

# BUILDING CRITERIA

**PROJECT:** ATRISCO BUSINESS PARK LOT 1  
530 AIRPORT ROAD NW  
ALBUQUERQUE, NM

**OWNER:** VIC BRUNO CO.  
PO DRAWER 20460, ALBUQUERQUE, NM, 87154

**ARCHITECT:** CLAUDIO VIGIL ARCHITECTS  
1801 RIO GRANDE BOULEVARD, SUITE 2  
ALBUQUERQUE, NEW MEXICO 87102

**LEGAL DESCRIPTION:**  
LOT 1, BLOCK 0000, ATRISCO BUSINESS PARK UNIT 2 TRACT A

**ZONING CLASSIFICATION:** IF

**ZONING ATLAS MAP:** J-10-Z

**APPLICABLE BUILDING CODE:**  
1991 UNIFORM BUILDING CODE & ICC/ANSI A117.1-1998

**BUILDING TYPE:** OFFICE WAREHOUSE

**CONSTRUCTION TYPE:** TYPE II-N - FULLY SPRINKLERED

**BUILDING FUNCTION:** BUILDING SHELL FOR FUTURE OFFICE WAREHOUSE SPACE.

**OCCUPANCY GROUP:** B-OFFICE / S-2 WAREHOUSE

**ALLOWABLE AREA:**  
GROUP B AND S-2 OCCUPANCIES, ONE STORY, TYPE II-N CONSTRUCTION, 100% AUTOMATIC FIRE SPRINKLER SYSTEM, PROPERTY ENTIRELY SURROUNDED BY YARDS NOT LESS THAN 60' IN WIDTH - UNLIMITED AREA ALLOWED

**BUILDING HEIGHT:** 30'-0" AFF.

**OCCUPANT LOAD:** OFFICE = 10% 11,935 S.F. = 1193.5  
WAREHOUSE = 90% 11,935 S.F. = 107,415  
TOTAL = 119,350

**EXIT WIDTH REQUIRED:** 314 x 2 = 628'

**NUMBER OF EXITS REQUIRED:** 2

**NUMBER OF EXITS PROVIDED:** 11

**TOTAL BUILDING AREA:** 11,935 GROSS USABLE SF

**TOTAL LOT AREA:** 311,202 SF. = 7.14 ACRES

**NET LOT AREA:** 198,402 SF. = 4.56 ACRES

**TOTAL PARKING/PAVED AREA:** 151,819 SF.

**TOTAL LANDSCAPE AREA REQUIRED:** 29,160 SF.

**TOTAL LANDSCAPE AREA PROVIDED:** 46,583 SF.

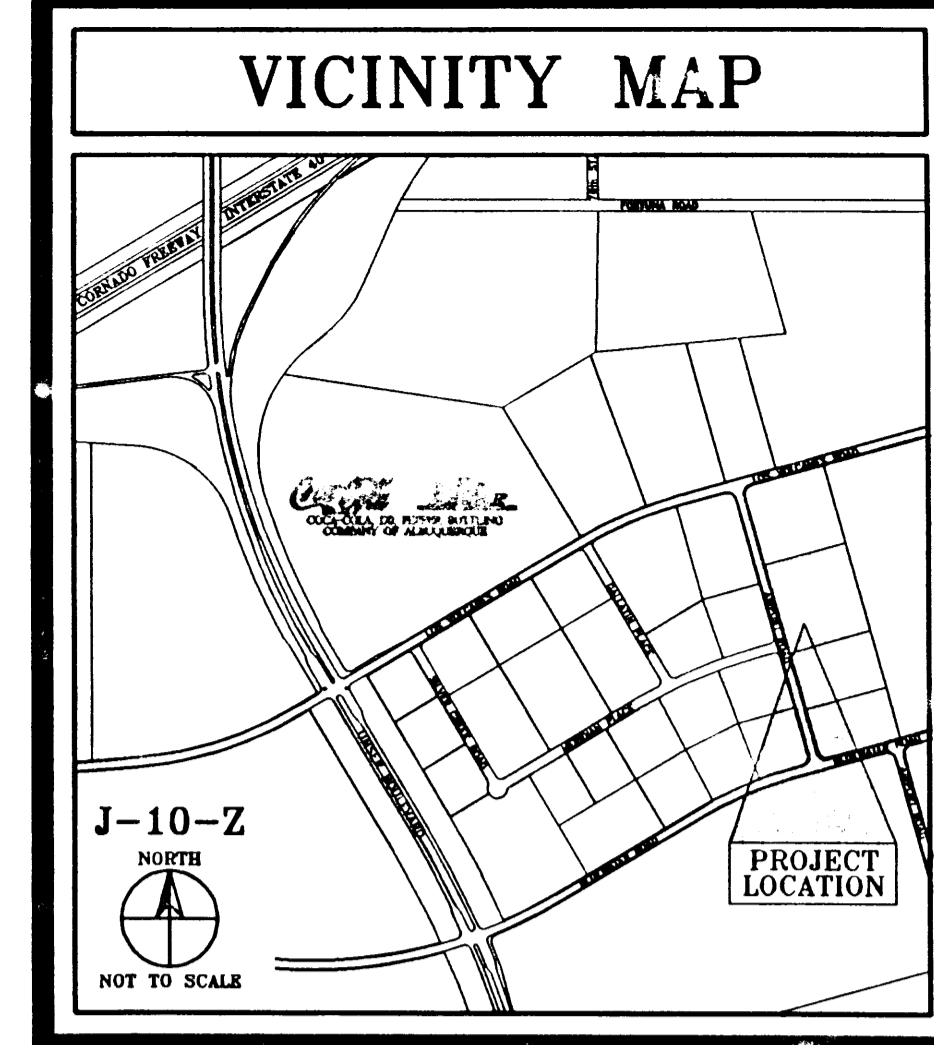
**LANDSCAPE TO PARKING AREA RATIO:** 32:1

**PARKING ANALYSIS:**  
OFFICE AREA - 11935/200 = 59 SPACES  
WAREHOUSE AREA - 107415/2000 = 53 SPACES  
TOTAL = 102 SPACES

TOTAL PARKING SPACES REQUIRED = 102 PARKING SPACES  
TOTAL PARKING SPACES PROVIDED = 159 PARKING SPACES  
8 VAN ACCESSIBLE PARKING SPACES REQUIRED

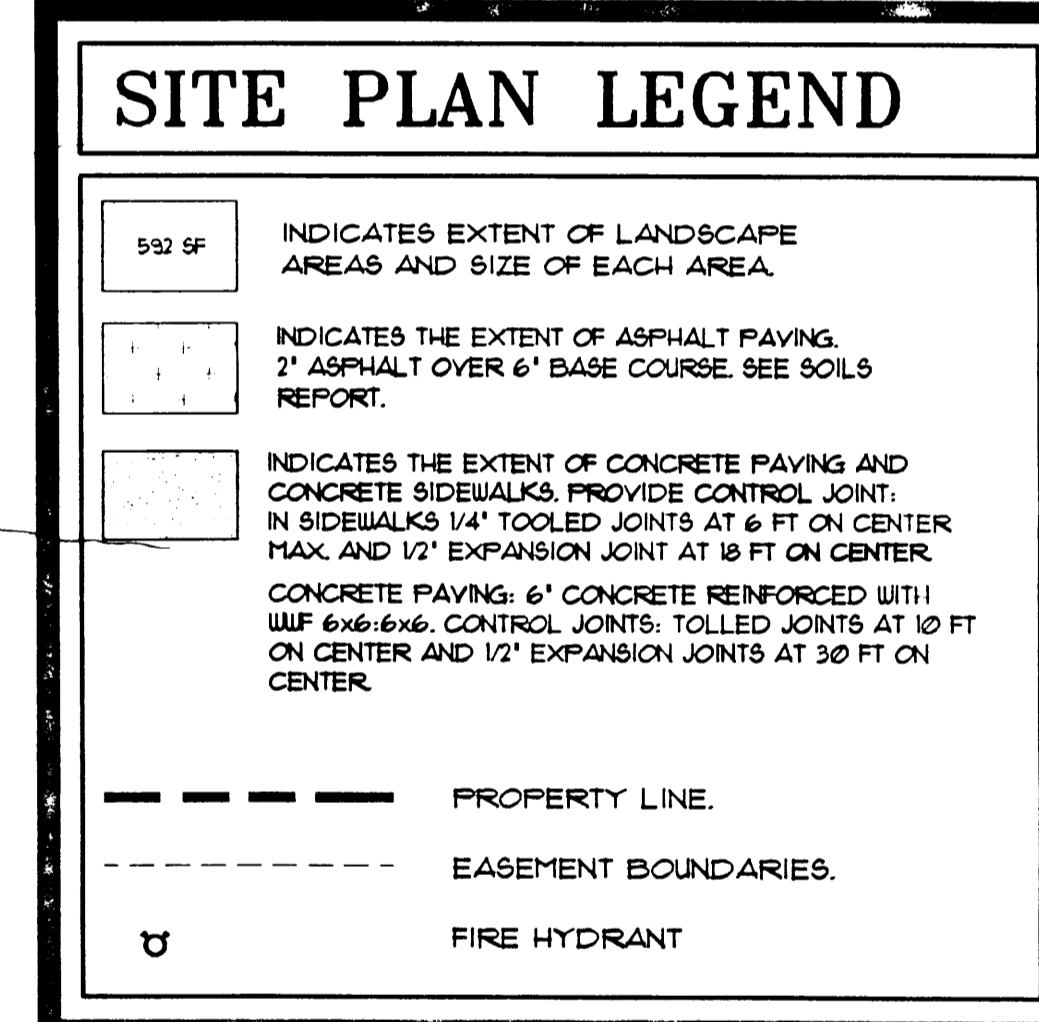
**PARKING SPACE SIZES:**  
REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG.  
VAN ACCESSIBLE HANDICAP PARKING SPACE = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG AND A 9'-0" WIDE ACCESS STRIP.

**BICYCLE SPACES:**  
INDUSTRIAL PARK 05X12 = 559  
TOTAL BICYCLE SPACES REQUIRED = 6 BICYCLE SPACES  
TOTAL BICYCLE SPACES PROVIDED = 8 BICYCLE SPACES  
(2 BIKE RACK POSTS AT 4 BICYCLES PER POST)



## GENERAL NOTES

- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL CALL FOR TEMPORARY CERTIFICATE OF OCCUPANCY.
- AN AS-BUILT COPY OF THE APPROVED TRAFFIC CIRCULATION LAYOUT MUST BE SUBMITTED BY THE DESIGNER OF RECORD, AS REQUIRED BY THE TRANSPORTATION DEVELOPMENT. RANDOM FIELD CHECKS WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O.
- OVERHEAD DOCK DOORS MUST BE INSTALLED ON THE INTERIOR SIDE. THE RETRACTING EQUIPMENT MUST NOT APPEAR ON THE EXTERIOR.
- NO FUGITIVE LIGHT WILL BE ALLOWED TO ESCAPE THE SITE.
- SITE LIGHTING SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPHS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.



### SIGNATURE BLOCK

**PROJECT # 1002355** E.P.C. CASE NO. 2-92-97  
D.R.B. CASE NO. 02 195-07

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [DATE] AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

**SITE DEVELOPMENT PLAN**

*Richard D. [Signature]* 11-27-03  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

*David [Signature]* 11/27/02  
PARKS & RECREATION DEPARTMENT DATE

*Roger [Signature]* 8-18-04  
PUBLIC WORKS, WATER UTILITIES DIVISION DATE

*Brad [Signature]* 11-28-02  
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE

*Sharon [Signature]* Nov 26-02  
SOLID WASTE DEPARTMENT / REFUSE DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

*Sharon [Signature]* 11/27/02  
CITY PLANNER, ALBUQUERQUE DATE

PLN2(10706) 4/96



**CLAUDIO VIGIL ARCHITECTS**

**RIO GRANDE DISTRIBUTION CENTER**  
LOT 1, TRACT A, ATRISCO BUSINESS PARK  
530 AIRPORT ROAD  
ALBUQUERQUE, NEW MEXICO

**SHEET SP-1**

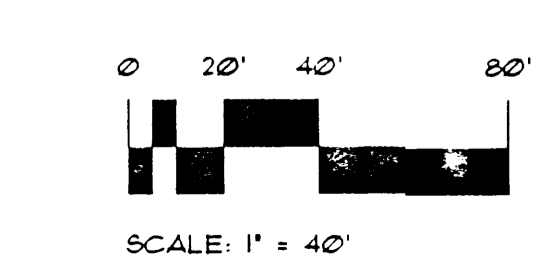
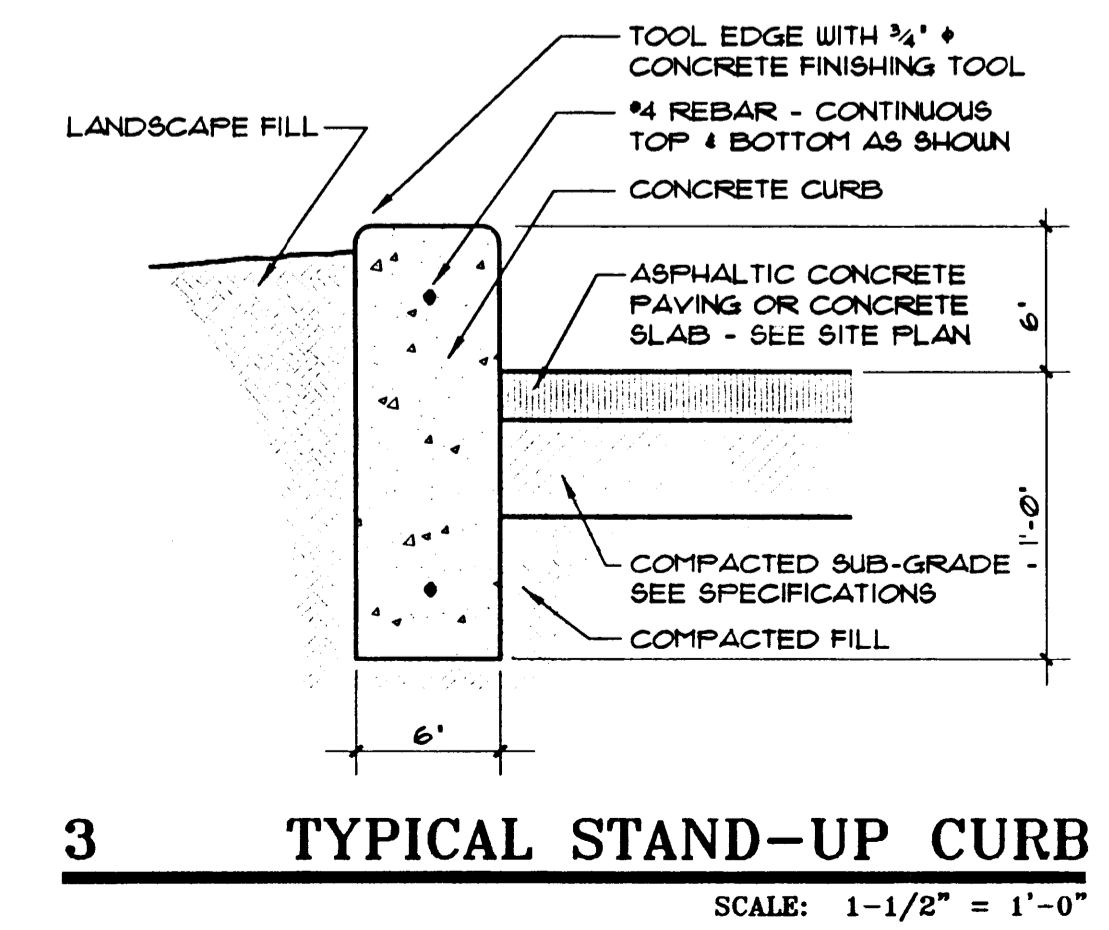
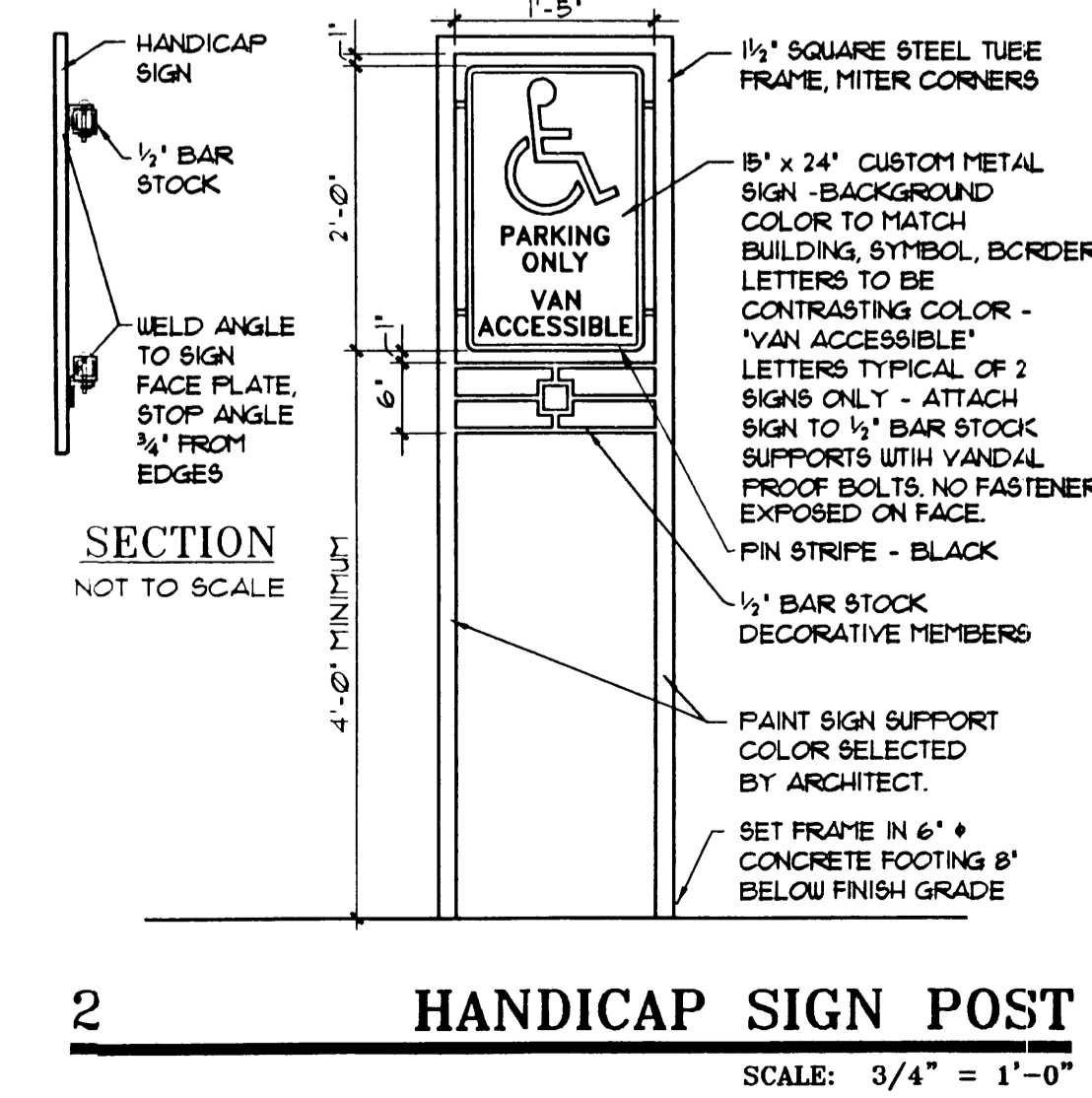
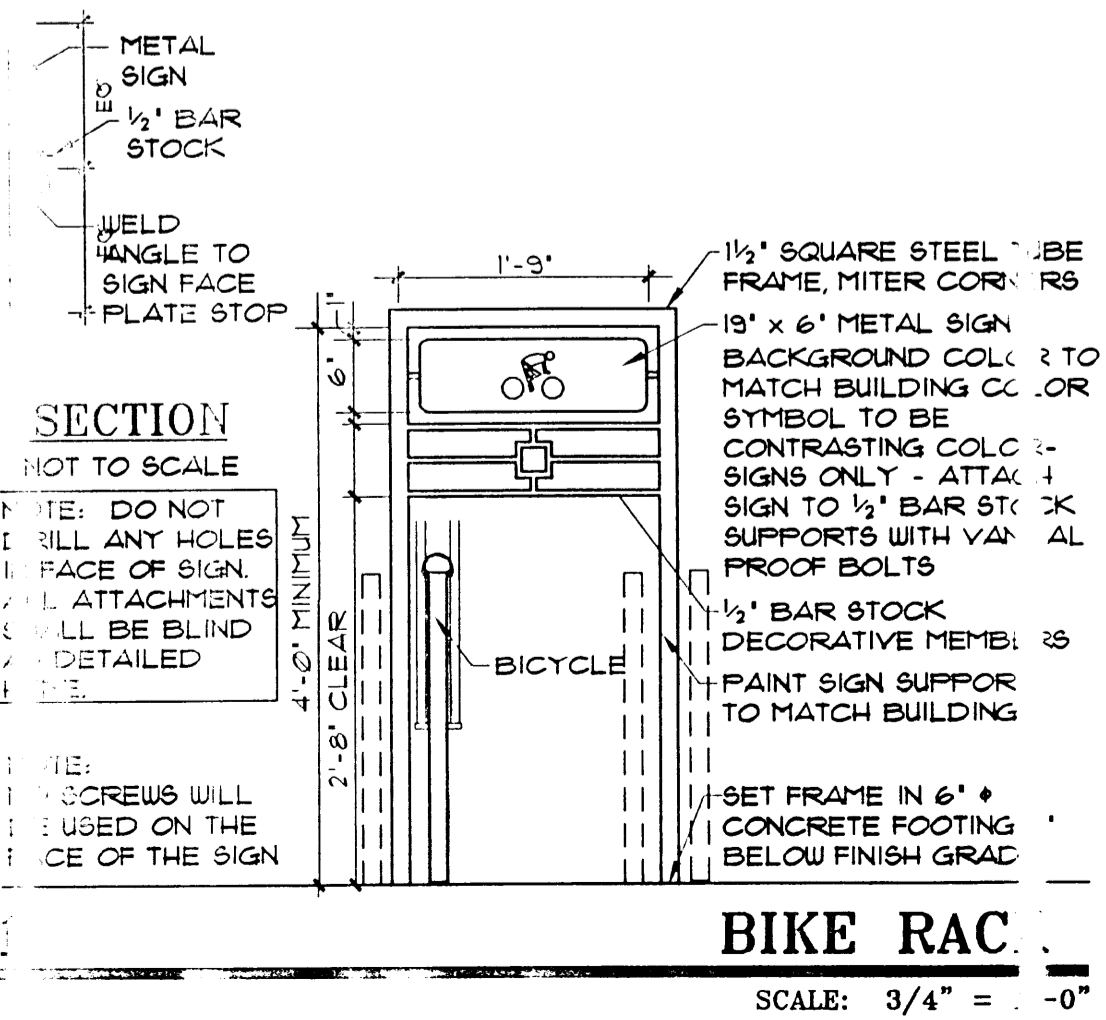
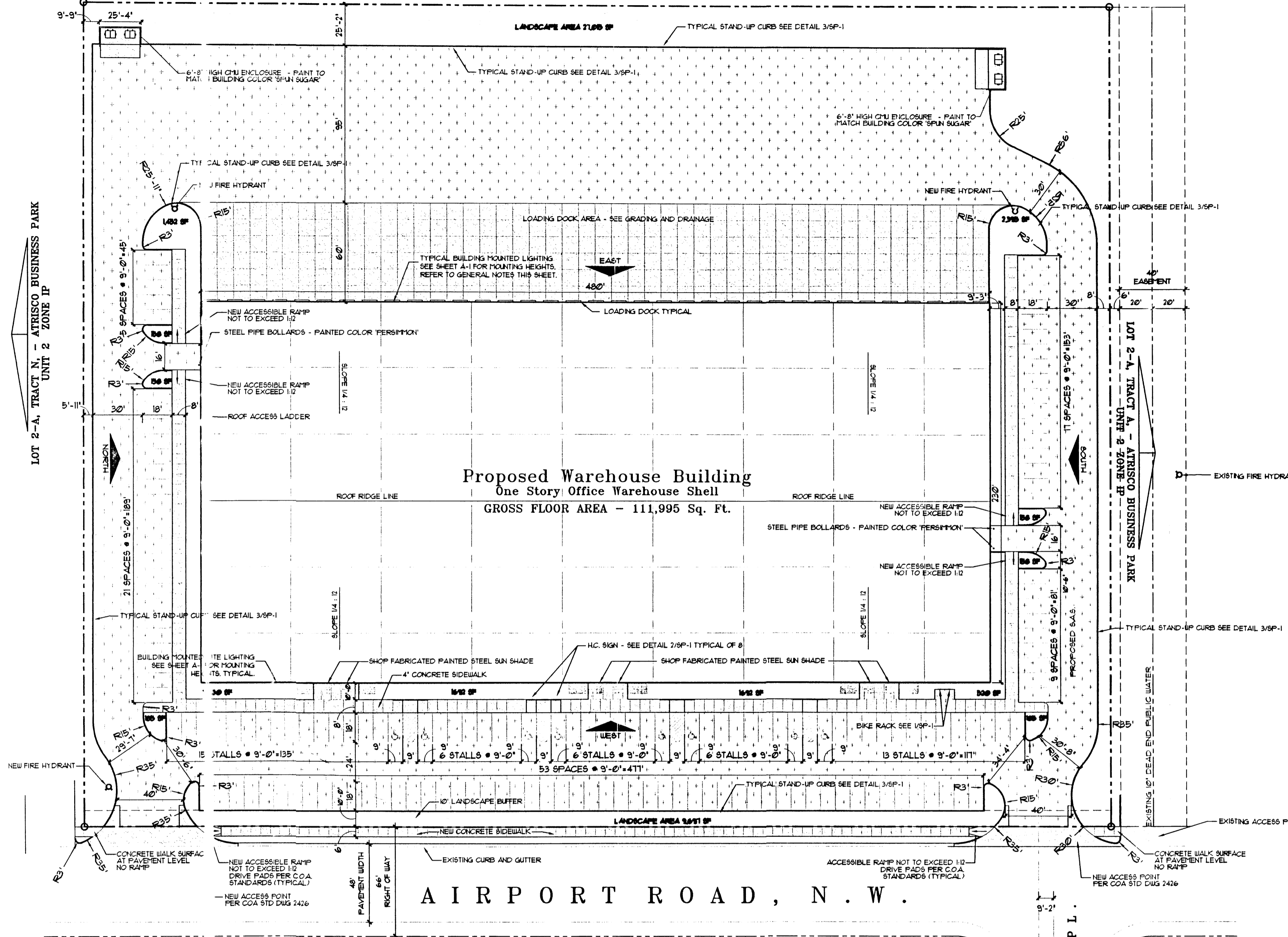
PROJECT NUMBER 02330

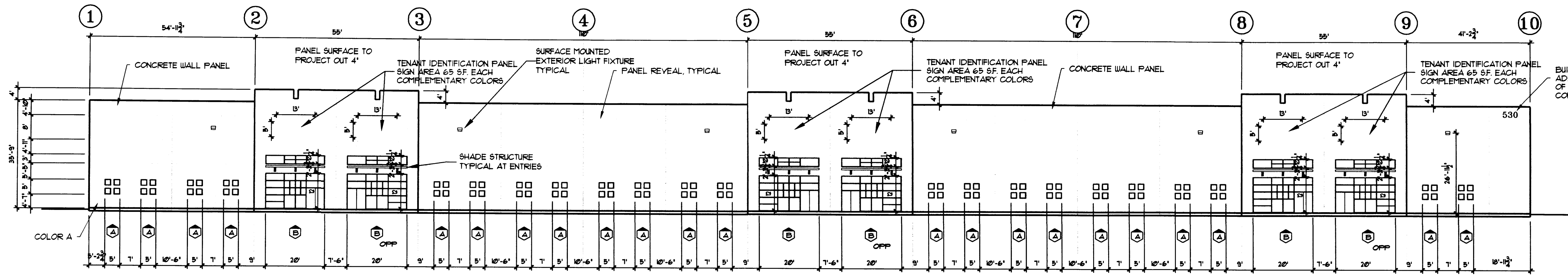
**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
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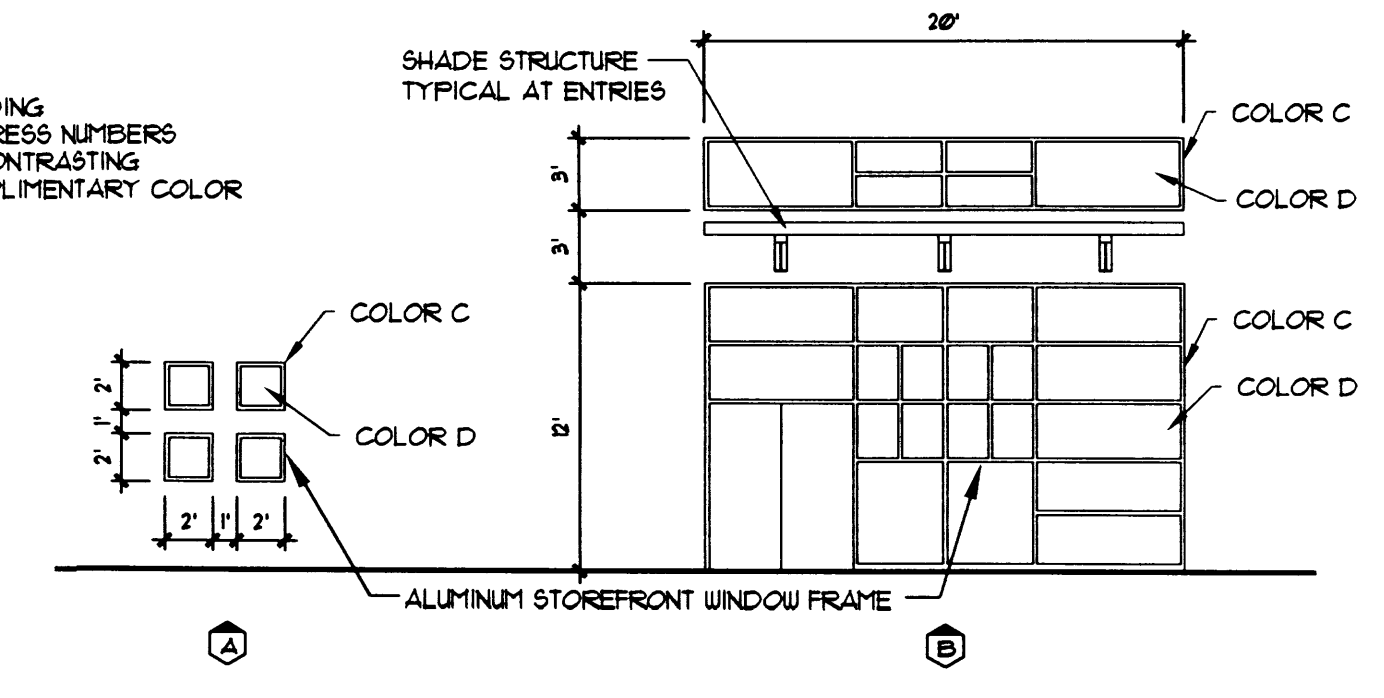
PROJECT 1002355

## TRACT A- ATRISCO BUSINESS PARK UNIT 1 ZONE SU-1

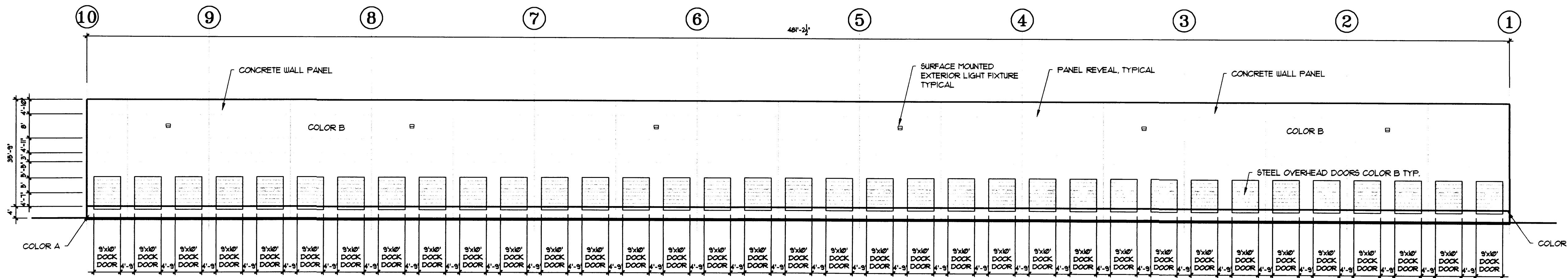




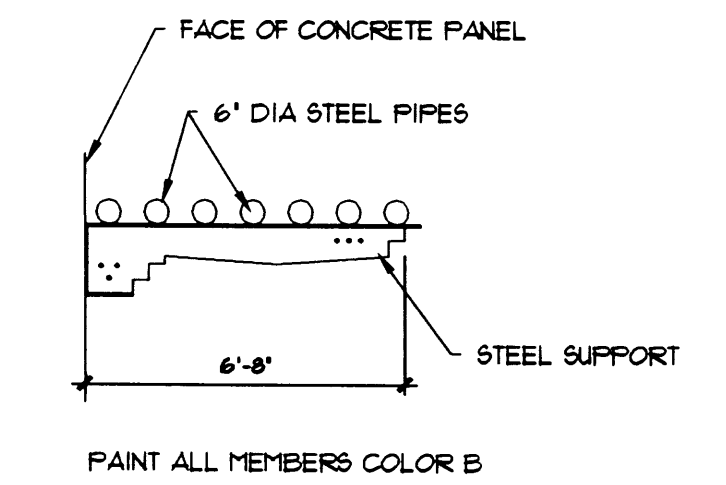
**WEST ELEVATION (FRONT)**



**WINDOW TYPES**  
1/8"=1'-0"



**EAST ELEVATION (DOCK)**



**SHADE STRUCTURE**  
1/4"=1'-0"

**COLOR SELECTIONS**

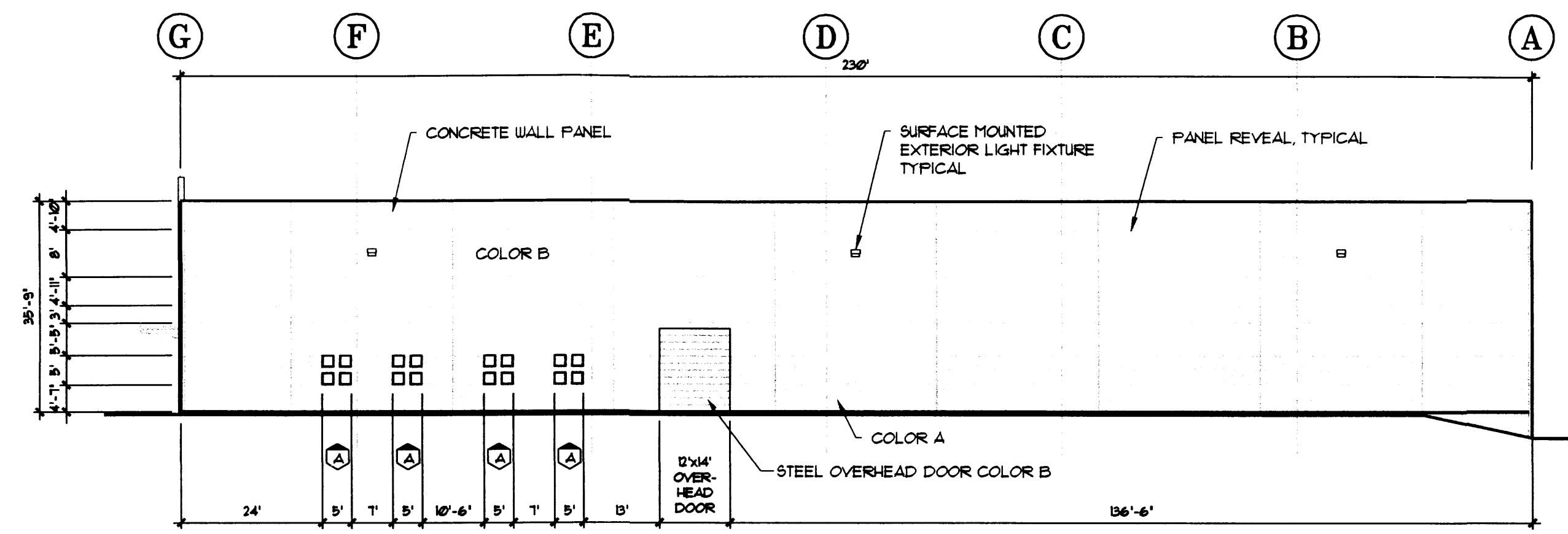
- COLOR A 'PERSIMMON' - PAINT
- COLOR B 'SPUN SUGAR' - PAINT
- COLOR C 'TEAL' - STOREFRONT & WINDOW FRAMES
- COLOR D BLUE GREEN - GLAZING

**GENERAL NOTES**

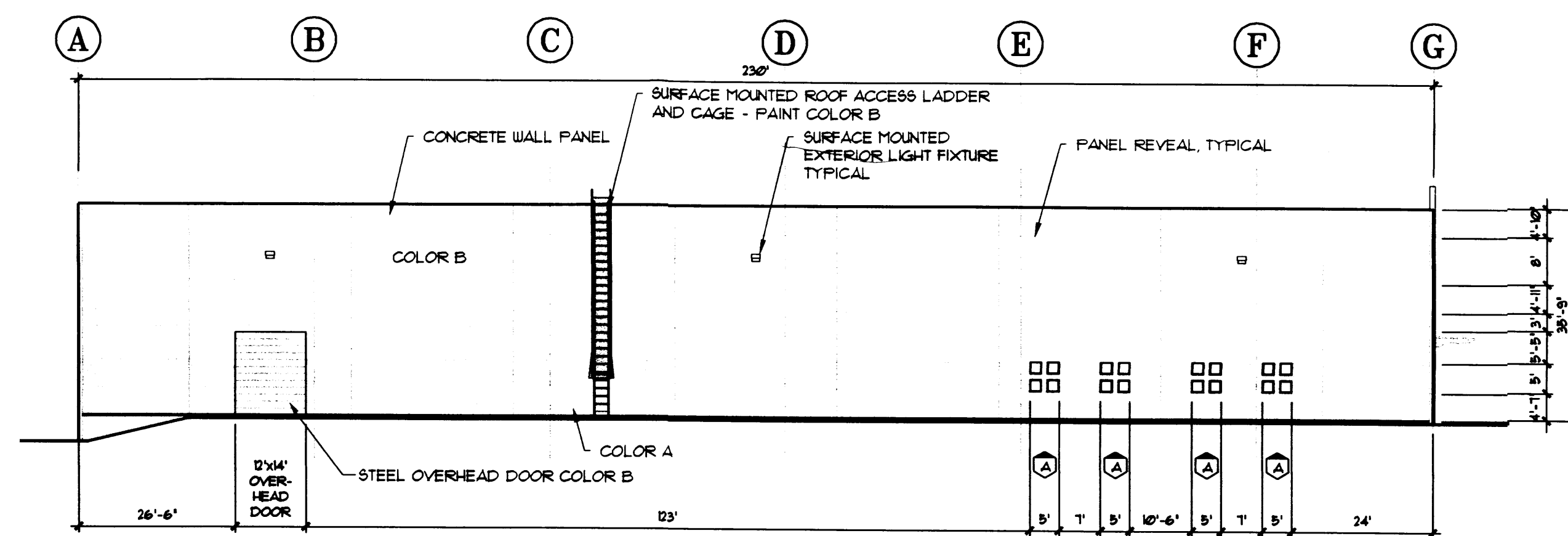
- A. SITE LIGHTING SHALL BE BUILDING MOUNTED AS SHOWN. SIGHT LIGHTING SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.
- B. SIGNAGE MAY BE ILLUMINATED WITH BACK LIT CHANNLED LETTERS

**ELEVATIONS**

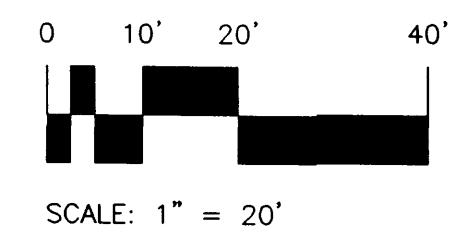
NOVEMBER 19, 2002 1"=20'-0"




**SOUTH ELEVATION**



**NORTH ELEVATION**





**CLAUDIO VIGIL ARCHITECTS**

**RIO GRANDE**

**DISTRIBUTION CENTER**

LOT 1, TRACT A, ATRISCO BUSINESS PARK  
530 AIRPORT ROAD  
ALBUQUERQUE, NEW MEXICO

**SHEET**

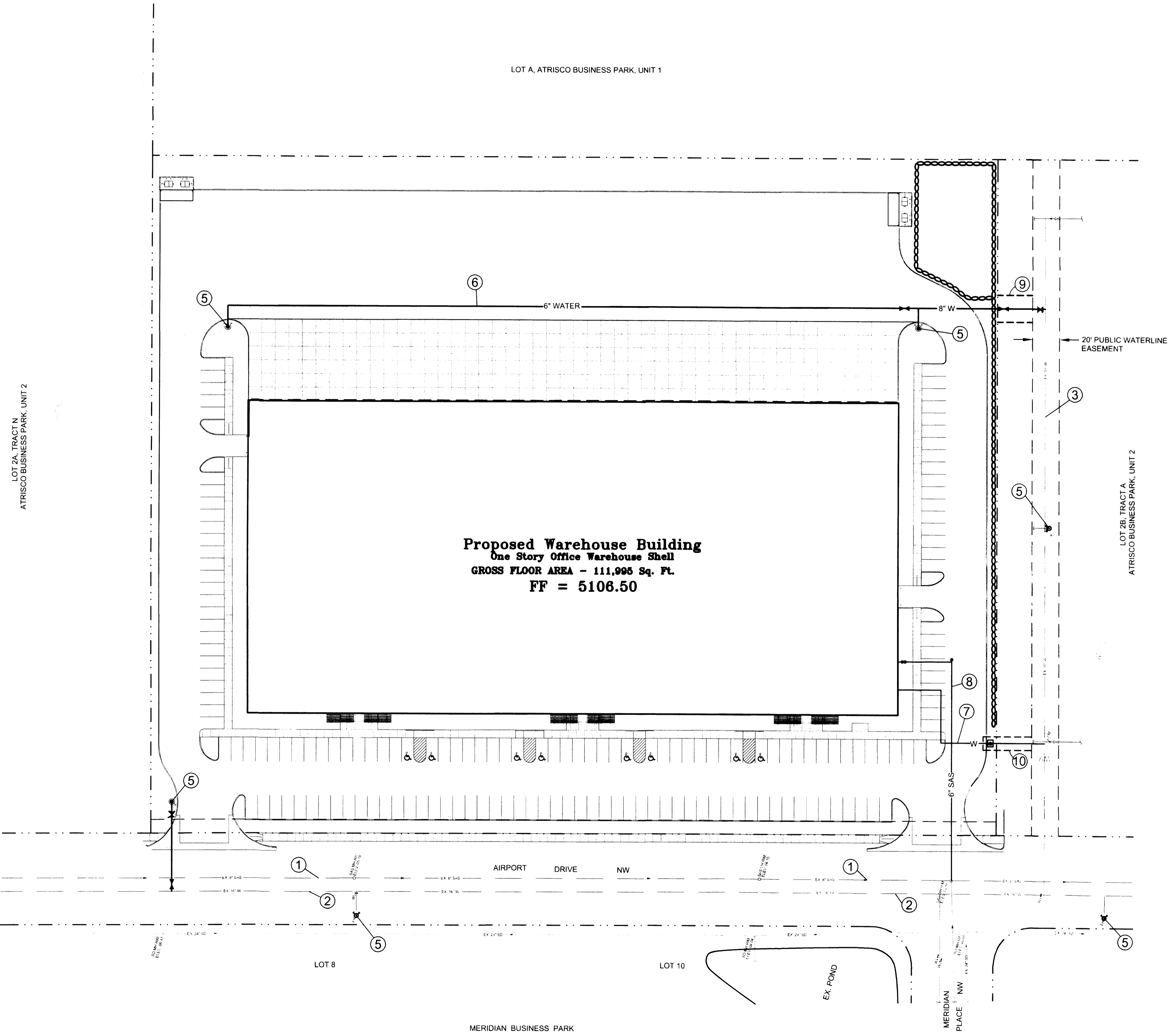
**A-2**

PROJECT NUMBER  
02330

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LOT A, ATRISCO BUSINESS PARK, UNIT 1



LOT 2A, TRACT N, ATRISCO BUSINESS PARK, UNIT 2

LOT 2B, TRACT A, ATRISCO BUSINESS PARK, UNIT 2

LOT 8

LOT 10

MERIDIAN BUSINESS PARK

MERIDIAN PLACE NW

**LEGEND**

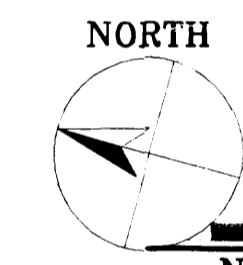
ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT VALVE		
METERED WATER SERVICE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC. GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS		
SPOT ELEV.	16.7	16.7
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYED)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2

**GENERAL UTILITY NOTES**

1. LOCATIONS OF EXISTING UTILITIES AS SHOWN HEREON ARE APPROXIMATE. BASED ON RECORD INFORMATION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
2. SIZES, MATERIALS AND POINTS OF CONNECTION OF UTILITY LINES ARE APPROXIMATE. FINAL CONNECTION POINTS WILL BE DETERMINED BY THE BUILDING MECHANICAL CONSULTANT.
3. WATER SERVICE LINES TO THE IRRIGATION SYSTEM ARE NOT SHOWN, AND WILL BE DETERMINED BY THE LANDSCAPING CONTRACTOR.
4. ALL FIRE HYDRANT LOCATIONS SHALL BE DETERMINED BY THE FIRE MARSHAL.
5. WATER AND SANITARY SEWER SERVICE IS GOVERNED BY THE CITY WATER UTILITIES DEPARTMENT.

**KEYED NOTES**

1. EXISTING 8" PUBLIC SANITARY SEWER
2. EXISTING 16" PUBLIC WATERLINE
3. EXISTING 10" PUBLIC WATERLINE
4. EXISTING PUBLIC FIRE HYDRANT
5. NEW FIRE HYDRANT
6. NEW 6" PRIVATE FIRE LINE
7. NEW 1" METERED WATER SERVICE
8. NEW 6" SANITARY SEWER SERVICE
9. PROPOSED 20' PUBLIC WATERLINE ESMT.
10. PROPOSED 10' PUBLIC WATERLINE ESMT.



**CONCEPTUAL UTILITY PLAN**

NOVEMBER 19, 2002 1"=40'-0"

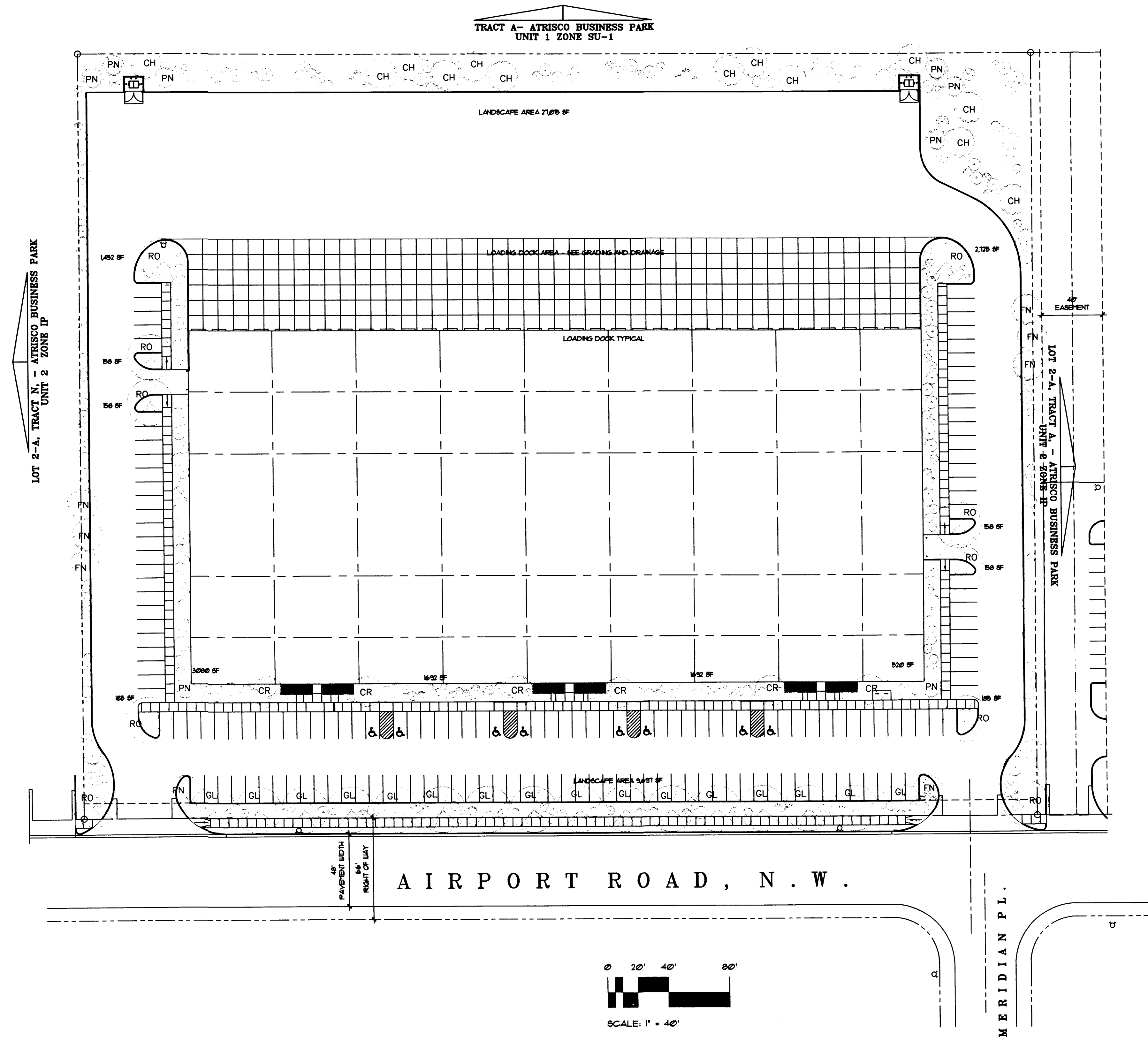
**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

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**RIO GRANDE**  
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**SHEET**  
**C-2**  
PROJECT NUMBER  
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**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
GL	16	GLEDITSIA	HONEY LOCUST	2" CAL	M
RO	10	ROBINIA	PURPLE ROBE LOCUST	2" CAL	M
CR	6	CRATAEGUS	HAWTHORN	15 GAL	M
CH	13	CHILOPSIS	DESERT WILLOW	15 GAL	L
FN	8	FORESTIERA	N.M. OLIVE	15 GAL	M
PN	11	PINUS NIGRA	AUSTRIAN PINE	5'-6' HT.	M
RO	71	ELAEAGNUS PUNGENS	SILVERBERRY	1-5 GAL	M
RO	28	JUNIPERUS SABINA	BUFFALO JUNIPER		L
RO	36	RAPHIOLEPIS INDICA	INDIA HAWTHORN		M
RO	19	CHRYSOTHAMNUS NAUSEOSUS	CHAMISA		L
RO	15	BUDDLEIA DAVIDII	BUTTERFLY BUSH		M
RO	73	CARYOPTERIS X CLADONENSIS	BLUE MIST		M
RO	33	ROSMARINUS OFFICINALIS	ROSEMARY		L
RO	44	MISCANTHUS SINENSIS	MAIDEN GRASS		M
RO	17	HESPERALOE PARVIFLORA	RED YUCCA		L
RO	28	PEROVSKIA	RUSSIAN SAGE	1 GAL	M
RO	8	HELICTOTRICHON	BLUE AVENA GRASS		M
RO	18	ARTEMISIA	POWIS CASTLE		M
RO	9	SALVIA GREGGII	CHERRY SAGE		M
RO	14	LAVANDULA	LAVENDER	1 GAL	M

**SITE DATA**

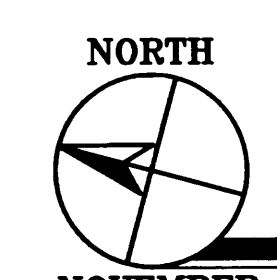
GROSS LOT AREA	311,002 SF
LESS BUILDING	112,600 SF
NET LOT AREA	198,402 SF
REQUIRED LANDSCAPE	29,760 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	46,583 SF
PERCENT OF NET LOT AREA	23%
HIGH WATER USE TURF	NONE PROPOSED
MAX. 20% OF LANDSCAPE AREA	
PROPOSED HIGH WATER USE TURF	
PERCENT OF LANDSCAPE AREA	

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF


**NOTE**

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.



**LANDSCAPE PLAN**

NOVEMBER 13, 2002 1"=40'-0"



**CLAUDIO VIGIL ARCHITECTS**

**RIO GRANDE DISTRIBUTION CENTER**

LOT 1, TRACT A, ATRISCO BUSINESS PARK  
 530 AIRPORT ROAD  
 ALBUQUERQUE, NEW MEXICO

STATE OF NEW MEXICO

JOHN GILLIES BRALY  
 # 128  
 REGISTERED LANDSCAPE ARCHITECT

SHEET

**L-1**

PROJECT NUMBER  
02330

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