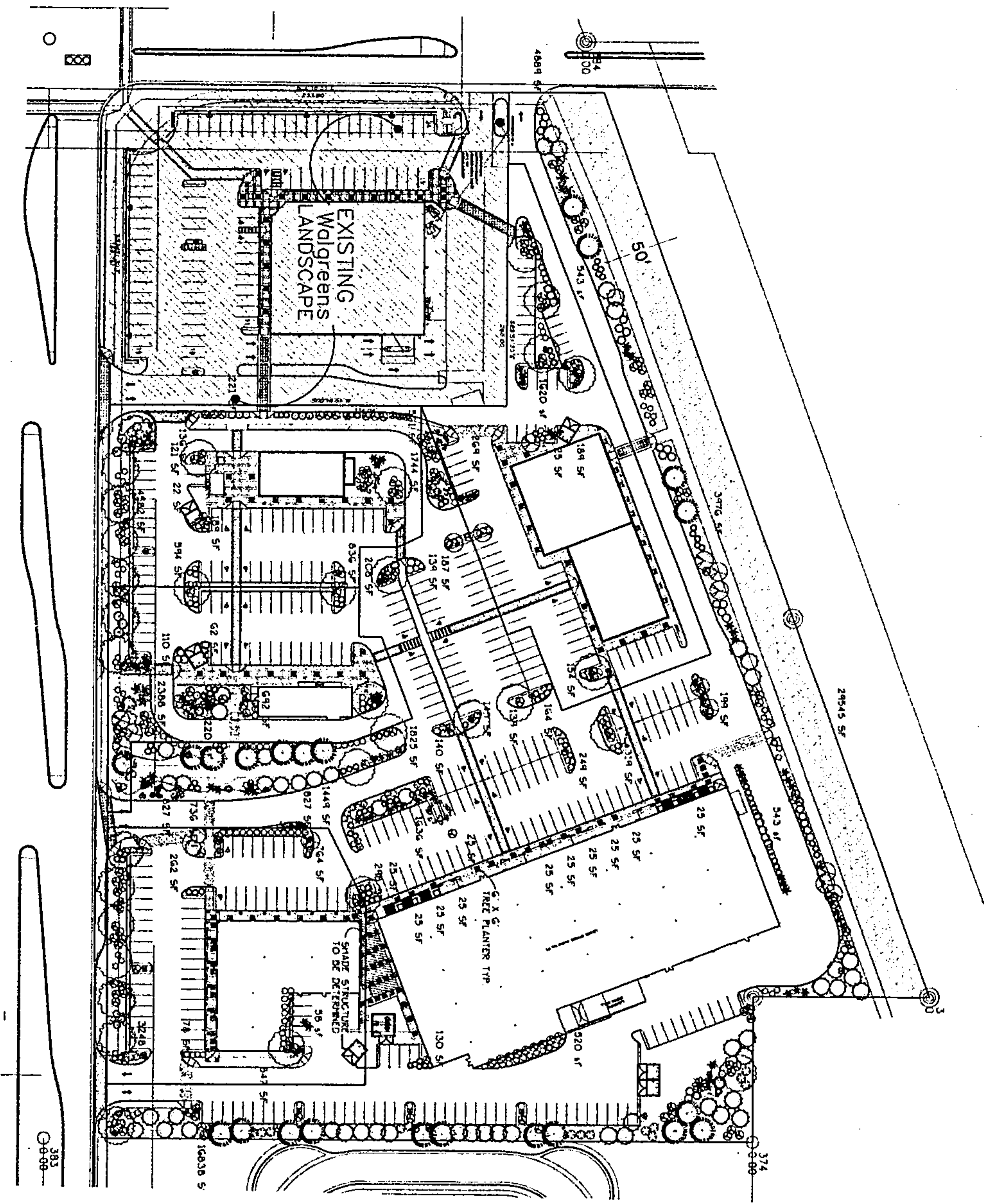
Sincerely,

George Rainhart Architects and Associates


Anton M. Dattilo
Project Manager



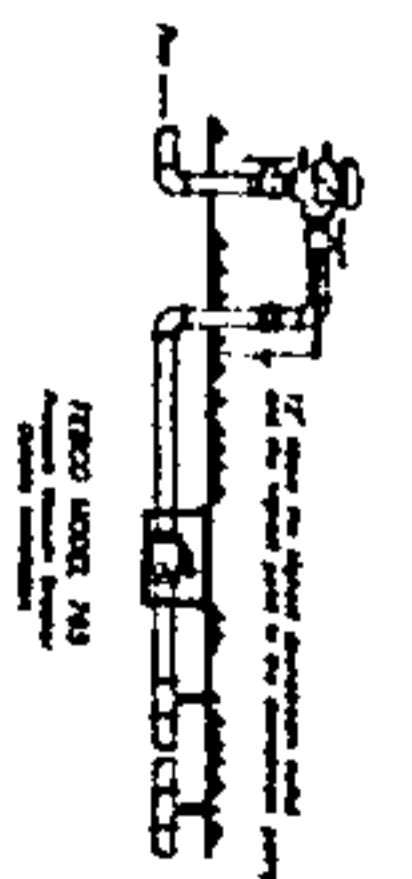
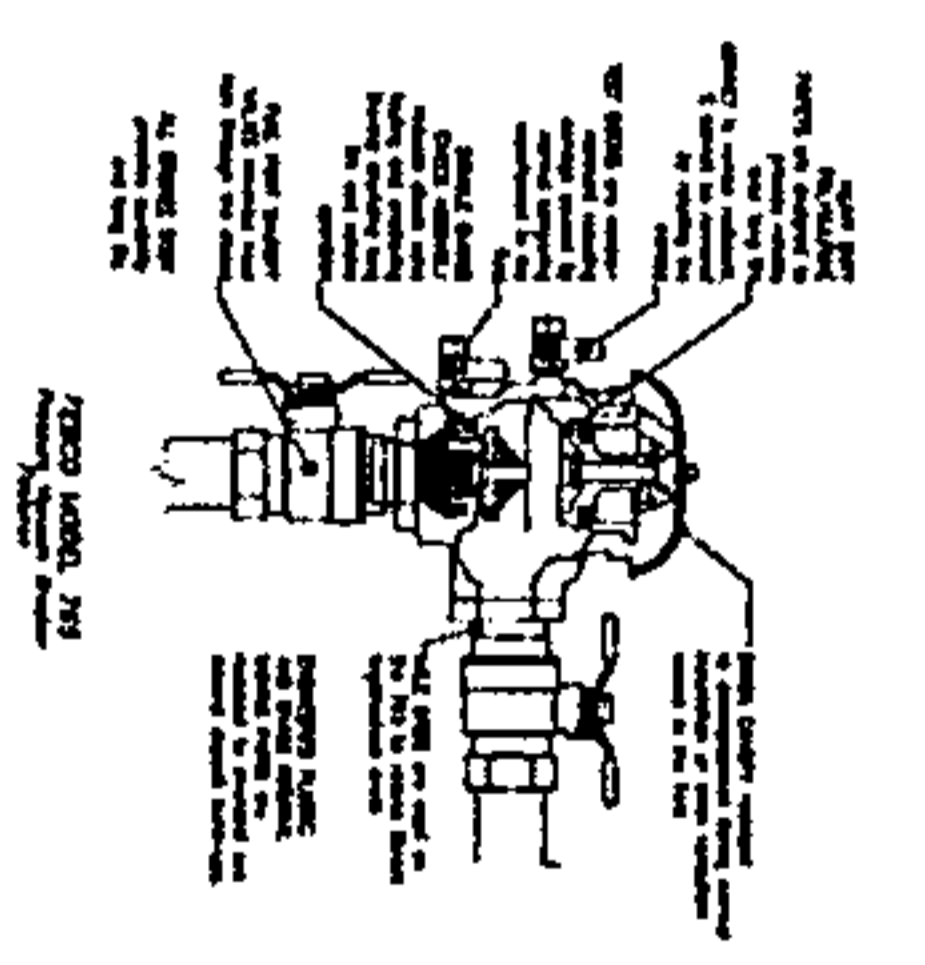
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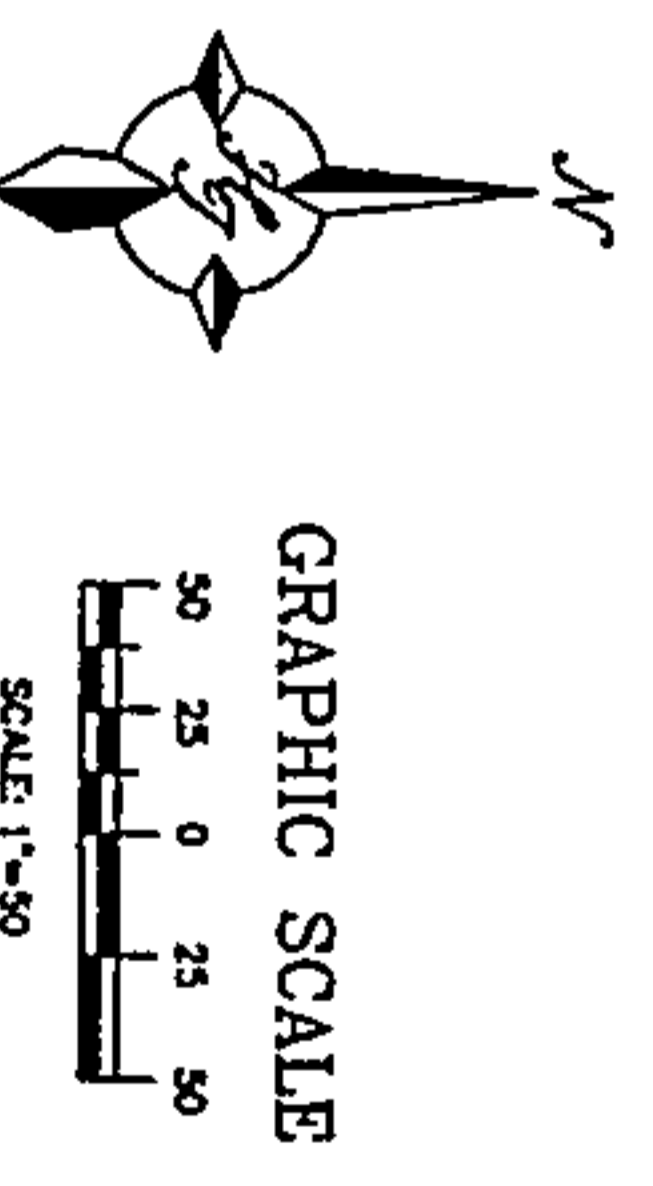
LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute any responsibility for water conservation of the Property Owner. Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
 All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Water Conservation Landscaping and Water Waste Ordinance. Water Conservation Landscaping and Water Waste Ordinance. Water management principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be laid to 1/2" polyjibe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.



BACKFLOW PREVENTER DETAIL
 NO. SC008



The Hilltop
 LANDSCAPE ARCHITECTS • CONSULTANTS
 CORP. L.L.C. #212458
 2701 E. Edin N.E.
 ALBUQUERQUE, N.M. 87104
 TEL: (505) 896-7137
 FAX: (505) 896-7137
 *All drawings are the property of The Hilltop Landscape Architects • Consultants. No part of this drawing may be reproduced without the written permission of The Hilltop Landscape Architects • Consultants.

PROJECT TITLE VENTANA (NEC) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO	PROJECT MANAGER GEORGE RAINHART	JOB NO. 002	DRAWN BY: dr	DATE 07/23/05	SCALE 1"=50'
SHEET TITLE LANDSCAPE PLAN				DRAWING NO. L1.0	DATE 7/23/05
PRELIMINARY NOT FOR CONSTRUCTION				GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C. 8325 SAN PEDRO N.E., SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-9877	
REV 1 2 3 4 5	DATE 11/15/05	BY dr	REVISION EPC COMMENTS revised site plan		

LANDSCAPE CALCULATIONS

	MAJOR 1	SHOPS 1	SHOPS 2	PAD 1	PAD 2	SITE
TOTAL LOT AREA	234301 square feet	48127 square feet	45748 square feet	31280 square feet	38471 square feet	397932 square feet
TOTAL BUILDINGS AREA	42860 square feet	11400 square feet	9600 square feet	2005 square feet	2763 square feet	68628 square feet
OFFSITE AREA	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet
NET LOT AREA	191441 square feet	36727 square feet	36148 square feet	29275 square feet	35708 square feet	329299 square feet
LANDSCAPE REQUIREMENT	15%	15%	15%	15%	15%	15%
TOTAL LANDSCAPE REQUIREMENT	28716 square feet	5509 square feet	5422 square feet	4391 square feet	5356 square feet	49394 square feet
TOTAL BED PROVIDED	35078 square feet	2257 square feet	5555 square feet	6297 square feet	9006 square feet	56193 square feet
GROUND COVER REC.	75%	75%	75%	75%	75%	75%
TOTAL GROUND COVER REQUIREMENT	27481 square feet	1634 square feet	5989 square feet	4409 square feet	4846 square feet	43645 square feet
TOTAL GROUND COVER PROVIDED	30781 square feet	2880 square feet	6836 square feet	4503 square feet	4711 square feet	49711 square feet
TOTAL PONDING AREA	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet
TOTAL LANDSCAPE PROVIDED	34093 square feet	3420 square feet	7700 square feet	5259 square feet	5971 square feet	58193 square feet

PLANT LEGEND

PLANT NAME	QUANTITY MAJOR 1	QUANTITY SHOPS 1	QUANTITY SHOPS 2	QUANTITY PAD 1	QUANTITY PAD 2	QUANTITY SITE
ARIZONA ASH (H) <i>Fragaria vesicaria</i>	9	5	3	1	4	9
RAYWOOD ASH (H) <i>Fraxinus oxycarpa raywood</i>	15	-	-	7	-	22
AUSTRIAN PINE (H) <i>Pinus nigra</i>	2	-	-	1	1	4
WASHINGTON HAWTHORN (H) <i>Crataegus phaenopyrum</i>	51	-	12	3	-	66
DESERT WILLOW (M) <i>Chilopsis linearis</i>	10	1	1	3	-	15
FLOWERING PEAR (H) <i>Ficus carteriana</i>	4	-	-	-	-	4
MUGHO PINE <i>Pinus mugo</i>	1	-	-	-	-	1
PALM YUCCA (L)	53	15	8	12	6	94
TAIDEN GRASS (L) <i>Miscanthus sinensis</i>	1	-	3	4	9	17
RUSSIAN SAGE (M) <i>Perovskia atriplicifolia</i>	36	9	33	8	-	86
NEOTINIA <i>Nerium oleander</i>	92	15	24	21	35	187
FLORING FUCHSIA (L) <i>Fuchsia</i>	3	-	3	1	5	12
ROSEMARY (M) <i>Rosmarinus officinalis</i>	72	9	9	6	6	102
LUTUM SAGE (M) <i>Salvia greggii</i>	17	-	3	6	21	47
ELDERBERRY (M) <i>Sambucus purpurea</i>	35	3	-	6	-	44
CHAMISA (L) <i>Chrysothamnus nauseosus</i>	13	-	-	1	-	14
WILDFLOWER <i>Chrysothamnus</i>	56	3	12	6	7	84
OVERSIZE GRAVEL AND BOULDERS						
SANTA FE BROWN GRAVEL W/ FF						
SANTA FE BROWN CF W/ FF						

The Hilltop
 Landscape Architects & Planners
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
 NOT FOR
 CONSTRUCTION

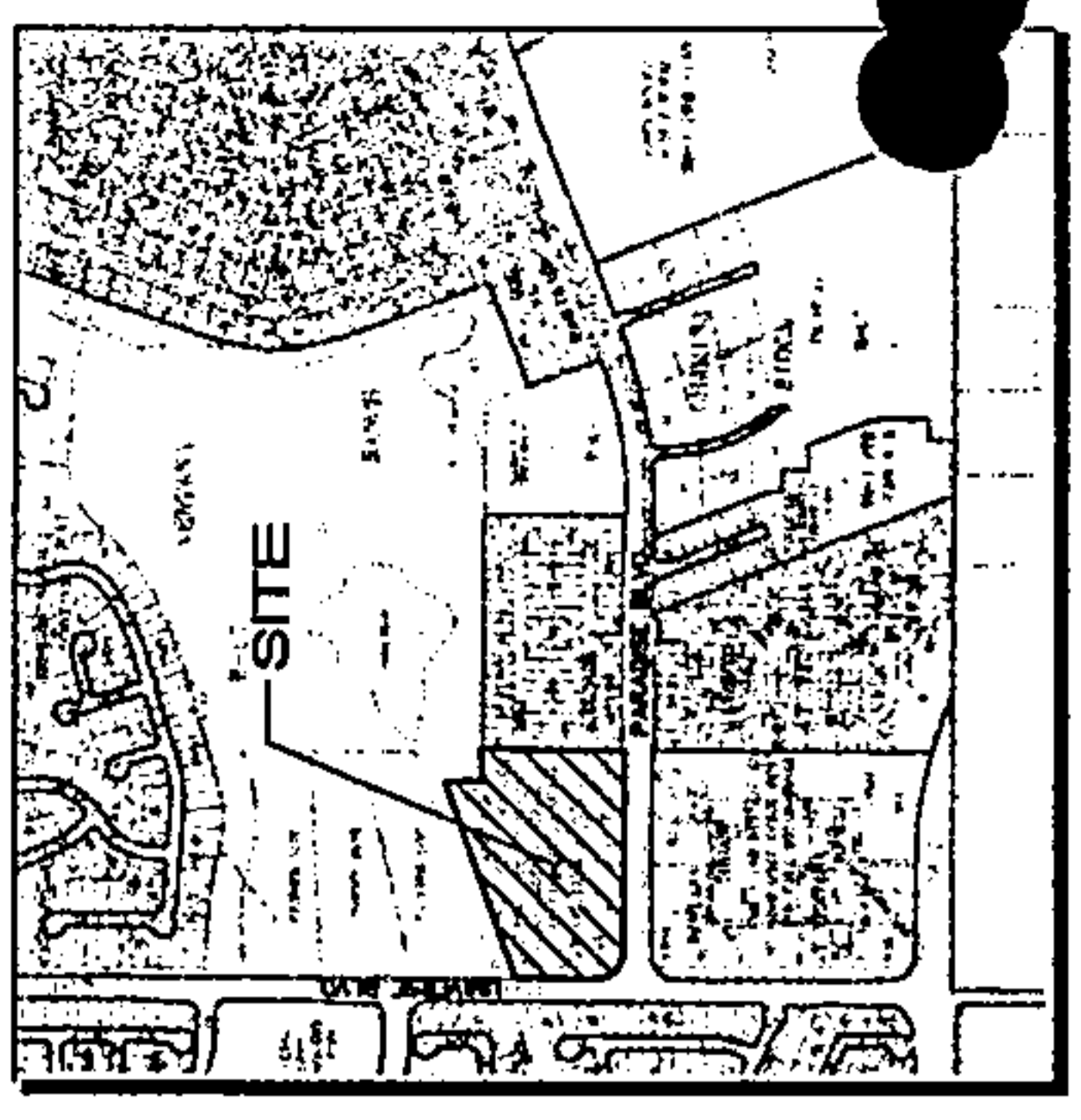
PROJECT TITLE: VENTANA
 PROJECT MANAGER: JESSICA L. HARRIS
 JOB NO.: 111905
 DRAWN BY: JESSICA L. HARRIS
 DATE: 11/19/05
 SCALE: 1"=40'

PAACSON & AREMAN, P.A.
 Consulting Engineering Associates
 17105 Peachtree
 Atlanta, Georgia 30329
 Phone: 404-252-8888 Fax: 404-252-8832
 11/27/2005

VENTANA SQUARE NORTH

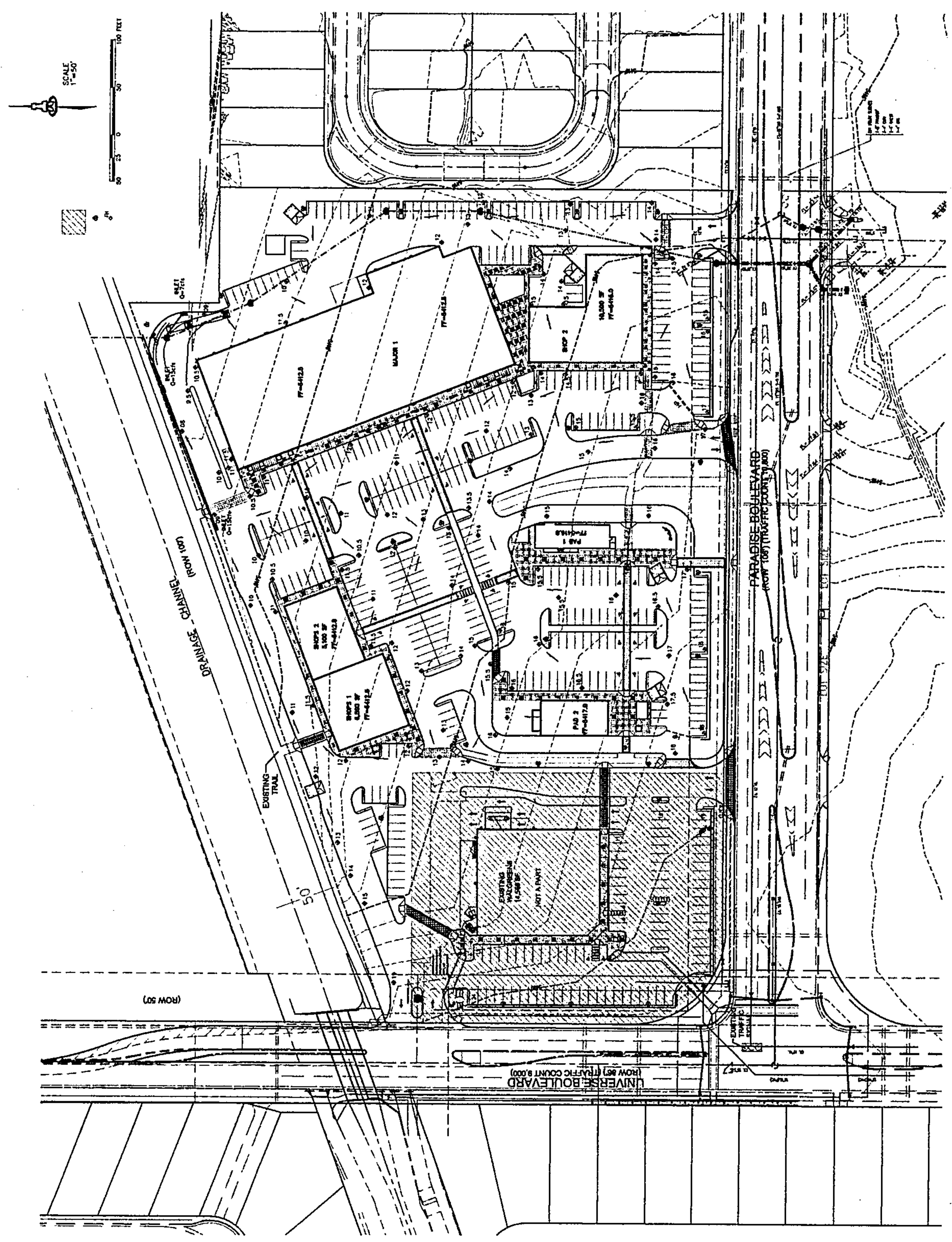
CONCEPTUAL GRADING & DRAINAGE PLAN

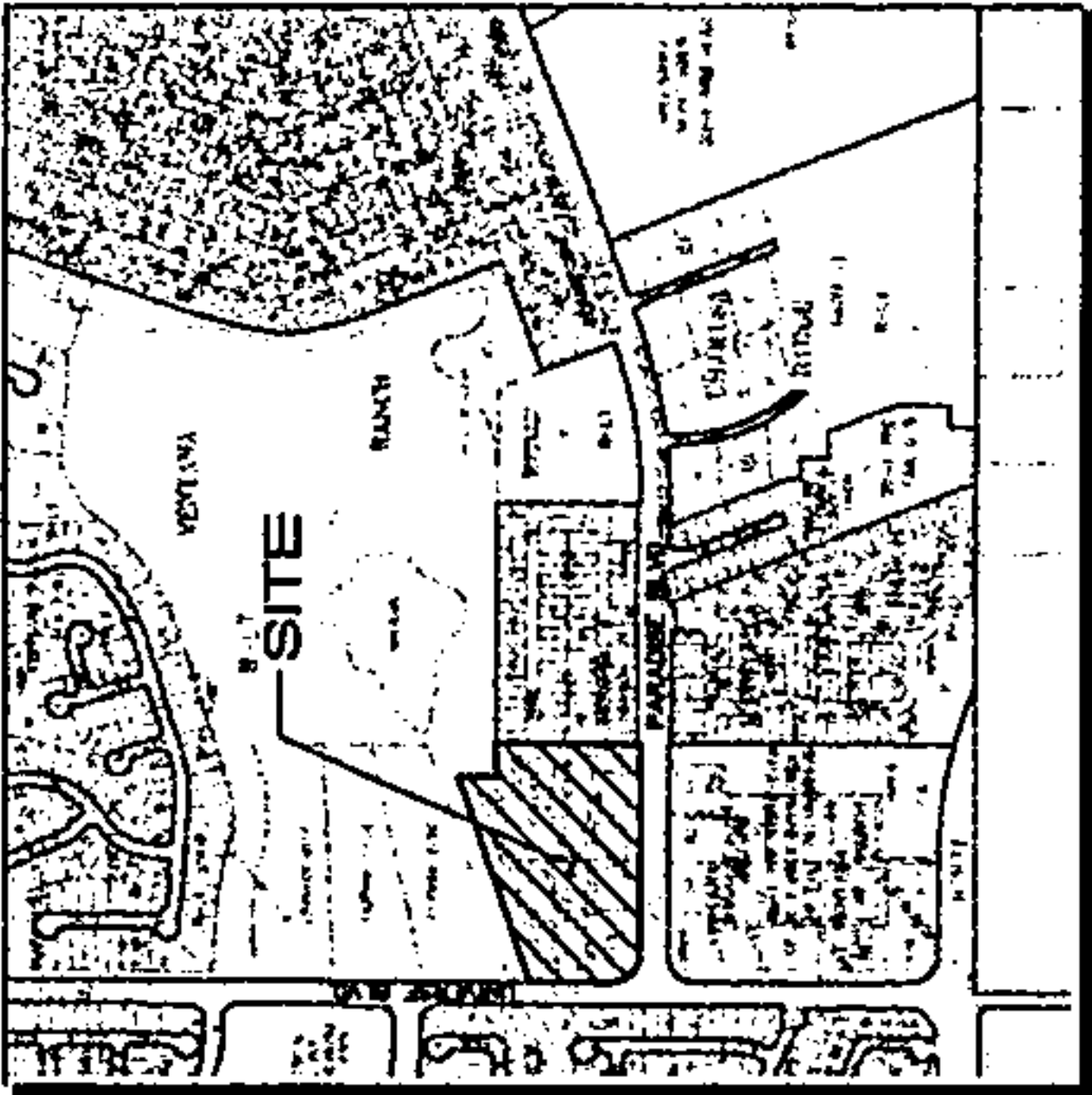
DATE: 11/27/05
 SHEET: 1 OF 1



SITE AREA: 9.13 ACRES
LEGAL: TRACT G-2 VENTANA RANCH
FLOOD PLAN: THIS SITE IS IN ZONE "X" AND OUTSIDE THE 500-YEAR FLOOD PLAN PER FEMA MAP PANEL 101.
EXISTING CONDITIONS: A PLAN WAS PREVIOUSLY APPROVED FOR BOTH SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT. THE WALGREEN'S SITE HAS BEEN DEVELOPED AT THE NE CORNER OF UNIVERSITY AND PARADISE BOULEVARD AND IS NOT A PART OF THIS NEW PLAN.
EXISTING HYDROLOGY: 100% A, ZONE: 1
 $Q = (9.13 \text{ acres})(1.29 \text{ cfs}) = 11.8 \text{ cfs}$
PROPOSED CONDITIONS: 10% B & 90% D
 $Q = (9.13 \text{ acres})(4.06 \text{ cfs}) = 37.1 \text{ cfs}$
 OFFSITE FLOW IS ACCEPTED ONSITE FROM THE WALGREEN'S SITE (0=8.04) AND WILL BE PASSED THROUGH THE SITE TO DISCHARGE TO THE AMAFCA DRAINAGE FACILITY ALONG THE NORTH SIDE OF THE SITE.

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - FINISH FLOOR ELEVATION
 - HIGH POINT
- $\phi 78.3$
 FF = 5412.5
 - 2.0' -





VICINITY MAP

LEGEL: TRACT G-2 VENTANA RANCH
AREA: 9.13 ACRES

LEGEND

- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- SAS MANHOLE
- WATER LINE W/ FITTING

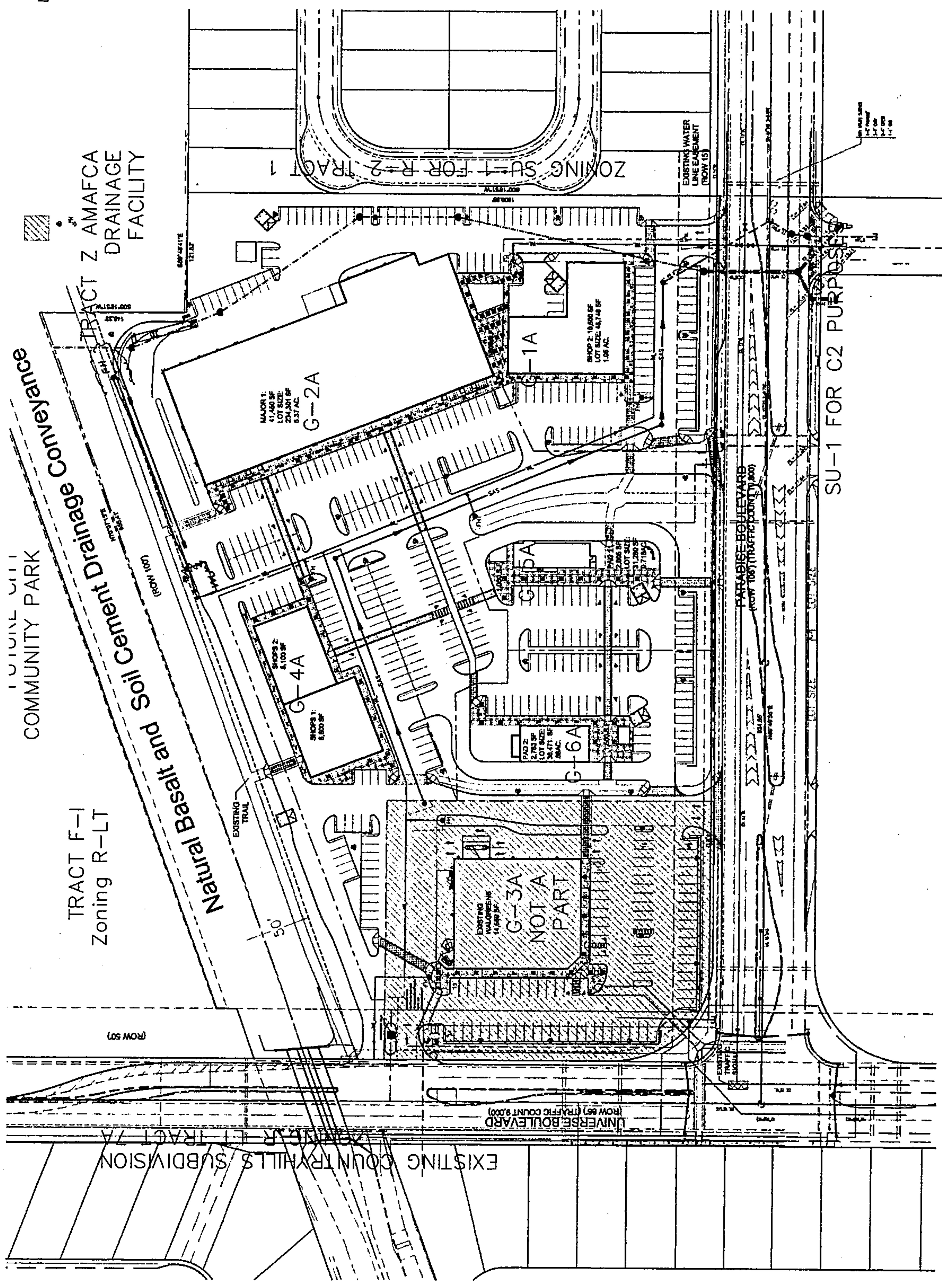


SCALE
1"=50'

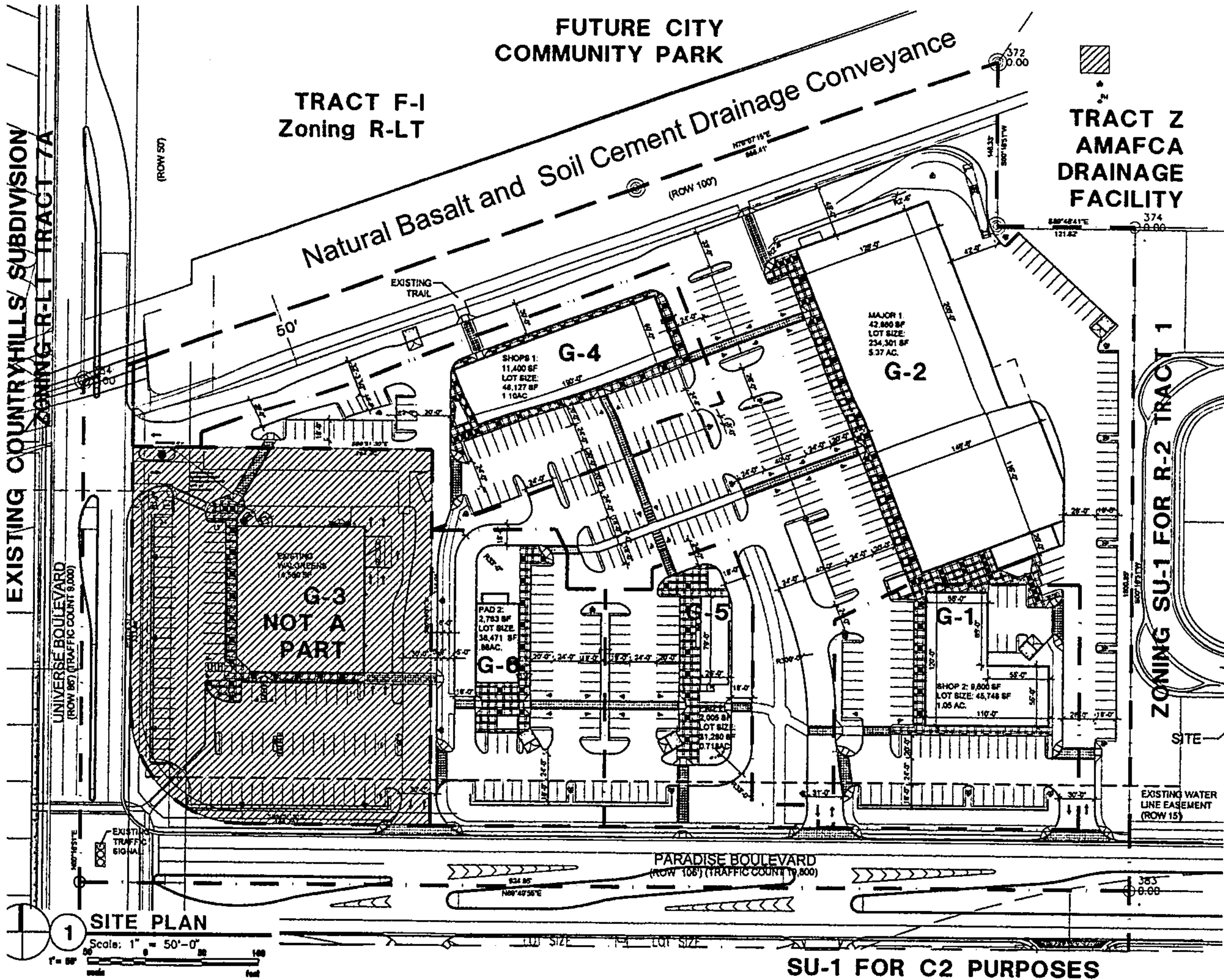


MACSON & ARMAN, P.A.
 Consulting Engineering Associates
 1275 S. 10th Street, Suite 100
 Phoenix, New Mexico 87108
 Tel: 505-269-8628 Fax: 505-269-2032
 1275 S. 10th Street, Suite 100
 Phoenix, New Mexico 87108
 Tel: 505-269-8628 Fax: 505-269-2032

VENTANA SQUARE NORTH
 CONCEPTUAL UTILITY PLAN
 PAGE 5 OF 5



SU-1 FOR C2 PURPOSES



BUILDING AREA & PARKING CALCULATIONS.

MAJOR 1
42,860 SF BUILDING
LOT SIZE = 234,301 SF OR 5.37 A.C.
42,860 SF / 200 = 214 SPACES
SPACES PROVIDED 179 SPACES
FAR = .18

SHOPS 1
11,400 SF BUILDING
LOT SIZE = 48,127 SF OR 1.10 A.C.
11,400 SF / 200 = 57 SPACES
SPACES PROVIDED 57 SPACES
FAR = .23

SHOPS 2
9,600 SF BUILDING
LOT SIZE = 45,748 SF OR 1.05 A.C.
9,600 SF / 200 = 48 SPACES
SPACES PROVIDED 60 SPACES
FAR = .20

PAD 1
2,005 SF BUILDING
LOT SIZE = 31,280 SF OR .718 A.C.
1 CAR PER 4 PROVIDED SEATS
48 SEATS / 4 = 12 REQ. CARS
SPACES PROVIDED 31 SPACES
FAR = .06

PAD 2
2,763 SF BUILDING
LOT SIZE = 38,471 SF OR .88 A.C.
1 CAR PER 4 PROVIDED SEATS
80 SEATS / 4 = 20 REQ. CARS
SPACES PROVIDED 43 SPACES
FAR = .07

FLOOR AREA RATIO
BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT WITH C.O.A.
TOTAL BUILDING AREA = 68,628 SQ/FT
TOTAL LOT AREA = 397,932 SQ/FT
TOTAL FAR = .17

PARKING NOTES
TYPICAL STANDARD SPACES ARE 8'-0" x 20'-0" WITH A 6' WIDE ACCESS AISLE
TYPICAL HANDICAP SPACES ARE 8'-0" x 20'-0" WITH A 6' WIDE ACCESS AISLE
• ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED •

TOTAL STANDARD PARKING SPACES PROVIDED 342 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 28 SPACES
TOTAL PROVIDED 373 SPACES
TOTAL REQUIRED SPACES = 351 SPACES
TOTAL PROVIDED SPACES = 370 SPACES
BOXES = 20 SPACES
VC = 5 SPACES

7 VICINITY PLAN
SCALE: 1" = 1,000'

TRACTS G FOR SUBDIVISION LEGAL DESCRIPTION

TRACTS G AT VENTANA SQUARE

CURRENT ZONING C-2 TO SU-1 FOR C-2

TOTAL ACRES 9.13 ACRES (TOTAL GROSS)

PEDESTRIAN AND VEHICULAR CIRCULATION

See sheet A1.1 for pedestrian and vehicular connections to the surrounding Ventana Square road and trail system.

INTERNAL CIRCULATION

See sheet A1.2 for internal circulation

BUILDING HEIGHTS AND SETBACKS

The maximum height of buildings within tract G shall be 35'-0" See plan A.1 for additional restrictions Setbacks are shown on sheet A1.2.

FLOOR AREA RATIOS

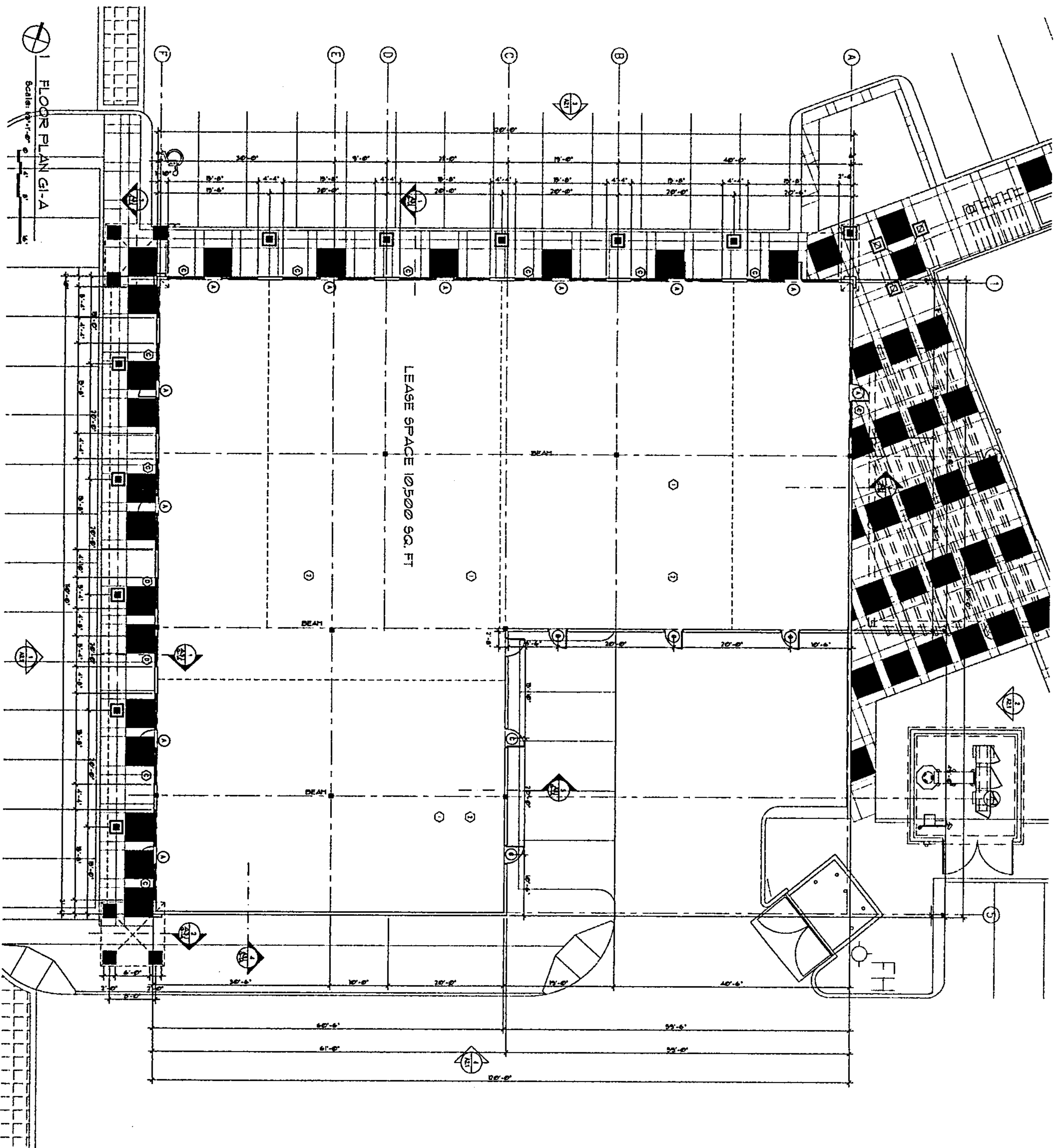
The overall FAR for tract G shall not exceed 10,000sq/ft per gross acre in accordance with the May 31, 1998 agreement with the City of Albuquerque

LANDSCAPE

See sheet L1 and L2

PROJECT TITLE	VENTANA SQUARE.
PREPARED BY	REGI UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	GEORGE RAINHART
DRAWN BY	JFZ
DATE	072006
SCALE	A1.2
SITE PLAN, SUBDIVISION.	

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2321 PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PH: (505) 884-9110 FAX: (505) 837-9877



1 FLOOR PLAN G1-A
Scale: 1/8" = 1'-0"

2 KEY PLAN
Scale: N/A

LEGEND
 (Symbol) ROOM TYPE
 (Symbol) DOOR TYPE

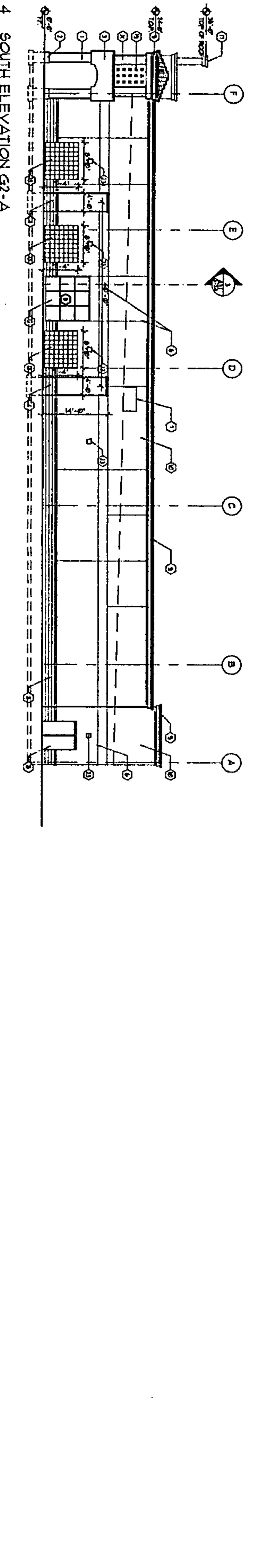
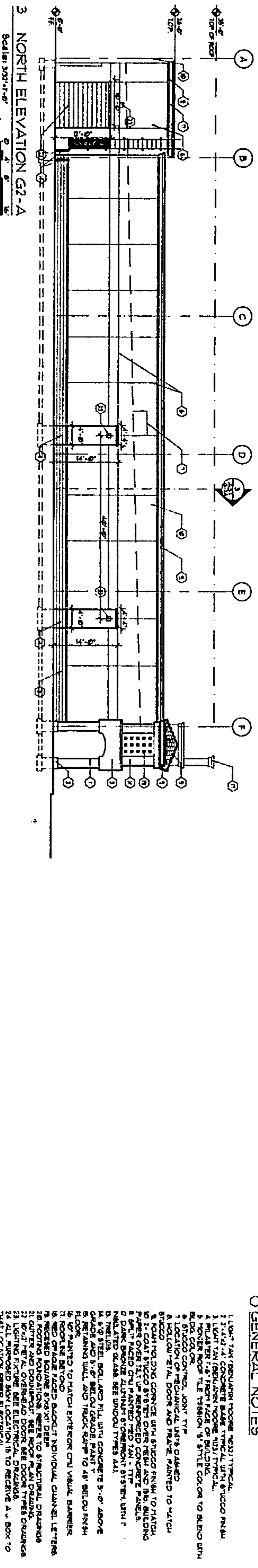
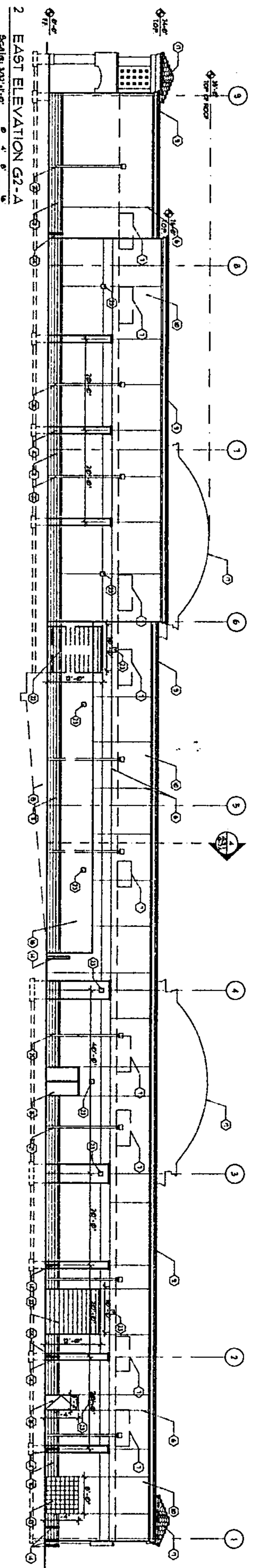
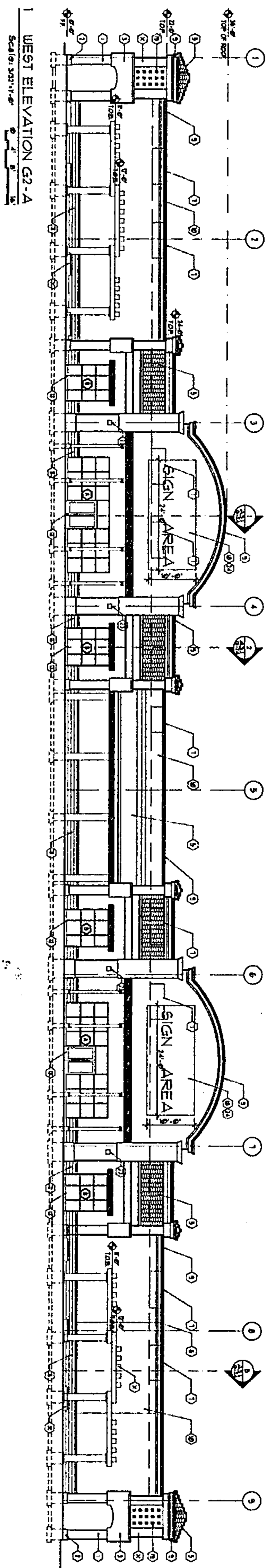
GENERAL NOTES
 1 REINFORCED CONCRETE SLAB READY FOR BEAM FORMWORK
 2 DO NOT SEAL REFER STRUCTURAL DRAWINGS
 3 PLAN PLUMBING LINE WITH CLEANOUTS PER BAY OR PER QUARTER
 REFER MECHANICAL DRAWINGS

DATE 11/15/05	PROJECT TITLE VENTANA SQUARE PARADISE AND UNIVERSE BOULEVARDS ALBUQUERQUE NEW MEXICO
SCALE 1/8" = 1'-0"	PROJECT MANAGER Anton Dattilo
JOB NO. 9052	DRAWN BY A P-Z
SHEET TITLE FLOOR PLAN	



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION



GENERAL NOTES

1. LIGHT TANK REBAR/STAIN PROTECTANT TYPICAL.
2. 2\"/>

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE VENTANA SQUARE PARADISE AND UNIVERSE BOULEVARDS ALBUQUERQUE NEW MEXICO		
DATE 11/15/05	PROJECT MANAGER Anton Dattilo	JOB NO. 9052
SCALE 1/32" = 1'-0"	DRAWN BY A P-Z	SHEET TITLE ELEVATIONS MAJOR 1

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Grady Rentals LLC
AGENT George Rankin Architect
ADDRESS _____
PROJECT & APP # 1002346 - 05DRB01794/05DRB01792
PROJECT NAME Ventana Square @ Ventana Ranch

\$ _____ 441032/3424000 Conflict Management Fee
\$ 50.00 441006/4983000 DRB Actions Deferral fee
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

12/6/2005 10:27AM LOC: ANNX
RECEIPT# 00049286 WSH# 008 TRANSH 0004
Account 441006 Fund 0110
Activity 4983000 TRSCCS
Trans Amt \$70.00
J24 Misc

\$50.00
Thank You

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME GRADY RENTALS

AGENT GEORGE REINHART ARCHIT.

ADDRESS _____

PROJECT & APP # 1002342 / 01830

PROJECT NAME _____

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 0 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.50 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

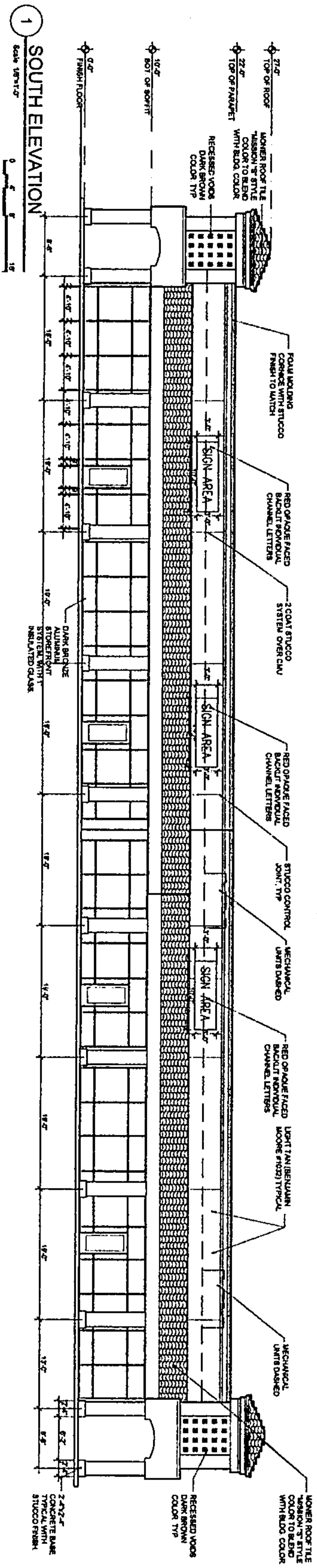
City Of Albuquerque
Treasury Division

12/6/2005 10:27AM LOC: ANNX
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Activity 3424000 TRSCCS
Trans Amt \$70.00
J24 Misc

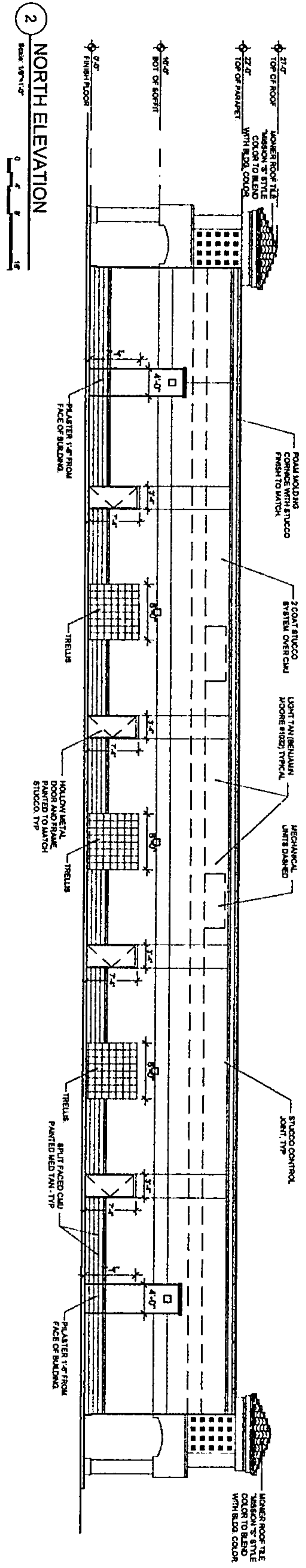
\$20.00

CK \$70.00
CHANGE \$0.00

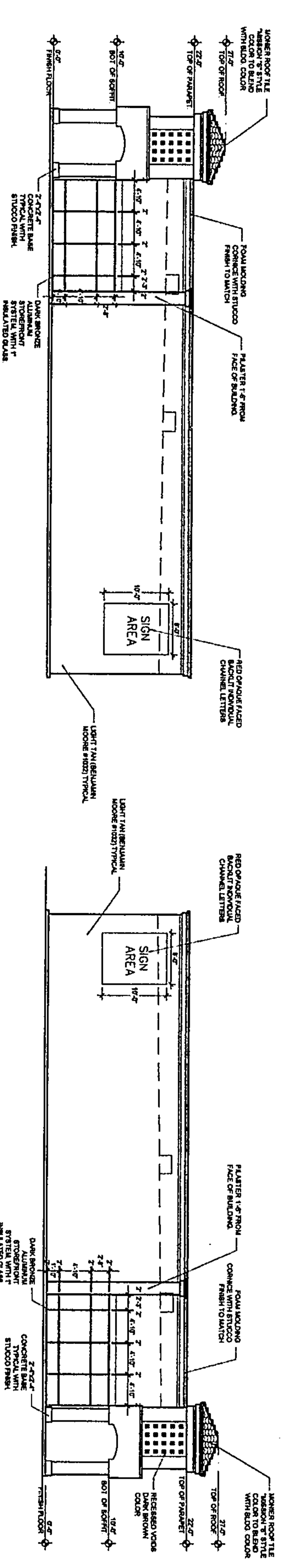
Thank You



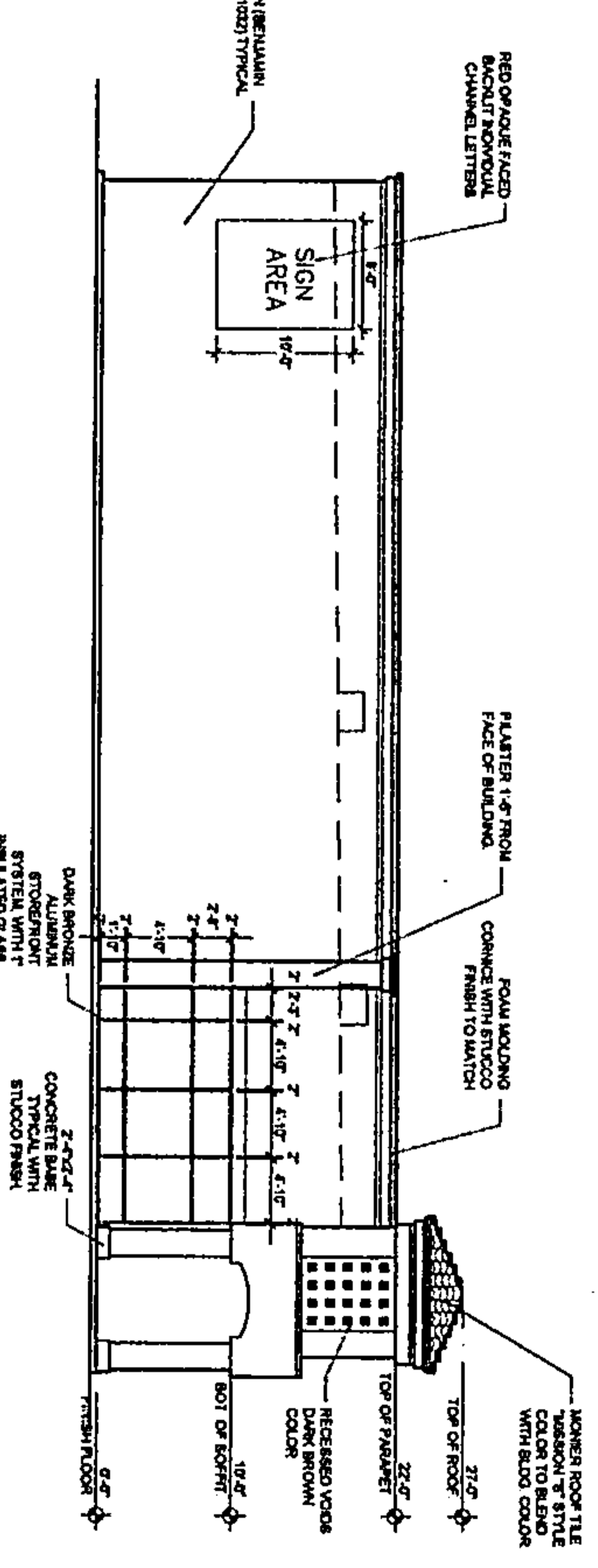
1 SOUTH ELEVATION
SCALE 1/8"=1'-0"



2 NORTH ELEVATION
SCALE 1/8"=1'-0"



3 EAST ELEVATION
SCALE 1/8"=1'-0"

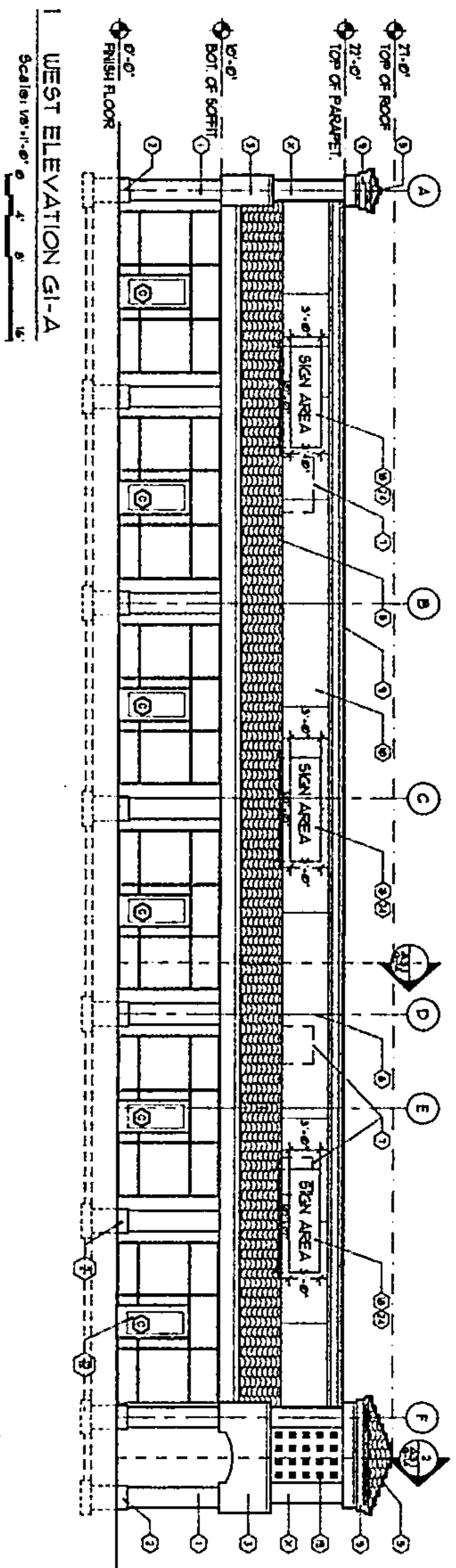


4 WEST ELEVATION
SCALE 1/8"=1'-0"

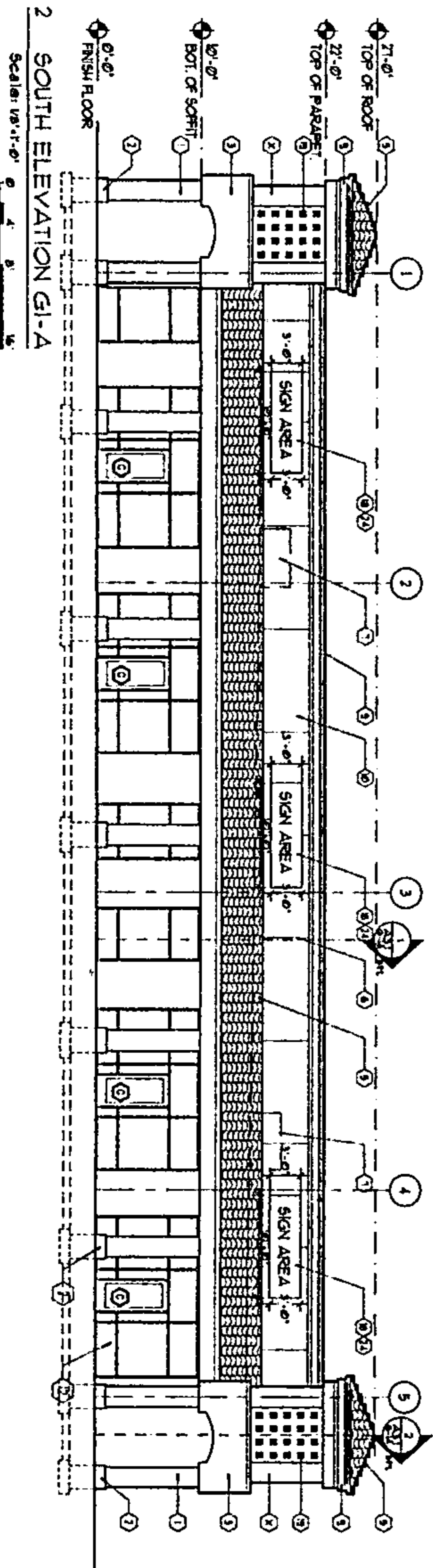
DATE	11/96	PROJECT TITLE	VENTANA SQUARE.		
SCALE	1/8"=1'-0"	(M/C) UNIVERSE & PARADISE	ALBUQUERQUE, NEW MEXICO		
PROJECT MANAGER	GEORGE RAINHART	JOB NO.	002	DRAWN BY:	APZ
SHEET TITLE	BUILDING ELEVATIONS, SHOPS 1				
NO.	A2.2				

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

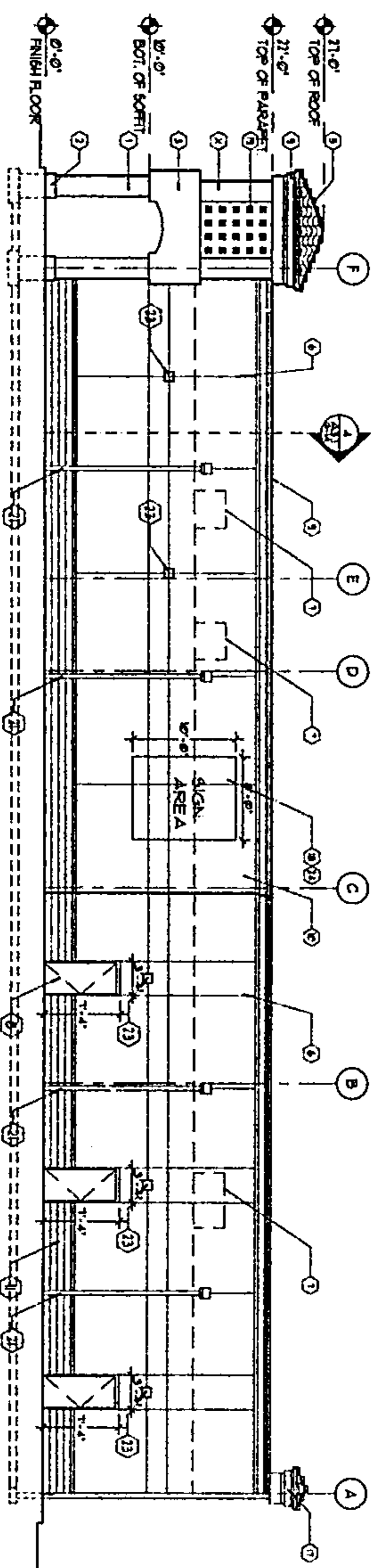
REV	DATE	BY	REVISION



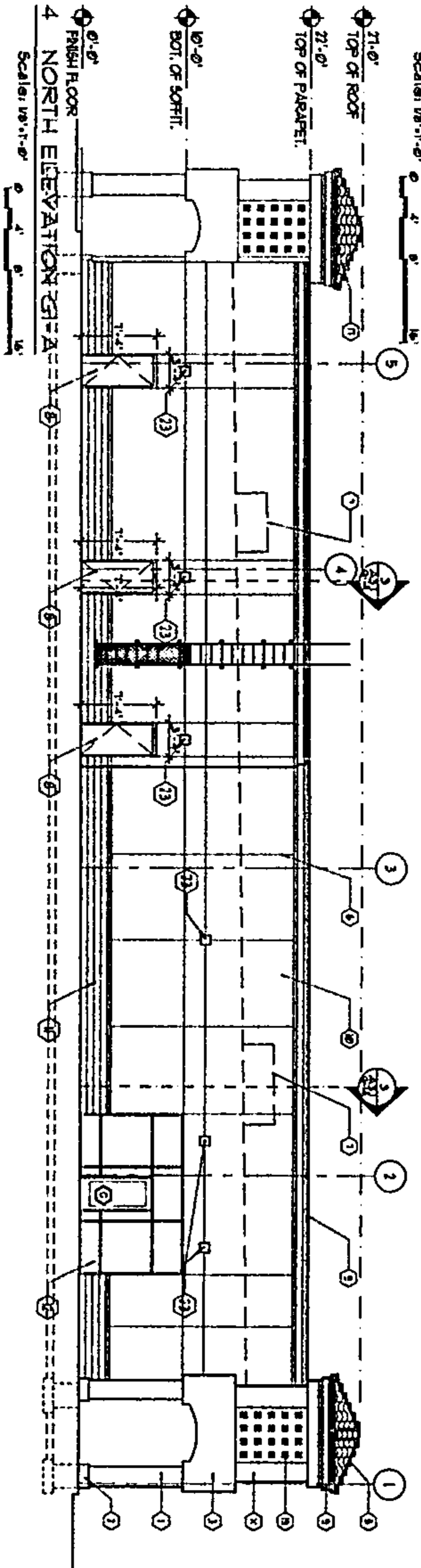
1 WEST ELEVATION G1-A
Scale: 1/8"=1'-0"



2 SOUTH ELEVATION G1-A
Scale: 1/8"=1'-0"



3 EAST ELEVATION G1-A
Scale: 1/8"=1'-0"



4 NORTH ELEVATION G1-A
Scale: 1/8"=1'-0"

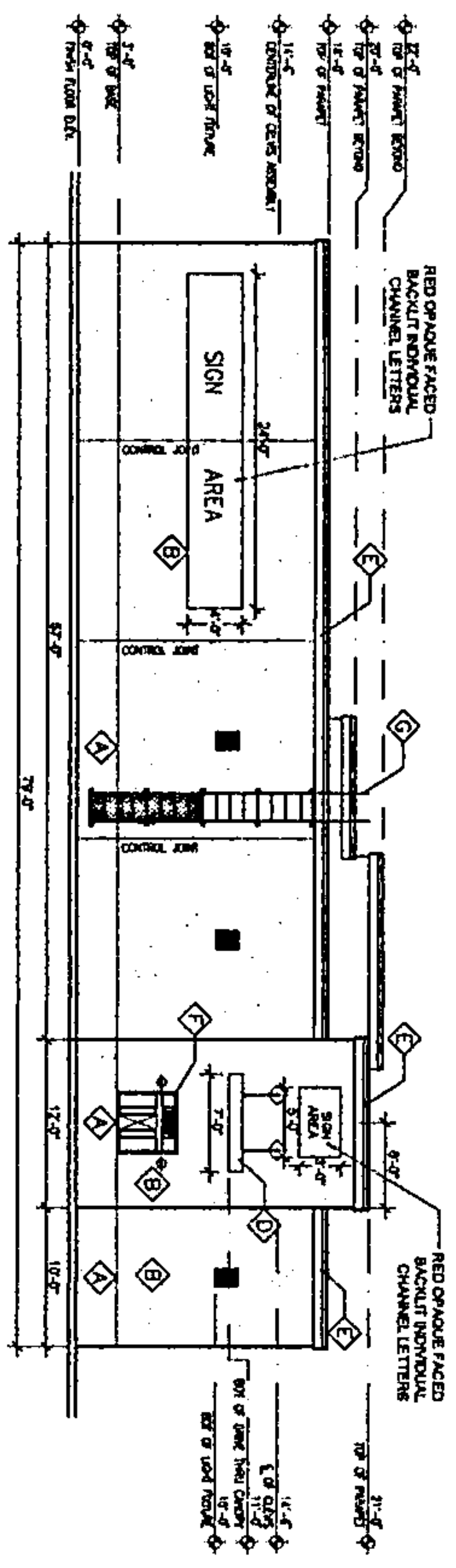
GENERAL NOTES

1. LEARN VAN (RECURRING HOODING) MOUNT TYPICAL.
2. LEARN VAN (RECURRING HOODING) MOUNT TYPICAL.
3. LEARN VAN (RECURRING HOODING) MOUNT TYPICAL.
4. MOUNT VAN (RECURRING HOODING) MOUNT TYPICAL.
5. MOUNT VAN (RECURRING HOODING) MOUNT TYPICAL.
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8. MOUNT VAN (RECURRING HOODING) MOUNT TYPICAL.
9. MOUNT VAN (RECURRING HOODING) MOUNT TYPICAL.
10. MOUNT VAN (RECURRING HOODING) MOUNT TYPICAL.
11. MOUNT VAN (RECURRING HOODING) MOUNT TYPICAL.
12. MOUNT VAN (RECURRING HOODING) MOUNT TYPICAL.
13. MOUNT VAN (RECURRING HOODING) MOUNT TYPICAL.
14. MOUNT VAN (RECURRING HOODING) MOUNT TYPICAL.

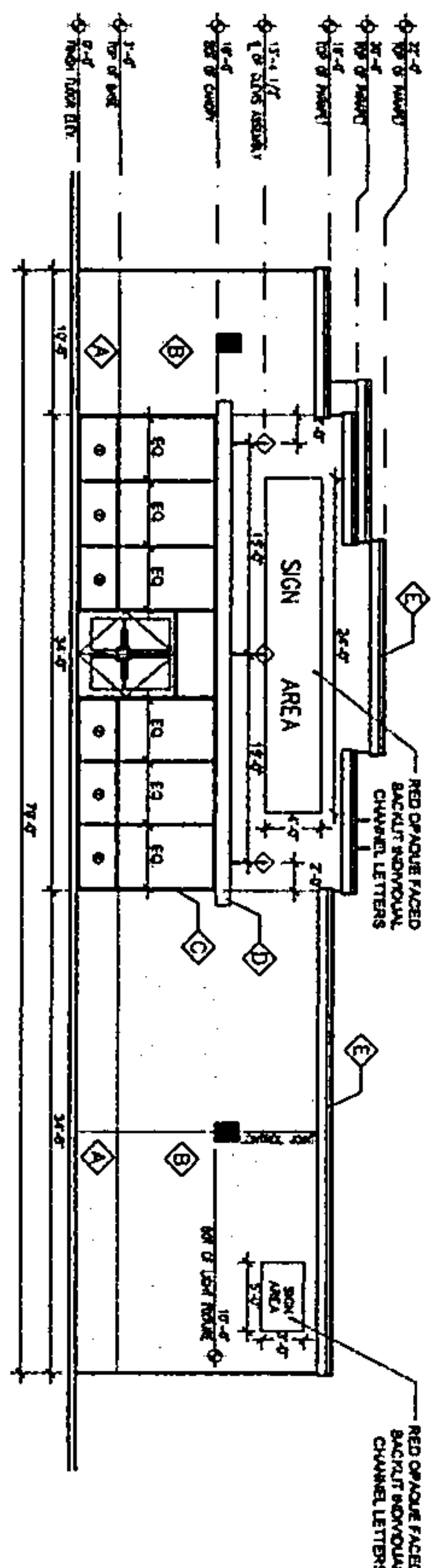
REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

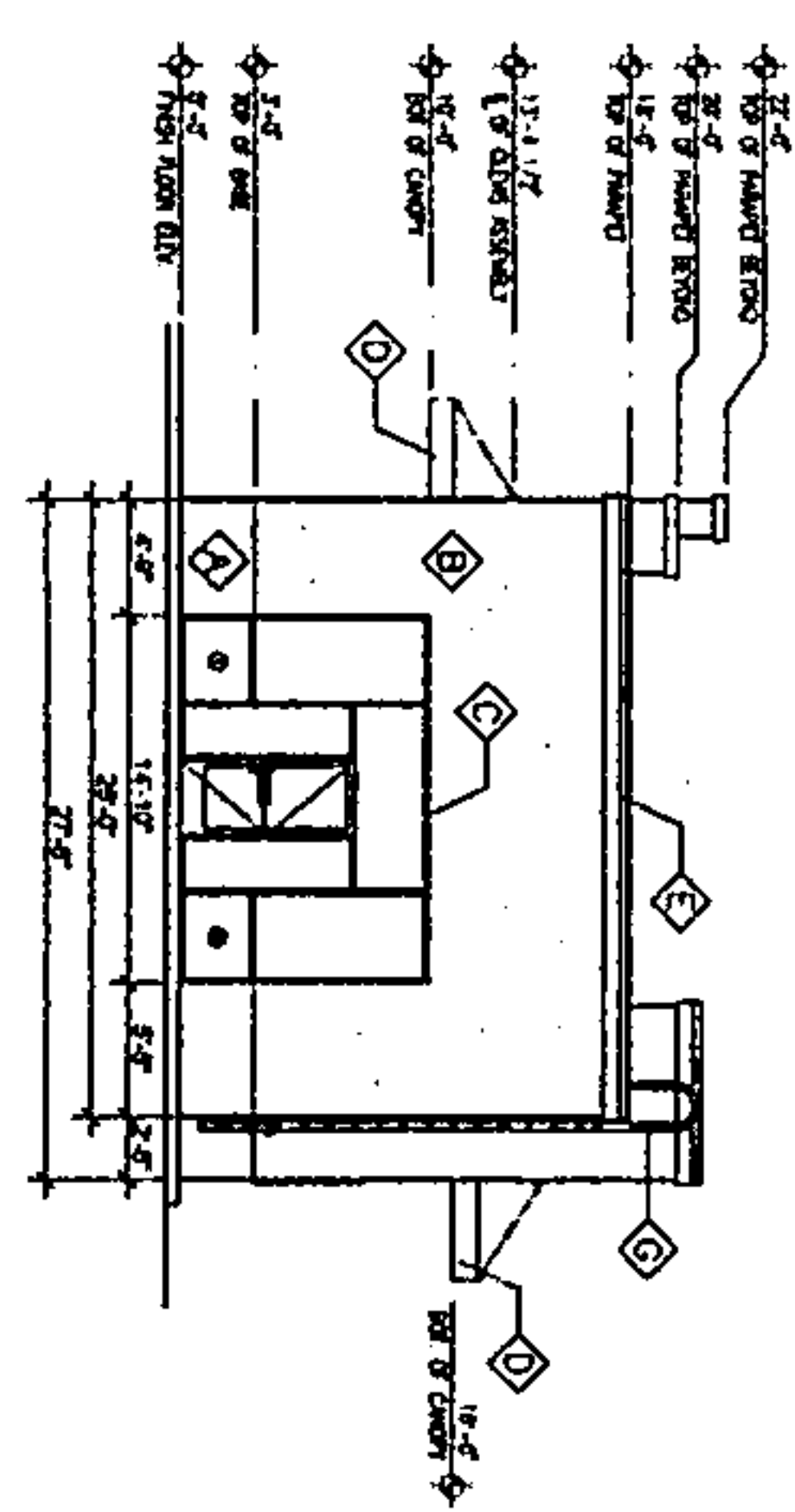
PROJECT TITLE VENTANA SQUARE PARADISE AND UNIVERSE BOULEVARDS ALBUQUERQUE NEW MEXICO		DATE 11/15/05
PROJECT MANAGER Anton Dattilo	JOB NO. 9052	DRAWN BY: A P-2
SHEET TITLE ELEVATIONS SHOPS 2		
SCALE 1/8"=1'-0"		SHEET A2.3 of



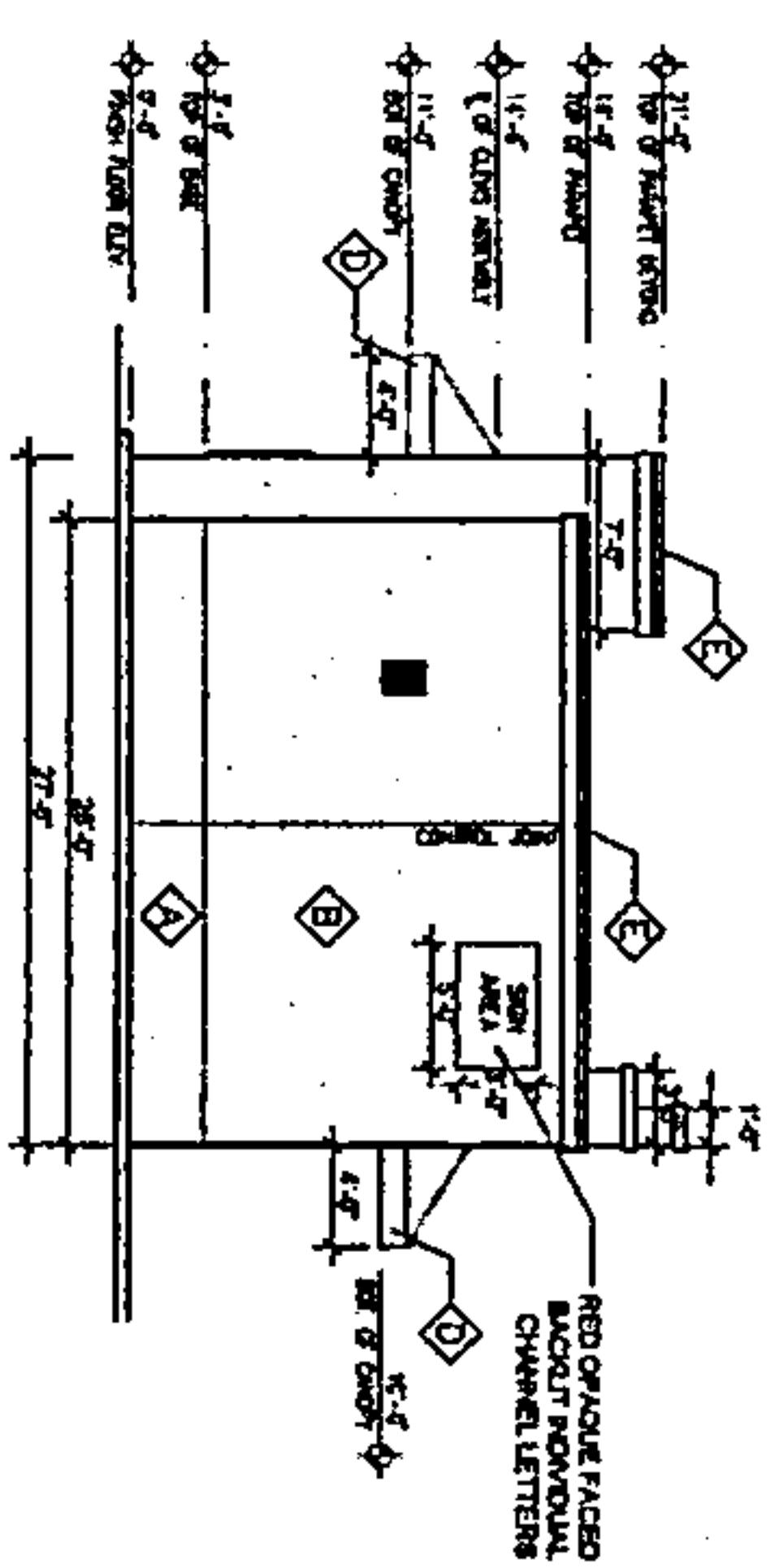
2 EAST ELEVATION
Scale: 1/8"=1'-0"



1 WEST ELEVATION
Scale: 1/8"=1'-0"



3 SOUTH ELEVATION
Scale: 1/8"=1'-0"



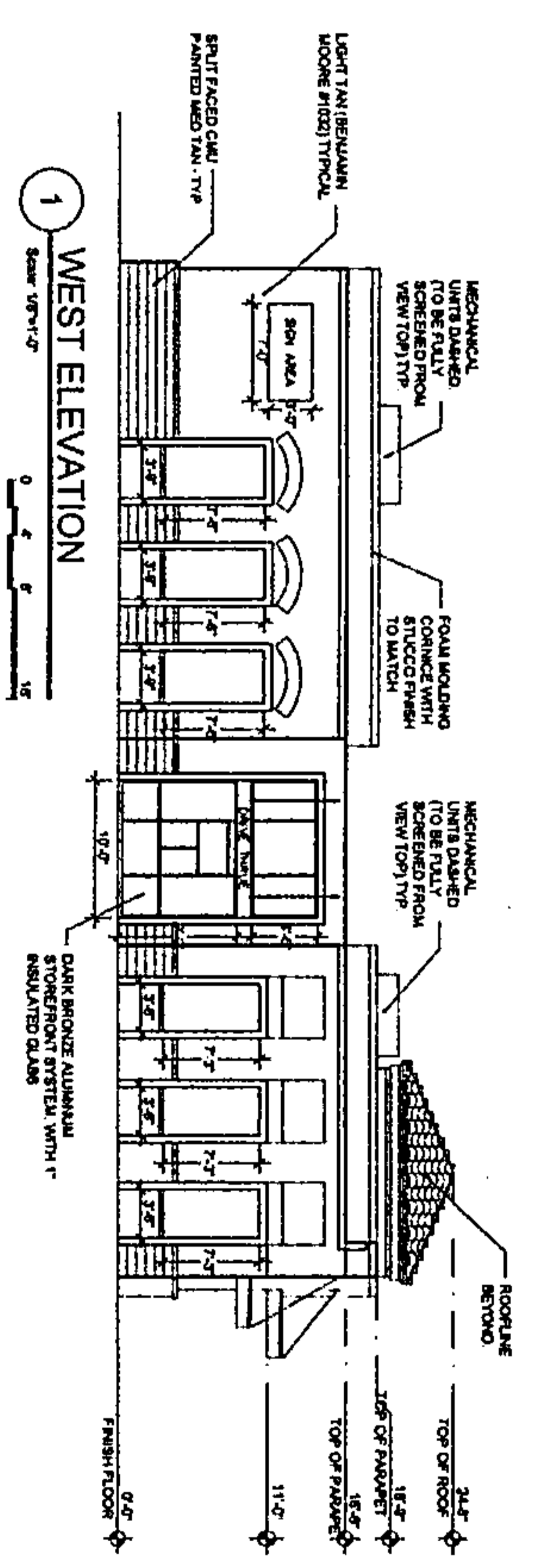
4 NORTH ELEVATION
Scale: 1/8"=1'-0"

Keyed Color / Material Schedule	
▲	STUCCO BASE
◆	STUCCO
◇	ALUM. STOREFRONT
◇	STEEL CANOPY
◇	METAL COPING
◇	DRIVE-THRU WINDOW
◇	ROOF ACCESS LADDER
	MEDIUM DARK TAN DADO BAND WALL COLOR # 951
	LIGHT TAN BENJAMIN MOORE # 1032
	DARK BRONZE
	DARK BRONZE
	GREEN
	DARK BRONZE
	PAINT TO MATCH STUCCO COLOR

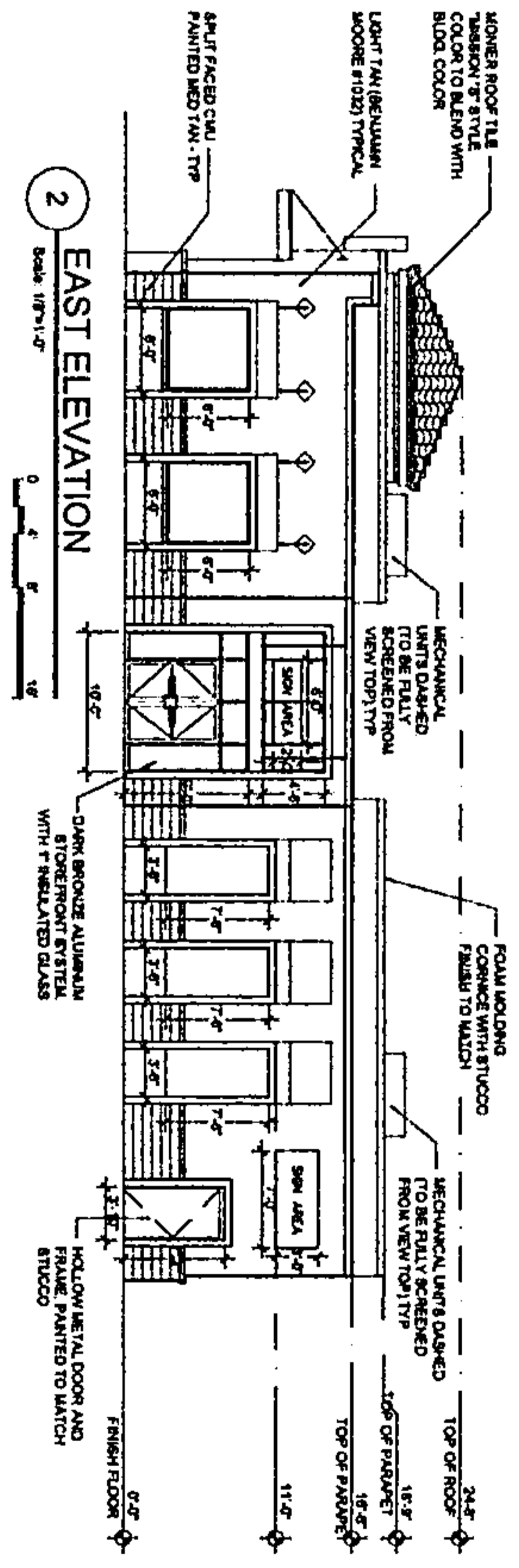
REV	DATE	BY	REVISION
▲			
▲			
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

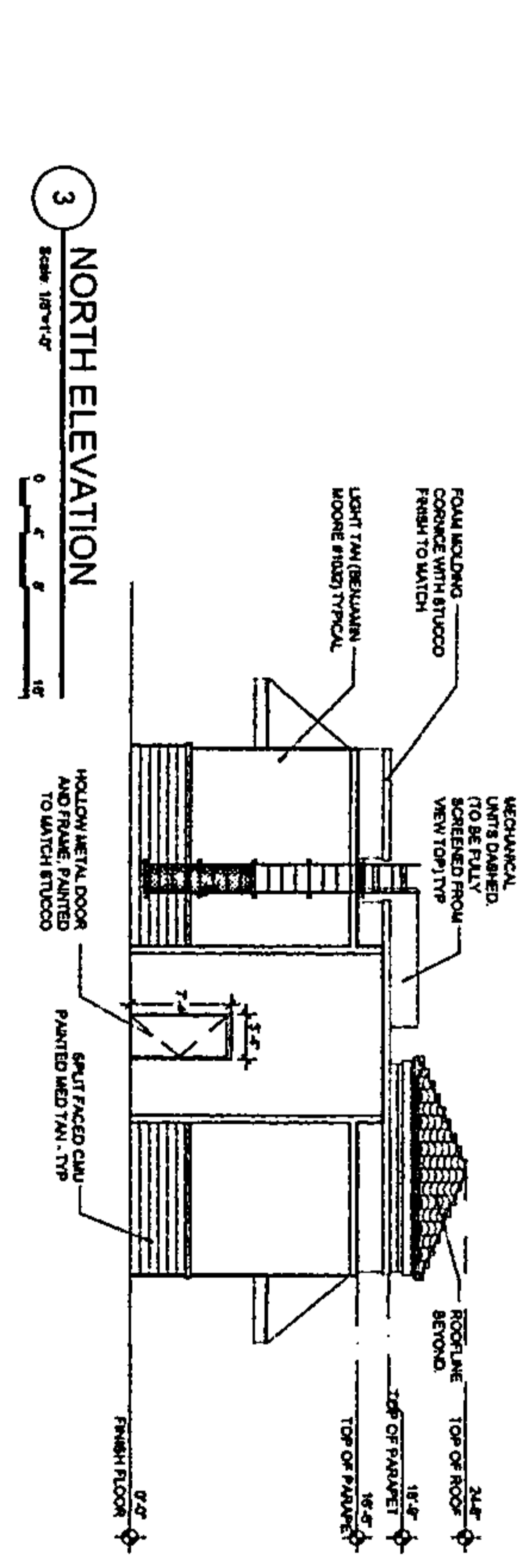
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PROJECT MANAGER GEORGE RAINHART	JOB NO. 8082	DRAWN BY: APZ	
SHEET TITLE BUILDING ELEVATIONS, PAD 1.			
SCALE 1/8" = 1'-0"		SHEET NO. A2.4	



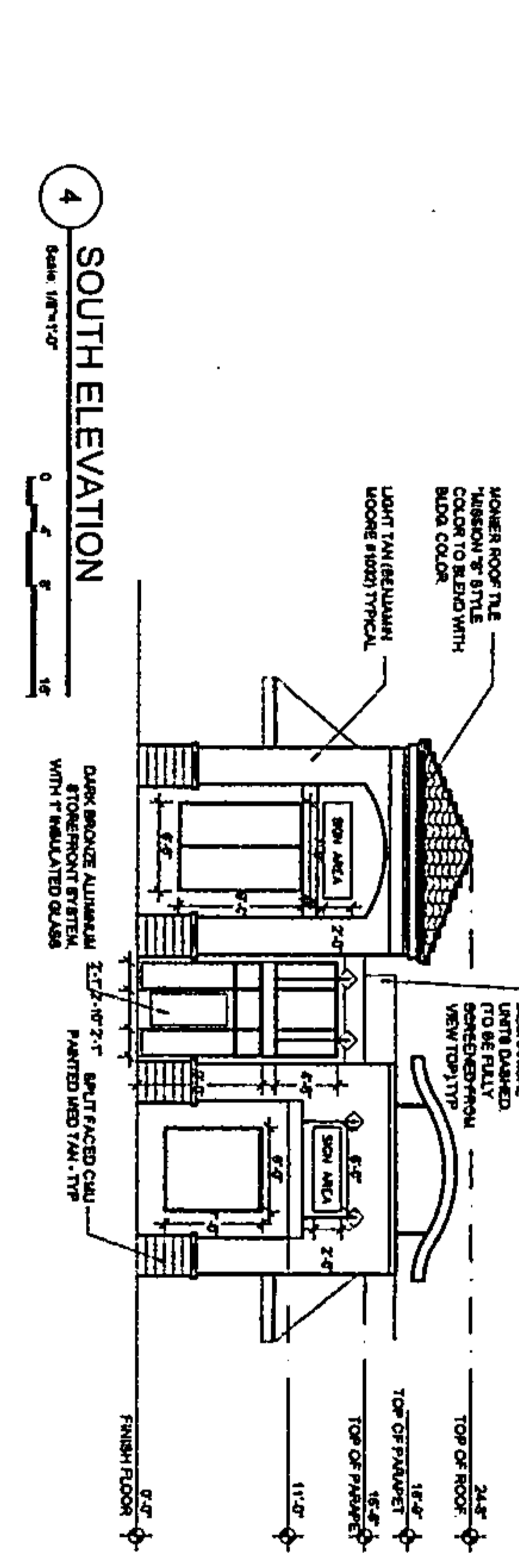
1 WEST ELEVATION
Scale: 1/8"=1'-0"



2 EAST ELEVATION
Scale: 1/8"=1'-0"



3 NORTH ELEVATION
Scale: 1/8"=1'-0"



4 SOUTH ELEVATION
Scale: 1/8"=1'-0"

REV	DATE	BY	REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	VENTANA SQUARE. (NEC) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	JOHN NO. 102
DRAWN BY	APZ
SHEET TITLE	BUILDING ELEVATIONS, PAD 2.

DATE	11/2006
SCALE	1/8" = 1'-0"
SHEET NO.	A2.5

AA DRB

APPLICATION NO. 07AA00237	PROJECT NO. 1002346
PROJECT NAME Ventana Square at Ventana Ranch	
EPC APPLICATION NO.	
APPLICANT / AGENT Lee Christianzen	PHONE NO. 801-484-3440
ZONE ATLAS PAGE B-10	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR) (AA)	

ONE STOP COMMENT FORM LOG

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED BAB	DATE 3/12/07	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED NSF	DATE 3/5/07	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED NSF	DATE 2/28/07	DATE 3/9/07
PLANS APPROVED	DATE	DATE
COMMENTS:		
• PROVIDE LARGER SITE PLAN (EXHIBIT A); CAN'T READ		
• SEE COMMENTS ON EXHIBIT B SITE PLAN MARKED 2/28/07 TRANSF.		
- 3/9/07 DIDN'T ANSWER COMMENTS DATED 2/28/07		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858 <i>rec'd 3/14</i>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
<i>agent is submitting a</i>		
<i>withdrawal letter</i>		

Revised 3/3/04

4/19/07 *OP*
 (Return form with plat / site plan)

AA DRB

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: NS ROCKY MOUNTAIN #2, LLC PHONE: 801-484-3440
 ADDRESS: 2180 S. 1300 E, Ste 410 FAX: 801-484-3455
 CITY: SALT LAKE CITY STATE UT ZIP 84106 E-MAIL: lchristiansen@novasource.net
 Proprietary interest in site: CONTRACT LAND PURCHASER List all owners: GRADY Rentals, LLC
 AGENT (if any): _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: ADMINISTRATIVE AMENDMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. G-2-C Block: _____ Unit: _____
 Subdiv. / Addn. VENTANA SQUARE AT VENTANA RANCH
 Current Zoning: SU-1 FOR RESTRICTED C2 USES Proposed zoning: _____
 Zone Atlas page(s): B-10-2 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): .7161 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. 1010 065 061 154 30702 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: PARADISE BOULEVARD AND UNIVERSE BOULEVARD (NEQ) NW
 Between: Universe NW and Calle Chamisa NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z-, V-, S-, etc.):
DRB 1002346

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE [Signature] DATE 2/26/07
 (Print) Zee Christiansen Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>07AA-00237</u>	<u>AA</u>	<u>P4</u>	<u>\$ 45.00</u>
<input checked="" type="checkbox"/> All checklists are complete				\$ _____
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #'s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #'s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 45.00</u>

Hearing date _____

[Signature] 2-28-07
 Planner-signature / date

Project # 1002346

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE

- Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Solid Waste Management Department signature on Site Plan if relevant
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Copy of the Lucc approval if the site is in an historic overlay zone
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:

- Co-location evidence as described in Zoning Code §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius

PLEASE NOTE; If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jolene Glazewski
Applicant name (print)
Jolene Glazewski 2-27-07
Applicant signature / date



Form revised June 04, October 2004

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
07AA- - 00237

Jessie v. Kora 2-28-07
Planner signature / date
Project # 1002346

ADMINISTRATIVE AMENDMENT INFORMATION SHEET

The Planning Department is authorized to approve minor changes to approved Site Development Plans. Minor changes may include expansion of building square footage not greater than 10% and/or other changes that will not have a harmful impact on adjacent property or street circulation. Refer to *Zoning Code* Section 14-16-2-22(A)(6).

Application Requirements

Administrative Amendment Applications are submitted at the Development and Building Services front counter. Each request is assigned an Application number and a Project number. Applications must include the following:

- Completed Application Form with fee submittal
- Letter of Authorization from the Property Owner (if application is submitted by an agent)
- Zone Atlas* page clearly denoting the subject site
- Copy of the most recent Official Notice of Decision pertaining to the subject site
- A letter describing the project and indicating the percent change in heated square footage (if applicable)
- 1 copy of the previously approved plan set (typically the DRB-approved set)
- 5 copies of the revised plan, including all relevant plan sheets. The plans must be clearly dated and labeled as revisions and all proposed changes must be clearly denoted. Changes to parking calculations, landscaping calculations and similar plan elements must be clearly indicated.
- Materials pertinent to Notification (if applicable, see below)

Notification

Amendments proposing a building expansion of more than 2% of the approved square footage and/or amendments which may substantially aggrieve* any person require notification by the applicant. In such instances, the *Zoning Code* requires notification to 2 officers of all Recognized Neighborhood Associations that bound or are adjacent to the subject site and notification to adjacent property owners. The term "adjacent," as it relates to Administrative Amendments, includes property contiguous to the subject site and property that would be contiguous if not for public rights-of-way. Therefore, properties across an alley or street from the subject site are considered adjacent. When notification is required, the following materials must be submitted with the application:

- Developer Inquiry Sheet (completed) from the Office of Neighborhood Coordination (924-3914) plus Notifying Letter (copy) and Certified Mail Receipts
- Zone Atlas* page highlighting adjacent properties (for which notice has been provided), List of adjacent property owners receiving notice, Notifying Letter (copy) and Certified Mail Receipts

Ownership of adjacent property can be determined by using the Bernalillo County Assessor's web site:

www.bernco.gov/assessor. **Notification letters** must clearly describe the project, identify the location of the subject property, provide a phone number for a project contact person, and indicate the phone number for the City Planning Department: 924-3860. The reverse side of this form provides a sample notification letter. Failure to adequately notify may result in delay, denial or forfeiture of approval.

Process / Timeframe

Upon receipt of a complete application, the request is reviewed by Hydrology, Utility Development, and Transportation Planning before final review by the Development Review Division. Oftentimes the Zoning Enforcement office also reviews the submittal, particularly if the request relates to signage. The entire process typically takes 10 or more business days.

Appeal

There is a 15-day period from the date of the final approval for filing appeals with the Planning Department. Appeals to Administrative Amendments are made to the City Council through the Land Use Hearing Officer.

* Applicants who have reason to believe that one or more persons may be substantially aggrieved by a proposed Administrative Amendment shall comply with the Notification process specified above. Significant delays will result if the Development Review Division determines that adequate Notification has not been provided.

NOTES: Administrative Amendments to Site Development Plans

First of all, it is essential to understand the original site plan approval process. The vast majority of AA's are based on site plans originally approved by the EPC. Almost every site development plan approved by the EPC includes conditions of approval that must be met. These conditions are reviewed in the DRB process before applicants can proceed to building permit. In reviewing AA's, our office rarely approves changes to site plans that are contrary to the conditions established by the EPC.

Submittal must include a Notice of Decision from the EPC. Sometimes the Notice cannot be found with a really old approval, say from the 1960s or 1970s. But in most cases, a Notice of Decision is available in our file room.

The applications must be complete at the time of submittal. If there are any questions about what is required, call Bob or Russell. In many instances, applications have been submitted for over a week before we review them. Applicant's become annoyed when asked to submit new information well after the submittal has been accepted.

Submittal must include a copy of the approved site development plan for building permit. The best thing is for applicants to submit all 4 sheets of the approved plan set. But there are times when Submittal of only the last AA approval sheet is rarely satisfactory.

Submittal of a DRB decision is only useful if the project was first approved by the DRB. This is rarely the case. The EPC has approval authority for most sites for which site plans are required.

It appears to me that (at least in some cases) applicants have not received the handout I prepared on Administrative Amendments. This information will help insure that a complete submittal is made.

NOTICE:

Sample Notification Letter
To be sent by Certified Mail by the applicant

Date

To

Address

City/State/Zip

Dear Property Owner / Neighborhood Association Representative:

This letter is to inform you that application for an Administrative Amendment to an approved Site Development Plan will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about Date. The City's review process typically takes 5-10 business days to complete.

The specifics of the project are as follows:

The letter should address the following:

- *IDENTIFY THE LOCATION OF REQUEST & SIZE OF THE SITE*
- *PROVIDE THE LEGAL DESCRIPTION OF THE PROPERTY*
- *DESCRIBE THE REQUEST: WHAT IS BEING CHANGED OR EXPANDED AND WHY*
- *INDICATE HOW THE CHANGES WILL COMPLEMENT THE EXISTING (OR APPROVED) DEVELOPMENT*
- *ADDRESS ANY ITEMS THAT MIGHT BE OF CONCERN TO NEARBY OWNERS / RESIDENTS*

If you have questions about this proposal, please call me at _____.

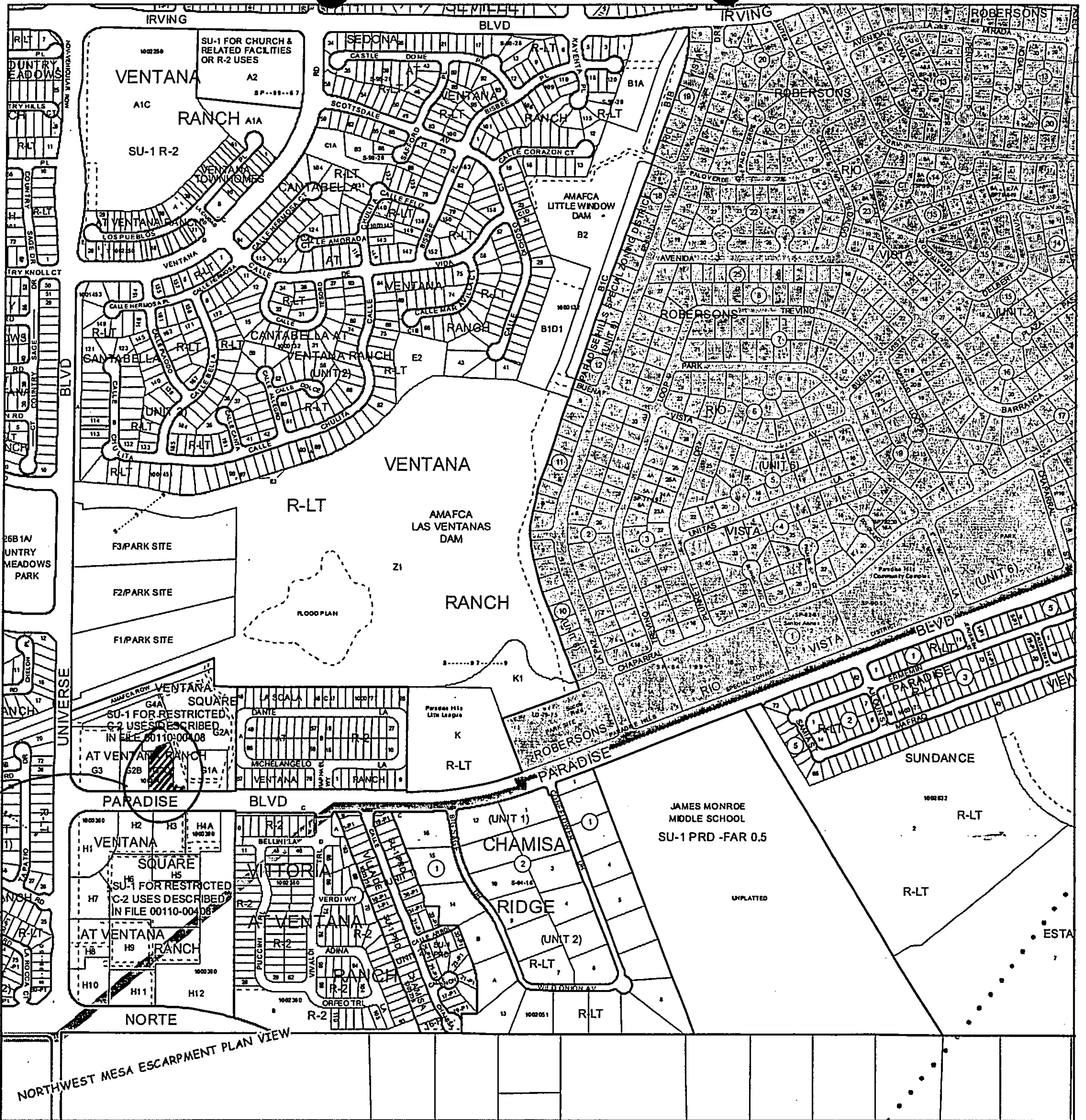
This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact Fran Tapia, Development Review Division, at 924-3860. Ms. Tapia can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the Administrative Amendment process and your opportunity for input.

Sincerely,

Name

Title

Company



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Zone Atlas Page:
B-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

Map amended through: 5/1/2006

February 21, 2007

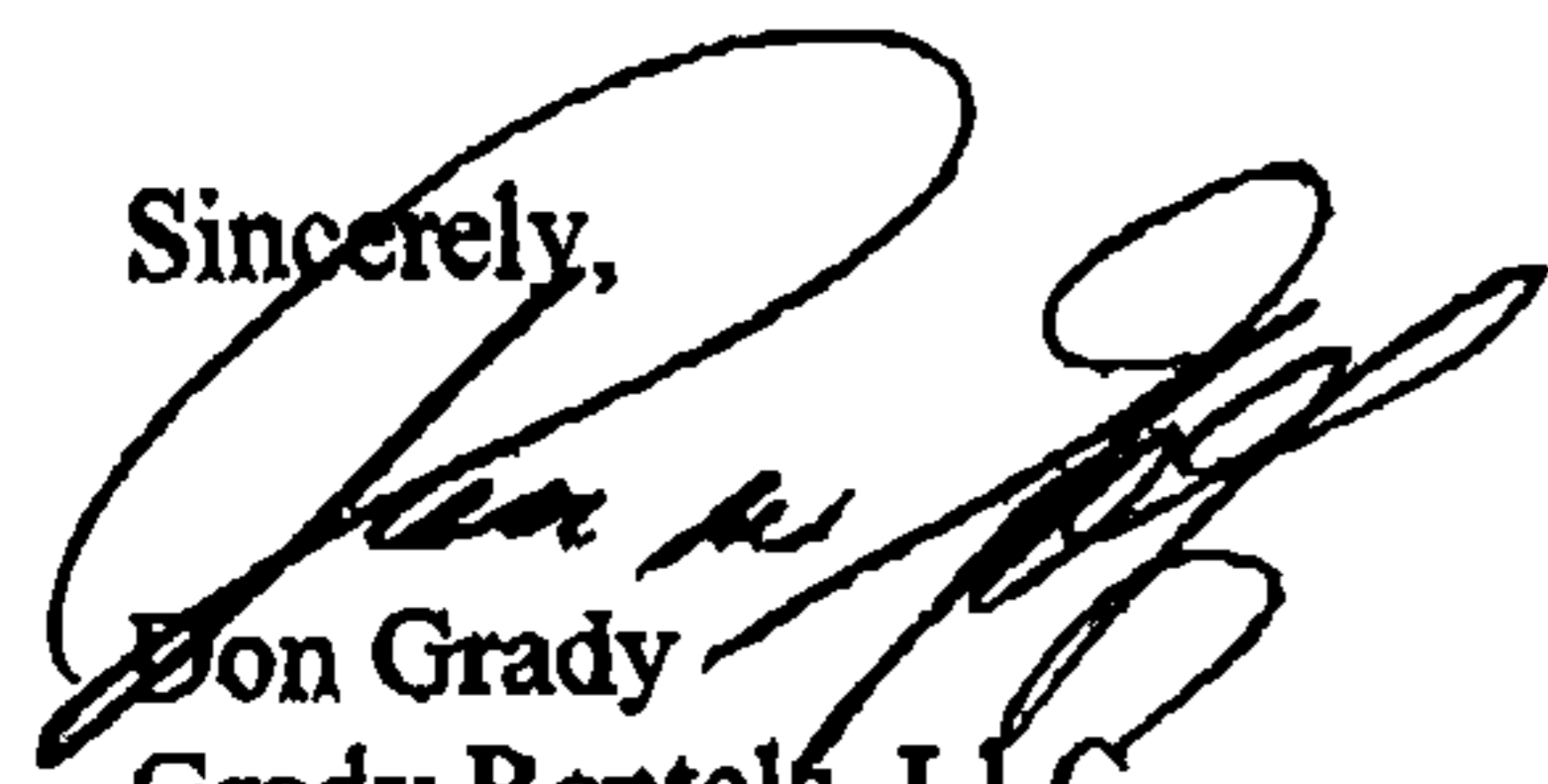
City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, NM 87103

Re: Authorization for Administrative Amendment: Project #1002346

Gentlemen,

NS Rocky Mountain #2, LLC is the contract purchaser for Lot G-2-C, which is currently owned by Grady Rentals, LLC. I hereby authorize NS Rocky Mountain #2 and its agents to submit an application to the City of Albuquerque Planning Department for proposed modifications to the approved Site Plan.

Sincerely,



Don Grady
Grady Rentals, LLC.
PO Box 30801
Albuquerque, NM 87190



ROCKY MOUNTAIN

February 26, 2007

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, NM 87103

Re: Administrative Amendment: Project #1002346

NS Rocky Mountain #2, LLC is the contract purchaser for Lot G-2-C, which is currently owned by Grady Rentals, LLC. NS Rocky Mountain desires to build a fast food restaurant with a drive-through as shown on the attached site plan. Attached please find three Exhibits: Exhibit A is the approved Site Plan by the City of Albuquerque; Exhibit B is the Proposed Site Plan with Current Conditions; Exhibit C is the Proposed Site Plan with Proposed Paradise Access. Below are the proposed modifications to the approved Site Plan:

1. Reduced the building size to approximately 1,536 square feet. The approved Site Plan currently shows an approximately 1,975 square foot building.

2. Relocated the drive-through window to the west side. Relocating the drive-through window to the west side increases the number of cars that may be queued as well as minimizing traffic congestion for the proposed road connection. Per the DPM, minimum queueing is 5 cars or 100'.

3. Reconfigured parking and landscaping as shown on the attached site plan. A pedestrian connection has been provided from the building sidewalk to the concrete walkway located at the north end of the property. A bicycle rack has also been provided.

4. Continued the south drive aisle to the east. The approved Site Plan provides continuous cross-access running parallel to Paradise Boulevard starting on Lot G-3-A (Walgreen's), continuing through Lot G-2-B and ending on G-2-C with landscaping and a bicycle path and then resuming through lot G-1-A. Our request is that the road be made continuous from Lot G-3-A through G-1-A. The owner of Lot G-1-A has agreed to allow this cross access. We believe that this proposed drive will relieve congestion by providing direct access to Lot G-1-A which was a condition of the Official Notice of Decision (September 16, 2005, Condition 5e). It will also allow direct access to Lot G-2-C from the easterly curb cut on Paradise Boulevard, as opposed to traffic turning in at the westerly curb cut next to Walgreens or accessing the site from the north. The proposed drive will also provide better traffic flow to the easterly curb cut located on Paradise Boulevard.

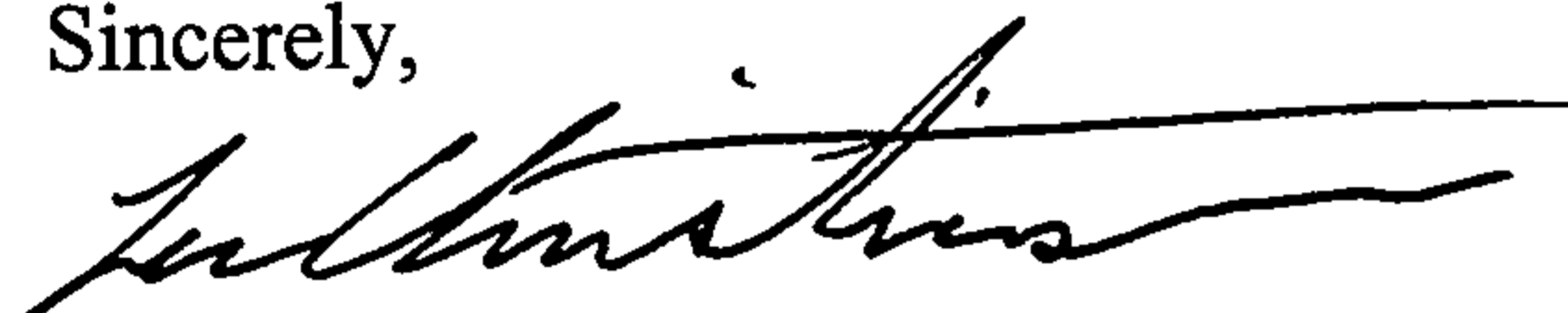
In order to mitigate traffic congestion at this proposed drive, the drive-through window was relocated to the west side of the building. This drive-through provides queueing for approximately 12 cars, 7 more cars than the 5 cars required by the DPM. The entire drive-through is approximately 275 feet with the DPM requirement being 100 feet.

Since the proposed drive will be across the existing bike path and walkway, striping has been provided for this area. The striping will identify this area to motorists as a pedestrian and bicycle crossing.

Thank you for your consideration of this amendment.

If you have any questions about this proposal, please call me at 801-484-3440.

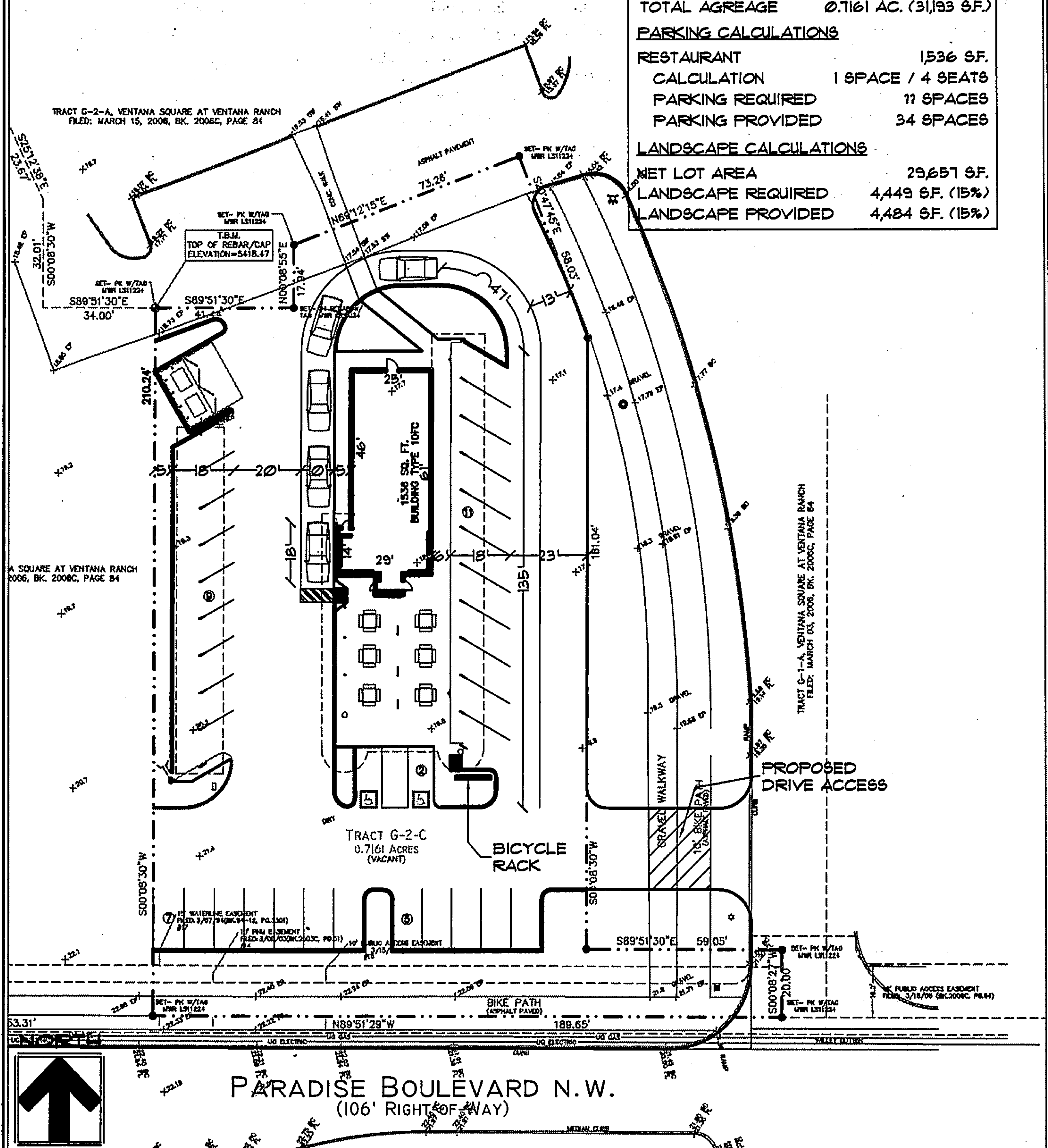
Sincerely,

A handwritten signature in black ink, appearing to read 'Lee Christiansen', written in a cursive style.

Lee Christiansen

(PROPOSED SITE PLAN WITH PROPOSED PARADISE ACCESS)

PARCEL INFORMATION	
PARCEL ID NUMBER	TRACT G-2-B
TOTAL AGREAGE	0.7161 AC. (31,193 SF.)
PARKING CALCULATIONS	
RESTAURANT	1,536 SF.
CALCULATION	1 SPACE / 4 SEATS
PARKING REQUIRED	17 SPACES
PARKING PROVIDED	34 SPACES
LANDSCAPE CALCULATIONS	
NET LOT AREA	29,657 SF.
LANDSCAPE REQUIRED	4,449 SF. (15%)
LANDSCAPE PROVIDED	4,484 SF. (15%)



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 Suite 410
 Salt Lake City, UT 84106
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 801.484.3455 FAX
 www.novasource.net

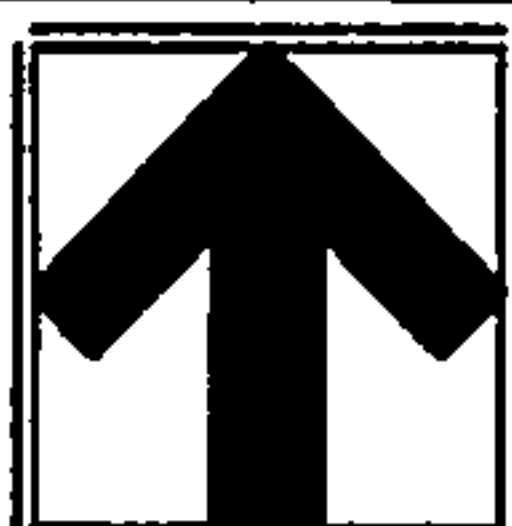
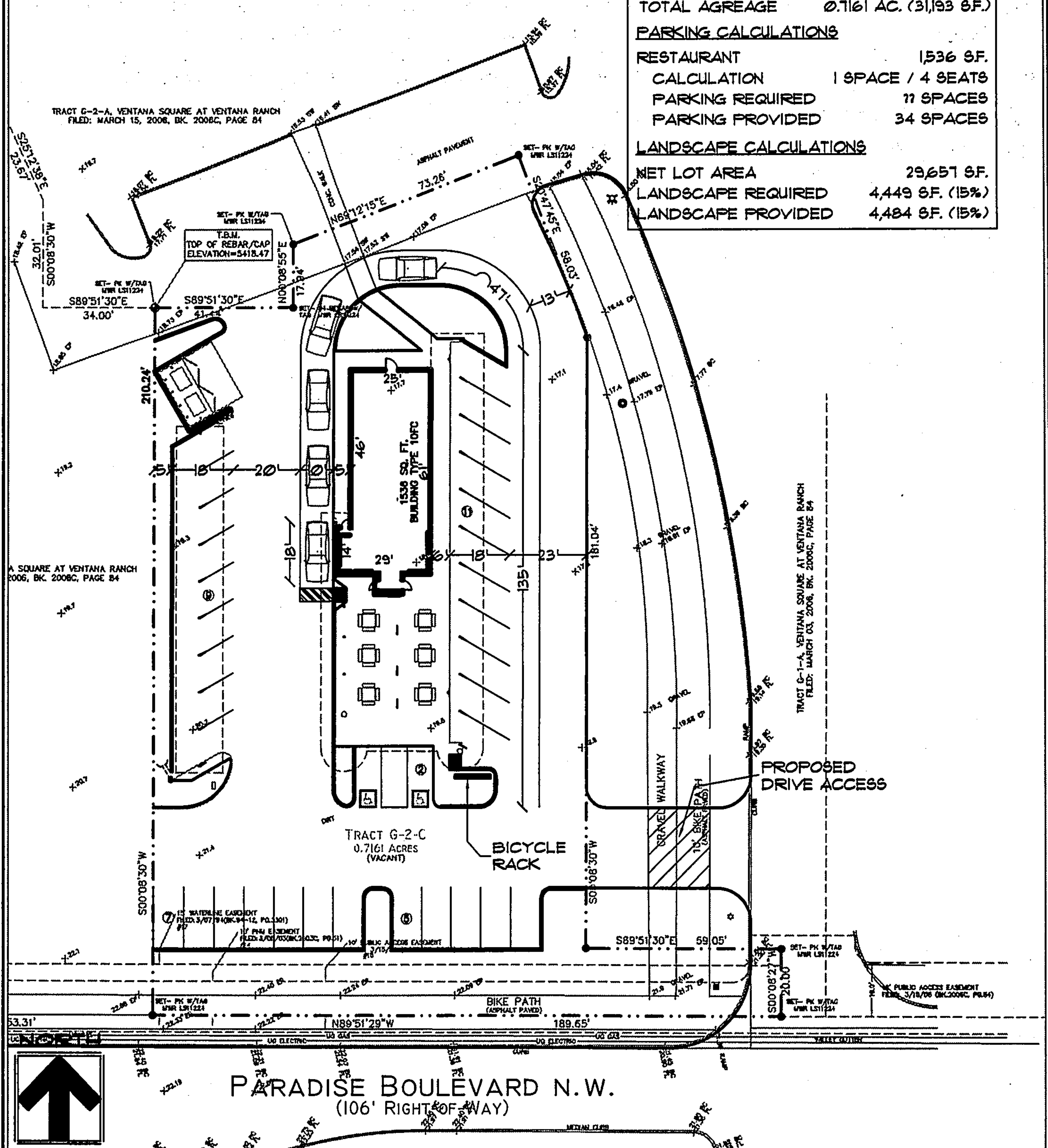
VENTANA SQUARE: LOT G2-B
 PARADISE BLVD. & UNIVERSE BLVD.
 ALBUQUERQUE
 G:\Projectal

CREATED: 2/22/2007
 SCALE: 1" = 40'
 DRAWN BY: RKJ
 REVISIONS:

Exhibit
C
 2/22/2007

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PARADISE BOULEVARD N.W.
(106' RIGHT OF WAY)

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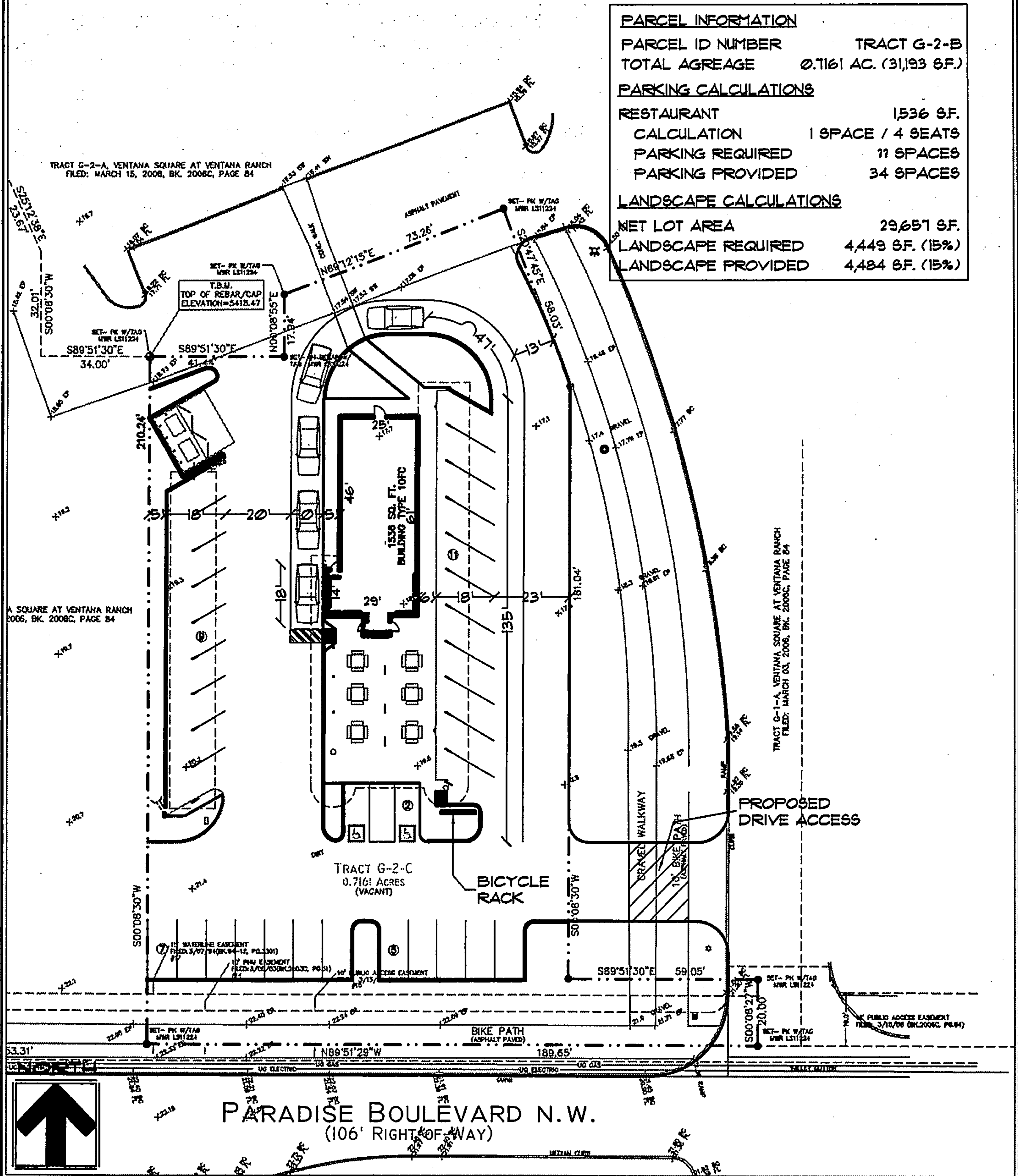
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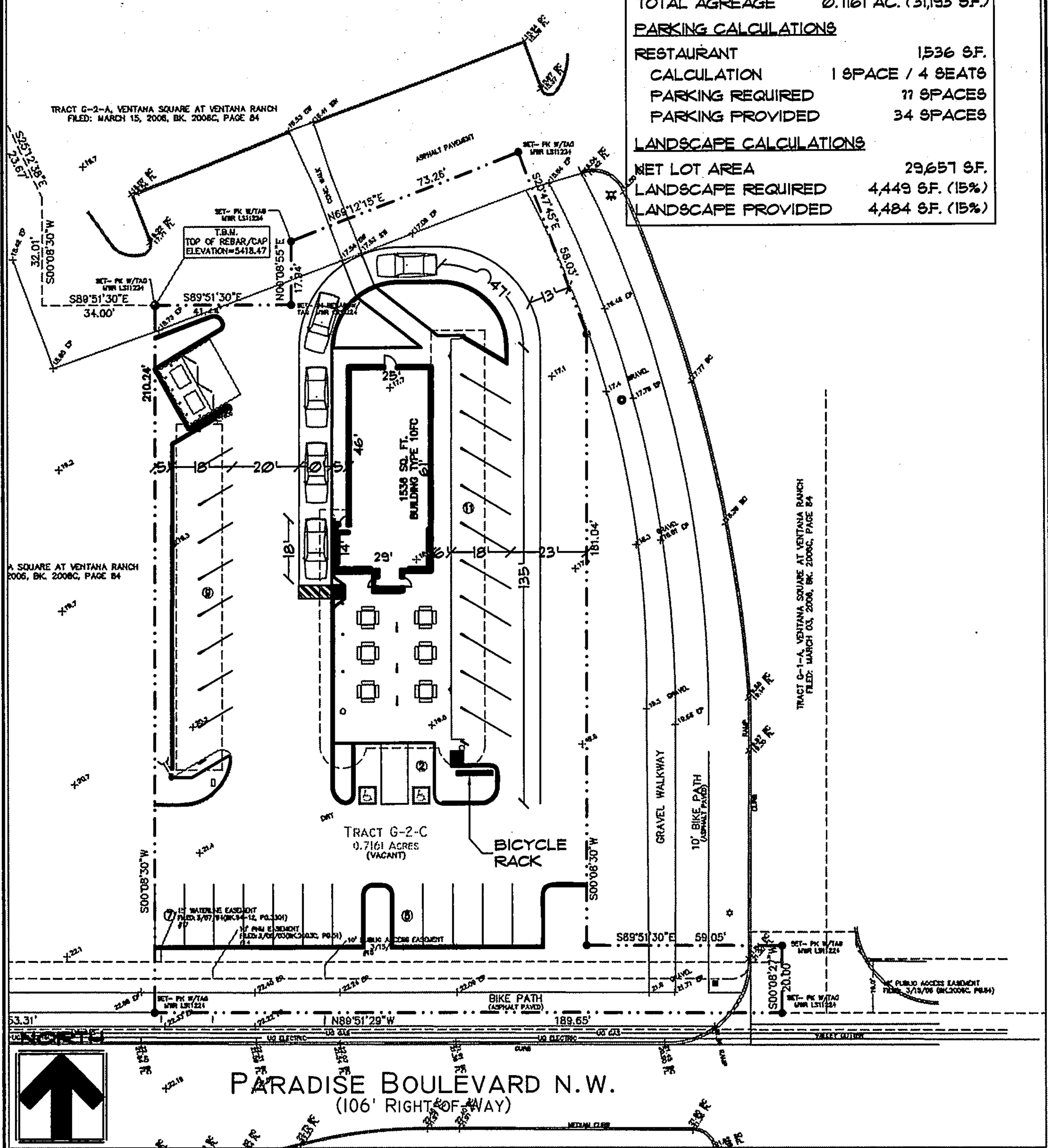
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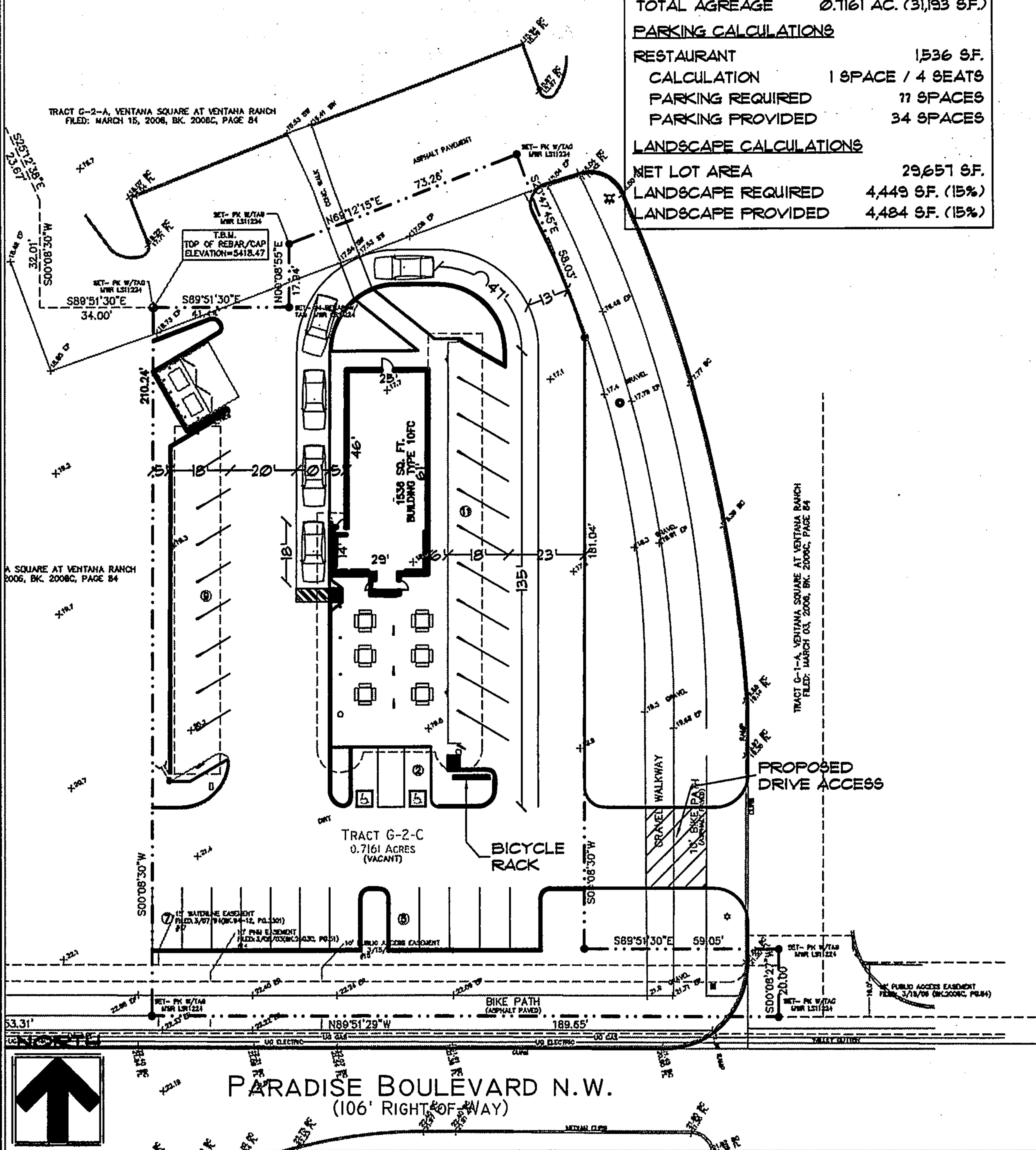
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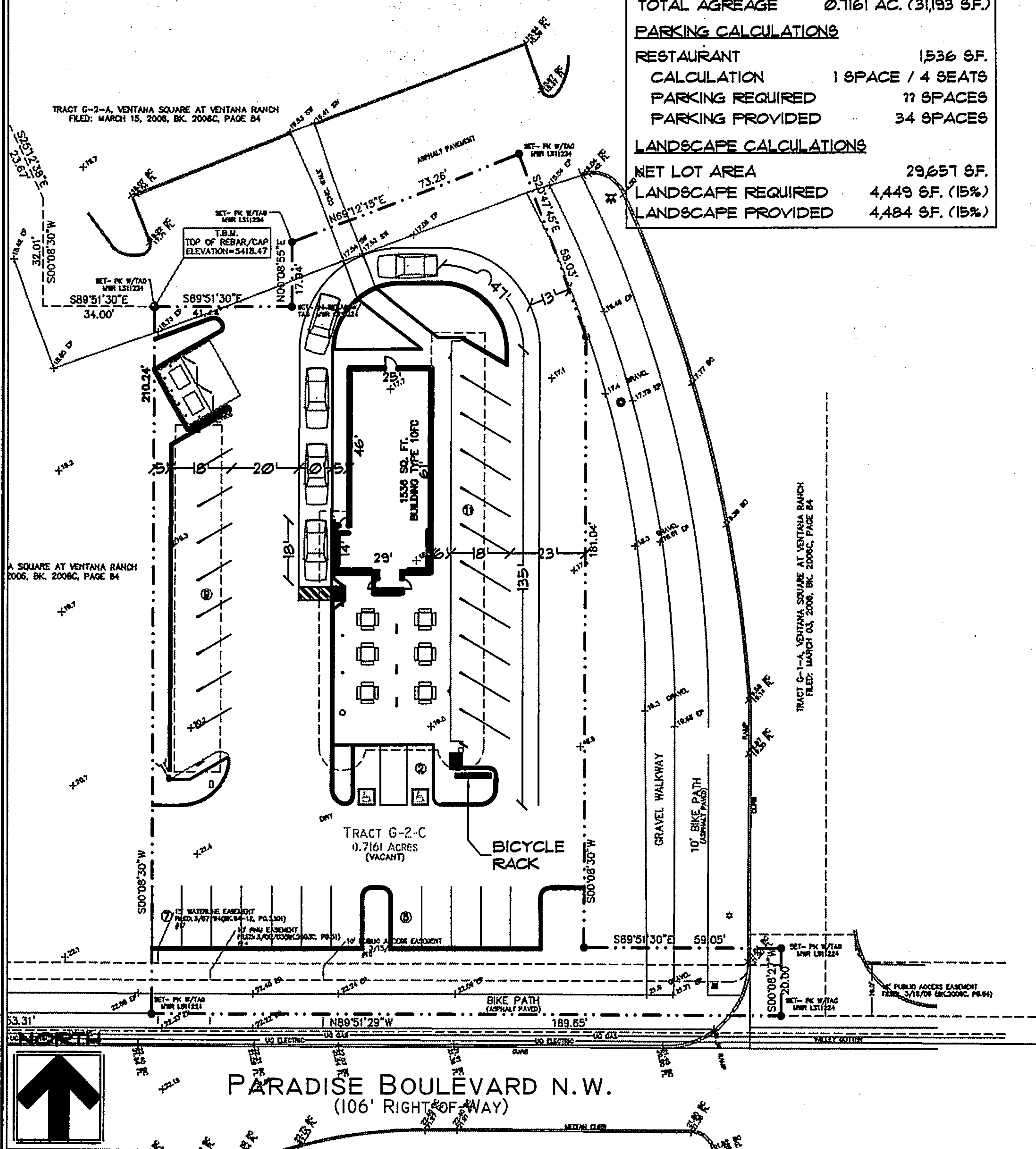
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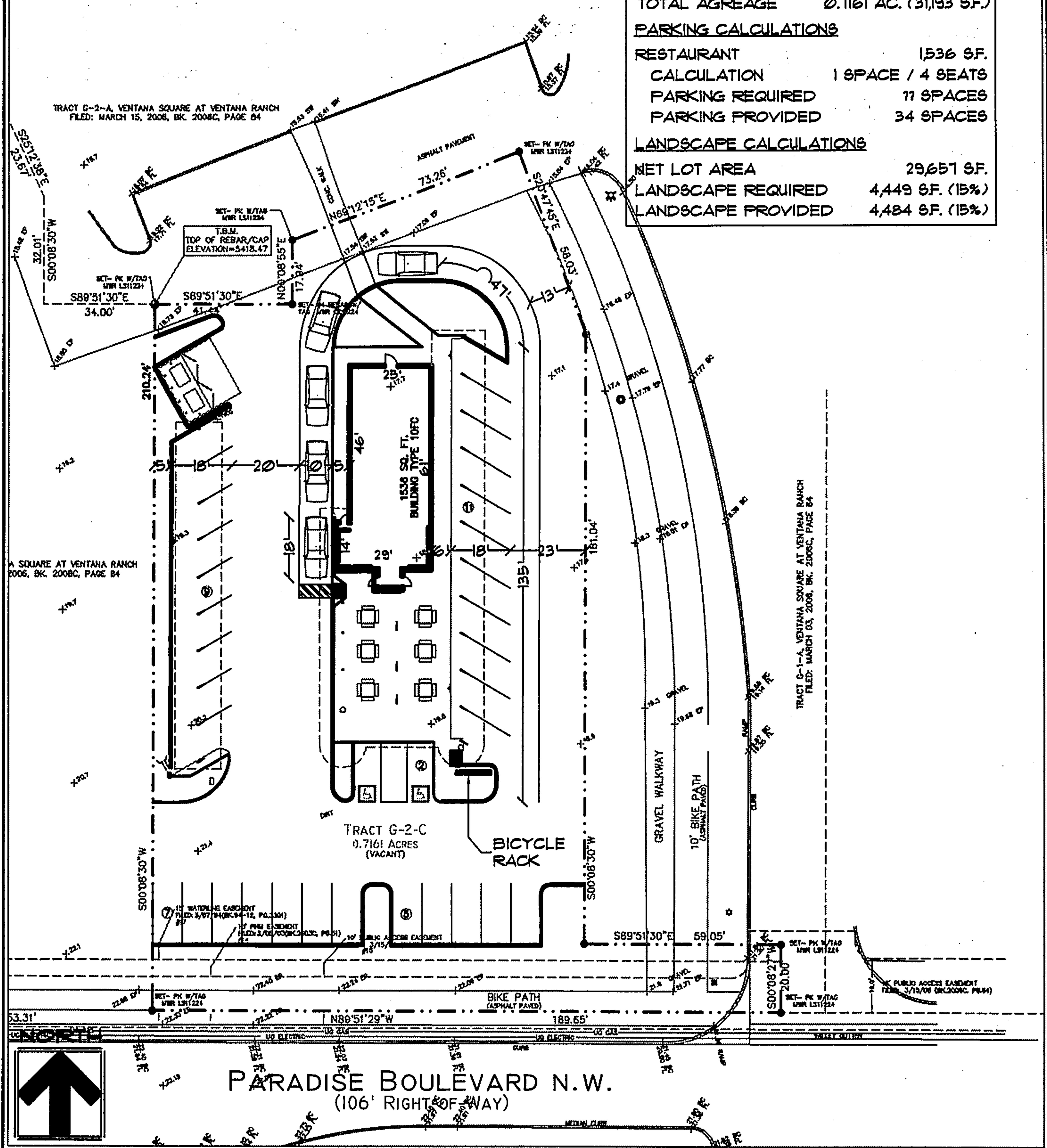
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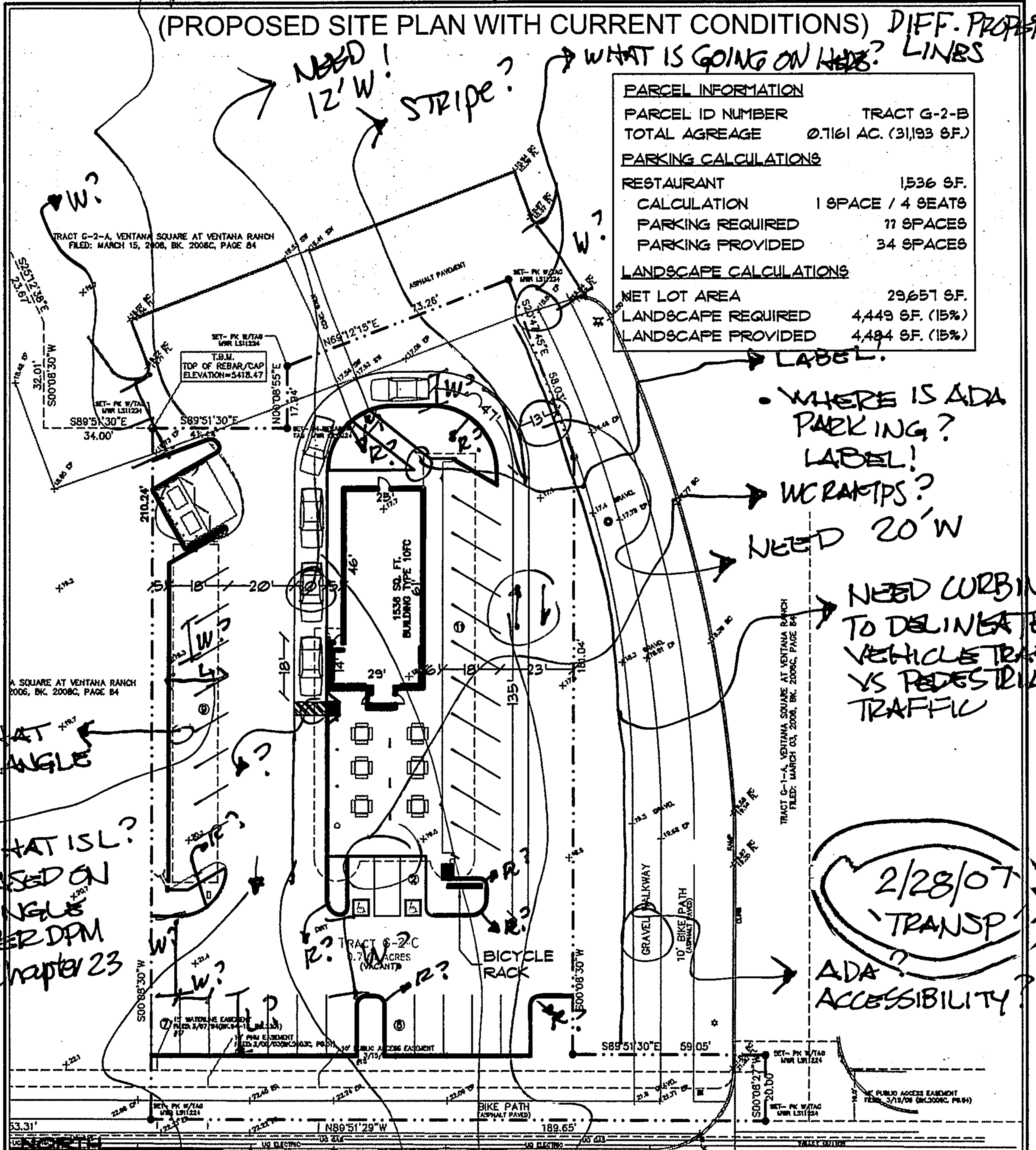
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 SCALE: 1" = 40'
 DRAWN BY: RKJ
 REVISIONS:

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B
 2/22/2007

NEED SOLID WASTE APPROVAL

DO YOU HAVE X-ALLEYS EASEMENTS FOR

(PROPOSED SITE PLAN WITH CURRENT CONDITIONS) DIFF. PROPERTY



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LABEL!

WHERE IS ADA PARKING? LABEL!

WC RAMPS? LABEL!

NEED 20' W

NEED CURBING TO DELINEATE VEHICLE TRAFFIC VS PEDESTRIAN TRAFFIC

ADA? ACCESSIBILITY?

2/28/07 TRANSP

ADA? ACCESSIBILITY?

1-WAY OR 2-WAY ORIENTATION! PROVIDE SIGNING & STRIPING



PARADISE BOULEVARD N.W. (106' RIGHT OF WAY)

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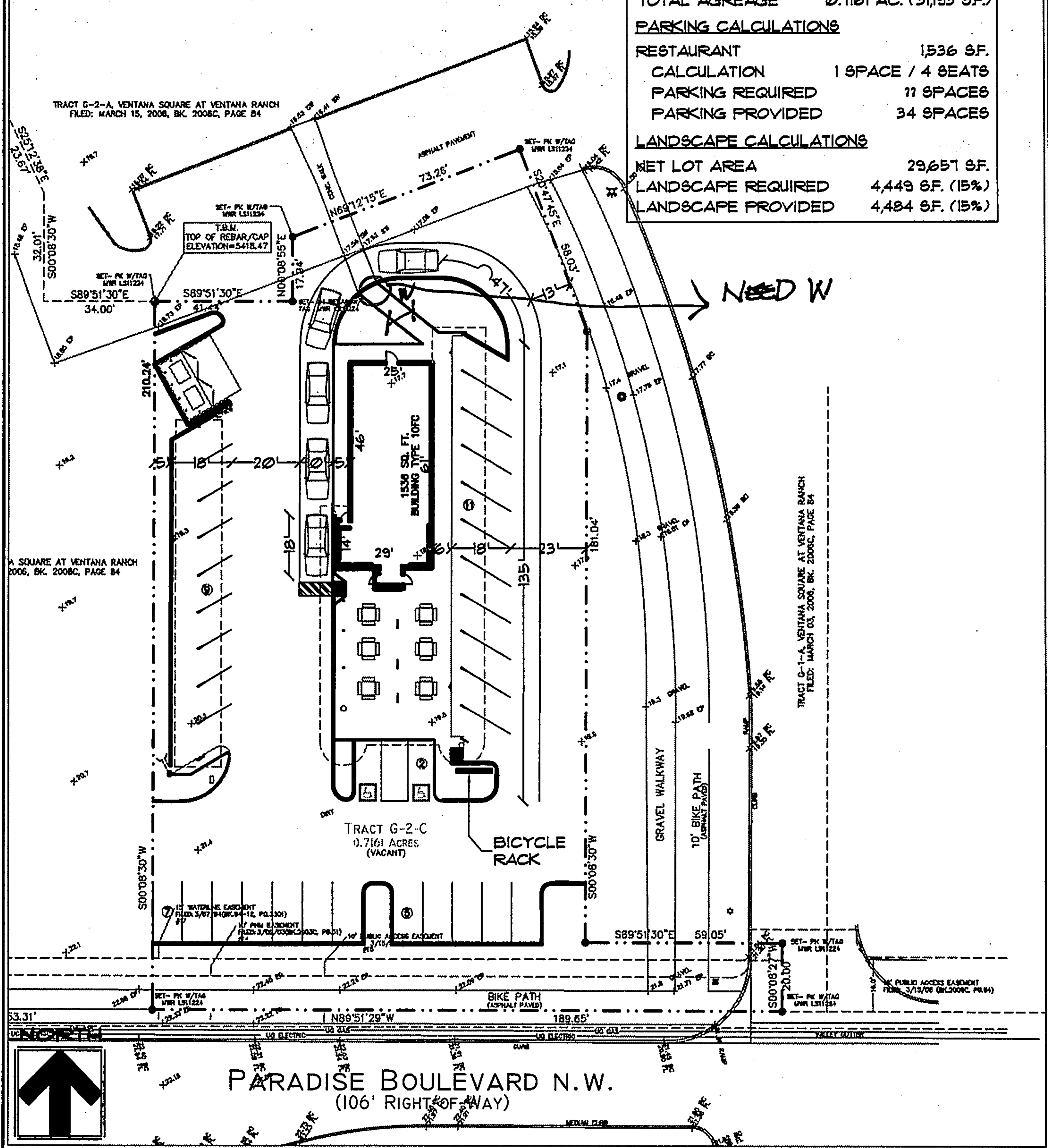
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 SCALE: 1" = 40'
 DRAWN BY: RKJ
 REVISIONS:

TO DEPT. OF EXHIBIT
 YOU NEED 100 OF QUE PRIOR TO ORDER
 2/22/2007

ADD ARROW STRIPING WINDOW

(PROPOSED SITE PLAN WITH CURRENT CONDITIONS)

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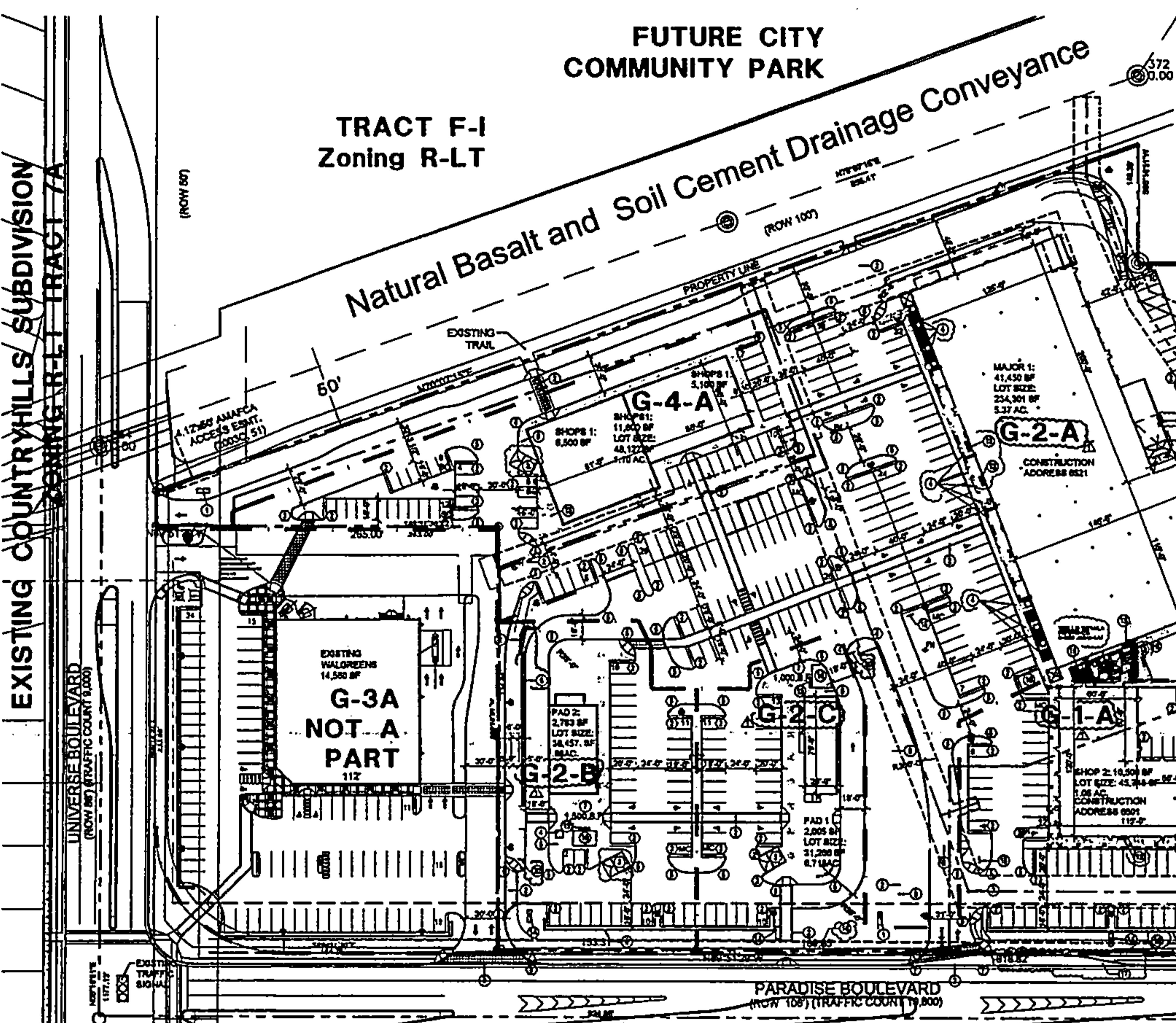


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LEGEND

EXISTING LIGHT POST F.H. 2"

TRACT Z AMAFCA DRAINAGE FACILITY

ADMINISTRATIVE AMENDMENT

FILE NO. 2002-0000-0000-0000

DATE

LEGAL DESCRIPTION

TRACTS G AT VENTANA SQUARE

CURRENT ZONING

C-2 TO SU-1 FOR C-2

TOTAL ACRES

8.13 ACRES G1, G2, G4, G6, G8

VALGREENS 3.55

TOTAL GROSS 12.88 AC.

GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURAL

General architectural character for pad structures to follow the general design concept depicted on elevations of major stores and shops. pad buildings will be constructed with a commercial or retail facade design. The main building walls must be colored to match color benjamin moore (J2) benji and (J1) ben1032. If the building facade finish floor that area will also be covered with color #2. structures are to be predominantly flat-roofed however pitched building areas such as porches or small extensions of building functions adjacent to the major building mass may have steep roofs. These roofs are to be shed type minimum the ead and the high point of the roof must be the main building wall below the top of the main building parapet. Architectural entry elements may extend above the parapet wall top-to-bottom. The roof finish of the main building shall be finished with a color to match the exterior finish of the main building. The roof finish of the main building shall be finished with a color to match the exterior finish of the main building. The roof finish of the main building shall be finished with a color to match the exterior finish of the main building.

PAD ARCHITECTURAL DESIGN STANDARDS

Buildings shall be constructed to meet the standards for all units, each pad to follow building elevations provided. The base 3'-4" of the area of vertical walls shall be LIME STAR SEMI-GLOSS DRY STACK STONE. Landscape garden walls to be wall post block to match. All architectural features with square pattern design to be finished with white glass block within the square pattern to be finished with a color to match the exterior finish of the main building. The roof finish of the main building shall be finished with a color to match the exterior finish of the main building. The roof finish of the main building shall be finished with a color to match the exterior finish of the main building.

MECHANICAL EQUIPMENT SCREENING

All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be screened from the residential area horizontal screening per the attached conceptual sketch is required.

COLOR PALETTE

Color #1 light tan benjamin moore #1032

Color #2 medium dark tan benjamin moore #1031

Color #3 marbled terra cotta concrete the roofing, trim & accents (not available) (MORNER BARCELONA CLIFFSIDE, MD).

SPECIAL SURFACING

Drive up pick up orders to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE

Except as noted under drawings all signage will be internally illuminated individual type lettering not to exceed 1 percent of the wall area of each building elevation. No portion of the wall area of the shop building, letters are to be back lit. No exposed neon. Neon must be white solid opaque faced metal sheath lettering can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.

LANDSCAPING

Landscape of the pads will be from the same landscaping palette and concept as provided on the master landscaping plan.

AVAILITIES

Signage permitted above window areas. Awnings with painted or etched corporate logo or signage are permitted provided the area does not exceed 10 percent of the area of building wall. Signage of awnings must be from permanent mounted fixtures located above the awning. Accent colors on awnings are to be compatible with the general color palette and signage of the proposed building colors to be provided with each submit.

GLAZING

Glazing signage is prohibited. Clear and bronze tinted glass is permitted.

MECHANICAL EQUIPMENT SCREENING

All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be screened from the residential area horizontal screening per the attached conceptual sketch is required.

COLOR PALETTE

Color #1 light tan benjamin moore #1032

Color #2 medium dark tan benjamin moore #1031

Color #3 marbled terra cotta concrete the roofing, trim & accents (not available) (MORNER BARCELONA CLIFFSIDE, MD).

SPECIAL SURFACING

Drive up pick up orders to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE

Except as noted under drawings all signage will be internally illuminated individual type lettering not to exceed 1 percent of the wall area of each building elevation. No portion of the wall area of the shop building, letters are to be back lit. No exposed neon. Neon must be white solid opaque faced metal sheath lettering can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.

LANDSCAPING

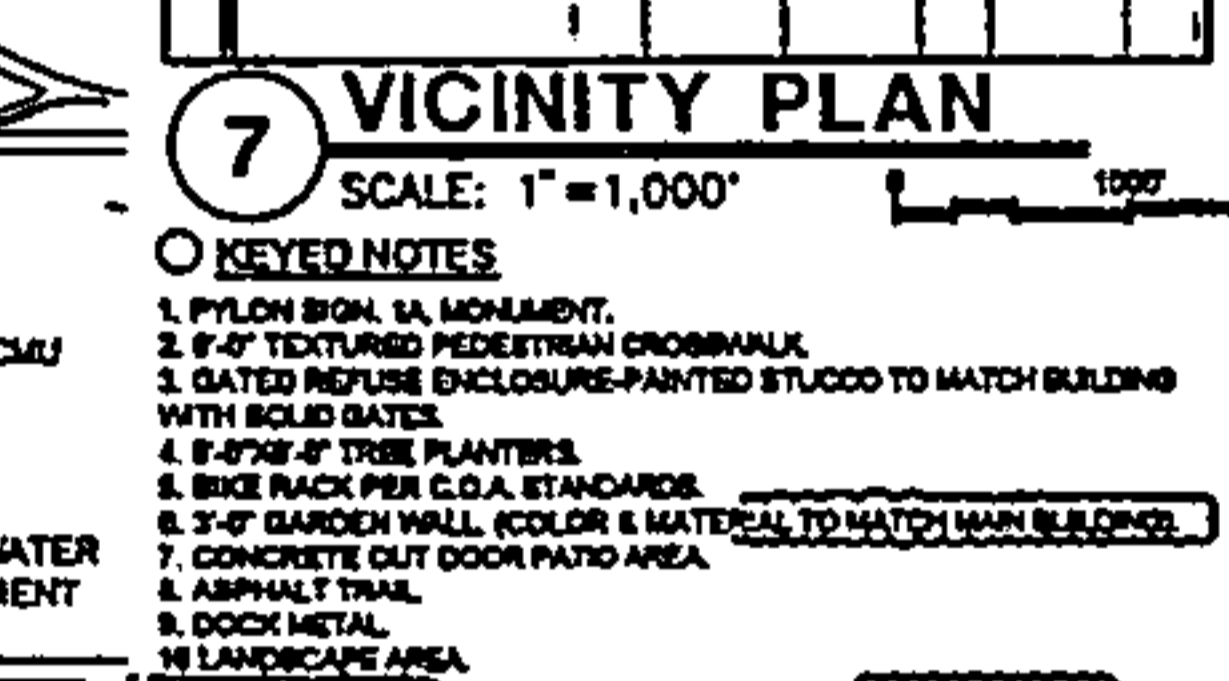
Landscape of the pads will be from the same landscaping palette and concept as provided on the master landscaping plan.

AVAILITIES

Signage permitted above window areas. Awnings with painted or etched corporate logo or signage are permitted provided the area does not exceed 10 percent of the area of building wall. Signage of awnings must be from permanent mounted fixtures located above the awning. Accent colors on awnings are to be compatible with the general color palette and signage of the proposed building colors to be provided with each submit.

GLAZING

Glazing signage is prohibited. Clear and bronze tinted glass is permitted.



KEY NOTES

1. PAVEN BORN 1/4" INCHMENT.
2. 2'-0" TEXTURED PEDESTRIAN CROSSWALK.
3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH RECESSED GATES.
4. 2'-0" X 2'-0" TREE PLANTERS.
5. BIKE RACK PER C.D.A. STANDARDS.
6. 2'-0" GARDEN WALL, COLOR & MATERIAL TO MATCH MAIN BUILDING.
7. CONCRETE CUT OUT PAVED AREA.
8. ASPHALT TRAIL.
9. 2'-0" METAL.
10. LANDSCAPE AREA.
11. TRANSFORMER.
12. NOT USED.
13. FINISHES.
14. 12"x12" MOTORCYCLE SIGN PER CITY REGULATIONS.
15. SIGN SLOW DOWN DUE TO PEOPLE CROSSING.
16. 15'-0" SCREEN WALL.
17. RIGHT TURN LANE.
18. EXISTING MULTI-PURPOSE TRAIL (PER LAND RANGE BREVWAY SYSTEMS MAP).
19. TRAIL.
20. DO NOT ENTER (SIGN).

PROJECT NUMBER:

APPLICATION NUMBER:

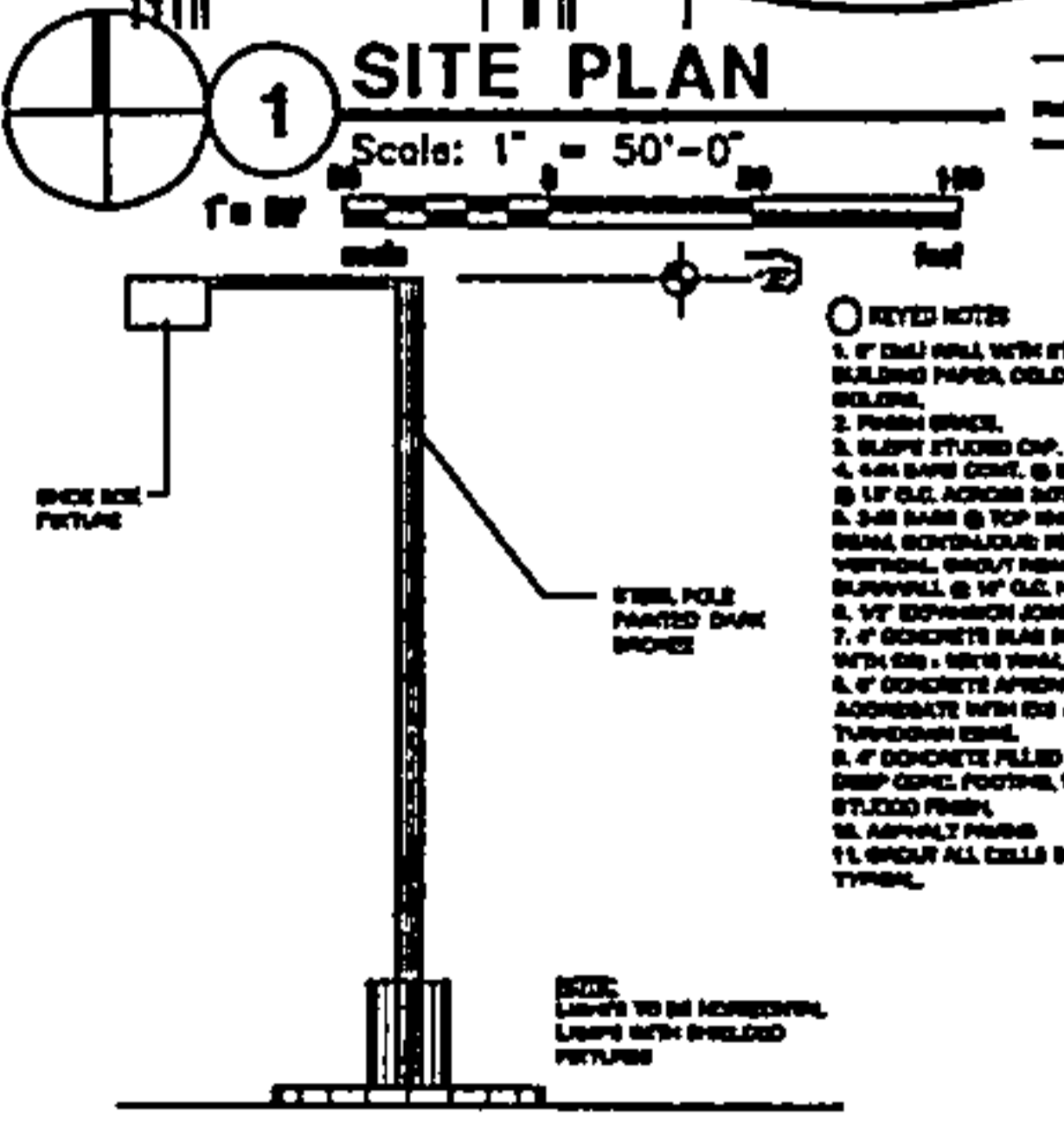
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [] and the findings and conditions in the Official Modification of Decision are satisfied.

Is an infrastructure (if required) () YES () NO If yes, then a set of approved MEC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DR. SEC. DEVELOPMENT PLAN SIGNATURE APPROVAL:

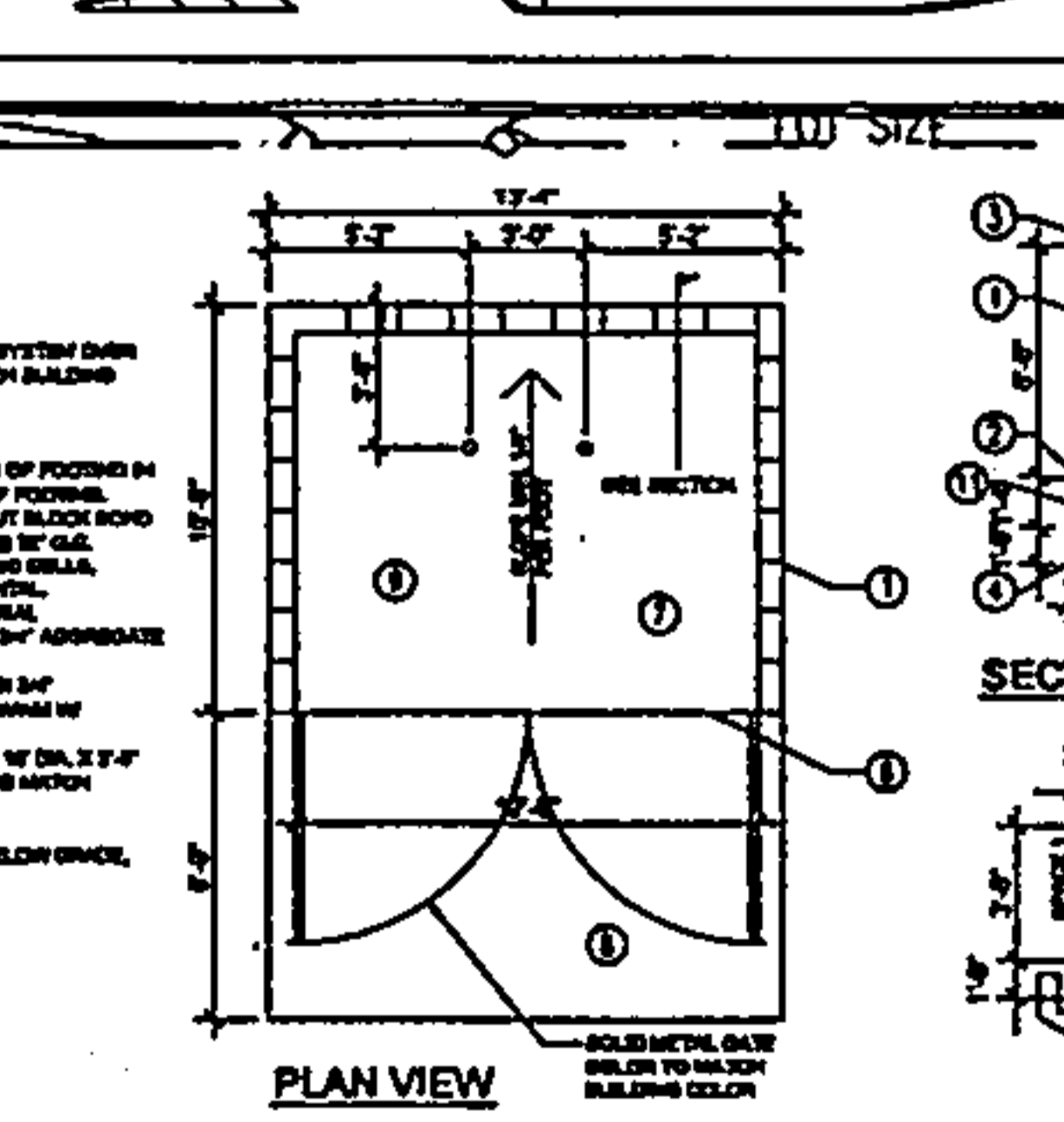
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

• Environmental Health, if necessary



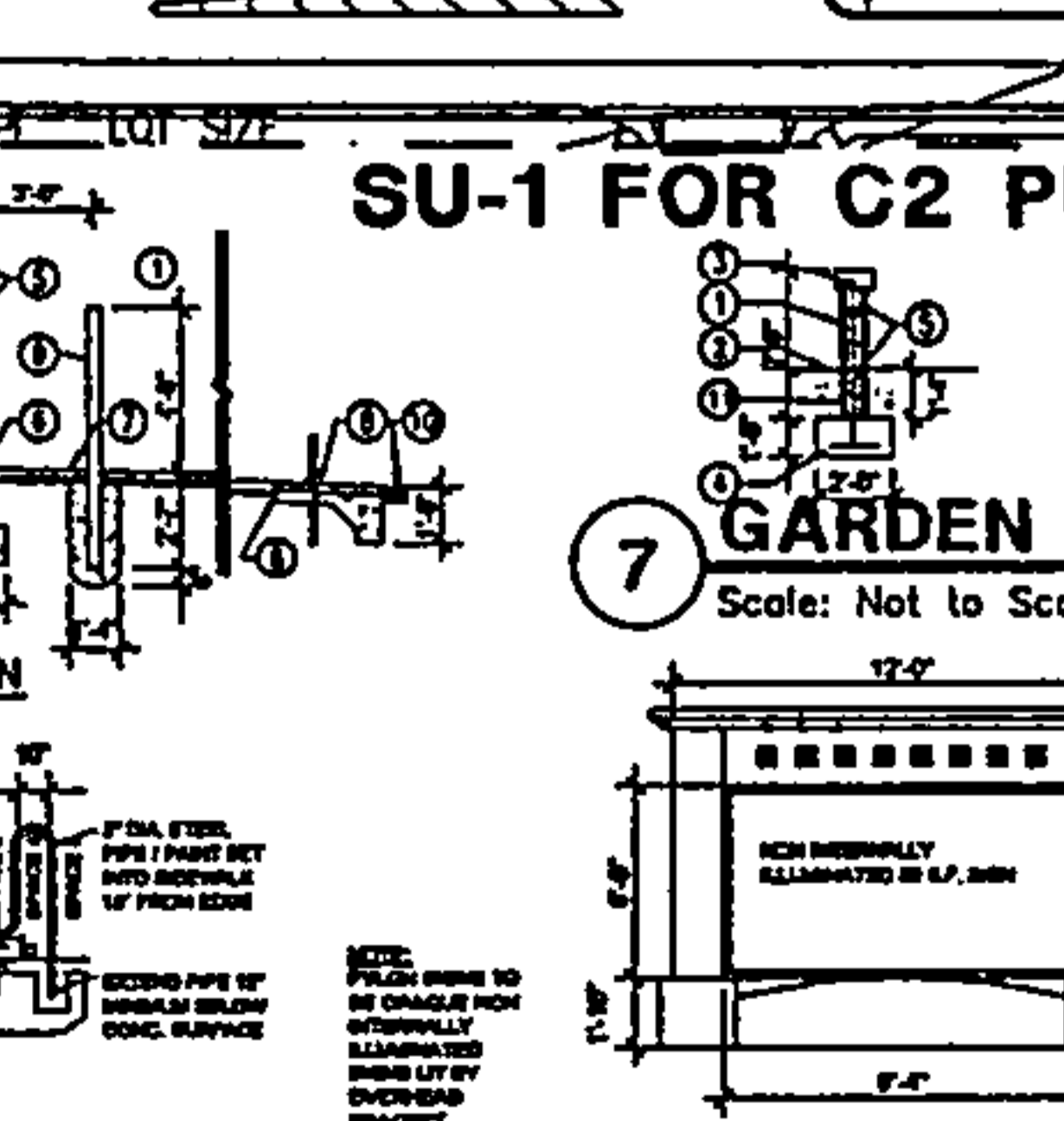
3 SITE LIGHTING

Scale: Not to Scale



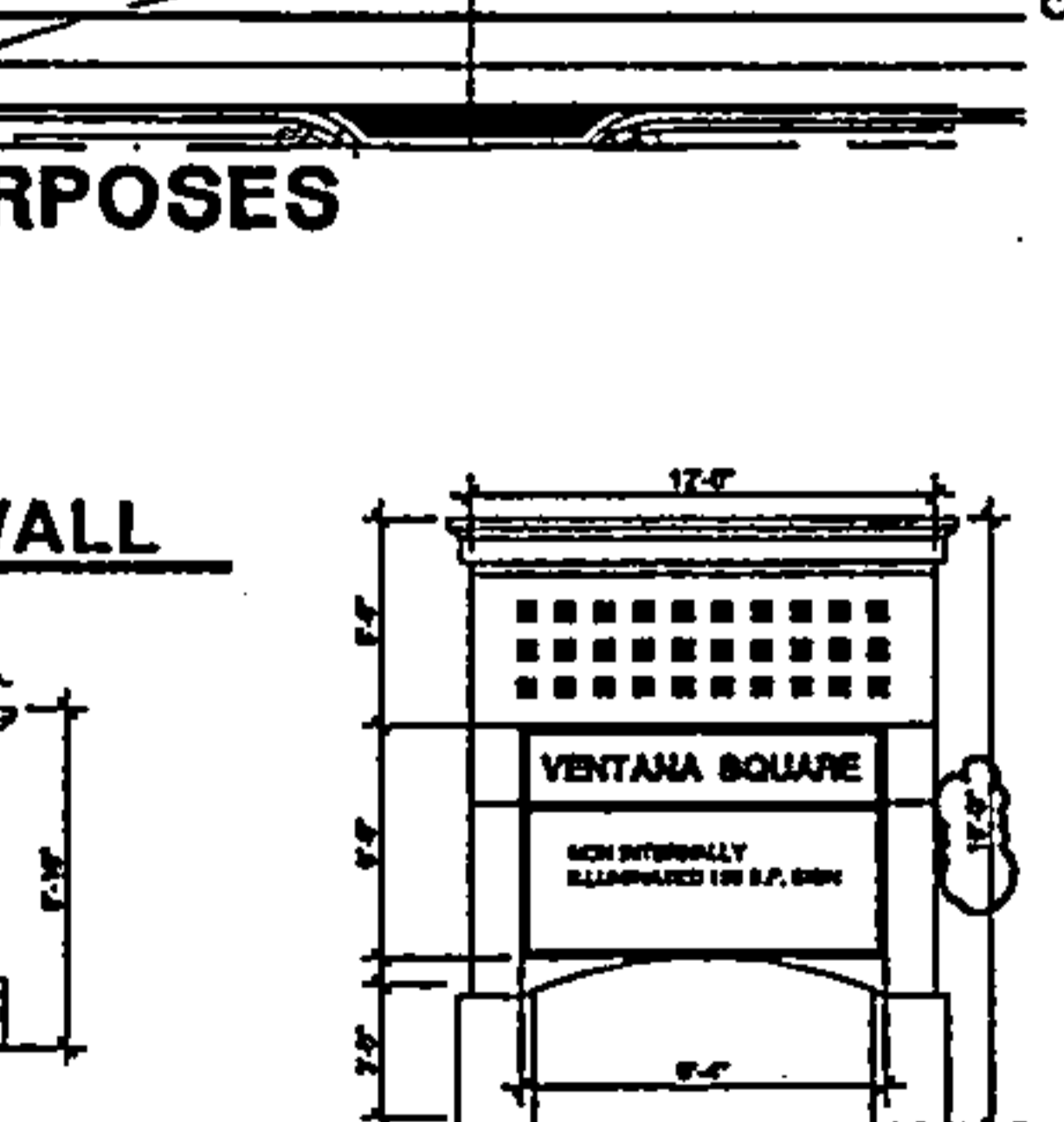
4 REFUSE ENCLOSURE

Scale: Not to Scale



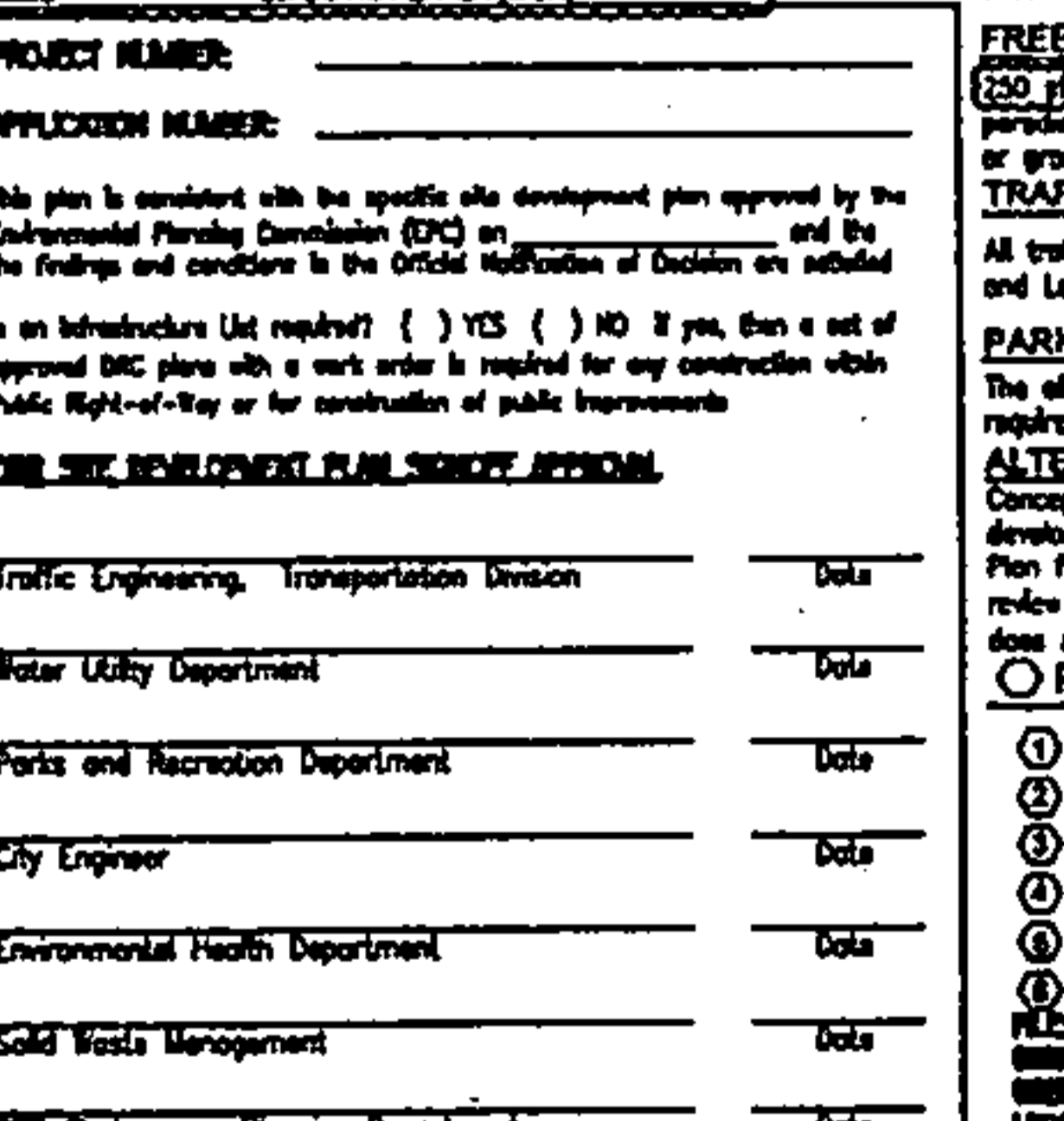
2 BIKE RACK

Scale: Not to Scale



5 MONUMENT SIGN

Scale: Not to Scale



6 MONUMENT SIGN

Scale: Not to Scale

1 SITE PLAN

Scale: 1" = 50'-0"

PLAN VIEW

SECTION

7 GARDEN WALL

Scale: Not to Scale

7 VICINITY PLAN

SCALE: 1" = 1,000'

EXISTING COUNTRY HILLS SUBDIVISION

UNIVERSE BOULEVARD (NOW 107 TRAFFIC COURT 1000)

PARADISE BOULEVARD (NOW 108 TRAFFIC COURT 1000)

VENTANA SQUARE

DATE: 11/15/2008

SCALE: 1" = 50'

PROJECT NUMBER: 2008-0000-0000-0000

PROJECT NAME: VENTANA SQUARE

PROJECT TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 11/15/2008

SCALE: A1.1

BY: G-1A & G-2

Exhibit A-Approved Site Plan

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.

2325 SAN PEDRO NE, SUITE 2-B

ALBUQUERQUE, NEW MEXICO 87110

PHONE (505) 884-9110 FAX (505) 837-9877

REVISION

REV	DATE	BY	DESCRIPTION
1			
2			
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STATE OF NEW MEXICO

RECORDED

GEORGE R. RAINHART

NO. 580

EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-L TRACT 7A

FUTURE CITY COMMUNITY PARK
Natural Basalt and Soil Cement Drainage Conveyance

TRACT F-1
Zoning R-LT

TRACT Z AMAFCA DRAINAGE FACILITY

LEGEND
EXISTING LIGHT POST
F.H. 24

BUILDING AREA & PARKING CALCULATIONS
MAJOR 1: 41,450 SF. BUILDING
LOT SIZE = 234,301 SF OR 5.38 AC.
41,450 SF / 1 SPACE PER 300 SF FOR THE FIRST 15,000 SF OF NET LEASABLE AREA 75 CARS.
1 SPACE PER 250 SF FOR THE REST 26,450 SF OF NET LEASABLE AREA 106 CARS
= 181 CARS
SPACES PROVIDED 181 SPACES
FAR = .17
OCCUPANT LOAD 41,450 / 30 = 1,382

SHOPS 1: 11,850 SF. BUILDING
LOT SIZE = 46,127 SF OR 1.06 AC.
11,850 SF / 200 = 59 SPACES
SPACES PROVIDED 59 SPACES
FAR = .24
OCCUPANT LOAD 11,850 / 30 = 395

SHOPS 2: 10,500 SF. BUILDING
LOT SIZE = 31,286 SF OR .718 AC.
10,500 SF / 200 = 52 SPACES
SPACES PROVIDED 52 SPACES
FAR = .27
OCCUPANT LOAD 10,500 / 30 = 350

SHOPS 3: 2,763 SF. BUILDING
LOT SIZE = 12,748 SF OR 0.29 AC.
2,763 SF / 200 = 14 SPACES
SPACES PROVIDED 14 SPACES
FAR = .22
OCCUPANT LOAD 2,763 / 30 = 92

MAJOR 2: 41,450 SF. BUILDING
LOT SIZE = 234,301 SF
5.37 AC.

SHOPS 1: 11,850 SF. BUILDING
LOT SIZE = 46,127 SF
1.06 AC.

SHOPS 2: 10,500 SF. BUILDING
LOT SIZE = 31,286 SF
0.718 AC.

SHOPS 3: 2,763 SF. BUILDING
LOT SIZE = 12,748 SF
0.29 AC.

CONSTRUCTION ADDRESS 6021

ADMINISTRATIVE AMENDMENT
FILE NO. 000000-000000-000000
APPROVED BY: [Signature]
DATE: [Date]

LEGAL DESCRIPTION
TRACTS G AT VENTANA SQUARE
CURRENT ZONING
C-2 TO SU-1 FOR C-2
TOTAL ACRES
9.13 ACRES G1, G2, G4, G5, G6
WALGREENS 3.55
TOTAL GROSS 12.68 AC.
GENERAL ARCHITECTURAL DESIGN REQUIREMENTS
GENERAL ARCHITECTURAL
General architectural character for post structures is to follow the general design concept depicted on elevations of major stores and shops. Post buildings will be constructed with a conventional or split face end date form. The main building walls must be colored to match local Benjamin Moore (7) (7) and (11) (11) 10132. If the building extends below finish floor that area will also be covered with color #2. Structures are to be substantially flat-roofed however partial building areas such as porches or small extensions of building facades adjacent to the main building mass may have sloped roofs. These roofs are to be shed type in plan and the high point of the roof must be at the main building wall. The top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and are to be finished with the same material as the main building roof. Entry roofs are to be finished with the same material as the main building roof. Entry roofs are to be finished with the same material as the main building roof.

PAD ARCHITECTURAL DESIGN STANDARDS
Site lighting for pad structures is to follow the general design concept depicted on elevations of major stores and shops. Post buildings will be constructed with a conventional or split face end date form. The main building walls must be colored to match local Benjamin Moore (7) (7) and (11) (11) 10132. If the building extends below finish floor that area will also be covered with color #2. Structures are to be substantially flat-roofed however partial building areas such as porches or small extensions of building facades adjacent to the main building mass may have sloped roofs. These roofs are to be shed type in plan and the high point of the roof must be at the main building wall. The top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and are to be finished with the same material as the main building roof. Entry roofs are to be finished with the same material as the main building roof. Entry roofs are to be finished with the same material as the main building roof.

Mechanical Equipment Screening
All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be screened from the residential area horizontal screening per the attached conceptual site plan is required.

COLOR PALETTE
Color #1: Light tan Benjamin Moore #1032
Color #2: Medium dark tan Benjamin Moore #1031
Color #3: Maroon terra cotta Benjamin Moore #1030 (match red/white) (MORSE BARCELONA CL7300, RED)

SPECIAL BUFFERING
Drive up pick up windows to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE
Except as noted under signage all signage will be internally illuminated individual type letters not to exceed 4 percent of the wall area of each building elevation or less percent of the wall area of the shop building. Letters are to be black. No second neon. Neon must be with solid opaque faced metal channel lettering on the signs are prohibited. Any special signs associated with a specific tenant are to be provided in a non-illuminated location for specific approval.

LANDSCAPING
Landscaping of the pads will be from the same landscaping palette and concept as provided on the master landscaping plan.

AWARINGS
Awarings are permitted above window areas. Awarings with polished or embossed corporate logos or signage are permitted provided the area when added to all other awarings does not exceed 8 percent of the area of building wall. Illustration of awarings must be from pendant mounted fixtures located above the awarings. Accent colors on awarings are to be compatible with the general color palette and samples of the proposed awarings colors are provided with each submitted.

GLAZING
Minimum glazing is required. Clear and bronze tinted glass is permitted.

SERVICE AREAS
Service areas such as refuse locations and connectors are to be totally screened from view of the adjacent residential area, public right-of-way and the adjacent monument area. Free-standing dumpster and connector locations are to be gated. Screening material to match building wall color and material REFER TO CONDITION P. OF 2000 DRS.

LIGHTING
Site lighting for pad structures is to match the site lighting provided for the main parking area. Pad site lighting not to exceed 20' to fixture. Main parking area lighting not to exceed 20' to fixture. Exposed, low voltage light fixtures are prohibited. All lamps must be shielded above the fixture. Maximum light level under full complex to be 501 candelas, from totally recessed lighting.

FREE STANDING SIGNAGE
60" H x 12" W architecturally coordinated signs are permitted, one each of the structure and one of the structure. Signs are to be placed at least 50' from building or group of pad buildings to have an 50' of monument sign.

TRAFFIC REQUIREMENTS:
All traffic requirements have been met per May 31, 1996 agreement between the city and Los Veranoes United partnership.

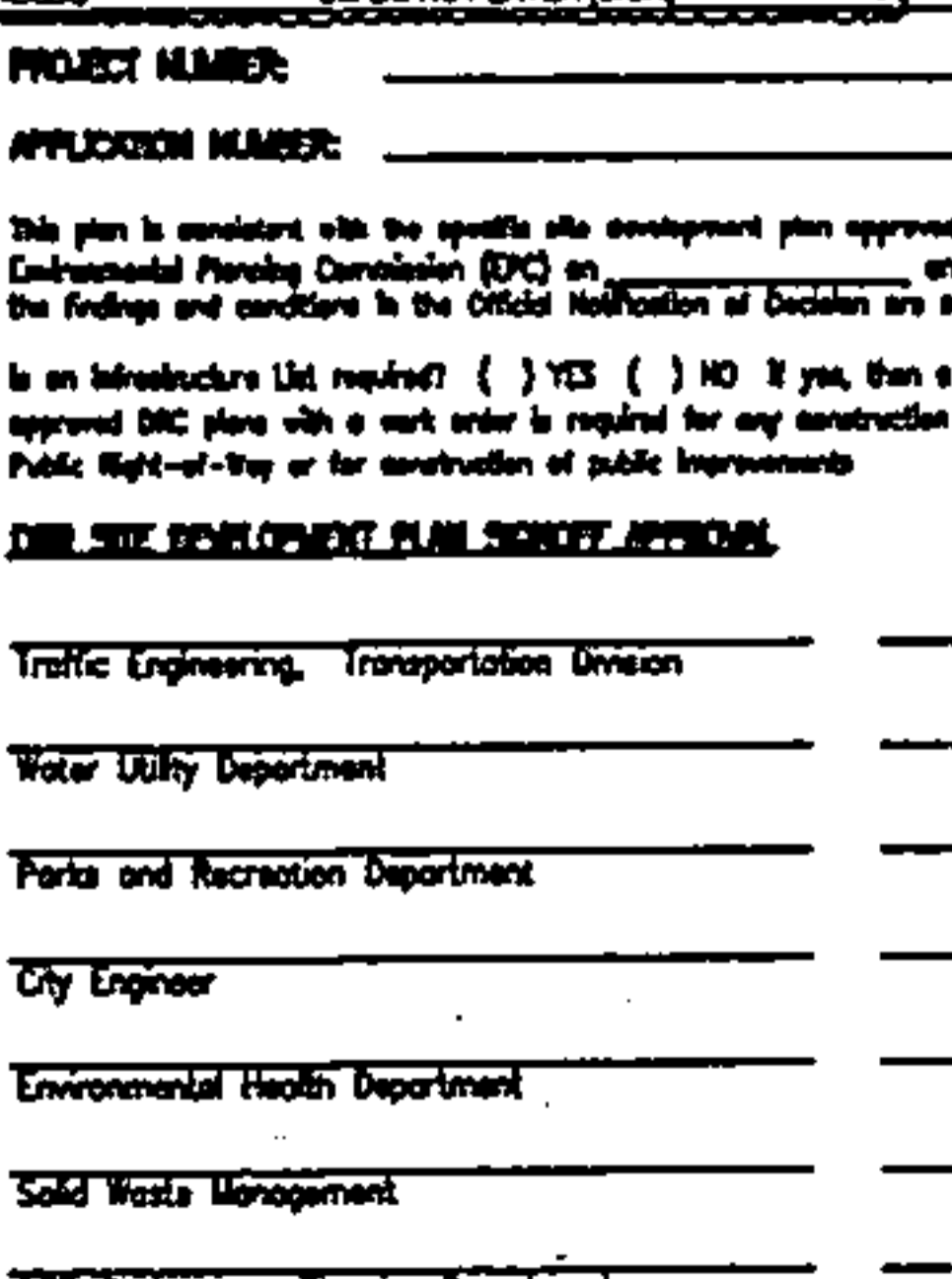
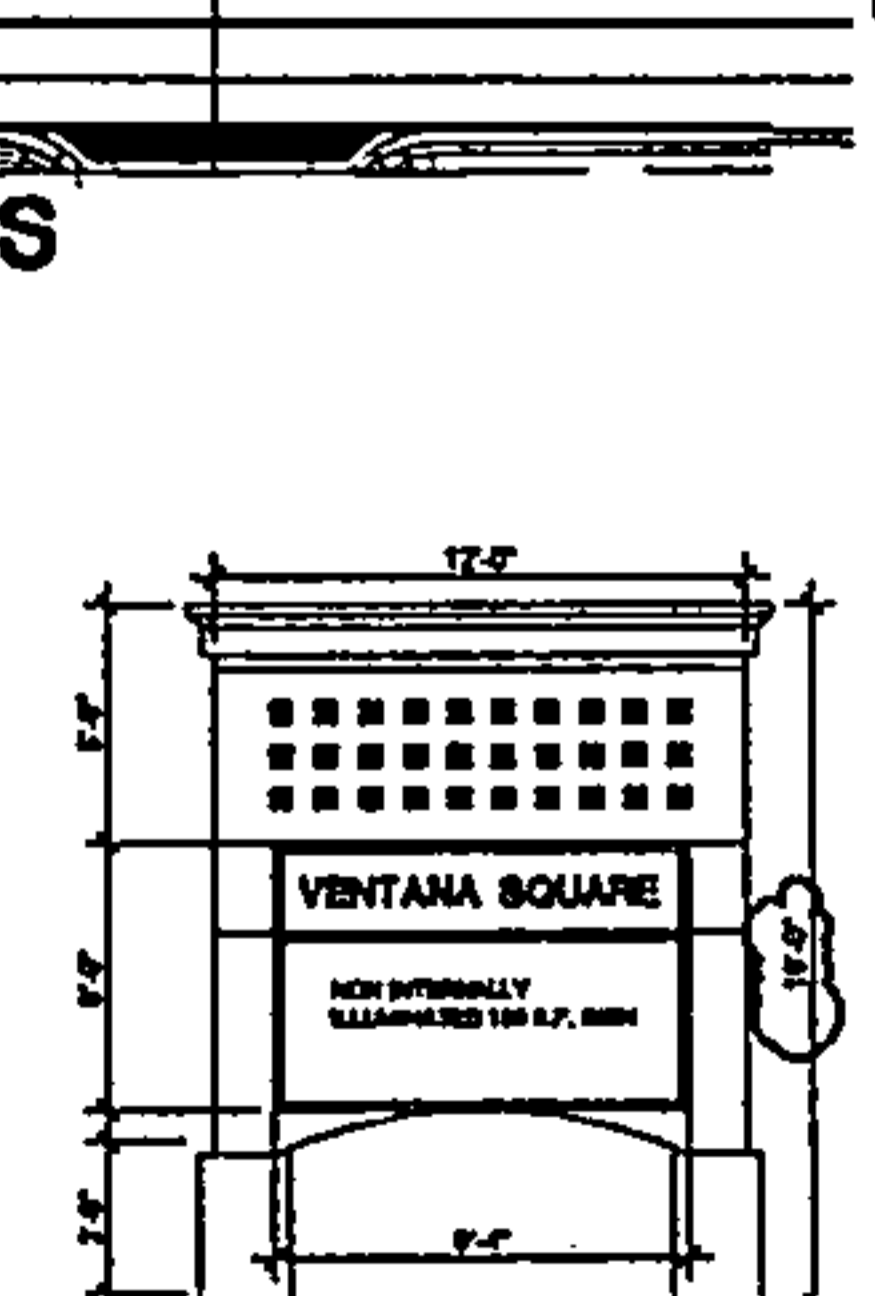
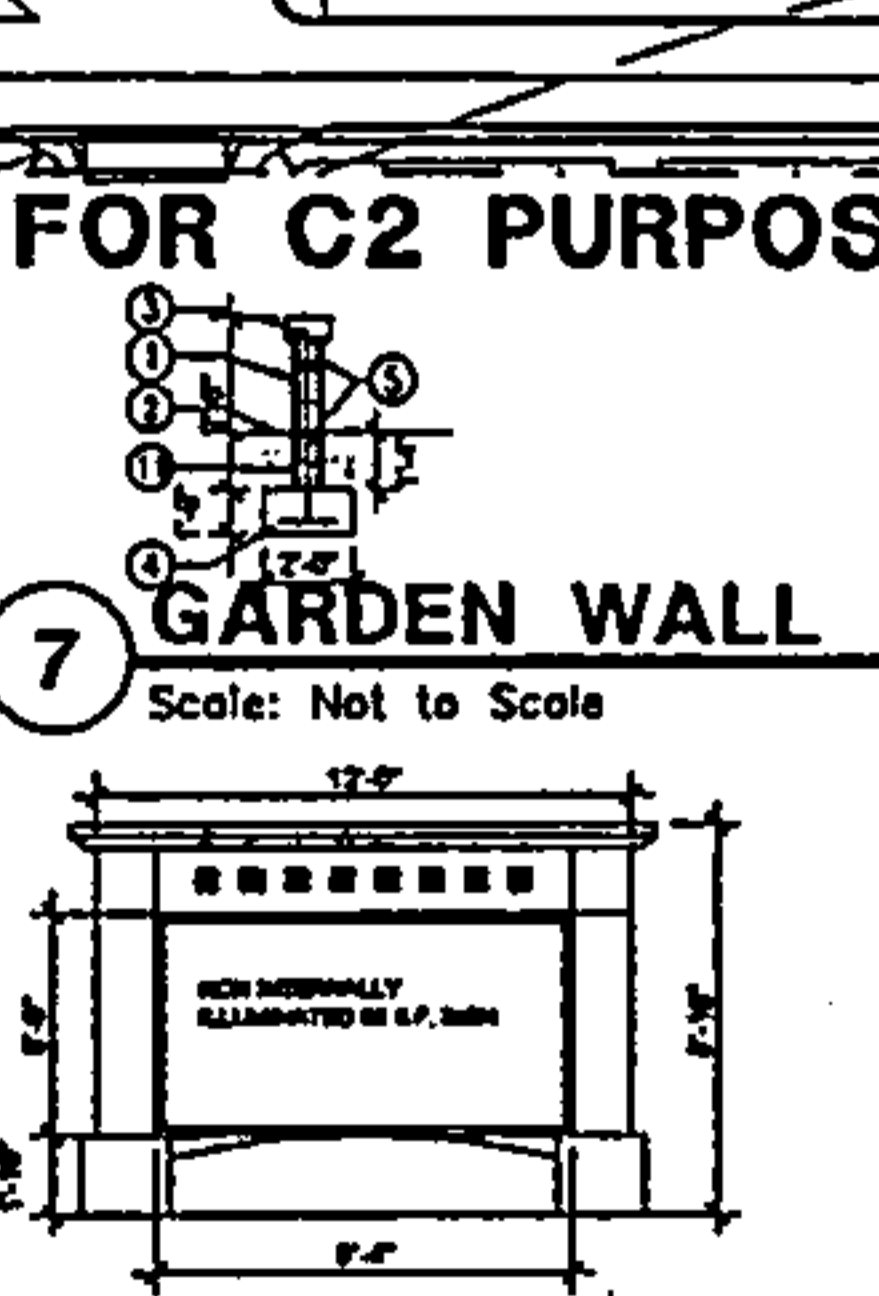
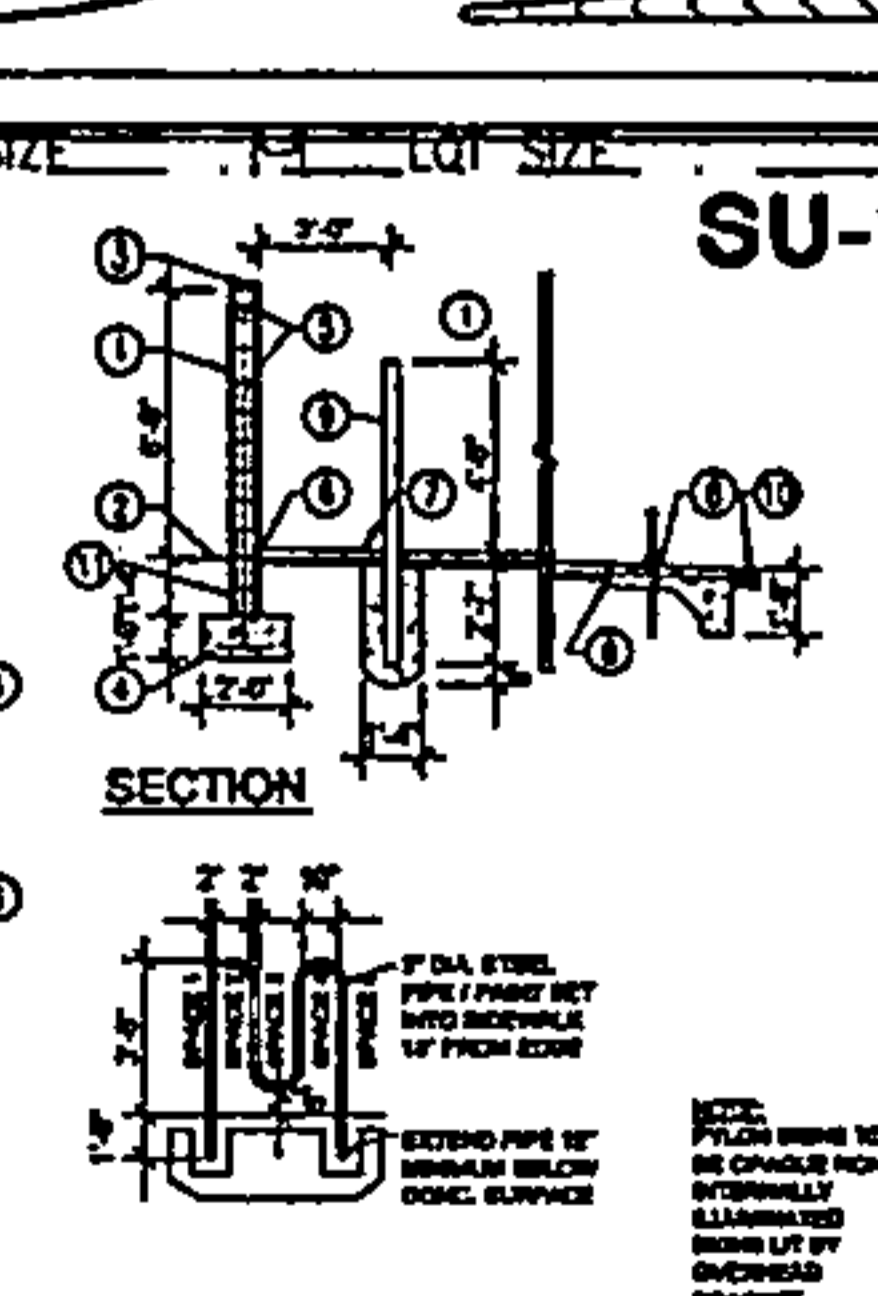
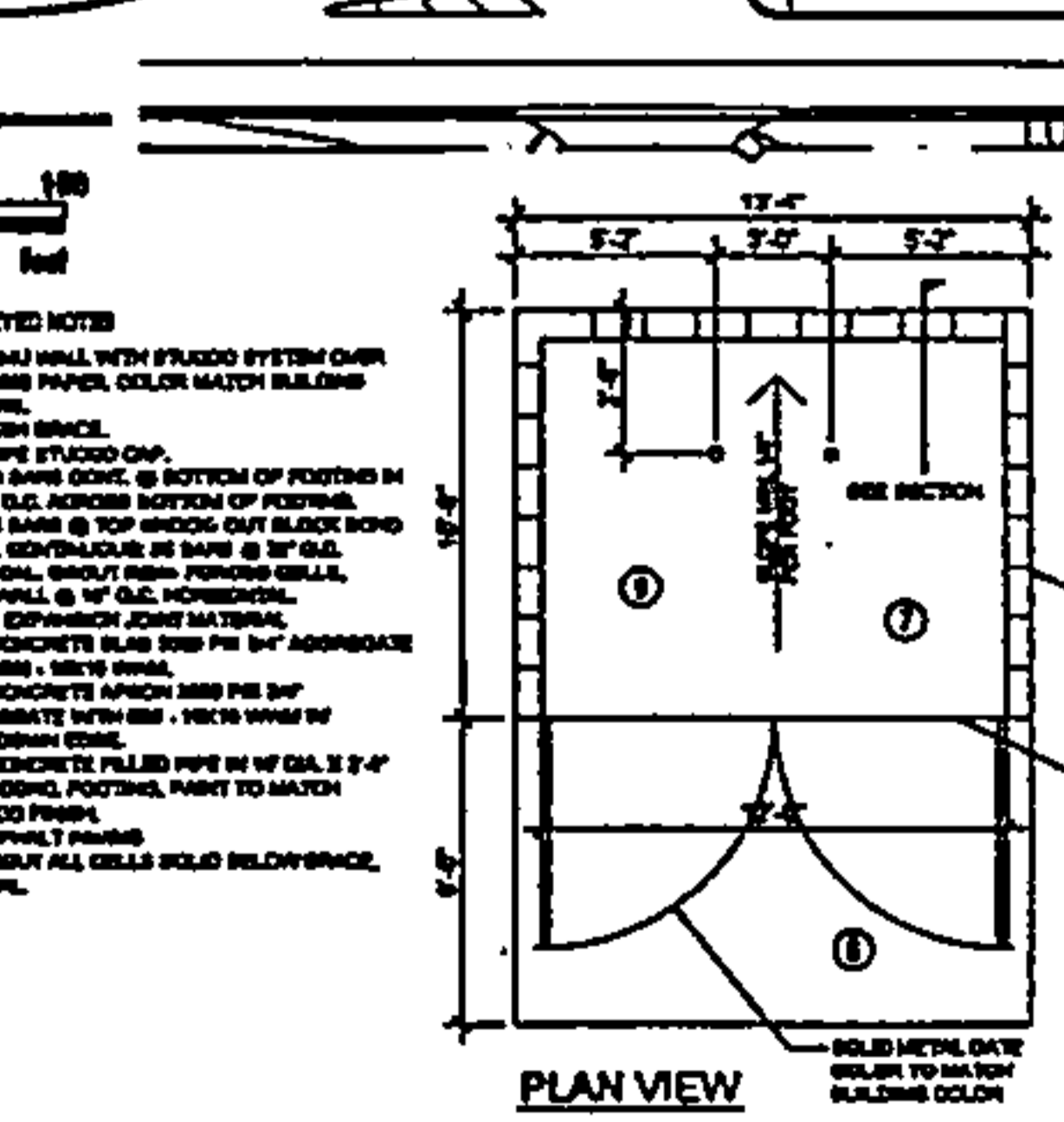
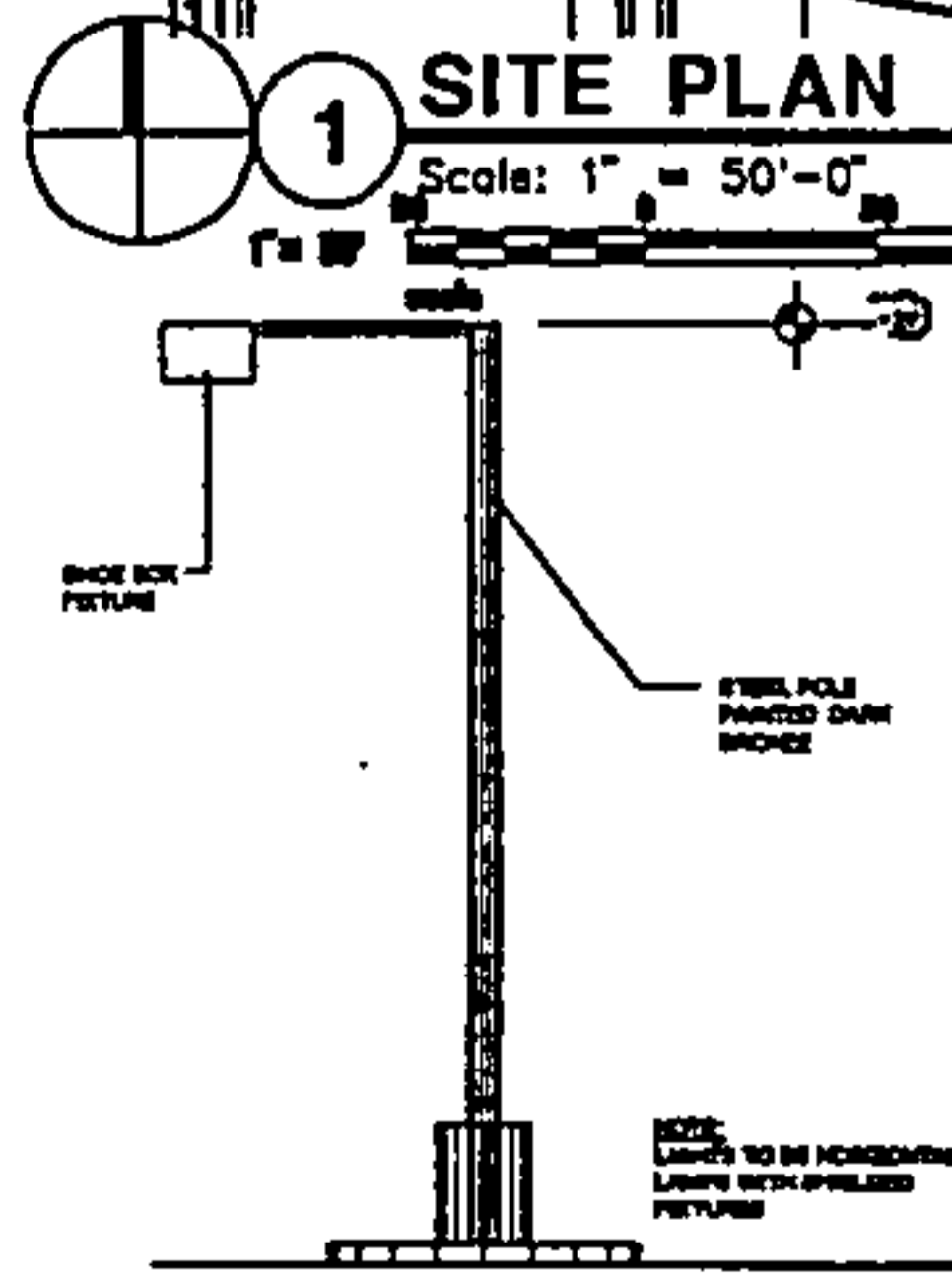
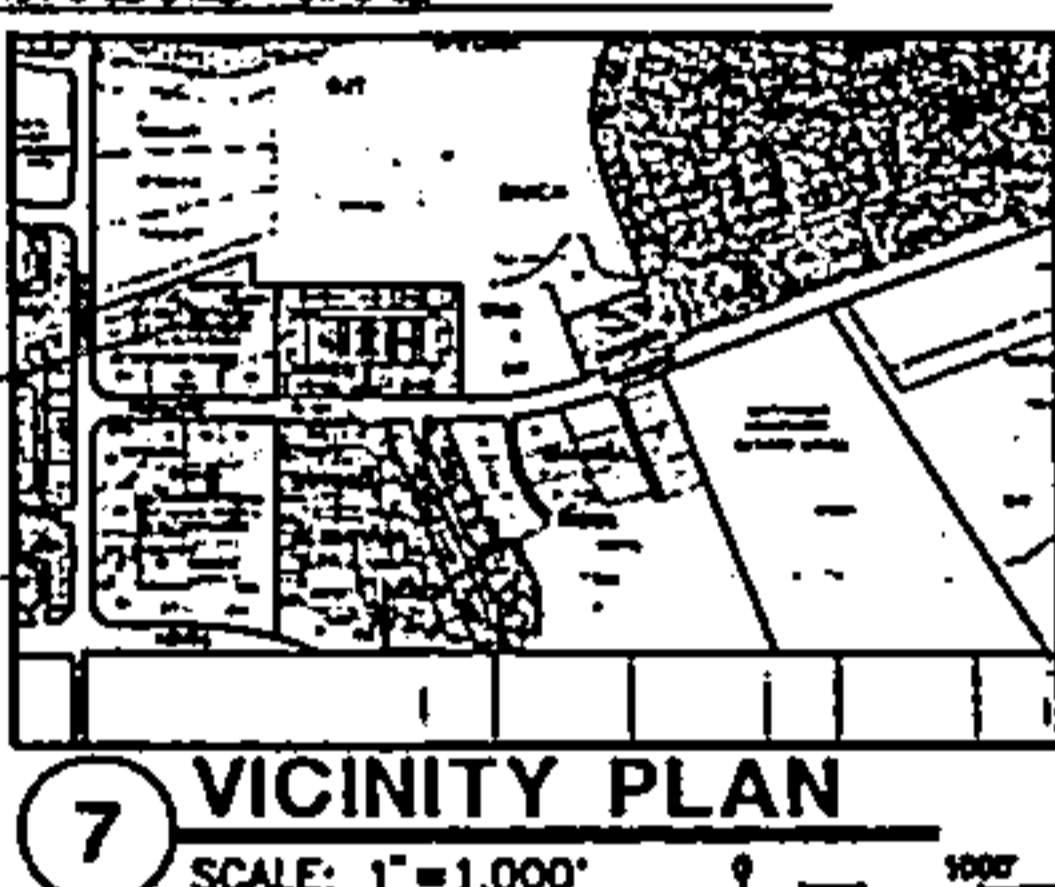
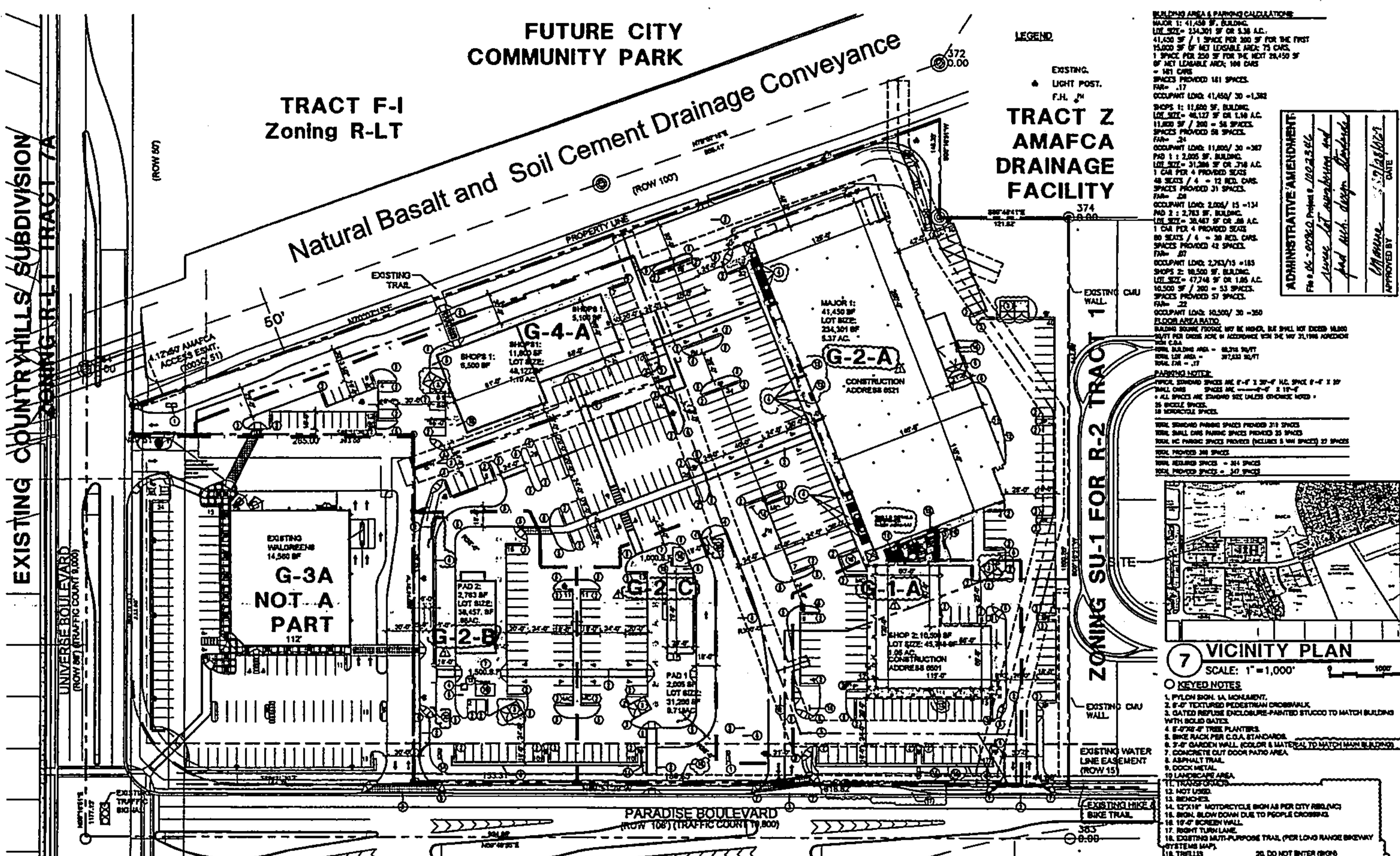
PARKING
The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entrance.

ALTERNATE USE
Concept: If one of the approved schematic alternate use plans is selected for development in lieu of the approved Site Plan for Building Permit, a complete Site Plan for Building Permit Purpose will be prepared and submitted to the DRS for review and approval. (DPC review not required unless the plan for development does not match one of the alternate schematic plans).

RADIUS INFORMATION:

① RADIUS = 2'-0"	⑦ RADIUS = 25'-0"
② RADIUS = 3'-0"	⑧ RADIUS = 35'-0"
③ RADIUS = 4'-0"	⑨ RADIUS = 45'-0"
④ RADIUS = 5'-0"	⑩ RADIUS = 55'-0"
⑤ RADIUS = 6'-0"	⑪ RADIUS = 65'-0"
⑥ RADIUS = 7'-0"	⑫ RADIUS = 75'-0"

PLS. PREPARE VENTANA SQUARE SITE DEVELOPMENT PLAN SUBMISSION
SUBMIT TO: VENTANA SQUARE, 2325 SAN PEDRO NE, SUITE 2-B, ALBUQUERQUE, NM 87110
APPROXIMATELY 9.13 ACRES (9-10 CORNER BRICKS, BUFF PLASTER)



3 SITE LIGHTING
Scale: Not to Scale

4 REFUSE ENCLOSURE
Scale: Not to Scale

2 BIKE RACK
Scale: Not to Scale

7 GARDEN WALL
Scale: Not to Scale

5 MONUMENT SIGN
Scale: Not to Scale

6 MONUMENT SIGN
Scale: Not to Scale

REV	DATE	BY	REVISION
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9			
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



VENTANA SQUARE
SUBMIT TO: VENTANA SQUARE, 2325 SAN PEDRO NE, SUITE 2-B, ALBUQUERQUE, NM 87110
APPROXIMATELY 9.13 ACRES (9-10 CORNER BRICKS, BUFF PLASTER)

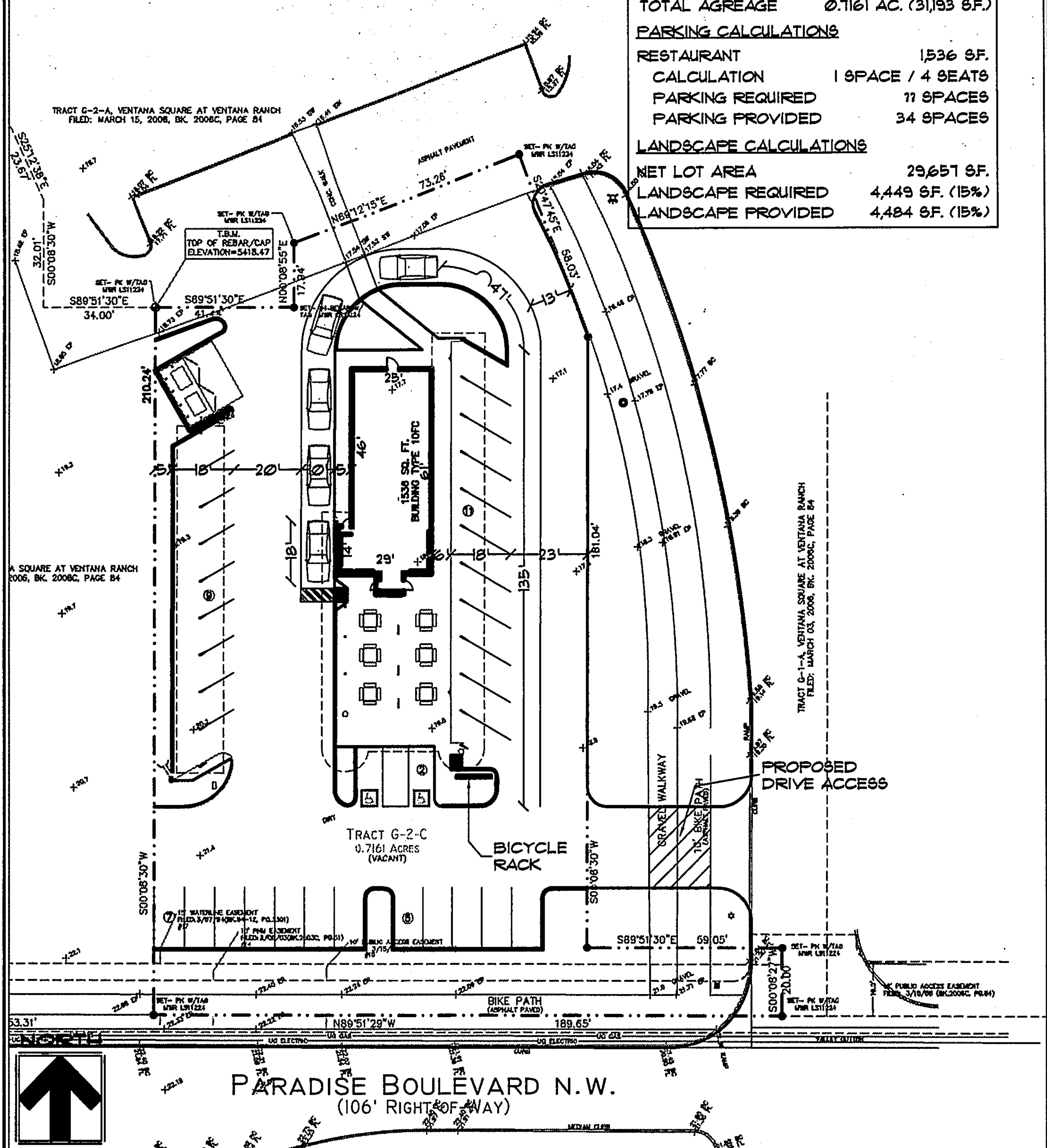
SITE PLAN FOR BLDG. PERMIT

DATE: 11/15/2005
SCALE: 1"=50'-0"

Exhibit A-Approved Site Plan

(PROPOSED SITE PLAN WITH PROPOSED PARADISE ACCESS)

PARCEL INFORMATION	
PARCEL ID NUMBER	TRACT G-2-B
TOTAL AGREAGE	0.7161 AC. (31,193 SF.)
PARKING CALCULATIONS	
RESTAURANT CALCULATION	1536 SF. / 1 SPACE / 4 SEATS
PARKING REQUIRED	77 SPACES
PARKING PROVIDED	34 SPACES
LANDSCAPE CALCULATIONS	
NET LOT AREA	29,651 SF.
LANDSCAPE REQUIRED	4,449 SF. (15%)
LANDSCAPE PROVIDED	4,484 SF. (15%)



NOVA SOURCE
 NovaSource
 2180 South 1300 East
 Suite 410
 Salt Lake City, UT 84106
 801.484.3440 OFFICE
 801.484.3455 FAX
 www.novasource.net

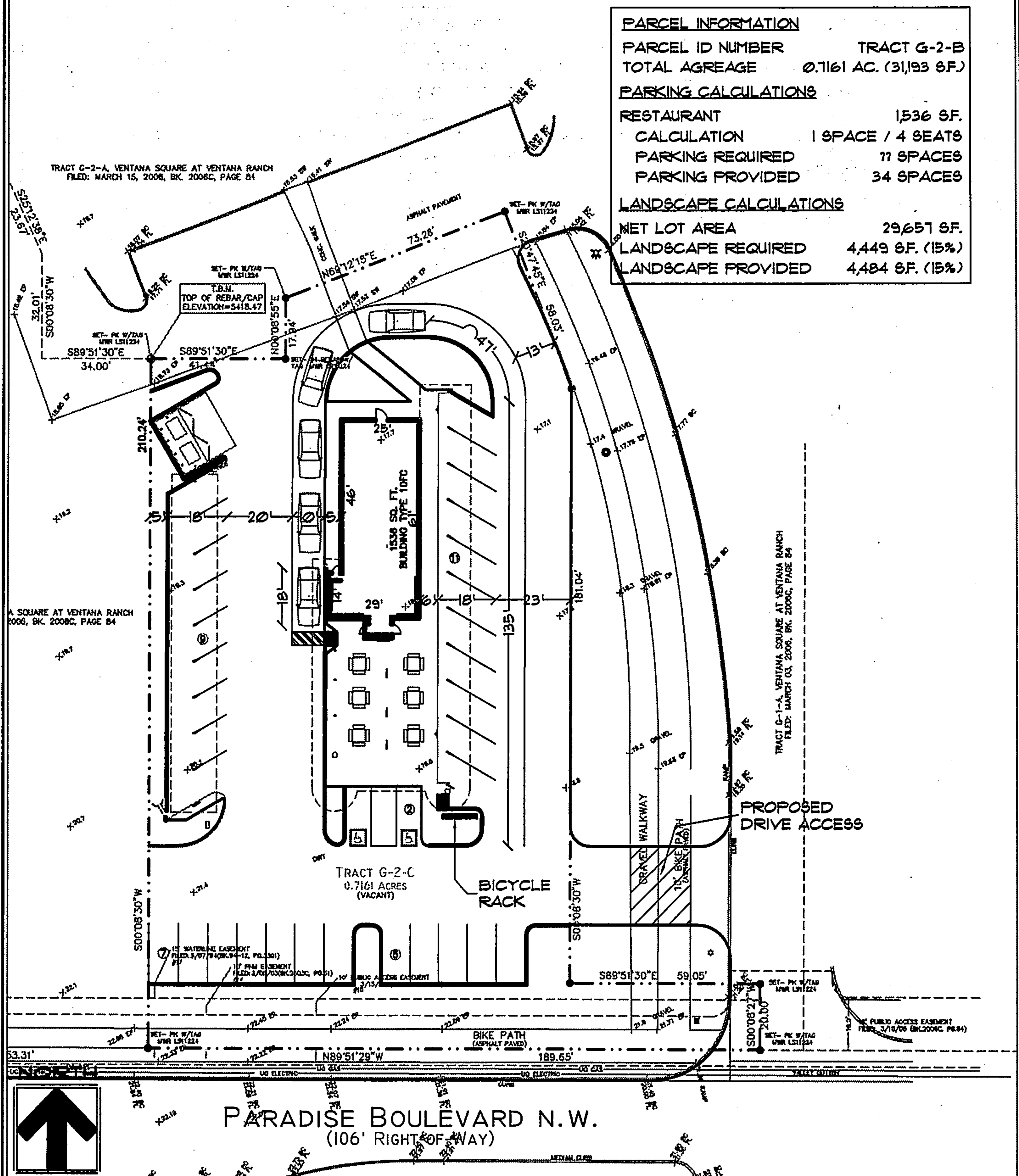
VENTANA SQUARE: LOT G2-B
 PARADISE BLVD. & UNIVERSE BLVD.
 ALBUQUERQUE
 G:\Projects\

CREATED: 2/22/2007
 SCALE: 1" = 40'
 DRAWN BY: RKJ
 REVISIONS:

Exhibit
C
 2/22/2007

(PROPOSED SITE PLAN WITH PROPOSED PARADISE ACCESS)

PARCEL INFORMATION	
PARCEL ID NUMBER	TRACT G-2-B
TOTAL AGREAGE	0.7161 AC. (31,193 SF.)
PARKING CALCULATIONS	
RESTAURANT	1536 SF.
CALCULATION	1 SPACE / 4 SEATS
PARKING REQUIRED	77 SPACES
PARKING PROVIDED	34 SPACES
LANDSCAPE CALCULATIONS	
NET LOT AREA	29,651 SF.
LANDSCAPE REQUIRED	4,449 SF. (15%)
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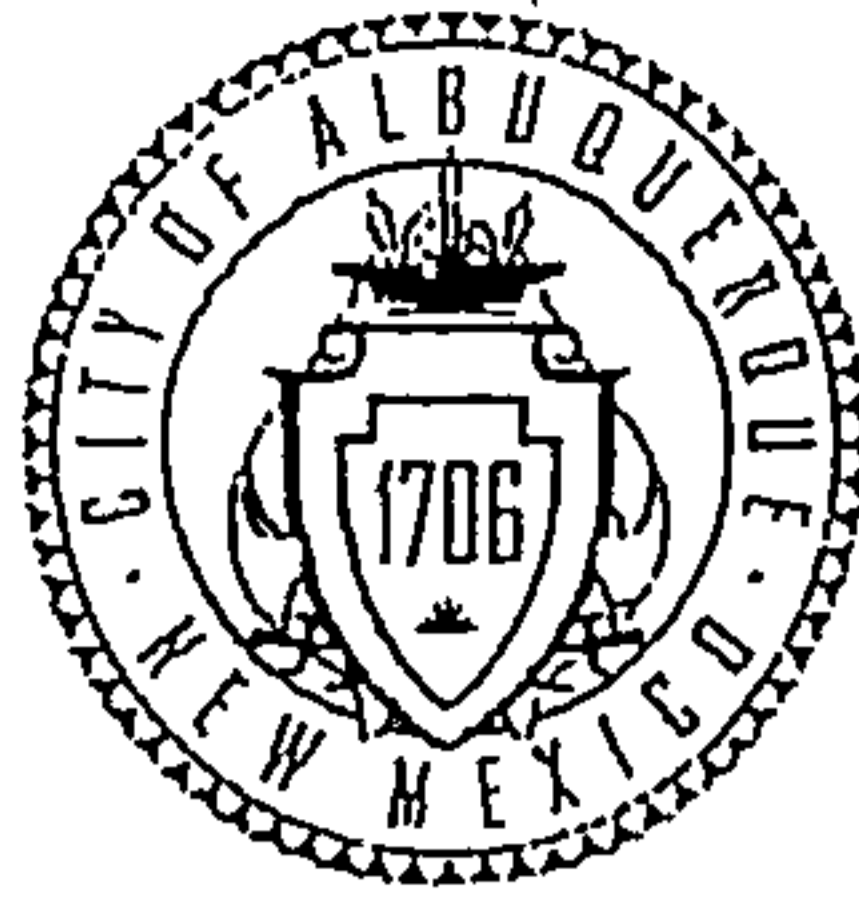


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 801.484.3455 FAX
 www.novasource.net

VENTANA SQUARE: LOT G2-B
 PARADISE BLVD. & UNIVERSE BLVD.
 ALBUQUERQUE
 G:\Projects\

CREATED: 2/22/2007
 SCALE: 1" = 40'
 DRAWN BY: RKJ
 REVISIONS:

Exhibit
C
 2/22/2007



Letter of Notification

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 16, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002346***
05EPC-01264 EPC Site Development Plan-
Building Permit
05EPC-01263 EPC Amended Site Development
Plan-Subdivision

Grady Rentals, LLC
5808 McLeod NE, Suite P
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of
Tracts G1, G2, G4, **Ventana Square at Ventana
Ranch**, zoned SU-1 for Restricted C-2 Uses,
located at the northeast corner of UNIVERSE
BLVD. NW and PARADISE BLVD. NW,
approximately 9.13 acres. (B-10) Carmen
Marrone, Staff Planner

On September 15, 2005 the Environmental Planning Commission voted to approve Project 1002346/05EPC 01263, an Amendment to a Site Plan for Subdivision for Tracts G-1, G-2, and G-4, Ventana Square at Ventana Ranch, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for an amendment to a site plan for subdivision involving Tracts G-1, G-2 and G-4, Ventana Square at Ventana Ranch, containing approximately 10 acres and located at the northeast corner of Paradise Boulevard and Universe Boulevard NW.
2. The site is zoned SU-1 for Restricted C-2 Uses. The proposed uses are in compliance with the established zoning.
3. The subject site is part of Ventana Square, a neighborhood commercial center that is intended to provide commercial goods and services to the residents of Ventana Ranch, a master planned community surrounding the site. The applicant proposes retail, restaurant, and services uses that will provide employment opportunities for the surrounding residents. (*Comp. Plan Policies 5i and 5j*)

OFFICIAL NOTICE OF DECISION
SEPTEMBER 15, 2005
PROJECT #1002346
PAGE 2 OF 8

4. The location, intensity and design of the proposed development is generally consistent with the 2000 approved site plan for subdivision which was produced in collaboration with the Ventana Ranch Community Association and the Paradise Hills Civic Association, thereby respecting neighborhood values and resources of social, cultural and recreational concern. (*Comp. Plan Policy 5d*)
5. The building design is in accordance with the 2000 approved site plan for subdivision design guidelines and is complementary to existing buildings within the area. (*Comp. Plan Policy 5l*)
6. The site plan proposes two fast food restaurants with drive-up windows which does not promote quality urban and site design, particularly in a Neighborhood Activity Center (*Comp. Plan Policy 5m*). However, the applicant has clustered the drive-up uses along Paradise Blvd., leaving the rest of the site to function in a pedestrian-friendly manner. The approved site plan for Ventana Square does not prohibit drive-up windows, and in fact, requires them to be located adjacent to Paradise Blvd.
7. The site plan provides pedestrian opportunities to create safe and pleasant non-motorized travel conditions, both to and within the site. (*Comp. Plan, Transportation and Transit, Policy g*).
8. The site plan meets the design guidelines for commercial development as articulated in the *West Side Strategic Plan*.
9. There is no opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that the conditions of approval are adequately met.
3. The site plan for subdivision shall be corrected to reflect the correct acreage.
4. The note under "Building Heights and Setbacks" shall be amended to reflect the correct height requirements (25 feet and 22 feet).

7.6'-0"

OFFICIAL NOTICE OF DECISION
SEPTEMBER 15, 2005
PROJECT #1002346
PAGE 3 OF 8

5. Conditions from the City Engineer and the Department of Municipal Development:
- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Right turn lanes into site on Paradise Blvd. at site drives may be required per DPM and/or Traffic Impact Study. *TONY LE WILFORS*
 - e. Provide cross access to all tracts.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Platting must be a concurrent DRB action.
 - h. Construction of the commercial facilities on Lots G-1, G-2, G-4, and proposed lots G-5, and G-6 will be subject to Impact Fees for Public Safety, Drainage, and Roadways. Based on a total floor area of 65,228 square feet and an impervious area of 7.78 acres, estimated impact fees will be approximately \$22,243 for Public Safety in the West Side Service Area; \$109,325 for Drainage in the Northwest Mesa Service Area; and \$292,664 in the Northwest Mesa Service Area for Roadways. Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees of \$424,231 may be paid at a rate of 34% (\$144,239) if building permits are obtained by December 30, 2005, and 67% (\$284,235) if permits are obtained by December 29, 2006.
 - i. Construction of the multi-purpose trail facilities along Universe Boulevard and Paradise Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.

On September 15, 2005 the Environmental Planning Commission voted to approve Project 1002346/05EPC 01264 a Site Plan for Building Permit for Tracts G-1, G-2, and G-4, Ventana Square at Ventana Ranch, based on the following Findings and subject to the following Conditions:

1. The applicant shall provide a list of separate documents

FINDINGS:

1. This is a request for approval of a site plan for building permit involving Tracts G-1, G-2 and G-4, Ventana Square at Ventana Ranch, containing approximately 10 acres and located at the northeast corner of Paradise Boulevard and Universe Boulevard NW.
2. The site is zoned SU-1 for Restricted C-2 Uses. The proposed uses are in compliance with the established zoning.
3. The subject site is part of Ventana Square, a neighborhood commercial center that is intended to provide commercial goods and services to the residents of Ventana Ranch, a master planned community surrounding the site. The applicant proposes retail, restaurant, and services uses that will provide employment opportunities for the surrounding residents. (*Comp. Plan Policies 5i and 5j*)
4. The location, intensity and design of the proposed development is generally consistent with the 2000 approved site plan for subdivision which was produced in collaboration with the Ventana Ranch Community Association and the Paradise Hills Civic Association, thereby respecting neighborhood values and resources of social, cultural and recreational concern. (*Comp. Plan Policy 5d*)
5. The building design is in accordance with the 2000 approved site plan for subdivision design guidelines and is complementary to existing buildings within the area. (*Comp. Plan Policy 5l*)
6. The site plan proposes two fast food restaurants with drive-up windows which does not promote quality urban and site design, particularly in a Neighborhood Activity Center (*Comp. Plan Policy 5m*). However, the applicant has clustered the drive-up uses along Paradise Blvd., leaving the rest of the site to function in a pedestrian-friendly manner. The approved site plan for Ventana Square does not prohibit drive-up windows, and in fact, requires them to be located adjacent to Paradise Blvd.
7. The site plan provides pedestrian opportunities to create safe and pleasant non-motorized travel conditions, both to and within the site. (*Comp. Plan, Transportation and Transit, Policy g*)
8. The site plan meets the design guidelines for commercial development as articulated in the *West Side Strategic Plan*.
9. An alternate site plan is proposed for new Tract G-6. This plan includes a drive-up bank which is an allowable use under the current zone. The applicant proposes for the EPC to approve both the definite and alternate use site plans for building permit with the stipulation that the alternate site plan, if selected for development, is delegated to the DRB for review and approval. If a use is selected which does not conform to the approved site plan or the alternate use plan, then a new submittal to the EPC will be required.

10. There is no opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that the conditions of approval are adequately met.
3. The site plan for building permit shall be corrected to reflect the correct acreage.
4. Post signs along the middle drive aisle from Paradise, where the drive aisle intersects with the pedestrian walkways (total of two signs). These signs should caution motorists to SLOW DOWN, due to PEOPLE CROSSING.
5. The screen walls along Paradise Blvd shall be similar in color and material to the main building on the site.
6. The motorcycle spaces shall be designated by conspicuously posted upright signs no smaller than 12x18 inches. The signs should have its lower edge no less than four feet above grade.
7. Revise the "Parking Notes" to state that the handicap spaces will be a minimum of 8.5' x 20'.
8. The "Parking Notes" should be amended to reflect 25 bicycle spaces provided rather than 20 spaces.
9. The refuse container walls shall be of a similar color to the buildings (light to medium tan). In addition, the refuse container intended to serve Building G-4 appears to be encroaching into the drive aisle. This container may have to be relocated to prevent this from occurring.
10. The site lighting detail drawing and the description under "Lighting" on Sheet A1.1 will have to be amended to be consistent with condition "p" on the 2000 site plan for subdivision.
11. Provide at least four additional evergreen trees within the landscape buffer along the eastern boundary of the site.

12. The tree planters in front of Major Building 1 shall be labeled consistently on the site plan for building permit and the landscape plan.
13. The Honeysuckle plant shall be replaced with other plants from the 2000 site plan plant list or, if these plants are hard to come by, staff supports the introduction of the Nandina shrub.
14. Replace the shrubs along the western boundary of Tract G-6 with a 3-foot high decorative wall, similar in color and material to the adjacent building.
15. One additional shade tree shall be provided in the patios adjacent to Pad 1 and Pad 2 and a shade structure shall be provided in the patio between Major 1 and Shop 2 buildings.
16. Indicate seating for each patio.
17. Delete the last sentence under "General Architectural Design Requirements" since approval of the site plans for building permit is not delegated to the COA Planning staff.
18. The color of the sloped roof tiles shall be "Desert Glow" or similar.
19. Provide additional articulation along the north elevation of Shop 1.
20. The description under "Free-Standing Signage" on sheet A1.1 shall be corrected from 26' tall to 16' tall. In addition, the monument sign detail (6) shall be amended from 26' tall to 16' tall.
21. Conditions from the City Engineer and the Department of Municipal Development:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Right turn lanes into site on Paradise Blvd. at site drives may be required per DPM and/or Traffic Impact Study.
 - e. Provide cross access to all tracts.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Platting must be a concurrent DRB action.

- h. Construction of the commercial facilities on Lots G-1, G-2, G-4, and proposed lots G-5, and G-6 will be subject to Impact Fees for Public Safety, Drainage, and Roadways. Based on a total floor area of 65,228 square feet and an impervious area of 7.78 acres, estimated impact fees will be approximately \$22,243 for Public Safety in the West Side Service Area; \$109,325 for Drainage in the Northwest Mesa Service Area; and \$292,664 in the Northwest Mesa Service Area for Roadways. Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees of \$424,231 may be paid at a rate of 34% (\$144,239) if building permits are obtained by December 30, 2005, and 67% (\$284,235) if permits are obtained by December 29, 2006.
- i. Construction of the multi-purpose trail facilities along Universe Boulevard and Paradise Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **SEPTEMBER 30, 2005** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

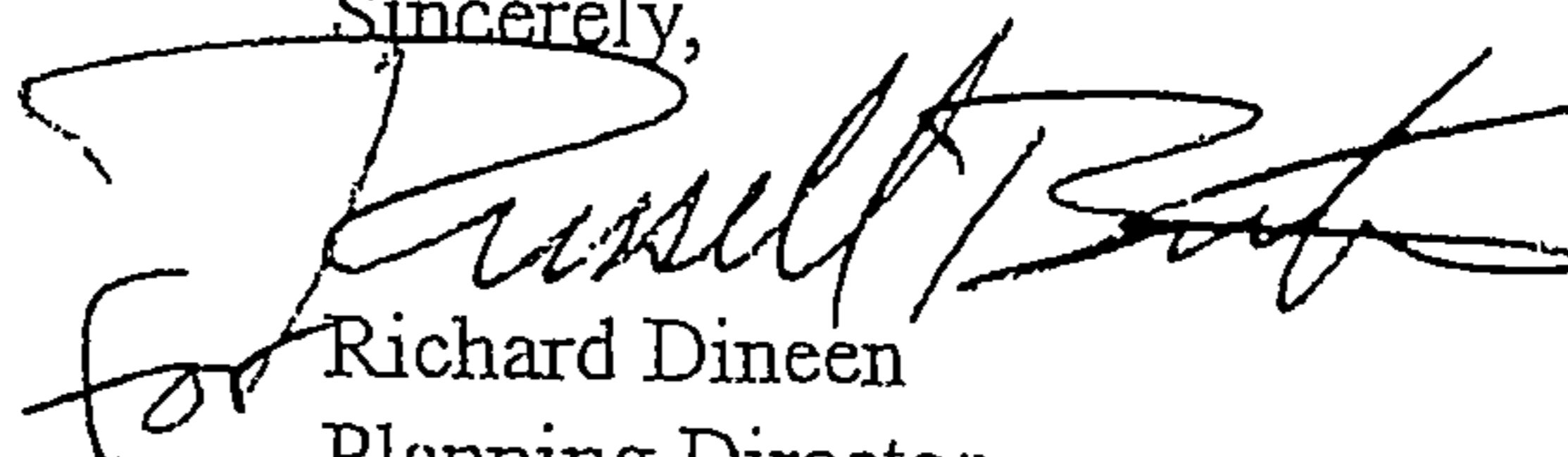
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION
SEPTEMBER 15, 2005
PROJECT #1002346
PAGE 8 OF 8

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/CM/ac

cc: George Rainhart, 2325 San Pedro NE, Suite 2B, Albuquerque, NM 87110
Laura Horton, 7224 Cascada Rd. NW, Albuquerque, NM 87114
Bruce Nyberg, 6824 Brushfield Rd. NW, Albuquerque, NM 87114

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME NS Rocky Mountain
AGENT _____
ADDRESS 2180 S. 1300 E, Ste 410
PROJECT & APP # 1002346/07AA.00237
PROJECT NAME Ventana Square at Ventana Ranch

\$ _____ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ 45.00 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 45.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

NOVASOURCE ROCKY MOUNTAIN, LLC
2180 SO. 1300 E. SUITE 410
SALT LAKE CITY, UTAH 84106
(801) 484-3440



31-73/1240 2/26/2007

PAY TO THE ORDER OF City of Albuquerque

\$ **45.00
DUPLICATE
City of Albuquerque
Treasury Division DOLLARS

Forty-Five and 00/100

City of Albuquerque
Development Review Division
P.O. Box 1293
Albuquerque, NM 87103

2/28/2007 11:29AM LOC: ANN
RECEIPT# 00073525 WSH 005 TRANS# 0009
Account 441006 Fund 0110
Activity 4971000
Trans Am Valerie A. Anderson CS
AUTHORIZED SIGNATURE

MEMO Admin. Amend. - Paradise & Universe

J24 Misc \$45.00

⑈001006⑈ ⑆24000737⑆ 445010059746⑈
CHANGE

\$45.00
\$0.00

Thank You

Security features. Details on back.

Exhibit A-Approved Site Plan

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-18
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



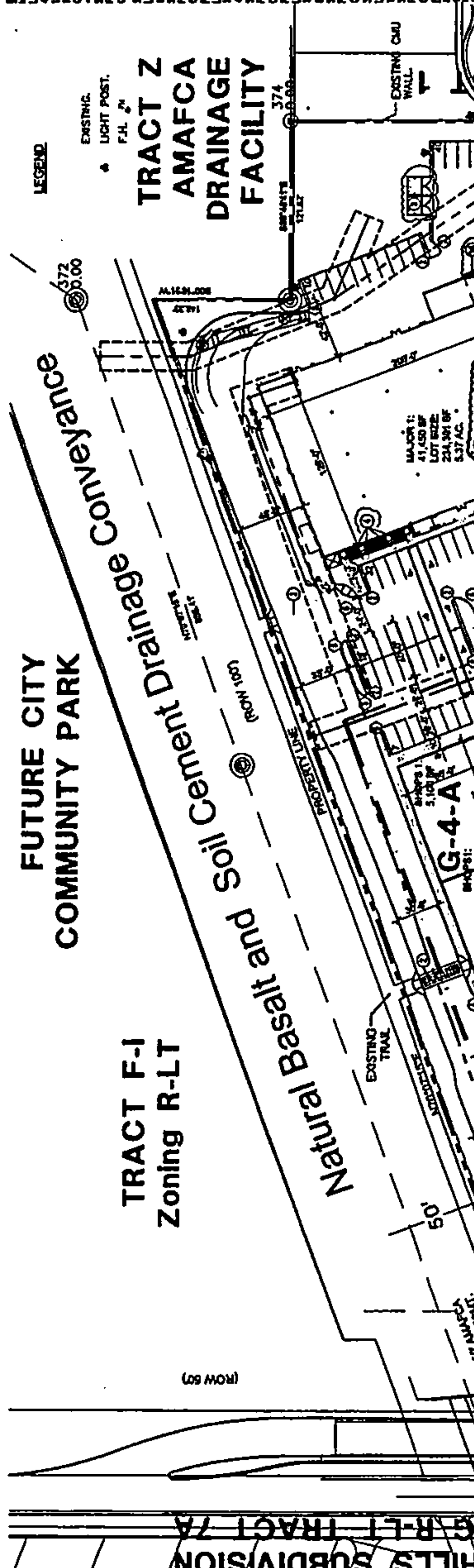
SITE PLAN FOR BLDG. PERMIT

PROJECT TITLE	VENTANA SQUARE
PROJECT NUMBER	17-00000
OWNER	VENTANA SQUARE
DATE	11/28/08
SCALE	1"=50'
PROJECT NO.	A1.1

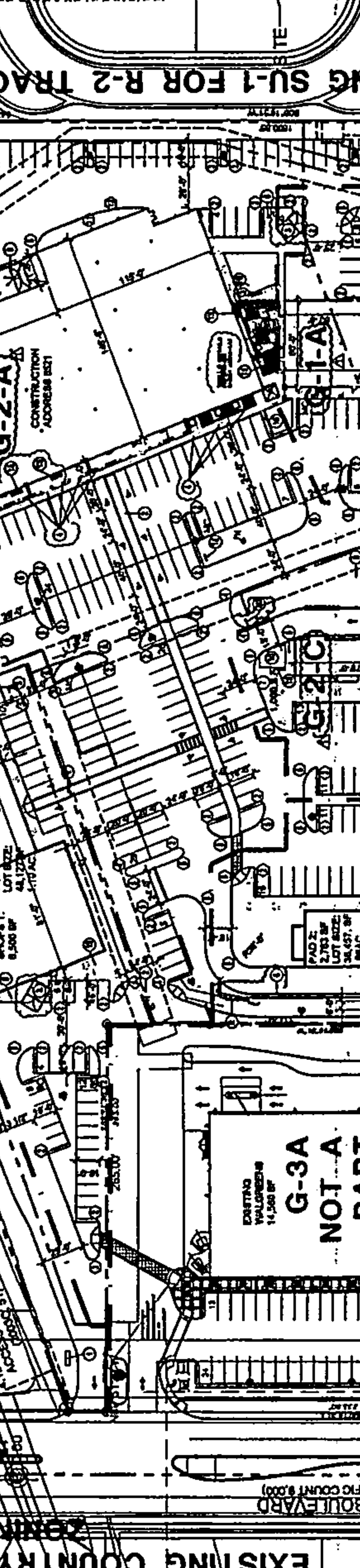
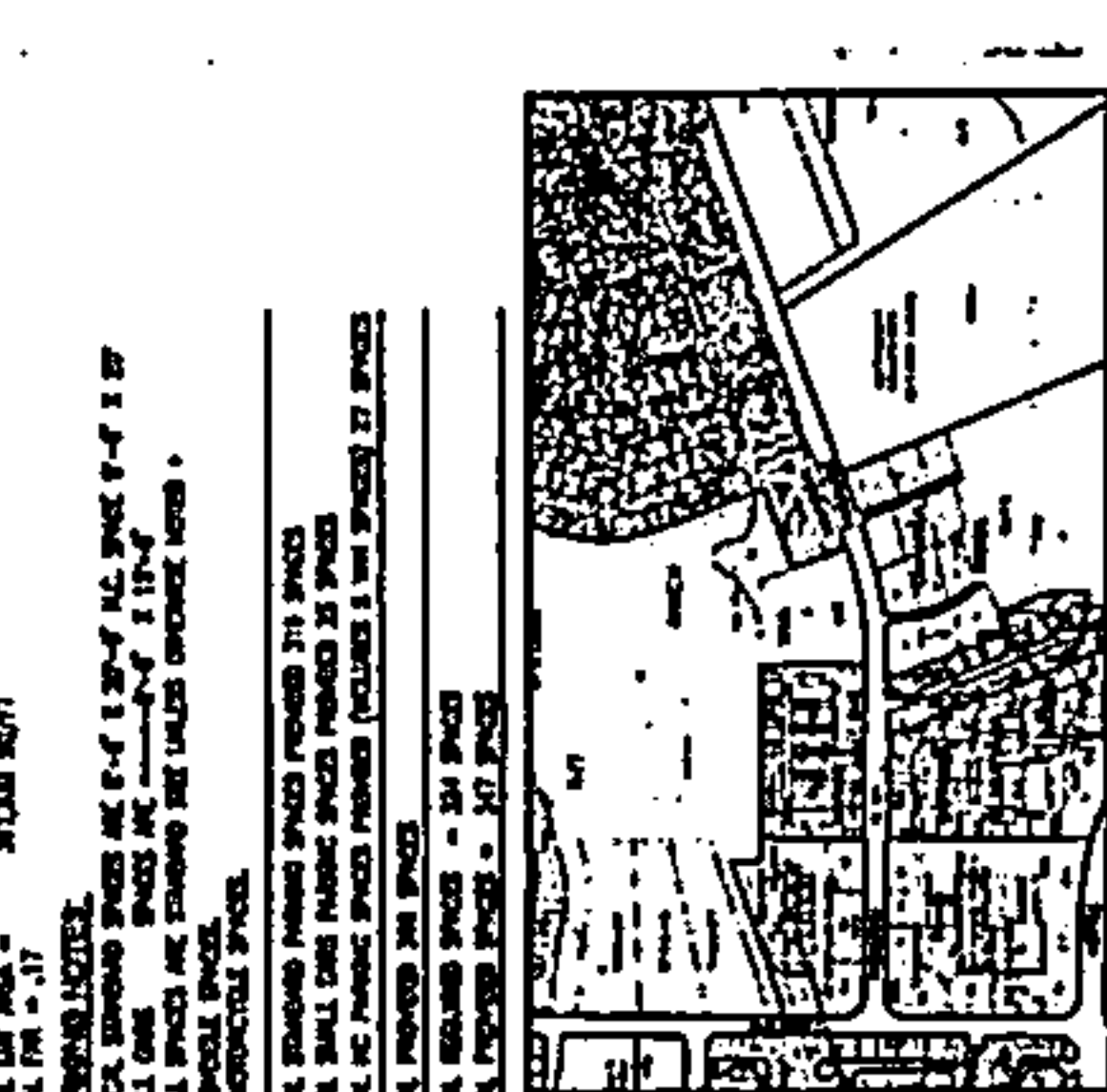
REV	DATE	BY	REVISION
1	11/28/08	GR	ISSUED FOR PERMIT
2	11/28/08	GR	REVISED THE LOT NUMBERS TO MATCH A REVISIONED PLAN

LEGAL DESCRIPTION
 TRACT 0, VENTANA SQUARE
 CHURCH SQUARE
 C-2 TO SU-1 FOR C-2
 0.13 ACRES G1, G2, G4, G6
 VALUERS 2.35
 TOTAL GROSS 17,88 AC
GENERAL ARCHITECTURAL DESIGN REQUIREMENTS
GENERAL ARCHITECTURAL
 General architectural design shall be in accordance with the general design requirements of the City of Albuquerque. The design shall be in accordance with the following requirements:
 (1) The building shall be designed to be compatible with the surrounding buildings and the character of the neighborhood.
 (2) The building shall be designed to be compatible with the surrounding landscape and the character of the neighborhood.
 (3) The building shall be designed to be compatible with the surrounding infrastructure and the character of the neighborhood.
 (4) The building shall be designed to be compatible with the surrounding public spaces and the character of the neighborhood.
PAID ARCHITECTURAL DESIGN STANDARDS
 The design shall be in accordance with the following standards:
 (1) The building shall be designed to be compatible with the surrounding buildings and the character of the neighborhood.
 (2) The building shall be designed to be compatible with the surrounding landscape and the character of the neighborhood.
 (3) The building shall be designed to be compatible with the surrounding infrastructure and the character of the neighborhood.
 (4) The building shall be designed to be compatible with the surrounding public spaces and the character of the neighborhood.

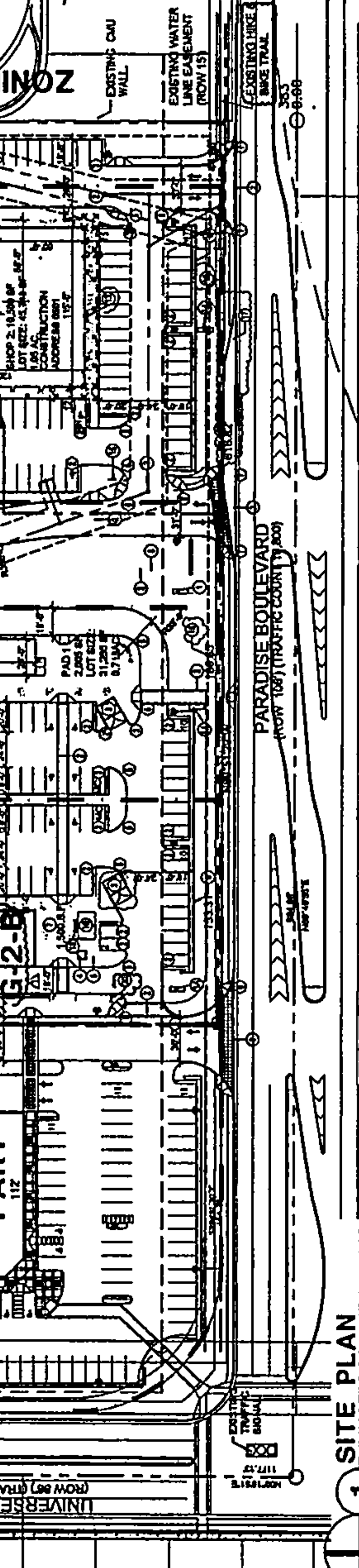
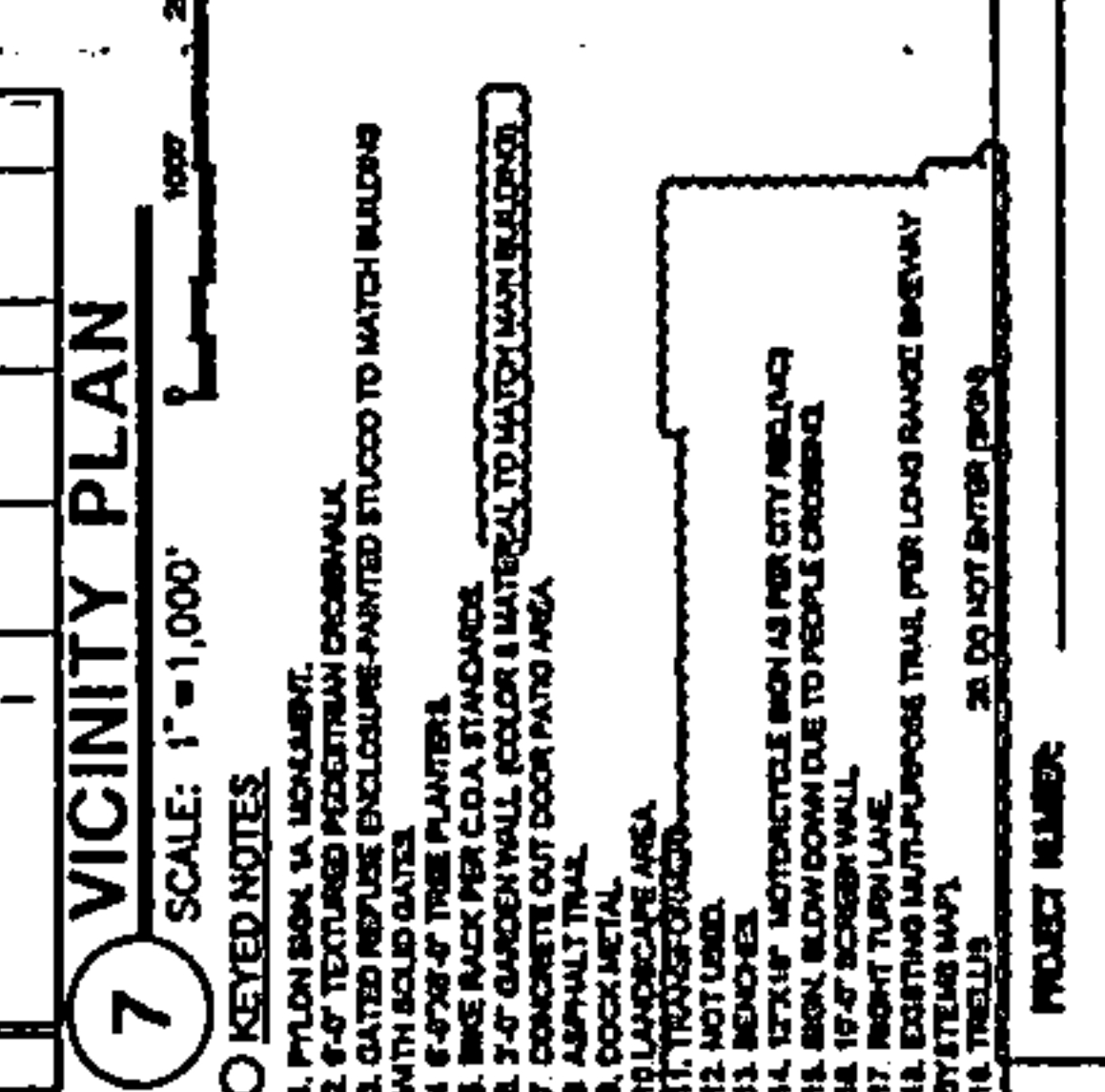
ADMINISTRATIVE AMENDMENT
 Approved by: [Signature]
 Date: 11/28/08
 For a 10' - 0" increase in height and 100 sq ft increase in area.



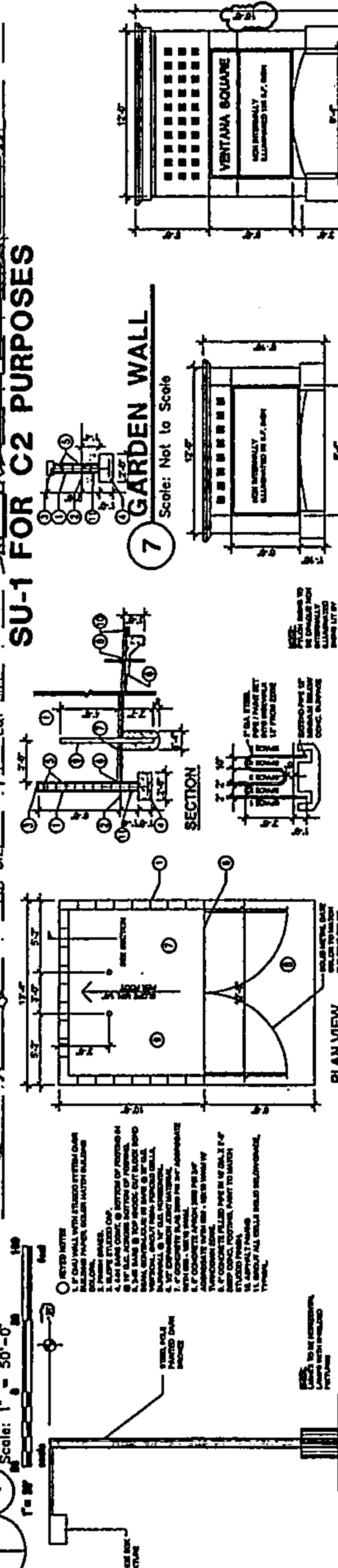
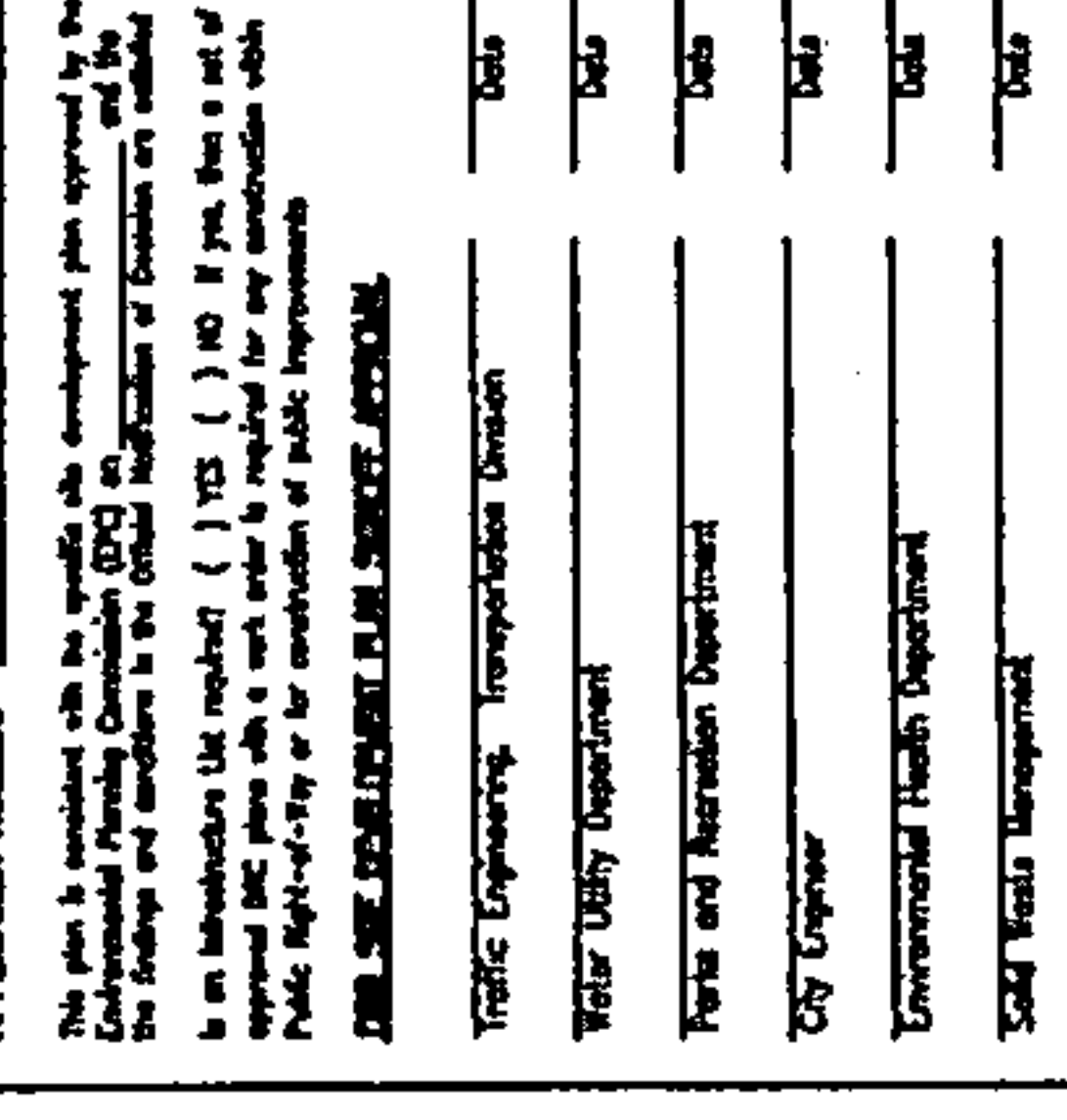
MECHANICAL/ELECTRICAL/PLUMBING (MEP)
 The design shall be in accordance with the following requirements:
 (1) The building shall be designed to be compatible with the surrounding buildings and the character of the neighborhood.
 (2) The building shall be designed to be compatible with the surrounding landscape and the character of the neighborhood.
 (3) The building shall be designed to be compatible with the surrounding infrastructure and the character of the neighborhood.
 (4) The building shall be designed to be compatible with the surrounding public spaces and the character of the neighborhood.



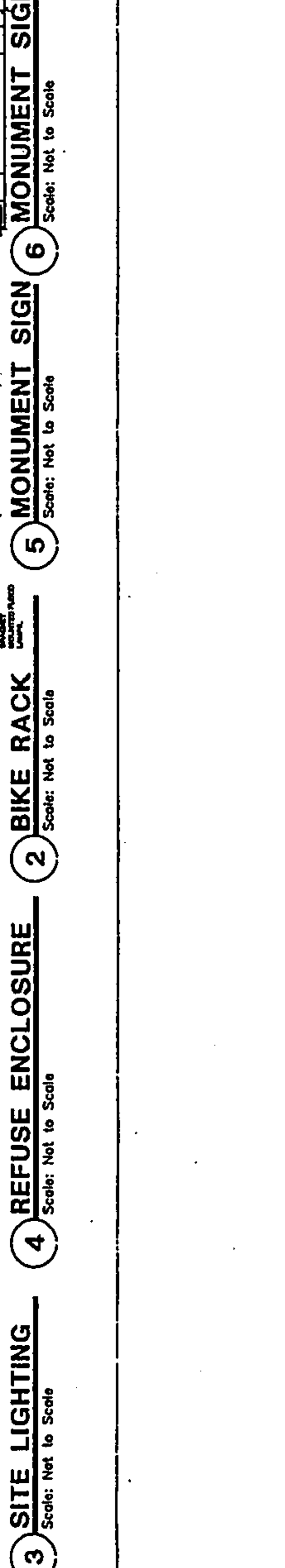
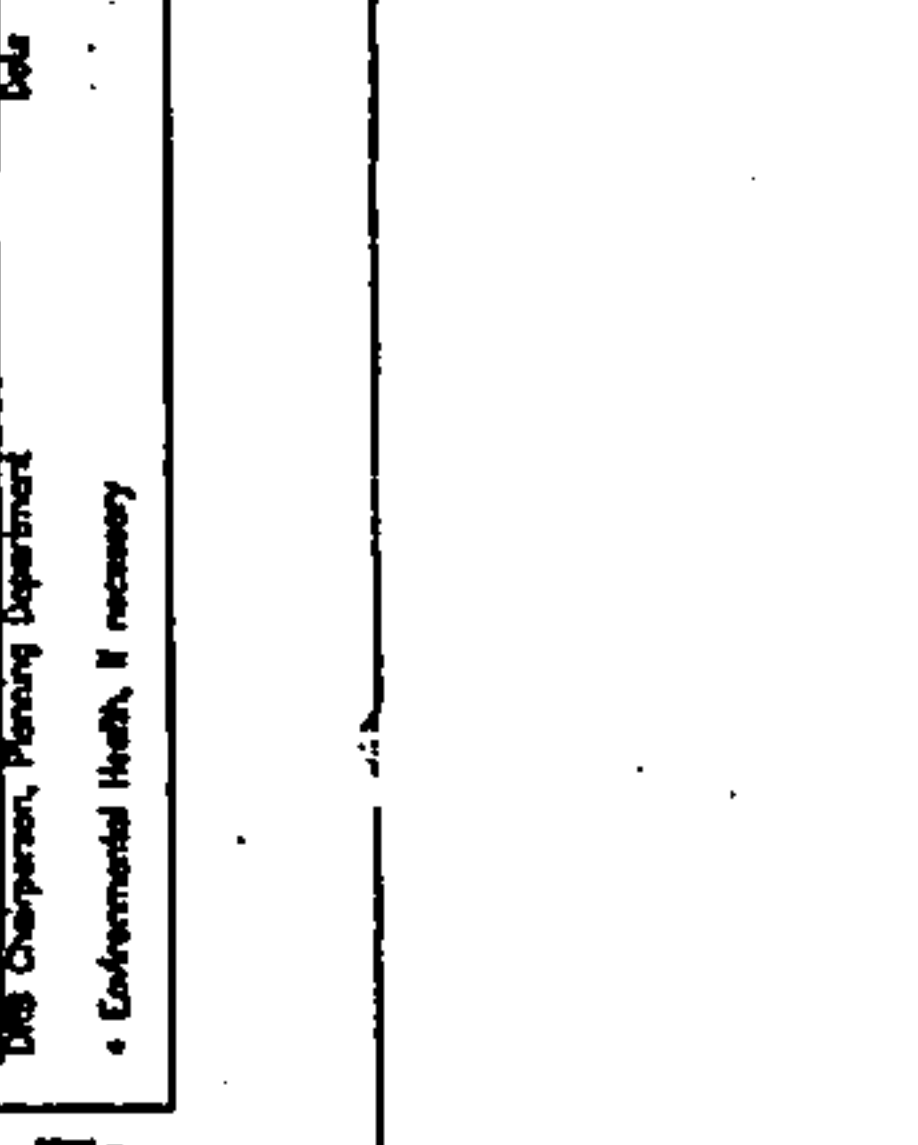
LANDSCAPING
 The design shall be in accordance with the following requirements:
 (1) The building shall be designed to be compatible with the surrounding buildings and the character of the neighborhood.
 (2) The building shall be designed to be compatible with the surrounding landscape and the character of the neighborhood.
 (3) The building shall be designed to be compatible with the surrounding infrastructure and the character of the neighborhood.
 (4) The building shall be designed to be compatible with the surrounding public spaces and the character of the neighborhood.



FREE STANDING SIGNAGE
 The design shall be in accordance with the following requirements:
 (1) The building shall be designed to be compatible with the surrounding buildings and the character of the neighborhood.
 (2) The building shall be designed to be compatible with the surrounding landscape and the character of the neighborhood.
 (3) The building shall be designed to be compatible with the surrounding infrastructure and the character of the neighborhood.
 (4) The building shall be designed to be compatible with the surrounding public spaces and the character of the neighborhood.



APPROVALS
 The design shall be in accordance with the following requirements:
 (1) The building shall be designed to be compatible with the surrounding buildings and the character of the neighborhood.
 (2) The building shall be designed to be compatible with the surrounding landscape and the character of the neighborhood.
 (3) The building shall be designed to be compatible with the surrounding infrastructure and the character of the neighborhood.
 (4) The building shall be designed to be compatible with the surrounding public spaces and the character of the neighborhood.



1 SITE LIGHTING Scale: Net to Scale
2 BIKE RACK Scale: Net to Scale
3 REFUSE ENCLOSURE Scale: Net to Scale
4 MONUMENT SIGN Scale: Net to Scale
5 MONUMENT SIGN Scale: Net to Scale
6 MONUMENT SIGN Scale: Net to Scale
7 GARDEN WALL Scale: Net to Scale
8 SU-1 FOR C2 PURPOSES Scale: Net to Scale