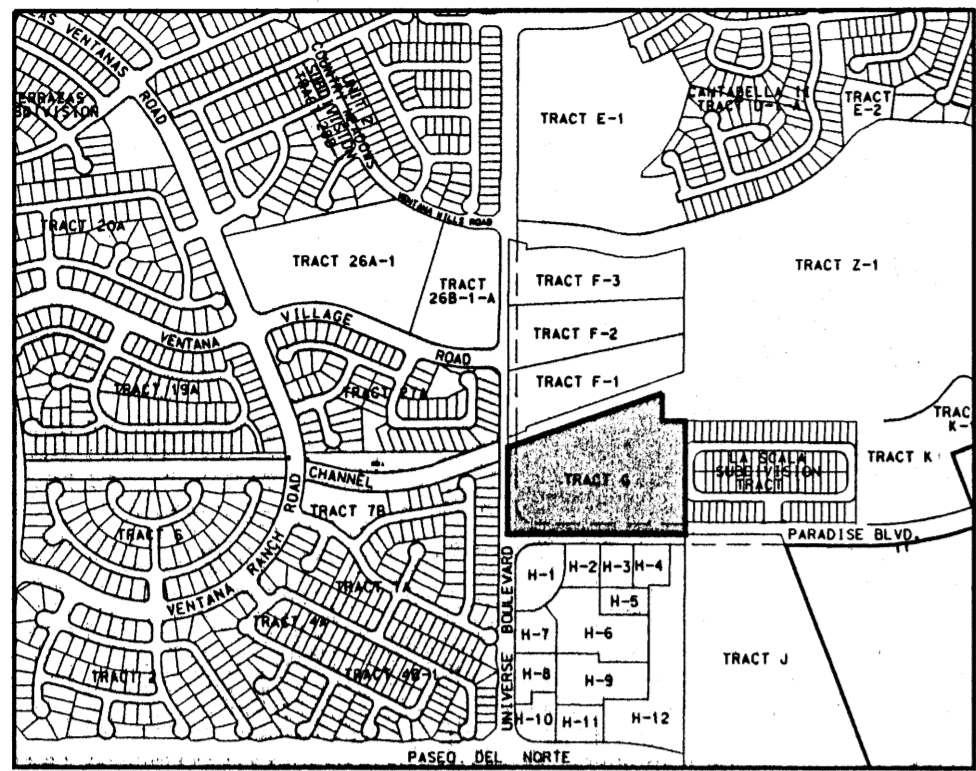


SP-



LOCATION MAP

ZONE ATLAS INDEX MAP No. B-9-Z & B-10-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-9-Z & B-10-Z.
3. Gross Subdivision Acreage: 12.6840 Acres.
4. Total Number of Tracts created: Four (4) Tracts.
5. Total mileage of partial width streets created: mile.
6. Date of Survey: September, 2002.
7. Plat is located within the Town of Alameda Grant, within projected Sections 9 & 10, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of the filing of this plat is to subdivide Tract G of the PLAT OF VENTANA RANCH, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 into four (4) Tracts, to grant easements and dedicate additional street right-of-way to the City of Albuquerque.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground and overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement (But not parallel within).

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool, decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Sections 9 and 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract G of the PLAT OF VENTANA RANCH, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at the southwest corner of said Tract G, whence the Albuquerque City Survey (ACS) monument "1-B10", a standard ACS brass tablet set in top of a concrete post, having New Mexico State Plane Grid Coordinates (Central Zone NAD 1927) of X=357,526.69 and Y=1,525,168.35 bears S11°20'24"E, a distance of 336.15 feet and from said point of beginning running thence along the westerly boundary line of said Tract G, N00°16'51"E, a distance of 451.26 feet to the northwest corner of said Tract G; thence running along the northerly boundary line of said Tract G, N70°07'15"E, a distance of 855.41 feet to the northeast corner of said Tract G; thence running along the easterly boundary line of said Tract G, S00°16'51"W, a distance of 148.33 feet to a point; thence, S89°48'41"E, a distance of 121.82 feet to a point; thence, S00°16'51"W, a distance of 595.69 feet to the southeast corner of said Tract G; thence running along the southerly boundary line of said Tract G, N89°51'30"W, a distance of 924.82 feet to the point and place of beginning.

Tract contains 12.6840 acres, more or less.

NOTES

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF VENTANA RANCH, Filed: November 30, 1995 as Document No. 95122531 in Volume 95C, Folio 430.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Tract G is subject to an existing Blanket Drainage Easement Filed: November 30, 1995 in Book 95C, Folio 430. Easement is vacated by Vacation Action V-
6. Tracts G-1 through G-4 are subject to a nonexclusive perpetual drainage easement under, through, over and across said tracts for the installation, operation, and maintenance of all private storm water drainage for the benefits of all Tracts G-1 through G-4. (See existing referenced City storm drain easement across Tracts G-1 and G-2, recording # 2001145903, recorded December 7, 2001, Bk A28, Pg 4089, for City storm drain details.)
7. Tracts G-1 through G-4 are subject to a nonexclusive perpetual easement for ingress and egress by vehicular and pedestrian traffic, and vehicular parking upon, over and across that portion of the common area located on said tract, which easement is for the benefit of all Tracts G-1 through G-4.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within Projected Sections 9 & 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract G of the PLAT OF VENTANA RANCH, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 now comprising Tracts G-1 thru G-4, BULK LAND PLAT OF TRACTS G-1 THRU G-4 VENTANA RANCH, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street right-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby grant: All access, Utility, and Drainage Easements hereon, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work effects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

LAS VENTANAS LIMITED PARTNERSHIP A NEW MEXICO LIMITED PARTNERSHIP

By: Robert M. Murphy, President Sandia Properties Ltd., Co. Managing Partner

State of New Mexico)
SS
County of Bernalillo)

This instrument was acknowledged before me on _____ day of _____ 2002 by Robert M. Murphy, President of Sandia Properties Ltd., Co., a New Mexico limited liability company, Managing Partner of Las Ventanas Limited Partnership, A New Mexico Limited Partnership.

My Commission Expires: _____ Notary Public

NOTICE OF SUBDIVISION PLAT CONDITIONS

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- 1. WATER AND SANITARY SEWER AVAILABILITY.
2. FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
3. PARK AND OPEN SPACE REQUIREMENTS.
4. DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
5. EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

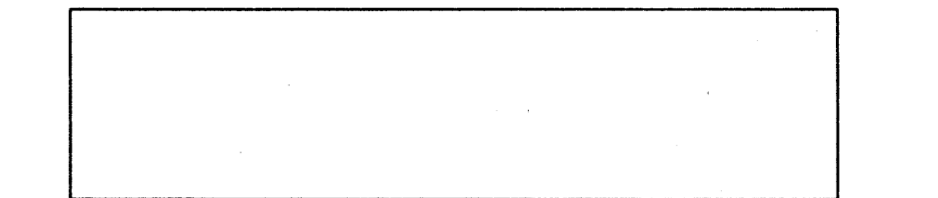
SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver New Mexico Professional Surveyor 6544

Date:



SKETCH PLAT OF TRACTS G-1 THRU G-4 VENTANA RANCH (A REPLAT OF TRACT G, VENTANA RANCH)

ALBUQUERQUE, NEW MEXICO NOVEMBER, 2002

APPROVALS

Table with columns for PLAT NUMBER, PLANNING DIRECTOR, CITY ENGINEER, A.M.A.F.C.A., TRAFFIC ENGINEER, CITY SURVEYOR, PROPERTY MANAGEMENT, UTILITY DEVELOPMENT DEPARTMENT, PARKS & RECREATION, QWEST, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICES, NEW MEXICO UTILITIES, INC., VENTANA RANCH COMMUNITY ASSOCIATION, INC., and DATE.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____

PROPERTY OWNER OF RECORD _____
BERNALILLO COUNTY TREASURER'S OFFICE DATE

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

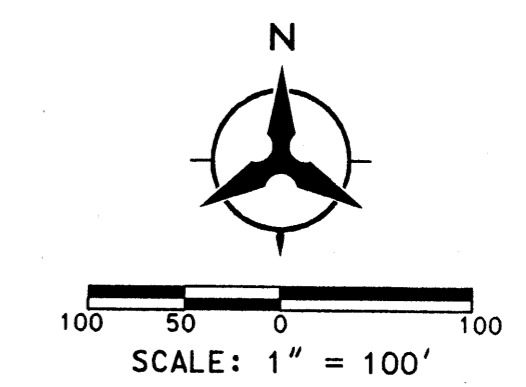


Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW TRACT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	CENTERLINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	3/4" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	CHISELED "X" ON MANHOLE LID
	10' PUE
	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

**SKETCH PLAT OF
TRACTS G-1 THRU G-4
VENTANA RANCH**
(A REPLAT OF TRACT G, VENTANA RANCH)
ALBUQUERQUE, NEW MEXICO
NOVEMBER, 2002



CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°08'21"	100.24'	157.32'	100.00'	141.59'	S44°47'20"E

TANGENT DATA		
ID	BEARING	DISTANCE
T1	N89°43'09"W	58.88'
T2	S00°16'51"W	21.89'
T3	S00°16'51"W	31.18'
T4	N70°07'15"E	272.73'
T5	N34°36'07"E	16.06'
T6	S89°51'30"E	200.48'
T7	S89°51'30"E	26.25'
T8	N25°30'27"E	50.45'
T9	N00°16'51"E	213.30'
T10	N39°41'05"W	142.57'
T11	N69°03'45"E	22.17'
T12	N89°51'30"W	39.62'
T13	N89°51'30"W	160.86'
T14	N20°56'15"W	65.37'
T15	N20°56'15"W	142.88'
T16	N20°56'15"W	152.70'
T17	S89°51'30"E	167.13'
T18	S89°51'30"E	25.87'
T19	N00°16'51"E	51.00'
T20	N00°16'51"E	123.40'
T21	N00°16'51"E	10.76'
T22	S89°51'30"E	72.00'
T23	S00°16'51"W	61.22'
T24	N39°41'05"W	56.05'
T25	N00°16'51"E	84.70'
T26	S89°51'30"E	193.00'
T27	S00°08'30"W	23.73'
T28	N69°03'45"E	25.69'
T29	N69°03'45"E	231.11'
T30	S20°56'15"E	36.01'
T31	S69°03'45"W	30.01'
T32	N29°51'30"W	58.89'
T33	N89°43'09"W	76.05'

ACS BRASS TABLET STAMPED "2-810"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=357,543.73 Y=1,527,976.48
GROUND TO GRID FACTOR = 0.99966354
DELTA ALPHA = -00°16'30"
NGVD 1929 ELEVATION = 5429.35

**BULK LAND PLAT OF
TRACT Z
VENTANA RANCH**
FILED: FEBRUARY 12, 1997
(197C-51)

CENTERLINE 20' PUBLIC STORM
DRAIN EASEMENT TO BE GRANTED
WITH THE FILING OF THIS PLAT

CENTERLINE EXISTING 20'
NMT STORM DRAIN ESMT.
FILED: DECEMBER 7, 2001
(BK. A28, PG. 4089)

CENTERLINE 20' PUBLIC
WATERLINE EASEMENT
TO BE GRANTED WITH THE
FILING OF THIS PLAT

CENTERLINE 20' PUBLIC
WATERLINE EASEMENT
TO BE GRANTED WITH THE
FILING OF THIS PLAT

CENTERLINE 20' PUBLIC
SANITARY SEWER EASEMENT
TO BE GRANTED WITH THE
FILING OF THIS PLAT

CENTERLINE 25' PUBLIC WATERLINE
& PUBLIC STORM DRAIN EASEMENT
TO BE GRANTED WITH THE FILING
OF THIS PLAT

CENTERLINE 20' PUBLIC
SANITARY SEWER EASEMENT
TO BE GRANTED WITH THE
FILING OF THIS PLAT

HATCHED AREA DESIGNATES
PUBLIC STREET RIGHT-OF-WAY
TO BE DEDICATED TO THE CITY
OF ALBUQUERQUE WITH THE
FILING OF THIS PLAT

**TRACTS H-1 & H-12
VENTANA RANCH**
FILED: DECEMBER 3, 2001
(2001C-315)

**TRACT J
VENTANA RANCH**
NOVEMBER 30, 1995
(195C-430)

ACS BRASS TABLET STAMPED "1-810"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=357,526.69 Y=1,525,168.35
GROUND TO GRID FACTOR = 0.9996640
DELTA ALPHA = -00°16'30"
NGVD 1929 ELEVATION = 5419.522

CENTERLINE EXISTING 86' PUBLIC
ROADWAY, DRAINAGE, AND UTILITY
EASEMENT
FILED: NOVEMBER 30, 1995
(195C-430)

**PLEASANT HILLS
SUBDIVISION
AT VENTANA RANCH**
FILED: AUGUST 20, 1998
(198C-250)

**50' AMAFCA
DRAINAGE RW**

**COUNTRY HILLS SUBDIVISION
UNIT 2
AT VENTANA RANCH**
FILED: JANUARY 5, 1998
(198C-3)

**COUNTRY HILLS SUBDIVISION
UNIT 1
AT VENTANA RANCH**
AUGUST 15, 1996
(196C-357)

EXISTING 50' PLAINS
ELECTRIC LINE EASEMENT
FILED: MAY 8, 1953
(MISC. BK. 14, PG. 341)
DOCUMENT NO. 95018489

**TRACT G-3
1.9826 Acres**
CENTERLINE EXISTING
15' WATERLINE EASEMENT
FILED: MARCH 7, 1994
(BK. 94-B, PGS. 0172-0175)
DOCUMENT NO. 94030720
FIRST AMENDMENT
FILED: APRIL 14, 1994
(BK. 94-12, PGS. 3301-3302)
DOCUMENT NO. 94049364

**TRACT G-4
0.9345 Acres**

**TRACT G-2
7.0981 Acres**

**TRACT G-1
1.0931 Acres**

**PARADISE BOULEVARD NW
(53' RW)**

**TRACTS H-1 THRU H-11
VENTANA RANCH**
FILED: (2002C-)

**DANTE LANE NW
(PRIVATE)**

**LA SCALA SUBDIVISION
AT VENTANA RANCH**
JULY 2, 2001
(2001C-188)

**MICHELANGELO LANE NW
(PRIVATE)**

**PARADISE
BLVD. NW
(63.18' RW)**

EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-LT TRACT 7A

TRACT F-I
Zoning R-LT

FUTURE CITY
COMMUNITY PARK

Natural Basalt and Soil Cement Drainage Conveyance

TRACT Z
AMAFCA
DRAINAGE
FACILITY

BUILDING AREA & PARKING CALCULATIONS:
 MAJOR 1: 41,450 SF. BUILDING.
 LOT SIZE = 234,301 SF OR 5.38 AC.
 41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST 15,000 SF OF NET LEASABLE AREA; 75 CARS.
 1 SPACE PER 250 SF FOR THE NEXT 26,450 SF OF NET LEASABLE AREA; 106 CARS
 = 181 CARS
 SPACES PROVIDED 181 SPACES.
 FAR = .17
 OCCUPANT LOAD: 41,450 / 30 = 1,382
 SHOPS 1: 11,600 SF. BUILDING.
 LOT SIZE = 48,127 SF OR 1.10 AC.
 11,600 SF / 200 = 58 SPACES.
 SPACES PROVIDED 58 SPACES.
 FAR = .24
 OCCUPANT LOAD: 2,005 / 15 = 134
 PAD 1: 2,005 SF. BUILDING.
 LOT SIZE = 31,266 SF OR .718 AC.
 1 CAR PER 4 PROVIDED SEATS
 48 SEATS / 4 = 12 REQ. CARS.
 SPACES PROVIDED 31 SPACES.
 FAR = .06
 OCCUPANT LOAD: 2,005 / 15 = 134
 PAD 2: 2,763 SF. BUILDING.
 LOT SIZE = 38,457 SF OR .88 AC.
 1 CAR PER 4 PROVIDED SEATS
 80 SEATS / 4 = 20 REQ. CARS.
 SPACES PROVIDED 42 SPACES.
 FAR = .07
 OCCUPANT LOAD: 2,763 / 15 = 185
 SHOPS 2: 10,500 SF. BUILDING.
 LOT SIZE = 47,748 SF OR 1.05 AC.
 10,500 SF / 200 = 53 SPACES.
 SPACES PROVIDED 57 SPACES.
 FAR = .22
 OCCUPANT LOAD: 10,500 / 30 = 350
FLOOR AREA RATIO
 BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT WITH C.O.A.
 TOTAL BUILDING AREA = 68,318 SQ/FT
 TOTAL LOT AREA = 397,932 SQ/FT
 TOTAL FAR = .17
PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20'-0"
 SMALL CARS SPACES ARE 8'-0" X 18'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *
 25 BICYCLE SPACES.
 10 MOTORCYCLE SPACES.
 TOTAL STANDARD PARKING SPACES PROVIDED 319 SPACES
 TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES
 TOTAL HC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 27 SPACES
 TOTAL PROVIDED 369 SPACES
 TOTAL REQUIRED SPACES = 324 SPACES
 TOTAL PROVIDED SPACES = 347 SPACES

LEGAL DESCRIPTION

TRACTS G AT VENTANA SQUARE
 CURRENT ZONING
 C-2 TO SU-1 FOR C-2
 TOTAL ACRES
 9.13 ACRES G1,G2,G4,G5,G6,
 WALGREENS 3.55
 TOTAL GROSS 12.88 AC.
GENERAL ARCHITECTURAL DESIGN REQUIREMENTS
GENERAL ARCHITECTURAL
 General architecture character for pad structures is to follow the general design concept depicted on elevations of major stores and shops. pad buildings will be cementitious finish with a cementitious or split face cmu dado band, the main building walls must be colored to match color benjamin moore (#2) bm951 and (#1) bm1032. if the building extends below finish floor that area will also be covered with color #2. structures are to be predominately flat-roofed however partial building areas such as porches or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type mission tile clad and the high point of the roof must hit the main building wall below the top of the main building parapet. Architectural entry element roofs may extend above the parapet wall top and area to relate to the entry format of the main buildings. Building heights are limited to 35' (PER CARMEN MARRONE) parapet heights for major building walls, and 28' parapet heights for pad building walls mission tile clad entry roofs may extend above this height to accent and articulate the building mass.

PAD ARCHITECTURAL DESIGN STANDARDS

Shall include the following elements to provide uniform standards for all pads, each pad to follow building elevations provided. --the lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face cmu or stucco, color #2. --four or eight inch split face or accent block. color #1 --fuel canopies to be cementitious finish color #1 lighting to be entirely recessed in soffit of fuel canopies(max 50ft candles) --each pad development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.

MECHANICAL EQUIPMENT SCREENING

All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be observed from the residential area horizontal screening per the attached conceptual sketch is required.

COLOR PALETTE

color #1 light tan benjamin moore #1032
 color #2 medium dark tan wood grain base wall color #951
 color #3 marbled terra cotta concrete tile roofing, trim & accents (med red/brown), (MONIER BARCELONA CLIFFSIDE, RED).

SPECIAL BUFFERING

Drive up pick up windows to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

BUILDING SIGNAGE

Except as noted under awnings all signage will be internally illuminated individual type lettering not to exceed 6 percent of the wall area of each building elevation or ten percent of the wall area of the shop building. Letters are to be back lit. No exposed neon. Neon must be within solid opaque faced metal channel lettering can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.

LANDSCAPING

Landscaping of the pads will be from the same landscaping pallet and concept as provided on the master landscaping plan.

AWNINGS

Awnings are permitted above window areas. Awnings with pointed or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of building wall. Illumination of awnings must be from pendant mounted fixtures located above the awning. Accent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.

GLAZING

Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.

SERVICE AREAS

Service areas such as refuse locations and compactors are to be totally screened from the view of the adjacent residential area, public rights-of-way and the adjacent monument area. Free-standing dumpster and compactor locations are to be gated. Screening material to match building wall color and material REFER TO LIGHTING

FREE STANDING SIGNAGE

600 sq ft x 18" tall architecturally coordinated signs are permitted, one each at the paradise blvd. entry to G, and one on Paseo del Norte frontage. Each pad building or group of pad buildings to have one 50 sf monument sign.

TRAFFIC REQUIREMENTS:

All traffic requirements have been met per May 31, 1998 agreement between the city and Los Ventanas limited partnership.

PARKING

The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entries

ALTERNATE USE

Concept: If one of the approved schematic alternate use plans is selected for development in lieu of the approved Site Plan for Building Permit, a complete Site Plan for Building Permit Purpose will be prepared and submitted to the DRB for review and approval. EPC review not required unless the plan for development does not match one of the alternate schematic plans).

RADIUS INFORMATION:

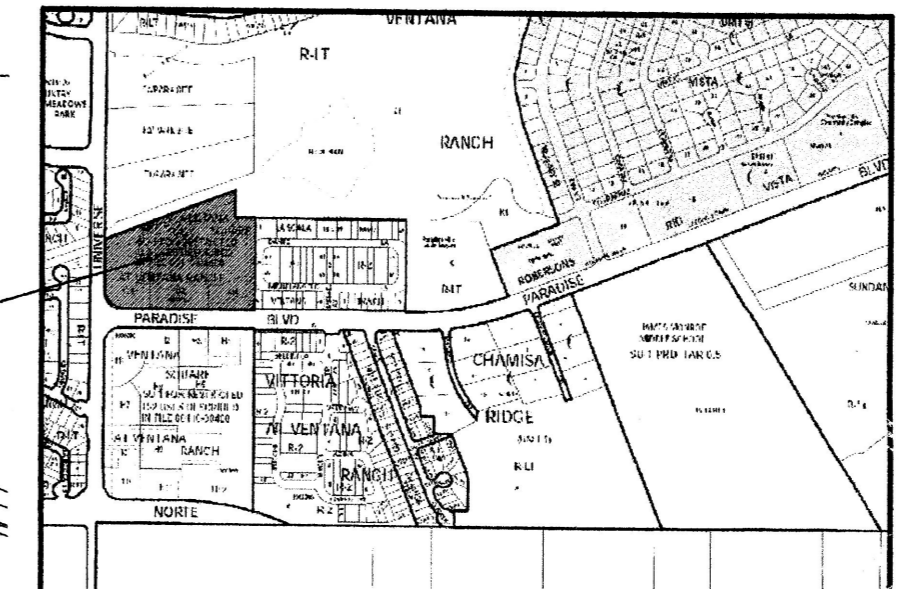
- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 35'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 100'-0"

FILE: PROJECT# 1002346
 OSEP-01284 EPC SITE DEVELOPMENT PLAN BUILDING PERMIT.
 OSEP-01283 EPC AMENDED SITE DEVELOPMENT PLAN SUBDIVISION.
 LEGAL DESCRIPTION: FOR ALL OR A PORTION OF TRACTS G1,G2,G4, VENTANA SQUARE AT VENTANA RANCH, ZONED SU-1 FOR RESTRICTED C-2 USES, LOCATED AT THE NORTHEAST CORNER OF UNIVERSE BLVD. NW AND PARADISE BLVD. NW, APPROXIMATELY 9.13 ACRES. (8-10 CARMEN MARRONE, STAFF PLANNER.

LEGEND

- EXISTING.
- LIGHT POST.
- F.H.

EXISTING CMU WALL.
 EXISTING WATER LINE EASEMENT (ROW 15').



7 VICINITY PLAN

SCALE: 1" = 1,000'

KEYED NOTES

1. PYLON SIGN, 1A, MONUMENT.
2. 8'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK.
3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
4. 6'-0"X6'-0" TREE PLANTERS.
5. BIKE RACK PER C.O.A. STANDARDS.
6. 2'-6" GARDEN WALL. (COLOR & MATERIAL TO MATCH MAIN BUILDING).
7. CONCRETE OUT DOOR PATIO AREA.
8. ASPHALT TRAIL.
9. DOCK METAL.
10. LANDSCAPE AREA.
11. TRANSFORMER.
12. PROPOSED FUTURE CELLULAR SITE.
13. BENCHES.
14. 12"x18" MOTORCYCLE SIGN AS PER CITY REQ.(MC)
15. SIGN, SLOW DOWN DUE TO PEOPLE CROSSING.
16. 10'-0" SCREEN WALL.
17. RIGHT TURN LANE.
18. MULTI-PURPOSE TRAIL (PER LONG RANGE BIKEWAY SYSTEMS MAP).
19. TRELLIS.

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

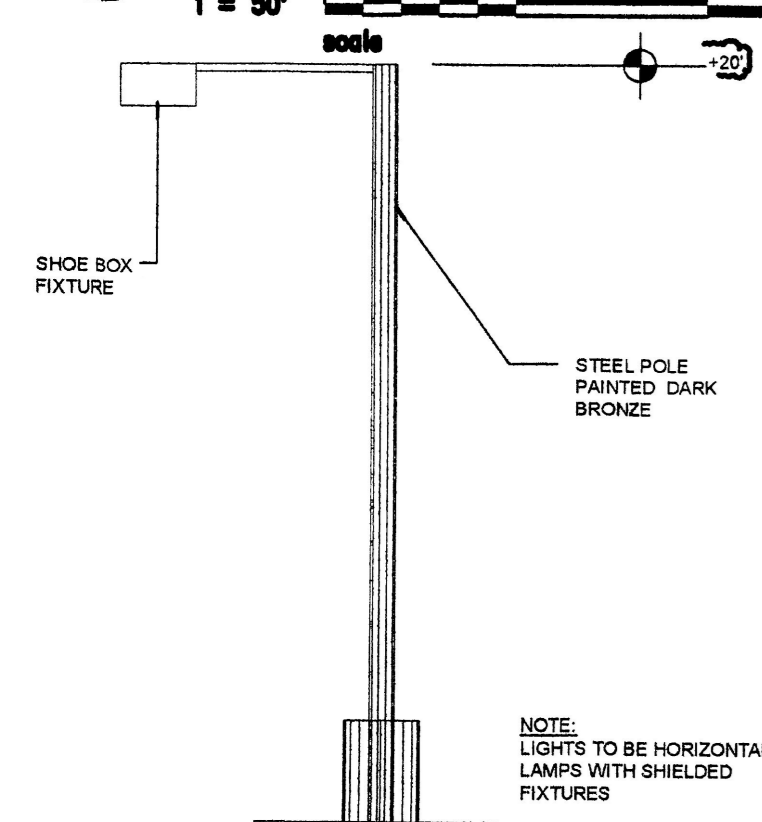
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date:
Water Utility Department	Date:
Parks and Recreation Department	Date:
City Engineer	Date:
Environmental Health Department	Date:
Solid Waste Management	Date:
DRB Chairperson, Planning Department	Date:

* Environmental Health, if necessary

1 SITE PLAN

Scale: 1" = 50'-0"



3 SITE LIGHTING

Scale: Not to Scale



4 REFUSE ENCLOSURE

Scale: Not to Scale



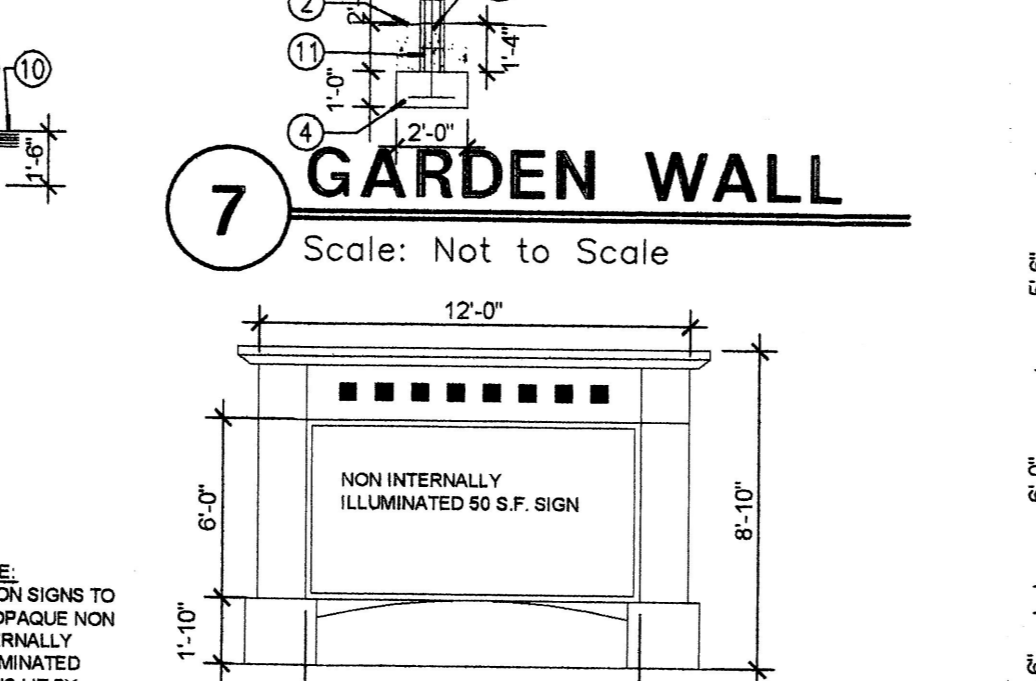
2 BIKE RACK

Scale: Not to Scale



SU-1 FOR C2 PURPOSES

Scale: Not to Scale



5 MONUMENT SIGN

Scale: Not to Scale



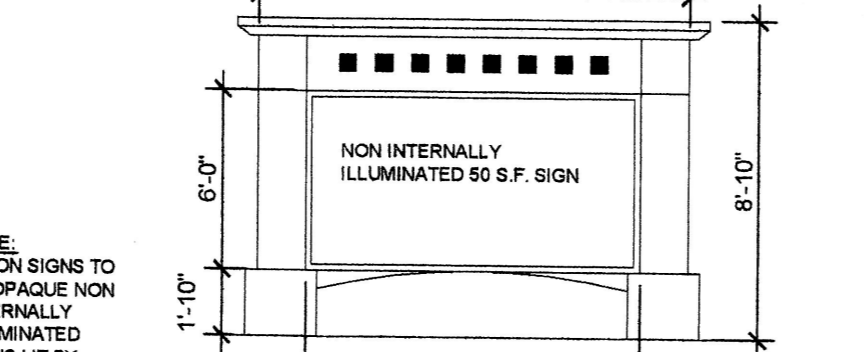
6 MONUMENT SIGN

Scale: Not to Scale



7 GARDEN WALL

Scale: Not to Scale



- KEYED NOTES
- 1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR MATCH BUILDING COLOR.
- 2. FINISH GRADE.
- 3. SLOPE STUCCO CAP.
- 4. 4#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
- 5. 2#4 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS #5 BARS @ 32" O.C. VERTICAL. GROUT REIN-FORCED CELLS, DUNWALL @ 16" O.C. HORIZONTAL.
- 6. 1/2" EXPANSION JOINT MATERIAL.
- 7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 606 - 10X10 W/M W/ TURNDOWN EDGE.
- 8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 606 - 10X10 W/M W/ TURNDOWN EDGE.
- 9. 4" CONCRETE FILLED PIPE IN 16 DIA. X 2'-4" DEEP CONG. FOOTING. PAINT TO MATCH STUCCO FINISH.
- 10. ASPHALT PAVING.
- 11. GROUT ALL CELLS SOLID BELOW GRADE. TYPICAL.

NOTE: LIGHTS TO BE HORIZONTAL LAMPS WITH SHIELDED FIXTURES

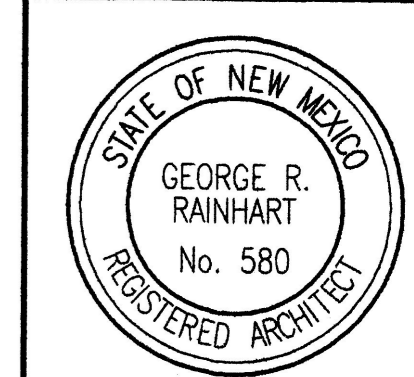
NOTE: SOLID METAL GATE COLOR TO MATCH BUILDING COLOR

NOTE: 2" DIA. STEEL PIPE (PAINT SET INTO SIDEWALK 18" FROM EDGE)

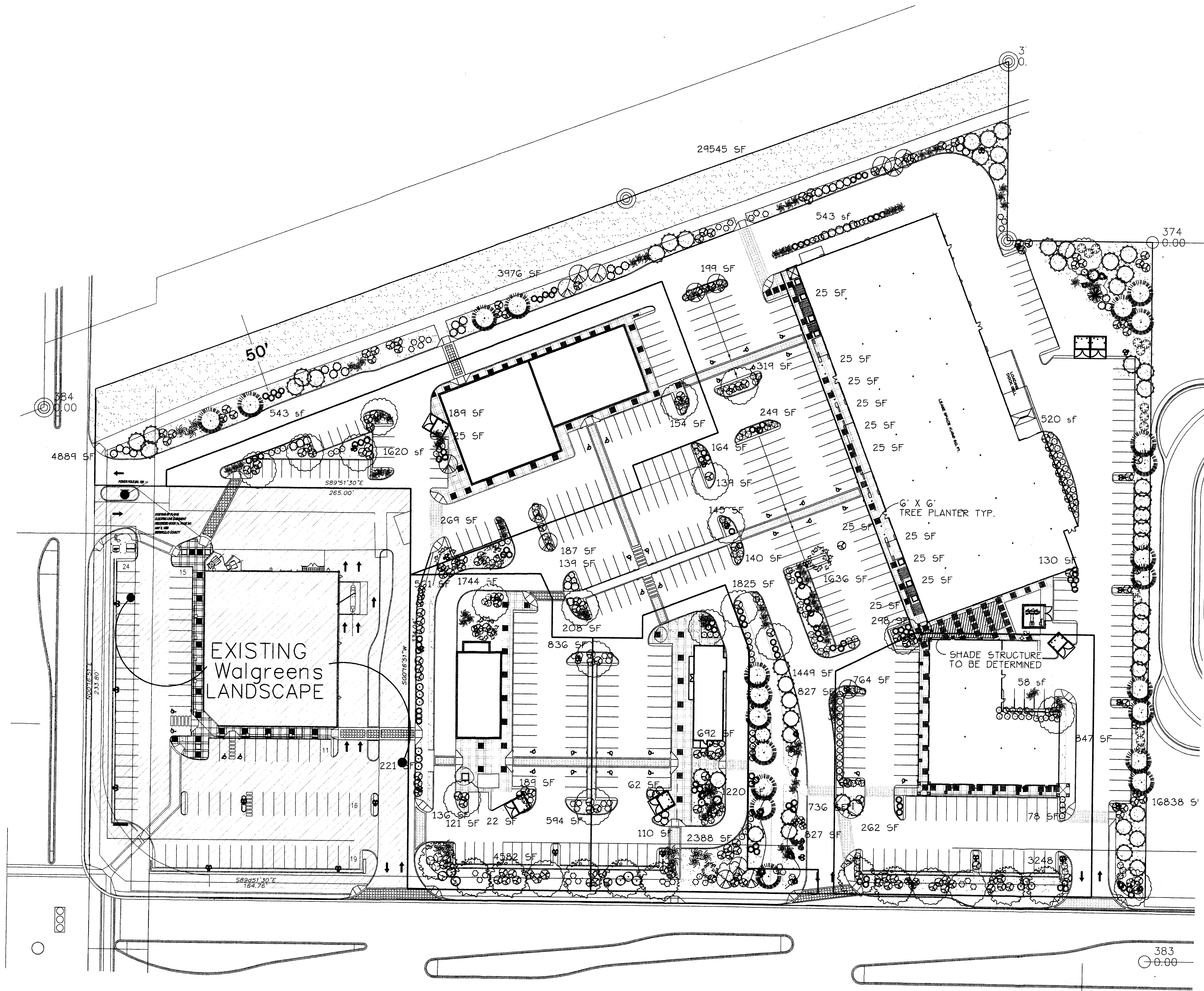
NOTE: PYLON SIGNS TO BE OPRAQUE NON INTERNALLY ILLUMINATED SIGNS LIT BY OVER-HEAD BRACKET MOUNTED FLOOD LAMPS.

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2525 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
VENTANA SQUARE.
 (NEO UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO)
 PROJECT MANAGER
 GEORGE RAINHART
 SHEET TITLE
SITE PLAN FOR BLDG. PERMIT
 DRAWN BY:
 APZ
 JOB NO.
 902
 DATE:
 11/15/2005
 SCALE:
 1"=50'
 sheet:
A1.1
 G-1A & G-2A



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

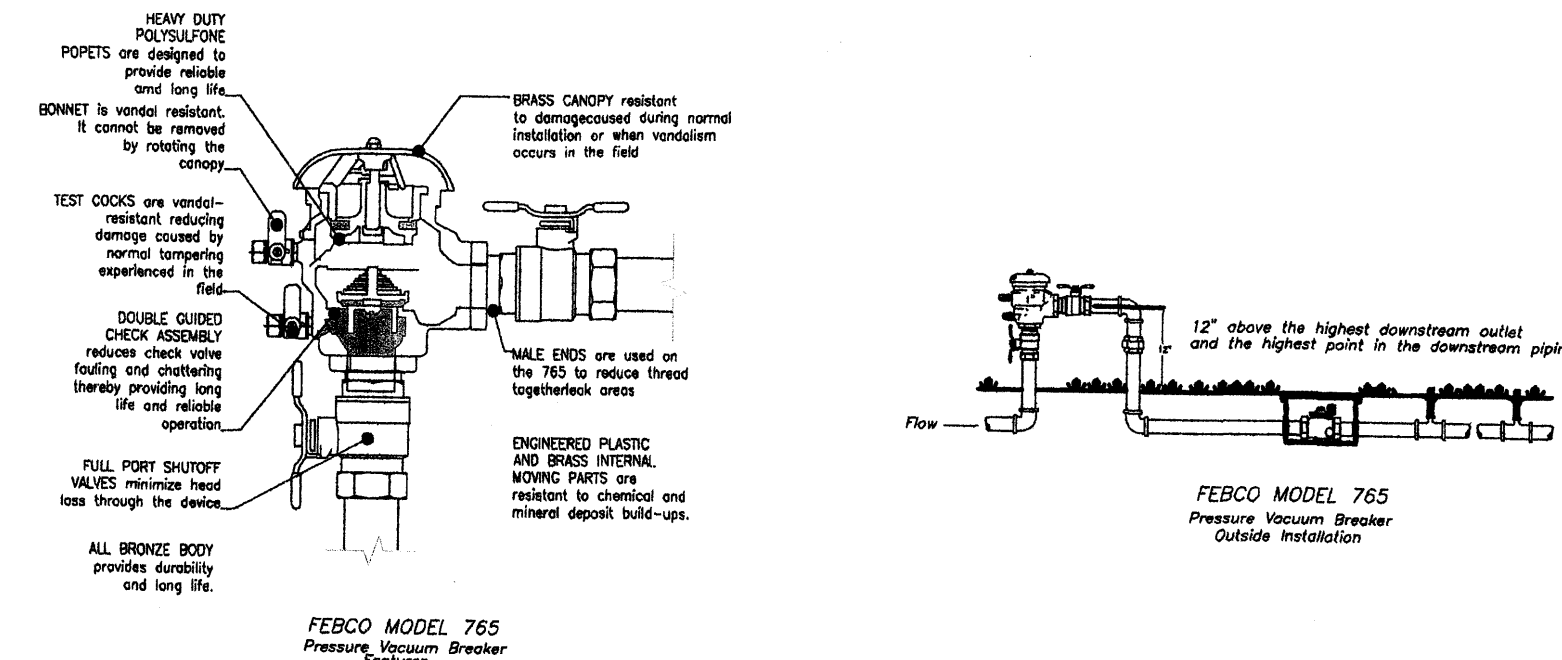
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

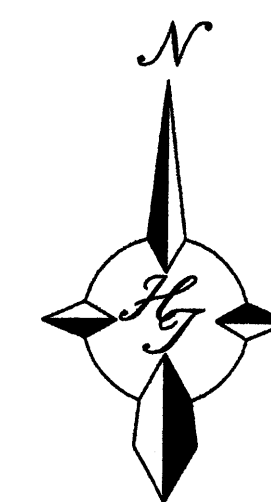
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

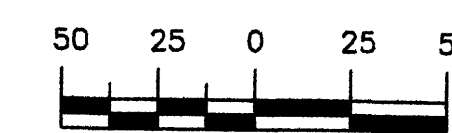


BACKFLOW PREVENTER DETAIL

no scale



GRAPHIC SCALE



SCALE: 1"=50'

The Hilltop

LANDSCAPE ARCHITECTS + CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cjohnson@hilltoplandscaping.com

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REV	DATE	BY	REVISION
1	11-7-05	dfr	EPC COMMENTS
2	11/15/05	dfr	revised site plan

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**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PROJECT TITLE VENTANA INFC/UNIVERSITY & PARADISE ALBUQUERQUE, NEW MEXICO	JOB NO. 9632	DRAWN BY: dfr
PROJECT MANAGER GEORGE RAINHART	SHEET TITLE LANDSCAPE PLAN	

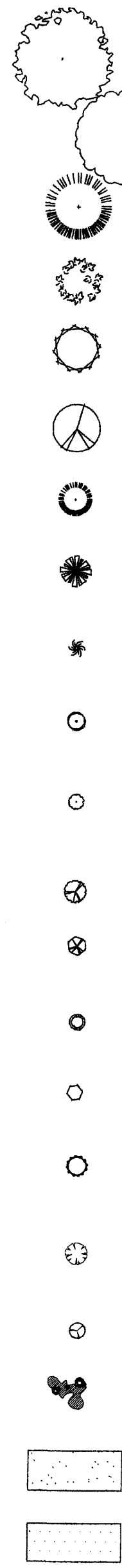
DATE: 072305	sheet: L1.0
SCALE: 1"=50'	of:

LANDSCAPE CALCULATIONS

	MAJOR 1	SHOPS 1	SHOPS 2	PAD 1	PAD 2	SITE
TOTAL LOT AREA	234301 square feet	48127 square feet	45748 square feet	31280 square feet	38471 square feet	397932 square feet
TOTAL BUILDINGS AREA	42860 square feet	11400 square feet	9600 square feet	2005 square feet	2763 square feet	68628 square feet
OFFSITE AREA	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet
NET LOT AREA	191441 square feet	36727 square feet	36148 square feet	29275 square feet	35708 square feet	329299 square feet
LANDSCAPE REQUIREMENT	15%	15%	15%	15%	15%	15%
TOTAL LANDSCAPE REQUIREMENT	28716 square feet	5509 square feet	5422 square feet	4391 square feet	5356 square feet	49394 square feet
TOTAL BED PROVIDED	35078 square feet	2257 square feet	5555 square feet	6297 square feet	9006 square feet	58193 square feet
GROUND COVER REQ.	75%	75%	75%	75%	75%	75%
TOTAL GROUND COVER REQUIREMENT	27481 square feet	1634 square feet	5999 square feet	4409 square feet	4846 square feet	43645 square feet
TOTAL GROUND COVER PROVIDED	30781 square feet	2880 square feet	6836 square feet	4503 square feet	4711 square feet	49711 square feet
TOTAL PONDING AREA	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet	0 square feet
TOTAL LANDSCAPE PROVIDED	34093 square feet	3420 square feet	7700 square feet	5259 square feet	5971 square feet	58193 square feet

PLANT LEGEND

	QUANTITY MAJOR 1	QUANTITY SHOPS 1	QUANTITY SHOPS 2	QUANTITY PAD 1	QUANTITY PAD 2	QUANTITY SITE
ARIZONA ASH (H) Fraxinus velutina 2" Cal	-	-	4	1	4	9
RAYWOOD ASH (H) Fraxinus oxycarpa raywood 2" Cal	9	5	3	1	5	23
AUSTRIAN PINE(H) Pinus nigra 6"-8"	15	-	-	7	-	22
WASHINGTON HAWTHORN (H) Crataegus phaenopyrum 15 gal	2	-	-	1	1	4
DESERT WILLOW (M) Chilopsis linearis 5 gal 225 sf	51	-	12	3	-	66
FLOWERING PEAR (H) Pyrus caleryana 1 1/2" cal	10	1	1	3	-	15
MUGHO PINE Pinus mugho 5 gal	4	-	-	-	-	4
PALM YUCCA (L)	1	-	-	-	-	1
MAIDEN GRASS (L) Miscanthus sinensis 5 gal 25sf	53	15	8	12	6	94
RUSSIAN SAGE (M) Perovskia atriplicifolia 5 gal 25sf	1	-	3	4	9	17
PHOTINIA Nandina domestica 5 gal 25sf	36	9	33	8	-	86
CREeping ROSEMARY (L) Rosmarinus officinalis 'Prostrata' 1 gal 36sf Symbol indicates 3 plants	92	15	24	21	35	187
INDIAN HAWTHORN (M) Raphiolepis indica 5 gal 12sf	3	-	3	1	5	12
ROSEMARY (M) Rosmarinus officinalis 5 gal 36sf	72	9	9	6	6	102
AUTUMN SAGE (M) Salvia greggii 5 gal 12sf	17	-	3	6	21	47
SILVERBERRY (M) Eleagnus pungens 5 gal 100sf	35	3	-	6	-	44
CHAMISA (L) Chrysothamnus nauseosus 1 gal 36sf	13	-	-	1	-	14
WILDFLOWER 1 gal 4sf	56	3	12	6	7	84
OVERSIZE GRAVEL AND BOULDERS						
SANTA FE BROWN GRAVEL W/ FF						
SANTA FE BROWN CF W/ FF						



REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

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**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT TITLE: **VENTANA**
 (NEC) UNIVERSE & PARADISE
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: **GEORGE RAINHART**

JOB NO. 9062

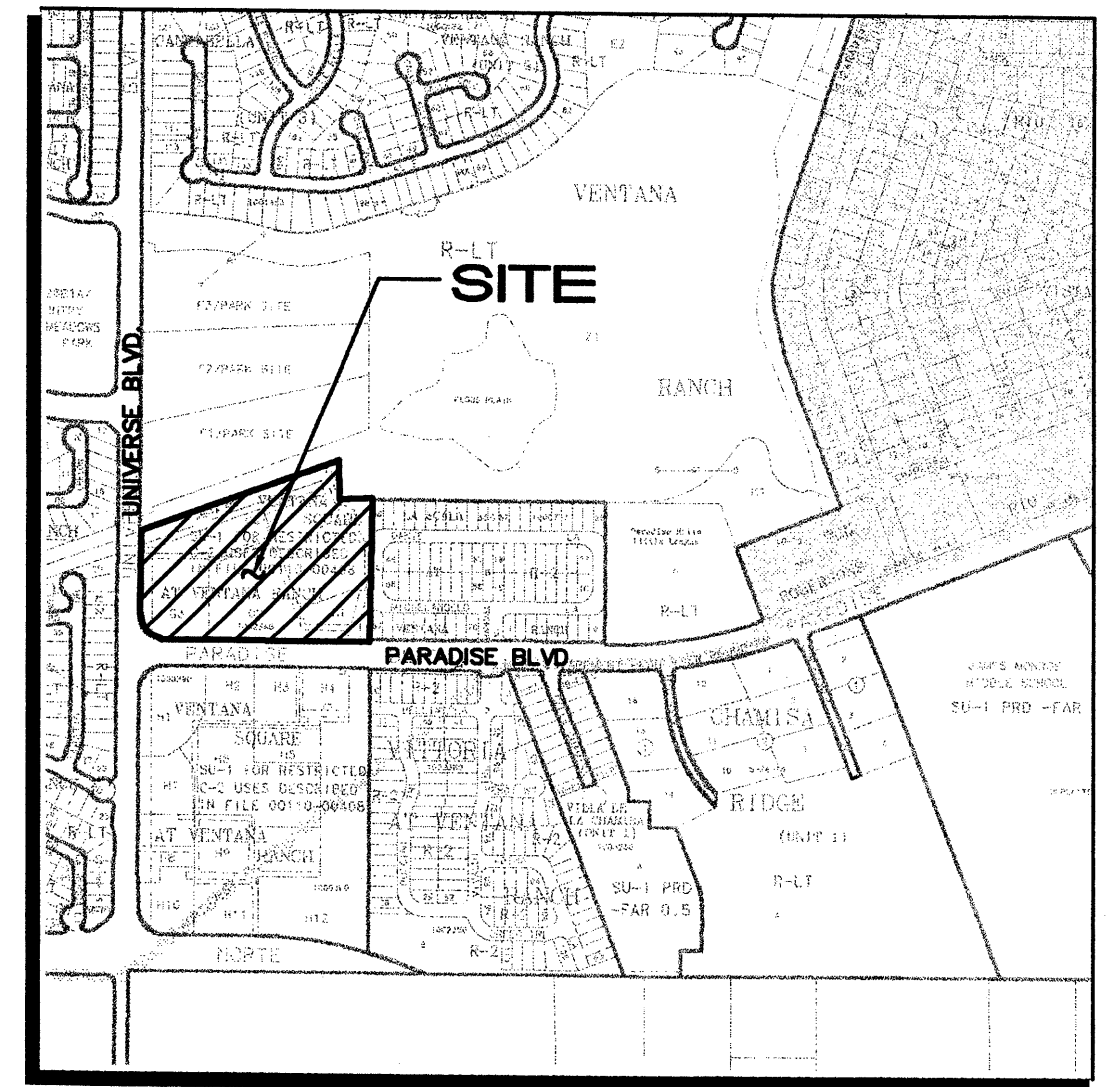
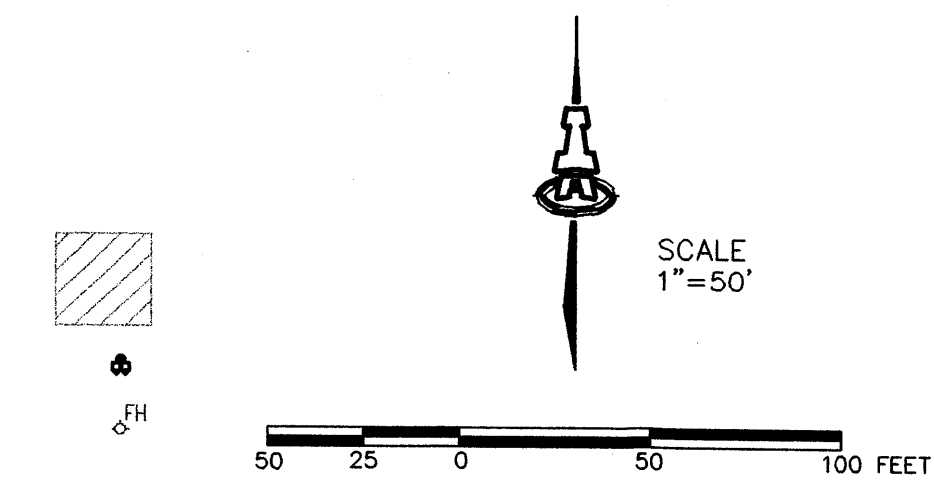
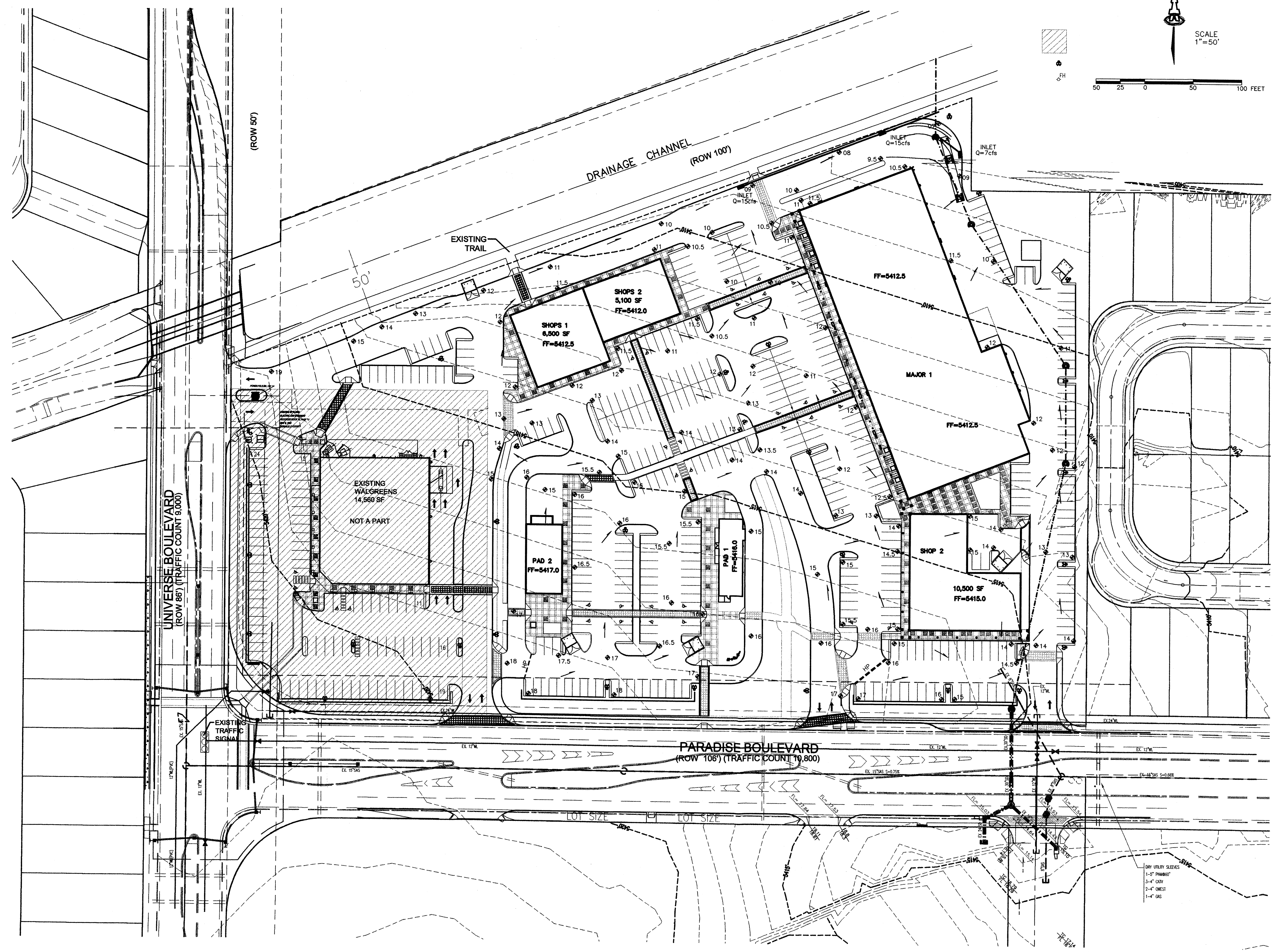
DRAWN BY: **djt**

SHEET TITLE: **LANDSCAPE PLAN**

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 LANDSCAPE ARCHITECTS & CONTRACTORS
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 cjohnson@hilltoplandscaping.com

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DATE: 11/15/05	sheet-
SCALE: 1"=50'	L2.0 of



B-10-Z
VICINITY MAP
1"=750'

SITE AREA: 9.13 ACRES
LEGAL: TRACT G-2 VENTANA RANCH
FLOOD PLAN: THIS SITE IS IN ZONE 'X' AND OUTSIDE THE 500-YEAR FLOOD PLAIN PER FEMA MAP PANEL 103.
EXISTING CONDITIONS: A PLAN WAS PREVIOUSLY APPROVED FOR BOTH SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT. THE WALGREEN'S SITE HAS BEEN DEVELOPED AT THE N.E. CORNER OF UNIVERSE AND PARADISE BOULEVARDE AND IS NOT A PART OF THIS NEW PLAN.
EXISTING HYDROLOGY: 100% A, ZONE: 1
 $Q = (9.13 \text{ acres})(1.29 \frac{cfs}{\text{acre}}) = 11.8 \text{ cfs}$
PROPOSED CONDITIONS: 10% B & 90% D
 $Q = (9.13 \text{ acres})(4.06 \frac{cfs}{\text{acre}}) = 37.1 \text{ cfs}$
OFFSITE FLOW IS ACCEPTED ONSITE FROM THE WALGREEN'S SITE ($Q=8.0\text{cfs}$) AND WILL BE PASSED THROUGH THE SITE TO DISCHARGE TO THE AMAFCA DRAINAGE FACILITY ALONG THE NORTH SIDE OF THE SITE.

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - ⊕ 78.3 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - FF = 5412.5 FINISH FLOOR ELEVATION
 - HP - HIGH POINT

SCOTT M. MCGEE
NEW MEXICO
10519
PROFESSIONAL ENGINEER
11/17/05

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 126 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1474GRD.DWG.rh 11/07/05

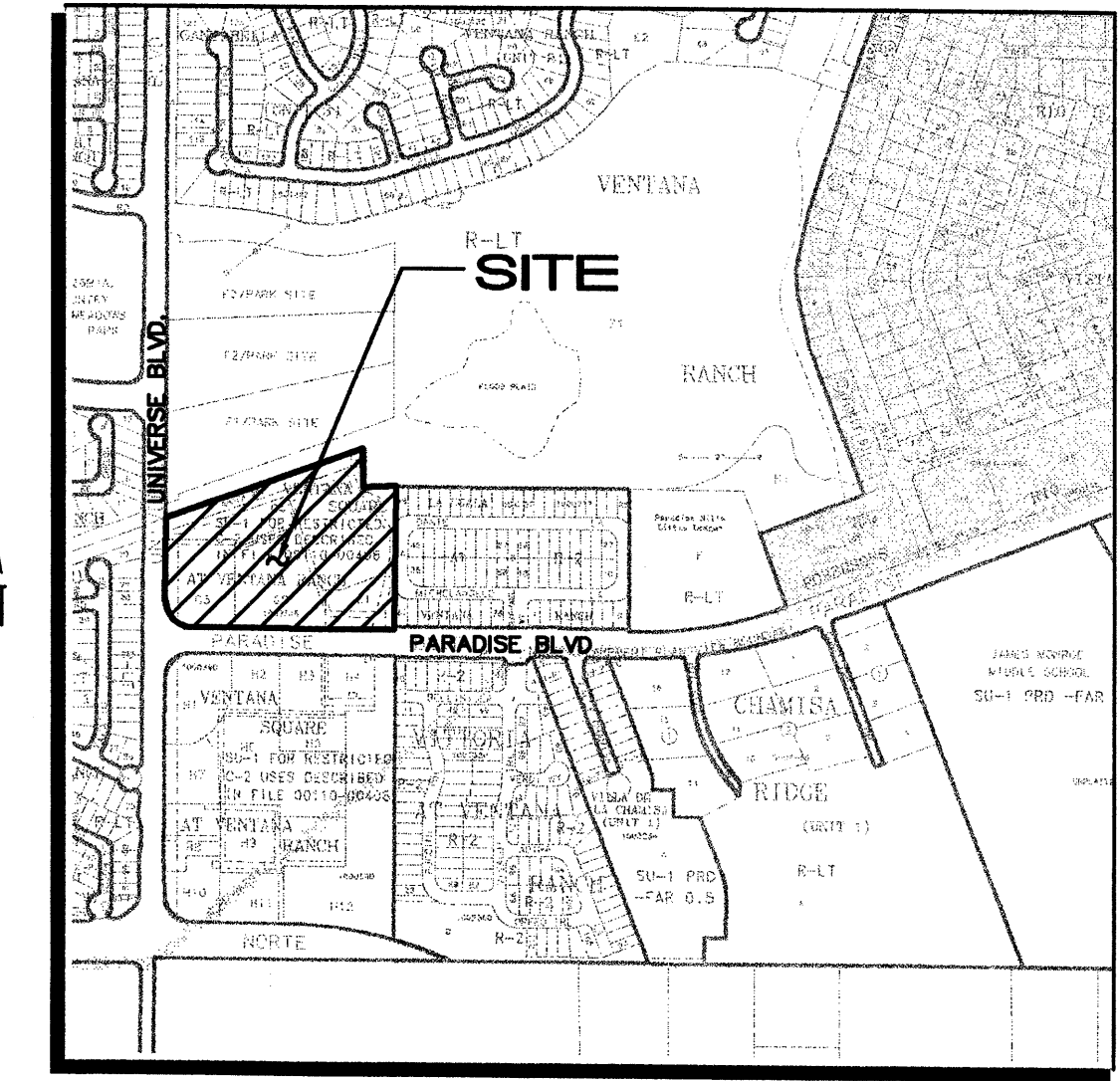
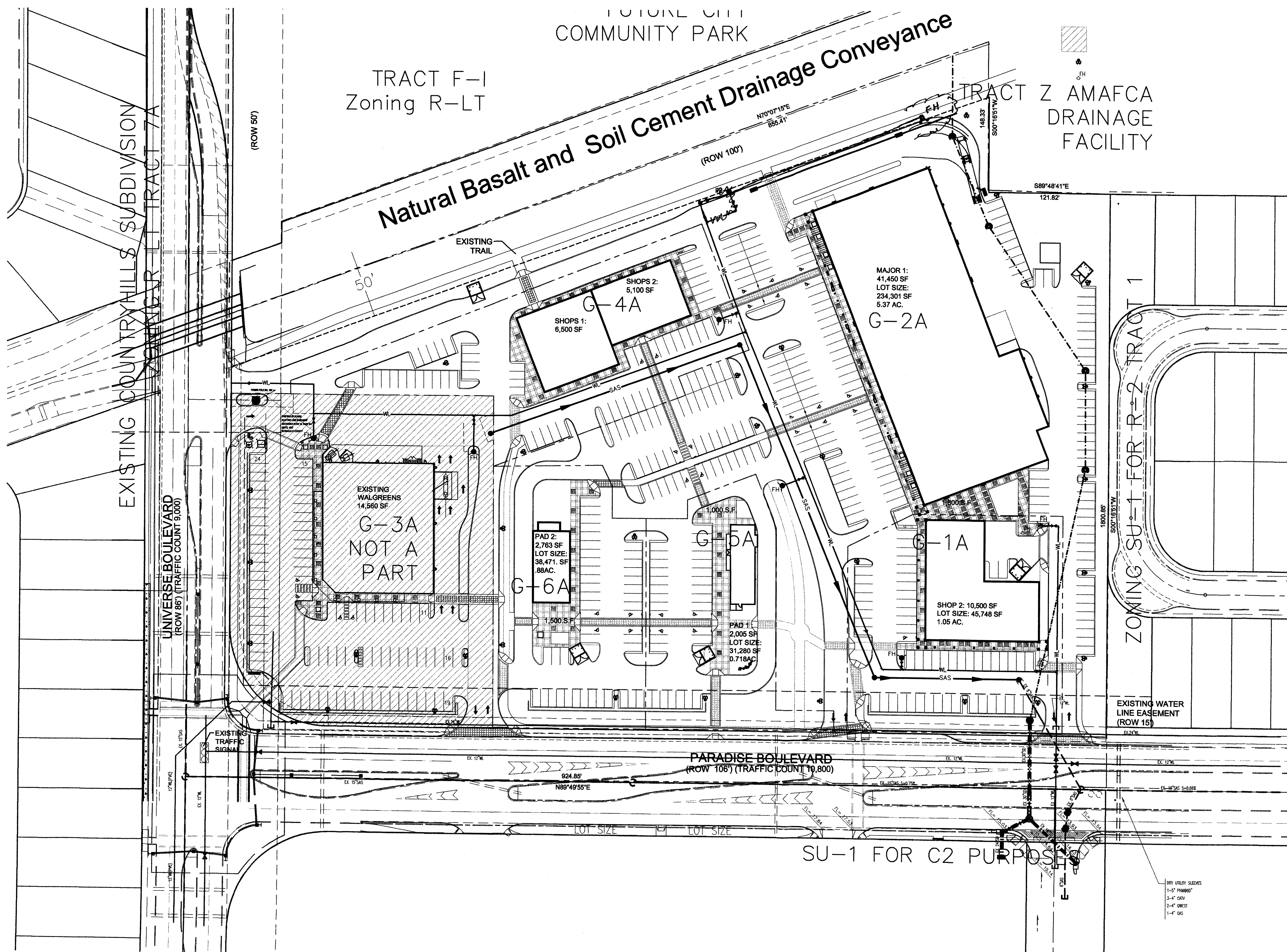
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VENTANA SQUARE NORTH

CONCEPTUAL GRADING & DRAINAGE PLAN

Checked By:	Drawn By:	No.:	Revision:	PAGE 51 OF
Date:	Lot Number:			

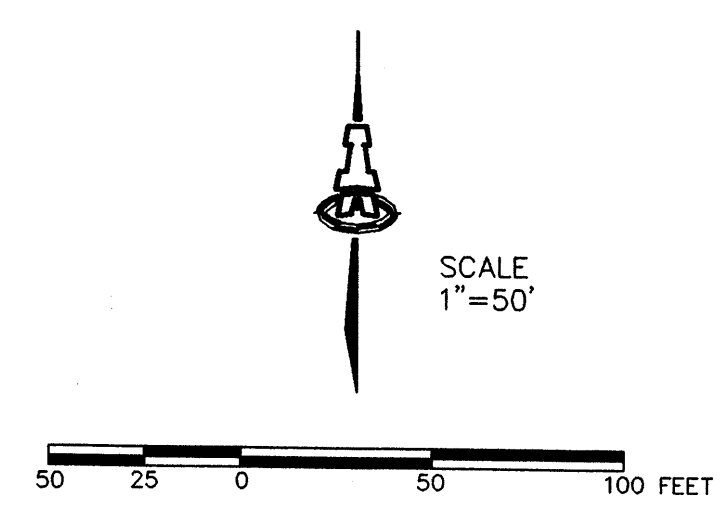
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B-10-Z
VICINITY MAP
1"=750'

LEGEL: TRACT G-2 VENTANA RANCH
AREA: 9.13 ACRES

- LEGEND**
- GATE VALVE W/ VALVE BOX
 - FIRE HYDRANT
 - SAS MANHOLE
 - WATER LINE W/ FITTING



SCOTT M. MCGEE
NEW MEXICO
10519
LICENSED PROFESSIONAL ENGINEER

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1725 Monroe Street N.E.
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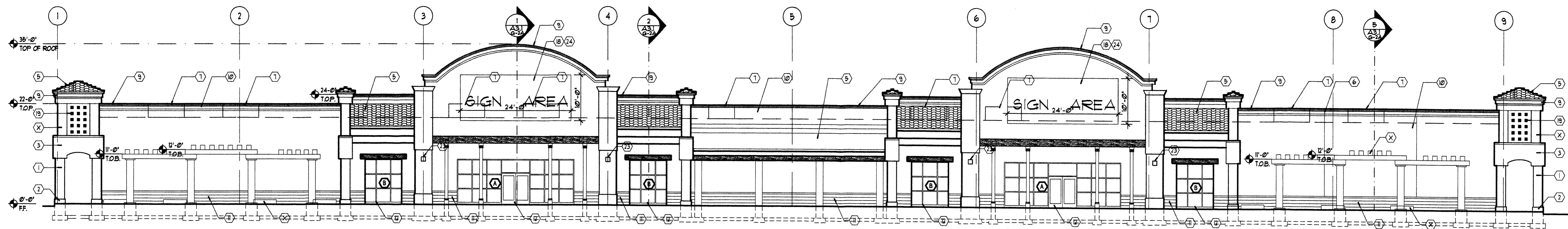
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VENTANA SQUARE NORTH

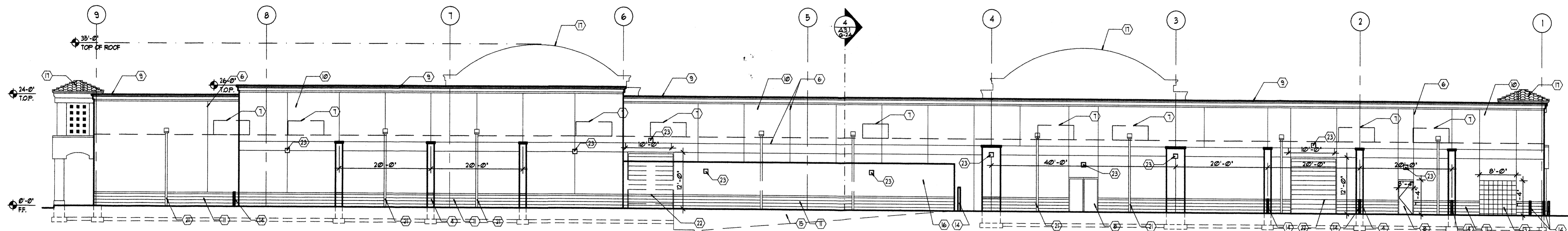
CONCEPTUAL UTILITY PLAN

PAGE	51 OF
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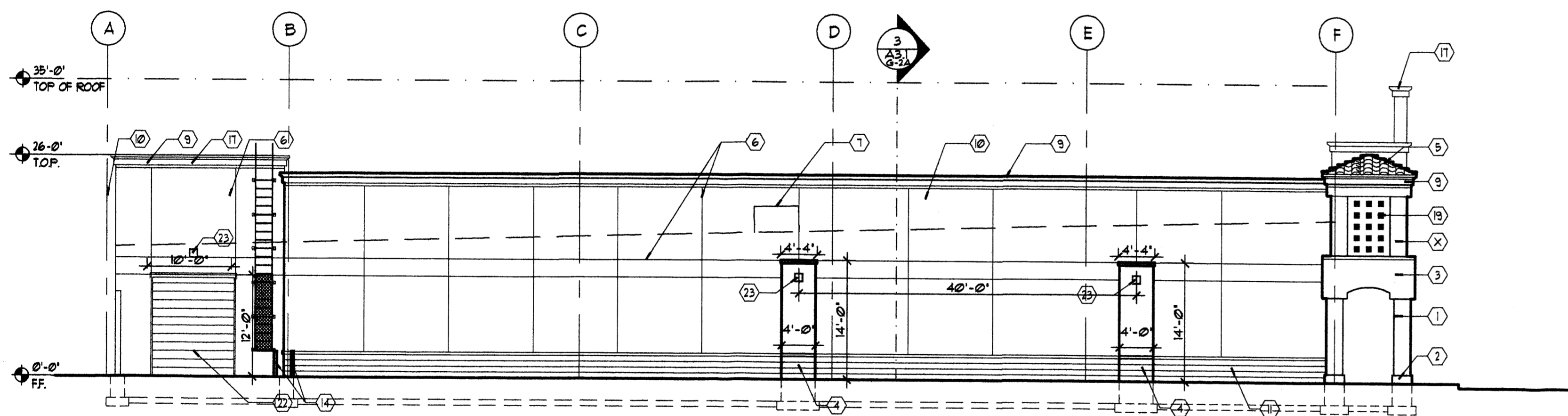
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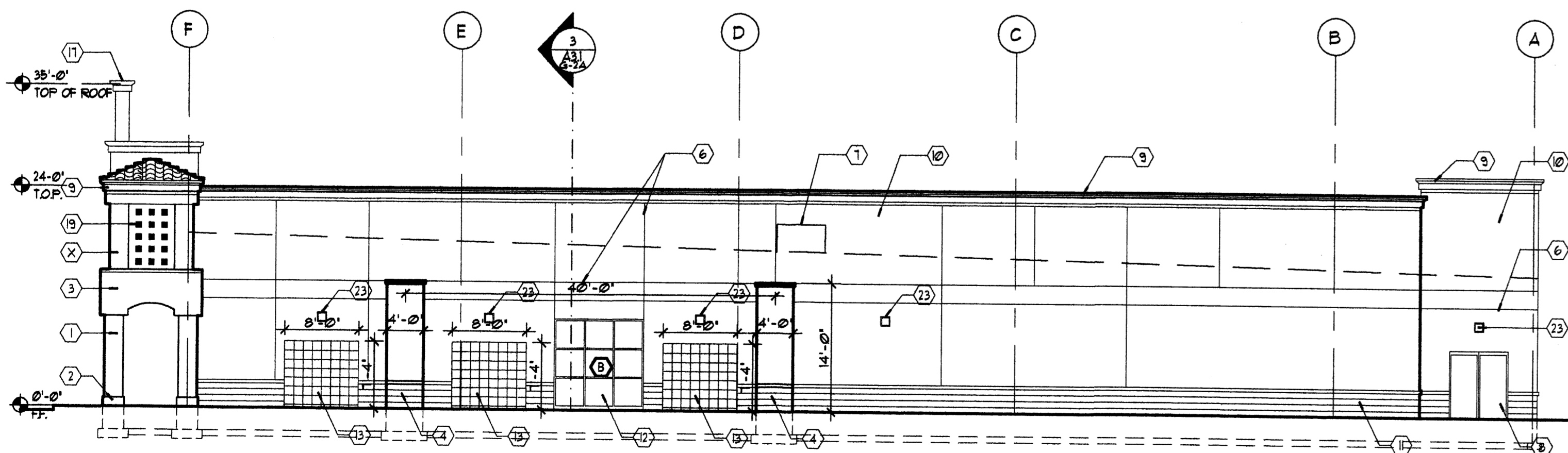
1 WEST ELEVATION G2-A
Scale: 3/32"=1'-0"
0' 4' 8' 16'



2 EAST ELEVATION G2-A
Scale: 3/32"=1'-0"
0' 4' 8' 16'



3 NORTH ELEVATION G2-A
Scale: 3/32"=1'-0"
0' 4' 8' 16'

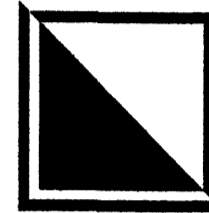


4 SOUTH ELEVATION G2-A
Scale: 3/32"=1'-0"
0' 4' 8' 16'

○ GENERAL NOTES

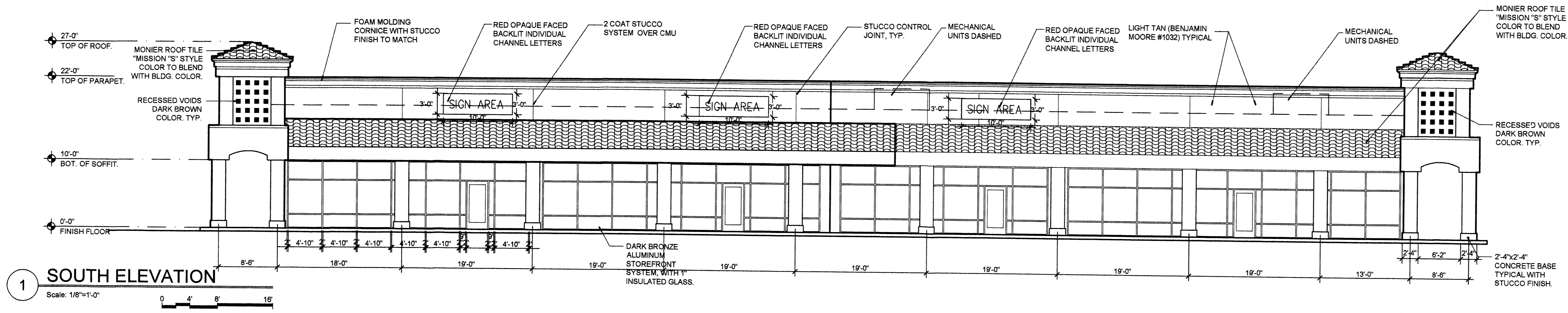
1. LIGHT TAN (BENJAMIN MOORE #1032) TYPICAL.
2. 2'-4"x2'-4" CONCRETE BASE TYPICAL WITH STUCCO FINISH.
3. LIGHT TAN (BENJAMIN MOORE #1032) TYPICAL.
4. PILASTER 1'-6" FROM FACE OF BUILDING.
5. MONIER ROOF TILE 'MISSION 19' STYLE COLOR TO BLEND WITH BLDG. COLOR.
6. STUCCO CONTROL JOINT, TYP.
7. LOCATION OF MECHANICAL UNITS DASHED.
8. HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
9. FOAM MOLDING CORNICE WITH STUCCO FINISH TO MATCH.
10. 2-COAT STUCCO SYSTEM OVER MESH AND 1510 BUILDING PAPER OVER TILT UP REINFORCED CONCRETE PANELS.
11. SPLIT FACED CMU PAINTED MED TAN - TYP.
12. DARK BRONZE ALUMINUM STOREFRONT SYSTEM, WITH 1" INSULATED GLASS. SEE WINDOW TYPES A41.
13. TRELLIS.
14. 6"Ø STEEL BOLLARD FILL WITH CONCRETE 5'-0" ABOVE GRADE AND 5'-0" BELOW GRADE, PAINT Y.
15. RETAINING WALL AND TRUCK RAMP TO 48" BELOW FINISH FLOOR.
16. 10' PAINTED TO MATCH EXTERIOR CMU VISUAL BARRIER.
17. ROOFLINE BEYOND.
18. RED OPAQUE FACED BACKLIT INDIVIDUAL CHANNEL LETTERS.
19. RECESSED SQUARE 8"x8"x1" DEEP.
20. FOOTING FOUNDATIONS. REFER TO STRUCTURAL DRAWINGS.
21. GUTTER AND DOWNSPOUT. SEE ROOF PLAN DRAWING.
22. 10"x12" METAL OVERHEAD DOOR. SEE DOOR TYPES DRAWINGS.
23. LIGHTING FIXTURE. SEE ELECTRICAL DRAWINGS.
24. ALL PURPOSED SIGN LOCATION IS TO RECEIVE A J. BOX TO THAT LOCATION. REFER ELECTRICAL.

REV	DATE	BY	REVISION


GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

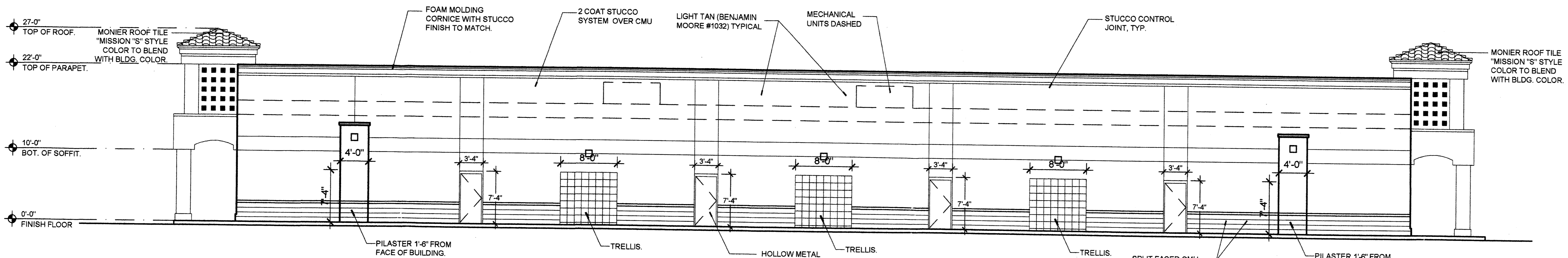
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	PARADISE AND UNIVERSE BOULEVARDS	JOB NO.	9052
	ALBUQUERQUE NEW MEXICO	PROJECT MANAGER	Anton Dattilo
		SHEET TITLE	ELEVATIONS MAJOR 1

DATE	11/15/05	SHEET	A2.1
SCALE	3/32"=1'-0"	OF	



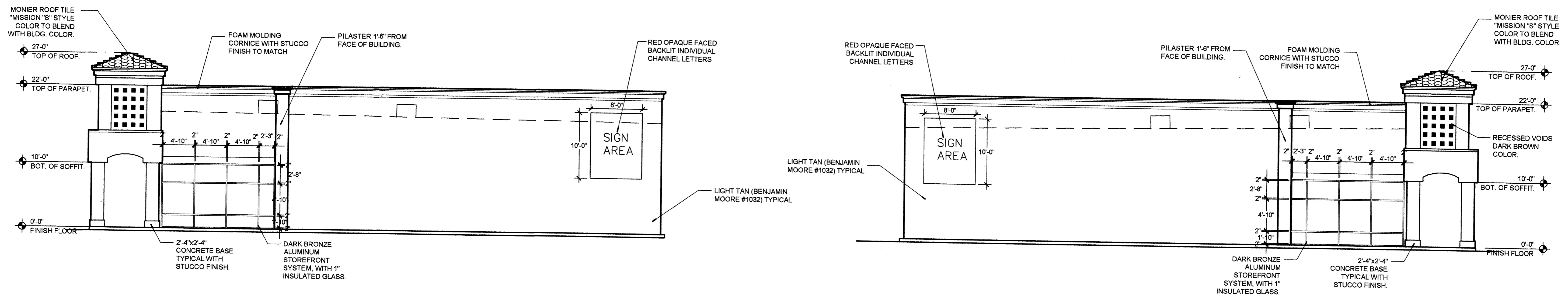
1 SOUTH ELEVATION

Scale: 1/8"=1'-0"



2 NORTH ELEVATION

Scale: 1/8"=1'-0"



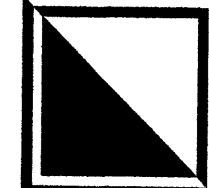
3 EAST ELEVATION

Scale: 1/8"=1'-0"

4 WEST ELEVATION

Scale: 1/8"=1'-0"

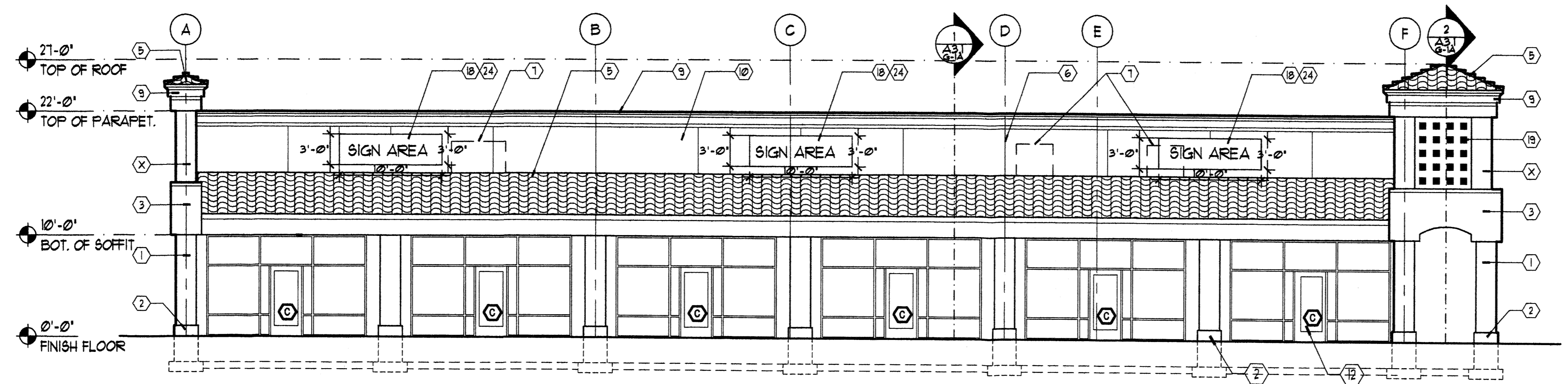
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			


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 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

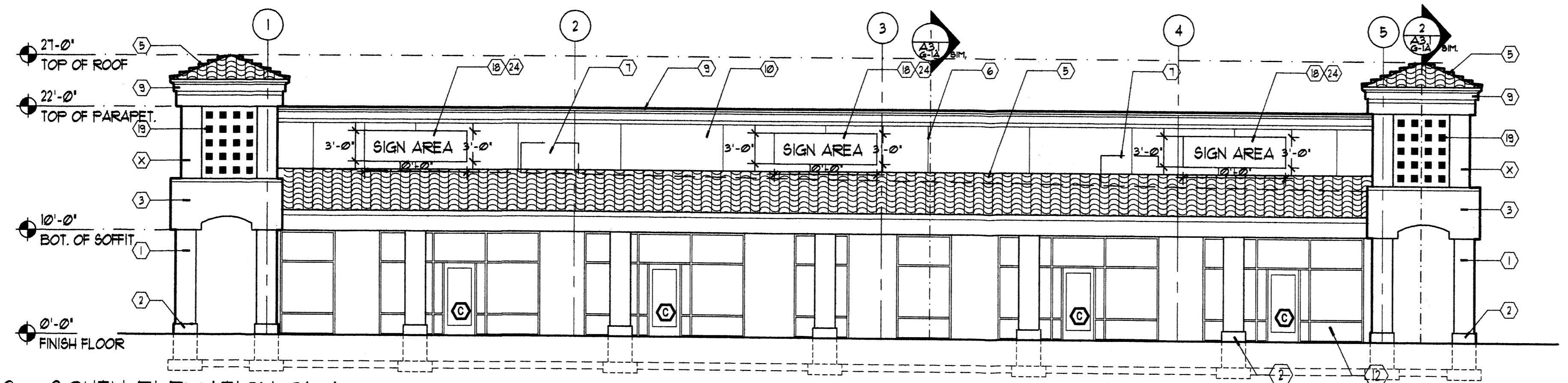
PROJECT TITLE
VENTANA SQUARE.
 (NEC) UNIVERSE & PARADISE
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
 GEORGE RAINHART
 JOB NO.
 9002
 DRAWN BY
 APZ
 SHEET TITLE
BUILDING ELEVATIONS, SHOPS 1

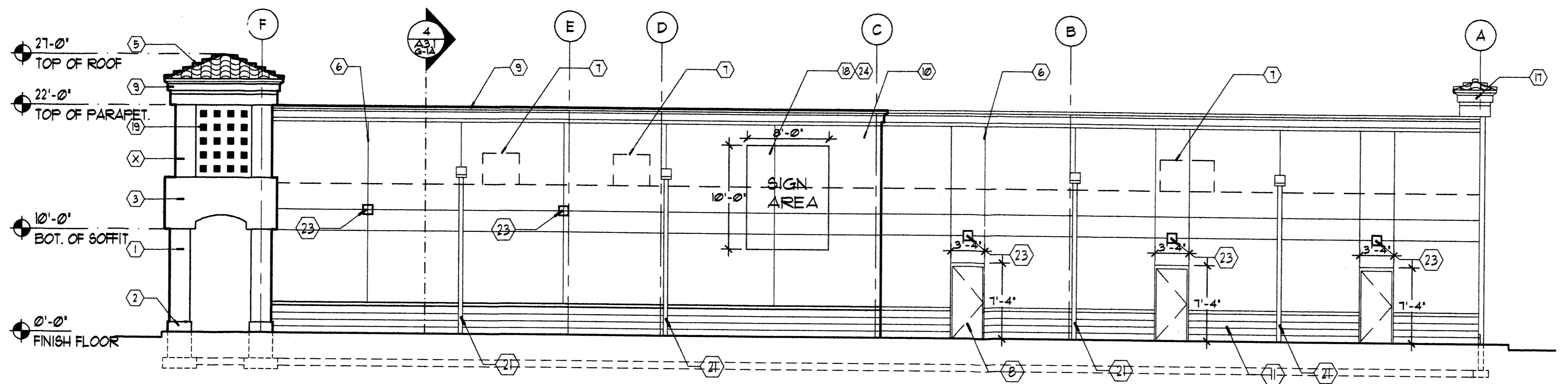
DATE:
 111505
 SCALE:
 1/8" = 1'-0"
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A2.2
 of:



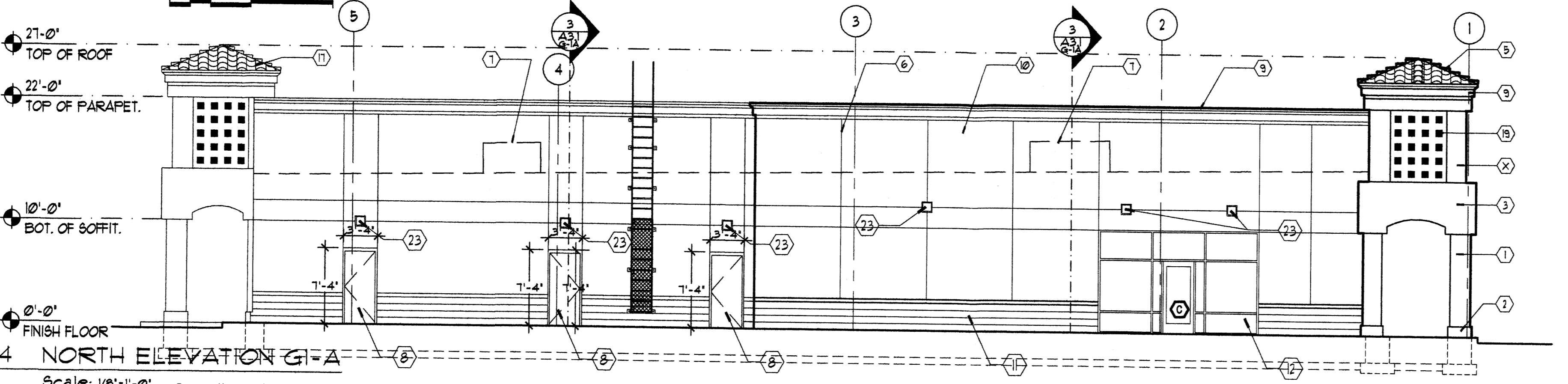
1 WEST ELEVATION GI-A
Scale: 1/8"=1'-0" 0' 4' 8' 16'



2 SOUTH ELEVATION GI-A
Scale: 1/8"=1'-0" 0' 4' 8' 16'



3 EAST ELEVATION GI-A
Scale: 1/8"=1'-0" 0' 4' 8' 16'

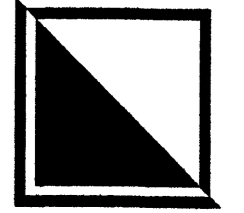


4 NORTH ELEVATION GI-A
Scale: 1/8"=1'-0" 0' 4' 8' 16'

GENERAL NOTES

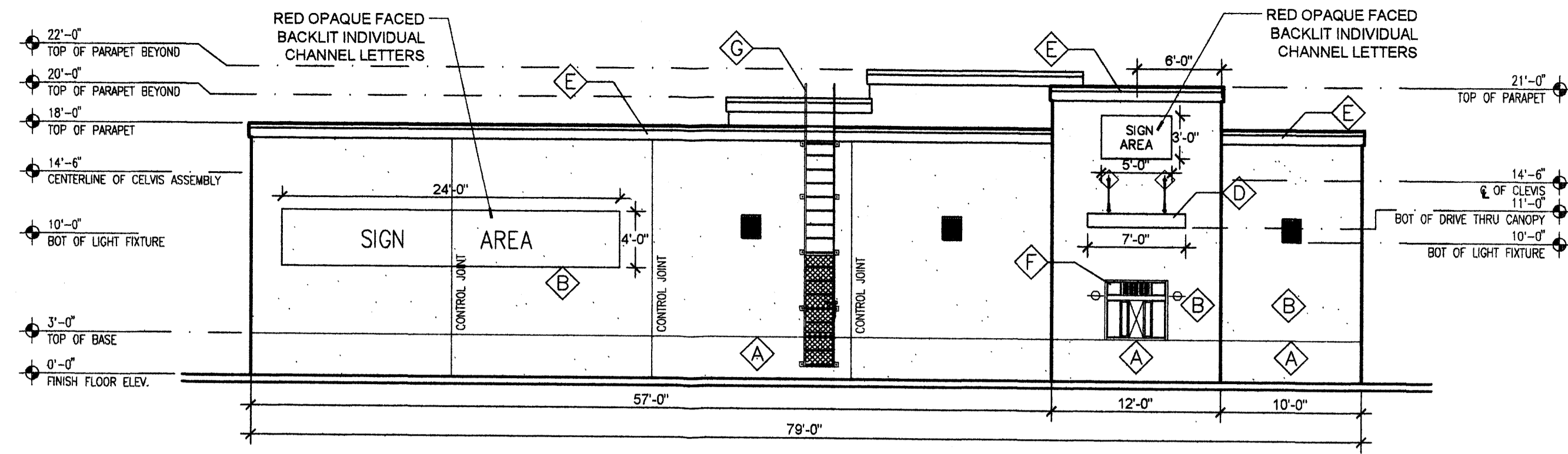
1. LIGHT TAN (BENJAMIN MOORE #1032) TYPICAL.
2. 2'-4"x2'-4" CONCRETE BASE TYPICAL WITH STUCCO FINISH.
3. LIGHT TAN (BENJAMIN MOORE #123) TYPICAL.
4. PLASTER 1'-6" FROM FACE OF BUILDING.
5. MONIER ROOF TILE 'MISSION '8' STYLE COLOR TO BLEND WITH BLDG. COLOR.
6. STUCCO CONTROL JOINT, TYP.
7. LOCATION OF MECHANICAL UNITS DASHED.
8. HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
9. FOAM MOLDING CORNICE WITH STUCCO FINISH TO MATCH.
10. 2-COAT STUCCO SYSTEM OVER MESH AND 15lb. BUILDING PAPER OVER TILT UP REINFORCED CONCRETE PANELS.
11. SPLIT FACED CMU PAINTED MED TAN - TYP.
12. DARK BRONZE ALUMINUM STOREFRONT SYSTEM, WITH 1" INSULATED GLASS. SEE WINDOW TYPES A4.1.
13. TRELLIS.
14. 6"x6" STEEL BOLLARD FILL WITH CONCRETE 5'-0" ABOVE GRADE AND 5'-0" BELOW GRADE, PAINT Y.
15. RETAINING WALL AND TRUCK RAMP TO 48" BELOW FINISH FLOOR.
16. 10" PAINTED TO MATCH EXTERIOR CMU VISUAL BARRIER.
17. ROOFLINE BEYOND.
18. RED OPAQUE FACED BACKLIT INDIVIDUAL CHANNEL LETTERS.
19. RECESSED SQUARE 8"x8"x1" DEEP.
20. FOOTING FOUNDATIONS, REFER TO STRUCTURAL DRAWINGS.
21. GUTTER AND DOWNSPOUT, SEE ROOF PLAN DRAWING.
22. 10"x12" METAL OVERHEAD DOOR, SEE DOOR TYPES DRAWINGS.
23. LIGHTING FIXTURE, SEE ELECTRICAL DRAWINGS.
24. ALL PURPOSE SIGN LOCATION IS TO RECEIVE A J. BOX TO THAT LOCATION, REFER ELECTRICAL.

REV	DATE	BY	REVISION
1			
2			
3			
4			


 GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

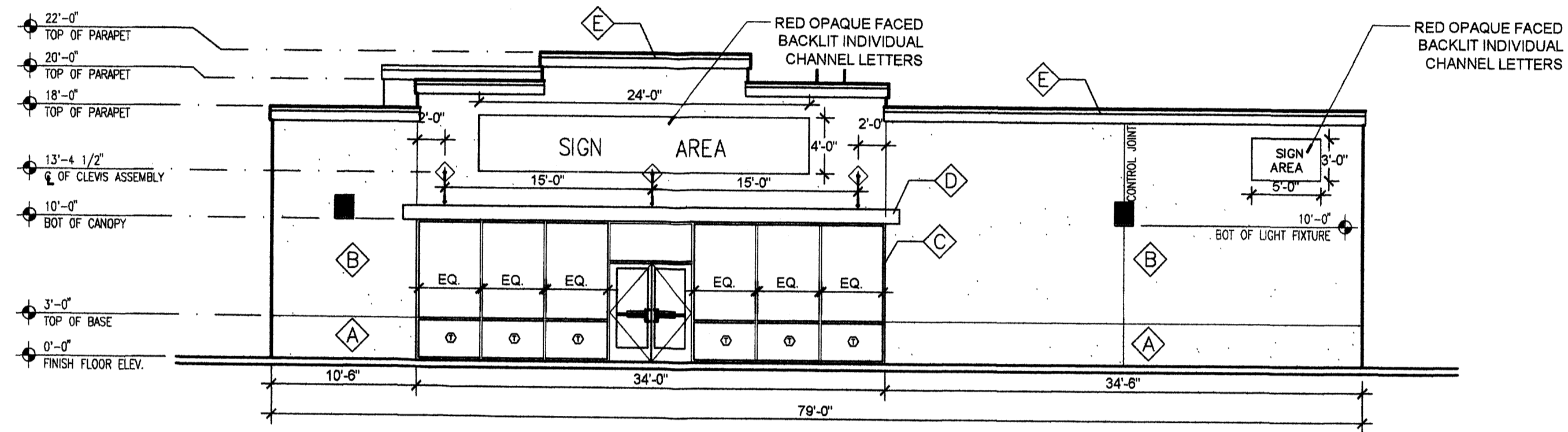
PROJECT TITLE
VENTANA SQUARE
 PARADISE AND UNIVERSE BOULEVARDS
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER
 Anton Dattilo
 JOB NO.
 9052
 DRAWN BY
 A. P-Z
 SHEET TITLE
ELEVATIONS SHOPS 2

DATE:
 11/15/05
 SCALE:
 1/8"=1'-0"
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A2.3
 of-



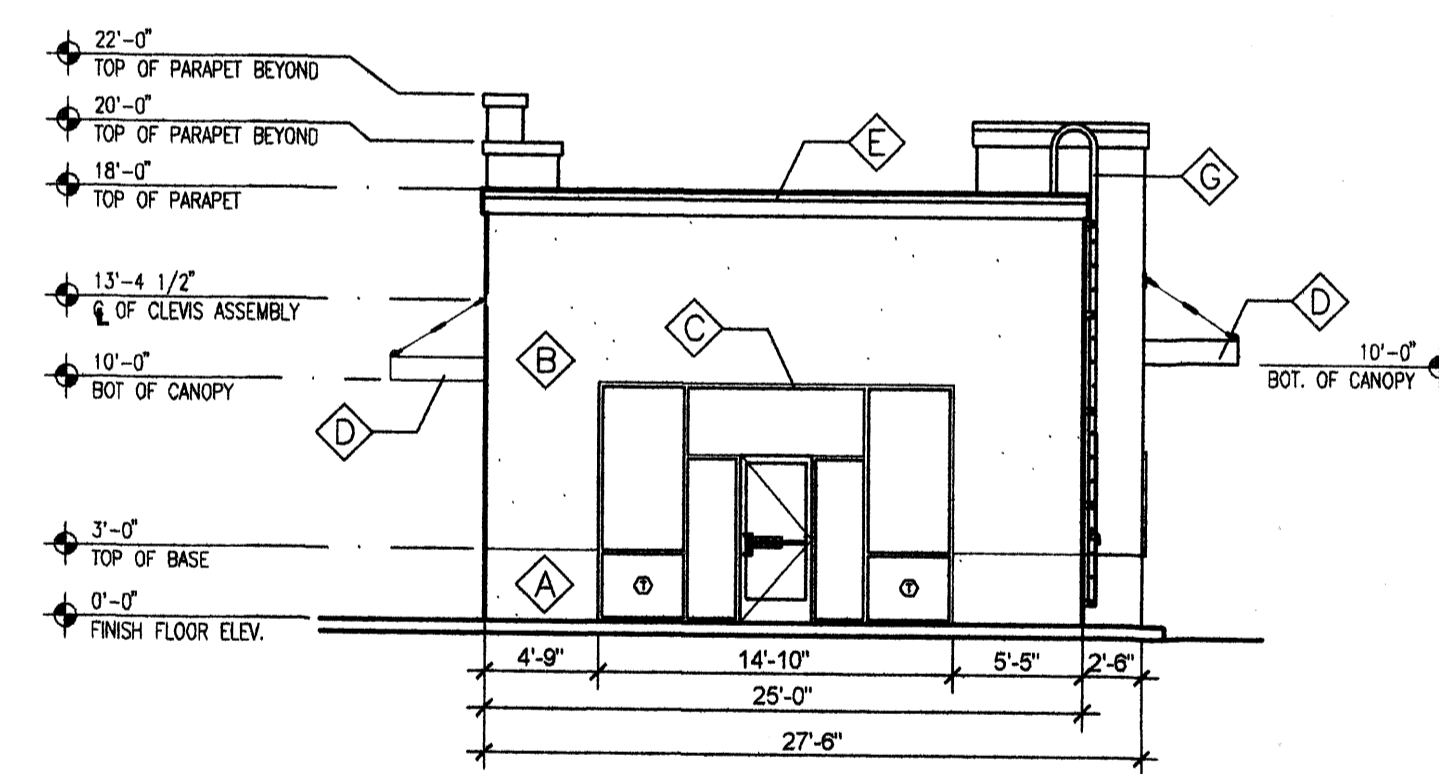
2 EAST ELEVATION

Scale: 1/8"=1'-0"
0 4' 8' 16'



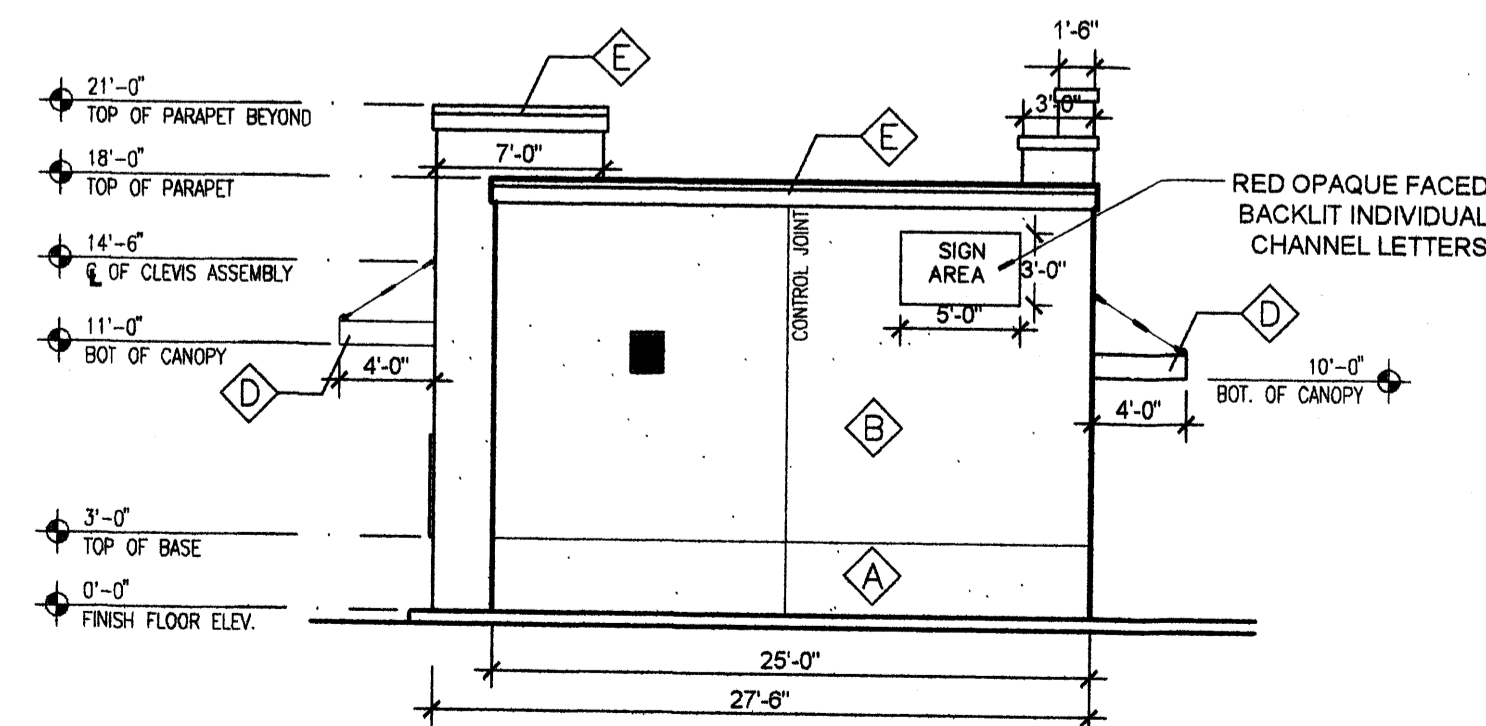
1 WEST ELEVATION

Scale: 1/8"=1'-0"
0 4' 8' 16'



3 SOUTH ELEVATION

Scale: 1/8"=1'-0"
0 4' 8' 16'



4 NORTH ELEVATION

Scale: 1/8"=1'-0"
0 4' 8' 16'

Keyed Color / Material Schedule

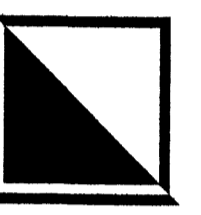
Ⓐ	STUCCO BASE	MEDIUM DARK TAN DADO BAND WALL COLOR # 951.
Ⓑ	STUCCO	LIGHT TAN BENJAMIN MOORE # 1032
Ⓒ	ALUM. STOREFRONT	DARK BRONZE.
Ⓓ	STEEL CANOPY	DARK BRONZE.
Ⓔ	METAL COPING	GREEN
Ⓕ	DRIVE-THRU WINDOW	DARK BRONZE.
Ⓖ	ROOF ACCESS LADDER	PAINT TO MATCH STUCCO COLOR

REVISION

BY

DATE

REV



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
VENTANA SQUARE.
(NEC) UNIVERSE & PARADISE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
GEORGE RAINHART

JOB NO.
802

DRAWN BY
APZ

BUILDING ELEVATIONS, PAD 1.

DATE:

111505

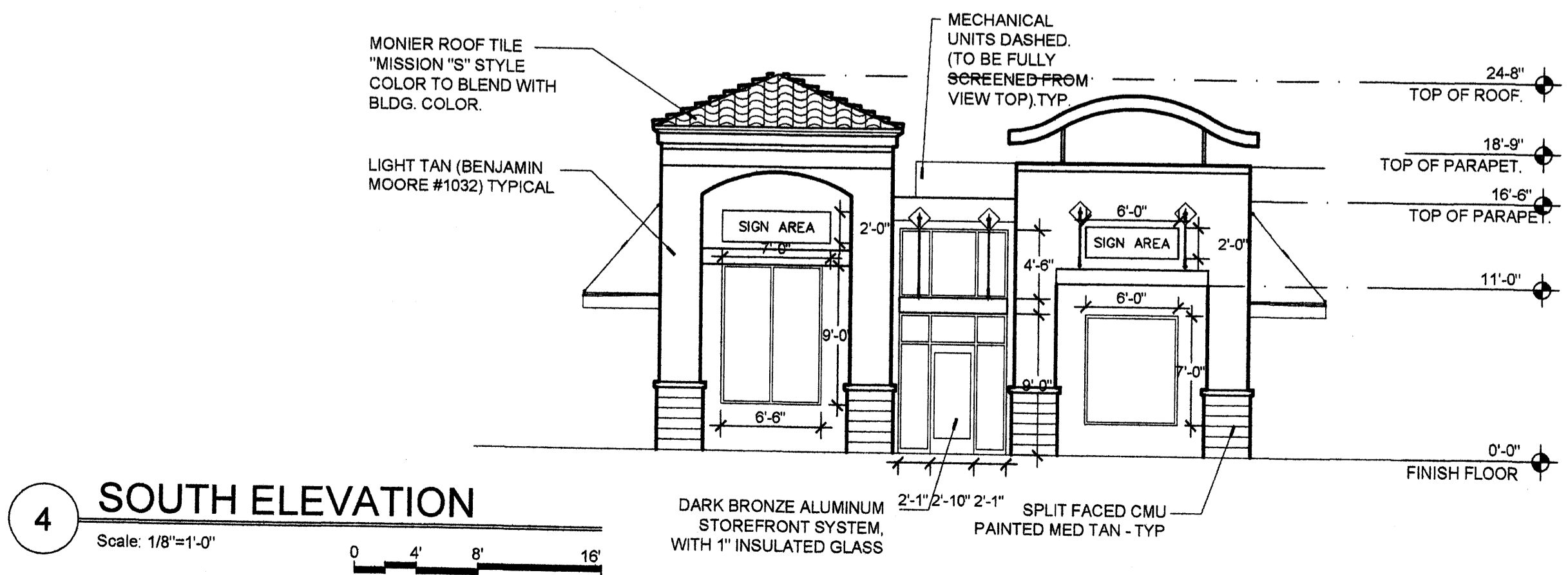
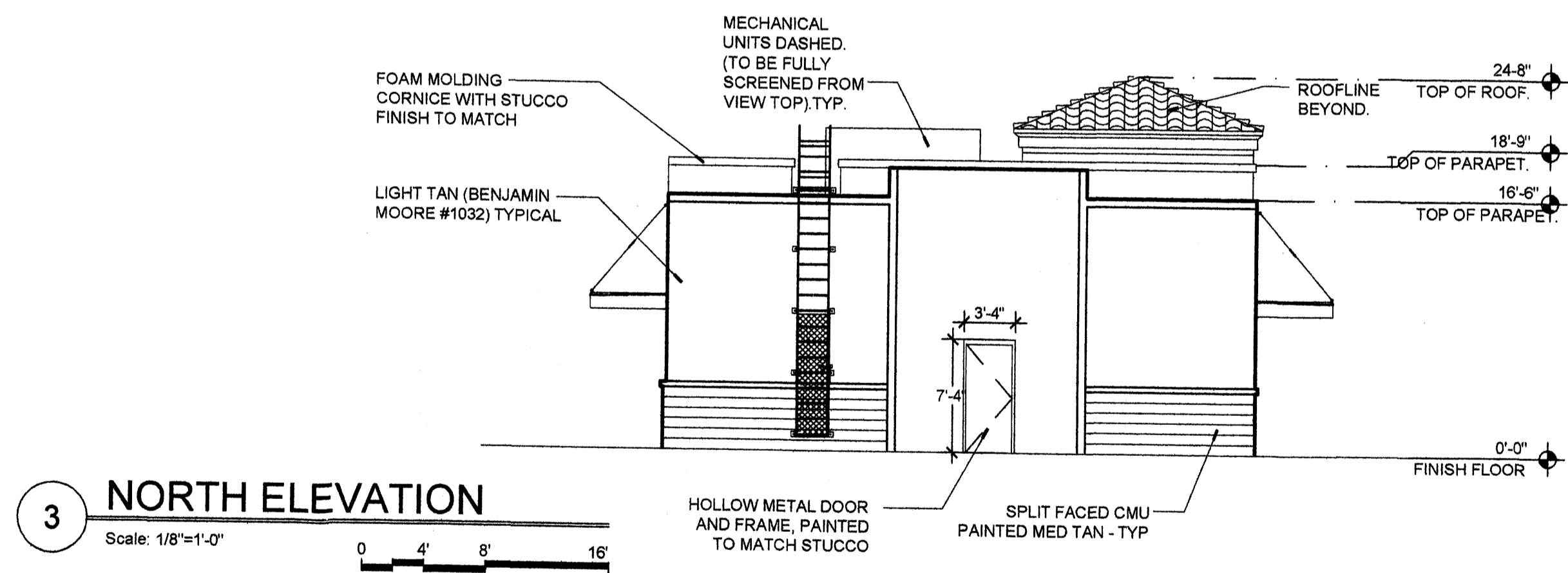
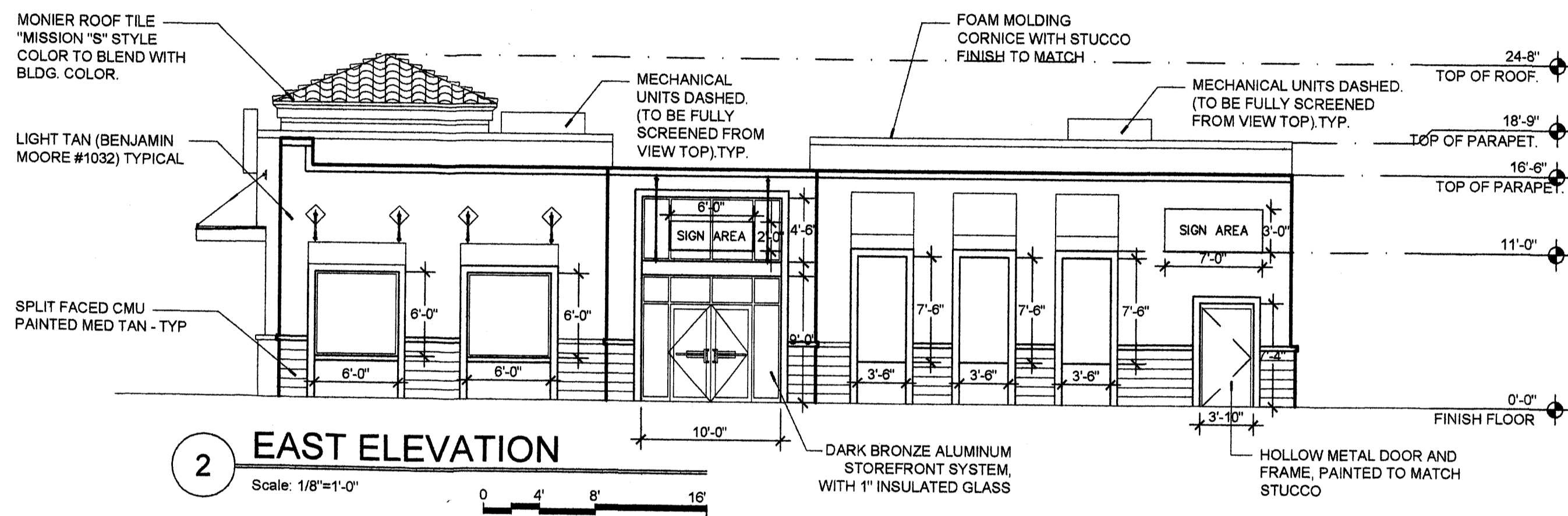
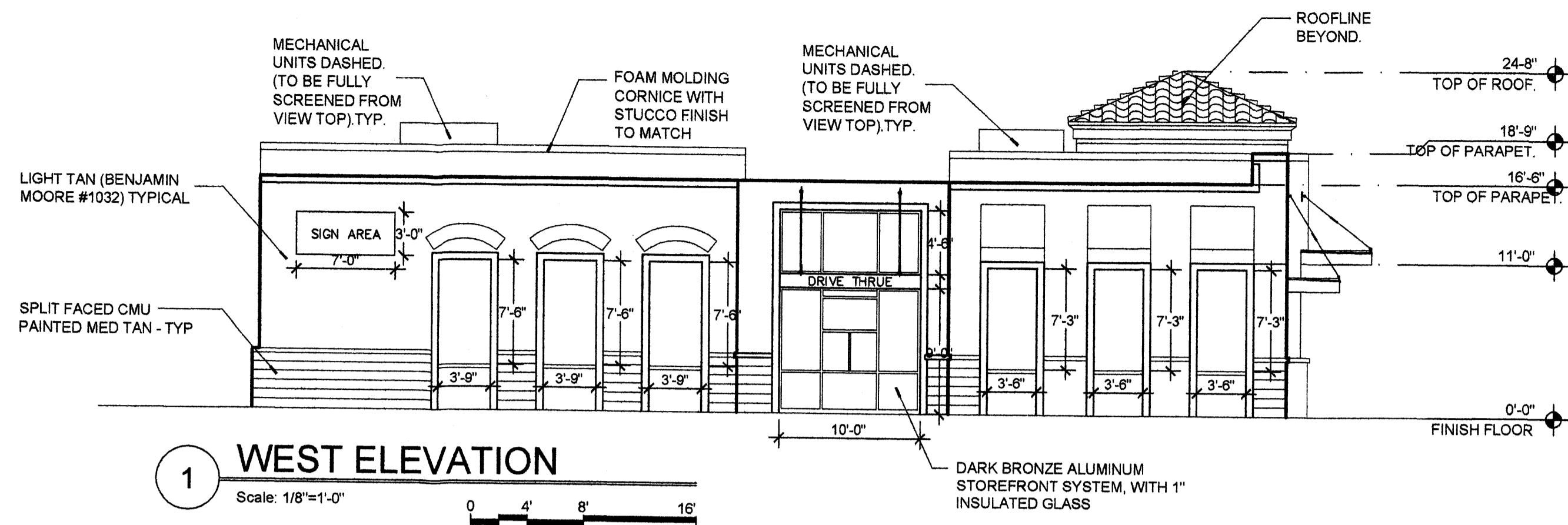
SCALE:

1/8" = 1'-0"

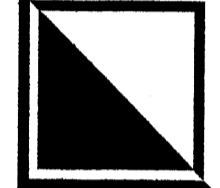
sheet-

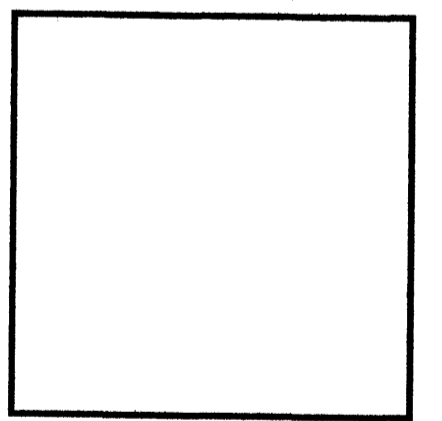
A2.4

of-



REV	DATE	BY	REVISION
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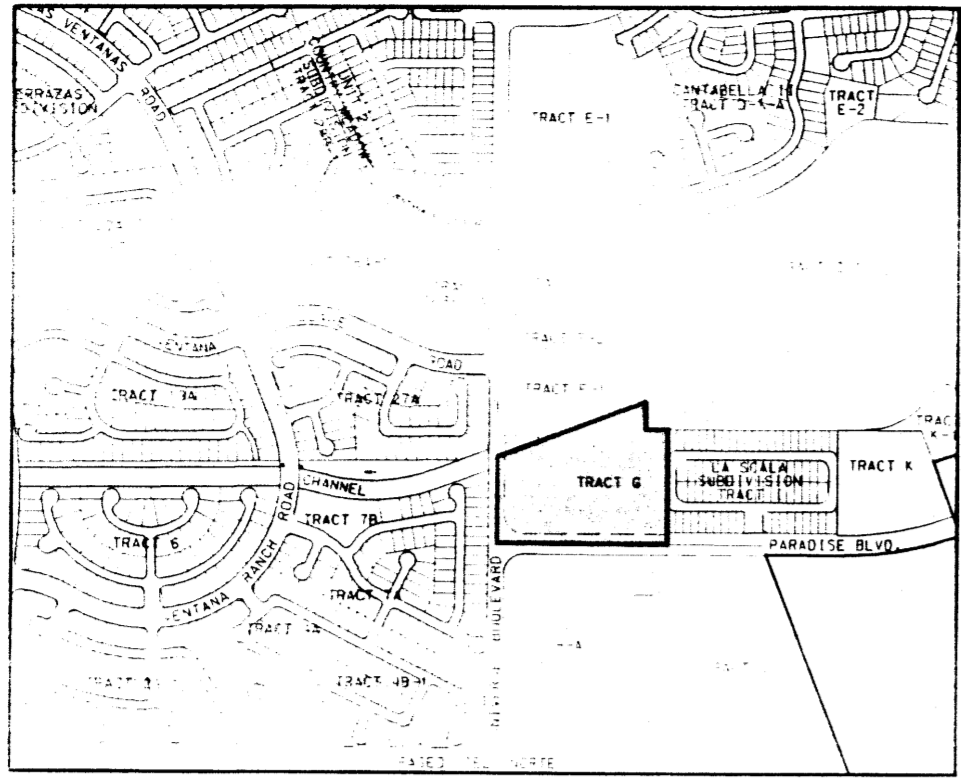

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
VENTANA SQUARE.
 (NEC) UNIVERSE & PARADISE
 ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
 GEORGE RAINHART
SHEET TITLE
BUILDING ELEVATIONS, PAD 2.
JOB NO. 9922
DRAWN BY: APZ

DATE: 111505
SCALE: 1/8" = 1'-0"
sheet: A2.5
of:

SP-2002510876



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-9-Z & B-10-Z
NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index Nos. B-9-Z & B-10-Z
3. Gross Subdivision Acreage: 12,684.00 Acres
4. Total Number of Tracts created: Four (4) Tracts
5. Total mileage of street width shown: 9.0238 mile
6. Date of Survey: September, 2002
7. Plat is located within the Town of Alameda Grant, within projected Sections 9 & 10, T11N, R2E, W4E.

DISCLOSURE STATEMENT

The purpose of the filing of this plat is to subdivide Tract G of the PLAT OF VENTANA SQUARE, Albuquerque, New Mexico, in the same as shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 into four (4) tracts, to grant easements, dedicate additional street right-of-way to the City of Albuquerque, and dedicate additional right-of-way to AMAFCA.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- PNM Electric Services** for the installation, maintenance and service of underground and overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services** for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWEST** for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable TV service.
- New Mexico Utilities, Inc.** for the installation, maintenance and service of underground water and sanitary sewer lines across the easement (but not parallel within).

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool deck, or other structure shall be erected or constructed on said easements, including or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of poles, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situated within the Town of Alameda Grant, within projected Sections 9 and 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract G of the PLAT OF VENTANA SQUARE, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:
BEGINNING at the southwest corner of said Tract G, whence the Albuquerque City Survey (ACS) monument "1-810", a standard ACS brass tablet set in top of a concrete post, having New Mexico State Plane Grid Coordinates (Central Zone NAD 1927) of X=57,526.89 and Y=1,525,168.35 bears S17°20'24"E a distance of 336.15 feet and from said point of beginning running thence along the westerly boundary line of said Tract G:
N00°16'51"E, a distance of 451.26 feet to the northeast corner of said Tract G; thence running along the northerly boundary line of said Tract G:
N10°07'15"E, a distance of 855.41 feet to the northeast corner of said Tract G; thence running along the easterly boundary line of said Tract G:
S00°16'51"W, a distance of 148.33 feet to a point; thence:
S89°48'41"E, a distance of 121.82 feet to a point; thence:
S00°16'51"W, a distance of 355.89 feet to the southeast corner of said Tract G; thence running along the southerly boundary line of said Tract G:
N89°51'30"W, a distance of 324.82 feet to the point and place of beginning.
Tract contains 12,684.00 acres, more or less.

FREE CONSENT AND DEDICATION

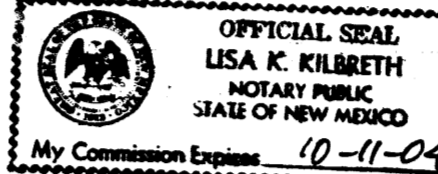
The foregoing Plat of that certain tract of land situated within the Town of Alameda Grant, within Projected Sections 9 & 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract G of the PLAT OF VENTANA SQUARE, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 now comprising Tracts G-1 thru G-4 of PLAT OF TRACTS G-1 THRU G-4 VENTANA SQUARE AT VENTANA RANCH, Albuquerque, New Mexico is with the free consent and approval of the undersigned owner(s) and/or proprietor(s) hereby dedicate additional public street right-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) hereby dedicate additional right-of-way shown hereon to AMAFCA in fee simple with warranty covenants and do hereby grant all access, utility, and drainage easements hereon, inspect, and maintain facilities therein and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City, if work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing improvements or encroachments, if in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

BY: *[Signature]*
Robert M. Murphy, President
Sandia Properties Ltd., Co.
Managing Partner

State of New Mexico)
County of Bernalillo) SS

This instrument was acknowledged before me on the 30th day of January, 2003 by Robert M. Murphy, President of Sandia Properties Ltd., Co. a New Mexico Limited Liability Company, Managing Partner of Las Ventanas Limited Partnership, a New Mexico Limited Partnership.

My Commission Expires: 10-11-04



NOTES

1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF VENTANA RANCH, Filed: November 30, 1995 as Document No. 95122531 in Volume 95C, Folio 430.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMI), Inc. franchise area. Water and Sanitary Sewer Systems capability are based on NMI, Inc. Facilities, not the City of Albuquerque.
5. Tract G is subject to an existing Blanket Drainage Easement Filed: November 30, 1995 in Book 95C, Folio 430. Easement is vested by location Action N.
6. Tracts G-1 through G-4 are subject to a nonexclusive perpetual drainage and utility easements under, through, over and across said tracts for the installation, operation, and maintenance of all private storm water drainage and utilities for the benefit of all Tracts G-1 through G-4, (see existing referenced City storm drain easement across Tracts G-1 and G-2, recording #2001145903, recorded December 7, 2001, 3K 428, Pg. 4089, for City storm drain details).
7. Tracts G-1 through G-4 are subject to a nonexclusive perpetual easement for ingress and egress by vehicular and pedestrian traffic, over and across that portion of the common area located on said tract, which easement is for the benefit of all Tracts G-1 through G-4.
8. Developer of Tract G-2 to coordinate with AMAFCA for access to the maintenance road and landscaping as it relates to adjacent AMAFCA Right-of-Way, prior to construction of Shopping Center.

SURVEYOR'S CERTIFICATION

I, A. Duain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



[Signature]
A. Duain Weaver
New Mexico Professional Surveyor 6544

Date: January 30, 2003

PLAT OF TRACTS G-1 THRU G-4 VENTANA SQUARE AT VENTANA RANCH (A REPLAT OF TRACT G, VENTANA RANCH) ALBUQUERQUE, NEW MEXICO JANUARY, 2003

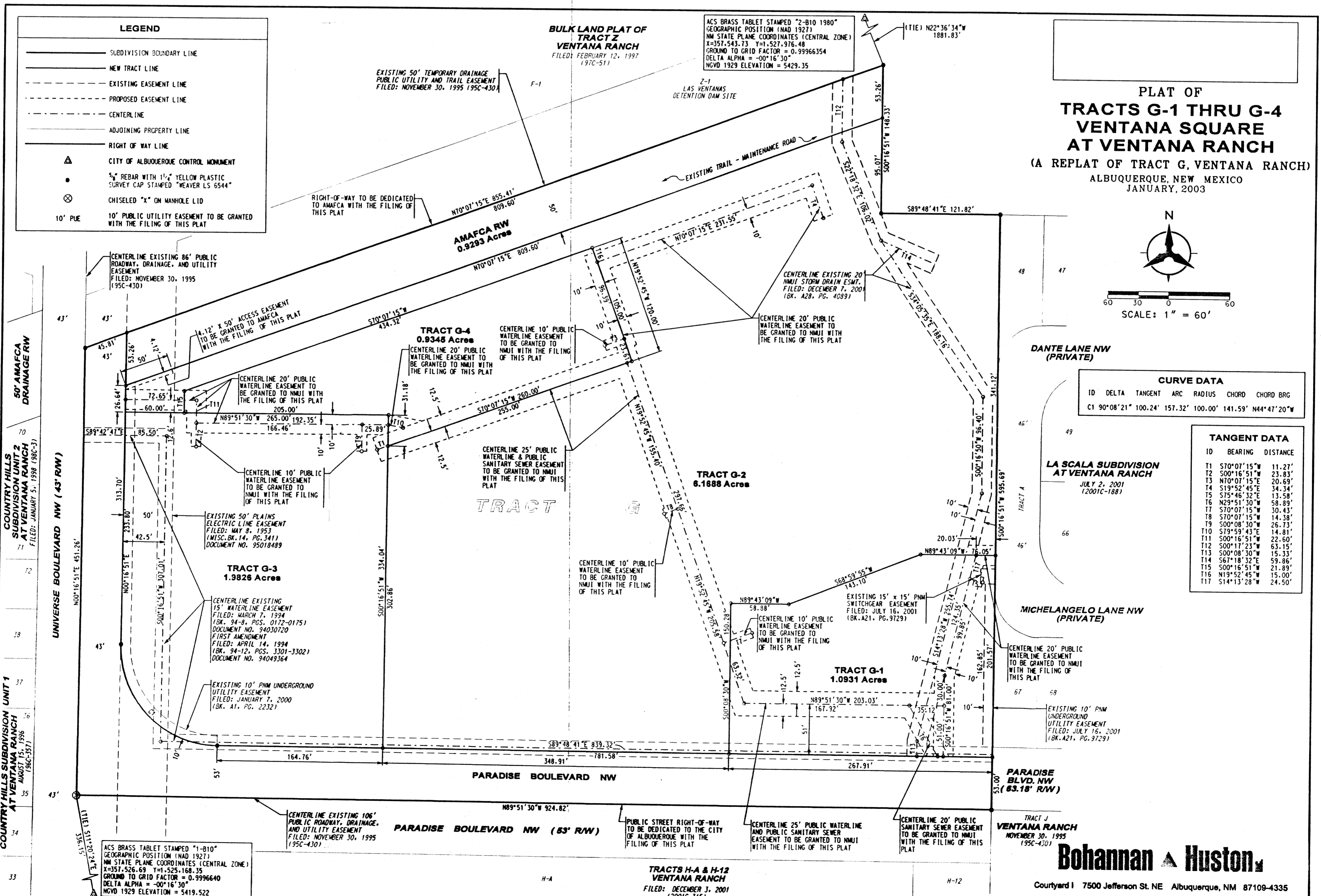
APPROVALS

PLAT NUMBER	DATE
DRAINING DIRECTOR	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
UTILITY DEVELOPMENT DEPARTMENT	DATE
PARKS & RECREATION	DATE
QWEST	DATE
COMCAST CABLE	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
NEW MEXICO UTILITIES, INC.	DATE 1-30-03
VENTANA SQUARE ASSOCIATION, INC.	DATE

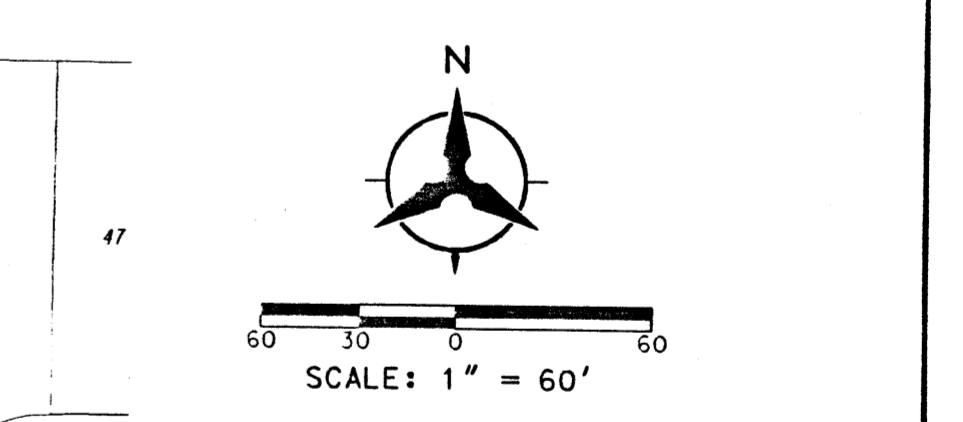
TAX CERTIFICATION
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____
PROPERTY OWNER OF RECORD _____
BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

PNM STAMP
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



PLAT OF TRACTS G-1 THRU G-4 VENTANA SQUARE AT VENTANA RANCH (A REPLAT OF TRACT G, VENTANA RANCH) ALBUQUERQUE, NEW MEXICO JANUARY, 2003



CURVE DATA

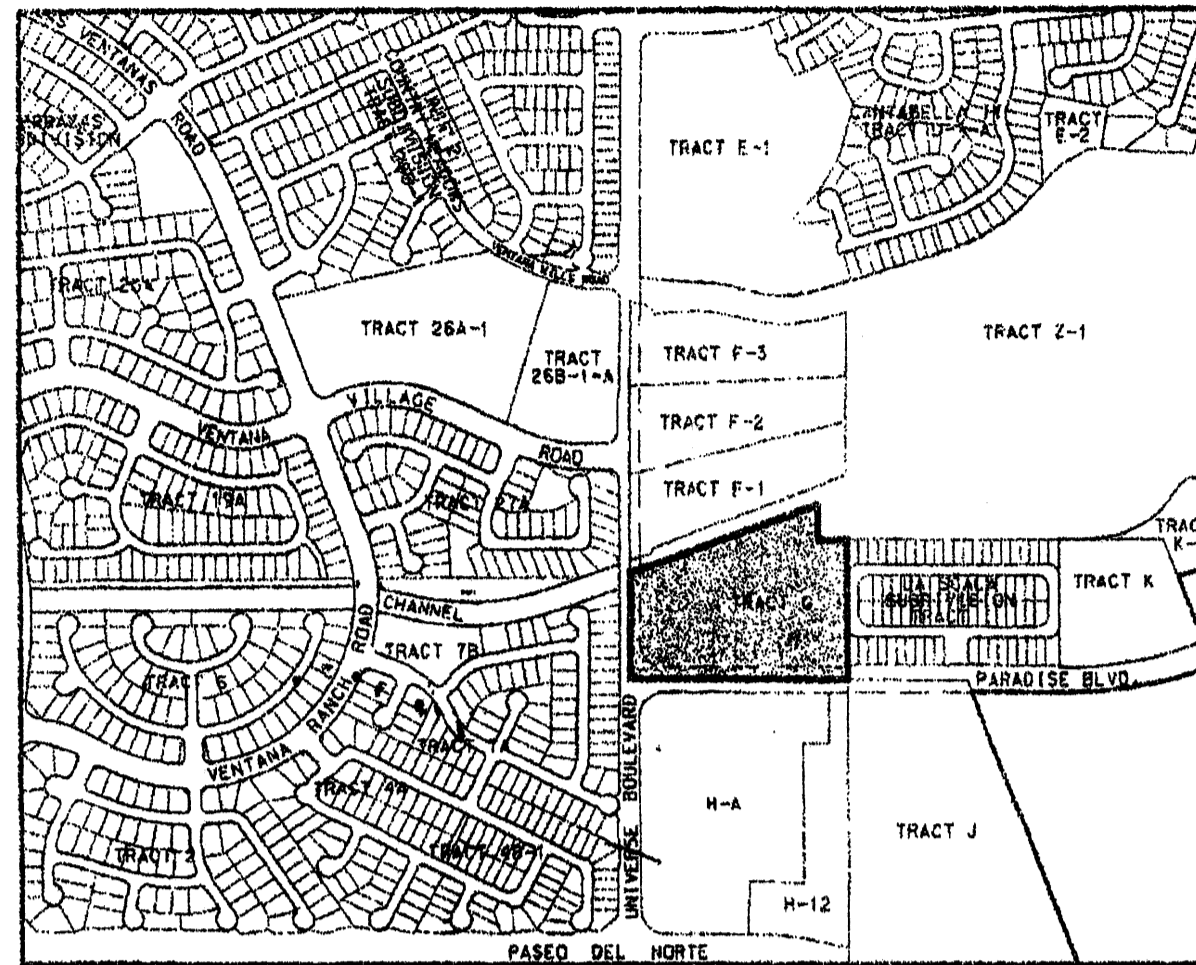
ID	DELTA	TANGENT	ARC RADIUS	CHORD	CHORD BRG
C1	90°08'21"	100.24'	157.32'	100.00'	141.59° N44°47'20" W

TANGENT DATA

ID	BEARING	DISTANCE
T1	S70°07'15" W	11.27'
T2	S00°16'51" W	23.83'
T3	N10°07'15" E	20.69'
T4	S19°52'45" E	34.34'
T5	S15°46'32" E	13.58'
T6	N23°51'30" W	58.89'
T7	S70°07'15" W	30.43'
T8	S10°07'15" W	14.38'
T9	S00°08'30" W	26.73'
T10	S19°59'43" E	14.81'
T11	S00°16'51" W	22.50'
T12	S00°17'23" W	63.15'
T13	S00°08'30" W	15.33'
T14	S67°18'32" E	59.86'
T15	S00°16'51" W	21.89'
T16	N19°52'45" W	15.00'
T17	S14°13'28" W	24.50'

Bohannon & Huston
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SP-2002510878



LOCATION MAP

ZONE ATLAS INDEX MAP No. B-9-Z & B-10-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 100234 DRB03-000171
2. Zone Atlas Index Nos. B-9-Z & B-10-Z
3. Gross Subdivision Acreage: 12.6840 Acres
4. Total Number of Tracts created: Four (4) Tracts.
5. Total mileage of partial width streets created: 0.0288 mile.
6. Date of Survey: September, 2002.
7. Plat is located within the Town of Alameda Grant, within projected Sections 9 & 10, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of the filing of this plat is to subdivide Tract G of the PLAT OF VENTANA RANCH, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 into four (4) Tracts, to grant easements, dedicate additional street right-of-way to the City of Albuquerque, and dedicate additional right-of-way to ANAFCA.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground and overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. ONEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement (But not parallel within).

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area spaces for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Sections 9 and 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract G of the PLAT OF VENTANA RANCH, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at the southwest corner of said Tract G, whence the Albuquerque City Survey (ACS) monument "I-810", a standard ACS brass tablet set in top of a concrete post, having New Mexico State Plane Grid Coordinates (Central Zone NAD 1927) of X=357,526.69 and Y=1,525,168.35 bears S11°20'24"E, a distance of 336.15 feet and from said point of beginning running thence along the westerly boundary line of said Tract G:
N00°16'51"E, a distance of 451.26 feet to the northwest corner of said Tract G; thence running along the northerly boundary line of said Tract G:
N70°07'15"E, a distance of 855.41 feet to the northeast corner of said Tract G; thence running along the easterly boundary line of said Tract G:
S00°16'51"W, a distance of 148.33 feet to a point; thence:
S89°48'41"E, a distance of 121.82 feet to a point; thence:
S00°16'51"W, a distance of 595.93 feet to the southeast corner of said Tract G; thence running along the southerly boundary line of said Tract G:
N89°51'30"W, a distance of 924.82 feet to the point and place of beginning.

Tract contains 12.6840 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within Projected Sections 9 & 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract G of the PLAT OF VENTANA RANCH, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 now comprising Tracts G-1 thru G-4 of PLAT OF TRACTS G-1 THRU G-4 OF VENTANA SQUARE AT VENTANA RANCH, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street right-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and said owner(s) and/or proprietor(s) do hereby dedicate additional right-of-way shown hereon to ANAFCA in Fee Simple with Warranty Covenants and do hereby grant: All access, Utility, and Drainage Easements hereon, inspect, and maintain facilities therein and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work effects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments, if in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

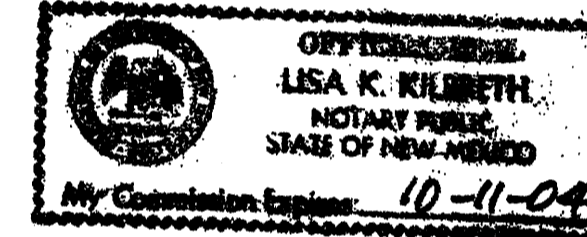
LAS VENTANAS LIMITED PARTNERSHIP A NEW MEXICO LIMITED PARTNERSHIP

By: Robert M. Murphy, President Sandia Properties Ltd., Co. Managing Partner

State of New Mexico) County of Bernalillo)

This instrument was acknowledged before me on 30th day of January 2003 by Robert M. Murphy, President of Sandia Properties Ltd., Co., a New Mexico limited liability company, Managing Partner of Las Ventanas Limited Partnership, a New Mexico Limited Partnership.

My Commission Expires: 10-11-04

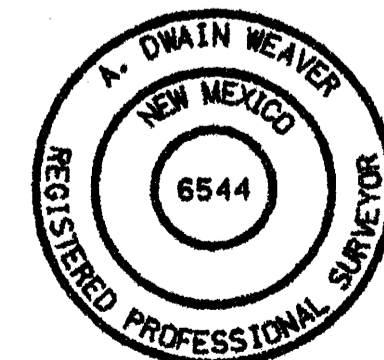


NOTES

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF VENTANA RANCH, Filed: November 30, 1995 as Document No. 95122531 in Volume 95C, Folio 430.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Tract G is subject to an existing Blanket Drainage Easement Filed: November 30, 1995 in Book 95C, Folio 430. Easement is vacated by Vacation Action V-
6. Tracts G-1 through G-4 are subject to a nonexclusive perpetual drainage and utility easements under, through, over and across said tracts for the installation, operation, and maintenance of all private storm water drainage and utilities for the benefit of all Tracts G-1 through G-4. (See existing referenced City storm drain easement across Tracts G-1 and G-2, recording #2001145903, recorded December 7, 2001, Bk A28, Pg 4089, for City storm drain details.)
7. Tracts G-1 through G-4 are subject to a nonexclusive perpetual easement for ingress and egress by vehicular and pedestrian traffic, over and across that portion of the common area located on said tract, which easement is for the benefit of all Tracts G-1 through G-4.
8. Developer of Tract G-2 to coordinate with ANAFCA for access to the maintenance road and landscaping as it relates to adjacent ANAFCA Right-of-Way, prior to construction of Shopping Center.

SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver, A. Dwain Weaver, New Mexico Professional Surveyor 6544

Date: January 30, 2003



PLAT OF TRACTS G-1 THRU G-4 VENTANA SQUARE AT VENTANA RANCH (A REPLAT OF TRACT G, VENTANA RANCH) ALBUQUERQUE, NEW MEXICO JANUARY, 2003

APPROVALS

Table of approvals with columns for Agency, Name, and Date. Includes Planning Director, City Engineer, Traffic Engineer, City Surveyor, Property Management, Utility Development Department, Parks & Recreation, Comcast Cable, PNM Electric Services, PNM Gas Services, New Mexico Utilities, Inc., and Ventana Square Association, Inc.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1.010.005.047.167.307.04

PROPERTY OWNER OF RECORD: Ros Virginia Ltd Phisy, Date: 05 Mar 03

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

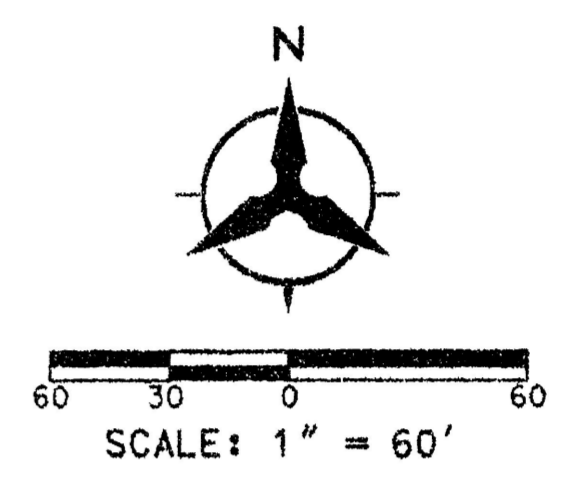
Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 1 OF 2

2717

PLAT OF
TRACTS G-1 THRU G-4
VENTANA SQUARE
AT VENTANA RANCH
 (A REPLAT OF TRACT G, VENTANA RANCH)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2003



CURVE DATA

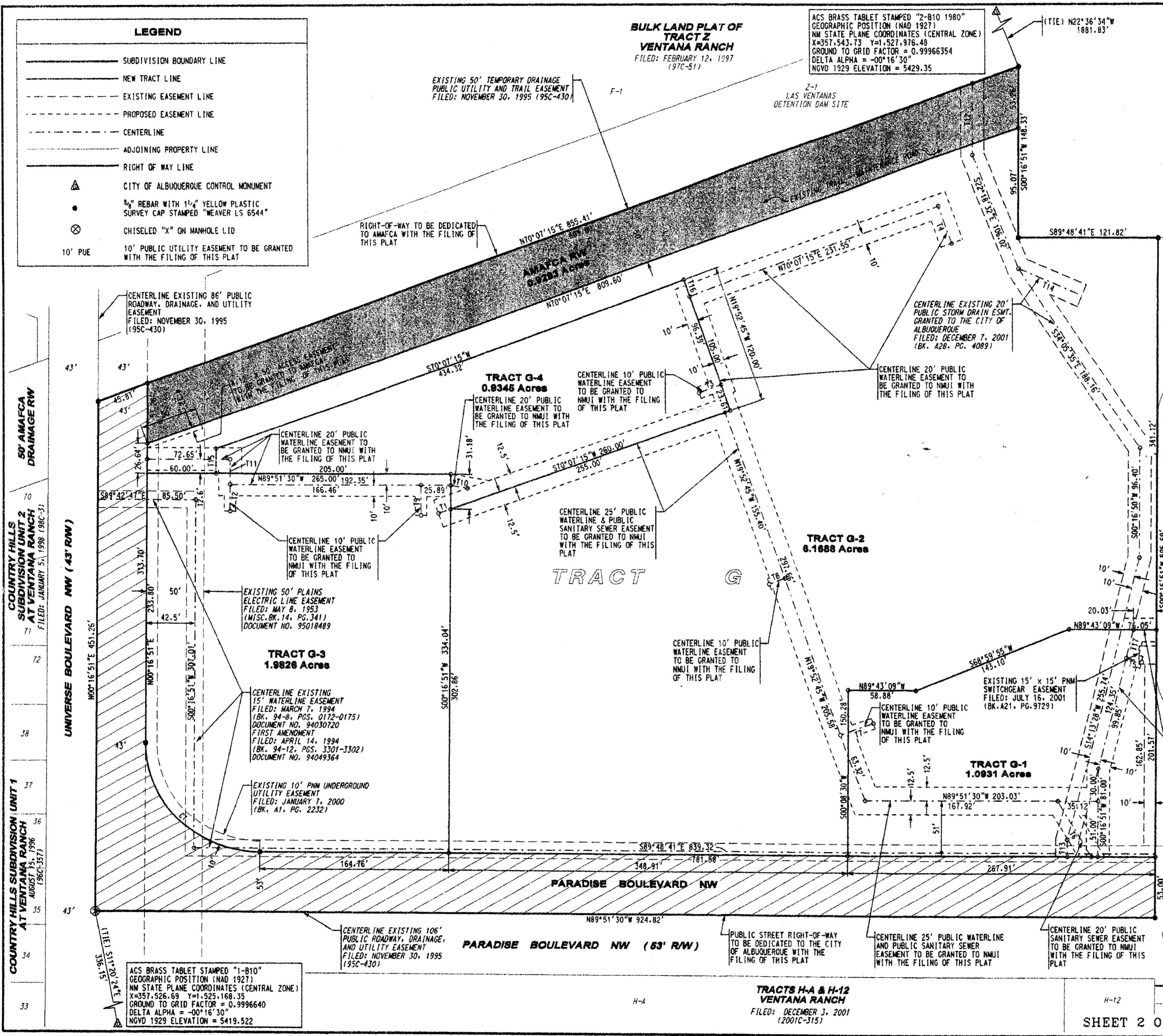
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°08'21"	100.24'	157.32'	100.00'	141.59'	N44°47'20"W

TANGENT DATA

ID	BEARING	DISTANCE
T1	S70°07'15"W	11.27'
T2	S00°16'51"W	23.83'
T3	N70°07'15"E	20.69'
T4	S19°52'45"E	34.34'
T5	S75°46'32"E	13.58'
T6	N29°51'30"W	58.89'
T7	S70°07'15"W	30.43'
T8	S70°07'15"W	14.38'
T9	S00°08'30"W	26.73'
T10	S79°59'43"E	14.81'
T11	S00°16'51"W	22.60'
T12	S00°17'23"W	63.15'
T13	S00°08'30"W	15.33'
T14	S67°18'32"E	59.86'
T15	S00°16'51"W	21.89'
T16	N19°52'45"W	15.00'
T17	S14°13'28"W	24.50'

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW TRACT LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- CENTERLINE
- ADJOINING PROPERTY LINE
- RIGHT OF WAY LINE
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- 5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- CHISELED "X" ON MANHOLE LID
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

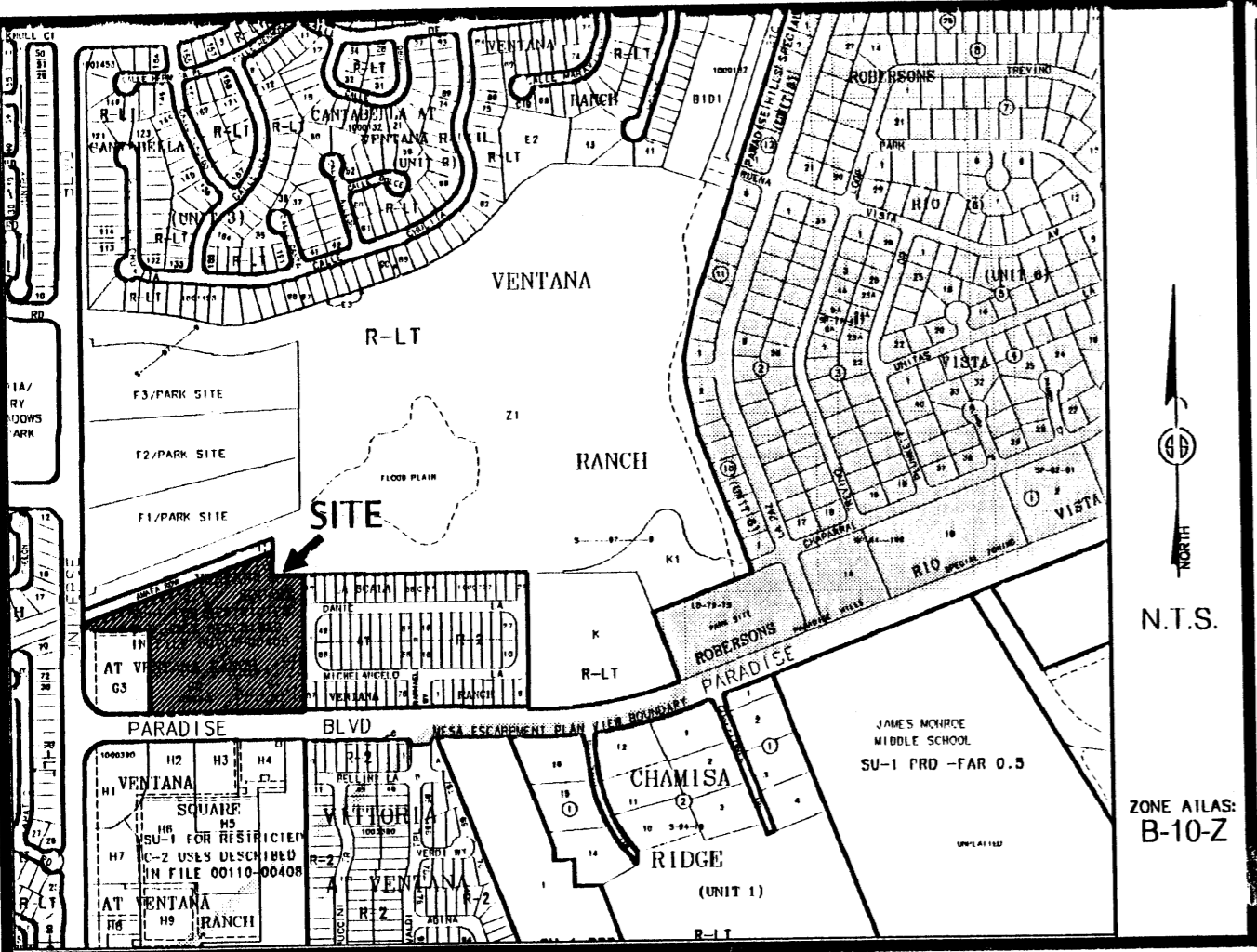


50' AMAFCA DRAINAGE RW
 COUNTRY HILLS SUBDIVISION UNIT 2 AT VENTANA RANCH
 FILED: JANUARY 5, 1998 (198C-31)
 70
 71
 72
 UNIVERSE BOULEVARD NW (43' RW)
 38
 COUNTRY HILLS SUBDIVISION UNIT 1 AT VENTANA RANCH
 AUGUST 15, 1996 (196C-357)
 37
 36
 35
 34
 33

48
 47
 DANTE LANE NW (PRIVATE)
 46
 49
 LA SCALA SUBDIVISION AT VENTANA RANCH
 JULY 2, 2001 (2001C-188)
 46
 66
 MICHELANGELO LANE NW (PRIVATE)
 67
 60
 EXISTING 10' PNM UNDERGROUND UTILITY EASEMENT FILED: JULY 16, 2001 (BK. A21, PG. 9729)
 PARADISE BLVD. NW (63.18' RW)
 53.00

TRACTS H-A & H-12 VENTANA RANCH
 FILED: DECEMBER 3, 2001 (2001C-315)

2717



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENT 2-B10, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENT HESES () PER THE PLAT OF VENTANA SQUARE AT VENTANA RANCH, FILED IN BERNALILLO COUNTY, NEW MEXICO ON MARCH 5, 2003 IN VOLUME 2003C, FOLIO 51.
6. GROSS AREA: 8.1965 ACRES
7. NUMBER OF EXISTING TRACTS: 3
8. NUMBER OF TRACTS CREATED: 5
9. PROPERTY IS ZONED SU-1 C-2.
10. TRACTS G-1-A, G-2-A, G-2-B, G-2-C & G-4-A ARE SUBJECT TO A RECIPROCAL PRIVATE CROSS-LOT DRAINAGE, ACCESS AND PARKING EASEMENT GRANTED BY THIS PLAT AND IS TO BE MAINTAINED BY SAID TRACTS
11. TRACTS G-1-A, G-2-A, G-2-B, G-2-C & G-4-A & G-3 ARE SUBJECT TO A NONEXCLUSIVE PERPETUAL DRAINAGE AND UTILITY EASEMENT UNDER, THROUGH, OVER AND ACROSS SAID TRACTS FOR THE INSTALLATION, OPERATION AND MAINTENANCE OF ALL PRIVATE STORM WATER DRAINAGE AND UTILITIES FOR THE BENEFIT OF ALL TRACTS. (SEE EXISTING REFERENCE CITY STORM DRAIN EASEMENT ACROSS TRACTS G-1 AND G-2, RECORDING #2001145903, RECORDED DECEMBER 7, 2001, BK. A28, PG. 4089, FOR CITY STORM DRAIN DETAILS, AND IS TO BE MAINTAINED BY SAID TRACTS.)
12. TRACTS G-1-A, G-2-A, G-2-B, G-2-C, G-3 AND G-4-A ARE SUBJECT TO A NONEXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, OVER AND ACROSS THAT PORTION OF THE COMMON AREA LOCATED ON SAID TRACTS, WHICH EASEMENT IS FOR THE BENEFIT OF ALL TRACTS, AND IS TO BE MAINTAINED BY SAID TRACTS.
13. DEVELOPER OF TRACT G-2-A TO COORDINATE WITH A.M.A.F.C.A. FOR ACCESS TO THE MAINTENANCE ROAD AND LANDSCAPING AS IT RELATES TO ADJACENT A.M.A.F.C.A. RIGHT-OF-WAY, PRIOR TO CONSTRUCTION OF SHOPPING CENTER.
14. NOTES 11,12 AND 13 ARE FURTHER DEFINED IN THE FIRST AMENDMENT TO DECLARATION OF EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTIVE THE LAND FILED JANUARY 7, 2004 IN BOOK A71, PAGE 1863.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: 1010010560115430702-10100105035110030704
 PROPERTY OWNER OF RECORD: 10100650813730701
 Grady, Don
 BERNALILLO COUNTY TREASURER'S OFFICE:
 11/10/05 2:15:00

LEGAL DESCRIPTION

TRACTS G-1, G-2 AND G-4 OF VENTANA SQUARE AT VENTANA RANCH I, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT HEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 45, 2003 IN BOOK 2003C, PAGE 51.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: Don W. Grady, Manager DATE: 11/28/05
 OWNER(S) PRINT NAME: DON W. GRADY - GRADY RENTALS, LLC
 ADDRESS: P.O. BOX 30801 ALBUQUERQUE NM 87190 TRACT: _____
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
)SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28th DAY OF NOVEMBER, 2005.
 BY: Don W. Grady
[Signature] NOTARY PUBLIC
 MY COMMISSION EXPIRES: 3-11-2006

PLAT OF
 TRACTS G-1-A, G-2-A, G-2-B, G-2-C & G-4-A
 VENTANA SQUARE AT VENTANA RANCH
 PROJECTED SECTION 10, T. 11 N., R. 2 E., N.M.P.M.
 TOWN OF ALAMEDA GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2005
 SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE THREE (3) EXISTING TRACTS INTO FIVE (5) NEW TRACTS.

CITY APPROVALS: PROJECT NO.: 1002346 APPLICATION NO. 05DRB-01792

<u>[Signature]</u>	<u>11-28-05</u>
CITY SURVEYOR	DATE
<u>[Signature]</u>	<u>3-13-06</u>
TRAFFIC ENGINEERING	DATE
<u>Christina Sandoval</u>	<u>3/8/04</u>
PARKS & RECREATION DEPARTMENT	DATE
<u>[Signature]</u>	<u>3-8-06</u>
WATER UTILITIES DEVELOPMENT	DATE
<u>Martin Ewert Jr</u>	<u>12-15-05</u>
A.M.A.F.C.A.	DATE
<u>Bradley L. Bingham</u>	<u>3/8/06</u>
CITY ENGINEER	DATE
<u>Andrew Garcia</u>	<u>3/13/06</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Gary E. Gritsko Nov. 28, 2005
 Gary E. Gritsko Date
 New Mexico Professional Surveyor, 8686



SURVEYS SOUTHWEST LTD.

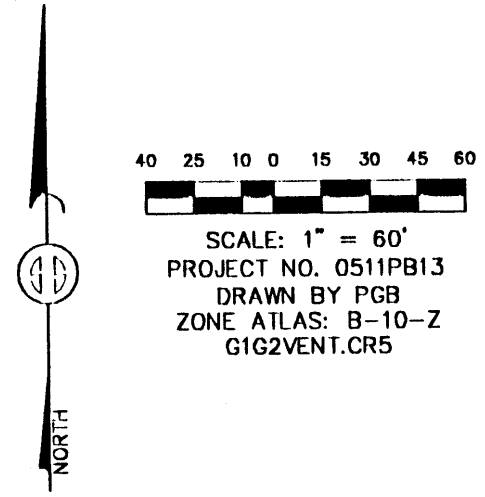
333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

T11N R2E SEC. 10

PLAT OF
 TRACTS G-1-A, G-2-A, G-2-B, G-2-C & G-4-A
 VENTANA SQUARE AT VENTANA RANCH
 PROJECTED SECTION 10, T. 11 N., R. 2 E., N.M.P.M.
 TOWN OF ALAMEDA GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2005
 SHEET 2 OF 2

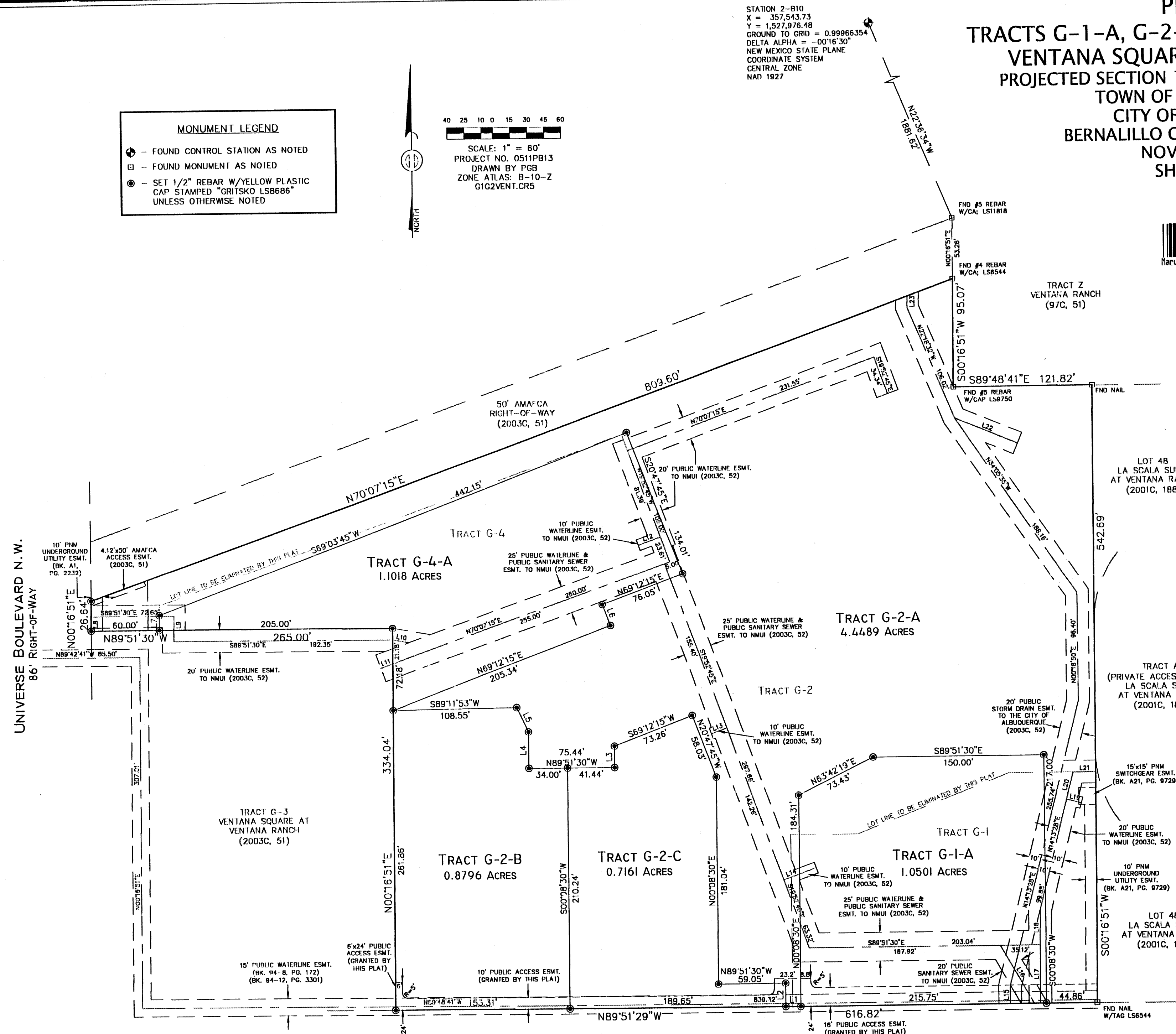
MONUMENT LEGEND

- ⊕ - FOUND CONTROL STATION AS NOTED
- ⊠ - FOUND MONUMENT AS NOTED
- ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO LS8686" UNLESS OTHERWISE NOTED



STATION 2-B10
 X = 357,543.73
 Y = 1,527,976.48
 GROUND TO GRID = 0.99966354
 DELTA ALPHA = -00°16'30"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927

LINE	BEARING	LENGTH
L1	N89°51'30"W	13.25'
L2	N00°08'27"E	20.00'
L3	S00°08'30"W	18.81'
L4	N00°08'30"E	32.01'
L5	N25°12'38"W	23.67'
L6	N20°47'45"W	20.00'
L7	S00°16'35"W	13.19'
L8	N00°16'57"E	12.60'
L9	S00°16'51"W	22.60'
L10	S79°59'43"E	14.81'
L11	S70°07'15"W	11.27'
L12	S70°07'15"W	20.69'
L13	S70°07'15"W	14.38'
L14	N70°07'15"E	30.43'
L15	N00°08'30"E	15.33'
L16	S29°51'30"E	58.89'
L17	N00°16'51"E	51.00'
L18	N00°16'51"E	30.00'
L19	S75°46'32"E	13.58'
L20	N14°13'28"E	24.51'
L21	S89°43'09"E	20.03'
L22	S67°18'32"E	59.86'
L23	N00°17'23"E	9.77'



SURVEYS SOUTHWEST LTD.
 333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306
T11N R2E SEC. 10

FUTURE CITY COMMUNITY PARK

TRACT F-1
Zoning R-LT

TRACT Z
AMAFCA
DRAINAGE
FACILITY

Natural Basalt and Soil Cement Drainage Conveyance

EXISTING COUNTRYHILLS SUBDIVISION
ZONING R-LT TRACT 7A

BUILDING AREA & PARKING CALCULATIONS:
MAJOR 1: 41,450 SF. BUILDING.
LOT SIZE = 234,301 SF OR 5.38 AC.
41,450 SF / 1 SPACE PER 200 SF FOR THE FIRST 15,000 SF OF NET LEASABLE AREA; 75 CARS,
1 SPACE PER 250 SF FOR THE NEXT 26,450 SF OF NET LEASABLE AREA; 106 CARS
= 181 CARS
SPACES PROVIDED 181 SPACES.
FAR = .17
OCCUPANT LOAD: 41,450 / 30 = 1,382
SHOPS 1: 11,600 SF. BUILDING.
LOT SIZE = 48,127 SF OR 1.10 AC.
11,600 SF / 200 = 58 SPACES.
SPACES PROVIDED 58 SPACES.
FAR = .24
OCCUPANT LOAD: 11,600 / 30 = 387
PAD 1: 2,005 SF. BUILDING.
LOT SIZE = 31,266 SF OR 0.718 AC.
TOTAL FAR = .41
1 CAR PER 4 PROVIDED SEATS
48 SEATS / 4 = 12 REQ. CARS.
SPACES PROVIDED 31 SPACES.
FAR = .06
OCCUPANT LOAD: 2,005 / 15 = 134
PAD 2: 2,763 SF. BUILDING.
LOT SIZE = 38,457 SF OR 0.88 AC.
TOTAL FAR = .17
1 CAR PER 4 PROVIDED SEATS
80 SEATS / 4 = 20 REQ. CARS.
SPACES PROVIDED 42 SPACES.
FAR = .07
OCCUPANT LOAD: 2,763 / 15 = 185
SHOPS 2: 10,500 SF. BUILDING.
LOT SIZE = 47,748 SF OR 1.05 AC.
10,500 SF / 200 = 53 SPACES.
SPACES PROVIDED 53 SPACES.
FAR = .22
OCCUPANT LOAD: 10,500 / 30 = 350
FLOOR AREA RATIO
BUILDING SQUARE FOOTAGE MAY BE HIGHER, BUT SHALL NOT EXCEED 10,000 SQ/FT PER GROSS ACRE IN ACCORDANCE WITH THE MAY 31, 1998 AGREEMENT
TOTAL BUILDING AREA = 68,318 SQ/FT
TOTAL LOT AREA = 397,932 SQ/FT
TOTAL FAR = .17
PARKING NOTES:
TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20'-0"
SMALL CARS
SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED.
25 BICYCLE SPACES.
10 MOTORCYCLE SPACES.
TOTAL STANDARD PARKING SPACES PROVIDED 319 SPACES
TOTAL SMALL CARS PARKING SPACES PROVIDED 23 SPACES
TOTAL MC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES) 27 SPACES
TOTAL PROVIDED 369 SPACES
TOTAL REQUIRED SPACES = 324 SPACES
TOTAL PROVIDED SPACES = 347 SPACES

LEGAL DESCRIPTION
TRACTS G AT VENTANA SQUARE
CURRENT ZONING
C-2 TO SU-1 FOR C-2
TOTAL ACREAGE
9.13 ACRES G1, G2, G4, G5, G6,
WALGREENS 3.55
TOTAL GROSS 12.68 AC.
GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURAL
General architecture character for pad structures is to follow the general design concept depicted on elevations of major stores and shops. pad buildings will be cementitious finish with a cementitious or split face cmu dado band. The main building walls must be colored to match color benjamin moore (#2) bm951 and (#1) bm1032. If the building extends below finish floor that area will also be covered with color #2. Structures are to be predominately flat-roofed however partial building areas such as portals or small extensions of building functions adjacent to the major building mass may have sloped roofs. These roofs are to be shed type mission tile clad and the high point of the roof must hit the main building wall below the top of the main building parapet. Architectural entry canopy roofs may extend above the parapet wall top and area to relate to the entry format of the main buildings. Building heights are limited to 35' (PER CARMEN MARRONE) parapet heights for major building walls, and 26' parapet heights for pad building walls mission tile clad entry roofs may extend above this height to accent and articulate the building mass.

PAD ARCHITECTURAL DESIGN STANDARDS
Shall include the following elements to provide uniform standards for all pads. each pad to follow building elevations provided. --the lower 3'-4" of the area of vertical walls and landscape walls shall be four or eight inch split face cmu or stucco. color #2. --four or eight inch split face cmu or stucco. color #1 --fuel canopies to be cementitious finish color #1 lighting to be entirely recessed in soffit of fuel canopies (max 50ft candles) --each pad development to provide an outdoor paved and landscaped patio space with outdoor furniture, such as bench seating or picnic tables.
MECHANICAL EQUIPMENT SCREENING
All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit cannot be observed from the residential area horizontal screening per the attached COLOR PALETTE is required.

SPECIAL BUFFERING
Drive up pick up windows to be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.
BUILDING SIGNAGE
Except as noted under awnings all signage will be internally illuminated individual type lettering not to exceed 6 percent of the wall area of each building elevation or ten percent of the wall area of the shop building. Letters are to be back lit. No exposed neon. Neon must be within solid opaque faced metal channel lettering can type signs are prohibited. Any special logos associated with a specific tenant are to be provided in a non-illuminated fashion for specific approval.
LANDSCAPING
Landscaping of the pads will be from the same landscaping pallet and concept as provided on the master landscaping plan.
AWNINGS
Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of building wall. Illumination of awnings must be from pendant mounted fixtures located above the awning. accent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.
GLAZING
Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.
SERVICE AREAS
Service areas such as refuse locations and compactors are to be totally screened from the view of the adjacent residential area, public rights-of-way and the adjacent monument area. Free-standing dumpster and compactor locations are to be gated. Screening material to match building wall color and material. REFER TO CONDITION P OF 2000 DRB.
LIGHTING
Site lighting for pad structures is to match the site lighting provided for the main parking area. pad site lighting not to exceed 20' to fixture. Main parking area lighting not to exceed 30' to fixture. Exposed, i.e. unshielded light fixtures are prohibited. All lamps must be shielded shoe box type fixtures. Maximum light level under fuel canopies to be 50ft candles, from totally recessed lighting.
FREE STANDING SIGNAGE
250 sf x 16' tall architecturally coordinated signs are permitted. one each at the paradise blvd. entry to G. and one on Paseo del Norte frontage. Each pad building or group of pad buildings to have one 50 sf monument sign.
TRAFFIC REQUIREMENTS:
All traffic requirements have been met per May 31, 1998 agreement between the city and Los Ventanos limited partnership.
PARKING
The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entries
ALTERNATE USE
Concept: If one of the approved schematic alternate use plans is selected for development in lieu of the approved Site Plan for Building Permit, a complete Site Plan for Building Permit Purposes will be prepared and submitted to the DRB for review and approval. (EPC review not required unless the plan for development does not match one of the alternate schematic plans).
RADIUS INFORMATION:
① RADIUS = 2'-0"
② RADIUS = 3'-0"
③ RADIUS = 5'-0"
④ RADIUS = 10'-0"
⑤ RADIUS = 15'-0"
⑥ RADIUS = 20'-0"
⑦ RADIUS = 25'-0"
⑧ RADIUS = 35'-0"
⑨ RADIUS = 40'-0"
⑩ RADIUS = 50'-0"
⑪ RADIUS = 60'-0"
⑫ RADIUS = 100'-0"

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

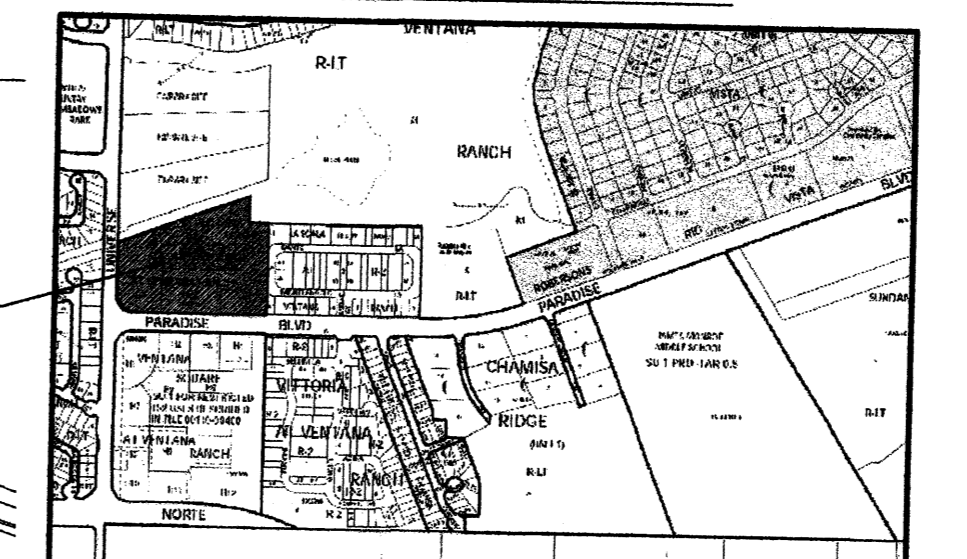
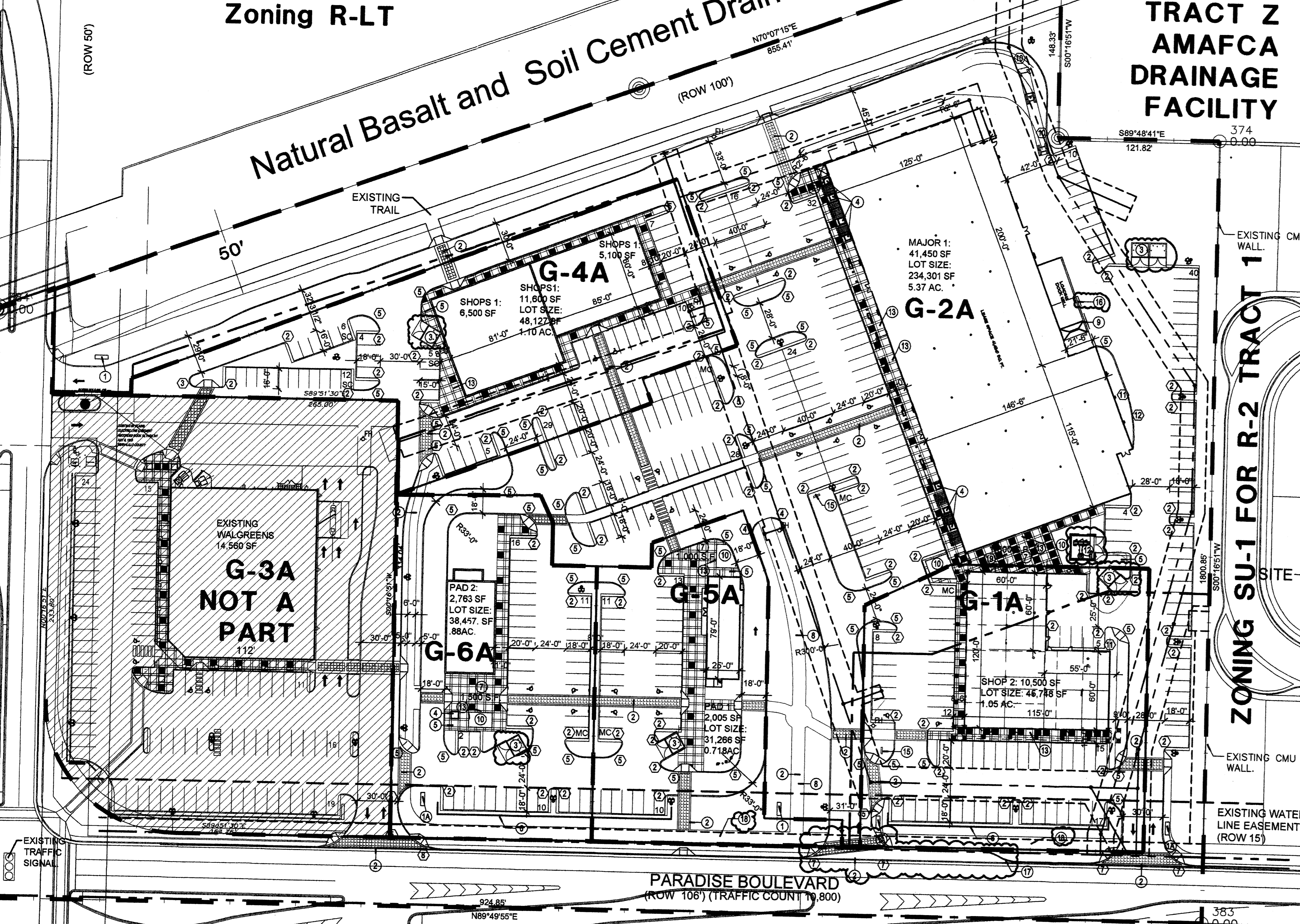
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

VENTANA SQUARE.
(NEC) UNIVERSE & PARADISE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER: GEORGE RAINHART
JOB NO. 0000
DRAWN BY: APZ
SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 11/15/2005
SCALE: 1"=50'
sheet: A1.1
G-1A & G-2A of.

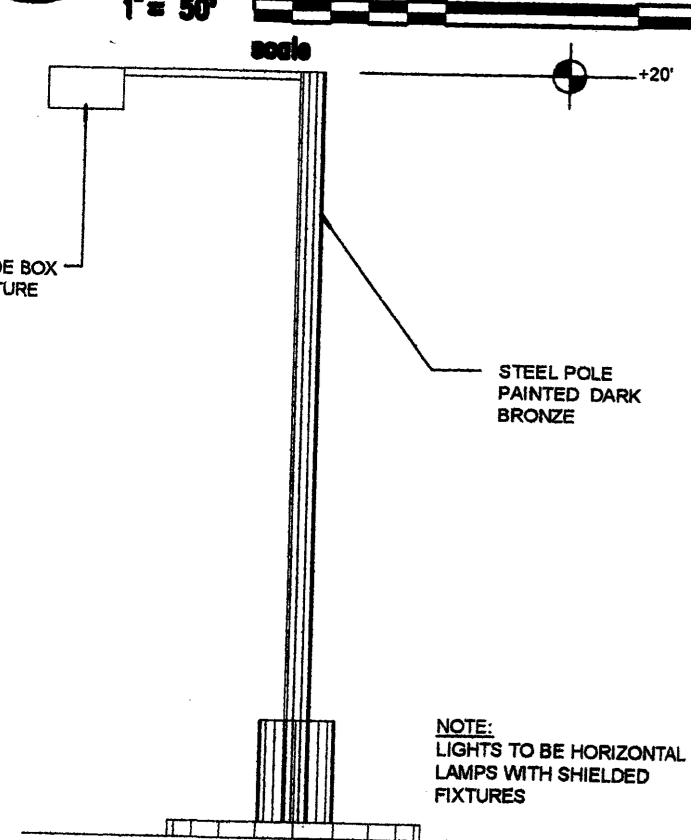
LEGEND
EXISTING.
LIGHT POST.
F.H.



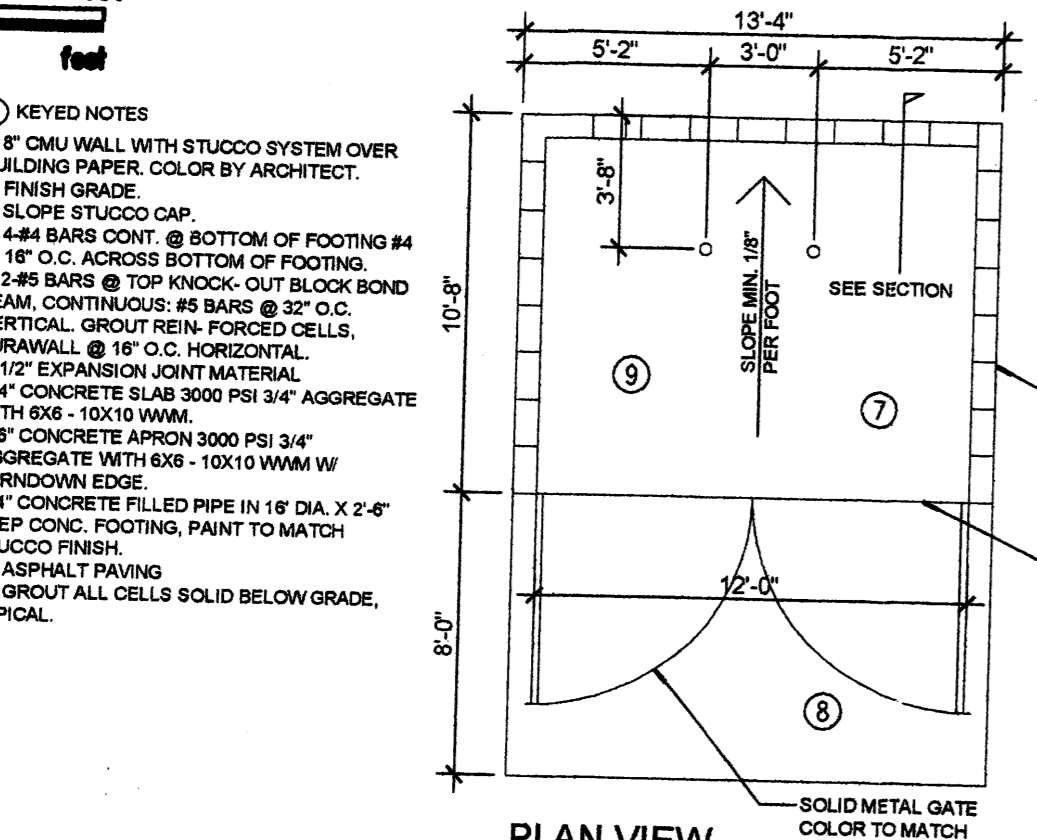
7 VICINITY PLAN
SCALE: 1"=1,000'

- KEYED NOTES**
1. PYLON SIGN 1A. MONUMENT.
 2. 6'-0" RAISED/TEXTURED PEDESTRIAN CROSSWALK.
 3. GATED REFUSE ENCLOSURE-PAINTED STUCCO TO MATCH BUILDING WITH SOLID GATES.
 4. 6'-0"X6'-0" TREE PLANTERS.
 5. BIKE RACK PER C.O.A. STANDARDS.
 6. 2'-6" GARDEN WALL. (COLOR & MATERIAL TO MATCH MAIN BUILDING).
 7. CONCRETE OUT DOOR PATIO AREA.
 8. ASPHALT TRAIL.
 9. DOCK METAL
 10. LANDSCAPE AREA
 11. TRANSFORMER.
 12. PROPOSED FUTURE CELLULAR SITE.
 13. BENCHES.
 14. 12"X18" MOTORCYCLE SIGN AS PER CITY REQ. (MC)
 15. SIGN, SLOW DOWN DUE TO PEOPLE CROSSING.
 16. 10'-0" SCREEN WALL.
 17. RIGHT TURN LANE.
 18. MULTI-PURPOSE TRAIL (PER LONG RANGE BIKEWAY SYSTEMS MAP).
 19. TRELLIS.

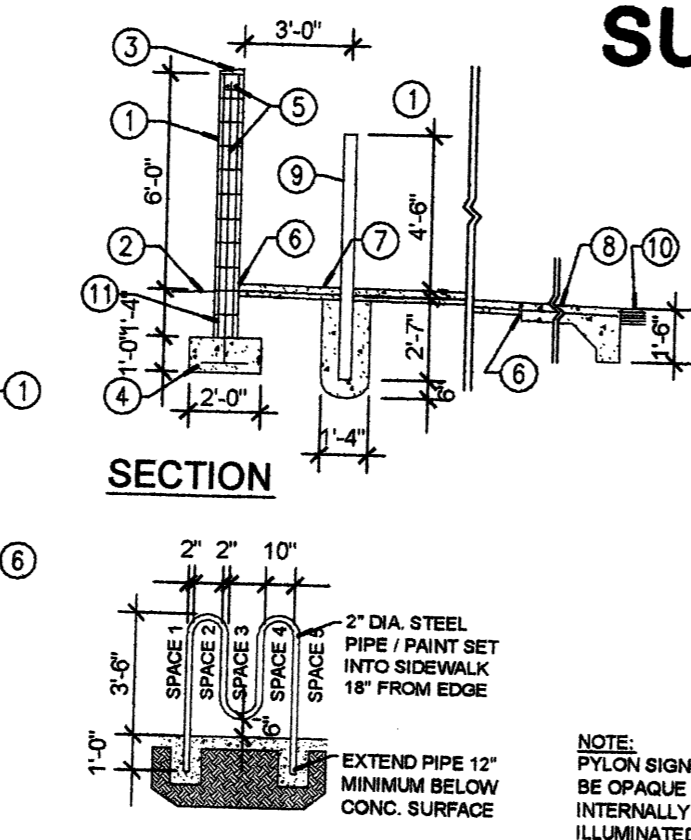
1 SITE PLAN
Scale: 1" = 50'-0"



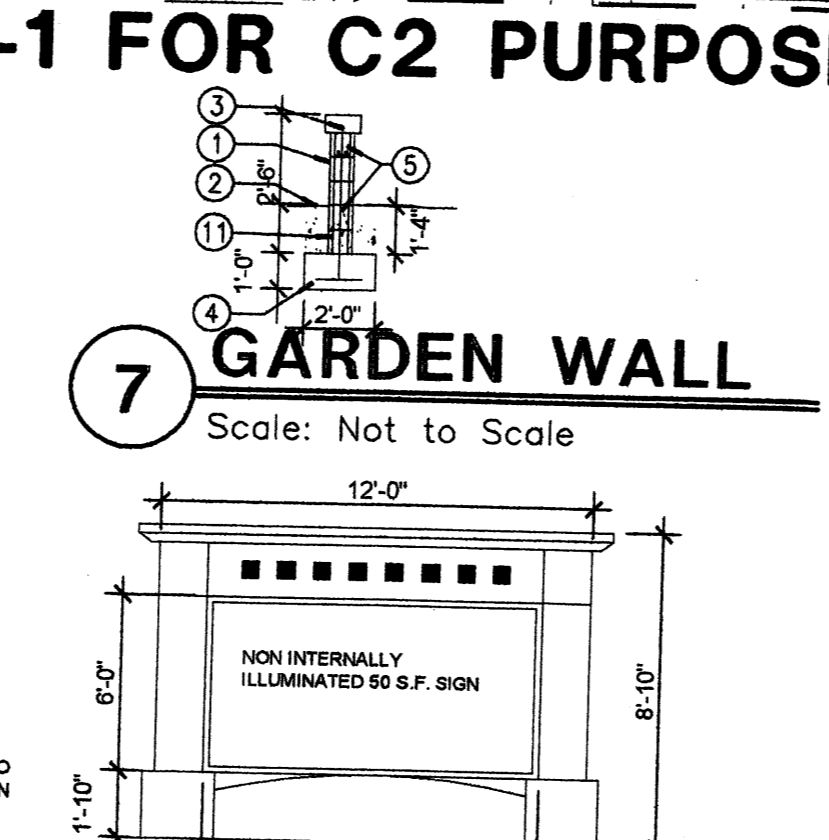
3 SITE LIGHTING
Scale: Not to Scale



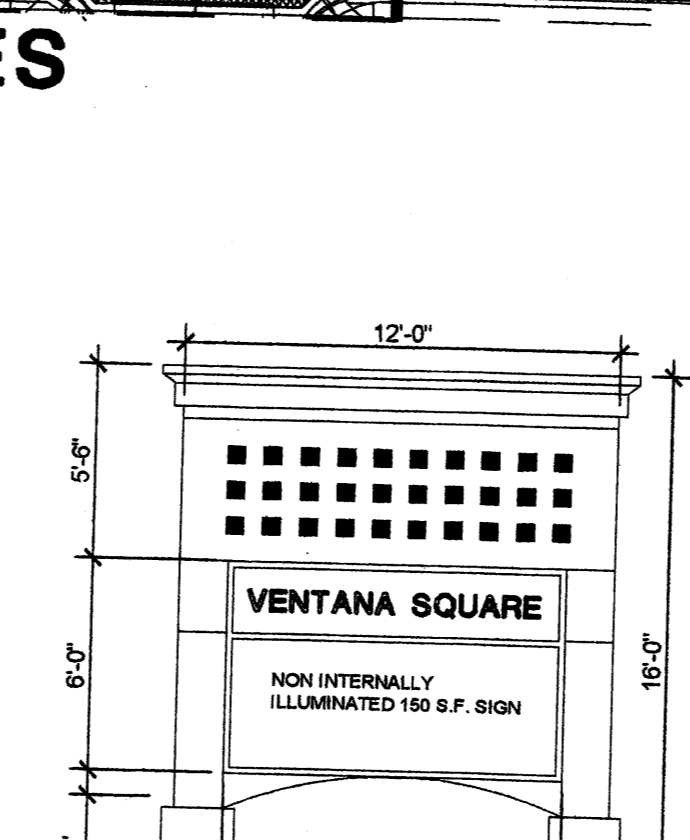
4 REFUSE ENCLOSURE
Scale: Not to Scale



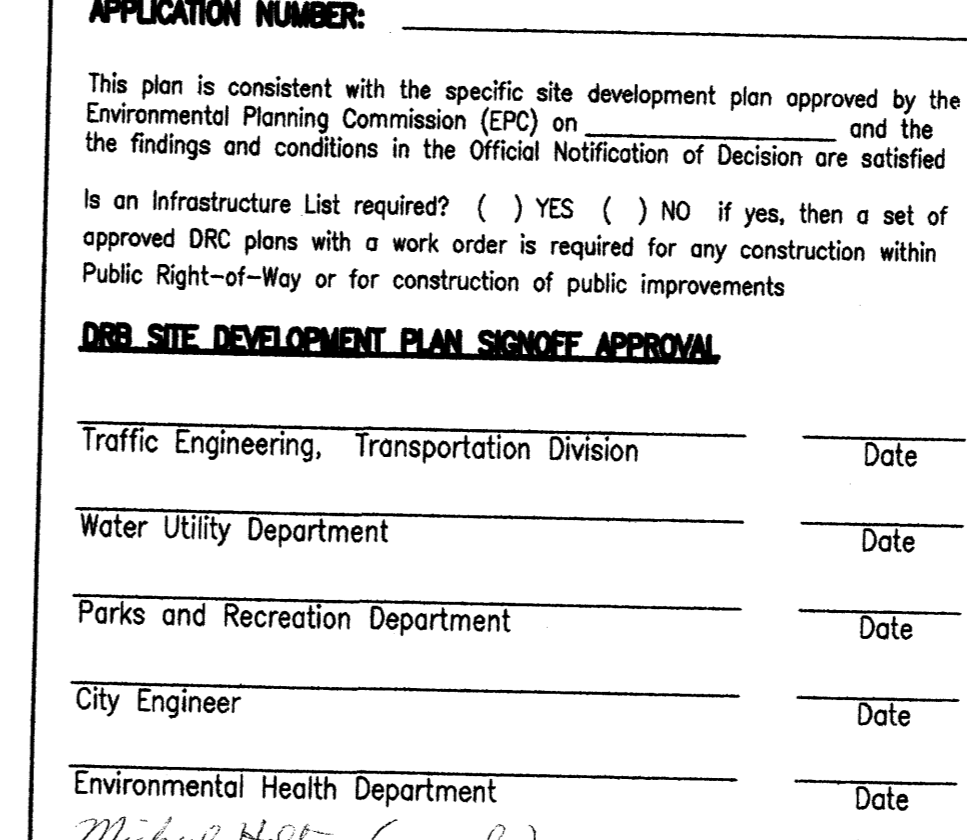
2 BIKE RACK
Scale: Not to Scale



7 GARDEN WALL
Scale: Not to Scale



5 MONUMENT SIGN
Scale: Not to Scale



6 MONUMENT SIGN
Scale: Not to Scale

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO if, yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

- KEYED NOTES**
1. 5" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER, COLOR BY ARCHITECT.
 2. FINISH GRADE
 3. 5/8" STUCCO CAP
 4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 18" O.C. ACROSS BOTTOM OF FOOTING.
 5. 2-#8 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BARS @ 32" O.C. VERTICAL, GROUT REIN. FORTIFIED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
 6. 1/2" EXPANSION JOINT MATERIAL.
 7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 608 - 10X10 W/M.
 8. 8" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 608 - 10X10 W/M W/ TURNDOWN EDGE.
 9. 4" CONCRETE FILLED PIPE IN 18" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
 10. ASPHALT PAVING
 11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

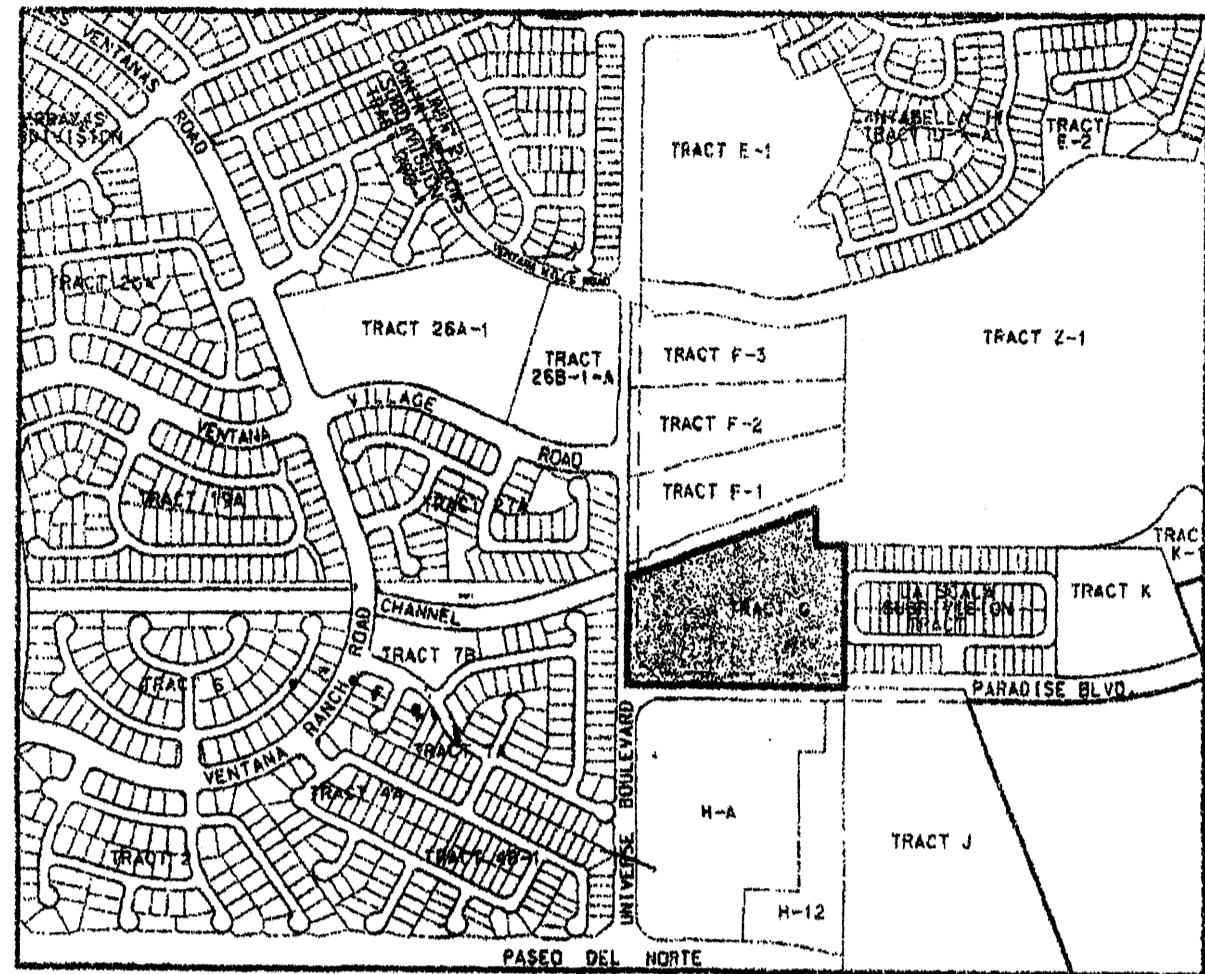
NOTE: LIGHTS TO BE HORIZONTAL LAMPS WITH SHIELDED FIXTURES

NOTE: SOLID METAL GATE COLOR TO MATCH BUILDING COLOR

NOTE: 2" DIA. STEEL PIPE / PAINT SET INTO SIDEWALK 18" FROM EDGE

NOTE: PYLON SIGNS TO BE ORANGE NON INTERNALLY ILLUMINATED SIGNS LIT BY OVER-HEAD BRACKET MOUNTED FLOOD LAMPS.

SP-2002510876



LOCATION MAP

ZONE ATLAS INDEX MAP No. B-9-Z & B-10-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1002346 DRB03-000171
2. Zone Atlas Index Nos. B-9-Z & B-10-Z.
3. Gross Subdivision Acreage: 12.6840 Acres.
4. Total Number of Tracts created: Four (4) Tracts.
5. Total mileage of partial width streets created: 0.0288 mile.
6. Date of Survey: September, 2002.
7. Plat is located within the Town of Alameda Grant, within projected Sections 9 & 10, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of the filing of this plat is to subdivide Tract G of the PLAT OF VENTANA RANCH, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 into four (4) Tracts, to grant easements, dedicate additional street right-of-way to the City of Albuquerque, and dedicate additional right-of-way to AMAFCA.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground and overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement (But not parallel within).

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Sections 9 and 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract G of the PLAT OF VENTANA RANCH, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at the southwest corner of said Tract G, whence the Albuquerque City Survey (ACS) monument "1-810", a standard ACS brass tablet set in top of a concrete post, having New Mexico State Plane Grid Coordinates (Central Zone NAD 1927) of X=357,526.69 and Y=1,525,168.35 bears S11°20'24"E, a distance of 336.15 feet and from said point of beginning running thence along the westerly boundary line of said Tract G, N00°16'51"E, a distance of 451.26 feet to the northwest corner of said Tract G; thence running along the northerly boundary line of said Tract G, N70°07'15"E, a distance of 855.41 feet to the northeast corner of said Tract G; thence running along the easterly boundary line of said Tract G, S00°16'51"W, a distance of 148.35 feet to a point; thence, S89°48'41"E, a distance of 121.82 feet to a point; thence, S00°16'51"W, a distance of 595.69 feet to the southeast corner of said Tract G; thence running along the southerly boundary line of said Tract G, N89°51'30"W, a distance of 924.82 feet to the point and place of beginning.

Tract contains 12.6840 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within Projected Sections 9 & 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract G of the PLAT OF VENTANA RANCH, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 as Document No. 95122531 now comprising Tracts G-1 thru G-4 of PLAT OF TRACTS G-1 THRU G-4 OF VENTANA SQUARE AT VENTANA RANCH, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street right-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and said owner(s) and/or proprietor(s) do hereby dedicate additional right-of-way shown hereon to AMAFCA in Fee Simple with Warranty Covenants and do hereby grant: All access, Utility, and Drainage Easements hereon, inspect, and maintain facilities therein and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

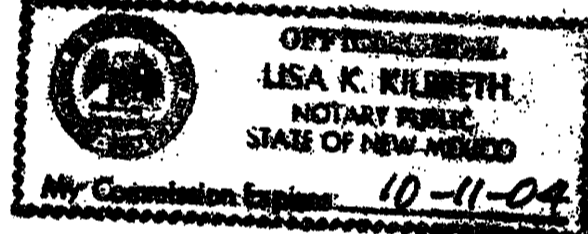
LAS VENTANAS LIMITED PARTNERSHIP A NEW MEXICO LIMITED PARTNERSHIP

By: Robert M. Murphy, President Sandia Properties Ltd., Co. Managing Partner

State of New Mexico) County of Bernalillo)

This instrument was acknowledged before me on 30th day of January 2003 by Robert M. Murphy, President of Sandia Properties Ltd., Co., a New Mexico limited liability company, Managing Partner of Las Ventanas Limited Partnership, A New Mexico Limited Partnership.

My Commission Expires: 10-11-04

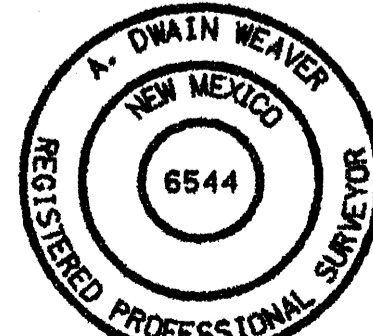


NOTES

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF VENTANA RANCH, Filed: November 30, 1995 as Document No. 95122531 in Volume 95C, Folio 430.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Tract G is subject to an existing Blanket Drainage Easement Filed: November 30, 1995 in Book 95C, Folio 430. Easement is vacated by Vacation Action V-1.
6. Tracts G-1 through G-4 are subject to a nonexclusive perpetual drainage and utility easements under, through, over and across said tracts for the installation, operation, and maintenance of all private storm water drainage and utilities for the benefit of all Tracts G-1 through G-4. (See existing referenced City storm drain easement across Tracts G-1 and G-2, recording #2001145903, recorded December 7, 2001, Bk A28, Pg 4089, for City storm drain details.)
7. Tracts G-1 through G-4 are subject to a nonexclusive perpetual easement for ingress and egress by vehicular and pedestrian traffic, over and across that portion of the common area located on said tract, which easement is for the benefit of all Tracts G-1 through G-4.
8. Developer of Tract G-2 to coordinate with AMAFCA for access to the maintenance road and landscaping as it relates to adjacent AMAFCA Right-of-Way, prior to construction of Shopping Center.

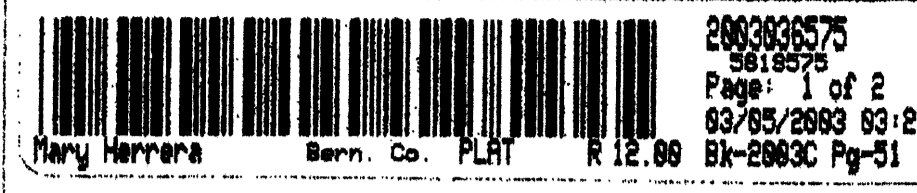
SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver, New Mexico Professional Surveyor 6544

Date: January 30, 2003



PLAT OF TRACTS G-1 THRU G-4 VENTANA SQUARE AT VENTANA RANCH

(A REPLAT OF TRACT G, VENTANA RANCH) ALBUQUERQUE, NEW MEXICO JANUARY, 2003

APPROVALS

Table of approvals with columns for Department, Name, and Date. Includes Planning Director, City Engineer, Traffic Engineer, City Surveyor, Property Management, Utility Development Department, Parks & Recreation, Comcast Cable, PNM Electric Services, PNM Gas Services, and New Mexico Utilities, Inc.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1.010.005.047.157.307.04. PROPERTY OWNER OF RECORD: Las Ventanas Ltd. Property. BERNALILLO COUNTY TREASURER'S OFFICE: 05 MAR 03

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

2717

LEGEND

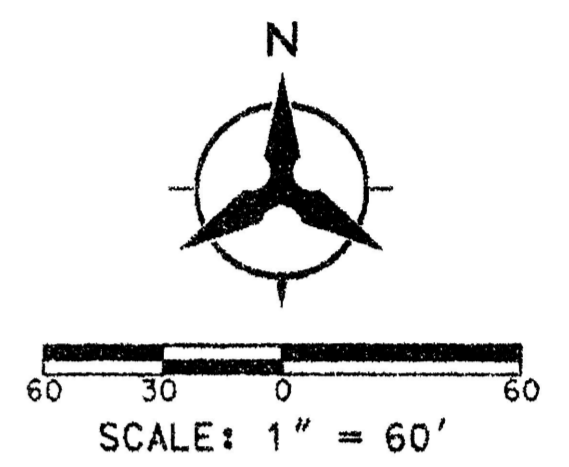
- SUBDIVISION BOUNDARY LINE
- NEW TRACT LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - CENTERLINE
- - - ADJOINING PROPERTY LINE
- - - RIGHT OF WAY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- ⊗ CHISELED "X" ON MANHOLE LID
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

BULK LAND PLAT OF TRACT Z VENTANA RANCH
 FILED: FEBRUARY 12, 1997 (97C-51)

ACS BRASS TABLET STAMPED "2-810 1980"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=357,543.73 Y=1,527,976.48
 GRID TO GRID FACTOR = 0.99966354
 DELTA ALPHA = -00°16'30"
 NGVD 1929 ELEVATION = 5429.35

2883836575
 5818575
 Page: 2 of 2
 03/05/2003 09:26P
 Mary Herrera Bern. Co. PLRT R 12.00 Bk-2683C Pg-51

PLAT OF TRACTS G-1 THRU G-4 VENTANA SQUARE AT VENTANA RANCH
 (A REPLAT OF TRACT G, VENTANA RANCH)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2003

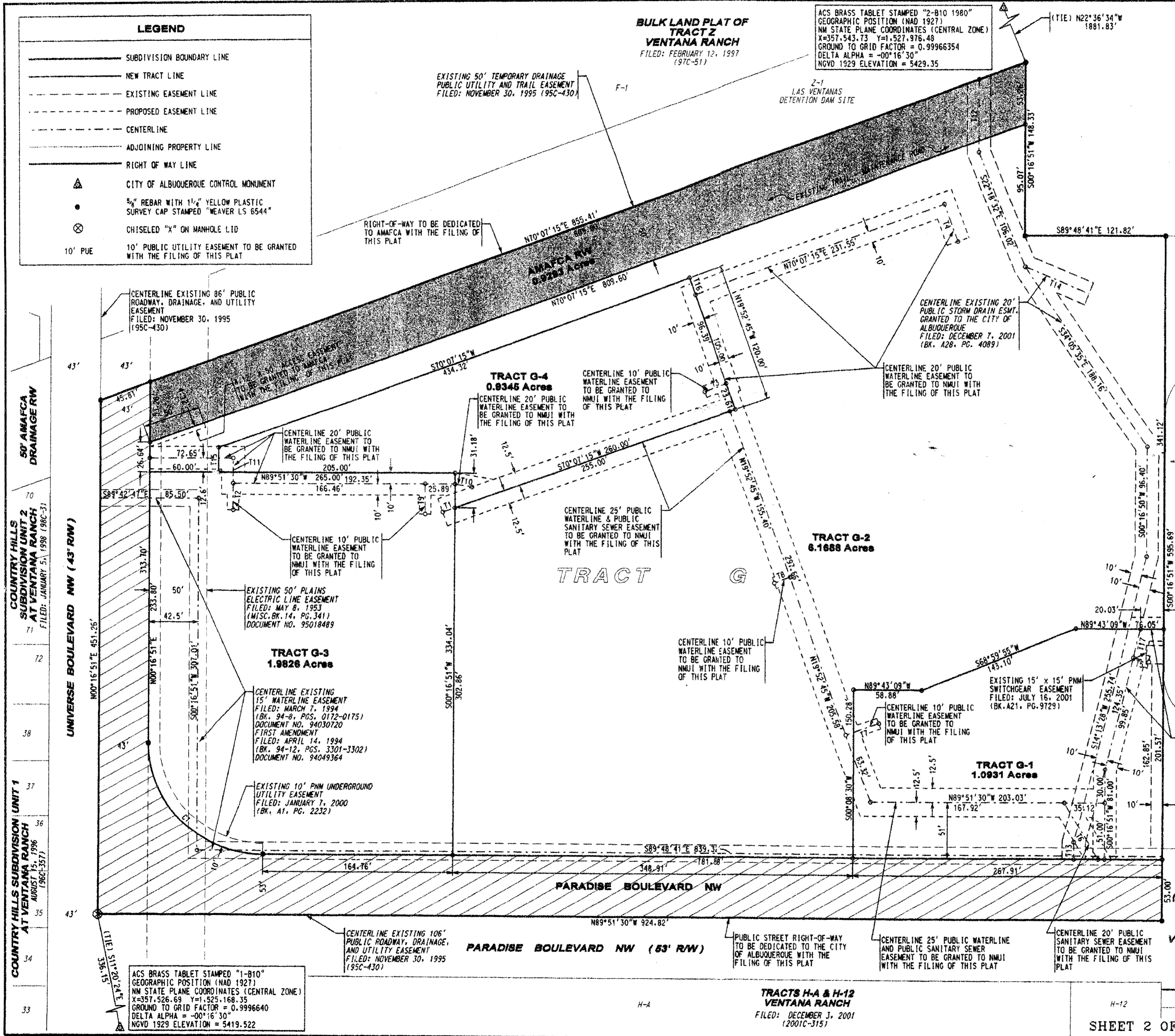


CURVE DATA

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°08'21"	100.24'	157.32'	100.00'	141.59'	N44°47'20"W

TANGENT DATA

ID	BEARING	DISTANCE
T1	S70°07'15"W	11.27'
T2	S00°16'51"W	23.83'
T3	N70°07'15"E	20.69'
T4	S19°52'45"E	34.34'
T5	S75°46'32"E	13.58'
T6	N29°51'30"W	58.89'
T7	S70°07'15"W	30.43'
T8	S70°07'15"W	14.38'
T9	S00°08'30"W	26.73'
T10	S79°59'43"E	14.81'
T11	S00°16'51"W	22.60'
T12	S00°17'23"W	63.15'
T13	S00°08'30"W	15.33'
T14	S67°18'32"E	59.86'
T15	S00°16'51"W	21.89'
T16	N19°52'45"W	15.00'
T17	S14°13'28"W	24.50'



COUNTRY HILLS SUBDIVISION UNIT 2 AT VENTANA RANCH
 FILED: JANUARY 5, 1998 (98C-31)

COUNTRY HILLS SUBDIVISION UNIT 1 AT VENTANA RANCH
 AUGUST 15, 1996 (96C-357)

Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 SHEET 2 OF 2 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

2717