

NOTES:

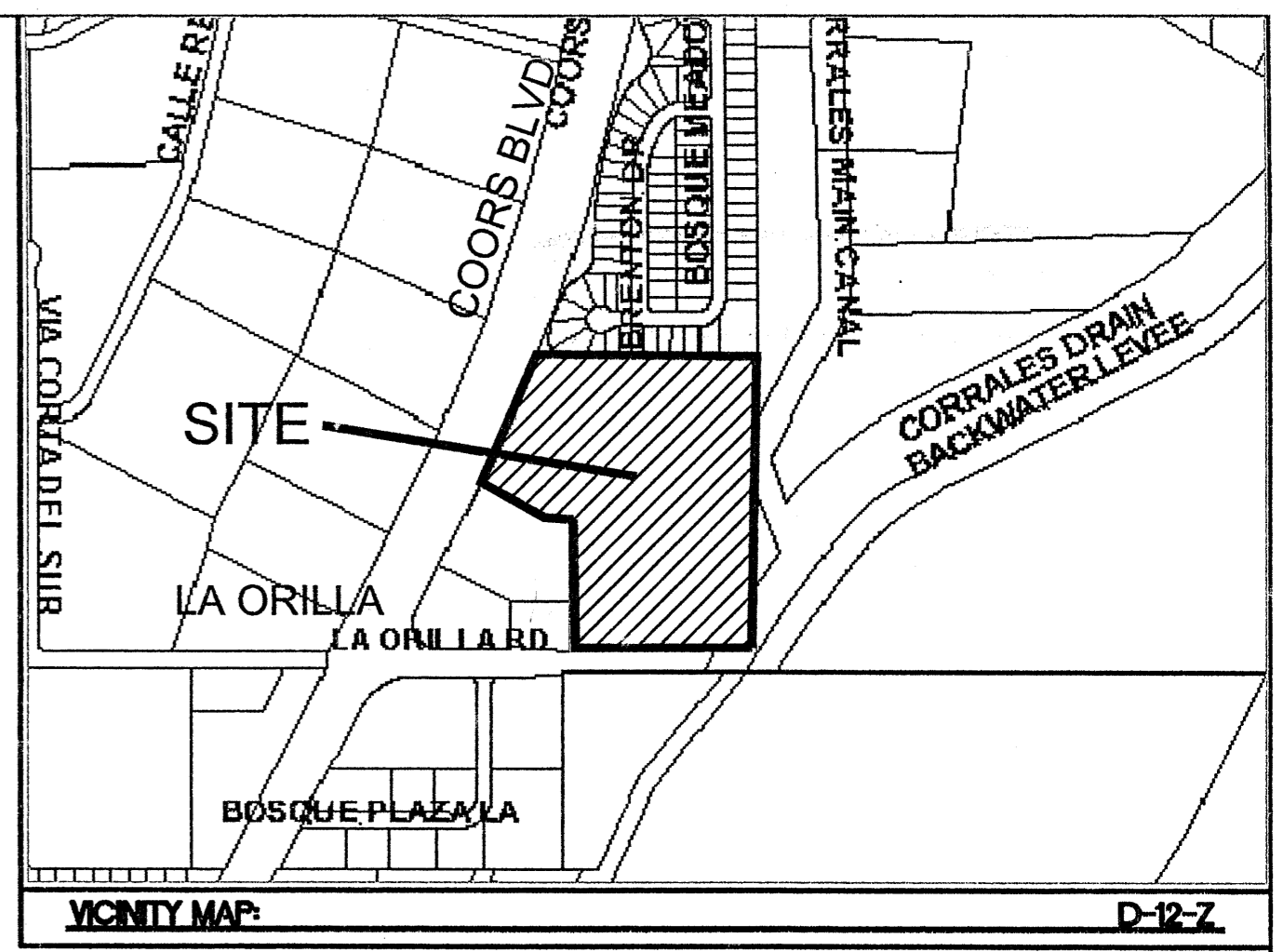
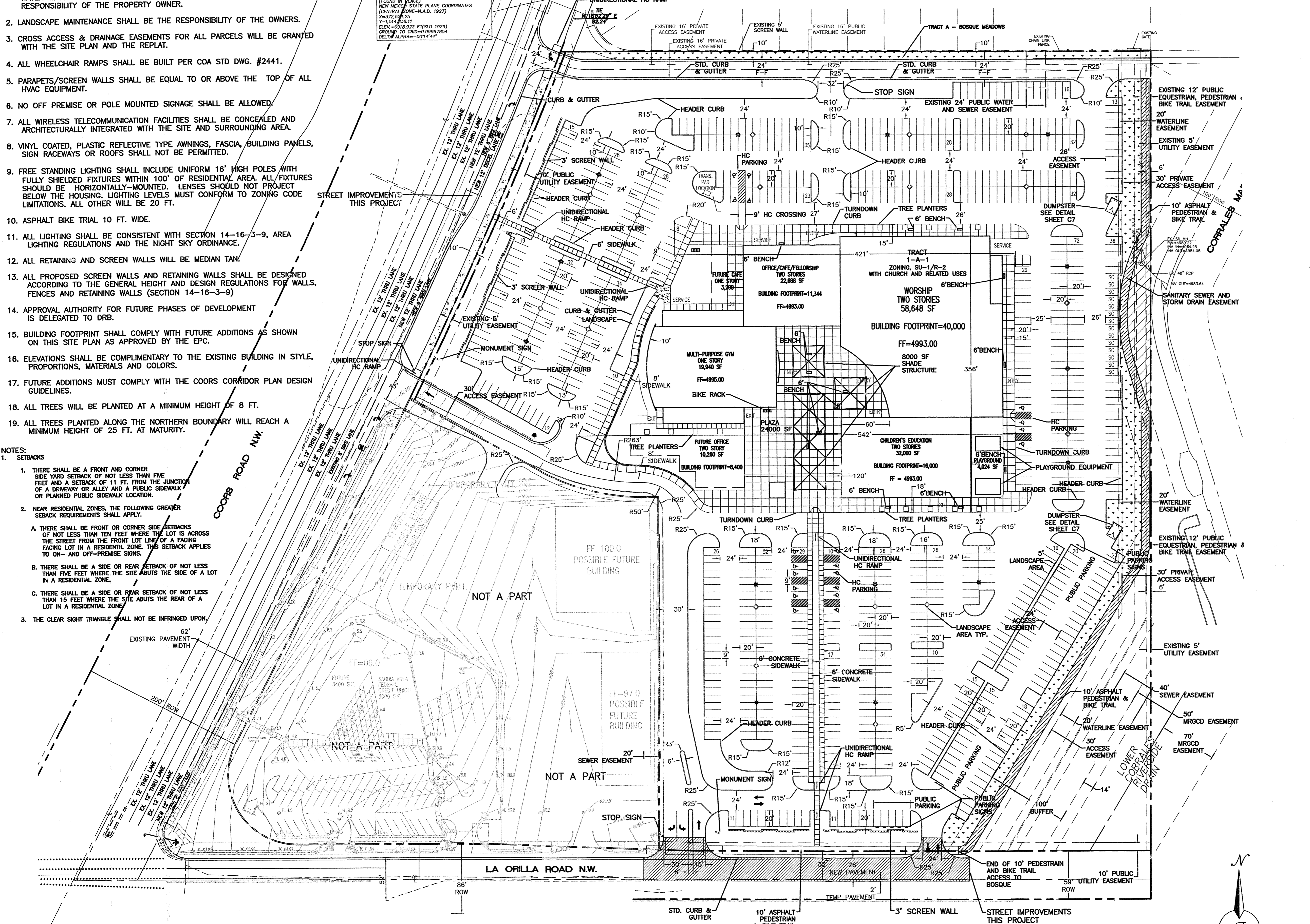
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
- CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
- ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
- PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
- NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
- ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
- VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
- FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 16' HIGH POLES WITH FULLY SHIELDED FIXTURES WITHIN 100' OF RESIDENTIAL AREA. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED. LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS. ALL OTHER WILL BE 20 FT.
- ASPHALT BIKE TRAIL 10 FT. WIDE.
- ALL LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-3-9, AREA LIGHTING REGULATIONS AND THE NIGHT SKY ORDINANCE.
- ALL RETAINING AND SCREEN WALLS WILL BE MEDIAN TAN.
- ALL PROPOSED SCREEN WALLS AND RETAINING WALLS SHALL BE DESIGNED ACCORDING TO THE GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES AND RETAINING WALLS (SECTION 14-16-3-9)
- APPROVAL AUTHORITY FOR FUTURE PHASES OF DEVELOPMENT IS DELEGATED TO DRB.
- BUILDING FOOTPRINT SHALL COMPLY WITH FUTURE ADDITIONS AS SHOWN ON THIS SITE PLAN AS APPROVED BY THE EPC.
- ELEVATIONS SHALL BE COMPLIMENTARY TO THE EXISTING BUILDING IN STYLE, PROPORTIONS, MATERIALS AND COLORS.
- FUTURE ADDITIONS MUST COMPLY WITH THE COORS CORRIDOR PLAN DESIGN GUIDELINES.
- ALL TREES WILL BE PLANTED AT A MINIMUM HEIGHT OF 8 FT.
- ALL TREES PLANTED ALONG THE NORTHERN BOUNDARY WILL REACH A MINIMUM HEIGHT OF 25 FT. AT MATURITY.

NOTES:

- SETBACKS
 - THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FT. FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
 - NEAR RESIDENTIAL ZONES, THE FOLLOWING GREATER SETBACK REQUIREMENTS SHALL APPLY.
 - THERE SHALL BE FRONT OR CORNER SIDE SETBACKS OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON- AND OFF-PREMISE SIGNS.
 - THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ABUTS THE SIDE OF A LOT IN A RESIDENTIAL ZONE.
 - THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE.
 - THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.

MONUMENT "STA RM48-88" STANDARD N.M.S.H.C. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) N=372,548.25 E=1,514,836.11 ELEV.=2918.922 FT(892.1030) CORNER TO CORN=59927254 DELTA ALPHA=-07444

BOSQUE MEADOWS SUBDIVISION



LEGAL DESCRIPTION:
TRACTS 1-A-1, OF ALBAN HILLS SUBDIVISION

SITE DATA

PROPOSED USAGE: SU-1 R2 & CHURCH RELATED USES

LOT AREA: 16.2619 ACRE

BUILDING AREA: PROPOSED 133,276 SF - BUILDING FOOTPRINT: PROPOSED 87,284 SF

BUILDING AREA: FUTURE 13,460 SF - BUILDING FOOTPRINT: FUTURE 11,600 SF

BUILDING AREA: TOTAL 146,736 SF - BUILDING FOOTPRINT: TOTAL 98,884 SF

SEATING CAPACITY: WORSHIP 2000

PARKING

WORSHIP 2000 SEATS/4 = 500 SPACES
EDUCATION 40 EMPLOYEES = 40 SPACES
OFFICE 11,344 S.F./200 = 57 SPACES (NOT OCCUPIED DURING SERVICES.)
FELLOWSHIP 250 OCCUPANTS/4 = 63 SPACES (NOT OCCUPIED DURING SERVICES.)

PARKING PROVIDED: 905 SPACES
PARKING REQUIRED: 540 SPACES

HC PARKING PROVIDED: 20 SPACES
HC PARKING REQUIRED: 16 SPACES
3 SPACES VAN ACCESSIBLE

BIKE PARKING PROVIDED: 30 SPACES
PARKING REQUIRED: 27 SPACES BIKE

PROJECT NUMBER: 1002371

APPLICATION NUMBER: 05-00560

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

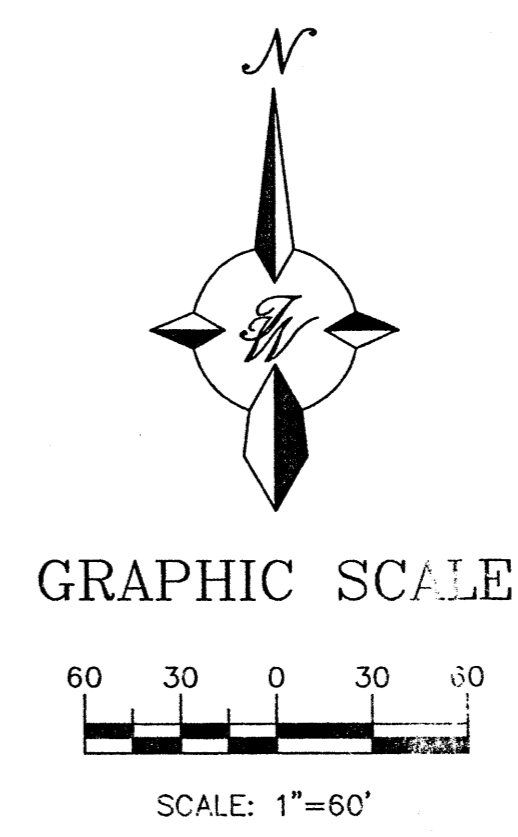
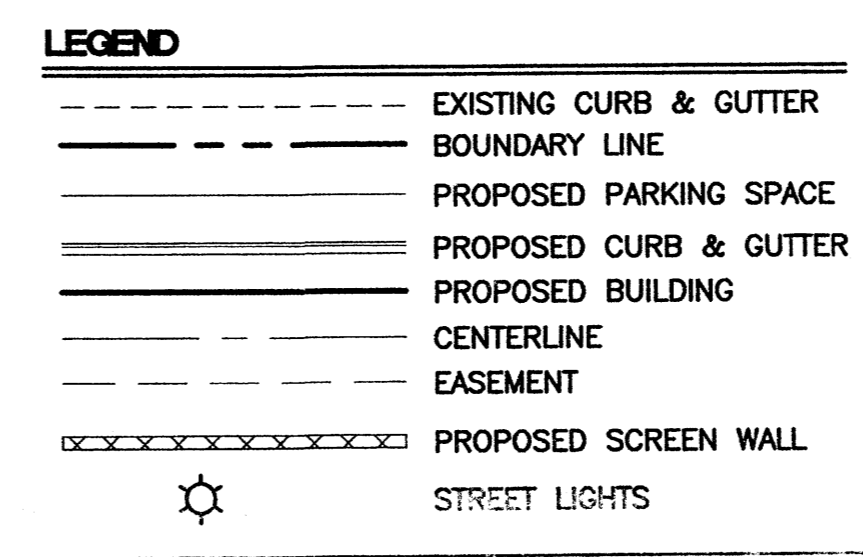
<i>[Signature]</i> Traffic Engineer, Transportation Division	4-27-05 Date
<i>[Signature]</i> Water Utility Development	4-27-05 Date
<i>[Signature]</i> Parks & Recreation Department	4/27/05 Date
<i>[Signature]</i> City Engineer	10/11/05 Date
N/A	
* Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	6-30-05 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	6/20/05 Date

* Environmental Health, if necessary

- INDEX TO DRAWINGS**
- SITE PLAN FOR BUILDING PERMIT
 - GRADING AND DRAINAGE PLAN
 - MASTER UTILITY PLAN
 - BUILDING AND STRUCTURE ELEVATIONS
 - BUILDING AND STRUCTURE ELEVATIONS
 - BUILDING AND STRUCTURE ELEVATIONS
 - DETAILS
 - LANDSCAPING PLAN
 - LANDSCAPING PLAN

TRACT	AREA (AC)	USE	ZONING	F.A.R.	LANDSCAPE AREA	MAX. BLDG. HEIGHT
1-A-1	16.28	CHURCH	SU-1 / R-2	.25	15% OF PAVED AREA	-

- NOTES:**
- APPROVAL AUTHORITY FOR FUTURE PHASES OF DEVELOPMENT IS DELEGATED TO THE DRB
 - BUILDING FOOTPRINT SHALL COMPLY WITH FUTURE ADDITIONS AS SHOWN ON THIS SITE PLAN AS APPROVED BY THE EPC.
 - ELEVATIONS SHALL BE COMPLIMENTARY TO THE EXISTING BUILDING IN STYLE, PROPORTIONS, MATERIALS AND COLORS.
 - FUTURE ADDITIONS MUST COMPLY WITH THE COORS CORRIDOR PLAN DESIGN GUIDELINES.
 - FUTURE ADDITIONS MUST COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE AND COORS CORRIDOR PLAN.



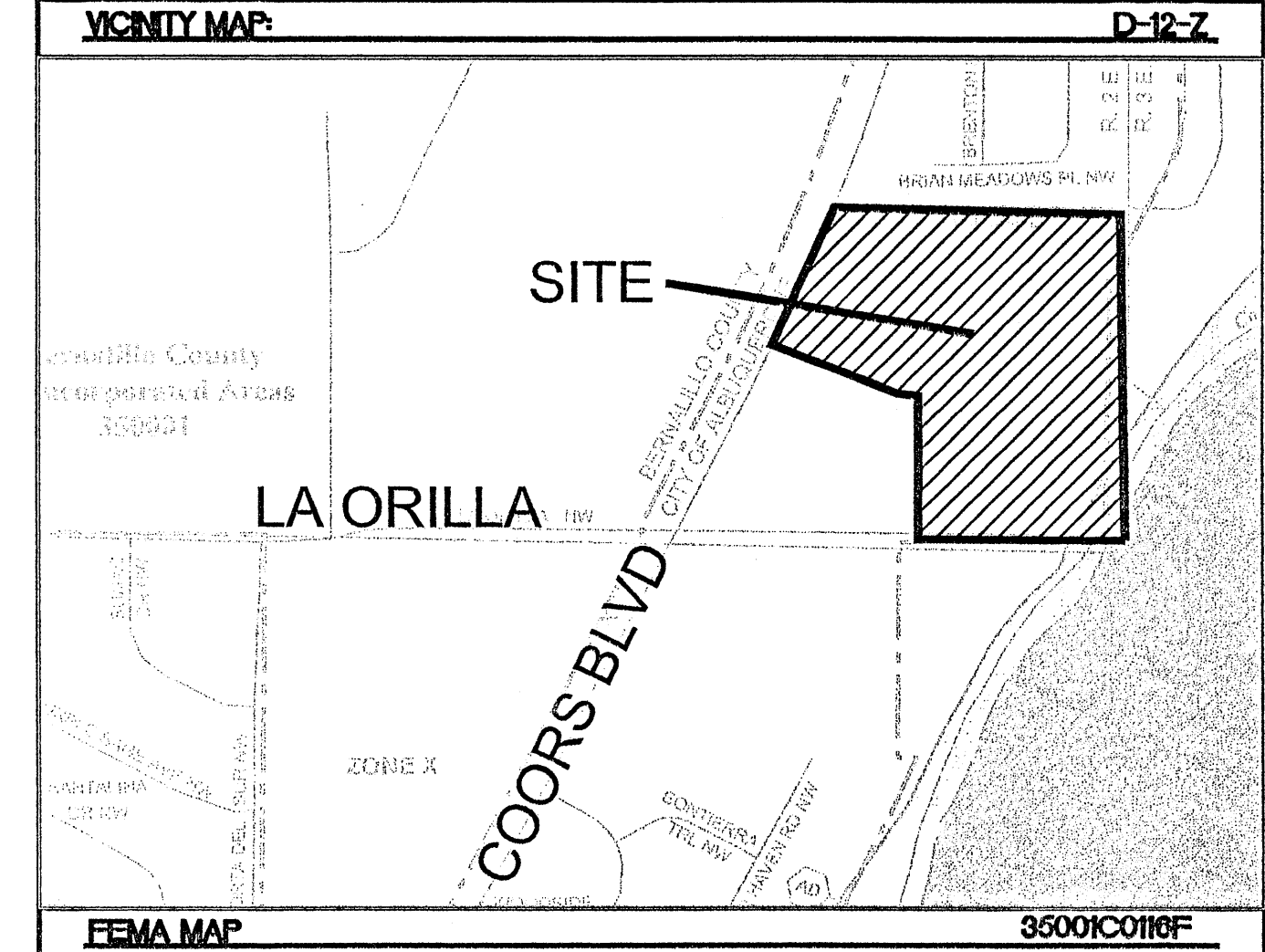
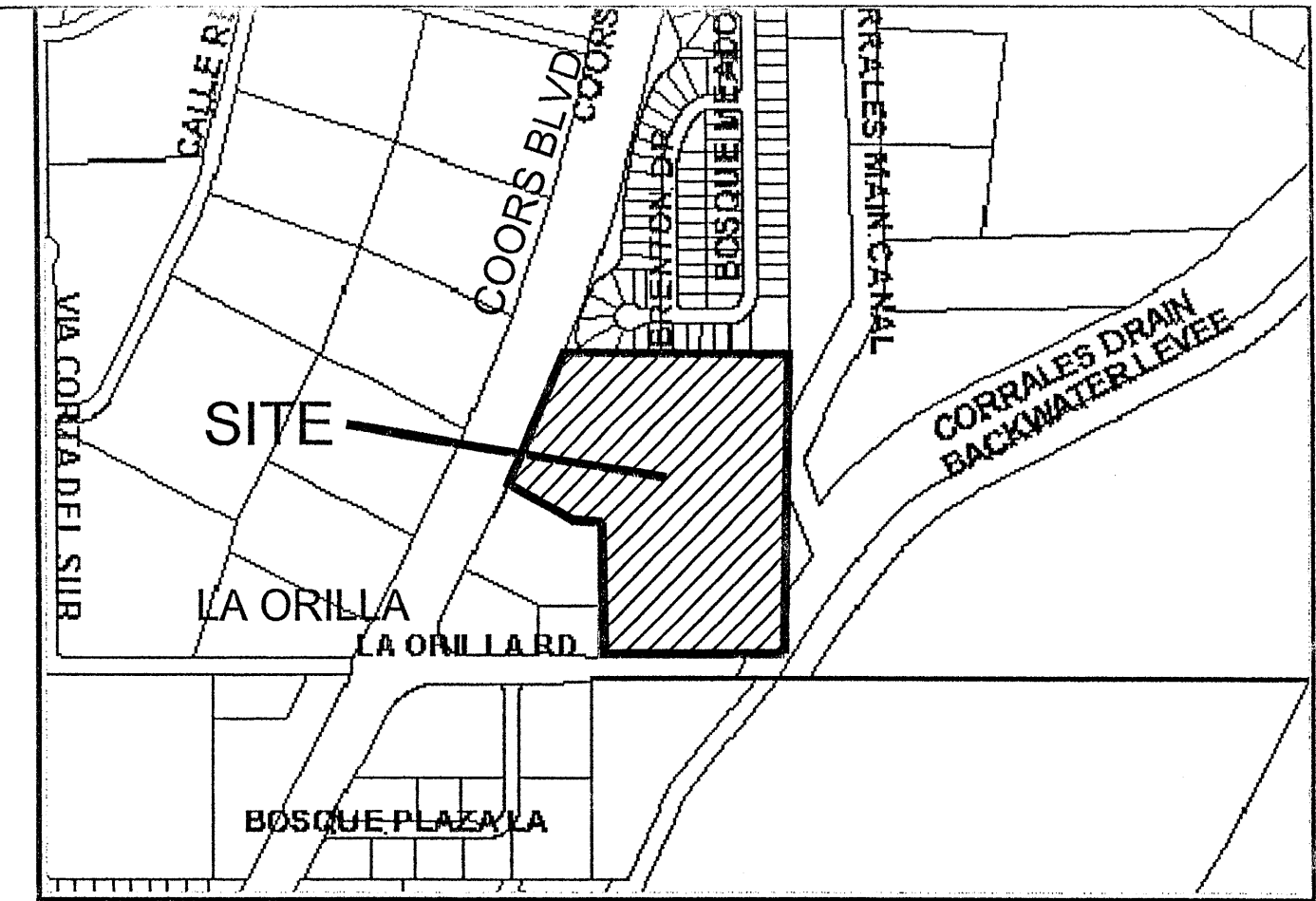
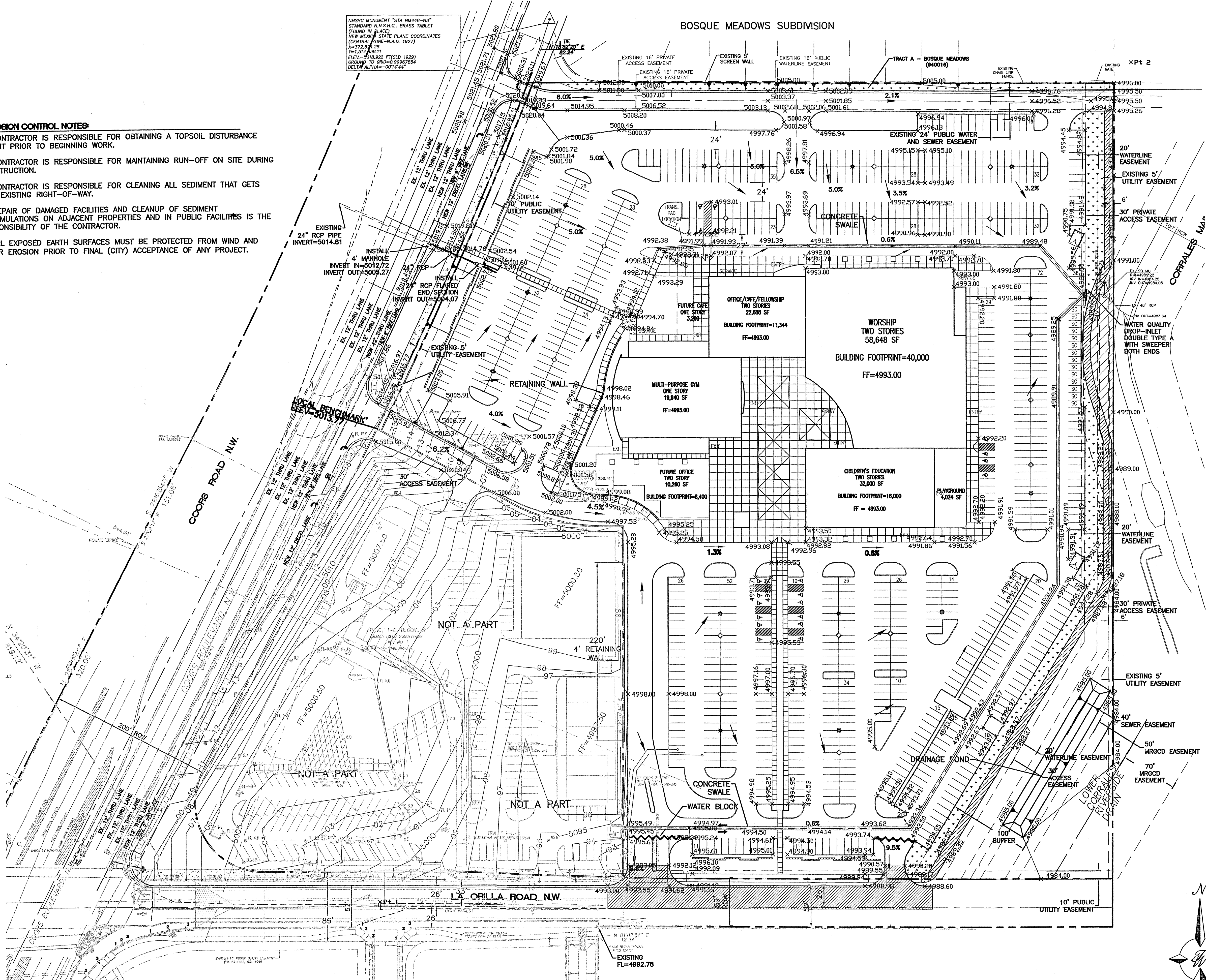
ENGINEER'S SEAL	HOFFMANTOWN WEST CHURCH	DRAWN BY: BJF
	SITE PLAN FOR BUILDING PERMIT	DATE: 06-20-05
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2380SPB-04-28-05x
RONALD R. BOHANNAN P.E. #7868		SHEET # C1
		JOB # 230080

PROJECT # 1002371

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

MAGIC MONUMENT "37A 11448-101" STANDARD N.M.S.L.C. BRASS TABLE (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=372,548.29
 Y=1,514,981.1
 ELEVATION=5082.72 (FIELD 1929)
 GROUND TO GRID=0.99987854
 DELTA ALPHA=0.01444"

BOSQUE MEADOWS SUBDIVISION



LEGAL DESCRIPTION:
 TRACTS 1-A, 1-B & 1-C OF ALBAN HILLS SUBDIVISION

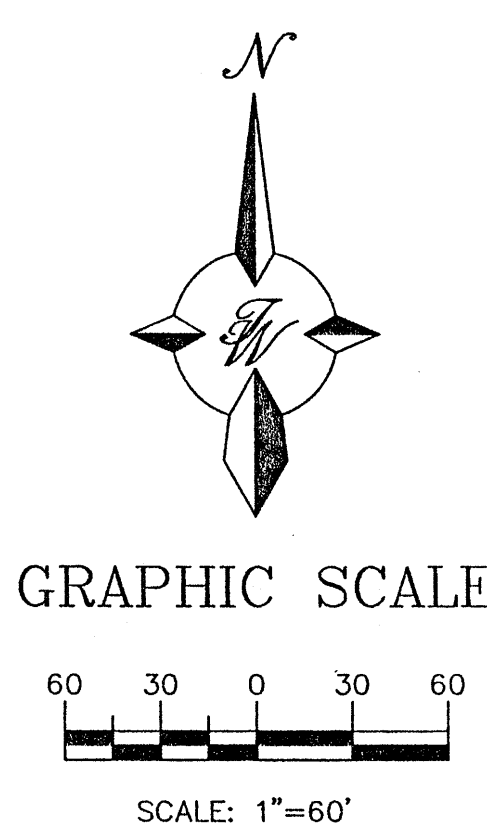
LEGEND

DESCRIPTION	LEGEND
EXISTING SAS MANHOLE	○
EXISTING SANITARY SEWER LINE	- - - - -
PROPOSED SANITARY SEWER LINE	— 6" SAS —
EXISTING VALVE W/BOX	⊗
EXISTING FIRE HYDRANT	⊕
EXISTING WATER LINE	- - - - -
PROPOSED METER	⊞
PROPOSED VALVE W/BOX	⊗
PROPOSED WATER LINE	— 8" WL —
PROPOSED HEADER CURB	— — — — —
PROPOSED CURB & GUTTER	— — — — —
BOUNDARY LINE	— — — — —
EASEMENT	- - - - -
PROPOSED SIDEWALK	▤ ▤ ▤ ▤ ▤
CENTERLINE	— — — — —

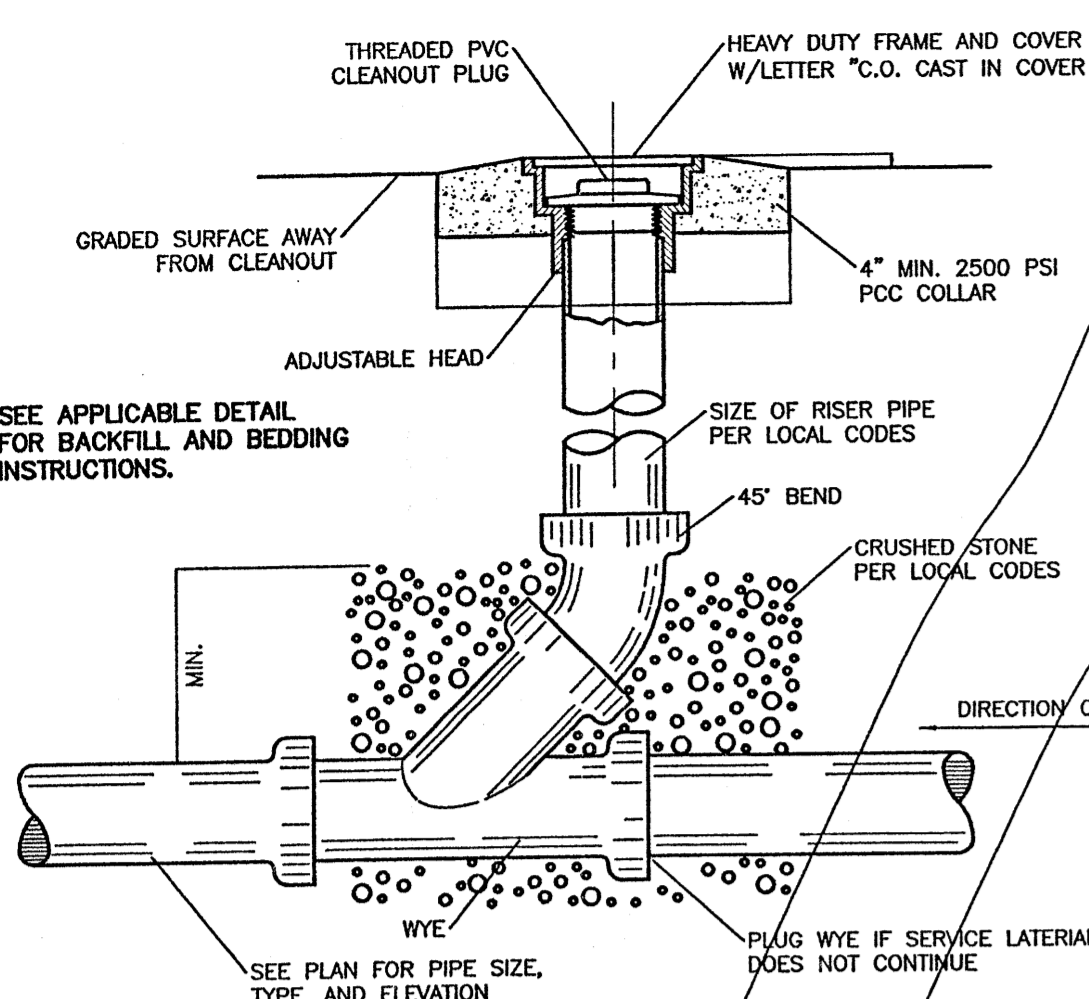
- NOTES:**
1. EXISTING TOPOGRAPHY SLOPES WEST TO EAST AT ABOUT 3%.
 2. PROPOSED GRADING FLOWS AROUND BUILDING SITE TO A DROP INLET ON THE EAST SIDE OF SITE AND INTO AN EXISTING STORM DRAIN MANHOLE.

Site Volume Table: Unadjusted

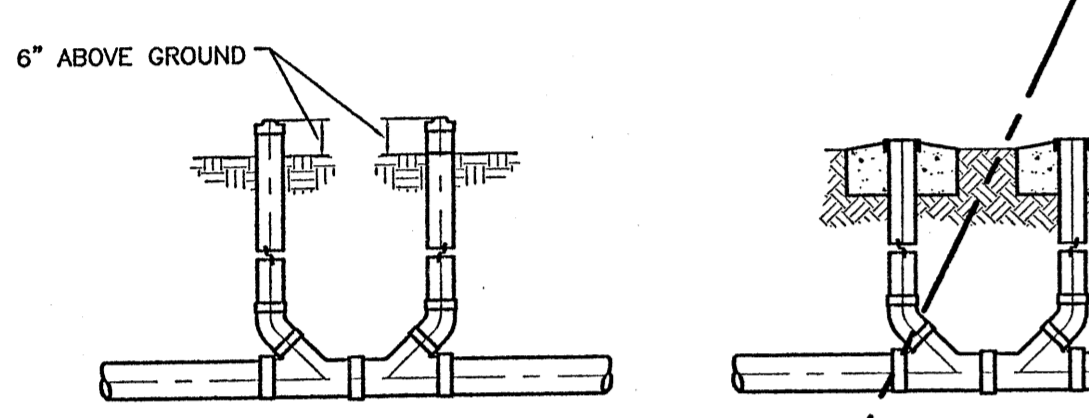
Site	Stratum	Surf1	Surf2	yards	yards	yards	Method
				Cut	Fill	Net	
Site1	stratum1	existing surface	proposed surface				
			70113		42751	27362 (C)	Grid
			70149		42911	27238 (C)	Composite
			70173		42949	27224 (C)	Prismoidal



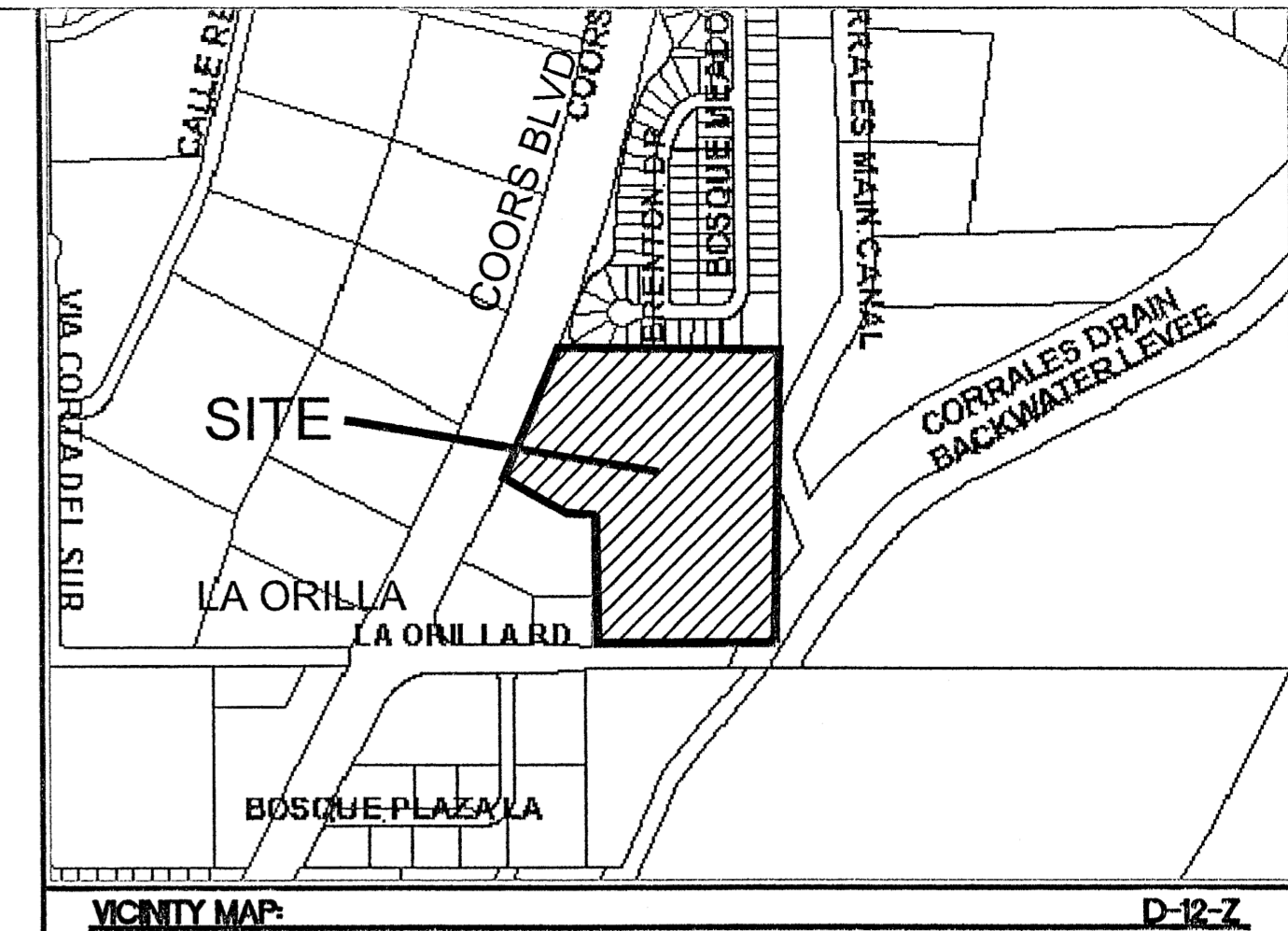
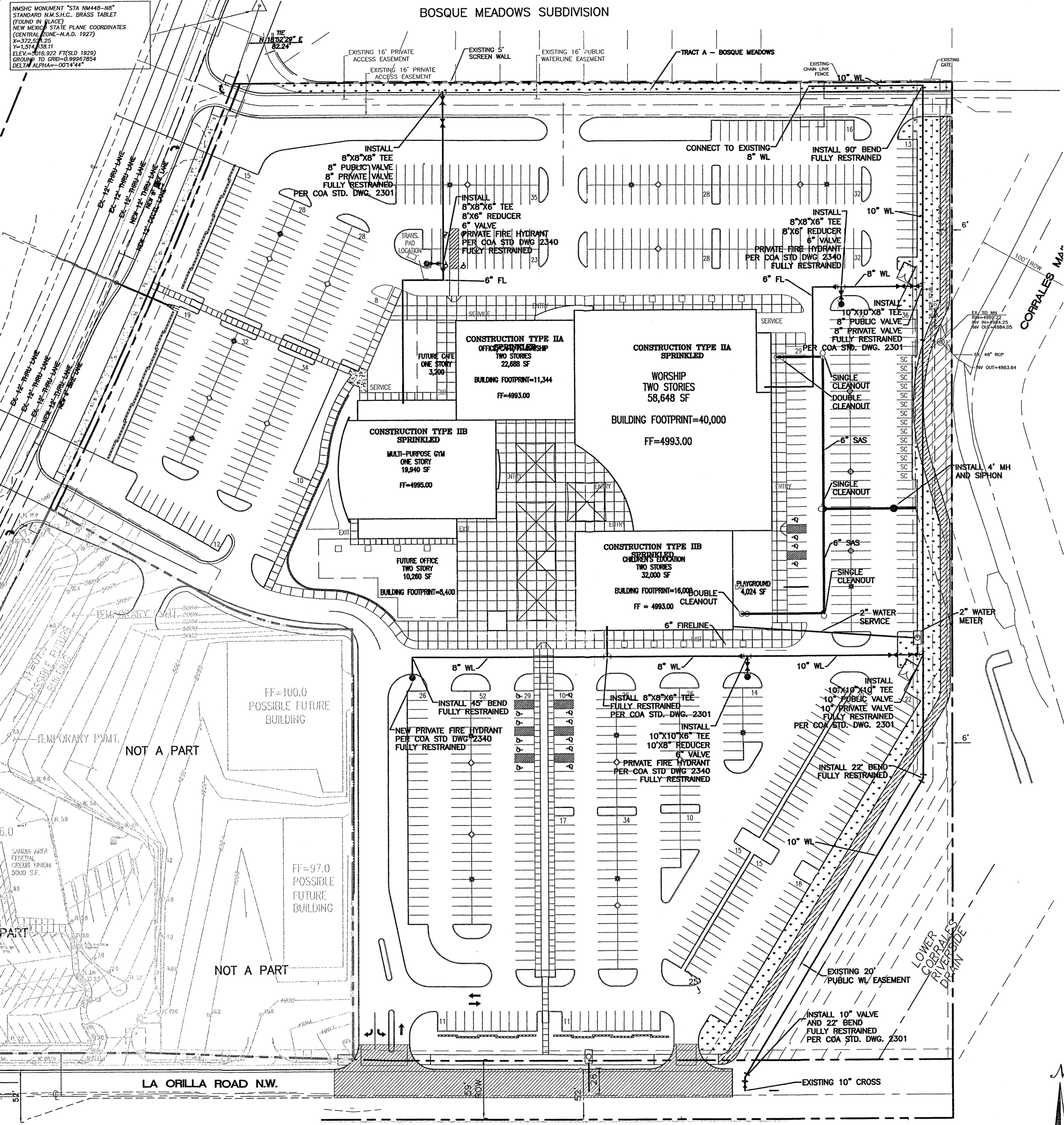
ENGINEER'S SEAL	HOFFMANTOWN WEST CHURCH	DRAWN BY BJF
	PRELIMINARY GRADING PLAN	DATE 06-20-05
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2380GRB-04-28-05x
		SHEET # C2
RONALD R. BOHANNAN P.E. #7868		JOB # 230080



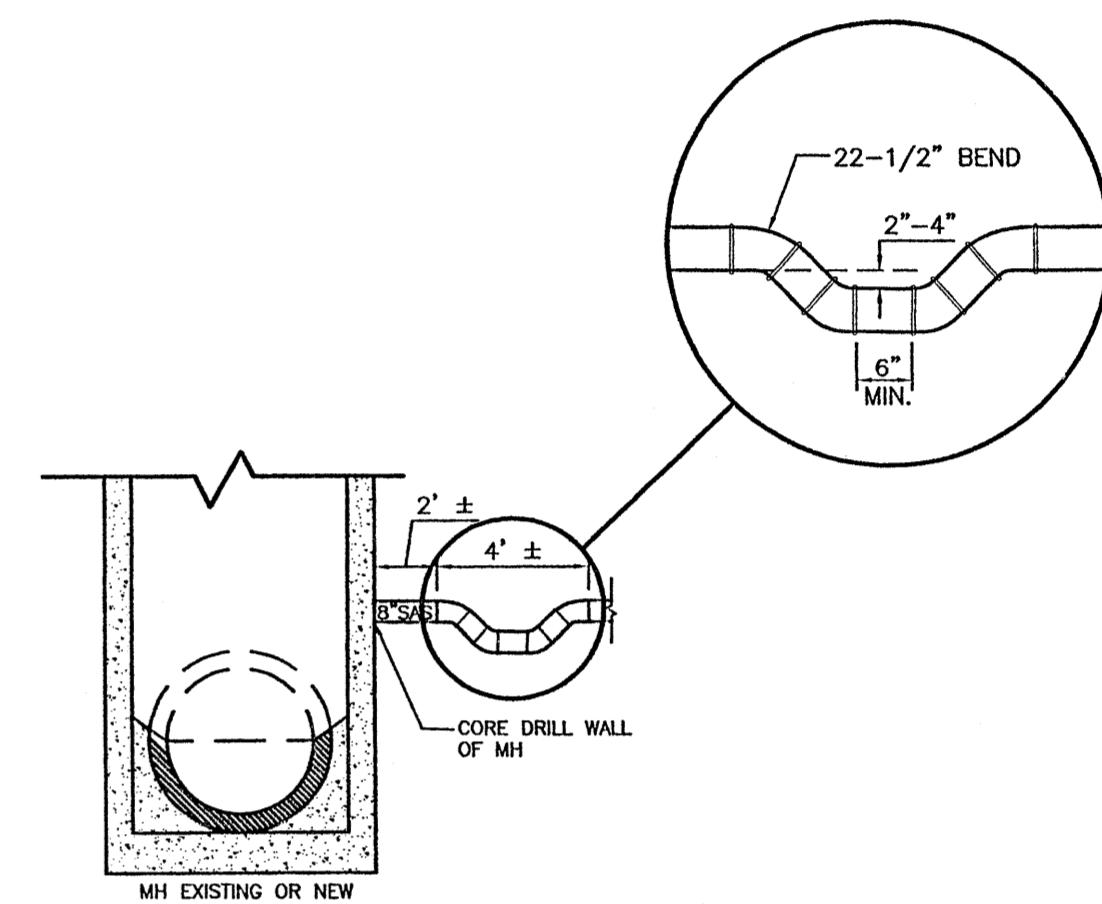
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

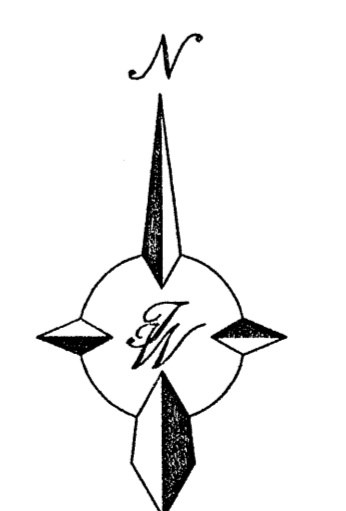


LEGAL DESCRIPTION:
TRACTS 1-A, 1-B & 1-C OF ALBAN HILLS SUBDIVISION

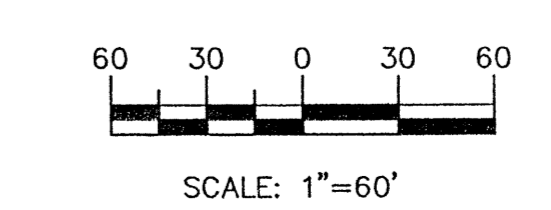


TYPICAL INVERTED SIPHON
NTS

LEGEND	DESCRIPTION
	EXISTING SAS MANHOLE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED WATER LINE
	PROPOSED HEADER CURB
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	CENTERLINE

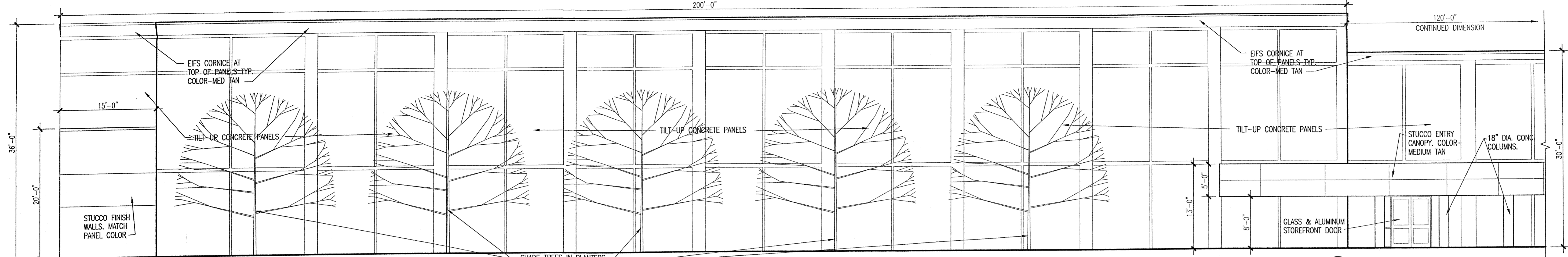


GRAPHIC SCALE

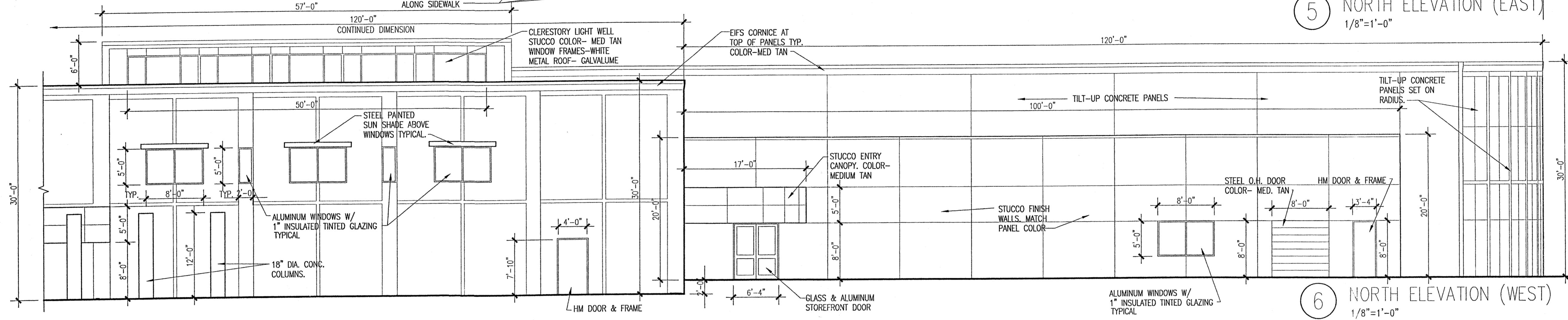


ENGINEER'S SEAL	HOFFMANTOWN WEST CHURCH	DRAWN BY B/JF
	MASTER UTILITY PLAN	DATE 06-20-05
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2380MUB-04-28-05A
		SHEET # C3
		JOB # 230080

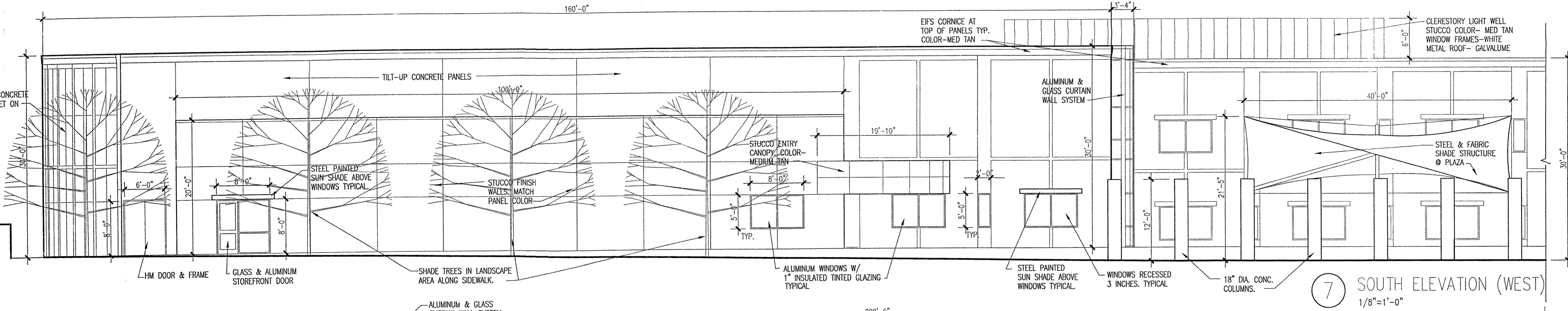
Z:\50003\230080\Drawings\2380MUB-04-28-05a.dwg, Master Utility Plan, 6/20/2005 8:17:38 AM



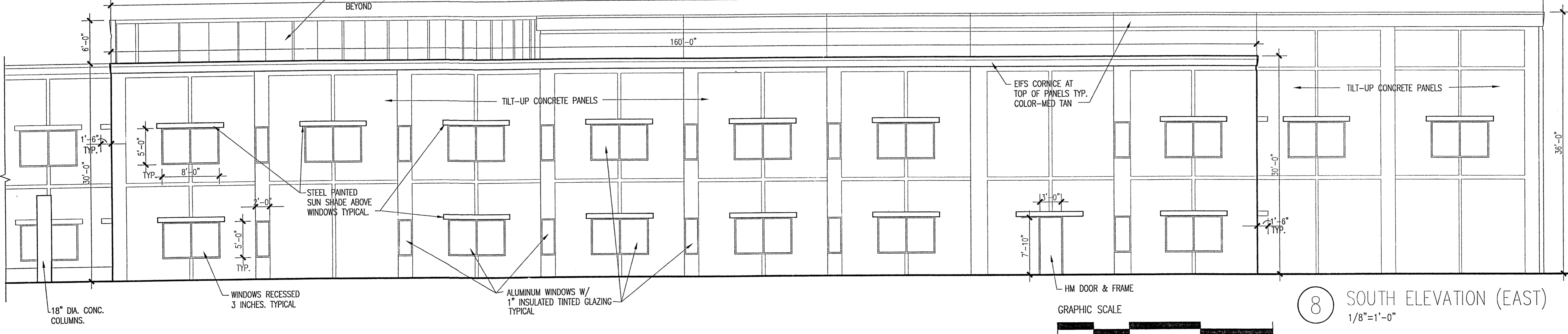
5 NORTH ELEVATION (EAST)
1/8"=1'-0"



6 NORTH ELEVATION (WEST)
1/8"=1'-0"



7 SOUTH ELEVATION (WEST)
1/8"=1'-0"



8 SOUTH ELEVATION (EAST)
1/8"=1'-0"

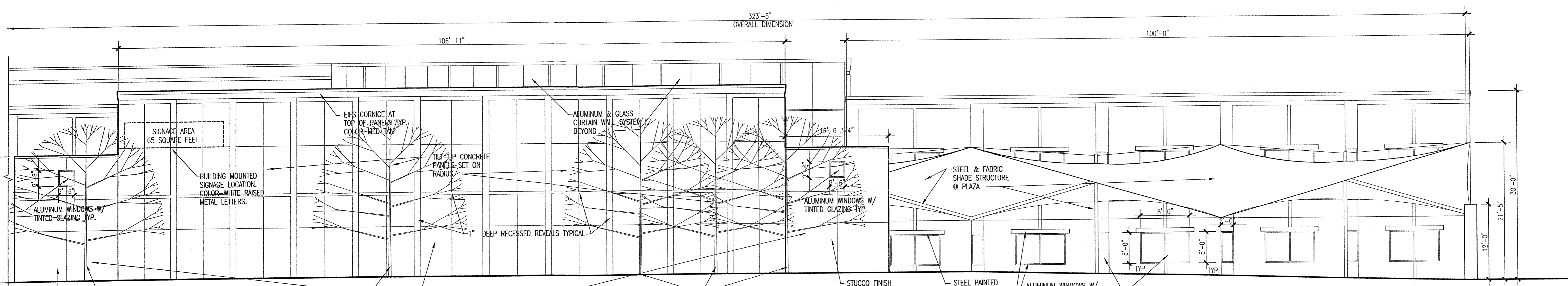


TATE FISHBURN
ARCHITECT
ASSOCIATE ARCHITECT:
RD HABIGER & ASSOCIATES, INC.
LITURGICAL DESIGN
ALBUQUERQUE
NEW MEXICO
87132
TEL: 505-821-3112 FAX: 505-821-5479
EMAIL: rdh@fishburn.com

ARCHITECT SEAL
ENGINEER SEAL

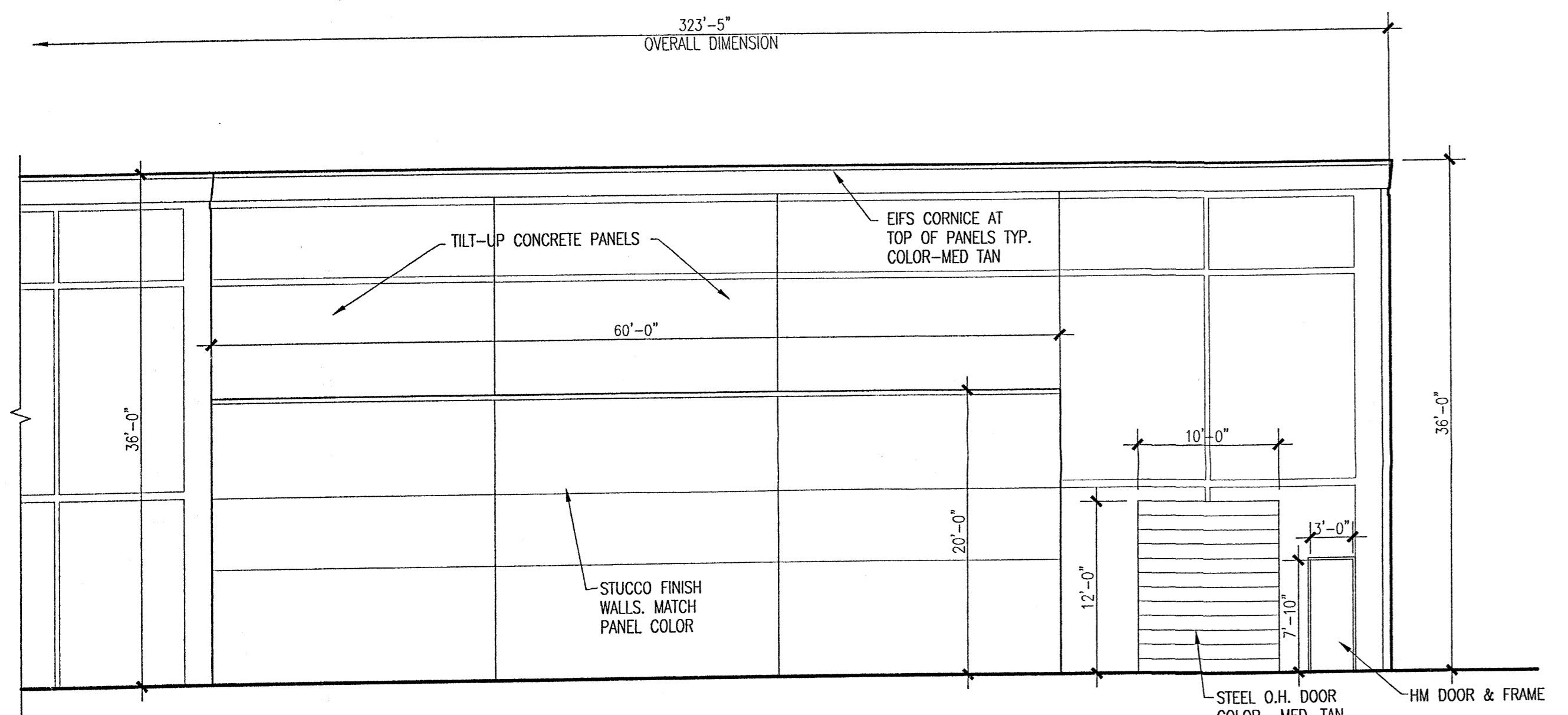
PROJECT
MASTER DEVELOPMENT PLAN
HOFFMANTOWN WEST
COORS BOULEVARD, N.W.
ALBUQUERQUE, NEW MEXICO

REVISIONS
DATE: JUNE 20, 2005
NORTH SCALE: 1/8"=1'-0"
DRAWING NAME: SCHEMATIC ELEVATIONS
SHEET NUMBER: C4

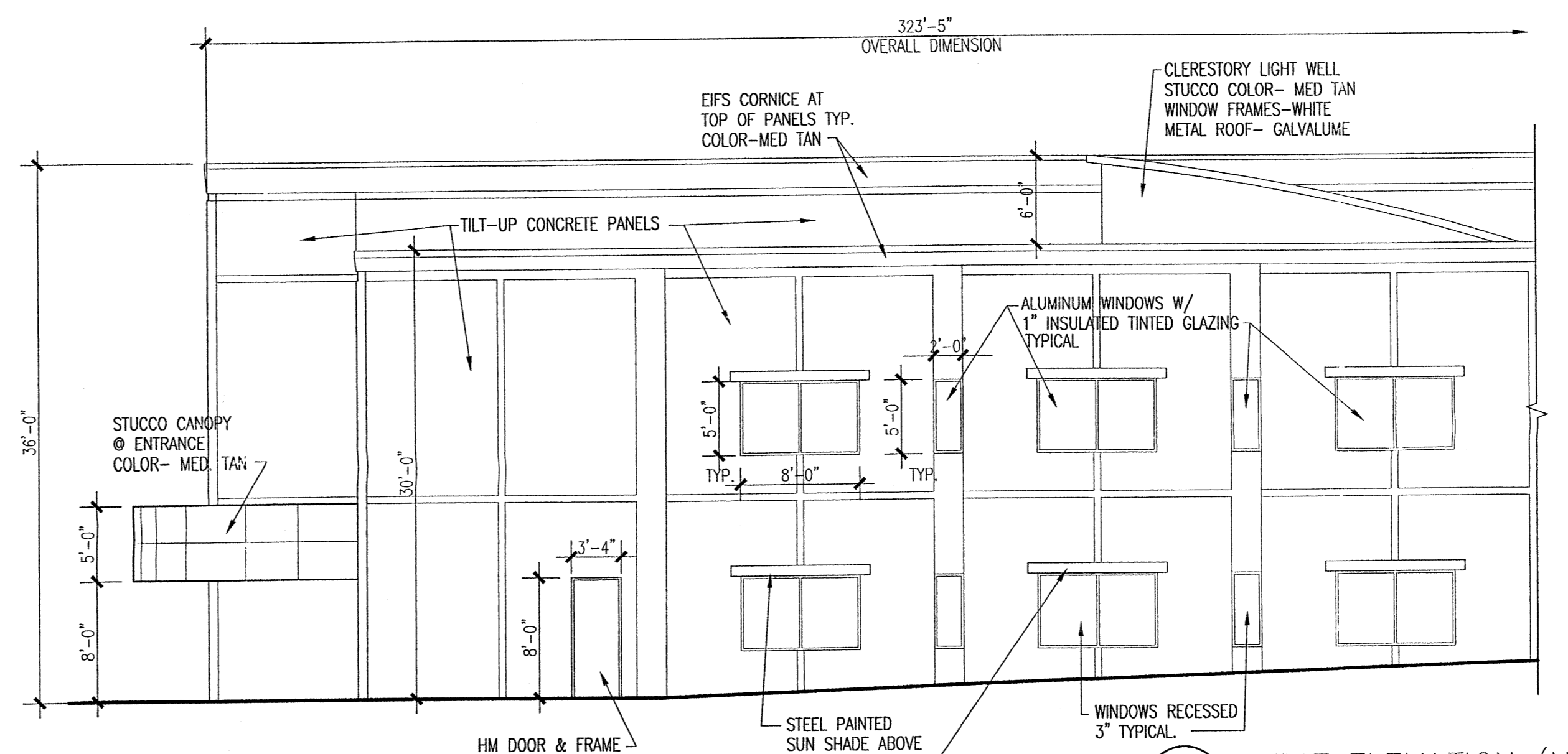


① WEST ELEVATION (SOUTH)
1/8"=1'-0"

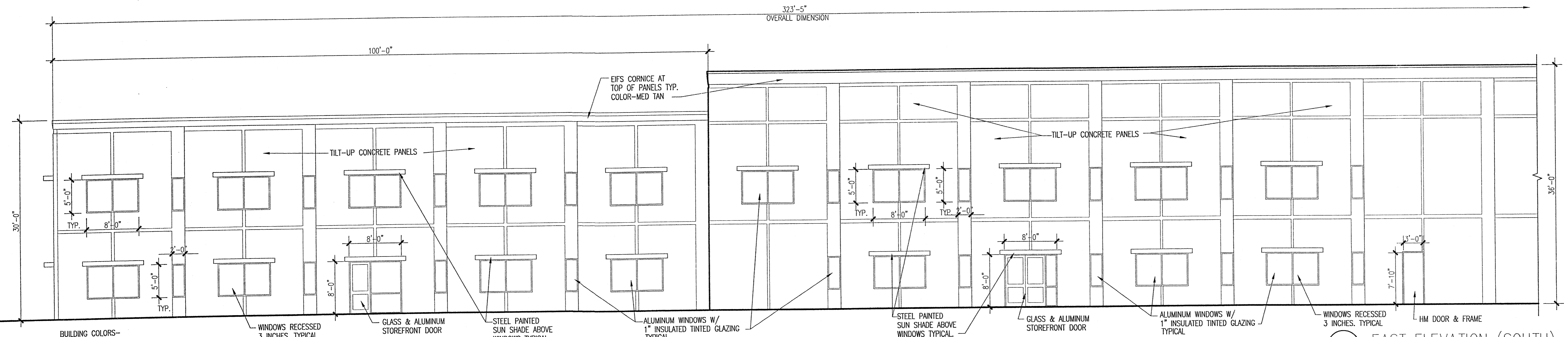
ENGINEER SEAL



③ EAST ELEVATION (NORTH)
1/8"=1'-0"

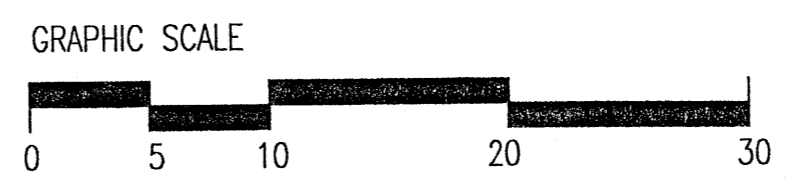


② WEST ELEVATION (NORTH)
1/8"=1'-0"



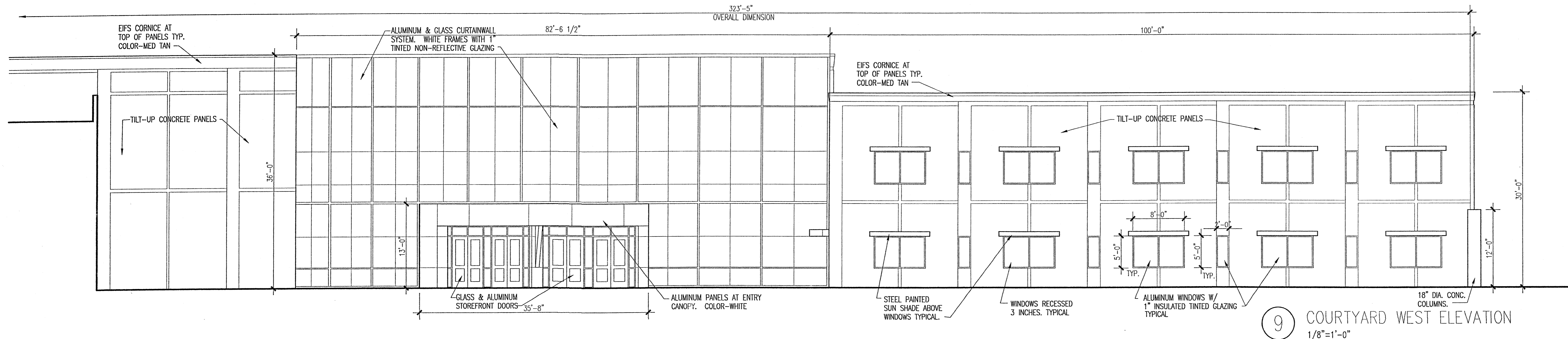
④ EAST ELEVATION (SOUTH)
1/8"=1'-0"

BUILDING COLORS-
 FIELD COLOR- MEDIUM TAN
 RECESSED REVEAL COLOR- DARK TAN
 WINDOW FRAMES- WHITE
 STEEL SUN SHADES- WHITE
 STEEL & FABRIC SHADE STRUCTURE- TAN FABRIC & WHITE STEEL
 HOLLOW METAL DOORS & FRAMES- MEDIUM TAN

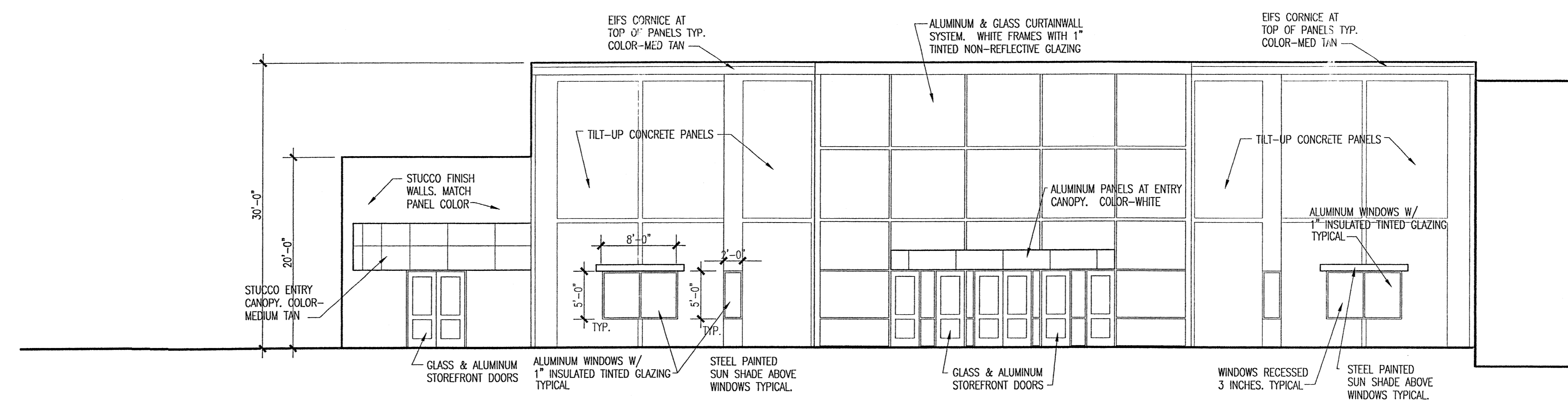


PROJECT
 MASTER DEVELOPMENT PLAN
 HOFFMANTOWN WEST
 COORS BOULEVARD, N.W.
 ALBUQUERQUE, NEW MEXICO

REVISIONS	
DATE	JUNE 20, 2005
NORTH	SCALE
	1/8"=1'-0"
DRAWING NAME	
SCHEMATIC ELEVATIONS	
SHEET NUMBER	
C5	

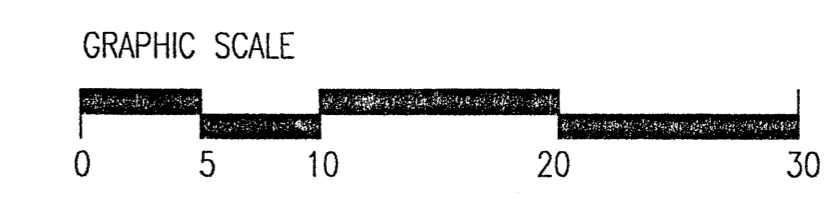


9 COURTYARD WEST ELEVATION
1/8"=1'-0"



10 COURTYARD EAST ELEVATION
1/8"=1'-0"

BUILDING COLORS—
FIELD COLOR— MEDIUM TAN
RECESSED REVEAL COLOR— DARK TAN
WINDOW FRAMES— WHITE
STEEL SUN SHADES— WHITE
STEEL & FABRIC SHADE STRUCTURE— TAN FABRIC & WHITE STEEL
HOLLOW METAL DOORS & FRAMES— MEDIUM TAN

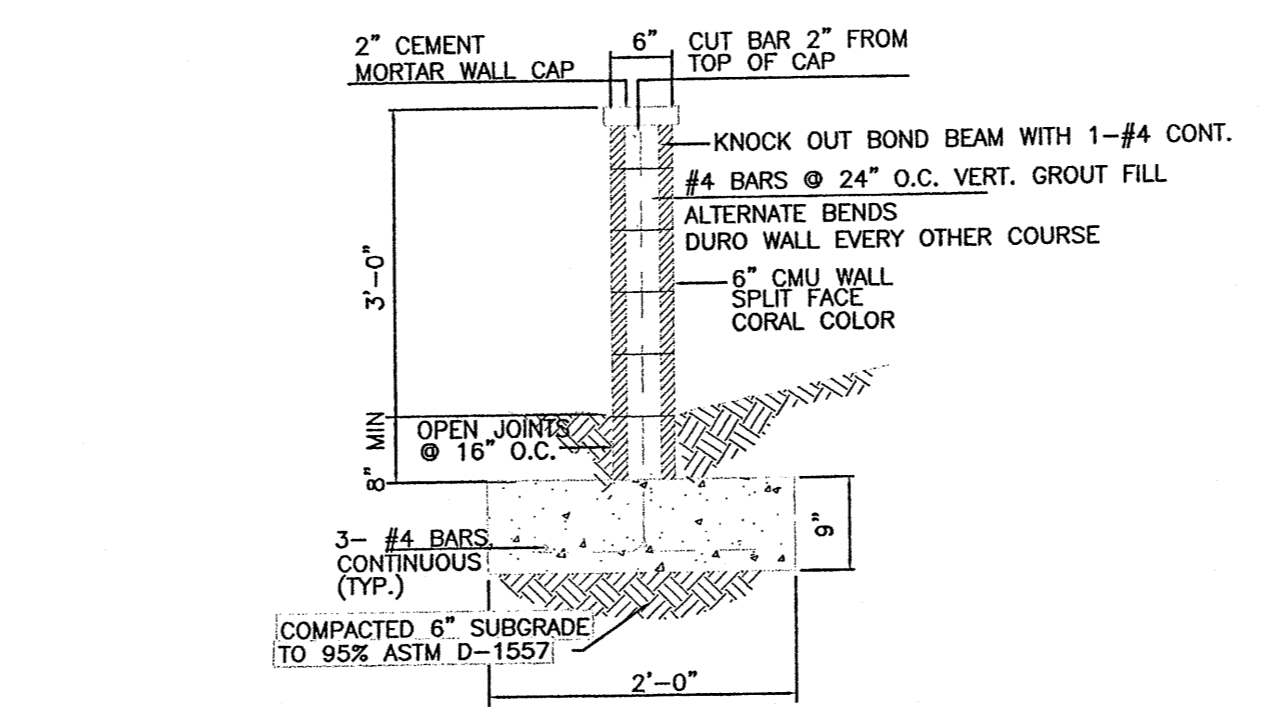
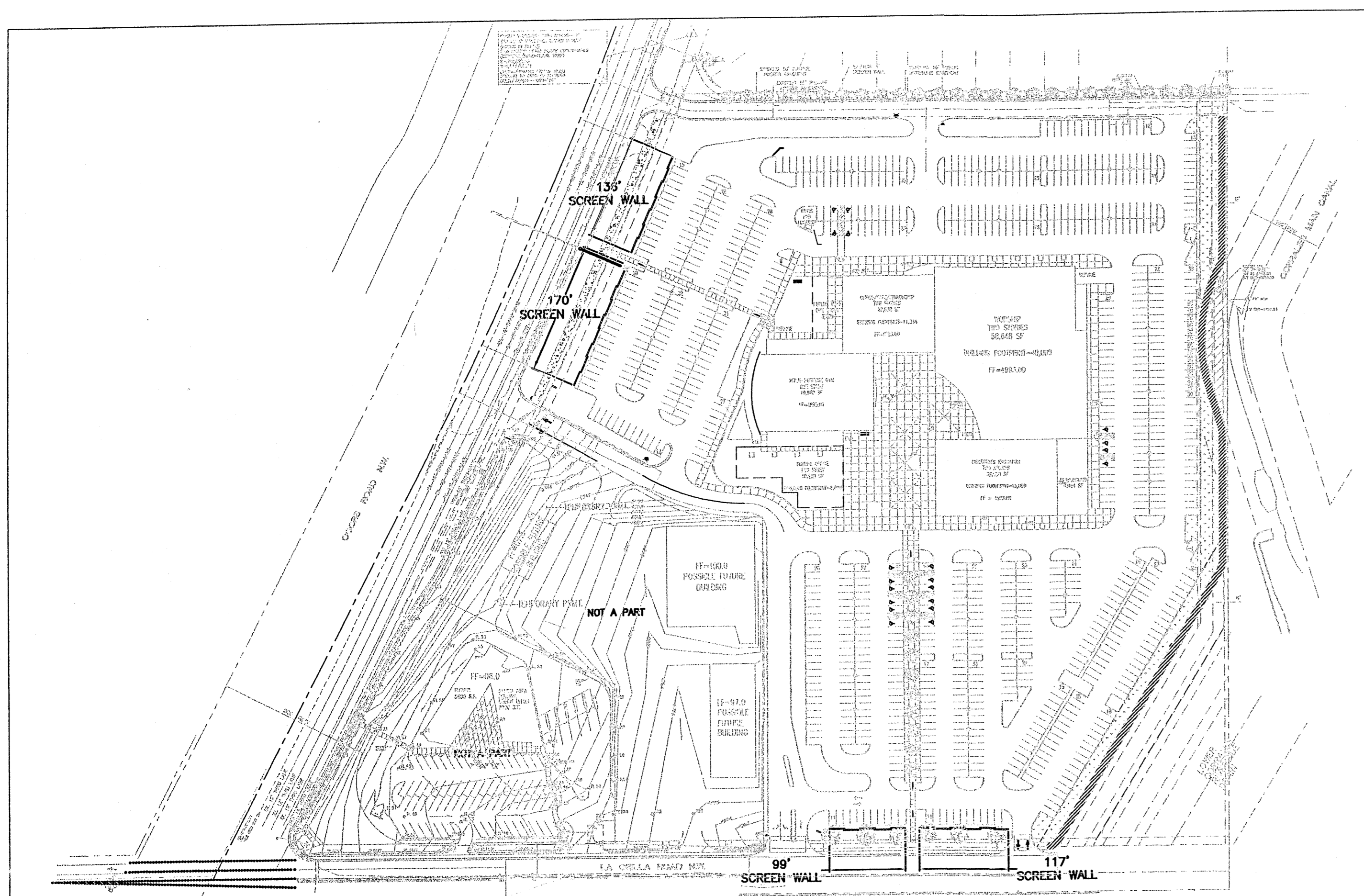


T A T E F I S H B U R N
A R C H I T E C T
ASSOCIATE ARCHITECT:
RD HABIGER & ASSOCIATES, INC.
ARCHITECTURAL DESIGN
ALBUQUERQUE
NEW MEXICO
TEL: 505-821-3479 FAX: 505-821-3479
EMAIL: rhab@rhadga.com

ARCHITECT SEAL
ENGINEER SEAL

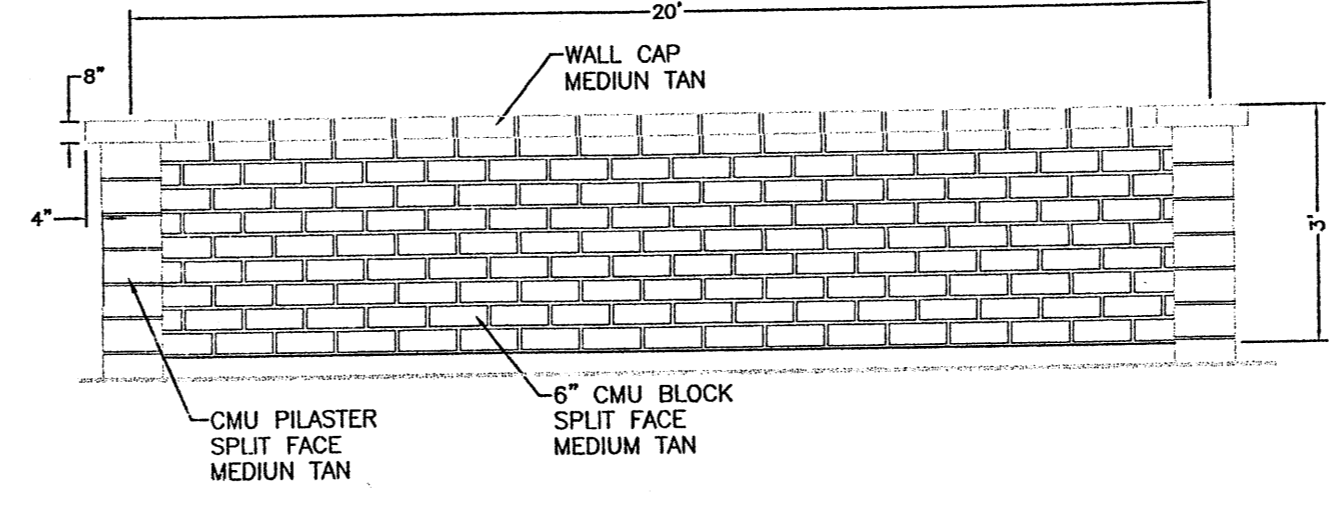
PROJECT
MASTER DEVELOPMENT PLAN
HOFFMANTOWN WEST
COORS BOULEVARD, N.W.
ALBUQUERQUE, NEW MEXICO

REVISIONS
DATE JUNE 20, 2005
NORTH SCALE 1/8"=1'-0"
DRAWING NAME SCHEMATIC ELEVATIONS
SHEET NUMBER C6

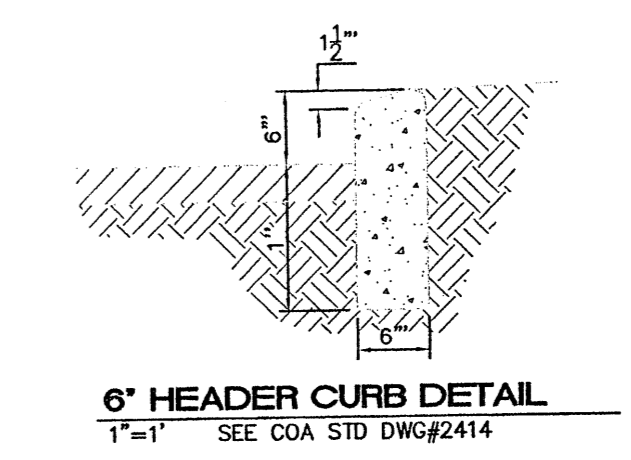


3' PERIMETER WALL SECTION
NTS

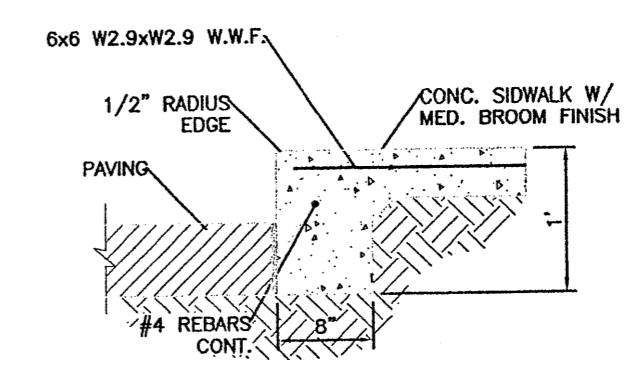
NOTE:
WALL CAP AND PILASTERS WILL PROJECT A MIN. OF 2" ON THE STREET SIDE.



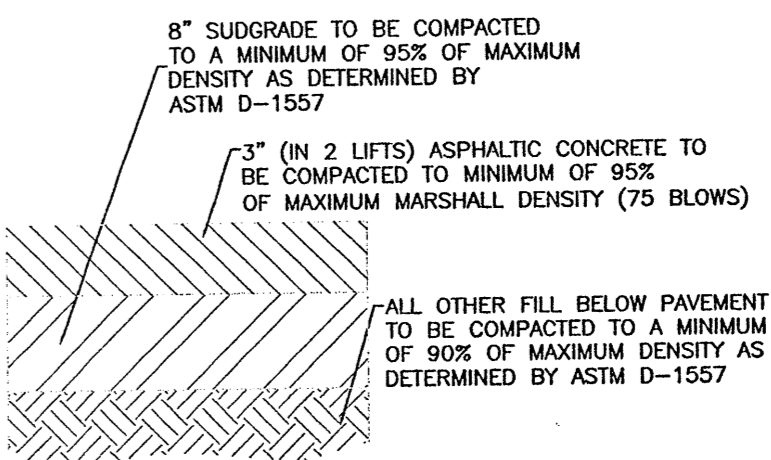
3' SCREEN WALL
NTS



6' HEADER CURB DETAIL
1" = 1'-0" SEE COA STD DWG#2414



DETAIL-TURNDOWN CURB
1" = 1'-0" SEE COA STD DWG#2415



AUTOMOBILE PARKING TYPICAL PAVING SECTION
DESIGNATED BY -

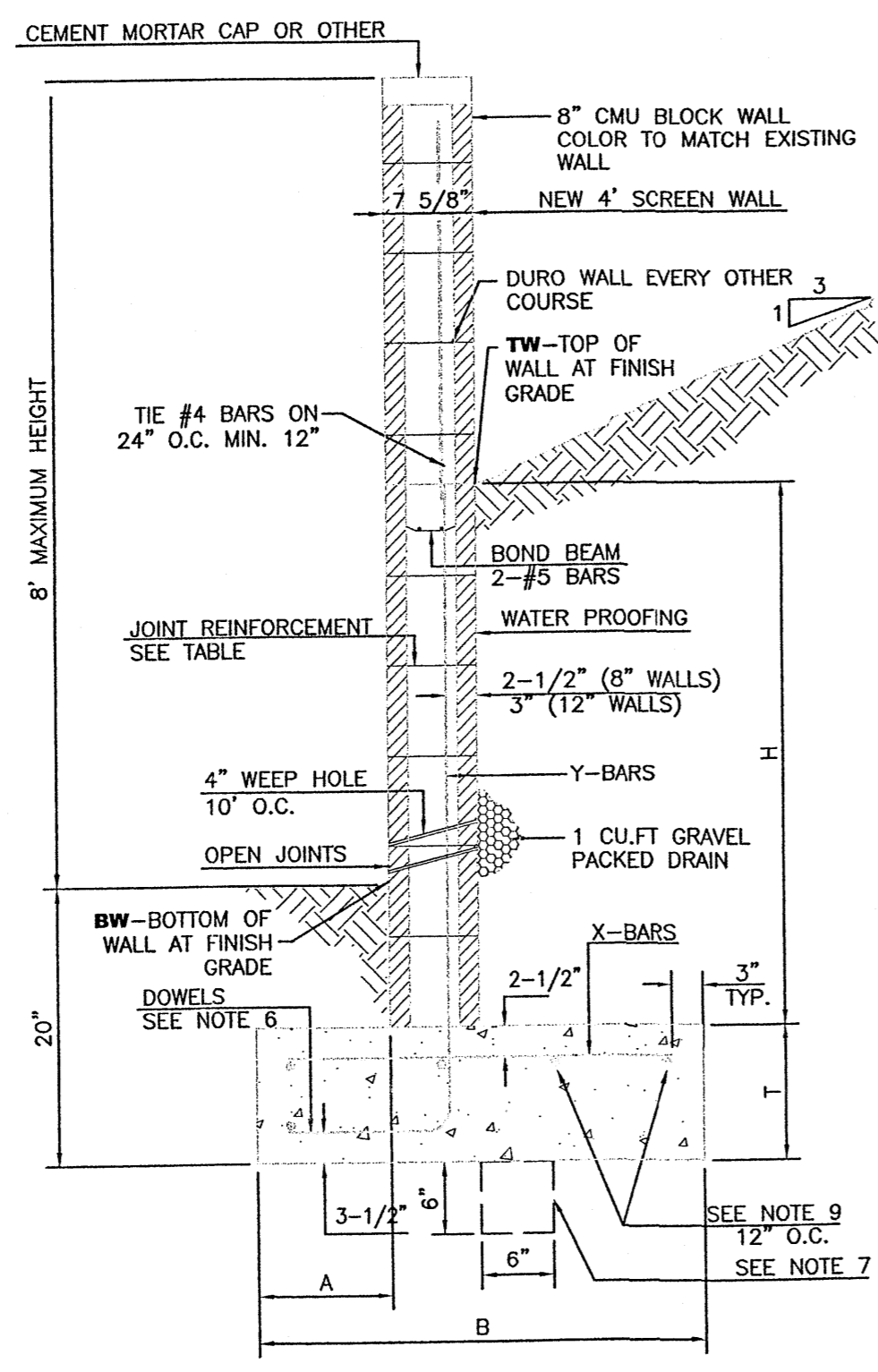
8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#6 @32" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

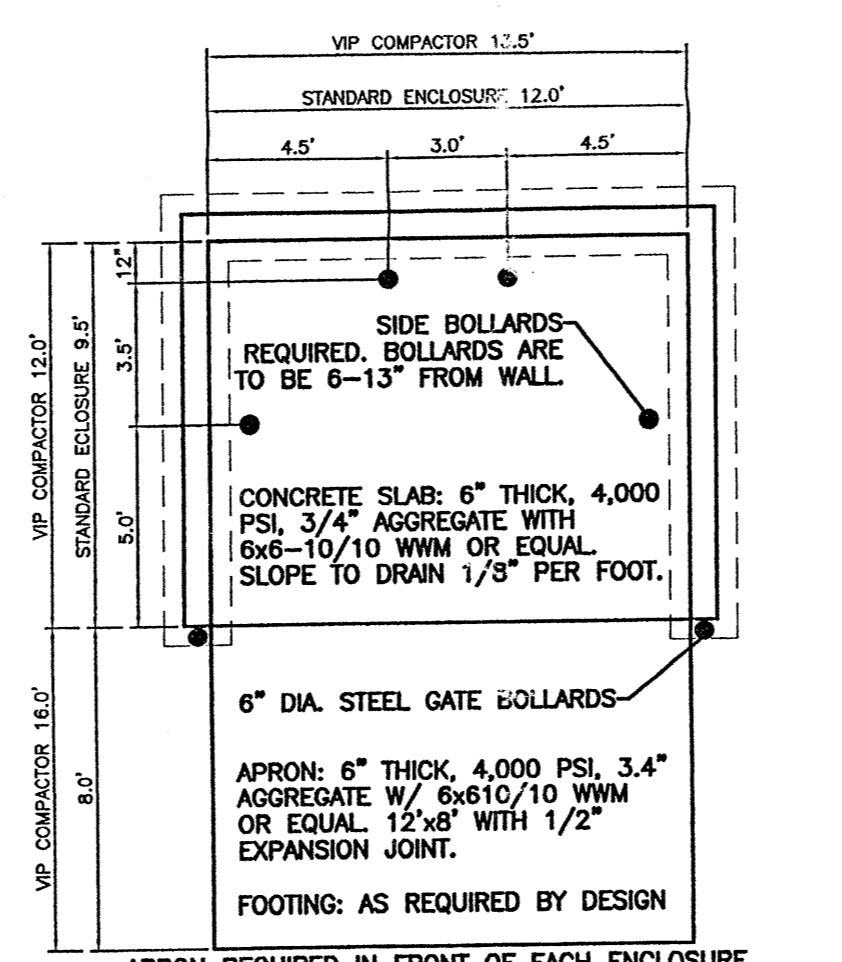
12 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

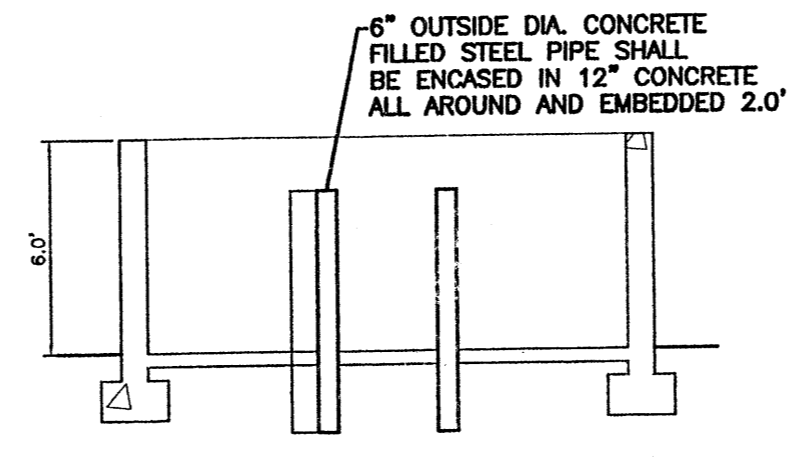
- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DURO-WALL EVERY OTHER COURSE. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT.
 - #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8"
 - #4 BARS TO BE USED ON WALLS EXCEEDING 2'-8"
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



RETAINING WALL DETAIL



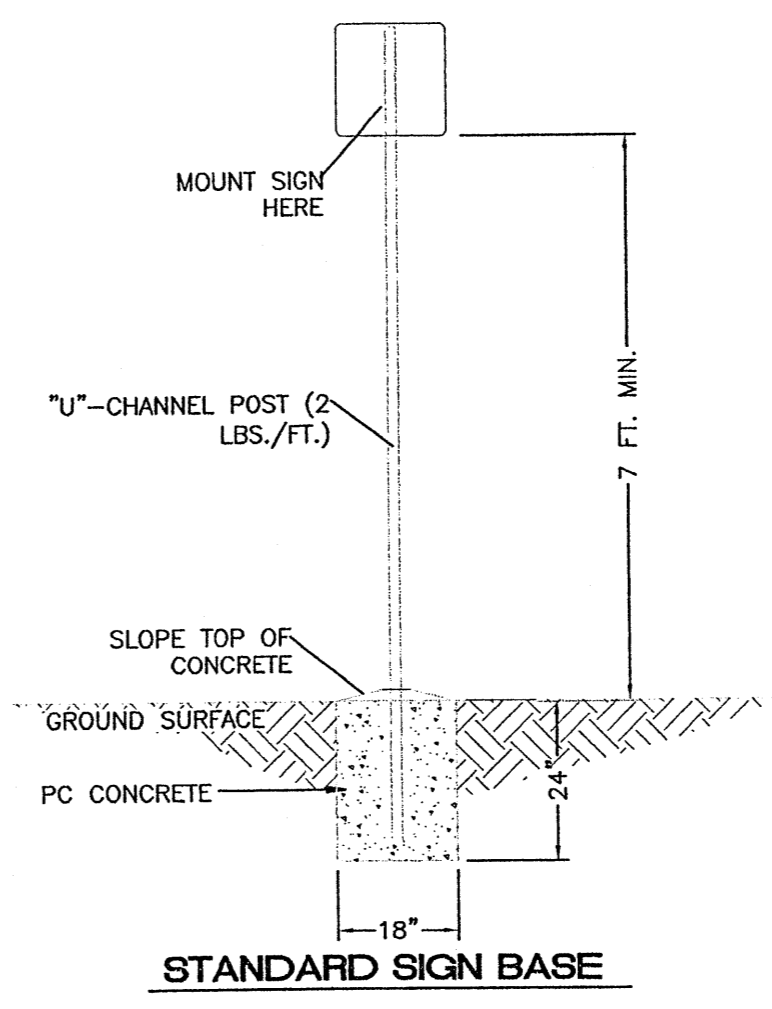
DUMPSTER ENCLOSURE DETAIL
NTS



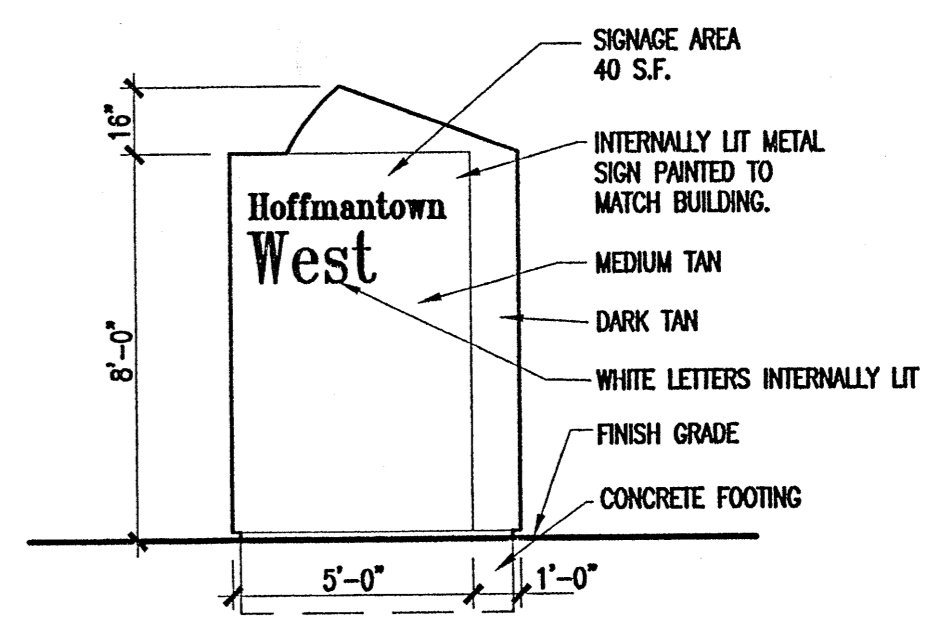
DUMPSTER ENCLOSURE ELEVATION
NTS

PUBLIC PARKING AREA

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



STANDARD SIGN BASE



MONUMENT SIGN
1/4" = 1'-0"

ENGINEER'S SEAL	HOFFMANTOWN WEST CHURCH DETAIL SHEET	DRAWN BY B/JF
		DATE 06-20-05
		2380-Details
		SHEET # C7
		JOB # 230080

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

LANDSCAPE CALCULATIONS

PHASE 1

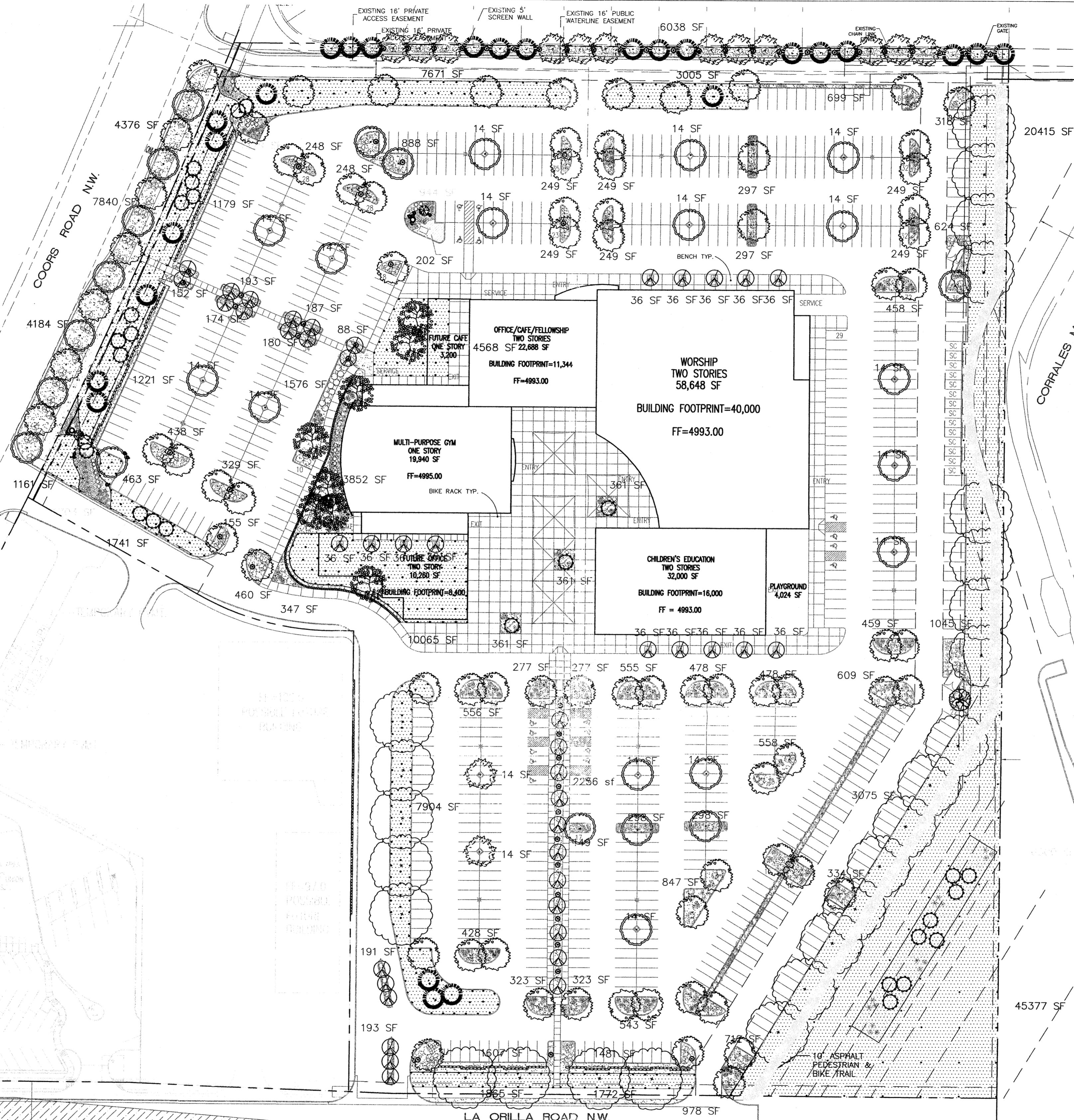
TOTAL LOT AREA	16.37 AC	713133	square feet
TOTAL BUILDINGS AREA		87284	square feet
NET LOT AREA		625849	square feet
LANDSCAPE REQUIREMENT		15%	
TOTAL LANDSCAPE REQUIREMENT		93878	square feet
TOTAL BED PROVIDED		55225	square feet
GROUND COVER REQ.		75%	square feet
TOTAL GROUND COVER REQUIREMENT		41418	square feet
TOTAL GROUND COVER PROVIDED		41538	square feet

TOTAL IRRIG. BUFFALO SEED AREA		114567	square feet
TOTAL PONDING BASIN		6300	square feet
TOTAL LANDSCAPE PROVIDED		176092	square feet

LANDSCAPE CALCULATIONS

PHASE 2

TOTAL BUILDINGS AREA		11600	square feet
TOTAL LANDSCAPE PROVIDED		164492	square feet



PLANT LEGEND

TREES

- ASH (H) 30
Fraxinus pennsylvanica
2" Cal.
- HONEY LOCUST (M) 79
Gleditsia triacanthos
2" Cal.
- COTTONWOOD (M+) 25
3"-4" Cal.
Populus fremontii
- FLOWERING PEAR (M+) 43
Pyrus calleryana
2" Cal.

- | | | | |
|------------|--|-----|--|
| Mature Ht. | | | |
| 60' | RIVER BIRCH (M) 8
Betula papyifera
2" Cal. | 60' | |
| 80' | AUSTRIAN PINE (M) 26
Pinus nigra
6"-8" | 35' | |
| 70' | REDBUD (M) 14
Cercis spp.
2" Cal. | 30' | |
| | CHITALPA (M) 1
Chilopsis X Catalpa
2" Cal. | 30' | |
| 25' | DESERT WILLOW (L) 27
Chilopsis linearis
15 Gal. 225 sf | | |

SHRUBS

- SILVERBERRY (M) 8
Elaeagnus pungens
5 Gal. 81sf
- BUTTERFLY BUSH (M) 9
Buddleia davidii
5 Gal. 81sf
- RED TIP PHOTINIA (M) 11
Photinia fraseri
5 Gal. 64sf
- INDIAN HAWTHORN (M) 6
Raphiolepis indica
5 Gal. 36sf
- NANDINA (M) 9
Nandina domestica
5 Gal. 25sf

DESERT ACCENTS

- RED YUCCA (L) 170
Hesperaloe parviflora
5 Gal. 9sf
- PRICKLY PEAR (L) 13
Opuntia macrocentra
9 sf
- AGAVE (L) 16
Agave spp.
16 sf
- OCOTILLO (L) 2
Fouquieria splendens

ORNAMENTAL GRASSES

- LANAS/ SCOTCH BROOM (M) 27
Cytisus scoparius/
Genista hispanica
5 Gal. 9sf
- MUGO PINE (M) 2
Pinus mugo
5 Gal. 36 sf
- ARP ROSEMARY (M) 56
Rosmarinus officianalis
2 Gal. 36sf
- POTENTILLA (M) 138
Potentilla fruticosa
2 Gal. 9sf
- CHAMISA (L) 141
Chrysothamnus nauseosus
1 Gal. 25sf
- MAIDENGRASS (M) 122
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 51
Muhlenbergia capillaris
5 Gal. 9sf
- THREADGRASS (M) 286
Stipa tenuissima
1 Gal. 4sf

VINES

- ENGLISH IVY (M) 13
Hedera helix
1 Gal. 25sf

GROUNDCOVERS

- HALL'S HONEYSUCKLE (M) 122
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- CREeping ROSEMARY (L) 186
Rosmarinus officianalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- GREYLEAF COTONEASTER (M) 16
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 1 plant

- IRRIGATED HYDRO-MULCHED BUFFALO SEED
- SANTA FE BROWN GRAVEL WITH FF
- OVERSIZED GRAVEL & 13 BOULDERS
- COMMERCIAL GRADE STEEL EDGE
- NATURAL EDGE

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Hydro-Mulched Buffalo Seed shall be placed in all landscape areas which are not designated to receive gravel.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

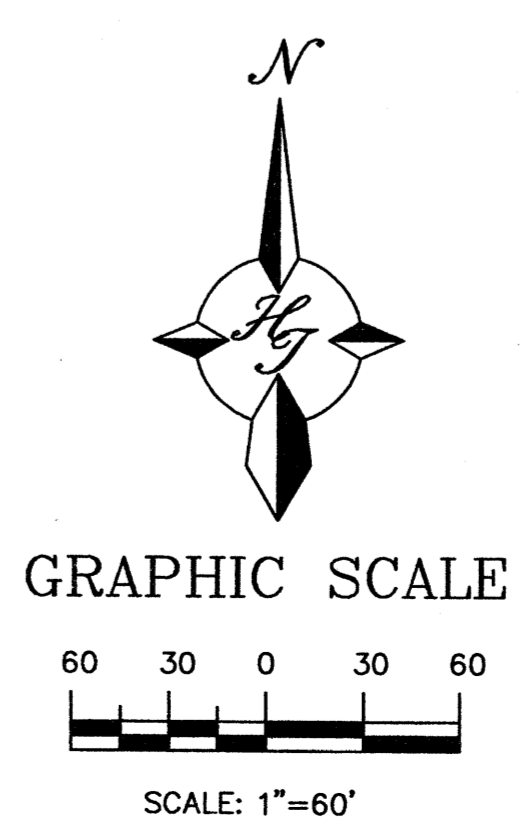
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Hydro-mulch Buffalo seed will be irrigated with sprinkler system as shown on sheet L2.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cnd@hilltoplandscaping.com


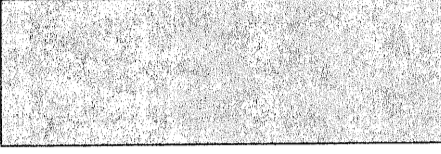
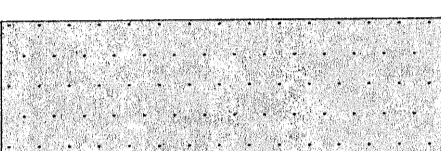
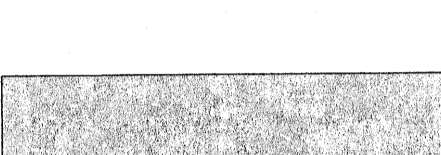
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reprinted or copied unless applicable fees have been paid or job order placed.

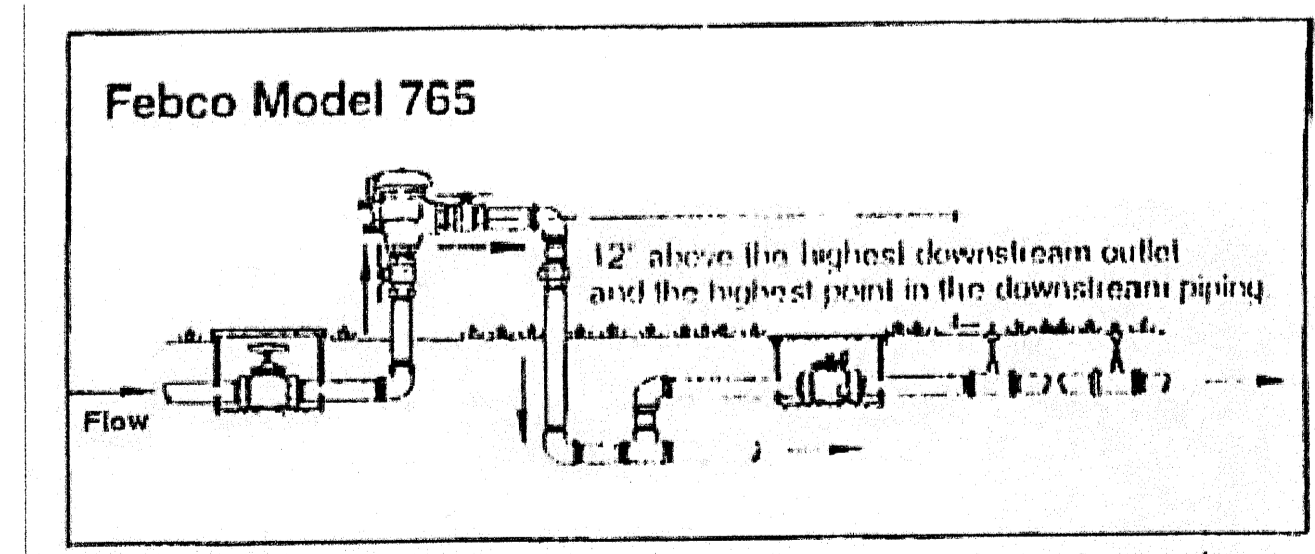
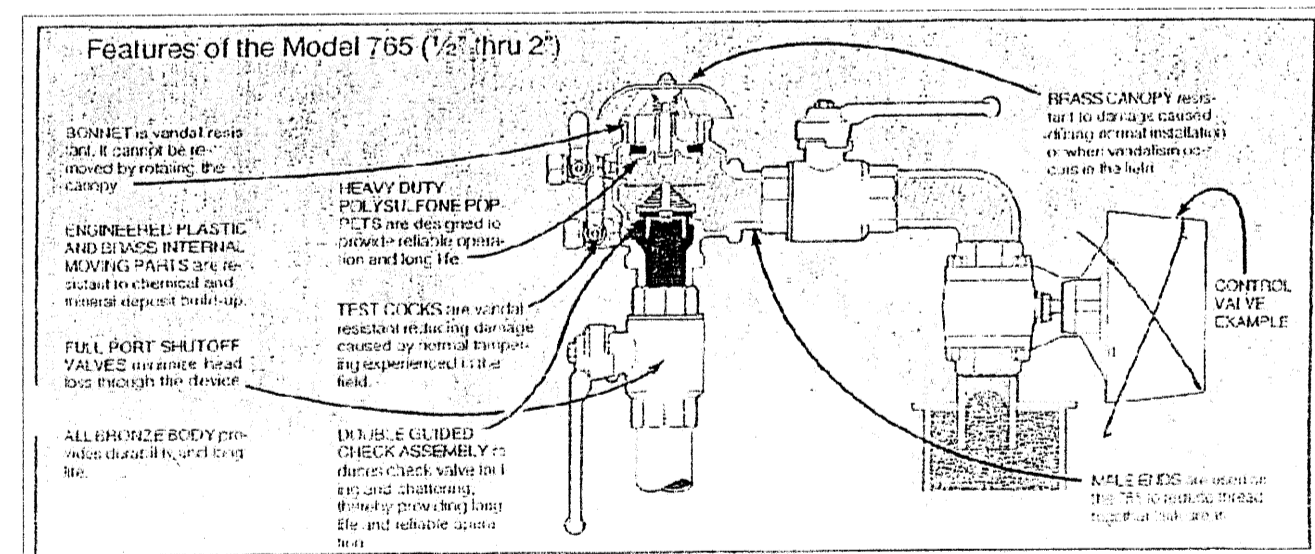
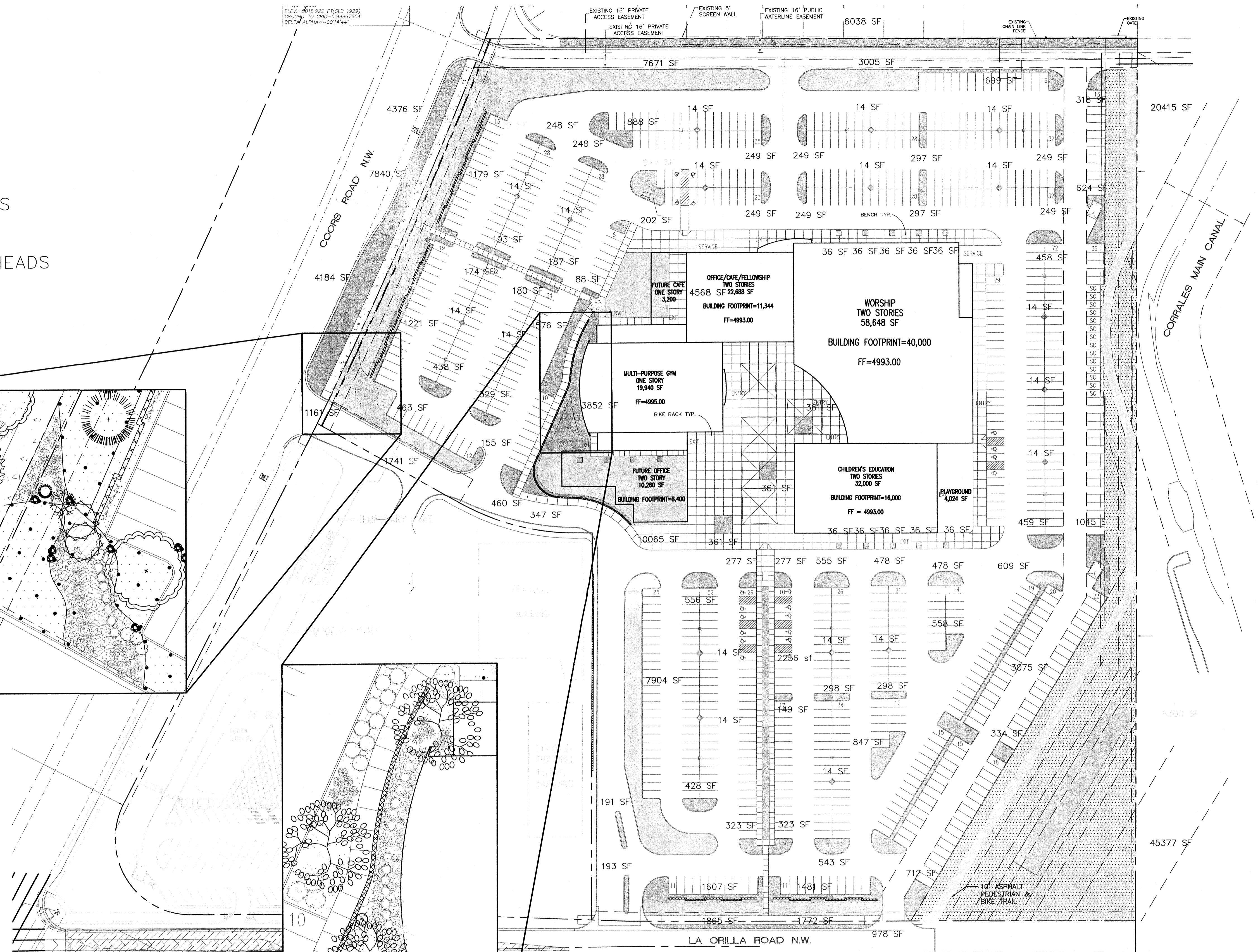
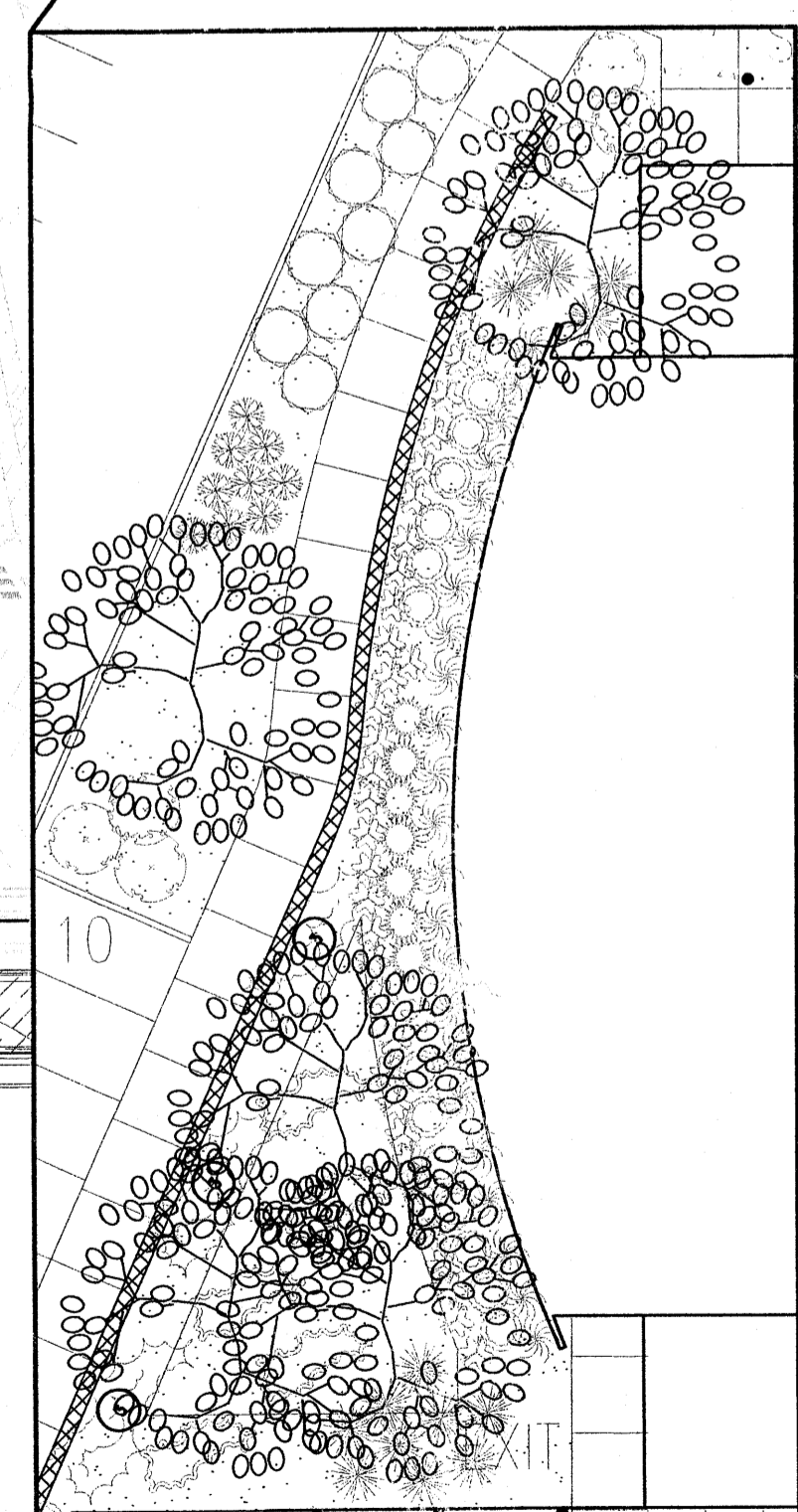
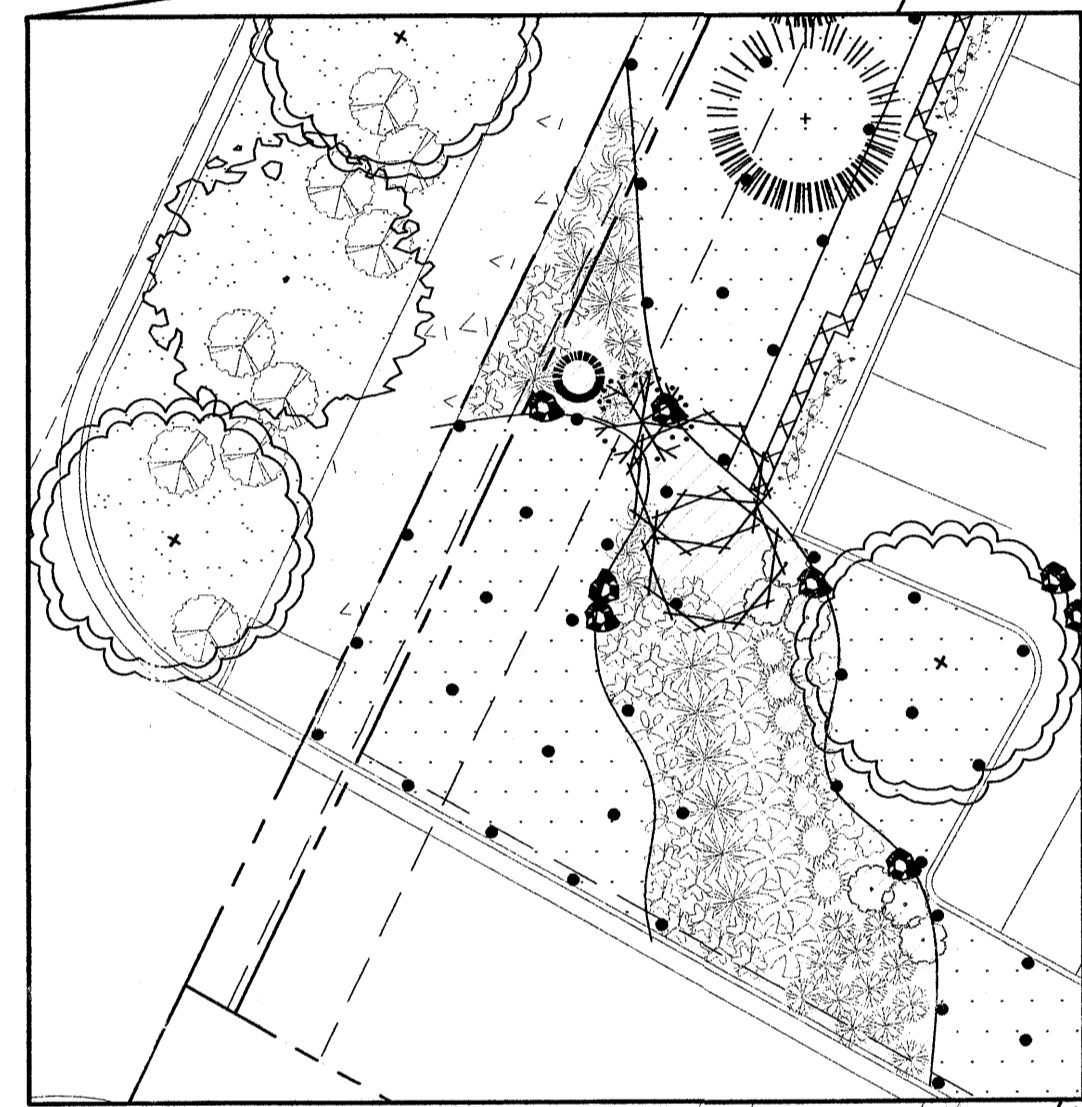


HOFFMANTOWN WEST CHURCH	DRAWN BY PGB
	DATE 06-20-05
LANDSCAPE PLAN	2380LPB-04-28-05
	SHEET # L1
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	
JOB # 230080	

4-18-05 drr
1-14-06 drr
3-29-05 drr 3-10-06 drr
12-15-04 drr 4-28-05 drr

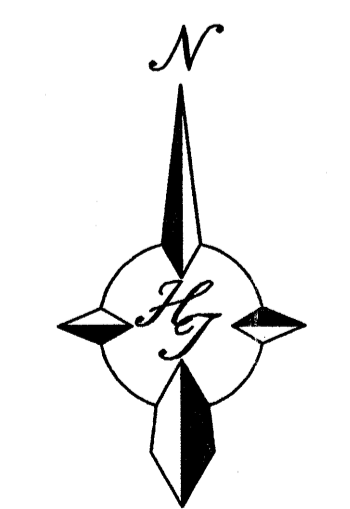
GROUND COVER LEGEND

-  SANTA FE BROWN GRAVEL WITH FF
-  IRRIGATED HYDRO MULCH BUFFALO SEED W/ POP-UP HEADS
-  IRRIGATED HYDRO MULCH BUFFALO SEED W/ LARGE AREA HEADS
-  OVERSIZED GRAVEL

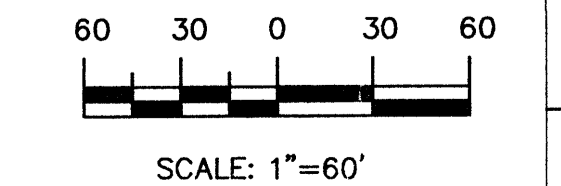


BACFLOW PREVENTER DETAIL NO SCALE

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmd@hilltoplandscaping.com



GRAPHIC SCALE



HOFFMANTOWN WEST CHURCH LANDSCAPE PLAN Groundcover Illustration	DRAWN BY PGB
	DATE 06-20-05
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	SHEET # L2
	JOB # 230080

4-18-05
 4-18-05
 3-29-05
 12-15-04