



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

August 16, 2006

**6. Project # 1002375**  
06DRB-00902 Major-Vacation of Pub Right-of-Way  
06DRB-00903 Major-Vacation of Public Easements

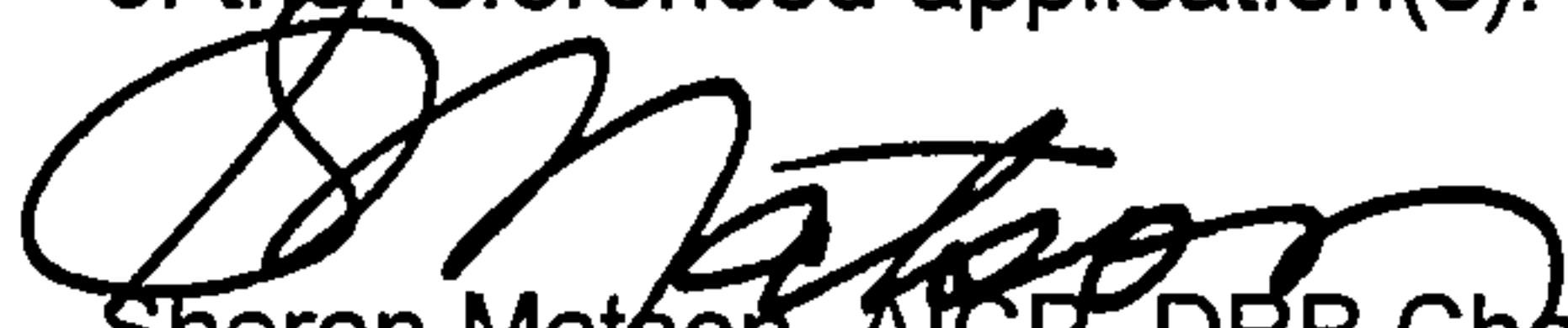
JACKS HIGH COUNTRY agent(s) for BARRY & SANDY HOPKINS request(s) the above action(s) for all or a portion of Tract(s) A, B, J & K, **THE PALISADES ADDITION**, located on LOMA HERMOSA DR NW, between BLUEWATER NW and YUCCA DR NW containing approximately 1 acre(s). [REF: 02DRB-01852] [Deferred from 7/19/06] (J-11)

At the August 16, 2006, Development Review Board meeting, the request was withdrawn at the agent's request.

If you wish to appeal this decision, you must do so by August 31, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Sheran Matson, AICP, DRB Chair

Cc: Barry & Sandy Hopkins, 5005 Cascade Pl NW, Tijeras, NM 87105  
Jacks High Country, 8953 2<sup>nd</sup> St NW, 87114  
Jose L. Padilla, 347 58<sup>th</sup> St NW, 87105  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002375**

**AGENDA ITEM NO: 6**

**SUBJECT:**

Vacation of Public Easements  
Vacation of Public Right-of-Way

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

The design engineer must provide proof that the right-of-way is not needed to convey public drainage.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** AUGUST 16, 2006



*W. J. ...*

**DRB PUBLIC HEARING SIGN IN SHEETS**

CASE NUMBER: 1002375 AGENDA#: 6 DATE: 8/16/06

1. Name: Jose R. Dilig Address: 347 58<sup>th</sup> W Zip: 87105
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



2. **Project # 1002375**  
06DRB-00902 Major-Vacation of Pub  
Right-of-Way  
06DRB-00903 Major-Vacation of Public  
Easements

JACKS HIGH COUNTRY agent(s) for BARRY & SANDY HOPKINS request(s) the above action(s) for all or a portion of Tract(s) A, B, J & K, **THE PALISADES ADDITION**, located on LOMA HERMOSA DR NW, between BLUEWATER NW and YUCCA DR NW containing approximately 1 acre(s). [REF: 02DRB-01852] *[Deferred from 7/19/06]* (J-11) **DEFERRED AT THE AGENT'S REQUEST TO 8/16/06.**

3. **Project # 1004985**  
06DRB-00916 Major-SiteDev Plan  
BldPermit

JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] *[Deferred from 7/19/06]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 8/2/06.**

4. **Project # 1000045**  
06DRB-00919 Major-Vacation of Public  
Easements  
06DRB-00920 Minor-Prelim&Final Plat  
Approval  
06DRB-00921 Minor- SiteDev Plan for  
Subd

TIERRA WEST LLC agent(s) for SAM'S EAST INC request(s) the above action(s) for Tract(s) 3B2-A & 3A4-A-1, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on RENAISSANCE BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 15 acre(s). [REF: 05DRB-00030, 05DRB-00313, 06EPC-00285] (F-16) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECIPROCAL CROSS ACCESS EASEMENTS FOR ALL LOTS AND PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

5. **Project # 1003102**  
06DRB-00832 Major-Preliminary Plat  
Approval  
06DRB-00837 Minor-Sidewalk Waiver  
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] *[Deferred from 7/12/06]* (F-21) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 AND APPROVAL OF THE GRADNG PLAN ENGINEER STAMP DATED 6/8/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE HOME OWNER'S ASSOCIATION PRESIDENT SHALL SIGN THE FINAL PLAT. IF THERE IS NO HOME OWNER'S ASSOCIATION PRESIDENT THE OWNER CAN SIGN. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 06DRB-00935 Minor-SiteDev Plan  
Subd/EPC  
06DRB-00936 Minor-SiteDev Plan  
BldPermit/EPC

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 DU/acre) located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 05DRB-00911, 06EPC-00146, 06EPC-00147] **[David Stallworth, EPC Case Planner]** *[Deferred from 7/12/06]* (F-21) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE VACATION OF THE 35-FOOT ROADWAY AND PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE VACATION OF THE 35-FOOT ROADWAY AND PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN.**



**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

6. **Project # 1005023**  
06DRB-01010 Minor-SiteDev Plan  
BldPermit

DON DUDLEY ARCHITECT agent(s) for KEITH CHESHIRE, RIO GRANDE PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 56, **ALAMEDA BUSINESS PARK**, zoned SU-2-IP/EP, located on PASEO ALAMEDA NE, between CALLE ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF: PROJECT # 1000624] (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILD NOTES AND PLANNING FOR ADDITIONAL LANGUAGE ON SIGNATURE BLOCK AND 3 COPIES OF THE SITE PLAN.**

7. **Project # 1002651**  
06DRB-01011 Minor-Amnd SiteDev Plan  
BldPermit

ADVANCED ENGINEERING & CONSULTANTS agent(s) for DEVALMONT VINEYARDS INC request(s) the above action(s) for all or a portion of Lot(s) 25-A, Block(s) 15, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 for IP, located on INTERSTATE 25 FRONTAGE ROAD between CARMEL AVE NE and CORONA AVE NE containing approximately 2 acre(s). [REF: DRB-93-78, ZA-93-38, ZA-93-91] (C-18) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

8. **Project # 1004820**  
06DRB-01007 Minor-SiteDev Plan  
BldPermit/EPC  
06DRB-01008 Minor-Prelim&Final Plat  
Approval  
06DRB-01009 Minor-Ext of SIA for Temp  
Defer SDWK

FANNING BARD TATUM ARCHITECTS agent(s) for AQUATIC CONSULTANTS INC request(s) the above action(s) for all or a portion of Tract(s) D-1-B, Adobe Wells Subdivision (to be known as **AQUATIC CONSULTANTS OFFICE BUILDING**) zoned C-2, located on IRVING BLVD NW and EAGLE RANCH RD NW and containing approximately 3 acre(s). [REF: 06EPC-00470, DRB-95-33] [Carmen Marrone, EPC Case Planner] (B-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CARMEN MARRONE'S INITIALS, VACATION OF THE 10-FOOT PUBLIC UTILITY EASEMENT AND 3 COPIES OF THE SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: CHANGE "SEWER EASEMENTS" TO "PRIVATE SEWER EASEMENTS", ADD ITEM 4 TO "PURPOSE OF PLAT" AND BOB GAY'S SIGNATURE FOR NMU INC ON THE PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE EXTENSION OF SIA FOR TEMPORARY DEFERRAL OF SIDEWALKS 06DRB01009 WAS WITHDRAWN AT THE AGENT'S REQUEST.**

9. **Project # 1003012**  
06DRB-00991 Minor-AmendedSiteDev  
Plan BldPermit/EPC

WILLIAM A MCCONNELL ARCHITECT agent(s) for BEN PADILLA, TOWER ROAD BAPTIST CHURCH request(s) the above action(s) for all or a portion of Tract(s) 430-A, **ATRISCO GRANT, UNIT 3**, zoned SU-1 special use zone, located on 86TH ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 2 acre(s). [REF: 06EPC-00609] [Petra Morris, EPC Case Planner] (L-9) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

10. **Project # 1003993**  
06DRB-01006 Minor-SiteDev Plan  
BldPermit/EPC  
06DRB-01005 Minor-Prelim&Final Plat  
Approval  
06DRB-01003 Minor-Vacation of Private  
Easements

RHOMBUS PA INC agent(s) for GLOBAL STORAGE request(s) the above action(s) for all or a portion of Lot(s) A-37-1, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **GLOBAL STORAGE**) zoned SU-1-O-1, located on COORS BLVD NW, between SEQUOIA NW and ST JOSEPHS DR NW containing approximately 4 acre(s). [REF: 05EPC-00369, 05EPC-00370] **[David Stallworth, EPC Case Planner]** *[Deferred from 7/19/06]* (G-11) **DEFERRED AT THE AGENT'S REQUEST TO JULY 26, 2006.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project # 1000965**  
06DRB-01002 Minor-Prelim&Final Plat  
Approval

BOHANNAN HUSTON INC agent(s) for ASW REALTY, ANDALUCIA DEVELOPMENT CO request(s) the above action(s) for Lot(s) 91-A thru 129-A & Tract(s) M-1 & N-1, **ANDALUCIA AT LA LUZ**, zoned SU-1-PRD (5 du acre), located on SEVILLA AVE NW, between MI CORDELLA DR NW and TRES GRACIAS DR NW containing approximately 4 acre(s). [REF: 05DRB-01025] (F-11) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1005021**  
06DRB-01000 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC agent(s) for JC PETERSON LLC request(s) the above action(s) for all or a portion of Lot(s) 3, 4, 5, 15, 16 and 17, Block(s) 5, **ESPERANZA ADDITION**, zoned C-1 & P, located on SAN MATEO BLVD SE, between TRUMBULL AVE SE and SOUTHERN AVE SE containing approximately 1 acre(s). *[Deferred from 7/19/06]* (L-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

13. **Project # 1004940**  
06DRB-00794 Minor-Prelim&Final Plat  
Approval  
06DRB-00795 Minor-Vacation of Private  
Easements

ISAACSON & ARFMAN PA agent(s) for SIGNATURE J HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 30, 31 & 32 (to be known as **CHAMISA ENCANTADA**) zoned R-D residential and related uses zone, developing area, located on GRAYSON RD NW, between DUSKFIRE DR NW and TARRINGTON DR NW containing approximately 1 acre(s). *[Was Indef deferred from 6/14/06]* (J-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH A CONDITION: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06 THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

14. **Project # 1004804**  
06DRB-00751 Minor-Prelim&Final Plat  
Approval

JESUS SANDOVAL agent(s) for ALEX MCCALLUM request(s) the above action(s) for all or a portion of Lot(s) 10 & 11A, Block(s) 8, **CASAS SERENAS**, zoned R-2, located on PENNSYLVANIA SE, between TRUMBULL SE and BELL SE containing approximately 1 acre(s). *[Deferred from 6/7/06 & Indef deferred on a no show 6/21/06]* (L-19) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE & RECORD THE PLAT.**

15. **Project # 1004909**  
06DRB-00717 Minor-Prelim&Final Plat  
Approval

PRECISION SURVEYS agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B, **JOURNAL CENTER**, zoned IP, located on JEFFERSON NE, between HEADLINE NE and JOURNAL CENTER NE containing approximately 9 acre(s). *[Deferred from 5/31/06 & 6/7/06 & 6/28/06]* (D-17) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**



**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

16. **Project # 1004986**  
06DRB-00922 Minor-Sketch Plat or Plan

STEPHEN & PATRICIA DWYER request(s) the above action(s) for all or a portion of Lot(s) 2, Tract(s) 2, **FOUR HILLS VILLAGE INSTALLMENT 11-A**, zoned R-1 residential zone, located on STAGECOACH RD SE, between PEDREGOSO PL SE and LA CABRA DR SE containing approximately 1 acre(s). *[Deferred from 7/12/06]* (M-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1004999**  
06DRB-00965 Minor-Sketch Plat or Plan

GLEN EFFERTZ request(s) the above action(s) for all or a portion of Tract(s) 316, **OLD TOWN ELEMENTARY SCHOOL**, zoned RA-1, located on MOUNTAIN RD NW, between RIO GRANDE NW and GABALDON NW containing approximately 1 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1005014**  
06DRB-00989 Minor-Sketch Plat or Plan

JACK'S HIGH COUNTRY agent(s) for PRISCILLA MARY CHAVEZ request(s) the above action(s) for all or a portion of Tract(s) 89-B1-B-1 and 89-B-3, **MAP 33**, zoned R-1, located on 12<sup>TH</sup> ST NW, between MC MULLAN AVE NW and MILDRED AVE NW containing approximately 1 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005022**  
06DRB-01001 Minor-Sketch Plat or Plan

GREG BACZEK agent(s) for PAUL CHENEY & NANCY BACZEK request(s) the above action(s) for all or a portion of Lot(s) 9 and 10, **GRANADA HEIGHTS ADDITION**, zoned R-1, located on the corner of ALISO DR SE and GARFIELD AVE SE, containing approximately 1 acre(s). (K-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **ADJOURNED: 12:05 P.M.**

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002375 AGENDA#: 2 DATE: 7.19.06

✓ 1. Name: Jack D Atkinson Address: 420 Lemay<sup>NW</sup> Herndon Zip: 87105

✓ 2. Name: mickie Address: " " " Zip: " "

✓ 3. Name: Jose L Padilla Address: 347 58<sup>th</sup> NW Zip: 87105  
Sandra Pachilla

4. Name: Tony Harris Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: Jack High Country Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_





#2

#1002375  
7/19/04





**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD – SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002375**

**AGENDA ITEM NO: 2**

**SUBJECT:**

Vacation of Public Easements  
Vacation of Public Right-of-Way

**ACTION REQUESTED:**

**REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )**

**ENGINEERING COMMENTS:**

P.O. Box 1293

Applicant's engineer must prove that the right of way is not needed to convey public drainage.

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_; DENIED \_\_; DEFERRED 8/16/06 X; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** JULY 19, 2006

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
July 19, 2006  
DRB Comments**

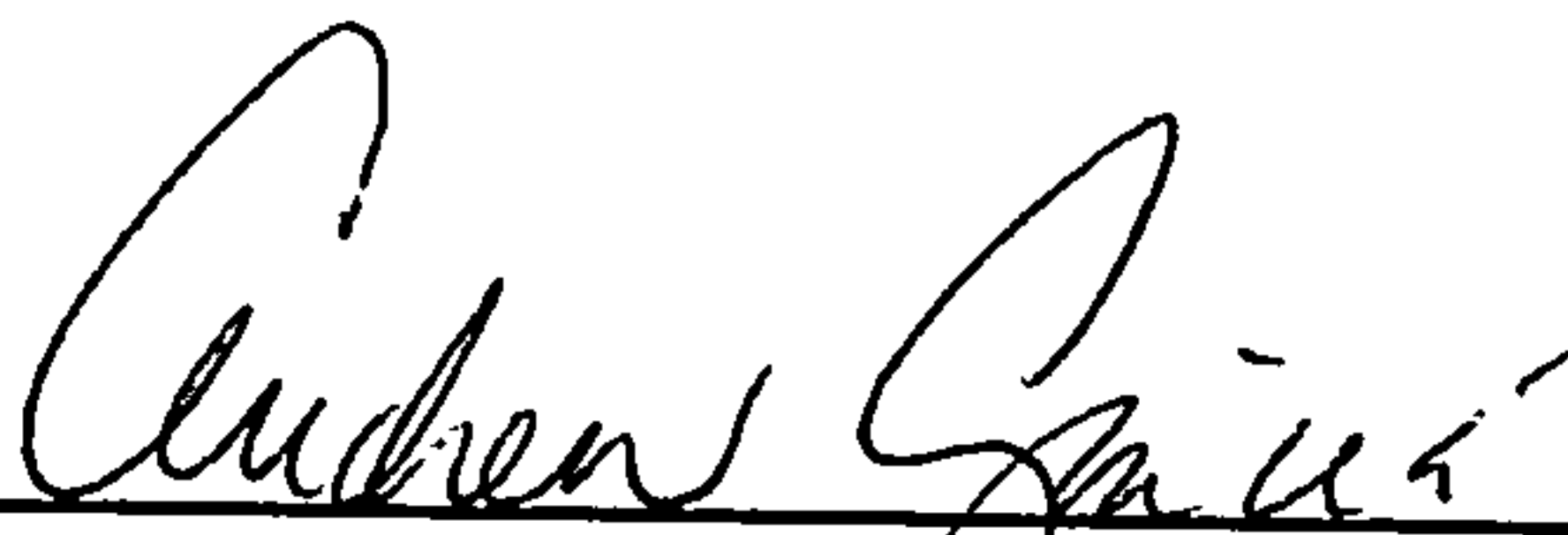
**ITEM # 2**

**PROJECT # 1002375**

**APPLICATION # 06-00902,00903**

**Re: Tracts A,B,J & K, The Palisades Addition/vpr,vpe**

Planning has no adverse comments to either request.



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Andrew Garcia, Planning Alternate  
924-3858 Fax 924-3864 [agarcia@cabq.gov](mailto:agarcia@cabq.gov)



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

July 19, 2006

**Project # 1002375**

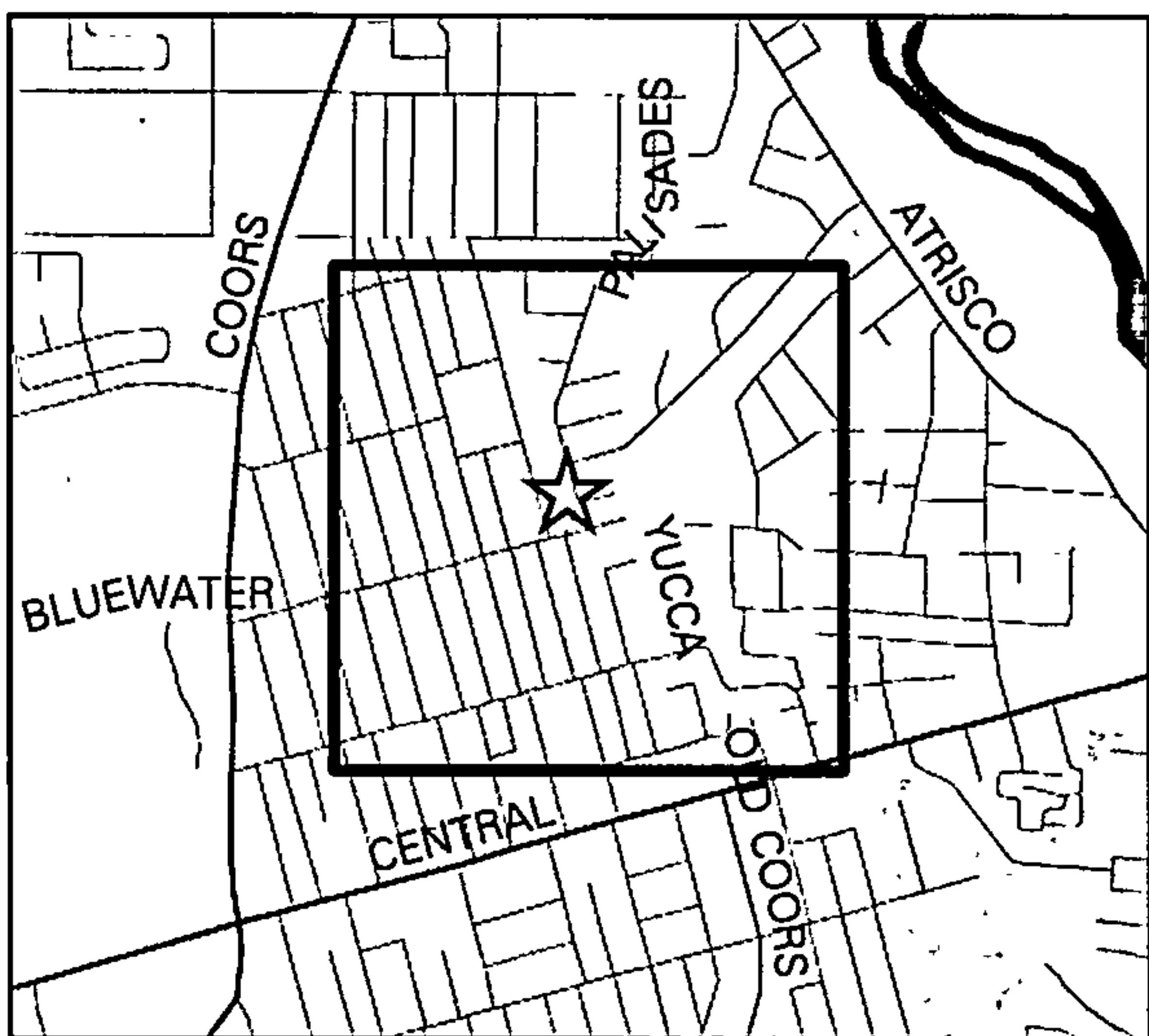
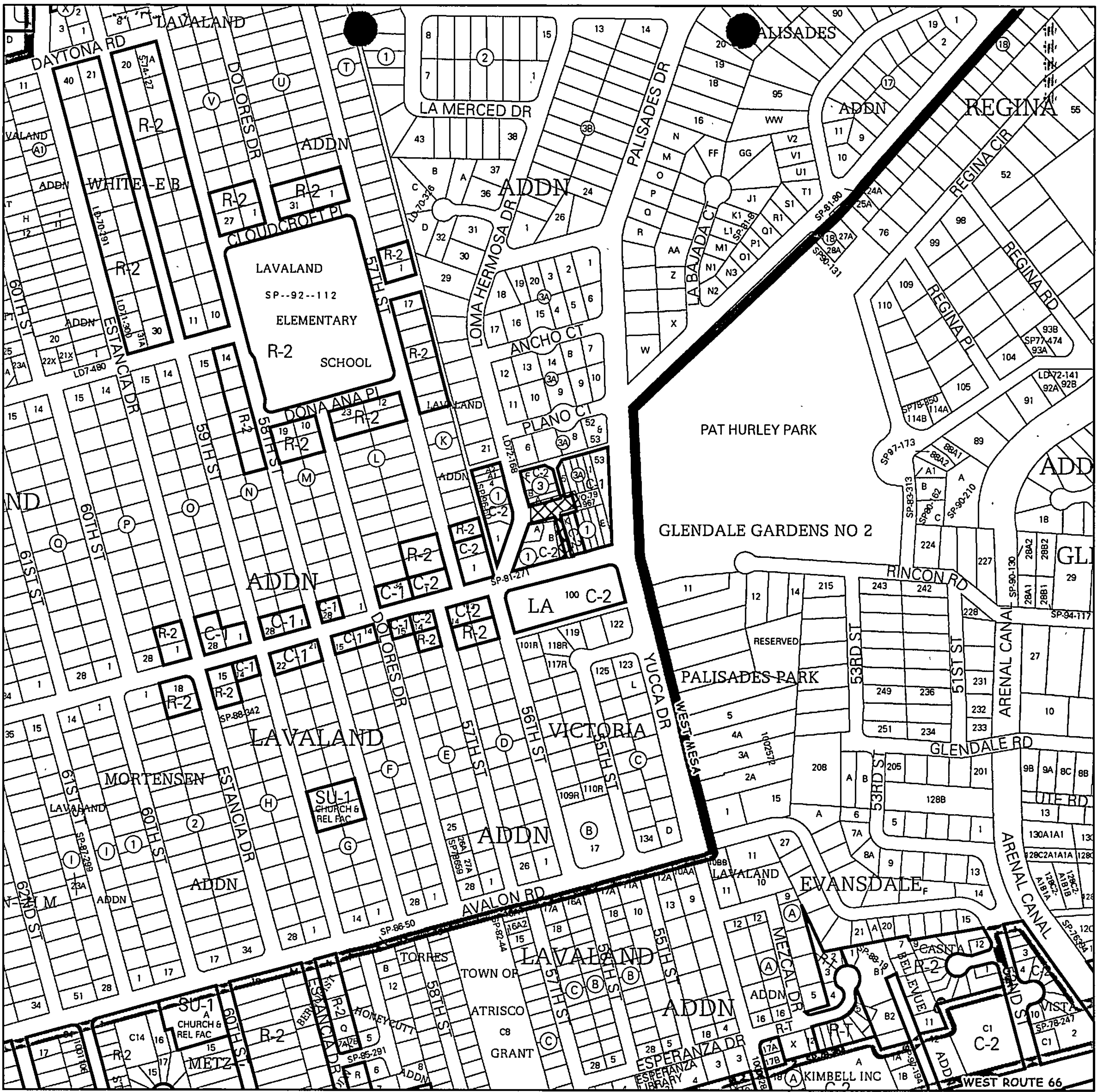
06DRB-00902 Major-Vacation of Pub Right-of-Way  
06DRB-00903 Major-Vacation of Public Easements

JACKS HIGH COUNTRY agent(s) for BARRY & SANDY HOPKINS request(s) the above action(s) for all or a portion of Tract(s) A, B, J & K, **THE PALISADES ADDITION**, located on LOMA HERMOSA DR NW, between BLUEWATER NW and YUCCA DR NW containing approximately 1 acre(s). [REF: 02DRB-01852] (J-11)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No objections.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	Letter sent to West Mesa NA (R).
APS	The request to vacate Loma Hermosa Place and an adjacent alley in order to eliminate cruising and loitering in these areas will have no adverse impact to the APS district.
Police Department	No crime prevention or CPTED comments at this time.
Fire Department	No adverse comments.
PNM Electric & Gas	Approved.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.







# ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet

Project Number:  
1002375

Hearing Date:  
7/19/06

Zone Map Page:  
J-11

Additional Case Numbers:  
06DRB-00916





11  
11  
11  
11  
11

**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 19, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

- Project # 1004076**  
06DRB-00880 Major-Vacation of Pub Right-of-Way
- SURVEYS SOUTHWEST LTD agent(s) for HILTON AVENUE LOFTS LLC, request(s) the above action(s) for a portion of HILTON AVE NE adjacent to Lot(s) 6 (to be known as **HILTON AVENUE LOFTS**) zoned RLT, located on HILTON AVE NE, between PARSIFAL ST NE and HENDRIX RD NE. [REF: 05DRB-01403, 05DRB00526] (G-20)
- Project # 1002375**  
06DRB-00902 Major-Vacation of Pub Right-of-Way  
06DRB-00903 Major-Vacation of Public Easements
- JACKS HIGH COUNTRY agent(s) for BARRY & SANDY HOPKINS request(s) the above action(s) for all or a portion of Tract(s) A, B, J & K, **THE PALISADES ADDITION**, located on LOMA HERMOSA DR NW, between BLUEWATER NW and YUCCA DR NW containing approximately 1 acre(s). [REF: 02DRB-01852] (J-11)
- Project # 1004985**  
06DRB-00916 Major-SiteDev Plan BldPermit
- JIM MEDLEY ARCHITECT AIA agent(s) for TNJ GROUP OF COMPANIES request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 4-B, **SUNPORT PARK**, zoned IP, located on SUNPORT BLVD SE, between UNIVERSITY BLVD SE and I-25 containing approximately 5 acre(s). [REF: Project# 1001067] (M-15)
- Project # 1000045**  
06DRB-00919 Major-Vacation of Public Easements  
06DRB-00920 Minor-Prelim&Final Plat Approval  
06DRB-00921 Minor- SiteDev Plan for Subd
- TIERRA WEST LLC agent(s) for SAM'S EAST INC request(s) the above action(s) for Tract(s) 3B2-A & 3A4-A-1, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on RENAISSANCE BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 15 acre(s). [REF: 05DRB-00030, 05DRB-00313, 06EPC-00285] (F-16)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 3, 2006.**

#  
#  
#  
#

**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** JULY 19, 2006  
**Zone Atlas Page:** J-11-Z  
**Notification Radius:** 100 Ft.

**Project# 1002375**  
**App#06DRB-00902**  
**App#06DRB-00903**

**Cross Reference and Location:** 400 LOMA HERMOSA DR NW BETWEEN LOMA HERMAONAS DR NW AND YUCCA DR NW

**Applicant:** BARRY HOPKINS AND SANDY HOPKINS  
**Address:** 5005 CASCADE PLACE NW  
TIJERAS, NM 87105

**Agent:** JACKS HIGH COUNTRY INC  
8953 SECOND ST NW  
ALBUQUERQUE, NM 87114

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** JUNE 30, 2006  
**Signature:** YVONNE SAAVEDRA

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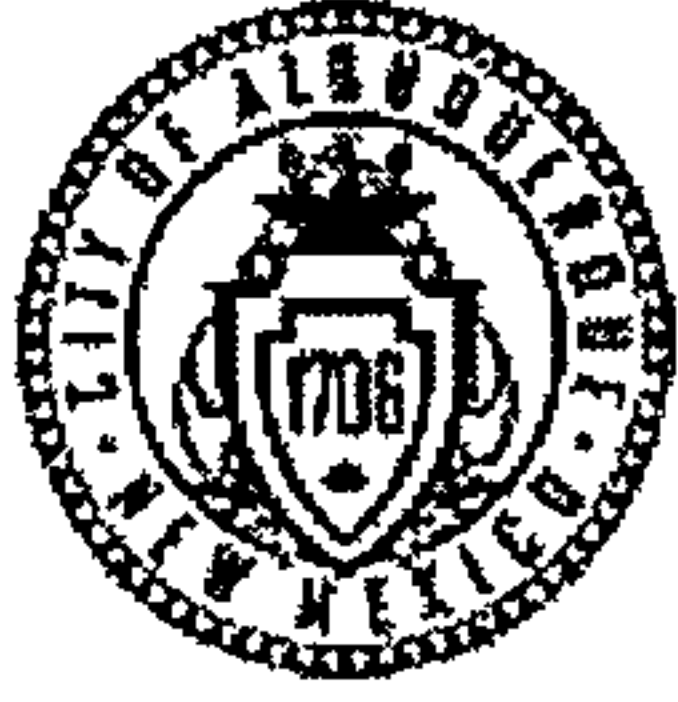
**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP / LEGAL LIST**

**PROJECT #** 1002375  
**APPLICATION #** \_\_\_\_\_

**PAGE** 1 **OF** 1

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
J-11	10110-58	262-058	815-02	✓
		245-064	12	✓ Dup
		247-058	15	✓ Dup 2
		248-056	01	✓ Dup 2
		245-040	314-05	✓ Dup 2
		256-043	08	✓ Dup 2
		259-043	09	✓ Dup 2
		256-018	306-16	✓
		232-040	323-01	✓
		232-049	02	✓
		324-083	401-43	✓
		230-054	323-03	✓
		226-015	305-14	✓
		222-033	313-01	✓





mainframe@coa1mp3.ca To  
bq.gov cc  
06/28/2006 02:42 PM bcc  
Subject

11111111

1 R E C O R D S W I T H L A B E L S PAGE  
1  
01011058 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0101105826205831502 LEGAL: LTS 1 TH RU 5 BLK 3-A & LTS E THRU H BLK 1  
AMENDED LAND USE:  
PROPERTY ADDR: 00000 BLUEWATER  
OWNER NAME: PADILLA JOSE L  
OWNER ADDR: 00347 58TH ST NW  
ALBUQUERQUE NM 87105  
0101105824506431512 LEGAL: F RE PLAT OF LOTS C & D & E BLK 3 THE PALISADES  
ADD LAND USE:  
PROPERTY ADDR: 00000 LOMA HERMOSA  
OWNER NAME: ATKINSON JACK D & MACKIE M  
OWNER ADDR: 03924 CALLE DEL PRADO SW  
ALBUQUERQUE NM 87105  
0101105824705831515 LEGAL: B 00 3THE PALISADES ADDN  
LAND USE:  
PROPERTY ADDR: 00000 LOMA HERMOSA  
OWNER NAME: ATKINSON JACK D ETUX  
OWNER ADDR: 03924 CALLE DEL PRADO SW  
ALBUQUERQUE NM 87105  
0101105824805631501 LEGAL: A 00 3THE PALISADES ADDN  
LAND USE:  
PROPERTY ADDR: 00000 LOMA HERMOSA  
OWNER NAME: ATKINSON JACK D ETUX  
OWNER ADDR: 03924 CALLE DEL PRADO SW  
ALBUQUERQUE NM 87105  
0101105824504031405 LEGAL: TRS A & B BLK 1 OF SUMMARY PLAT OF TRS A & B  
BLK 1 LAND USE:  
PROPERTY ADDR: 00000 LOMA HERMOSA  
OWNER NAME: HOPKINS BARRY & SANDY  
OWNER ADDR: 05005 CASCADE PL NW  
ALBUQUERQUE NM 87120  
0101105825604331408 LEGAL: K 00 1PAL ISADES ADDN  
LAND USE:  
PROPERTY ADDR: 00000 LOMA HERMOSA  
OWNER NAME: HOPKINS BARRY & SANDY  
OWNER ADDR: 05005 CASCADE PL NW  
ALBUQUERQUE NM 87105  
0101105825904331409 LEGAL: J 00 1PAL ISADES ADDN  
LAND USE:  
PROPERTY ADDR: 00000 BLUEWATER  
OWNER NAME: HOPKINS BARRY & SANDY  
OWNER ADDR: 05005 CASCADE PL NW  
ALBUQUERQUE NM 87105  
0101105825601830616 LEGAL: 100 LA V ICTORIA SUBD  
LAND USE:  
PROPERTY ADDR: 00000 YUCCA  
OWNER NAME: LOVATO EVANGELINE H ETVIR ETAL  
OWNER ADDR: 00217 VIRGINIA NE  
ALBUQUERQUE NM 87108

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PAGE 2

0101105823204032301 LEGAL: LT 1 PLA T OF LTS 1 THRU 4 BLK 1 PALISADES ADDN  
CON LAND USE:

PROPERTY ADDR: 00000 LOMA HERMOSA  
OWNER NAME: WATERMAN RHETT A  
OWNER ADDR: PO BOX 10005

ALBUQUERQUE NM 87184

0101105823204932302 LEGAL: LT 2 PLA T OF LTS 1 THRU 4 BLK 1 PALISADES ADDN  
CON LAND USE:

PROPERTY ADDR: 00000 LOMA HERMOSA  
OWNER NAME: BARRAZA-MEDINA GUADALUPE & ART  
OWNER ADDR: 02122 HIGH ST SE

ALBUQUERQUE NM 87102

0101105832408340143 LEGAL: PAT HURL EY PARK & LOTS 216 THRU 222 & WLY PORT  
OF LAND USE:

PROPERTY ADDR: 00000 RINCON  
OWNER NAME: CITY OF ALBUQUERQUE  
OWNER ADDR: PO BOX 1293

ALBUQUERQUE NM 87103

0101105823005432303 LEGAL: LT 3 PLA T OF LTS 1 THRU 4 BLK 1 PALISADES ADDN  
CON LAND USE:

PROPERTY ADDR: 00000 LOMA HERMOSA  
OWNER NAME: VANDERPOOL LEO C & KIMBERLY A  
OWNER ADDR: 00419 LOMA HERMOSA RD NW

ALBUQUERQUE NM 87105

0101105822601530514 LEGAL: 013 D LA VALAND ADD  
LAND USE:

PROPERTY ADDR: 00000 56TH  
OWNER NAME: GALLARDO JOSE M ETUX  
OWNER ADDR: 00375 56TH ST NW

ALBUQUERQUE NM 87105

0101105822203331301 LEGAL: LOTS 1 & 2 BLOCK K LAVALAND ADDITION  
LAND USE:

PROPERTY ADDR: 00000 BLUEWATER  
OWNER NAME: BACA ALFRED L  
OWNER ADDR: 05601 BLUEWATER RD NW

ALBUQUERQUE NM 87105

QUIT

101105823204032301

LEGAL: LOT 1 PLAT OF LTS 1 TYHRU 4 BLK 1 PALISADES AD AC M/L OR  
4.866 SF M  
PROPERTY ADDR: N/A

OWNERS NAME: WATERMAN RHETT A  
OWNERS ADDR: PO BOX 10005  
ALBUQUERQUE, NM 87184

101105832408340143

LEGAL: PAT HURLEY PARK & LOTS 216 THRU U 222 & WLY POL ENDALE  
GARDENS ADD  
PROPERTY ADDR: N/A

OWNERS NAME: CITY OF ALBUQUERQE  
OWNERS ADDR: PO BOX 1293  
ALBUQUERQUE, NM 87103

Project # 1002375

BARRY HOPKINS AND SANDY HOPKINS  
5005 CASCADE PLACE NW  
TIJERAS, NM 87105

Project # 1002375

BENNIE MATLOCK  
West Mesa N.A.  
837 LOMAS HERMOSA DR NW  
ALBUQUERQUE, NM 87105

101105824504031405

HOPKINS BARRY & SANDY  
5005 CASCADE PL NW  
ALBUQUERQUE NM 87120

101105823204932302

BARRAZA-MEDINA GUADALUPE & AR  
2122 HIGH ST SE  
ALBUQUERQUE NM 87102

101105822203331301

BACA ALFRED L  
5601 BLUEWATER RD NW  
ALBUQUERQUE NM 87105

Project # 1002375

JACKS HIGH COUNTRY INC  
8953 SECOND ST NW  
ALBUQUERQUE, NM 87114

101105826205831502

PADILLA JOSE L  
347 58TH ST NW  
ALBUQUERQUE NM 87105

101105825601830616

LOVATO EVANGELINE H ETVIR ETA  
217 VIRGINIA NE  
ALBUQUERQUE NM 87108

101105823005432303

VANDERPOOL LEO C & KIMBERLY A  
419 LOMA HERMOSA RD NW  
ALBUQUERQUE NM 87105

Project # 1002375

LOUIS TAFOYA  
West Mesa N.A.  
6411 AVALON RD NW  
ALBUQUERQUE, NM 87105

101105824506431512

ATKINSON JACK D & MACKIE M  
3924 CALLE DEL PRADO SW  
ALBUQUERQUE NM 87105

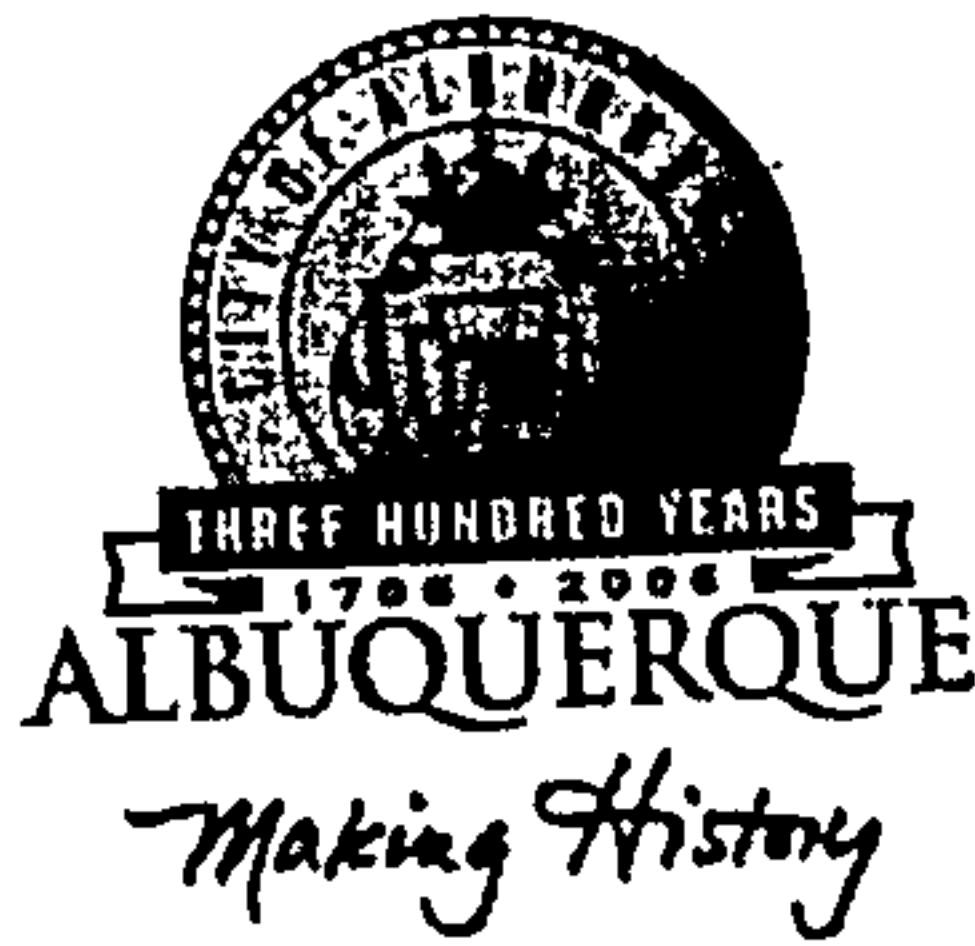
101105823204032301

WATERMAN RHETT A  
PO BOX 10005  
ALBUQUERQUE, NM 87184

101105822601530514

GALLARDO JOSE M ETUX  
375 56TH ST NW  
ALBUQUERQUE NM 87105



City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 6-15-06

TO CONTACT NAME: Jack Spilman  
COMPANY/AGENCY: Jack's High Country, INC.  
ADDRESS/ZIP: 8953 2nd NW Albuquerque, N.M. 87114  
PHONE/FAX #: 898-3707 890-0045

Thank you for your inquiry of 6-15-06 (date) requesting the names of **Recognized Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at \_\_\_\_\_

zone map page(s) J-11

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

West Mesa  
**Neighborhood Association**  
Contacts: Louis Tafuya  
6411 Avalon Rd. NW 87105  
836-3189  
Bennie Matlock  
837 Loma Hermosa Dr. NW 87105  
836-1106

**Neighborhood Association**  
Contacts: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

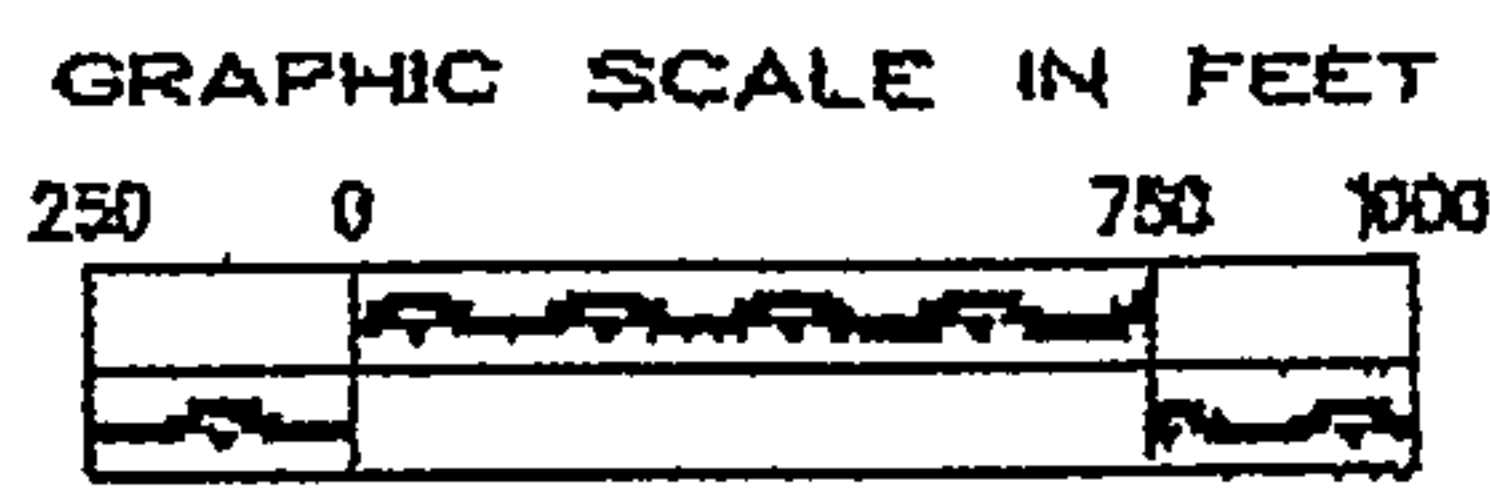
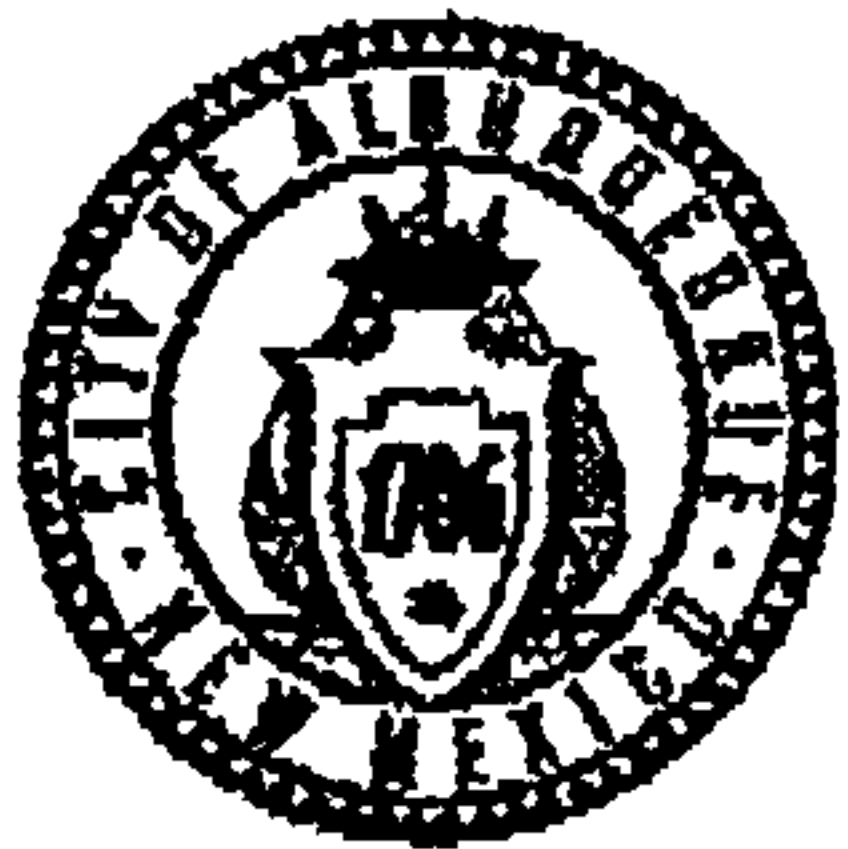
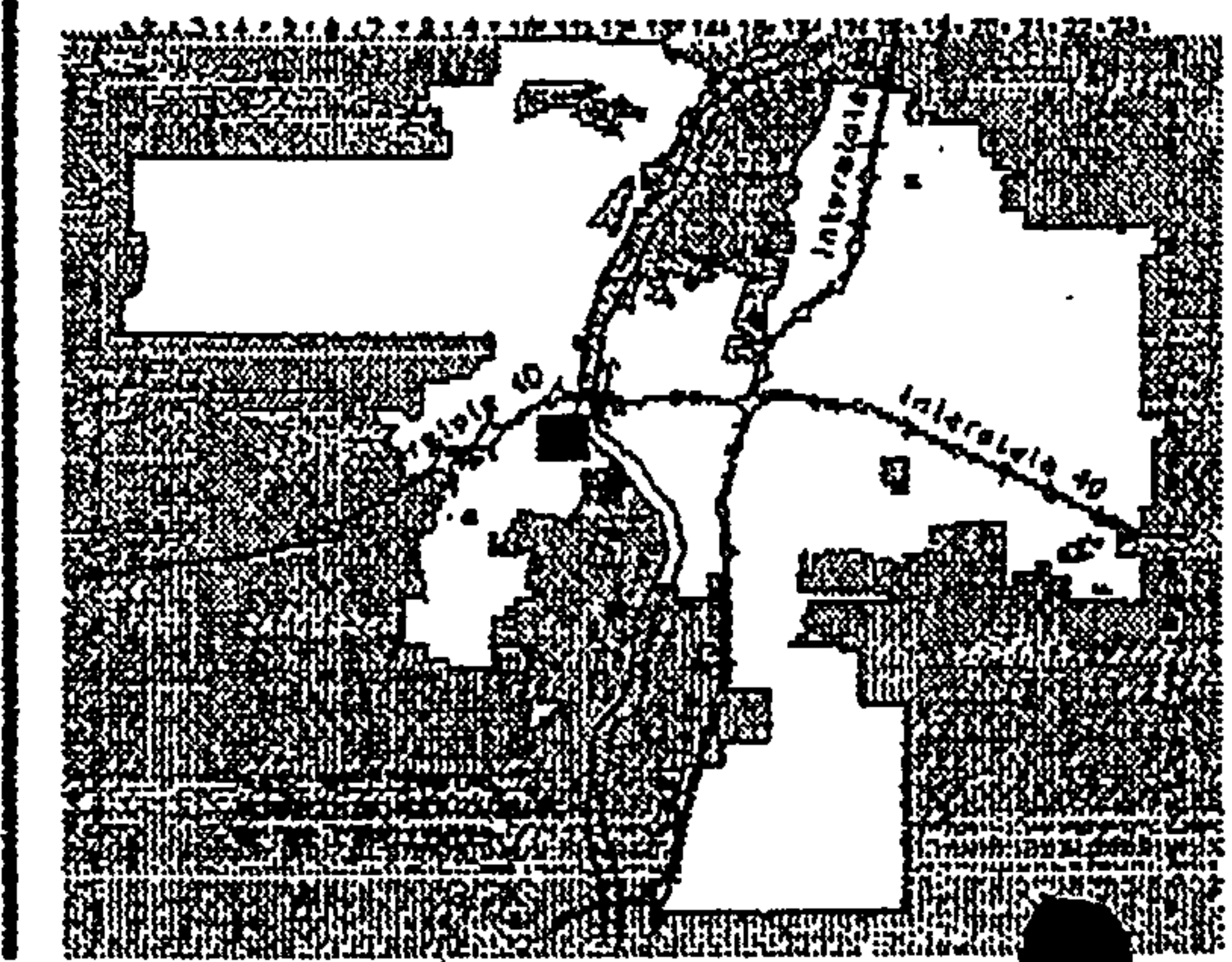
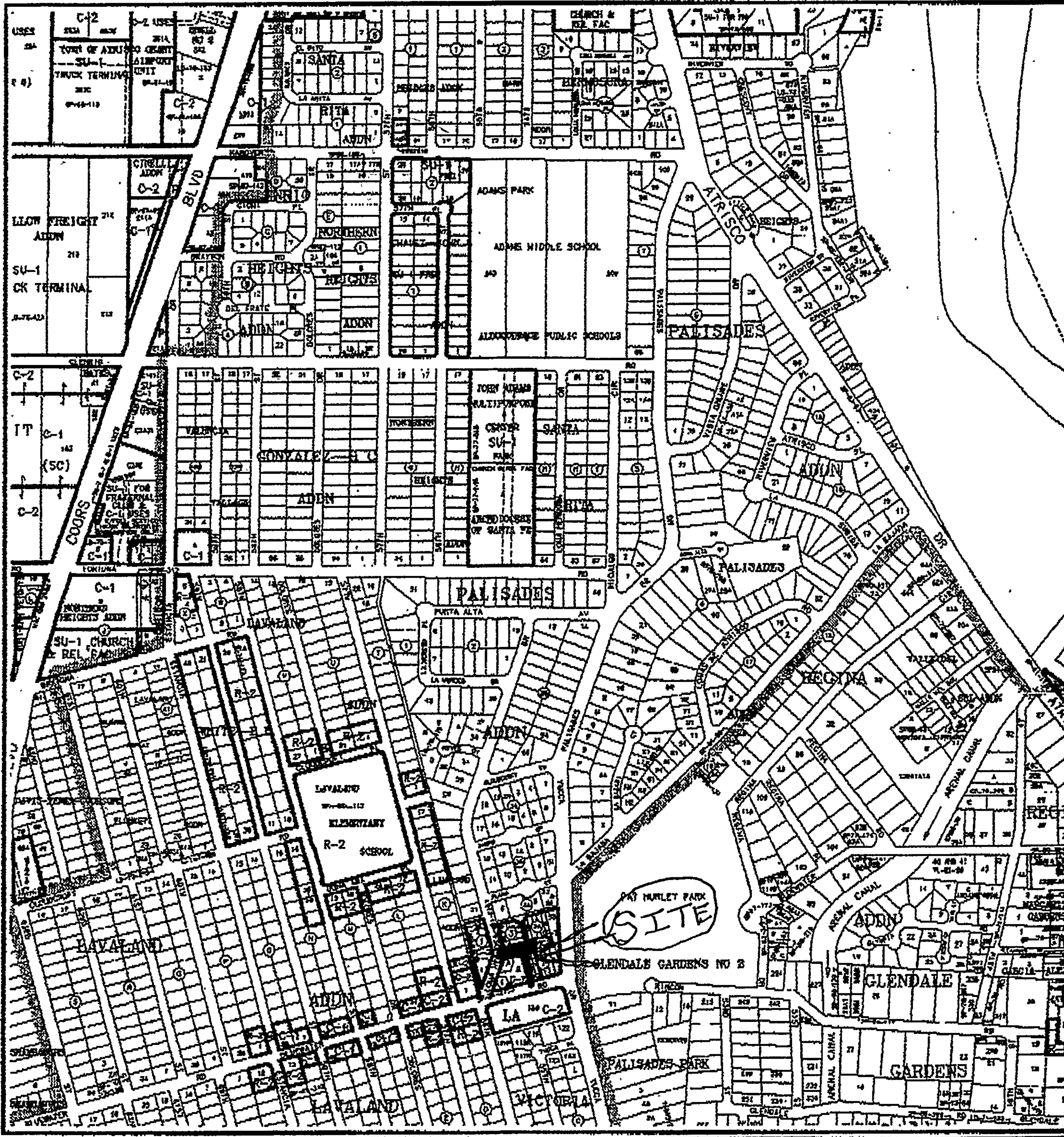
**See reverse side for additional Neighborhood Association Information: YES { } NO { }**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,  
  
OFFICE OF NEIGHBORHOOD COORDINATION

.....  
**Attention: Both contacts per neighborhood association need to be notified.**  
.....





**Zone Atlas Page**

**J-11-Z**

**Alhambra Graphic Institute**  
 Planning Department  
 © Copyright 2004

Map Amended through February 03, 2004



## F Y I



*Making History*

### **NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD**

June 29, 2006

**TO:** Louis Tafoya and Bennie Matlock, West Mesa Neighborhood Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately one (1) acre(s) - Major Vacation of Public Right-of-Way and Major Vacation of Public Easements for fencing off tracts to prevent cruising and loitering on the property.

*Proposed by:* Jack's High Country at 898-3707

*Agent for:* Barry and Sandy Hopkins

P.O. Box 1293

*For property located:* On or near Loma Hermosa Drive NW between Bluewater Road NW and Yucca Drive NW.

Albuquerque

*The case number(s) assigned is:* 06DRB- 00902 and 00903, Project # 1002375.

City Planning accepted application for this request on June 19, 2006.

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, July 19, 2006 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions -OR- have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Sincerely,

*Stephani J. Winklepleck*

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB  
Administrative Assistant**

Mesa Reprographics  
5901 Lomas Blvd. NE  
262-2046 office  
256-9435 fax

Date: 08/17/06

PLEASE CALL/DELIVER COPIES & INVOICE TO:

LOUIS TAFOYA  
6411 AVALON ROAD NW  
ALBUQUERQUE, NM 87105  
(505) 836-3189

PLEASE CALL  
WITH COST &  
PICK-UP

PLEASE RETURN ORIGINALS

**TO:** City Of Albuquerque  
Planning Department /Publications  
2nd Level (on the west side from the entry area)  
600 2nd St. NW Suite 201

**CONTACT:** Sandy Handley @ 924-3861 or Tim Sims @ 924-3895

DOCUMENT: PROJECT # 1002375

RELEASED TO: Alex Harrison

DATE: 8/17/06

RETURNED TO: \_\_\_\_\_

DATE: \_\_\_\_\_

BINDER A - 7 @ 8.5x11  
6 @ 8.5x14  
2 @ 18x24  
1 envelope -





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\*\*\* RX REPORT \*\*\*  
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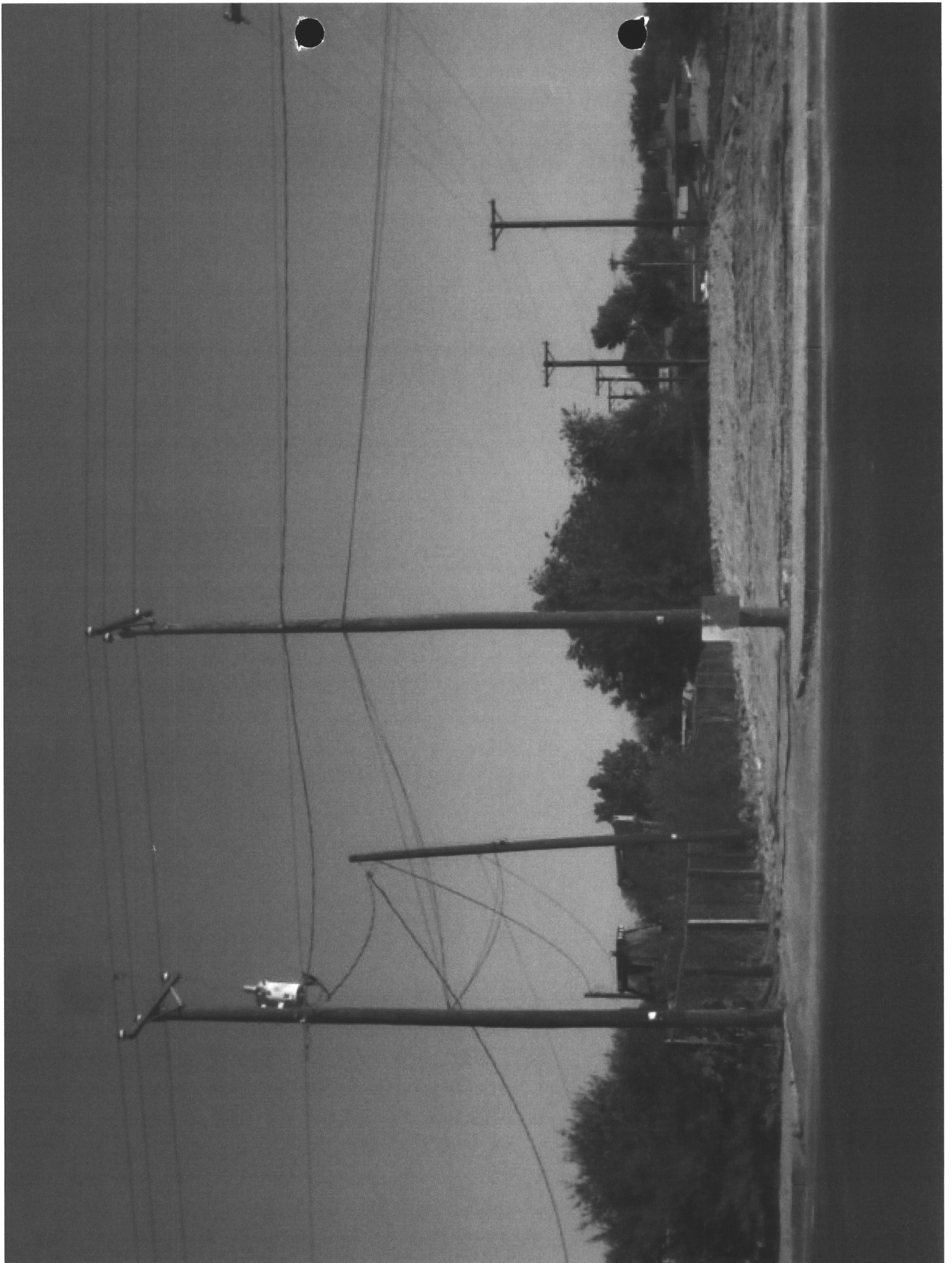
RECEPTION OK

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CONNECTION TEL	
SUBADDRESS	
CONNECTION ID	
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RESULT	OK

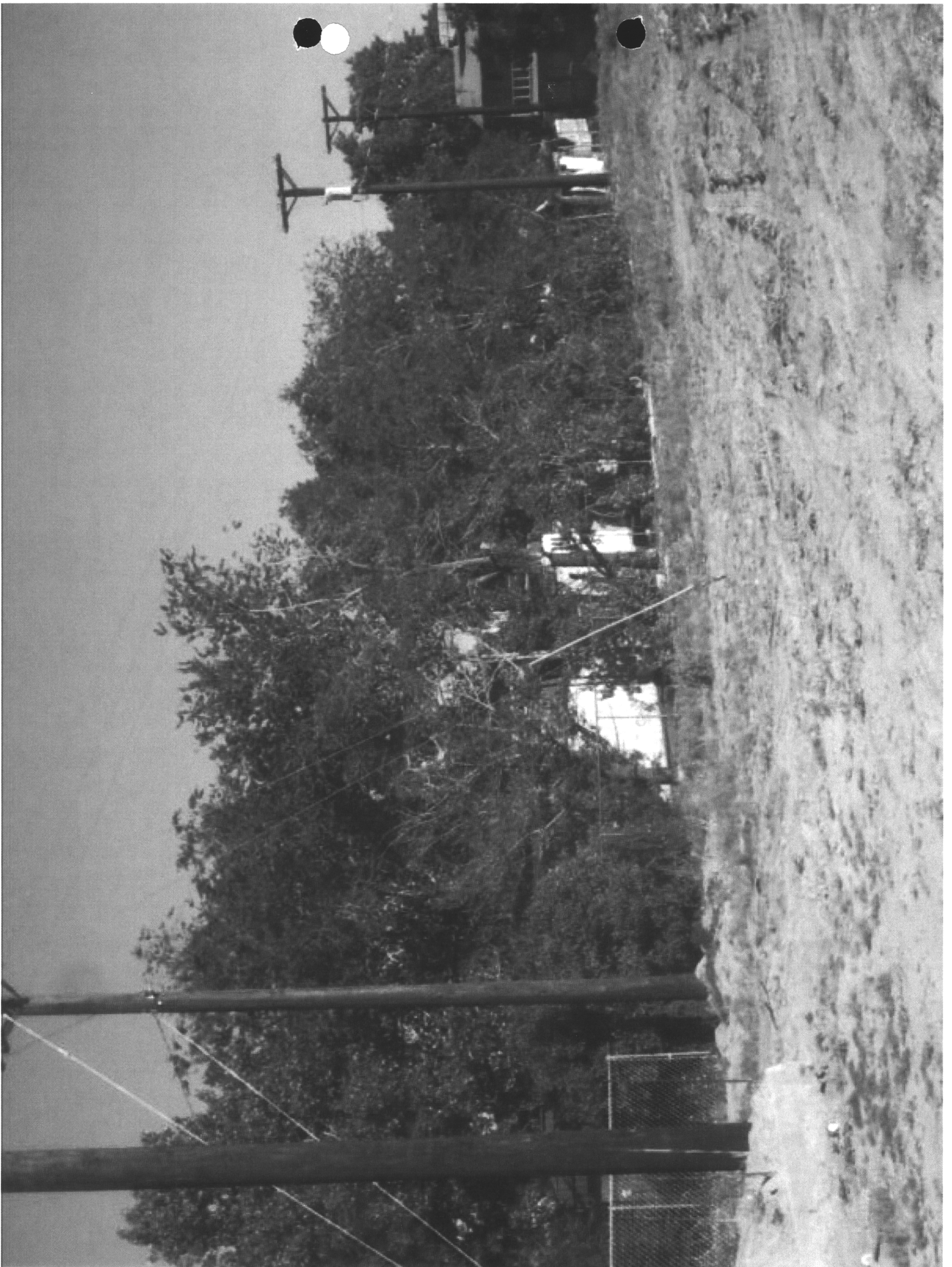
























file  
1002375

PO Box 12052  
Albuquerque, New Mexico 87195-0052  
(505) 836-3189  
July 13, 2006

City of Albuquerque  
Ms. Sheran Matson, Chair, Development Review Board  
600 Second Street NW  
Albuquerque, NM 87102

**Subject: Application of approximately one (1) acre(s) for Major Vacation of Public Right-of Way and Major Vacation of Public Easements for fencing off tracts to prevent cruising and loitering on the property, Letter in support of**

**Reference (a): Development Review Board (DRB) Case number(s) 06DRB-00902 and 00903, Project # 1002375: Jack's High Country, agent for Barry and Sandy Hopkins requests the above actions on or near Loma Hermosa between Bluewater Road NW and Yucca Drive NW;**

**Reference (b): Environmental Planning Commission Z-99-23 of 18 March 1999: Tract 53, Lots 1, 2, 3, 4, & 5 of Block 3-A, and Lots E, F, G, and H of Block 1, Palisades Addition & Adjacent vacated right-of-way, located on Loma Hermosa Drive, between Bluewater Road NW and Plano Court, containg approximately 1.2 acres. (J-11);**

**Reference ©: Albuquerque Police Report Case No. 06-74078 of 22 June 2006; Recent shooting towards/from 429 Loma Hermosa Drive NW.**

Dear Ms. Sheran Matson,

I am writing this letter as the representative of the West Mesa Neighborhood Association (WMNA) to support Reference (a): The application of approximately one (1) acre(s) for Major Vacation of Public Right-of Way and Major Vacation of Public Easements for fencing off tracts to prevent cruising and loitering on the property on or near Loma Hermosa between Bluewater Road NW and Yucca Drive NW" entitled DRB Case number(s) 06DRB-00902 and 00903, Project # 1002375.

During the procedures of Reference (b), WMNA (formerly Lavaland Vecinos Neighborhood Association) expressed concerns about Calvary Apostolic Church's plans to use Loma Hermosa Place as an entry/exit road for their congregation. I believe the commissioners decided that Calvary Apostolic Church would have to provide adequate entrance and exit points for their congregation from Yucca Drive NW-Yucca Drive NW is a "collector street" while Loma Hermosa Drive is a residential street and people should not use this street as an exit/entry driveway.

**The incident of Reference (c) is not the first time that persons have used Loma Hermosa Place NW to do this sort of thing. A few years ago the same type of shooting incident towards the same residence, 429 Loma Hermosa Drive NW, occurred. Also, it has been reported that used syringes, used condoms and empty cans and bottles are a constant problem.**

**The WMNA has no misgiving concerning the application and strongly recommends that this application is approved. WMNA strives continuously to enhance the Quality of Life in our neighborhood and believes good businesses are key to that effort.**

**We also know that Barry Hopkins Concrete, Inc., and we need these types of businesses in our area. We therefore offer our FULL SUPPORT in helping Barry and Sandy Hopkins obtain these properties that will enhance and/or strengthen their business.**

**The WMNA is deeply involved in The Redevelopment of Coors Boulevard, West Central Avenue, Atrisco Plaza and Old South Coors Boulevard and we would gladly work with and help businesses like Barry Hopkins Concrete, Inc., in our area.**

**Sincerely,**

  
Louis Tafoya

**President, West Mesa Neighborhood Association**

**Cc: City Councilor Kenneth Sanchez, Albuquerque City Council, PO Box 1293, Albuquerque, NM 87103**



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<p><b>SUBDIVISION</b></p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input checked="" type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN</b></p> <p><input type="checkbox"/> for Subdivision Purposes</p> <p><input type="checkbox"/> for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p> <p><b>STORM DRAINAGE</b></p> <p><input type="checkbox"/> Storm Drainage Cost Allocation Plan</p>	<p><b>S Z ZONING &amp; PLANNING</b></p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><input type="checkbox"/> Street Name Change (Local &amp; Collector)</p> <p><b>L A APPEAL / PROTEST of...</b></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	--

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Barry Hopkins and Sandy Hopkins (h/w) PHONE: 991-0808  
 ADDRESS: 5005 Cascade Place, NW FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87105 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_  
 AGENT (if any): Jacks High Country, Inc PHONE: 898-3707  
 ADDRESS: 8953 Seward St NW FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: Vacation of Public Easement  
To vacate Loma Hermosa Place and alleyway running south from there.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts "A", "B", "I" & "K" Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. The Palisades Addn  
 Current Zoning: ~~C-2~~ No zoning Proposed zoning: Alley I AM  
 Zone Atlas page(s): I-11-2 No. of existing lots: \_\_\_\_\_ No. of proposed lots: \_\_\_\_\_  
 Total area of site (acres): 0.8733 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No  
 UPC No. 101105825604331408 / 101105825904331409 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 400 Loma Hermosa Dr. NW  
 Between: Loma Hermosa Dr. NW and Yucca Dr. NW.

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.):  
Project #1002375, 02 DRB-01852 SE ALSO 1001357

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: \_\_\_\_\_

SIGNATURE Jack Spilman DATE 6/19/06  
 (Print) Jack Spilman  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<p><input checked="" type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input type="checkbox"/> F.H.D.P. density bonus</p> <p><input checked="" type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>06DRB</u> <u>00902</u></p> <p><u>06DRB</u> <u>00903</u></p> <p>_____</p> <p>_____</p> <p>Hearing date <u>7-19-06</u></p>	<p>Action</p> <p><u>URW</u></p> <p><u>JPE</u></p> <p><u>CMF</u></p> <p><u>ADV</u></p> <p>_____</p> <p>_____</p>	<p>S.F.</p> <p><u>✓</u></p> <p><u>✓</u></p> <p>_____</p> <p>_____</p>	<p>Fees</p> <p>\$ <u>300.00</u></p> <p>\$ <u>300.00</u></p> <p>\$ <u>20.00</u></p> <p>\$ <u>75.00</u></p> <p>\$ _____</p> <p>Total</p> <p>\$ <u>695.00</u></p>
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Kim Sis 6/19/06 Project # 1002375

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. 24 copies of the plat are required. The Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") 24 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") 6 copies
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF RECORDED PLAT

- 6 copies of the recorded plat to be vacated.
- 6 copies of documents justifying the vacation.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter describing, explaining, and justifying the vacation
- Any original and/or related file numbers are listed on the cover application
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jack Spilman  
Applicant name (print)  
Jack A. Spilman 6/19/06  
Applicant signature / date



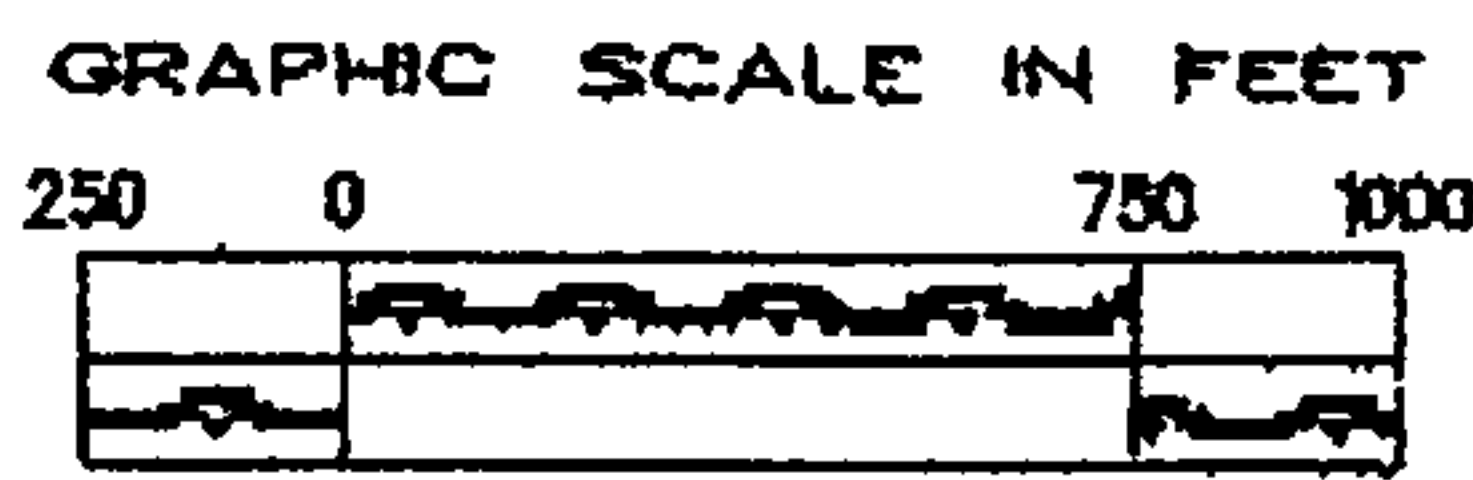
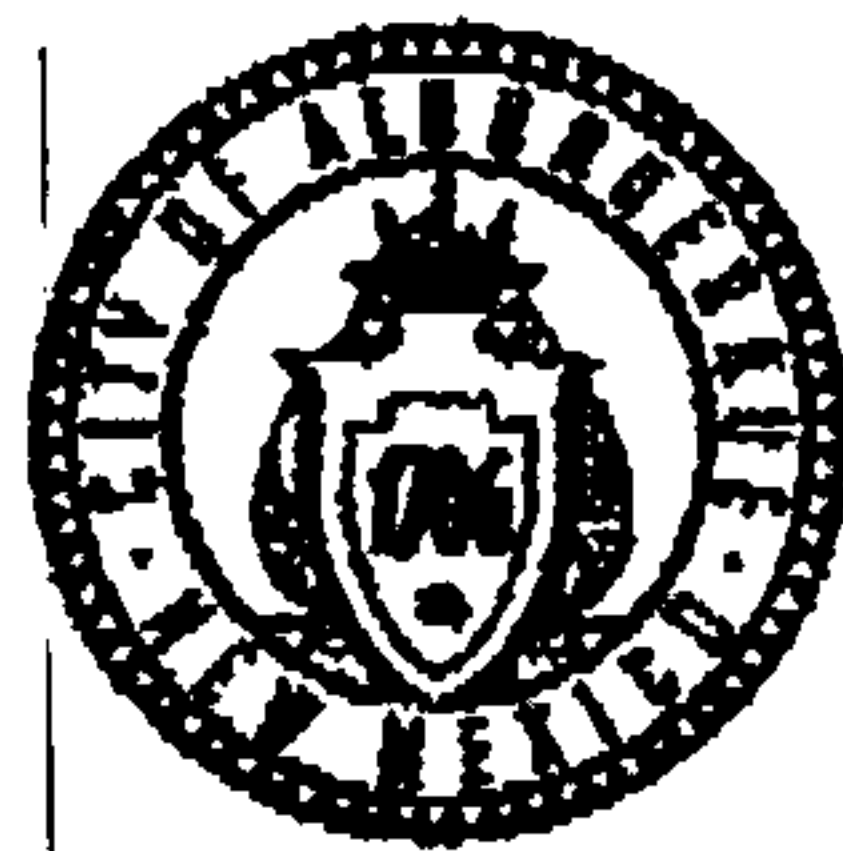
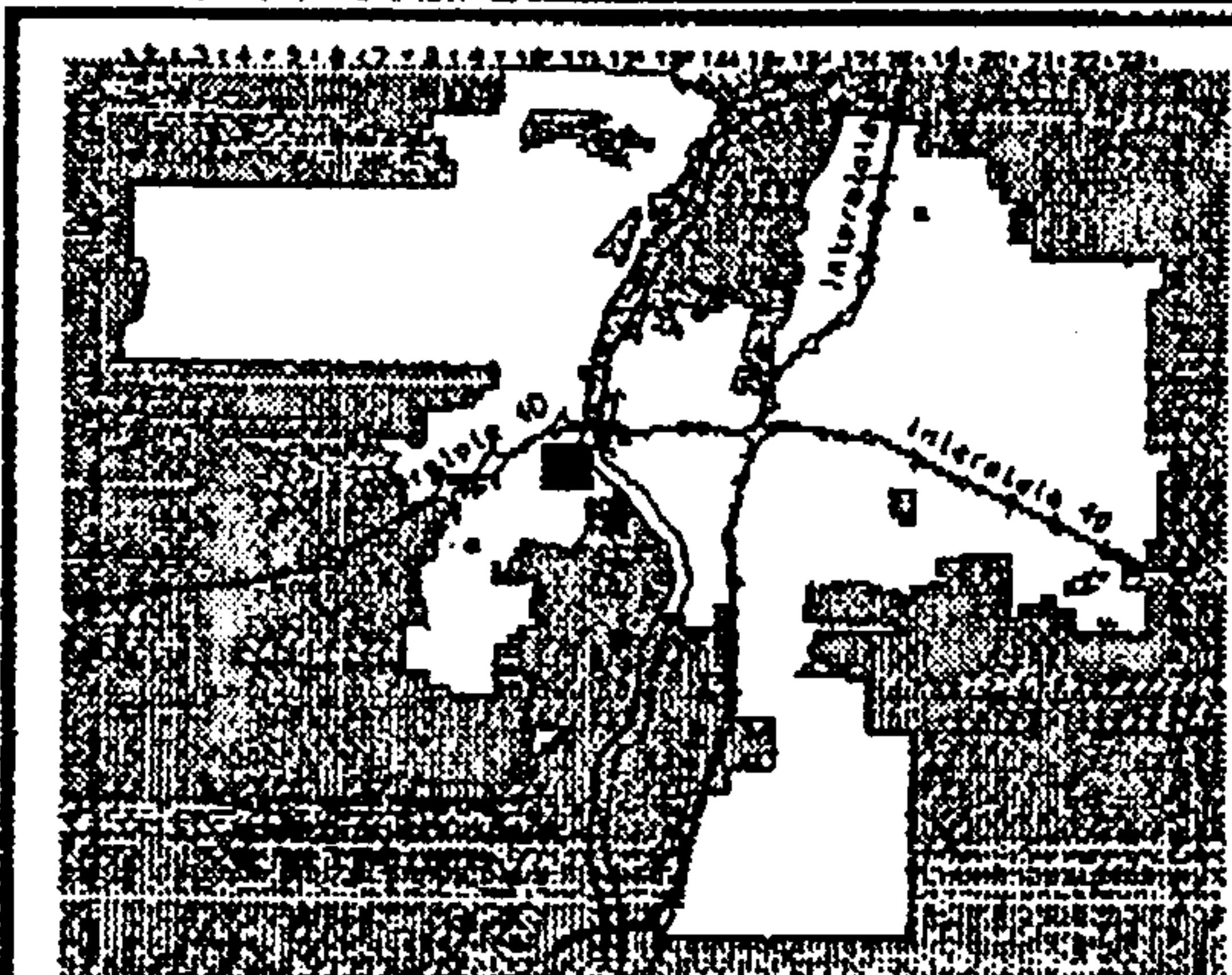
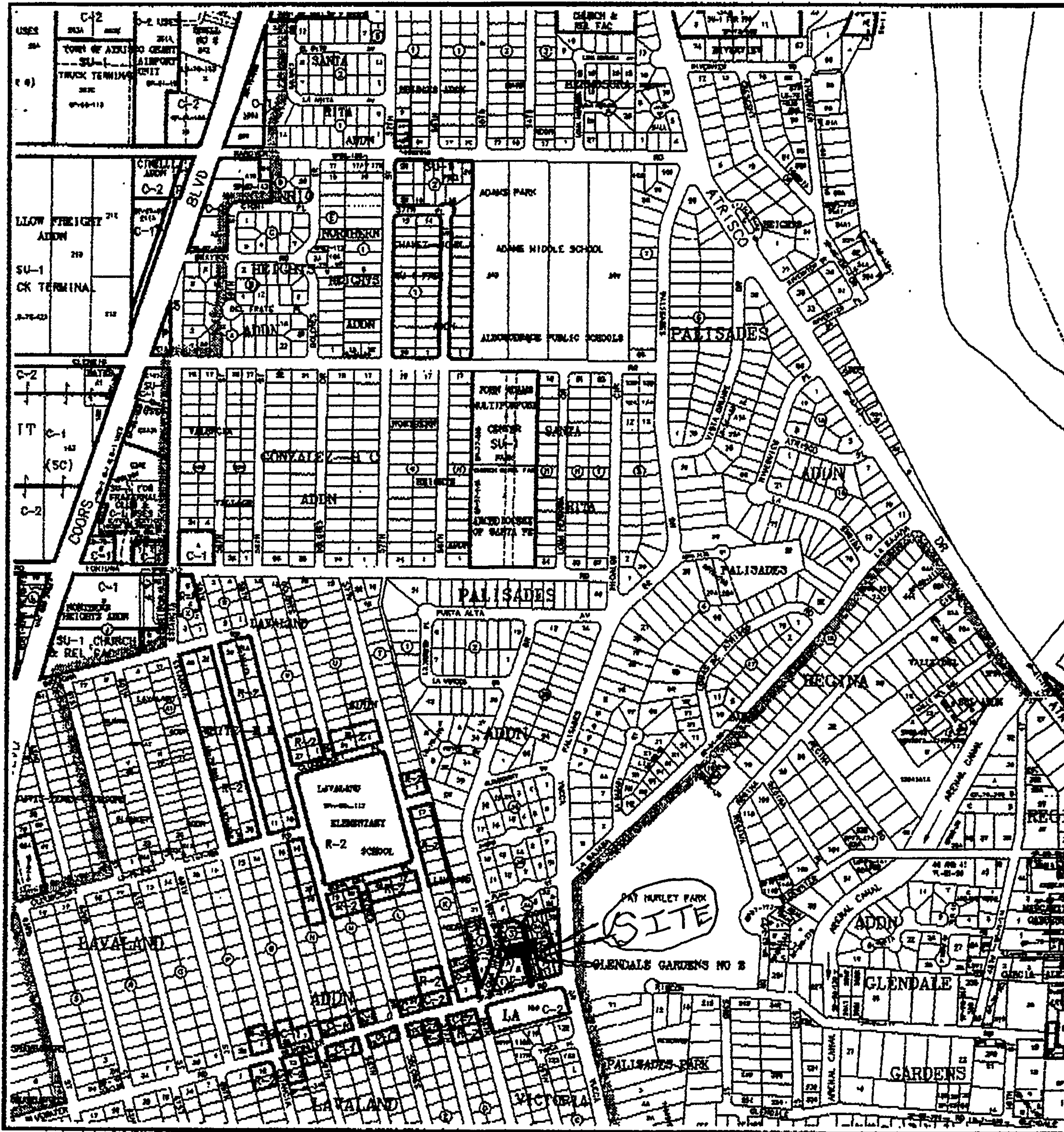
Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
06DP3 - 00902  
06DP3 - 00903

Kim [Signature] 6/19/06  
Planner signature / date  
Project # 100 2375





**Zone Atlas Page**

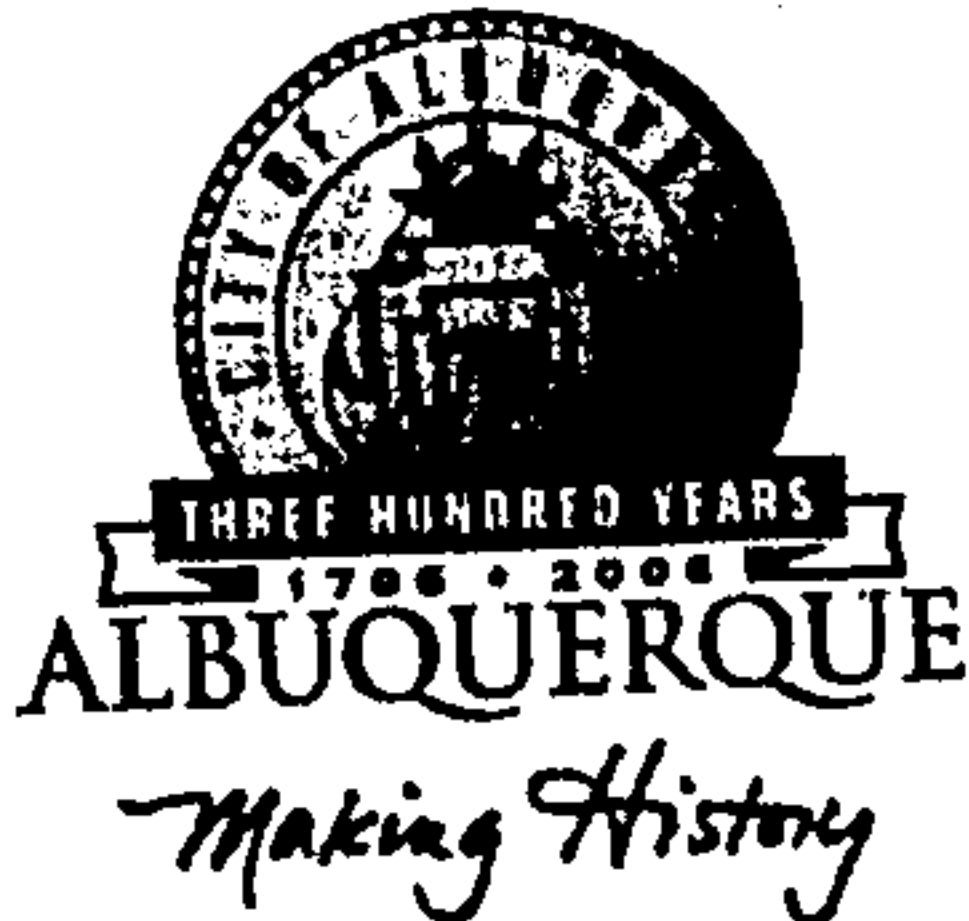
**J-11-Z**

May Amended through February 03, 2004

**Alameda County**

© Copyright 2004





# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 6-15-06

TO CONTACT NAME: Jack Spilman  
COMPANY/AGENCY: Jack's High Country, INC.  
ADDRESS/ZIP: 8953 2nd NW, Albuquerque, N.M. 87114  
PHONE/FAX #: 898-3707 890-0045

Thank you for your inquiry of 6-15-06 (date) requesting the names of **Recognized Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at \_\_\_\_\_

zone map page(s) J-11


Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

West Mesa  
**Neighborhood Association**  
Contacts: Louis Tafuya  
6411 Avalon Rd. NW 87105  
836-3189  
Bennie Matlock  
837 Loma Hermosa Dr. NW 87105  
836-1106

**Neighborhood Association**  
Contacts: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**See reverse side for additional Neighborhood Association Information: YES { } NO { }**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,  
  
OFFICE OF NEIGHBORHOOD COORDINATION

.....  
Attention: Both contacts per neighborhood association need to be notified.  
.....

# NOTICE TO APPLICANTS

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

\*\*\*\*\*

(Below this line for ONC use only)

Date of Inquiry: 6/15/06 Time Entered: 2:05 PM ONC Rep. Initials: DAW



June 18 2006

Barry Hopkins Vacation proceeding

7004 1160 0005 5295 9767

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 0.39	UNIT ID: 0114  Postmark Here Clerk: KWQB1J 06/19/06
Certified Fee	2.40	
Return Receipt Fee (Endorsement Required)	1.85	
Restricted Delivery Fee (Endorsement Required)		
<b>Total Postage &amp; Fees</b>	<b>\$ 4.64</b>	

Sent To: Louis Tafua  
 Street, Apt. No., or PO Box No. 6411 Avalon Rd NW  
 City, State, ZIP+4 Albuquerque, NM 87105

PS Form 3800, June 2002 See Reverse for Instructions

7004 1160 0005 5295 9774

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 0.39	UNIT ID: 0114  Postmark Here Clerk: KWQB1J 06/19/06
Certified Fee	2.40	
Return Receipt Fee (Endorsement Required)	1.85	
Restricted Delivery Fee (Endorsement Required)		
<b>Total Postage &amp; Fees</b>	<b>\$ 4.64</b>	

Sent To: Bennie Matlock  
 Street, Apt. No., or PO Box No. 6411 Avalon Rd NW  
 City, State, ZIP+4 Albuquerque, NM 87105

PS Form 3800, June 2002 See Reverse for Instructions

JACK'S HIGH COUNTRY  
8953 SECOND STREET N.W.  
ALBUQUERQUE, NM 87114

JUNE 16,2006

TO: WHOM IT MAY CONCERN:

REFERENCE: 400 HERMOSA DR. N.W.  
TRACTS LETTERED "A", "B", "J" AND "K" OF THE PALISADES ADDITION

WE ARE APPLYING FOR VACATION ACTION OF LOMA HERMOSA PLACE AND THE ALLEYWAY RUNNING SOUTH FROM THERE TO BLUEWATER ROAD. THIS STREET AND ALLEY DO NOT APPEAR TO BE USED BY ANY ADJACENT PROPERTIES FOR ACCESS OR EGRESS NOR FOR TRASH REMOVAL. VACATION ACTION APPROVAL WILL ALLOW THESE AREAS TO BECOME PRIVATE PROPERTY WHICH MAY BE FENCED OFF TO PRECLUDE PERSONS WITH NO LEGITIMATE REASON FROM CRUISING AND LOITERING IN THESE AREAS.

THE AREA IS BETWEEN BLUEWATER RD.N.W AND PLANO CT.N.W AND BETWEEN LOMA HERMOSA DR.N.W. AND YUCCA DR. N.W.

WE ARE NOT REQUESTING ANY ZONING CHANGE.

YOUR COOPERATION IS APPRECIATED.

JACK SPILMAN(agent)  
505-898-3707



JACK'S HIGH COUNTRY, INC.  
8953 SECOND STREET, N.W  
ALBUQUERQUE, NM 87114

JUNE 16,2006

TO: CITY OF ALBUQUERQUE, DEVELOPMENT REVIEW BOARD

REFERENCE:400 HERMOSA DR. NW  
TRACTS LETTERED "A", "B", "J" AND "K OF THE PALISADES ADDITION

WE ARE APPLYING FOR VACATION ACTION OF LOMA HERMOS PLACE AND THE ALLEYWAY RUNNING SOUTH FROM THERE TO BLUEWATER ROAD. THIS STREET AND ALLEY DO NOT APPEAR TO BE USED BY ANY ADJACENT PROPERTIES FOR ACCESS OR EGRESS NOR FOR TRASH REMOVAL. VACATION ACTION APPROVAL WILL ALLOW THESE AREAS TO BECOME PRIVATE PROPERTY WHICH MAY BE FENCED OFF TO PRECLUDE PERSONS WITH NO LEGITIMATE REASON FROM CRUISING AND LOITERING IN THESE AREAS.

THE AREA IS BETWEEN BLUEWATER RD.N.W AND PLANO CT. N.W AND BETWEEN LOMA HERMOSA DR. N.W AND YUCCA DR. N.W.

WE ARE NOT REQUESTING ANY ZONING CHANGE.

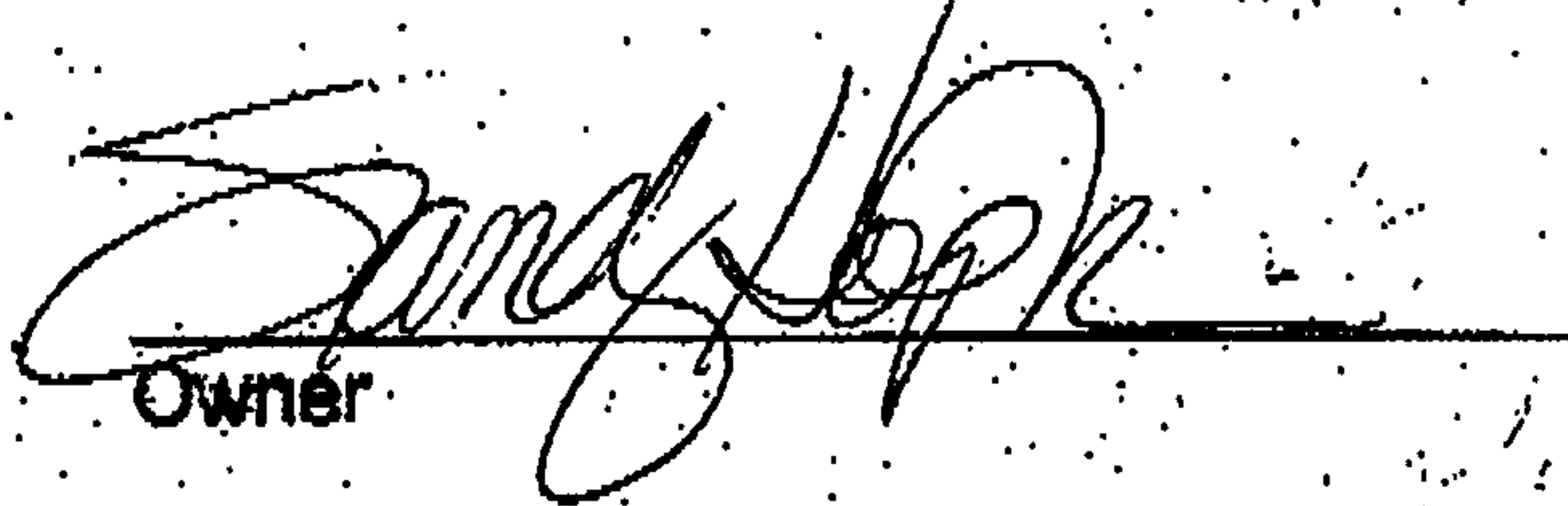
JACK SPILMAN (agent)  
505-898-3707

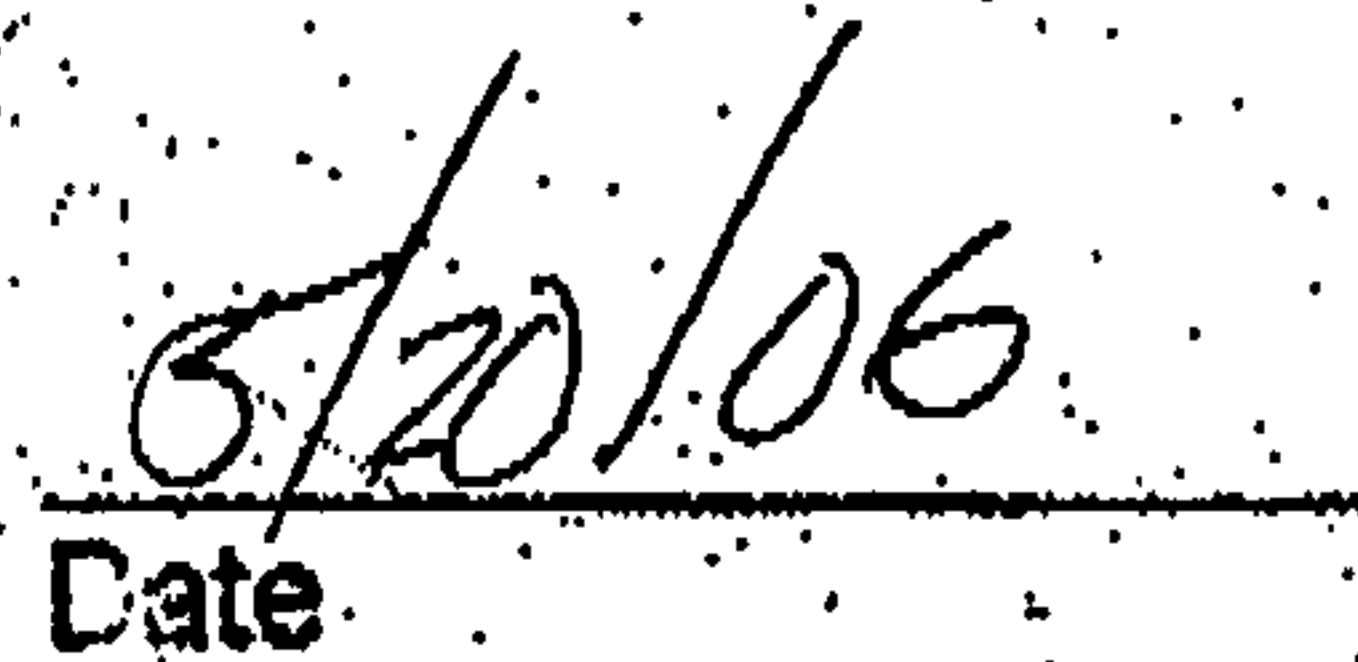


### LETTER OF AUTHORIZATION

Subject Property: Vacation Plat of  
16' public Alley and the remaining portion of  
Loma Hermosa place, The Palisades  
City of Albuquerque, N.M.

I, the undersigned owner of subject property, hereby designate  
**JACK'S HIGH COUNTRY, INC.** to be my authorized representative  
agent for the processing and recording of planning, zoning or appeals  
actions on this property.

  
Owner

  
Date







Barry Hopkins and Sandy Hopkins, husband and wife

whose address is: 5005 Cascade NW, Albuquerque, New Mexico 87105

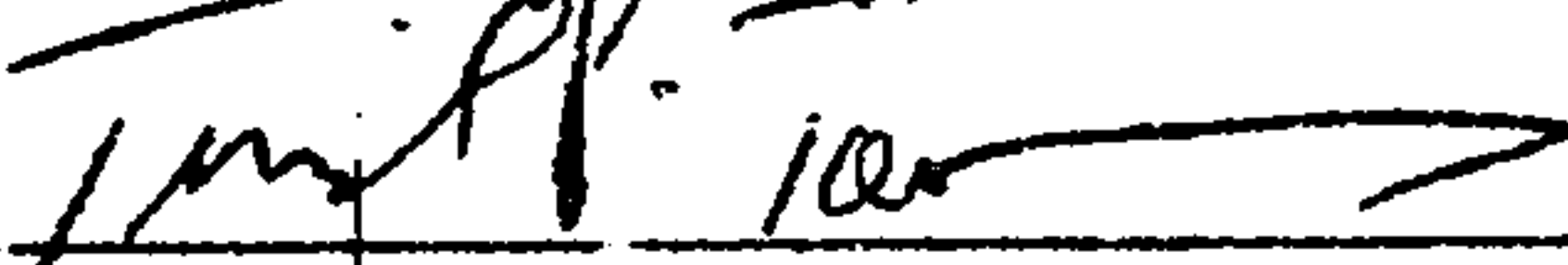
as joint tenants the following described real estate in Bernalillo County, New Mexico:

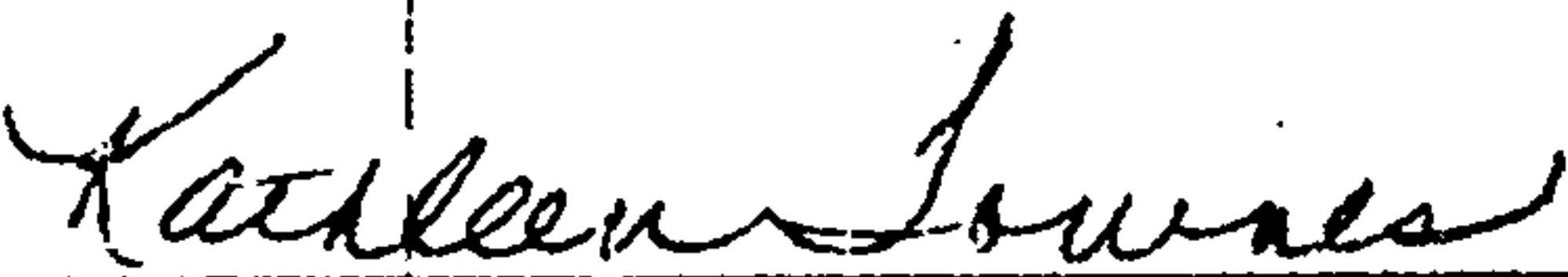
Lot lettered "J" and Lot lettered "K" in Block numbered One (1) of the Amended and Supplemental Plat of Blocks 1, 2, 3, 3-A, 3 B, 4, 5, 6, 15, 16, 17, 18, 19, 20 & 21 of The Palisades, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the Amended & Supplemental Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 18, 1949, in Plat Book D, Folio 63.

Subject to patent reservations, restrictions and easements of record and to taxes for the current year and years thereafter.

with warranty covenants.

Witness this 7th day of May, 2004.

  
\_\_\_\_\_  
Timothy P. Townes

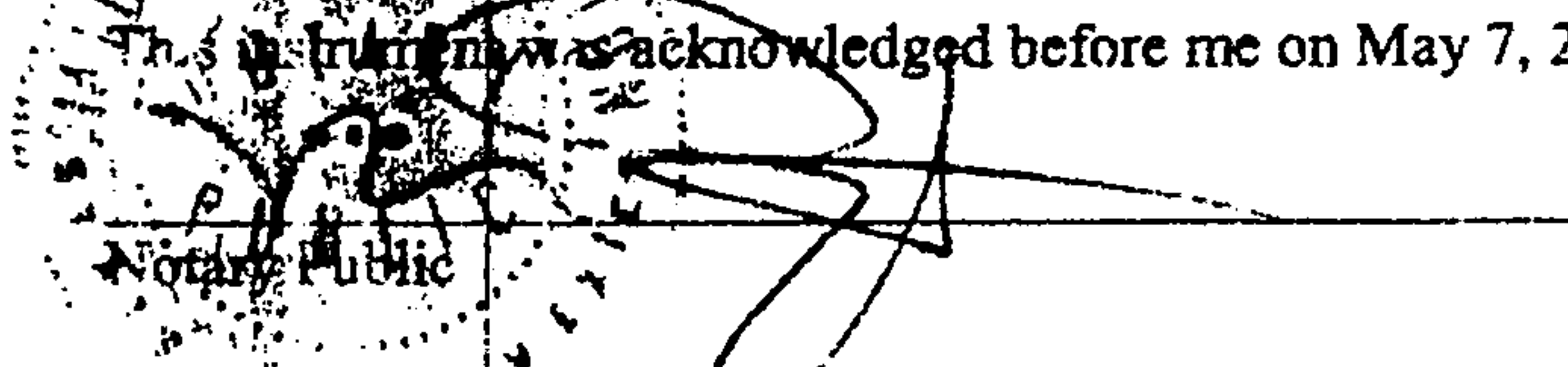
  
\_\_\_\_\_  
Kathleen Townes

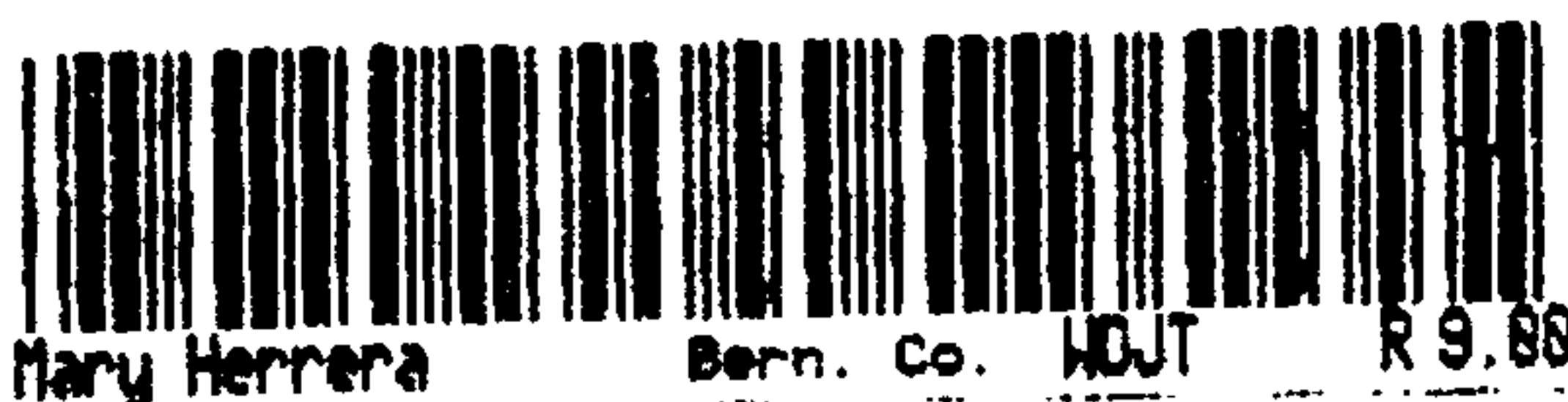
STATE OF NEW MEXICO }

} ss.

COUNTY OF BERNALILLO }

This instrument was acknowledged before me on May 7, 2004 by Timothy P. Townes and Kathleen Townes.

  
Notary Public  
My Commission Expires 5/16/2006



2004063518  
6977898  
Page: 1 of 1  
05/10/2004 03:04P  
Bk-R77 Pg-3344

Mary Herrera

Bern. Co. NOT

R 9.80







# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from 7-4-06 To 7-19-06

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Jack A. Spelman  
(Applicant or Agent)

6/19/06  
(Date)

I issued 2 signs for this application,

6/19/06  
(Date)

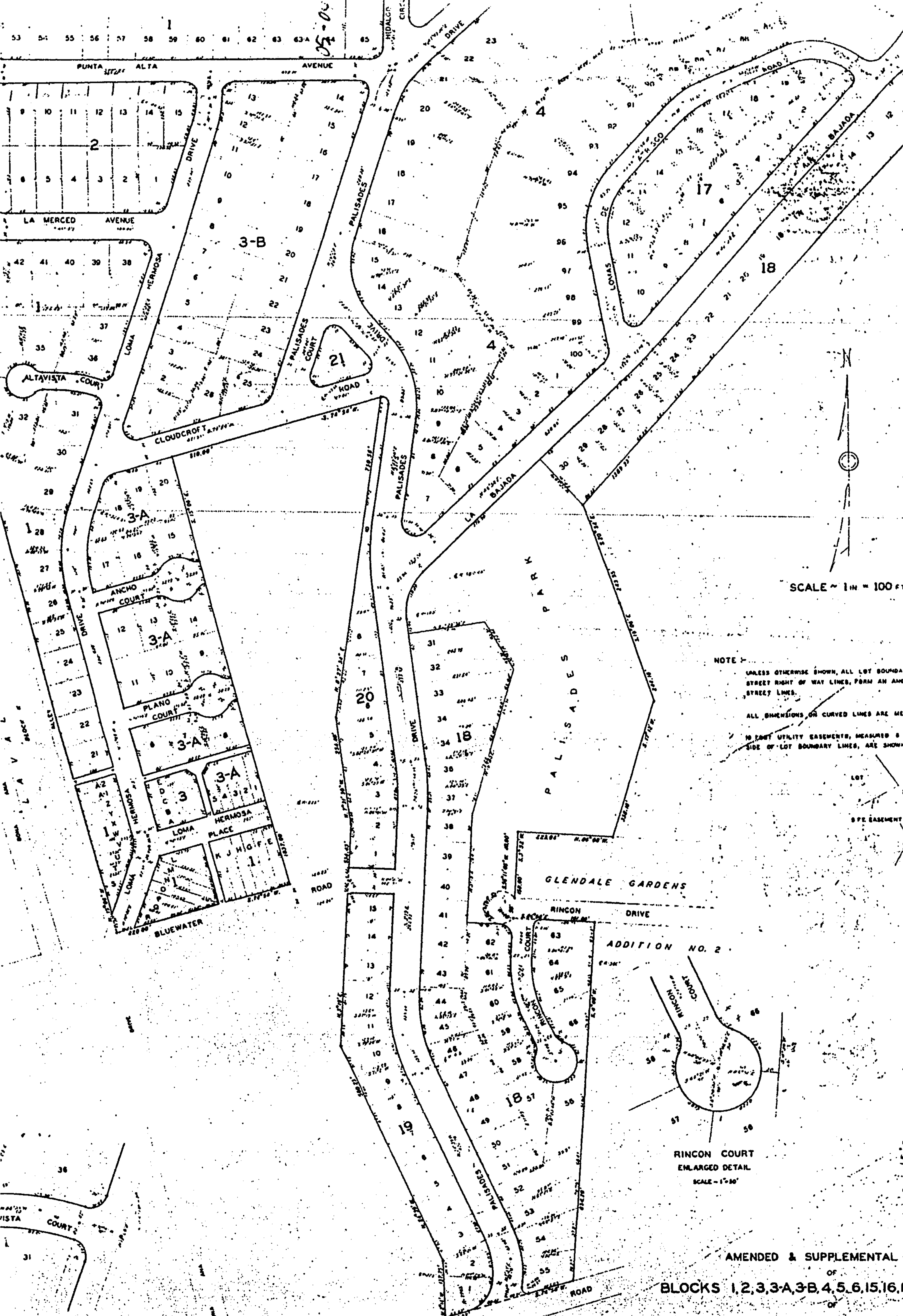
Kim Siss  
(Staff Member)

DRB PROJECT NUMBER: 1002375



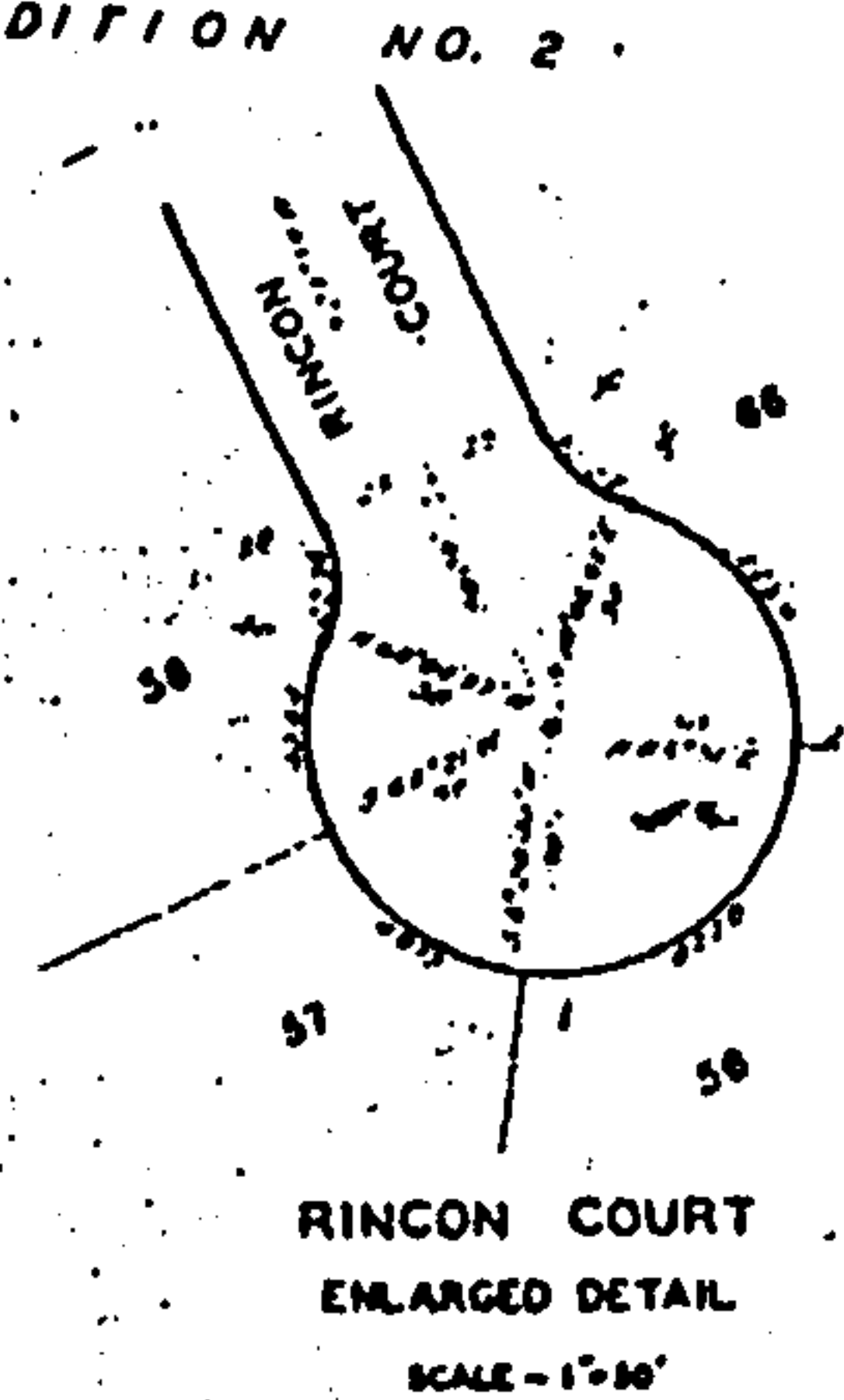






SCALE ~ 1" = 100 FT

NOTE -  
 UNLESS OTHERWISE SHOWN, ALL LOT BOUNDARIES, STREET RIGHTS OF WAY LINES, FORM AN ANGULAR STREET LINES.  
 ALL DIMENSIONS ON CURVED LINES ARE MEASURED IN FEET.  
 10 FOOT UTILITY EASEMENTS, MEASURED 5 FEET ON EACH SIDE OF LOT BOUNDARY LINES, ARE SHOWN.



RINCON COURT ENLARGED DETAIL SCALE - 1" = 30'

AMENDED & SUPPLEMENTAL OF BLOCKS 1, 2, 3, 3-A, 3-B, 4, 5, 6, 15, 16, 17

**THE PALISADES**  
 AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO

ROSS-BEYER ENGINEERING OFFICE, CEE-100  
 JUNE 4, 1940

SHEET 2

ALTA COURT ENLARGED DETAIL SCALE - 1" = 30'





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

**PAGE 4**

**Project # 1002384**

02DRB-01895 Major-SiteDev Plan BldPermit

CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as **RANCHO ENCANTADO SUR**) COORS VILLAGE, zoned SU-3 special center zone, located on WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 11 acre(s). [REF: 01138-01744, Z-95-94, Z-99-84, DRB-95-195, DRB-96-361] (F-11)

02DRB-01896 Major-SiteDev Plan BldPermit

CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as **RANCHO ENCANTADO NORTE**) COORS VILLAGE, zoned SU-3, located on WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 17 acre(s). [REF: 01138-01744, Z-95-94, Z-99-84, DRB-95-195, DRB-96-361 ] (F-11)

02DRB-01879 Major-Preliminary Plat Approval

02DRB-01880 Major-Vacation of Pub Right-of-Way

02DRB-01883 Major-Vacation of Public Easements

02DRB-01884 Minor-Sidewalk Waiver

02DRB-01885 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 and 4, **RANCHO ENCANTADO NORTE, RANCHO ENCANTADO SUR AND CONDOMINIUM SUBDIVISIONS**, zoned SU-3 special center zone, located on SO SIDE WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 17 acre(s). [REF: 02EPC-01165, 02EPC-01170, 02EPC-01161] (F-11)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Roger Green, Acting Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, DECEMBER 23, 2002.**





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE  
PAGE 3**

**Project # 1001993**

02DRB-01841 Major-Vacation of Pub  
Right-of-Way  
02DRB-01842 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOC., INC. agent(s) for CITY OF ALBUQUERQUE & SHIRLEY LESLIE request(s) the above action(s) for all or a portion of Lot(s) F & G, **ACADEMY PLACE SUBDIVISION**, zoned R-2 residential zone & C-1, located on the SOUTH SIDE OF OSUNA RD NE, between JUAN TABO BLVD NE and MORRIS ST NE containing approximately 4 acre(s). [REF: 02DRB-01545 SK, 02EPC-00825 ZMA, 02EPC-00824 SDP, 02EPC-00844 SDP] (F-21)

**Project # 1002250**

02DRB-01882 Major-Bulk Land Variance  
02DRB-01886 Minor-Prelim&Final Plat  
Approval  
02DRB-01887 Major-Vacation of Public  
Easements

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A-1, **VENTANA RANCH**, zoned SU-1 for RT, located on UNIVERSE BLVD NW, between IRVING BLVD NW and VENTANA RD NW containing approximately 23 acre(s). [REF: 02EPC-01480, DRB-99-54 ] (B-10)

**Project # 1002368**

02DRB-01810 Major-Vacation of Public  
Easements

MARK GOODWIN & ASSOCIATES, PA, agent(s) for K B HOME NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) 5A1A, B1, A1, 393, 392, and 391, **WEST RIDGE SUBDIVISION**, zoned SU-1/RD, located on UNSER BLVD NW, between OLD OURAY RD NW and NEW OURAY RD NW containing approximately 38 acre(s). [REF: 1001932] (G-9)

**Project # 1002375**

02DRB-01852 Major-Vacation of Pub  
Right-of-Way

JOSE L. PADILLA request(s) the above action(s) for all or a portion of Lot(s) 1-5 & E-H, Block(s) 3A **PALISADES ADDITION**, zoned C-1, located on BLUEWATER RD NW, between YUCCA NW and PLANO NW containing approximately 2 acre(s). (J-11)

---

**SEE PAGE 4...**





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE  
PAGE 2**

**Project # 1000131**

02DRB-01897 Major – Two Year SIA  
02DRB-01898 Minor – Ext. SIA Temp Deferral  
of Sdwks

MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Sections 28, 29, 32, 33 - T10R3, **BROADWAY INDUSTRIAL CENTER, UNIT 3**, zoned SU-2 MH, located on SAN JOSE AVE SE BETWEEN BROADWAY BLVD SE AND I-25 containing approximately 60 acre(s). [REF: DRB-99-8, 02DRB-00400, 02DRB-00402, 01DRB-01559, 01DRB-01791] (M-14)

**Project # 1000408**

02DRB-01855 Major-Preliminary Plat Approval  
02DRB-01856 Minor-Sidewalk Variance  
02DRB-01857 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC. request(s) the above action(s) for all or a portion of Tract(s) 490 & 91, **SAGE POINTE SUBDIVISION, TOWN OF ATRISCO GRANT #7**, zoned R-D residential and related uses zone, developing area, 14 DU/AC, located on the SOUTH SIDE OF SAGE RD SW, between 82ND ST SW and 86TH ST SW containing approximately 10 acre(s). [REF: DRB-99-21, 00440-00438 XPP, 01440-00353 XPP, 02DRB-00365 XPP, 02DRB-00492 AMPP] (M-9)

**Project # 1001866**

02DRB-01848 Major-Preliminary Plat Approval  
02DRB-01849 Minor – Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for NORTH VALLEY DEVELOPMENT LTD., LLC, request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, ALVARADO ADDITION, **CAMPBELL FARM SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW BETWEEN RIO GRANDE BLVD NW AND THE GRIEGOS DRAIN, containing approximately 5 acre(s). [REF: 02500-00540 (SK)] (G-13)

**SEE PAGE 3...**





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, January 8, 2003**, beginning at **9:00 a.m.** for the purpose of considering the following:

**Project # 1000196**  
02DRB-01850 Major-Two Year SIA

TIERRA WEST LLC agent(s) for BEN RUIZ request(s) the above action(s) for all or a portion of Lot(s) C1B, **CORONADO SAVINGS & LOAN**, zoned SU-1 special use zone, for C-1 uses, located on COORS BLVD NW, between SEQUOIA RD NW and REDLANDS RD NW containing approximately 2 acre(s). [REF: 00450-00641, 02DRB-00845] (G-11)

**Project # 1000269**  
02DRB-01878 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 NM request(s) the above action(s) for all or a portion of Tract(s) 5B2C1A1, **RENAISSANCE CENTER**, zoned SU-1 for C-2, located on CULTURE DR NE, between MONTANO RD NE and MERCANTILE AVE NE containing approximately 1 acre(s). [REF: DRB 96-242, 00460-00802, 00440-01433, 00420-01434, 00420-01435] (F-16)

**Project # 1000950**  
02DRB-01875 Major-Two Year SIA

DINESH C. KHOLWADWALA request(s) the above action(s) for all or a portion of Lot(s) 4A1, **MENAU DEVELOPMENT**, zoned M-1 light manufacturing zone, located on MENAU BLVD NE, between UNIVERSITY BLVD NE and PRINCETON DR NE containing approximately 3 acre(s). [REF: 00410-01688, DRB-99-107, V-99-41, Z-98-21] (H-15)

**SEE PAGE 2...**





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

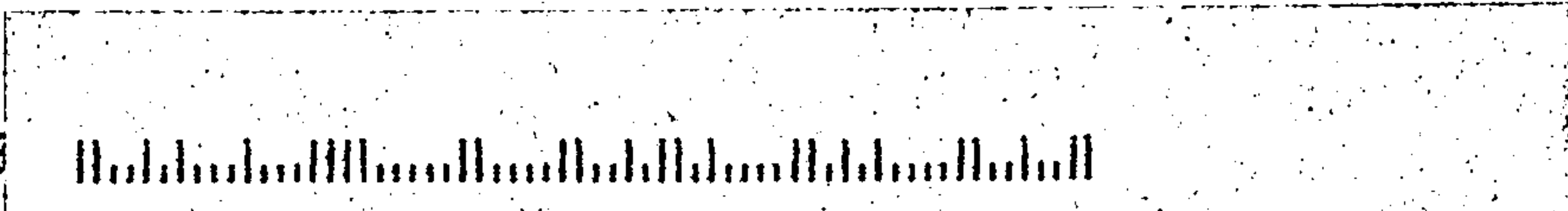
PLANNING DEPARTMENT



101105823204032301

WATERMAN RHETT A  
373 LOMA HERMOSA DR NW  
ALBUQUERQUE NM 87105

DRB







## OFFICIAL NOTICE

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
LAND DEVELOPMENT COORDINATION DIVISION

2-6-2003

**7. Project # 1002375**  
02DRB-01852 Major-Vacation of Pub Right-of-Way

JOSE L. PADILLA request(s) the above action(s) for all or a portion of Lot(s) 1-5 & E-H, Block(s) 3A **PALISADES ADDITION**, zoned C-1, located on BLUEWATER RD NW, between YUCCA NW and PLANO NW containing approximately 2 acre(s).  
[Deferred from 1/8/03] (J-11)

At the February 5, 2003, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to the Findings and Conditions of the Subdivision Ordinance as follows:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

If you wish to appeal this decision, you must do so by February 20, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal; If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.





**OFFICIAL NOTICE  
PAGE TWO**

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

A handwritten signature in cursive script that reads "Sheran Matson".

Sheran Matson, DRB Chair

Cc: Jose Padilla, 347 58<sup>th</sup> St NW, 87105

Barry Hopkins, 5005 Cascade Pl NW, 87105

Jack Atkinson, 420 Lomas Hermosa Dr NW, 87105

Tim Townes, 9512 Admiral Dewey NE, 87111

Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.

Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg.

File



DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002375 AGENDA#: 7 DATE: 2.5.03

*Cascade Pl*

1. Name: Barry Hopkin Address: 5005 Cascade pl nw Zip: 87105

ATKINSON

2. Name: JACK ATKINSON Address: 420 LOMA HERMOSA Zip: 87105

DR.W

3. Name: Joe Padella Address: Agent Applicant Zip:

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002375 AGENDA#: 10 DATE: 1.8.03

1. Name: Jack Atkinson Address: 420 LOMA HERMOSA Zip: 87105  
DRW.W

2. Name: Barry Hopkins Address: 412 Loma Hermosa Zip: 87105

3. Name: TIM TOWNES Address: 9512 ADMIRAL DEWEY NE Zip: 87111

4. Name: Jose L Pachilla Address: 347 56th NW Zip: 87105

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_







2. **Project # 1000269**  
02DRB-01878 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 NM request(s) the above action(s) for all or a portion of Tract(s) 5B2C1A1, **RENAISSANCE CENTER**, zoned SU-1 for C-2, located on CULTURE DR NE, between MONTANO RD NE and MERCANTILE AVE NE containing approximately 1 acre(s). [REF: DRB 96-242, 00460-00802, 00440-01433, 00420-01434, 00420-01435] (F-16) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1000950**  
02DRB-01875 Major-Two Year SIA

DINESH C. KHOLWADWALA request(s) the above action(s) for all or a portion of Lot(s) 4A1, **MENAU DEVELOPMENT**, zoned M-1 light manufacturing zone, located on MENAU BLVD NE, between UNIVERSITY BLVD NE and PRINCETON DR NE containing approximately 3 acre(s). [REF: 00410-01688, DRB-99-107, V-99-41, Z-98-21] (H-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/8/03 A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1000131**  
02DRB-01897 Major – Two Year SIA  
02DRB-01898 Minor – Ext. SIA Temp  
Deferral of Sdwks

MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Sections 28, 29, 32, 33 - T10R3, **BROADWAY INDUSTRIAL CENTER, UNIT 3**, zoned SU-2 MH, located on SAN JOSE AVE SE BETWEEN BROADWAY BLVD SE AND I-25 containing approximately 60 acre(s). [REF: DRB-99-8, 02DRB-00400, 02DRB-00402, 01DRB-01559, 01DRB-01791] (M-14) **A TWO YEAR EXTENSION OF THE SIA WAS APPROVED. THE EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALKS WAS WITHDRAWN. THE INFRASTRUCTURE LIST WILL BE REVISED TO REMOVE ANY OUTSTANDING SIDEWALK IMPROVEMENTS.**



2. **Project # 1000269**  
02DRB-01878 Major-Two Year SIA
- TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 NM request(s) the above action(s) for all or a portion of Tract(s) 5B2C1A1, **RENAISSANCE CENTER**, zoned SU-1 for C-2, located on CULTURE DR NE, between MONTANO RD NE and MERCANTILE AVE NE containing approximately 1 acre(s). [REF: DRB 96-242, 00460-00802, 00440-01433, 00420-01434, 00420-01435] (F-16) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**
3. **Project # 1000950**  
02DRB-01875 Major-Two Year SIA
- DINESH C. KHOLWADWALA request(s) the above action(s) for all or a portion of Lot(s) 4A1, **MENAU DEVELOPMENT**, zoned M-1 light manufacturing zone, located on MENAU BLVD NE, between UNIVERSITY BLVD NE and PRINCETON DR NE containing approximately 3 acre(s). [REF: 00410-01688, DRB-99-107, V-99-41, Z-98-21] (H-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/8/03 A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**
4. **Project # 1000131**  
02DRB-01897 Major – Two Year SIA  
02DRB-01898 Minor – Ext. SIA Temp  
Deferral of Sdwks
- MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Sections 28, 29, 32, 33 - T10R3, **BROADWAY INDUSTRIAL CENTER, UNIT 3**, zoned SU-2 MH, located on SAN JOSE AVE SE BETWEEN BROADWAY BLVD SE AND I-25 containing approximately 60 acre(s). [REF: DRB-99-8, 02DRB-00400, 02DRB-00402, 01DRB-01559, 01DRB-01791] (M-14) **A TWO YEAR EXTENSION OF THE SIA WAS APPROVED. THE EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALKS WAS WITHDRAWN. THE INFRASTRUCTURE LIST WILL BE REVISED TO REMOVE ANY OUTSTANDING SIDEWALK IMPROVEMENTS.**



5. **Project # 1000408**  
02DRB-01855 Major-Preliminary Plat  
Approval  
02DRB-01856 Minor-Sidewalk Variance  
02DRB-01857 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC. request(s) the above action(s) for all or a portion of Tract(s) 490 & 91, **SAGE POINTE SUBDIVISION**, TOWN OF ATRISCO GRANT #7, zoned R-D residential and related uses zone, developing area, 14 DU/AC, located on the SOUTH SIDE OF SAGE RD SW, between 82ND ST SW and 86TH ST SW containing approximately 10 acre(s). [REF: DRB-99-21, 00440-00438 XPP, 01440-00353 XPP, 02DRB-00365 XPP, 02DRB-00492 AMPP] (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**

6. **Project # 1001866**  
02DRB-01848 Major-Preliminary Plat  
Approval  
02DRB-01849 Minor – Temp Defer  
SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for NORTH VALLEY DEVELOPMENT LTD., LLC, request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, ALVARADO ADDITION, **CAMPBELL FARM SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW BETWEEN RIO GRANDE BLVD NW AND THE GRIEGOS DRAIN, containing approximately 5 acre(s). [REF: 02500-00540 (SK)] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 1/22/03.**



7. **Project # 1001993**  
02DRB-01841 Major-Vacation of Pub  
Right-of-Way  
02DRB-01842 Minor-Prelim&Final  
Plat Approval

JEFF MORTENSEN & ASSOC., INC. agent(s) for CITY OF ALBUQUERQUE & SHIRLEY LESLIE request(s) the above action(s) for all or a portion of Lot(s) F & G, **ACADEMY PLACE SUBDIVISION**, zoned R-2 residential zone & C-1, located on the SOUTH SIDE OF OSUNA RD NE, between JUAN TABO BLVD NE and MORRIS ST NE containing approximately 4 acre(s). [REF: 02DRB-01545 SK, 02EPC-00825 ZMA, 02EPC-00824 SDP, 02EPC-00844 SDP] (F-21) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT DELEGATED TO PLANNING TO RECORD.**

02DRB-01960 Minor-SiteDev Plan  
BldPermit/EPC

SITES SOUTHWEST agent(s) for CITY OF ALBUQUERQUE, PUBLIC WORKS request(s) the above action(s) for all or a portion of Tract(s) F1, **ACADEMY PLACE SUBDIVISION**, zoned R-1 residential zone, located on the southside of OSUNA RD NE, between JUAN TABO BLVD NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 01EPC-00824 SDP, 02EPC-00825 ZMA, 02DRB-01841 & 2] [Debbie Stover, EPC Case Planner] (F-21) **WITH THE SIGNING OF THE INFRASTRUCRE LIST DATED 1/8/03 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATTED TO CITY ENGINEER FOR SIA.**



8.

**Project # 1002250**

02DRB-01882 Major-Bulk Land Variance  
02DRB-01886 Minor-Prelim&Final Plat  
Approval  
02DRB-01887 Major-Vacation of Public  
Easements

02DRB-01890 Minor-Amnd SiteDev Plan  
Subd/EPC  
02DRB-01891 Minor-SiteDev Plan  
BldPermit/EPC

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A-1, VENTANA RANCH, zoned SU-1 for RT, located on UNIVERSE BLVD NW, between IRVING BLVD NW and VENTANA RD NW containing approximately 23 acre(s). [REF: 02EPC-01480, DRB-99-54] (B-10) THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.

CONSENSUS PLANNING INC agent(s) for SANDIA PROPERTIES LTD CO request(s) the above action(s) for all or a portion of Tract (s) A1 and A2, VENTANA RANCH, zoned SU-1 for R2 & SU-1 for Church/R2, located on UNIVERSE BLVD NW, between VENTANA RD NW and IRVING BLVD NW containing approximately 28 acre(s). [REF: Z-94-105, Z-98-111, DRB-99-54/S-99-17, 02EPC-01480, 02EPC-01481] [Makita Hill, EPC Case Planner] (B-10) THE AMENDED SITE DEVELOPMENT PLAN WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/8/03 THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.



9. **Project # 1001932**  
02DRB-01810 Major-Vacation of Public Easements

MARK GOODWIN & ASSOCIATES, PA, agent(s) for K B HOME NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) 5A1A, B1, A1, 393, 392, and 391, **WEST RIDGE SUBDIVISION**, zoned SU-1/RD, located on UNSER BLVD NW, between OLD OURAY RD NW and NEW OURAY RD NW containing approximately 38 acre(s). **[SHOWN AS PROJECT # 1002368 IN ERROR]** (G-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

02DRB-01578 Major-Preliminary Plat Approval  
02DRB-01579 Major-Vacation of Pub Right-of-Way  
02DRB-01580 Major-Vacation of Public Easements  
02DRB-01581 Major- SiteDev Plan Subd  
02DRB-01583 Minor-Sidewalk Waiver  
02DRB-01584 Minor-Temp Deferral of SW Construction

MARK GOODWIN & ASSOCIATES, agent(s) for K B HOME NEW MEXICO, request(s) the above action(s) for all or a portion of Tract(s) 5A1A & A1B, VOLCANO BUSINESS PARK, PHASE 1, Tract(s) A1 & B1, EL RANCHO ATRISCO, PHASE II, Tract(s) 391-393, LANDS OF PLAINS ELECTRIC COOP INC., AND A PORTION OF VACATED OLD OURAY RD NW, (to be known as **WEST RIDGE SUBDIVISION**, zoned SU-1 special use zone, IP, C-1 & PUB. UTIL., located on the east side of UNSER BLVD NW, between OLD OURAY RD NW and NEW OURAY RD NW containing approximately 38 acre(s). [REF: 02DRB-00690 SK PL] [DEFERRED FROM 11/13/02, 12/4/02 & 12/18/02] (DEFERRED FROM 12/18/02) (G-9/10, H-9/10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/2/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRED OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1002375**  
02DRB-01852 Major-Vacation of Pub Right-of-Way

JOSE L. PADILLA request(s) the above action(s) for all or a portion of Lot(s) 1-5 & E-H, Block(s) 3A **PALISADES ADDITION**, zoned C-1, located on BLUEWATER RD NW, between YUCCA NW and PLANO NW containing approximately 2 acre(s). (J-11) **DEFERRED AT THE AGENT'S REQUEST TO 2/5/03.**



11.

**Project # 1002384**  
02DRB-01895 Major-SiteDev Plan  
BldPermit

CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as **RANCHO ENCANTADO SUR**) COORS VILLAGE, zoned SU-3 special center zone, located on WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 11 acre(s). [REF: 01138-01744, Z-95-94, Z-99-84, DRB-95-195, DRB-96-361] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**

02DRB-01896 Major-SiteDev Plan  
BldPermit

CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as **RANCHO ENCANTADO NORTE**) COORS VILLAGE, zoned SU-3, located on WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 17 acre(s). [REF: 01138-01744, Z-95-94, Z-99-84, DRB-95-195, DRB-96-361] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**

02DRB-01879 Major-Preliminary Plat  
Approval  
02DRB-01880 Major-Vacation of Pub  
Right-of-Way  
02DRB-01883 Major-Vacation of Public  
Easements  
02DRB-01884 Minor-Sidewalk Waiver  
02DRB-01885 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 and 4, **RANCHO ENCANTADO NORTE, RANCHO ENCANTADO SUR AND CONDOMINIUM SUBDIVISIONS**, zoned SU-3 special center zone, located on the southside of WESTERN TR NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 17 acre(s). [REF: 02EPC-01165, 02EPC-01170, 02EPC-01161] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**

02DRB-01892 Minor-SiteDev Plan  
Subd/EPC  
02DRB-01893 Minor-SiteDev Plan  
BldPermit/EPC

CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 4B, **COORS VILLAGE**, zoned SU-3 special center zone, located on the southside of WESTERN TR NW, between ATRISCO DR NW and COORS BLVD NW [REF: 02DRB-01879, 02EPC-01170, 01138-01744, DBB-96-361, DRB-95-195, Z-99-84] [**Juanita Vigil, EPC Case Planner**] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**



12. **Project # 1002141**  
02DRB-01230 Major-Vacation of Pub  
Right-of-Way

TIERRA WEST, LLC agent(s) for PAUL SLONE request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) 2, **PUEBLO ALTO ADDITION**, zoned C-2 community commercial zone, located south of MARBLE AVE NE, between MANZANO ST NE and TRUMAN ST NE. [REF: DRB-99-193, 1001686, 02500-00489] [DEFERRED FROM 11/13/02 & 12/4/02] (J-17) **DEFERRED AT THE AGENT'S REQUEST TO 2/13/03.**

13. **Project # 1002351**  
02DRB-01758 Major-Preliminary Plat  
Approval  
02DRB-01759 Minor-Temp Defer SDWK

SURV-TEK, INC. agent(s) for CURB WEST, INC & WESTFORK LIMITED request(s) the above action(s) for all or a portion of Tract(s) 1-B-1-C and Tracts 1-B-1-D, 1-B-1-E, 1-B-1-F, 1-B-1-G, **SEVILLE SUBDIVISION**, zoned R-LT, located on KAYENTA BLVD NW, between IRVING BLVD NW and UNIVERSE BLVD NW containing approximately 48 acre(s). [REF: 1001306, 02-01250, 02-01381] [DEFERRED FROM 12/18/02] (A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/8/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/6/03 THE PRELIMINARY PLAT IS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**



**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

14. **Project # 1002338**  
02DRB-01905 Minor-SiteDev Plan  
BldPermit
- JOHN E. MECHENBIER request(s) the above action(s) for all or a portion of Lot(s) 27, 28 and 29, Block(s) 3, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned IP industrial park zone, located on VENICE AVE NE, between WEST I-25 FRONTAGE RD NE and SAN MATEO BLVD NE containing approximately 3 acre(s). [REF: 02DRB-01709] (B-18) **WITH THE SIGNING OF THE INFRASTURE LIST DATED 1/8/03 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVE DWITH FINAL ISGN OFF DELEGATED TO CITYENGINEER FOR SIA AND PLANNING.**
15. **Project # 1001984**  
02DRB-01963 Minor-SiteDev Plan  
Subd/EPC  
02DRB-01964 Minor-SiteDev Plan  
BldPermit/EPC
- BPLW ARCHITECTS & ENGINEERS INC. agent(s) for RICH FORD request(s) the above action(s) for all or a portion of Lot(s) A and A and B, Tract(s) B-1 of A & B, **HYDER & MAISEL SUBDIVISION**, zoned C-2 and P, located on LOMAS BLVD NE, between WYOMING BLVD NE and I-40 NE containing approximately 18 acre(s). [REF: 02EPC-00826, 02EPC-00827, 02EPC-00828] [**Juanita Vigil, EPC Case Planner**] (J-20) **INDEFINITELY DEFERERD AT THE AGENT'S REQUEST TO BE HEARD WITH THE PLAT.**



16. **Project # 1000651**  
02DRB-01946 Minor-Prelim&Final  
Plat Approval  
02DRB-01947 Minor-SiteDev Plan  
Subd/EPC

TIERRA WEST LLC agent(s) for TIJERAS PLACE LLC - SERIES B request(s) the above action(s) for all or a portion of Tract(s) A29A, **TOWN OF ATRISCO GRANT NE**, zoned SU-1 FOR PDA & C-1 USES & OFFICES, located on the southside of REDLANDS RD NW, between COORS BLVD NW and CORONA DR NW, containing approximately 4 acre(s). [REF: 02EPC-00311] [Debbie Stover, EPC Case Planner] (G-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LSIT DATED 1/8/03 THE PRELIMINARY PLAT WAS APPROVED. THE SITE PLAN FOR SUBDIVISION WSA APPROVED WITH FINAL SIGN OFF DELETED TO CITY ENGINEER FOR SIA. FINAL PLAT WAS INTENTIONALLY DEFERRED FOR FRONT COUNTER ROUTING.**

17. **Project # 1002371**  
02DRB-01824 Minor-SiteDev Plan  
BldPermit/EPC  
02DRB-01825 Minor-Prelim&Final  
Plat Approval

TIERRA WEST LLC agent(s) for SENECA INVESTMENT COMPANY request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A, 1B & 1C, **ALBAN HILLS UNIT 1, (to be known as STONELEIGH ON THE BOSQUE APARTMENTS)** zoned SU-1/R-2, located on COORS BLVD NW, between LA ORILLA RD NW and CORRALES MAIN CANAL containing approximately 18 acre(s). [REF: Z-98-30, DRB-98-113, DRB-98-375] [Russell Brito, EPC Case Planner] [Deferred from 12/11/02 AND 1/8/03] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/5/03.**



18.

**Project # 1000060**  
02DRB-01453 Minor-SiteDev Plan  
BldPermit/EPC

BOHANNAN HUSTON, INC. agent(s) for JOHN Q. HAMMONS INDUSTRIES request(s) the above action(s) for all or a portion of Tract(s) B & C, **GATEWAY SUBDIVISION**, zoned SU-2/C-3, located on LOMAS BLVD. NE, between INTERSTATE 25 and WOODWARD PL NE containing approximately 20 acre(s). [REF: 00128 00904] [Russell Brito, EPC Case Planner] [DEFERRED FROM 11/27/02] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 1/22/03.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

19.

**Project # 1000147**  
02DRB-01961 Minor-Final Plat  
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC., request(s) the above a action(s) for all or a portion of Tract(s) A, Unit 1, **WHISPERING POINTE SUBDIVISION, UNIT 2**, zoned R-D residential and related uses zone, developing area, 9DU/AC, located on the southside of SUNSET GARDENS RD SW, between 82ND ST SW and UNSER BLVD SW containing approximately 16 acre(s). [REF: DRB-97-497, Z-97-78, 01DRB-00128 FP, 00DRB-00077 XT PP, 01DRB-00005 XT PP, 01DRB-00039 AmPP][Deferred from 1/8/03] (L-10) **DEFERRED AT THE AGENT'S REUEST TO 1/29/03.**



20. **Project # 1000150**  
02DRB-01877 Minor-Extension of  
Preliminary Plat
- WESTLAND DEVELOPMENT CO., INC., request(s) the above action(s) for **THE CROSSING (UNIT 2)**, zoned R-D residential and related uses zone, developing area, located 1/2 MILE WEST OF UNSER BLVD NW, between LADERA DR NW and 98TH ST NW containing approximately 30 acre(s). [REF: 01500-01852, 01440-00106] (H-9) **A ONE-YEAR EXTENSION TO THE DPRELIMANRY PATL WAS APPROVED TO JANUARY 8, 2004.**
21. **Project # 1000941**  
02DRB-01901 Minor-Ext of SIA for  
Temp Defer SDWK
- COMMUNITY SCIENCES CORP. agent(s) for PARADISE BLUFF, LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 23, 32-34, 61-70, 83 and 84, Block A and Lot(s) 11, 12, 14-18, 20 and 21, Block D, **PARADISE BLUFF, UNIT 1**, zoned SU-1 special use zone, PRD, located on the southside of PARADISE BLVD NW, between JUSTIN DR NW and LILIENTHAL AVE NW containing approximately 6 acre(s). [REF: 01DRB-01150, 00DRB-01656, DRB-94-594, SU-94-61, V-94-128] (B-11) **A TWO-YEAR EXTENSION TO THE FOUR YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
22. **Project # 1001068**  
02DRB-01888 Minor-Final Plat  
Approval
- MARK GOODWIN & ASSOCIATES, PA agent(s) for MESA VERDE DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A, **DESERT RIDGE TRAILS**, zoned R-D residential and related uses zone, developing area, located on VISTAS DR NE, between EAGLE ROCK AVE NE and the LA CUEVA CHANNEL containing approximately 2 acre(s). [REF: 02DRB-01280 PP, 02DRB-01281 Am.SPS] (C-19) **DELEGATED OFF THE AGENDA 1/7/03.**



23. **Project # 1001534**  
02DRB-01931 Minor-Prelim&Final  
Plat Approval

CLARK CONSULTING ENGINEERS agent(s) for LLAVE CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) A, **VINEYARD ESTATES, UNIT 4**, zoned RD residential zone, located on the eastside of VENTURA ST NE, between ANAHEIM AVE NE and CARMEL AVE NE containing approximately 2 acre(s). [REF: 01DRB-01446] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 1/29/03.**

24. **Project # 1002245**  
02DRB-01907 Minor-Prelim&Final  
Plat Approval

SURVEYS SOUTHWEST, LTD agent(s) for MARK ADDY request(s) the above action(s) for all or a portion of Tract(s) A, **FOUR HILLS VILLAGE SHOPPING CENTER & APARTMENT COMPLEX**, zoned SU-1 special use zone, PDA, Res & Comm., located on CENTRAL AVE SE, between DORADO PL SE and TRAMWAY BLVD SE containing approximately 3 acre(s). [REF: ZA-80-52, ZA-82-70, 02DRB-01464] (L-22) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT.**

25. **Project # 1002276**  
02DRB-01957 Minor-Prelim&Final  
Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for EDWIN & MONA LESTER request(s) the above action(s) for all or a portion of Lot(s) 15 and 16, Unit 1, **SUNRISE TERRACE WEST**, zoned R-D residential and related uses zone, developing area, located on SHIRE ST SW, between TOWER RD SW and 114TH ST SW containing approximately 1 acre(s). [REF: 02DRB-01568] (L-8) **DELEGATED OFF THE AGENDA 1/7/03.**



26. **Project # 1002339**  
02DRB-01958 Minor-Prelim&Final  
Plat Approval

WAYJOHN SURVEYING INC agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 10A, **ALVARADO GARDENS - UNIT 2**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW, between RIO GRANDE BLVD NW and TRELIS NW containing approximately 2 acre(s). [REF: 02DRB-01711] (G-12) **DEFERRED AT THE AGENT'S REQUEST TO 1/15/03.**

**NO ACTION IS TAKEN ON THESE CASES:**

**IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED**

27. **Project # 1002400**  
02DRB-01935 Minor-Sketch Plat or  
Plan

ABQ. ENGINEERING, INC. agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 18, **MONKBRIDGE ADDITION, LOS CANDELARIAS SUBDIVISION**, zoned SU-2 special neighborhood zone, R-T, located on the northside of CANDELARIA RD NW, between OTRA VEZ CT. NW and CUERVO CT NW containing approximately 5 acre(s). [REF: ZA-86-17, BA-874, Z-905 ] (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. Approval of the Development Review Board Minutes for December 11 and December 18, 2002. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

Adjourned: 1 P.M.





CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
LAND DEVELOPMENT COORD. DIV.

DEVELOPMENT REVIEW BOARD  
January 8, 2003  
Project # 1002375

**Project # 1002375**  
02DRB-01852 Major-Vacation of Pub Right-of-Way

JOSE L. PADILLA request(s) the above action(s) for all or a portion of Lot(s) 1-5 & E-H, Block(s) 3A **PALISADES ADDITION**, zoned C-1, located on BLUEWATER RD NW, between YUCCA NW and PLANO NW containing approximately 2 acre(s). (J-11)

AMAFCA	No comment.
COG	No adverse comments.
Transit	No comments.
Zoning Enforcement	Reviewed, no comment.
Neighborhood Coord.	Letters sent to Pat Hurley (R) and West Mesa (R) Neighborhood Assns.
APS	No comments received.
Police Department	A review of following case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. No comments received.
Fire Department	No adverse comments.
PNM Gas	Approves.
PNM Electric	Mr. Padilla needs to be aware that PNM retains all rights and easements to those portions of the 15' alley and 60' Loma Hermosa SW being vacated. PNM has two overhead electric circuits and two underground electric circuits with an U.G. transformer and numerous poles in the portions being vacated. PNM needs access for maintenance and repair. Otherwise the vacations are approved.



Comcast

No comments received.

QWEST

No comments received.

Environmental Health

Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer

Hydrology has no objection to the vacation request.

Transportation Development

This action would create dead-end alleys, how is this to be addressed?

Parks & Recreation

Defer to Transportation.

Utilities Development

No objection to Vacation request.

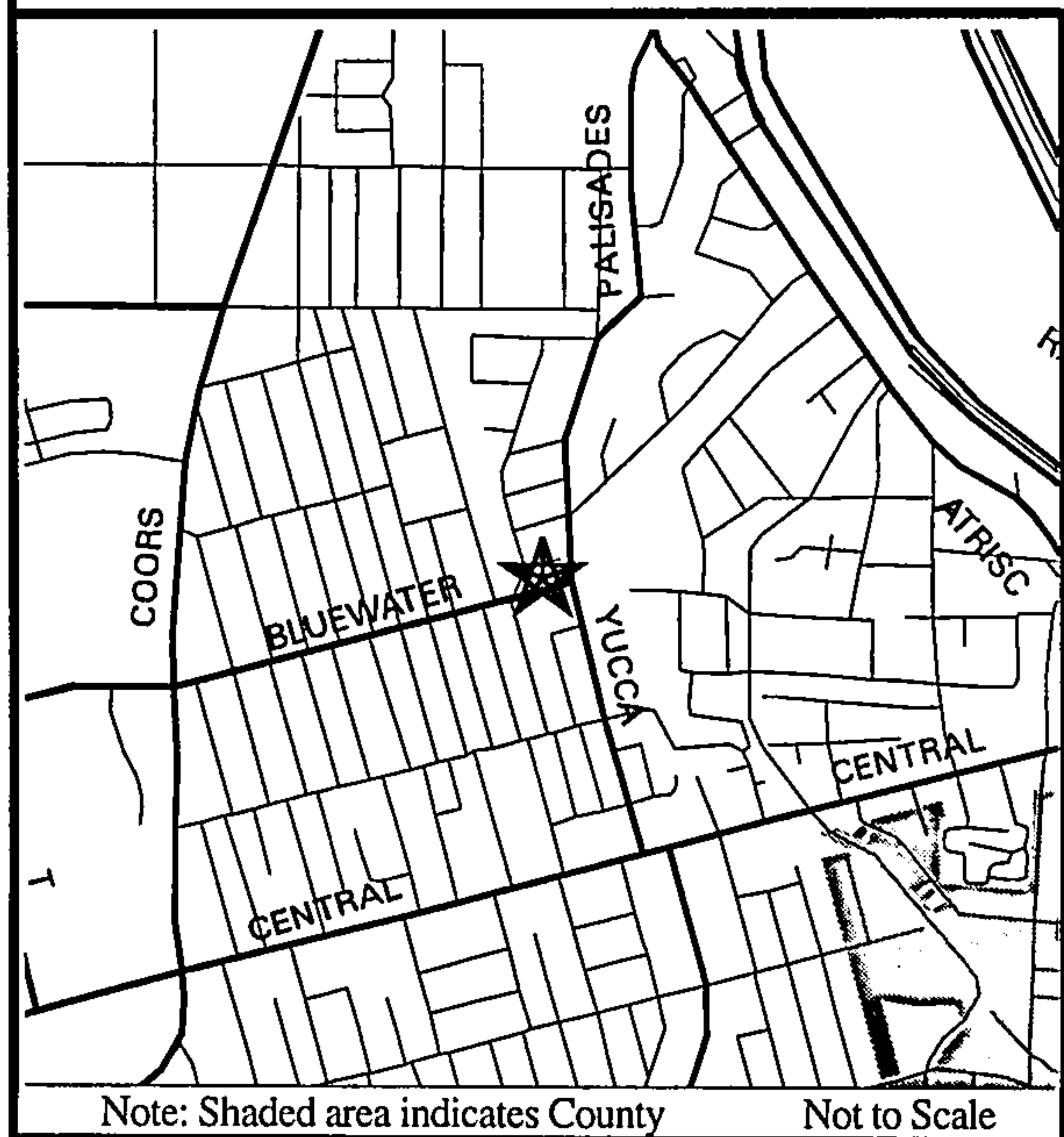
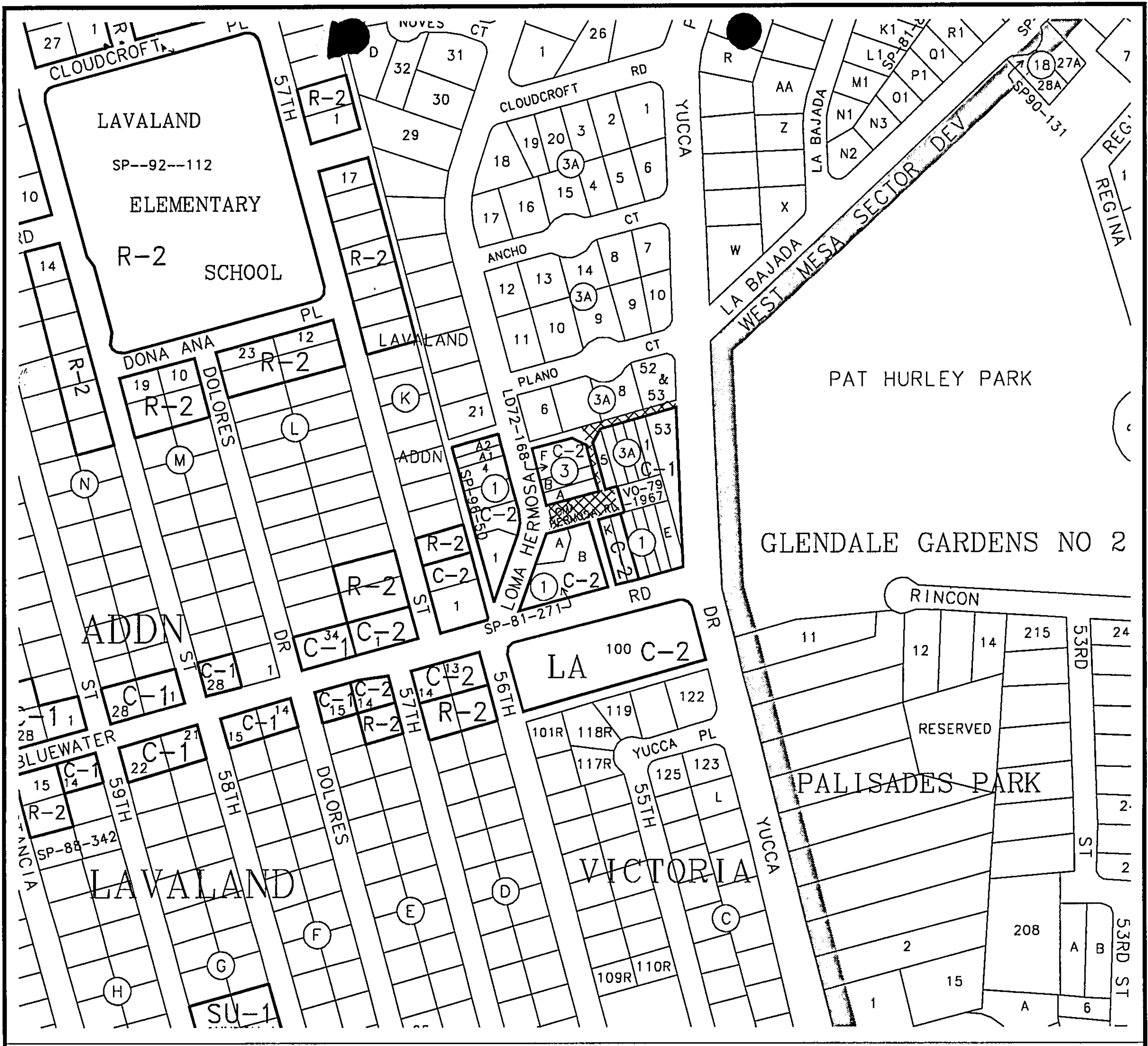
Planning Department

No objection to the vacation. Defer to Transportation Development.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

cc:Jose L. Padilla, 347 58<sup>th</sup> St NW, 87105





Note: Shaded area indicates County Not to Scale

### ZONING MAP



Scale 1" = 313'

PROJECT NO.  
1002375

HEARING DATE  
1-8-03

MAP NO.  
J-11

ADDITIONAL CASE NUMBER(S)  
02DRB-01852





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, January 8, 2003**, beginning at **9:00 a.m.** for the purpose of considering the following:

**Project # 1000196**

02DRB-01850 Major-Two Year SIA

TIERRA WEST LLC agent(s) for BEN RUIZ request(s) the above action(s) for all or a portion of Lot(s) C1B, **CORONADO SAVINGS & LOAN**, zoned SU-1 special use zone, for C-1 uses, located on COORS BLVD NW, between SEQUOIA RD NW and REDLANDS RD NW containing approximately 2 acre(s). [REF: 00450-00641, 02DRB-00845] (G-11)

**Project # 1000269**

02DRB-01878 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 NM request(s) the above action(s) for all or a portion of Tract(s) 5B2C1A1, **RENAISSANCE CENTER**, zoned SU-1 for C-2, located on CULTURE DR NE, between MONTANO RD NE and MERCANTILE AVE NE containing approximately 1 acre(s). [REF: DRB 96-242, 00460-00802, 00440-01433, 00420-01434, 00420-01435] (F-16)

**Project # 1000950**

02DRB-01875 Major-Two Year SIA

DINESH C. KHOLWADWALA request(s) the above action(s) for all or a portion of Lot(s) 4A1, **MENAU DEVELOPMENT**, zoned M-1 light manufacturing zone, located on MENAU BLVD NE, between UNIVERSITY BLVD NE and PRINCETON DR NE containing approximately 3 acre(s). [REF: 00410-01688, DRB-99-107, V-99-41, Z-98-21] (H-15)

**SEE PAGE 2...**





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE  
PAGE 2**

**Project # 1000131**

02DRB-01897 Major – Two Year SIA  
02DRB-01898 Minor – Ext. SIA Temp Deferral  
of Sdwks

MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Sections 28, 29, 32, 33 - T10R3, **BROADWAY INDUSTRIAL CENTER, UNIT 3**, zoned SU-2 MH, located on SAN JOSE AVE SE BETWEEN BROADWAY BLVD SE AND I-25 containing approximately 60 acre(s). [REF: DRB-99-8, 02DRB-00400, 02DRB-00402, 01DRB-01559, 01DRB-01791] (M-14)

**Project # 1000408**

02DRB-01855 Major-Preliminary Plat Approval  
02DRB-01856 Minor-Sidewalk Variance  
02DRB-01857 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC. request(s) the above action(s) for all or a portion of Tract(s) 490 & 91, **SAGE POINTE SUBDIVISION, TOWN OF ATRISCO GRANT #7**, zoned R-D residential and related uses zone, developing area, 14 DU/AC, located on the SOUTH SIDE OF SAGE RD SW, between 82ND ST SW and 86TH ST SW containing approximately 10 acre(s). [REF: DRB-99-21, 00440-00438 XPP, 01440-00353 XPP, 02DRB-00365 XPP, 02DRB-00492 AMPP] (M-9)

**Project # 1001866**

02DRB-01848 Major-Preliminary Plat Approval  
02DRB-01849 Minor – Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for NORTH VALLEY DEVELOPMENT LTD., LLC, request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, ALVARADO ADDITION, **CAMPBELL FARM SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW BETWEEN RIO GRANDE BLVD NW AND THE GRIEGOS DRAIN, containing approximately 5 acre(s). [REF: 02500-00540 (SK)] (G-13)

**SEE PAGE 3...**





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE  
PAGE 3**

**Project # 1001993**

02DRB-01841 Major-Vacation of Pub  
Right-of-Way  
02DRB-01842 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOC., INC. agent(s) for CITY OF ALBUQUERQUE & SHIRLEY LESLIE request(s) the above action(s) for all or a portion of Lot(s) F & G, **ACADEMY PLACE SUBDIVISION**, zoned R-2 residential zone & C-1, located on the SOUTH SIDE OF OSUNA RD NE, between JUAN TABO BLVD NE and MORRIS ST NE containing approximately 4 acre(s). [REF: 02DRB-01545 SK, 02EPC-00825 ZMA, 02EPC-00824 SDP, 02EPC-00844 SDP] (F-21)

**Project # 1002250**

02DRB-01882 Major-Bulk Land Variance  
02DRB-01886 Minor-Prelim&Final Plat  
Approval  
02DRB-01887 Major-Vacation of Public  
Easements

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A-1, **VENTANA RANCH**, zoned SU-1 for RT, located on UNIVERSE BLVD NW, between IRVING BLVD NW and VENTANA RD NW containing approximately 23 acre(s). [REF: 02EPC-01480, DRB-99-54 ] (B-10)

**Project # 1002368**

02DRB-01810 Major-Vacation of Public  
Easements

MARK GOODWIN & ASSOCIATES, PA, agent(s) for K B HOME NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) 5A1A, B1, A1, 393, 392, and 391, **WEST RIDGE SUBDIVISION**, zoned SU-1/RD, located on UNSER BLVD NW, between OLD OURAY RD NW and NEW OURAY RD NW containing approximately 38 acre(s). [REF: 1001932] (G-9)

**Project # 1002375**

02DRB-01852 Major-Vacation of Pub  
Right-of-Way

JOSE L. PADILLA request(s) the above action(s) for all or a portion of Lot(s) 1-5 & E-H, Block(s) 3A **PALISADES ADDITION**, zoned C-1, located on BLUEWATER RD NW, between YUCCA NW and PLANO NW containing approximately 2 acre(s). (J-11)

**SEE PAGE 4...**





PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE

PAGE 4

**Project # 1002384**

02DRB-01895 Major-SiteDev Plan BldPermit

CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as **RANCHO ENCANTADO SUR**) COORS VILLAGE, zoned SU-3 special center zone, located on WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 11 acre(s). [REF: 01138-01744, Z-95-94, Z-99-84, DRB-95-195, DRB-96-361] (F-11)

02DRB-01896 Major-SiteDev Plan BldPermit

CONSENSUS PLANNING agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 (to be known as **RANCHO ENCANTADO NORTE**) COORS VILLAGE, zoned SU-3, located on WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 17 acre(s). [REF: 01138-01744, Z-95-94, Z-99-84, DRB-95-195, DRB-96-361 ] (F-11)

02DRB-01879 Major-Preliminary Plat Approval  
02DRB-01880 Major-Vacation of Pub Right-of-Way

02DRB-01883 Major-Vacation of Public Easements

02DRB-01884 Minor-Sidewalk Waiver

02DRB-01885 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1 and 4, **RANCHO ENCANTADO NORTE, RANCHO ENCANTADO SUR AND CONDOMINIUM SUBDIVISIONS**, zoned SU-3 special center zone, located on SO SIDE WESTERN TRAIL NW, between ATRISCO DR NW and COORS BLVD NW containing approximately 17 acre(s). [REF: 02EPC-01165, 02EPC-01170, 02EPC-01161] (F-11)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Roger Green, Acting Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, DECEMBER 23, 2002.**



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION  
PROPERTY OWNERSHIP LIST**

Meeting Date: 1-8-03

Zone Atlas Page: J-11-2

Notification Radius: 100 Ft.

App#	<u>MDRB-01852</u>
Proj#	<u>1002375</u>
Other#	

Cross Reference and Location: \_\_\_\_\_

Applicant: Jose L. Pachilla

Address: 347 58th St. NW, 87105

Agent: \_\_\_\_\_

Address: \_\_\_\_\_

**SPECIAL INSTRUCTIONS**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Notices Must be mailed from the  
City 15 days prior to the meeting.**

Date Mailed: 12-17-02

Signature: NSmith







1011058 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE

101105826205831502 LEGAL: LTS 1 TH RU 5 BLK 3-A & LTS E THRU H BLK 1 AMENDED LAND USE:  
PROPERTY ADDR: 00000 BLUEWATER RD NW  
OWNER NAME: PADILLA JOSE L  
OWNER ADDR: 00347 58TH ST NW ALBUQUERQUE NM 87105

101105825904331409 LEGAL: \* J 001P ALISADES ADDN LAND USE:  
PROPERTY ADDR: 00000 BLUEWATER RD NW  
OWNER NAME: TOWNES TIMOTHY P & KATHLEEN  
OWNER ADDR: 09512 ADMIRAL DEWEY NE ALBUQUERQUE NM 87111

101105825604331408 LEGAL: \* K 001P ALISADES ADDN LAND USE:  
PROPERTY ADDR: 00000 BLUEWATER RD NW  
OWNER NAME: TOWNES TIMOTHY P & KATHLEEN  
OWNER ADDR: 09512 ADMIRAL DEWEY NE ALBUQUERQUE NM 87111

101105824504031405 LEGAL: TRS A & B BLK 1 OF SUMMARY PLAT OF TRS A & B BLK 1 LAND USE:  
PROPERTY ADDR: 00000 412 LOMA HERMOSA NW  
OWNER NAME: HOPKINS BARRY & SANDY  
OWNER ADDR: 05005 CASCADE PL NW ALBUQUERQUE NM 87120

101105824805631501 LEGAL: \* A 003T HE PALISADES ADDN LAND USE:  
PROPERTY ADDR: 00000 LOMA HERMOSA DR NW  
OWNER NAME: ATKINSON JACK D ETUX  
OWNER ADDR: 03924 CALLE DEL PRADO SW ALBUQUERQUE NM 87105

101105824705831515 LEGAL: \* B 003T HE PALISADES ADDN LAND USE:  
PROPERTY ADDR: 00000 LOMA HERMOSA DR NW  
OWNER NAME: ATKINSON JACK D ETUX  
OWNER ADDR: 03924 CALLE DEL PRADO SW ALBUQUERQUE NM 87105

101105824506431512 LEGAL: \* F R EPLA T OF LOTS C & D & E BLK 3 THE PALISADES AD LAND USE:  
PROPERTY ADDR: 00000 420 HERMOSA DR NW  
OWNER NAME: ATKINSON JACK D & MACKIE M  
OWNER ADDR: 03924 CALLE DEL PRADO SW ALBUQUERQUE NM 87105

101105824007331511 LEGAL: \* 00 6 03 ATHE PALISADES ADDN LAND USE:  
PROPERTY ADDR: 00000 434 LOMA HERMOSA DR NW  
OWNER NAME: TORRES FRANCISCO N  
OWNER ADDR: 00434 LOMA HERMOSA NE ALBUQUERQUE NM 87120

101105824907531510 LEGAL: \* 00 7 03 ATHE PALISADES ADDN LAND USE:



PROPERTY ADDR: 00000 5316 PLANO CT NW  
OWNER NAME: ORTEGA ARTHUR A & YVONNE V  
OWNER ADDR: 05316 PLANO

CT NW ALBUQUERQUE NM 87105

101105825707731509

LEGAL: \* 00 8 03 ATHE PALISADES ADDN  
PROPERTY ADDR: 00000 5312 PLANO CT NW  
OWNER NAME: CRESPIAN PRUDENCE C  
OWNER ADDR: 05312 PLANO

LAND USE:

CT NW ALBUQUERQUE NM 87105

101105826608031508

LEGAL: \* 01 1 RE P T 52X53 AIRPORT UNIT  
PROPERTY ADDR: 00000 5300 PLANO CT NW  
OWNER NAME: ARAGON MARY V  
OWNER ADDR: 05300 PLANO

LAND USE:

CT NW ALBUQUERQUE NM 87105



101105823608931601	LEGAL: * 01 1 03 APALISADES ADD	LAND USE:
	PROPERTY ADDR: 00000 444 LOMA HERMOSA DR NW	
	OWNER NAME: MONTANO NELLIE	
	OWNER ADDR: 05305 ANCHO	CT NW ALBUQUERQUE NM 87105
101105824409031602	LEGAL: * 01 0 03 APALISADES ADDN	LAND USE:
	PROPERTY ADDR: 00000 5317 PLANO CT NW	
	OWNER NAME: VASQUEZ ESEQUIEL	
	OWNER ADDR: 05317 PLANO	CT NW ALBUQUERQUE NM 87105
101105825309431603	LEGAL: * 00 9 03 APALISADES ADDN	LAND USE:
	PROPERTY ADDR: 00000 5313 PLANO CT NW	
	OWNER NAME: PADILLA EUGENE R & MARY JANE	
	OWNER ADDR: 05313 PLANO	CT NW ALBUQUERQUE NM 87105
101105826309631604	LEGAL: LOTS 9 & 10 AIRPORT UNIT TOWN OF ATRISCOCONT 0.382	LAND USE:
	PROPERTY ADDR: 00000 437 YUCCA DR NW	
	OWNER NAME: SANCHEZ BENNY & AGNES B	
	OWNER ADDR: 00437 YUCCA	DR NW ALBUQUERQUE NM 87105
101105822307832312	LEGAL: * 02 2 00 1PALISADES ADDN	LAND USE:
	PROPERTY ADDR: 00000 441 LOMA HERMOSA DR NW	
	OWNER NAME: MARQUEZ LUCY V	
	OWNER ADDR: 00441 LOMA HERMOSA	NW ALBUQUERQUE NM 87105
101105822507132311	LEGAL: * 02 1 00 1PALISADES ADDN	LAND USE:
	PROPERTY ADDR: 00000 433 LOMA HERMOSA DR NW	
	OWNER NAME: GONZALES TERESA M	
	OWNER ADDR: 00433 LOMA HERMOSA	DR NW ALBUQUERQUE NM 87105
101105822706532310	LEGAL: * A0 2 00 1PALISADES ADDN	LAND USE:
	PROPERTY ADDR: 00000 431 LOMA HERMOSA RD NW	
	OWNER NAME: CASTELLANO DANIEL R & DIANE D	
	OWNER ADDR: 05100 LOMAS DE ATRISCO	NW ALBUQUERQUE NM 87105
101105822806232309	LEGAL: * A0 1 00 1PALISADES ADDN	LAND USE:
	PROPERTY ADDR: 00000 429 LOMA HERMOSA RD NW	
	OWNER NAME: CASTELLANO DANIEL R & DIANE D	
	OWNER ADDR: 05100 LOMAS DE ATRISCO	NW ALBUQUERQUE NM 87105
101105822905932304	LEGAL: LT 4 PLA T OF LTS 1 THRU 4 BLK 1 PALISADES ADDN CON	LAND USE:
	PROPERTY ADDR: 00000 427 LOMA HERMOSA RD NW	
	OWNER NAME: WATERMAN RHETT A	



OWNER ADDR: 00000

ALBUQUERQUE

NM 87184

101105823005432303

LEGAL: LT 3 PLA T OF LTS 1 THRU 4 BLK 1 PALISADES ADDN CON LAND USE:

PROPERTY ADDR: 00000 419 LOMA HERMOSA RD NW

OWNER NAME: WATERMAN MARALIE M

OWNER ADDR: 00419 LOMA HERMOSA

RD NW ALBUQUERQUE

NM 87105

101105823204932302

LEGAL: LT 2 PLA T OF LTS 1 THRU 4 BLK 1 PALISADES ADDN CON LAND USE:

PROPERTY ADDR: 00000 379 LOMA HERMOSA DR NW

OWNER NAME: TRINITY BUILDERS

OWNER ADDR: 00000

ALBUQUERQUE

NM 87184



101105823204032301 LEGAL: LT 1 PLAT OF LTS 1 THRU 4 BLK 1 PALISADES ADDN CON LAND USE:  
PROPERTY ADDR: 00000 373 LOMA HERMOSA DR NW  
OWNER NAME: WATERMAN RHETT A  
OWNER ADDR: 00373 LOMA HERMOSA DR NW ALBUQUERQUE NM 87105

101105825601830616 LEGAL: \* 10 0 LA VICTORIA SUBD LAND USE:  
PROPERTY ADDR: 00000 BLUEWATER RD NW  
OWNER NAME: LOVATO EVANGELINE H ETVIR ETAL  
OWNER ADDR: 00217 VIRGINIA NE ALBUQUERQUE NM 87108

101105830202440112 LEGAL: \* 11 & P OR OF LOT Q (AKA 11-A) PALISADES PARK REPL LAND USE:  
PROPERTY ADDR: 00000 340 YUCCA DR NW  
OWNER NAME: GARCIA ERNEST D ETUX  
OWNER ADDR: 00340 YUCCA DR NW ALBUQUERQUE NM 87105

101105832408340143 LEGAL: PAT HURLEY PARK & LOTS 216 THRU 222 & WLY PORT OF LAND USE:  
PROPERTY ADDR: 00000 N/A  
OWNER NAME: CITY OF ALBUQUERQUE REAL ESTAT  
OWNER ADDR: 00000 ALBUQUERQUE NM 87103

101105828210741401 LEGAL: \* W 004T HE PALISADES ADDN LAND USE:  
PROPERTY ADDR: 00000 454 YUCCA NW  
OWNER NAME: CORIZ CLARENCE  
OWNER ADDR: 00454 YUCCA NW ALBUQUERQUE NM 87105



December 2, 2002

To Whom It May Concern:

I, Jose Padilla would like to inform you that I am in the process of purchasing the easement (right way) in this area. My proposal to purchase these easement (right way) to avoid future crime, littering loitering and violence in this area.

Sincerely,

Jose L. Padilla  
347 58<sup>th</sup> Street, NW  
Albuquerque, NM 87105





City of Albuquerque

Current as of 11/26/02 *DN*

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: November 8, 2002

TO CONTACT NAME: Jose L. Padilla  
COMPANY/AGENCY: \_\_\_\_\_  
ADDRESS/ZIP: 347 58<sup>th</sup> St NW 87105  
PHONE/FAX #: (cell) 804-1523

Thank you for your inquiry of 11-8-02 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at lot 1, 2, 3, 4, 5 in Block 3A, Lots E, F, G, & H, Block 1 of the amended & supplemental plat of Blocks  
zone map page(s) 9-11 1, 2, 3, 3A, 3B, 4, 5, 6, 15, 16, 17, 18, 19, 20 & 21  
of the Palisades and addition to the City

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows: of Albuquerque.

Pat Hurley  
Neighborhood Association  
Contacts: Joan Jones  
309 Rincon Ct. NW  
836-1620 (w) 87105  
Mary Ann Encinas  
305 Rincon Ct. NW  
831-6058 (w) 87105

West Mesa  
Neighborhood Association  
Contacts: Louis Jafoya  
6411 Avalon Rd NW  
836-3189 (w) 87105  
Edna Strauss  
5117 La Subida NW  
836-2163 (w) 87105

See reverse side for additional Neighborhood Association Information: YES { } NO {}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,  
Dalana L. Carmona  
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

.....  
Attention: Both contacts per neighborhood association need to be notified.  
.....



Proj# 1002375

JOSE L. PADILLA  
347 58TH ST. NW  
ALBUQUERQUE NM 87105

LOUIS TAFOYA  
West Mesa Neigh. Assoc.  
6411 AVALON RD NW  
ALBUQUERQUE NM 87105

101105825904331409

TOWNES TIMOTHY P & KATHLEEN  
9512 ADMIRAL DEWEY NE  
ALBUQUERQUE NM 87111

101105824506431512

ATKINSON JACK D & MACKIE M  
3924 CALLE DEL PRADO SW  
ALBUQUERQUE NM 87105

101105825707731509

CRESPIN PRUDENCE C  
5312 PLANO CT NW  
ALBUQUERQUE NM 87105

101105824409031602

VASQUEZ ESEQUIEL  
5317 PLANO CT NW  
ALBUQUERQUE NM 87105

101105822307832312

MARQUEZ LUCY V  
441 LOMA HERMOSA NW  
ALBUQUERQUE NM 87105

101105822905932304

WATERMAN RHETT A  
P O BOX 10005  
ALBUQUERQUE NM 87184

101105823204032301

WATERMAN RHETT A  
373 LOMA HERMOSA DR NW  
ALBUQUERQUE NM 87105

101105828210741401

CORIZ CLARENCE  
454 YUCCA NW  
ALBUQUERQUE NM 87105

JOAN JONES  
Pat Hurley Neigh. Assoc.  
309 RINCON CT. NW  
ALBUQUERQUE NM 87105

EDNA STRAUSS  
West Mesa Neigh. Assoc.  
5117 LA SUBIDA NW  
ALBUQUERQUE NM 87105

101105824504031405

HOPKINS BARRY & SANDY  
5005 CASCADE PL NW  
ALBUQUERQUE NM 87120

101105824007331511

TORRES FRANCISCO N  
434 LOMA HERMOSA NE  
ALBUQUERQUE NM 87120

101105826608031508

ARAGON MARY V  
5300 PLANO CT NW  
ALBUQUERQUE NM 87105

101105825309431603

PADILLA EUGENE R & MARY JANE  
5313 PLANO CT NW  
ALBUQUERQUE NM 87105

101105822507132311

GONZALES TERESA M  
433 LOMA HERMOSA DR NW  
ALBUQUERQUE NM 87105

101105823005432303

WATERMAN MARALIE M  
419 LOMA HERMOSA RD NW  
ALBUQUERQUE NM 87105

101105825601830616

LOVATO EVANGELINE H ET VIR ETA  
217 VIRGINIA NE  
ALBUQUERQUE NM 87108

MARY ANN ENCINAS  
Pat Hurley Neigh. Assoc.  
305 RINCON CT. NW  
ALBUQUERQUE NM 87105

101105826205831502

PADILLA JOSE L  
347 58TH ST NW  
ALBUQUERQUE NM 87105

101105824805631501

ATKINSON JACK D ETUX  
3924 CALLE DEL PRADO SW  
ALBUQUERQUE NM 87105

101105824907531510

ORTEGA ARTHUR A & YVONNE V  
5316 PLANO CT NW  
ALBUQUERQUE NM 87105

101105823608931601

MONTANO NELLIE  
5305 ANCHO CT NW  
ALBUQUERQUE NM 87105

101105826309631604

SANCHEZ BENNY & AGNES B  
437 YUCCA DR NW  
ALBUQUERQUE NM 87105

101105822706532310

CASTELLANO DANIEL R & DIANE D  
5100 LOMAS DE ATRISCO NW  
ALBUQUERQUE NM 87105

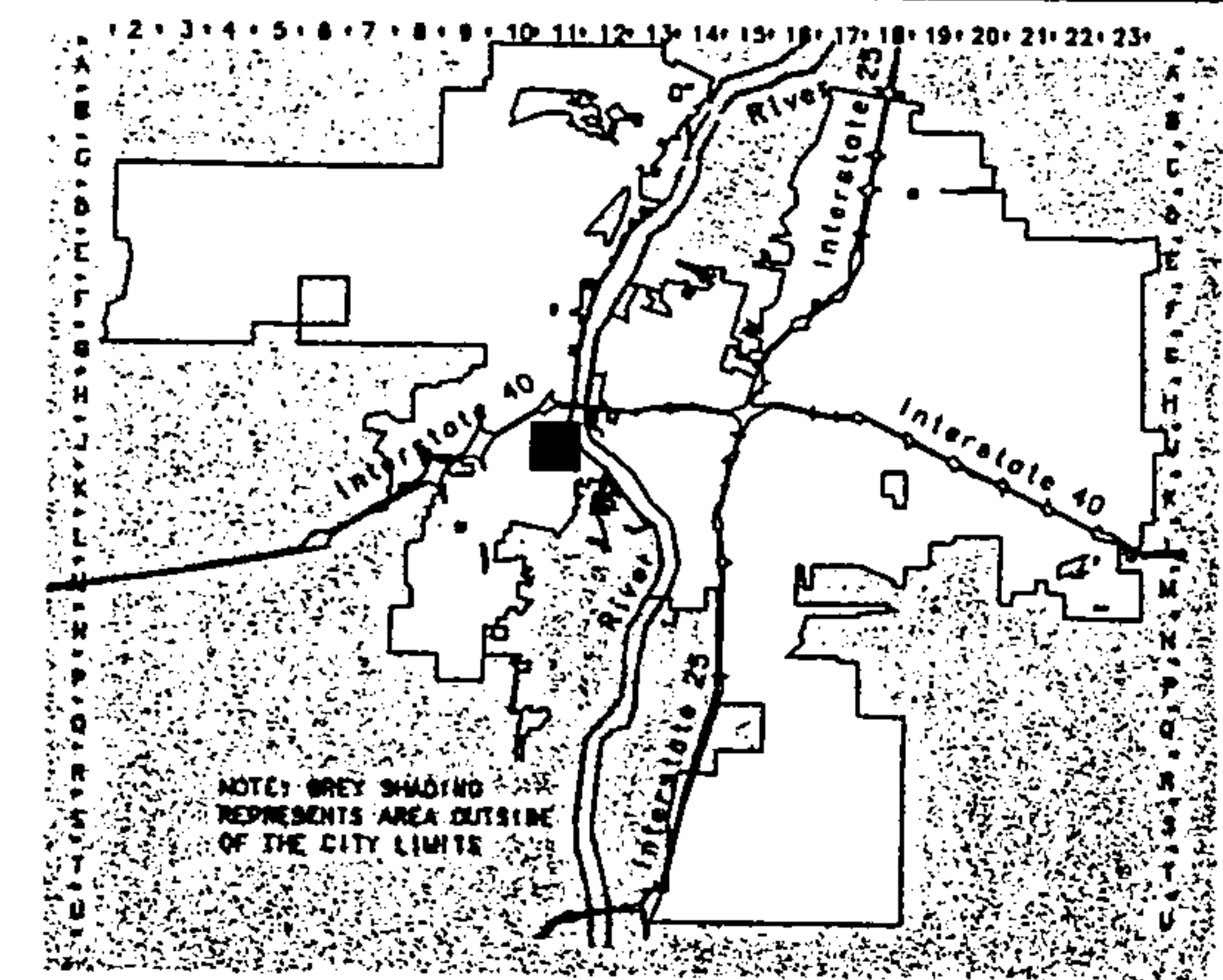
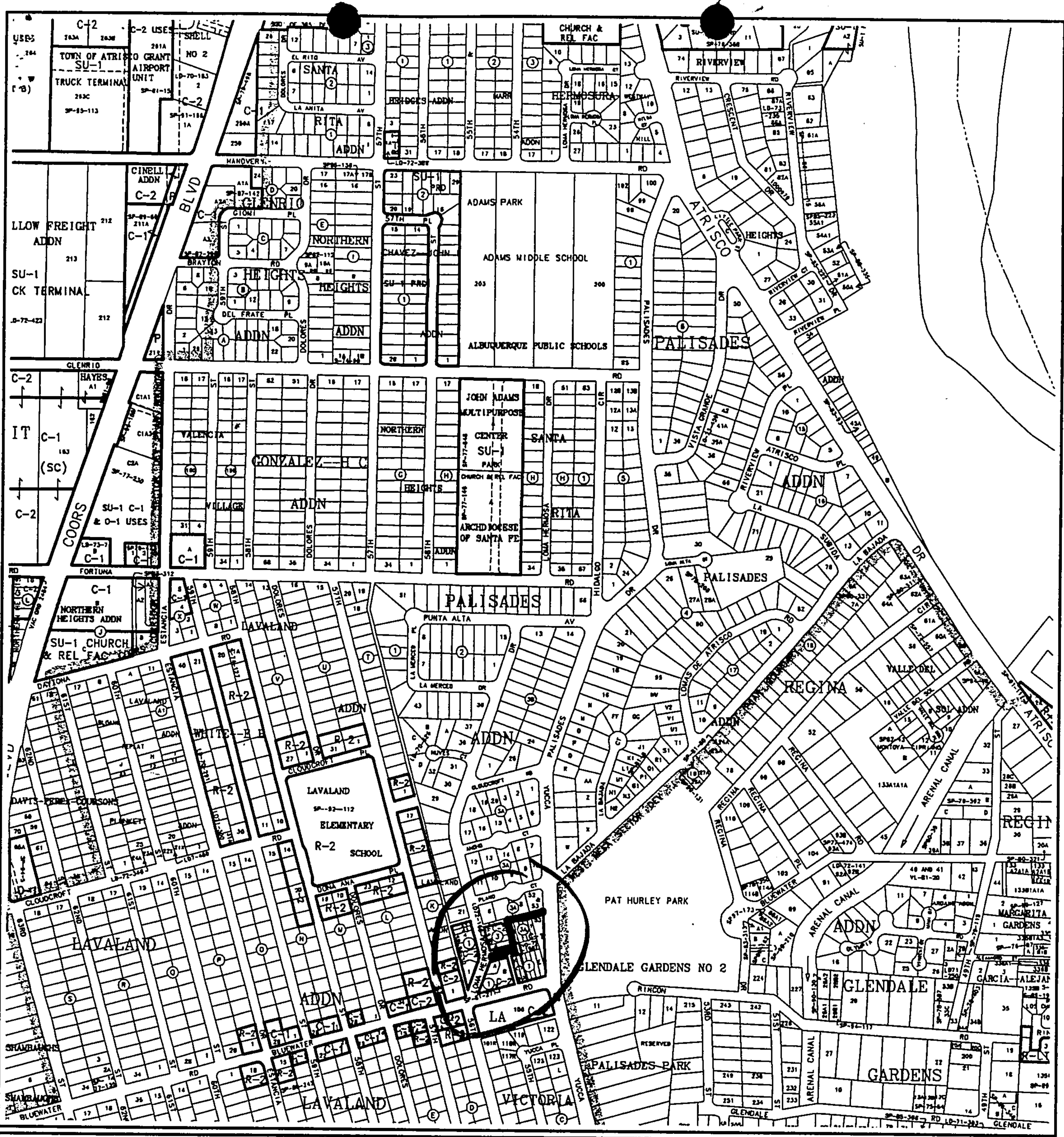
101105823204932302

TRINITY BUILDERS  
P O BOX 10005  
ALBUQUERQUE NM 87184

101105830202440112

GARCIA ERNEST D ETUX  
340 YUCCA DR NW  
ALBUQUERQUE NM 87105



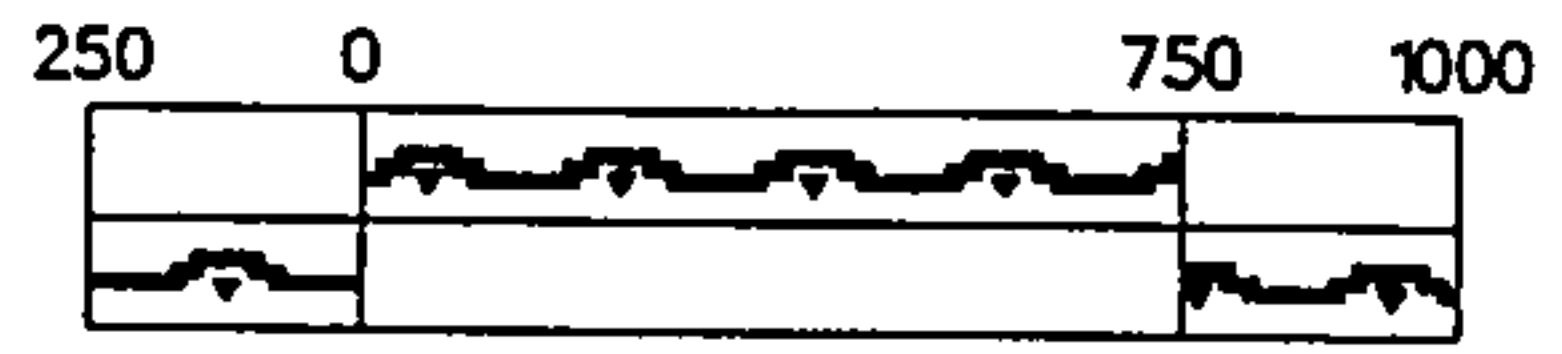


CITY OF Albuquerque

Albuquerque Geographic Information System  
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET



Zone Atlas Page

J-11-Z

Map Amended through April 03, 2002



# A City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

Supplemental form **S**

**SUBDIVISION**

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN** **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form **Z**

**ZONING**

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

**APPEAL / PROTEST of...** **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Jose L Padilla PHONE: 505 804-1523

ADDRESS: 347 58th St NW FAX: \_\_\_\_\_

CITY: Albuquerque STATE NM ZIP 87105 E-MAIL: \_\_\_\_\_

Proprietary interest in site: \_\_\_\_\_

AGENT (if any): \_\_\_\_\_ PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: VACATION of Public right of way

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. #1,2,3,4,5 Lots E,F,G & H Block: 3A Unit: \_\_\_\_\_

Subdiv. / Addn. Palisades Add.

Current Zoning: C-7 / C-2 Proposed zoning: \_\_\_\_\_

Zone Atlas page(s): J-11-2 No. of existing lots: \_\_\_\_\_ No. of proposed lots: \_\_\_\_\_

Total area of site (acres): 1.2 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_

Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101105826205831502 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Blue water & YUCCA DR. NW

Between: Bluewater Rd, NW and PLANO CT. NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): \_\_\_\_\_

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Jose L Padilla DATE \_\_\_\_\_

(Print) Jose L Padilla  Applicant  Agent

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>02DRB-01852</u>	<u>V-ROW</u>		\$ <u>300.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ <u>75.00</u>
Hearing date <u>Jan 8, 2003</u>			Total \$ <u>375.00</u>

Paul Casdell 12/6/02  
Planner signature / date

Project # 1002375



T1 e  
T3 BL -127-136  
T4 yellow  
137  
139

T2  
133-136  
BL

143  
146 T3  
yellow



**FORM V: SUBDIVISION VARIANCES & VACATIONS**

**BULK LAND VARIANCE FROM SUBDIVISION DESIGN STANDARDS**

- Application for subdivision (Plat) on FORM S, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies)
  - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
  - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**VACATION OF PUBLIC RIGHT-OF-WAY**

**VACATION OF PUBLIC EASEMENT**

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL**

**SIDEWALK DESIGN VARIANCE**

**SIDEWALK WAIVER**

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**VACATION OF PRIVATE EASEMENT**

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the vacation
  - Letter of authorization from the grantors and the beneficiaries
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jose L Padilla Applicant name (print)  
Jose L Padilla Applicant signature / date



Form revised September 2001

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
020MB - 01852

Paul Sanchez 12/6/02  
 Planner signature / date  
**Project #** 1002375



December 2, 2002

To Whom It May Concern:

I, Jose Padilla would like to inform you that I am in the process of purchasing the easement (right way) in this area. My proposal to purchase these easement (right way) to avoid future crime, littering loitering and violence in this area.

Sincerely,

Jose L. Padilla  
347 58<sup>th</sup> Street, NW  
Albuquerque, NM 87105





City of Albuquerque

Current as of 11/26/02 DN

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: November 8, 2002

TO CONTACT NAME: Jose L. Padilla
COMPANY/AGENCY:
ADDRESS/ZIP: 347 58th St. NW 87105
PHONE/FAX #: (cell) 804-1523

Thank you for your inquiry of 11-8-02 (date) requesting the names of Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at lot 1, 2, 3, 4, 5 in Block 3A, Lots E, F, G, & H, Block 1 of the amended & supplemental plat of Blocks zone map page(s) U-11. 1, 2, 3, 3A, 3B, 4, 5, 6, 15, 16, 17, 18, 19, 20 & 21 of the Palasades and addition to the City of Albuquerque.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

Pat Hurley
Neighborhood Association
Contacts: Joan Jones
309 Rincon Ct. NW
836-1620 (w) 87105
Mary Ann Encinas
305 Rincon Ct. NW
831-6058 (w) 87105

West Mesa
Neighborhood Association
Contacts: Louis Jafoya
6411 Avalon Rd NW
836-3189 (w) 87105
Edna Strauss
5117 La Subida NW
836-2163 (w) 87105

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely, Dalana L. Carmona
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.



Additional Neighborhood Association Information

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

As a common courtesy you may notify the surrounding NA(s) for your project.

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

7001 2510 0006 8151 5187

ALBUQUERQUE, NM 87105

Postage	\$ 0.37	UNIT ID: 0105 ALBUQUERQUE, NM 87105 Postmark Here DEC 2 2001 Clerk: KSOJZR 12/02/02
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
<b>Total Postage &amp; Fees</b>	<b>\$ 4.42</b>	

Sent To  
 MS Joan Jones  
 Street, Apt. No., or PO Box No. 309 Rincon NW  
 City, State, ZIP+4 Albuquerque NM 87105  
 PS Form 3800, January 2001 See Reverse for Instructions

**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

7001 2510 0006 8151 1493

ALBUQUERQUE, NM 87105

Postage	\$ 0.37	UNIT ID: 0105 ALBUQUERQUE, NM 87105 Postmark Here DEC 2 2001 Clerk: KSOJZR 12/02/02
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
<b>Total Postage &amp; Fees</b>	<b>\$ 4.42</b>	

Sent To  
 Mary Ann Encinas  
 Street, Apt. No., or PO Box No. 305 Rincon Ct NW  
 City, State, ZIP+4 Albuquerque N.M. 87105  
 PS Form 3800, January 2001 See Reverse for Instructions

**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

7001 2510 0006 8151 5194

ALBUQUERQUE, NM 87105

Postage	\$ 0.37	UNIT ID: 0105 ALBUQUERQUE, NM 87105 Postmark Here DEC 2 2001 Clerk: KSOJZR 12/02/02
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
<b>Total Postage &amp; Fees</b>	<b>\$ 4.42</b>	

Sent To  
 MR Louis Tafaya  
 Street, Apt. No., or PO Box No. 6411 Avalon NW  
 City, State, ZIP+4 Albuquerque NM 87105  
 PS Form 3800, January 2001 See Reverse for Instructions

**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

7001 2510 0006 8151 1509

ALBUQUERQUE, NM 87105

Postage	\$ 0.37	UNIT ID: 0105 ALBUQUERQUE, NM 87105 Postmark Here DEC 2 2001 Clerk: KSOJZR 12/02/02
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
<b>Total Postage &amp; Fees</b>	<b>\$ 4.42</b>	

Sent To  
 Edna Strauss  
 Street, Apt. No., or PO Box No. 5117 Lasubida NW  
 City, State, ZIP+4 Albuquerque N.M. 87105  
 PS Form 3800, January 2001 See Reverse for Instructions



Block 1 of the Amended & Supplemental  
Plot of blocks 1, 2, 3, 3A, 3B, 4, 5, 6, 15  
16, 17, 18, 19, 20, 21, of the Palisades  
and addition of the City of Albuquerque

rest of description for  
plot

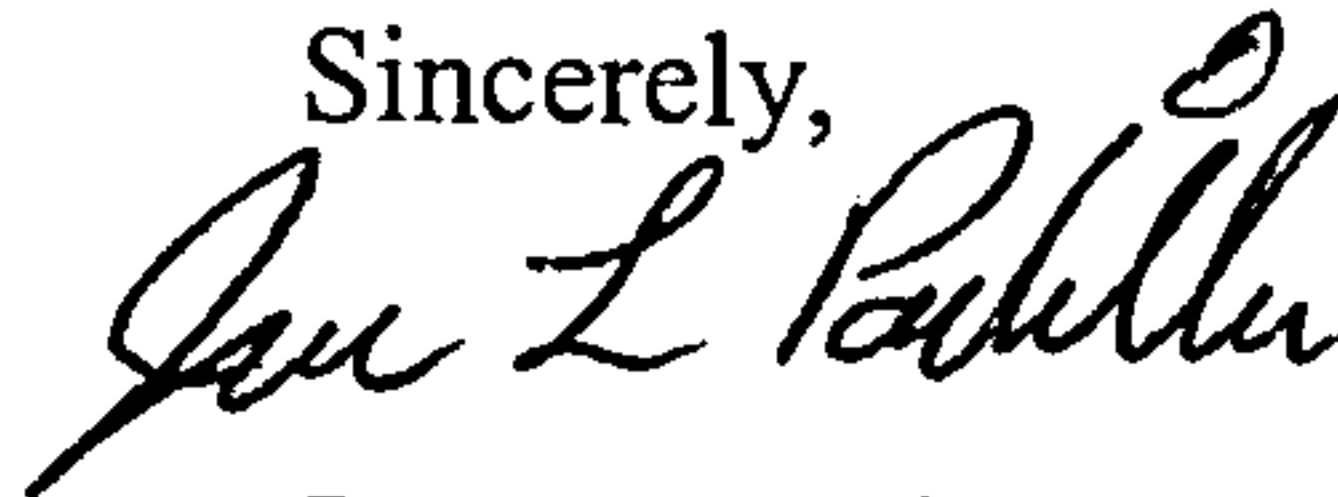


December 2, 2002

To Whom It May Concern:

I, Jose Padilla would like to inform you that I am in the process of purchasing the easement (right way) in this area. I feel that building and development to these easements (right way) may better the neighborhood and surrounding area. The development of this easement can avoid all the littering and graffiti, which effects the environment of our current neighborhood.

Sincerely,

A handwritten signature in cursive script that reads "Jose L. Padilla". The signature is written in black ink and is positioned above the typed name.

Jose L. Padilla  
347 58<sup>th</sup> Street, NW  
Albuquerque, NM 87105

ONE STOP SHOP ••• FRONT COUNTER  
 City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)  
 LAND DEVELOPMENT COORDINATION SECTION (LDC)  
 Plaza Del Sol -2nd & 4<sup>TH</sup> Floor West - 600 2nd St NW 87102  
 Front Counter Main Number (505) 924-3858 or 924-3895  
 Main Fax (505) 924-3864

City Of Albuquerque  
 Treasury Division

LOC: ANN  
 12/06/2002 10:38AM  
 RECEIPT# 00001320 WSH 006 TRANSH 0008  
 Account 441006 Fund 0110 TRSKDM  
 Activity 4983000 \$375.00  
 Trans Amt \$300.00  
 J24 Misc

**PAID RECEIPT**

APPLICANT NAME

Jose Padilla

AGENT

347 58<sup>th</sup> St. NW

ADDRESS

1002375

PROJECT NO.

APPLICATION NO.

02 DRB 01852

\$ 300<sup>00</sup> 441006 / 4983000 (DRB Cases)

\$ \_\_\_\_\_ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ 75<sup>00</sup> 441018 / 4971000 (Notification)

\$ 375<sup>00</sup> Total amount due

THE BACK OF THIS DOCUMENT CONTAINS AN ARTIFICIAL WATER MARK - HOLD AT AN ANGLE TO VIEW

**WESTERN UNION MONEY ORDER** INTEGRATED PAYMENT SYSTEMS INC. - ISSUER  
 Englewood, Colorado

\*\*\*PAY EXACTLY \$375.00 06-319963003

AGENT 715255 DATE 120502  
 TIME 1100 02  
 063199630032 LOCATION 040498

375.00  
 \*\* PAY EXACTLY THREE HUNDRED SEVENTY-FIVE DOLLARS AND NO. \*\*  
 CENTS \*\*\*\*\*

PAY EXACTLY  
 PAY TO THE ORDER OF City of Albuquerque

Jose L. Padilla PURCHASER BY SIGNING YOU AGREE TO THE TERMS ON THE REVERSE SIDE  
K. Patmore AUTHORIZED REPRESENTATIVE

Western Union Money Order and Design is a service mark of Western Union Holdings, Inc. / Payable at Wells Fargo Bank Grand Junction - Downtown, N.A., Grand Junction, Colorado

1021004001 40063199630032

12/06/2002 LOC: ANN  
 X  
 RECEIPT# 00001321 WSH 006 TRANSH 0008  
 Account 441018 Fund 0110  
 Activity 4971000 TRSKDM  
 Trans Amt \$375.00  
 J24 Misc 10/28/02 \$75.00  
 CK \$375.00  
 CHANGE \$0.00

Thank You



# SIGN POSTING REQUIREMENTS

## POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staple are best for attaching signs to a post or backing; the sign tears out less easily.

### 4. TIME

Signs must be posted from Dec 24 To Jan 8, 2003.

### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

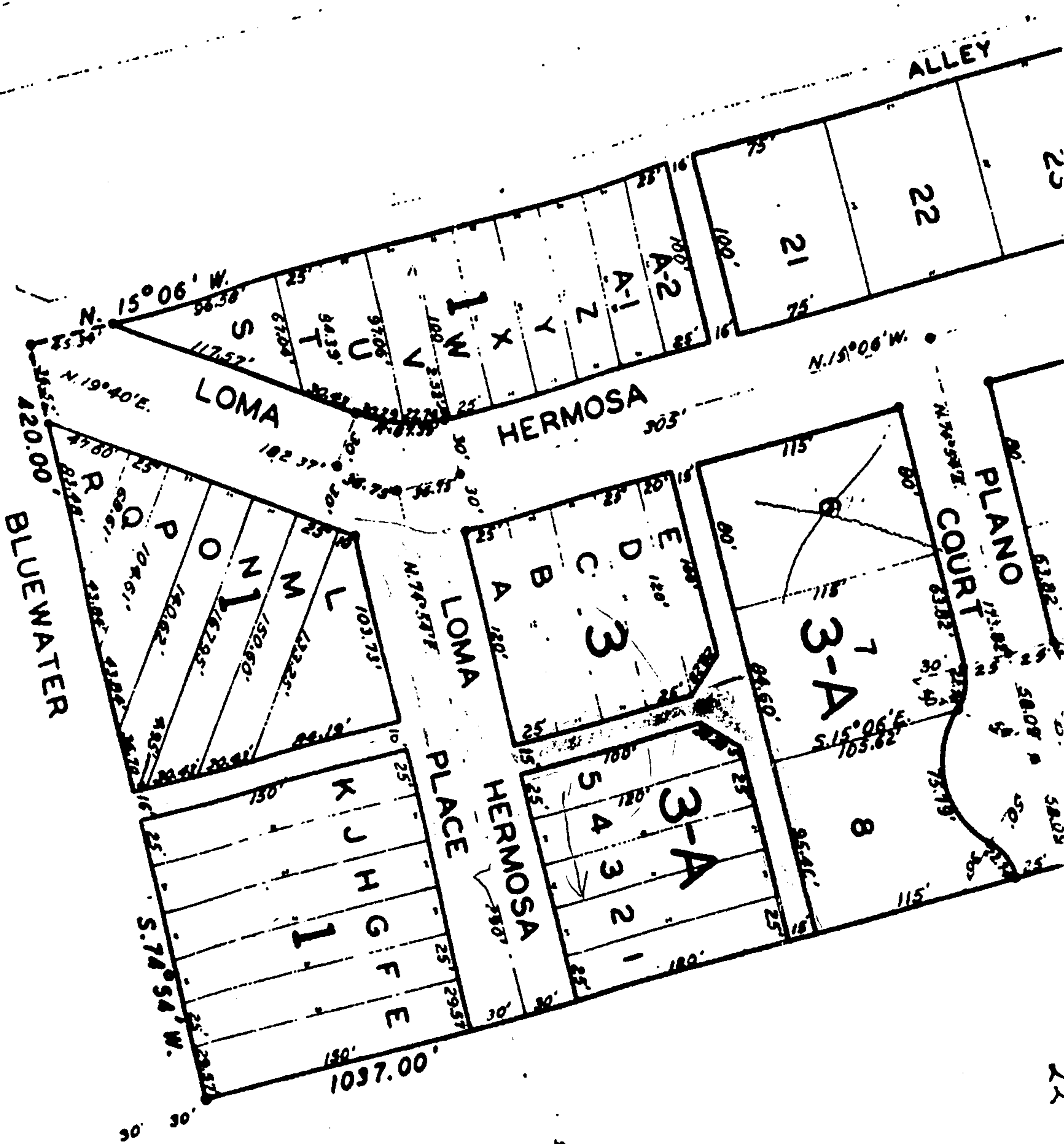
I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Jose L. Padella (Applicant or Agent), 12-6-02 (Date)

I issued 1 signs for this application, 12/6/02 (Date), Paul Lunde (Staff Member)

DONA L A V A L A  
BLOCK K

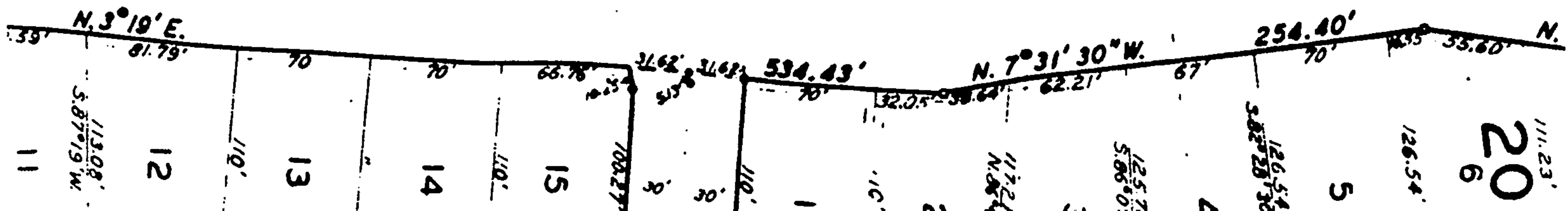
ALLEY



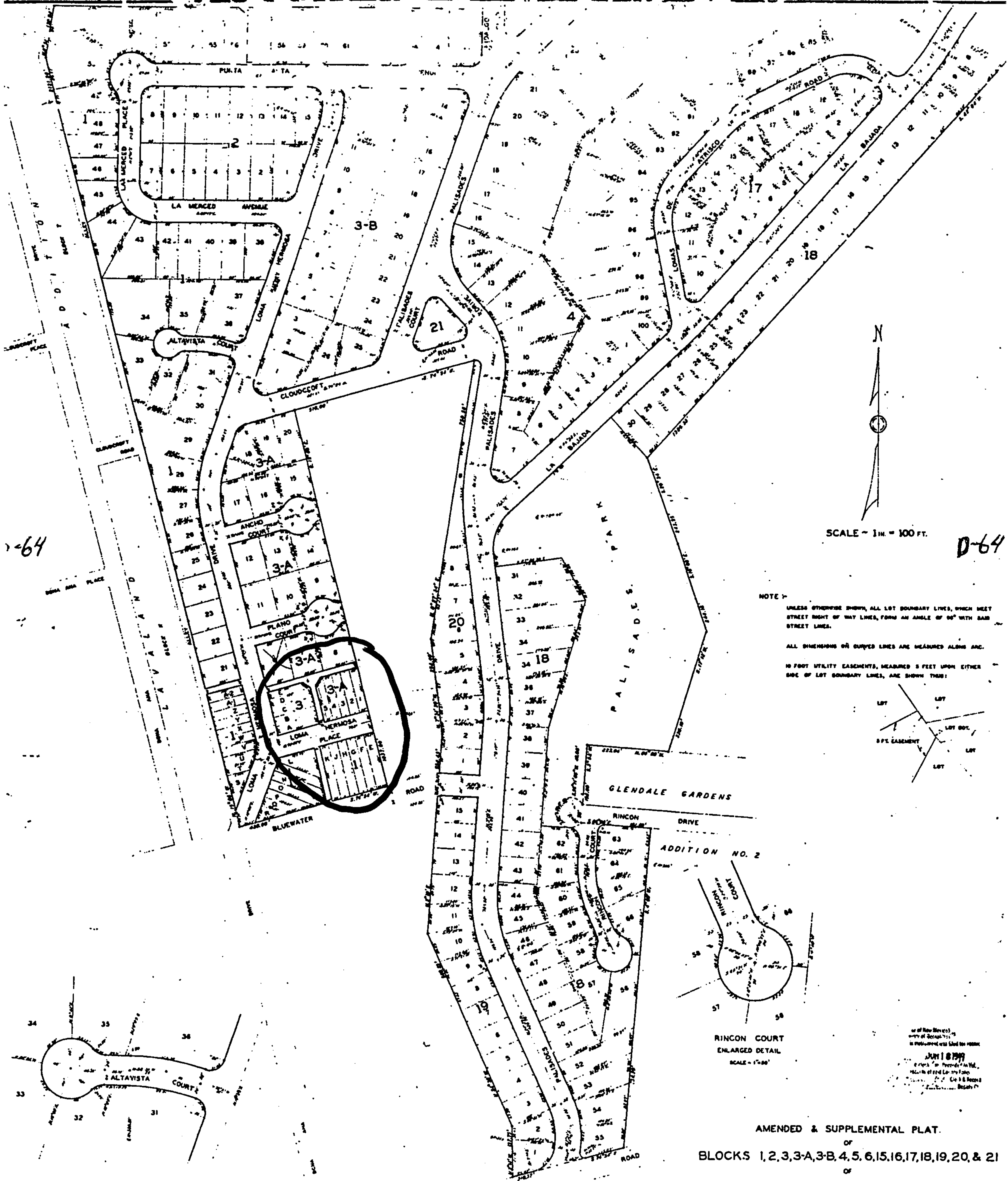
DRIVE

BLUEWATER

EXHIBIT B  
Date 2/5/09



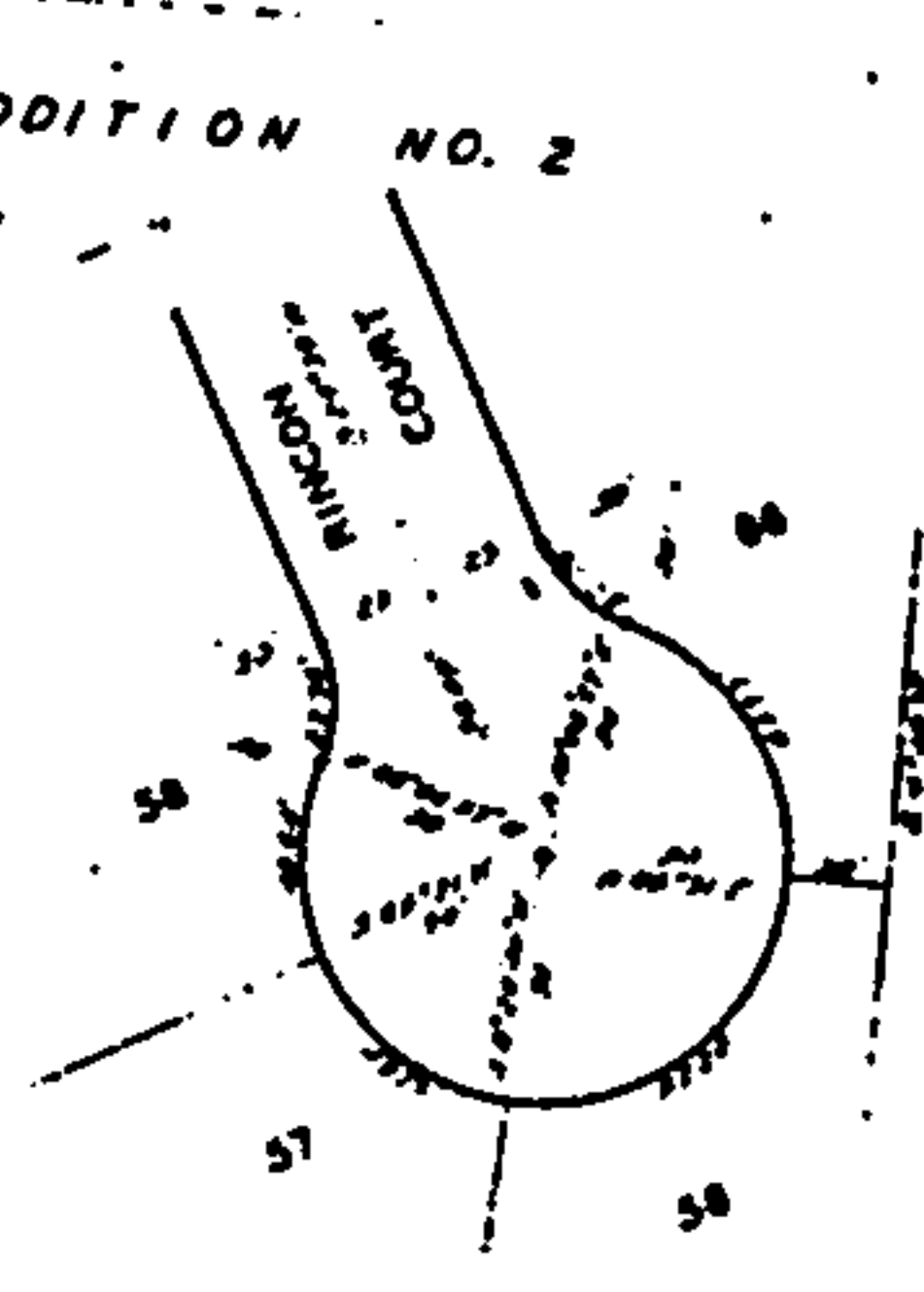
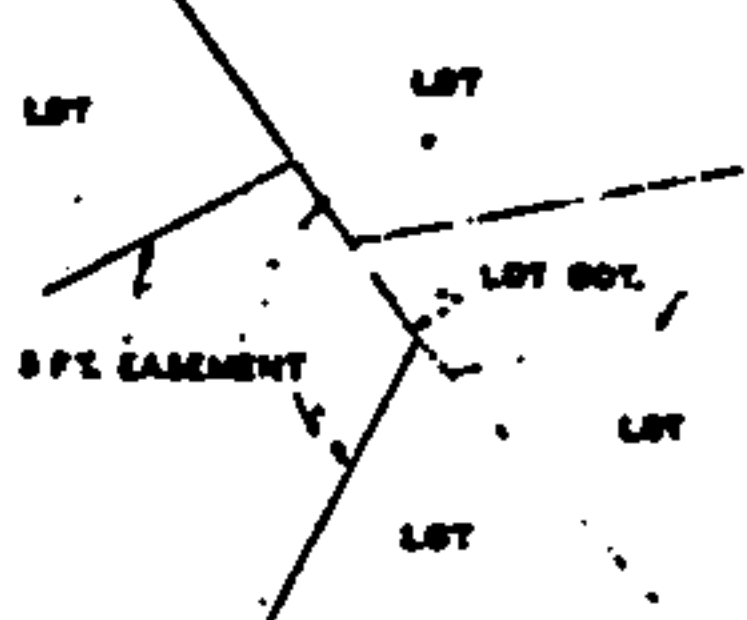




SCALE - 1 in. = 100 FT.

D-64

NOTE -  
 UNLESS OTHERWISE SHOWN, ALL LOT BOUNDARY LINES, WHICH MEET STREET RIGHT OF WAY LINES, FORM AN ANGLE OF 90° WITH SAID STREET LINES.  
 ALL DIMENSIONS ON CURVED LINES ARE MEASURED ALONG ARC.  
 10 FOOT UTILITY EASEMENTS, MEASURED 5 FEET UPON EITHER SIDE OF LOT BOUNDARY LINES, ARE SHOWN THERE!



RINCON COURT  
 ENLARGED DETAIL  
 SCALE - 1" = 80'



ALTAVISTA COURT  
 ENLARGED DETAIL  
 SCALE - 1" = 80'

AMENDED & SUPPLEMENTAL PLAT  
 OF  
 BLOCKS 1, 2, 3, 3-A, 3-B, 4, 5, 6, 15, 16, 17, 18, 19, 20, & 21  
 OF

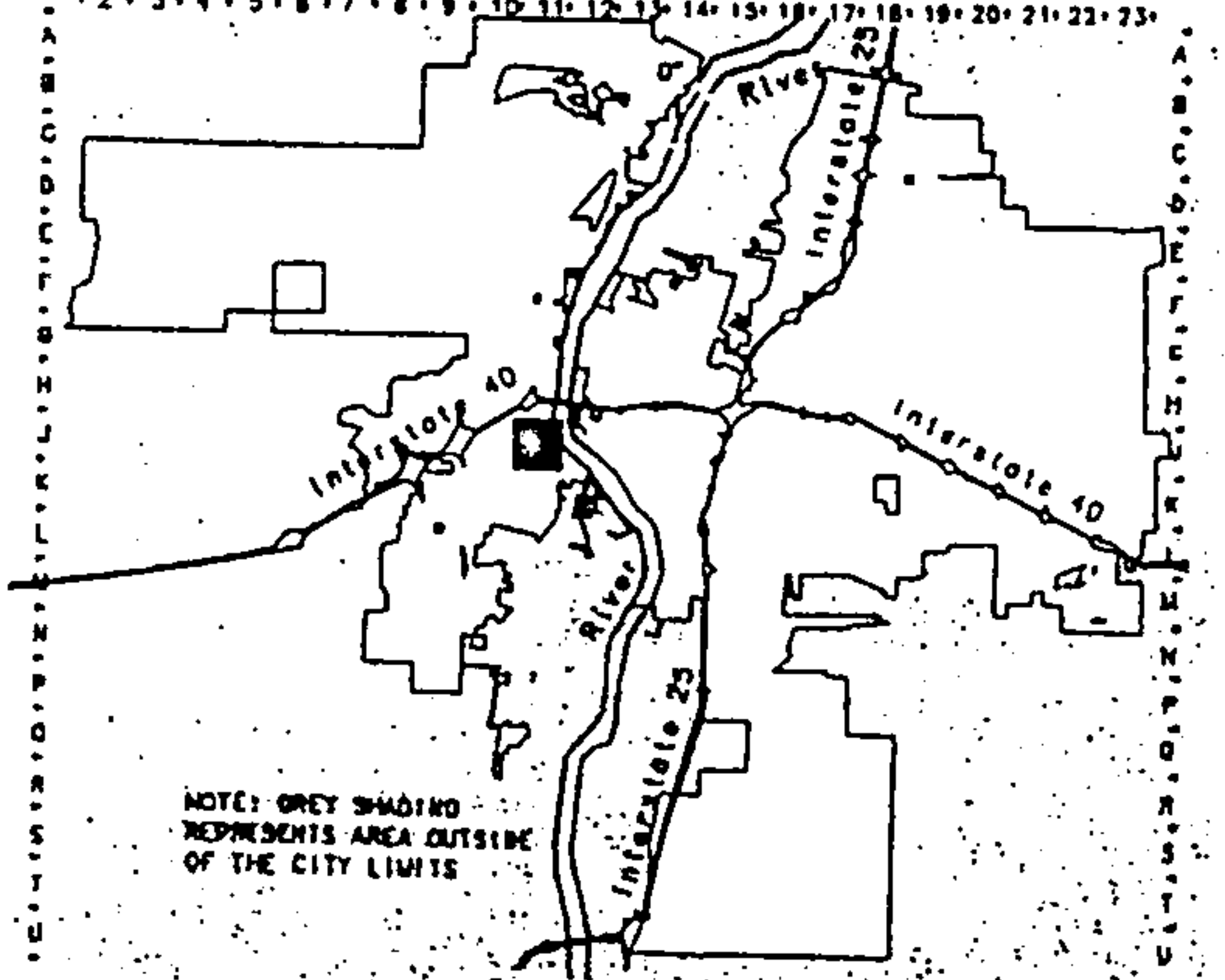
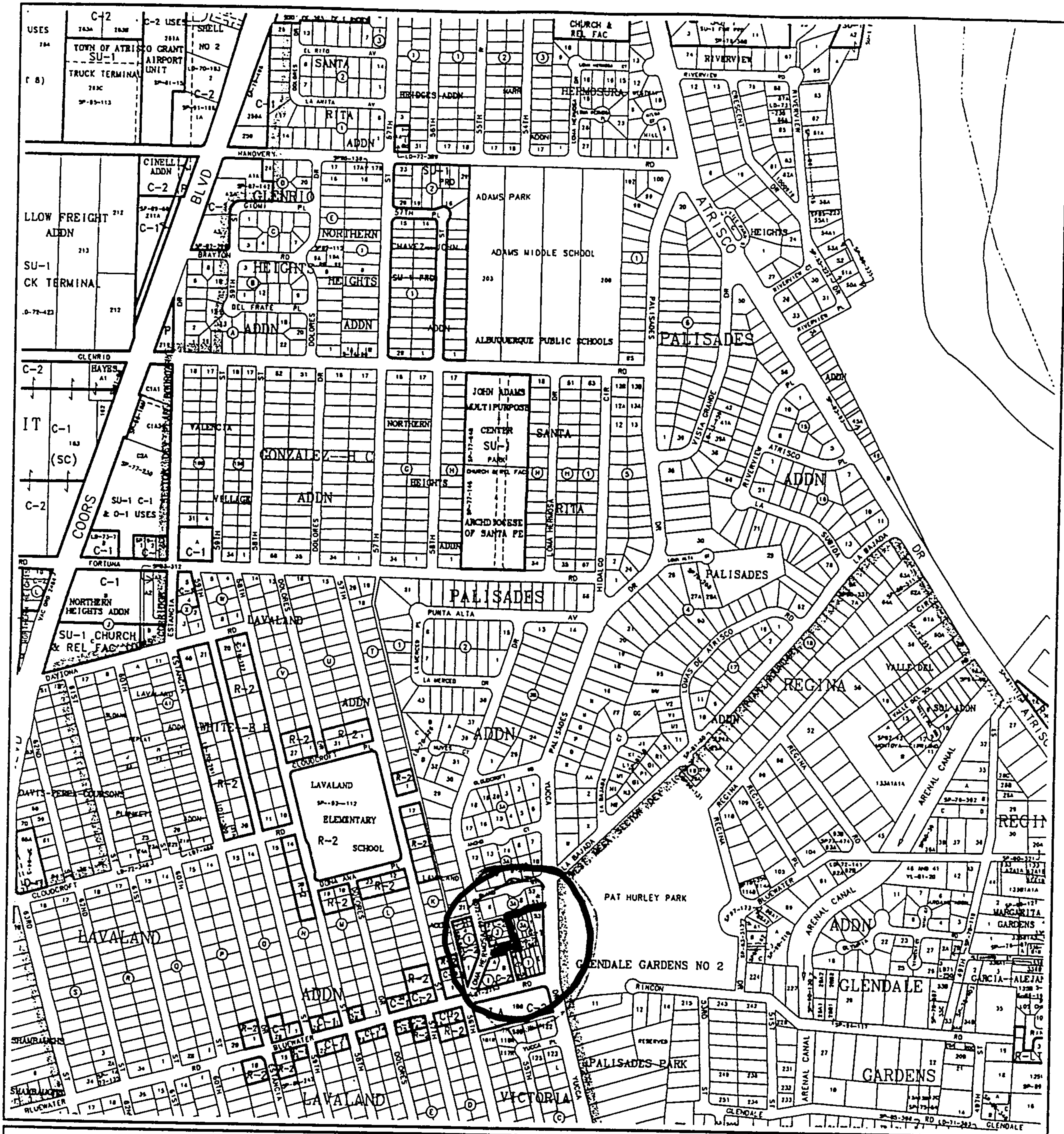
**THE PALISADES**

AN ADDITION TO THE CITY OF  
 ALBUQUERQUE, NEW MEXICO

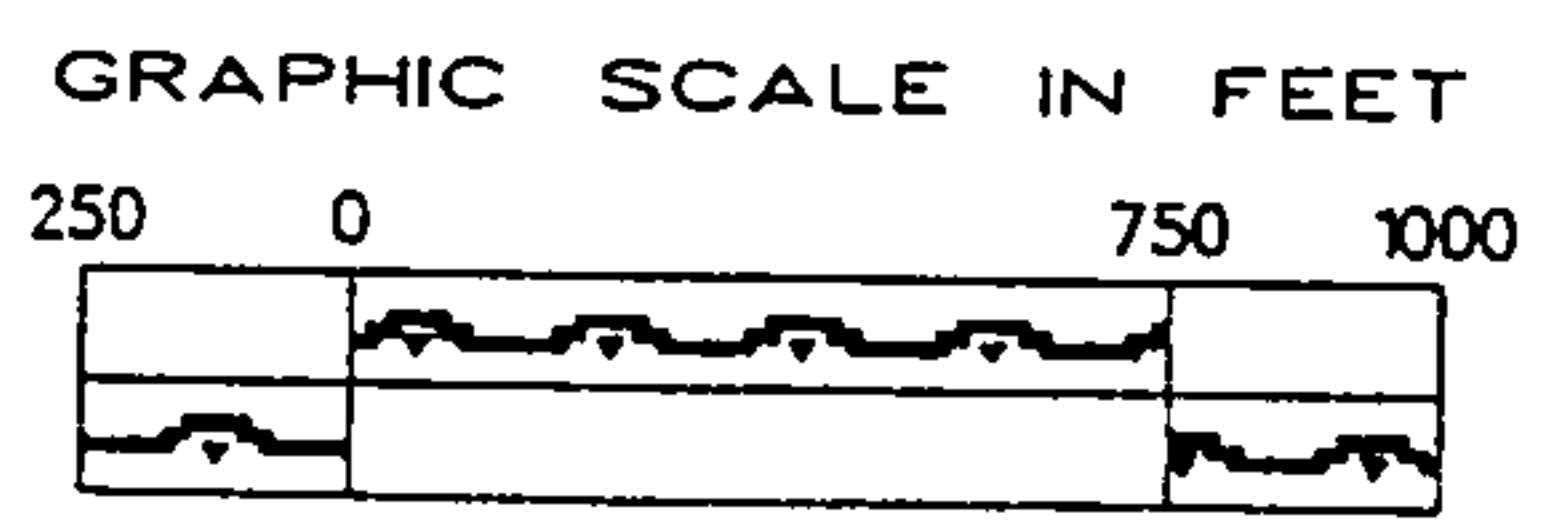
POSS-BEVER ENGINEERS & ARCHITECTS OFFICE  
 603-NEW JUNE 4, 1948

City of New Mexico  
 City of Albuquerque  
 is authorized and shall be valid  
 JUN 18 1948  
 City of Albuquerque  
 City Clerk's Office  
 City of Albuquerque





CITY OF  
Albuquerque  
A Geographic Information System  
PLANNING DEPARTMENT  
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# Zone Atlas Page

## J-11-Z

Map Amended through April 03, 2002