

APPROVALS Project #: 1002377
 DRB #s: 03DRB-00574 & 00575
 EPC #s: 1002359-02EPC-01772 & 01773

<i>Sharon Matson</i> Planning Director	4/23/03 Date	4-15-03
<i>Roger & Shuan</i> Transportation Development	5/15/03 Date	
<i>Bradley D. Bishop</i> City Engineer/AMAFCA	4/23/03 Date	
<i>Roger & Shuan</i> Utility Development	4-23-03 Date	
<i>Christina Sandoval</i> Parks and Recreation Department	4/23/03 Date	
<i>Michael Holten</i> Solid Waste Department	4-9-03 Date	will comply w/ open space

Las Casitas del Rio

Phase II

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

Prepared for:
 The Strosnider Company
 6121 Indian School Road NE Suite 275
 Albuquerque, NM 87110

Prepared by:
 Consensus Planning, Inc.
 924 Park Avenue SW
 Albuquerque, NM 87102

Isaacson & Arfman, P.A.
 128 Monroe Street NE
 Albuquerque, NM 87108



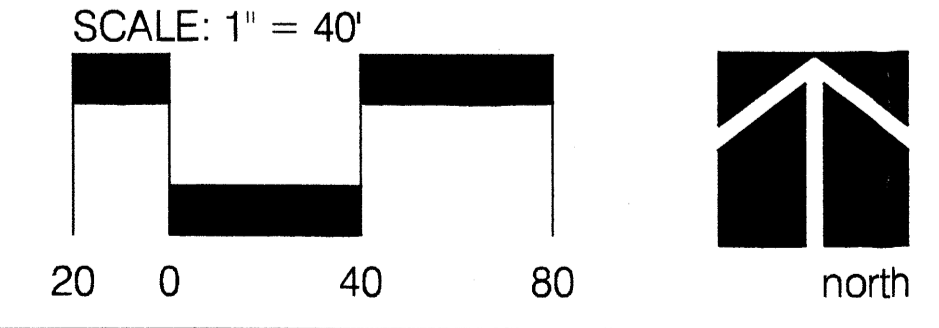
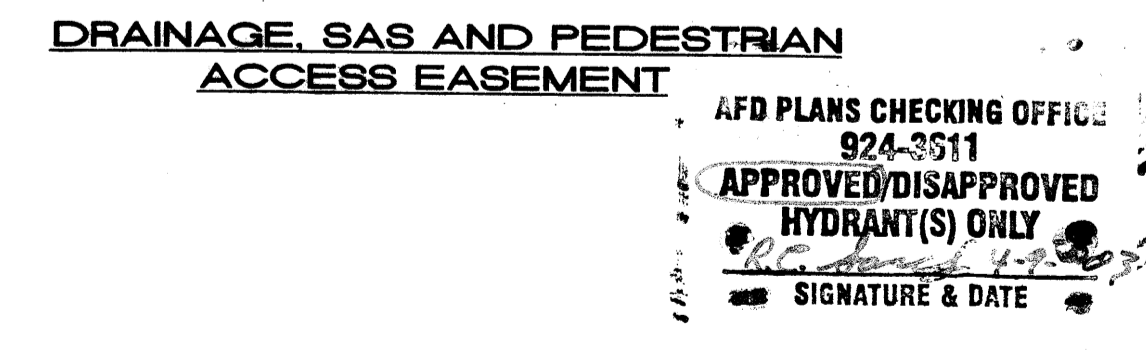
April 8, 2002

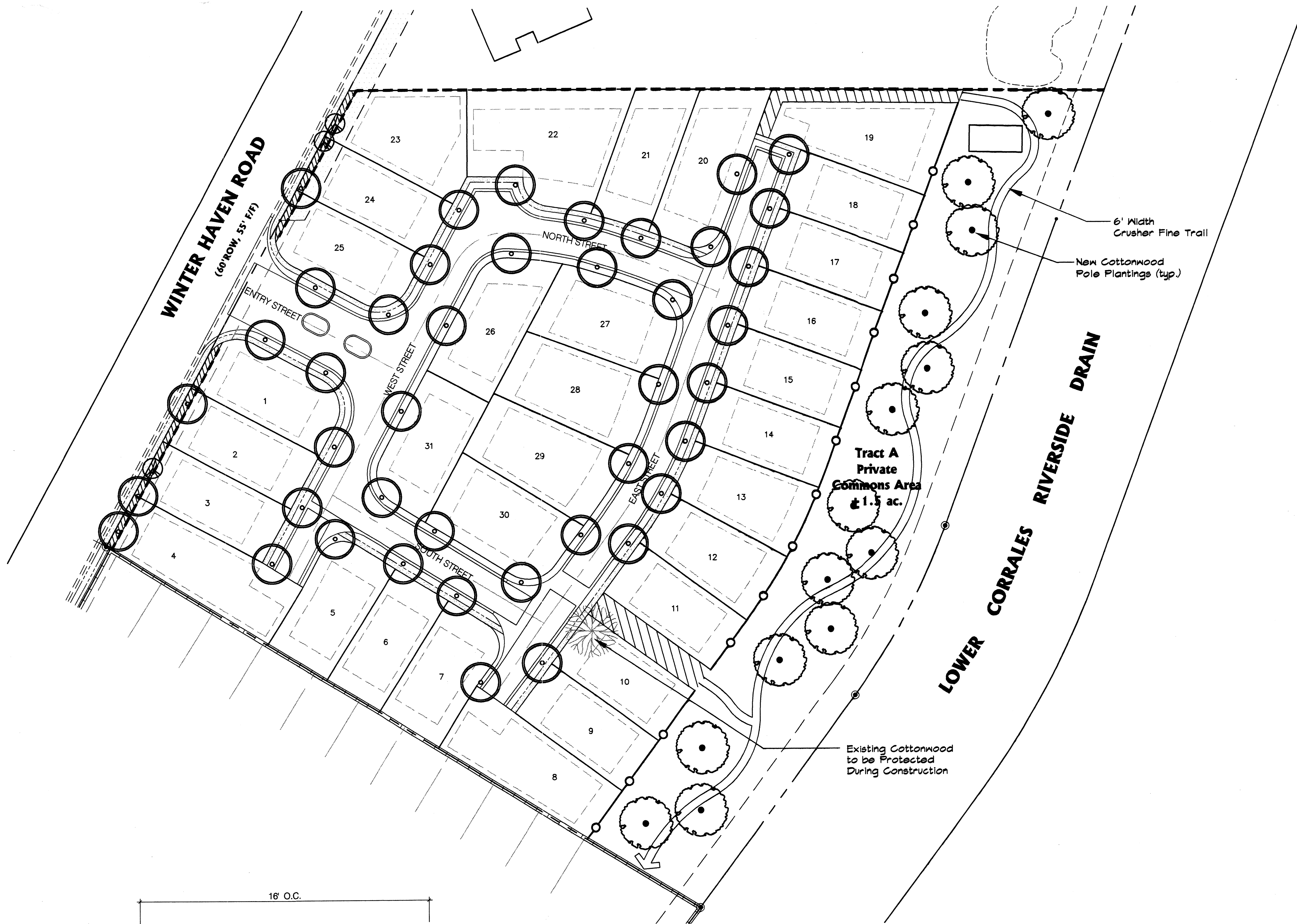
NOTE:
 1. The interior streets within Las Casitas del Rio Phase II are 42 feet rights-of-way and have a 4' sidewalk on one side of the street only.

Site Data

Parcel Size: 6.79 acres
 Existing Zoning: SU-1 for PDA
 Proposed Use: 31 Single Family detached Units

Required Open Space	
2,400 S.F. per lot	74,400 S.F.
Provided Open Space	
1,860 S.F. on lot	57,660 S.F.
Private Commons Area	67,090 S.F.
Total	124,750 S.F.





LANDSCAPE CONCEPT

The landscape Concept for Las Casitas del Rio Phase II has been developed to enhance and follow the patterns of the Bosque environment. The ground plane will be developed with massings of non-invasive native shrub, groundcover, and perennial materials, with accent materials interspersed. Existing invasive species shall be removed as much as possible.

GENERAL

The design and provision of landscape for the Las Casitas del Rio Phase II subdivision will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

STREET TREE ORDINANCE REQUIREMENTS

Winter Haven Road is considered a Collector Street and does not fall under the requirements of the City of Albuquerque Street Tree Ordinance. Street trees shall be provided on the streets interior to the subdivision at a rate of approximately 1 tree per lot as illustrated in this plan.

IRRIGATION SYSTEM




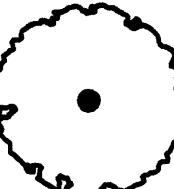
The irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas.

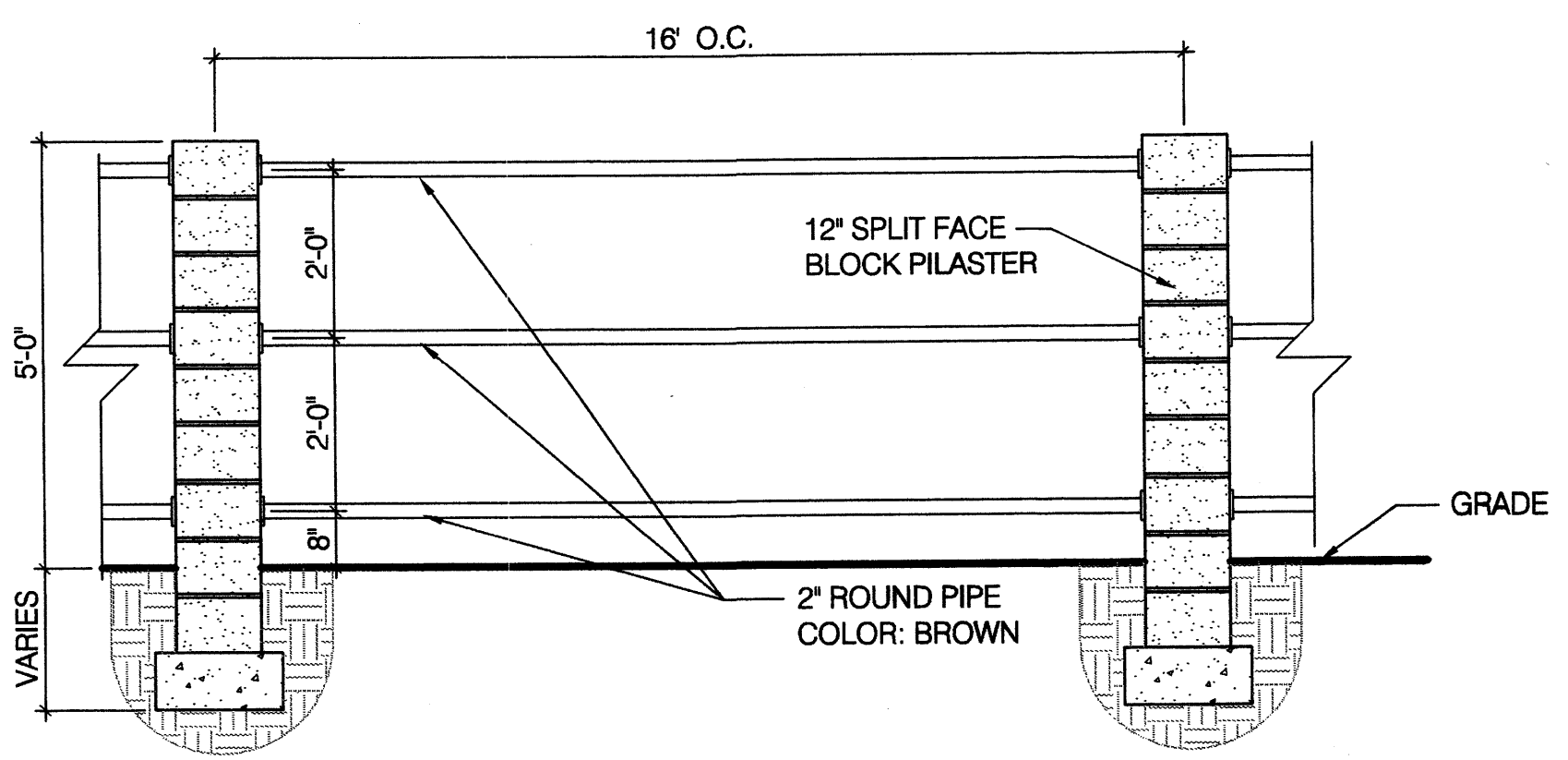
MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system shall be the responsibility of the Owner on individual lots. The private common areas shall be maintained by the Homeowners' Association. All planting areas will be maintained in a living, attractive, and weed free condition.

GENERAL PLANT PALETTE

This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation and Water Waste Ordinance.

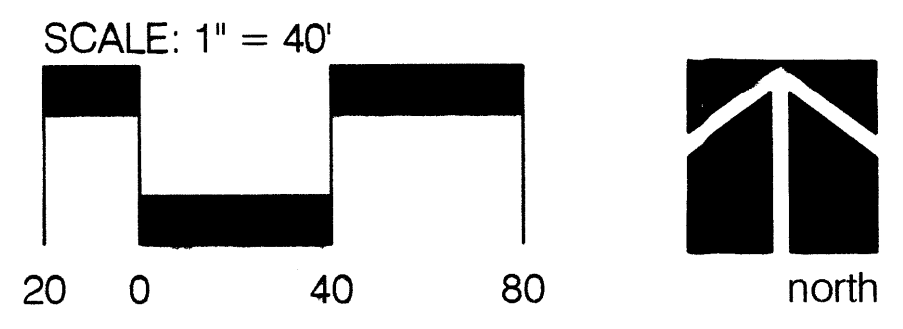
- 
Large Canopy Trees (2" Caliper Min.)
 Cottonwood (female), Autumn Purple Ash, Modesto ash, Honeylocust, Texas Oak (greagiv), Chinese Pistache, Chitalpa.
- 
Evergreen Trees (6' Min. Height)
 Piñon Pine, Austrian Pine
- 
Accent Trees (1 1/2" Caliper Min.)
 Desert Willow, New Mexico Olive, Flowering Pear
- Shrubs (1 & 5 Gallon)-Not shown due to scale of drawing.**
 Juniper Species, Potentilla, Chamisa, Artemesia Species, Fourwing Saltbush, Red Yucca, Apache Plume, Dalea Species, Penstemon Species, Desert Spoon, Coloneaster Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species
- Groundcovers and Vines (1 & 5 Gallon)-Not shown due to scale of drawing.**
 Trumpet Vine, Carolina Jessamine, Honeysuckle, Wisteria, Juniper species, Artemesia species, Potentilla, Cotoneaster
- Turf Grasses (Seed or Sod)**
 Kentucky Bluegrass / Fesue (Max. 20% of landscape area)
 Buffalo/Blue Grama Grass
- Mulches**
 Crusher Fines, Bark Mulch, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Rock Mulch
- Boulders (5' Max. Dimension)**
 Moss Rock and/or Granite
- 
TREES IN PRIVATE COMMONS AREA
 Rio Grande Cottonwoods (pole plantings or equal)
- WINTER HAVEN LANDSCAPING**
 Shall be maintained by the Home Owners Association. There shall be a minimum of 7 trees provided, with native shrubs, and rock mulch.



DETAIL A-OPEN PIPE FENCING w/SPLITFACE CMU PILASTERS
N.T.S.

Wall Legend

- Solid Splitface CMU Wall (6' in height)
- Open Pipe Fencing w/Splitface CMU Pilasters (See Detail A) OR Solid Splitface CMU Wall (6' in height)



Las Casitas del Rio

Phase II

LANDSCAPE PLAN

Prepared for:
The Strosnider Company
6121 Indian School Road NE Suite 275
Albuquerque, NM 87110

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

November 21, 2002
Sheet 2 of 5



LANDSCAPE PLAN

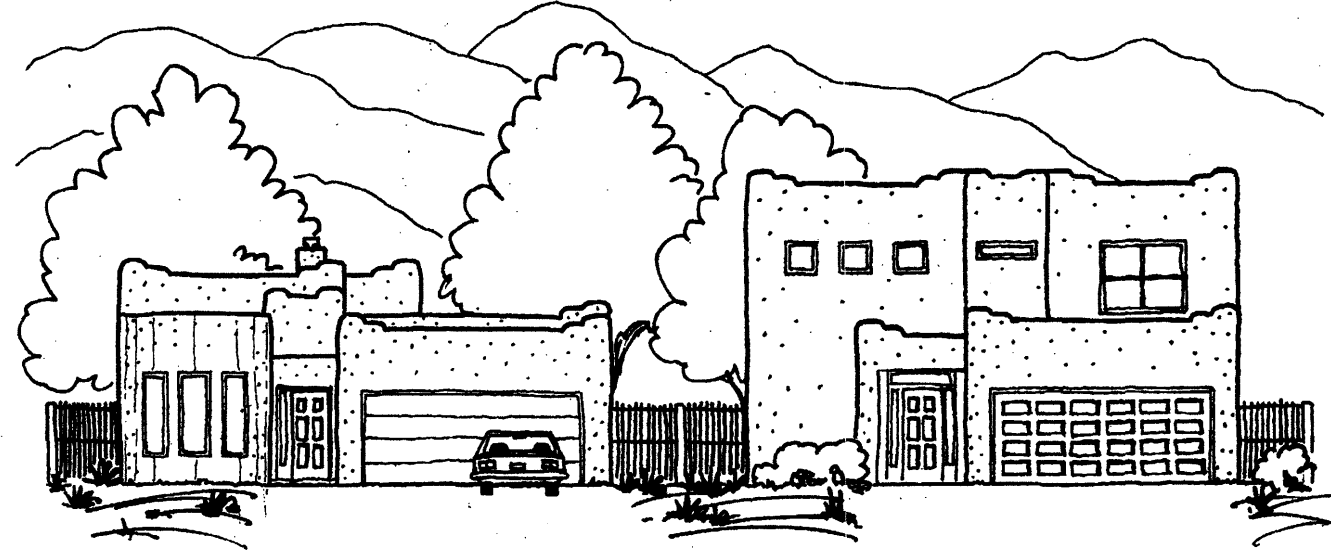
DESIGN STANDARDS

The following are Design Standards for homes to be built in Las Casitas del Rio Phase II. The subdivision is envisioned to offer potential residents the ability to shop, work, live, and recreate in an area adjacent to the Rio Grande Bosque. Builders will construct all homes within this subdivision in compliance with these Design Standards. A Homeowner's Association will be established by the developer to administer these standards and for maintenance purposes of the common areas.

A. Architectural Styles

Below are described characteristics of the style desired for homes at Las Casitas del Rio Phase II. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of the style listed below and adheres to the Standards. The use of architectural detail and materials should be consistent on all elevations to some degree; the same window and door trim details shall be used consistently in all openings.

- All of the homes within Las Casitas del Rio Phase II shall be constructed as detached single family homes and shall be Pueblo Contemporary style. They all shall have low sloped roofs with parapets.



Typical Pueblo Contemporary Style

B. Building Massing

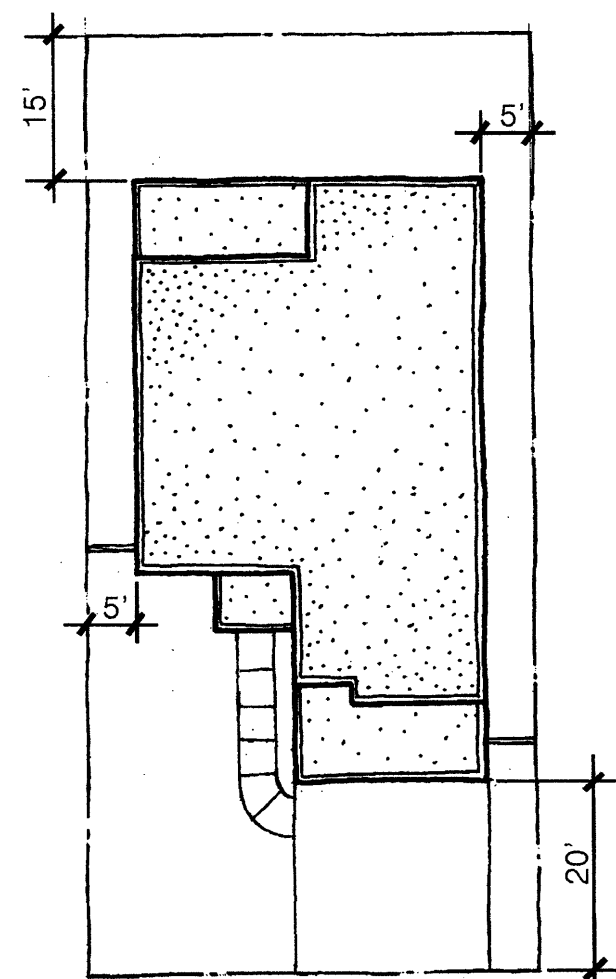
A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three (3) walls. Building massing is critical, especially for the street elevations, and should be offset from the adjacent masses by an appropriate dimension to the size of the building.

C. Garages

- Each home is required to have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces are provided.
- Garage doors shall be offset from the surface of the front façade by a minimum of eight inches (8").

D. Setbacks

- Front yard setback - 15 feet except garages shall be set back a minimum of 20 feet.
- Side yard setback - 5 feet minimum
- Rear yard setback - 15 feet minimum



Typical Building Setbacks

E. Building Materials

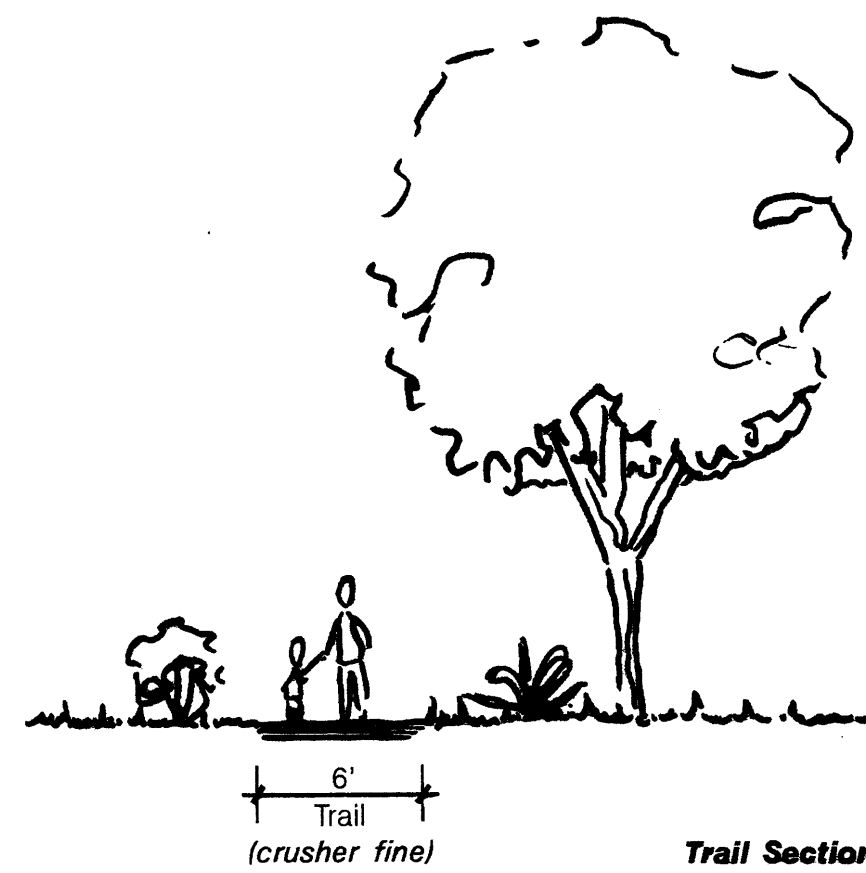
- Synthetic type stucco shall be the primary building material and shall account for a minimum of 80% of the exterior construction. Stone, brick, tiles, wood, and glass block may be used as an accent feature for up to 20% of the exterior.

F. Pre-Approved Building Colors

- Primary - exterior stucco colors shall be Sonneborn standard colors in shades of tan, brown, reddish brown, and other earth tones; prohibited colors shall be Marble White, Navajo White, and Tijeras.
- Accent - a variety of earth tone colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features.
- All roof penetrations shall be painted to match the predominant roof color or stucco color.

G. Pedestrian /Bicycle Circulation

- Pedestrian/Bicycle circulation for residents within the subdivision is an important benefit. Accordingly, sidewalks are designed to provide access to the Corrales Riverside Drain and to the commercial development to the west.
- Due to the short block length and additional pedestrian facilities within the private commons area, sidewalks shall only be required on one side of the internal residential streets.
- Crusher fine walking paths shall be provided within the private commons area at a minimum of 6 feet in width.
- Access to the Rio Grande State Park shall be provided through the private commons area.



Trail Section

H. Building Height and Density

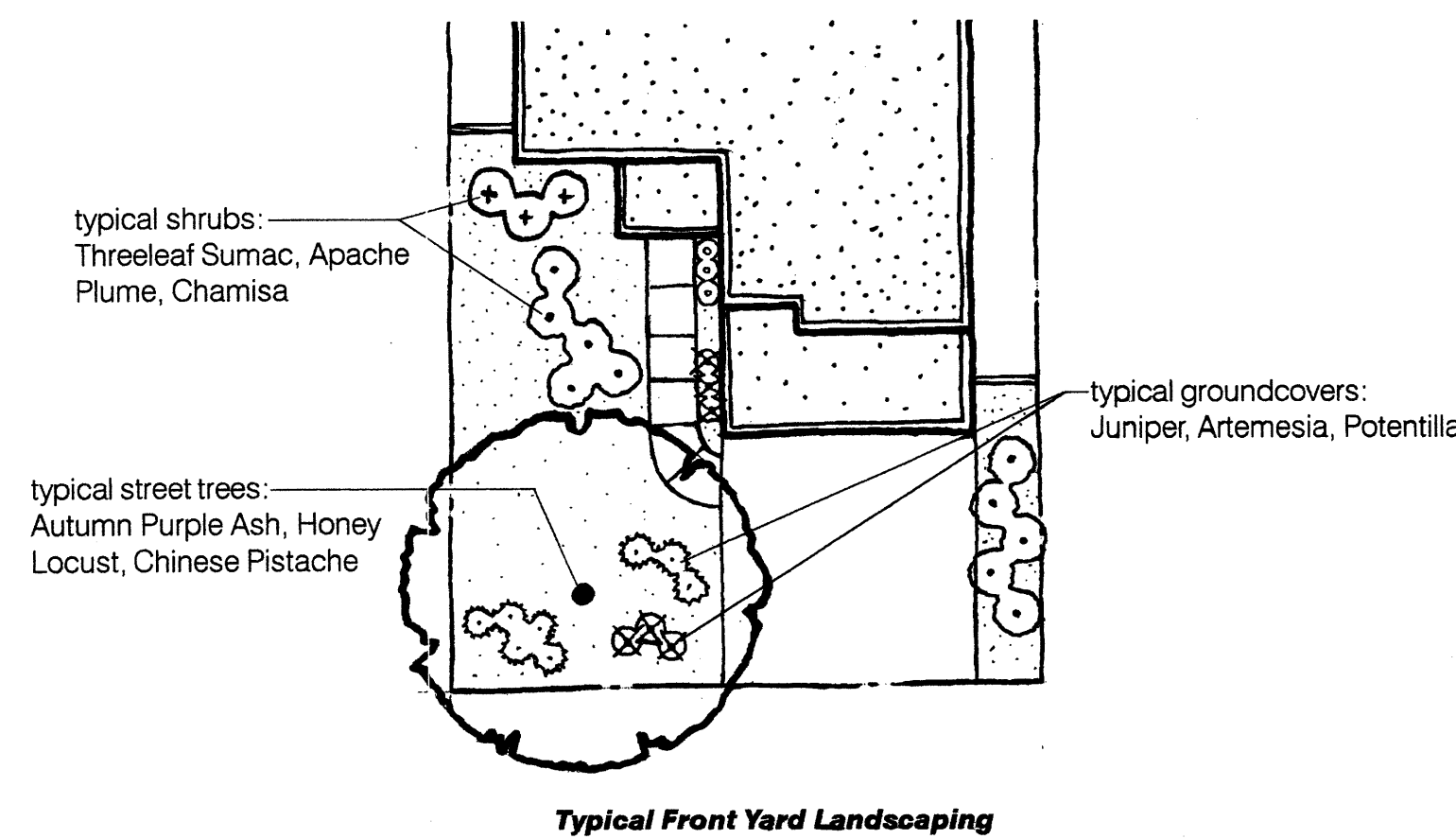
The maximum height allowed for two story homes is 26 feet as required by the City of Albuquerque Zoning Code.

- The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 square feet, the area of the second story is limited to a maximum of 1,500 square feet.
- The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two-story wall.
- Floor Area Ratio (F.A.R.) is the ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a F.A.R. of .75 shall not be exceeded.

I. Landscaping

These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code. Common areas within the subdivision will be landscaped and maintenance will be the responsibility of the Homeowners' Association.

- Street trees shall be provided along new interior roads at a rate of one tree per 50 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed.
- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.



Typical Front Yard Landscaping

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material that extends completely under the plant material, however, these materials shall not be used as a focal landscape element.
- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.
- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner and/or the Homeowners' Association in a living, attractive condition. The Homeowner's Association shall maintain the private commons area including the 100' buffer strip and other common areas. Plantings within the buffer zone shall be non-invasive species native to the bosque. All areas other than the private commons area shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.
- Planted areas shall be a minimum of 36 square feet and a minimum width of 6 feet.
- Minimum plant sizes at time of installation shall be as follows:
 - Trees: 2 inch caliper, or 10 to 12 feet in height
 - Shrubs & Groundcovers: 1 gallon
 - Turf Grasses: provide complete ground coverage within one growing season after installation

- Timing of Installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home.

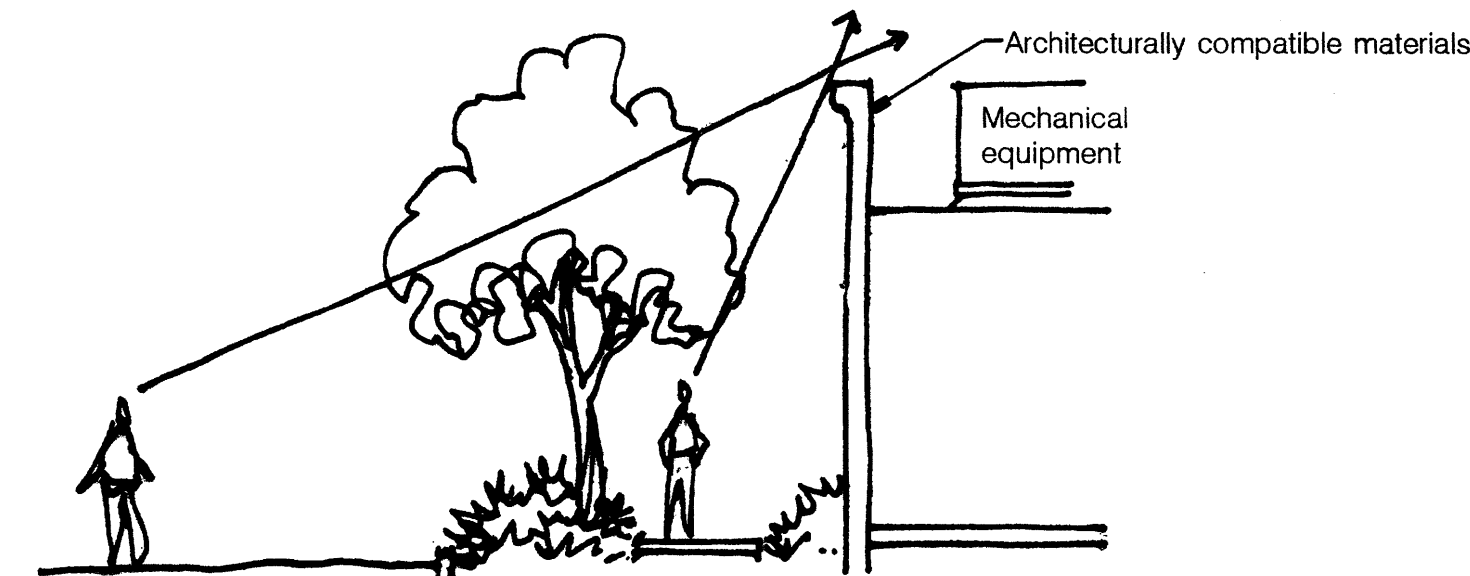
J. Walls/Fences

In order to mitigate the impact of the commercial/office activity at Montaña Plaza, which is across Winter Haven to the west, a perimeter wall shall be constructed along Winter Haven.

- All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.
- The perimeter subdivision wall shall be splitface concrete masonry unit (CMU) on the streetside and shall be a height of 6 feet. Where the wall borders the private commons, the wall may be either a solid splitface CMU wall or an open pipe fence with splitface CMU pilasters (see Detail A, sheet 2). All subdivision walls shall be installed and paid for by the Developer.
- The Developer and/or Homeowner's Association shall be responsible for removal of any and all graffiti located on the perimeter subdivision wall within 72 hours of any report of graffiti to the Developer and/or Homeowner's Association.
- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.
- Pedestrian openings shall be provided for access at key locations within the development to the private commons area adjacent to the Bosque.

K. Mechanical Equipment and Utilities

- Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the front property line of residences). Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.



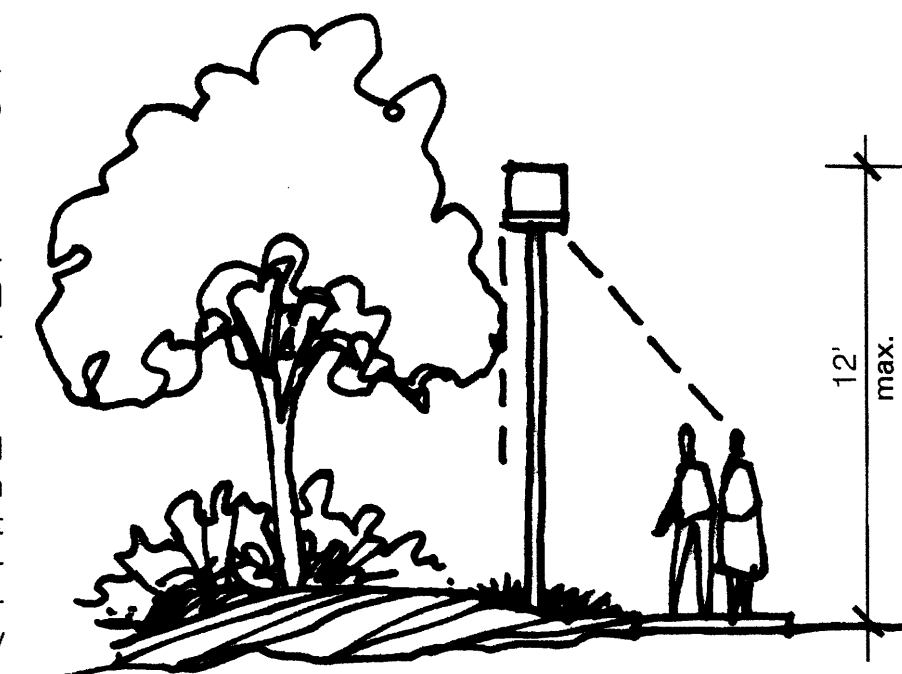
Screened Mechanical Equipment

- Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
- All electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

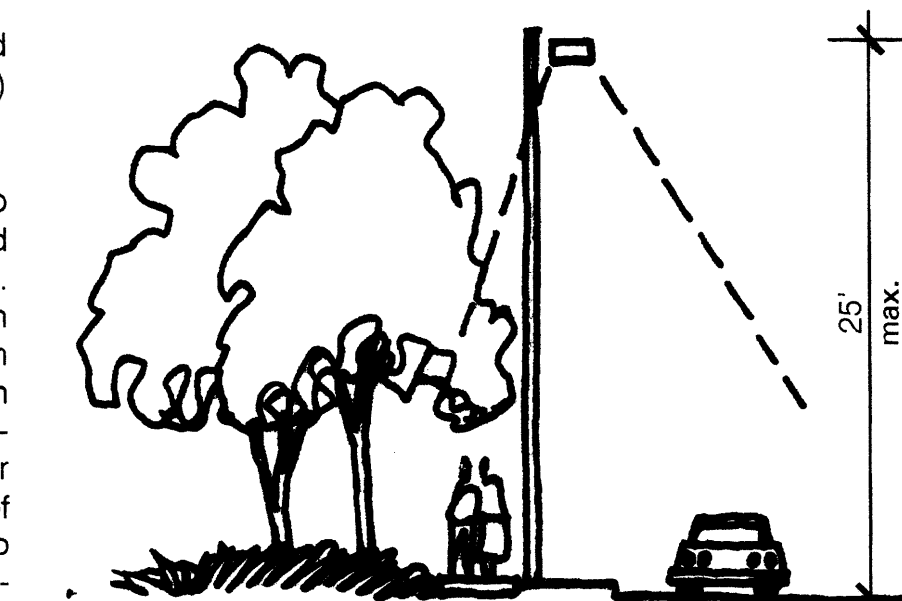
L. Site Lighting

In order to comply with the Coors Corridor Plan, site lighting will be designed to be as unintrusive as possible while still providing safety to the residents.

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.
- Site lighting shall not have a total on-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
- The mounting height of luminaries for site lighting shall be no higher than 12 feet.
- Site lighting shall be shielded source with no light source (lamp) visible from the site perimeter.
- Street lights shall be restricted to intersections at Winter Haven Road and internal street intersections. Street lights at the intersections with Winter Haven shall be a maximum of 25 feet in height, consistent with the Riverside Plaza Design Guidelines to the northwest; other streetlights shall be a maximum of 18 feet in height. The intent is to provide only those street lights required for safety purposes.
- Street lights shall be fully shielded.



Shielded source site lighting



Streetlights at intersections

M. Signs

- Entry signage shall be incorporated into the perimeter wall at the entry along Winter Haven, which shall be consistent in design and materials with the buildings.

N. Solid Waste

- Each lot/home shall have a storage area for residential automated carts; not to be visible from the street.

O. Review for Compliance

- The compliance of any structure or improvement within the Subdivision will be reviewed by the Homeowner's Association.

P. Vacant Lots; Destruction

- There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Subdivision.
- The Owner of a lot within the Subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
- The Owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.

Q. Restricted Activities

- The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than ten (10) days per year.
- The placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently, is prohibited without the prior approval of the Homeowner's Association.
- The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved in writing by the Homeowner's Association and must be of similar architectural design as the house.

Las Casitas del Rio Phase II

Prepared for:

The Strosnider Company
6121 Indian School Road NE
Suite #275
Albuquerque, NM 87110

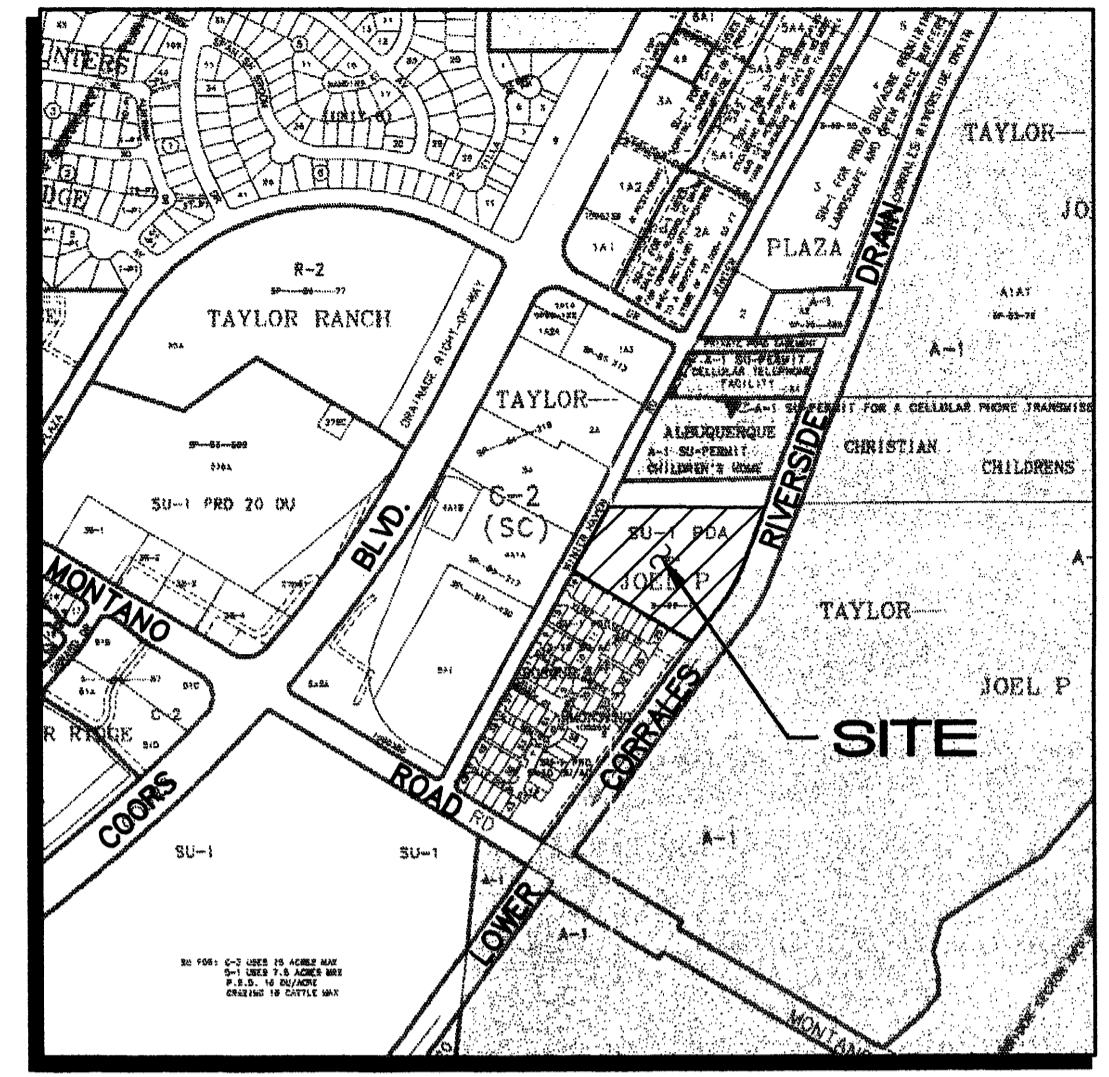
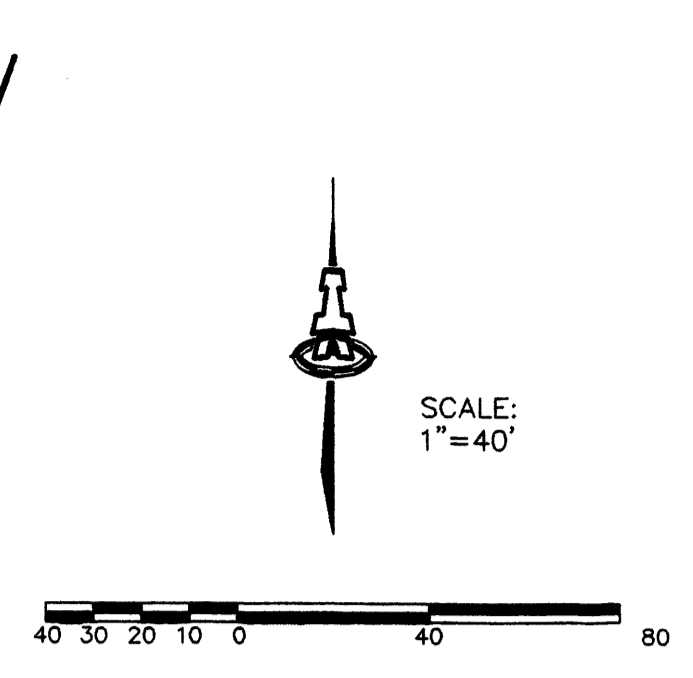
Prepared by:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

Isaacson & Arfman, PA.
128 Monroe Street NE
Albuquerque, NM 87108



November 21, 2002



LEGAL DESCRIPTION: TRACT B1-A, LANDS OF JOEL P. TAYLOR, TOGETHER WITH PORTIONS OF THE UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME.

TOTAL AREA: 6.8215 ACRES

BENCHMARK: ACS MONUMENT "NM 448-N7A" ELEVATION = 5006.41 (NGVD 1929)

FLOOD ZONE DESIGNATION: ALL PORTIONS OF THIS SITE ARE OUTSIDE OF THE 100-YEAR FLOODPLAIN OR ARE WITHIN FLOODPLAIN ZONE X - AREA PROTECTED FROM 100-YEAR FLOOD BY LEVEE - AS DESIGNATED ON PANEL #118 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAP DATED SEPTEMBER 20, 1996.

EXISTING CONDITIONS: THIS SITE IS CURRENTLY UNDEVELOPED, WITH THE EXCEPTION OF A SHED ON THE NORTHEAST CORNER THAT IS SCHEDULED TO BE DEMOLISHED. THE SITE SLOPES APPROXIMATELY 1%-2% FROM WEST TO EAST, AND HAS NATIVE GRASSES, SHRUBS, AND COTTONWOOD TREES. THE PROPERTY IS BOUNDED BY WINTERHAVEN RD TO THE WEST, THE LOWER CORRALES RIVERSIDE DRAIN TO THE EAST AND RESIDENTIAL DEVELOPMENT TO THE NORTH AND SOUTH.

A TOTAL OF 8.8 CFS (0.2502 AC-FT) OF STORM WATER SHEETS EAST TO THE LOWER CORRALES RIVERSIDE DRAIN IN THE 100-YEAR, 6-HOUR STORM, OR IS RETAINED ONSITE BY NATURAL FEATURES.

EXISTING HYDROLOGY: (Per the C.O.A. D.P.M., Sect. 22.2)
 PRECIPITATION ZONE: 1
 LAND TREATMENTS: 100% TYPE A
 $Q_{100} = 6.82 (1.29) = 8.8$ CFS
 $V_{360} = 6.82 (0.44)/12 = 0.2501$ AC-FT \Rightarrow 10,895 CU. FT.

PROPOSED CONDITIONS: A 31-LOT, SINGLE-FAMILY RESIDENTIAL SUBDIVISION IS PROPOSED FOR THIS SITE. A 100' LANDSCAPE BUFFER IS REQUIRED ON THE EAST SIDE OF THE SUBDIVISION WHERE IT IS ADJACENT TO THE RIVERSIDE DRAIN. STORM WATERS FROM EACH LOT SHALL BE CONVEYED TO THE FRONT ROADWAYS OR ALLOWED TO DISCHARGE A PORTION OF THE STORM WATER OUT OF THE REAR YARDS WHERE THEY ADJUT DRAINAGE RETENTION AREAS WITHIN THE PRIVATE OPEN SPACE AREA. STORM WATERS COLLECTED WITHIN THE ROADWAYS SHALL BE CONVEYED TO THE INDICATED 20' ACCESS AND DRAINAGE EASEMENT, AND THEN ROUTED OVERLAND TO THE NATURAL LOW POINTS FOR RETENTION OF THE 1.0308 AC-FT GENERATED BY THE SITE. NO DEVELOPED STORM WATERS ARE PLANNED FOR DISCHARGE INTO THE LOWER CORRALES RIVERSIDE DRAIN, THEREFORE AN MRGD LICENSE AGREEMENT WILL NOT BE NECESSARY FOR THE SUBDIVISION DRAINAGE SOLUTION. THE STORM WATER BERMING THE LOW SIDE OF THE POND WILL CREATE A NATURAL BOSQUE TERRAIN.

PROPOSED HYDROLOGY: (Per the C.O.A. D.P.M., Sect. 22.2)
 PRECIPITATION ZONE: 1
 BASIN 100:
 AREA = 5.28 AC
 LAND TREATMENTS: 22% TYPE B = 1.16 AC
 22% TYPE C = 1.16 AC
 56% TYPE D = 2.96 AC
 $Q_{100} = 1.16(2.03) + 1.16(2.87) + 2.96(4.37) = 18.6$ CFS
 $V_{360} = [1.16(0.67) + 1.16(0.99) + 2.96(1.97)]/12 = 0.6463$ AC-FT \Rightarrow 28,151 CU. FT.
 $V_{10-day} = V_{360} + A_0(P_{10-day} - P_{360})/12$
 $P_{10-day} = 10.0 - [24.9/(P_{1440})^{1.4}]$
 $= 10.0 - [24.9/(2.62)^{1.4}] = 3.53$
 $P_{360} = 2.20$
 $V_{10-day} = 0.6463 + 2.96(3.53 - 2.20)/12 = 0.9744$ AC-FT \Rightarrow 42,443 CU. FT.
 BASIN 200:
 AREA = 1.54 AC
 LAND TREATMENTS: 100% TYPE A
 $Q_{100} = 1.54 (1.29) = 2.0$ CFS
 $V_{360} = 1.54 (0.44)/12 = 0.0565$ AC-FT \Rightarrow 2,460 CU. FT.
 $A_0 = 0.0$, THEREFORE $V_{10-day} = V_{360}$
 $V_{10-day} = 0.0565$ AC-FT \Rightarrow 2,460 CU. FT.

VICINITY MAP

LEGEND

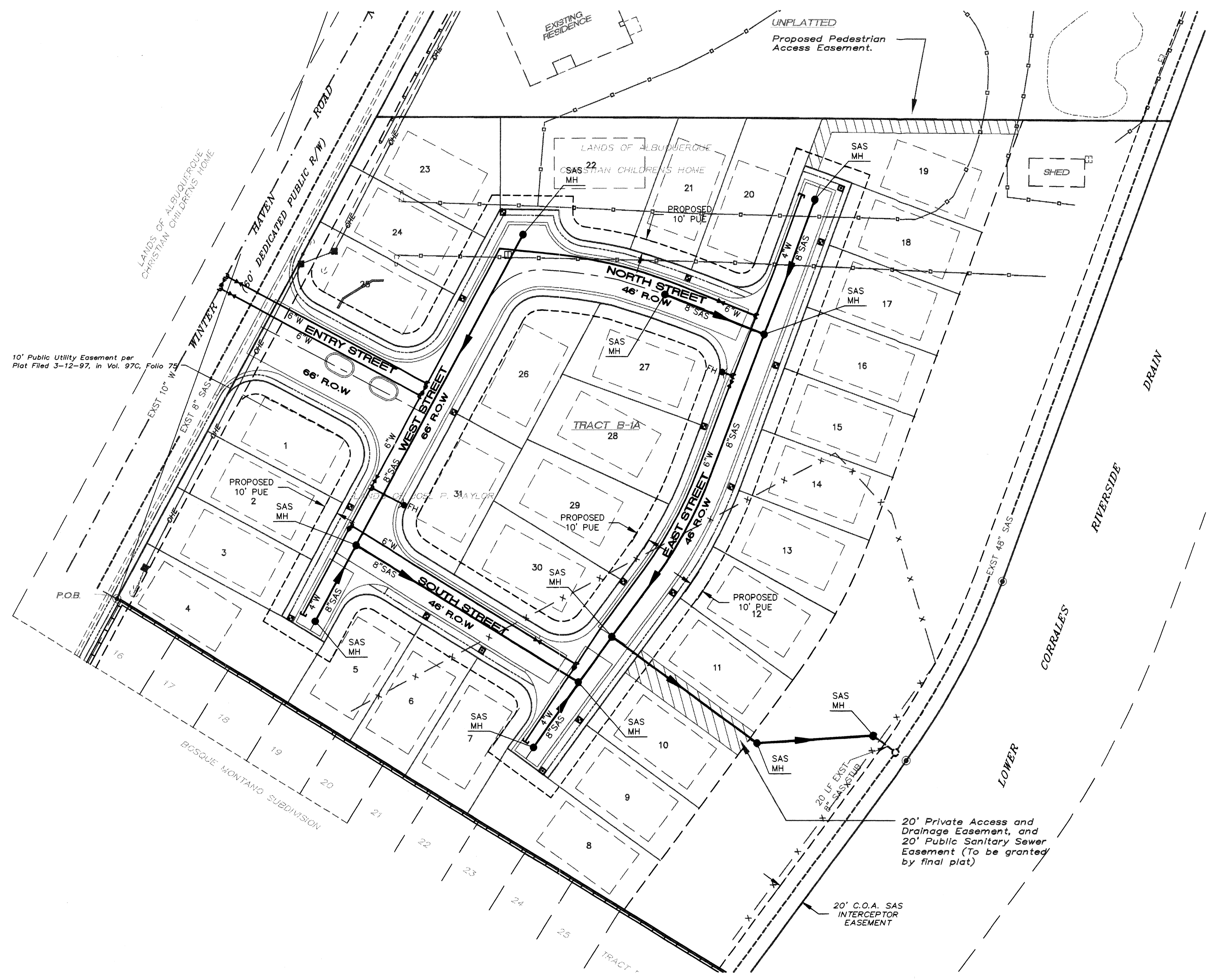
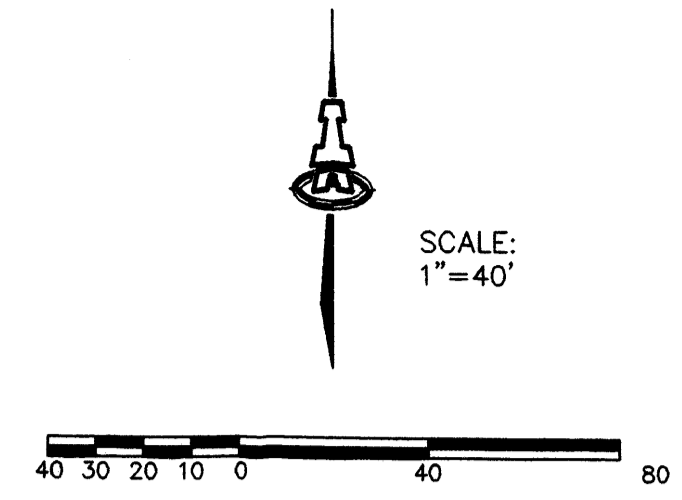
- 5200 — EXISTING CONTOUR
- 52 — PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- PG=6881.0 PAD GRADE ELEVATION
- SIDEWALK CULVERT
- TC=81.95 TOP OF CURB
FL=81.45 FLOWLINE ELEVATION
- ~~~~~ WATER BAR
- PROPOSED RETAINING WALL
- TW=52.0 TOP OF WALL
BW=50.0 BOTTOM OF WALL ELEVATION
- INV=72.5 INVERT ELEVATION
- STORM DRAIN MANHOLE
- BASIN (A) BASIN ID
- BASIN BOUNDARY
- EROSION CONTROL BERM

20' Private Access and Drainage Easement, and 20' Public Sanitary Sewer Easement (To be granted by final plat)

20' C.O.A. SAS INTERCEPTOR EASEMENT

**LAS CABITAS DEL RIO, UNIT TWO
 CONCEPTUAL
 GRADING & DRAINAGE PLAN**

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico



- LEGEND**
- PROPOSED**
- SINGLE WATER METER & BOX
 - ▣ DOUBLE WATER METER & BOX
 - |— GATE VALVE W/ TYPE 'A' VALVE BOX
 - FH FIRE HYDRANT
 - SAS MANHOLE
 - |— WATER LINE W/ FITTING
- EXISTING**
- - - OHE - - - OVERHEAD ELECTRIC
 - TELEPHONE PEDESTAL
 - POWER POLE
 - EXISTING FENCES (TO BE REMOVED)
 - - - GUY WIRE & ANCHOR

10' P.U.E.
 A 10' PUBLIC UTILITY EASEMENT SHALL BE GRANTED TO THE FOLLOWING UTILITIES FOR UNDERGROUND SERVICE:

- PNM: ELECTRIC
- PNM: GAS
- QWEST
- COMCAST

THE EXISTING OVERHEAD ELECTRIC, TELEPHONE AND CABLE SHALL BE REMOVED AND REPLACED UNDERGROUND ALONG WINTER HAVEN ROAD.

SANITARY SEWER SERVICE
 EACH LOT SHALL BE SERVED BY A 4" SERVICE LINE CONNECTING TO THE PROPOSED INTERIOR PUBLIC SANITARY SEWER

10' Public Utility Easement per Plat Filed 3-12-97, in Vol. 97C, Folio 75

20' Private Access and Drainage Easement, and 20' Public Sanitary Sewer Easement (To be granted by final plat)

20' C.O.A. SAS INTERCEPTOR EASEMENT

**LAS CASITAS DEL RIO, UNIT TWO
 CONCEPTUAL
 UTILITY PLAN**

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico

1232UMSTR.DWG.rh 11/20/02