

6/20/06

~~Issue~~ Road access to Spiritual
Renewal Center via La
Orilla -

EPC Condition #5 -
any proposed road
shall be moved out
of 100' buffer strip
required by local
council plan

Issue now private
matter. JRM

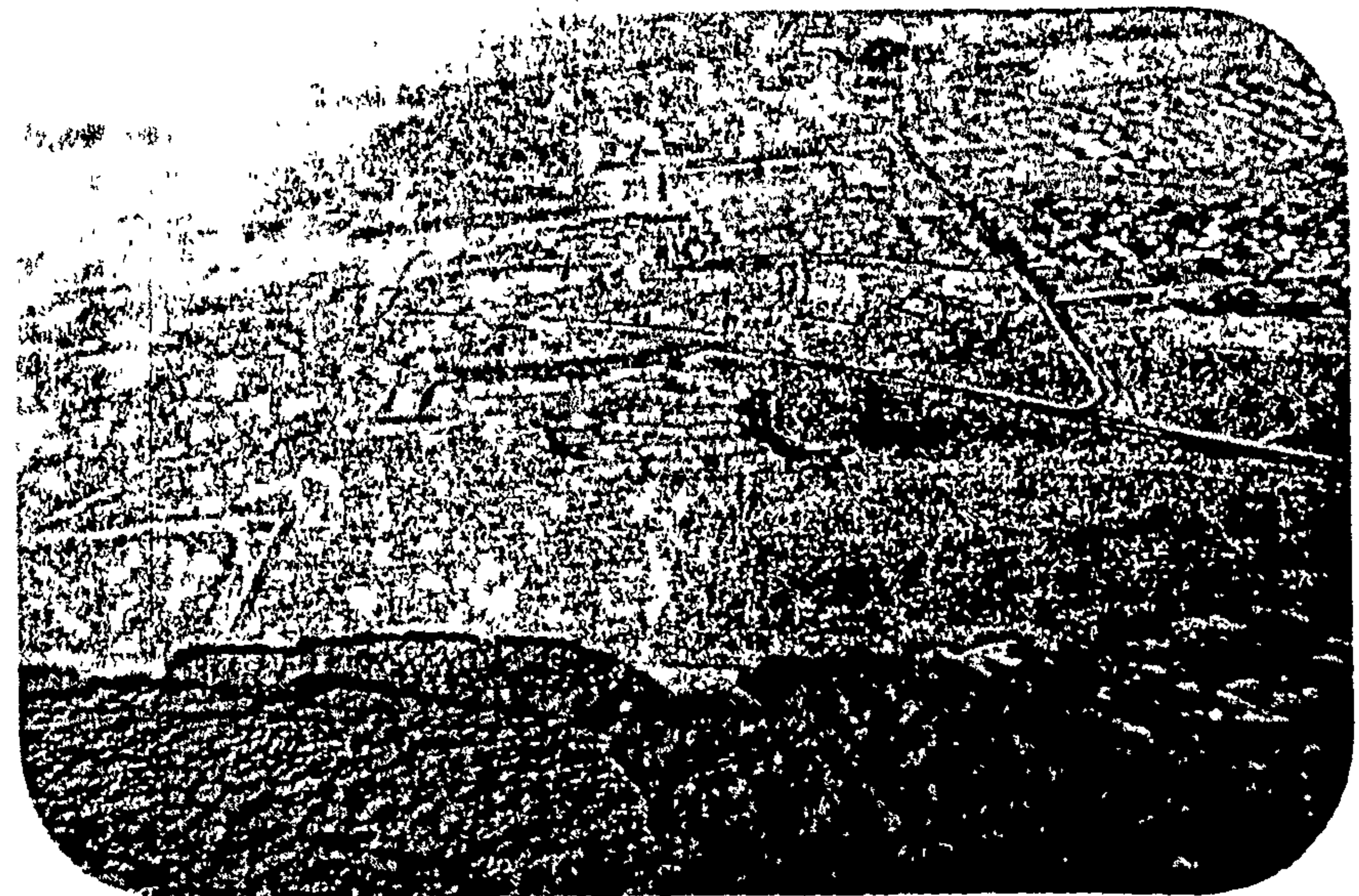
Private access easement
so private matter.

policy 8 buffer strip

A 100-foot-wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3. The buffer strip shall remain in a natural condition and shall not be used for development.

rationale:

~~A 100-foot-wide buffer will serve to protect and preserve the bosque and its wildlife from encroachment from development.~~ The River Bosque area has been designated as a State Park. This buffer strip provides a minimum amount of protection for this area.





Completed 1/11/05 [Signature]

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **05DRB-00560 (SBP)**

Project #: **1002371**

Project Name: **HOFFMANTOWN WEST CHURCH**

Agent: **Tierra West LLC**

Phone No.: **858-3100**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 1/27/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: SIA BJB
ADDITIONAL WORKMENT ALONG LA DRIFT

PARKS / CIP: _____

PLANNING (Last to sign): Elvira's comments & initials
3 copies of SDP

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan ~~along with the originals~~**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1002371



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

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Project #: 1002371

Project Name: HOFFMANTOWN WEST CHURCH

Agent: Tierra West LLC

Phone No.: 858-3100

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 4/27/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: SIA

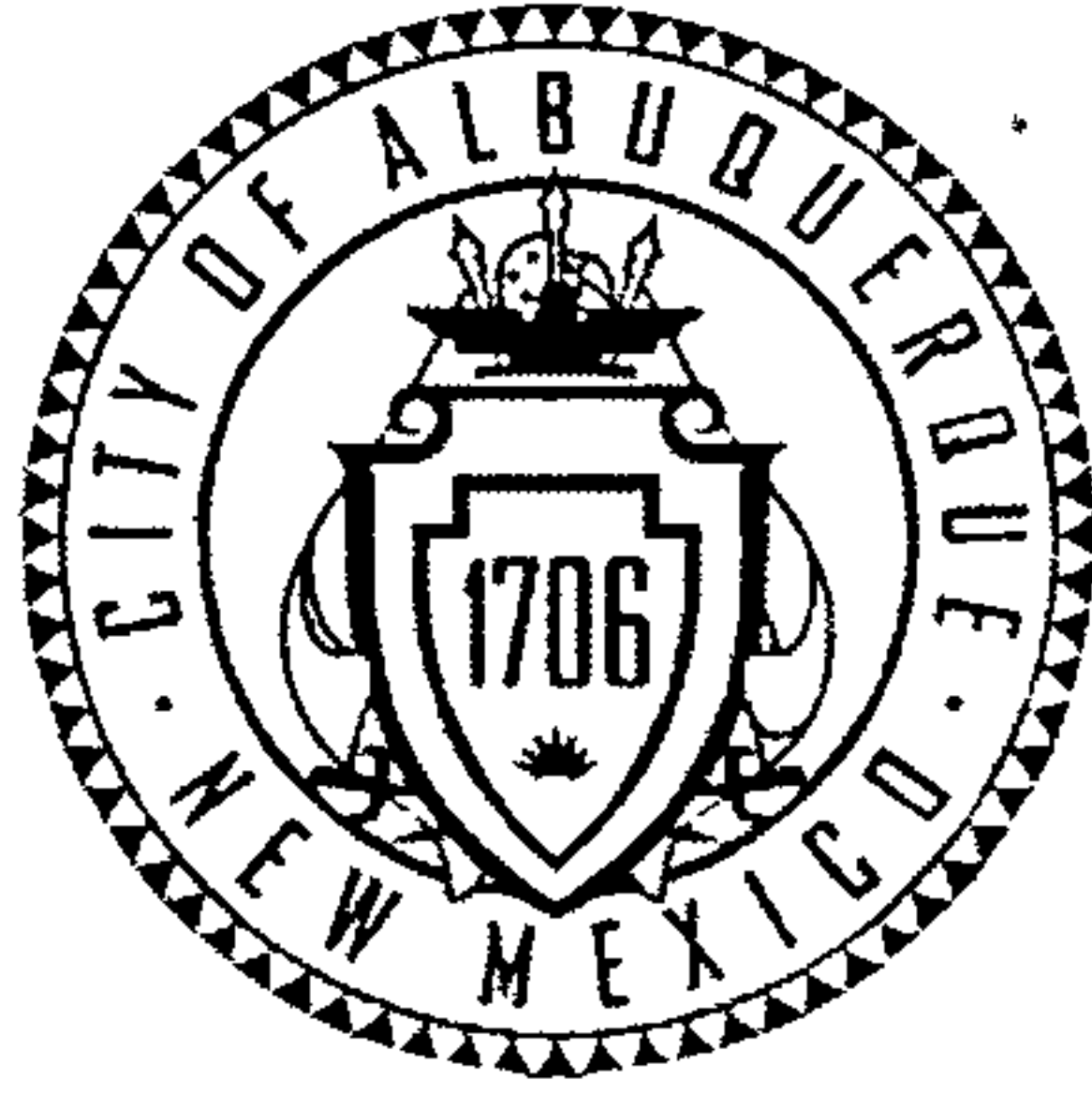
PARKS / CIP: _____

PLANNING (Last to sign): Elvira's comments & initials
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Project Number

1002371



City of Albuquerque

#8

Martin Chavez, Mayor
Interoffice Memorandum

April 11, 2005

To: Sheran Matson, DRB Chair
CC: Claire Senova
From: Elvira Lopez, Planner
Subject: EPC Project 1002371, 04EPC-01713; DRB Project 1002371, 05DRB-00560

The applicant has met the Conditions of Approval for 04EPC-01713 in the following manner:

Conditions:

1. Met. The applicant has submitted a letter to explain how all conditions of approval have been met.
2. The applicant indicates he will provide a signed copy of the plans from utility and the Fire Marshal at the DRB hearing. Please note that the fire hydrant is located within the 100' foot buffer that will remain undeveloped. Is the location of the fire hydrant at the southwest corner appropriate?
3. The City hydrologist should verify the submitted grading and drainage report. Prior to DRB approval, the applicant should provide documentation that this plan is also approved by MRGCD and AMAFCA.
4. Not met. The dimensions of the detail drawing are still inconsistent with the dimensions shown on the site plan. The applicant must demonstrate that the Refuse Division approves this request.
5. Met.
- 6a. Not met. The 3' ft. high screen walls screening the parking area adjacent to La Orilla Rd. is shown. The 30" screen walls screening the parking area visible from Coors Blvd. are not shown and this does not reflect the EPC approved plan. The plan shall indicate the 30" screen walls

Please defer per Planning
Staff recommendation on
4/19/05. Thanks,
Elvira

Sheran,

I feel that this project
has too many unresolved conditions
for it to be delegated. My
recommendation is that this case
be deferred in order for ^{the} applicant to
better address the conditions. Call
if you have questions. Thanks.
—Elvira

next to the parking area visible from Coors Blvd. A note on the plan should indicate that the color of all screen walls is medium tan.

Staff found that the retaining wall along the eastern boundary is no longer shown on the conceptual grading and drainage plan. Is there a reason for removing this wall?

6b. Unclear. Staff is unclear about the referenced **perimeter wall sheet** is located. Staff notes that there is a retaining wall detail on sheet C7.

7a. Not met. The plan indicates more parking spaces than were approved by the EPC. The EPC approved a total of 905 parking spaces and the DRB submittal has parking calculations indicating that 958 spaces are provided; this is an increase of 53 spaces. Staff count of parking spaces, including the public parking spaces, indicates that 971 parking spaces are actually provided. The plan shall only provide a maximum of 905 spaces in accordance with the EPC approved plan. As it is, the proposed uses only require 540 parking spaces.

7b. Not met. The DRB plan indicates 75 public parking spaces at the southeastern corner of the property. The EPC condition states that 80 public parking spaces are required.

8a. Met.

8b. Unclear how this is met. The plan indicates two pedestrian walkways within the parking areas for the entire site. The applicant has not provided additional walkways to connect other sub parking areas to the main building or additional landscaping; essentially the plan remains the same in this regard.

8c. Met.

8d. Unclear how this is met. The terminus refers to the end of the trail prior to linking to the Bosque. Staff asks that the plan clearly indicate how pedestrians will have access to the Bosque.

9a. Met.

9b. Unclear where this note is provided.

9c. Met. But, the legend has a symbol indicating "STREET LIGHTS". Please correct the spelling and verify that street lights are the same as parking area lights.

9e. Met.

10a. The applicant has substituted Coral Honeysuckle with Hall's Honeysuckle. In the EPC plan the applicant was providing 319 Coral honeysuckles and in the DRB submitted plan, the applicant provides only 182 Hall Honeysuckle plants. In the DRB submitted plan, the applicant reduces the quantity of plants provided from the original EPC approved plan. This is problematic for a couple of reasons. First there is no explanation as to why the quantity of plants is reduced and in some cases completely eliminated from the plan (e.g. apache plume, blue mist spirea, rosemary). Second, the changes must be directly related to addressing a specific condition of approval. Otherwise, the landscaping plan shall reflect the EPC approved plan.

10b. Met.

10c. The plan indicates that Ash and/or Honey Locust trees are provided adjacent to streets. The plan is still unclear in indicating the quantity of each type of tree that is provided. The same

symbol is utilized for Ash and Honey Locust Trees. A differentiating symbol for each type of tree is recommended.

10d. Not met. The plan still contains a symbol in the legend indicating that Santa Fe Brown Gravel with Filter Fabric and Santa Fe Brown crusher fines are being provided in planting beds. These should be removed and replaced with groundcover materials consistent with the Coors Corridor Plan.

10e. The landscaping plan indicates that portions of the northern landscape buffer area are only 9.4 feet. The landscaping buffer along the northern boundary line must be at least 10 feet wide.

The applicant indicates that there is no parking area adjacent to the residential houses to the north. Staff notes that a circulation area does exist and this is subject to being screened per Section 14-16-3-10 (E)(4). Staff also notes that a wall already exists along the majority of the northern property line. The applicant will need to provide a wall along portions of the property that do not have a solid wall.

The applicant provides 27 rosebud trees along the northern boundary line to provide screening. These tree all deciduous trees. Providing a mix of both deciduous and evergreen trees would better further the intent of the Zoning Code.

10f. Met.

11a. Met.

11b. In a revised letter to the DRB, please specify how this condition is met according to Section 14-16-3-18 (C) (3) of the zoning code.

11c. Met.

12a. Unable to verify. Staff is unclear regarding the location of the shade trees along the northern façade. The applicant should explain how the built-out cornice is a pedestrian feature.

12b. Condition met.

12c. The applicant should provide an illustration demonstrating that the building height does not encroach into the view preservation area.

12d. Staff is unable to verify that windows are recessed.

12e. Condition met, but sheet C6 indicates that reveals along the West Elevation (south) have recesses that are 1" wide. Staff measured the width of these reveals that appear to be 1' wide. Please verify and correct.

12f. Staff is unable to verify that the TRNA finds the proposed shade structure to be acceptable.

13. Met.

14a. Met

14b. Not met. The applicant still needs to provide documentation that improvements within the Lower Corrales Riverside Drain and Corrales Main Canal ROW have been approved by MRGCD.

15. The City Transportation engineer shall verify that conditions 15a through 15f have been met.

16. Condition met.

**If you have any questions regarding staff comments please call Elvira Lopez at 924-3910.
Thanks.**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 27, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:55 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000635**
05DRB-00547 Major-Vacation of
Public Easements

TIERRA WEST LLC agent(s) for DE BARTOLO DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 38-1A1, 38-2A1, 38-2A2 and 38-3A1, **TAYLOR RANCH**, zoned SU-1 FOR C-1, located on MONTANO RD NW, between MONTANO PLAZA DR NW and COORS BLVD NW containing approximately 3 acre(s). [REF: 00DRB00878, 02DRB01040, 04DRB01698,04DRB01764] (E-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1002948**
05DRB-00538 Major-Vacation of
Public Easements
05DRB-00539 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for BEALHEN CONSTRUCTION LLC, C/O MS DEV ONE LLC, request(s) the above action(s) for all or a portion of Lot(s) 7, **VISTA FAISAN SUBDIVISION**, zoned RA-2, located on VISTA FAISAN TRAIL NW, between EL POTRERO NW and GUADALUPE TRAIL NW containing approximately 1/4 acre(s). [REF: 03EPC01736, 03EPC01485, 03DRB01486, 03DRB01497, 04DRB01504, 04DRB01669] (F-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND 15-DAY APPEAL PERIOD.**

- 05DRB-00666 Minor-Prelim&Final Plat
Approval
05DRB-00665 Minor-Vacation of
Private Easements

ISAACSON & ARFMAN PA agent(s) for MS DEV ONE LLC request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, **VISTA FAISAN SUBDIVISION**, zoned RA-2, located on VISTA FAISAN TRAIL NW, between EL POTRERO NW and GUADALUPE TRAIL NW containing approximately 1 acre(s). [REF: 03EPC01736, 03DRB01485, 03DRB01486, 03DRB01497, 04DRB01504, 04DRB01669] (F-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1003902**
05DRB-00542 Major-Vacation of Pub
Right-of-Way
05DRB-00543 Major-Vacation of
Public Easements
05DRB-00544 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for PETERSON-FOX LLC request(s) the above action(s) for all or a portion of Lot(s) 1-8, Block(s) 41, **TIJERAS PLACE IMPROVEMENT COMPANY INC**, zoned C-2, located on CENTRAL AVE SE, between SAN PEDRO SE and VALENCIA DR SE containing approximately 1 acre(s). [REF: 05DRB00102] (K-18) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING OR AGIS DXF FILE AND 15-DAY APPEAL PERIOD.**

4. **Project # 1003757**
04DRB-01688 Major-Vacation of Pub
Right-of-Way

ISAACSON & ARFMAN PA agent(s) for DEAN FOODS, DBA CREAMLAND DAIRIES request(s) the above action(s) for **ALVARADO ADDITION**, located on HAINES NW, between 2ND ST NW and 3RD ST NW containing approximately 1 acre(s). [REF:V-89-87,DRB-89-490][*Deferred from 12/1/04, 12/15, 1/12/05 & 2/9/05 & 3/9/05*] (H-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1003470**
04DRB-01523 Major-Preliminary Plat
Approval
04DRB-01524 Minor-Temp Defer
SDWK

WILSON & COMPANY agent(s) for SPS LLC, SCOTT SCHIABOR request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, KASSUBA-MONTBEL LANDS, (to be known as **VISTA VIEJA SUBDIVISION**, zoned R-1 residential zone, located west of 81ST ST NW and southwest of ATRISCO NW between 81ST ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] [*Deferred from 11/3/04, 11/10/04, 12/1/04, 1/12/05 & 2/16/05 & 3/16/05 & 3/30/05 & 4/6/05, 4/20/05*] (D-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/27/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/26/05 THE PRELIMINARY PLAT WAS APPROVED WITH A CONDITION. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS
(CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1002457**
05DRB-00649 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for KENNY HINKES, RE/MAX ELITE request(s) the above action(s) for all or a portion of Block(s) 2, Tract(s) X1A & X2A, **GLENWOOD HILLS, UNIT 1**, zoned C-1, located on TRAMWAY BLVD NW, between MONTGOMERY BLVD NW and COMANCHE RD NW containing approximately 3 acre(s). [REF: 03EPC00157, 03EPC00156, 03EPC00180, 05EPC00177, 05EPC00178] **[David Stallworth, EPC Case Planner] [Deferred from 4/27/05] (G-23) DEFERRED AT THE AGENT'S REQUEST TO 5/11/05.**

7. **Project # 1004138**
05DRB-00667 Minor-SiteDev Plan
BldPermit

DEKKER/PERICH/SABATINI agent(s) for JCC-ONE LLC request(s) the above action(s) for all or a portion of Tract(s) 5D-1 AND ALBUQUERQUE WELL SITE, **JOURNAL CENTER, TRACT 5**, zoned IP industrial park zone, located on JEFFERSON ST NE, between MASTHEAD NE and SUN NE containing approximately 6 acre(s). [REF:Z-79-80-2,S-80-26] **[Deferred from 4/27/05] (D-17) DEFERRED AT THE AGENT'S REQUEST TO 5/11/05.**

8. **Project # 1004141**
05DRB-00670 Minor-SiteDev Plan
BldPermit

JOHN KLEE agent(s) for CRAIG CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1, **JOURNAL CENTER, PHASE 2, UNIT 1**, zoned IP, located on WASHINGTON NE, between HAWKINS NE and RUTLEDGE NE containing approximately 1 acre(s). (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR RESOLUTION OF MINOR COMMENTS.**

9. **Project # 1003865**
05DRB-00304 Minor-SiteDev Plan
BldPermit

DORMAN BREEN ARCHITECTS agent(s) for JAY PARKS request(s) the above action(s) for all or a portion of Lot(s) 22A, Block(s) 28, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **OAKLAND SELF STORAGE**) zoned SU-2 IP, located on OAKLAND AVE NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 4 acre(s). [REF: 05DRB00006] *[Was Indef Deferred 2/23/05 for Plat]* (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/27/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/9/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TO PLANNING FOR REMOVAL OF JUNIPERS FROM LANDSCAPE PLAN.**

- 05DRB-00521 Minor-Prelim&Final Plat
Approval

FORSTBAUER SURVEYING, LLC agent(s) for PARKS CUSTOM BUILDERS INC request(s) the above action(s) for all or a portion of Lot(s) 11, 12, 21 & 22, Block(s) 28, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on ALAMEDA BLVD NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 4 acre(s). [REF: 05DRB00006, DRB-99-187, Z-87-42-1] *[Indef Deferred 4/6/05]* (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/27/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/9/05 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

10. **Project # 1004112**
05DRB-00603 Minor-SiteDev Plan
BldPermit

ABQ ENGINEERING agent(s) for BRUCE BESSER request(s) the above action(s) for all or a portion of Lot(s) 1, **MERIDIAN BUSINESS PARK**, zoned IP, located on LOS VOLCANOS RD NW, between SILVER CREEK RD NW and GALLATIN PL NW. [REF: DRB-97-59, Z-92-57] *[Deferred from 4/20/05]* (K-10) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

11. Project # 1002371
05DRB-00560 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A1, ALBAN HILLS, UNIT 1, (to be known as **HOFFMANTOWN WEST CHURCH**) zoned SU-1 FOR R-2 WITH CHURCH RELATED USES, located on LA ORILLA NW, between COORS BLVD NW and CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB01824, 03DRB02150] [Elvira Lopez, EPC Case Planner] [Deferred from 4/13/05 & 4/20/05] (D-12) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR CASE PLANNERS COMMENTS AND 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1004120**
05DRB-00622 Minor-Prelim&Final Plat
Approval

ABQ ENGINEERING INC agent(s) for TRAVIS S THOM request(s) the above action(s) for all or a portion of Lot(s) 30B-2, **ALVARADO GARDENS, UNIT 3**, zoned R-2, located on CANDELARIA RD NW, between RIO GRANDE BLVD NW and GLENWOOD RD NW containing approximately 1 acre(s). (G-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project # 1002636**
05DRB-00372 Minor- Final Plat
Approval

SURVEYS SOUTHWEST, LTD agent(s) for WAYNE LUJAN request(s) the above action(s) for LOTS 24-A, 24-B, 24-C & 24-D, **RICE'S DURANES ADDITION NO. 1**, zoned R-2, located on RICE AVE NW containing approximately 1 acre(s). [REF: 05DRB-00371] [Deferred from 3/30/05] (H-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION FEE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

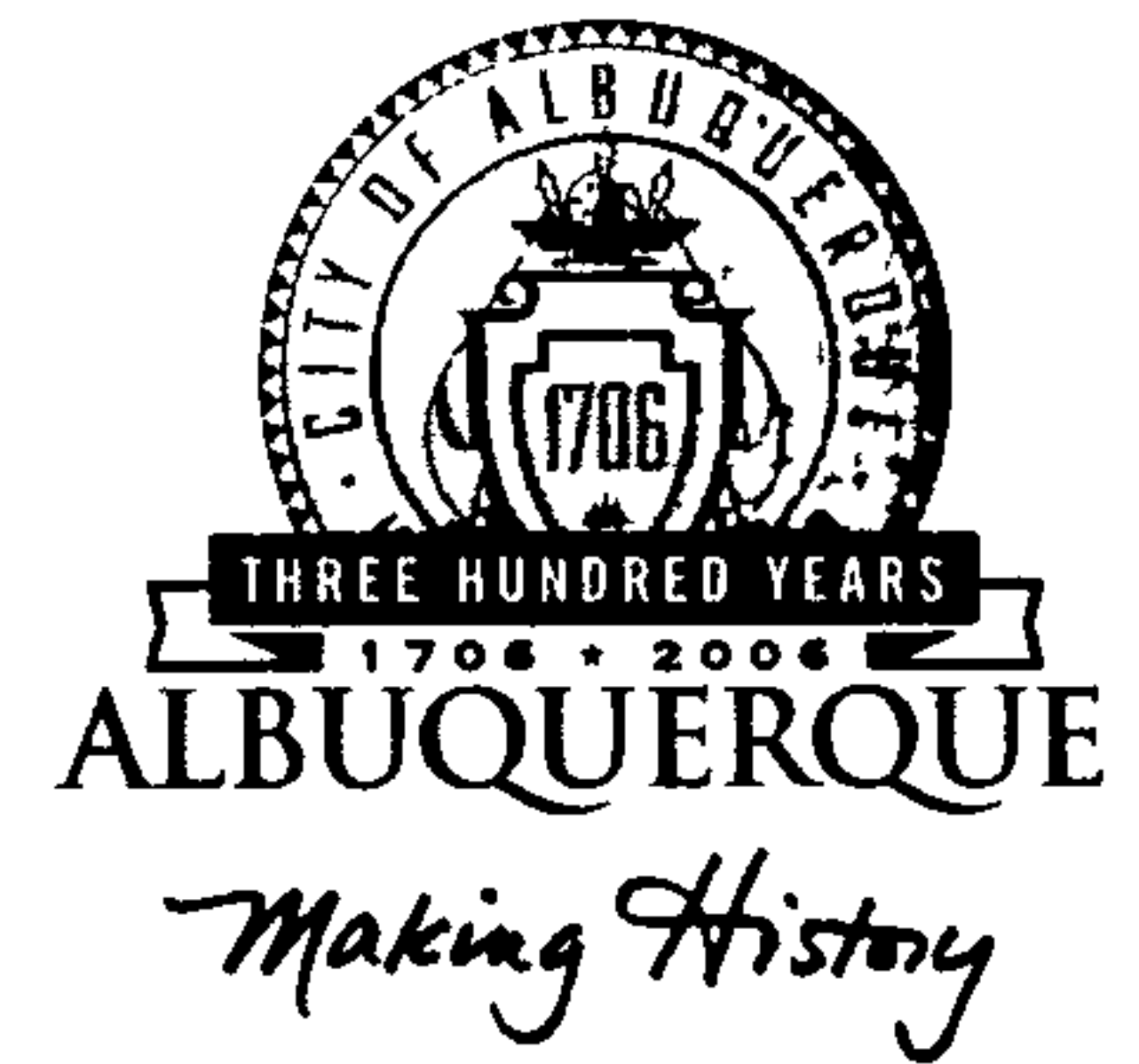
14. **Project # 1004139**
05DRB-00668 Minor-Sketch Plat or
Plan

BRASHER & LORENZ agent(s) for STEVE SLICK request(s) the above action(s) for all or a portion of Lot(s) 27, 28 and 29, Block(s) 17, Tract(s) 1, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **MODESTO SEVEN**) zoned R-D residential and related uses zone, developing area, located on MODESTO AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 3 acre(s). (B-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. Approval of the Development Review Board Minutes for April 13, 2005. **DRB MINUTES FOR APRIL 13, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:55 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002371

AGENDA ITEM NO: 11

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

APP:(x)

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: April 27, 2005

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 20, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

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- A. Call to Order: 9:00 A.M. Adjourned: 11:55 A.M.
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000788**
05DRB-00508 Major-One Year SIA

WILSON & COMPANY agent(s) for LONGFORD AT PARADISE SKIES request(s) the above action(s) for Tract(s) AAAA-1-A, **PARADISE SKIES SUBDIVISION, UNITS 8 & 9**, zoned R-T, located on MCMAHON BLVD NW, between ROCKCLIFF BLVD NW and UNSER BLVD NW containing approximately 30 acre(s). [REF: 01DRB-00272, 01DRB-00273, 01DRB-00274, 01DRB-01293, 02DRB-00227] (A-10/A-11) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION.**

2. **Project # 1001674**
05DRB-00519 Major-One Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for SAPPHIRE DEVELOPMENT request(s) the above action(s) for Parcel H-12A, **RIVERVIEW SUBDIVISION**, zoned R-LT, located on ALL SAINTS NW, between COORS BLVD NW and EAGLE RANCH RD NW containing approximately 33 acre(s). **(C-13) A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1001871**
05DRB-00505 Major-One Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for RANDALL HOMES, LLC request(s) the above action(s) for all or a portion of Lot(s) 28 & 29, Block(s) 12, Tract(s) 1, **NORTH ALBUQUERQUE ACRES, UNIT 3**, (to be known as **DESERT HIGHLANDS @ LA CUEVA**, zoned R-D 3DU/AC, located on MODESTO AVE NE, between WYOMING BLVD NE and BARSTOW STREET NE containing approximately 2 acre(s). **(C-19) A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1000029**
05DRB-00509 Major-Vacation of
Public Easements

BOHANNAN HUSTON INC. agent(s) for SAWMILL COMMUNITY LAND AND TRUST request(s) the above action(s) for Lot(s) C and B-1A-1, **DUKE CITY LUMBER ADDITION AND LOT D-1-A OF ARBOLERA DE VIDA PHASE 2**, zoned S-MI, S-DR, located on BELLAMAH ST NW, between 19TH ST NW and 18TH ST NW containing approximately 25 acre(s). [REF: 03DRB-01785, 03DRB-01786, 04DRB-01650, 04DRB-01651] **(H-13) VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1004071**
05DRB-00511 Major-Bulk Land Variance
05DRB-00512 Major-Vacation of Public Easements
05DRB-00513 Minor-Prelim&Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES agent(s) for ALBUQUERQUE PUBLIC SCHOOLS & NEW MEXICO STATE LAND OFFICE, request(s) the above action(s) for **GOVERNMENT LOTS 1-4, SECTION 16, 11N, R2E AND THE SOUTH 1/2 OF THE SOUTH 1/2 OF SECTION 16, 11N, R2E**, zoned RO-20, located on RAINBOW BLVD NW, between COMPASS DR NW and PETROGLYPH NATIONAL MONUMENT containing approximately 289 acre(s). *[Deferred from 4/20/05]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 5/11/05.**
6. **Project # 1004073**
05DRB-00514 Major-Preliminary Plat Approval
05DRB-00515 Major-Vacation of Public Easements
05DRB-00516 Minor-Subd Design (DPM) Variance
05DRB-00517 Minor-Sidewalk Waiver
05DRB-00518 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES, PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 5, **JUAN TABO HILLS, UNIT 1**, zoned R-D, located on JUAN TABO BLVD NE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 102 acre(s). *[Deferred from 4/20/05]* (M-21/M-22) **DEFERRED AT THE AGENT'S REQUEST TO 5/18/05.**
7. **Project # 1003236**
05DRB-00452 Major-Vacation of Public Easements
05DRB-00454 Major-Preliminary Plat Approval
05DRB-00453 Minor-Temp Defer SDWK
- RIO GRANDE ENGINEERING agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Tract(s) A, **VILLA DE LA CHAMISA, UNIT 1**, (to be known as **VILLA DE LA CHAMISA, UNIT 2**), zoned SU-1 FOR PRD, located on CALLE CHAMISA NW, between VIVALDI TRAIL NW and BIG SAGE NW containing approximately 6 acre(s). [REF: 04DRB00801, 04DRB00802, 04DRB00799, 04DRB00800, 04DRB00804, 04DRB01739] *[Deferred from 4/13/05]* (B-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. WITH THE**

SIGNING OF THE INFRASTRUCTURE LIST DATED 4/20/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/7/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: THE LOT NUMBERS NEED TO MATCH THE APPROVED SITE PLAN. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.

8. **Project # 1000692**
05DRB-00407 Major-SiteDev Plan
BldPermit

BDA ARCHITECTS agent(s) for SIVAD ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) A1A, Block(s) 1, **BEAR CANYON VILLAGE, UNIT 2**, zoned SU-1 FOR C-1, located on Burlison NE & Wyoming NE between San Antonio NE and Academy NE containing approximately 5 acre(s). *[Deferred from 4/6/05 & 4/20/05]* (E-19) **DEFERRED AT THE AGENT'S REQUEST TO 5/11/05.**

9. **Project # 1003470**
04DRB-01522 Major-Bulk Land
Variance
04DRB-01523 Major-Preliminary Plat
Approval
04DRB-01524 Minor-Temp Defer
SDWK

WILSON & COMPANY agent(s) for SPS LLC, SCOTT SCHIABOR request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, **KASSUBA-MONTBEL LANDS**, (to be known as **VISTA VIEJA SUBDIVISION**, zoned R-1 residential zone, located west of 81ST ST NW and southwest of ATRISCO NW between 81ST ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] *[Deferred from 11/3/04, 11/10/04, 12/1/04, 1/12/05 & 2/16/05 & 3/16/05 & 3/30/05 & 4/6/05]* (D-9) **BULK LAND VARIANCE WAS APPROVED. PRELIMINARY PLAT WAS DEFERRED TO 4/27/05. TEMPORARY DEFERRAL OF SIDEWALKS WAS DEFERRED TO 4/27/05.**

05DRB-00609 Minor-Prelim&Final Plat
Approval

WILSON & COMPANY agent(s) for SPS LLC, SCOTT SCHIABOR request(s) the above action(s) for all or a portion of Tract(s) 1A, 1B, 2A and 2B, KASSUBA-MONTBEL LANDS, (to be known as VISTA VIEJA SUBDIVISION, zoned R-1 residential zone, located on 81ST ST NW, between ALBERICOQUE PL NW and SCENIC RD NW containing approximately 159 acre(s). [REF: 04DRB01522, 04DRB01523, 04DRB01524] (D-9) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1003872**
05DRB-00604 Minor-SiteDev Plan
BldPermit/EPC

SITES SOUTHWEST agent(s) for CITY OF ALBUQUERQUE WATER UTILITY request(s) the above action(s) for all or a portion of Tract(s) B, **SUNPORT MUNICIPAL ADDITION**, zoned SU-1 GOLF COURSE AND RELATED FACILITIES, located on SAN JOAQUIN SE, between GIRARD SE and WELLESLEY SE containing approximately 2 acre(s). [REF: 05EPC-00023, ZA-77-219] **[Stephanie Shumsky, EPC Case Planner] (L-16) SITE PLAN FOR BUILDING PERMIT WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CASE PLANNER'S INITIALS.**

11. **Project # 1004112**
05DRB-00603 Minor-SiteDev Plan
BldPermit

ABQ ENGINEERING agent(s) for BRUCE BESSER request(s) the above action(s) for all or a portion of Lot(s) 1, **MERIDIAN BUSINESS PARK**, zoned IP, located on LOS VOLCANOS RD NW, between SILVER CREEK RD NW and GALLATIN PL NW. [REF: DRB-97-59, Z-92-57] *[Deferred from 4/20/05]* (K-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/27/05.**

12. **Project # 1004090**
05DRB-00608 Minor-SiteDev Plan
BldPermit

JLS ARCHITECTS agent(s) for JIM HAKEEM request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 17, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on WYOMING NE and CORONA AVE NE containing approximately 2 acre(s). [REF: 05DRB00559] (C-19) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MINOR CORRECTIONS.**

13. **Project # 1003360**
05DRB-00623 Minor-SiteDev Plan
BldPermit/EPC

CHERRY/SEE ARCHITECTS agent(s) for CITY OF ALBUQUERQUE, COMMUNITY & FAMILY SERVICES request(s) the above action(s) for all or a portion of Tract(s) A, **JOHN ADAMS MULTIPURPOSE CENTER**, zoned SU-1 FOR CENTER/PARK, located on GLENRIO RD NW, between 56TH ST NW and LOMA HERMOSA DR NW containing approximately 4 acre(s). [REF: 04EPC00487, 04EPC00486] [Russell Brito for Debbie Stover, EPC Case Planner] (J-11) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MINOR COMMENTS AND TO PLANNING FOR EPC CASE PLANNER'S INITIALS.**

14. **Project # 1002371**
05DRB-00560 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A1, ALBAN HILLS, UNIT 1, (to be known as **HOFFMANTOWN WEST CHURCH**) zoned SU-1 FOR R-2 WITH CHURCH RELATED USES, located on LA ORILLA

NW, between COORS BLVD NW and CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB01824, 03DRB02150] [Elvira Lopez, EPC Case Planner] [Deferred from 4/13/05 & 4/20/05] (D-12) DEFERRED AT THE AGENT'S REQUEST TO 4/27/05.

15. **Project # 1000163**
05DRB-00554 Minor-SiteDev Plan
BldPermit/EPC

SANDERS & ASSOCIATES ARCHITECTS agent(s) for DR. AND MRS. ERNESTO GARZA request(s) the above action(s) for all or a portion of Tract(s) E, LA CUEVA VILLAGE, zoned C-2 (SC), located on CARMEL AVE NE, between WYOMING BLVD NE and BARSTOW NE containing approximately 1 acre(s). [REF: 04EPC-01828] [Elvira Lopez, EPC Case Planner] [Deferred from 4/13/05] (C-19) SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.

16. **Project # 1001932**
05DRB-00523 Minor-SiteDev Plan
BldPermit/EPC

CLAUDIO VIGIL ARCHITECTS agent(s) for PAUL HEDGES request(s) the above action(s) for all or a portion of Tract(s) C, WEST RIDGE, UNIT 1, (to be known as GUARDIAN SELF STORAGE) zoned SU-1 FOR C-1 AND IP USES, located at the southeast corner of OURAY RD NW and TWIN OAKS DR NW, containing approximately 4 acre(s). [REF: AX-80-18, Z-80-87, 04EPC01718] [David Stallworth, EPC Case Planner] [Deferred from 4/6/05] (G-10) SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.

17. **Project # 1003231**
05DRB-00588 Major-Final Plat
Approval

WILSON & COMPANY agent(s) for LONGFORD @ ARROWWOOD, LLC request(s) the above action(s) for all or a portion of Tract(s) 30A-1, **LANDS OF SALAZAR/QUATRO/JSJ/HANNETT**, zoned RLT, located on 98TH STREET SW, between RIO BRAVO SW and BLAKE SW containing approximately 30 acre(s). [REF: 04DRB00263, 05DRB00483, 05DRB00484, 5DRB00485, 05DRB00389, 05DRB00390] (N-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

18. **Project # 1003471**
05DRB-00595 Minor-Final Plat
Approval

SURV-TEK, INC agent(s) for CURB WEST, INC request(s) the above action(s) for all or a portion of Tract(s) B-2-A, **SEVILLE SUBDIVISION**, zoned R-1, located on SEGOVIA NW east of KAYENTA NW and containing approximately 24 acre(s). [REF: 04DRB00826, 008A27, 04DRB01224, 01225, 04DRB01948, 01949, 05DRB00083, 00084] (A-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA'S SIGNATURE.**

19. **Project # 1002196**
05DRB-00610 Major-Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) 1-B. TOWN OF ATRISCO GRANT, (to be known as **LOS ANTEPASADOS, UNIT 6**) zoned SU-1 FOR MH PARK, located on SUNSET GARDENS RD SW, between CORRIGEDOR SW and FOOTHILL SW containing approximately 6 acre(s). [REF: DRB-91-385, 02EPC01356, 03EPC02048, 04CC00130, 04DRB00873, 04DRB00875, 04DRB00877] (K-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU**

AND PLANNING FOR ENVIRONMENTAL HEALTH SIGNATURE, A NOTE ON THE PLAT: MAINTENANCE AND REPAIR EASEMENTS SHOWN ON FINAL PLAT FOR ZERO LOT LINES AND FOR QWEST SIGNATURES.

20. **Project # 1003762**
05DRB-00611 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for ALBUQUERQUE PUBLIC SCHOOLS REAL ESTATE OFFICE request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) K, PANORAMA HEIGHTS, zoned R-1 residential zone, located on CONSTITUTION AVE NE, between CHELWOOD PARK BLVD NE and INDIAN SCHOOL RD NE containing approximately 18 acre(s). [REF: 04EPC01714, 05DRB00316] (J-22) PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.

21. **Project # 1004104**
05DRB-00592 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for KEN & PATRICIA MAESTAS request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, MAESTAS SUBDIVISION, zoned R-1, located on LOS POBLANOS LN NW, between GUADALUPE TR NW and SANDIA RD NW containing approximately 1 acre(s). [REF: Z-86-23,AX-86-3, DRB-86-623] (F-14) PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.

22. **Project # 1003694**
05DRB-00613 Minor-Prelim&Final Plat Approval
05DRB-00614 Minor-Subd Design (DPM) Variance
- CHRISTOPHER CALOTT request(s) the above action(s) for all or a portion of Lot(s) BB, **ALVARADO GARDENS NO. 2**, zoned RA-2 W7, located on CAMPBELL RD NW, between GLENWOOD NW and TRELIS DR NW containing approximately 1 acre(s). [REF: 04DRB01485] (G-12) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR AGIS DXF FILE. THE SUBDIVISION DESIGN VARIANCE WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE.**
23. **Project # 1002778**
05DRB-00606 Minor-Prelim&Final Plat Approval
- BOHANNAN HUSTON INC agent(s) for VENTANA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) D-1 & D-2, **VENTANA RANCH WEST**, zoned R-LT residential zone, located on VENTANA WEST PARKWAY NW, between VENTANA RIDGE RD NW and PASEO DEL NORTE BLVD NW containing approximately 4 acre(s). [REF: 04DRB00126, 00127, 00128, 03EPC01057, 01058] (B-8/B-9) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**
24. **Project # 1002459**
05DRB-00616 Minor-Prelim&Final Plat Approval
05DRB-00615 Minor-Vacation of Private Easements
- TIERRA WEST LLC agent(s) for QUAIL RIDGE LLC request(s) the above action(s) for all or a portion of Tract(s) 1, 3, 4, 5, **QUAIL RIDGE**, zoned C-2 (SC), located on COORS BLVD NW, between OURAY RD NW and QUAIL RD NW containing approximately 4 acre(s). [REF:03EPC00159,03EPC00160, 4AA00871] (H-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR A COPY OF THE APPROVED AA SHOWING NEW LOT LINES. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

25. **Project # 1004061**
05DRB-00499 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for CONNIE & ZACK LOVELADY, CZ ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 25, **ALVARADO GARDENS, UNIT 1**, zoned RA-2, located on MATTHEW AVE NW and MEADOW VIEW DR NW and containing approximately 1 acre(s). *[Deferred from 3/30/05 & 4/13/05]* (G-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

26. **Project # 1001409**
05DRB-00531 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING agent(s) for SAIFI TALEBREZA request(s) the above action(s) for all or a portion of Lot(s) 20-A, Block(s) 1, **CANDELIGHT FOOTHILLS, UNIT 1**, zoned R-1, located on LOMAS BLVD NE, between MONTE LARGO DR NE and SUMMIT HILLS DR NE containing approximately 2 acre(s). [REF: 01DRB01160, 01DRB01819, 02DRB01863, 03DRB02032, 04DRB01425] *[Deferred from 4/6/05 & 4/13/05]* (J-23) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/20/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/19/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION: NEED TO INCLUDE THE DESCRIPTION OF THE PUBLIC UTILITY EASEMENT (PUE). FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

27. **Project # 1003554**
05DRB-00530 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 1-8, Block(s) 9 and Lot(s) 2-9, Block(s) 8, **SKYLINE HEIGHTS, (to be known as CENTRAL PARK PLACE, PHASE 1)** zoned C-2, located on CENTRAL AVE SE, between CONCHAS ST SE and EUBANK BLVD SE containing approximately 4 acre(s). [REF: ZA-88-406, 04DRB01099, 04DRB01100] *[Deferred from 4/6/05]* (L-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/20/05 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

28. **Project # 1002247**
04DRB-00890 Minor-Final Plat
Approval

BOHANNAN HUSTON, INC agent(s) for HUNT UPTOWN, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **ALBUQUERQUE UPTOWN SITE, ST. PIUS X SUBDIVISION**, zoned SU-3 special center zone, located on INDIAN SCHOOL RD NE, between LOUISIANA BLVD NE and ESPANOLA ST NE containing approximately 18 acre(s). [REF: 1001164, 04DRB-00830] (*Deferred from 6/16/04*)[*Final Plat Indef Deferred 6/23/04 for SIA*] (H-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR RECORDING OF PAPER EASEMENT AND TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENTS WITH EXHIBIT AND AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

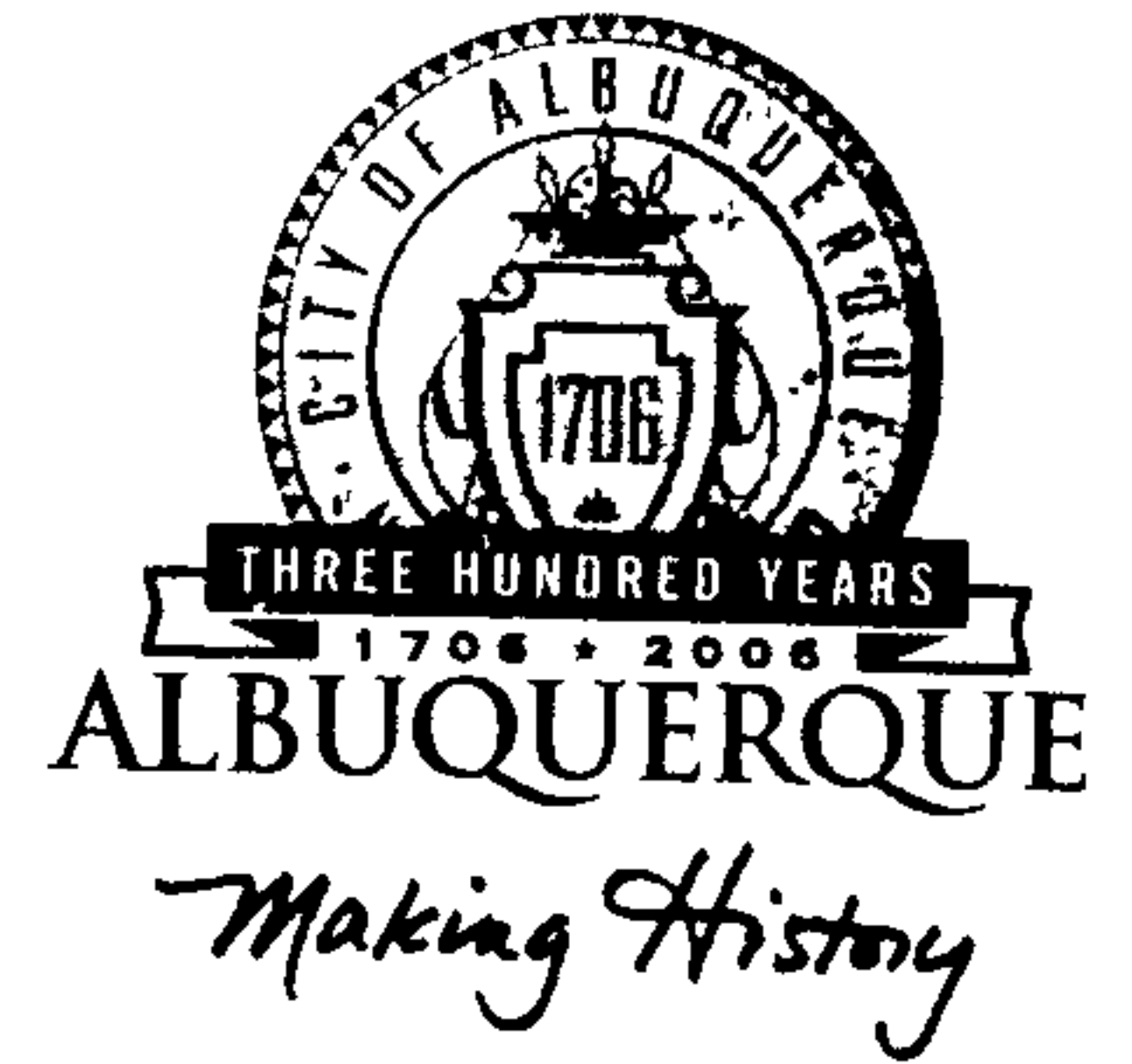
29. **Project # 1004110**
05DRB-00601 Minor-Sketch Plat or Plan

Alexander and Donette Garcia, request(s) the above action(s) for all or a portion of Tract(s) 108-D, **M.R.G.C.D. MAP 31**, zoned RA-2, located on RIO GRANDE BLVD NW, between ELFEGO RD NW and MANUEL TORRES LN NW containing approximately 1 acre(s). (F-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

30. Approval of the Development Review Board Minutes for Month April 6, 2005. **DRB MINUTES FOR APRIL 6, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:55 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002371

AGENDA ITEM NO: 14

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

SIGN-OFF:(x)

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: April 20, 2005

4-27-05



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

APRIL 13, 2005

9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:12 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1002315**
05DRB-00477 Major-One Year SIA

BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for Tract(s) 13-B, **WILDERNESS @ HIGH DESERT, UNIT 3**, zoned SU-2 HD/R-R, located on FOOTHILLS TRAIL NE, between WILDERNESS TRAIL NE and HIGH DESERT PL NE containing approximately 73 acre(s). [REF: 02DRB01650, 02DRB01653, 02DRB01654, 04DRB01723, 04DRB00713] (F-23) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1003011**
05DRB-00439 Major-Vacation of Pub
Right-of-Way

CITY OF ALBUQUERQUE agent(s) for BRAKE MASTERS, INC. request(s) the above action(s) for all or a portion of Block(s) 4 & 5, Tract(s) A, **INEZ ADDITION**, zoned C-2, located on WYOMING BLVD NE, between PROSPECT AVE NE and MENAUL BLVD NE containing approximately 5 acre(s). [REF: 03DRB02088, 03DRB02089] *[Deferred from 4/13/05]* (H-19) **DEFERRED AT THE AGENT'S REQUEST TO 5/11/05.**

3. **Project # 1003236**
05DRB-00452 Major-Vacation of
Public Easements
05DRB-00454 Major-Preliminary Plat
Approval
05DRB-00453 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Tract(s) A, VILLA DE LA CHAMISA, UNIT 1, (to be known as **VILLA DE LA CHAMISA, UNIT 2**, zoned SU-1 FOR PRD, located on CALLE CHAMISA NW, between VIVALDI TRAIL NW and BIG SAGE NW containing approximately 6 acre(s). [REF: 04DRB00801, 04DRB00802, 04DRB00799, 04DRB00800, 04DRB00804, 04DRB01739] *[Deferred from 4/13/05]* (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/20/05.**

4. **Project # 1004022**
05DRB-00428 Major-Vacation of Pub
Right-of-Way

EDWARD G LOPEZ request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, **VISTA DEL SOL**, zoned R-1, located on CRESTVIEW DR SW, between CRESTVIEW PLACE SW and CENTRAL SW. [REF: V-78-11] (K-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1001273**
05DRB-00478 Major-Amnd SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for SEDBERRY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 5B2C1B2A, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on MERCANTILE AVE NE, between I-25 FRONTAGE ROAD and CULTURE AVE NE containing approximately 3 acre(s). [REF: Z-94-13-1, 04DRB01659] (F-16) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

6. **Project # 1003634**
05DRB-00409 Major-Vacation of Pub
Right-of-Way

GARCIA KRAEMER & ASSOCIATES agent(s) for GREATER ALBUQUERQUE HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 6B, Block(s) 12, **EASTERN ADDITION**, zoned SU-2 MR, located on HIGH STREET SE, between CROMWELL SE and PACIFIC SE containing approximately 1 acre(s). [REF: 04ZHE01162, 01ZHE01165, 01ZHE01166, 04DRB01297] [*Deferred from 4/6/05 & 4/13/05*] (K-14) **DEFERRED AT THE AGENT'S REQUEST TO 5/11/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1000163**
05DRB-00554 Minor-SiteDev Plan
BldPermit/EPC

SANDERS & ASSOCIATES ARCHITECTS agent(s) for DR. AND MRS. ERNESTO GARZA request(s) the above action(s) for all or a portion of Tract(s) E, **LA CUEVA VILLAGE**, zoned C-2 (SC), located on CARMEL AVE NE, between WYOMING BLVD NE and BARSTOW NE containing approximately 1 acre(s). [REF: 04EPC-01828] [*Elvira Lopez, EPC Case Planner*] [*Deferred from 4/13/05*] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 4/20/05.**

8. ~~Project # 1002371~~
05DRB-00560 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A1, ALBAN HILLS, UNIT 1, (to be known as **HOFFMANTOWN WEST CHURCH**) zoned SU-1 FOR R-2 WITH CHURCH RELATED USES, located on LA ORILLA NW, between COORS BLVD NW and CORRALES DRAIN containing approximately 17 acre(s). [REF:02DRB01824, 03DRB02150] [Elvira Lopez, EPC Case Planner] [Deferred from 4/13/05] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 4/20/05.**

9. **Project # 1003919**
05DRB-00558 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) A1, **PARADISE SKIES, UNIT 5**, zoned SU-1/R-T, located on SAGITTARIUS AVE NW, between ROCKCLIFF CT NW and CASSIOPEIA ST NW containing approximately 5 acre(s). [REF: Z-97-143, DRB-97-142, 05EPC00179] [Stephanie Shumsky, EPC Case Planner] (A-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT BECAUSE THEY NEED CITY STANDARD DRAWING NUMBERS FOR WORK WITHIN PUBLIC RIGHT-OF-WAY.**

10. **Project # 1000560**
05DRB-00546 Minor-Amnd SiteDev Plan
Subdivision

PRECISION SURVEYS, INC agent(s) for NEW MEXICO
CANCER CENTER request(s) the above action(s) for all or
a portion of Tract(s) 1A-2-B and 1A-2-A-3, **JOURNAL
CENTER**, zoned IP, located on LANG AVE NE, between
PASEO DEL NORTE NE and JEFFERSON ST NE
containing approximately 6 acre(s). (D-17) **AN
AMENDED SITE DEVELOPMENT PLAN FOR
SUBDIVISION WAS APPROVED AND SIGNED OFF BY
THE BOARD.**

05DRB-00527 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for DESIGN GROUP
request(s) the above action(s) for all or a portion of Tract(s)
1A-2-B1, **JOURNAL CENTER**, zoned IP, located on LANG
AVE NE, between JEFFERSON ST NE and HEADLINE
NE containing approximately 6 acre(s). [Deferred from
4/6/05] (D-17) **THE PRELIMINARY AND FINAL PLAT
WERE APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1002590**
05DRB-00540 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES, PA agent(s) for MEL
FAMIE, LLC request(s) the above action(s) for all or a
portion of Tract(s) B, **REDIVISION OF LANDS OF
BRACKSON A. COURSON**, zoned RD, located on 64TH
ST NW, between MILNE RD NW and TIERRA PRIETTA
NW containing approximately 4 acre(s). (F-10)
**INDEFINITELY DEFERRED AT THE AGENT'S
REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1001946**
05DRB-00557 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for LOWE'S HOME
CENTERS-TARGET CORP request(s) the above action(s)
for all or a portion of Tract(s) A-1-A-1 AND A-1-E-1, **LOS
ANGELES CENTER**, zoned M-1, located on PASEO DEL
NORTE NE, between I-25 and SAN PEDRO NE containing
approximately 13 acre(s). [REF: 04DRB01176,
04DRB01177, 04DRB01178, 05DRB00492, 05EPC00176]
(D-18) **PRELIMINARY PLAT WAS APPROVED WITH
FINAL SIGN OFF DELEGATED TO PLANNING FOR
ENVIRONMENTAL HEALTH SIGNATURE.**

13. **Project # 1004092**
05DRB-00562 Minor-Prelim&Final Plat
Approval
- RIO GRANDE ENGINEERING agent(s) for DAVID SOULE & DEBBIE ROCHEFORD request(s) the above action(s) for all or a portion of Lot(s) 31, Block(s) 15, **MESA VERDE ADDITION**, zoned R-2, located on TENNESSEE NW, between CHICO NW and COPPER NW containing approximately 1 acre(s). **(K-19) PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**
14. **Project # 1004088**
05DRB-00555 Minor-Prelim&Final Plat
Approval
- BILLY W. BACA request(s) the above action(s) for all or a portion of Lot(s) 3A, 4A, 5 and 6, **NELSON SUBDIVISION**, zoned C-3, located west of 4TH ST NW and MONTANO NW and containing approximately 1 acre(s). **(F-14) PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**
15. **Project # 1004089**
05DRB-00556 Minor-Prelim&Final Plat
Approval
- WILKS CO agent(s) for CHESTER BURSON request(s) the above action(s) for all or a portion of Lot(s) A, B and C, **RALPH L DAY ADDITION**, zoned C-2, located on 2ND STREET NW, between PLACITAS RD NW and VINEYARD NW containing approximately 2 acre(s).[REF: ZA-93-280] **(F-15) PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EVALUATION OF SIDEWALK EASEMENT REQUIREMENTS.**

16. **Project # 1002743**
04DRB-00927 Minor-Final Plat
Approval

BORDENAVE DESIGNS agent(s) for HARVEST HOMES, LLC request(s) the above action(s) for all or a portion of Tract(s) D, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 special use zone, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 2 acre(s). [REF: 03DRB-00989, 03DRB-01544, 03DRB-02083, 04DRB-00399, 04DRB-00888, 04DRB-00886] [*Final Plat Indef Deferred for SIA*] (F-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

17. **Project # 1004090**
05DRB-00559 Minor-Prelim&Final Plat
Approval

BRASHER & LORENZ INC agent(s) for JIM HAKEEM request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 17, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D, located on WYOMING BLVD NE, between CORONA AVE NE and ANAHEIM AVE NE containing approximately 2 acre(s). (C-19) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

18. **Project # 1001090**
05DRB-00563 Major-Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING agent(s) for NEWMAN HOMES INC (PAUL NEWMAN) request(s) the above action(s) for all or a portion of Lot(s) 29, 30, 31 & 32, Block(s) 4, Tract(s) 3, **TIERRA MORENA SUBDIVISION, UNIT 3**, zoned SU-2 FOR 0-1 & R-T, located on SIGNAL AVE NE, between BARSTOW ST NE and VENTURA AVE NE containing approximately 4 acre(s). [REF: 01DRB00908, 01DRB00909, 04DRB00863, 04DRB00864, 04DRB00863, 04DRB00864] (C-20) **FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1004093**
05DRB-00564 Minor-Prelim&Final Plat
Approval
- ADVANCED ENGINEERING & CONSULTING agent(s) for MICHAEL & SUSAN MORSE request(s) the above action(s) for all or a portion of Lot(s) 1, 2 and 3, Block(s) 51, **TERRACE ADDITION**, zoned SU-2 DR, located on GOLD AVE SE and SILVER AVE SE containing approximately 1 acre(s). [REF: Z-78-6, ZA-76-69] (K-15) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**
20. **Project # 1001409**
05DRB-00531 Minor-Prelim&Final Plat
Approval
- ADVANCED ENGINEERING & CONSULTING agent(s) for SAIFI TALEBREZA request(s) the above action(s) for all or a portion of Lot(s) 20-A, Block(s) 1, **CANDELIGHT FOOTHILLS, UNIT 1**, zoned R-1, located on LOMAS BLVD NE, between MONTE LARGO DR NE and SUMMIT HILLS DR NE containing approximately 2 acre(s). [REF: 01DRB01160, 01DRB01819, 02DRB01863, 03DRB02032, 04DRB01425] [*Deferred from 4/6/05 & 4/13/05*] (J-23) **DEFERRED AT THE AGENT'S REQUEST TO 4/20/05.**
21. **Project # 1003628**
05DRB-00386 Minor-Prelim&Final Plat
Approval
- DAC ENTERPRISES INC agent(s) for CONNIE NELLOS request(s) the above action(s) for all or a portion of Lot(s) K-1, K-2 & L-1, **ALVARADO GARDENS UNIT 2**, zoned RA2, located on SHERIDAN ST NW, between DON PABLO NW and CAMPBELL RD NW containing approximately 1 acre(s). [REF: 04ZHE01986] [*Deferred from 3/16/05*] (G-12) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND FEE SIMPLE LANGUAGE.**

22. **Project # 1001778**
05DRB-00392 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for DRAGONFLY DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 11-A, Tract(s) A-2, Block(s) B, **BRENTWOOD HILLS**, zoned R-1/C-1, located on MENAUL BLVD NE, between CHELWOOD PARK BLVD NE and TRAMWAY BLVD NE containing approximately 3 acre(s). [REF: DRB-94-428, Z-70-134] [*Indef. Deferred on 3/16/05*] (H-22) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

23. **Project # 1003781**
04DRB-01768 Minor-Final Plat Approval

ALBUQUERQUE SURVEYING CO., INC. agent(s) for TEAM SOUTHWEST, SPERRY VAN NESS request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A1 & 2B1, **UNIVERSITY TOWERS**, zoned C-3 heavy commercial zone, located on UNIVERSITY BLVD NE, between INDIAN SCHOOL RD NE and I-40 containing approximately 9 acre(s). [*Indefinitely deferred for the SIA*] (H-15) **FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD. AGENT NEEDS AMAFCA'S SIGNATURE PRIOR TO RECORDING.**

24. **Project # 1004061**
05DRB-00499 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for CONNIE & ZACK LOVELADY, CZ ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 25C and 25D, **ALVARADO GARDENS, UNIT 1**, zoned RA-2, located on MATTHEW AVE NW and MEADOW VIEW DR NW and containing approximately 1 acre(s). [*Deferred from 3/30/05 & 4/13/05*] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/20/05.**

THERE ARE NO SKETCH PLATS THIS WEEK

25. Approval of the Development Review Board Minutes for March 30, 2005. **DRB MINUTES FOR MARCH 30, 2005 WERE APPROVED.**

ADJOURNED: 12:12 p.m.

2371
3597

DXF Electronic Approval Form

DRB Project Case #: 1002371
~~1003597~~

Subdivision Name: ALBAN HILLS UNIT 1 TRS 1D1 & 1E1-BLK-15

Surveyor: LARRY W MEDRANO

Contact Person: BERNADETTE BUSTOS

Contact Information: 856-5700

DXF Received: 12/8/2004

Hard Copy Received: 12/8/2004

Coordinate System: NMSP Grid (NAD 27)

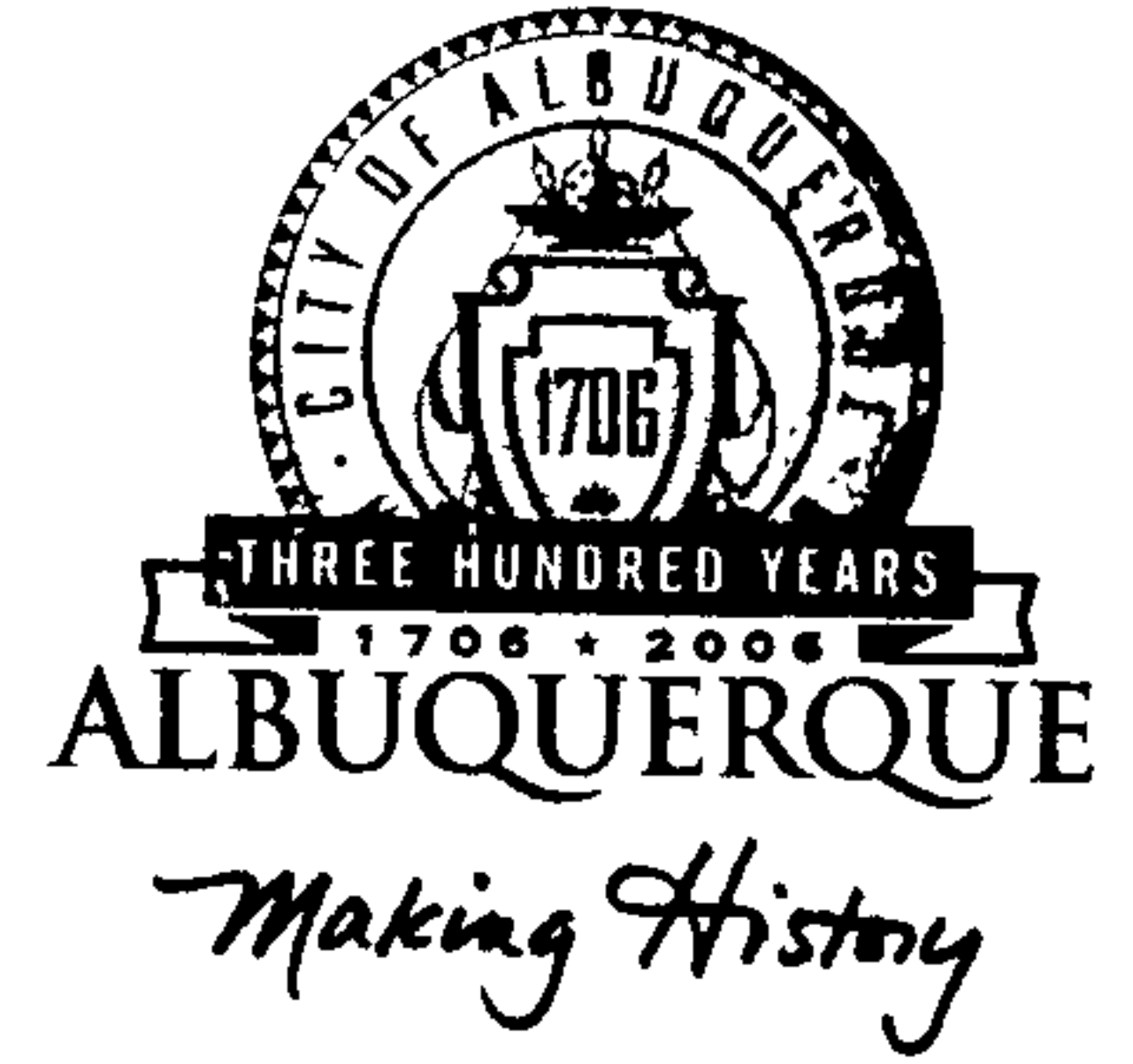

Approved

12/14/04
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied cov **3597** to agiscov on **12/14/2004** Contact person notified on **12/14/2004**

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002371

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for BP (

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

P.O. Box 1293

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN

4-20-05

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

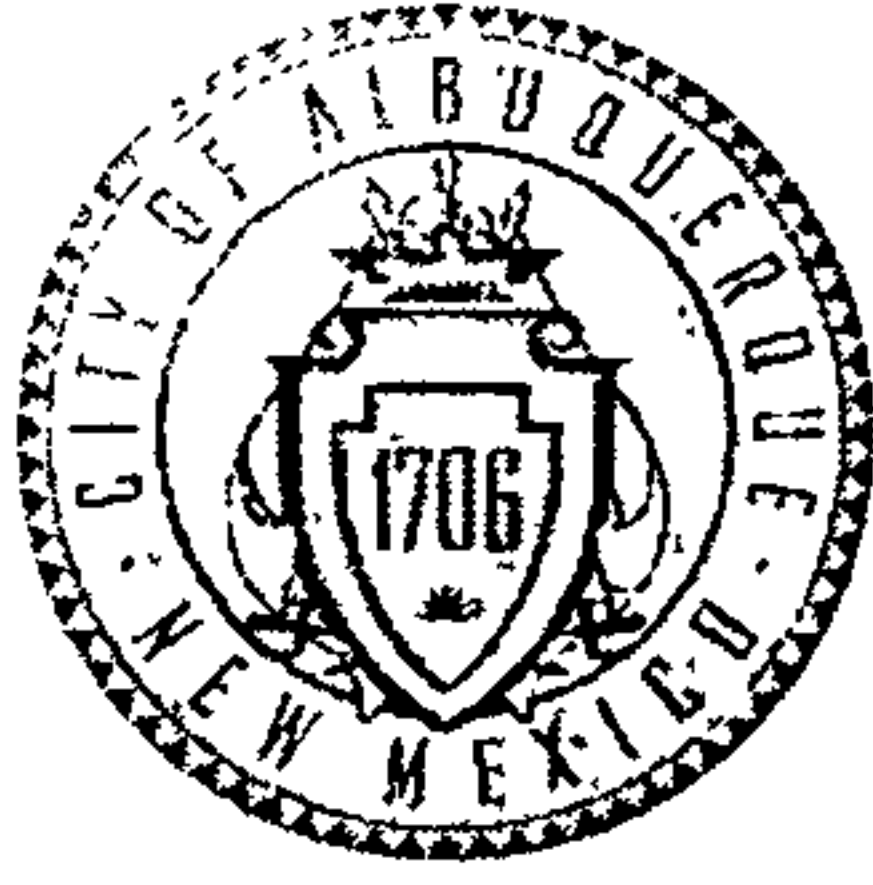
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: April 13, 2005

www.cabq.gov



F

City of Albuquerque
Parks and Recreation Department
 PO Box 1293, Albuquerque, New Mexico 87103
 Inter-Office Correspondence

Development Review Board Comments

Project Number: 1002371
Application Number: 05DRB-00560

DRB Date: 4/13/2005
Item Number: 8

Subdivision: Hoffmantown West Church
 Block 15, Tracts 1A1. A;ban Hills, Unit 1

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Zoning: SU-1 for R-2 with Church Related Uses

Zone Page: D-12

New Lots (or units) : 0

Parks and Recreation Comments:

Is the trail being built to the East property line or to the existing easment?

Is the equestrian trail being built with this request?

Signed: CS
 Christina Sandoval, (DMD)

Phone: 768-3808

#12



Complete 2-23-05 (2) *Pre-Jural Plat*
~~Stephan B.P.~~

DRB CASE ACTION LOG
REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB01818 (SDP) Project # 1002371
 Project Name: Alban Hills
 Agent: Behanna Heston Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/8/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: AGIS DXF *ok. 2-18-05*
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- PLANNING (Last to sign): AGIS DXF
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: 2-23-05
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.** OK

Called Agent on 2-18-05 to pick up plat and record. Ag

Project Number 1002371



DRB CASE ACTION LOG
REVISED 2/5/04

Plat
~~*Site Plan B.P.*~~

12

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB01812 (SDP) Project # 1002371
 Project Name: Albion Hills
 Agent: Behanna Heston Phone No.: 823.1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/18/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Agis
-
-
-
-
- UTILITIES:
-
-
-
- CITY ENGINEER / AMAFCA:
-
-
-
- PARKS / CIP:
-
-
-
- PLANNING (Last to sign): AGIS
-
-
-

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan along with the originals.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Project Number
1002371



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 8, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:35 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002337**
04DRB-01758 Major-Two Year SIA **BOHANNAN HUSTON, INC agent(s) for HUNT UPTOWN II, LLC request(s) the above action(s) for all or a portion of Tract(s) A, UPTOWN SPECTRUM, zoned SU-3, located on UPTOWN LOOP NE, between INDIAN SCHOOL RD NE and LOUISIANA BLVD NE [REF: 02DRB01708, 03CC00343, 03CC00199] (J-19) TWO-YEAR SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1003778**
04DRB-01750 Major-Preliminary Plat Approval
04DRB-01751 Major-Vacation of Pub Right-of-Way
04DRB-01753 Minor-Temp Defer SDWK
04DRB-01752 Minor-Sidewalk Variance
- LARRY READ & ASSOCIATES INC agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 21 & 22, Block(s) 2, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **SHAHEEN SUBDIVISION**) zoned R-D, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). *[Deferred from 12/8/04]* (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 12/15/04.**
3. **Project # 1003779**
04DRB-01754 Major-Preliminary Plat Approval
04DRB-01765 Major-Vacation of Pub Right-of-Way
04DRB-01756 Minor-Sidewalk Variance
04DRB-01757 Minor-Temp Defer SDWK
- LARRY READ & ASSOCIATES INC agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 17 & 18, Block(s) 2, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **KUMAIL SUBDIVISION**) zoned R-D, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). *[Deferred from 12/8/04]* (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 12/15/04.**
4. **Project # 1002051**
03DRB-02008 Major-Preliminary Plat Approval
03DRB-02009 Major-Vacation of Public Easements
03DRB-02010 Minor-Vacation of Private Easements
03DRB-02011 Minor-Temp Defer SDWK
- TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE - UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). *[Deferred from 6/9/04, 6/23/04, 8/4/04, 9/29/04, Indefinitely Deferred on 11/10/04 & 12/8/04]*[REF:02DRB-00963](B-10) **DEFERRED AT THE AGENT'S REQUEST TO 1/5/05**

5. **Project # 1003705**
04DRB-01540 Major-Vacation of Public
Easements
04DRB-01539 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for DR VIJAY AGARWAL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 AND 9 and the south 47 feet of Lot(s) 4, 5, 6, Block(s) 22, **BROWNEWELL & LAILS HIGHLAND ADDITION**, zoned SU-2 MC, located on OAK ST NE, between TIJERAS NE and COPPER NE containing approximately 1 acre(s). [REF:V-78-38] *[Deferred from 11/3/04, Indefinitely Deferred on 11/10/04]* (K-15) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

6. **Project # 1003125**
04DRB-01505 Major-Bulk Land Variance
04DRB-01506 Minor-Prelim&Final Plat
Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). *[Deferred from 10/27/04 & 11/3/04 & 11/10/04, Indefinitely Deferred on 11/10/04]* [REF: 03EPC02054](F-6/G-6) **BULK LAND VARIANCE WAS APPROVED. PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.** CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D, F AND S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 300 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506][Chris Hyer, EPC Case Planner] *[Deferred from 10/27/04 & 11/3/04 & Indefinitely Deferred on 11/10/04]* (F-5/G-6) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

04DRB-01630 Minor-SiteDev Plan
Subd/EPC

7. **Project # 1002702**
04DRB-01664 Major-Vacation of Public Easements
04DRB-01686 Minor-Prelim&Final Plat Approval
- ALAN J VINCIONI Request(s) the above action(s) for all or a portion of Tract(s) 1, HUNING HIGHLANDS ADDITION (to be known as **IRON PROPERTIES**) zoned M-1 light manufacturing zone, located on BROADWAY SE AND IRON SE between COAL SE and HAZELDINE SE containing approximately 8 acre(s). [REF:03DRB00886] *[Deferred from 12/1/04]* (K-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MAINTENANCE AND BENEFIT NOTE REVISIONS, WIDTH OF EASEMENT TO REMAIN, AGIS DXF FILE, UTILITIES AND REAL PROPERTY SIGNATURES.**
8. **Project # 1002779**
04DRB-01730 Major-Preliminary Plat Approval
04DRB-01731 Major-Vacation of Public Easements
04DRB-01732 Minor-Temp Defer SDWK
- ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SANHIL DEVELOPMENT LTD CO request(s) the above action(s) for all or a portion of Tract(s) C, A-1 & A-2, LANDS OF POLO CHAVEZ and SAN JOSE TRACTS, (to be known as **CIELO LINDO SUBDIVISION**) zoned R-1 residential zone, located on AIRPORT DR SW, between DONA BARBARA AVE SW and EDUARDO RD SW containing approximately 9 acre(s). [REF: 04DRB00959, 03EPC02049, 03EPC01061] *[Deferred from 12/1/04]* (M-11) **INDEFINITELY DEFERRED ON A NO SHOW.**

9. **Project # 1003039**
04DRB-01675 Major-Preliminary Plat Approval
04DRB-01676 Major-Vacation of Pub Right-of-Way
04DRB-01677 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for DAVID SOULE request(s) the above action(s) for all or a portion of Lot(s) 1, 2, & 3, Block(s) 16, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3, (to be known as **WILSHIRE ESTATES**) zoned RD, located on WILSHIRE BLVD NE, between VENTURA BLVD NE and HOLBROOK BLVD NE containing approximately 3 acre(s). [REF: 04DRB01077] [Deferred from 12/1/04] (C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/8/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/26/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: P-1 LOT DESIGNATION IS REQUIRED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1001445**
04DRB-01681 Major-Bulk Land Variance

SURV-TEK INC agent(s) for DAVE GARDUNO AND LORETTA ROMERO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 6 acre(s). [REF: 03EPC01029, 01EPC01244, 02EPC00991, 03EPC00351, 03EPC00864] [Deferred from 12/1/04] (B-14) **BULK LAND VARIANCE WAS APPROVED.**

04DRB-01634 Minor-SiteDev Plan Subd

CONSENSUS PLANNING agent(s) for DAVE AND LORETTA GARDUNO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 5 acre(s). [REF: 03EPC001029, 01EPC0244, 02EPC00991, 03EPC00351, 03EPC00804, CITY COUNCIL BILL 0-02-16, ENACTMENT 13-2002] [Was Indef Deferred 10/27/04] [Deferred from 12/1/04] (B-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR EASEMENT.**

04DRB-01633 Minor-Prelim&Final Plat Approval

SURV-TEK INC agent(s) for DAVE GARDUNO AND LORETTA ROMERO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 6 acre(s). [REF: 03EPC01029, 01EPC01244, 02EPC00991, 03EPC00351, 03EPC00864] [Was Indef Deferred 10/27/04] [Deferred from 12/1/04] (B-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR PRIVATE DRAINAGE EASEMENT MODIFICATION AND PLANNING FOR AGIS DXF FILE.**

11. **Project # 1003606**
04DRB-01689 Major-Vacation of Pub Right-of-Way
04DRB-01690 Major-Preliminary Plat Approval
04DRB-01691 Minor-Sidewalk Waiver
04DRB-01692 Minor-Temp Defer SDWK
04DRB-01693 Minor-Vacation of Private Easements

MARK GOODWIN & ASSOCIATES PA agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Lot(s) J09-26, J09-27, 19W, 12B, Tract(s) L and B, Unit(s) A, TOWN OF ATRISCO GRANT, WESTLAND NORTH SUBDIVISION, PAINTED SKY UNIT 1, SUNDORO SOUTH UNIT 1, **SUNDORO SOUTH UNIT 5**, zoned SU-2 RLT, located on LADERA DR NW, between 94TH ST NW and 90TH ST NW containing approximately 22 acre(s). *[Deferred from 12/1/04](J-9)* **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/8/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/29/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: TRACTS O & Q TO BE CONVEYED TO THE ADJOINING SUBDIVISION FOR PLATTING. PROVIDE R/W OR EASEMENTS FOR KIPUKA DRIVE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

12. **Project # 1002371**
04DRB-01817 Minor-SiteDev Plan Subd/EPC
04DRB-01818 Minor-SiteDev Plan
BldPermit/EPC
- BOHANNAN HUSTON INC. agent(s) for COORS EIGHT PACK request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1B1, 1D and 1E, **ALBAN HILLS, UNIT 1**, zoned SU-1 FOR C-2, located on LA ORILLA RD NW and COORS NW containing approximately 5 acre(s). [REF: 04EPC01217 (Project #1003597)] [Elivra Lopez, EPC Case Planner] (D-12) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/8/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TRANSPORTATION DEVELOPMENT FOR NMDOT APPROVAL FOR ACCESS.**

~~04DRB-01816 Minor-Prelim&Final Plat~~
Approval

PRECISION SURVEYS, INC., agent(s) for COORS EIGHT PACK request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1B1, 1D and 1E, **ALBAN HILLS, UNIT 1**, zoned SU-1 FOR C-2, located on LA ORILLA RD NW and COORS NW containing approximately 5 acre(s). [REF: 04EPC01217 (Project #1003597), DRB-85-35, SP-02-06-403] (D-12) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR AGIS DXF FILE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

13. **Project # 1002464**
04DRB-01815 Minor-Prelim&Final Plat
Approval
- PRECISION SURVEYS INC agent(s) for UNSER VULCAN LLC request(s) the above action(s) for all or a portion of Tract(s) 6A & 6B, **SANTA FE VILLAGE, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on VULCAN RD NW, between BOGART ST NW and UNSER BLVD NW containing approximately 1 acre(s). [REF: 03DRB00191, 04DRB01576] (F-10) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR RECONSTRUCTION OF WALLS AND TO CHECK ON ZONING FOR CONDOMINIUMS AND AGIS DXF FILE.**

14. **Project # 1003533**
04DRB-01808 Minor-Prelim&Final Plat Approval
04DRB-01809 Minor-Sidewalk Waiver
04DRB-01810 Minor-Sidewalk Variance
04DRB-01811 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES agent(s) for FORAKER FARMS LLC request(s) the above action(s) for all or a portion of Tract(s) 25-A-1-B, **FORAKER FARMS**, zoned R-1 residential zone, located on MENAUL BLVD NW, between 8TH ST NW and 10TH ST NW containing approximately 2 acre(s). [REF:04EPC01041, 04EPC01043, 04EPC01044] [*Deferred from 12/8/04*] (H-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/29/04.**
15. **Project # 1003685**
04DRB-01814 Major-Amnd Prelim Plat Approval
- BOHANNAN HUSTON INC agent(s) for VENTANA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) 7 & 8, **WESTERN SHADOWS @ VENTANA RANCH WEST**, zoned R-LT residential zone, located on VENTANA RIDGE RD NW, between VENTANA RIDGE RD NW and VENTANA WEST PARKWAY NW containing approximately 30 acre(s). [REF: 04DRB01448] (B-8) **THE AMENDED INFRASTRUCTURE LIST DATED 10/13/04 WAS APPROVED. THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: A VARIANCE ALONG VALLECITO DRIVE IS REQUIRED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**
16. **Project # 1003226**
04DRB-00908 Minor- Final Plat Approval
- J C ENGINEERING agent(s) for SUJAY THAKUR request(s) the above action(s) for all or a portion of Tract(s) 9, **V. E. BARRETT SUBDIVISION**, zoned C-2 community commercial zone, located on BRIDGE ST SW, between UNSER BLVD SW and COORS BLVD SW containing approximately 6 acre(s). [REF: Z-71-125, Z-72-114, Z-72-210, 04DRB-00806, 04DRB-00117] [*Deferred from 7/14/04 & Indefinitely deferred on 7/21/04*] [*Final plat was indefinitely deferred for the SIA*] (K-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

17. **Project # 1003604**
04DRB-01794 Minor-Final Plat Approval

ABQ ENGINEERING agent(s) for D T LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 217, 218, 219 and 220, **MIRA MESA SUBDIVISION**, zoned R-2 residential zone, located on HANOVER RD NW, between GLENRIO RD NW and 68TH ST NW containing approximately 13 acre(s). [REF: 04DRB01233, 04DRB01452, 04DRB01453] [*Deferred from 12/1/04 & 12/8/04*] (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 12/15/04.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

18. **Project # 1003797**
04DRB-01812 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 13, Block(s) 57, **TERRACE ADDITION**, zoned SU-2 special neighborhood zone, located on PINE ST SE and HAZELDINE AVE SE containing approximately 1 acre(s). (K-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003800**
04DRB-01820 Minor-Sketch Plat or Plan

RIO GRANDE ENGINEERING agent(s) for LLAVE DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 1, 2 & 3, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK NE, between BARTSTOW NE and VENTURA NE, containing approximately 3 acre(s). (C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1003794**
04DRB-01805 Minor-Sketch Plat or Plan
- GOLDEN & ASSOCIATES agent(s) for RAMPART LLC, ROBIN TONKIN request(s) the above action(s) for all or a portion of Lot(s) 1A, **TOWN OF ATRISCO GRANT ROW 1**, zoned SU-2 special neighborhood zone, located on 98TH STREET NW, between VOLCANO NW and CENTRAL NW containing approximately 4 acre(s). [REF:DRB-87-828](K-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1003793**
04DRB-01803 Minor-Sketch Plat or Plan
- SUSAN L HOMER request(s) the above action(s) for all or a portion of Lot(s) 18 & 19, Block(s) A, **GRANDE HEIGHTS ADDITION**, zoned R-1, located on SEQUOIA RD NW, between SEQUOIA CT NW and RIO GRANDE RIVER containing approximately 2 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
22. **Project # 1003796**
04DRB-01807 Minor-Sketch Plat or Plan
- PATRICK J GRIFFIN request(s) the above action(s) for all or a portion of Lot(s) 79, Block(s) 11, **SKYVIEW WEST ADDITION**, zoned R-1, located on GWIN SW, between UNSER BLVD SW and GASLIGHT SW containing approximately 1 acre(s). (K-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
23. ADJOURNED: 11:35 A.M.



Completed
3-17-04 Les

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03DRB-02086 (P&F)

Project # 1002371

Project Name: ALBAN HILLS SUBD UNIT ONE

EPC Application No.:

Agent: Tierra West LLC

Phone No.: 858-3100

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/4/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

Project Number

1002371

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: *OK 3/16/04*
 AMAFCA + MRGCD signatures

PARKS / CIP: _____

PLANNING (Last to sign): *3/16/04*
 15 days appeal + DXF
 Planning must record this plat. Please submit the following items:
-The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
-Tax printout from the County Assessor.
 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.



Please close out SAM Site
Completed 3-17-04 LES

DRB CASE ACTION LOG (SITE PLAN SUB)

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03DRB-02085 (SPS)
Project Name: ALBAN HILLS SUBD UNIT ONE
Agent: Tierra West LLC

Project # 1002371
EPC Application No.:
Phone No.: 858-3100

Project Number

1002371

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/4/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____
 Roadway encroachment in MR6CD esmt - Nowe askat 4

PARKS / CIP: _____

PLANNING (Last to sign): *Amelia Russell*
 Planning must record this plat. Please submit the following items:
-The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
-Tax printout from the County Assessor.

Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.

2371

AGIS ELECTRONIC PLAT APPROVAL FORM

DRB Project Case # 1002371
Subdivision Name Alban Hills Unit 1
Surveyor Larry Medrano
Company/Agent Tierra West / Precision Surveys
Contact Person Karen Kline Phone.# _____ email _____

DXF Received Date: 3/15/04
 Hard-Copy Date: 3/15/04

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

Patricia M. Galt 3/15/04
Approved Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only		
Copied cov <u>2371</u> to agiscov.	Date: <u>3/15/04</u>	Contact person Notified on: <u>3/15/04</u>



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, January 28, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002371
03DRB-02150 Minor-Bulk Land Variance

TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for ALBAN HILLS SUBDIVISION zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). Including all or a portion of Tract(s) 1A,1B,1C and Tract A, Bosque Meadows. (D-12)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Dei Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

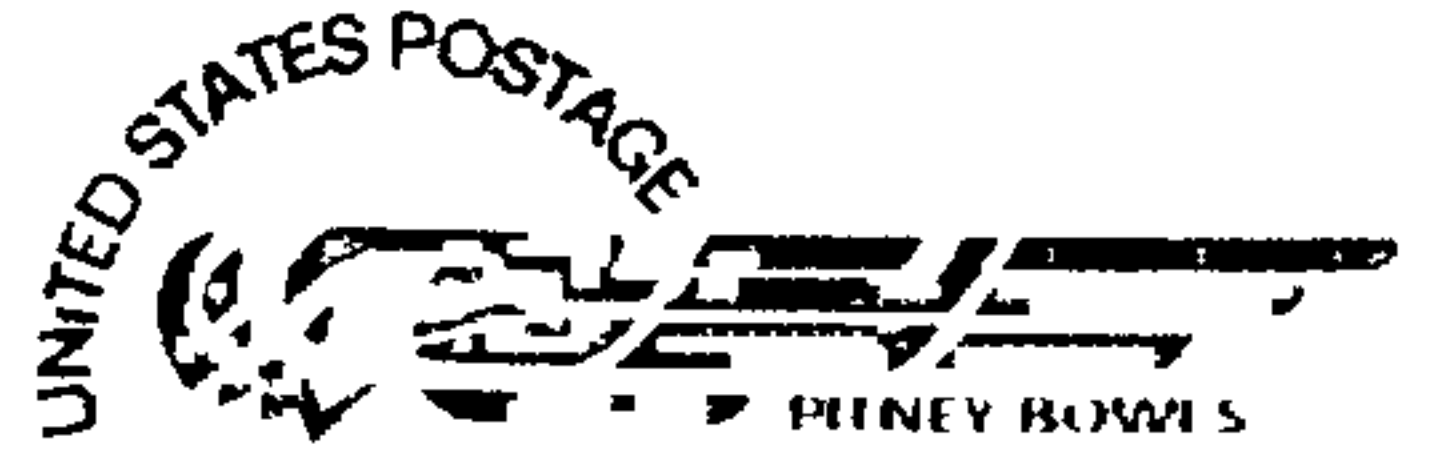
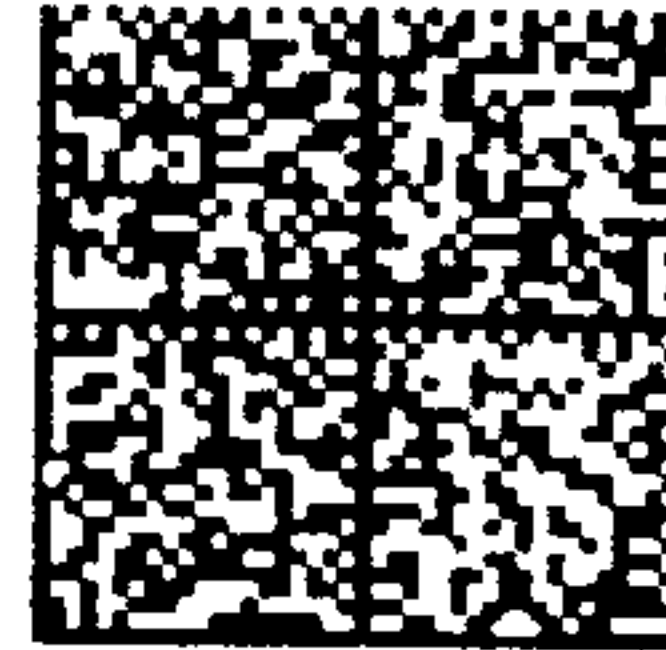
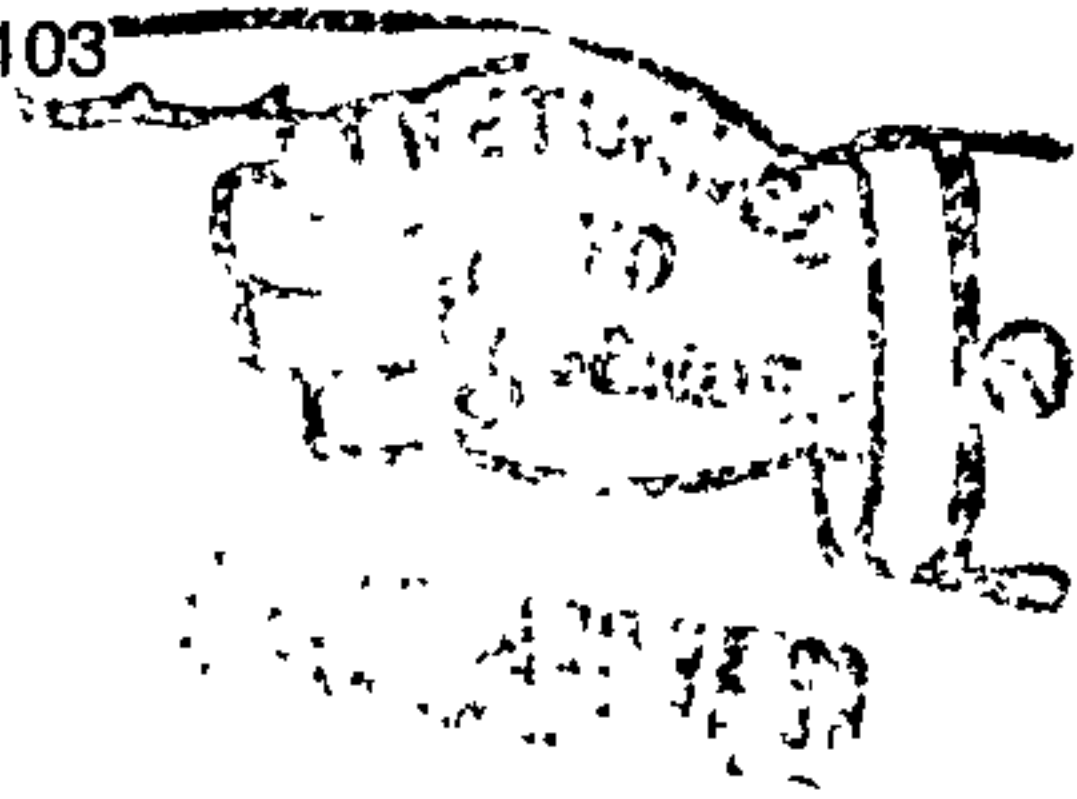
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, January 12, 2004.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



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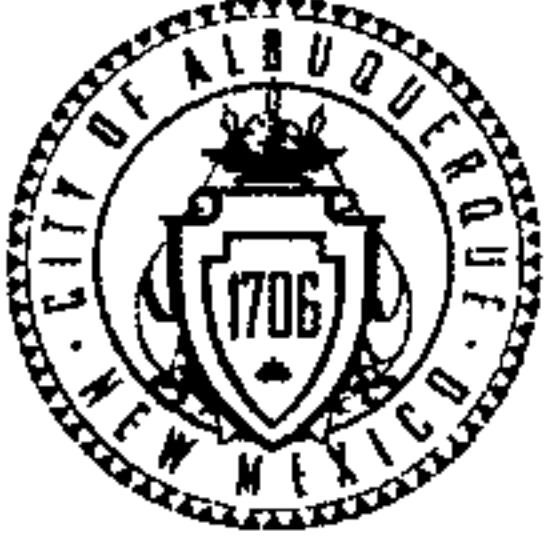
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RIVERSIDE PLAZA LTD. CO
GENERAL DELIVERY
ALBUQUERQUE NM 87190

87130+3535





OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

FEBRUARY 5, 2004

5. **Project # 1002371**
03DRB-02150 Major-Bulk Land Variance
03DRB-02085 Minor-SiteDev Plan Subd/EPC
03DRB-02086 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A, 1B and 1C, **ALBAN HILLS SUBDIVISION, UNIT 1 and Tract A, BOSQUE MEADOWS**, zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). *[Deferred from 1/28/04] (D-12)*

At the February 4, 2004, Development Review Board meeting, the Bulk Land Variance was approved subject to the Findings and Conditions of the Subdivision Ordinance as follows:

BULK LAND VARIANCE:

1. The variance will not be injurious to the public safety, health or welfare, or to adjacent property, the neighborhood or the community.
2. The variance will not conflict significantly with the goals and provisions of any City, County or AMAFCA adopted plan or policy; the applicable zoning ordinance, or any other City code or ordinance.
3. The variance will not permit, encourage or make possible undesired development in the 100-year floodplain.
4. The variance will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

The site plan for subdivision was approved with final sign off delegated to City Engineer for roadway encroachment into M.R.G.C.D. easement and Planning for EPC planner's initials. The preliminary plat was approved with final sign off delegated to City Engineer for AMAFCA and M.R.G.C.D signatures and Planning for the 15-day appeal period and the AGIS dxf file.

If you wish to appeal this decision, you must do so by February 19, 2004 in the manner described below.



**OFFICIAL NOTICE OF DECISION
PAGE 2**

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

cc: Hoffmantown West Church, 2600 American Road SE, Suite 350, Rio Rancho, NM
87124
Tierra West LLC, 8509 Jefferson NE, 87113
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File



#12

City of Albuquerque

Planning Department

Martin Chavez, Mayor
Interoffice Memorandum

December 7, 2004

To: Sheran Matson, DRB Chair, Development Review Board

CC: Claire Senova

From: Elvira Lopez, Planner, Planning Department

Subject: DRB Project 1002371 (reference 1003597)

Conditions of approval for 04EPC 01217, a request for site development plan for subdivision, have been met in the following manner:

Condition 2: satisfied

Condition 3: These conditions are from the City Engineer, Municipal Development, Public Works Department, and NMDOT. Transportation Development should verify that these conditions have been met to the satisfaction of the City Engineer.

Condition 4: The applicant states, "Approval of Driveway Access shall be granted by the City of Albuquerque". Transportation Development staff should verify that a driveway access at the northwest corner of the proposed Tract 1D has been approved by the Department of Transportation or other appropriate group.

Conditions of approval for 04EPC 01218, a site development plan for building permit, for proposed Tract 1E, have been met in the following manner:

Condition 2: satisfied

Condition 3: satisfied

Condition 4: satisfied

Condition 5: satisfied

Condition 6: satisfied

Condition 7: satisfied

Condition 8: satisfied

Condition 9: The caliper of the ornamental tree and Desert Willow trees is not indicated on the plant list. If there are proposed utility lines within the property, these should be shown on the landscaping plan. The width dimensions of rear and side yard landscape buffers are still not shown.

Condition 10: satisfied

Condition 11: satisfied

Condition 12: satisfied

Condition 13: Not satisfied. The detail drawing on the site plan indicates that the monument sign is 75 SF. However, the dimensions provided (7' high and 16' wide) indicate that the monument sign is at least 112 SF. The definition of the Sign Area in the Zoning Code states, "For free-standing and projecting signs means the area of one rectangle or of two contiguous rectangles in the same plan, drawn with horizontal and vertical lines so as **to include the entire sign except sign supports**. The view point shall be that which gives the largest dimension to that rectangular area." The size of the monument sign still needs to be reduced so that it is a maximum of 75 SF.

Condition 14: A water and Sanitary Sewer Availability Statement is included in the submittal. This letter is dated September 13, 2004. A new utility plan has been submitted and references to NMUI as owners of the proximate water and sewer lines have been removed.

Condition 15: Solid Waste Management has signed the plan indicating that this condition has been met.

Condition 16: satisfied

Condition 17: These conditions are from the City Engineer, Municipal Development, Public Works Department, and NMDOT. Transportation Development should verify that these conditions have been met to the satisfaction of the City Engineer.

Condition 18: satisfied

General differences between the EPC approved plan and the plan submitted for final sign-off by the DRB:

- The configuration of the lot has been changed on the southwest corner. If this change was done to address a traffic/circulation related issue, then this change is appropriate. Otherwise,

the DRB submitted site plan shall reflect the EPC approved plan. Transportation Development and/or Traffic Engineer should please verify this change.

- Proposed Austrian Pine trees along the western side of the subject site are not shown on the DRB submittal. All proposed trees and plants should be shown to reflect the EPC approved plan, unless the change was made to address a condition of approval.



Site

DRB CASE ACTION LOG (SITE PLAN SUB)

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03DRB-02085 (SPS)	Project # 1002371
Project Name: ALBAN HILLS SUBD UNIT ONE	EPC Application No.:
Agent Tierra West LLC	Phone No.: 858-3100

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/4/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____
 Roadway encroachment in MR6CD esmt

PARKS / CIP: _____

PLANNING (Last to sign): Russell's initials

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- Copy of final plat AND a DXF File for AGIS is required.**
- Copy of recorded plat for Planning.**

Project Number 1002371



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No. 03DRB-02086 (P&F)	Project # 1002371
Project Name. ALBAN HILLS SUBD UNIT ONE	EPC Application No.:
Agent: Tierra West LLC	Phone No.: 858-3100

Your request for (SDP for SUB), (SDP for BP), (**FINAL PLATS**), (MASTER DEVELOP. PLAN), was approved on 2/4/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA:
 AMAFCA + MREGCD signatures

PARKS / CIP: _____

PLANNING (Last to sign): 15 day appeal + DXF
 Planning must record this plat. Please submit the following items:
 -The original plat and a mylar copy for the County Clerk.
 -Tax certificate from the County Treasurer.
 -Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 -Tax printout from the County Assessor.
 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.

Project Number

1002371

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002371 AGENDA#: 5- DATE: 2.4.04

1. Name: Aera Levy Address: Terra West LLC Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

MEMO

Date: 30 January 2004
To: Sheran Matson, DRB Chair
From: Russell Brito, Senior Planner *RJB*
RE: Project # 1002371: 03DRB-02085/02086 (03EPC-01285/01815)

#5

I met with Karen Kline from Tierra West and we outlined changes that needed to be shown on the submitted site development plan for subdivision to ensure clarity. Otherwise, it appears that all of the EPC Conditions of Approval for the site development plan for subdivision have been adequately addressed and/or met.

Please ensure that all City Engineer / Public works / DPM requirements are met satisfactorily.



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002371

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|--------------------------------|--------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the BLV request.
 AMAFCA & MRGCD must sign plat.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) **(SP-SUB)** (SP-BP) **(FP)** TO: (UD) **(CE)** (TRANS) (PKS) **(PLNG)**

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: February 4, 2004

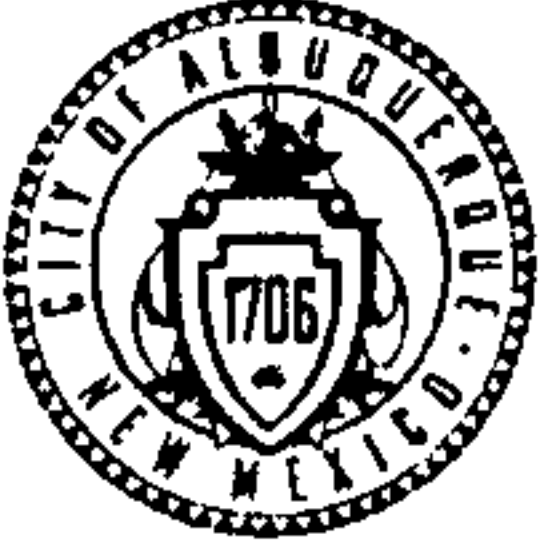
12/17/03

Referred for:

① Withdraw final plat on Stoneleigh.

② BLV variance

AMAFCA?



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 28, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order : 9:00 A.M. Adjourned: 11:25 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002371**
03DRB-02150 Major-Bulk Land Variance
TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A, 1B and 1C, **ALBAN HILLS SUBDIVISION, UNIT 1 and Tract A, BOSQUE MEADOWS**, zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). *[Deferred from 1/28/04] (D-12)* ~~DEFERRED AT~~
THE AGENT'S REQUEST TO 2/4/04.

2. **Project # 1002051**
03DRB-02009 Major-Vacation of Public Easements
03DRB-02008 Major-Preliminary Plat
03DRB-02011 Minor-Temp Defer SDWK
03DRB-02010 Minor-Vacation of Private Easements

TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DRIVE NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: 02DRB-00963] [*Deferred from 1/14/04 & 1/28/04*] (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 2/4/04.**

3. **Project # 1002668**
03DRB-01889 Major-Vacation of Public Easements
03DRB-01888 Major-Preliminary Plat Approval
03DRB-01890 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Block(s) 5, Tract(s) C E & F, AND Block(s) 2, **VISTA MAGNIFICA** and Lot(s) B, Block(s) 8, **PALISADES ADDITION**, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 03EPC-01089, 03DRB-00811] [*Deferred from 1-7-04, 1-21-04 & 1/28/04*] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 2/4/04.**

4. **Project # 1003027**
03DRB-02159 Major-Preliminary Plat Approval
03DRB-02161 Minor-Site Plan for Subdivision
03DRB-02173 Minor-Temp Defer SDWK
03DRB-02172 Minor-Subd.Design Var.
04DRB-00090 Minor – Sidewalk Variance for Waiver

WAYJOHN SURVEYING, INC agent(s) for INTERFIRST PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 3,4,5, Tract(s) 2, **NORTH ALBUQUERQUE ACRES**, zoned RD 7 DU/AC, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 3 acre(s). [REF: 1003027, 03DRB-01721] [Deferred from 1/21/04] (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/28/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/20/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: REMOVE THE PNM EASEMENT WITHIN THE DEDICATED PUBLIC RIGHT-OF-WAY. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1003173**
04DRB-00005 Minor-Site Dev Plan
BldPermit
- INSITEWORKS request(s) the above action(s) for all or a portion of Lot(s) 31-32, Block(s) 5, **NORTH ALBUQUERQUE ACRES**, zoned IP, located on SAN DIEGO AVE NE, between SAN MATEO NE and I-25 NE containing approximately 2 acre(s). [Deferred from 1/14/04] (B-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/28/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**
- 04DRB-00060 Minor-Prelim&Final Plat
Approval
- PRECISION SURVEYS agent(s) for INSITEWORKS request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, (to be known as **VERANO PLAZA**) zoned IP industrial park zone, located on SAN DIEGO AVE NE, between SAN MATEO BLVD. NE and BEVERLY HILLS AVE. NE containing approximately 2 acre(s). [REF: 04DRB-00005] (B-18) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR 25-FOOT RADIUS AND DRAINAGE EASEMENT AND PLANNING FOR AGIS DXF FILE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project # 1001697**
04DRB-00046 Minor-Ext of SIA for Temp
Defer SDWK
- TOBY GARCIA request(s) the above action(s) for all or a portion of Lot(s) C-46, **TOWN OF ATRISCO GRANT, UNIT 4**, zoned SU-2 IP, located on CENTRAL AVE NW, between UNSER BLVD NW and 90TH ST NW containing approximately 5 acre(s). [REF: DRB-97-465, SV-97-71, ZA-95-59] (K-10) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

7. **Project # 1001786**
04DRB-00069 Minor-Ext of SIA for Temp
Defer SDWK
- WILLIAM T. CANIGLIA agent(s) for THE GARDENS INC. request(s) the above action(s) for all or a portion of Lot(s) 4, 7, 30, 24, 25, 33, 35 and 6, Unit 1, **THE GARDENS ON THE RIO GRANDE**, zoned RA-1, located on MOUNTAIN RD NW, between LAGUNA SECA NW and MOUNTAIN RD NW containing approximately 18 acre(s). (J-12) **WITHDRAWN AT THE AGENT'S REQUEST.**
8. **Project # 1003085**
04DRB-00053 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for GEORGE CARRUTHERS request(s) the above action(s) for all or a portion of Lot(s) B, **LANDS OF CARRUTHERS**, zoned SU-2, located on OLD TOWN ROAD NW, between 19th ST NW and MARBLE AVE NW containing approximately 1 acre(s). [REF: 03DRB-01863] (J-13) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**
9. **Project # 1000875**
04DRB-00043 Major-Final Plat Approval
- COMMUNITY SCIENCES CORP. agent(s) for KB HOME request(s) the above action(s) for PARCEL F-1-A AND E 1-A, FINELAND DEVELOPMENT BULK LAND PLAT, (to be known as **CRESTVIEW SUBDIVISION**) zoned SU-1 FOR R-2 AND SU-1 FOR C-1, located on MCMAHON BLVD NW, between UNSER BLVD NW and BANDELIER DR NW containing approximately 14 acre(s). [REF:Z-98-31, 1000875, 03EPC-0053,03EPC-0054, 03DRB-01747](A-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER TO COMPLETE VACATION ACTION ON PLAT AND DISCLOSURE STATEMENT AND TRANSPORTATION DEVELOPMENT FOR A SKETCH OF SIGHT DISTANCE ONTO MCMAHON – USE AASHTO GUIDELINES.**

10. **Project # 1001347**
04DRB-00057 Major-Final Plat Approval
- ISAACSON & ARFMAN PA agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) D1A, Unit 3, ALBUQUERQUE SOUTH, (to be known as **EL RANCHO GRANDE UNIT 8A**) zoned R-LT residential zone, located on DE ANZA DR SW, between DEL REY RD SW and SNOW VISTA DIVERSION CHANNEL containing approximately 14 acre(s). [REF: 03DRB01133, 03DRB-01134] (M-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE.**
11. **Project # 1003182**
04DRB-00023 Minor-Prelim&Final Plat Approval
- WILKS CO. agent(s) for PRAXAIR INC., request(s) the above action(s) for all or a portion of Tract(s) 2, **LANDS OF THE B. N. & S. F. RAILWAY CO.**, zoned M-2 manufacturing zone, located on 2ND ST SW, between TRUMBULL BLVD. SW and WOODWARD RD. SW containing approximately 4 acre(s). [REF: DRB-97-275] (Deferred from 1/21/04) (M-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 6-FOOT RIGHT-OF-WAY DEDICATION FOR BIKE LANES AND TO PLANNING FOR AGIS DXF FILE.**
12. **Project # 1000147**
04DRB-00065 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC. request(s) the above action(s) for all or a portion of **WHISPERING POINT SUBDIVISION, UNIT 3**, Tract(s) A-1, Whispering Point, Unit 2, zoned RD (9/du ac) located on UNSER BLVD SW, between EUCARIZ AVE SW and SUNSET GARDENS RD SW containing approximately 11 acre(s). (L-10) **INDEFINITELY DEFERRED TO APPLY FOR VACATION.**
- 04DRB-00066 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC. request(s) the above action(s) for all or a portion of, **WHISPERING POINTE SUBDIVISION, UNIT 4**, Whispering Point, Unit 3, zoned RD 9 du/ac, located on UNSER BLVD SW, between EUCARIZ AVE SW and SUNSET GARDENS RD SW containing approximately 5 acre(s). (L-10) **INDEFINITELY DEFERRED TO BE HEARD CONCURRENTLY WITH UNIT 3.**

13. **Project # 1000408**
04DRB-00064 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC., request(s) the above action(s) for all or a portion of Tract(s) 490 & 491, **TOWN OF ATRISCO GRANT, UNIT 7, SAGE POINTE SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 14 DU/AC, located on SAGE RD SW, between 86TH ST SW and 82ND ST SW containing approximately 10 acre(s). [REF: 00DRB-00438, 01DRB-00353, 02DRB-01854 & 55, 03DRB-01971] (M-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION AND DETACHED OPEN SPACE CASH-IN-LIEU AND TO PLANNING FOR PERIMETER WALL DESIGN.**

14. **Project # 1002873**
04DRB-00068 Minor- Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for ALBUQUERQUE FACILITIES, LLC request(s) the above action(s) for all or a portion of Tract(s) 5A & 7A, **CAVAN SUNPORT CENTER**, zoned SU-1 special use zone, FOR O-1, C-2, & IP USES, located on INTERNATIONAL AVE SE, between YALE BLVD SE and GIRARD BLVD SE containing approximately 5 acre(s). [REF: 03EPC-01324, 03DRB-01975] (L-16) **FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1001334**
04DRB-00063 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC. request(s) the above action(s) for all or a portion of Tract(s) 465 and a part of Tract 466, Town of Atrisco Grant, **WESTBROOKE HEIGHTS SUBDIVISION, UNIT 7**, zoned RD (9 du/ac) located on SAGE RD SW, between UNSER BLVD SW and 82ND ST SW containing approximately 10 acre(s). (L-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PERIMETER WALL DESIGN.**

16. **Project # 1003057**
04DRB-00056 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for GRAYLAND INC request(s) the above action(s) for all or a portion of Tract(s) A-2, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned SU-1/IP, located on UNSER BLVD NW, between LOS VOLCANOS RD NW and SAUL BELL RD NW containing approximately 13 acre(s). [REF: Z-97-11, DRB-97-138,S-98-54, AA-98-54] (K-9 & K-10) **FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES: APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1002711**
04DRB-00067 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES agent(s) for STV INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 and 21-26, Tract A, Unit B, Block(s) 27, NORTH ALBUQUERQUE ACRES, (to be known as **OAKLAND ESTATES**) zoned RD, located on EAGLE ROCK AVE NE, between SAN PEDRO NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: Z-87-42-1] (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1003187**
04DRB-00037 Minor-Sketch Plat or Plan

ABQ ENGINEERING agent(s) for PINO HOMES – AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Lot(s) 5-E, **UNIVERSITY OF NM**, zoned R-1, located on GOLF COURSE RD NW, between GOLF COURSE RD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). (C-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Other Matters: **PROJECT #1002714 – TIERRA WEST LLC FOR ZANGARA DODGE – RESIGNING OF SITE PLAN FOR BUILDING PERMIT. THE ORIGINAL SUBMITTED 1/21/04 WAS NOT THE CORRECT SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS RESIGNED BY ALL BOARD MEMBERS WITH THE EXCEPTION OF CITY ENGINEER.**

ADJOURNED: 11:25 A.M.



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002371

AGENDA ITEM NO: 1

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the BLV request.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: January 28, 2004

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002371 AGENDA#: 1 DATE: 1-28-04

1. Name: Ron Brennan Address: Sierra West LLC Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 28, 2004

Project #1002371

03DRB-02150 Major-Bulk Land Variance

TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for ALBAN HILLS SUBDIVISION zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). Including all or a portion of Tract(s) 1A,1B,1C and Tract A, Bosque Meadows. (D-12)

AMAFCA

AMAFCA does not approve Site Plan or Final Plant until access and right-of-way issues along the Corrales Main Canal are coordinated with MRGCD and AMAFCA.

COG	No adverse comment
Transit	No comments received
Zoning Enforcement	Reviewed, no comment.
Neighborhood Coordinator	
Letters were sent to Coors Trail ®, Taylor Ranch ®, and Albin Hills Neighborhood Associations.	
APS	No comments received
Police Department	No adverse comments.
Fire Department	No adverse comments.
PNM Gas	Approves
PNM Electric	Approves.
Comcast	No comments received
QWEST	No comments received
Environmental Health	Site is not within 1000 feet of a landfill. No comment.
M.R.G.C.D.	No comments received

Open Space Division	No adverse comments.
City Engineer	No objection to the Bulk Land Variance.
Transportation Development	No adverse comments.
Parks & Recreation	No objection to the bulk land variance request.
Utilities Development	No objection to Bulk Land Variance request.
Planning Department	No objection to the bulk land variance. The plat was previously submitted.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Tierra West LLC, 8509 Jefferson NE, 87113

Hoffmantown West Church, 2600 American Rd SE, Suite #350, Rio Rancho, NM 87124




**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, January 28, 2004, beginning at 9:00 a.m.** for the purpose of considering the following:

Project # 1002371
03DRB-02150 ~~Minor~~-Bulk Land Variance
Major

TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for ALBAN HILLS SUBDIVISION zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). Including all or a portion of Tract(s) 1A,1B,1C and Tract A, Bosque Meadows. (D-12)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, January 12, 2004.

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4th Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

Hoffmanton West Church

AGENT

Tierra West

ADDRESS

8509 Jefferson, NE

PROJECT NO.

1002304

APPLICATION NO.

\$ 145⁰⁰ 441006 / 4983000 (DRB Cases)

\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ 75⁰⁰ 441018 / 4971000 (Notification)

\$220⁰⁰ Total amount due

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NM 87113
(505) 858-3100

DATE 12-19-03

PAY TO THE ORDER OF City of Albuquerque \$ 220⁰⁰

Two hundred twenty & no / 100 DOLLARS

High Desert State Bank
8110 Venture NE
Albuquerque, NM 87122

City of Albuquerque
Treasurer Donna J. Behannon

1517
95-677/1070

001517 1070066770100201813003

Activity 4971000 TRSLIC
Trans Amt \$220.00
JOB Misc \$75.00
CH 10/28/03 \$220.00
CHANGE



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, January 14, 2004, beginning at 9:00 a.m.** for the purpose of considering the following:

Project # 1000060
03DRB-02115 Major-Two Year SIA

MODRALL SPERLING agent(s) for SANDIA FOUNDATION request(s) the above action(s) for GATEWAY SUBD zoned SU-2 / C-3, located on LOMAS NE, between WOODWARD NE and I-25 (J-15) all or a portion of Tract(s) C & D1B

Project # 1001396
03DRB-02116 Major-Two Year SIA

MARK GOODWIN & ASSOC. agent(s) for VISTA DEL NORTE DEV., LLC request(s) the above action(s) for ALTA TIERRA DEL NORTE, UNIT 1 zoned R-1 residential zone, located on CALLE MONTANA NE, between VISTA DEL NORTE DR. NE and CALLE FUERTE NE containing approximately 1 acre(s). (D-16) all or a portion of Lot(s) 1A-3A [REF: 02DRB-00682, 02DRB-01871, 01DRB-01645, 03DRB-00428, 03DRB--00525]

BLV not advertised
Project # 100237.1
~~03DRB-02085 Minor-Site Dev Plan Subd/ERC~~

~~TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for ALBAN HILLS SUBDIVISION zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). Including all or a portion of Tract(s) 1A,1B,1C and Tract A, Bosque Meadows. (D-12)~~

02150 BLV
Re-advertised for 1/28/04 hearing
Project # 1003141
03DRB-02112 Major-Vacation of Pub Right-of-Way

MARK GOODWIN & ASSOC agent(s) for ON TIME PARK & FLY request(s) the above action(s) for VACATION OF MILES RD, between BUENA VISTA RD SE and Yale Blvd. REF: DRB-99-171, V-99-59, Z-93-8, V-93-4, V-88-96] (M-15)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 17, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: THE DEVELOPMENT REVIEW BOARD WILL TAKE A LUNCH BREAK AFTER ITEM 20. (THE TIME MAY CHANGE DEPENDING UPON DEFERRALS).

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order Adjourned:
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002885**
03DRB-01980 Major-Vacation of Pub
Right-of-Way
03DRB-01983 Major-Preliminary Plat
Approval
03DRB-01981 Minor-Vacation of Private
Easements
03DRB-01985 Minor-Temp Defer SDWK
03DRB-01984 Minor-Sidewalk Waiver
- JEFF MORTENSEN & ASSOCIATES, agent(s) for DESERT RIDGE DEVELOPMENT LLC & GENEVA LLC request(s) the above action(s) for all or a portion of Lot(s) 10 - 24 and Lot(s) 7 - 15 and easterly portion of Lot 16, Block(s) 18 & 20, Unit 3, Tract 3, Unit 1, North Albuquerque Acres, (to be known as **OCOTILLO SUBDIVISION**) zoned RD (4DU/A), located on HOLBROOK ST NE between ANAHEIM AVE NE and PASEO DEL NORTE NE containing approximately 25 acre(s). [REF: 03DRB-01354, 03DRB-01355, 03DRB-01356] (C-21) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12-16-03. THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION THAT THE HOMEOWNER'S ASSOCIATION DOCUMENT MUST BE FILED WITH THE FINAL PLAT. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

2. **Project # 1002971**
03DRB-01567 Major-Vacation of Public Easements
03DRB-01568 Major-Vacation of Public Easements
03DRB-01569 Major-Vacation of Public Easements
03DRB-01570 Minor-Vacation of Private Easements
03DRB-01566 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST agent(s) for WEFCO PARTNERS request(s) the above action(s) for all or a portion of Tract(s) 4B, 4-A-1, 5-B-1 and 5-B-2, **V. E. BARRETT SUBDIVISION AND LANDS OF WEFCO**, zoned C-2 community commercial zone, located on CENTRAL AVE SW, between UNSER BLVD SW and 86TH ST SW containing approximately 15 acre(s). [REF: V-79-19, V-88-3, V-86-58] [Deferred from 10/15/03, 11/5/03 & 11/19/03 & 12/10/03] (K-10) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 AND APPROVAL OF THE GRADING PLAN ENGINEERING PLAN STAMPED DATED 11-13-03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

- 03DRB-01692 Minor-SiteDev Plan Subd

DENISH KLINE ASSOCIATES INC agent(s) for WEFCO PARTNERS INC request(s) the above action(s) for all or a portion of Tract(s) 4-B, 4-A-1, 5-B-1 AND 5-B-2, **BARRETT SUBDIVISION, LANDS OF WEFCO**, zoned C-2 community commercial zone, located on CENTRAL AVE SW, between UNSER BLVD SW and 86TH ST SW containing approximately 15 acre(s). [REF: V-88-3, 03DRB-01567, 03DRB-01568, 01569, 03DRB-01566, 01570] [Deferred from 10/15/03 ,11/5/03 & 11/19/03 & 12/10/03] (K-10) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

3. **Project # 1001068**
03DRB-01982 Major-Two Year SIA

MARK GOODWIN AND ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 1 and 2, Block(s) 5, 6 and 1, **NORTH ALBUQUERQUE ACRES, UNIT 3**, (to be known as **DESERT RIDGE TRAILS**) zoned R-D, located on FLORENCE AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 76 acre(s). [REF: 1001068] (B-19/C-19) **A 9-MONTH EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1001071**
03DRB-01957 Major-Vacation of Public Easements
03DRB-01958 Minor-Prelim&Final Plat Approval
- SOUTHWEST SURVEYING CO. agent(s) for STUSON, INC. request(s) the above action(s) for all or a portion of Tract(s) B, **EL DORADO NORTH SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 9 DU/AC, located on EUCARIZ AVE SW, between WESLEY CT SW and 90TH ST SW containing approximately 1 acre(s). [REF:02DRB-00347, 02DRB-00348, 02DRB-01256] (L-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR DRAINAGE CERTIFICATION AND PLANNING FOR PARKS NOTE ON OPEN SPACE, DXF FILE AND 15 DAY APPEAL PERIOD.**
5. **Project # 1002645**
03DRB-01965 Major-Vacation of Public Easements
- TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Tract(s) 1-B-1-A, **SEVILLE SUBDIVISION**, zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA PL NW containing approximately 27 acre(s). [REF: 03DRB-00741, 1002645] (A-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
6. **Project # 1002800**
03DRB-01990 Major-Preliminary Plat Approval
03DRB-01991 Minor-Subd Design (DPM) Variance
03DRB-01992 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES agent(s) for ALPHA EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 10-23, Block(s) 12, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3, (to be known as **QUIVERA ESTATES**), zoned R-D, located on MODESTO AVE NE between WYOMING BLVD NE and BARSTOW ST NE containing approximately 14 acre(s). [REF: 03DRB-01127] [deferred from 12-17-03] (B-19) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

7. **Project # 1002935**
03DRB-01964 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Parcel 1, **SUNDORO SUBDIVISION**, zoned SU-2 R-LT, located on LADERA BLVD NW, between 98th ST NW and UNSER BLVD NW containing approximately 55 acre(s). [REF: 03DRB-00736, 03DRB-01447, 03DRB-01449, 03DRB-01550, 03DRB-01551, 01552, 01553] (J-8/J-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

8. **Project # 1003111**
03DRB-01986 Major-Preliminary Plat
Approval
03DRB-01987 Minor-Vacation of Private
Easements
03DRB-01988 Minor-Temp Defer SDWK
03DRB-01989 Minor-Sidewalk Waiver

ISAACSON AND ARFMAN, P.A. agent(s) for THE STROSNIDER COMPANY request(s) the above action(s) for all or a portion of Tract(s) B, **WINDMILL MANOR**, zoned SU-1 PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: DRB-96-355, Z-95-79, Z-98-57] [deferred from 12-17-03] (E-11) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

03DRB-02079 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for THE STROSNIDER GROUP request(s) the above action(s) for all or a portion of Tract(s) A & B, **WINDMILL MANOR PLACE**, zoned SU-1 for PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: Z-95-79, Z-98-57] **[RUSSELL BRITO EPC CASE PLANNER]** [deferred from 12-17-03] (E-11) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

9. **Project # 1001753**
03DRB-01884 Major-Preliminary Plat
Approval
03DRB-01885 Minor-Subd Design (DPM)
Variance
03DRB-01999 Minor-Sidewalk Waiver
03DRB-01998 Minor-Subd Design (DPM)
Variance

MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 1-11, Tract(s) 1, Block(s) 11, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **DESERT RIDGE TRAILS EAST**) zoned RD (3 DU/AC), located on FLORENCE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 11 acre(s). [Deferred from 11/26/03, 12/3/03, 12/17/03] (B-19) **APPLICATION #03DRB-01885 MINOR-SUBD DESIGN (DPM) VARIANCE WAS WITHDRAWN AT THE AGENT'S REQUEST. THE REMAINING REQUESTS WERE DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

10. **Project # 1000922**
03DRB-01953 Major-Preliminary Plat
Approval
03DRB-01954 Minor-Temp Defer SDWK

WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, request(s) the above action(s) for all or a portion of **VOLCANO CLIFFS SUBDIVISION, UNIT 20**, LOTS 1-30, BLOCK 1, LOTS 1-38, BLOCK 2, LOTS 1-62, BLOCK 3, LOTS 1-14, BLOCK 4 AND LOTS 1-22, BLOCK 5 AND **VOLCANO CLIFFS SUBDIVISION, UNIT 21**, ALL BLOCKS AND LOTS AND **VOLCANO CLIFFS SUBDIVISION, UNIT 23**, LOTS 1-10, BLOCK 1, LOTS 1-13, BLOCK 2, LOTS 1-21, BLOCK 3, LOTS 1-51, BLOCK 4, LOTS 1-27, BLOCK 5, LOTS 1-6, BLOCK 6, LOTS 1-28, BLOCK 7 AND LOTS 1-7, BLOCK 8 AND **VOLCANO CLIFFS SUBDIVISION, UNIT 27**, LOTS 16-18 AND 22, BLOCK 2, LOTS 1-8, BLOCK 4 AND LOTS 1-7, BLOCK 5, (to be known as **LA CUENTISTA SUBDIVISION**) zoned R-1, located on the east and west sides of Unser Blvd NW (Kimmick) between Urraca NW and Camino de Paz NW, containing approximately 50 acres. [REF: DRB-97-98, V-97-116, 02DRB-01783, 02DRB-01785,,03DRB-01725, 03DRB-01728] [deferred from 12-10-03, 12-17-03] (C-10/11 & D-10/11) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

11. **Project # 1002519**
03DRB-01950 Major-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES, agent(s) for SAN PEDRO EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Block(s) 5, Tract(s) 2, NORTH ALBUQUERQUE ACRES, (to be known as **TOWNHOMES @ LA CUEVA**) zoned R-D residential and related uses zone, developing area, 7 DU/AC, located on WYOMING BLVD NE, between SIGNAL AVE NE and WILSHIRE AVE NE containing approximately 1 acre(s). [deferred from 12-10-03] (C-19) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF WAS DELEGATED TO CITY ENGINEER FOR SIA.**

03DRB-01883 Major-Vacation of Pub
Right-of-Way
03DRB-01882 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Tract(s) 2, Block(s) 5, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **TOWNHOMES @ LA CUEVA**), zoned RD (7 DU/AC), located on WYOMING BLVD NE, between SIGNAL AVE NE and WILSHIRE AVE NE containing approximately 1 acre(s). [Deferred from 11/26/03 & 12/10/03] (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11-07-03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

03DRB-02019 Minor-Subd Design (DPM)
Variance
03DRB-02020 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES agent(s) for SAN PEDRO EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 16, Block(s) 5, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **TOWNHOMES @ LA CUEVA**), zoned R-D residential and related uses zone, developing area, 7 DU/AC, located on WYOMING BLVD NE, between SIGNAL AVE. NE and WILSHIRE AVE. NE containing approximately 1 acre(s). [REF: 03DRB-001950, 03DRB-01882] [deferred from 12/10/03] (C-19) **A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project # 1002668**
03DRB-01888 Major-Preliminary Plat Approval
03DRB-01889 Major-Vacation of Public Easements
03DRB-01890 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Block(s) 5, Tract(s) C and Tract(s) E & F, Block(s) 2, **VISTA MAGNIFICA**, and Lot(s) B, Block(s) 8, **PALISADES ADDITION**, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 03EPC-01089, 03DRB-00811] [Deferred from 11/26/03 & 12/10/03] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 01-07-04.**
13. **Project # 1002928**
03DRB-01532 Major-Preliminary Plat Approval
03DRB-01534 Minor-Temp Defer SDWK
03DRB-01536 Minor-Sidewalk Waiver
- BOHANNAN HUSTON, INC. & DENISH-KLINE ASSOCIATES, agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **Tract(s) D** (to be known as **TAOS @ THE TRAILS**, The Trails (a portion of Tract 4, Black Ranch) zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). REF: 03DRB-01429 (SK)] [Deferred from 10/8/03, 11/5/03 & 11/26/03 & 12/10/03] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**
14. **Project # 1002929**
03DRB-01531 Major-Preliminary Plat Approval
03DRB-01533 Minor-Temp Defer SDWK
03DRB-01535 Minor-Sidewalk Waiver
- BOHANNAN HUSTON INC. & DENISH - KLINE ASSOCIATES, agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of **Tract(s) C** (to be known as **SANTA FE @ THE TRAILS**) **The Trails (portion of Tract 4, Black Ranch)** zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE BLVD NW and UNIVERSE BLVD NW containing approximately 17 acre(s). [Deferred from 10/8/03, 11/5/03 & 11/19/03, 11/26/03 & 12/10/03] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12-31-03.**

15. **Project # 1002792**
03DRB-01780 Major-Vacation of Public
Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING**) zoned SU-1 for C-1 & Rest (ETC) & SU-1,O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086] *[Deferred from 11/12/03 & 11/26/03 & 12/10/03]* (B-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

03DRB-01945 Minor-SiteDev Plan
Subd/EPC
03DRB-01946 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agents for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING**) zoned SU-1 for C-1 & Rest (ETC) & SU-1, O-1, located on COORS BLVD NW, between ALAMEDA BLVD NW and the CALABACILLAS ARROYO containing approximately 10 acre(s).[REF: 03EPC-01085 & 01086, 03DRB-01780] **[Debbie Stover, EPC Case Planner]** *[Deferred from 11/26/03 & 12/10/03]* (B-14) **THE SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT WERE APPROVED AND DELEGATED TO PLANNING FOR EPC CONDITIONS AND UTILITIES DEVELOPMENT FOR FIRE MARSHAL'S APPROVAL.**

03DRB-02084 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, BLACK RANCH, (to be known as **COTTONWOOD CROSSING**) zoned SU-1 for C-1 & Rest. (ETC) & SU-1 O-1, located on COORS BLVD. NW, between COORS BLVD. NW and SEVEN BAR LOOP NW containing approximately 10 acre(s). [REF: DRB-94-358, DRB-98-61, 03EPC 01086] (B-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12-17-03 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT APPROVAL: PROVIDE ACCESS TO LOTS 1 AND 3. FINAL PLAT WAS INDEFINITELY DEFERRED FOR SIA.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

16. **Project # 1000901**
03DRB-02080 Minor-SiteDev Plan
BldPermit/EPC
03DRB-02081 Minor-Amnd SiteDev Plan
Subd
- CONSENSUS PLANNING, INC. agent(s) for BOSQUE PREPARATORY SCHOOL request(s) the above action(s) for all or a portion of Lot(s) 4A, **BOSQUE PREPARATORY SCHOOL**, zoned SU-1 for School & Related Facilities, located on LEARNING ROAD NW, between COORS BLVD. NW and RIO GRANDE BOSQUE containing approximately 23 acre(s). [REF: 03EPC 01666] **[JUANITA VIGIL, EPC CASE PLANNER] (F-12) THE SITE PLAN FOR BUILDING PERMIT AND THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES FOR FIRE FLOW REQUIREMENTS.**
17. **Project # 1002874**
03DRB-02069 Minor-SiteDev Plan
BldPermit/EPC
- SITES SOUTHWEST agent(s) for CITY OF ALBUQUERQUE WATER UTILITY request(s) the above action(s) for all or a portion of Tract(s) S2A1, **ATRISCO BUSINESS PARK**, zoned IP industrial park zone, located on LOS VOLCANES RD NW, between UNSER BLVD. NW and COORS BLVD. NW containing approximately 1 acre(s). [REF:03EPC-01326, DRB-98-413, DRB-95-242 SV-95-31,Z-92-57] **[RUSSELL BRITO, EPC CASE PLANNER FOR SIMON SHIMA] (J-9/J-10) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDED EASEMENT AND WIDTH OF EASEMENT 15-FOOT MINIMUM.**

18. ~~Project # 1002371~~
~~03DRB-02085 Minor-SiteDev Plan~~
~~Subd/EPC~~
~~03DRB-02086 Minor-Prelim&Final Plat~~
~~Approval~~

TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for all or a portion of Tract(s) 1A,1B,1C and Tract A, Bosque Meadows, **ALBAN HILLS SUBDIVISION, UNIT ONE**, zoned SU-1 for R-2 with church related uses, SU-1 for C-2, located on LA ORILLA NW, between COORS BLVD. NW and the CORRALES DRAIN containing approximately 17 acre(s). **[RUSSELL BRITO, EPC CASE PLANNER FOR SIMON SHIMA]** [deferred from 12-17-03] (D-12) ~~DEFERRED AT THE AGENT'S REQUEST TO 1-14-04~~

19. **Project # 1003120**
03DRB-02021 Minor-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC. AND CONSENSUS PLANNING, INC. agent(s) for IDI request(s) the above action(s) for all or a portion of Tract(s) 1, **LEVI STRAUSS COMPANY ADDITION**, zoned SU-2 for M-1, located on ALAMEDA BLVD. NE, between OAKLAND AVE NE and WILSHIRE AVE. NE containing approximately 12 acre(s). [REF: Z-70-124] [Deferred from 12-10-03] (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR HIGHWAY DEPARTMENT SIGNED LEASE AGREEMENT, A MONUMENT SIGN AND WATER USE FOR FESCUE.**

20. **Project # 1002421**
03DRB-01968 Minor-SiteDev Plan Subd
03DRB-01969 Minor-SiteDev Plan
BldPermit/EPC

GARRETT SMITH LTD agent(s) for NEW LIFE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 111-B, **TOWN OF ATRISCO GRANT, TRACT III - UNIT 6**, zoned SU-1 PRD (20DU/A, located on GWIN RD SW, between DELIA RD SW and 69TH ST SW containing approximately 1 acre(s). [REF: 03DRB-00053, 03EPC-00692] **[Juanita Vigil, EPC Case Planner]** [Deferred from 11/26/03 & 12/10/03] (K-10) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND DELEGATED TO PARKS FOR PAYMENT OF CASH-IN-LIEU FOR PARK DEDICATION FEE AND CITY ENGINEER FOR SIA.**

DRB TOOK A 30 MINUTE LUNCH BREAK

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

21. **Project # 1000849**
03DRB-02074 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD. agent(s) for BILL WADE request(s) the above action(s) for all or a portion of Lot(s) 1-5, **BREEZE @ MOUNTAIN GATE**, zoned SU-1 PRD, located on FOUR HILLS ROAD SE, between WENONAH AVE. SE and LANIER DRIVE SE containing approximately 1 acre(s). (L-23) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN-OFF DELEGATED TO UTILITIES TO PROVIDE AS-BUILT DRAWINGS SHOWING LOCATIONS OF ALL METER BOXES AND SEWER STUBS.**
22. **Project # 1001209**
03DRB-02063 Minor-Prelim&Final Plat
Approval
- MARK GOODWIN & ASSOCIATES. agent(s) for CLIFFORD CAPITAL FUND, INC. request(s) the above action(s) for all or a portion of Tract(s) A, **LAVA TRAILS**, zoned SU-1 special use zone, located on WESTERN TRAILS DR NW, between UNSER BLVD. NW and ATRISCO RD. NW containing approximately 6 acre(s). [REF: 02DRB-00183, 01DRB-00562, Z-98-139][deferred from 12-17-03] (F10 – F11) **DEFERRED AT THE AGENT'S REQUEST TO 1-7-04.**
23. **Project # 1001409**
03DRB-02032 Minor-Extension of
Preliminary Plat
- MUKUND C. PATEL request(s) the above action(s) for all or a portion of Lot(s) 20-A, Block 1, Unit 1, **CANDLELIGHT FOOTHILLS**, zoned R-1, located on LOMAS BLVD. NE, between MONTE LARGO DR. NE and SUMMIT HILLS DR. NE containing approximately 2 acre(s). (J-23) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

- 24. **Project # 1001796**
03DRB-02078 Minor- Prelim&Final Plat
Approval

SAMUEL C DE BACA request(s) the above action(s) for all or a portion of Lot(s) 1, **STOUT SUBDIVISION**, zoned SU-1 for O-1 Permissive Uses, located on COORS BLVD. NW, between EAGLE RANCH RD. NW and PASEO DEL NORTE NW containing approximately 18 acre(s). [REF: 03DRB 00916, Z-98-17, Z-84-122, S-98-25] (C-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

- 25. **Project # 1002345**
03DRB-02082 Minor-Prelim&Final Plat
Approval

CLINT SHERRILL & ASSOCIATES agent(s) for GOLDEN VENTURES LLC request(s) the above action(s) for all or a portion of Lot(s) 3, **BROADWAY INDUSTRIAL CENTER**, zoned SU-2 HM, located on SAN JOSE AVE. SE, between KARSTEN COURT SE and I-25 containing approximately 14 acre(s). (M-14/15) **THE PRELIMINARY PLAT WAS APPROVED WITH THE FINAL PLAT SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT TO OPEN A SEWER ACCOUNT FOR LOT 3-B AND POSSIBLY A WATER ACCOUNT AND FOR AGIS DXF FILE, AND TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK ON KARSTEN? MAINTENANCE AND BENEFICIARIES OF ACCESS EASEMENTS, I-25 ACCESS CONTROL LANE AND PARKING AND MODEL HOME AREA BEING USED BY LOT 3-B.**

- 26. **Project # 1002743**
03DRB-02083 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for OVENWEST CORP request(s) the above action(s) for all or a portion of Tract(s) H, **LA LUZ DEL OESTE**, zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 2 acre(s). (F-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12-17-03 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: THE APPROVAL OF THE GRADING PLAN FOR TRACT H IS REQUIRED. PROVIDE PRIVATE SANITARY SEWER SERVICE EASEMENTS. PROVIDE AN APPROVED TURNAROUND WITHIN LOT H. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

27. **Project # 1003034**
03DRB-02070 Minor-Prelim&Final Plat
Approval
03DRB-02071 Minor-Vacation of Private
Easements
- SURVEYS SOUTHWEST LTD. agent(s) for JOHN MAHONEY request(s) the above action(s) for all or a portion of Lot(s) 11A & 11B, Block(s) 20 and Lot 10, **BROWNEWELL LAI LS HIGHLAND ADDITION**, zoned SU-2, located on COPPER AVE. NE, between CEDAR ST. NE and SPRUCE ST. NE containing approximately 1 acre(s). [REF: DRB-96-163, 03DRB 01761] (K-15) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED-OFF BY THE BOARD. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
28. **Project # 1003037**
03DRB-02072 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD. agent(s) for RUTH ROSENSTEIN request(s) the above action(s) for all or a portion of Lot(s) 17-20, **PEREA ADDITION**, zoned SU-2 TH, located on 12TH ST. NW, between GRANITE AVE. NW and MARBLE NW containing approximately 1 acre(s). (J-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED-OFF BY THE BOARD.**
29. **Project # 1003132**
03DRB-02073 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST agent(s) for TED WATERMAN request(s) the above action(s) for all or a portion of Lot(s) 9 UNIT 3, **BROADWAY INDUSTRIAL CENTER SUBDIVISION** zoned SU-2 special neighborhood zone, HM, located on KARSTEN CT SE, between INTERSTATE 25 and BROADWAY BLVD. SE containing approximately 4 acre(s). (L-15) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER TO ADD DRAINAGE TO ACCESS EASEMENT AND UTILITIES DEVELOPMENT FOR A COPY OF AS-BUILTS SHOWING WATER AND SEWER SERVICE TO LOT 9.**

30. **Project # 1003094**
03DRB-01997 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for CITY OF ALBUQUERQUE / MUNICIPAL DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 1-24, Block(s) 30, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3, located on 3rd ST SE, between LEAD SE and SILVER SE containing approximately 3 acre(s). [REF: 03DRB-01886] [Deferred from 12/3/03] (K-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

31. **Project # 1003133**
03DRB-02076 Minor-Prelim&Final Plat
Approval
03DRB-02077 Minor-Vacation of Private
Easements

ISAACSON & ARFMAN PA agent(s) for TRICOR SOUTHWEST CORP. request(s) the above action(s) for all or a portion of Lot(s) L-1, M, N & P, **FRANKLIN PLAZA**, zoned C-3/C-2 (SU), located on CENTRAL NE, between JUAN TABO NE and SKYLINE NE containing approximately 9 acre(s). [REF: Z-88-53] [deferred from 12-17-03](L-22) **DEFERRED AT AGENT'S REQUEST TO 1-7-04.**

32. **Project # 1000087**
03DRB-02075 Minor-Ext of SIA for Temp
Defer SDWK

ISAACSON & ARFMAN, P. A. agent(s) for THE STROSNIDER COMPANY request(s) the above action(s) for all or a portion of Lot(s) 11-15, **PALOMA DEL SOL SUBD.**, zoned R-1 residential zone, located on the southeast corner of MCMAHON and BANDELIER BLVD NW, between GOLF COURSE RD. NW and TUSCANY DR. NW containing approximately 36 acre(s). [REF: 00450-00014, 01500-01779, DRB-95-63, S-95-15, V-95-61, SV-95-25] (A-12) **A 2-YEAR EXTENSION TO THE 4-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

33. **Project # 1003121**
03DRB-02029 Minor-Sketch Plat or Plan
ZXOLT PALCZA agent(s) for STEWART INGHAM request(s) the above action(s) for all or a portion of Lot(s) 19, **MRGCD MAP 36**, zoned R-1, located on LOS TOMASES NW, between LOS POBLANOS NW and MENAUL NW containing approximately 1 acre(s). (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
34. **Project # 1003123**
03DRB-02044 Minor-Sketch Plat or Plan
JERRY MILLER agent(s) for KPM LLC request(s) the above action(s) for all or a portion of Tract(s) 77B1, **MRGCD MAP 37**, zoned S-MI, located on 5TH ST NW, between HAYNES NW and ASPEN NW containing approximately 2 acre(s). (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
35. **Project # 1003131**
03DRB-02068 Minor-Sketch Plat or Plan
BILLY W. BACA request(s) the above action(s) for all or a portion of Lot(s) B & C, **HUNING CASTLE ADDITION**, zoned R-T residential zone, located on SAN PATRICIO & ALCALDE AVE SW, between LEAD AVE. SW and COAL AVE. SW containing approximately 1 acre(s). [REF: Z-72-203] (K-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
36. Approval of the Development Review Board Minutes for December 3, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

Adjourned: **2:40 P.M.**



City of Albuquerque
 CITY OF ALBUQUERQUE, NEW MEXICO 87103
 PUBLIC WORKS DEPARTMENT
 DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

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DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002371

AGENDA ITEM NO: 18

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Minor comment on plat.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED 1-14-03 ✓; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: December 17, 2003



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City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence
Development Review Board Comments

Project Number: 1002371
Application Number: 03DRB-02085

DRB Date: 12/17/03
Item Number: 18

Subdivision:

Tract 1A, 1B, 1C and Tract A, Bosque Meadows, Alban Hills Subdivision, Unit 1

Zoning: SU-1 for R-2 with Church uses, SU-1 for C-2

Zone Page: D-12

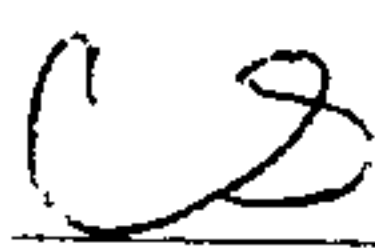
New Lots (or units) : 0

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

The trail on La Orilla needs to be put on the infrastructure list.

Signed: 
Christina Sandoval, (DMD)

Phone: 768-3808



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB- 1002371 Item No. 18 Zone Atlas D-12

DATE ON AGENDA 12-17-03

INFRASTRUCTURE REQUIRED () YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT (X) PRELIMINARY PLAT (X) FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT (X) SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

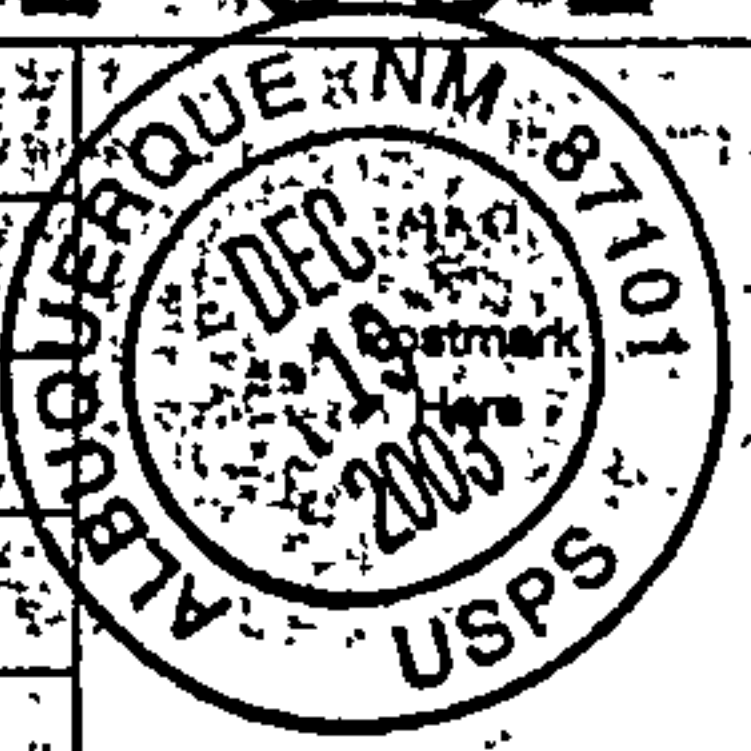
No.	Comment
	ARE ALL INFRASTRUCTURE ITEMS BEING TIED TO SITE PLAN FOR BLDG. PERMIT?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To: Eddie Costello
 Street, Apt. No. or PO Box No.: 1111 Alameda NW Ste J
 City, State, ZIP+4: Albu NM 87114

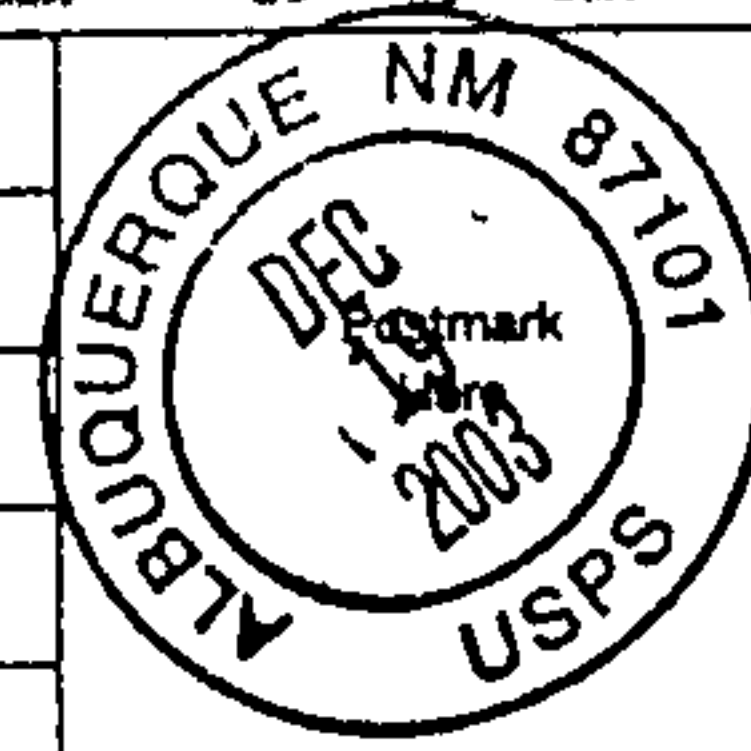
PS Form 3800 January 2001 See Reverse for Instructions

7002 0510 0002 9479 2963

**U.S. Postal Service
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OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To: John Wolfley
 Street, Apt. No. or PO Box No.: 6804 Staghorn Dr NW
 City, State, ZIP+4: Albu NM 8720-9806

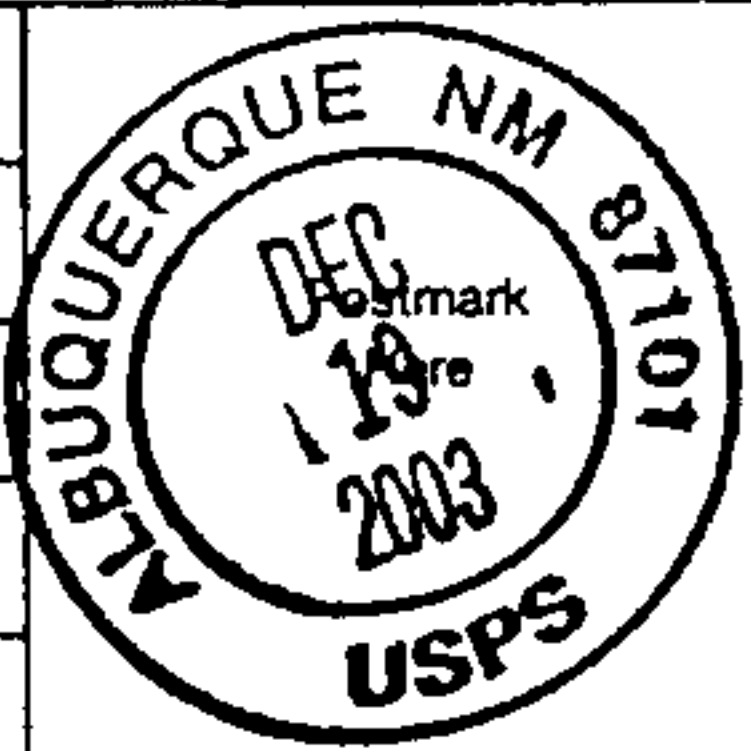
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Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To: Alexander Ostwald
 Street, Apt. No. or PO Box No.: 1423 Bosque Meadows NW
 City, State, ZIP+4: Albu NM 87120

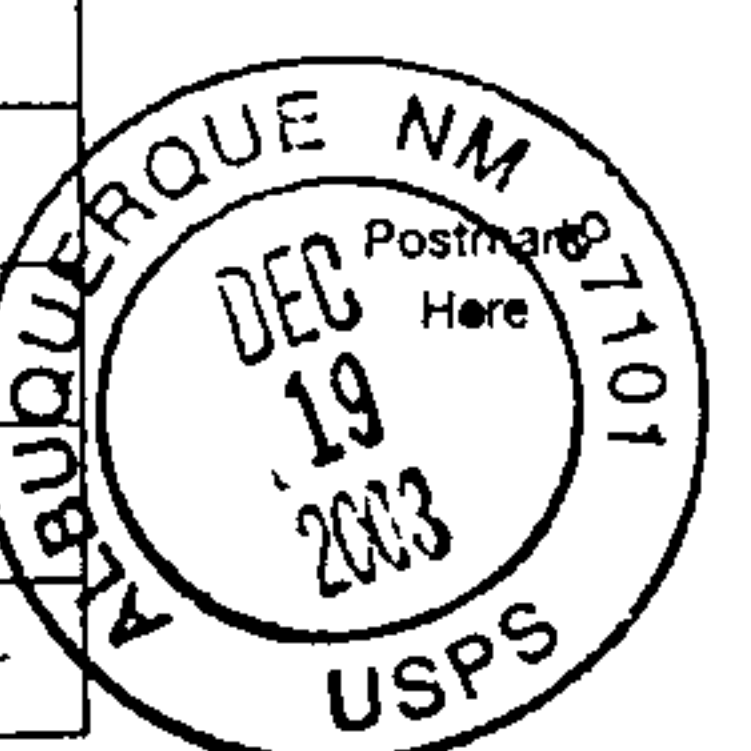
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Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To: Rick Linkous
 Street, Apt. No. or PO Box No.: 2715 Bosque del Sol NW
 City, State, ZIP+4: Albu NM 87120

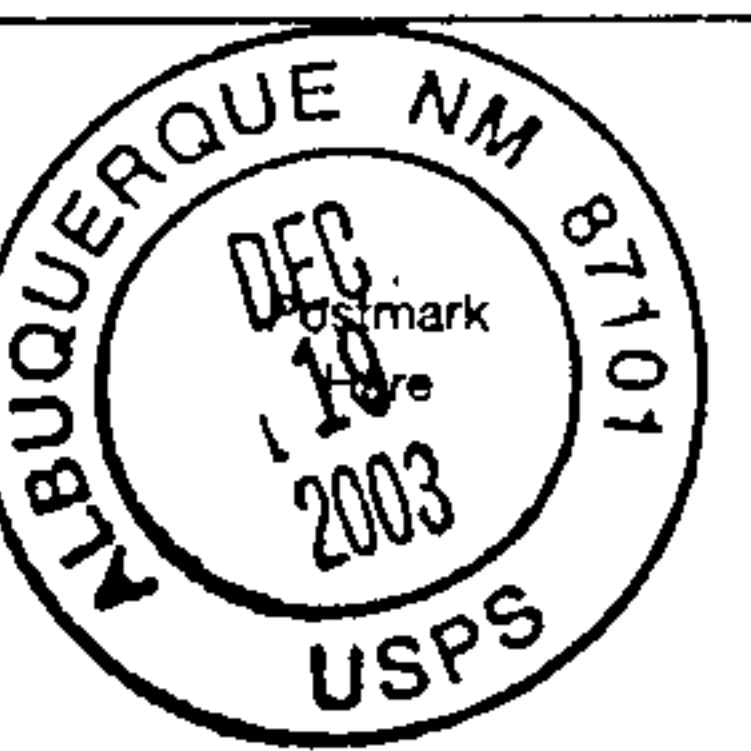
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Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To: Jack Scott
 Street, Apt. No. or PO Box No.: 6419 Camino del Arcebol NW
 City, State, ZIP+4: Albu NM 87120

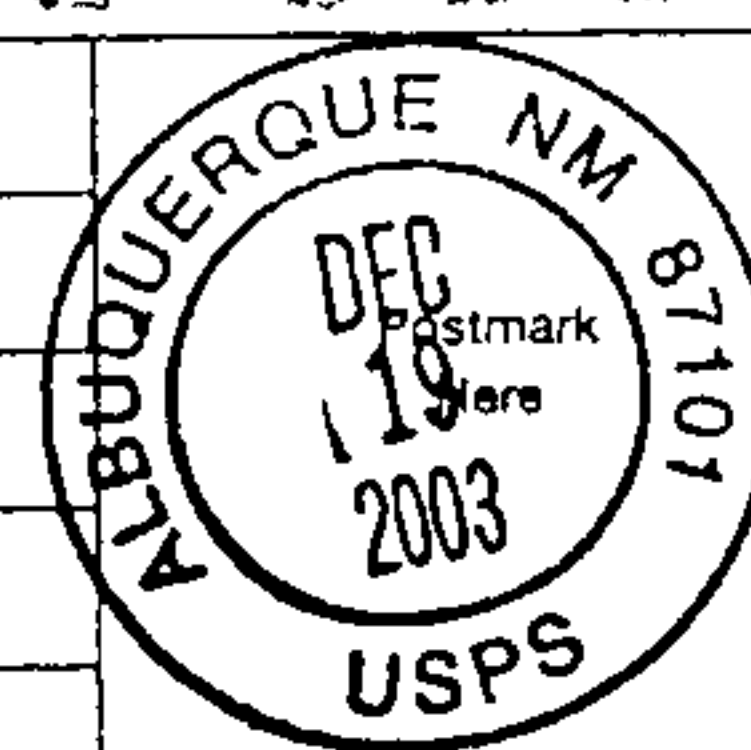
PS Form 3800 January 2001 See Reverse for Instructions

7002 0510 0002 9479 2994

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OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To: Jim Wolcott
 Street, Apt. No. or PO Box No.: 6420 Camino del Arcebol NW
 City, State, ZIP+4: Albu NM 87120

PS Form 3800 January 2001 See Reverse for Instructions

7002 0510 0002 9479 3007



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**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, January 14, 2004, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000060
03DRB-02115 Major-Two Year SIA

MODRALL SPERLING agent(s) for SANDIA FOUNDATION request(s) the above action(s) for GATEWAY SUBD zoned SU-2 / C-3, located on LOMAS NE, between WOODWARD NE and I-25 (J-15) all or a portion of Tract(s) C & D1B

Project # 1001396
03DRB-02116 Major-Two Year SIA

MARK GOODWIN & ASSOC. agent(s) for VISTA DEL NORTE DEV., LLC request(s) the above action(s) for ALTA TIERRA DEL NORTE, UNIT 1 zoned R-1 residential zone, located on CALLE MONTANA NE, between VISTA DEL NORTE DR. NE and CALLE FUERTE NE containing approximately 1 acre(s). (D-16) all or a portion of Lot(s) 1A-3A [REF: 02DRB-00682, 02DRB-01871, 01DRB-01645, 03DRB-00428, 03DRB-00525]


Project # 1002371
03DRB-02085 Minor-SiteDev Plan Subd/EPC

TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for ALBAN HILLS SUBDIVISION zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). Including all or a portion of Tract(s) 1A, 1B, 1C and Tract A, Bosque Meadows. (D-12)

Project # 1003141
03DRB-02112 Major-Vacation of Pub Right-of-Way

MARK GOODWIN & ASSOC agent(s) for ON TIME PARK & FLY request(s) the above action(s) for VACATION OF MILES RD, between BUENA VISTA RD SE and Yale Blvd. REF: DRB-99-171, V-99-59, Z-93-8, V-93-4, V-88-96] (M-15)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, December 29, 2003.



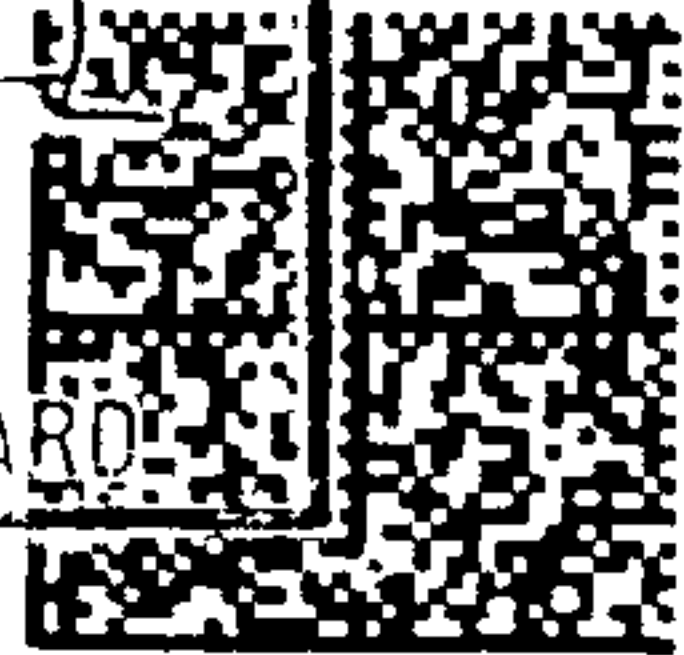
City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



RETURN
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5700 TAYLOR RANCH RD
ALBUQUERQUE NM 87120

87120/3931



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, January 28, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project #: 100237-1
03DRB-02150 Minor-Bulk Land Variance

TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for ALBAN HILLS SUBDIVISION zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). Including all or a portion of Tract(s) 1A, 1B, 1C and Tract A, Bosque Meadows. (D-12)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

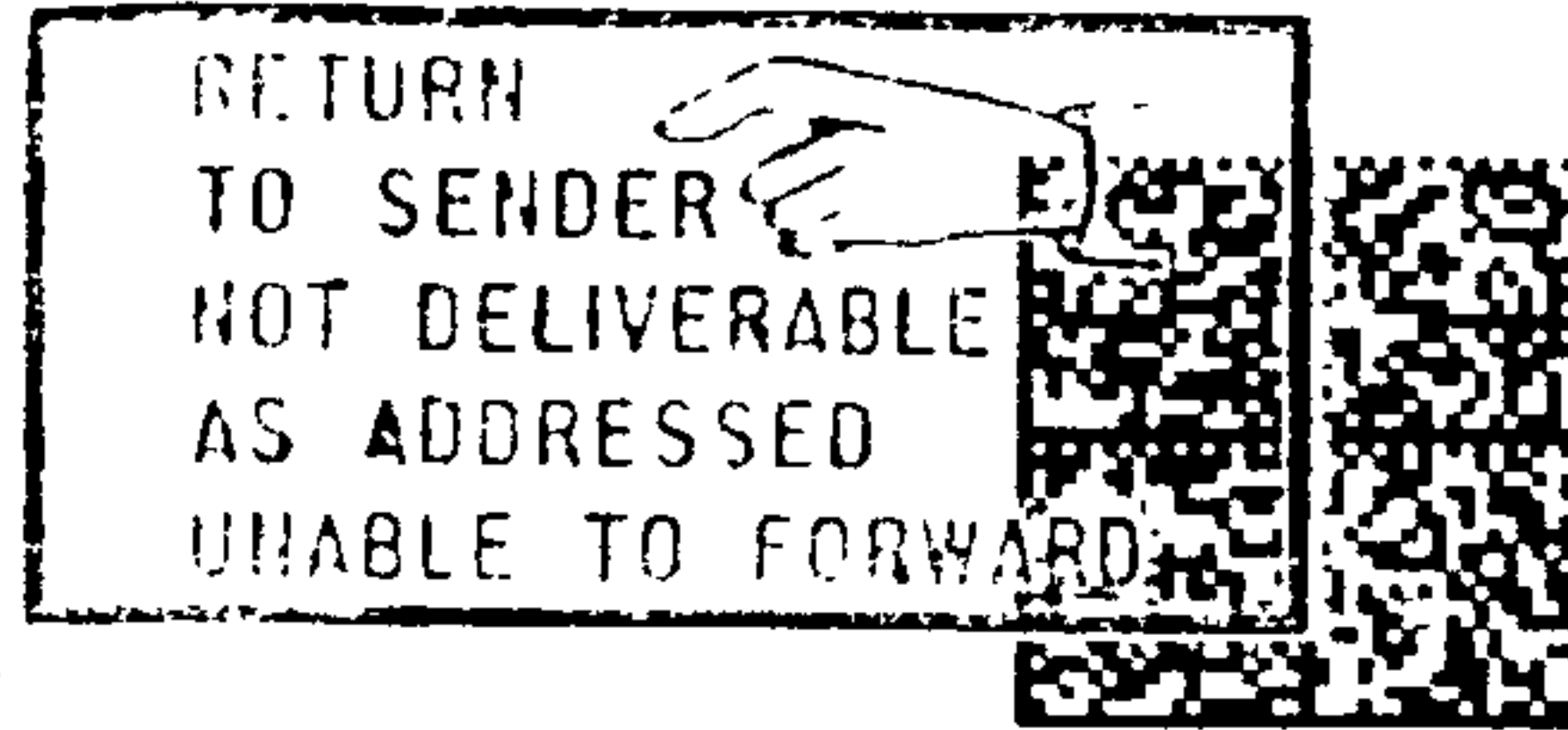
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, January 12, 2004.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



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GONZALES ROBERT J & BLANCHE M
GENERAL DELIVERY
ALBUQUERQUE NM 87193





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, January 28, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

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TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for ALBAN HILLS SUBDIVISION zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). Including all or a portion of Tract(s) 1A,1B,1C and Tract A, Bosque Meadows. (D-12)

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Sheran Matson, AICP, DRB Chair
Development Review Board

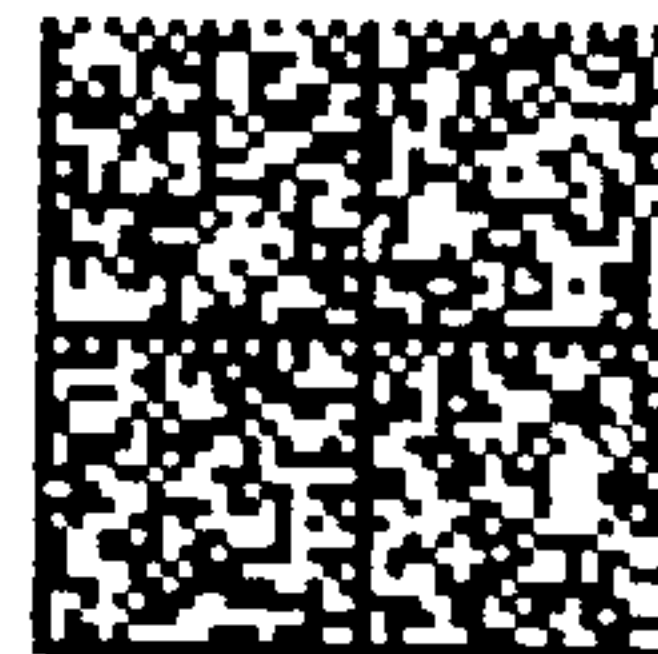
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, January 12, 2004.



City of Albuquerque

PO BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



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COORS EIGHT PACK
6605 UPTOWN BL NE
ALBUQUERQUE NM 87110

! COOR605 871102007 IN 14 01/14/04
RETURN TO SENDER

NO FORWARD ORDER ON FILE
UNABLE TO FORWARD
RETURN TO SENDER

87103#4282





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, January 28, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002371
03DRB-02150 Minor-Bulk Land Variance

TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for ALBAN HILLS SUBDIVISION zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). Including all or a portion of Tract(s) 1A,1B,1C and Tract A, Bosque Meadows. (D-12)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, January 12, 2004.



City of Albuquerque

PO. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



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6409 COORS RD NW
ALBUQUERQUE NM 87120

87120-1293



**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JANUARY 28, 2004
Zone Atlas Page: D-12-Z
Notification Radius: 100 Ft.

Project# 1002371
App# 03DRB-02150

Cross Reference and Location: N/A

Applicant: HOFFMANTOWN WEST CHURCH
Address: 2600 AMERICAN RD SE, STE# 350
RIO RANCHO NM 87124

Agent: TIERRA WEST, LLC
Address: 8509 JEFFERSON ST NE
ALBUQUERQUE NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: JANUARY 9, 2003

Signature: KYLE TSEHLIKAI



<mainframe@coa1mp
3.cabq.gov>

To:
cc:
Subject:

01/07/04 09:23 AM

1 R E C O R D S W I T H L A B E L S PAGE
1
01012063 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101206352601840307 LEGAL: TR 1 -C B LK 15 (SECOND CORRECTED REPLAT OF LT 1
& A LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: COORS EIGHT PACK
 OWNER ADDR: 06605 UPTOWN BL NE
ALBUQUERQUE NM 87110
0101206349103040309 LEGAL: TR 1 -B B LK 15 (SECOND CORRECTED REPLAT OF LT 1
& A LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: COORS EIGHT PACK
 OWNER ADDR: 06605 UPTOWN BL NE
ALBUQUERQUE NM 87110
0101206349008040311 LEGAL: TR 1 -A B LK 15 (SECOND CORRECTED REPLAT OF LT 1
& A LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: COORS EIGHT PACK
 OWNER ADDR: 06605 UPTOWN BL NE
ALBUQUERQUE NM 87110
0101206342802640308 LEGAL: TR 1 -E B LK 15 (SECOND CORRECTED REPLAT OF LT 1
& A LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: COORS EIGHT PACK
 OWNER ADDR: 06605 UPTOWN BL NE
ALBUQUERQUE NM 87110
0101206344404040310 LEGAL: TR 1 -D B LK 15 (SECOND CORRECTED REPLAT OF LT 1
& A LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: COORS EIGHT PACK
 OWNER ADDR: 06605 UPTOWN BL NE
ALBUQUERQUE NM 87110
0101206349312240350 LEGAL: LT 3 1 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE:
 PROPERTY ADDR: 00000 BRIAN MEADOWS
 OWNER NAME: KILBANE JOHN R & RHONDA
 OWNER ADDR: 03123 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120
0101206348912340351 LEGAL: LT 3 2 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE:
 PROPERTY ADDR: 00000 BRIAN MEADOWS
 OWNER NAME: STAFFORD WILLIAM R
 OWNER ADDR: 03127 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120
0101206348412440352 LEGAL: LT 3 3 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE:
 PROPERTY ADDR: 00000 BRIAN MEADOWS
 OWNER NAME: STEPHENS PATRICK G & CHRISTIE
 OWNER ADDR: 03131 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120
0101206347912140353 LEGAL: LT 3 4 CO RRECTED PLAT OF BOSQUE MEADOWS

SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: BUDDENHAGEN ERIC R & KAMIE R
OWNER ADDR: 03139 BRIAN MEADOWS PL NW

ALBUQUERQUE NM 87120
0101206347511640354 LEGAL: LT 3 5 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: JOHNSON DREW & BRANDY
OWNER ADDR: 03143 BRIAN MEADOWS PL NW

ALBUQUERQUE NM 87120
0101206347411040355 LEGAL: LT 3 6 C ORRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: STONE BARBARA JANE &
OWNER ADDR: 03140 BRIAN MEADOWS PL NW

ALBUQUERQUE NM 87120
1 R E C O R D S W I T H L A B E L S PAGE
2

0101206347810540356 LEGAL: LT 3 7 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: CHAVEZ RAMON
OWNER ADDR: 03136 BRIAN MEADOWS PL SW

ALBUQUERQUE NM 87120
0101206348410540357 LEGAL: LT 3 8 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: MERRELL ERIC R
OWNER ADDR: 03132 BRIAN MEADOWS PL NW

ALBUQUERQUE NM 87120
0101206348910640358 LEGAL: LT 3 9 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: WRIGHT JANICE
OWNER ADDR: 03128 BRIAN MEADOWS PL NW

ALBUQUERQUE NM 87120
0101206349410640359 LEGAL: LT 4 0 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: FRENCH SCOTT H
OWNER ADDR: 03124 BRIAN MEADOWS PL NW

ALBUQUERQUE NM 87120
0101206349810640360 LEGAL: LT 4 1 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: NGUYEN TUANH & KIET DO
OWNER ADDR: 03120 BRIAN MEADOWS PL NW

ALBUQUERQUE NM 87120
0101206350210640361 LEGAL: LT 4 2 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: PADILLA MARGO
OWNER ADDR: 03116 BRIAN MEADOWS PL NW

ALBUQUERQUE NM 87120
0101206350710540362 LEGAL: LT 4 3 CO RRECTED PLAT OF BOSQUE MEADOWS
SUBDIVISIO LAND USE: PROPERTY ADDR: 00000 BRIAN MEADOWS
OWNER NAME: HOLLAND MARIA ELENA
OWNER ADDR: 03112 BRIAN MEADOWS PL NW

ALBUQUERQUE NM 87120

ALBUQUERQUE NM 87111
 0101306301315130202 LEGAL: TRAC T A PLAT OF TRACT A SPIRITUAL RENEWAL
 CENTER LAND USE:
 PROPERTY ADDR: 00000 COORS
 OWNER NAME: DRSC INC
 OWNER ADDR: 06100 UPTOWN NE

ALBUQUERQUE NM 87110
 0101206242951210214 LEGAL: LT 1 PLA T OF LTS 1-9 (FMLY TRS A-1-A & A-2-B)
 LAND LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: LA ORILLA GROUP LLC
 OWNER ADDR: 06509 DAWN VIEW DR NE

ALBUQUERQUE NM 87111
 0101206248050510222 LEGAL: TR A -1-B SUMMARY PLAT SHOWING TRS A-1-A & A-1-B
 OF LAND USE:
 PROPERTY ADDR: 00000 LA ORILLA
 OWNER NAME: CHURCH OF CHRIST RIVERSIDE
 OWNER ADDR: 03100 LA ORILLA NW

ALBUQUERQUE NM 87120
 0101206238141010313 LEGAL: TRAC T 6- A2 PLAT OF TRACTS 6-A1 THRU 6-A5
 RIVERSIDE LAND USE:
 PROPERTY ADDR: 00000 RIVERSIDE PLAZA
 OWNER NAME: RIVERSIDE PLAZA LTD. CO
 OWNER ADDR: 00000

ALBUQUERQUE NM 87190
 .
 QUIT

Project# 1002371

HOFFMANTOWN WEST CHURCH
2600 AMERICAN RD SE, STE# 350
RIO RANCHO NM 87124

JACK SCOTT
Alban Hills Neigh. Assoc.
6419 CAMINO DEL ARREBOL NW
ALBUQUERQUE NM 87120

EDDIE COSTELLO
Taylor Ranch Neigh. Assoc.
1111 ALAMEDA BLVD NW, STE# J
ALBUQUERQUE NM 87114

101206349312240350

KILBANE JOHN R & RHONDA
3123 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206347912140353

BUDDENHAGEN ERIC R & KAMIE R
3139 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206347810540356

CHAVEZ RAMON
3136 BRIAN MEADOWS PL SW
ALBUQUERQUE NM 87120

101206349410640359

FRENCH SCOTT H
3124 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206350710540362

HOLLAND MARIA ELENA
3112 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206352110640365

GARCIA MARGARET M TRUSTEE
3100 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206338907940111

GONZALES ROBERT J & BLANCHE M
GENERAL DELIVERY
ALBUQUERQUE NM 87193

Project# 1002371

TIERRA WEST, LLC
8509 JEFFERSON ST NE
ALBUQUERQUE NM 87113

RICK LINKOUS
Coors Trail Neigh. Assoc.
2715 BOSQUE DEL SOL NW
ALBUQUERQUE NM 87120

JOLENE WOLFLEY
Taylor Ranch Neigh. Assoc.
6804 STAGEHORN DR. NW
ALBUQUERQUE NM 87120-4806

101206348912340351

STAFFORD WILLIAM R
3127 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206347511640354

JOHNSON DREW & BRANDY
3143 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206348410540357

MERRELL ERIC R
3132 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206349810640360

NGUYEN TUANH & KIET DO
3120 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206351110640363

DEATON BARBARA J
3108 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206350611940401

PINO LUCY M
6400 BRENTON DR NW
ALBUQUERQUE NM 87120

101206340511540114

ARCHIBEQUE GERALD & LOUISE &
6148 KIVA ST NW
ALBUQUERQUE NM 87120

JIM WOLCOTT
Alban Hills Neigh. Assoc.
6420 CAMINO DEL ARREBOL NW
ALBUQUERQUE NM 87120

ALEXANDRA OSTWALD
Coors Trail Neigh. Assoc.
6423 BOSQUE MEADOWS NW
ALBUQUERQUE NM 87120

101206352601840307

COORS EIGHT PACK
6605 UPTOWN BL NE
ALBUQUERQUE NM 87110

101206348412440352

STEPHENS PATRICK G & CHRISTIE
3131 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206347411040355

STONE BARBARA JANE &
3140 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206348910640358

WRIGHT JANICE
3128 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206350210640361

PADILLA MARGO
3116 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206351610640364

NELSON SAMUEL A & MELANIE L
3104 BRIAN MEADOWS PL NW
ALBUQUERQUE NM 87120

101206351611940402

JAFFER SHAMASH & FEMINA
6401 BOSQUE MEADOWS PL NW
ALBUQUERQUE NM 87120

101206341914040117

RABADI SHARIF A & SAMIA S TRU
6409 COORS RD NW
ALBUQUERQUE NM 87120

101306304410630119

HEADRICK CANDACE S & JEREMY
12800 COMANCHE NE
ALBUQUERQUE NM 87111

101206248050510222

CHURCH OF CHRIST RIVERSIDE
3100 LA ORILLA NW
ALBUQUERQUE NM 87120

101306301315130202

DRSC INC
6100 UPTOWN NE
ALBUQUERQUE NM 87110

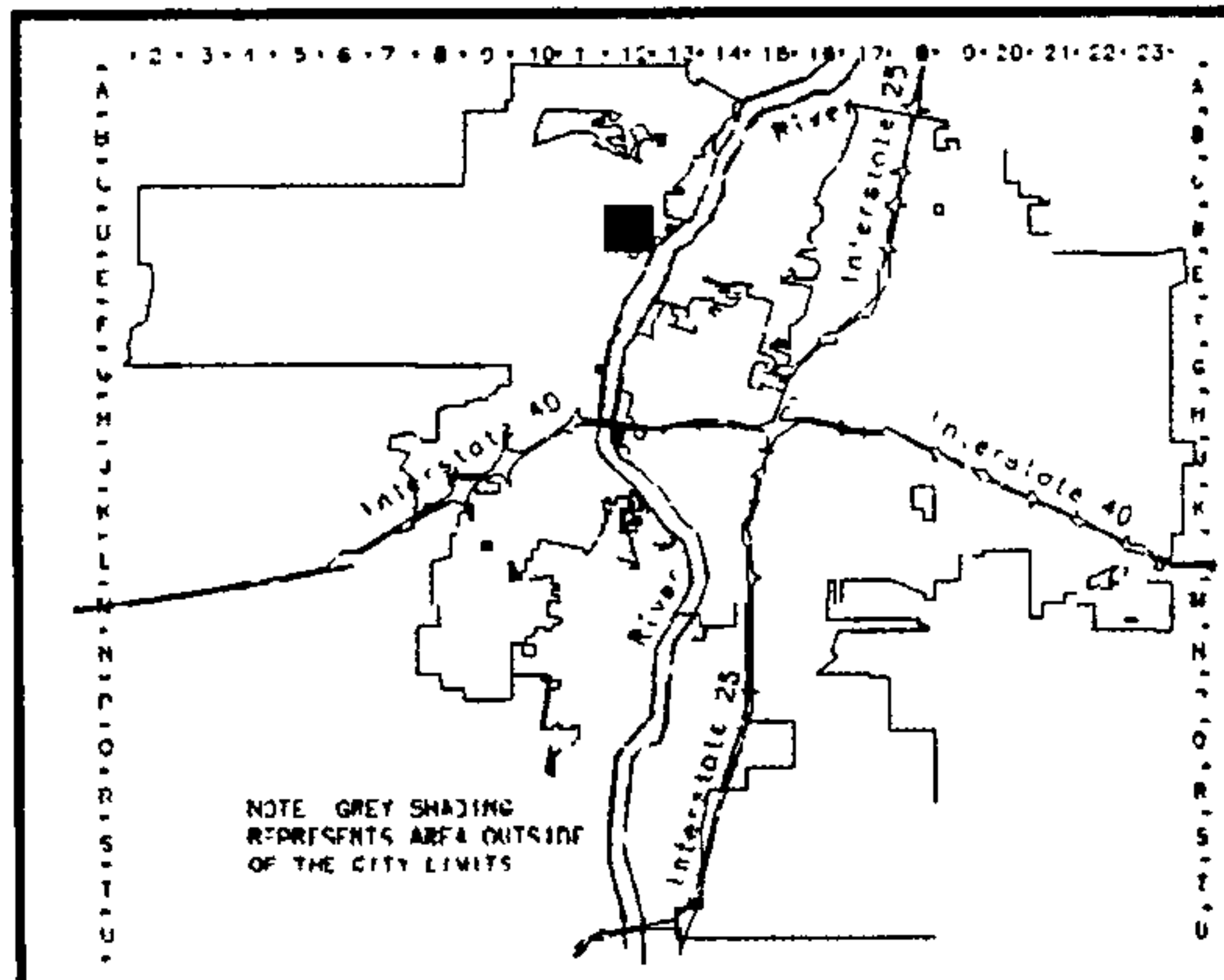
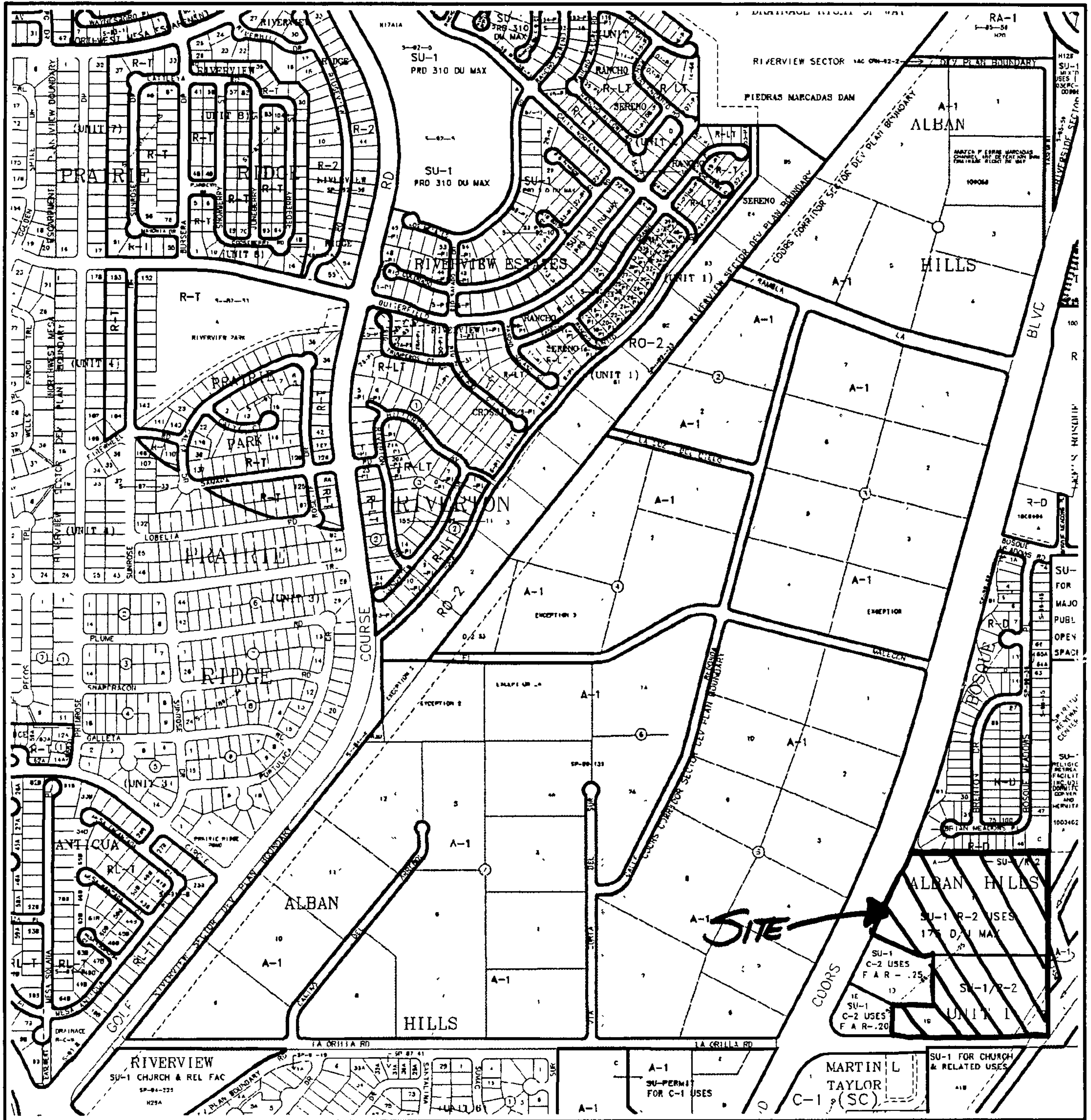
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RIVERSIDE PLAZA LTD. CO
GENERAL DELIVERY
ALBUQUERQUE NM 87190

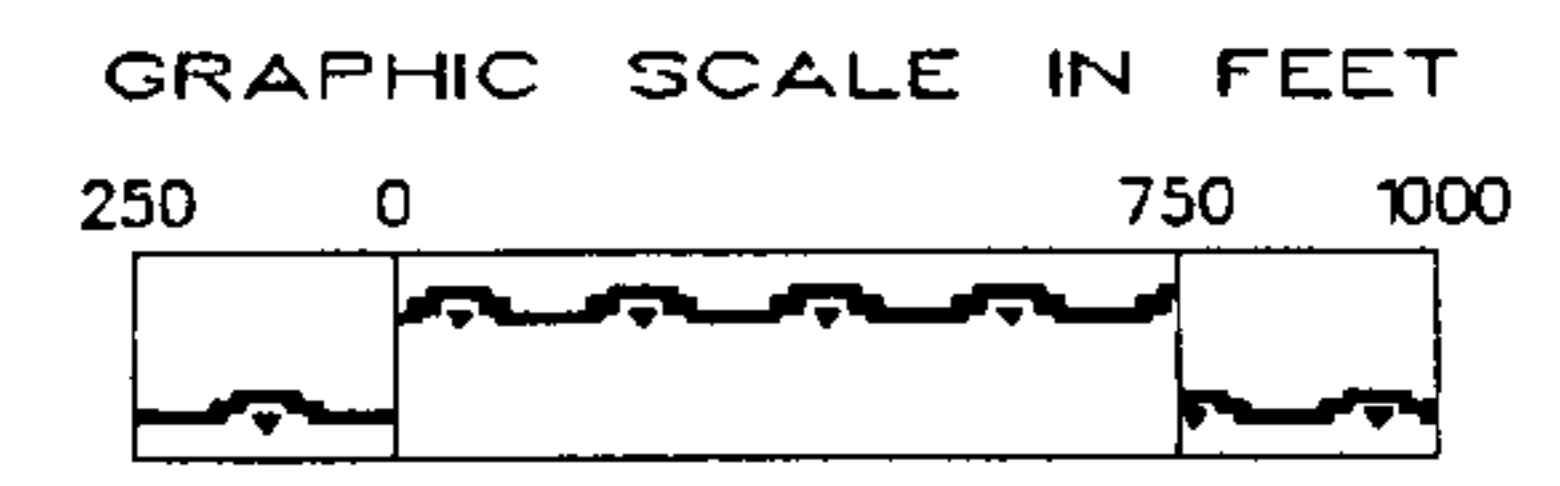
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LA ORILLA GROUP LLC
6509 DAWN VIEW DR NE
ALBUQUERQUE NM 87111

JOEL & NINA TAYLOR FNDN INC
C/O Albuq Christian Childrens Home
5700 TAYLOR RANCH RD NW
ALBUQUERQUE NM 87120



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
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Zone Atlas Page
D-12-Z
Map Amended through July 31, 2003

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground
- C. No barrier shall prevent a person from coming within five feet of the sign to read it

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 12/30/01 To 1/14/02

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Karen Kline 12/19/03
(Applicant or Agent) (Date)

I issued 2 signs for this application, 12/19/03, Patricia
(Date) (Staff Member)

DRB PROJECT NUMBER: 1002371

"Attachment A"

Karen Kline, Tierra West, LLC
Zone Map: D-12

ALBAN HILLS N.A.

***Jim Wolcott**

6420 Camino Del Arrebol NW/87120 898-8329 (h)

Jack Scott

6419 Camino Del Arrebol NW/87120 898-5009 (h)

COORS TRAIL N.A. (R)

***Rick Linkous**

2715 Bosque Del Sol NW/87120 890-4331 (h)

Alexandra Ostwald

6423 Bosque Meadows NW/87120 898-1915 (h)

TAYLOR RANCH N.A. (R)

***Eddie Costello**

1111 Alameda NW, St. J/87114 792-1066 (w)

Jolene Wolfley

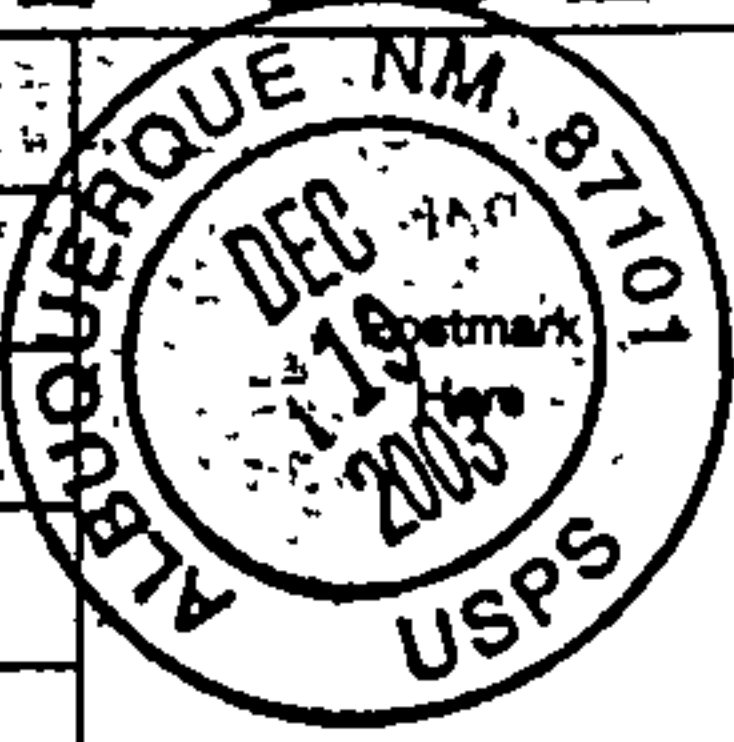
6804 Staghorn Dr. NW/87120-4806 890-9414 (h)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



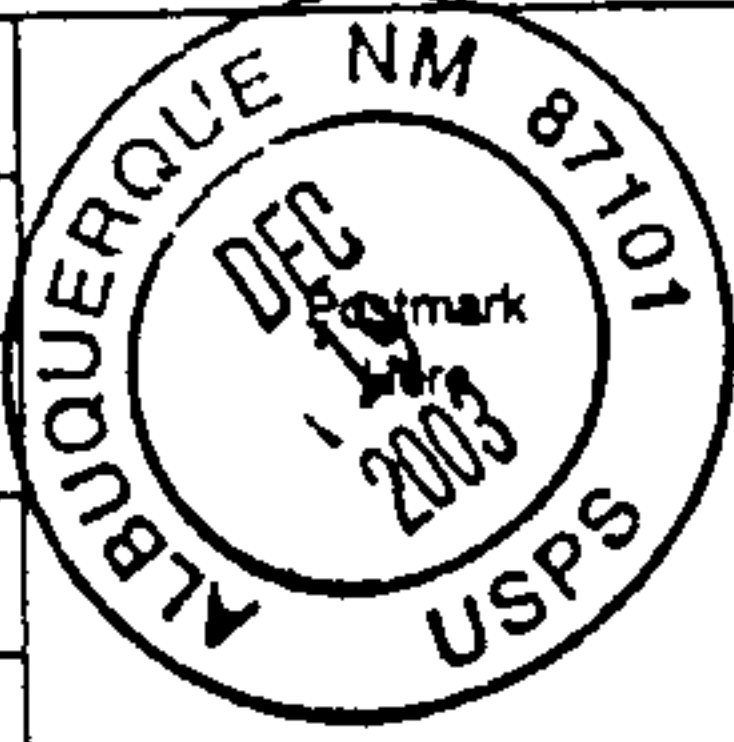
Sent To: Eddie Costello
Street, Apt. No. or PO Box No.: 1111 Alameda NW Ste J
City, State, ZIP+4: ABQ NM 87114

PS Form 3800 January 2001 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



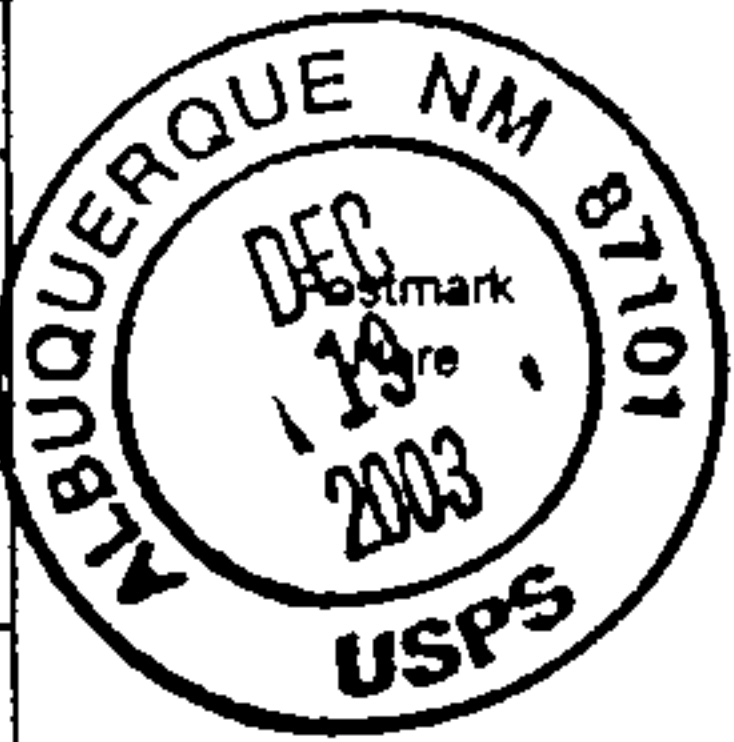
Sent To: Johannes Wolfley
Street, Apt. No. or PO Box No.: 6204 Staghorn Dr NW
City, State, ZIP+4: ABQ NM 8720-4806

PS Form 3800 January 2001 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



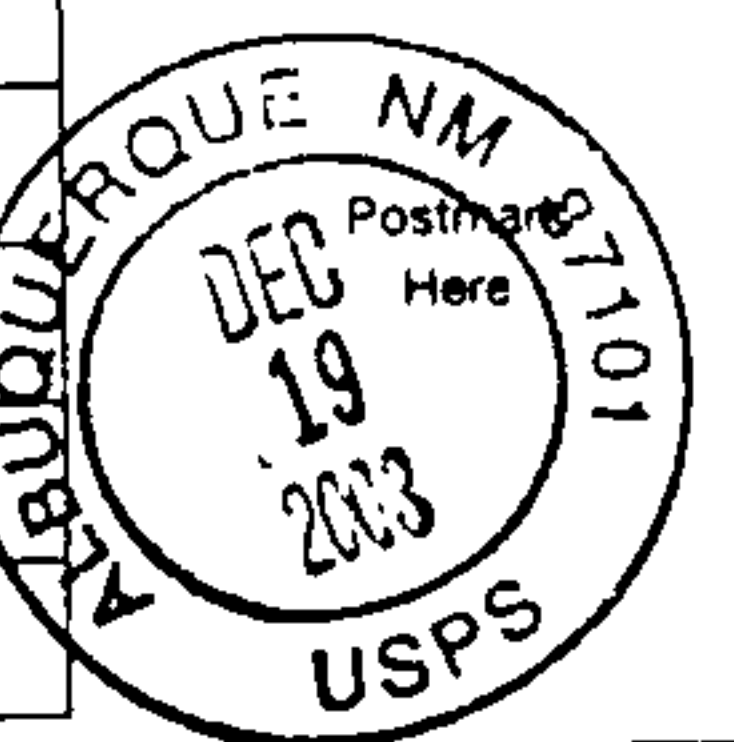
Sent To: Alexandra Ostwald
Street, Apt. No. or PO Box No.: 1023 Bosque Meadows NW
City, State, ZIP+4: ABQ NM 87120

PS Form 3800 January 2001 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



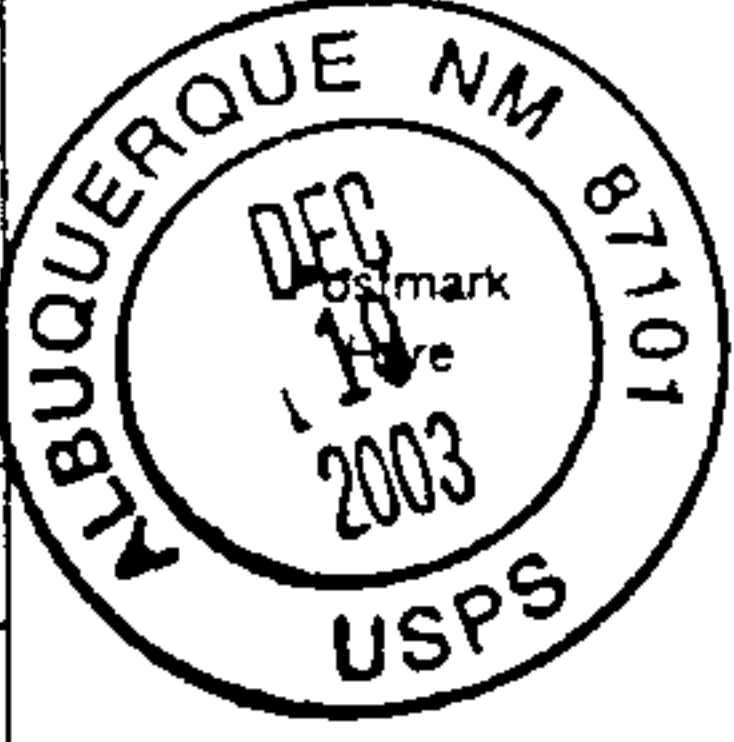
Sent To: Rick Linkous
Street, Apt. No. or PO Box No.: 2715 Bosque del Sol NW
City, State, ZIP+4: ABQ NM 87120

PS Form 3800 January 2001 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



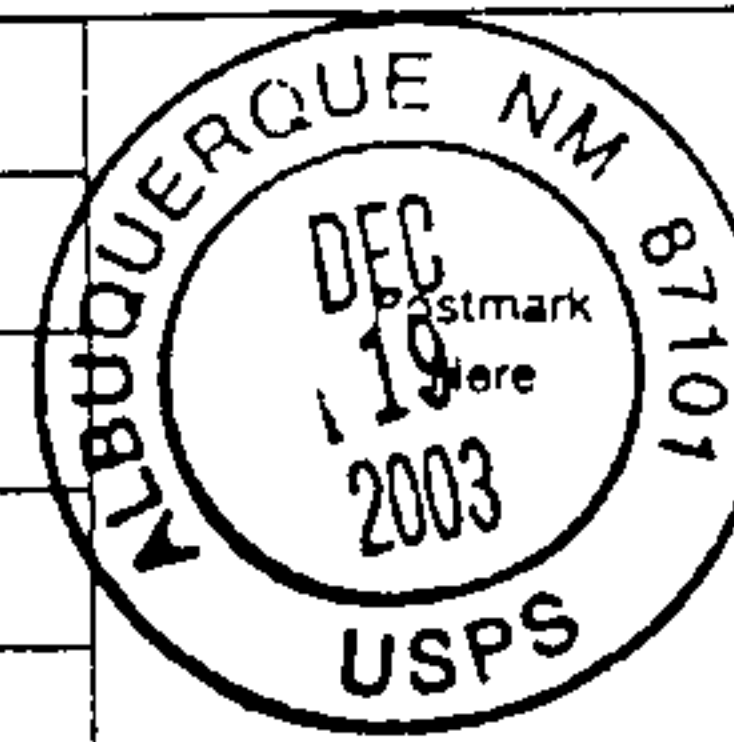
Sent To: Jack Scott
Street, Apt. No. or PO Box No.: 6419 Camino del Arcebol NW
City, State, ZIP+4: ABQ NM 87120

PS Form 3800 January 2001 See Reverse for Instructions

U.S. Postal Service
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Sent To: Jim Wolcott
Street, Apt. No. or PO Box No.: 6420 Camino del Arcebol NW
City, State, ZIP+4: ABQ NM 87120

PS Form 3800 January 2001 See Reverse for Instructions

PROPERTY OWNERSHIP / LEGAL LIST

App# _____

Proj# _____

Date: _____

Page _____ Of _____

Zone Atlas Page	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
D-12	1012063	524-018	403-07	✓ PL 1012063
		491-030	09	✓ MR 516-104 403 04 ✓
		490-080	11	✓ MR 521-104 05 ✓
		428-024	08	✓ MR 531-111 06 ✓ CPA
		444-040	10	✓ MR 516-119 404 01 ✓
		493-122	50	✓ 516-119 02 ✓
		489-123	51	✓ 389-079 401 11 ✓
		484-124	52	✓ 405-115 14 ✓
		479-121	53	✓ 419-140 17 ✓
		475-116	54	✓ 1013063 044-104 301 19 ✓
		474-110	55	✓ 013-151 302 02 ✓
		478-105	56	✓ 1012062 429-512 102 14 ✓
		484-105	57	✓ 480-535 22 ✓
		489-106	58	✓ 381-410 103 13 ✓
		494-106	59	✓
		498-106	60	✓
		502-106	61	✓
		507-105	62	✓
		511-104	63	✓

Netly portion of Tr. A-1-A

lands of Joel P Taylor aka

Tr. A-1-D cont. 25.9310 ac

Joel & Melina Taylor Endo Inc

c/o Albyg Christian childrens Home

5700 Taylor Ranch ~~MS~~

Ed New

124

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

*Advertised
in error as
Jac*

January 28, 2004

Meeting Date: ~~JANUARY 14, 2004~~
Zone Atlas Page: D-12-Z
Notification Radius: 100 Ft.

Project# 1002371
App# 03DRB-02085

*will be heard
as BLV on
1/28/04*

Cross Reference and Location: N/A

Applicant: HOFFMANTOWN WEST CHURCH
Address: 2600 AMERICAN RD SE, STE# 350
RIO RANCHO NM 87124

Agent: TIERRA WEST, LLC
Address: 8509 JEFFERSON ST. NW
ALBUQUERQUE NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: DECEMBER 24, 2003

Signature: KYLE TSEHLIKAI

101206352601840307	LEGAL: TR 1 -C B LK 15 (SECOND CORRECTED REPLAT OF LT 1 & A LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: COORS EIGHT PACK OWNER ADDR: 06605 UPTOWN	BL NE ALBUQUERQUE NM	87110
101206349008040311	LEGAL: TR 1 -A B LK 15 (SECOND CORRECTED REPLAT OF LT 1 & A LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: COORS EIGHT PACK OWNER ADDR: 06605 UPTOWN	BL NE ALBUQUERQUE NM	87110
101206344404040310	LEGAL: TR 1 -D B LK 15 (SECOND CORRECTED REPLAT OF LT 1 & A LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: COORS EIGHT PACK OWNER ADDR: 06605 UPTOWN	BL NE ALBUQUERQUE NM	87110
101206349103040309	LEGAL: TR 1 -B B LK 15 (SECOND CORRECTED REPLAT OF LT 1 & A LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: COORS EIGHT PACK OWNER ADDR: 06605 UPTOWN	BL NE ALBUQUERQUE NM	87110
101206342802640308	LEGAL: TR 1 -E B LK 15 (SECOND CORRECTED REPLAT OF LT 1 & A LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: COORS EIGHT PACK OWNER ADDR: 06605 UPTOWN	BL NE ALBUQUERQUE NM	87110
101206251449810210	LEGAL: N'EL Y PD RTION OF TR A-1-A-1 LANDS OF JOEL P TAYLOR LAND USE: PROPERTY ADDR: 00000 OWNER NAME: JOEL & NINA TAYLOR FNDN INC OWNER ADDR: 05700 TAYLOR RANCH	RD ALBUQUERQUE NM	87120
101206248050510222	LEGAL: TR A -1-B SUMMARY PLAT SHOWING TRS A-1-A & A-1-B OF LAND USE: PROPERTY ADDR: 00000 LA ORILLA OWNER NAME: CHURCH OF CHRIST RIVERSIDE OWNER ADDR: 03100 LA ORILLA	NW ALBUQUERQUE NM	87120
101206242951210214	LEGAL: LT 1 PLA T OF LTS 1-9 (FMLY TRS A-1-A & A-2-B) LAND LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: LA ORILLA GROUP LLC OWNER ADDR: 06509 DAWN VIEW	DR NE ALBUQUERQUE NM	87111

"Attachment A"

Karen Kline, Tierra West, LLC
Zone Map: D-12

ALBAN HILLS N.A.

***Jim Wolcott**

6420 Camino Del Arrebol NW/87120 898-8329 (h)

Jack Scott

6419 Camino Del Arrebol NW/87120 898-5009 (h)

COORS TRAIL N.A. (R)

***Rick Linkous**

2715 Bosque Del Sol NW/87120 890-4331 (h)

Alexandra Ostwald

6423 Bosque Meadows NW/87120 898-1915 (h)

TAYLOR RANCH N.A. (R)

***Eddie Costello**

1111 Alameda NW, St. J/87114 792-1066 (w)

Jolene Wolfley

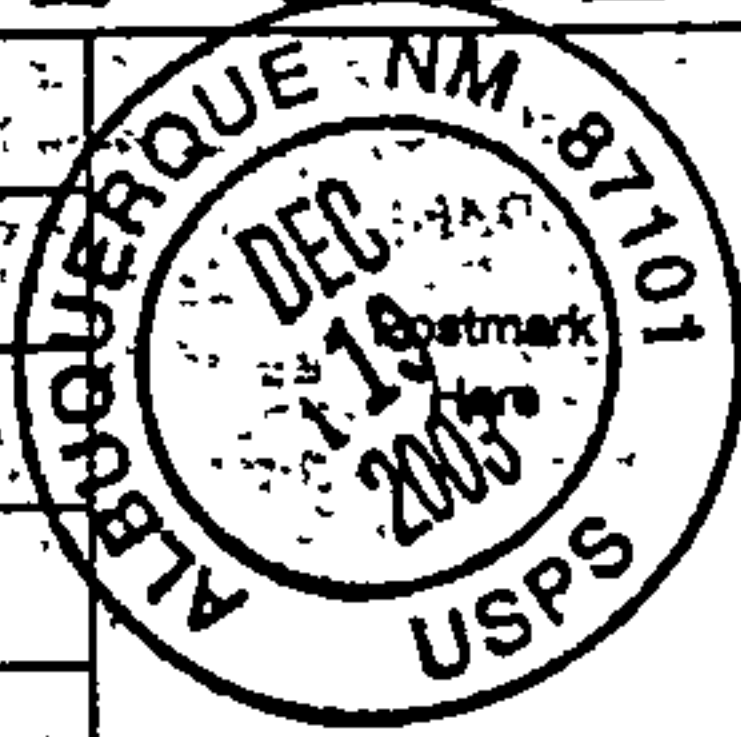
6804 Staghorn Dr. NW/87120-4806 890-9414 (h)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



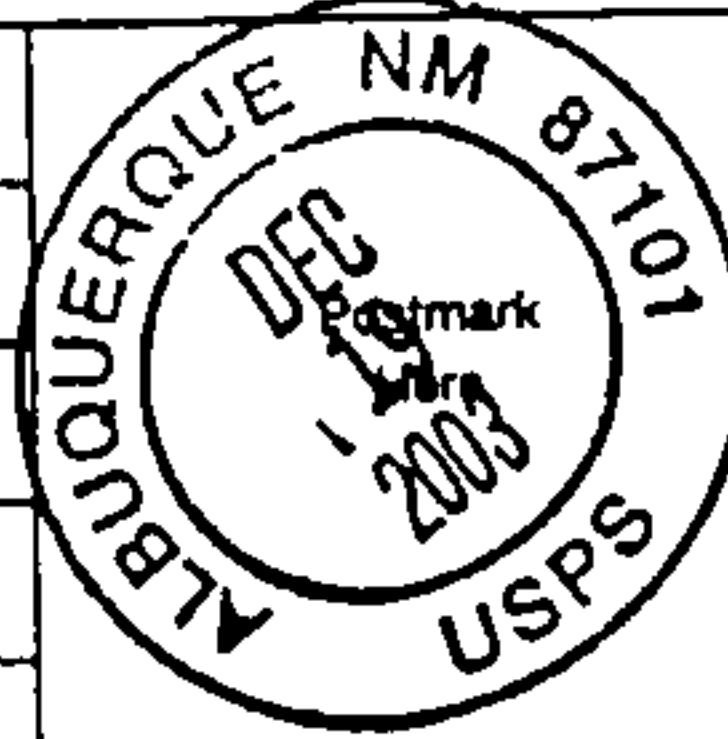
Sent To: Eddie Costello
 Street, Apt. No. or PO Box No.: 1111 Alameda NW Ste. J
 City, State, ZIP+4: ABQ NM 87114

PS Form 3800 January 2001 See Reverse for Instructions

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

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Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



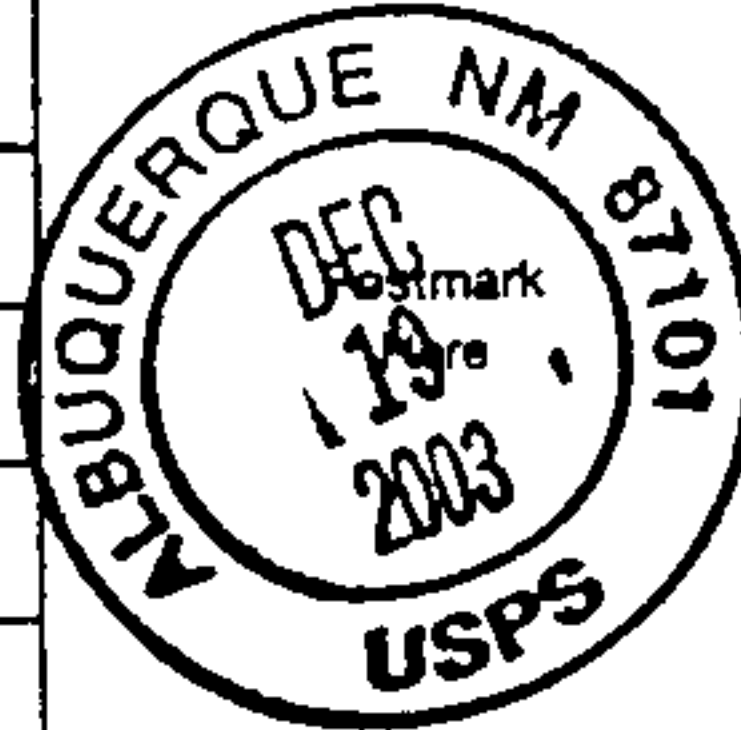
Sent To: Johannes Wolfley
 Street, Apt. No. or PO Box No.: 6804 Staghorn Dr NW
 City, State, ZIP+4: ABQ NM 8720-4806

PS Form 3800 January 2001 See Reverse for Instructions

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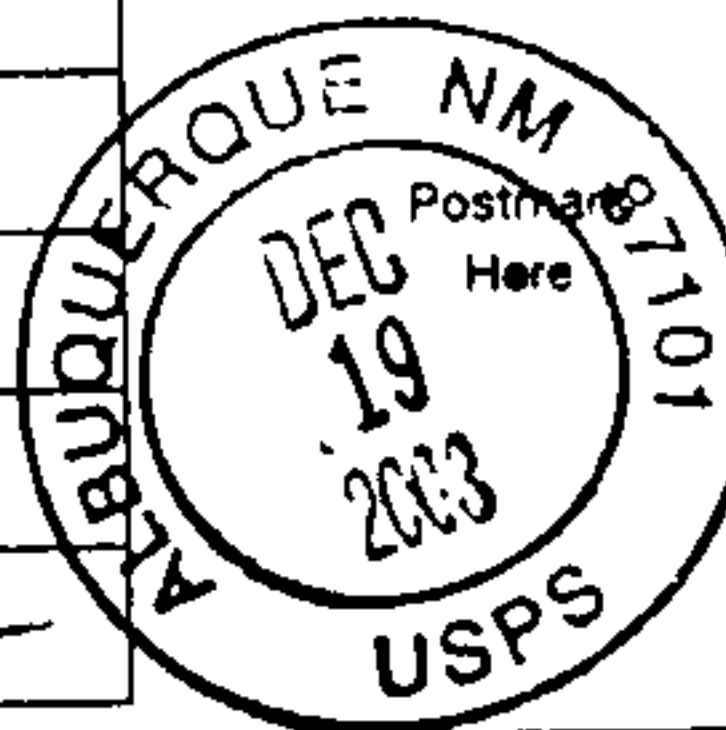
Sent To: Alexandra Ostwald
 Street, Apt. No. or PO Box No.: 1023 Bosque Meadows NW
 City, State, ZIP+4: ABQ NM 87120

PS Form 3800 January 2001 See Reverse for Instructions

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
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Total Postage & Fees	\$ 4.42



Sent To: Rick Linkous
 Street, Apt. No. or PO Box No.: 2715 Bosque del Sol NW
 City, State, ZIP+4: ABQ NM 87120

PS Form 3800 January 2001 See Reverse for Instructions

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
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Postage	\$.37
Certified Fee	2.30
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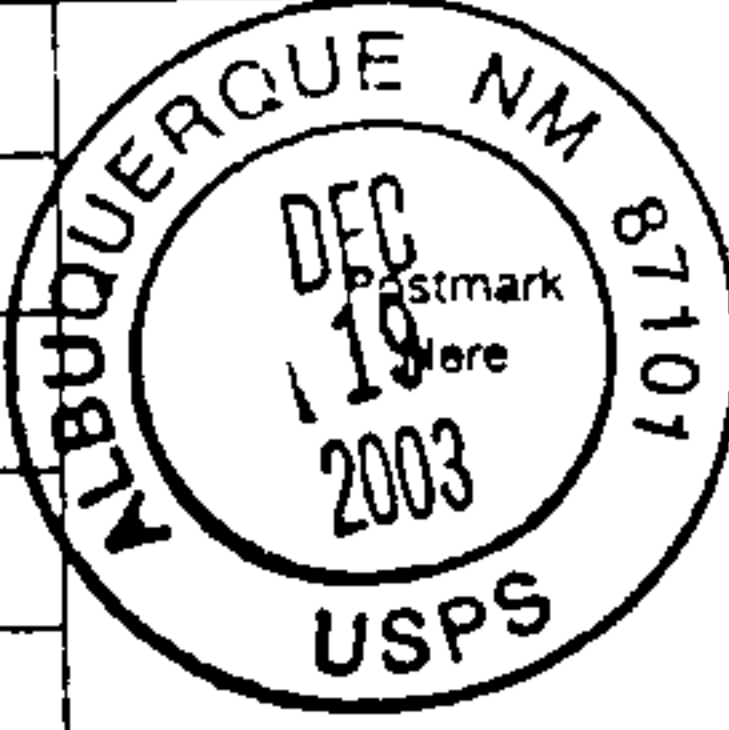
Sent To: Jack Scott
 Street, Apt. No. or PO Box No.: 6419 Camino del Arroyo NW
 City, State, ZIP+4: ABQ NM 87120

PS Form 3800 January 2001 See Reverse for Instructions

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

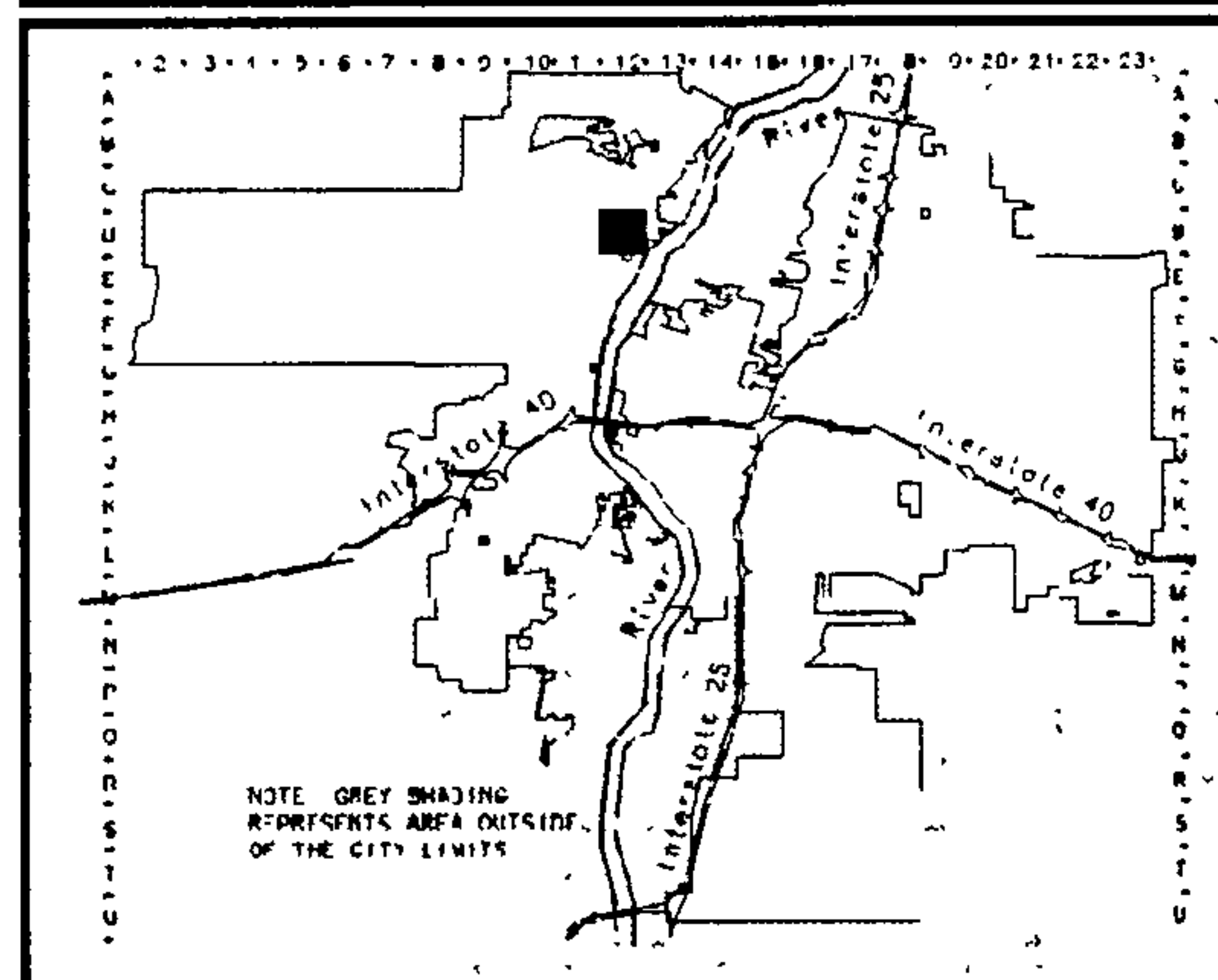
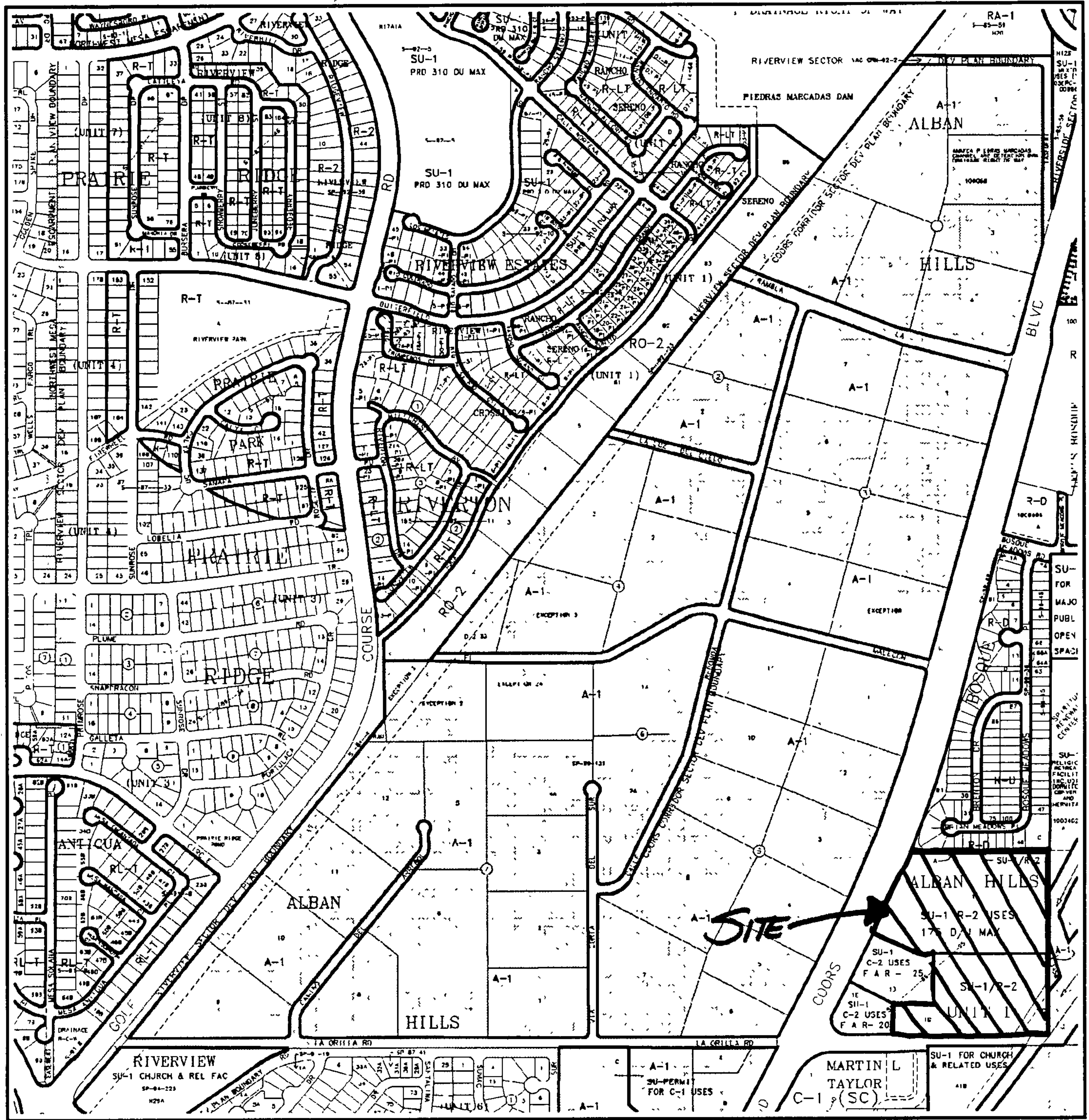
OFFICIAL USE

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Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To: Jim Wolcott
 Street, Apt. No. or PO Box No.: 6420 Camino del Arroyo NW
 City, State, ZIP+4: ABQ NM 87120

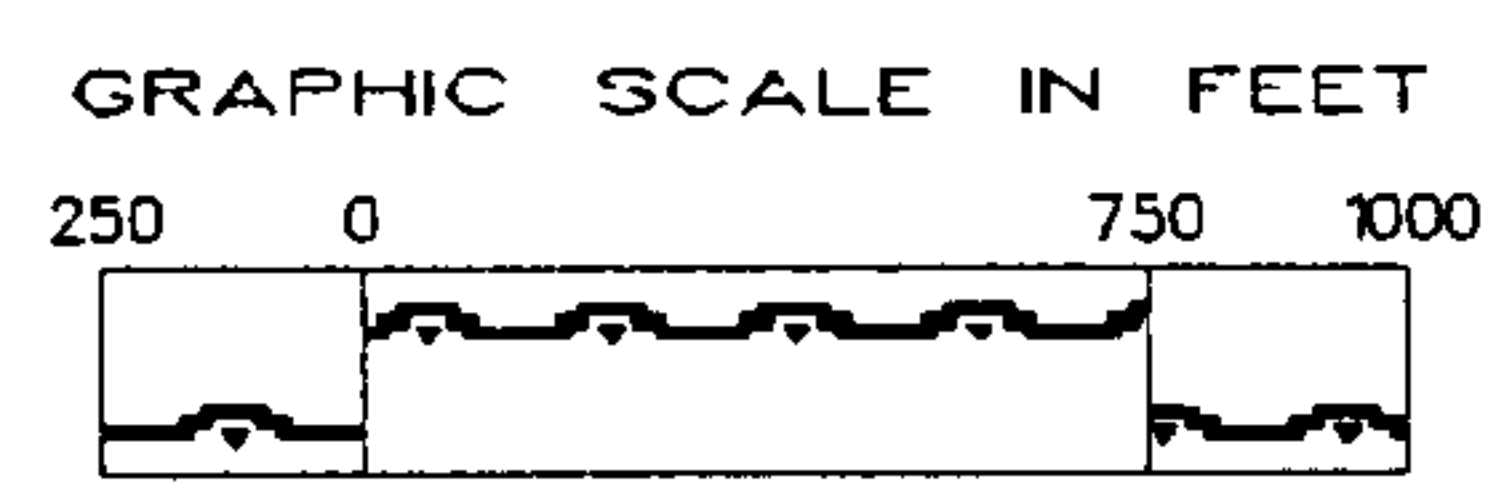
PS Form 3800 January 2001 See Reverse for Instructions



NOTE GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS



CITY OF Albuquerque
AGIS
 Albuquerque Geographic Information System
 PLANNING DEPARTMENT
 © Copyright 2003



Zone Atlas Page
D-12-Z
 Map Amended through July 31, 2003

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing the sign tears out less easily.

4. TIME

Signs must be posted from 12/30/01 To 1/14/02

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Karen Klue
(Applicant or Agent)

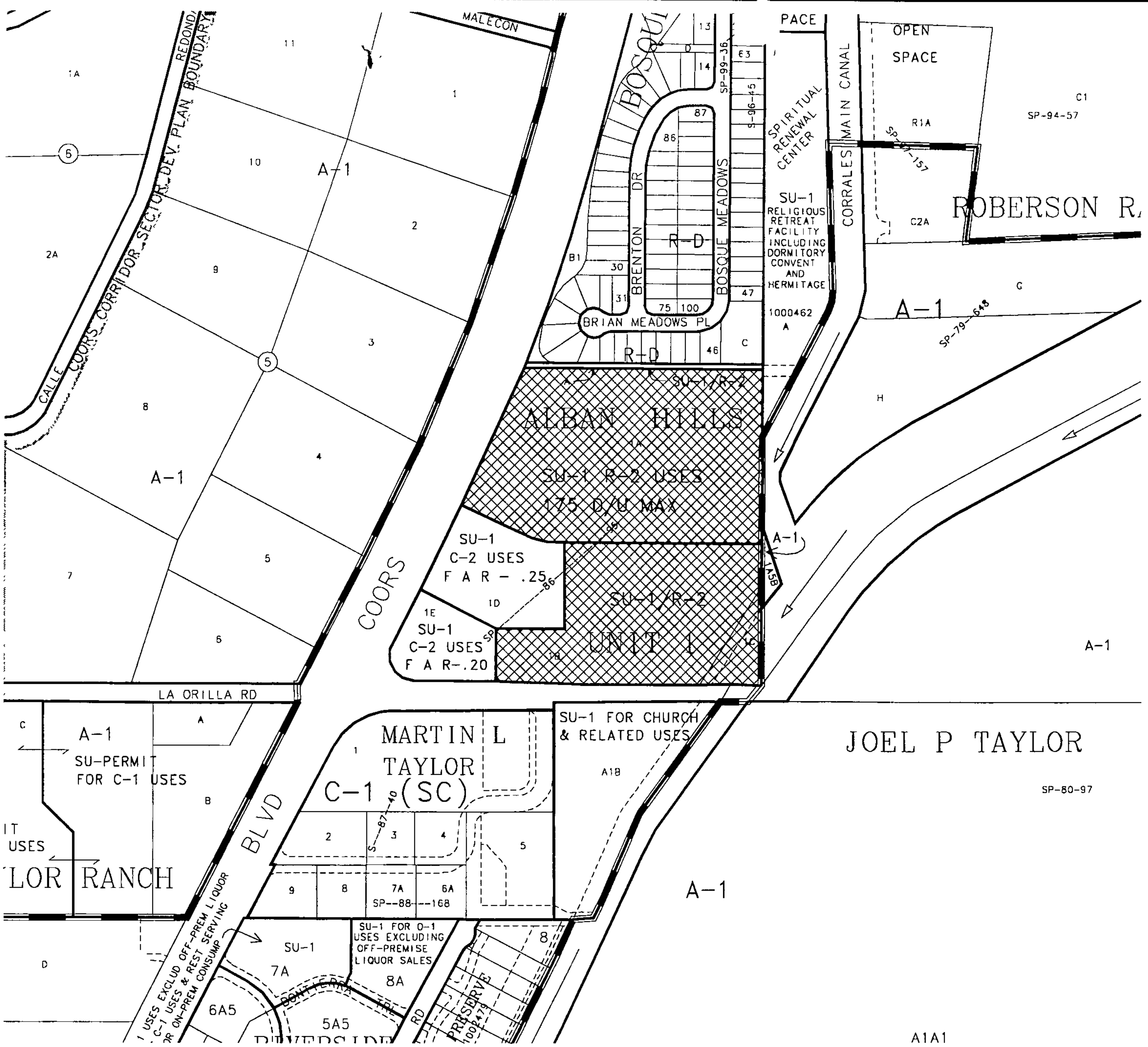
12/19/03
(Date)

I issued 2 signs for this application,

12/19/03
(Date)

[Signature]
(Staff Member)

DRB PROJECT NUMBER: 1002371



Note: Shaded area indicates County Not to Scale

ZONING MAP



Scale 1" = 451'

PROJECT NO.
1002371

HEARING DATE
1-28-04

MAP NO.
D-12

ADDITIONAL CASE NUMBER(S)
03DRB-02150



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 4, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002371

07DRB-00286 Major-Two Year SIA

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, **ALBAN HILLS**, zoned SU-1 FOR R-2 W/CHURCH RELATED USES located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB-00286, 03DRB-02150, 05DRB-00560, 03DRB-02085, 03DRB-02086] (D-12)

Project # 1000985

07DRB-00292 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for PALOMAS INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 1-A, Block(s) 12, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned SU-2 C-1 located on SAN PEDRO NE between PASEO DEL NORTE NE and PALOMAS NE. (D-18)

Project # 1003790

07DRB-00297 Major-SiteDev Plan Subd
07DRB-00298 Minor-Vacation of Private Easements
07DRB-00299 Minor-Prelim&Final Plat Approval

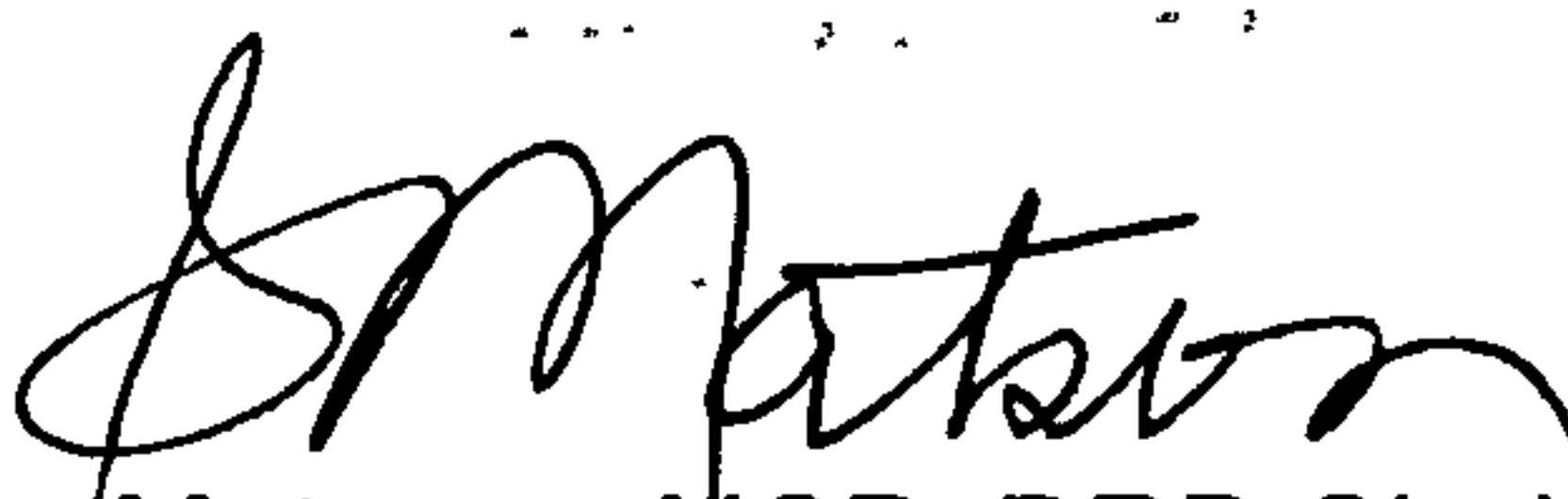
MARK GOODWIN & ASSOCIATES PA agent(s) for MCT INDUSTRIES INC request(s) the above action(s) for all or any portion of Tract(s) B, C-1 & C-2, **NORTH GATEWAY**, zoned IP located on BALLOON FIESTA PARKWAY NE between SAN MATEO BLVD NE and I-25 NE containing approximately 23 acre(s). (B-18)

Project # 104623

07DRB-00294 Major-SiteDev Plan BldPermit

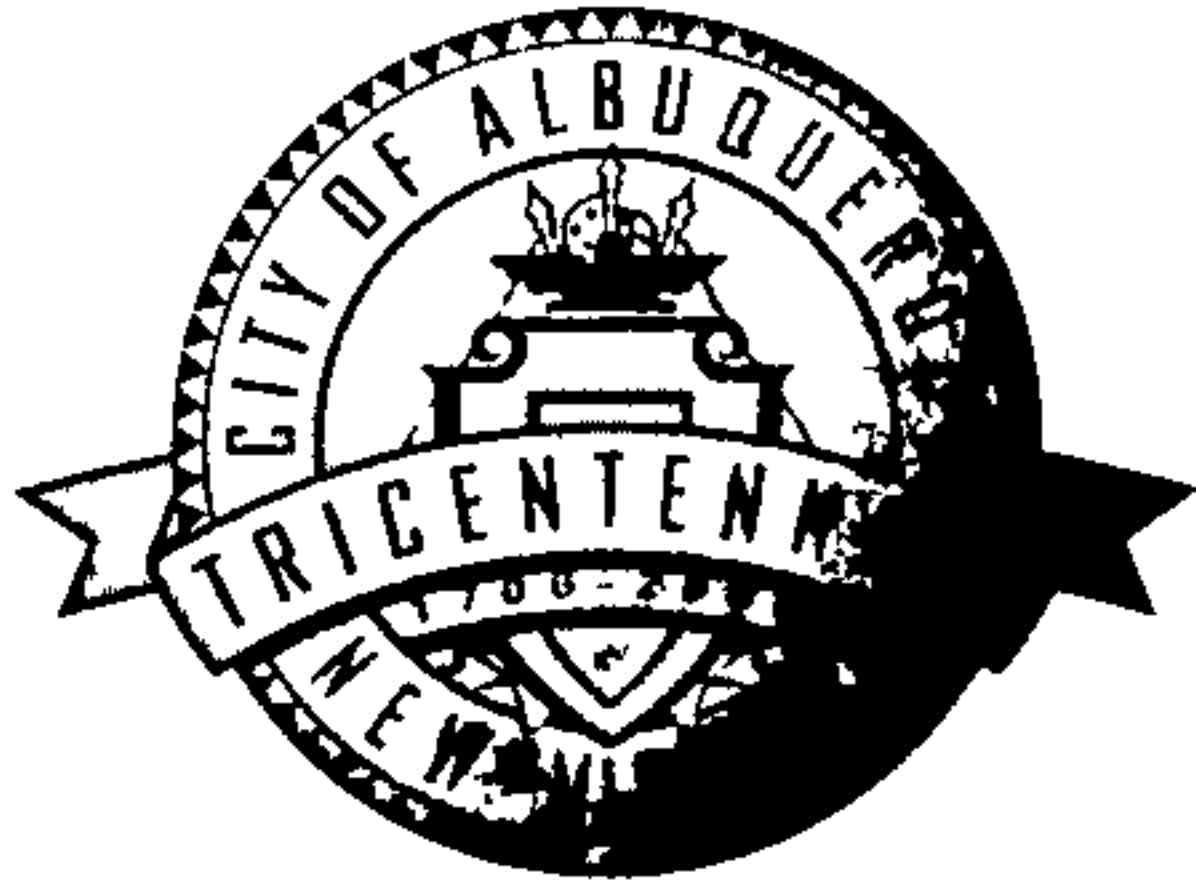
BERENT GROTH ARCHITECT agent(s) for RAUL LOPEZ request(s) the above action(s) for all or any portion of Lot(s) 13-16, Block(s) 3, **ROMERO ADDITION**, zoned SU-1 for legal office and/or residence, located on 5TH ST NW between SUMMER NW and MCKINLEY NW containing approximately 1 acre(s). (J-14)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. **INDIVIDUALS WITH DISABILITIES** needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MARCH 19, 2007.

CITY OF ALBUQUERQUE

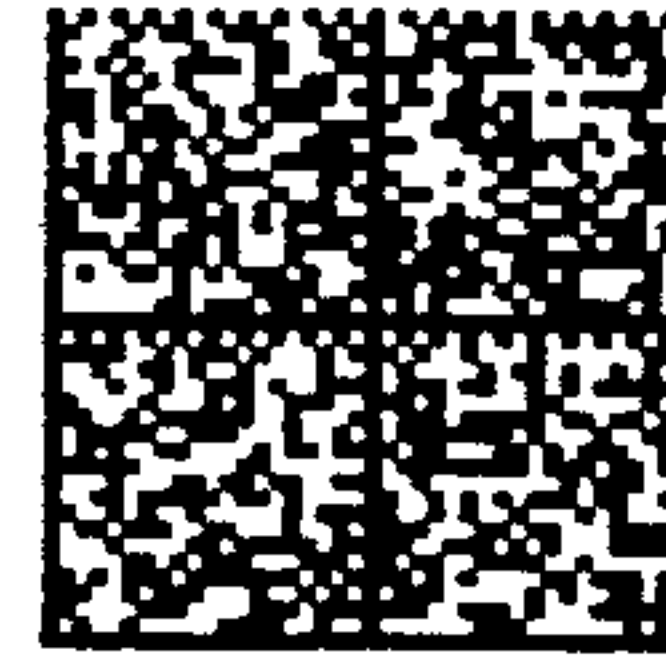


Planning Department

Or Current Resident
JOBLINSKE JAY F & LILLER
CATHERINE
3132 BRIAN MEADOWS PL NW
ALBUQUERQUE, NM 87120

DRB

Or Current Resident



02 1M \$ 00.39⁰
0004219022 MAR 16 2007
MAILED FROM ZIP CODE 87102

NIXIE 871 1 10 03/21/07

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 87103129393 *0568-21926-16-36

871031293



P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 4, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

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Project # 1000985

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Project # 1003790

07DRB-00297 Major-SiteDev Plan Subd
07DRB-00298 Minor-Vacation of Private Easements
07DRB-00299 Minor-Prelim&Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for MCT INDUSTRIES INC request(s) the above action(s) for all or any portion of Tract(s) B, C-1 & C-2, **NORTH GATEWAY**, zoned IP located on BALLOON FIESTA PARKWAY NE between SAN MATEO BLVD NE and I-25 NE containing approximately 23 acre(s). (B-18)

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07DRB-00294 Major-SiteDev Plan BldPermit

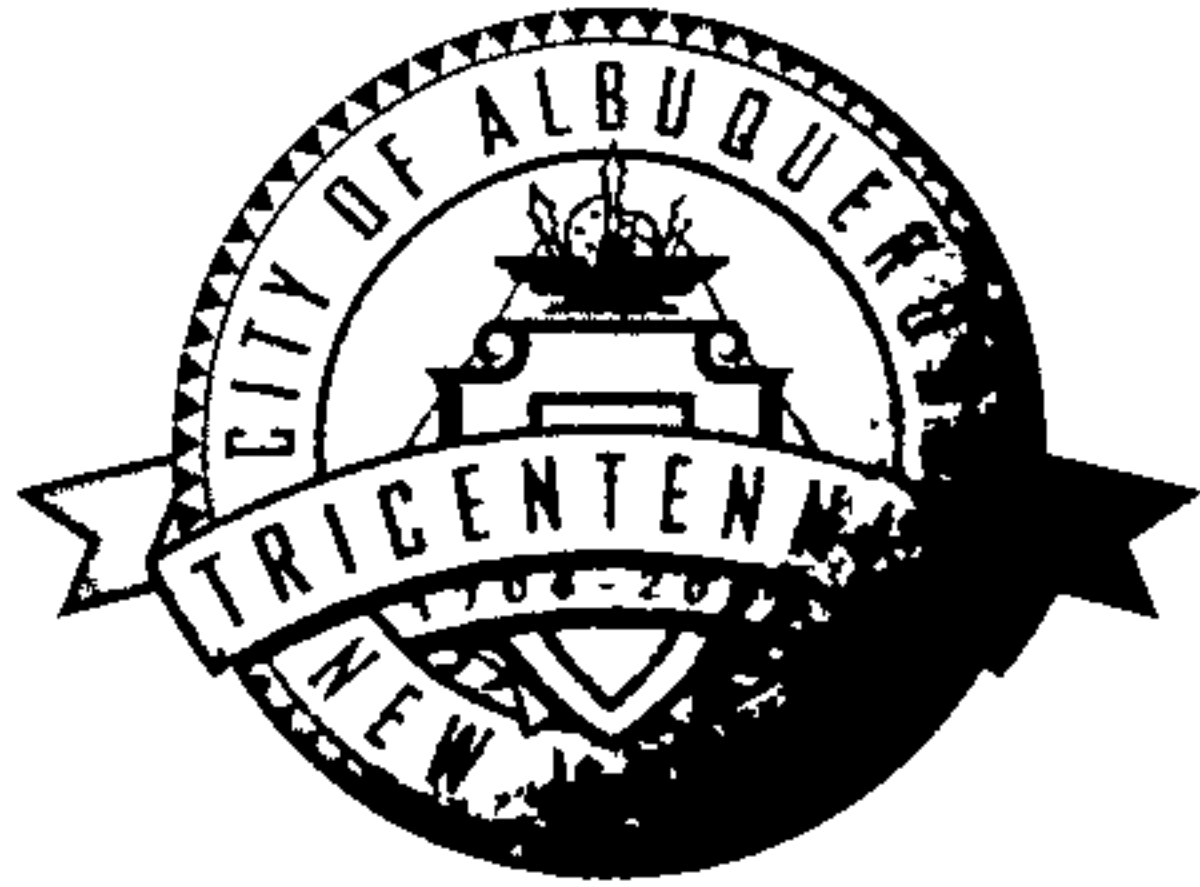
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Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MARCH 19, 2007.

CITY OF ALBUQUERQUE

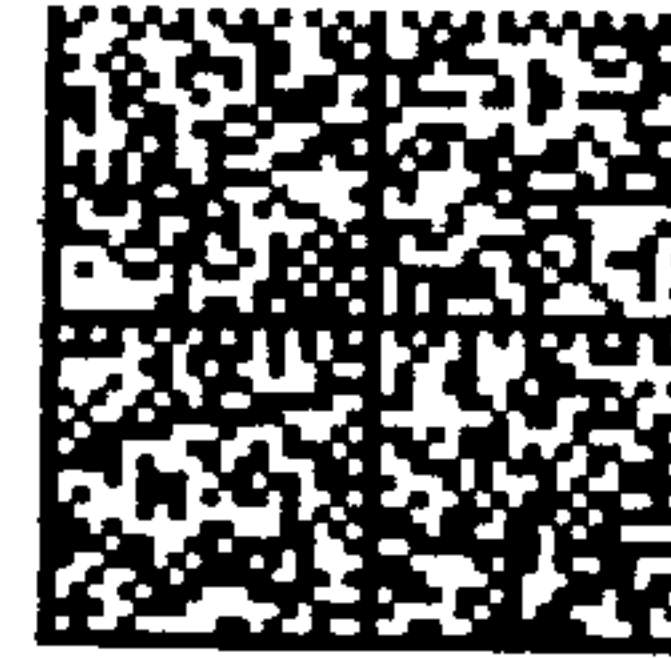


Planning Department

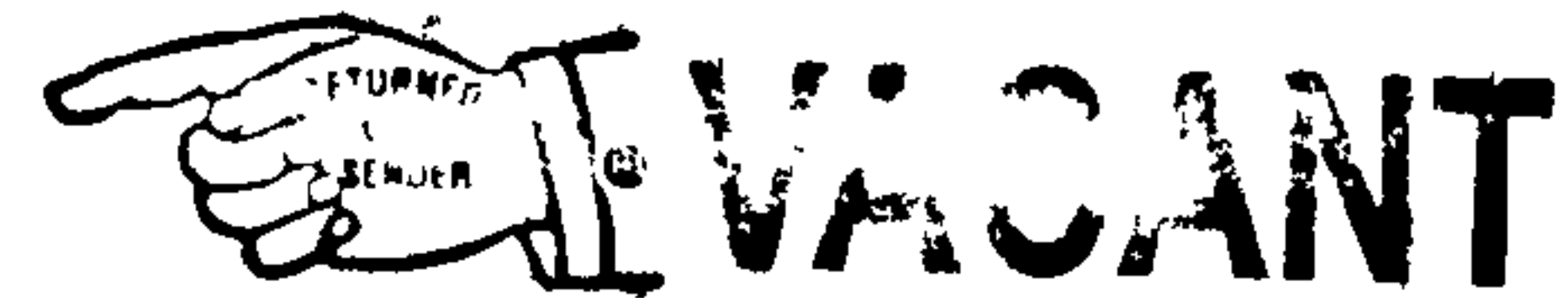
Or Current Resident
RABADI SHARIF A & SAMIA S
TRUSTEES STAR TRUST
6409 COORS BLVD NW
ALBUQUERQUE, NM 87120 2711

DRB

Or Current Resident



UNITED STATES POSTAGE
PITNEY BOWES
02 1M \$ 00.39⁰
0004219022 MAR 16 2007
MAILED FROM ZIP CODE 87102



P O Box 1293 Albuquerque, New Mexico 87103

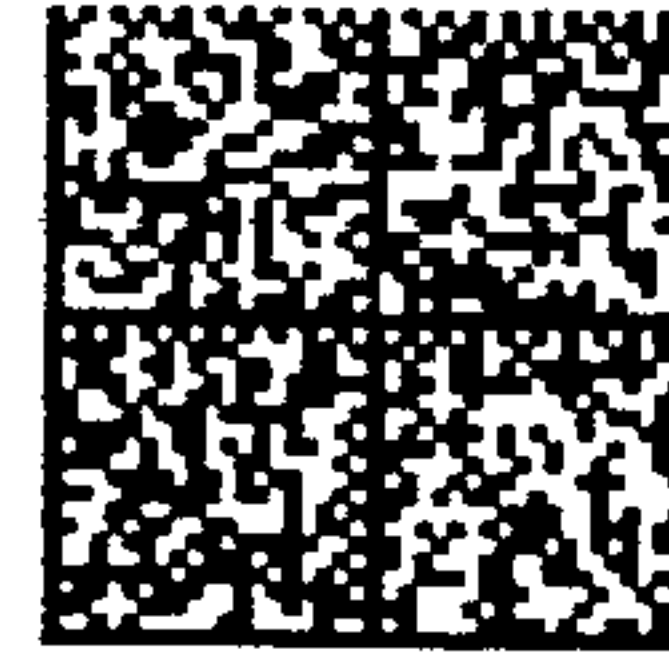
VAC

CITY OF ALBUQUERQUE



Planning Department

VAC



UNITED STATES POSTAGE
PITNEY BOWES
02 1M \$ 00.39⁰
0004219022 MAR 23 2007
MAILED FROM ZIP CODE 87102

Or Current Resident
MONTEREY LAND GROUP LLC
3 WIND NW
ALBUQUERQUE, NM 87120

RETURNED TO SENDER
VACANT

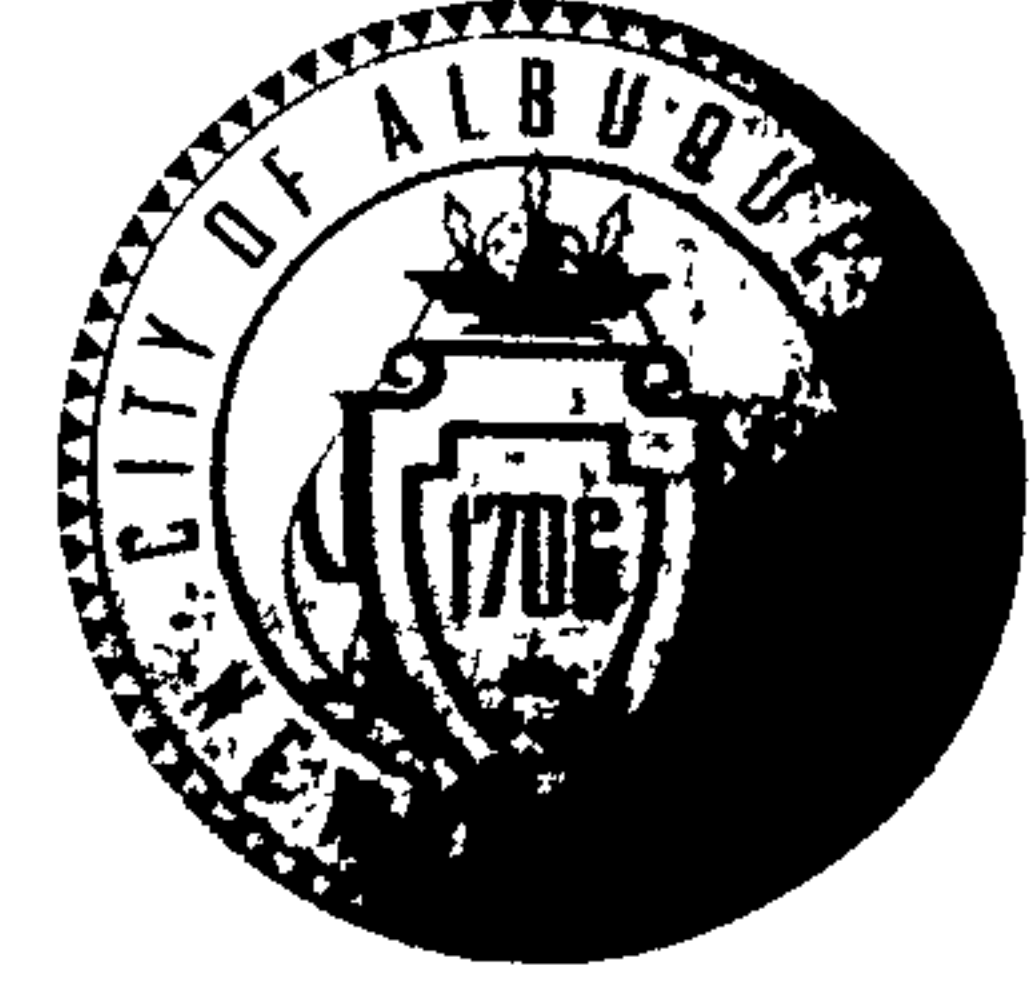
Or Current Resident



P O Box 1293 Albuquerque, New Mexico 87103

VAC

CITY OF ALBUQUERQUE



file

June 13, 2008

D. McCall
Midway Leasing
703 Osuna Rd NE, Suite 3
Albuquerque, NM 87113

Alan R. Wilson, Esq.
Wilson Law Firm PC
6707 Academy Rd NE
Albuquerque, NM 87109-3395

Re: Real Estate Agreement Between The City Of Albuquerque As Buyer
And Coors Eight Pack As Buyer And Altura West Ltd. Co. As Seller
Dated December 30, 1999

PO Box 1293

Dear Messrs. McCall and Wilson:

Albuquerque

This is in response to your request for confirmation regarding the viability of certain open space credits as described in paragraph 2 of the above referenced real estate agreement (the "Agreement"). The subject paragraph of the Agreement reads as follows:

NM 87103

2. Open Space Requirement. City agrees that subject to Coors making the payment required to Coors and the conveyance of the 8.4685 acres of the Property to the City, that the Open Space Requirement is satisfied in full. Further, upon such conveyance to the City, City agrees that if Coors or Double Eagle does not develop the project, the 8.4685 acres will constitute a credit for future open space requirements within an area to be determined by the City, which area will include the Project (the "Benefited Area"). The Benefited Area will be an area west of the Rio Grande within three (3) miles of the Property.

www.cabq.gov


Under the terms of the Agreement it is not clear if the open space credit was granted to Coors Eight Pack, a New Mexico Ltd. Partnership or Double Eagle Investments, Inc. Further complicating the issue is a bill of sale that is attached to the Agreement which purports to assign the credits from Eight Pack Property Ltd.

a party to the Agreement. It is unclear to me how an entity that was not a party to the Agreement can assign the open space credit to an entity also not a party to the Agreement. In the absence of additional documentation verifying the chain of title to the credits, the City cannot confirm the viability of the open space credit.

Please provide additional documentation from the original grantee of the credits to the current holder of the credits for further review by the City.

Sincerely,

CITY OF ALBUQUERQUE
Robert M. White, City Attorney

By: 
Kevin J. Curran
Assistant City Attorney

cc: Richard Dineen, Director of Planning
Matthew Schmader, Open Space Superintendent, Parks and Recreation

25080
SIA

PRY 1002371

No. Of Lots 1
Nearest Major Streets Coors Blvd. NW

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 26th day of August, 2005 by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and HOFFMANTOWN WEST CHURCH ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] A NON-PROFIT ORGANIZATION, whose address is 2600 AMERICAN ROAD SE, RIO RANCHO, NM 87124 and whose telephone number is 505.922.9200, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

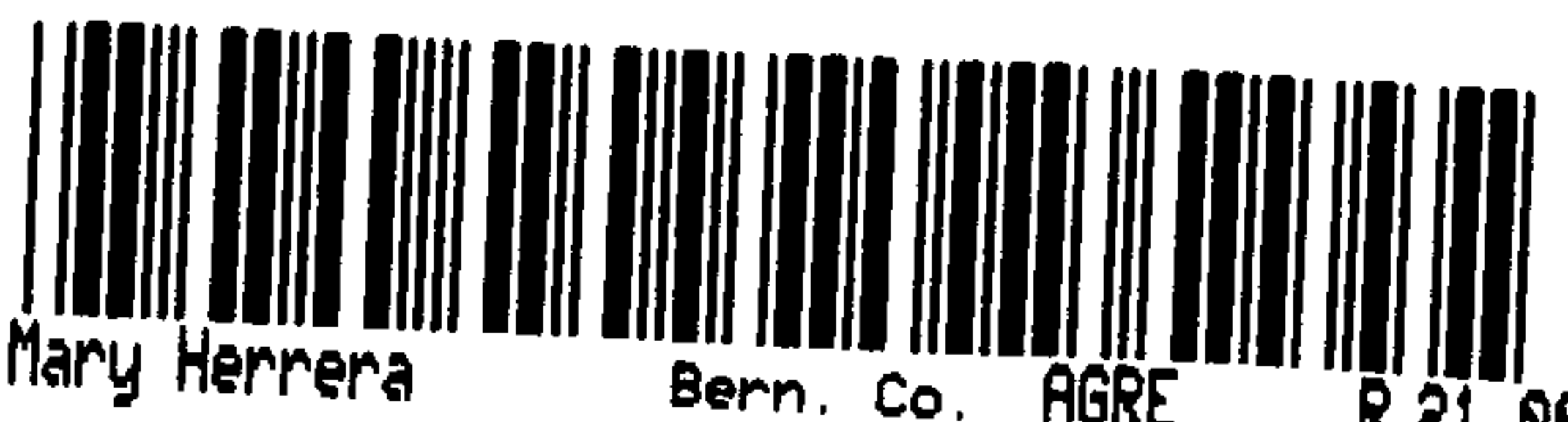
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] TRACTS 1-A, 1-B, 1-C OF ALBAN HILLS SUBDIVISION, recorded on OCTOBER 17, 19 91 in the records of the Bernalillo County Clerk at Book 91C, Folio 233 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] HOFFMANTOWN WEST CHURCH ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as HOFFMANTOWN WEST CHURCH describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 27TH day of APRIL, 2007 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 7614.81.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain



25080
SIA

Proj 100237/3

No. Of Lots 1
Nearest Major Streets Coors Blvd. NW

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

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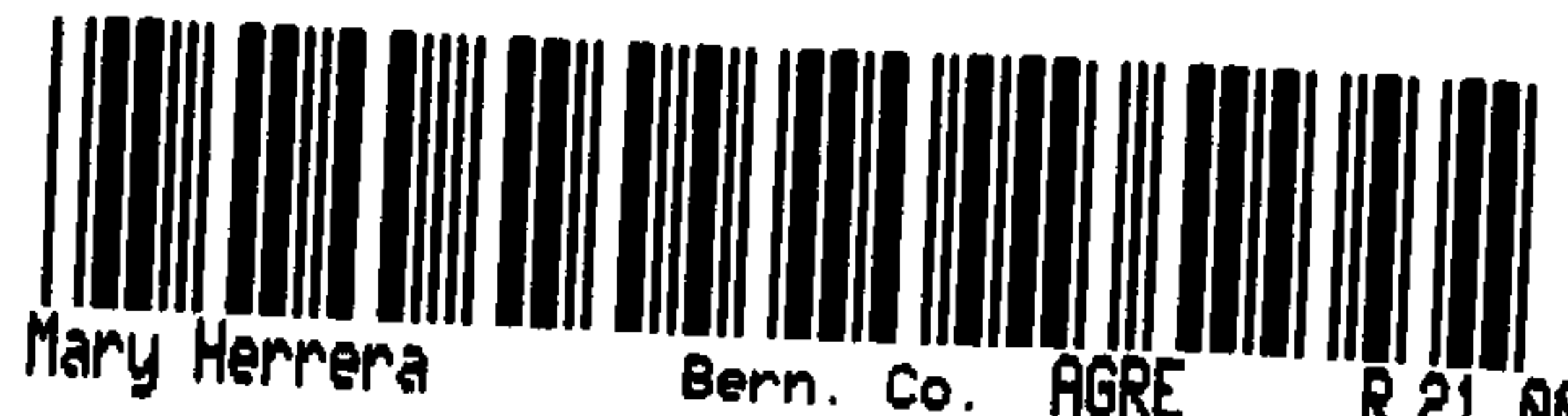
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] TRACTS 1-A, 1-B, 1-C OF ALBAN HILLS SUBDIVISION, recorded on OCTOBER 17, 19 91 in the records of the Bernalillo County Clerk at Book 91C, Folio 233 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] HOFFMANTOWN WEST CHURCH ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as HOFFMANTOWN WEST CHURCH describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 27TH day of APRIL, 20 07 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 7614.81.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain



Current DRC Project No. N.A.

Claire

12/28/04 Date Submitted: November 30, 2004
 Date Site Plan for Bldg Permit Approved: 12-28-04
 Date Site Plan for Sub. Approved: 12-28-04

Date Preliminary Plat Approved: 12.8.04
Final
 Date Preliminary Plat Expires: N.A.

DRB Project No. 1003597-1002371
A-01818

ORIGINAL

Figure 12
INFRASTRUCTURE LIST
 EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
NEC COORS & LA ORILLA SITE PLAN FOR BUILDING PERMIT
 (Tract 1D-1 AND 1E-1 BLOCK 15, ALBAN HILLS UNIT 1)

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		12' WIDE,	FOURTH NORTHBOUND LANE	COORS	LA ORILLA	NORTH EDGE OF TRACT 1D-1	/	/	/
		6' WIDE,	BIKE LANE	COORS	LA ORILLA	NORTH EDGE OF TRACT 1D-1	/	/	/
		6' WIDE	SIDEWALK	COORS	LA ORILLA	NORTH EDGE OF TRACT 1D-1	/	/	/
		12' WIDE	NORTHBOUND RIGHT TURN LANE	COORS	AT ENTRANCE TO SITE (NORTH EDGE OF TRACT 1D-1)		/	/	/
		34' WIDE	PAVEMENT FROM FACE TO FACE, INCLUDING STD C&G	LA ORILLA	COORS	EAST EDGE OF TRACT 1D-1 <i>1E-1</i>	/	/	/
		10' WIDE	ASPHALT TRAIL	LA ORILLA	COORS	EAST EDGE OF TRACT 1D-1	/	/	/
		2' WIDE	RAISED MEDIAN W/ MDN C&G	LA ORILLA	COORS	MIDDLE (APPROX) OF TRACT 1E-1	/	/	/
		<i>34'-25'</i>	<i>PAVEMENT F-TRANSITION INCLUDING STD C&G</i>	<i>LA ORILLA</i>	<i>TRACT 1E-1</i>	<i>EAST EDGE TRACT 1D-1</i>			

ORIGINAL

PUBLIC SANITARY SEWER LINE IMPROVEMENTS (NO FIN. GAUR. REQ'D. PREVIOUSLY GUARANTEED BY CITY PROJECT # 7134.81)

--	--

8" DIA SANITARY SEWER LINE WITH NECESSARY MH'S, SERVICES, ETC. LA ORILLA COORS EAST EDGE OF TRACT 1D-1

--	--	--

DRAINAGE IMPROVEMENTS

--	--

~40,000 CF TEMPORARY RETENTION POND WITH AGREEMENT & COVENANT SOUTHWEST CORNER OF TRACT 1-A-1

--	--	--

AGENT/OWNER

BRUCE STIDWORTHY 12/8/2004
PREPARED BY: PRINT NAME DATE

BOHANNAN HUSTON INC.
FIRM:

Bruce Stidworthy
SIGNATURE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

D. Nutson 12/08/04 DRB CHAIR DATE
Christina Sandoral 12/8/04 PARKS & GENERAL SERVICES DATE

[Signature] 12-8-04 TRANSPORTATION DEVELOPMENT DATE
N/A AMAFCA DATE

Regent Green 12/8/04 UTILITY DEVELOPMENT DATE
Bradley D. Bayler 12/8/04 CITY ENGINEER DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
A	8-30-05	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>



City of Albuquerque

Martin Chavez, Mayor

Interoffice Memorandum

June 27, 2005

To: Sheran Matson, Development Review Board Chair

CC: Claire Senova

From: Elvira Lopez, Planner

Subject: EPC Project 1002371; 04EPC-01713; 05DRB-00560

Re: Staff response to revised submittal; corresponding applicant letter is dated June 17, 2005;
Corresponding updated site plan is dated June 20, 2005

Background: There have been several revisions to the site development plan for building permit since the first submittal for DRB review. The following comments only address deficiencies as noted on Staff's May 20, 2005 memo.

The applicant has met all the conditions of approval. Staff has initialed the site plan dated June 20, 2005.



TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

June 17, 2005

Ms. Elvira Lopez
Planner
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: DRB Final Sign-Off of EPC Approved Site Development Plan for Building Permit for Hoffmantown West Church; DRB# 1002371; Zone Atlas Page D-12

Dear Ms. Lopez:

This letter will address the improvements made to the conditions on the Site Development Plan for Building Permit, as requested by the Environmental Planning Commission. Below is the list of the conditions and how they are addressed on the plans

1. The applicant has met the Conditions of Approval in the following ways:

3. Not met. Applicant still needs verification from MRGCD and AMAFCA.

We have coordinated with MRGCD and AMAFCA.

7b. Partially met. Clarify signage for 5 parking spaces located west of the main Public Parking area.

Signs have been added to each of the 5 parking spaces, designating them as public parking spaces

8d. Partially met. Applicant still needs to coordinate with Open Space to address this condition accordingly.

We have coordinated with Open Space and the trail has been added back into the project.

10. Landscaping:

- a. Changes to the landscaping plan from the EPC approved plan are justified by inclusion of the gym addition. However, the lack of an irrigation system for both the temporary landscaped areas (where future additions will occur) or in the different planting beds containing hydro-mulched buffalo seed is potentially an issue. Staff needs an explanation of appropriate irrigation to hydro-mulch seed areas. If an irrigation system is not intended in the long term, how will these planting areas be established (hand watering?). The plan should specify the

watering approach (short and long term) to all planting areas. This watering approach should also be justified (explain and/or reassure staff that this is an appropriate approach). Call Planning staff to discuss further (Elvira Lopez, 924-3910).

Irrigation has been added to various planting beds and planning staff has been contacted to coordinate design.

- b. Also, staff has confirmed with the architect that the information on square footage that has been provided, is not the building footprint. The square footage information provided on the landscaping plan includes the second story. This means the landscaping calculations are incorrect because the Net Lot Area is supposed to be calculated from the building footprint (area of the lot covered by building) per Section 14-16-3-10 (E), which in this case is not the same as the total square footage of the building. Please correct landscaping calculations.

Landscaping calculations have been corrected.

- c. In general, make sure that landscaping calculations correspond with the information provided on the site plan, sheet C1. The landscape architect should contact planning staff to verify the equation that should be followed for landscape calculations (Elvira Lopez, 924-3910).

Planning staff has been contacted and the information has been updated to match the site plan.

- d. The following information was provided by the architect. This is building footprint information for the building(s):

Multi-Purpose Gym	19,940 s.f.
Fellowship	11,344 s.f.
Worship	40,000 s.f.
Education	16,000 s.f.
Future Café	3,200 s.f.
Future Office	8,400 s.f.
Total Footprint Area	98,884 s.f.

- e. Prior to final submittal, please check that all calculations are correct, including: 1) sum of all landscape beds for Phase 1 only (label as Phase I and 2) sum and percentage of live plant coverage (should be at least 75%). Provide landscape calculations at Full Build out also.

Landscape calculations have been checked.

- f. Per discussion with Tyler Ashton, clarify treatment of trail that runs south of the public parking area and adjacent to the east side of the subject site. This treatment is based on comments from Christina Sandoval from Parks.

After coordinating with Open Space the trail will be asphalt.

12. Architecture: Based on inclusion of gym in Phase I, staff is also including the following additional comments with regards to the proposed architecture:

- a. The west façade is a major façade that faces Coors Boulevard. Pursuant to Zoning Code Section 14-16-3-18 (C)(2), General Building and Site Design Regulations for Non-Residential Uses, the west façade (particularly the west façade of the gym) is deficient in the provision of pedestrian features(s). The applicant should provide pedestrian features in accordance with this section of the Zoning Code. These pedestrian features shall be shown on the elevation drawings and corresponding site plans (sheet C1 and sheet L1). The applicant should provide pedestrian features to avoid creating a blank façade greater than 30 feet in length. Please refer to the section of the Zoning Code for a list of ways in which this standard can be met.

We have incorporated shade trees along the West Façade of the Gym as a pedestrian feature in accordance with the Zoning Code Section 14-16-3-18 (C) (2) (f). The entire façade is 140 feet in length and we have place 5 trees along the façade which are shown on the Landscape plan. We have also added these trees to the elevations for further clarification.

- b. Pedestrian features shall also be provided along the southern façade of the gym because this façade is a major façade also. The applicant should provide pedestrian features to avoid creating a blank façade greater than 30 feet in length. These pedestrian features shall be shown on the elevation drawings and corresponding site plans (sheet C1 and sheet L1). Please refer to Section 14-16-3-18 (C)(2) of the Zoning Code for a list of ways in which this standard can be met.

We have added shade trees along the South Façade of the Gym in conjunction with the windows to create pedestrian features in accordance with Section 14-16-3-18 (C) (2) (f). These have been added to the Landscape Plan as well as the elevations for further clarification.

- c. Section 14-16-3-18 (D)(2) provides for minimum standards to break up the mass of major facades greater than 100 feet in length. In a revised memo, the applicant should explain how Section 14-16-3-18 (D)(2) is met for the west façade (particularly the west façade of the gym). This façade shall comply with this section of the Zoning Code. Please refer to this section of the Zoning Code for specifications.

The West Elevation of the Gym has a three dimensional cornice treatment to help break up the mass in accordance with Section 14-16-3-18 (D) (2) (d). This is used in conjunction with the pedestrian feature mentioned above as per Section 14-16-3-18 (D) (2) (h).

II. The following is staff analysis of significant inconsistencies between the DRB submitted plan (dated 4-18-05) and the EPC approved Plan (Dec. 2004). This analysis is based on the applicant's memo dated May 20, 2005.

In a previous memo, staff noted significant inconsistencies. The applicant has addressed these inconsistencies in the following ways:

3. Partially met. Providing hydro-mulched seed in future planting areas is appropriate. Applicant still needs to provide temporary irrigation to these areas or justify how this area will be established. Such explanation is still needed for all planting beds that contain hydro-mulch seed.

Irrigation has been added.

4. Not Met. Comments for landscaping calculations are included above (10. Landscaping).

Landscaping calculations have been corrected.

III. Other:

1. Staff noticed that there is no note indicating treatment of playground area. If this area is an open, exposed area, the landscaping and proposed structures, play equipment should be specified on the plan. Play equipment should be indicated on sheet C1; landscaping should be indicated on sheet L1. If this information is not included on the plan, it is technically not approved.

At this point the exact layout of the playground area has not been determined.

2. On sheet C1, provide building footprint in addition to total square footage of each building area. This information has been provided by Tate Fishburn.

Building footprint information has been added to the site plan.

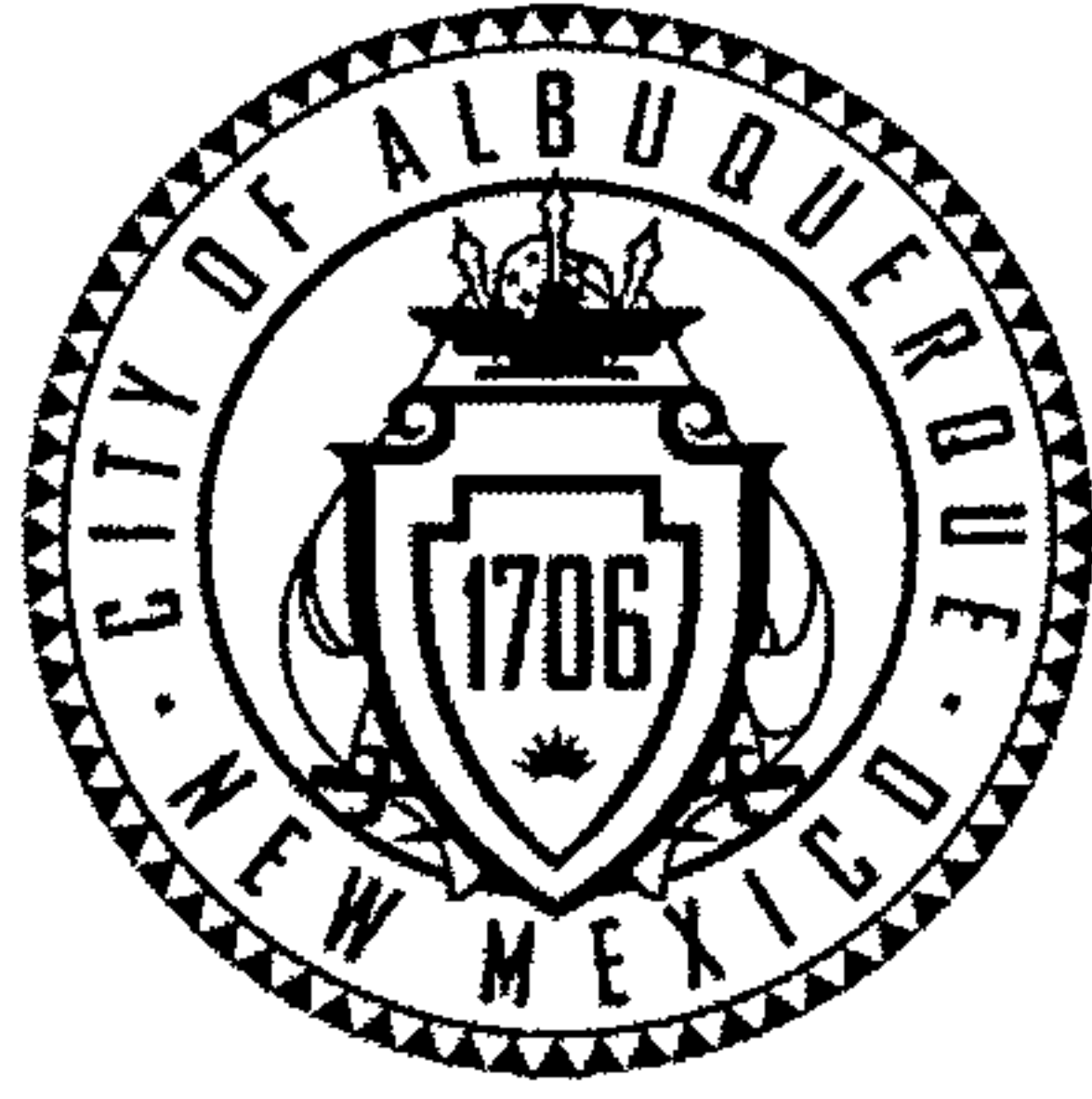
If you have any questions, please do not hesitate to contact me.

Sincerely,


Tyler Ashton, PE

Enclosures

JN: 23080
TA/bd



City of Albuquerque

Martin Chavez, Mayor
Interoffice Memorandum

May 20, 2005

To: Sheran Matson, DRB Chair
CC: Claire Senova
From: Elvira Lopez, Planner
Subject: EPC Project 1002371, 04EPC-01713; DRB Project 1002371, 05DRB-00560

Re: Staff Response to revised submittal by applicant dated 5/20/05; corresponding applicant memo dated ~~April 26, 2005~~. 5/20/05

1. The applicant has met the Conditions of Approval in the following ways:

2. Met

3. Not met. Applicant still needs verification from MRGCD and AMAFCA.

4. Met.

6a. Met.

7b. Partially met. Clarify signage for 5 parking spaces located west of the main Public Parking area.

8d. Partially met. Applicant still needs to coordinate with Open Space to address this condition accordingly.

9c. Met.

10. Landscaping:

- Changes to the landscaping plan from the EPC approved plan are justified by inclusion of the gym addition. However, the lack of an **irrigation system** for both the temporary landscaped areas (where future additions will occur) or in the different planting beds containing hydro-mulched buffalo seed is potentially an issue. Staff needs an explanation of appropriate

✓ irrigation to hydro-mulch seed areas. If an irrigation system is not intended in the long term, how will these planting areas be established (hand-watering?). The plan should specify the watering approach (short and long term) to all planting areas. This watering approach should also be justified (explain and/or reassure staff that this is an appropriate approach). **Call Planning Staff to discuss further (Elvira Lopez, 924-3910).**

✓ ○ Also, staff has confirmed with the architect that the information on Square Footage that has been provided is **not the building footprint**. The square footage information provided on the landscaping plan includes the second story. This means that the **landscaping calculations are incorrect** because the Net Lot Area is supposed to be calculated from the building footprint (area of the lot covered by building) per Section 14-16-3-10 (E), which in this case is not the same as the total square footage of the building. Please correct landscaping calculations.

✓ ○ In general, make sure that landscaping calculations correspond with the information provided on the site plan, sheet C1. **The landscape architect should contact Planning staff to verify the equation that should be followed for landscape calculations (Elvira Lopez, 924-3910).**

○ The following information was provided by the architect. This is building footprint information for the building(s):

✓

Multi-Purpose Gym-	19,940 s.f.
Fellowship	11,344 s.f.
Worship	40,000 s.f.
Education	16,000 s.f.
Future Café	3,200 s.f.
Future Office	8,400 s.f.

Total Footprint Area- 98,884 s.f.

✓ ○ **Prior to final submittal, please check that all calculations are correct, including: 1) sum of all landscape beds for Phase I only (label as Phase I) and 2) sum and percentage of live plant coverage (should be at least 75%). Provide landscape calculations at Full Build out also.**

✓ ○ Per discussion with Tylor Ashton, clarify treatment of trail that runs south of the public parking area and adjacent to the east side of the subject site. This treatment is based on comments from Christina Sandoval from Parks.

11.b. Met

11.c. Met

12. **Architecture:** Based on inclusion of gym in phase I, staff is also including the following additional comments with regards to the proposed **architecture**:

- o The west façade is a major façade that faces Coors Boulevard. Pursuant to Zoning Code **Section 14-16-3-18 (C)(2)**, General Building and Site Design Regulations for Non-Residential Uses, the west façade (particularly the west façade of the gym) is deficient in the provision of pedestrian feature(s). The applicant should provide pedestrian features in accordance with this section of the Zoning Code. These pedestrian features shall be shown on the elevation drawings and corresponding site plans (sheet C1 and sheet L1). The applicant should provide pedestrian features to avoid creating a blank facade greater than 30 feet in length. Please refer to the section of the Zoning Code for a list of ways in which this standard can be met.
- o Pedestrian features shall also be provided along the southern façade of the gym because this façade is a major façade also. The applicant should provide pedestrian features to avoid creating a blank facade greater than 30 feet in length. These pedestrian features shall be shown on the elevation drawings and corresponding site plans (sheet C1 and sheet L1). Please refer to **Section 14-16-3-18 (C)(2)** of the Zoning Code for a list of ways in which this standard can be met.
- o Section 14-16-3-18 (D)(2) provides for minimum standards to break up the mass of major facades greater than 100 feet in length. In a revised memo, the applicant should explain how Section 14-16-3-18 (D)(2) is met for the west façade (particularly the west façade of the gym). This façade shall comply with this section of the Zoning Code. Please refer to this section of the Zoning Code for specifications.
- o Other conditions (12.a through 12.f) are met. The applicant has obtained agreement from Taylor Ranch Neighborhood Association for the canopy over the courtyard.

II. The following is staff analysis of significant inconsistencies between the DRB submitted plan (dated 4-18-05) and the EPC approved Plan (Dec. 2004). This analysis is based on the applicant's memo dated May 20, 2005.

In a previous memo, staff noted significant inconsistencies. The applicant has addressed these inconsistencies in the following ways:

1. Met. The applicant has modified the overall square footage for development at full build-out to match the plan approved by the EPC in December 2004.
2. Met. Given that approval of future phases (such as the Gym) was delegated to the DRB, staff will review inclusion of gym in Phase I. Comments from this review were noted in the previous section (12.Architecture).
3. Partially met. Providing hydro-mulched seed in future planting areas is appropriate. Applicant still needs to provide temporary irrigation to these areas or justify how this area will be established. Such explanation is still needed for all planting beds that contain hydro-mulch seed.
4. Not Met. Comments for landscaping calculations are included above (10.Landscaping).
5. Met. The applicant has justified the increase in building height; the proposed building height matches the EPC approved plan because the applicant has lowered the finish floor (5.a.). The applicant has reduced the square footage of the building mounted sign to match the EPC approved plan (5.b). The applicant has reduced the overall building square footage to match the EPC approved plan (5.c.).

6. Met. Applicant has provided the necessary elevations for appropriate review.

III. Other:

1. Staff noticed that there is no note indicating treatment of playground area. If this area is an open, exposed area, the landscaping and proposed structures, play equipment should be specified on the plan. Play equipment should be indicated on sheet C1; landscaping should be indicated on sheet L1. If this information is not included on the plan, it is technically not approved.
2. On sheet C1, provide building footprint in addition to total square footage of each building area. This information has been provided by Tate Fshburn.



<tatefishburn@msn.com>

05/23/2005 05:07 PM

To: "tashton" <tashton@tierrawestllc.com>, "elvira lopez" <elopez@cabq.gov>

cc:

Subject: Hoffmantown West Church-DRB

Here are the actual footprint (ground floor only) areas of the building.

Multi-Purpose Gym	19,940 s.f.
Fellowship	11,344 s.f.
Worship	40,000 s.f.
Education	16,000 s.f.
Future Café	3,200 s.f.
Future Office	8,400 s.f.

Total Footprint Area- 98,884 s.f.

Let me know if you have any questions. Thanks

Tate

TATE FISHBURN ARCHITECT
BOX 2941 CORRALES NM
505 899 9338 FAX 899 9328

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

May 20, 2005

Ms. Elvira Lopez
Planner
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: DRB Final Sign-Off of EPC Approved Site Development Plan for Building Permit for Hoffmantown West Church; DRB# 1002371; Zone Atlas Page D-12

Dear Ms. Lopez:

This letter will address the improvements made to the conditions on the Site Development Plan for Building Permit, as requested by the Environmental Planning Commission. Below is the list of the conditions and how they are addressed on the plans

2. Need verification from applicant in memo. Applicant provides no response to Planning staff concern. Was fire hydrant relocated outside of the 100' wide buffer area that is to remain undeveloped?

The fire hydrant that was located within the 100' wide buffer has been removed.

3. Need verification from applicant in memo. Applicant provides no response to Planning staff comment. Has applicant obtained approval of Grading and Drainage Plan from MRGCD and AMAFCA in conjunction with the City Engineer.

There are no improvements in MRGCD or AMAFCA ROW. The City Engineer has not required the plans to be approved by these agencies.

4. Partially met. Elevation drawings of the refuse enclosure still show a 25' wide gate, which appears to be inconsistent with the plan view as shown on sheet 1 and 7. Correct plan view or elevation drawing on sheet C7.

The elevation drawings of the dumpster have been corrected.

7b. Partially met. Applicant provides 80 public parking spaces. Public parking spaces are labeled on site plan. Site plan should indicate permanent signage for public parking area. A detail of this signage should be included on sheet C7.

Signage for the public parking spaces has been added to the site plan and a detail of the sign has also been added to sheet C7.

not met; verify

include signage for 5 spaces away?

8d. Partially met. Applicant indicates the end of the 10' wide pedestrian, bike and horse trail. However, this terminus does not provide direct access to the Bosque as required by this EPC condition. Given that the area to the east of the terminus will remain undeveloped, per the Coors Corridor Plan, a direct access to the Bosque should be provided at the northeastern edge of the public parking area, next to the refuse enclosure. A pathway should be indicated at this location and landscaping should be removed so as not to obstruct this path. Applicant should indicate access to the Bosque on the site plan, including the materials for this pathway. Contact Open Space Division for further clarification (452-5211).

Coordinate with Open Space

9c. Partially met. Legend on sheet C1 still has spelling error for STREET LIGHTS.

The legend has been corrected.

10a. Not met. Significant changes to the landscaping plan have not been justified in any memo received thus far. See General Comments below.

Refer to item 3 within General Comments.

10c. Not met. The plan provides for a disproportionate amount of Honey Locust (102) to Ash (4) trees; this may not protect against disease (Street Tree Ordinance Section 6-6-2-6). Applicant should provide a better balance of Honey Locust to Ash trees along Coors Boulevard.

The street trees along Coors Rd NW have been addressed by alternating Honey Locust and Ash. The quantities for each species are now clearly noted in the Plant Legend.

10d. Partially met. Need more clarification. Staff notes that the sod proposed in the future phase areas has been removed altogether, contrary to EPC approved plan. Also, a groundcover material is shown adjacent and south of the 100' buffer area and along the eastern boundary. This material is not called out anywhere in the landscaping plan. Site includes a new material, hydro-mulch seed, to address EPC condition. Applicant should indicate on the landscaping plan how this hydro-mulched seed is proposed to be irrigated (if use of sprinklers, this should be indicated on the plan).

- Temporary landscaped areas should have temporary irrigation planting areas should be labeled

The sod provided in the landscape plan dated 11-02-04 was omitted as a result of a revised site plan on 3-28-05 in which area was lost due to the construction of the Gym.

The hatch that is in question that was south off the 100' buffer and along the eastern boundary was used in the original base plan to indicate a trail. This hatch has been removed and the trail has been noted on the current landscape plan.

The hydro mulched seed was placed in all planting areas in order to comply with the Coors Corridor Plan. This seed will not receive irrigation other than the water from the drip irrigation that is placed in the areas with trees, shrubs and groundcover material. It is not possible to install sprinklers in the areas in which native seed is to be placed based on their size and location.

Label hatch

Follow up

10e. Partially met. Verify on site plan that trees will be planted at a minimum height of 8 feet. In memo, indicate the type of tree provided along northern boundary and verify to staff that height of such a tree will reach a height of at least 25 feet at maturity.

✓ **Mature heights of all trees have been noted in the Plant Legend. Please note that all 2" minimum caliper trees will have a minimum height of 8' upon installation, unless otherwise noted.**

11b. Not met. Applicant should identify in the memo the major façade for which this condition is being applied. Applicant should identify on the site plan the dimension of outdoor seating. Applicant should verify in the memo that one seat is provided per 25 linear feet of building facade. If the seating is provided along the south or west sides of the building, at least 25% of the seating area shall be shaded. Seats provided in the public outdoor space do not count towards meeting this standard. Refer to Section 14-16-3-18 (C) (4) of the Zoning Code.

✓ **Benches have been added to the site plan to provide one seat per 25 lineal feet of building façade, all benches that are located along the south or west sides of the buildings have been shaded.**

11c. Not met. Site plan indicates that a 24,000 square foot public outdoor space area is proposed. Applicant should indicate on the site plan the square footage of the proposed shade structure. In a revised memo, applicant should verify that the proposed shade structure and proposed shade trees in this area cover 6,000 square feet, i.e. 25% of the public outdoor area. Staff notes that two benches are provided in the public outdoor area. The number of benches appears deficient given the large size of this public outdoor area; please justify in a memo if applicant will only provide two benches. Otherwise, increase the quantity of outdoor seating in the public outdoor space.

The square footage of the shade structure is 8000 square feet, and the amount of outdoor seating has been increased from 2 to 6 benches.

12a. Partially met. See comment below.

12c. Partially met. See comment below.

12d. Partially met. See comment below.

12e. Partially met. See comment below.

12f. Partially met. See comment below.

Significant Inconsistencies between EPC approved plan and DRB submitted Plan:

The subject request will not be approved until the following significant issues have been addressed by a revised plan and memo responding to each issue.

1. The EPC approved a Gym for a future phase. This building was approved for a square footage of 11,000 square feet. The revised DRB plan shows this building at 19,400 square feet and to be constructed in Phase I. Similarly, the EPC approved a future 19,200 square foot

office building. The revised DRB plan shows this building to be 16,800 square feet in a future phase. None of these changes are reflected in the Site Data table (sheet C1) for Phase I.

The EPC plan showed a future Gym of 11,000 s.f. and a future Office of 19,400 s.f. Our intent in the DRB submittal was to keep the overall approved building area the same but shift some of the office space into the new Multi-Purpose Gym. We failed to clarify this on the DRB submittal and apologize for the inconvenience. We also showed the future office to be 16,800 s.f., which is not correct. We have revised the site plan to show the Multi-Purpose Gym to be 19,940 s.f. of which 11,000 s.f. is Gym and 8,940 s.f. is Multi-Purpose/Office type space. The future Office now shows an area of 10,260 s.f. This now equals the same overall building area of the EPC site plan and is reflected in the Site Data Table.

2. Changes to the building square footage of both the gym and future office are not permitted at this stage. Such changes will need to be requested after DRB approval through the administrative amendment process.

At this time it is not our intention to apply for an administrative amendment. The Site Data Table has been revised to the correct building square footages that were approved by the EPC

3. The revised landscaping plan does not indicate treatment of future phase areas as the EPC approved plan did. The EPC approved plan indicated that these areas would be treated with sod, Santa Fe Brown gravel and grey gravel. Given that gravel is not permitted by the Coors Corridor Plan, these areas will need to be treated with either more sod or the Hydro-mulched buffalo seed. This needs to be indicated on the submitted landscaping plan.

The area indicated on the site plan as "future phase" is to be treated with hydro mulched seed and trees have been added to the area that is not affected by the construction of the Gym and Office. The hydro mulched seed in this area will not receive irrigation.

4. DRB submitted landscaping calculations are incorrect. First, if we assume the changes in building square footages are inappropriate at this stage, then the changes to the landscaping calculations are also inappropriate. Second, even if we were to assume the changes to the building square footages in Phase I are appropriate, the future building square footages are not to be subtracted from the total lot area to calculate the NET LOT AREA for Phase I. All subsequent calculations are incorrect given this incorrect assumption. The applicant still needs to provide temporary landscaping in future phase areas as approved by the EPC.

The landscaping calculations have been updated and temporary landscaping has been provided for future areas.

5. Elevation Drawings are inconsistent with the elevation drawings that were approved by the EPC.

- a. First, the majority of the building in the EPC approved plan was 34'. The new submittal indicates the majority of the building is now 36' high. There is no justification for such an increase at this stage.

Portions of the building elevations were increased two feet in height in order to provide better screening for rooftop equipment. In order not to effect the Coors Corridor View Plan requirements we lowered the finish floor elevation of these buildings two feet so that the parapets remained the same height in relation to the View Plane.

- b. Second, the relocated and increase in size of the building mounted sign is not justified by a condition; applicant must change the size of the sign back to the size approved by the EPC. Applicant must go through the administrative approval process to increase the size of the building mounted sign. In this DRB submittal, building mounted signage must be the same as what the EPC approved.

We have adjusted the building mounted signage size as shown on the West Elevation to match the EPC elevations.

- c. Third, overall increase in building square footage is unjustified at this stage. The overall width of the building along the north and south facades has been increased more than 100' each. Applicant must go through the administrative approval process to increase the building square footages. In this DRB submittal, building square footages must reflect what the EPC approved.

At this time it is not our intention to apply for an administrative amendment. The Site Data Table has been revised to the correct building square footages that were approved by the EPC

6. EPC approved 04EPC-01713 as a Future Phase. Applicant wishes to include Gym in Phase I in the DRB submittal. Applicant must provide elevation drawings for west façade of the worship area, now covered by the Gym in the current DRB submittal. Applicant must provide east elevation drawings for the Gym as well. Staff will review these elevations in accordance with Zoning Code design requirements for nonresidential development (Section 14-16-3-18). Please make sure elevations comply with these design requirements.

We have also included elevations of the West Worship and the East Multi-Purpose Gym.

If you have any questions, please do not hesitate to contact me.

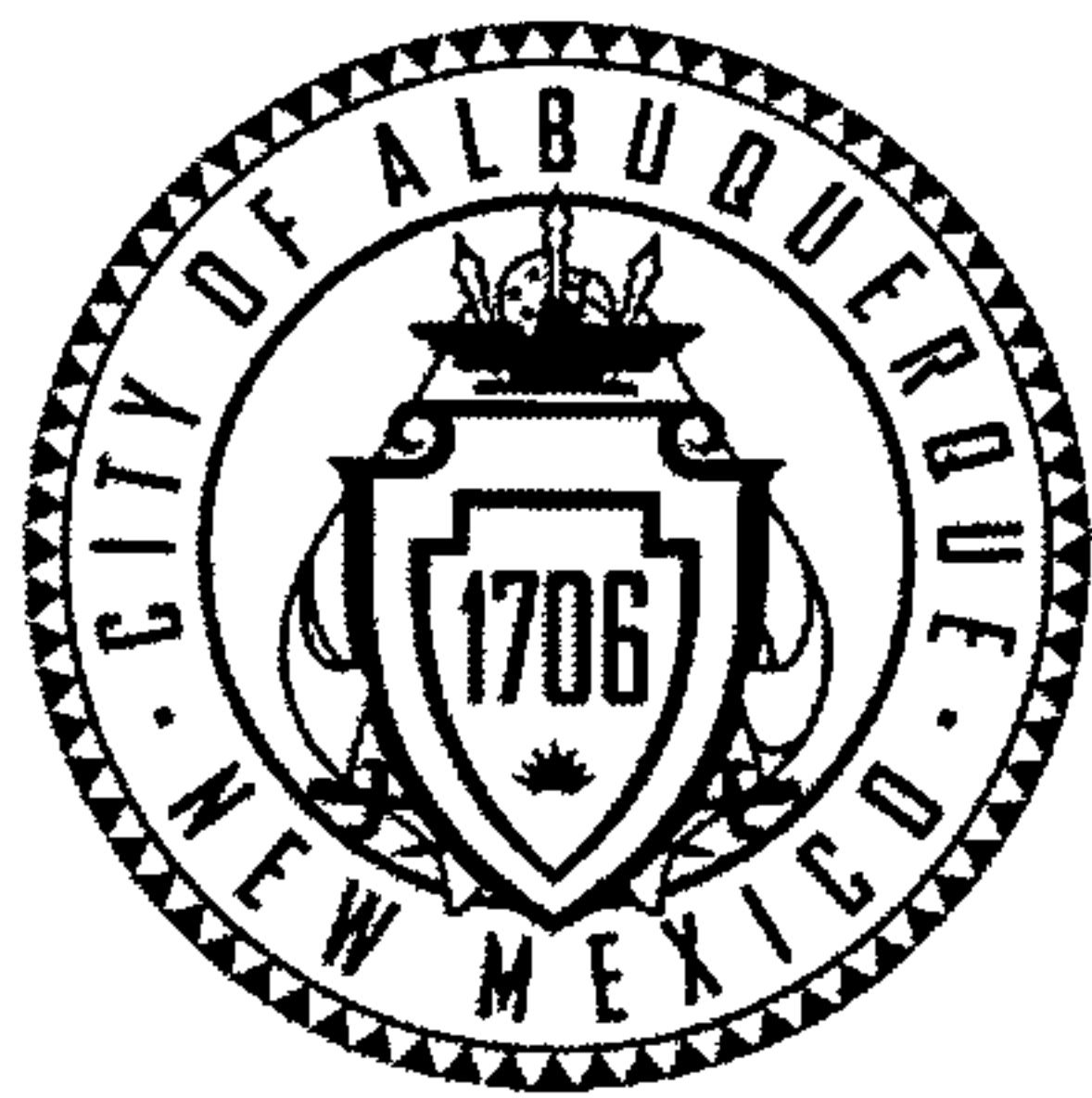
Sincerely,



Tyler Ashton, P.E.

Enclosures

JN: 23080
TA/bd



City of Albuquerque

Martin Chavez, Mayor

Interoffice Memorandum

May 2, 2005

To: Sheran Matson, DRB Chair

CC: Claire Senova

From: Elvira Lopez, Planner

Subject: EPC Project 1002371, 04EPC-01713; DRB Project 1002371, 05DRB-00560

Re: Staff Response to revised submittal by applicant dated 4/18/05; corresponding applicant memo dated April 26, 2005.

2. Need verification from applicant in memo. Applicant provides no response to Planning staff concern. Was fire hydrant relocated outside of the 100' wide buffer area that is to remain undeveloped?

3. Need verification from applicant in memo. Applicant provides no response to Planning staff comment. Has applicant obtained approval of Grading and Drainage Plan from MRGCD and AMAFCA in conjunction with the City Engineer.

4. Partially met. Elevation drawings of the refuse enclosure still show a 25' wide gate, which appears to be inconsistent with the plan view as shown on sheet 1 and 7. Correct plan view or elevation drawing on sheet C7.

6a. Met. Site plan, sheet C1, note 12 indicates color of walls. Applicant provides an 11" by 17" sheet indicating details of proposed screen walls facing the public-right-of-way. **This information should be included in the submittal as an additional sheet or copied onto the Detail Sheet 7.**

6b. Met. Section 14-16-3-19 (B)(2)(b), Façade, is met with a continues overhang cap along the length of the wall projected at least two inches from the public side face of the wall. Applicant also provides pilasters that project 2" on the street side every 20'. Section 14-16-3-19 (B)(2)(c), Materials and Texture, is met because wall is made of split face CMU blocks.

7a. Met.

7b. Partially met. Applicant provides 80 public parking spaces. Public parking spaces are labeled on site plan. Site plan should indicate permanent signage for public parking area. A detail of this signage should be included on sheet C7.

8b. Condition met.

8d. Partially met. Applicant indicates the end of the 10' wide pedestrian, bike and horse trail. However, this terminus does not provide direct access to the Bosque as required by this EPC condition. Given that the area to the east of the terminus will remain undeveloped, per the Coors Corridor Plan, a direct access to the Bosque should be provided at the northeastern edge of the public parking area, next to the refuse enclosure. A pathway should be indicated at this location and landscaping should be removed so as not to obstruct this path. Applicant should indicate access to the Bosque on the site plan, including the materials for this pathway. Contact Open Space Division for further clarification (452-5211).

9c. Partially met. Legend on sheet C1 still has spelling error for STREET LIGHTS.

9d. Met. A note indicates that lighting within 100 ft. of a residential area is limited to 16' high.

10.a. Not met. Significant changes to the landscaping plan have not been justified in any memo received thus far. See General Comments below.

10.c. Not met. The plan provides for a disproportionate amount of Honey Locust (102) to Ash (4) trees; this may not protect against disease (Street Tree Ordinance Section 6-6-2-6). Applicant should provide a better balance of Honey Locust to Ash trees along Coors Blvd.

10. d. Partially met, need more clarification. Staff notes that the sod proposed in the future phase areas has been removed altogether, contrary to EPC approved plan. Also, a groundcover material is shown adjacent and south of the 100' buffer area and along the eastern boundary. This material is not called out anywhere in the landscaping plan. Site includes a new material, hydro-mulch seed, to address EPC condition. Applicant should indicate on the landscaping plan how this hydro-mulched seed is proposed to be irrigated (if use of sprinklers, this should be indicated on the plan).

10. e. Partially Met. Verify on site plan that trees will be planted at a minimum height of 8 ft. In memo, indicate the type of tree provided along northern boundary and verify to staff that height of such a tree will reach a height of at least 25 ft. at maturity.

11a. Met. Applicant identifies the location of proposed benches.

11.b. Not met. Applicant should identify in the memo the major façade for which this condition is being applied. Applicant should identify on the site plan the dimension of outdoor seating. Applicant should verify in the memo that one seat is provided per 25 linear feet of building façade. If the seating is provided along the south or west sides of the building, at least 25% of the seating area shall be shaded. Seats provided in the public outdoor space do not count towards meeting this standard. Refer to Section 14-16-3-18 (C) (4) of the Zoning Code.

11.c. Not met. Site plan indicates that a 24,000 SF public outdoor space area is proposed. Applicant should indicate on the site plan the square footage of the proposed shade structure. In a revised memo, applicant should verify that the proposed shade structure and proposed shade trees in this area cover 6,000 SF, i.e. 25% of the public outdoor area. Staff notes that two benches are provided in the public outdoor area. The number of benches appears deficient given the large size of this public outdoor area; please justify in a memo if applicant will only provide two benches. Otherwise, increase the quantity of outdoor seating in the public outdoor space .

12.a. Partially Met. See comment below.

12c. Partially Met. See comment below.

12.d. Partially Met. See comment below.

12. e. Partially Met. See comment below.

12.f. Partially Met. See comment below.

Significant Inconsistencies between EPC approved plan and DRB submitted Plan:

The subject request will not be approved until the following significant issues have been addressed by a revised plan and memo responding to each issue.

1. The EPC approved a Gym for a future phase. This building was approved for a square footage of 11,000 SF. The revised DRB plan shows this building at 19,400 SF and to be constructed in Phase I. Similarly, the EPC approved a future 19,200 SF future office building. The revised DRB plan shows this building to be 16,800 SF in a future phase. None of these changes are reflected in the Site Data table (sheet C1) for Phase I.
2. Changes to the building square footage of both the gym and future office are not permitted at this stage. Such changes will need to be requested after DRB approval through the administrative amendment process.
3. The revised landscaping plan does not indicate treatment of future phase areas as the EPC approved plan did. The EPC approved plan indicated that these areas would be treated with sod, Santa Fe Brown Gravel and grey gravel. Given that gravel is not permitted by the Coors Corridor Plan, these areas will need to be treated with either more sod or the Hydro-mulched buffalo seed. This needs to be indicated on the submitted landscaping plan.
4. DRB submitted landscaping calculations are incorrect. First, if we assume the changes in building square footages are inappropriate at this stage, then the changes to the landscaping calculations are also inappropriate. Second, even if we were to assume the changes to the building square footages in Phase I are appropriate, the **future building square footages** are not to be subtracted from the total lot area to calculate the NET LOT AREA for phase I. All subsequent calculations are incorrect given this incorrect assumption. The applicant still needs to provide temporary landscaping in future phase areas as approved by the EPC.
5. Elevation Drawings are inconsistent with the elevation drawings that were approved by the EPC.
 - a. First, the majority of the building in the EPC approved plan was 34'. The new submittal indicates the majority of the building is now 36' high. There is no justification for such an increase at this stage.

- b. Second, the relocated and increase in size of the building mounted sign is not justified by a condition; applicant must change the size of the sign back to the size approved by the EPC. Applicant must go through the administrative approval process to increase the size of the building mounted sign. In this DRB submittal, building mounted signage must be the same as what the EPC approved.
 - c. Third, overall increase in building SF is unjustified at this stage. The overall width of the building along the north and south facades has been increased more than 100' each. Applicant must go through the administrative approval process to increase the building square footages. In this DRB submittal, building square footages must reflect what the EPC approved.
6. EPC approved 04EPC-01713 as a Future Phase. Applicant wishes to include Gym in Phase I in this DRB submittal. Applicant must provide elevation drawings for west façade of the worship area, now covered by the Gym in the current DRB submittal. Applicant must provide east elevation drawings for the Gym as well. Staff will review these elevations in accordance with Zoning Code design requirements for nonresidential development (Section 14-16-3-18). Please make sure elevations comply with these design requirements.

If you have any questions regarding staff comments please call Elvira Lopez at 924-3910. Thanks.



April 30, 2005

Ms Lopez (via email to elopez@cabq.gov)
Planning Dept.
City of Albuquerque

Re: **DRB#1002371 Hoffmantown Baptist Church at La Orilla and Coors**

At the Taylor Ranch Neighborhood Association (TRNA) board meeting held April 20, 2005, Mr. Ronald Bohannon and Mr. Tate Fishburn presented their proposed changes to the site plan for the Church.

The EPC had stipulated several changes: improved landscaping, TRNA approval of the shade structure, and that the wall to the multipurpose gym visible from Coors be curved and windows added. All conditions had been addressed by the new plans except for the windows in the gym wall. Mr. Fishburn had altered the gym wings so that they were lower than the main gym, stepped back from the main gym, and each wing wall had a window. Mr. Bohannon proposed planting 3 groupings of 3-4 cottonwoods along the main gym wall to soften the view from Coors. This was acceptable to the board.

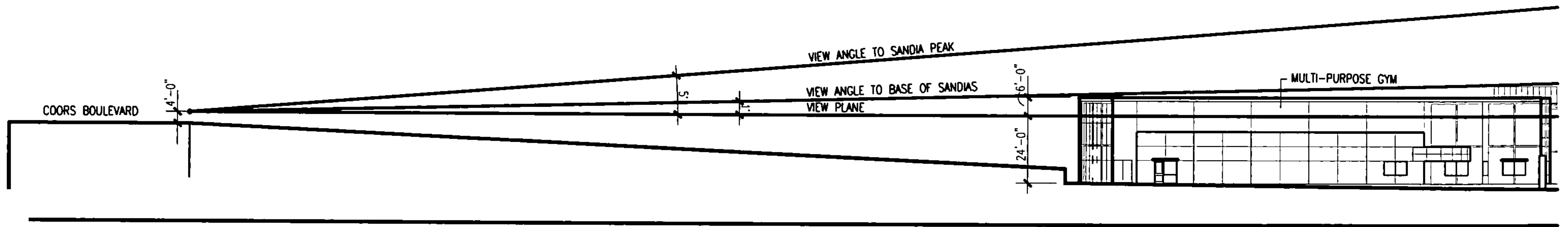
The board of directors of TRNA **approved the revised modular shade structure** (lower height, flatter aspect, softened color) proposed for the courtyard of Hoffmantown Baptist Church at La Orilla and Coors and **supports the improved landscaping plan and the mechanism provided for providing increased access to the Bosque** at their property. The board also **supports the changes made to the façade of the multipurpose gym**, which includes curving the wall, recessing and lowering the height of the north and south ends of the wall and adding accent windows there, **provided that 3 groupings of 3 or 4 large trees such as Cottonwoods be planted along the wall** to breakup the view of the wall from Coors.

With these conditions and revisions, the Board of Directors of Taylor Ranch Neighborhood Association supports approval of Project #1000089.

Sincerely,

Ceil van Berkel
Acting Secretary

Cc: Don MacCornack, President TRNA (via email)
Jolene Wolfley, TRNA Land Use Committee Member (via email)
Ronald Bohannon, Tierra West (rrb@tierrawestllc.com)

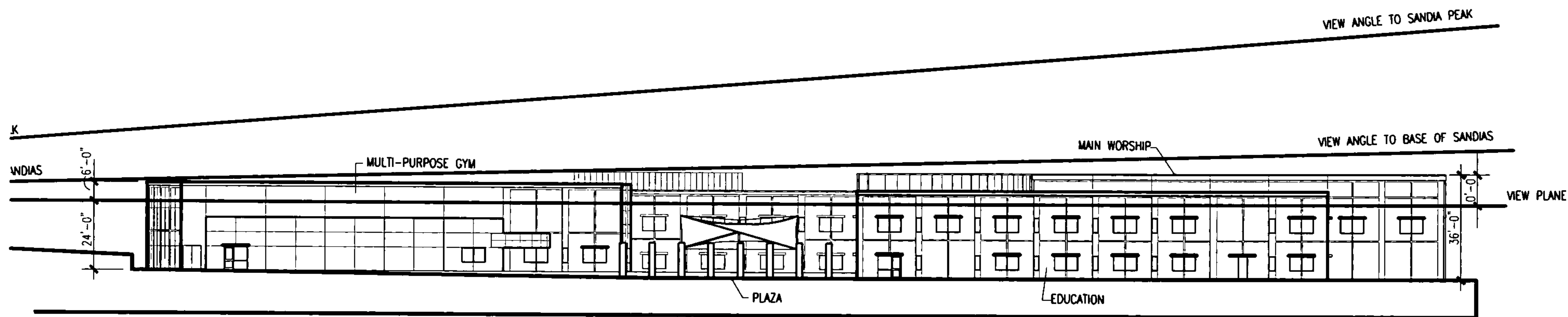


1 VIEW PLANE FROM COORS
1"=50'-0"

HOFFMANTOWN WEST CHURCH
COORS BLVD AND LA ORILLA, NW

APRIL 18, 2005

T A T E F I S H B U R N A R C H I T E C T



1 VIEW PLANE FROM COORS
 1"=50'-0"

HOFFMANTOWN WEST CHURCH
 COORS BLVD AND LA ORILLA, NW

APRIL 18, 2005

T A T E F I S H B U R N A R C H I T E C T

Current DRC

Project Number: _____

FIGURE 12

Date Submitted: 4/27/05

Date Site Plan Approved: 4/27/05

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: 1002371

DRB Application No.: 05-00560

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Hoffmantown West Church

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 1-A-1 Alban Hills Unit 1

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<i>Public Improvements</i>									
<input type="text"/>	<input type="text"/>	30' F-F	Residential Paving, Curb and Gutter and 10' Trail (North side)	La Orilla	West Property Line	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	12'	Arterial Paving(Deccel Lane) Curb and Gutter	Coors	170' North of South Property Line	North Access Road	/	/	/
<input type="text"/>	<input type="text"/>	12' 6'	<i>ARTERIAL PAVING</i> Sidewalk	<i>COORS</i>	<i>4th Lane</i> "	"	/	/	/
<input type="text"/>	<input type="text"/>	10"	PVC Water Line	Site	La Orilla Rd.	North Access Road	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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<input type="text"/>	<input type="text"/>						/	/	/

Water Infrastructure to include Valves, Fittings, Valve Boxes and Fire Hydrants as required.

ORIGINAL

Sanitary Sewer to include Manholes and Service Connections as required.

Residential Street Lights per DPM.

~~Certified Grading and Drainage with Private Walls and Private Drainage (Non-work order item) Required for
SIA/Financial Guarantee Release.~~

/	/	/
/	/	/
/	/	/

NOTES

1 _____

2 _____

3 _____

4 _____

5 _____

AGENT / OWNER

Ronald R. Bohannon, P.E.

NAME (print)

Tierra West LLC
FIRM

[Signature] 4/27/05
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 4/27/05
DRB CHAIR - date

[Signature] 4/27/05
PARKS & GENERAL SERVICES - date

[Signature] 4-27-05
TRANSPORTATION DEVELOPMENT - date

[Signature] 4/27/05
UTILITY DEVELOPMENT - date

[Signature] 4/27/05
CITY ENGINEER - date

_____ AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 4.5.05
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: 1002371
 DRB Application No.: _____

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Hoffmantown West Church

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

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<input type="text"/>	<input type="text"/>	12'	Arterial Paving(Deccel Lane) Curb and Gutter	Coors	170' North of South Property Line	North Access Road	/	/	/
<input type="text"/>	<input type="text"/>	6'	Sidewalk	Coors	South Property Line	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	8"	PVC Water Line	Site	La Orilla Rd	North Access Road	/	/	/
<input type="text"/>	<input type="text"/>	Water Infrastructure to include Valves, Fittings, Valve Boxes and Fire Hydrants as required.							
<input type="text"/>	<input type="text"/>	Sanitary Sewer to include Manholes and Service Connections as required.							
<input type="text"/>	<input type="text"/>	Residential Street Lights per DPM.							
<input type="text"/>	<input type="text"/>	Certified Grading and Drainage with Private Walls and Private Drainage (Non- work order item) Required for SIA/Financial Guarantee Release							

NOTES

1 _____

2 _____

3 _____

4 _____

5 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald R. Bohannon, P.E.

NAME (print)

Tierra West LLC
 FIRM



SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
 THE IMPROVEMENTS WITHOUT A DRB
 EXTENSION: _____

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & GENERAL SERVICES - date

AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

TIERRA NEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

#18

April 20, 2005

Ms. Sheran Matson
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Hoffmantown West Church
City Project No. 1002371
One Week Deferral**

Dear Ms. Matson:

Tierra West, LLC, on behalf of the owner Hoffmantown West Church, requests a one (1) week deferral on City Project No. 1002371. We request the deferral in order to address the EPC final comments on the project and to coordinate the site plan with the local neighborhood associations.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Tyler J. Ashton, PE

JN: 23080
TA/dg

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Terra West
AGENT _____
ADDRESS _____
PROJECT & APP # 1002371
PROJECT NAME Hoffman Town west Church

\$ _____ 441032/3424000 Conflict Management Fee
\$ 50.00 441006/4983000 DRB Actions Deferral fee
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

TIERRA WEST LLC 8509 JEFFERSON NE ALBUQUERQUE, NM 87113 (505) 858-3100		1999
City of Albuquerque		City DATE Albuquerque <u>4/20/05</u> Treasury Division
PAY TO THE ORDER OF	<u>City of Albuquerque</u>	\$ <u>50.00</u>
<u>Fifty</u>		LOC: ANNX
		RECEIPT# 00040930 WSH 007 TRANS# 0018
		Account 441006 Fund 0110
		Activity 4983000 TRSLJS
		Trans Amt \$50.00
		J24 Misc \$50.00
		PK \$50.00
		<u>Theranna Bohannon</u>
FOR <u>23080-DRB Deferral</u>		Thank You
#99	⑈001999⑈ ⑆107006677⑆	201813⑈

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V <input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P <input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A APPEAL / PROTEST of...
STORM DRAINAGE	D <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: HOFFMANTOWN WEST CHURCH PHONE: 922-9200

ADDRESS: 2600 American Road SE, Suite 350 FAX: 922-9297

CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: _____

Proprietary interest in site: Owner/Developer List all owners: Coors Eight Pack

AGENT (if any): Tierra West LLC PHONE: 858-3100

ADDRESS: 8509 Jefferson NE FAX: 858-1118

CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: _____

DESCRIPTION OF REQUEST: DRB Final Sign-Off for EPC Approved Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 1A1 Block: 15 Unit: 1

Subdiv. / Addn. Alban Hills

Current Zoning: SU-1 for R-2 with Church related uses Proposed zoning: Same

Zone Atlas page(s): D12 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 16.7702 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. 101206349008040311 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: La Orilla NW

Between: Coors Blvd. NW and Corrales Drain

CASE HISTORY: Russell Britz (for Simon Sharma) EPC Case Plans

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z-, V-, S-, etc.): 02DRB-01824/

03DRB-02150 - DRB #1002371

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE [Signature] DATE 3/29/05

(Print) Ronald R. Bohannon, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - 00560</u>	<u>SBP</u>	<u>PC(3)</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>4-13-05</u>	_____	_____	<u>\$ 20.00</u>

Andrew Garcia 4/5/05

Project # **1002371**

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision) **on original**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision) **on original**
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, P.E.

Applicant name (print)

[Signature]

3/28/05

Applicant signature / date



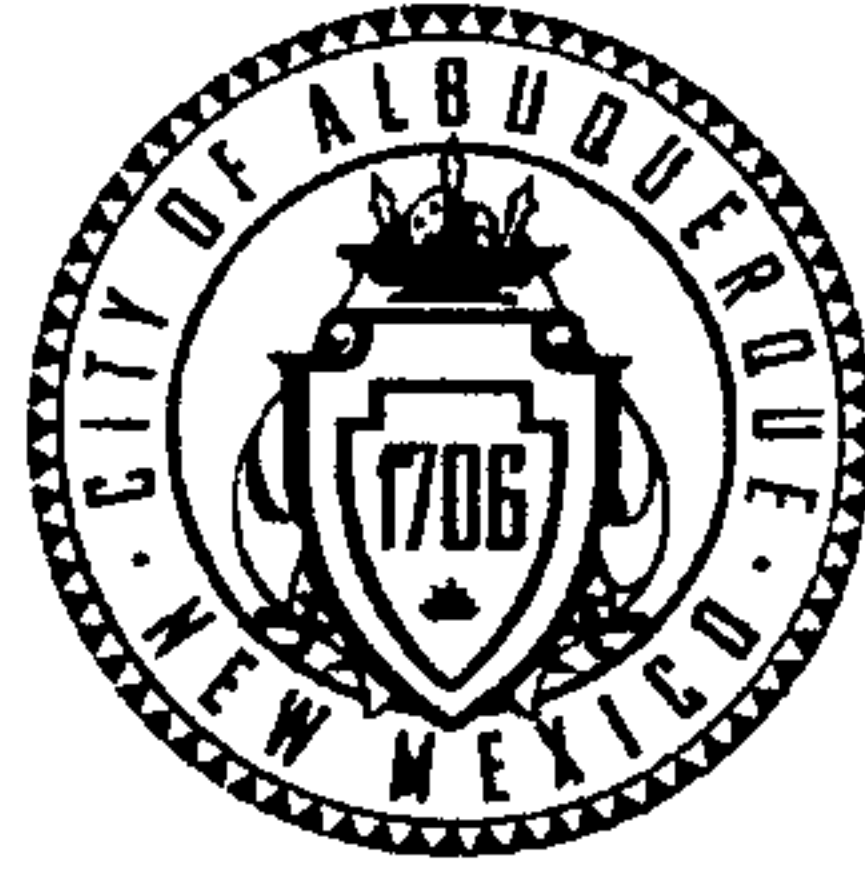
Form revised October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers		
05DRB -	-	00560
-	-	-
-	-	-

Andrew Garcia 4/5/05
Planner signature / date

Project # 1002371



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: December 17, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002371***
04EPC-01713 EPC Site Development Plan-
Building Permit

Hoffmantown West Church
26900 American Road SE, Ste 350
Rio Rancho, NM 87124

LEGAL DESCRIPTION: for all or a portion of Tract 1A1, **Alban Hills**, zoned SU-1 for R-2 Uses and Church and Related Uses, located on LA ORILLA NW, between COORS BLVD NW and CORRALES DRAIN, containing approximately 17 acres. (D-12) Elvira Lopez, Staff Planner

On December 16, 2004 the Environmental Planning Commission voted to approve Project 1002371/04EPC 01713, a request for approval of a site development plan for building permit, for Tract A1A, Alban Hills, zoned SU-1 for R-2 Uses and Church and Related Facilities, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for building permit for Tract 1A1, Alban Hills, an approximately 17 acre site, located on La Orilla Rd. NW, between Coors Blvd. and Corrales Drain, and zoned SU-1 for R-2 Uses & Church and Related Uses. The applicant proposes to build a place of worship and related facilities.
2. This request furthers policies 5e, 5i and 5m for Developing Urban Areas of the Comprehensive Plan.
 - a. Policy 5e: The subject site is vacant land that is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.
 - b. Policy 5i: The subject request will create employment and provide services to complement the nearby residential areas. The subject site is sited to minimize adverse effects of noise, lighting pollution, and traffic on residential environments.
 - c. Policy 5m: The subject request maintains and enhances unique vistas to the Sandia Mountains and improves the quality of the visual environment.

3. With modifications as reflected in the conditions of approval, this request furthers policies 5d, 5g, 5k, and 5l for Developing Urban Areas of the Comprehensive Plan.
 - a. Policy 5d: The intensity, and design of the proposed development will respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.
 - b. Policy 5g: This submittal will be carefully designed to conform to topographical features and include trail corridors in the development where appropriate.
 - c. Policy 5k: The subject site will be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods will be protected in transportation planning and operations.
 - d. Policy 5l: Quality and innovation in design will be encouraged for the subject site; design that is appropriate to the plan area will be encouraged.
4. The subject request furthers applicable policies for the Taylor Ranch Community of the West Side Strategic Plan.
 - a. Policy 3.12: The subject site is an appropriate location for continued growth due to its contiguous location to the rest of the City, and efficient location for receiving City services.
 - b. Policy 3.15: The subject request preserves views of the Sandia Mountains.
5. Protection and preservation of the Bosque is critical. With modifications to the site plan, the subject request will be sensitive to this community asset (West Side Strategic Plan, Policy 3.18, p. 57).
6. The subject request furthers applicable policies of the Coors Corridor Plan.
 - a. The subject site provides trails for pedestrians and horses (Policy 8, Walks and Trails, p. 40). Unique views within and beyond the Coors corridor are protected and enhanced in accordance with design guidelines for this portion of the corridor (Policy 1, View Preservation, page 103).
 - b. Proposed signs are consistent with regulations of the Coors Corridor Plan (R-03-270, Enactment 101-2003).
 - c. There is minimum front yard setback of 35 feet from the right-of way in Segments 3 and 4 (Policy 2.A.1. Building Setback Regulation, p.89). The front landscaped street is 35 feet wide on the subject site (Policy 3.1, Front Landscaped Street Yard Regulation, p.91).
7. The subject site is located in segment 3 of the Coors Corridor Plan. A 100 foot wide buffer strip is established west of the Corrales Riverside Drain throughout segment 3. With recommended modifications to the submittal a buffer strip will remain in a natural condition and will not be used for development (Coors Corridor Plan, Policy 8, Buffer Strip, p. 81).
8. Delegation of approval authority for future phases to the DRB is appropriate because the applicant has provided stipulations that sufficiently guide future development on the subject site.
9. Coors Trail NA and Taylor Ranch NA are two Recognized Neighborhood Associations affected by this request. Alban Hills Neighborhood Association is also affected by this request. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. A Utility Plan approved by Utility Development is required prior to DRB sign off on Site Plan. Fire Marshall's approval of fire protection is also required.
3. An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer. The Grading and Drainage Plan shall be coordinated with City Hydrology, MRGCD and AMAFCA.
4. The applicant shall coordinate with the Refuse Division to provide refuse containers that meet City standards. The dimensions of the detail drawing for the refuse container(s) shall reflect the dimensions shown on the site plan.
5. The 100' wide buffer adjacent to the Lower Corrales Riverside Drain shall remain undeveloped as per Policy 8, Buffer Strip, on page 81 of the Coors Corridor Plan. The paved road proposed within this buffer strip area shall be relocated.
6. Walls/Fences
 - a. The color and materials of all proposed walls (retaining and screen walls) shall be provided.
 - b. All proposed screen walls and retaining walls shall be designed according to the General Height and Design Regulations for Walls, Fences and Retaining Walls (Section 14-16-3-19).
7. Vehicular Access, Circulation and Parking
 - a. The provided parking spaces shall be corrected to reflect the actual spaces provided (905 parking spaces).
 - b. At least 80 parking spaces shall be partitioned off by landscaped borders along the southeastern edge of the property. The site plan shall designate these spaces as public parking. Permanent signage shall be used to designate that these parking spaces are open to the public. When the Church has events with peak parking demand, this public parking will function as overflow parking for the Church.
8. Pedestrian and Bicycle Access and Circulation, Transit Access
 - a. The walkway connecting the plaza to La Orilla Road shall be lined with adjacent shade trees spaced approximately 25-feet on center as per Section 14-16-3-1 (G) (1) of the Zoning Code.

- b. The entire parking area shall be visually and functionally segmented into smaller subareas separated by landscaping and/or pedestrian walkways. No single subarea shall exceed 150 parking spaces (Section 14-16-3-1 (G) (5)).
- c. The applicant shall provide bicycle parking spaces as per Section 14-16-3-1 (B) of the Zoning Code.
- d. The applicant shall clarify the terminus of the 10' pedestrian and bike trail. This trail shall provide public access to the Bosque.

9. Lighting and Security

- a. The subject site is located within a View preservation area. Maximum mounting height of luminaires shall be limited to 20 feet in order to comply with the Coors Corridor Plan (Section 1.A.2. of R-458, Enactment No. 163-1989).
- b. All lighting shall also be consistent with Section 14-16-3-9, Area Lighting Regulations and the Night Sky Ordinance.
- c. The location of proposed light poles shall be clearly indicated on the site plan.
- d. Light fixtures within 100' of a residential zone shall be no higher than 16'.
- f. If there are neighborhood concerns regarding ambient light, shielding will be applied.

10. Landscaping

- a. The proposed Coral Honeysuckle plant shall be replaced with a different plant that provides greater coverage, such as Hall's Honeysuckle (144 SF) or Purple Leaf Honeysuckle (144 SF).
- b. The plan shall indicate width dimensions of required landscape buffer areas. This will assist in verification that a minimum required 6' wide landscape buffer is provided along the northern boundary line.
- c. Both Ash and Honey Locust street trees and/or other city approved street trees shall be provided along Coors Boulevard to protect against the loss of trees due to disease, insects or environmental conditions.
- d. The applicant shall utilize a groundcover that is consistent with landscaping regulations of the Coors Corridor Plan. Gravel, colored rock, bark and similar materials are not acceptable (CCCP, Policy 4. Regulation 2., page 93).
- e. Pursuant to Section 14-16-3-10 (E) (4), the applicant shall 1) provide a landscape strip at least 10' wide along the residential/nonresidential boundary; 2) landscaping shall consist primarily of trees, which trees shall be at least 8 feet high at the time of planting and capable of reaching a height at maturity of at least 25 feet. Spacing of trees shall be equal to 75% of the mature canopy diameter of the trees; and 3) where parking or vehicle circulation areas are adjacent to the landscaping strip, a minimum six foot high opaque wall or fence shall also be required to visually screen the parking or circulation area from the adjacent residential zone; chain link fence with slats shall not constitute acceptable screening.
- f. At least the eastern half of the site, shall have cottonwood trees instead of ash/locust (cottonwoods shall be based on water table conditions). Buffalo grass shall replace gravel in the planters along the border with the Bosque or proximate to the Bosque. The overall design of these planters shall be changed to a palette complementary of the Bosque setting.

11. **Public Outdoor Space.**
 - a. The location and description of amenities, including patios, benches and tables shall be clearly indicated on the plan.
 - b. Given the length of building facades (greater than 100 feet), the applicant should provide outdoor seating adjacent to at least one of the major facades as per Section 14-16-3-18 (C)(3).
 - c. The applicant shall design the proposed outdoor space according to section 14-16-3-18 (C) (4) of the Zoning Code.

12. **Architecture and Signage**
 - a. The applicant shall incorporate at least one or a combination of the architectural features along the north facade, as listed and required by Section 14-16-3-18 (C)(2) and (D)(2) of the General Building and Site Design Regulations for Non-Residential Uses.
 - b. Fifteen foot wide sidewalks shall be provided for the north and east sides of the building per the General Building and Site Design Regulations for Non-Residential Uses of Section 14-16-3-18 (C).
 - c. The applicant shall comply with Design Regulation B. Height, Bulk and Massing, of the Coors Corridor Plan (Page 109) for the portion of the roof (reaching a height of 38 feet) that encroaches into the views of the Sandia Mountains.
 - d. The building colors shall match those of the Riverside Plaza project to the south. Windows shall be recessed and southern and western windows shall each have a decorative shade. The roofline of the buildings shall have a bump out or cornice to enhance visual quality.
 - e. The future gym shall not be a flat, blank wall. It shall have a rounded wall and windows along the upper level to provide visual interest from Coors Boulevard.
 - f. The canopy over the courtyard shall be subject to review by DRB to determine if it will be visually distracting of the Bosque and if there is agreement from TRNA that this is an acceptable shade structure.

13. The site development plan for building permit shall include the following notes to provide guidance for development of future phases:
 - a. Approval authority for future phases of development is delegated to the DRB.
 - b. Building footprint shall comply with future additions as shown on this site plan as approved by the EPC.
 - c. Elevations shall be complimentary to the existing building in style, proportions, materials and colors.
 - d. Future additions must comply with the Coors Corridor Plan design guidelines.
 - e. "Future additions must comply with the City of Albuquerque Zoning Code and Coors Corridor Plan".

14. As per comments from the Middle Rio Grande Conservancy District:
 - a. The applicant shall shift the turnaround at La Orilla Road to the west, outside the drain right-of-way.
 - b. Proposed site improvements within the Lower Corrales Riverside Drain right-of-way and Corrales Main Canal right-of-way must be reviewed and licensed by the Middle Rio Grande Conservancy District.

15. Conditions from City Engineer, Municipal Development, Public Works, Water Authority and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. At first driveway entering site from La Orilla (eastbound), provide advance directional signing for exiting dual right traffic (i.e. what lane shall they be in, to go north, south or thru).
 - d. At first driveway entering site from Coors (northbound), driveway will need to be modified to one lane entering and one lane exiting (i.e. no quasi right turn deceleration lane to retail site).
 - e. Although not a part, the access to the retail parcels, as shown on the site development plan for building permit, will need to be modified to reflect what is on the approved site development plan for subdivision.
 - f. Site plan shall comply and be designed per DPM Standards.

16. The dumpster shall be relocated to the rear or the eastern side of the property.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JANUARY 3, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

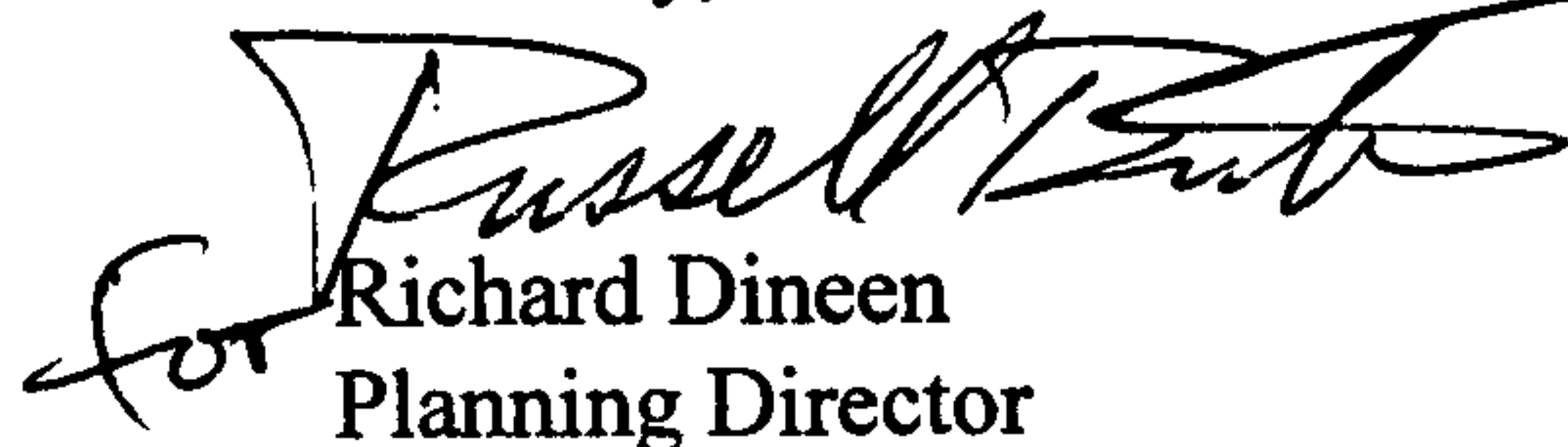
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
DECEMBER 16, 2004
PROJECT #1002371
PAGE 7 OF 7

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/EL/ac

cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113
Jennifer Perry, Coors Trail NA, 2608 Bosque del Sol Ln. NW, Albuquerque, NM 87120
Alexandra Ostwald, Coors Trail NA, 6423 Bosque Meadows NW, Albuquerque, NM 87120
Don MacCornack, Taylor Ranch NA, 5300 Hattiesburg NW, Albuquerque, NM 87120
Eddie Costello, Taylor Ranch NA, 1111 Alameda NW, Ste. J, Albuquerque, NM 87114
Ken Brudos, Alban Hills NA, 6441 Via Corta del Sur NW, Albuquerque, NM 87120
Jack Scott, Alban Hills NA, 6419 Camino del Arbol NW, Albuquerque, NM 87120
Jolene Wolfley, Taylor Ranch NA, 6804 Staghorn Dr. NW, Albuquerque, NM 87120

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

April 5, 2005

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: DRB Final Sign-Off of EPC Approved Site Development Plan for Building Permit for Hoffmantown West Church; DRB# 1002371; Zone Atlas Page D-12

Dear Ms. Matson:

This letter will address the improvements made to the conditions on the Site Development Plan for Building Permit, as requested by the Environmental Planning Commission. Below is the list of the conditions and how they are addressed on the plans (bolded):

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
This letter meets those conditions to the best of our knowledge.
2. A Utility Plan approved by Utility Development is required prior to DRB sign off on Site Plan. Fire Marshall's approval of fire protection is also required.
A Utility Plan was submitted the City and Fire Marshall for approval. We will bring a signed copy for the DRB file.
3. An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer. The Grading and Drainage Plan shall be coordinated with City Hydrology, MRGCD and AMAFCA.
A Final Grading and Drainage report was submitted to the City for review. Pending comments by the City – we should meet those conditions.
4. The applicant shall coordinate with the Refuse Division to provide refuse containers that meet City standards. The dimensions of the detail drawing for the refuse container(s) shall reflect the dimensions shown on the site plan.
All refuse containers on the Site Plan are designed per City standards. A copy of the Site Plan was submitted to the Solid Waste Department for approval.
5. The 100' wide buffer adjacent to the Lower Corrales Riverside Drain shall remain undeveloped as per Policy 8, Buffer Strip on page 81 of the Coors Corridor Plan. The paved road proposed within this buffer strip area shall be relocated.

The 100' wide buffer adjacent to the Lower Corrales Riverside Drain is not planned for development and will remain undeveloped as shown on the Site Plan.

6. Walls/Fences

- a. The color and materials of all proposed walls (retaining and screen walls) shall be provided.

All site walls shall match the building color, which is a medium tan similar to Riverside development to the south. These walls were labeled on the plans.

- b. All proposed screen walls and retaining walls shall be designed according to the General Height and Design Regulations for Walls, Fences and Retaining Walls (Section 14-16-3-19).

All site walls comply with Section 14-16-3-9; see perimeter wall submittal sheet for compliance.

7. Vehicular Access, Circulation and Parking

- a. The provided parking spaces shall be corrected to reflect the actual spaces provided (905 parking spaces).

The provided parking space calculation was revised to reflect the actual spaces provided.

- b. At least 80 parking spaces shall be partitioned off by landscaped borders along the southeastern edge of the property. The site plan shall designate these spaces as public parking. Permanent signage shall be used to designate that these parking spaces are open to the public. When the Church has events with peak parking demand, this public parking will function as overflow parking for the Church.

The required amount of parking spaces was partitioned off and noted on the Site Plan. Permanent signing is also shown on the site plan to distinguish this parking area.

8. Pedestrian and Bicycle Access and Circulation, Transit Access

- a. The walkway connecting the plaza to La Orilla Road shall be lined with adjacent shade trees spaced approximately 25-feet on center as per Section 14-16-3-1 (G) (1) of the Zoning Code.

Shade trees spaced at 25-feet on center were added to the Site Plan as shown on the Landscape Plan. Sheet C2.

- b. The entire parking area shall be visually and functionally segmented into smaller subareas separated by landscaping and/or pedestrian walkways. No single subarea shall exceed 150 parking spaces (Section 14-16-3-1 (G) (5)).

The parking area was broken up so that no sub-area exceeds 150 parking spaces without a pedestrian connection.

- c. The applicant shall provide bicycle parking spaces as per Section 14-16-3-1 (B) of the Zoning Code.

Bicycle parking spaces were added as shown on the Site Plan and the parking calculation table updated.

- d. The applicant shall clarify the terminus of the 10' pedestrian and bike trail. This trail shall provide public access to the Bosque.
The terminus of the trail was clarified at the west property line. This trail exists east to provide access to the Bosque and is available at La Orilla at the end of the trail.

9. Lighting and Security

- a. The subject site is located with a View preservation area. Maximum mounting height of luminaires shall be limited to 20 feet in order to comply with the Coors Corridor Plan (Section 1.A.2 or R-458, Enactment No. 163-1989).
A note was added to the Site Plan limiting the height of luminaires greater than 100' or more away from residential zones; shall be limited to 20 feet; Sheet C1.
- b. All lighting shall be consistent with Section 14-16-3-9, Area Lighting Regulations and the Night Sky Ordinance.
A note was added to the Site Plan stating all lighting shall meet the Area Lighting Regulations and the Night Sky Ordinance. Sheet C1.
- c. The location of proposed light poles shall be clearly indicated on the site plan,
The location of the proposed light poles is shown on the Site Plan; Sheet C1.
- d. Light fixtures within 100' of a residential zone shall be no higher than 16'.
A note on the Site Plan was added stating that light fixtures within 100' of a residential zone shall be no higher than 16 feet.
- e. If there are neighborhood concerns regarding ambient light, shielding will be applied.
A note was added to the Site Plan stating that all lights will be shielded.

10. Landscaping

- a. The proposed Coral Honeysuckle plant shall be replaced with a different plant that provides greater coverage, such as Hall's Honeysuckle (144 SF) or Purple Leaf Honeysuckle (144 SF).
The Coral Honeysuckle was replaced with Hall's Honeysuckle.
- b. The plan shall indicate width dimensions of required landscape buffer areas. This will assist in verification that a minimum required 6' wide landscape buffer is provided along the northern boundary line.
Width dimensions were added to show that there is a 10' wide landscape buffer along the northern boundary line as shown on the Site Plan and Landscape Plan.
- c. Both Ash and Honey Locust street trees and/or other city approved street trees shall be provided along Coors Boulevard to protect against the loss of trees due to disease, insects or environmental conditions.
Both Ash and Honey Locust were provided along Coors as shown on the Landscape Plan.

- d. The applicant shall utilize a groundcover that is consistent with landscaping regulations of the Coors Corridor Plan. Gravel, colored rock, bark and similar materials are not acceptable (CCCP, Policy 4, Regulation 2., page 93).
All groundcover is consistent with the Coors Corridor Plan.
- e. Pursuant to Section 14-16-3-10 (E) (4), the applicant shall 1) provide a landscape strip at least 10' wide along the residential/nonresidential boundary; 2) landscaping shall consist primarily of trees, which trees shall be at least 8 feet high at the time of planting and capable of reaching a height at maturity of at least 25 feet. Spacing of trees shall be equal to 75% of the mature canopy diameter of the trees; and 3) where parking or vehicle circulation areas are adjacent to the landscaping strip, a minimum six foot high opaque wall or fence shall also be required to visually screen the parking or circulation area from the adjacent residential zone; chain link fence with slats shall not constitute acceptable screening.
A 10' wide strip was provided, the landscaping consists primarily of trees and there are no parking areas adjacent to this landscape strip.
- f. At least the eastern half of the site, shall have cottonwood trees instead of ash/locust (cottonwoods shall be based on water table conditions). Buffalo grass shall replace gravel in the planters along the border with the Bosque or proximate to the Bosque. The overall design of these planters shall be changed to a palette complementary of the Bosque setting.
Cottonwoods and Buffalo Grass were added to the Landscape Plan along the Bosque side of the site.

11. Public Outdoor Space.

- a. The location and description of amenities, including patios, benches and tables shall be clearly indicated on the plan.
Amenities were added to the Site Plan in the central core area of the Church area.
- b. Given the length of build facades (greater than 100 feet), the applicant should provide outdoor seating adjacent to at least one of the major facades as per Section 14-16-3-18 (C) (3).
Outdoor seating was added to the Site Plan as shown on the Site Plan; Sheet C1.
- c. The applicant shall design the proposed outdoor space according to section 14-16-3-18 (C) (4) if the zoning code.
The courtyard is 24,000 square feet in area and the shade structure provides shade for 8,000 square feet or 33% of the area. This exceeds the requirement to shade at least 25 % of the courtyard.

12. Architecture and Signage

- a. The applicant shall incorporate at least one combination of the architectural features along the north façade, as listed and required by Section 14-16-3-18 (C) (2) and (D) (2) of the General Building and Site Design Regulations for Non-Residential Uses.

Shade trees were added at 30 feet o.c. along the north façade of the building. Also incorporated is a built-out cornice along the entire parapet meeting the requirements.

- b. Fifteen foot wide sidewalks shall be provided for the north and east sides of the building per the General Building and Site Design Regulations for Non-Residential Uses of Section 14-16-3-18 (C).
Fifteen foot wide sidewalks were added on north and east sides of building as shown on the Site Plan.
- c. The applicant shall comply with Design Regulation B. Height, Bulk and Massing, of the Coors Corridor Plan (Page 109) for the portion of the rood (reaching a height of 38 feet) that encroaches into the views of the Sandia Mountains.
The portion of roof in question is the clerestory portion above the Fellowship wing. This roof was lowered to not encroach in the view plane of the Sandia Mountains from Coors Boulevard.
- d. The building colors shall match those of the Riverside Plaza project to the south. Windows shall be recessed and southern and western windows shall each have a decorative shade. The roofline of the buildings shall have bump out or cornice to enhance visual quality.
Reference the revised building elevations. Building facades shall be a field color of medium tan to match the Riverside Plaza development to the south. There will be an accent color for the reveals of a dark tan to break up the wall plane. The windows will be recessed with painted white frames to match Riverside Plaza. There will be white sunshade devices projecting out 18 inches above each window to provide accent and shade on the windows. The entire building now has a built-out cornice on all parapets to enhance the roofline.
- e. The future gym shall not be a flat, blank wall. It shall have a rounded wall and windows along the upper level to provide visual interest from Coors Boulevard.
The wall of the gym along Coors is radiused to soften the edge. Because of the concerns for sound and light control during most performances that are held in the gym, the owner desires no windows into the gym area. We have instead lowered the roof of the side wings of the gym and added accent reveals along the curved wall to break up the façade and provide some visual interest from Coors. Reference the revised building elevations.
- f. The canopy over the courtyard shall be subject to review by DRB to determine if it will be visually distractive of the Bosque and if there is agreement from TRNA that this us an acceptable shade structure.
Refer to the building elevations for the revised design of the shade structure in the courtyard. No portion of the shade structure will exceed the height of the building. The entire shade structure is contained within the courtyard. It will be white to match the window frames and the sunshade devices above the windows.

13. The site development plan for building permit shall include the following notes to provide guidance for development of future phases:
- a. Approval authority for future phases of development is delegated to the DRB.
 - b. Building footprint shall comply with future additions as shown on this site plan as approved by the EPC.
 - c. Elevations shall be complimentary to the existing building in style, proportions, materials and colors.
 - d. Future additions must comply with the Coors Corridor Plan design guidelines.
 - e. "Future additions must comply with the City of Albuquerque Zoning Code and Coors Corridor Plan".
- All of the previous notes (a-e) were added to the Site Plan.**
14. As per comments from the Middle Rio Grande Conservancy District:
- a. The applicant shall shift the turnaround at La Orilla Road to the west, outside the drain right-of-way.
The turnaround was removed from the Site Plan.
 - b. Proposed site improvements within the Lower Corrales Riverside Drain right-of-way and Corrales Main Canal right-of way must be reviewed and licensed by the Middle Rio Grande Conservancy District.
All improvements within the Lower Corrales Riverside Drain and Corrales Main Canal ROW will be coordinated with and approved by MRGCD.
15. Conditions from City Engineer, Municipal Development, Public Works, Water Authority and NMDOT:
- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg 2426) and wheel chair ramps (std. dwg. 2441).
All improvements planned within City ROW will be designed and built to City standards.
 - c. At first driveway entering site from La Orilla (eastbound), provide advance directional signing for exiting dual right traffic (i.e. what lane shall they be in, to go north, south or thru).
The entrance does not have dual right exiting traffic; exiting traffic has two options – one to head east toward the Corrales Main Canal the other is west toward Coors. Pavement markings for these turn movements are shown on the Site Plan.
 - d. At first driveway entering site from Coors (northbound), driveway will need to be modified to one lane entering and one lane exiting (i.e. no quasi right turn deceleration lane to retail site).

The driveway was modified to one lane entering and one lane exiting.

- e. Although not a part, the access to the retail parcels, as shown on the site development plan for building permit, will need to be modified to reflect what is on the approved site development plan for subdivision.

The Site Plan was modified to show the approved site.

- f. Site plan shall comply and be designed per DPM standards.

The Site Plan does comply with the DPM Standards.

16. The dumpster shall be relocated to the rear or eastern side of the property.

The dumpster was relocated to the eastern side of the property.

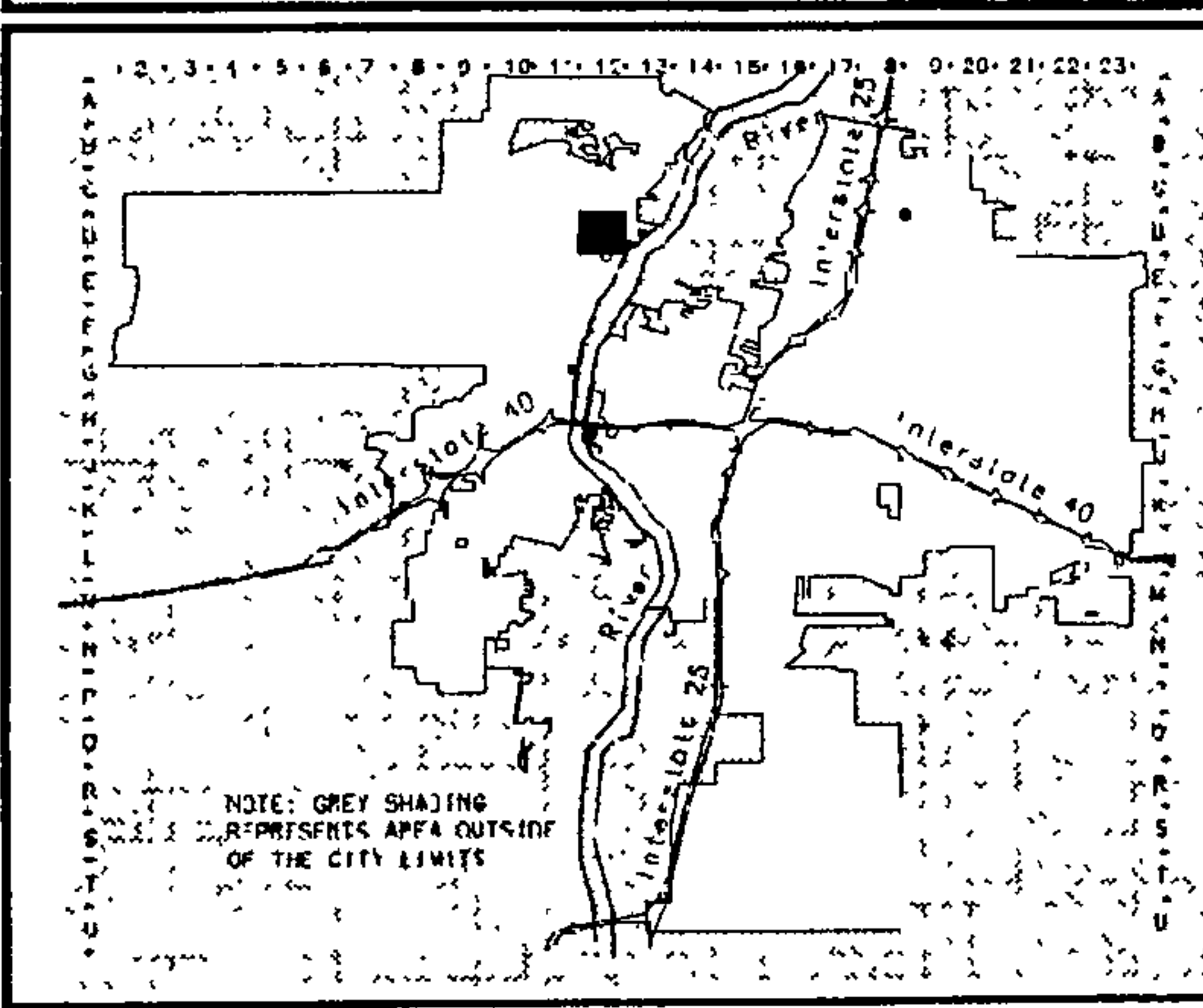
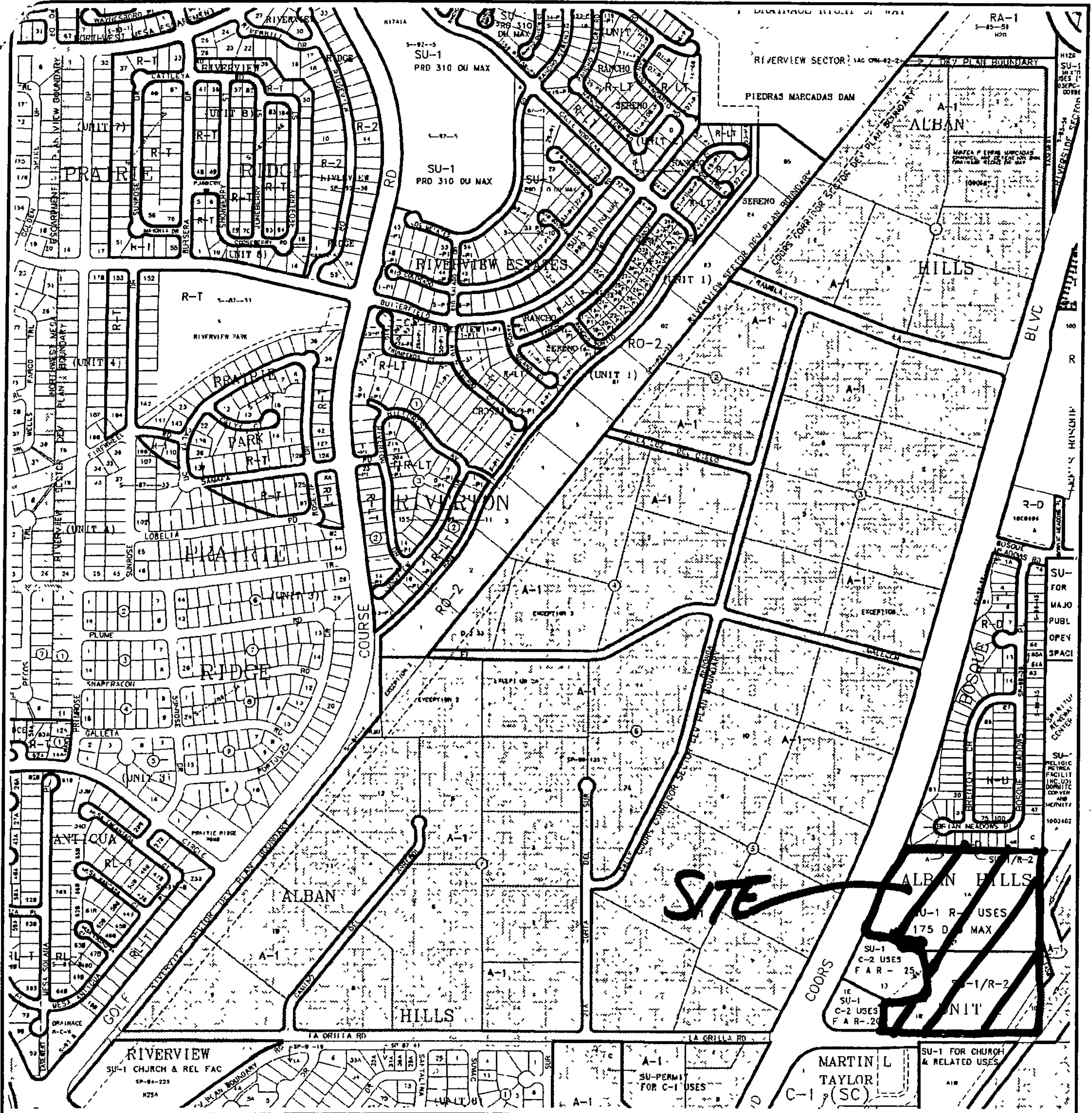
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Donna J. Bohannon, V.P.
for Ronald R. Bohannon, PE

cc:

JN: 23080
RRB:plp/cla/kk/db



CITY OF
Albuquerque
A Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
D-12-Z
Map Amended through July 31, 2003

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME

Hoffmantown West Church

AGENT

Tierra West, LLC

ADDRESS

8509 Jefferson NE.

PROJECT & APP #

1002371

PROJECT NAME

\$ 20.02 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 20.02 TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

NON REFLICATENNA
 City Of Albuquerque
 Treasury Division

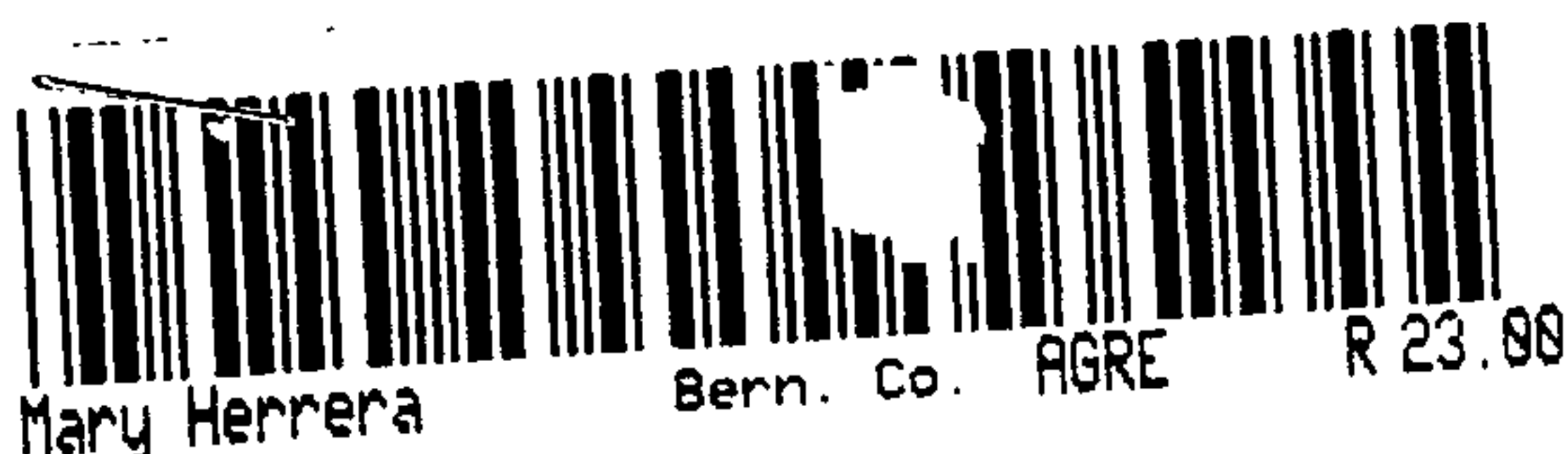
4/5/2005 11:01AM LDDT ANWX
 RECEIPT# 00037790 WSK 007 TRASNW 0007
 ACCOUNT 441032 FUND 0110 TRSEC05
 ACTIVITY 3424000
 TRANS AMT \$20.00
 JEA MISC \$20.00
 CN \$0.00
 CHANGE

Thank You

TIERRA WEST LLC 8509 JEFFERSON NE ALBUQUERQUE, NM 87113 (505) 858-3100		1968 05-677/1070
PAY TO THE ORDER OF <u>City of Albuquerque</u>		DATE <u>3/29/05</u>
<u>Twenty</u>		\$ <u>20.00</u>
HIGH DESERT STATE BANK Member FDIC 8110 Ventura NE Albuquerque, NM 87122		DOLLARS
FOR <u>23080.0001 DRB Final</u>		<u>Danna J Bohannon</u>
⑈001968⑈ ⑆107006677⑆	201813⑈	

© HARLAND STYLE XXI

See file
Proj 1003597
for Site Plan Subd
and Site Plan
Body Permit



2005020753
6216796
Page: 1 of 8
02/11/2005 01:24P
Bk-A92 Pg-675

Stephanie BHI
1002371

No. of Lots:
Nearest Major Streets

FIGURE 12

SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 10th day of February, 2005, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and COORS EIGHT PACK ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] GENERAL PARTNERSHIP, whose address is 6605 UPTOWN BLVD. NE SUITE 340 ALB, NM 87110 and whose telephone number is 883-9662, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Tracts 1-D & 1-E, Block 15, Alban Hills Sub. Unit, recorded on Oct. 17, 1991 in the records of the Bernalillo County Clerk at Book 91-C, pages 233 through (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Coors Eight Pack Limited ("Owner").

**

Partnership, a New Mexico limited partnership

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Tracts 1-D-1 and 1-E-1, Block 15, Alban Hills Unit 1 describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 21st day of January, 2007 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 7530.81.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless

**and Tract 1-B-1, Block 15, Alban Hills Subdivision recorded on May 17, 2004, in Book 2004-C, Page 89 (NEC Coors and La Orilla)

Current DRC Project No. N.A.

12/08/04 Date Submitted: November 30, 2004
 Date Site Plan for Bldg Permit Approved: ~~01-15-04~~
 Date Site Plan for Sub. Approved: _____

Date Preliminary Plat Approved: 12-8-04
Final

Date Preliminary Plat Expires: N.A.

DRB Project No. 1003597 1002371
A-01818

12

ORIGINAL

Figure 12
INFRASTRUCTURE LIST
 EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
NEC COORS & LA ORILLA (SITE PLAN FOR BUILDING PERMIT)
 (Tract 1D-1 AND 1E-1 BLOCK 15, ALBAN HILLS UNIT 1)

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		12' WIDE,	FOURTH NORTHBOUND LANE	COORS	LA ORILLA	NORTH EDGE OF TRACT 1D-1	/	/	/
		6' WIDE,	BIKE LANE	COORS	LA ORILLA	NORTH EDGE OF TRACT 1D-1	/	/	/
		6' WIDE	SIDEWALK	COORS	LA ORILLA	NORTH EDGE OF TRACT 1D-1	/	/	/
		12' WIDE	NORTHBOUND RIGHT TURN LANE	COORS	AT ENTRANCE TO SITE (NORTH EDGE OF TRACT 1D-1)		/	/	/
		34' WIDE	PAVEMENT FROM FACE TO FACE, INCLUDING STD C&G	LA ORILLA	COORS	EAST EDGE OF TRACT 1D-1	/	/	/
		10' WIDE	ASPHALT TRAIL	LA ORILLA	COORS	EAST EDGE OF TRACT 1D-1	/	/	/
		2' WIDE	RAISED MEDIAN W/ MDN C&G	LA ORILLA	COORS	MIDDLE (APPROX) OF TRACT 1E-1	/	/	/

ORIGINAL

PUBLIC SANITARY SEWER LINE IMPROVEMENTS (NO FIN. GAUR. REQ'D, PREVIOUSLY GUARANTEED BY CITY PROJECT # 7134.81)

8" DIA SANITARY SEWER LINE WITH LA ORILLA COORS EAST EDGE OF
NECESSARY MH'S, SERVICES, ETC. TRACT 1D-1

/ / /

DRAINAGE IMPROVEMENTS

~40,000 CF TEMPORARY RETENTION POND SOUTHWEST CORNER OF
WITH AGREEMENT & COVENANT TRACT 1-A-1

/ / /



AGENT/OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

BRUCE STIDWORTHY 12/8/2004
PREPARED BY. PRINT NAME DATE

D. Nutson 12/08/04 DRB CHAIR
Christina Sandoral 12/8/04 PARKS & GENERAL SERVICES DATE

BOHANNAN HUSTON INC.
FIRM:

[Signature] 12-8-04 TRANSPORTATION DEVELOPMENT DATE
N/A AMAFCA DATE

[Signature]
SIGNATURE

[Signature] 12/8/04 UTILITY DEVELOPMENT DATE
[Signature] 12/8/04 CITY ENGINEER DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

DATE



DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

Current DRC Project No. N.A.

Date Submitted: November 30, 2004
 Date Site Plan for Bldg Permit App:
 Date Site Plan for Sub. Approved:

Date Preliminary Plat Approved:

Date Preliminary Plat Expires: N.A.

DRB Project No. 1003597

1002371

Figure 12
INFRASTRUCTURE LIST
 EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
NEC COORS & LA ORILLA
(Tract 1D-1 AND 1E-1 BLOCK 15, ALBAN HILLS UNIT 1)

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		12' WIDE,	FOURTH NORTHBOUND LANE	COORS	LA ORILLA	NORTH EDGE OF TRACT 1D-1	/	/	/
		6' WIDE,	BIKE LANE	COORS	LA ORILLA	NORTH EDGE OF TRACT 1D-1	/	/	/
		6' WIDE	SIDEWALK	COORS	LA ORILLA	NORTH EDGE OF TRACT 1D-1	/	/	/
		12' WIDE	NORTHBOUND RIGHT TURN LANE	COORS	AT ENTRANCE TO SITE (NORTH EDGE OF TRACT 1D-1)		/	/	/
		~24' WIDE	1/2 STREET IMPROVEMENTS	LA ORILLA	COORS	EAST EDGE OF TRACT 1D-1	/	/	/
		10' WIDE	ASPHALT TRAIL	LA ORILLA	COORS	EAST EDGE OF TRACT 1D-1	/	/	/
PUBLIC SANITARY SEWER LINE IMPROVEMENTS (NO FIN. GAUR. REQ'D, PREVIOUSLY GUARANTEED BY CITY PROJECT # 7134.01)									
		8" DIA	SANITARY SEWER LINE WITH NECESSARY MH'S, SERVICES, ETC.	LA ORILLA	COORS	EAST EDGE OF TRACT 1D-1	/	/	/

DRAINAGE IMPROVEMENTS

--	--

-40,000 CF TEMPORARY RETENTION POND SOUTHWEST CORNER OF
 WITH NEC. EASEMENTS & COVENANTS TRACT XXXXX

/	/	/
---	---	---



AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
--------------------	--

BRUCE STIDWORTHY **11/30/2004**
 PREPARED BY: PRINT NAME DATE

BOHANNAN HUSTON INC.
 FIRM:

Bruce Stidworthy
 SIGNATURE

MAXIMUM TIME ALLOWED TO CONSTRUCT
 IMPROVEMENTS WITHOUT A DRB EXTENSION

--

DRB CHAIR	DATE	PARKS & GENERAL SERVICES	DATE
TRANSPORTATION DEVELOPMENT	DATE	AMAFCA	DATE
UTILITY DEVELOPMENT	DATE	CITY ENGINEER	DATE
			DATE



DESIGN REVIEW COMMITTEE REVISIONS
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: COOPS EIGHT PACK, LP PHONE: 803-9662
 ADDRESS: 6605 UPTOWN, NE FAX: 884-0539
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: 884-0539
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): PRECISION SURVEYS, INC. PHONE: 856-5700
 ADDRESS: 2114-D JEFFERSON STREET, NE FAX: 856-7900
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: precision@precision.com

DESCRIPTION OF REQUEST: REPLAT THE EXISTING 3 TRACTS INTO TWO (2) NEW TRACTS AND GRANT EASEMENTS Minor Subd Prelim/Final Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS 1-D, 1-E & 1-B-1 Block: 15 Unit: 1
 Subdiv. / Addn. ALBAN HILLS
 Current Zoning: SU-1 FOR C-2 USES Proposed zoning: NO CHANGE
 Zone Atlas page(s): D12 No. of existing lots: 3 No. of proposed lots: 2
 Total area of site (acres): 4.9540 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. TR 1-D: 101206344404040310, TR 1-E: 101206342802640308 MRGCD Map No. TR 1-B: 101206349103040309
 LOCATION OF PROPERTY BY STREETS: On or Near: NE QUADRANT OF COOPS/LA ORRILLA
 Between: LA ORILLA and BOSQUE MEADOWS ROAD

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
1002371, DRB 85-75, SP-02-06-403

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Larry W. Medrano DATE 11/29/04
 (Print) LARRY W. MEDRANO Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 01816</u>	<u>PEF</u>	<u>503</u>	<u>\$ 285.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>12-8-04</u>			Total <u>\$ 305.00</u>

11-30-04
 Planner signature / date

Project # 1002371

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.** *Reading*

VACANT N/A
N/A
N/A
N/A
N/A
N/A

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Berna Bustos for Precision Survey
Applicant name (print)
Berna Bustos for Precision Survey
Applicant signature / date



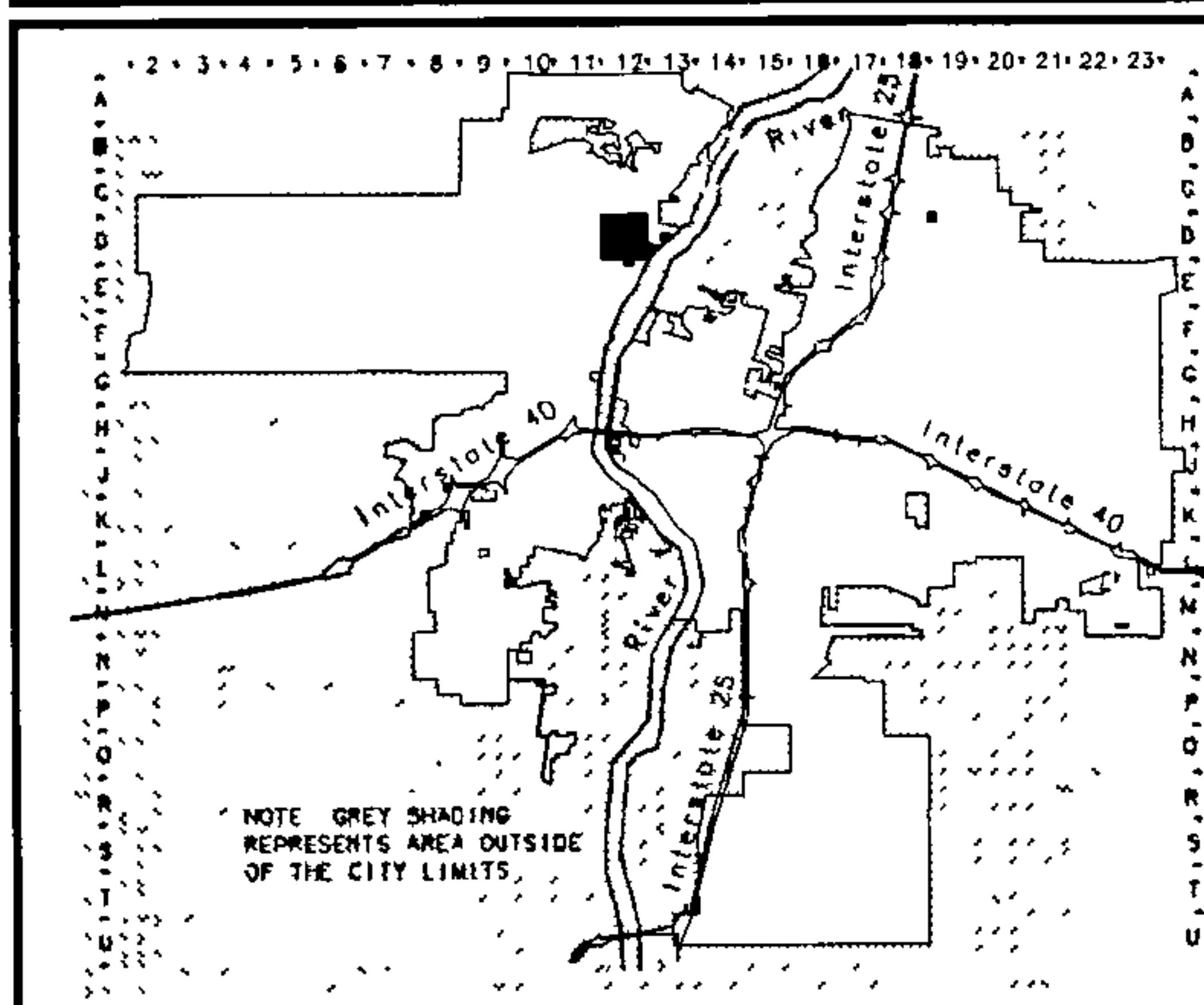
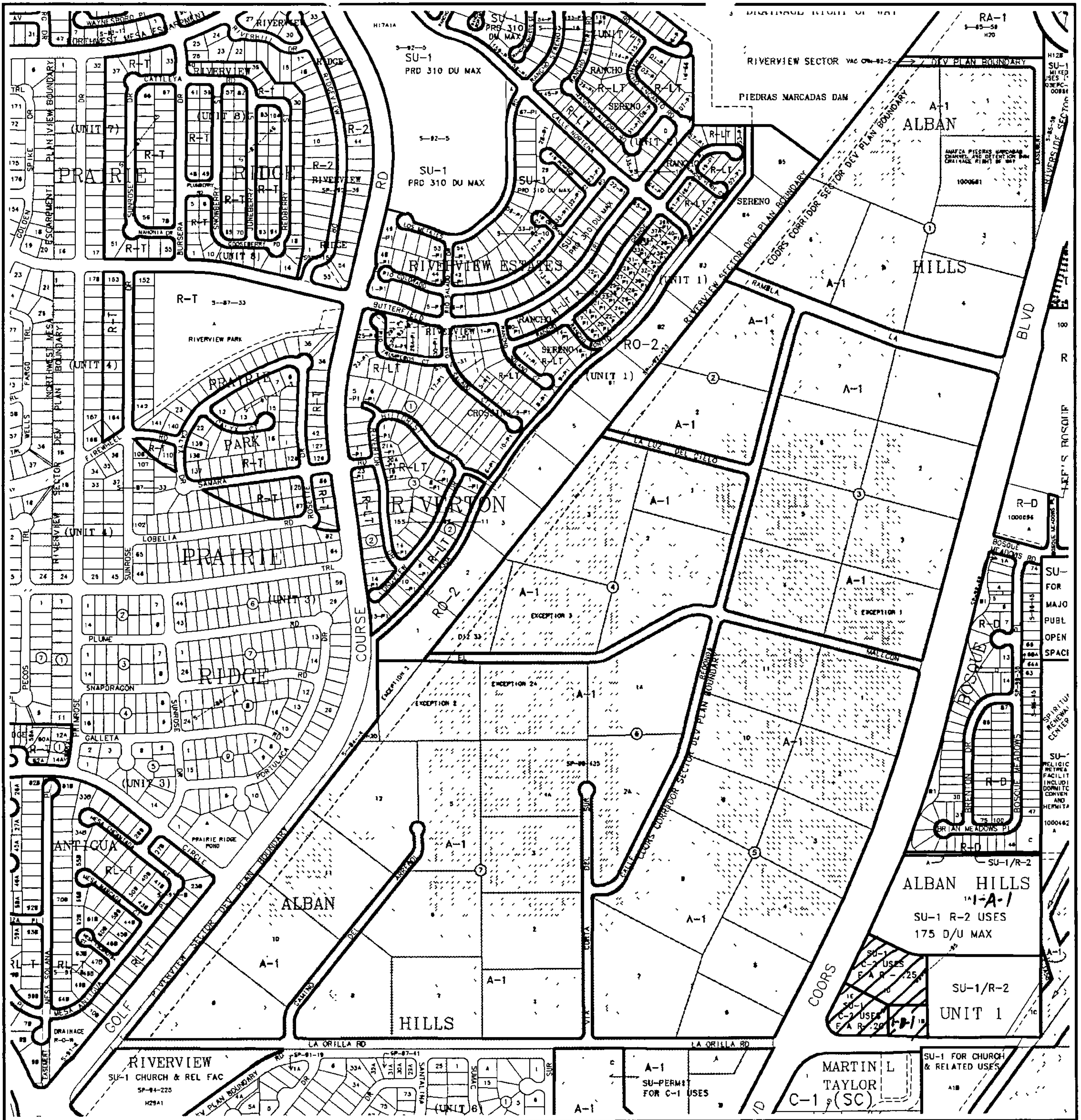
Form revised 3/03, 8/03, 11/03 & 8/04

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB- - 01816
- - -
- - -

[Signature] 11-30-04
Planner signature / date

Project # 1002371

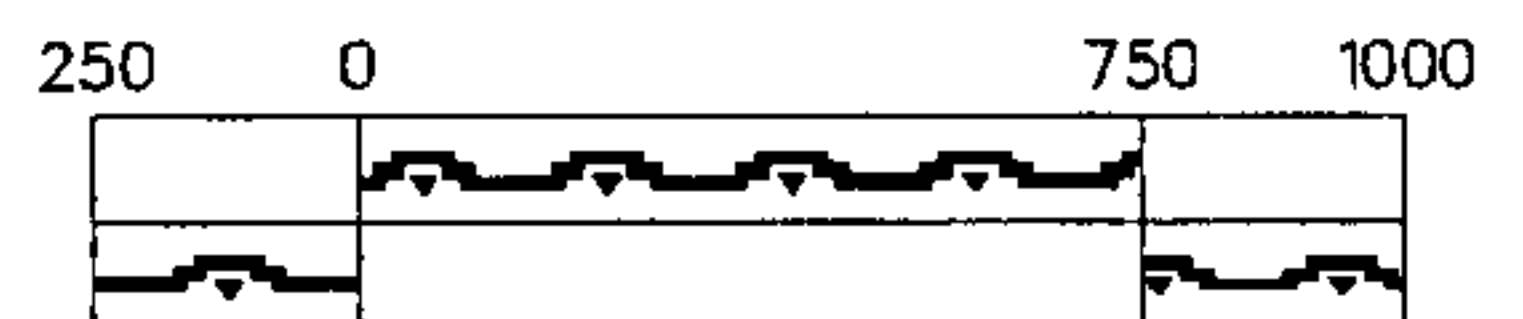


CITY OF
Albuquerque

AGIS
Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2003

GRAPHIC SCALE IN FEET



Zone Atlas Page

D-12-Z

Map Amended through July 31, 2003



PRECISION SURVEYS, INC.

November 29, 2004

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street, NW
Albuquerque, NM 87102

RE: REQUEST REPLAT TRACTS 1-E, 1-D AND 1-B-1, BLOCK 15, ALBAN HILLS
UNIT 1, LOCATED AT THE N.E. CORNER OF COORS/ LA ORILLA-
ZONE MAP D-12

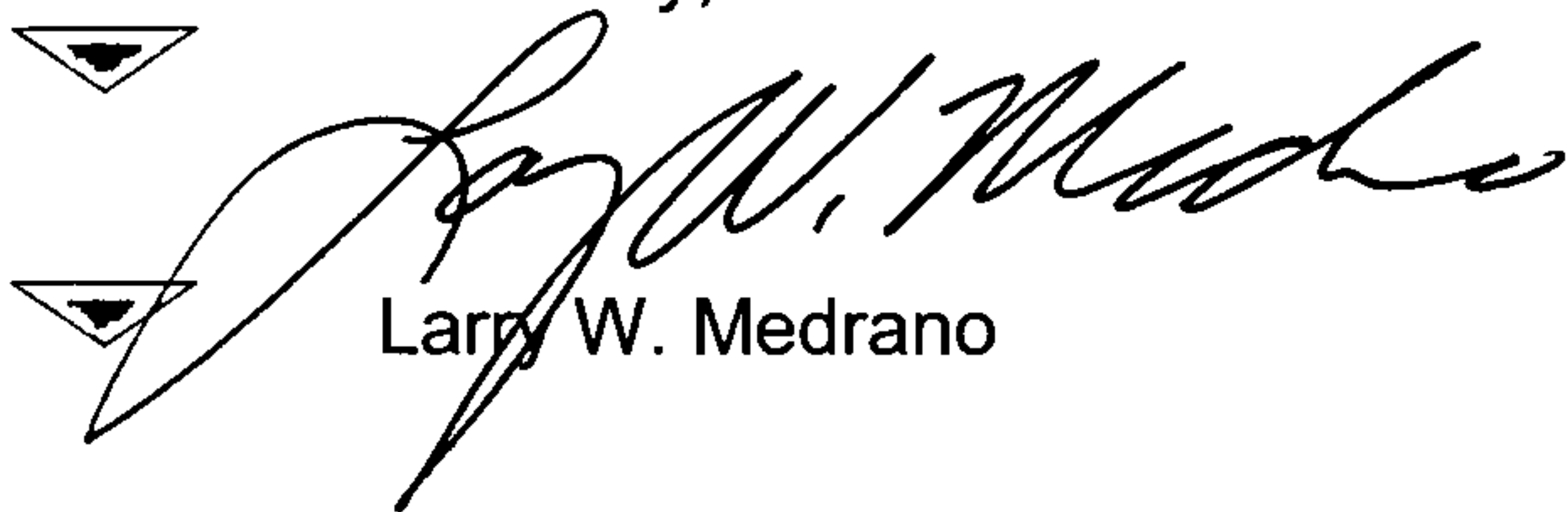
Dear Ms. Matson;

On behalf of our client, Coors Eight Pack, LP, we are submitting an application for the replat of Tracts 1-E, 1-D and 1-B-1, Block 15, Alban Hills Unit 1.

Enclosed are 6 copies of the proposed re-plat and a copy of Zone Atlas Page D-12 with the site cross hatched.

Please call 856-5700 if you have any questions or need additional information.

Sincerely,



Larry W. Medrano

Enclosures

8414 - D JEFFERSON ST NE
ALBUQUERQUE, NEW MEXICO 87113

email presurv@presurv.com

PHONE 505 856 5700

FAX 505 856 7900

www.presurv.com

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME COORS Eight Pack, LP
AGENT Precision Surveys
ADDRESS 8414 D Jefferson NE
PROJECT & APP # 1002371/04 DRB 01816
PROJECT NAME ALBAN HILLS

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 285.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 305.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

PRECISION SURVEYS, INC.

PHONE 505-856-5700 FAX 505-856-7900
8414-D JEFFERSON ST. N.E.
ALBUQUERQUE, N.M. 87113

FIRST STATE BANK
Taos, Santa Fe, Albuquerque
and Surrounding Communities
Ph. 505-241-7500
95-145/1070

006751

11/29/04

City of Albuquerque
Treasury Division \$ 305.00

City of Albuquerque
Three hundred and five 00/100

DOLLARS

RECEIPT# 00031782 MSN 006 TRANGH 0005
Account 441032 Fund 0110
Activity 3424000

[Signature]
AUTHORIZED SIGNATURE

Application Fee for 04-6511p

A City of Albuquerque



DEVELOPMENT PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

BLV

V

P

L

Supplemental form

ZONING

Z

- Annexation & Zone Establishment
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Zone Change
- Text Amendment

APPEAL / PROTEST of...

A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: HOFFMANTOWN WEST CHURCH
 ADDRESS: 2600 AMERICAN ROAD SE STE 350
 CITY: RIO RANCHO
 Proprietary interest in site: OWNER/DEVELOPER
 AGENT (if any): TIERRA WEST LLC
 ADDRESS: 8509 JEFFERSON NE
 CITY: ABQ

STATE NM ZIP 87124

STATE NM ZIP 87113

PHONE: 922-9200
 FAX: _____
 E-MAIL: zerkoo@aol.com

PHONE: 858-3100
 FAX: 858-1118
 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: BULK LAND VARIANCE & PRELIMINARY PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 1A, 1B, 1C & TRACT A Block: 15 Unit: _____

Subdiv. / Addn. ALBAN HILLS UNIT 1 & BOSQUE MEADOWS

Current Zoning: SU-1 FOR R-2

Proposed zoning: SU-1 FOR C-2

Zone Atlas page(s): D12

No. of existing lots: 24

No. of proposed lots: 2

Total area of site (acres): 16.7702

Density if applicable: dwellings per gross acre: _____

dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.)

Within 1000FT of a landfill? NO

UPC No. 101206349008040311/101206349103040309

MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: LA ORILLA NW

Between: COORS BLVD NW

and CORRALES DRAIN

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): DRB PROJ#1002371

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

(Print) RONALD R. BOHANNAN, P.E.

DATE 12/19/03

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

03DRB - 02150

Action

BLV

S.F.

Fees

\$ 145⁰⁰

Notification Fee

\$ 75⁰⁰

Total

\$ 220⁰⁰

Hearing date

JAN '14 200⁸

Project #

1002371

Planner signature / date

[Signature] 12/19/03

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE FROM SUBDIVISION DESIGN STANDARDS

- Application for subdivision (Plat) on FORM S, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies) **BULK VARIANCE NLT 12/19/03.**
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM) *will be subm @ later date ok per SAM*
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S. *Pre-vm plat submitted earlier. B.A.*
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.



Applicant name (print)

12/17/03

Applicant signature / date

.pdf Form revised Sept. 2001



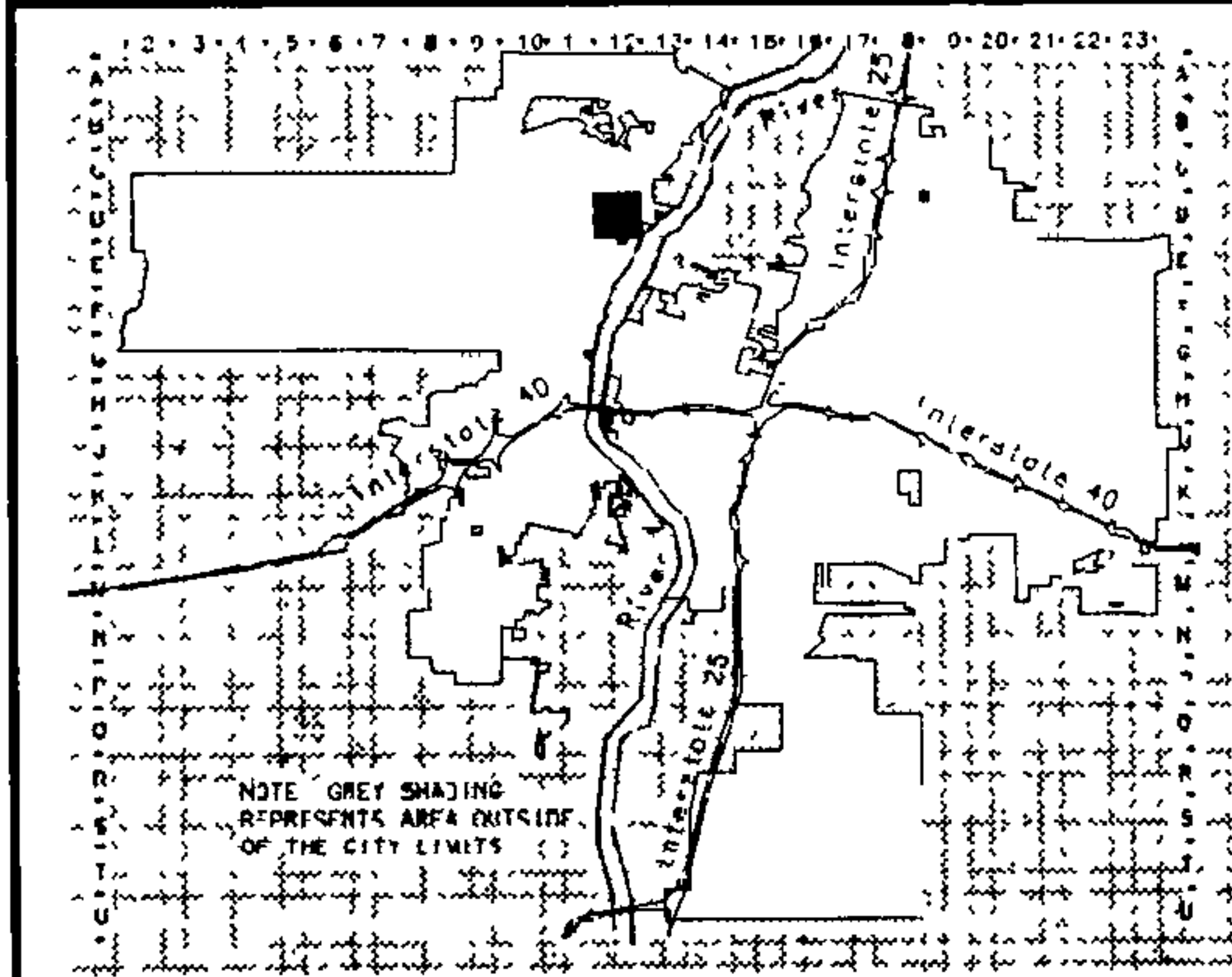
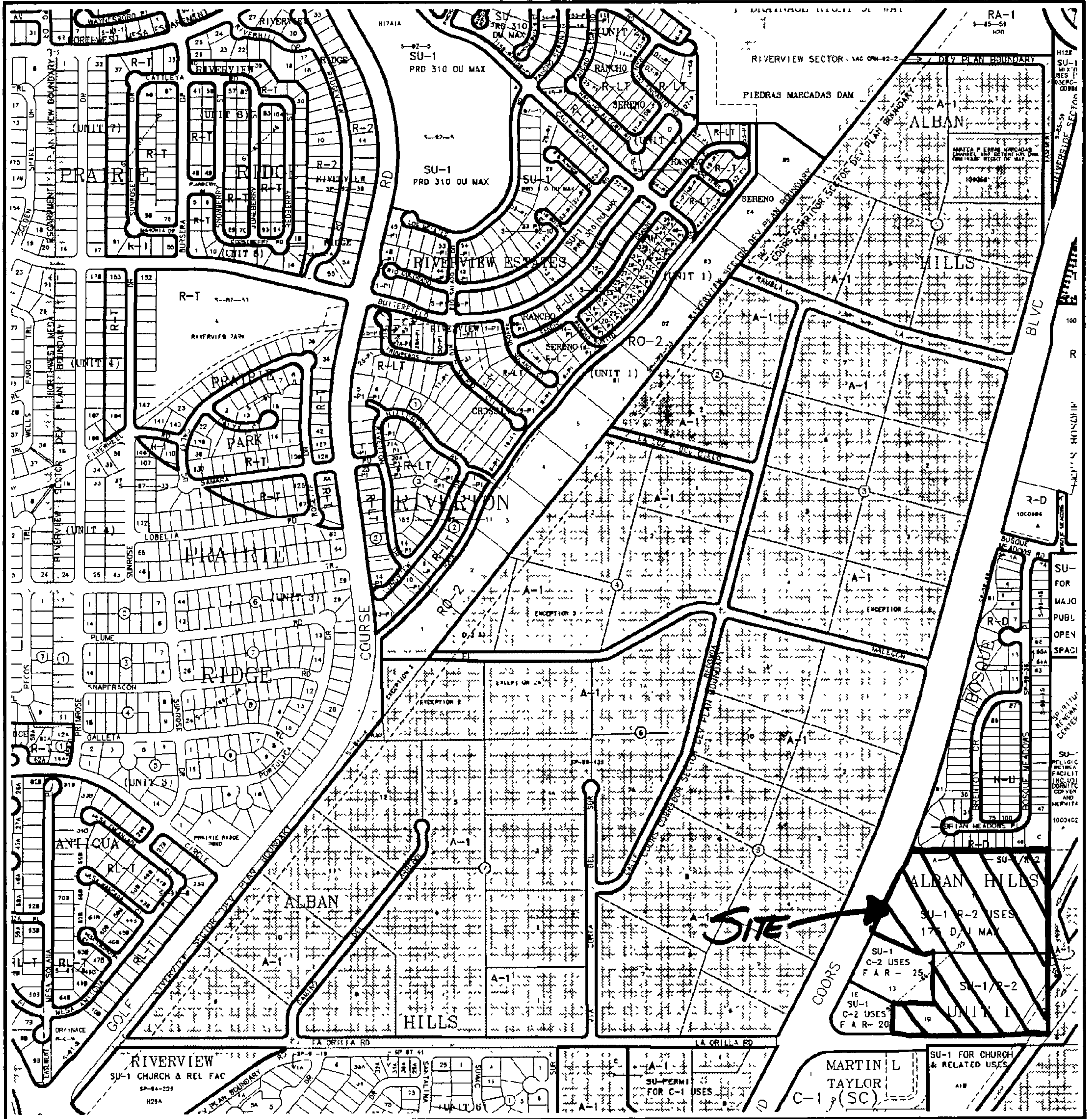
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 0302B - - 02150

12/19/03

[Handwritten signature]
 Planner signature / date

Project # 1002371

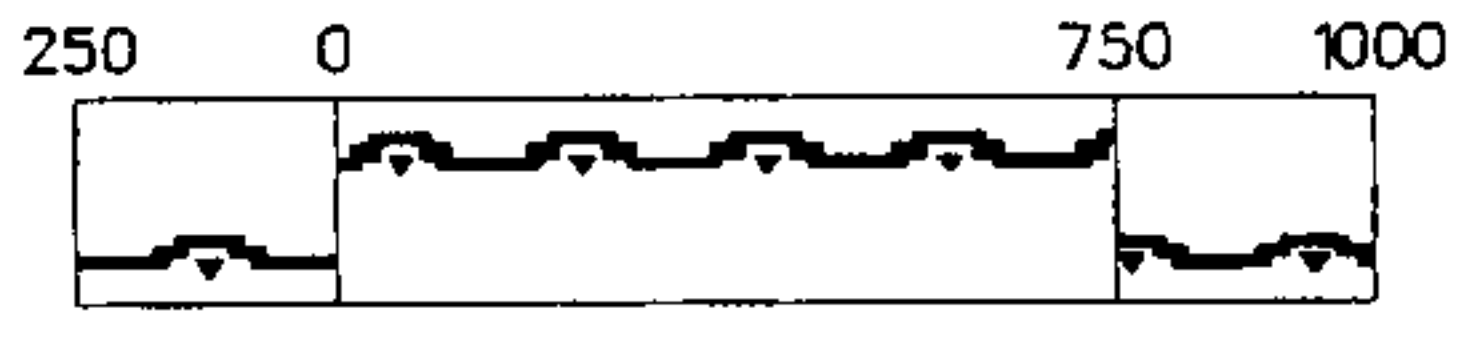


CITY OF Albuquerque

ALBUQUERQUE Geographic Information System
PLANNING DEPARTMENT

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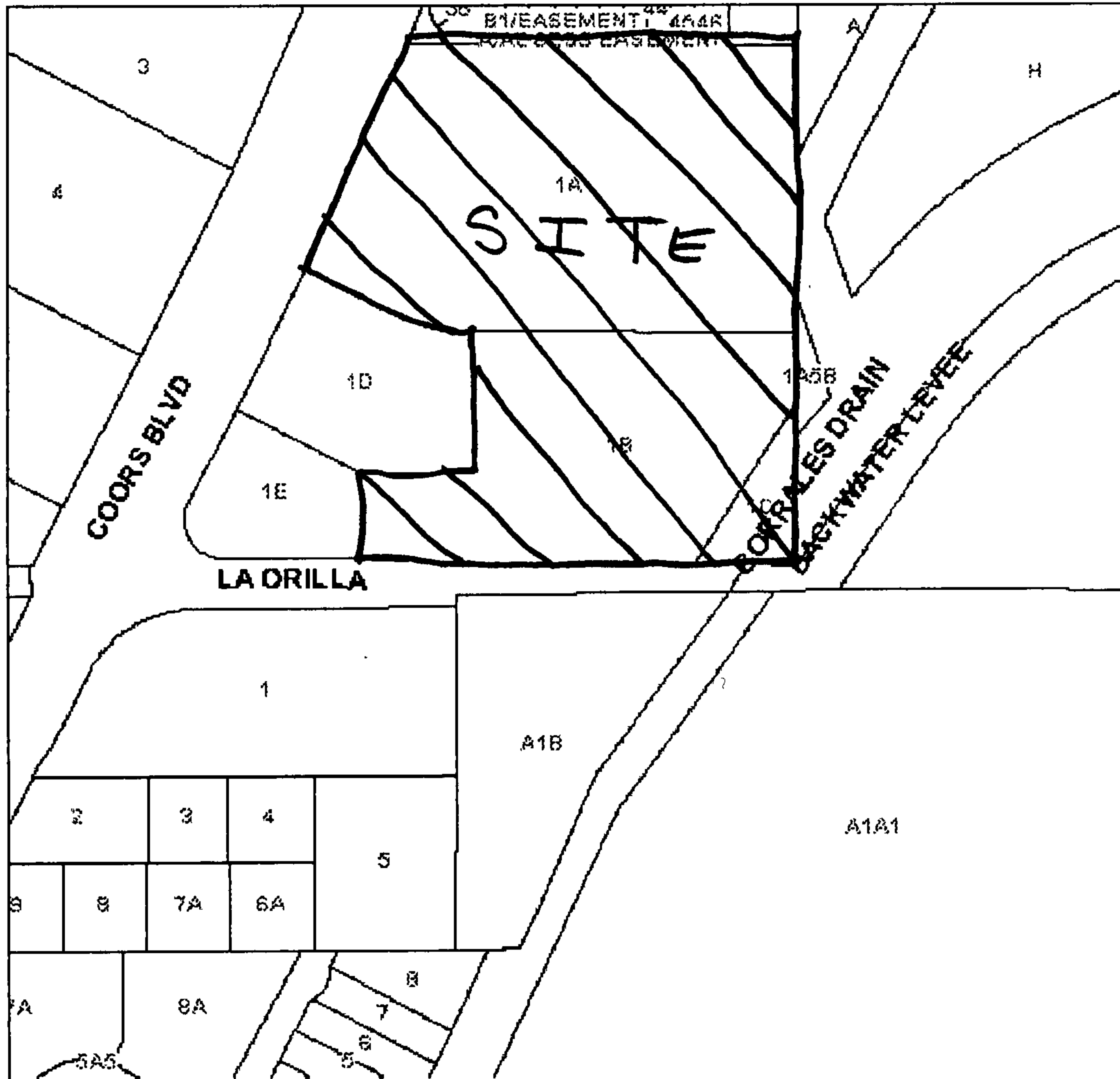
GRAPHIC SCALE IN FEET



Zone Atlas Page

D-12-Z

Map Amended through July 31, 2003



Lot/Block/Subd: A/ACCESS EASEMENT , 0000 , BOSQUE MEADOWS
ZoneMap Page: D12 Jurisdiction: CITY
UPC #: 101206349008040311

Lot/Block/Subd: 1A , 15 , ALBAN HILLS UNIT 1
ZoneMap Page: D12 Jurisdiction: CITY
UPC #: 101206349008040311

Lot/Block/Subd: 1B , 15 , ALBAN HILLS UNIT 1
ZoneMap Page: D12 Jurisdiction: CITY
UPC #: 101206349103040309

Lot/Block/Subd: 1C , 15 , ALBAN HILLS UNIT 1
ZoneMap Page: D12 Jurisdiction: CITY
UPC #: 101206352601840307



Project Summary Report

Click on any Application Number or Completion Disposition under Related Applications to reveal greater detail.

Date: 12/18/2003

Page 1

Project Number: 1002371

Project Name: ALBAN HILLS, TRACTS 1A, 1B & 1C

Project Description:

DRB APPLICATION DRB APPLICATION

Related Applications in Order of Submittal:

Red - Withdrawn

Application	Application Type	Completed Activity	Completion Disposition	Date
02DRB - 01824	SITEDEV PLAN BLDPERMIT/EPC	NO MORE ACTION	COMPLETED	2/5/2003
02DRB - 01825	PRELIM&FINAL PLAT APPROVAL	NO MORE ACTION	COMPLETED	2/5/2003
03EPC - 01285	ZONE MAP AMENDMENT	PUBLIC HEARING	DEFERRED TO DATE	10/24/2003
03EPC - 01815	SUBDIVISION	APPLICATION SUBMITTAL	RECEIVED ON OR BEFORE DEADLINE	10/21/2003
03DRB - 02085	SITEDEV PLAN SUBD/EPC	STAFF REPORT PREPARATION	NA	12/15/2003
03DRB - 02086	PRELIM&FINAL PLAT APPROVAL	DISTRIBUTION	DISTRIBUTED	12/15/2003

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

December 18, 2003

Mrs. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Bulk Land Variance for Tract A, Bosque Meadows; Tracts 1A, 1B; & 1C, Alban Hills Unit One
(known as Hoffmantown West Church)
DRB Project #: 1002371
APP#'s: 03DRB-02085 & 03DRB-02086
Zone Atlas Page D-12**

Dear Mrs. Matson:

Tierra West LLC, on behalf of Hoffmantown West Church requests the approval of the Bulk land variance for the above referenced property. The site is located on La Orilla Road NW between Coors Boulevard NW and the Corrales Drain. We are requesting that this be a condition of the Site Plan for Building Permit and all infrastructures are waived from the Site Plan for Subdivision. At this time we are unsure of what the end users will be for the site and allowing this variance will ensure that infrastructure built will meet the needs of the City and users at that time.

If you have any further questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: D McCall
Jim Wolcott, Alban Hills N.A.
Jack Scott, Alban Hills N.A.
Rick Linkous, Coors Trail N.A.
Alexandra Ostwald, Coors Trail N.A.
Eddie Costello, Taylor Ranch N.A.
Jolene Wolfley, Taylor Ranch N.A.

JN: 230080
RRB/kk



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

December 18, 2003

Karen Kline
Tierra West, LLC
8509 Jefferson NE/87113
Phone: 858-3100/Fax: 858-1118

Dear Karen:

Thank you for your inquiry of December 18, 2003 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACT A, BOSQUE MEADOWS, TRACT 1A, 1B & 1C, ALBAN HILLS, UNIT ONE LOCATED ON LA ORILLA ROAD NW BETWEEN COORS BOULEVARD NW AND CORRALES DRAIN, zone map D-12.**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(04/09/03)

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

"Attachment A"

Karen Kline, Tierra West, LLC
Zone Map: D-12

ALBAN HILLS N.A.

***Jim Wolcott**

6420 Camino Del Arrebol NW/87120 898-8329 (h)

Jack Scott

6419 Camino Del Arrebol NW/87120 898-5009 (h)

COORS TRAIL N.A. (R)

***Rick Linkous**

2715 Bosque Del Sol NW/87120 890-4331 (h)

Alexandra Ostwald

6423 Bosque Meadows NW/87120 898-1915 (h)

TAYLOR RANCH N.A. (R)

***Eddie Costello**

1111 Alameda NW, St. J/87114 792-1066 (w)

Jolene Wolfley

6804 Staghorn Dr. NW/87120-4806 890-9414 (h)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 12/30/01 To 1/14/02

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Karen Kline (Applicant or Agent) 12/19/03 (Date)

I issued 2 signs for this application, 12/19/03 (Date), [Signature] (Staff Member)

DRB PROJECT NUMBER: 1002371



SUBDIVISION	Supplemental form S	ZONING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> Variance (Non-Zoning)		<input checked="" type="checkbox"/> Zone Change	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Text Amendment	
<input type="checkbox"/> ...for Subdivision Purposes		APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: HOFFMANTOWN WEST CHURCH PHONE: 922-9200
 ADDRESS: 2600 AMERICAN ROAD SE STE 350 FAX: _____
 CITY: RIO RANCHO STATE NM ZIP 87124 E-MAIL: zerkoo@aol.com
 Proprietary interest in site: OWNER/DEVELOPER
 AGENT (if any): TIERRA WEST LLC PHONE: 858-3100
 ADDRESS: 8509 JEFFERSON NE FAX: 858-1118
 CITY: ABQ STATE NM ZIP 87113 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: PRELIMINARY PLAT AND SITE PLAN FOR SUBDIVISION APPROVAL BY DRB

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY

Lot or Tract No. TRACT 1A, 1B, 1C & TRACT A Block: 15 Unit: _____

Subdiv. / Addn. ALBAN HILLS UNIT 1 & BOSQUE MEADOWS

Current Zoning: SU-1 FOR C-2/SU-1 FOR-2 & Church related Proposed zoning: SAME

Zone Atlas page(s): D12 No. of existing lots: 2 No. of proposed lots: 2

Total area of site (acres): 16.7702 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101206349008040311/101206349103040309 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: LA ORILLA NW
 Between: COORS BLVD NW and CORRALES DRAIN

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB PROJ#1002371

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE _____ DATE 12/8/03
 (Print) RONALD R. BOHANNAN, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	SPS Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>03DRB - 02085</u>	<u>SPS</u>	<u>P(3)</u>	\$ <u>285.00</u>
<input type="checkbox"/> All fees have been collected	<u>03DRB - 02086</u>	<u>P+T</u>	<u>S(3)</u>	\$ <u>285.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Dec 17, 2003</u>			Total \$ <u>285.00</u>

Ronald Bohannan 12/8/03
 Planner signature / date

Project # 1002371

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED, OR INTERNAL ROUTING)

SKETCH PLAT REVIEW AND COMMENT

Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. (Otherwise, bring Mylar to meeting.)
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.



Applicant name (print)


12/19/03
Applicant signature / date



Form revised February 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03 DRB- _____ - 02086
_____- _____ - _____
_____- _____ - _____


Planner signature / date
Project # 1002371

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVANCED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan - **WAIVED**
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.

Applicant name (print)



12/9/03
Applicant signature / date

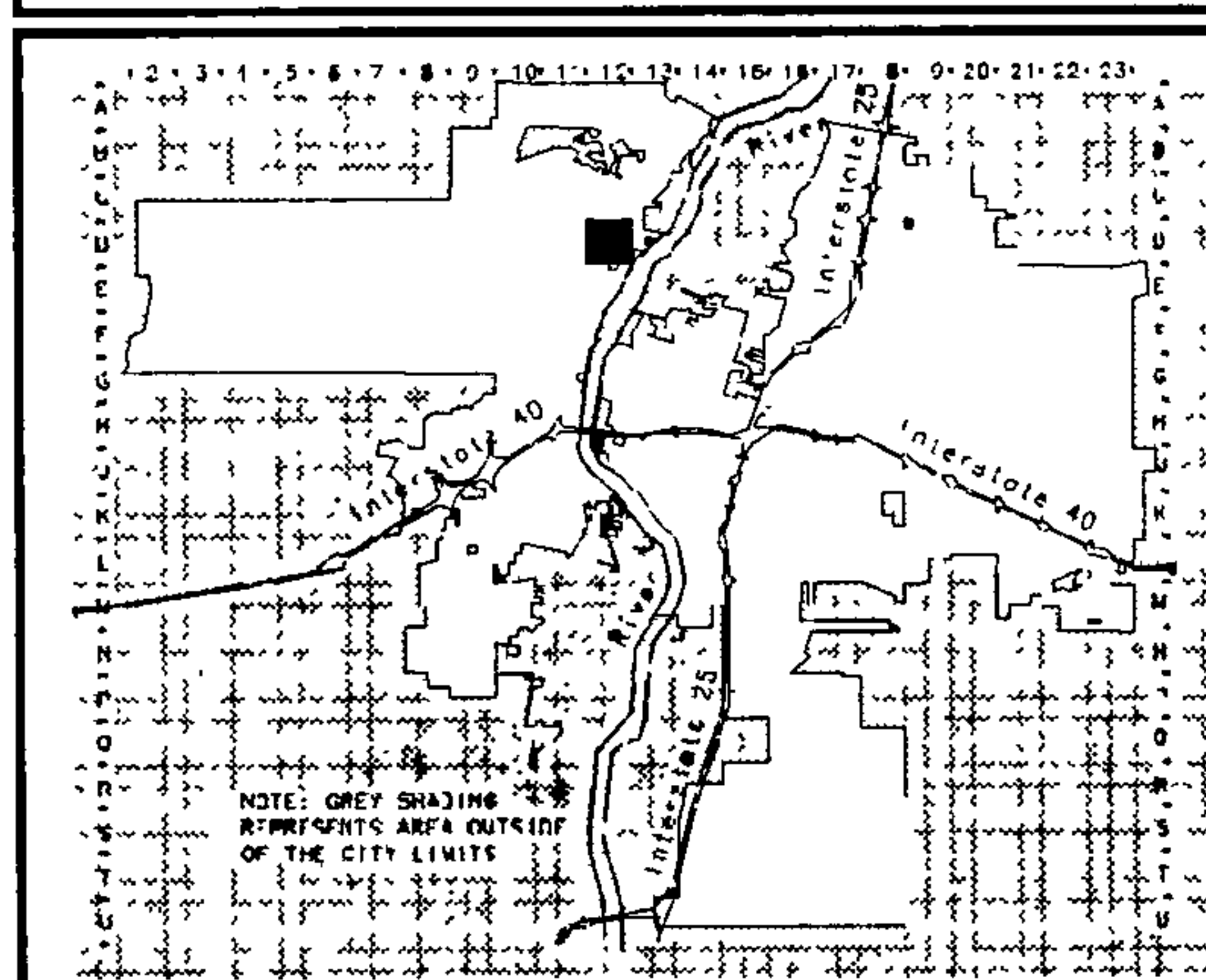
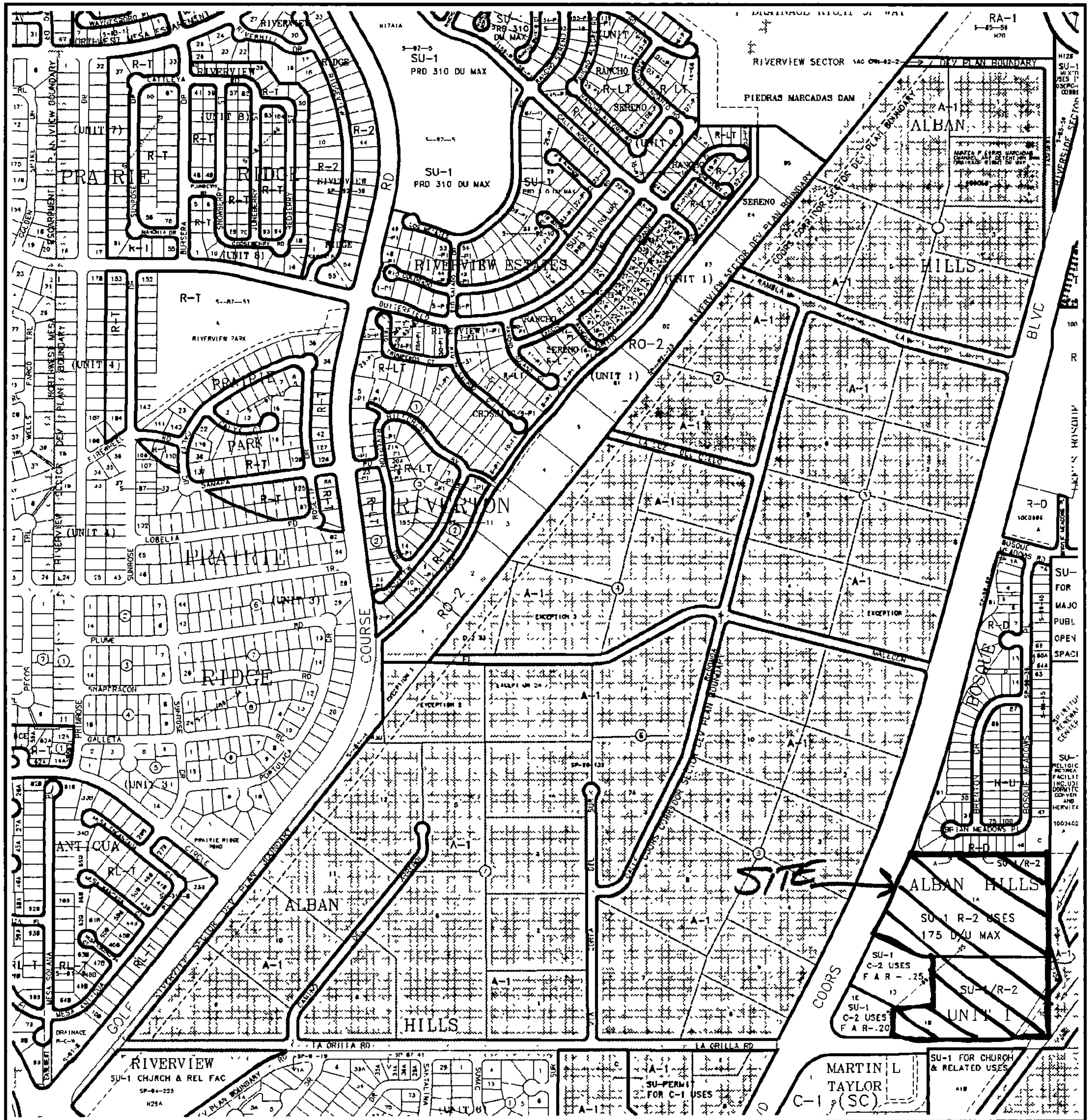


Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03223 - _____ - 02045
 _____ - _____ - _____
 _____ - _____ - _____

Paul Carter 12/9/03
 Planner signature / date
Project # 1002371

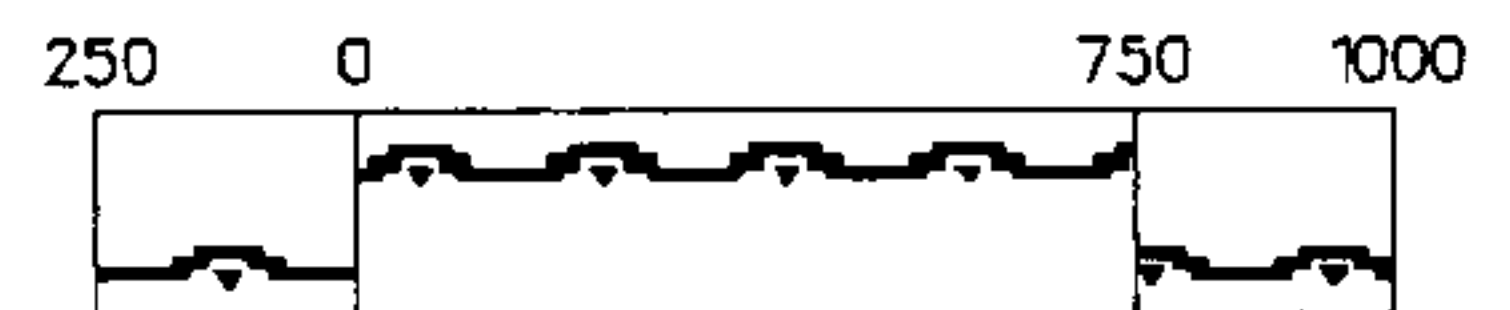


CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

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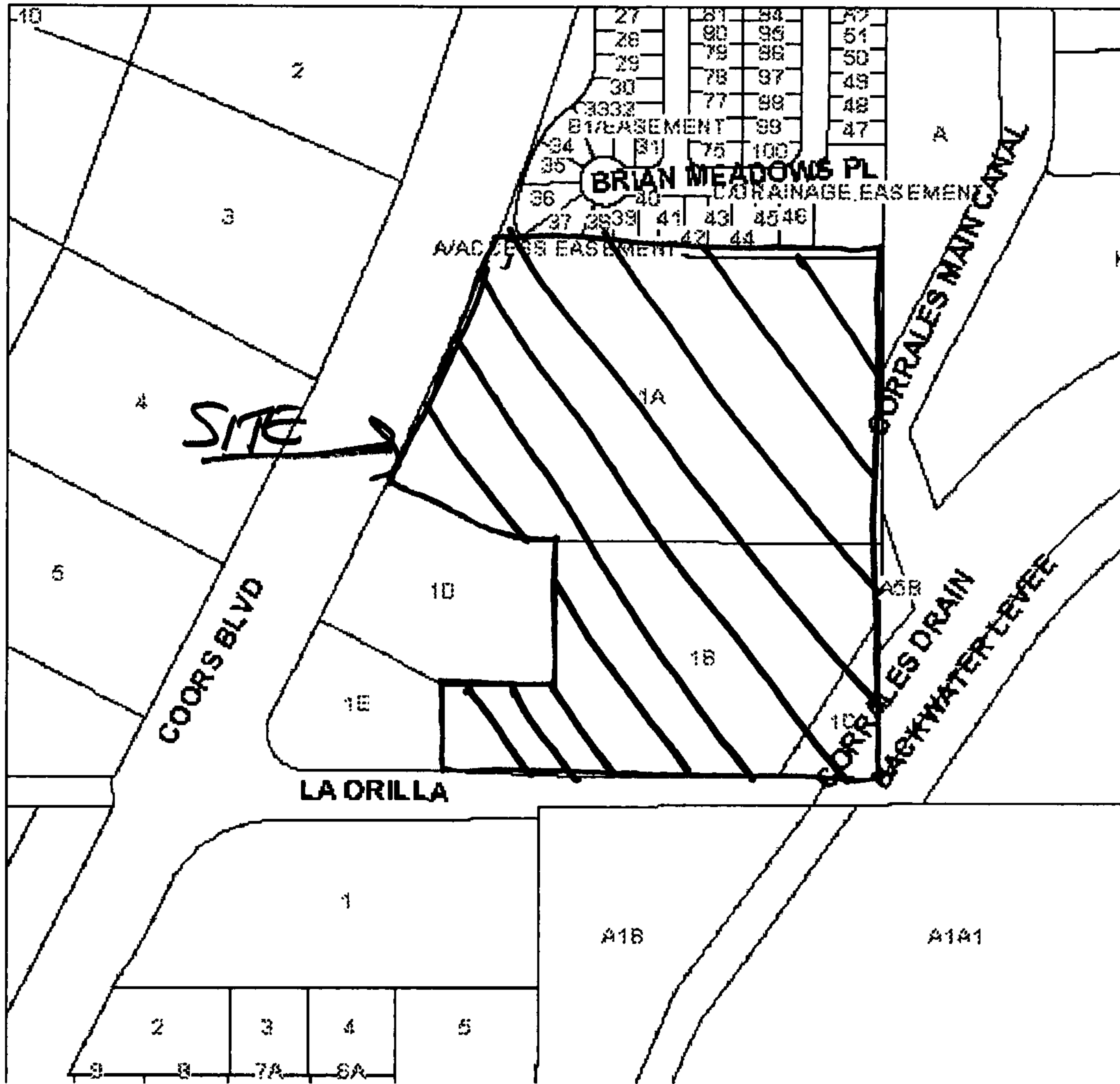
GRAPHIC SCALE IN FEET



Zone Atlas Page

D-12-Z

Map Amended through July 31, 2003



Zoning: SU-1/R-2
Lot/Block/Subd: A/ACCESS EASEMENT , 0000 , BOSQUE MEADOWS
ZoneMap Page: D12 Jurisdiction: CITY
UPC #: 101206349008040311

Zoning: SU-1/R-2
Lot/Block/Subd: 1B , 15 , ALBAN HILLS UNIT 1
ZoneMap Page: D12 Jurisdiction: CITY
UPC #: 101206349103040309

Zoning: SU-1/R-2
Lot/Block/Subd: 1C , 15 , ALBAN HILLS UNIT 1
ZoneMap Page: D12 Jurisdiction: CITY
UPC #: 101206352601840307

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118
December 9, 2003

twllc@tierrawestllc.com
1-800-245-3102

Mrs. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1239
Albuquerque, NM 87103

**RE: DRB Approval of Site Plan for Subdivision and Preliminary Plat
Tracts 1A, 1B, 1C, Alban Hills & Tract A, Bosque Meadows
DRB Project#: 1002371; Zone Atlas Page D-12**

Dear Mrs. Matson:

Tierra West LLC, on behalf of Hoffmantown Church West, requests approval of the Preliminary Plat and EPC approved Site Plan for Subdivision. The site is located on La Orilla Road NW between Coors Boulevard NW and the Corrales Main Canal. On November 20, 2003, the EPC approved a Zone Change and Site Plan for Subdivision. The conditions of the Site Plan for Subdivision are addressed as follows:


1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
We corrected the lot lines on the Site Plan for Subdivision so that they are in compliance with the plat.
2. Two (2) conflicting sets of floor area ratio, setbacks, and building height, as provided in the Site Development Plan, be corrected.
We corrected the floor area ratio, setbacks, and building height and they are shown on the Site Plan in table format.
3. If an MRGCD easement has been established on the eastern portion of Tract 1-A overlapped by the Corrales Main Canal right-of-way, such easement be shown on the Site Development Plan.
A 30-foot, private ingress/egress easement for the benefit of MRGCD is being granted by the Preliminary Plat.
4. The Corrales Riverside Drain and a 100 foot wide buffer be drawn on the Site Development Plan all the way to the southern boundary of the site.
The Site Plan for Subdivision shows a 50 and 70-foot wide MRGCD easements, which are shown as being encumbered by MRGCD.
5. The following conditions of approval as recommended by the reviewing agencies be made the conditions of approval for the Site Development Plan:

- a.) Check deceleration and acceleration lane requirements for main site drive on Coors with NMDOT (Note: a deceleration lane is required per COA).
We show the deceleration and acceleration lane on the Site Plan for Subdivision and are meeting the NMDOT requirements and the COA's requirements.
- b.) Lengthen median on Coors, across from the existing private access easement on north side of property, to ensure that the driveway operates as a right-turn in right-turn out only per the Coors Corridor Plan.
We show the median on Coors extending past the access easement to have the driveway operate as requested.
- c.) Re-align existing driveway of private easement to be perpendicular to Coors.
We show the alignment per the request of EPC.
- d.) The access drives on La Orilla to be determined with the Site Plan for Building Permit.
This will be addressed when the Site Plan for Building Permit is submitted.
- e.) Re-align eastern most driveway between Tract 1-B and Tract 1-C, to be perpendicular to La Orilla.
The driveways will be addressed when the Site Plan for Building Permit is submitted.
- f.) Show existing access to Tract 1-C on the site plan.
This is shown on the Site Plan.
- g.) Platting should be a concurrent DRB action.
We are submitting Preliminary Plat approval along with the Site Plan for Subdivision approval.
- h.) The Coors Corridor Plan recommends an eight-lane roadway adjacent to the subject site. Responsibility for improving Coors Boulevard from a three-lane northbound to a four-lane northbound facility along the site should be a condition of Site Plan for Building Permit.
All infrastructure is waived on the Site Plan for Subdivision and will be a condition of Site Plan for Building Permit including the improvements along Coors Boulevard. It is shown on the Site Plan for Subdivision for reference purposes.
- i.) Dedication of right-of-way for La Orilla Road as provided for in the DPM.
Additional right-of-way is dedicated to the City of Albuquerque in fee simple as shown on the Preliminary Plat.
- j.) Construct the La Orilla Trail connector (T 159) between Coors and Corrales Riverside Drain as shown in the City of Albuquerque Trails and Bikeways Facility Plan.
The trails are noted on the Site Plan for Subdivision along La Orilla Road.

The Grading & Drainage plan will be submitted prior to submittal of the Site Plan for Building Permit for approval. The utility layout will be part of the Site Plan for Building Permit approval.

We request the approval of the Preliminary Plat as well. We will submit for Final Plat upon the DRB's approval. If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,


for Ronald R. Bohannon, P.E.

Enclosure/s

cc: D. McCall

JN: 230080
RRB/kk



JN 23000
Lanning/epc
cc: D. McCall
Sofia Meyer
Bittman 110

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 21, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002371**
03EPC-01285 Zone Map Amendment
03EPC-01815 EPC Site Development Plan-
Subdivision

Hoffmantown Church West
2600 American Road SE, Ste 350
Rio Rancho, NM 87124

LEGAL DESCRIPTION: for all or a portion of Tracts 1A,1B & 1C, Block 15, Alban Hills Subdivision, Unit 1 and Tract A, Access Easement, Bosque Meadows, a zone map amendment from SU-1 for R-2 Uses and SU-1 for R-2 Uses with 175 DU Max to SU-1 for C-2 Uses and SU-1 for R-2 and Church and Related Uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN, containing approximately 17 acres. (D-12)
Simon Shima, Staff Planner

On November 20, 2003 the Environmental Planning Commission voted to approve Project 1002371/03EPC-01285, a Zone Map Amendment, for Tracts 1-A, 1-B & 1-C, Block 15, Alban Hills Subdivision, Unit 1, & Tract A, Access Easement, Bosque Meadows, based on the following Findings and subject to the following Condition:

FINDINGS:

1. This is a request for a zone map amendment: a) from SU-1 for R-2 Uses with 175 D/U Max to SU-1 for R-2 Uses and Church and Related Uses for Tract 1-A, containing 10.24 acres; b) from SU-1 for R-2 Uses to SU-1 for R-2 Uses and Church and Related Uses for a proposed Tract 1-B, containing 5.44 acres (the existing Tract 1-B minus a proposed Tract 1-F); and c) from SU-1 for R-2 Uses to SU-1 for C-2 Uses for a proposed Tract 1-F, containing 0.80 acre. The zoning for Tract 1-C, encumbered by an MRGCD easement, would remain SU-1 for R-2 Uses.
2. In 1998 the applicant requested a Zone Map Amendment and a Site Development Plan for Building Permit for this 17 acre site (Z-98-30). On November 19, 1998, the Environmental Planning Commission voted to approve Z-98-30. This zone change would allow a 308 unit multi-family residential development on the site.

OFFICIAL NOTICE OF DECISION
NOVEMBER 20, 2003
PROJECT #1002371
PAGE 2 OF 7

3. The Zone Map Amendment request is generally consistent with Comprehensive Plan Developing Urban Area Policy a (The Developing Urban Areas shall allow a full range of urban land uses) and Policy e (New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured). Nevertheless, environmental and design considerations addressed in the Comprehensive Plan policies would be required to reflect on the subsequent approval a Site Development Plan for Building Permit.
4. The site is located within the Taylor Ranch Community of the West Side Strategic Plan, hereinafter referred to as the "WSSP". The request is consistent with WSSP Taylor Ranch Community Policy 3.14 (The rural character of the Alban Hills area is an important character aspect of the Coors Corridor and Bosque transition zone) compared to the existing zoning. Other applicable policies, however, apply to a Site Development Plan for Building Permit.
5. The site is located in Segment 3 of the Coors Corridor Plan. For land use, the Coors Corridor Plan recommends compliance of new development with design guidelines, and preservation of the Bosque, floodplain, and open space areas (Figure 32 recommended land use). When a Site Development Plan for Building Permit were submitted for approval, the Coors Corridor Plan Design Overlay Zone policies would be applied to review its compliance with such policies.
6. Since Tract 1-D and Tract 1-E, the two adjacent tracts located at the northeast corner of Coors Boulevard and La Orilla Road, are currently zoned SU-1 for C-2 Uses, SU-1 zoning for C-2 Uses for a proposed Tract 1-F, as requested, would be compatible with the surrounding zoning to a large extent. This amendment would render the existing SU-1 for C-2 Uses zoning more cohesive in configuration, resulting in potentially more efficient use of land.
7. The applicant justifies the zone change based on the "more advantageous to the community" test pursuant to Resolution 270-1980. The applicant's assertion of the reduction of river-crossing trips by parishioners and others meets the above criterion. The applicant further justifies the zone change based on the "changed neighborhood conditions" test. Recent development of the Riverside Plaza located south of the site on the same side of Coors Boulevard is a result of annexation and zone change, thereby constituting a changed neighborhood condition under Resolution 270-1980.
8. While the Taylor Ranch and Alban Hills Neighborhood Associations support the zone change to allow a potential church use, the latter opposes the SU-1 for C-2 Uses portion of the request.
9. The developer of the combined commercial property, encompassing Tract 1-D, Tract 1-E, and the proposed Tract 1-F, has agreed to impose a private restriction on all the above Tracts prohibiting the sale of alcoholic beverages for off-site consumption.

OFFICIAL NOTICE OF DECISION
NOVEMBER 20, 2003
PROJECT #1002371
PAGE 3 OF 7

10. Concurrent with the zoning all previously approved site development plans for this Tracts 1-D and 1-E are void.

CONDITION:

1. The proposed Tract 1-F, to be zoned SU-1 for C-2 Uses, be replatted with the adjoining Tract 1-D and Tract 1-E, zoned SU-1 for C-2 Uses, respectively, and a site development plan for subdivision with the combined commercial property be approved for this combined commercial parcel.

On November 20, 2003 the Environmental Planning Commission voted to approve Project 1002371/03EPC-01815, a Site Development Plan for Subdivision, for Tracts 1-A, 1-B & 1-C, Block 15, Alban Hills Subdivision, Unit 1, & Tract A, Access Easement, Bosque Meadows, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request for a Site Development Plan for Subdivision entails subdividing the existing Tract 1-B into a proposed Tract B-1 containing 5.44 acres and a proposed Tract 1-F containing 0.80 acre, with an intent to sell a proposed Tract 1-F to the owner of adjacent Tract 1-D and Tract 1-E. Unifying a proposed Tract 1-F with the existing Tract 1-D and Tract 1-E would create a more integrated and developable unit of land.
2. The Site Development Plan for Subdivision, dated 10-21-03, provides minimum requirements for such plan as provided for in Section 14-16-1-5, Definitions of the Zoning Code, i.e., the site, proposed uses, pedestrian and vehicular ingress and egress, internal circulation elements, and maximum building height, minimum building setback, and maximum floor area ratio. Nonetheless, the Site Development Plan provides two(2) conflicting sets of floor area ratio and two (2) conflicting sets of setbacks. Corrections or clarifications on these matters need to be made.
3. No building and parking facilities design concept nor locations of such facilities are provided in the Site Development Plan. Therefore, certain design-related policies of the Comprehensive Plan (Policies d, g, k ,l and m) and West Side Strategic Plan (Policies 3.15, 3.18 and 4.6) are applicable to the future request for the Site Development Plan for Building Permit.

4. The site is located in Segment 3 of the Coors Corridor Plan. Issue 3: land use and intensity of development, policy 8, buffer strip of the Coors Corridor Plan provides that a 100-foot-wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3. The buffer strip shall remain in a natural condition and shall not be used for development.
5. The confluence of the Corrales Riverside Drain and the Corrales Main Canal is situated east of the existing Tract 1-A and Tract 1-B. The Site Development Plan does not show the alignment of the Corrales Riverside Drain south of the confluence. Therefore, it cannot be ascertained as to whether or not a 100-foot wide buffer strip west of the Corrales Riverside Drain might encroach on Tract 1-B, or the Corrales Riverside Drain alignment itself might encroach on part of Tract 1-C. Therefore, a drawing of the Corrales Riverside Drain alignment and a 100-foot buffer strip on the Site Development Plan all the way to the southern boundary of the site is warranted.
6. The Trails & Bikeways Facility Plan, a Rank II plan, designates both the Corrales Main Canal located adjacent to the site in part and the Corrales Riverside Drain located seemingly on the site in part, as a proposed secondary trail.
7. The Site Development Plan entails two (2) different land uses; church and related uses, and C-2 uses. Two (2) sets of setbacks would be necessary or desired, one for church uses and the other for C-2 uses.
8. The Site Development Plan provides two (2) conflicting set of maximum building height. Should the proposed building height under Note 1 be intended by the applicant, it would comply with the Coors Corridor Plan design regulations.
9. Upon thorough review and analysis, reviewing agencies have provided comprehensive recommendations regarding traffic, access, and circulation. These recommendations are used for conditions of approval of the Site Development Plan.
10. Concurrent with the zoning all previously approved site development plans for Tracts 1-D and 1-E are void.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Two(2) conflicting sets of floor area ratio, setbacks, and building height, as provided in the Site Development Plan, be corrected.
3. If an MRGCD easement has been established on the eastern portion of Tract 1-A overlapped by the Corrales Main Canal right-of-way, such easement be shown on the Site Development Plan.
4. The Corrales Riverside Drain and a 100 foot wide buffer be drawn on the Site Development Plan all the way to the southern boundary of the site.
5. The following conditions of approval as recommended by the reviewing agencies be made the conditions of approval for the Site Development Plan:
 - a. Check deceleration and acceleration lane requirements for main site drive on Coors with NMDOT (Note: a deceleration lane is required per COA).
 - b. Lengthen median on Coors, across from the existing private access easement on north side of property, to ensure that the driveway operates as a right-turn in right-turn out only per the Coors Corridor Plan.
 - c. Re-align existing driveway of private easement to be perpendicular to Coors.
 - d. The access drives on La Orilla to be determined with the Site Plan for Building Permit.
 - e. Re-align eastern most driveway between Tract 1-B and Tract 1-C, to be perpendicular to La Orilla.
 - f. Show existing access to Tract 1-C on the site plan.
 - g. Platting should be a concurrent DRB action.
 - h. The Coors Corridor Plan recommends an eight-lane roadway adjacent to the subject site. Responsibility for improving Coors Boulevard from a three-lane northbound to a four-lane northbound facility along the site should be a condition of Site Plan for Building Permit.
 - i. Dedication of right-of-way for La Orilla Road as provided for in the DPM.

- j. Construct the La Orilla Trail connector (T 159) between Coors and the Corrales Riverside Drain as shown in the City of Albuquerque Trails & Bikeways Facility Plan.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 5, 2003** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Victor J. Chavez
Planning Director

OFFICIAL NOTICE OF DECISION
NOVEMBER 20, 2003
PROJECT #1002371
PAGE 7 OF 7

VJC/SS/ac

cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113
Rick Linkous, Coors Trail, 2715 Bosque Del Sol NW, Albuquerque, NM 87120
Alexander Ostwald, Coors Trail, 6423 Bosque Meadows NW, Albuquerque, NM 87120
Eddie Costello, Taylor Ranch, 1711 Alameda NW, Ste J, Albuquerque, NM 87114
Jolene Wolfley, Taylor Ranch, 6804 Staghorn Dr. NW, Albuquerque, NM 87120
Jim Wolcott, Alban Hills, 6420 Camino del Arrebol NW, Albuquerque, NM 87120
Jack Scott, Alban Hills, 6419 Camino del Arrebol NW, Albuquerque, NM 87120

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

Phone: 505-858-3100
Fax: 505-858-1118

Handwritten mark

FACSIMILE TRANSMITTAL

To: Claire Senova

FAX: 924-3864

From: Sara Lavy

Subject: Stoneleigh on the Bosque

JN: 21069

TOTAL OF (2) PAGES

Date: 1-8-03

This is a deferral letter for Stoneleigh on the Bosque, project #1002371. Ron Bohannan will bring the original letter and check at the DRB meeting.

Handwritten mark

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1002371
DRB Application No.: _____

INFRASTRUCTURE LIST

**EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Stoneleigh on the Bosque Apartments
PROPOSED NAME OF SITE DEVELOPMENT PLAN**

**Tracts 1A, 1B and 1C, Block 15, Alban Hills Subdivision Unit 1
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

ORIGINAL

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer	
		24' F-E	Residential Paving, Curb and Gutter (North Side Only), 4' Sidewalk (North Side Only)	La Onilla Road	Coors Boulevard	East Property Line	/	/	/	
		12'	200' Deceleration Lane and Taper	Coors Boulevard	Main Entrance	200' South of Main Entrance	/	/	/	
		12'	900' Acceleration Lane and Taper	Coors Boulevard	Main Entrance	900' North of Main Entrance	/	/	/	
			Detention Pond	SE corner of site			/	/	/	
		8"	SAS Gravity Line	20' Public Easement	Existing 30" SAS	Tract 1-E	/	/	/	
		8"	SAS Gravity Line	20' Public Easement	20' Public Easement	Tract 1-D	/	/	/	
		48"	RCP Storm Sewer	Corrales Main Canal	East Parking Lot	Corrales Main Canal	/	/	/	
		24"	RCP Storm Sewer	20' Public Easement	Southeast Parking Lot	Northeast Parking Lot	/	/	/	
		4"	Force Main and Sump Pump	Detention Pond	SE Corner of Site	East Parking Lot	/	/	/	
			Sanitary Sewer to include Manholes and Service Connections as required.					/	/	/
			Catch Basins and RCP connections included with Storm Sewer					/	/	/
			Certified Grading and Drainage with Private Walls and Private Drainage (Non- work order item) Required for SIA/Financial Guarantee Release.					/	/	/

NOTES

1

2

3

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
----------------------	--

Ronald R. Bohannon
 NAME (print)

Tierra West LLC
 FIRM

[Signature]
 SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
 THE IMPROVEMENTS WITHOUT A DRB
 EXTENSION: _____

 DRB CHAIR - date

 TRANSPORTATION DEVELOPMENT - date

 UTILITY DEVELOPMENT - date

 CITY ENGINEER - date

 PARKS & GENERAL SERVICES - date

 AMAFCA - date

 - date

 - date

DESIGN REVIEW COMMITTEE REVISIONS
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol -2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

DUPLICATE
City Of Albuquerque
Treasury Division

12/03/2002 X
RECEIPT# 00000802 W# 007 TRANS# 0019
ACCOUNT 441006 Fund 0000
ACTIVITY 4983000 TRSCC5
TRANS AMT \$215.00
J24 MISC
CK
\$215.00

APPLICANT NAME Seneca Investment
AGENT Tina West
ADDRESS 8509 Jefferson
PROJECT NO. 100 2371
APPLICATION NO. 02DRB 01824 / 01825

\$ 215⁰⁰ 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ _____ 441018 / 4971000 (Notification)

\$ 215⁰⁰ **Total amount due**

COLONIAL BANK
AN AFFILIATE OF THE COLONIAL BANCGROUP, INC.
DALLAS, TX 75225

8075

SENECA INVESTMENT
2305 CEDAR SPRINGS RD. #208
DALLAS, TX 75201-6932
PH. 214-265-8686

32-1769/1110
06
11/26/2002

**215.00

PAY TO THE ORDER OF City of Albuquerque

Two Hundred Fifteen and 00/100***** DOLLARS

City of Albuquerque
P O Box 1293
Albuquerque, NM 87103

Tina West

MEMO

⑈008075⑈ ⑈111017694⑈ 9002011161⑈

INFRASTRUCTURE LIST

Claire

Date Submitted: _____
Date Site Plan Approved: 2/5/03
Date Preliminary Plat Approved: 2/5/03
Date Preliminary Plat Expires: N/A
DRB Project No.: 1002371
DRB Application No.: 02DRB-01825
02DRB-01824

ORIGINAL

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Stoneleigh on the Bosque Apartments
PROPOSED NAME OF SITE DEVELOPMENT PLAN

Tracts 1A, 1B and 1C, Block 15, Alban Hills Subdivision Unit 1
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		24' F-E	Residential Paving, Curb and Gutter (North Side Only), 4' Sidewalk (North Side Only)	La Orilla Road	Coors Boulevard	East Property Line	/	/	/
		12'	200' Deceleration Lane and Taper	Coors Boulevard	Main Entrance	200' South of Main Entrance	/	/	/
		12'	900' Acceleration Lane and Taper	Coors Boulevard	Main Entrance	900' North of Main Entrance	/	/	/
		11'	Pedestrian Trail	La Orilla Road	West Property Line	230' West of East Property Line	/	/	/
		10'	Asphalt Trail	Coors Boulevard	South Property Line	North Property Line	/	/	/
			Detention Pond <i>(Agreement & Covenant)</i>	SE corner of site			/	/	/
		10"	PVC Water Line	20' Public Easement	North Property Line	La Orilla Road	/	/	/
		8"	SAS Gravity Line	20' Public Easement	La Orilla Road	Tract 1-E	/	/	/
		8"	SAS Gravity Line	20' Public Easement	20' Public Easement	Tract 1-D	/	/	/
		24"	RCP Storm Sewer	Corrales Main Canal	East Parking Lot	Corrales Main Canal	/	/	/
		4"	Force Main and Sump Pump	Detention Pond	SE Corner of Site	East Parking Lot	/	/	/

Sanitary Sewer to include Manholes and Service Connections as required.

Catch Basins and RCP connections included with Storm Sewer

Certified Grading and Drainage with Private Walls and Private Drainage (Non-work order item) Required for SIA Financial Guarantee Release.

ORIGINAL

- NOTES
- 1 6' Bike Lane on COORS. from North PL to South PL
 - 2
 - 3

AGENT / OWNER

Sara Lamy
 NAME (print)
Tierra West
 FIRM
Sara Lamy 1/30/03
 SIGNATURE date
 MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: 2-05-03

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

<i>Steven Peterson 2/6/03</i> DRB CHAIR - date	<i>Christina Landoval 2/5/03</i> PARKS & GENERAL SERVICES - date <i>Recreation</i>
<i>R. Douke 2-05-03</i> TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
<i>Roger Green 2/5/03</i> UTILITY DEVELOPMENT - date	_____ - date
<i>Bradly L. Bigham 2/5/03</i> CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



DRB CASE ACTION LOG

REVISED 8/20/2002

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No. 02 DRB-01824

Project # 1002371 OS

Project Name Brook Allen

EPC Application No. _____

Agent Mark Goodwin

Phone No. 878-2225

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/5/03 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION:

-
-
-
-

UTILITIES:

- Need Fire Marshal Approval
- Review landscape plan to remove trees from 35x25
- note easement.
-
-

CITY ENGINEER / AMAFGA:

- SIA
-
-
-

PARKS / CIP:

-
-
-
-

PLANNING (Last to sign):

- See comments dated _____
- EPC comments (name) _____
- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.

Project Number 1002371

ONE STOP OP . . . FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4th Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

Hoffantown West

AGENT

Tierra West

ADDRESS

8509 Jefferson

PROJECT NO.

1002371

APPLICATION NO.

03DRB 02086

\$ 285⁰⁰ 441006 / 4983000 (DRB Cases)

\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ _____ 441018 / 4971000 (Notification)

\$ 285⁰⁰ Total amount due

TIERRA WEST LLC
8509 JEFFERSON NE
ALBUQUERQUE, NM 87113
(505) 858-3100

1505

95-677/1070

DATE 12.9.03

PAY TO THE ORDER OF

City of Albuquerque

\$ 285⁰⁰

Two hundred eighty five and no/100

TWENTY EIGHT DOLLARS

City of Albuquerque
Treasury Division

HIGH DESERT STATE BANK
Member FDIC
8110 Ventura NE
Albuquerque, NM 87122

FOR

12/09/2003

12:59 PM

LDC: ANN

Donna J. Bohannon

⑈001505⑈ ⑈107006677⑈0100201813⑈ # 0001/12 WS# 008

Account 441006 Fund 0110

ACTIVITY 4703000

Trans Amt \$285.00

J24 Misc. 10/28/03 \$285.00

CK \$285.00

CHANGE \$0.00



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002371

AGENDA ITEM NO: 10

SUBJECT:

- | | | |
|------------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: **(UD)** **(CE)** (TRANS) (PKS) (PLNG)

FOR:

(FP)

SIA

(CE)

(PKS)

MARGO

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: February 5, 2003



DRB CASE ACTION LOG

REVISED 8/20/2002

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No: ~~02-024~~ ~~(SDP)~~ 02-01825
(P&F)

Project # 1002371

Project Name: STONELEIGH ON THE BOSQUE

EPC Application No.: Z-98-30

Agent: Tierra West LLC

Phone No.:

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/5/03 by the DRB with delegation of signature(s) to the following departments
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____
 MRG D Signature

PARKS / CIP: see Space & C.I.L. payment

PLANNING (Let to sign) _____
 See comments dated _____
 EPC comments (name) _____
 Planning must record this plat. Please submit the following items:
-The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
-Tax payment from the County Assessor.
 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.

Rec. - PKF file

Project Number

1002371



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 5, 2003 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9 a.m. Adjourned: 11:25 a.m.
- B. Changes and/or Additions to the Agenda
- C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000355**
03DRB-00023 Major-Vacation of Public Easements

CARTESIAN SURVEYS INC agent(s) for SIVAGE THOMAS HOMES request(s) the above action(s) for all or a portion of Lot(s) 8, 9, 10 AND 11, **DESERT MOUNTAIN @ HIGH DESERT**, zoned SU-2/ HD / R-LT, located on SLATERIDGE PL NE, between ACADEMY NE AND SPAIN NE EAST OF TRAMWAY containing approximately 1 acre(s). (E-23) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- 03DRB-00027 Minor-Prel & Final Plat

CARTESIAN SURVEYS INC agent(s) for SIVAGE THOMAS HOMES request(s) the above action(s) for all or a portion of Lot(s) 8, 9, 10 AND 11, Block(s) G, Unit 2, **DESERT MOUNTAIN @ HIGH DESERT**, zoned SU-2/ HD / R-LT, located on SLATERIDGE PL NE, between ACADEMY NE AND SPAIN NE EAST OF TRAMWAY containing approximately 1 acre(s). (E-23) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING.**

2. **Project # 1001267**
03DRB-00021 Major-Preliminary Plat Approval
03DRB-00022 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 46-48, **DESERT PINE UNIT 4**, TOWN OF ATRISCO GRANT, zoned RD-9, located on SUNSET GARDENS SW, between EUCARIZ AVE SW and SUNSET GARDENS SW containing approximately 16 acre(s). [REF: 01DRB-01009, 01EPC-00728] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 2/19/03.**

3. **Project # 1001306**
03DRB-00038 Major-Bulk Land Variance
03DRB-00039 Major-Vacation of Pub Right-
of-Way
03DRB-00040 Major-Final Plat Approval

SURV-TEK INC agent(s) for CURB WEST/WEST FORK LTD/TRAILS MANAGEMENT request(s) the above action(s) for all or a portion of Tract(s) 1B1C, 1B1D, 1B1E and 1B1G, **SEVILLE SUBDIVISION**, zoned R-LT, located on NORTH OF IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA BLVD NW containing approximately 48 acre(s). [REF: 02DRB-01250, 02DRB-01381] (A-10) **BULK LAND VARIANCE APPROVED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT.**

4. **Project # 1002025**
03DRB-00044 Major-Preliminary Plat
Approval
03DRB-00045 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). (K-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/5/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/9/02 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 03DRB-00138 Minor-SiteDev Plan
BldPermit/EPC
03DRB-00139 Minor-Amnd SiteDev Plan
Subd/EPC

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s).[REF: 02EPC-01435, 02EPC-01142] **[Makita Hill, EPC Case Planner] (K-9) SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT. THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT.**

5. **Project # 1002092**
03DRB-00041 Major-Vacation of Pub Right-of-Way

BOHANNAN HUSTON INC agent(s) for OXBOW BLUFF HOMEOWNERS ASSOCIATION request(s) the above action(s) for all or a portion of Lot(s) 1-63, **OXBOW BLUFF SUBDIVISION**, zoned SU-3, located on OXBOW DR NW, between COORS BLVD NW and RIO GRANDE RIVER NW containing approximately 41 acre(s). [REF: DRB-97-501] (G-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION.**

03DRB-00131 Minor-Final Plat Approval

BOHANNAN HUSTON INC agent(s) for OXBOW NORTH LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, **ARCHDIOCESE OF SANTA FE, OXBOW NORTH**, zoned SU-3, located on OXBOW DR NW, EAST OF COORS BLVD NW, SOUTH OF NAMASTE DR NW AND NORTH OF ST PIUS X HIGH SCHOOL containing approximately 41 acre(s). [REF: 02-01371, 02-01375, 02-01068, 02-01376] (G-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS AND PLANNING.**

6. **Project # 1002132**

03DRB-00031 Major-Preliminary Plat
Approval
03DRB-00032 Major-Vacation of Public
Easements
03DRB-00033 Minor-Sidewalk Waiver
03DRB-00034 Minor-Sidewalk Variance
03DRB-00035 Minor-Temp Defer SDWK

03DRB-00135 Minor-SiteDev Plan Subd/EPC
03DRB-00137 Minor-SiteDev Plan
BldPermit/EPC

BOHANNAN HUSTON, INC. agent(s) for T. S. MCNANEY & ASSOCIATES, request(s) the above action(s) for all or a portion of Tract(s) G (to be known as **VILLA DE VILLAGIO SUBDIVISION**, VILLAGE CENTER NORTH, zoned SU-1 / R-2 special use zone, located EAST OF UNSER BLVD NW, between WESTSIDE BLVD NW and MCMAHON BLVD NW containing approximately 13 acre(s). [REF: 02-01190 (SK)] [DEFERRED FROM 2/5/03] (A-11) **DEFERRED AT THE AGENT'S REQUEST TO 2/12/03.**

CONSENSUS PLANNING INC agent(s) for T S MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) G, VILLAGE CENTER NORTH SUBDIVISION, (to be known as **VILLA DE VILLAGIO SUBDIVISION**, zoned SU-1 / R-2, located WEST OF UNSER BLVD NW, SOUTH OF SUMMER RIDGE RD NW, containing approximately 14 acre(s). [REF: 1000898 / 02EPC-001347, 1000898 / 02EPC-001348, 1000898 / 03EPC-00031] [Russell Brito, EPC Case Planner] [DEFERRED FROM 2/5/03] (A-11) **DEFERRED AT THE AGENT'S REQUEST TO 2/12/03.**

7. **Project # 1002375**

02DRB-01852 Major-Vacation of Pub Right-
of-Way

JOSE L. PADILLA request(s) the above action(s) for all or a portion of Lot(s) 1-5 & E-H, Block(s) 3A **PALISADES ADDITION**, zoned C-1, located on BLUEWATER RD NW, between YUCCA NW and PLANO NW containing approximately 2 acre(s). [Deferred from 1/8/03] (J-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

8. **Project # 1001866**
02DRB-01848 Major-Preliminary Plat
Approval
02DRB-01849 Minor – Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for NORTH VALLEY DEVELOPMENT LTD., LLC, request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, ALVARADO ADDITION, **CAMPBELL FARM SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW BETWEEN RIO GRANDE BLVD NW AND THE GRIEGOS DRAIN, containing approximately 5 acre(s). [REF: 02500-00540 (SK)] [Deferred from 1/22/03] (G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/5/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/3/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

9. **Project # 1001986**
02DRB-01927 Major-Preliminary Plat
Approval
02DRB-01928 Minor-Temp Defer SDWK
02DRB-01929 Minor-Subd Design Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for RIO OESTE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) D & E (to be known as **RIO OESTE SUBDIVISION**, TAYLOR RANCH, zoned R-1, located on COORS BLVD NW, between LA ORILLA NW and MONTANO PLAZA DR NW containing approximately 10 acre(s). [Deferred from 2/5/03] (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/12/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1002371**
02DRB-01824 Minor-SiteDev Plan
BldPermit/EPC
02DRB-01825 Minor-Prelim&Final Plat
Approval
- TIERRA WEST LLC agent(s) for SENECA INVESTMENT COMPANY request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A, 1B & 1C, **ALBAN HILLS UNIT 1, (to be known as STONELEIGH ON THE BOSQUE APARTMENTS)** zoned SU-1/R-2, located on COORS BLVD NW, between LA ORILLA RD NW and CORRALES MAIN CANAL containing approximately 18 acre(s). [REF: Z-98-30, DRB-98-113, DRB-98-375] **[Russell Brito, EPC Case Planner]** [Deferred from 12/11/02 AND 1/8/03] (D-12) **SITE PLAN FOR BUILDING PERMIT WAX APPROVED WITH FINAL SIGN OFF DELEGATED OT CITY ENGINEER (SIA) AND UTILITIES DEVELOPMENT. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/45/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/2/02 THE PRELIMINARY PLAT WAS APPROVE WITH FINAL PLAT SIGN OFF DELEGATED TO PARKS AND CITY ENGINEER.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000662**
03DRB-00130 Minor-Vacation of Private
Easements
- TIERRA WEST, LLC agent(s) for JONES DEVELOPMENT CO. request(s) the above action(s) for all or a portion of Tract(s) 3A3-A-2-A, **RENAISSANCE CENTER**, zoned SU-1 special use zone, FOR I-P, located on MISSION AVE NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 6 acre(s). [REF: 02DRB-01115, 02DRB-00656, 01DRB-00359, 00DRB-01283, Z-99-105, DRB-98-277] (F-16) **VACATION APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

12. **Project # 1001786**
03DRB-00128 Minor-Ext of SIA for Temp
Defer SDWK
- WILLIAM T. CANIGLIA agent(s) for THE GARDENS, INC. request(s) the above action(s) for all or a portion of Lot(s) 1, 3, 4, 5, 7, 19, 24, 25, 26, 33 AND 35, UNIT I, Tract(s) C-3, **THE GARDENS ON THE RIO GRANDE**, zoned RA-1 residential and agricultural zone, semi-urban area, located on the SOUTH SIDE OF MOUNTAIN RD NW, between LAGUNA SECA LN NW and ALAMEDA DRAIN containing approximately 18 acre(s). [REF: 02DRB-00381] (J-12) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
13. **Project # 1002094**
03DRB-00134 Minor-Final Plat Approval
- WAYJOHN SURVEYING INC. agent(s) for TRELIS PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) A, ALVARADO GARDENS, UNIT 2, **LA TIERRA QUE CANTA**, zoned RA-2, located on TRELIS DR NW, between CAMPBELL RD NW and ORO VISTA NW containing approximately 3 acre(s). [REF: ZA-78-16, 02DRB-01069, SP-78-134] (G-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS, CITY ENGINEER AND PLANNING.**

14. **Project # 1002377**
03DRB-00126 Minor-Temp Defer SDWK

SURV-TEK, INC. agent(s) for ALBUQUERQUE CHRISTIAN CHILDREN'S HOME request(s) the above action(s) for all or a portion of Tract(s) B-1A, **LANDS OF JOEL P. TAYLOR & UNPLATTED LANDS**, zoned SU-1 special use zone, P D A, A-1, located on the EAST SIDE OF WINTER HAVEN RD NW, between MONTANO RD NW and MONTANO PLAZA DR NW containing approximately 13 acre(s). [REF: DRB-95-469, Z-90-10, AX-90-53,] (E-12) **TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION WAS WITHDRAWN AT THE AGENT'S REQUEST.**

02DRB-01860 Minor-Prelim&Final Plat Approval

SURV-TEK, INC. agent(s) for ALBUQUERQUE CHRISTIAN CHILDREN'S HOME request(s) the above action(s) for all or a portion of Tract(s) B-1A, **LANDS OF JOEL P. TAYLOR & UNPLATTED LANDS**, zoned SU-1 special use zone, P D A, A-1, located on the EAST SIDE OF WINTER HAVEN RD NW, between MONTANO RD NW and MONTANO PLAZA DR NW containing approximately 13 acre(s). [REF:DRB-95-469,Z-90-10,AX-90-53](E-12) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT.**

15. **Project # 1002378**
03DRB-00136 Minor-Prelim&Final Plat Approval

WAYJOHN SURVEYING INC. agent(s) for THOMAS HEFLIN request(s) the above action(s) for all or a portion of Lot(s) 9, **LA CUEVA TOWN CENTER** and Lots 9, 10, 23, 24, Block 30, Unit 3, Tract 2, **North Albuquerque Acres**, zoned O-1, located on CARMEL AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 5 acre(s). [REF: DRB-98-402, ZA-98-109, V-96-109, 00128-00466, 00450-00876, 02DRB-01749] (C-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER AND PLANNING.**

16. **Project # 1000147**
02DRB-01961 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES, PA agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC., request(s) the above a action(s) for all or a portion of Tract(s) A, Unit 1, **WHISPERING POINTE SUBDIVISION, UNIT 2**, zoned R-D residential and related uses zone, developing area, 9DU/AC, located on the southside of SUNSET GARDENS RD SW, between 82ND ST SW and UNSER BLVD SW containing approximately 16 acre(s). [REF: DRB-97-497, Z-97-78, 01DRB-00128 FP, 00DRB-00077 XT PP, 01DRB-00005 XPP01DRB-00039 AmPP][Deferred from 1/29/03](L-10) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:

IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED

17. **Project # 1002449**
03DRB-00111 Minor-Sketch Plat or Plan
- SURVEYS SOUTHWEST LTD agent(s) for JESSIE P MONTOYA request(s) the above action(s) for all or a portion of Tract(s) 133A-1-A-1-A, **MRGCD MAP 39**, zoned R-1, located on ARENAL MAIN CANAL SW, between BLUEWATER SW and ATRISCO DR SW containing approximately 2 acre(s). (J-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1002452**
03DRB-00129 Minor-Sketch Plat or Plan
- WILSON & COMPANY, INC. agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE, request(s) the above action(s) for all or a portion of Lot 6, Tract(s) A , B & 1-6, **LANDS OF RAY A. GRAHAM III, OVENWEST**, zoned SU-1 special use zone, FOR C-2, O-1, & PRD (10 DU/AC), located on the EAST SIDE OF COORS BLVD NW, between LEARNING RD NW and MONTANO RD NW containing approximately 71 acre(s). [REF: 02DRB-00058,02DRB-00059,02DRB-00116,02-01543] (E-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Approval of the Development Review Board Minutes for January 22, 2003. THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.

20. Other Matters: NONE

ADJOURNED: 11:25 A.M.



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002371

AGENDA ITEM NO: 17

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved conceptual grading and drainage plan dated 8-2-02 is on file for site plan sign-off by the City Engineer / AMAFCA.

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

RESOLUTION:

2-5-03

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: January 8, 2003

2. **Project # 1000269**
02DRB-01878 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 NM request(s) the above action(s) for all or a portion of Tract(s) 5B2C1A1, **RENAISSANCE CENTER**, zoned SU-1 for C-2, located on CULTURE DR NE, between MONTANO RD NE and MERCANTILE AVE NE containing approximately 1 acre(s). [REF: DRB 96-242, 00460-00802, 00440-01433, 00420-01434, 00420-01435] (F-16) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1000950**
02DRB-01875 Major-Two Year SIA

DINESH C. KHOLWADWALA request(s) the above action(s) for all or a portion of Lot(s) 4A1, **MENAU DEVELOPMENT**, zoned M-1 light manufacturing zone, located on MENAU BLVD NE, between UNIVERSITY BLVD NE and PRINCETON DR NE containing approximately 3 acre(s). [REF: 00410-01688, DRB-99-107, V-99-41, Z-98-21] (H-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/8/03 A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1000131**
02DRB-01897 Major – Two Year SIA
02DRB-01898 Minor – Ext. SIA Temp
Deferral of Sdwks

MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Sections 28, 29, 32, 33 - T10R3, **BROADWAY INDUSTRIAL CENTER, UNIT 3**, zoned SU-2 MH, located on SAN JOSE AVE SE BETWEEN BROADWAY BLVD SE AND I-25 containing approximately 60 acre(s). [REF: DRB-99-8, 02DRB-00400, 02DRB-00402, 01DRB-01559, 01DRB-01791] (M-14) **A TWO YEAR EXTENSION OF THE SIA WAS APPROVED. THE EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALKS WAS WITHDRAWN. THE INFRASTRUCTURE LIST WILL BE REVISED TO REMOVE ANY OUTSTANDING SIDEWALK IMPROVEMENTS.**

5. **Project # 1000408**
02DRB-01855 Major-Preliminary Plat
Approval
02DRB-01856 Minor-Sidewalk Variance
02DRB-01857 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES, PA, agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC. request(s) the above action(s) for all or a portion of Tract(s) 490 & 91, **SAGE POINTE SUBDIVISION**, TOWN OF ATRISCO GRANT #7, zoned R-D residential and related uses zone, developing area, 14 DU/AC, located on the SOUTH SIDE OF SAGE RD SW, between 82ND ST SW and 86TH ST SW containing approximately 10 acre(s). [REF: DRB-99-21, 00440-00438 XPP, 01440-00353 XPP, 02DRB-00365 XPP, 02DRB-00492 AMPP] (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**
6. **Project # 1001866**
02DRB-01848 Major-Preliminary Plat
Approval
02DRB-01849 Minor – Temp Defer
SDWK
- MARK GOODWIN & ASSOCIATES, PA, agent(s) for NORTH VALLEY DEVELOPMENT LTD., LLC, request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, ALVARADO ADDITION, **CAMPBELL FARM SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW BETWEEN RIO GRANDE BLVD NW AND THE GRIEGOS DRAIN, containing approximately 5 acre(s). [REF: 02500-00540 (SK)] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 1/22/03.**

7. **Project # 1001993**
02DRB-01841 Major-Vacation of Pub
Right-of-Way
02DRB-01842 Minor-Prelim&Final
Plat Approval

JEFF MORTENSEN & ASSOC., INC. agent(s) for CITY OF ALBUQUERQUE & SHIRLEY LESLIE request(s) the above action(s) for all or a portion of Lot(s) F & G, **ACADEMY PLACE SUBDIVISION**, zoned R-2 residential zone & C-1, located on the SOUTH SIDE OF OSUNA RD NE, between JUAN TABO BLVD NE and MORRIS ST NE containing approximately 4 acre(s). [REF: 02DRB-01545 SK, 02EPC-00825 ZMA, 02EPC-00824 SDP, 02EPC-00844 SDP] (F-21) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT DELEGATED TO PLANNING TO RECORD.**

- 02DRB-01960 Minor-SiteDev Plan
BldPermit/EPC

SITES SOUTHWEST agent(s) for CITY OF ALBUQUERQUE, PUBLIC WORKS request(s) the above action(s) for all or a portion of Tract(s) F1, **ACADEMY PLACE SUBDIVISION**, zoned R-1 residential zone, located on the southside of OSUNA RD NE, between JUAN TABO BLVD NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 01EPC-00824 SDP, 02EPC-00825 ZMA, 02DRB-01841 & 2] [**Debbie Stover, EPC Case Planner**] (F-21) **WITH THE SIGNING OF THE INFRASTRUCRE LIST DATED 1/8/03 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

8. **Project # 1002250**
02DRB-01882 Major-Bulk Land Variance
02DRB-01886 Minor-Prelim&Final Plat
Approval
02DRB-01887 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A-1, **VENTANA RANCH**, zoned SU-1 for RT, located on UNIVERSE BLVD NW, between IRVING BLVD NW and VENTANA RD NW containing approximately 23 acre(s). [REF: 02EPC-01480, DRB-99-54] (B-10) THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.

02DRB-01890 Minor-Amnd SiteDev Plan
Subd/EPC
02DRB-01891 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for SANDIA PROPERTIES LTD CO request(s) the above action(s) for all or a portion of Tract (s) A1 and A2, **VENTANA RANCH**, zoned SU-1 for R2 & SU-1 for Church/R2, located on UNIVERSE BLVD NW, between VENTANA RD NW and IRVING BLVD NW containing approximagley 28 acre(s). [REF: Z-94-105, Z-98-111, DRB-99-54/S-99-17, 02EPC-01480, 02EPC-01481] [Makita Hill, EPC Case Planner] (B-10) THE AMENDED SITE DEVLEOMETN PLAN WSA APPROVED WITH FINAL SIGN OFF DELEGTED TO CITY ENGINEER. WITH THE SIGNING OF THE INFRASTRUCRTUE LIST DATED 1/8/03 THE SITE DEVLEOPMETN PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEHGATED TO CITY ENGINEER FOR SIA.

9. **Project # 1001932**
02DRB-01810 Major-Vacation of Public Easements

MARK GOODWIN & ASSOCIATES, PA, agent(s) for K B HOME NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) 5A1A, B1, A1, 393, 392, and 391, **WEST RIDGE SUBDIVISION**, zoned SU-1/RD, located on UNSER BLVD NW, between OLD OURAY RD NW and NEW OURAY RD NW containing approximately 38 acre(s). **[SHOWN AS PROJECT # 1002368 IN ERROR]** (G-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

02DRB-01578 Major-Preliminary Plat Approval
02DRB-01579 Major-Vacation of Pub Right-of-Way
02DRB-01580 Major-Vacation of Public Easements
02DRB-01581 Major- SiteDev Plan Subd
02DRB-01583 Minor-Sidewalk Waiver
02DRB-01584 Minor-Temp Deferral of SW Construction

MARK GOODWIN & ASSOCIATES, agent(s) for K B HOME NEW MEXICO, request(s) the above action(s) for all or a portion of Tract(s) 5A1A & A1B, VOLCANO BUSINESS PARK, PHASE 1, Tract(s) A1 & B1, EL RANCHO ATRISCO, PHASE II, Tract(s) 391-393, LANDS OF PLAINS ELECTRIC COOP INC., AND A PORTION OF VACATED OLD OURAY RD NW, (to be known as **WEST RIDGE SUBDIVISION**, zoned SU-1 special use zone, IP, C-1 & PUB. UTIL., located on the east side of UNSER BLVD NW, between OLD OURAY RD NW and NEW OURAY RD NW containing approximately 38 acre(s). [REF: 02DRB-00690 SK PL] [DEFERRED FROM 11/13/02, 12/4/02 & 12/18/02] (DEFERRED FROM 12/18/02) (G-9/10, H-9/10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/2/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRED OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1002375**
02DRB-01852 Major-Vacation of Pub Right-of-Way

JOSE L. PADILLA request(s) the above action(s) for all or a portion of Lot(s) 1-5 & E-H, Block(s) 3A **PALISADES ADDITION**, zoned C-1, located on BLUEWATER RD NW, between YUCCA NW and PLANO NW containing approximately 2 acre(s). (J-11) **DEFERRED AT THE AGENT'S REQUEST TO 2/5/03.**

11. **Project # 1002384**
02DRB-01895 Major-SiteDev Plan
BldPermit
- 02DRB-01896 Major-SiteDev Plan
BldPermit
- 02DRB-01879 Major-Preliminary Plat
Approval
02DRB-01880 Major-Vacation of Pub
Right-of-Way
02DRB-01883 Major-Vacation of Public
Easements
02DRB-01884 Minor-Sidewalk Waiver
02DRB-01885 Minor-Temp Defer SDWK
- 02DRB-01892 Minor-SiteDev Plan
Subd/EPC
02DRB-01893 Minor-SiteDev Plan
BldPermit/EPC
- CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as **RANCHO ENCANTADO SUR**) COORS VILLAGE, zoned SU-3 special center zone, located on WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 11 acre(s). [REF: 01138-01744, Z-95-94, Z-99-84, DRB-95-195, DRB-96-361] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**
- CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as **RANCHO ENCANTADO NORTE**) COORS VILLAGE, zoned SU-3, located on WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 17 acre(s). [REF: 01138-01744, Z-95-94, Z-99-84, DRB-95-195, DRB-96-361] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**
- BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 and 4, **RANCHO ENCANTADO NORTE, RANCHO ENCANTADO SUR AND CONDOMINIUM SUBDIVISIONS**, zoned SU-3 special center zone, located on the southside of WESTERN TR NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 17 acre(s). [REF: 02EPC-01165, 02EPC-01170, 02EPC-01161] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**
- CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 4B, **COORS VILLAGE**, zoned SU-3 special center zone, located on the southside of WESTERN TR NW, between ATRISCO DR NW and COORS BLVD NW [REF: 02DRB-01879, 02EPC-01170, 01138-01744, DBB-96-361, DRB-95-195, Z-99-84] [**Juanita Vigil, EPC Case Planner**] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**

12. **Project # 1002141**
02DRB-01230 Major-Vacation of Pub
Right-of-Way
- TIERRA WEST, LLC agent(s) for PAUL SLONE request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) 2, **PUEBLO ALTO ADDITION**, zoned C-2 community commercial zone, located south of MARBLE AVE NE, between MANZANO ST NE and TRUMAN ST NE. [REF: DRB-99-193, 1001686, 02500-00489] [DEFERRED FROM 11/13/02 & 12/4/02] (J-17) **DEFERRED AT THE AGENT'S REQUEST TO 2/13/03.**
13. **Project # 1002351**
02DRB-01758 Major-Preliminary Plat
Approval
02DRB-01759 Minor-Temp Defer SDWK
- SURV-TEK, INC. agent(s) for CURB WEST, INC & WESTFORK LIMITED request(s) the above action(s) for all or a portion of Tract(s) 1-B-1-C and Tracts 1-B-1-D, 1-B-1-E, 1-B-1-F, 1-B-1-G, **SEVILLE SUBDIVISION**, zoned R-LT, located on KAYENTA BLVD NW, between IRVING BLVD NW and UNIVERSE BLVD NW containing approximately 48 acre(s). [REF: 1001306, 02-01250, 02-01381] [DEFERRED FROM 12/18/02] (A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/6/03 THE PRELIMINARY PLAT IS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

14. **Project # 1002338**
02DRB-01905 Minor-SiteDev Plan
BldPermit
- JOHN E. MECHENBIER request(s) the above action(s) for all or a portion of Lot(s) 27, 28 and 29, Block(s) 3, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned IP industrial park zone, located on VENICE AVE NE, between WEST I-25 FRONTAGE RD NE and SAN MATEO BLVD NE containing approximately 3 acre(s). [REF: 02DRB-01709] (B-18) **WITH THE SIGNING OF THE INFRASTURE LIST DATED 1/8/03 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVE DWITH FINAL ISGN OFF DELEGATED TO CITYENGINEER FOR SIA AND PLANNING.**
15. **Project # 1001984**
02DRB-01963 Minor-SiteDev Plan
Subd/EPC
02DRB-01964 Minor-SiteDev Plan
BldPermit/EPC
- BPLW ARCHITECTS & ENGINEERS INC. agent(s) for RICH FORD request(s) the above action(s) for all or a portion of Lot(s) A and A and B, Tract(s) B-1 of A & B, **HYDER & MAISEL SUBDIVISION**, zoned C-2 and P, located on LOMAS BLVD NE, between WYOMING BLVD NE and I-40 NE containing approximately 18 acre(s). [REF: 02EPC-00826, 02EPC-00827, 02EPC-00828] [**Juanita Vigil, EPC Case Planner**] (J-20) **INDEFINITELY DEFERERD AT THE AGENT'S REQUEST TO BE HEARD WITH THE PLAT.**

16. **Project # 1000651**
02DRB-01946 Minor-Prelim&Final
Plat Approval
02DRB-01947 Minor-SiteDev Plan
Subd/EPC
- TIERRA WEST LLC agent(s) for TIJERAS PLACE LLC - SERIES B request(s) the above action(s) for all or a portion of Tract(s) A29A, **TOWN OF ATRISCO GRANT NE**, zoned SU-1 FOR PDA & C-1 USES & OFFICES, located on the southside of REDLANDS RD NW, between COORS BLVD NW and CORONA DR NW, containing approximately 4 acre(s). [REF: 02EPC-00311] [**Debbie Stover, EPC Case Planner**] (G-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LSIT DATED 1/8/03 THE PRELIMANRY PLAT WAS APPROVED. THE SITE PLAN FOR SUBDIVISION WSA APPROVED WITH FINAL SIGN OFF DELEGTED TO CITY ENGINEER FOR SIA. FINAL PLAT WAS INTEDINITLEY DEFERRED FOR FRONT COUNTER ROUTING.**
17. **Project # 1002371**
02DRB-01824 Minor-SiteDev Plan
BldPermit/EPC
02DRB-01825 Minor-Prelim&Final
Plat Approval
- TIERRA WEST LLC agent(s) for SENECA INVESTMENT COMPANY request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A, 1B & 1C, **ALBAN HILLS UNIT 1, (to be known as STONELEIGH ON THE BOSQUE APARTMENTS)** zoned SU-1/R-2, located on COORS BLVD NW, between LA ORILLA RD NW and CORRALES MAIN CANAL containing approximately 18 acre(s). [REF: Z-98-30, DRB-98-113, DRB-98-375] [**Russell Brito, EPC Case Planner**] [Deferred from 12/11/02 AND 1/8/03] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/5/03.**

18. **Project # 1000060**
02DRB-01453 Minor-SiteDev Plan
BldPermit/EPC

BOHANNAN HUSTON, INC. agent(s) for JOHN Q. HAMMONS INDUSTRIES request(s) the above action(s) for all or a portion of Tract(s) B & C, **GATEWAY SUBDIVISION**, zoned SU-2/C-3, located on LOMAS BLVD. NE, between INTERSTATE 25 and WOODWARD PL NE containing approximately 20 acre(s). [REF: 00128 00904] [Russell Brito, EPC Case Planner] [DEFERRED FROM 11/27/02] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 1/22/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

19. **Project # 1000147**
02DRB-01961 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC., request(s) the above a action(s) for all or a portion of Tract(s) A, Unit 1, **WHISPERING POINTE SUBDIVISION, UNIT 2**, zoned R-D residential and related uses zone, developing area, 9DU/AC, located on the southside of SUNSET GARDENS RD SW, between 82ND ST SW and UNSER BLVD SW containing approximately 16 acre(s). [REF: DRB-97-497, Z-97-78, 01DRB-00128 FP, 00DRB-00077 XT PP, 01DRB-00005 XT PP, 01DRB-00039 AmPP][Deferred from 1/8/03] (L-10) **DEFERRED AT THE AGENT'S REUEST TO 1/29/03.**

20. **Project # 1000150**
02DRB-01877 Minor-Extension of
Preliminary Plat
- WESTLAND DEVELOPMENT CO., INC., request(s) the above action(s) for **THE CROSSING (UNIT 2)**, zoned R-D residential and related uses zone, developing area, located 1/2 MILE WEST OF UNSER BLVD NW, between LADERA DR NW and 98TH ST NW containing approximately 30 acre(s). [REF: 01500-01852, 01440-00106] (H-9) **A ONE-YEAR EXTENSION TO THE DPRELIMANRY PATL WAS APRROVED TO JANUARY 8, 2004.**
21. **Project # 1000941**
02DRB-01901 Minor-Ext of SIA for
Temp Defer SDWK
- COMMUNITY SCIENCES CORP. agent(s) for PARADISE BLUFF, LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 23, 32-34, 61-70, 83 and 84, Block A and Lot(s) 11, 12, 14-18, 20 and 21, Block D, **PARADISE BLUFF, UNIT 1**, zoned SU-1 special use zone, PRD, located on the southside of PARADISE BLVD NW, between JUSTIN DR NW and LILIENTHAL AVE NW containing approximately 6 acre(s). [REF: 01DRB-01150, 00DRB-01656, DRB-94-594, SU-94-61, V-94-128] (B-11) **A TWO-YEAR EXTENSION TO THE FOUR YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
22. **Project # 1001068**
02DRB-01888 Minor-Final Plat
Approval
- MARK GOODWIN & ASSOCIATES, PA agent(s) for MESA VERDE DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A, **DESERT RIDGE TRAILS**, zoned R-D residential and related uses zone, developing area, located on VISTAS DR NE, between EAGLE ROCK AVE NE and the LA CUEVA CHANNEL containing approximately 2 acre(s). [REF: 02DRB-01280 PP, 02DRB-01281 Am.SPS] (C-19) **DELEGATED OFF THE AGENDA 1/7/03.**

23. **Project # 1001534**
02DRB-01931 Minor-Prelim&Final
Plat Approval
- CLARK CONSULTING ENGINEERS agent(s) for LLAVE CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) A, **VINEYARD ESTATES, UNIT 4**, zoned RD residential zone, located on the eastside of VENTURA ST NE, between ANAHEIM AVE NE and CARMEL AVE NE containing approximately 2 acre(s). [REF: 01DRB-01446] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 1/29/03.**
24. **Project # 1002245**
02DRB-01907 Minor-Prelim&Final
Plat Approval
- SURVEYS SOUTHWEST, LTD agent(s) for MARK ADDY request(s) the above action(s) for all or a portion of Tract(s) A, **FOUR HILLS VILLAGE SHOPPING CENTER & APARTMENT COMPLEX**, zoned SU-1 special use zone, PDA, Res & Comm., located on CENTRAL AVE SE, between DORADO PL SE and TRAMWAY BLVD SE containing approximately 3 acre(s). [REF: ZA-80-52, ZA-82-70, 02DRB-01464] (L-22) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT.**
25. **Project # 1002276**
02DRB-01957 Minor-Prelim&Final
Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for EDWIN & MONA LESTER request(s) the above action(s) for all or a portion of Lot(s) 15 and 16, Unit 1, **SUNRISE TERRACE WEST**, zoned R-D residential and related uses zone, developing area, located on SHIRE ST SW, between TOWER RD SW and 114TH ST SW containing approximately 1 acre(s). [REF: 02DRB-01568] (L-8) **DELEGATED OFF THE AGENDA 1/7/03.**

26. **Project # 1002339**
02DRB-01958 Minor-Prelim&Final
Plat Approval

WAYJOHN SURVEYING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 10A, **ALVARADO GARDENS - UNIT 2**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW, between RIO GRANDE BLVD NW and TRELIS NW containing approximately 2 acre(s). [REF: 02DRB-01711] (G-12) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**

NO ACTION IS TAKEN ON THESE CASES:

IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED

27. **Project # 1002400**
02DRB-01935 Minor-Sketch Plat or
Plan

ABQ. ENGINEERING, INC. agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 18, **MONKBRIDGE ADDITION, LOS CANDELARIAS SUBDIVISION**, zoned SU-2 special neighborhood zone, R-T, located on the northside of CANDELARIA RD NW, between OTRA VEZ CT. NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, BA-874, Z-905] (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. Approval of the Development Review Board Minutes for December 11 and December 18, 2002. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**


Adjourned: 1 P.M.

MEMO

Date: 10 December 2002
To: Roger Green, DRB Chair
From: Russell Brito, Senior Planner
RE: Project # 1002371: 02DRB-01824 / 01825 (Z-98-30)

#5

The submitted site development plan meets the Environmental Planning Commission (EPC) Conditions of Approval.

A large, stylized handwritten mark or signature, possibly initials, located in the lower right quadrant of the page.



/

City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1002371
Application Number: 02DRB-01824

DRB Date: 12/11/02
Item Number: 5

Subdivision: Stoneleigh of the Bosque
Block 15, Tract 1A, 1B & 1C, Alban Hills Unit 1

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Zoning: SU-1/R-2

Zone Page: D-12

New Lots (or units) : 308

Parks and Recreation Comments:

The plat shows an existing M.R.G.C.D. easement on the East property line, M.R.G.C.D. disagrees with this note, and feels that it is part of the R.O.W, this needs to be verified by your surveyor.

The site plan shows a trail along the Corrales Main Canal, this area is under the jurisdiction of M.R.G.C.D. and they are not allowing this trail to be paved at this time. The requirement will be removed.

The trail on La Orilla will remain and needs to be added to the infrastructure list.

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the site plan and/or final plat, a fee in-lieu of and equal to the value of the required park land dedication for each dwelling unit will be required.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

The detached open space ordinance requires 2,400 or more square feet of open space per dwelling unit for properties zoned SU-1 that are not designated by the master plan as Redeveloping or Established Urban. Provide an open space table showing how this requirement is being met.

Signed: 

Christina Sandoval, (PRD)

Phone: 768-5328



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1209 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1002371

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|------------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

Comments on plat and Site Plan.

RESOLUTION:

1-8-03

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: December 11, 2002

~~CONFIDENTIAL~~

DEVELOPMENT REVIEW BOARD (DRB)
CITY OF ALBUQUERQUE

REVIEW COMMENTS

By the

UTILITY DEVELOPMENT SECTION (WATER & SEWER)

DEVELOPMENT & BUILDING SERVICES DIVISION
PUBLIC WORKS DEPARTMENT
PHONE 924-3989

D.R.B. CASE NO.: ~~98-23~~¹⁰⁰²³⁷¹ DATE: 12/11/02 ITEM NO.: ~~8~~ 5

ZONE ATLAS PAGE: D-12 LOCATION: Coors

REQUEST FOR: SD Plan for Sub'd & Build. Permit. La Orilla

COMMENTS:

~~10/27/99~~

(CONT) Five Marshall Signoff req'd

12/11/02

- Site Plan

- need Fire Marshal approval

- remove all Cottonwood trees from SAS, WL, and Meter Easements

- relocate public SAS to west P/L

- Plat

- add 10" WL to infrastructure list

- new 20' WL easement needs to move east to match Utility Plan

- relocate public SAS easements to utilize existing 12" SAS line in La Orilla

- clarify 20' WL easement on north side of property

- will need license agreement from either AMAFCA or MRGD for new 10" WL where it encroaches on Corrales Main Canal.

SIGNED:

Roger L. Ham

DATE:

12/11/02



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 11, 2002 9:00 a.m.

MEMBERS:

Roger Green, Acting DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Sheran Matson, Planning
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:52 A.M.
B. Changes and/or Additions to the Agenda
C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000849**
02DRB-01748 Major-Two Year SIA
1 SIA for Procedure "B" and
1 SIA for "B" Modified non-work order

UPWEST CORP., BILL WADE request(s) the above action(s) for all or a portion of **BREEZE AT MOUNTAIN GATE**, zoned SU-1 special use zone, PRD, located on the east side of FOUR HILLS RD SE, between FOUR HILLS RD SE and WATERFALL DR SE containing approximately 8 acre(s). [REF: 00410-01411 PPA, 01440-01601 EXT., 02DRB-01191] (L-23) **A ONE-YEAR EXTENSION OF THE TWO SIA'S WAS APPROVED.**

2. **Project # 1002378**
02DRB-01749 Major-Vacation of Pub
Right-of-Way

JEFF HENRY agent(s) for THOMAS HEFLIN request(s) the above action(s) for all or a portion of Lot(s) 9, **LA CUEVA TOWN CENTER**, zoned O-1, located on CARMEL AVE NW, between WYOMING NE and BARSTOW NE containing approximately 1 acre(s). [REF: ZA-98-10, DRB-98-402, V-96-109, 00EPC-00466, 00DRB-00876] [Advertised as Project #1000422 in error. Number was changed.] (C-19) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE CONDITION THAT ADEQUATE ACCESS SHALL BE PROVIDED TO LOT 8, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, BLOCK 20 TO THE SATISFACTION OF THE TRAFFIC ENGINEER.**

3. **Project # 1001081**
02DRB-01747 Major-Vacation of Pub
Right-of-Way

TIERRA WEST, LLC agent(s) for MENAUL DEVELOPMENT THREE, LLC & THE SAPIR FAMILY TRUST request(s) the above action(s) for all or a portion of Lot(s) 23 AND D-1 Tract(s) A, **SNOW HEIGHTS ADDITION** and Lot(s) 1, 2A, 2B, 2C, 3, 4, 5, **UNCLE DOC ADDITION, UNIT 2**, zoned C-2 and C-1, located on SNOW HEIGHTS CIRCLE NE, between MENAUL BLVD NE and EUBANK BLVD NE containing approximately 3 acre(s). [REF: 01128-00255, Vac. Ord. 1292] [Deferred from 12/11/02] (H-20) **DEFERRED AT THE AGENT'S REQUEST TO 1/22/03.**

4. **Project # 1002335**
02DRB-01698 Major-Preliminary Plat
Approval
02DRB-01699 Minor-Temp Defer SDWK
02DRB-01703 Major-SiteDev Plan
BldPermit
02DRB-01704 Major-SiteDev Plan Subd

WALLACE L. BINGHAM agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Lot(s) 17 & 18, Block(s) 5, Tract(s) A, North Albuquerque Acres, Unit 3, (to be known as **TREVISO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on Northside of WILSHIRE AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [REF: DRB-99-153 [DEFERRED FROM 11/27/02 & 12/11/02] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 12/18/02.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1002371**
02DRB-01824 Minor-SiteDev Plan
BldPermit/EPC
02DRB-01825 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for SENECA INVESTMENT COMPANY request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A, 1B & 1C, **ALBAN HILLS UNIT 1, (to be known as STONELEIGH ON THE BOSQUE APARTMENTS)** zoned SU-1/R-2, located on COORS BLVD NW, between LA ORILLA RD NW and CORRALES MAIN CANAL containing approximately 18 acre(s). [REF: Z-98-30, DRB-98-113, DRB-98-375] **[Russell Brito, EPC Case Planner]** [Deferred from 12/11/02] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 1/8/03.**

6. **Project # 1002115**
02DRB-01833 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for ROB DICKSON, PARADIGM & CO. request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, Block(s) 14, **HUNING HIGHLAND ADDITION**, zoned SU-2/NCR, located on CENTRAL AVE NE, between ARNO NE and EDITH NE containing approximately 1 acre(s). **[Mary Piscitelli, EPC Case Planner]** [Deferred from 12/11/02] (K-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/18/02.**

7.

Project # 1000184

02DRB-01831 Minor-Amended SiteDev
Plan BldPermit/EPC
02DRB-01832 Minor-Amended SiteDev
Plan Subd/EPC

DEKKER/PERICH/SABATINI agent(s) for ROB DICKSON request(s) the above action(s) for all or a portion of Tract(s) A-7, C-2A & C-3A, **BANNER SQUARE ADDITION**, zoned SU-2/SU-1/PUD, located on CENTRAL AVE AVE, between ARNO NE and EDITH NE containing approximately 1 acre(s). **[Mary Piscitelli, EPC Case Planner] (K-14) THE AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT AND PLANNING. THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT AND PLANNING.**

Project # 10000184

02DRB-01271 Minor-Prelim&Final Plat
Approval

SURVEY SOUTHWEST, LTD. agent(s) for CITY OF ALBUQUERQUE DEVELOPMENT SERVICES, request(s) the above action(s) for all or a portion of Tract(s) C-2A & 3A, **BANNER SQUARE ADDITION**, zoned SU-2/SU-1 for PUD, located on the northside of CENTRAL AVE NE between ARNO ST NE and COPPER AVE NE containing approximately 1 acre(s). [REF: 01500-01801, 01500-01802, Z-84-150] [Listed as Project# 1002159 in error] The Vacation was approved 9/11/02. The preliminary and final plat were indefinitely deferred with the Condition that the final plat and site development plan will be submitted concurrently] (K-14) **THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

8. **Project # 1002324**
02DRB-01741 Minor-SiteDev Plan
BldPermit
02DRB-01742 Minor-SiteDev Plan
Sub

KEN HOVEY agent(s) for MOCHO, OLSON, CHANEY & MOCHO LLP request(s) the above action(s) for all or a portion of Block(s) 4, Tract(s) 7-A, Unit B, **NORTH ALBUQUERQUE ACRES**, (to be known as **VENICE BUSINESS CENTER**, zoned IP, located on BEVERLY HILLS AVE NE, between SAN MATEO BLVD NE and I-25 NE containing approximately 6 acre(s). [REF: 1000447, 1000907] (B-18) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WERE APPROVED AND SIGNED OFF BY THE BOARD.**

Project # 1002324
02DRB-01740 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN, PA agent(s) for MOCHO, OLSON, CHANEY & MOCHO, LLP. request(s) the above action(s) for all or a portion of Lot(s) 7A, Tract(s) A, Block 4, Unit B, **NORTH ALBUQUERQUE ACRES**, zoned IP, located on BEVERLY HILLS AVE NE, between VENICE AVE NE and I-25 containing approximately 6 acre(s). [REF: 00410- 01540, 02-01670 (SK)] (B-18) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER.**

9. **Project # 1001749**
02DRB-01799 Minor-SiteDev Plan
BldPermit/EPC

W. MARK SNAPP DESIGN, INC. agent(s) for WILLIAM GARDNER request(s) the above action(s) for all or a portion of Lot(s) 11A & 12A, Block(s) 20, Tract(s) 2, Unit 3, NORTH ALBUQUERQUE ACRES, **JARDINERO PROFESSIONAL PLAZA**, zoned SU-1 Per use, located on CARMEL NE, between WYOMING NE and BARSTOW NE containing approximately 4 acre(s). [REF: 02EPC-00254] [Debbie Stover, EPC Case Planner] [Deferred from 12/4/02] (C-19) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

Project # 1001749
02DRB-00324 Minor-Pre&Final Plat
Approval

SURVEYS SOUTHWEST, LTD. Agent(s) for WILLIAM GARDNER request the above action(s) for Lot 11, 12, 21 & 22, Block 20, Tract 2, **NORTH ALBUQUERQUE ACRES**, zoned SU-1 for O-1 Permissive Uses & Plant Nursery, located on SO. SIDE OF CARMEL AV NE, between WYOMING BLVD. NE and BARSTOW ST. NE containing approximately 4 acre(s). [REF: AX-95-10, Z-98-98] (C-19) **THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1001277**
02DRB-01814 Minor-Vacation of Private Easements
02DRB-01815 Minor-Vacation of Private Easements
02DRB-01816 Minor-Prelim&Final Plat Approval
- 02DRB-01817 Minor-Vacation of Private Easements
02DRB-01818 Minor-Prelim&Final Plat Approval
- 02DRB-01819 Minor-Vacation of Private Easements
02DRB-01820 Minor-Prelim&Final Plat Approval
- 02DRB-01821 Minor-Vacation of Private Easements
02DRB-01822 Minor-Vacation of Private Easements
02DRB-01823 Minor-Prelim&Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for PATRICK STROSNIDER request(s) the above action(s) for all or a portion of **Lot(s) 30 & 31, LAS CASITAS DEL RIO SUBDIVISION**, zoned SU-1 PRD, located on PANICUM RD NW, between WINTER HAVEN RD NW and SETARIA RD NW containing approximately 1 acre(s). (E-12) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**
- SURVEYS SOUTHWEST LTD agent(s) for PATRICK STROSNIDER request(s) the above action(s) for all or a portion of **Lot 7, LAS CASITAS DEL RIO SUBDIVISION**, zoned SU-1 PRD, located on GRAMA CT NW, between WINTER HAVEN RD NW and MOLINA CT NW containing approximately 1 acre(s). (E-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**
- SURVEYS SOUTHWEST LTD agent(s) for PATRICK STROSNIDER request(s) the above action(s) for all or a portion of **Lot 34, LAS CASITAS DEL RIO SUBDIVISION**, zoned SU-1 PRD, located on STIPA ST NW, between WINTER HAVEN RD NW and SETARIA RD NW containing approximately 1 acre(s). (E-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**
- SURVEYS SOUTHWEST LTD agent(s) for PATRICK STROSNIDER request(s) the above action(s) for all or a portion of **Lot(s) 20, 21, 22, 23 & 24, LAS CASITAS DEL RIO SUBDIVISION**, zoned SU-1 PRD, located on SETARIA RD NW, between WINTER HAVEN RD NW and NOLINA CT NW containing approximately 1 acre(s). (E-12) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1001347**
02DRB-01829 Minor-Amnd Prelim Plat
Approval

ISAACSON & ARFMAN, PA agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) A, B, & D, ALBUQUERQUE SOUTH, (to be known as **EL RANCHO GRANDE 6, 7 AND 8**) zoned RD under Rio Bravo Sector Development Plan, located on SNOW VISTA BLVD. NW, between BENAVIDES RD. NW and CARTEGENA - DE ANZA DR NW containing approximately 43 acre(s). [REF: 01410-00960, 01410-00962 (VRW), 02DRB-00764, 0765] (M-9) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THE AMENDED INFRASTRUCTURE LIST DATED 5/15/02 WAS APPROVED AND REINITIALED BY THE BOARD. THIS EXTENSION DOES NOT EXTEND THE PRELIMINARY PLAT EXPIRATION DATE.**

NO ACTION IS TAKEN ON THESE CASES:
IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED

12. **Project # 1002243**
02DRB-01828 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 463, **TOWN OF ATRISCO GRANT**, zoned RD, located on 82ND ST. NW, between SAGE ROAD NW and SAN YGNACIO NW containing approximately 5 acre(s). (L-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1002345**
02DRB-01830 Minor-Sketch Plat or Plan
- CLINT SHERRILL & ASSOCIATES agent(s) for GOLDEN VENTURES LLC request(s) the above action(s) for all or a portion of Lot(s) 3, **BROADWAY INDUSTRIAL CENTER - UNIT 1**, zoned SU-2 HM, located on SAN JOSE SW, between KARSTON CT SW and I-25 SW containing approximately 14 acre(s). [REF: 02DRB-00109, 02DRB-01733] (M-14 **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
14. **Project # 1002369**
02DRB-01812 Minor-Sketch Plat or Plan
- RALPH CORRIZ request(s) the above action(s) for all or a portion of Lot(s) 224C, **MRGCD MAP 35**, zoned R-1, located on INDIAN SCHOOL ROAD NW, between RIO GRANDE BLVD. NW and 12TH STREET NW containing approximately 1 acre(s). (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project # 1002372**
02DRB-01827 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 223, Airport Unit, **TOWN OF ATRISCO GRANT**, zoned R-2, located on GLEN RIO RD NW, between 72ND ST NW and 68TH ST NW containing approximately 5 acre(s). (J-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. Approval of the Development Review Board minutes for November 27, 2002. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 11:52 A.M.

TIERRA NEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

December 19, 2003

Mrs. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: **Withdrawal of Plat & Site Plan for Building Permit for Stoneleigh on the Bosque**
DRB Project #: 1002371
APP#'s: 02DRB-01824 & 02DRB-01825
Zone Atlas Page D-12

Dear Mrs. Matson:

Tierra West LLC, requests the withdrawal of the above-mentioned applications. Our previous client has canceled this project. If you have any further questions or need assistance regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

JN: 21069
RRB/kk

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

Major Subdivision action
 Minor Subdivision action
 Vacation
 Variance (Non-Zoning)

ZONING Supplemental form **Z**

Annexation & Zone Establishment
 Sector Plan
 Zone Change
 Text Amendment

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: SENECA INVESTMENT COMPANY PHONE: (214) 265-8686
 ADDRESS: 2305 CEDAR SPRINGS ROAD STE 208 FAX: (214) 265-0762
 CITY: DALLAS STATE TX ZIP 75201 E-MAIL: _____
 Proprietary interest in site: OWNER/DEVELOPER
 AGENT (if any): TIERRA WEST LLC PHONE: 858-3100
 ADDRESS: 8509 JEFFERSON NE FAX: 858-1118
 CITY: ABQ STATE NM ZIP 87113 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: DRB FINAL SIGN OFF OF EPC APPROVED SITE PLAN FOR BUILDING PERMIT AND APPROVAL OF PRELIMINARY/FINAL PLAT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS 1A, 1B, & 1C Block: 15 Unit: _____
 Subdiv. / Addn. ALBAN HILLS UNIT 1
 Current Zoning: SU-1 / R-2 Proposed zoning: SAME
 Zone Atlas page(s): D12 No. of existing lots: 3 TRS. No. of proposed lots: 1
 Total area of site (acres): 17.0367 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO
 UPC No. 101206349008040311 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 6336 COORS BLVD NW
 Between: LA ORILLA ROAD NW and CORRALES MAIN CANAL

CASE HISTORY: Russell Brito EPC Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
Z 98-30 / DRB 98-113 / DRB 98-375

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 11/25/02
 (Print) RONALD R. BOHANNAN, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

.pdf Form revised Sept. 2001

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>02DRB - 01824</u>	<u>SPBP</u>	<u>(13)</u>	\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	<u>02DRB - 01825</u>	<u>P+7</u>	<u>(3)</u>	\$ <u>215⁰⁰</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>Dec. 11, 2002</u>				Total \$ <u>215⁰⁰</u>

[Signature] 12/3/02 Project # 1002371
 Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

- ___ Preliminary Plat reduced to 8.5" x 11"
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Copy of previous D.R.B. approved infrastructure list
- ___ Copy of the Official D.R.B. Notice of approval
- ___ Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ SIA financial guaranty verification
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- ___ Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.

Ronald R Bohannan by Karen Klein

Applicant name (print)

11/25/02
Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

020143-01825

Paul Carder 12/3/02
Planner signature / date

Project # *1002371*

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.

Applicant name (print)




11/25/02
Applicant signature / date

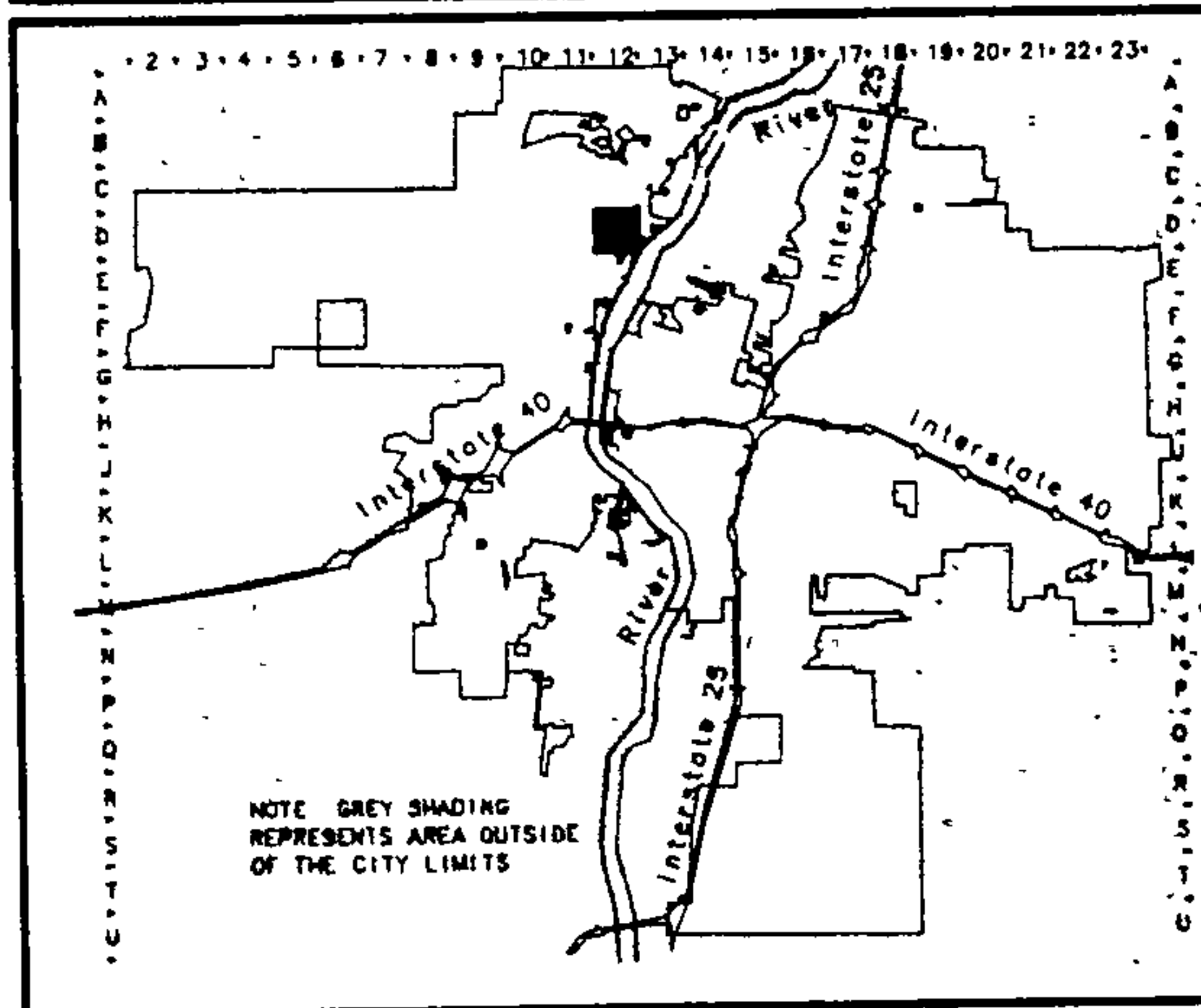
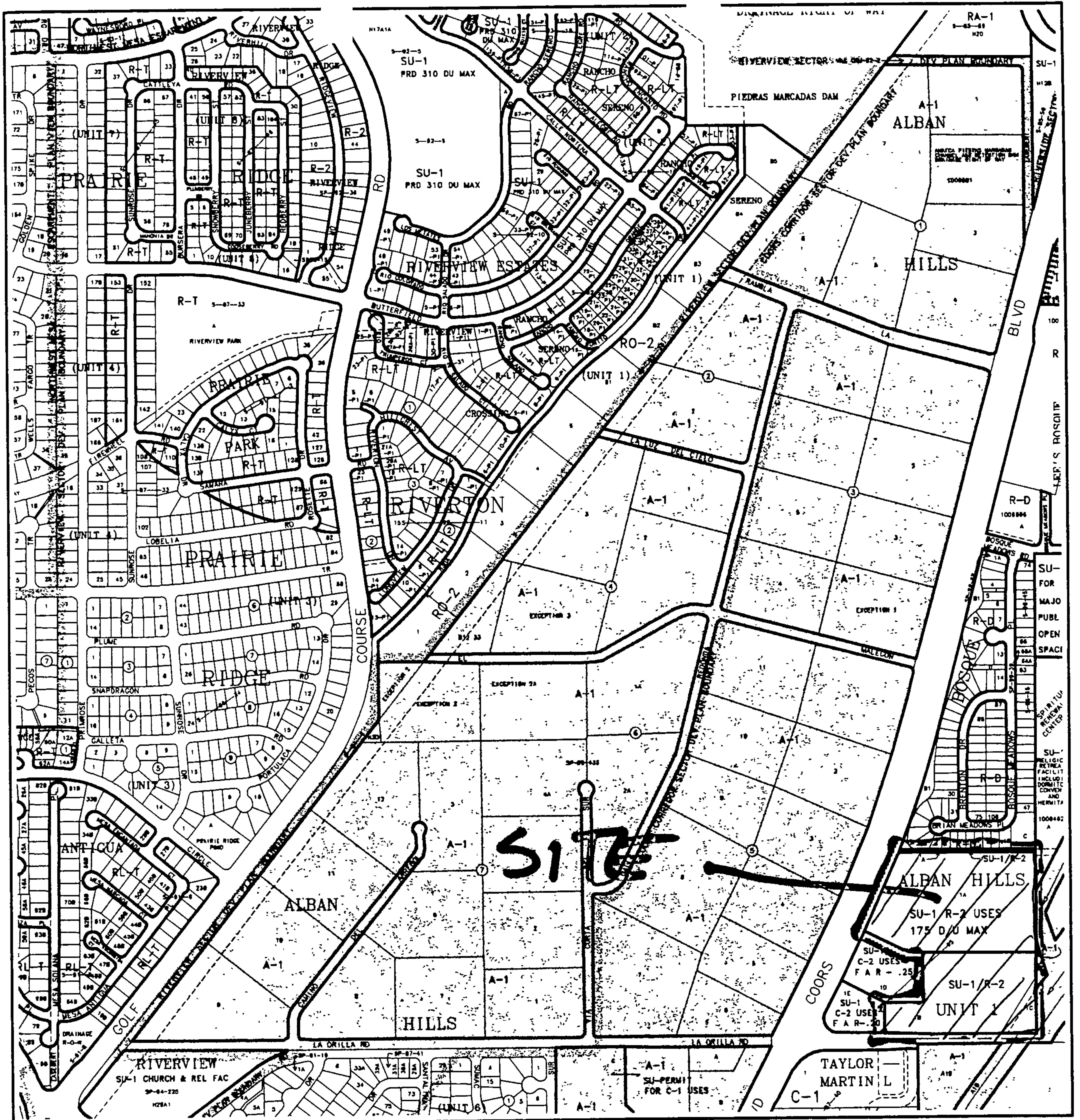


Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 020223 - 01824

 12/3/02
 Planner signature / date
Project # 1002371

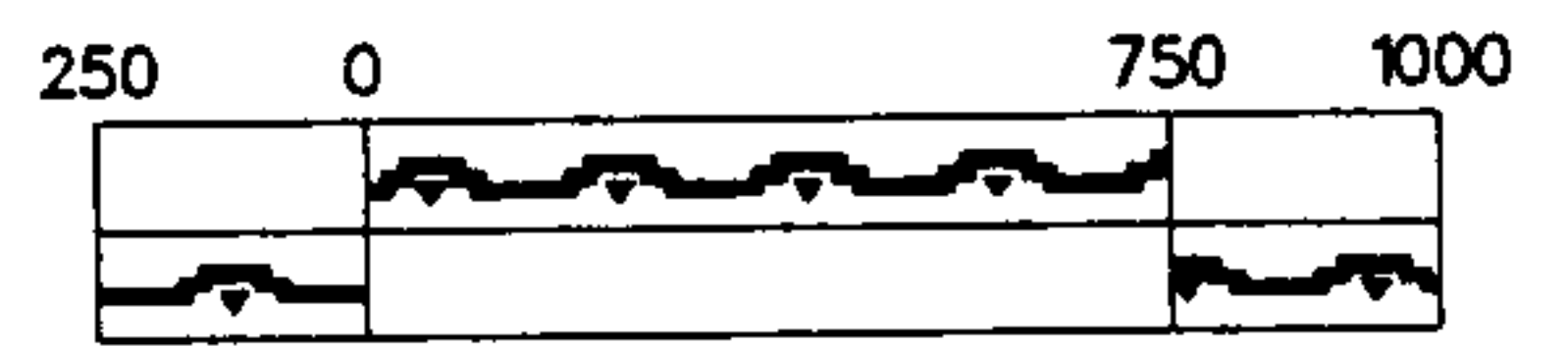


CITY OF Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET



Zone Atlas Page

D-12-Z

Map Amended through April 03, 2002

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

DRB 98-375
cc: Jim Clinton
Ron DeLeon OK

Date: November 20, 1998

OFFICIAL NOTIFICATION OF DECISION

Double Eagle Investments
57030 Covehaven Drive
Dallas, TX, 75252

FILE: Z-98-30

LEGAL DESCRIPTION: A zone map amendment for the following three tracts totalling 7.13 acres: Tract 1-B, Alban Hills, 6.24 acres, (zoned SU-1/O-1); Tract 1-C Alban Hills, 0.62 acres, (zoned RO-20); and Tract A, Bosque Meadows, 0.27 acres, (zoned RD). Plus approval of a site development plan for building permit for Tracts 1-A, 1-B and 1-C, Alban Hills, and Tract A, Bosque Meadows, totalling 17.2 acres. The property is located on Coors Boulevard NW between La Orilla Road and Bosque Meadows Road, containing approximately 17.16 acres. (D-12) Bob Torres, Staff Planner

On November 19, 1998, the Environmental Planning Commission voted to approve Z-98-30, a zone map amendment from SU-1/R-2, SU-1/O-1, RO-20, and RD to SU-1/R-2, based on the following Findings:

FINDINGS :

1. This is a request for a Zone Map Amendment to change zoning on three tracts, total 7.13 acres, to SU-1/R-2 as follows: 1) Tract 1-B, block 15, Alban Hills Subdivision, currently zoned SU-1/O-1, 6.24 acres; 2) Tract 1-C Bosque Meadows Subdivision, currently zoned SU-1/ RO-20, 0.62 acres, and; 3) Tract A, block 15, Alban Hills Subdivision, currently zoned R-D, 0.27 acres.
2. The zone change would allow a 308 unit multi-family residential development on a 17.16 acre site as shown on the accompanying site plan.
3. The site is located on the northeast quadrant of the Coors Boulevard NW and Orilla Road intersection.
4. The proposed Zone Map Amendment is in conformance with applicable plans which are the *Albuquerque/Bernalillo County Comprehensive Plan; Developing Urban Area; the Westside Strategic Plan* (the Coors Road/La Orilla Village Center); and the *Coors Corridor Plan*. These policies state that higher density housing is most appropriate in areas with excellent access to the major street network and in areas where a mixed density pattern is already established by use or zoning. The proposed development would help develop the Coors/La Orilla village center and adjacent area in accordance with WSSP policies. The proposed site development plan is consistent with the *Coors Corridor Plan* designation of Coors Boulevard as a parkway. It complies with the view preservation policies of the *Plan*

5. The request is justified under Resolution 270-1980 based on the "changed neighborhood conditions" and the "more advantageous to the community" tests. The most significant relevant changed condition is the adoption of the Westside Strategic Plan which designates the subject site within a village core and adjacent area.
6. The requested zone change is more advantageous to the community because it helps to develop the Coors/La Orilla Community Center as intended by the Westside Strategic Plan and also because it promotes Coors Boulevard as a transit corridor.

On November 19, 1998, the Environmental Planning Commission voted to approve Z-98-30, a site development plan for building permit based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a Site Plan for Building Permit for 308 units on a 17.16 acre site zoned SU-1/R-2 pursuant to a concurrent request for a Zone Map Amendment.
2. The site plan proposed 308 dwelling units located in 14, 3-story residential buildings plus 10 detached garage buildings, 18 carports and a leasing/recreation building plus related circulation, parking and landscaping.
3. With minor modifications as specified in the Conditions of Approval, this request will meet all applicable regulations and policies.
4. Forty percent of the landscaping species for the development should of native origin and the remaining landscaping should be complimentary to the adjacent bosque.
5. A variation of building color is desired and proposed for the the building complex. The variation is to give individual identity to the buildings and break up the visual monotomy of identical buildings. The color should be consistent with the colors allowed by the Coors Corridor Plan.

CONDITIONS:

- ✓ 1. A replat shall be filed to delete existing internal lot lines and consolidate the site into one parcel zoned SU-1/R-2.
- ✓ 2. The development shall not be a gated community. Traffic controlled gates shall be permitted.
- ✓ 3. Provide several pedestrian walkways connecting the western portion of the development and the buildings along the eastern portion. Pedestrian walks shall be of an alternative textured material and slightly raised where they cross vehicle circulation paths.

- ✓ 4. Where parking spaces allow for vehicle overhang over adjacent sidewalks, the sidewalk shall be minimum 6' wide.
5. Provide three pedestrian/bicycle connections through the eastern perimeter wall to the trail along the Coralles Main Canal. Locate this trail on the east side of the road.
6. Provide bicycle racks on each side of each building.
- ✓ 7. Provide a well lit pedestrian/bicycle access at the northwest of the site connecting to the trail along Coors Boulevard.
8. No development shall occur in the 100' Corrales Riverside Drain buffer zone other than that indicated on the site plan, ie. the La Orilla extension to the north, a pedestrian/bicycle trail, 14 public parking spaces and a desilting pond.
- ✓ 9. Provide two well lit pedestrian/bicycle connections to the future commercial development on tracts 1-D and 1-E, one at the recreation building area and one at midpoint from the southern portion of the residential development.
10. Provide a footprint plan of each building type with dimensioned offsets prior to DRB approval.
- ✓ 11. Show the location of the entry monument sign prior to DRB approval. Provide a detail of the wall mounted sign at the south entry prior to DRB approval.
12. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal indicating how the site plan has been modified to meet the EPC conditions.
13. Comply with the following Transportation Development Services and Transportation Planning conditions:
 - A. The development of the site must meet all the requirements of the Coors Corridor Plan and the NW Mesa Strategic Plan.
 - ✓ B. Dedication of an additional 6 feet of right of way along Coors Boulevard for a bike lane consistent with *Policy 6.24 of the Westside Strategic Plan* may be required.
 - ✓ C. Dedication of 98 feet tapering to 72 feet of right-of-way for La Orilla Road. These dimensions include the right-of-way for required recreational trail as per the Trails Master Plan.
 - ✓ D. Construction of required pavement, median, curbs, gutters and 6 foot sidewalk on Coors Boulevard. Grading for the ultimate roadway is required.
 - ✓ E. Construction of permanent and temporary pavement, curb, gutter and 4 foot sidewalk on La Orilla Road.
 - ✓ F. Construction of a vehicular and pedestrian access connection to La Orilla Road from the proposed development.
 - ✓ G. Construction of a trail connection to Corrales Drain Bikeway.
 - ✓ H. Construction of the required medians on Coors Boulevard.
 - ✓ I. Construction of the required deceleration lane on the Coors Boulevard entrance.

- J. Provision of cross-access easement between all parcels. A cul-de-sac will be required if a private street is needed to access the lots.
 - K. Any new access to Coors Boulevard must be approved by the NMSH&TD.
 - L. Provision of adequate pedestrian circulation with disabled features within the site and to the adjacent streets.
 - M. Unidirectional handicapped ramps should be used at all entrances, including those on Coors Boulevard and La Orilla Road.
 - N. The site access, circulation pattern, and structure orientation / configuration must be constructed to the satisfaction of the Traffic Engineer.
 - O. The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
 - P. The proposed Coors entrance requires a minimum throat area of 75 feet.
 - Q. Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
 - R. Approval of all access points onto Coors Boulevard by the New Mexico State Highway and Transportation Department.
 - S. Approval of the location and design of all access points onto Coors Boulevard by the Traffic Engineer to assure compliance with the Coors Corridor Plan.
 - T. Demonstration to the satisfaction of the Traffic Engineer that the proposed site plan incorporates transit-supportive land uses and site layout patterns consistent with the goals of promoting Coors Boulevard as a high capacity transit corridor as designated in the West Side Strategic Plan, giving consideration to the planning guidelines of the Transportation Evaluation Study, Regional Transit Authority Service Plan, and West Side Village and Community Centers Implementation Plan and Design Guidelines. Specifically, the proposed site is within the Coors/La Orilla Road Village Center and Adjacent Area.
 - U. Provision of street trees and landscaping in the areas between the curb and the sidewalks along Coors Boulevard.
 - V. Dedication of appropriate right of way, as determined by the Trails Coordinator, along the Corrales Main Canal for a bike path/trail consistent with the *Bikeways Master Plan*.
14. An approved conceptual grading and drainage plan is required for site plan sign-off by the City/AMFCA.
15. The existing Cottonwood trees and immediately surrounding vegetation shall be preserved and integrated into the silking pond at the proposed parking area. No impervious surface materials shall be located below the drop zone on the canopies of the cottonwoods.
16. The parking lot and drive in the southeast corner of the site has provided for trail users shall be of a pervious material.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY DECEMBER 4, 1998 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

OFFICIAL NOTICE OF DECISION

NOVEMBER 19, 1998

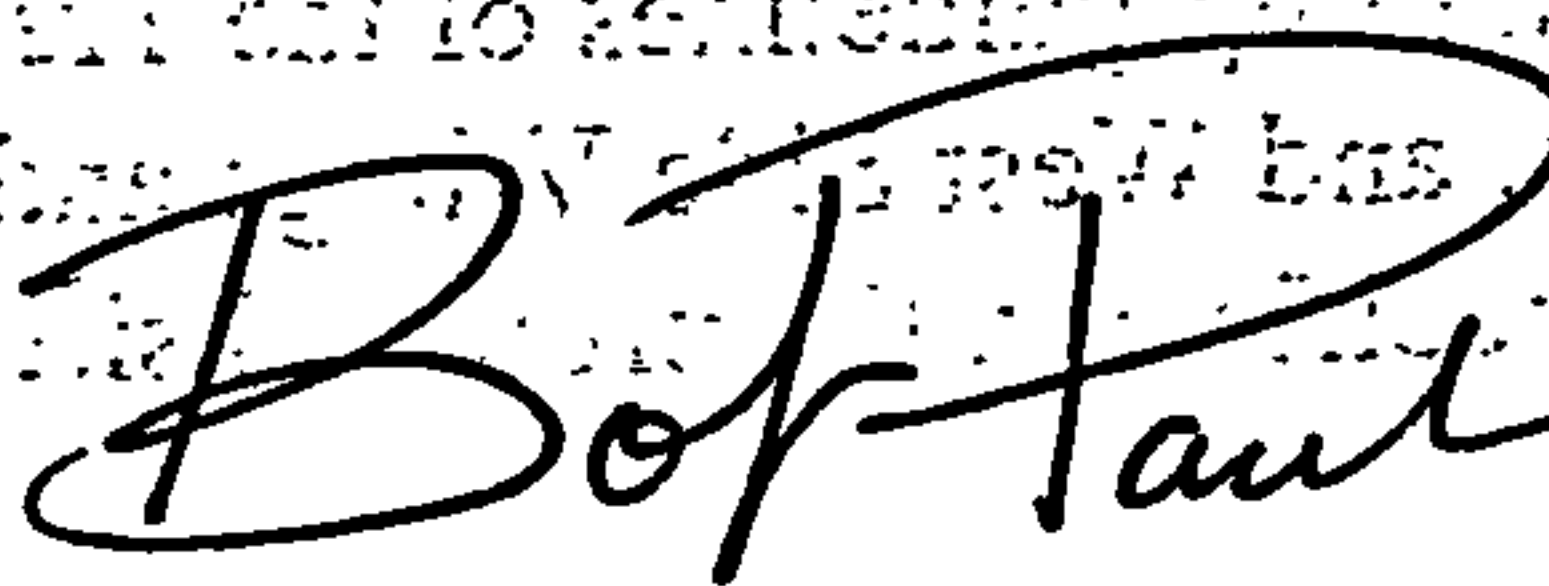
Z-98-30

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Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,



For Bob McCabe
Planning Director

BM/BT/ac

cc: Tierra West LLC, 4421 McLeod NE, Suite D, Albuquerque, NM 87109
Bob Linebaugh, Coors Trail Neigh. Assoc., 7120 Coors Trail NW, Albuquerque, NM 87120
Rick Altenberg, Coors Trail Neigh. Assoc., 7105 Coors Trail NW, Albuquerque, NM 87120
Rick Lackey, Taylor Ranch Neigh. Assoc., 4408 Hillspride Ct. NW, Albuquerque, NM 87120
Dave Otto, Taylor Ranch Neigh. Assoc., 7524 Primrose Dr. NW, Albuquerque, NM 87120
Gregory Hicks, 112 Second St. SW, Albuquerque, NM 87102
Theodore Studerus, 6448 Bosque Meadows Place NW, Albuquerque, NM 87120
William Koehler, 6417 Camino Del Arbol NW, Albuquerque, NM 87120
John Myers, 6400 Uptown Blvd. NE, Albuquerque, NM 87120
Carl Ross, 6417 Camino del Arbol NW, Albuquerque, NM 87120

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

November 14, 2002

Mr. Victor Chavez
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Stoneleigh on the Bosque Apartments
(formerly Legends of the Bosque Apartments)**

Dear Mr. Chavez:

Legends of the Bosque Apartments were originally approved by EPC on November 19, 1998 (Z-98-30). After the EPC approval, the project was put on hold by the owners and was never submitted to DRB for EPC final sign-off approval. We are working on the project again with new owners and architects. They modified the site and would like to proceed to DRB for signature on the revised plans. Per your request, the changes are tallied below:

	Original	New
Number of units	308	300
1 bedroom, 1 bath	140	144
2 bedroom, 1 bath	60	0
2 bedroom, 2 bath	96	132
3 bedroom, 2 bath	12	24
Average Unit Size	949	846
Parking Required	546	600
Parking Provided	569	585

- Entry monument sign modified/changed;
- Attached garages deleted/omitted with new building elevations;
- With above, curb work was modified to eliminate drive pads at attached garage;
- Building dimensions changed with new elevations

One building was deleted in the southeast corner of the site but the location and orientation of the remaining buildings remains the same as the original plan. The entrances to the site and the traffic circulation remained unchanged, although the garage and carport locations changed. The new garage and carport locations did not change the layout of the site and the parking does not meet the requirements but will meet the parking using a 10% bus credit.

The new building elevations are very similar to the original elevations. Both elevations show buildings with pitched roofs and stone accents on the ground floor. However, the new elevations will have Slateline shingle roofs instead of concrete roofing tiles. The Slateline shingle closely resembles the concrete roofing tiles.


We discussed the project with the City Staff and they would like a letter of concurrence from you that this project does not need to go back to EPC. We will submit the project to DRB for EPC final sign-off based on the original EPC findings in 1998. Please sign below to indicate your concurrence or send us a separate document.

Thank you for your assistance in this matter. If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Ronald R. Bohannon, P.E.

 11/26/02
Victor Chavez Date

cc: Raymond Ames

JN: 21069

scl



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Jed 2/10/09
1/11/09
DRB

September 3, 2002

Ronald R. Bohannon, PE
Tierra West LLC
8509 Jefferson NE
Albuquerque, NM 87113

**Re: Stoneleigh on the Bosque Apartments Drainage Report
Engineer Stamp dated 8-2-02 (D12/D1)**

Dear Mr. Bohannon,

Based on information provided in your submittal dated 8-5-02, the above referenced report is approved for Site Plan for Building Permit and Preliminary Plat action by the DRB. The desiltation pond (w/ agreement and covenant) must appear on the infrastructure list and the outfall pipe must be in a public easement (also covered by the agreement and covenant). Approval of the project is contingent on AMAFCA approval as well.

Prior to Final Plat or Site Plan signoff by City Engineer, a Subdivision Improvement Agreement must be executed.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: Lynn Mazur, AMAFCA
file



SIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

November 25, 2002

Mr. Roger Green, Acting DRB Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Stoneleigh on the Bosque (Formerly Legends of the Bosque), EPC #Z-98-30

Dear Roger:

We are submitting the Site Development Plan for Building Permit for EPC Final Sign-Off. We are also submitting the Preliminary Plat for your review and approval. The plat combines three existing lots (Tract 1A, 1B, 1C, Block 15, Alban Hills Subdivision) to create one parcel. We have addressed the conditions of EPC in the following manner:

Site Development Plan for Building Permit

1. A replat shall be filed to delete existing internal lot lines and consolidate the site into one parcel zoned SU-1/R-2.
We are submitting a Preliminary plat for approval that deletes the existing lot lines.
2. The development shall not be a gated community. Traffic controlled gates shall be permitted.
This development has traffic-controlled gates, but pedestrian access is provided at all entrances.
3. Provide several pedestrian walkways connecting the western portion of the development and the buildings along the eastern portion. Pedestrian walks shall be of an alternative textured material and slightly raised where they cross vehicle circulation paths.
Pedestrian walkways of exposed aggregate are provided throughout the site.
4. Where parking spaces allow for vehicle overhang over adjacent sidewalks, the sidewalk shall be minimum of 6' wide.
The sidewalk is four feet wide throughout the site, but was moved back two feet from the curb so no vehicles will overhang into the sidewalk.
5. Provide three pedestrian /bicycle connections through the eastern perimeter wall to the trail along the Corrales Main Canal. Locate this trail on the east side of the road.
We have provided three pedestrian connections through the perimeter wall to the trail located along the east side of the road.
6. Provide bicycle racks on each side of each building.
Bicycle racks are provided for each building as shown on the Site Plan (Sheet 2).

7. Provide a well-lit pedestrian/bicycle access at the northwest of the site connecting to the trail along Coors Boulevard.
A pedestrian opening is located at the northwest corner of the site to Coors Boulevard.
8. No development shall occur in the 100' Corrales Riverside Drain buffer zone other than that indicated on the site plan, i.e. La Orilla extension to the north, a pedestrian/bicycle trail, 14 public parking spaces and a desilting pond.
No development, except that approved by EPC, is shown in the 100' buffer zone.
9. Provide two well lit pedestrian/bicycle connections to the future commercial development on tracts 1-D and 1-E, one at the recreation building area and one at midpoint from the southern portion of the residential development.
Two pedestrian connections to the future commercial site are shown.
10. Provide a footprint plan of each building type with dimensioned offsets prior to DRB approval.
The footprint plans are shown on Sheet 2 at the top of the sheet.
11. Show the location of the entry monument sign prior to DRB approval. Provide a detail of the wall-mounted sign at the south entry prior to DRB approval.
The monument sign is located near the entrance from Coors and a detail is provided on Sheet 2A.
12. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal indicating how the site plan has been modified to meet the EPC conditions.
This letter explains all modifications to the site and how all the EPC conditions were met.
13. Comply with the following Transportation Development Services and Transportation Planning conditions:
 - a. The development of the site must meet all the requirements of the Coors Corridor Plan and the NW Mesa Strategic Plan.
To the best of our knowledge, this plan meets the requirements of the Coors Corridor Plan and the NW Mesa Strategic Plan.
 - b. Dedication of an additional 6 feet of right of way along Coors Boulevard for a bike lane consistent with *Policy 6.24 of the Westside Strategic Plan* may be required.
We show the six-foot area to be dedicated on Sheet 2 and it will also be shown on the plat.
 - c. Dedication of 98 feet tapering to 72 feet of right-of-way for La Orilla Road. These dimensions include the right-of-way for required recreational trail as per the Trails Master Plan.
We have dedicated ROW sufficient to increase La Orilla Road to 68' tapering to 61'; the property owner to the south will dedicate the remaining portions

of ROW.

- d. Construction of required pavement, median, curbs, gutters and 6 foot sidewalk on Coors Boulevard. Grading for the ultimate roadway is required.
All Coors Boulevard improvements, except the acceleration and deceleration lanes, were constructed as part of the Coors Widening Project.
- e. Construction of permanent and temporary pavement, curb, gutter and 4 foot sidewalk on La Orilla Road.
We show 24' of permanent paving, curb and gutter, and the 11' trail on La Orilla.
- f. Construction of a vehicular and pedestrian access connection to La Orilla Road from the proposed development
An entrance to the apartments from La Orilla for both vehicles and pedestrian traffic is shown.
- g. Construction of a trail connection to Corrales Drain Bikeway.
We show a 12' trail along the Corrales Main Canal on Sheet 2.
- h. Construction of the required medians on Coors Boulevard.
The medians on Coors Boulevard were constructed as part of the Coors Widening Project and are complete.
- i. Construction of the required deceleration lane on the Coors Boulevard entrance.
The deceleration lane is shown on Coors and will be constructed with this project.
- j. Provision of cross-access easement between all parcels. A cul-de-sac will be required if a private street is needed to access the lots.
The plat shows cross-access easements between all parcels and this is also shown as Note 8 on Sheet 2.
- k. Any new access to Coors Boulevard must be approved by the NMSH&TD.
We will obtain a driveway permit for the new entrance on Coors Boulevard.
- l. Provision of adequate pedestrian circulation with disable features within the site and to the adjacent streets.
Pedestrian walkways with handicap ramps are shown throughout the project.
- m. Unidirectional handicapped ramps should be used at all entrances, including those on Coors Boulevard and La Orilla Road.
Handicap ramps are shown at the entrances from Coors and La Orilla.
- n. The site access, circulation pattern, and structure orientation / configuration must be constructed to the satisfaction of the Traffic Engineer.
The Traffic Engineer reviewed the site at EPC and will also review the site at DRB. We will address any additional comments.

- o. The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
The surrounding uses are shown on all four sides of the site.
 - p. The proposed Coors entrance requires a minimum throat area of 75 feet.
The throat area is greater than 75 feet and is dimensioned on Sheet 2.
 - q. Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
We will have the Fire Marshall's office approve the fire hydrant and fire lane locations.
 - r. Approval of all access points onto Coors Boulevard by the New Mexico State Highway and Transportation Department.
We will obtain a driveway permit for the new entrance on Coors Boulevard.
 - s. Approval of the location and design of all access points onto Coors Boulevard by the Traffic Engineer to assure compliance with the Coors Corridor Plan.
To the best of our knowledge the plan complies with the Coors Corridor Plan.
 - t. Demonstration to the satisfaction of the Traffic Engineer that the proposed site plan incorporates transit-supportive land uses and site layout patterns consistent with the goals of promoting Coors Boulevard as a high capacity transit corridor as designated in the West Side Strategic Plan, giving consideration to the planning guidelines of the Transportation Evaluation Study, Regional Transit Authority Service Plan, and West Side Village and Community Centers Implementation Plan and Design Guidelines. Specifically, the proposed site is within the Coors/La Orilla Road Village Center and Adjacent Area.
This is a high-density housing development with pedestrian links to the transit facilities on Coors. We believe we are in compliance with all applicable plans.
 - u. Provision of street trees and landscaping in the areas between the curb and the sidewalks along Coors Boulevard.
Although, no sidewalks or curbs are allowed on Coors Boulevard we show landscaping along Coors Boulevard (See Landscaping Plan, Sheet 3).
 - v. Dedication of appropriate right of way, as determined by the Trails Coordinator, along the Corrales Main Canal for a bike path/trail consistent with the *Bikeways Master Plan*.
The plat will revise the existing 40' sanitary sewer and drainage easement to include a public pedestrian easement.
14. An approved conceptual grading and drainage plan is required for site plan sign-off by the City/AMAFCA.
We submitted the Grading Plan to the Cit of Albuquerque and AMAFCA and are

waiting for approval.

15. The existing Cottonwood trees and immediately surrounding vegetation shall be preserved and integrated into the desilting pond at the proposed parking area. No impervious surface materials shall be located below the drop zone on the canopies of the cottonwoods.

We will try to protect and preserve any existing Cottonwood trees in the desilting pond area from harm during construction.

16. The parking lot and drive in the southeast corner of the site has provided for trail uses shall be of a pervious material.

The parking lot is shown as "base course" or gravel on Sheet 2.

If you have any questions or need additional information, please contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Raymond Ames

JN: 21069
RRB/scl/kk