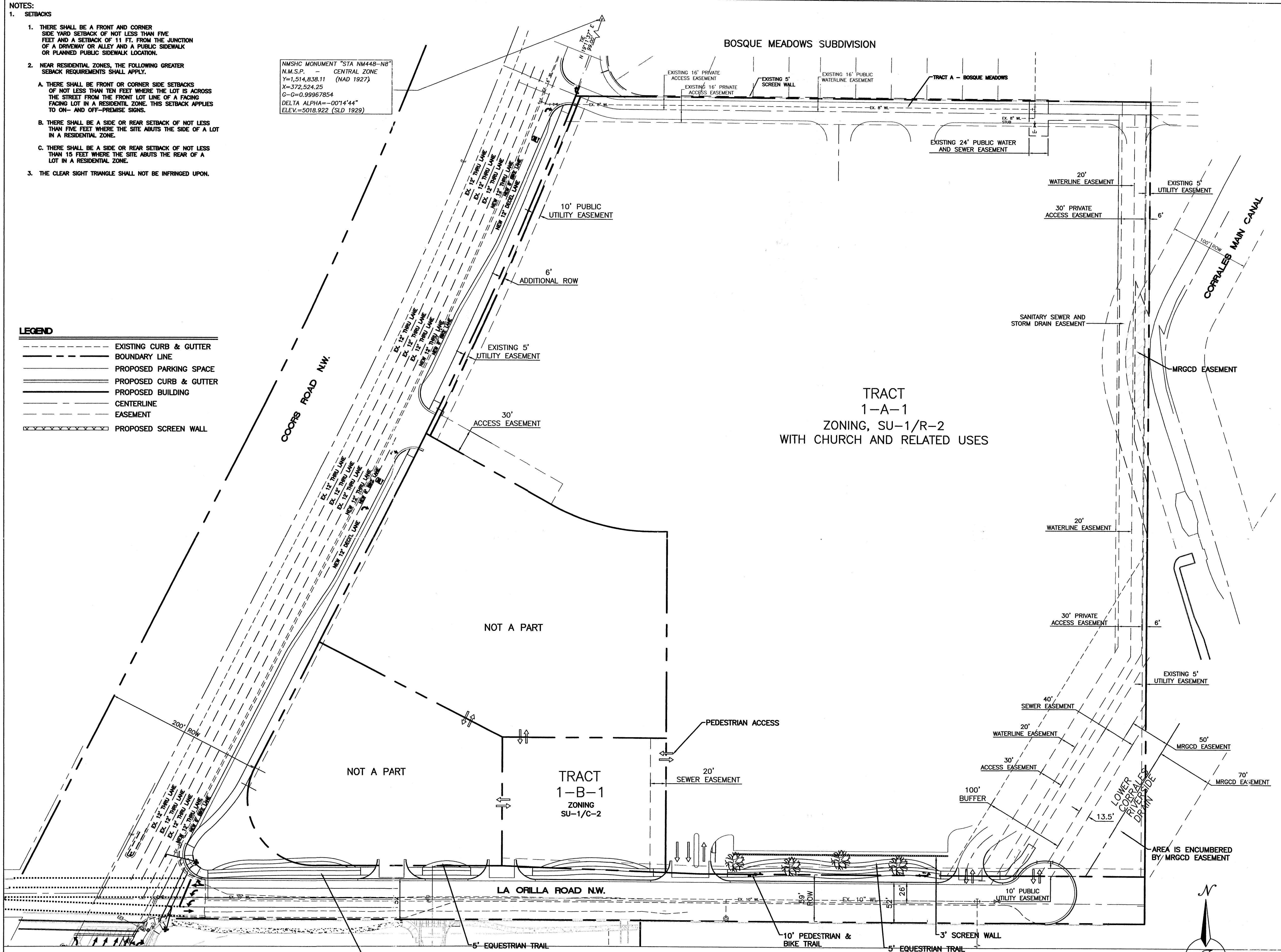


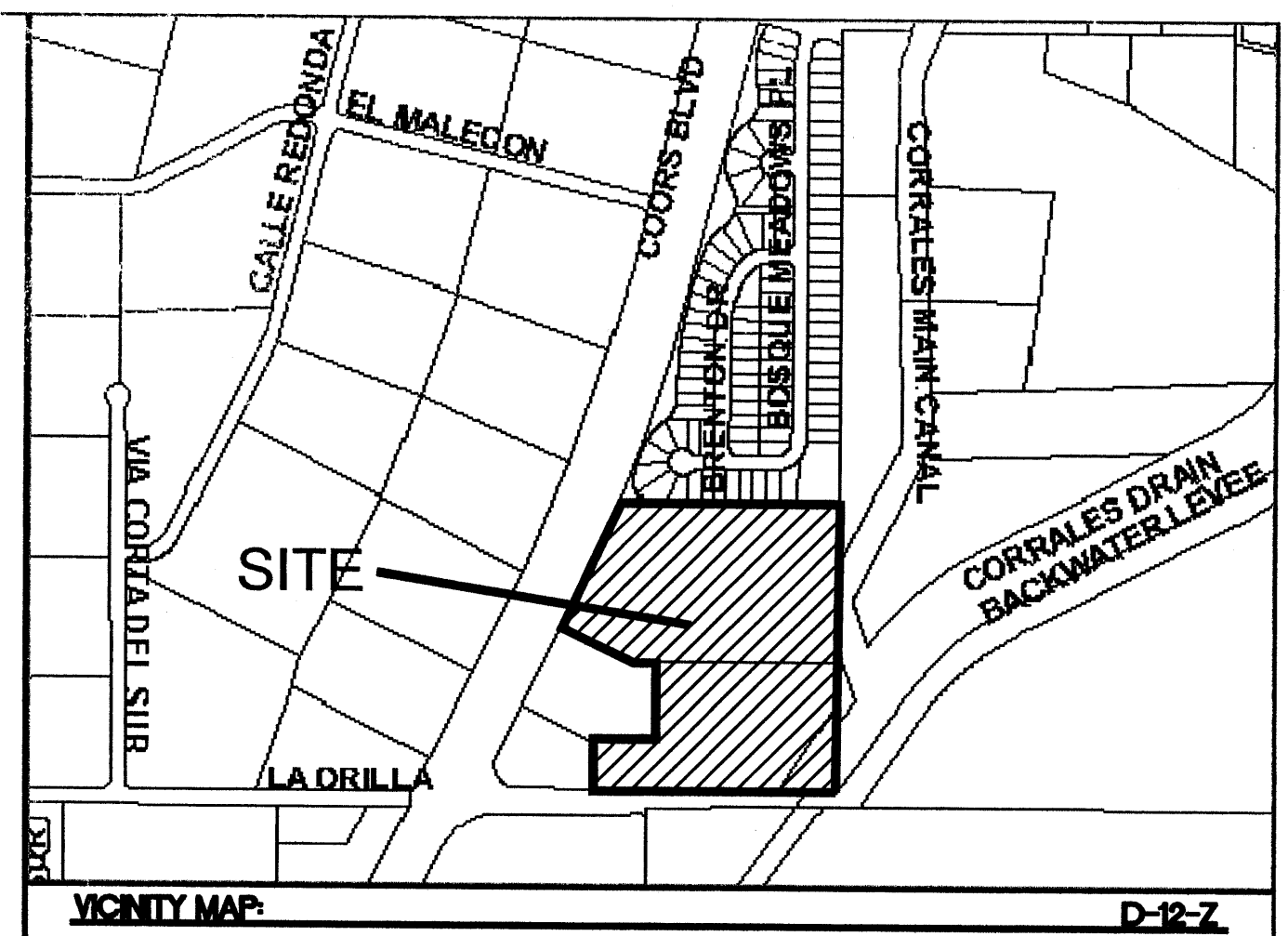
- NOTES:**
- SETBACKS**
    - THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FT. FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
    - NEAR RESIDENTIAL ZONES, THE FOLLOWING GREATER SETBACK REQUIREMENTS SHALL APPLY.
      - THERE SHALL BE FRONT OR CORNER SIDE SETBACKS OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON- AND OFF-PREMISE SIGNS.
      - THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ABUTS THE SIDE OF A LOT IN A RESIDENTIAL ZONE.
      - THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE.
    - THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.

NMNSHC MONUMENT "STA NM448-NB"  
 N.M.S.P. - CENTRAL ZONE  
 Y=1,514,838.11 (NAD 1927)  
 X=372,524.25  
 G-G=0.99967854  
 DELTA ALPHA=00°14'44"  
 ELEV.=5018.922 (SLD 1929)

- LEGEND**
- EXISTING CURB & GUTTER BOUNDARY LINE
  - PROPOSED PARKING SPACE
  - PROPOSED CURB & GUTTER
  - PROPOSED BUILDING
  - CENTERLINE
  - EASEMENT
  - PROPOSED SCREEN WALL



**TRACT 1-A-1**  
**ZONING, SU-1/R-2**  
**WITH CHURCH AND RELATED USES**



**VICINITY MAP** D-12-Z

**LEGAL DESCRIPTION**  
 TRACTS 1-A, 1-B & 1-C OF ALBAN HILLS SUBDIVISION

- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
  - CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
  - ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
  - PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
  - NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
  - ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
  - VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
  - ALL METAL ROOFING SHALL BE CONSISTENT ON ALL BUILDINGS AND CANOPIES AND SHALL BE A GALVALUME FINISH.
  - FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 16' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED. LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
  - ASPHALT BIKE TRAIL 10 FT. WIDE.
  - THE VIEW PLANE FOLLOWS THE COORS CORRIDOR PLAN.

**SITE DATA**

PROPOSED USAGE:	SU-1 R2 & CHURCH RELATED USES
LOT AREA:	16.2619 ACRE
BUILDING AREA:	130,000 SF
SEATING CAPACITY:	3000
PARKING PROVIDED:	776 SPACES
PARKING REQUIRED:	750 SPACES
HC PARKING PROVIDED:	20 SPACES
HC PARKING REQUIRED:	16 SPACES
	3 SPACES VAN ACCESSIBLE

**PROJECT NUMBER:** 1002371  
**APPLICATION NUMBER:** 03DRB-02150

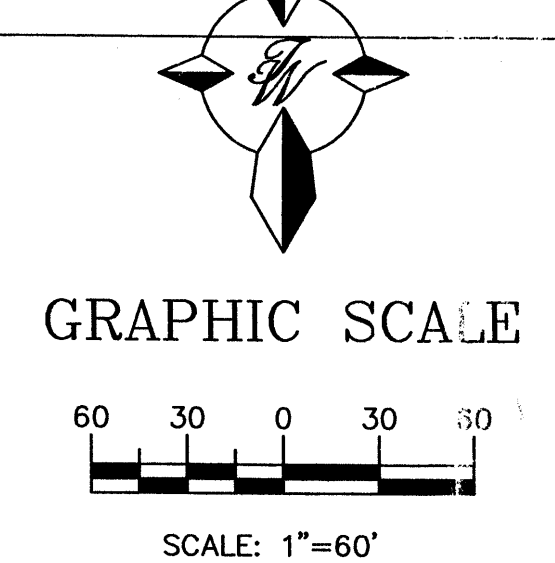
Is an Infrastructure List required? ( ) Yes (X) No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements. Bulk Land Plat variance improvements to be constructed with the Site Plan for Building Permit.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineer, Transportation Division	2-4-04	Date
Utilities Development	2-4-04	Date
Parks & Recreation Department	2/14/04	Date
Bradley S. Bingham City Engineer	10/11/05	Date
Environmental Health Department (conditional)		Date
Solid Waste Management		Date
DRB Chairperson, Planning Department	3/16/04	Date

\* Environmental Health, if necessary 12/16/03

TRACT	AREA (AC)	USE	ZONING	F.A.R.	LANDSCAPE AREA	MAX. BLDG. HEIGHT
1-A-1	16.28	CHURCH	SU-1 / R-2	.25	15% OF PAVED AREA	45' SOLAR SETBACK
1-B-1	0.80	RETAIL	SU-1 / C-2	.25	15% OF PAVED AREA	45' SOLAR SETBACK



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>HOFFMANTOWN WEST CHURCH</b>	DRAWN BY BJF
	<b>SITE DEVELOPMENT PLAN FOR SUBDIVISION</b>	DATE 01-28-04
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2380SPSE
		SHEET #
		JOB # 230080

1002371