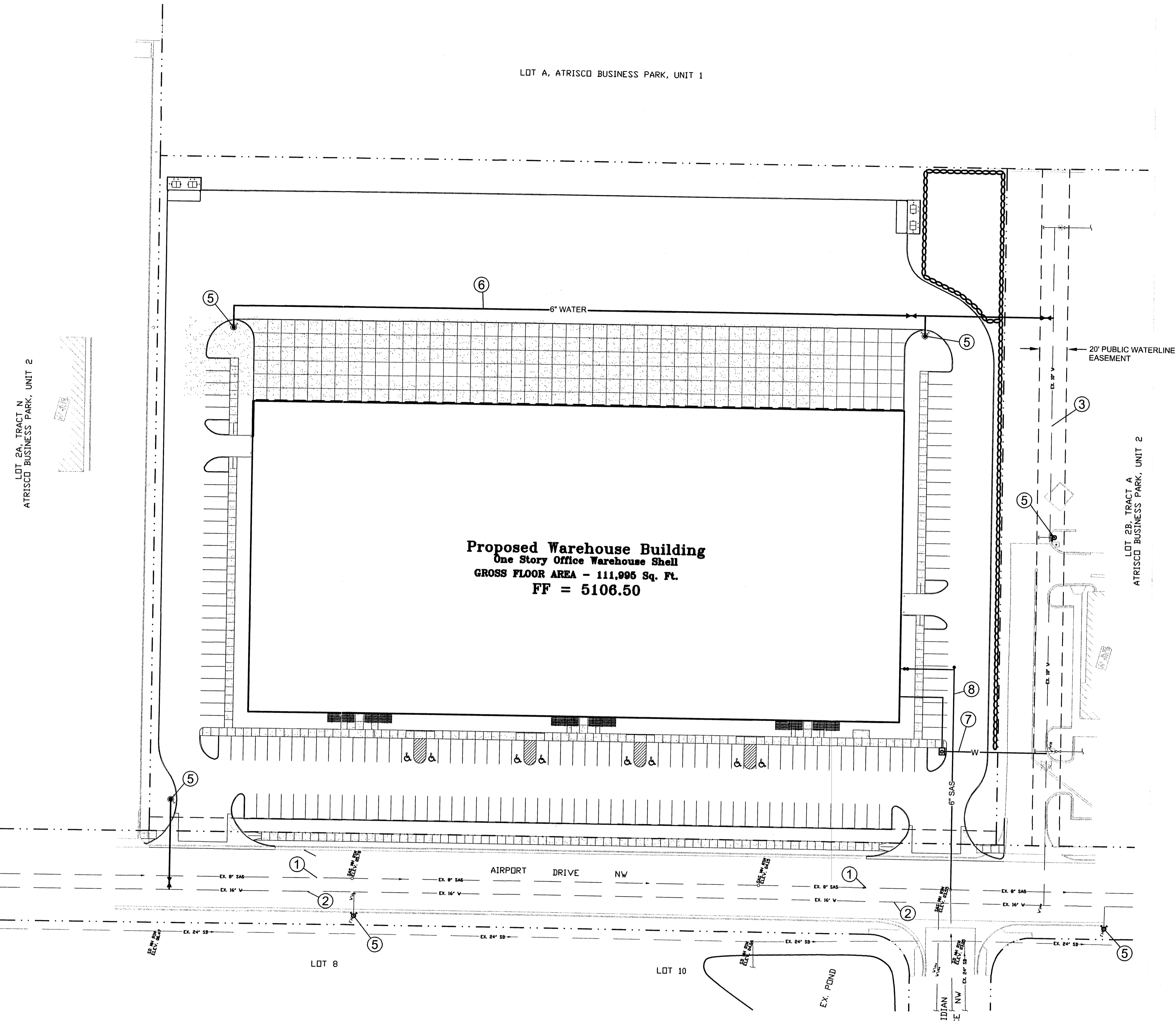


LOT A, ATRISCO BUSINESS PARK, UNIT 1



Proposed Warehouse Building
 One Story Office Warehouse Shell
 GROSS FLOOR AREA - 111,995 Sq. Ft.
 FF = 5106.50

LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	--- 6" W ---	--- 6" W ---
SANITARY SEWER	--- 8" SAS ---	--- 8" SAS ---
STORM SEWER	--- 36" STS ---	--- 36" STS ---
FIRE HYDRANT VALVE	⊙	⊙
METERED WATER SERVICE		⊞
MANHOLE	⊙	⊙
CURB AND GUTTER		
HEADER CURB		
DROP INLET	⊞	⊞
OVERHEAD ELEC WITH POWER POLE	--- OHE ---	--- OHE ---
UNDERGROUND ELEC, GAS, TEL, TV	--- UGT ---	--- UGT ---
CURB ELEVATIONS	TOP CONC. ELEV. / FINISH CONC. ELEV.	TOP CONC. ELEV. / FINISH CONC. ELEV.
SPOT ELEV.	x 16.7	⊕ 16.7
SEWER SERVICE	---	---
RIGHT OF WAY EASEMENT	---	---
POWER POLE (GUVED)	PP	PP
CENTERLINE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2

GENERAL UTILITY NOTES

1. LOCATIONS OF EXISTING UTILITIES AS SHOWN HEREON ARE APPROXIMATE, BASED ON RECORD INFORMATION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
2. SIZES, MATERIALS AND POINTS OF CONNECTION OF UTILITY LINES ARE APPROXIMATE. FINAL CONNECTION POINTS WILL BE DETERMINED BY THE BUILDING MECHANICAL CONSULTANT.
3. WATER SERVICE LINES TO THE IRRIGATION SYSTEM ARE NOT SHOWN, AND WILL BE DETERMINED BY THE LANDSCAPING CONTRACTOR.
4. ALL FIRE HYDRANT LOCATIONS SHALL BE DETERMINED BY THE FIRE MARSHAL.
5. WATER AND SANITARY SEWER SERVICE IS GOVERNED BY THE CITY WATER UTILITIES DEPARTMENT.

KEYED NOTES

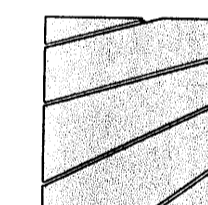
1. EXISTING 8" PUBLIC SANITARY SEWER
2. EXISTING 16" PUBLIC WATERLINE
3. EXISTING 10" PUBLIC WATERLINE
4. EXISTING PUBLIC FIRE HYDRANT
5. NEW FIRE HYDRANT
6. NEW 6" PRIVATE FIRE LINE
7. NEW METERED WATER SERVICE
8. NEW 6" SANITARY SEWER SERVICE



CONCEPTUAL UTILITY PLAN

NOVEMBER 19, 2002 1"=40'-0"

PLANNING



BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-6188



CLAUDIO VIGIL ARCHITECTS
RIO GRANDE
DISTRIBUTION CENTER
 LOT 1, TRACT A, ATRISCO BUSINESS PARK
 530 AIRPORT ROAD
 ALBUQUERQUE, NEW MEXICO

SHEET
C-2
 PROJECT NUMBER
 02330

OWNERSHIP OF INSTRUMENTS OF SERVICE
 All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

1801 Rio Grande NW, #2, Albuquerque, NM 87104
 Phone: 505/842-1113 Fax: 505/842-1330

BUILDING CRITERIA

PROJECT: ATRISCO BUSINESS PARK LOT 1
 530 AIRPORT ROAD NW
 ALBUQUERQUE, NM

OWNER: VIC BRUNO CO.
 PROJECT DRAWER 20160, ALBUQUERQUE, NM 87104

ARCHITECT: CLAUDIO VIGIL ARCHITECTS
 1801 RIO GRANDE BOULEVARD, SUITE 2
 ALBUQUERQUE, NEW MEXICO 87102

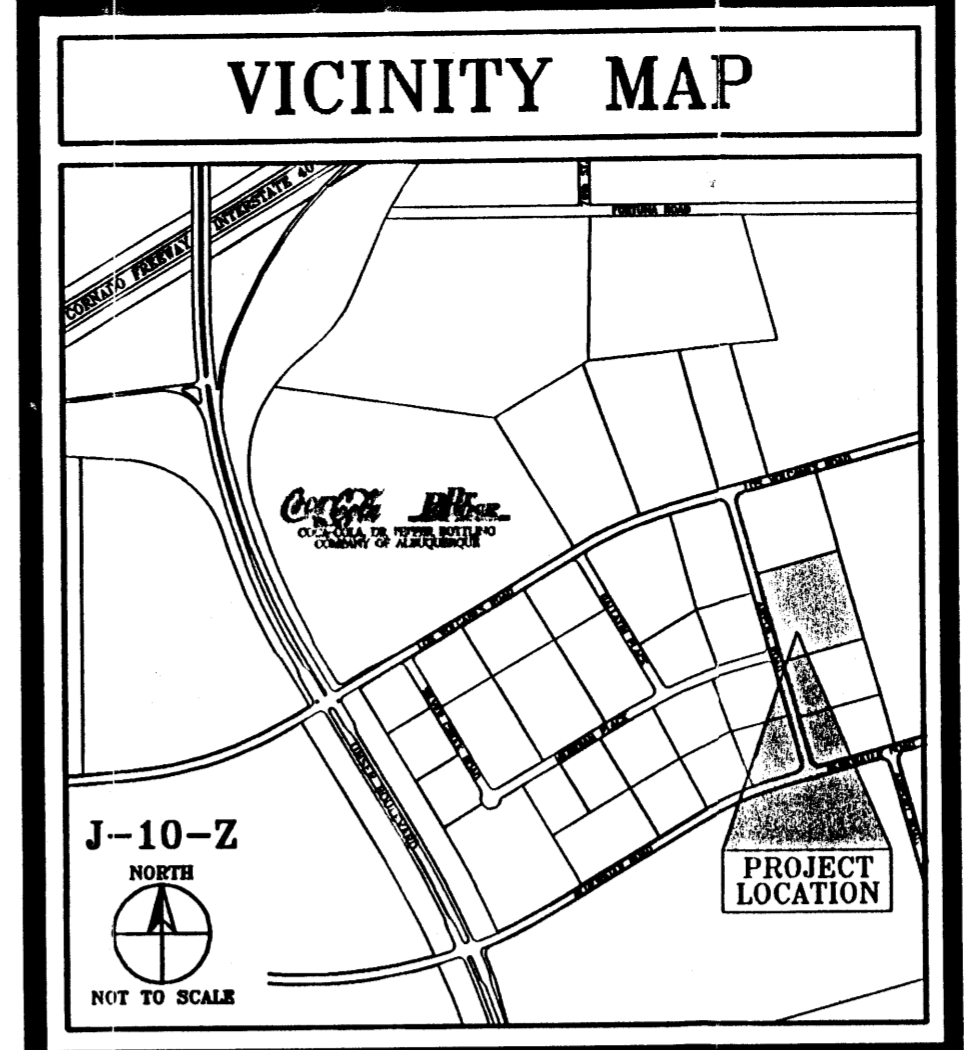
LEGAL DESCRIPTION:
 LOT 1, BLOCK 0000, ATRISCO BUSINESS PARK UNIT 2 TRACT A

ZONING CLASSIFICATION: J-10-Z
 ZONING ATLAS MAP: J-10-Z
 APPLICABLE BUILDING CODE:
 1997 UNIFORM BUILDING CODE & ICC/ANSI A117-1998

BUILDING TYPE: OFFICE WAREHOUSE
 CONSTRUCTION TYPE: TYPE II-N - FULLY SPRINKLERED
 BUILDING FUNCTION: BUILDING SHELL FOR FUTURE OFFICE WAREHOUSE SPACE
 OCCUPANCY GROUP: B - OFFICE / 5-2 WAREHOUSE

ALLOWABLE AREA:
 GROUP B AND 5-2 OCCUPANCIES, ONE STORY, TYPE II-N CONSTRUCTION, 100% AUTOMATIC FIRE SPRINKLER SYSTEM, PROPERTY COMPLETELY SURROUNDED BY YARDS NOT LESS THAN 60' IN WIDTH - UNLIMITED AREA ALLOWED

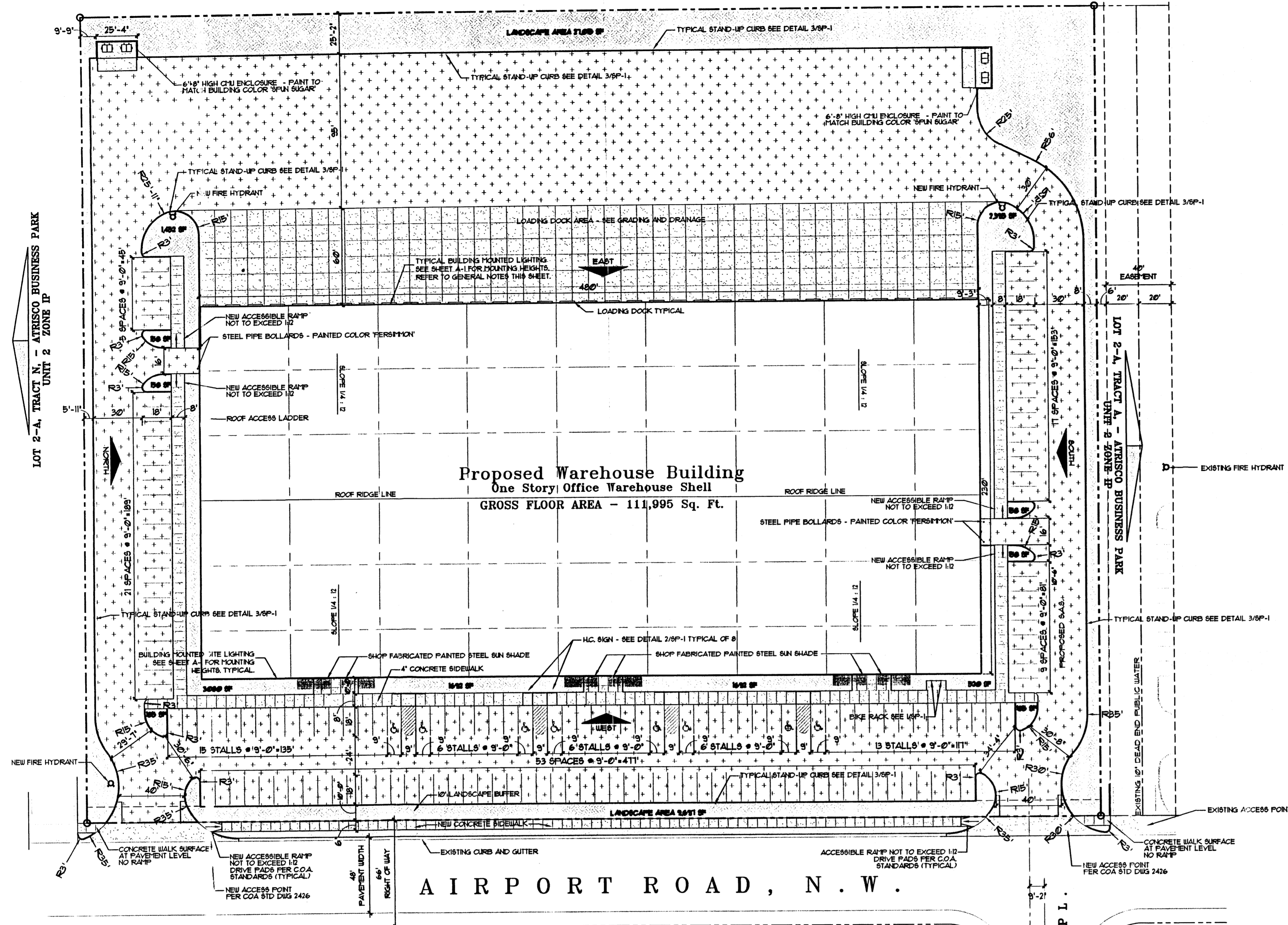
BUILDING HEIGHT: 30'-0" AFF.
 OCCUPANT LOAD: OFFICE = 10% 11,995 SF. = 1199.5
 WAREHOUSE = 90% 11,995 SF. = 107,955
 TOTAL = 119,950



GENERAL NOTES

- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL CALL FOR TEMPORARY CERTIFICATE OF OCCUPANCY.
- AN AS-BUILT COPY OF THE APPROVED TRAFFIC CIRCULATION LAYOUT MUST BE SUBMITTED BY THE DESIGNER OF RECORD, AS REQUIRED BY THE TRANSPORTATION DEVELOPMENT. RANDOM FIELD CHECKS WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O.
- OVERHEAD DOCK DOORS MUST BE INSTALLED ON THE INTERIOR SIDE, THE RETRACTING EQUIPMENT MUST NOT APPEAR ON THE EXTERIOR.
- NO FUGITIVE LIGHT WILL BE ALLOWED TO ESCAPE THE SITE.
- SITE LIGHTING SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULL SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

**TRACT A - ATRISCO BUSINESS PARK
 UNIT 1 ZONE SU-1**



SITE PLAN LEGEND

- 592 SF INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA.
- INDICATES THE EXTENT OF ASPHALT PAVING. ASPHALT OVER 6" BASE COURSE. SEE SOILS REPORT.
- INDICATES THE EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. PROVIDE CONTROL JOINTS IN SIDEWALKS 1/4" TOLLED JOINTS AT 6 FT ON CENTER AND 1/2" EXPANSION JOINTS AT 18 FT ON CENTER. CONCRETE PAVING: 6" CONCRETE REINFORCED WITH WUF 6x6x6, CONTROL JOINTS: TOLLED JOINTS AT 10 FT ON CENTER AND 1/2" EXPANSION JOINTS AT 30 FT ON CENTER.
- PROPERTY LINE.
- EASEMENT BOUNDARIES.
- FIRE HYDRANT

SITE PLAN
 NOVEMBER 13, 2002
 1" = 40' - 0"

SIGNATURE BLOCK

Project # 1002355 E.P.C. CASE NO. 292-57 D.R.B. CASE NO. 02-000-01263

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [DATE] AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN

Paul D. D... 11-27-03
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

David Blora 11/27/02
 PARKS & RECREATION DEPARTMENT DATE

PUBLIC WORKS, WATER UTILITIES DIVISION DATE

Brenda L. Bigham 11-28-02
 CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE

Sherrisa Rene Gibson Nov 26, 02
 SOLID WASTE DEPARTMENT / REFUSE DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

Sherrisa Rene Gibson 11/29/02
 CITY PLANNER, ALBUQUERQUE DATE

PLN2(10708) 4/98

CLAUDIO VIGIL ARCHITECTS

RIO GRANDE DISTRIBUTION CENTER

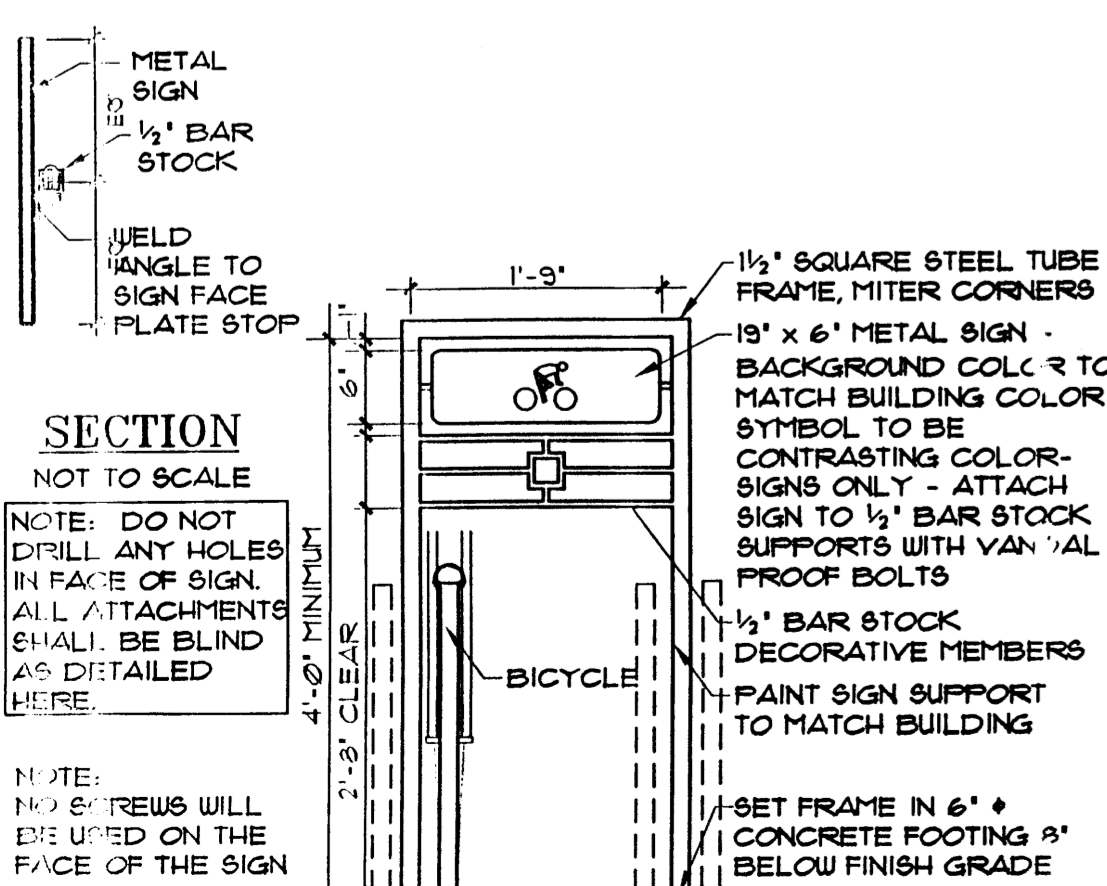
LOT 1, TRACT A, ATRISCO BUSINESS PARK
 530 AIRPORT ROAD
 ALBUQUERQUE, NEW MEXICO

SHEET SP-1

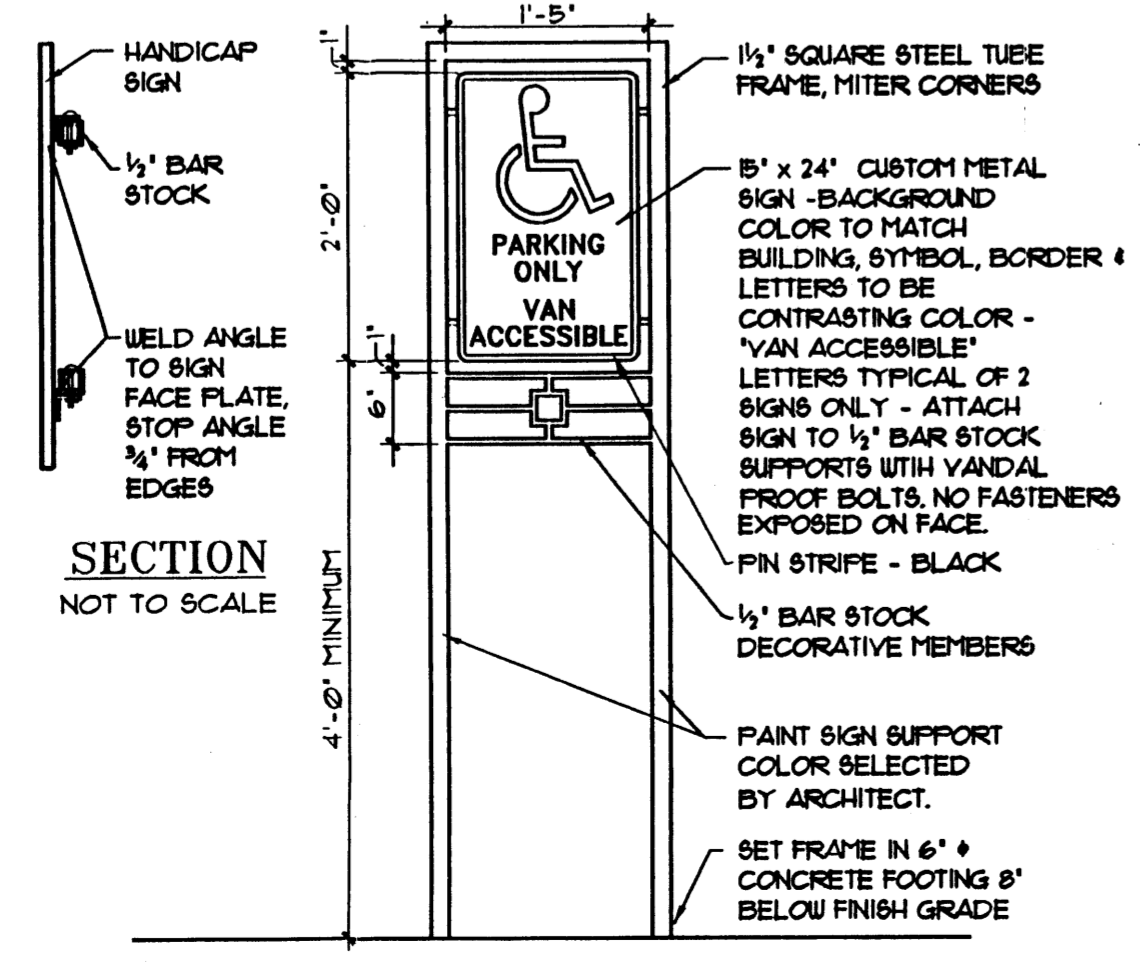
PROJECT NUMBER: 02330

OWNERSHIP OF INSTRUMENTS OF SERVICE
 All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

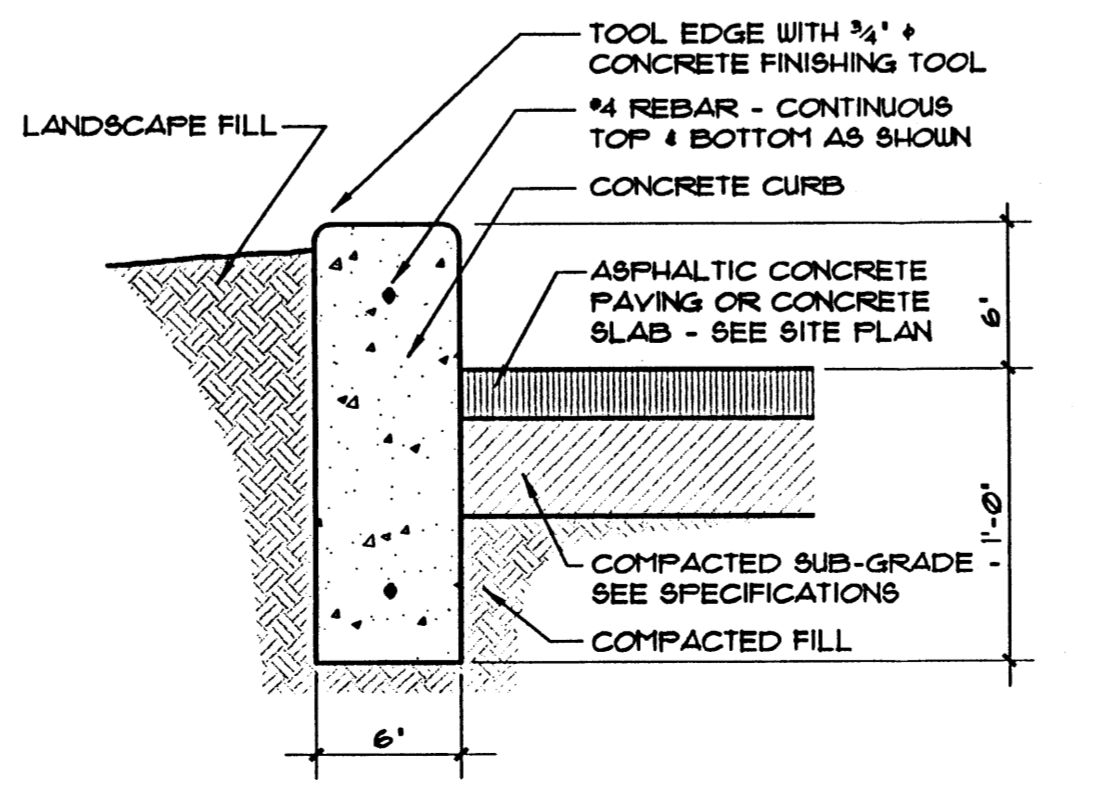
1801 Rio Grande NW, #2, Albuquerque, NM 87104
 Phone: 505/842-1113 Fax: 505/842-1930



1 BIKE RACK
 SCALE: 3/4" = 1'-0"



2 HANDICAP SIGN POST
 SCALE: 3/4" = 1'-0"



3 TYPICAL STAND-UP CURB
 SCALE: 1-1/2" = 1'-0"

A&D PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
Sherrisa Rene Gibson 11/26/02
 SIGNATURE & DATE

SCALE: 1" = 40'

BUILDING CRITERIA

PROJECT: ATRISCO BUSINESS PARK LOT 1
530 AIRPORT ROAD NW
ALBUQUERQUE, NM

OWNER: VIC BRUNO CO.
PO DRAWER 20460, ALBUQUERQUE, NM 87114

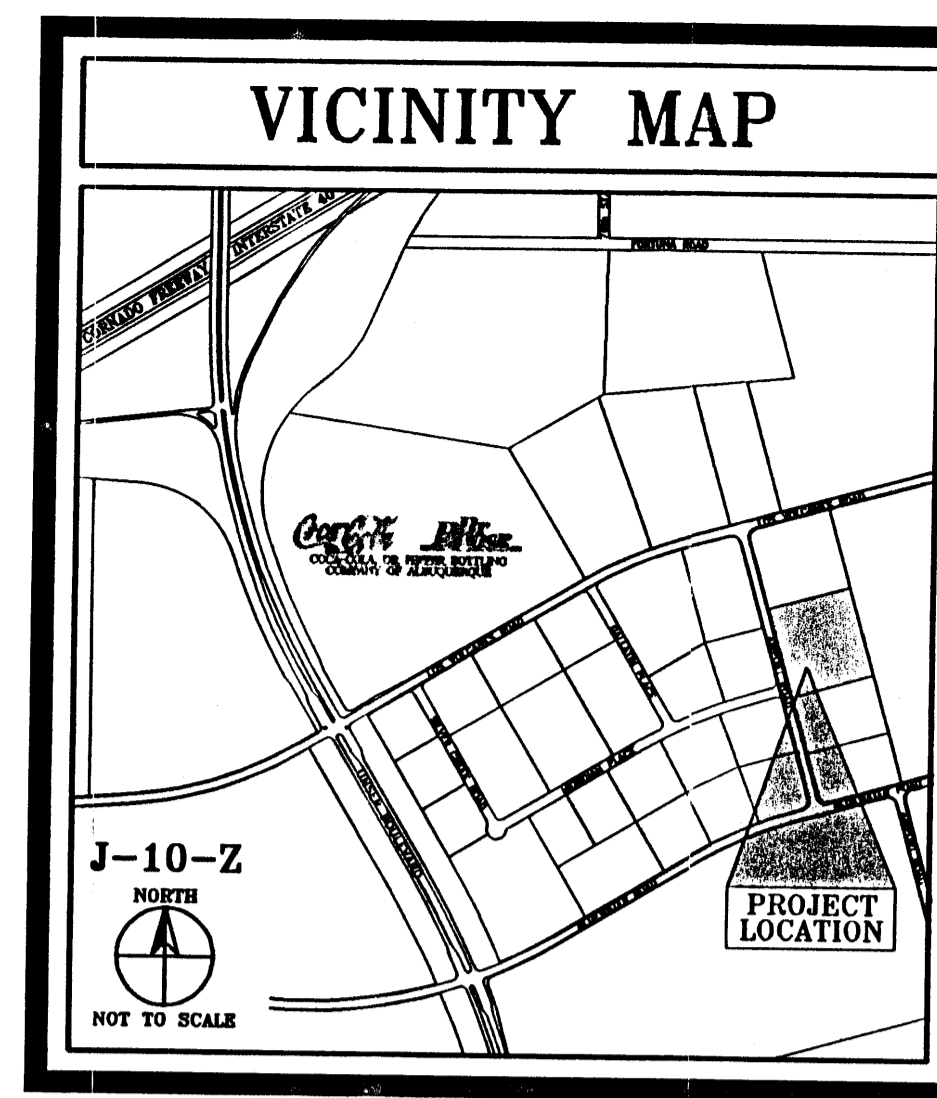
ARCHITECT: CLAUDIO VIGIL ARCHITECTS
1801 RIO GRANDE BOULEVARD, SUITE 2
ALBUQUERQUE, NEW MEXICO 87104

LEGAL DESCRIPTION:
LOT 1, BLOCK 0000, ATRISCO BUSINESS PARK UNIT 2 TRACT A

ZONING CLASSIFICATION: IF
ZONING ATLAS MAP: J-10-Z
APPLICABLE BUILDING CODE:
1991 UNIFORM BUILDING CODE & ICC/ANSI IBC-1998

BUILDING TYPE: OFFICE WAREHOUSE
CONSTRUCTION TYPE: TYPE II-N - FULLY SPRINKLED
BUILDING FUNCTION: BUILDING SHELL FOR FUTURE OFFICE WAREHOUSE SPACES
OCCUPANCY GROUP: D-OFFICE / 6-2 WAREHOUSE
ALLOWABLE AREA:
GROUP B AND 9-2 OCCUPANCIES, ONE STORY, TYPE II-N CONSTRUCTION, 100% AUTOMATIC FIRE SPRINKLER SYSTEM, PROPERTY ENTIRELY SURROUNDED BY YARDS NOT LESS THAN 60' IN WIDTH; UNLIMITED AREA ALLOWED

BUILDING HEIGHT: 30'-0" AFF.
OCCUPANT LOAD: OFFICE = 10% 11,935 SF. = 1193.5
WAREHOUSE = 90% 11,935 SF. = 10741.5
TOTAL = 11935 SF. = 12935



GENERAL NOTES

- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL CALL FOR TEMPORARY CERTIFICATE OF OCCUPANCY.
- AN AS-BUILT COPY OF THE APPROVED TRAFFIC CIRCULATION LAYOUT MUST BE SUBMITTED BY THE DESIGNER OF RECORD, AS REQUIRED BY THE TRANSPORTATION DEVELOPMENT. RANDOM FIELD CHECKS WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY CO.
- OVERHEAD DOCK DOORS MUST BE INSTALLED ON THE INTERIOR SIDE. THE RETRACTING EQUIPMENT MUST NOT APPEAR ON THE EXTERIOR.
- NO FUGITIVE LIGHT WILL BE ALLOWED TO ESCAPE THE SITE.
- SITE LIGHTING SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 1000 FOOT CANDLES. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

SITE PLAN LEGEND

- 532 SF: INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA.
- ++: INDICATES THE EXTENT OF ASPHALT PAVING. 2" ASPHALT OVER 6" BASE COURSE. SEE SOILS REPORT.
- CONCRETE PAVING: 6" CONCRETE REINFORCED WITH WUP #4@6x6. CONTROL JOINTS: TOLLED JOINTS AT 10 FT ON CENTER AND 1/2" EXPANSION JOINTS AT 30 FT ON CENTER.
- : PROPERTY LINE.
- - - - -: EASEMENT BOUNDARIES.
- ⊕: FIRE HYDRANT

SITE PLAN

NOVEMBER 13, 2002

1" = 40'

SIGNATURE BLOCK

E.P.C. CASE NO. 2-72-57
D.R.B. CASE NO. 025-0703

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [DATE] AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN
Paul D. Dault 11-27-03 DATE
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION

David Blane 11/27/02 DATE
 PARKS & RECREATION DEPARTMENT

PUBLIC WORKS, WATER UTILITIES DIVISION DATE
Bradley B. Bigham 11-28-02 DATE
 CITY ENGINEER, ENGINEERING DIVISION / AMAFCA

Sharon Marie Gibson Nov 26, 02 DATE
 SOLID WASTE DEPARTMENT / REFUSE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

Sharon Matson 11/27/02 DATE
 CITY PLANNER, ALBUQUERQUE

PLN2(10700) 4/98

PROJECT # 1002355

CLAUDIO VIGIL ARCHITECTS

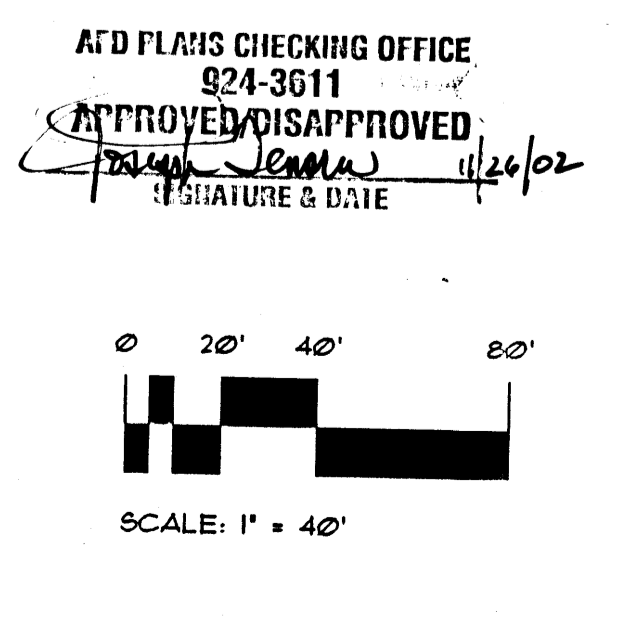
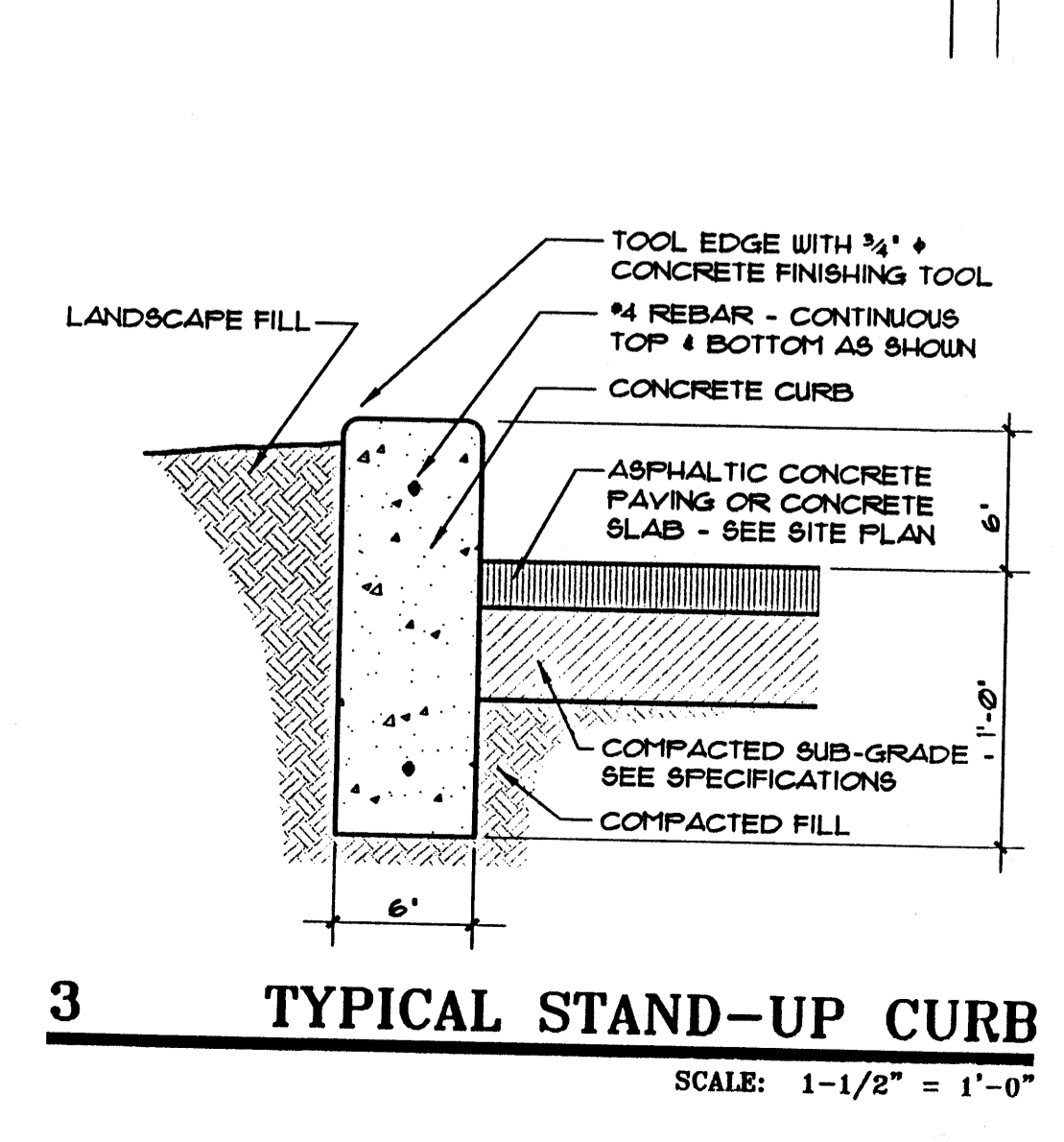
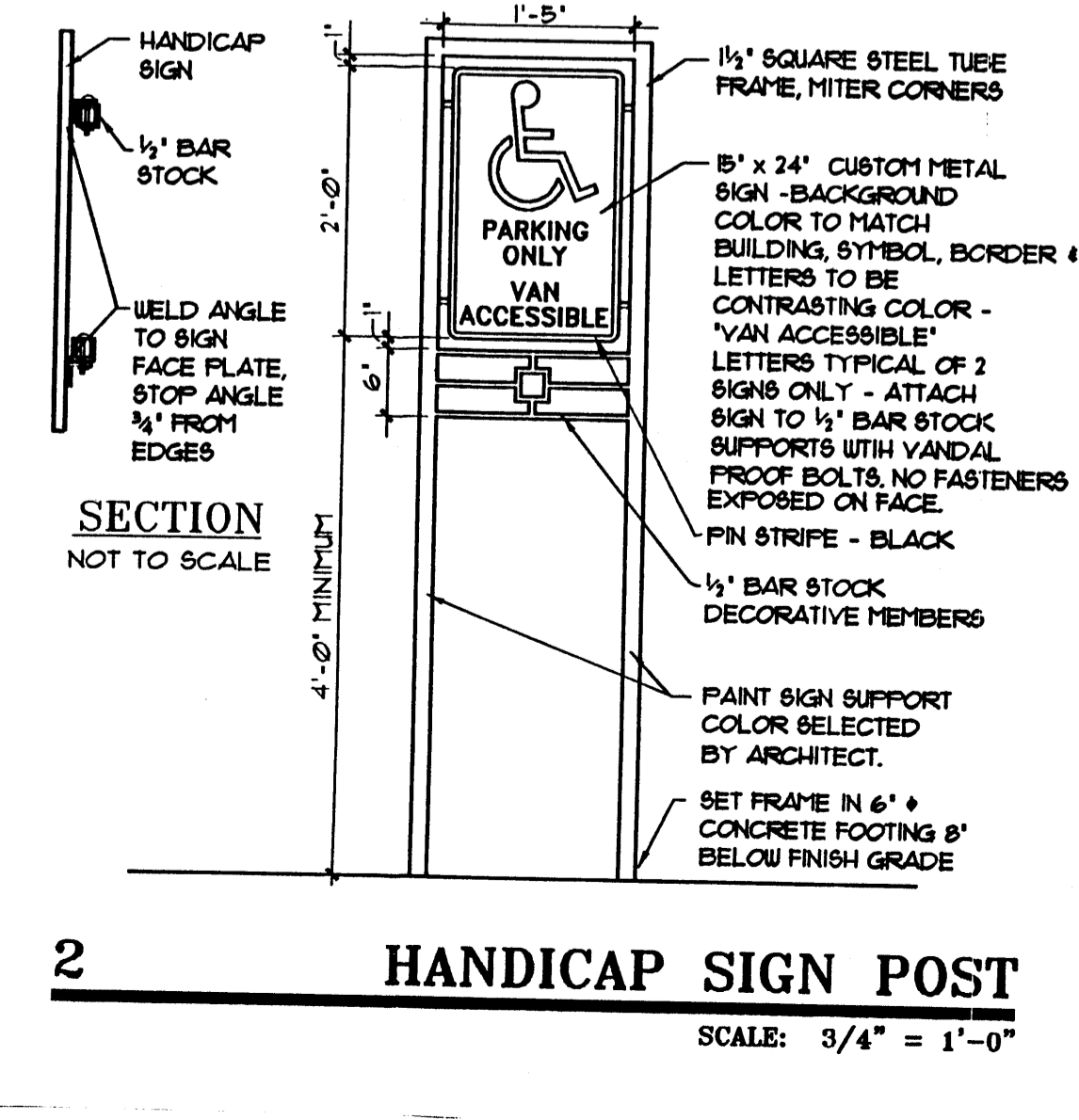
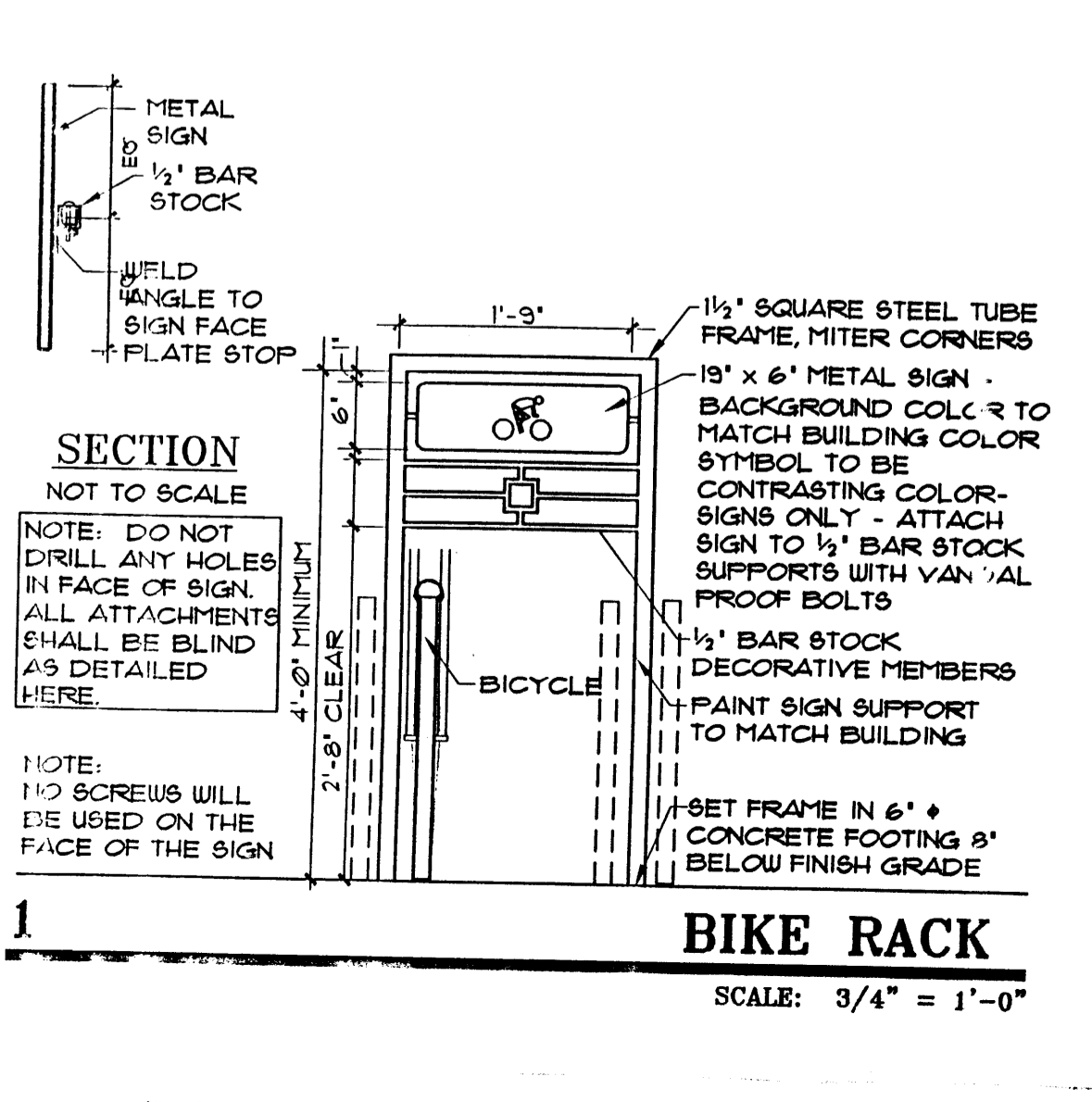
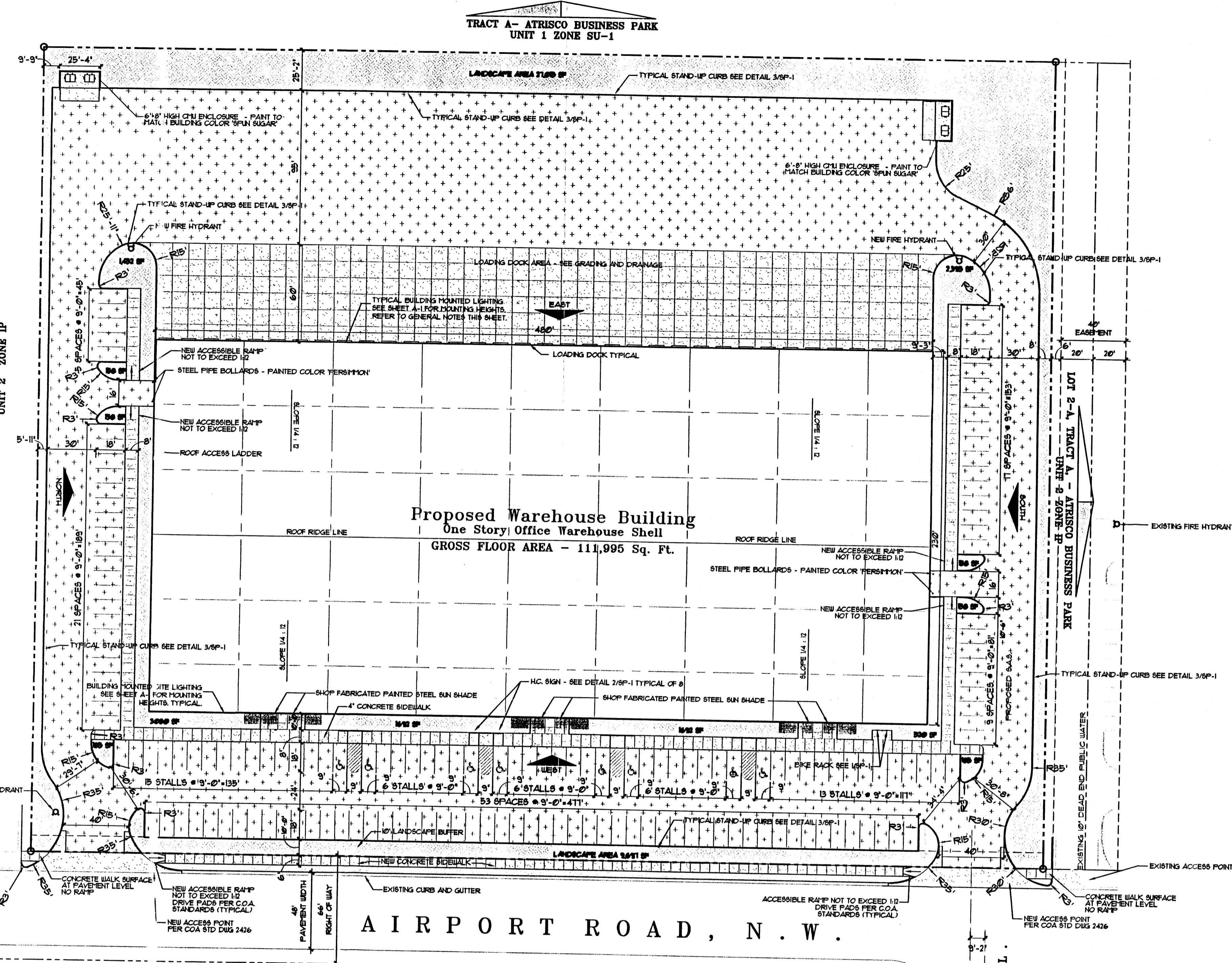
RIO GRANDE DISTRIBUTION CENTER

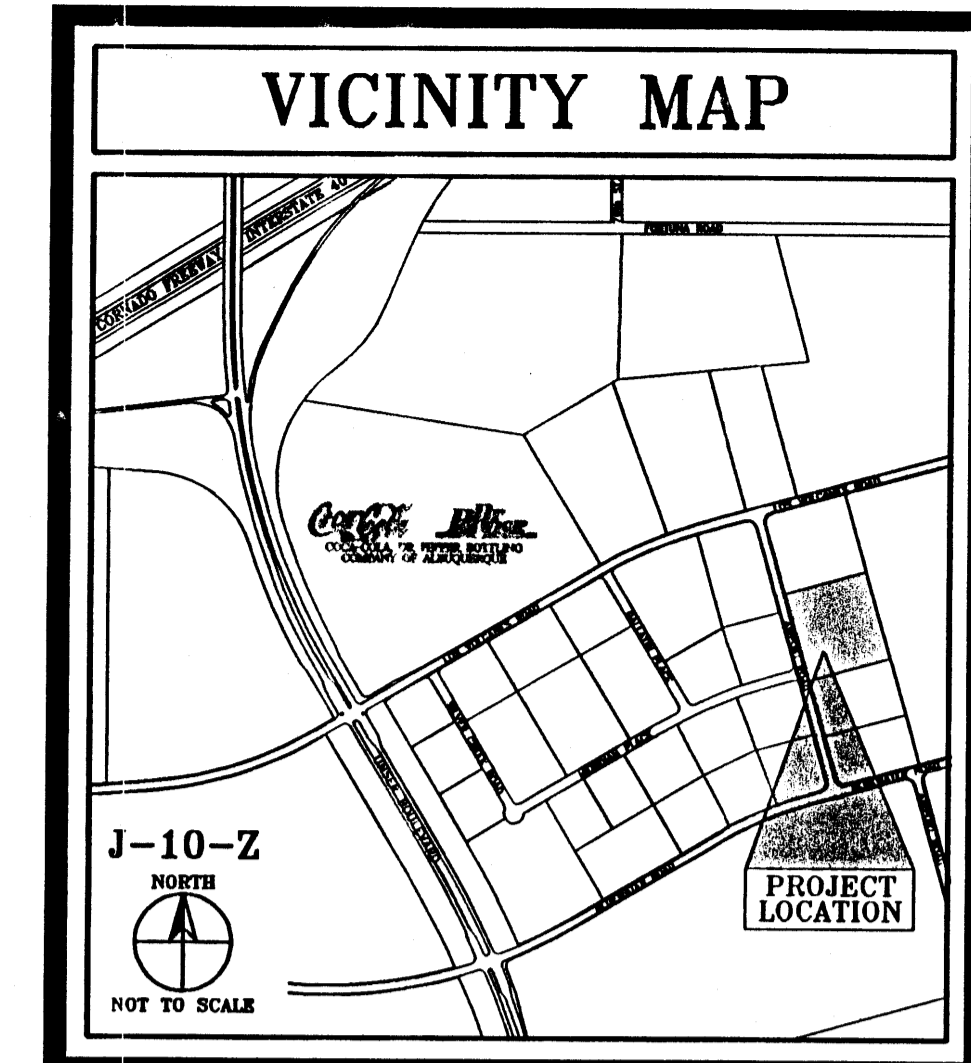
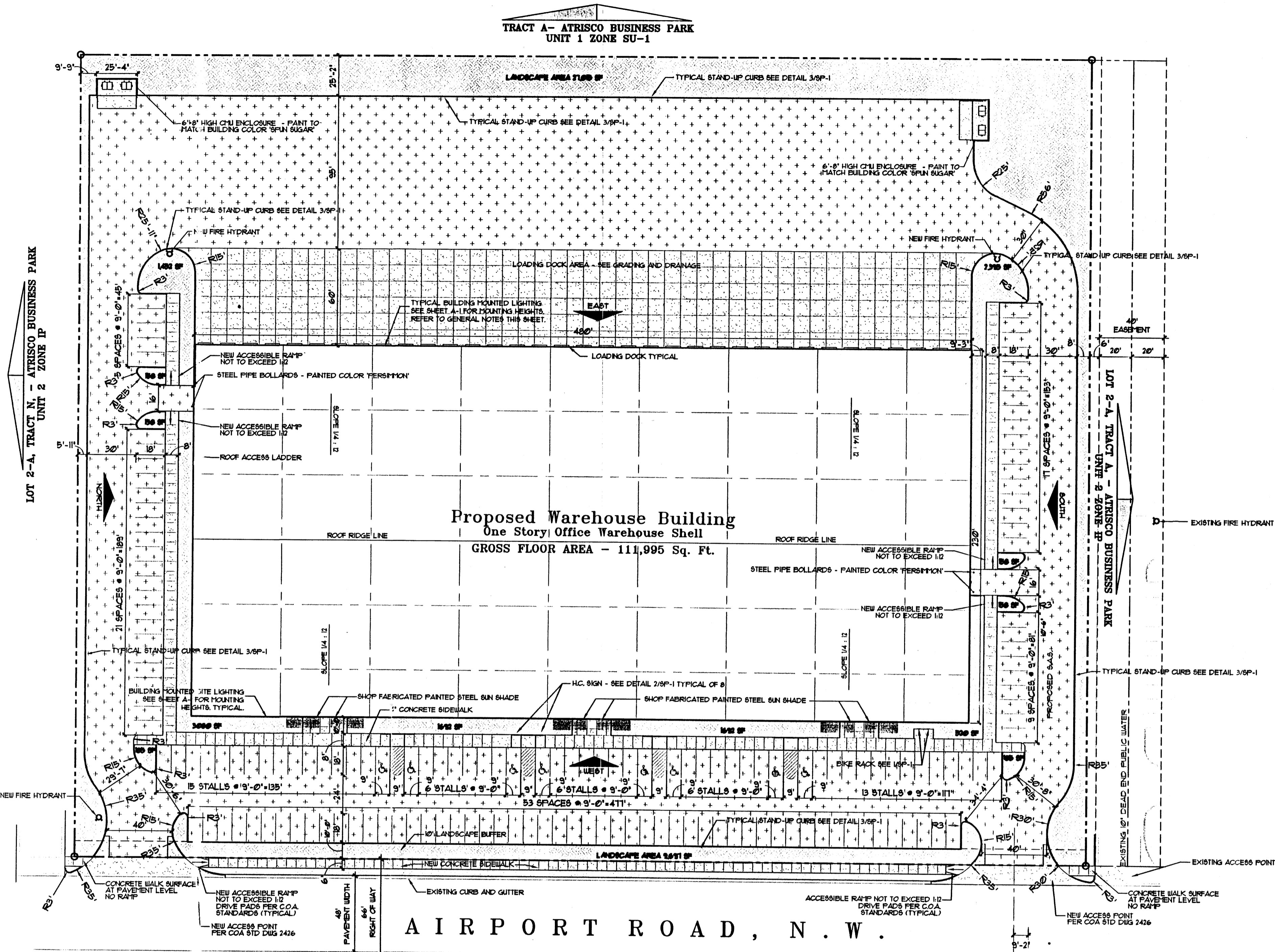
LOT 1, TRACT A, ATRISCO BUSINESS PARK
530 AIRPORT ROAD
ALBUQUERQUE, NEW MEXICO

OWNER: VIC BRUNO CO.
1801 RIO GRANDE NW, #2, ALBUQUERQUE, NM 87104
Phone: 505/842-1113 Fax: 505/842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright therein.

PROJECT NUMBER: 02330





BUILDING CRITERIA
 PROJECT: ATRISCO BUSINESS PARK LOT 1
 530 AIRPORT ROAD NW
 ALBUQUERQUE, NM
 OWNER: VIC BRUNO CO.
 PO DRAWER 20460, ALBUQUERQUE, NM 87154
 ARCHITECT: CLAUDIO VIGIL ARCHITECTS
 1801 RIO GRANDE BOULEVARD, SUITE 2
 ALBUQUERQUE, NEW MEXICO 87107

LEGAL DESCRIPTION:
 LOT 1, BLOCK 0000, ATRISCO BUSINESS PARK UNIT 2 TRACT A

ZONING CLASSIFICATION: IP
ZONING ATLAS MAP: J-10-Z
APPLICABLE BUILDING CODE:
 1997 UNIFORM BUILDING CODE + ICC/ANSI Z180-1-99B
BUILDING TYPE: OFFICE WAREHOUSE
CONSTRUCTION TYPE: TYPE II-N - FULLY SPRINKLERED
BUILDING FUNCTION: BUILDING SHELL FOR FUTURE OFFICE WAREHOUSE SPACE
OCCUPANCY GROUP: E-OFFICE / S-2 WAREHOUSE
ALLOWABLE AREA:
 GROUP B AND S-2 OCCUPANCIES, ONE STORY, TYPE II-N CONSTRUCTION, 100% AUTOMATIC FIRE SPRINKLER SYSTEM, PROPERTY ENTIRELY SURROUNDED BY YARDS NOT LESS THAN 6'0" IN WIDTH; UNLIMITED AREA ALLOWED
BUILDING HEIGHT: 30'-0" AFF.
OCCUPANT LOAD: OFFICE = 10% 11,335 SF = 1136
 WAREHOUSE = 90% 11,335 SF = 102,196
 TOTAL = 211

GENERAL NOTES

- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL CALL FOR TEMPORARY CERTIFICATE OF OCCUPANCY.
- AN AS-BUILT COPY OF THE APPROVED TRAFFIC CIRCULATION LAYOUT MUST BE SUBMITTED BY THE DESIGNER OF RECORD, AS REQUIRED BY THE TRANSPORTATION DEVELOPMENT. RANDOM FIELD CHECKS WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O.
- OVERHEAD DOCK DOORS MUST BE INSTALLED ON THE INTERIOR SIDE. THE RETRACTING EQUIPMENT MUST NOT APPEAR ON THE EXTERIOR.
- NO FUGITIVE LIGHT WILL BE ALLOWED TO ESCAPE THE SITE.
- SITE LIGHTING SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

EXIT WIDTH REQUIRED: 314 x 2 = 63'
NUMBER OF EXITS REQUIRED: 2
NUMBER OF EXITS PROVIDED: 11
TOTAL BUILDING AREA: 111,995 GROSS SQUARE FEET
TOTAL LOT AREA: 311,002 SF = 7.11 ACRES
NET LOT AREA: 198,102 SF = 4.56 ACRES
TOTAL PARKING/PAVED AREA: 111,335 SF
TOTAL LANDSCAPE AREA REQUIRED: 29,170 SF
TOTAL LANDSCAPE AREA PROVIDED: 46,733 SF
LANDSCAPE TO PARKING AREA RATIO: 32:1

SITE PLAN LEGEND

- 532 SF INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA.
- INDICATES THE EXTENT OF ASPHALT PAVING. 2" ASPHALT OVER 6" BASE COURSE SEE SOILS REPORT.
- INDICATES THE EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. PROVIDE CONTROL JOINT, IN SIDEWALKS 1/4" TOoled JOINTS AT 6 FT ON CENTER MAX. AND 1/2" EXPANSION JOINT AT 18 FT ON CENTER.
- CONCRETE PAVING: 6" CONCRETE REINFORCED WITH W/F 6x6x6x6, CONTROL JOINTS: TOLLED JOINTS AT 10 FT ON CENTER AND 1/2" EXPANSION JOINTS AT 30 FT ON CENTER.
- PROPERTY LINE.
- EASEMENT BOUNDARIES.
- FIRE HYDRANT

PARKING ANALYSIS:
 OFFICE AREA - 1136/200 = 56 SPACES
 WAREHOUSE AREA - 102196/2000 = 51 SPACES
 TOTAL = 107 SPACES
 TOTAL PARKING SPACES REQUIRED = 107 PARKING SPACES
 TOTAL PARKING SPACES PROVIDED = 153 PARKING SPACES
 8 VAN ACCESSIBLE PARKING SPACES REQUIRED

PARKING SPACE SIZES:
 REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH 2'-0" OVERHANG
 VAN ACCESSIBLE HANDICAP PARKING SPACE = 9'-0" x 18'-0" WITH 2'-0" OVERHANG AND A 5'-0" WIDE ACCESS STRIP

BICYCLE SPACES:
 INDUSTRIAL PARK 25x12 = 533
 TOTAL BICYCLE SPACES REQUIRED = 6 BICYCLE SPACES
 TOTAL BICYCLE SPACES PROVIDED = 8 BICYCLE SPACES (2 BIKE RACK POSTS AT 4 BICYCLES PER POST)

SITE PLAN
 NOVEMBER 13, 2002 1" = 40'-0"

SIGNATURE BLOCK

PROJECT # 1002355 E.P.C. CASE NO. 2-92-57 D.R.B. CASE NO. 02-082-0763

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN

Phil D. ... 11-27-03 DATE
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION

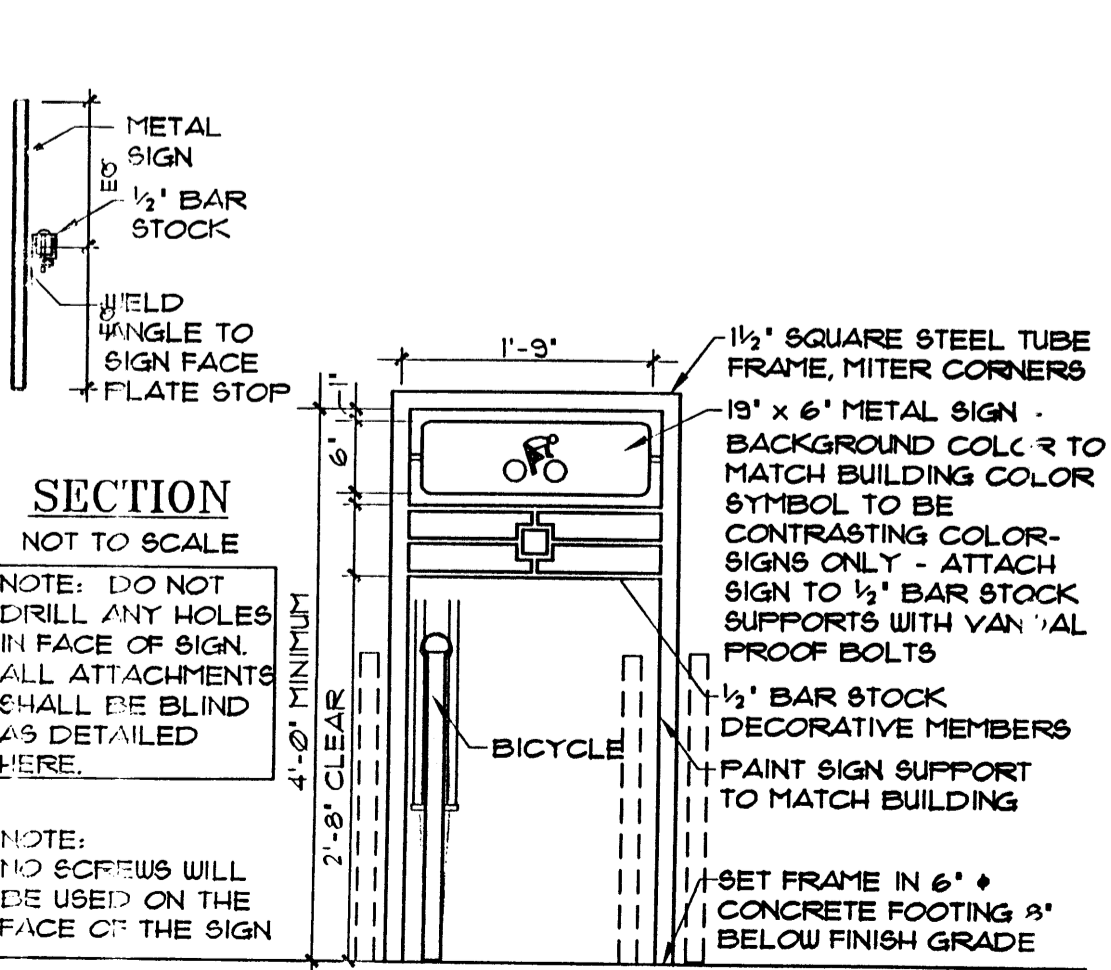
David ... 11/23/02 DATE
 PARKS & RECREATION DEPARTMENT

PUBLIC WORKS, WATER UTILITIES DIVISION DATE
 CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE
 SOLID WASTE DEPARTMENT / REFUSE DATE

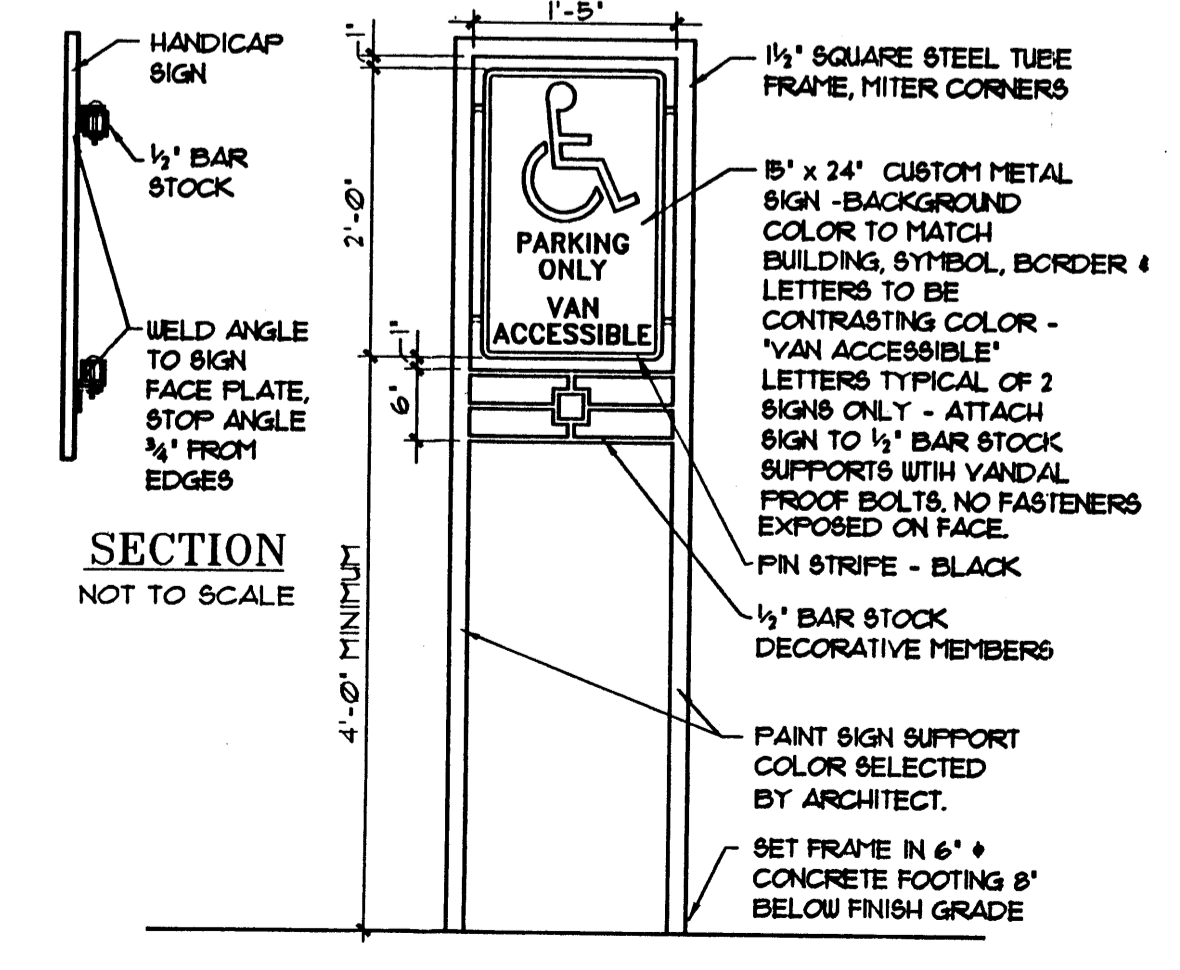
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

Sherran ... 11/23/02 DATE
 CITY PLANNER, ALBUQUERQUE

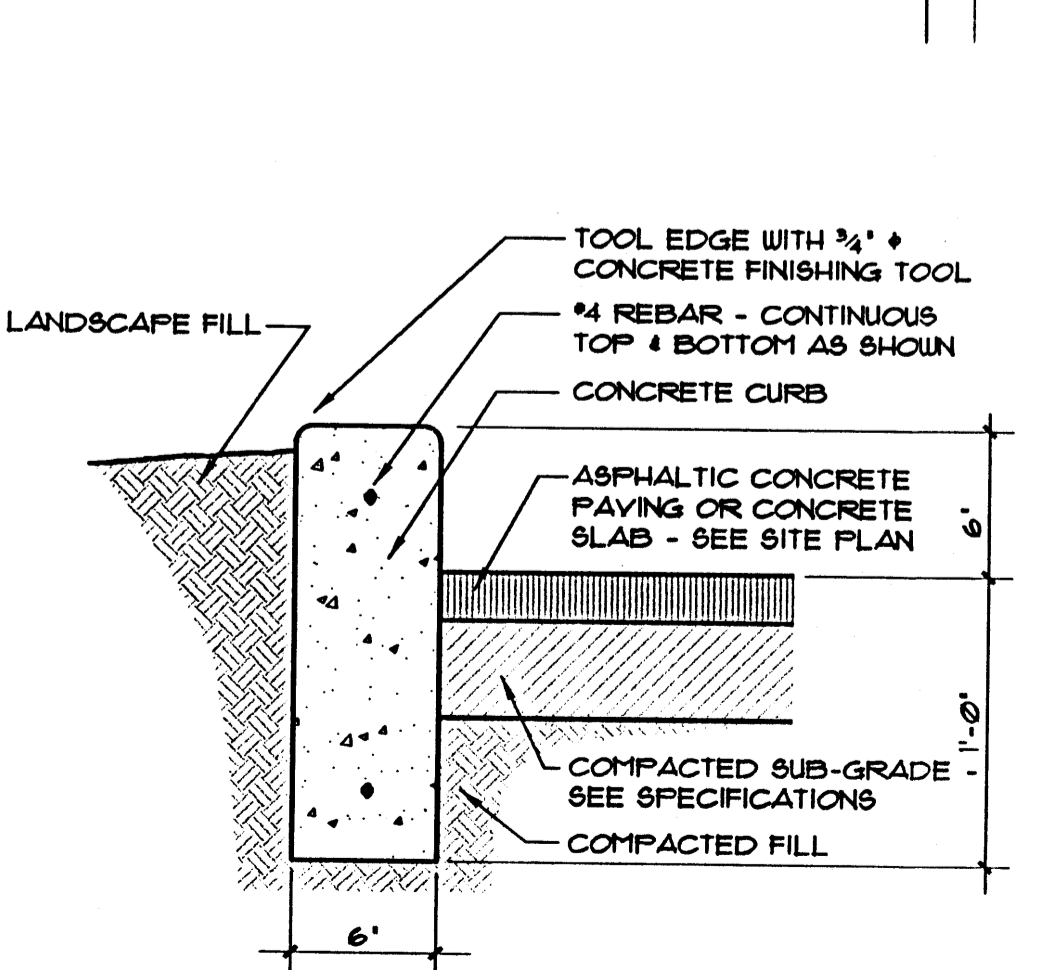
PLN2(10708) 4/98



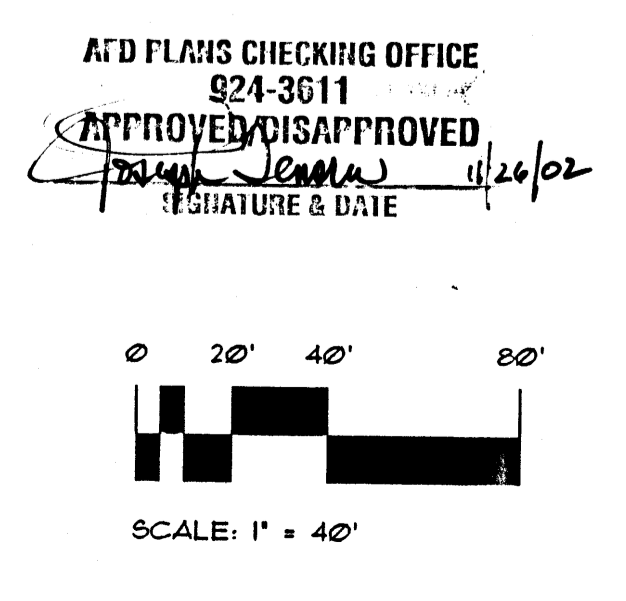
1 BIKE RACK
 SCALE: 3/4" = 1'-0"



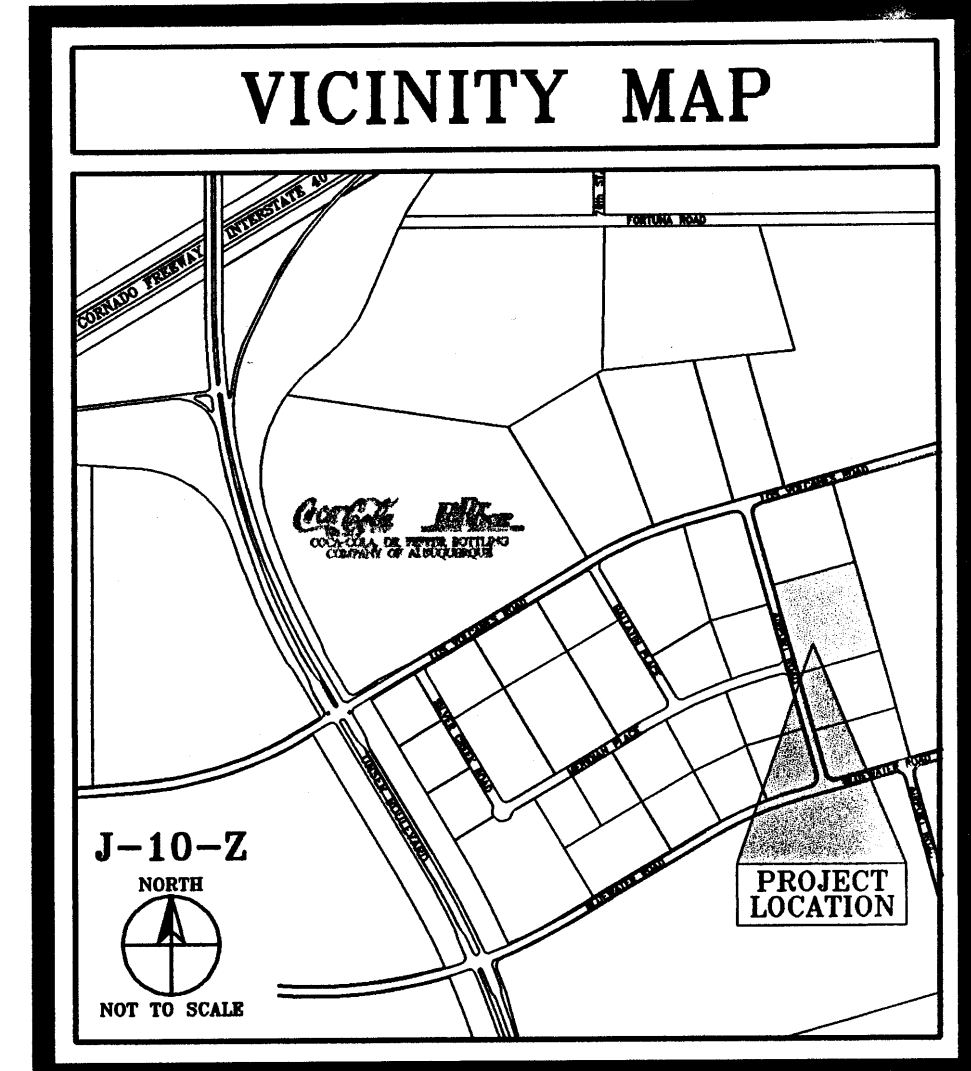
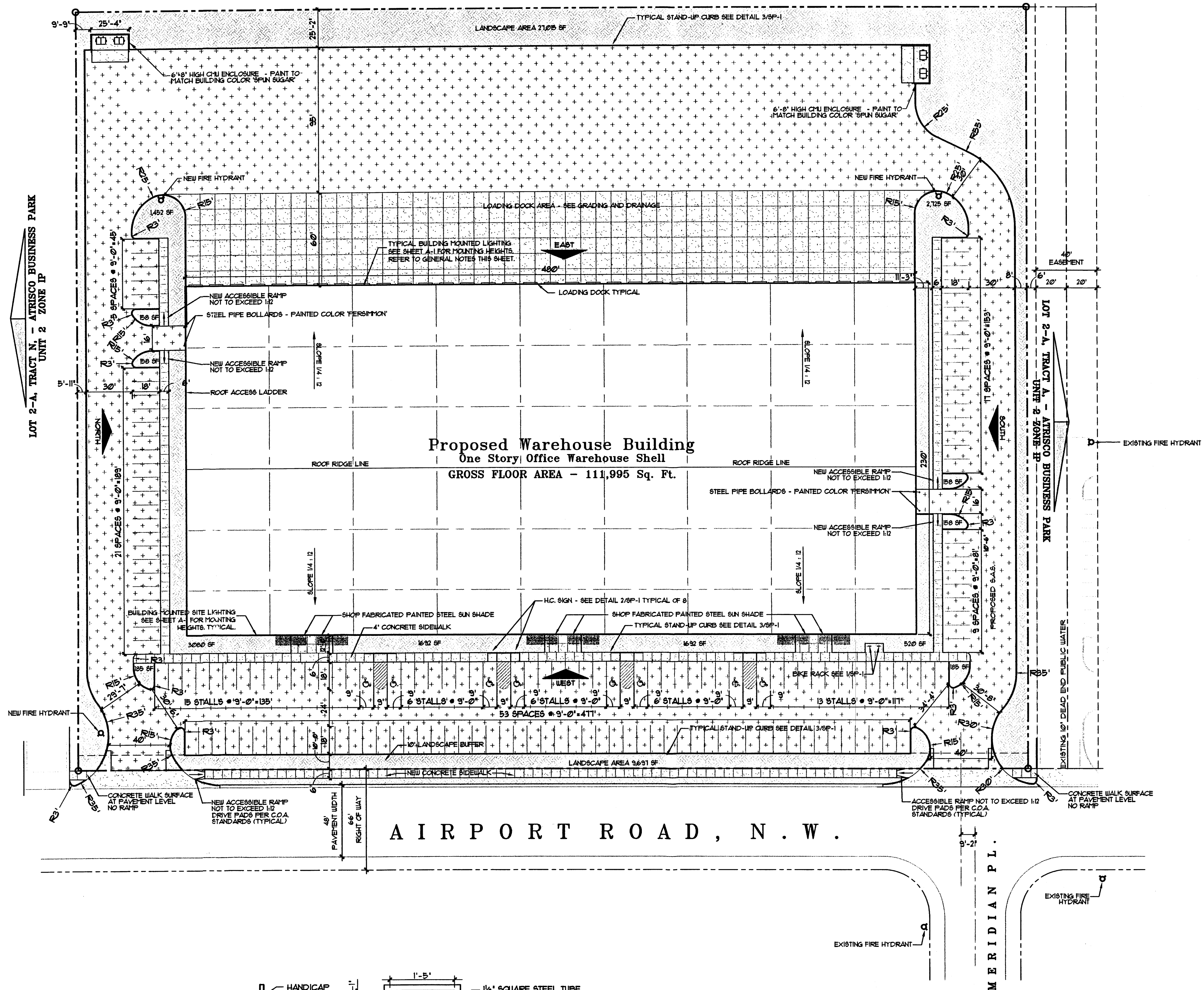
2 HANDICAP SIGN POST
 SCALE: 3/4" = 1'-0"



3 TYPICAL STAND-UP CURB
 SCALE: 1-1/2" = 1'-0"



**TRACT A - ATRISCO BUSINESS PARK
UNIT 1 ZONE SU-1**



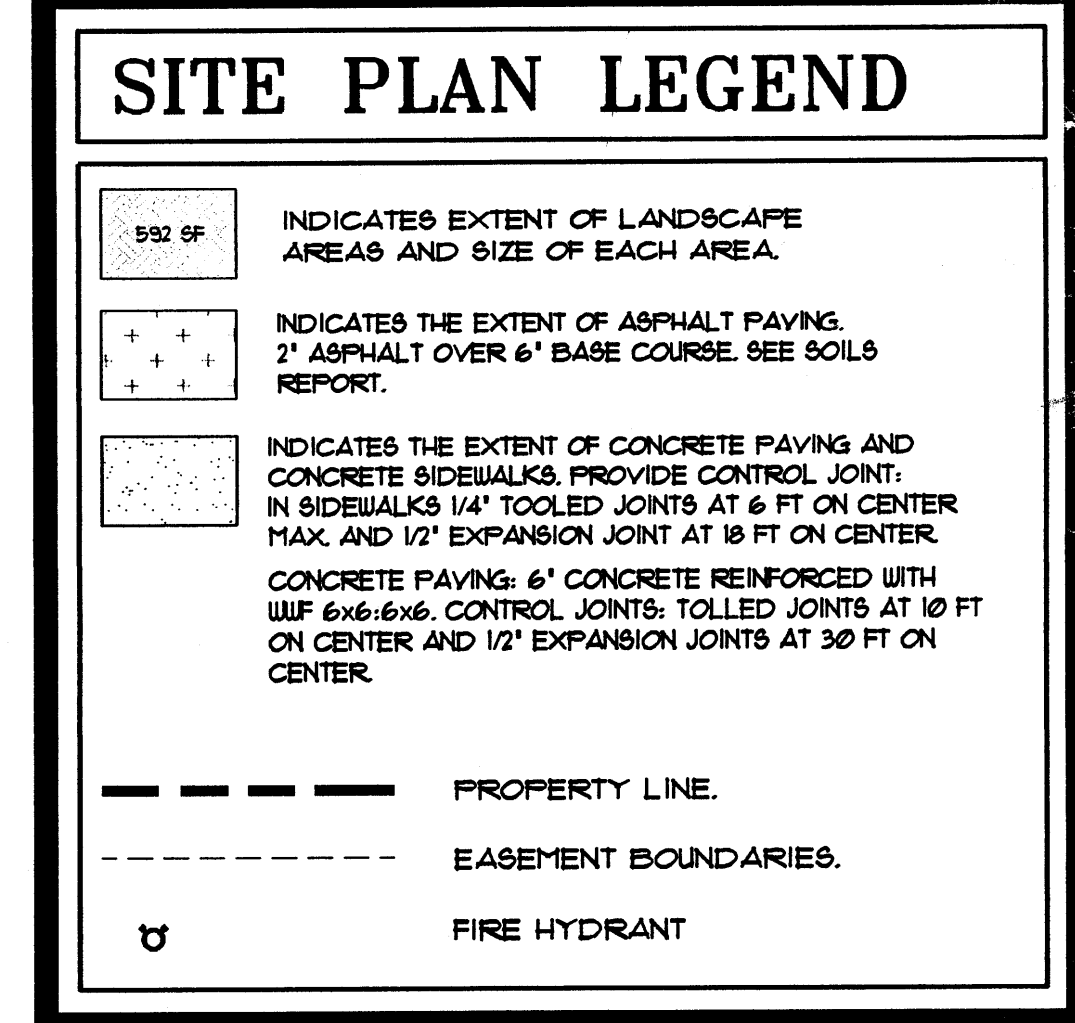
BUILDING CRITERIA
 PROJECT: ATRISCO BUSINESS PARK LOT 1
 530 AIRPORT ROAD NW
 ALBUQUERQUE, NM
 OWNER: VIC BRUNO CO.
 PO DRAWER 20460, ALBUQUERQUE, NM, 87154
 ARCHITECT: CLAUDIO VIGIL ARCHITECTS
 1801 RIO GRANDE BOULEVARD, SUITE 2
 ALBUQUERQUE, NEW MEXICO 87102
LEGAL DESCRIPTION:
 LOT 1, BLOCK 0000, ATRISCO BUSINESS PARK UNIT 2 TRACT A
ZONING CLASSIFICATION: IP
ZONING ATLAS MAP: J-10-Z
APPLICABLE BUILDING CODE:
 1991 UNIFORM BUILDING CODE 4 ICC/ANSI A117.1-1998
BUILDING TYPE: OFFICE WAREHOUSE
CONSTRUCTION TYPE: TYPE II-N - FULLY SPRINKLERED
BUILDING FUNCTION: BUILDING SHELL FOR FUTURE
 OFFICE WAREHOUSE SPACE.
OCCUPANCY GROUP: B-OFFICE / S-2 WAREHOUSE
ALLOWABLE AREA:
 GROUP B AND S-2 OCCUPANCIES, ONE STORY, TYPE II-N
 CONSTRUCTION, 100% AUTOMATIC FIRE SPRINKLER SYSTEM.
 PROPERTY ENTIRELY SURROUNDED BY YARDS NOT LESS
 THAN 60' IN WIDTH. UNLIMITED AREA ALLOWED

GENERAL NOTES

- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL CALL FOR TEMPORARY CERTIFICATE OF OCCUPANCY.
- AN AS-BUILT COPY OF THE APPROVED TRAFFIC CIRCULATION LAYOUT MUST BE SUBMITTED BY THE DESIGNER OF RECORD, AS REQUIRED BY THE TRANSPORTATION DEVELOPMENT. RANDOM FIELD CHECKS WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O.
- OVERHEAD DOCK DOORS MUST BE INSTALLED ON THE INTERIOR SIDE. THE RETRACTING EQUIPMENT MUST NOT APPEAR ON THE EXTERIOR.
- NO FUGITIVE LIGHT WILL BE ALLOWED TO ESCAPE THE SITE.

BUILDING HEIGHT: 30'-0" AFF.
OCCUPANT LOAD: OFFICE = 10% 11,995 SF. = 1199.5
 WAREHOUSE = 90% 11,995 SF. = 10795.5
TOTAL = 314

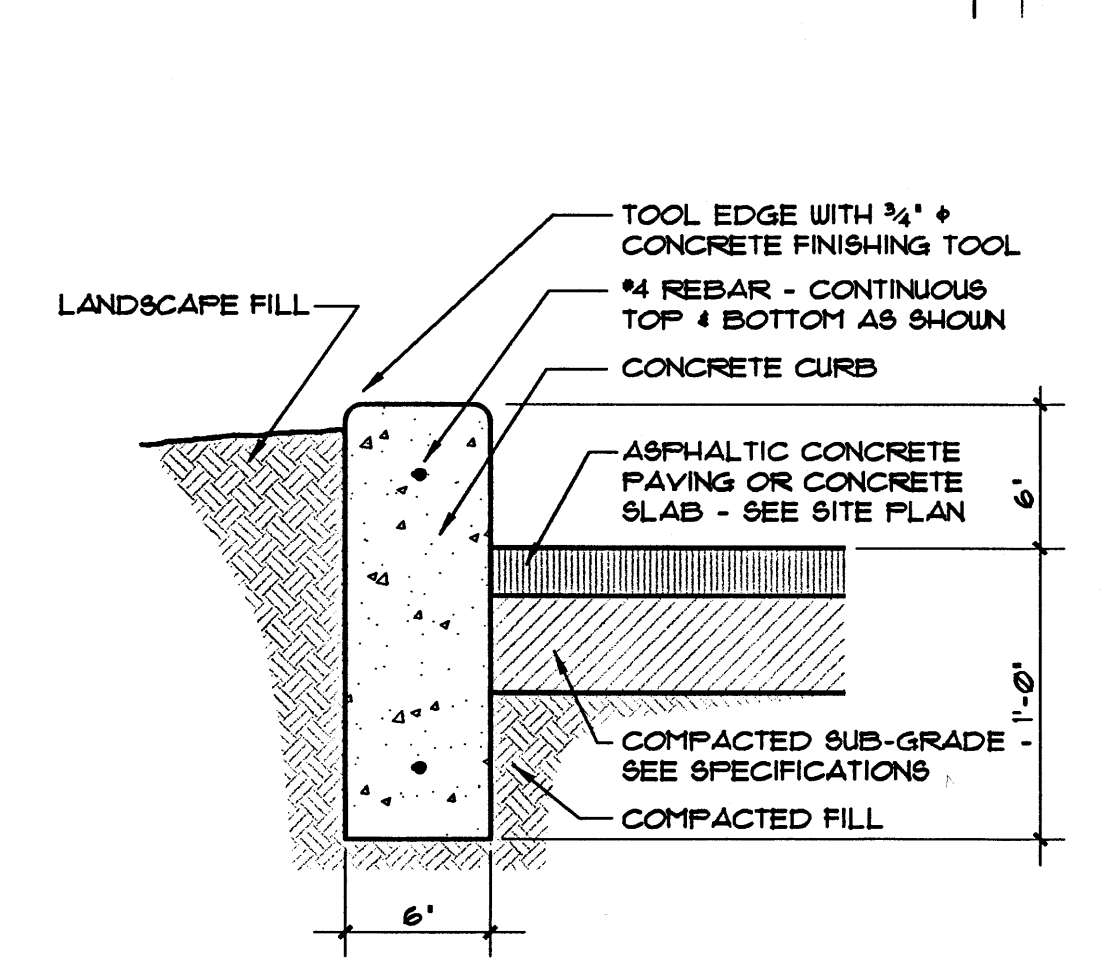
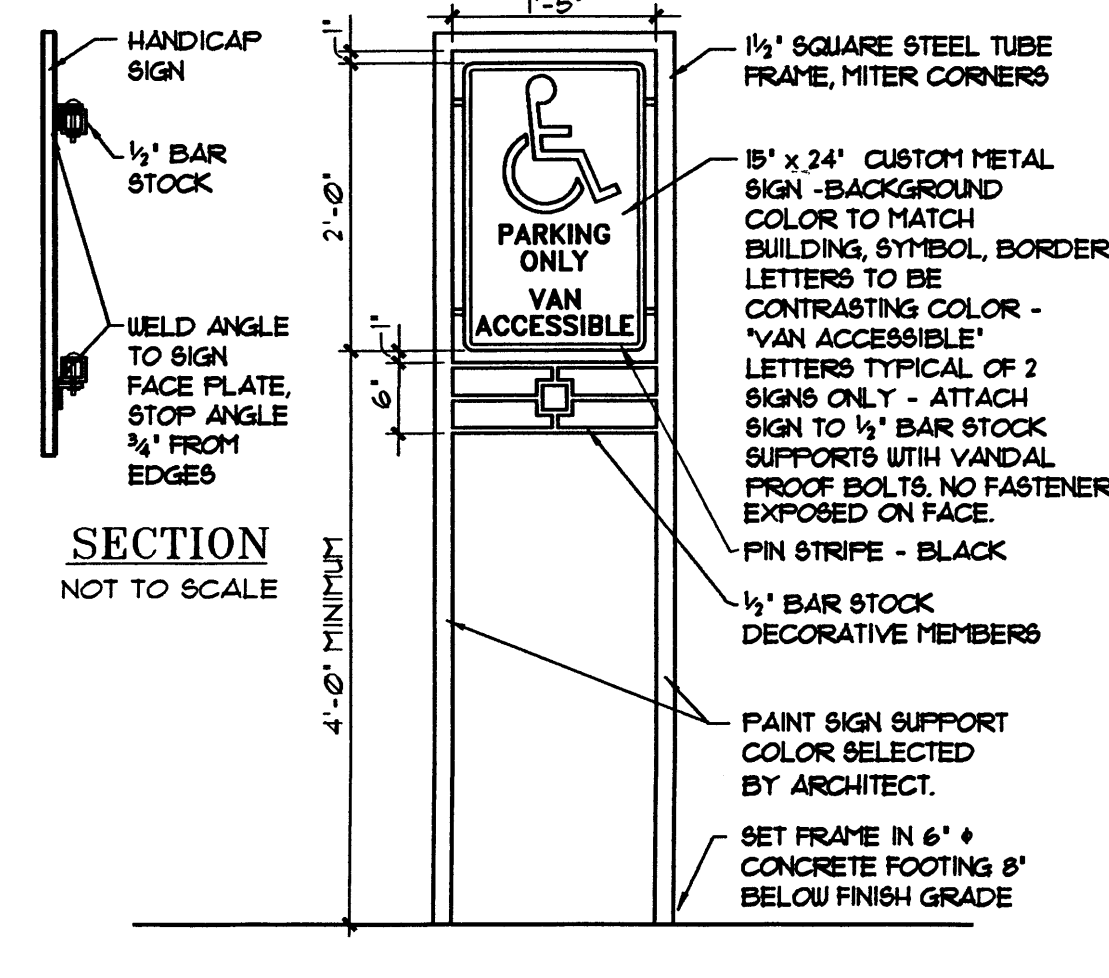
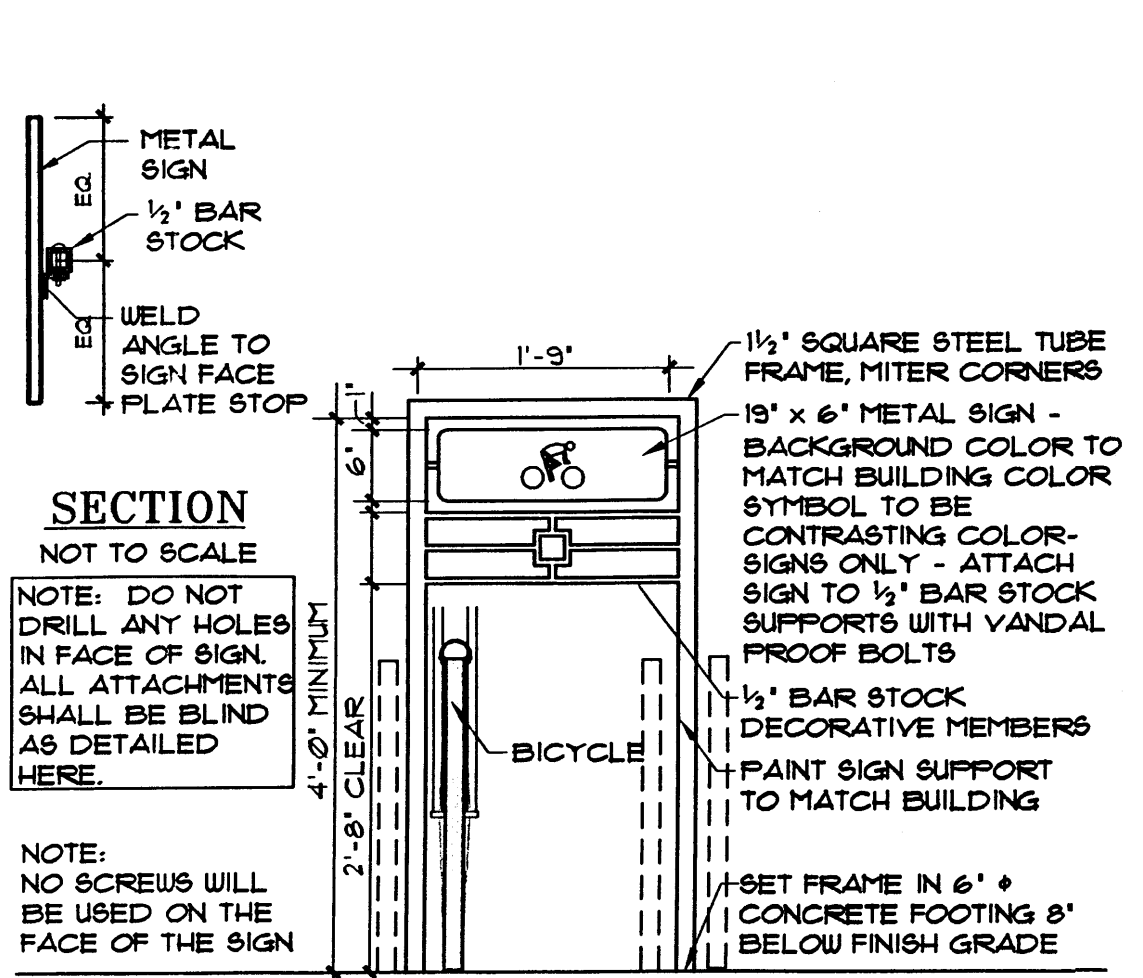
EXIT WIDTH REQUIRED: 314 x 2 = 628'
NUMBER OF EXITS REQUIRED: 2
NUMBER OF EXITS PROVIDED: 11
TOTAL BUILDING AREA: 11,995 GROSS USABLE GF
TOTAL LOT AREA: 311,002 SF. = 7.14 ACRES
NET LOT AREA: 198,402 SF. = 4.56 ACRES
TOTAL PARKING/PAVED AREA: 151,819 SF.
TOTAL LANDSCAPE AREA REQUIRED: 29,760 SF.
TOTAL LANDSCAPE AREA PROVIDED: 46,583 SF.
LANDSCAPE TO PARKING AREA RATIO: 32 : 1
PARKING ANALYSIS:
 OFFICE AREA - 11995/200 = 59 SPACES
 WAREHOUSE AREA - 107955/2000 = 54 SPACES
TOTAL = 107 SPACES
TOTAL PARKING SPACES REQUIRED = 107 PARKING SPACES
TOTAL PARKING SPACES PROVIDED = 159 PARKING SPACES
 8 VAN ACCESSIBLE PARKING SPACES REQUIRED



PARKING SPACE SIZES:
 REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG.
 VAN ACCESSIBLE HANDICAP PARKING SPACE = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG AND A 3'-0" WIDE ACCESS STRIP.

BICYCLE SPACES:
 INDUSTRIAL PARK 25x12 = 559
TOTAL BICYCLE SPACES REQUIRED = 6 BICYCLE SPACES
TOTAL BICYCLE SPACES PROVIDED = 8 BICYCLE SPACES
 (2 BIKE RACK POSTS AT 4 BICYCLES PER POST)

SITE PLAN
 NOVEMBER 13, 2002
 1"=40'-0"



1 BIKE RACK
 SCALE: 3/4" = 1'-0"

2 HANDICAP SIGN POST
 SCALE: 3/4" = 1'-0"

3 TYPICAL STAND-UP CURB
 SCALE: 1-1/2" = 1'-0"

SIGNATURE BLOCK

E.P.C. CASE NO. _____
 D.R.B. CASE NO. _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON _____ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	DATE
SOLID WASTE DEPARTMENT / REFUSE	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

CITY PLANNER, ALBUQUERQUE DATE _____
 PLANZ(10706) 4/96

CLAUDIO VIGIL ARCHITECTS

RIO GRANDE DISTRIBUTION CENTER
 LOT 1, TRACT A, ATRISCO BUSINESS PARK
 530 AIRPORT ROAD
 ALBUQUERQUE, NEW MEXICO

SHEET SP-1

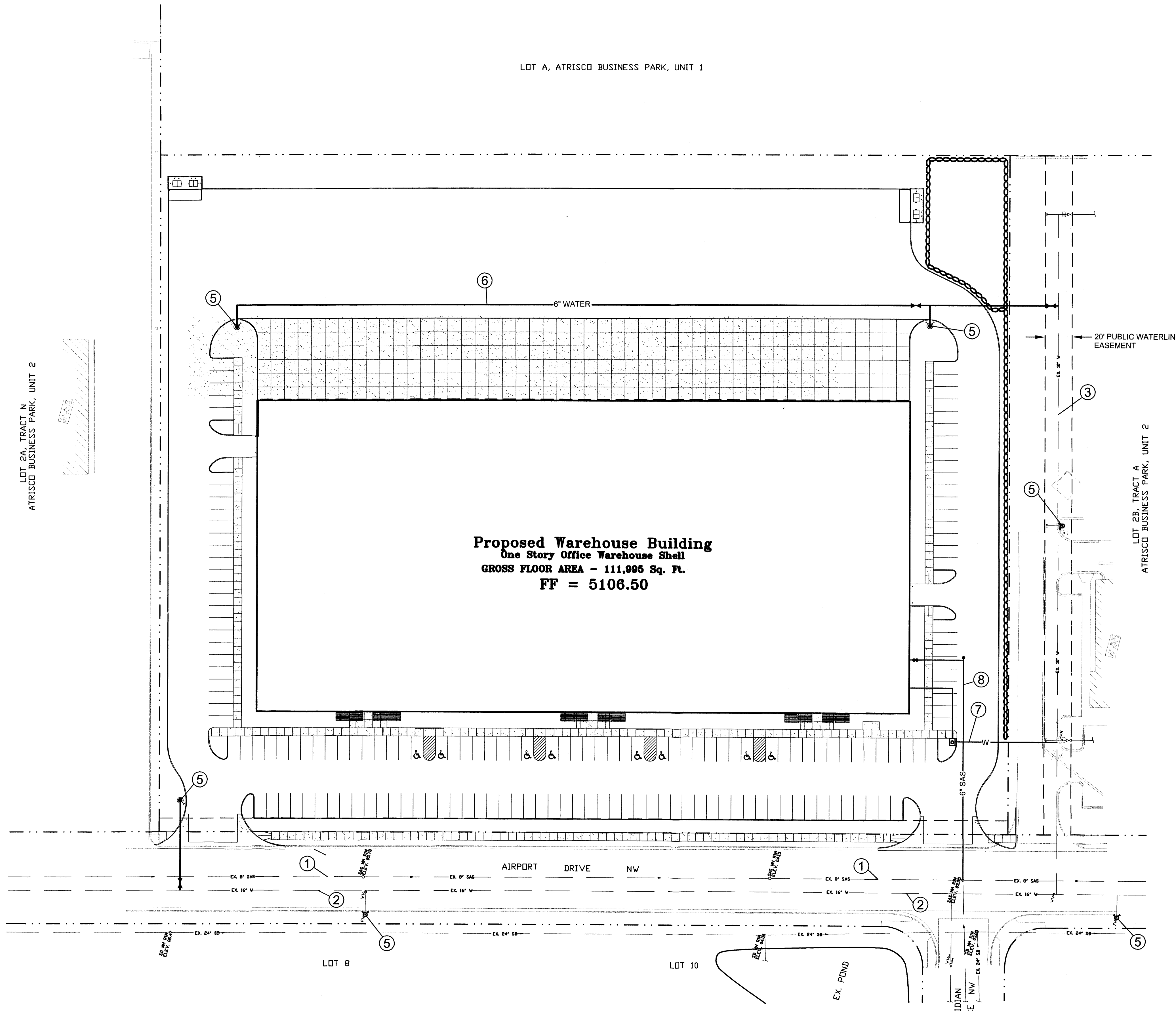
PROJECT NUMBER 02330

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LOT A, ATRISCO BUSINESS PARK, UNIT 1



LOT 2A, TRACT N
ATRISCO BUSINESS PARK, UNIT 2

LOT 2B, TRACT A
ATRISCO BUSINESS PARK, UNIT 2

LEGEND

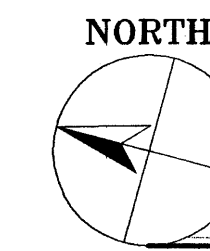
ITEM	EXISTING	PROPOSED
WATERLINE	--- 6" W ---	--- 6" W ---
SANITARY SEWER	--- 8" SAS ---	--- 8" SAS ---
STORM SEWER	--- 36" STS ---	--- 36" STS ---
FIRE HYDRANT VALVE	⊙	⊙
METERED WATER SERVICE		⊙
MANHOLE	⊙	⊙
CURB AND GUTTER		
HEADER CURB		
DROP INLET	⊙	⊙
OVERHEAD ELEC WITH POWER POLE	--- OHE ---	--- OHE ---
UNDERGROUND ELEC. GAS, TEL, TV	--- UGT ---	--- UGT ---
CURB ELEVATIONS	TOP CURB ELEV. FROM B.M. ELEV.	TOP CURB ELEV. FROM B.M. ELEV.
SPOT ELEV.	x 16.7	⊙ 16.7
SEWER SERVICE	---	---
RIGHT OF WAY	---	---
EASEMENT	---	---
POWER POLE (GUYPED)	PP	PP
CENTERLINE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2

GENERAL UTILITY NOTES

1. LOCATIONS OF EXISTING UTILITIES AS SHOWN HEREON ARE APPROXIMATE, BASED ON RECORD INFORMATION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
2. SIZES, MATERIALS AND POINTS OF CONNECTION OF UTILITY LINES ARE APPROXIMATE. FINAL CONNECTION POINTS WILL BE DETERMINED BY THE BUILDING MECHANICAL CONSULTANT.
3. WATER SERVICE LINES TO THE IRRIGATION SYSTEM ARE NOT SHOWN, AND WILL BE DETERMINED BY THE LANDSCAPING CONTRACTOR.
4. ALL FIRE HYDRANT LOCATIONS SHALL BE DETERMINED BY THE FIRE MARSHAL.
5. WATER AND SANITARY SEWER SERVICE IS GOVERNED BY THE CITY WATER UTILITIES DEPARTMENT.

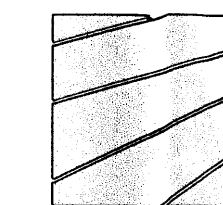
KEYED NOTES

1. EXISTING 8" PUBLIC SANITARY SEWER
2. EXISTING 16" PUBLIC WATERLINE
3. EXISTING 10" PUBLIC WATERLINE
4. EXISTING PUBLIC FIRE HYDRANT
5. NEW FIRE HYDRANT
6. NEW 6" PRIVATE FIRE LINE
7. NEW METERED WATER SERVICE
8. NEW 6" SANITARY SEWER SERVICE



CONCEPTUAL UTILITY PLAN

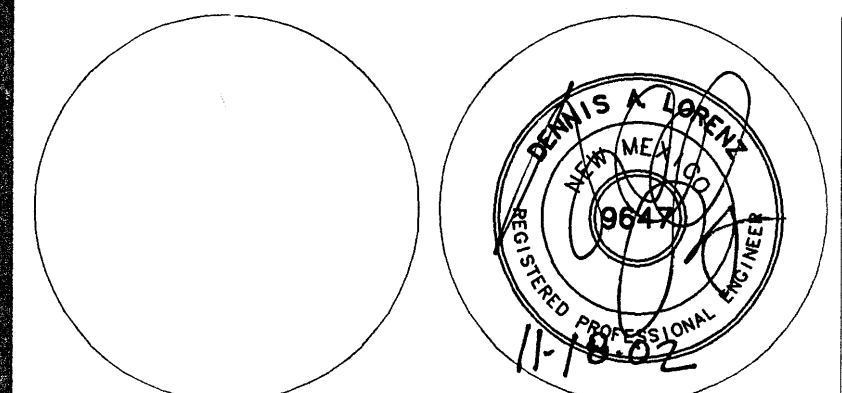
NOVEMBER 19, 2002 1"=40'-0"



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188



CLAUDIO VIGIL ARCHITECTS
RIO GRANDE
DISTRIBUTION CENTER
LOT 1, TRACT A, ATRISCO BUSINESS PARK
530 AIRPORT ROAD
ALBUQUERQUE, NEW MEXICO



SHEET

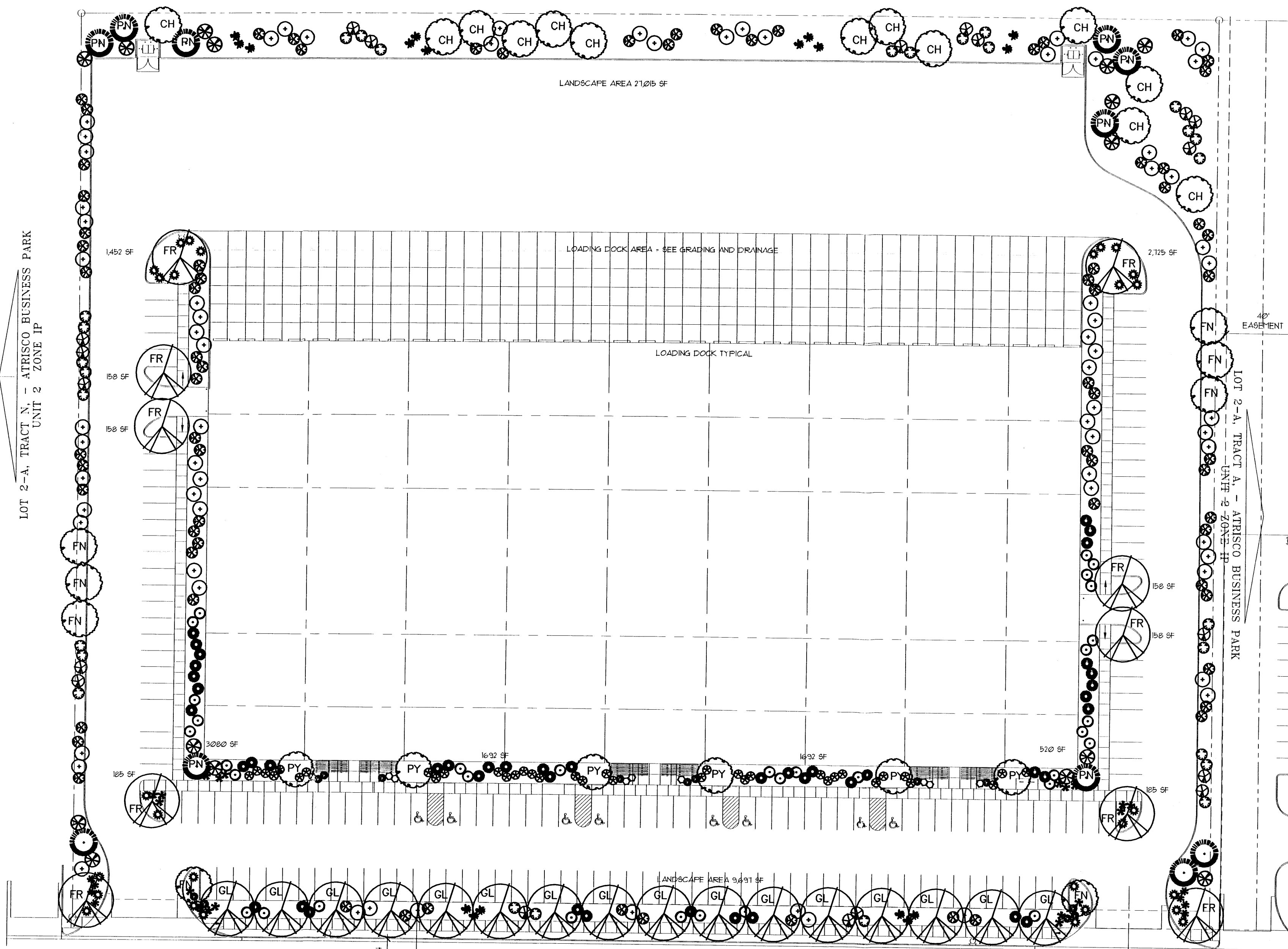
C-2

PROJECT NUMBER
02330

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TRACT A - ATRISCO BUSINESS PARK
UNIT 1 ZONE SU-1



PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
GL	16	GLEDITSIA	HONEY LOCUST	2" CAL	H
FR	10	FRAXINUS	AUTUMN PURPLE ASH	2" CAL	H
PY	6	PYRUS	BRADFORD PEAR	15 GAL	M
CH	13	CHILOPSIS	DESERT WILLOW	15 GAL	H
FN	8	FORESTIERA	N.M. OLIVE	15 GAL	H
PN	11	PINUS NIGRA	AUSTRIAN PINE	5'-6" HT.	M
71		ELAEAGNUS PUNGENS	SILVERBERRY	1 - 5 GAL	M
28		JUNIPERUS SABINA	BUFFALO JUNIPER		M
36		RAPHIOLEPIS INDICA	INDIA HAWTHORN		M
19		CHRYSOTHAMNUS NAUSEOSUS	CHAMISA		L
15		BUDDLEIA DAVIDII	BUTTERFLY BUSH		M
73		CARYOPTERIS X CLADONENSIS	BLUE MIST		M
33		ROSMARINUS OFFICINALIS	ROSEMARY		M
44		MISCANTHUS SINENSIS	MAIDEN GRASS		M
17		HESPERALOE PARVIFLORA	RED YUCCA		M
28		PEROVSKIA	RUSSIAN SAGE	1 GAL	M
8		HELICTOTRICHON	BLUE AVENA GRASS		M
18		ARTEMISIA	POWIS CASTLE		M
9		SALVIA GREGGII	CHERRY SAGE		M
14		LAVANDULA	LAVENDER	1 GAL	M

SITE DATA

GROSS LOT AREA	311,002 SF
LESS BUILDING	112,600 SF
NET LOT AREA	198,402 SF
REQUIRED LANDSCAPE	29,760 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	46,583 SF
PERCENT OF NET LOT AREA	23%
HIGH WATER USE TURF	NONE PROPOSED
MAX. 20% OF LANDSCAPE AREA	
PROPOSED HIGH WATER USE TURF	
PERCENT OF LANDSCAPE AREA	

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
HIGH WATER USE TURF

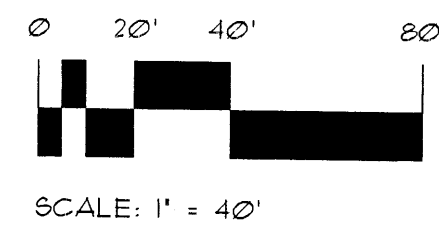
NOTE

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

NORTH

LANDSCAPE PLAN

NOVEMBER 13, 2002 1"=40'-0"



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RIO GRANDE

DISTRIBUTION CENTER

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530 AIRPORT ROAD
ALBUQUERQUE, NEW MEXICO

STATE OF NEW MEXICO

LANDSCAPE CONTRACTORS

JOHN GILLIS ORSALLY

118

REGISTERED LANDSCAPE ARCHITECT

SHEET

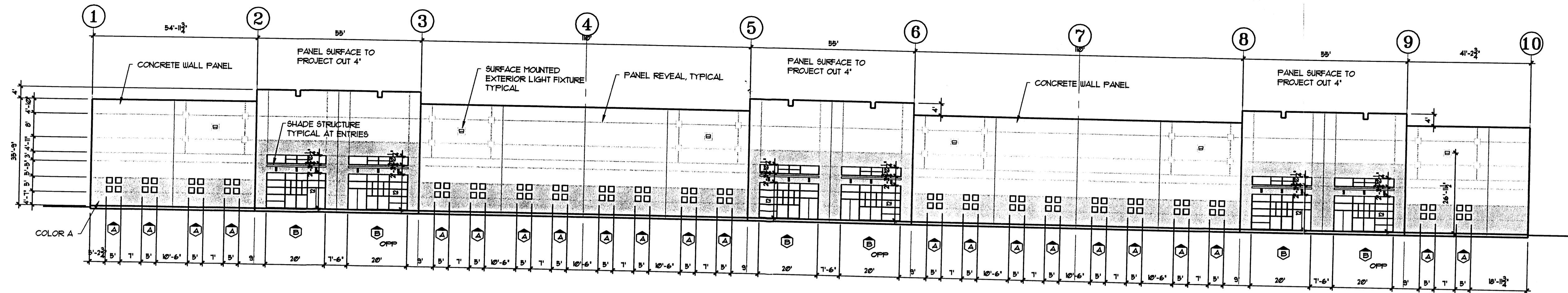
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PROJECT NUMBER

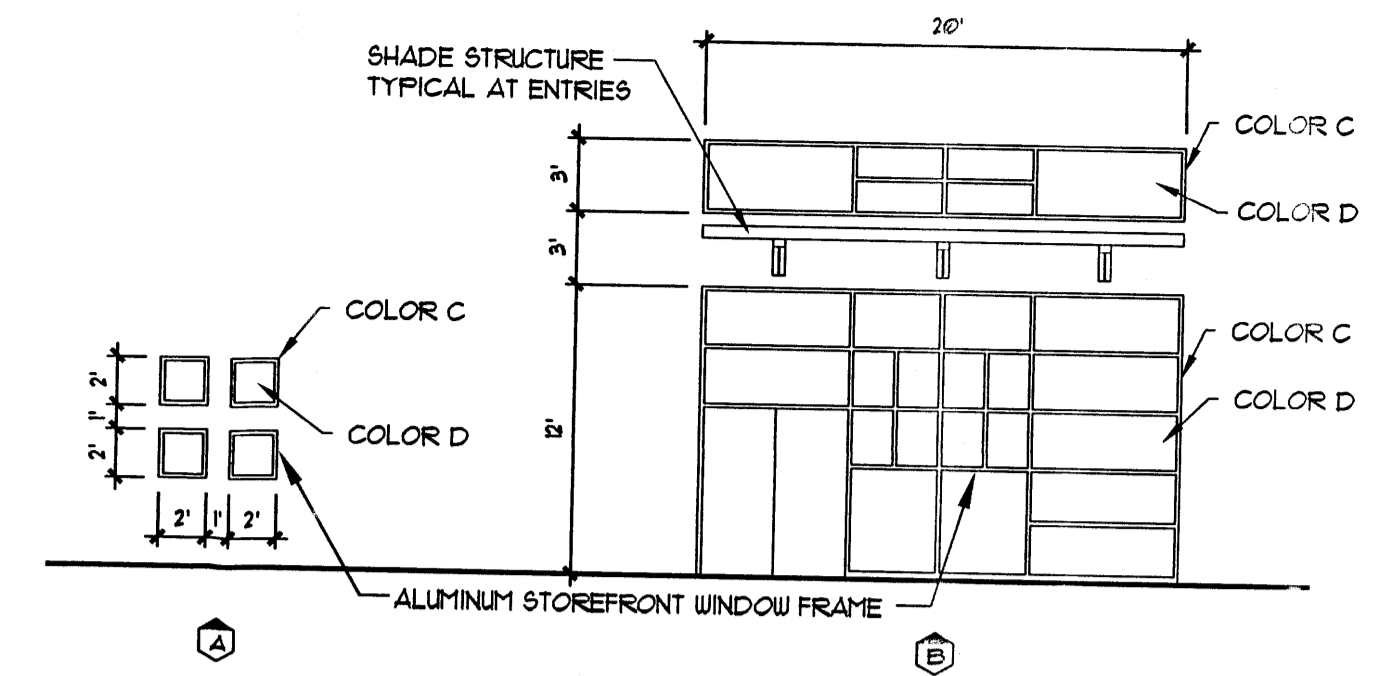
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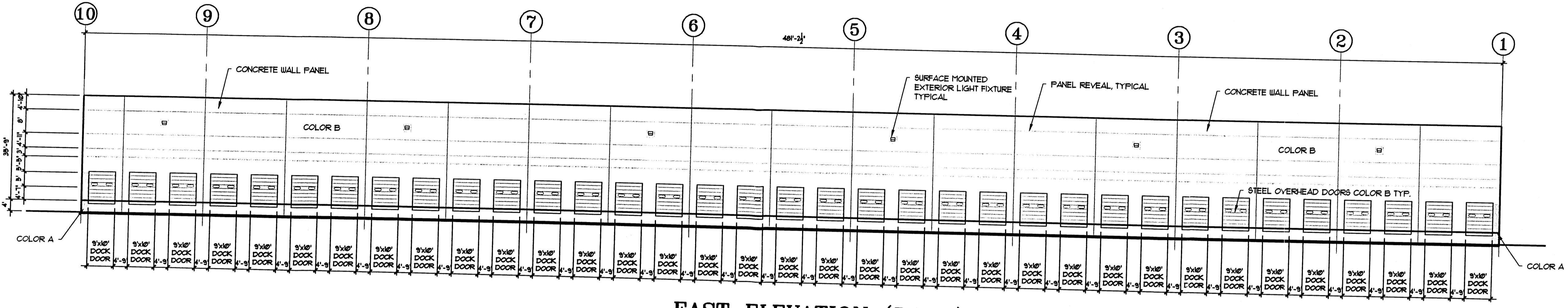
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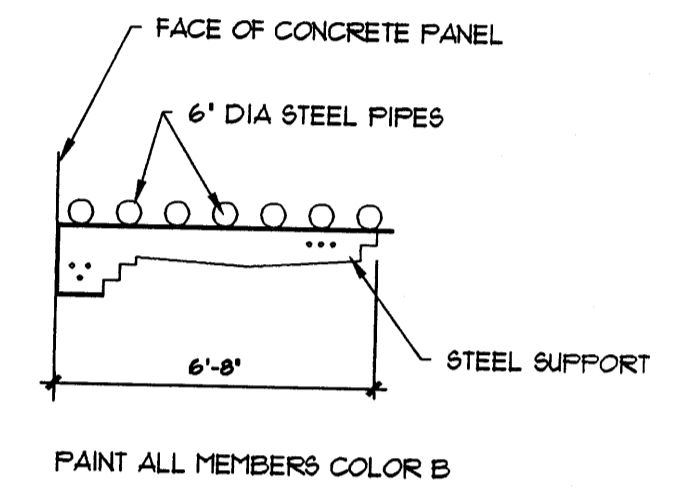
WEST ELEVATION (FRONT)



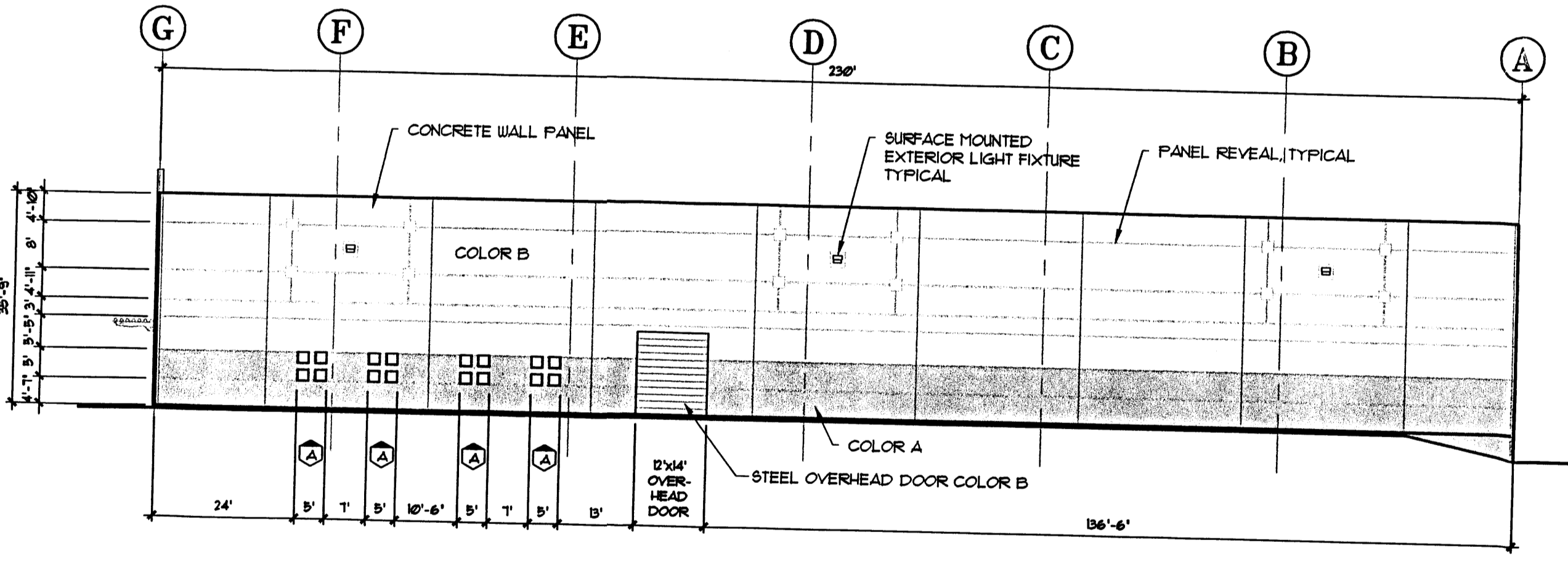
WINDOW TYPES
1/8"=1'-0"



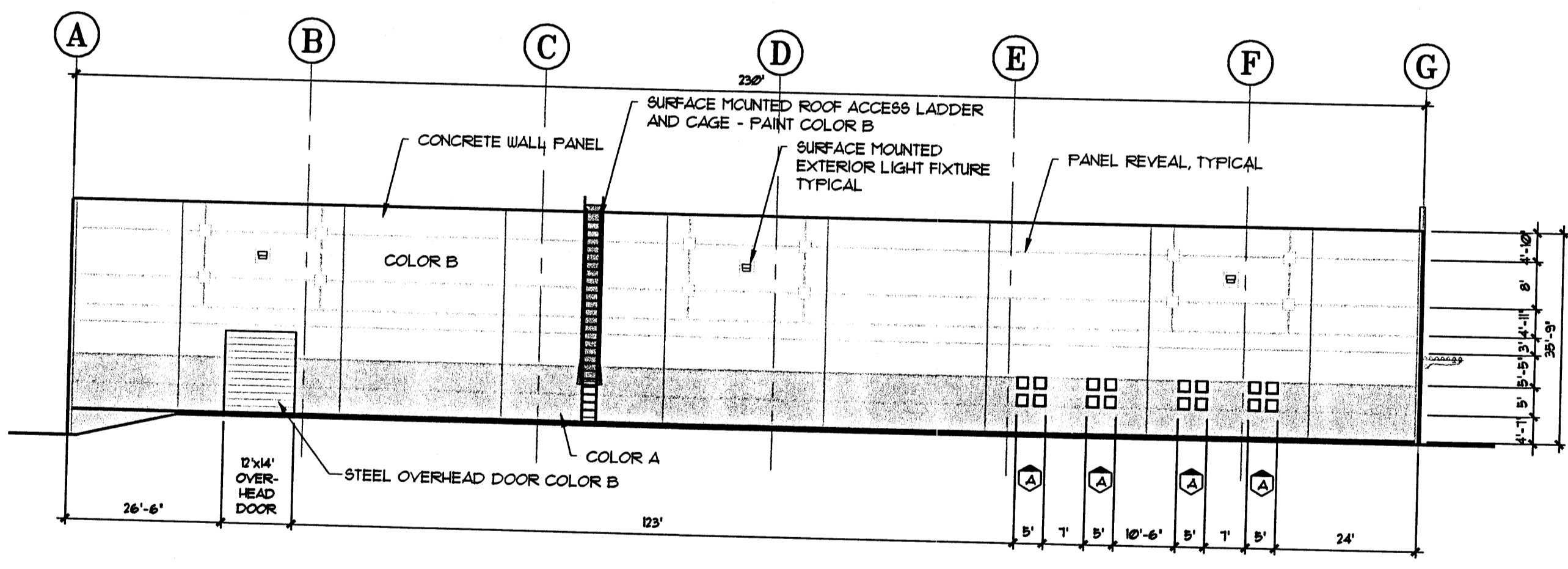
EAST ELEVATION (DOCK)



SHADE STRUCTURE
1/4"=1'-0"



SOUTH ELEVATION




NORTH ELEVATION

- COLOR SELECTIONS**
- COLOR A 'PERSIMMON' - PAINT
 - COLOR B 'SPUN SUGAR' - PAINT
 - COLOR C 'TEAL' - STOREFRONT & WINDOW FRAMES
 - COLOR D BLUE GREEN - GLAZING

ELEVATIONS

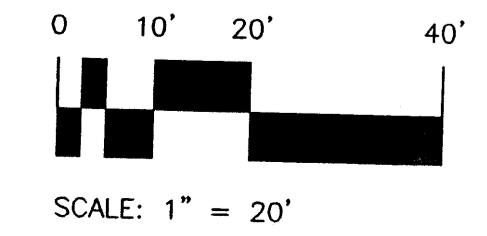
NOVEMBER 19, 2002 1"=20'-0"


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SHEET
A-2
 PROJECT NUMBER
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