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# CORRECTION PLAT FOR LAS CASITAS DEL RIO SUBDIVISION UNIT 2

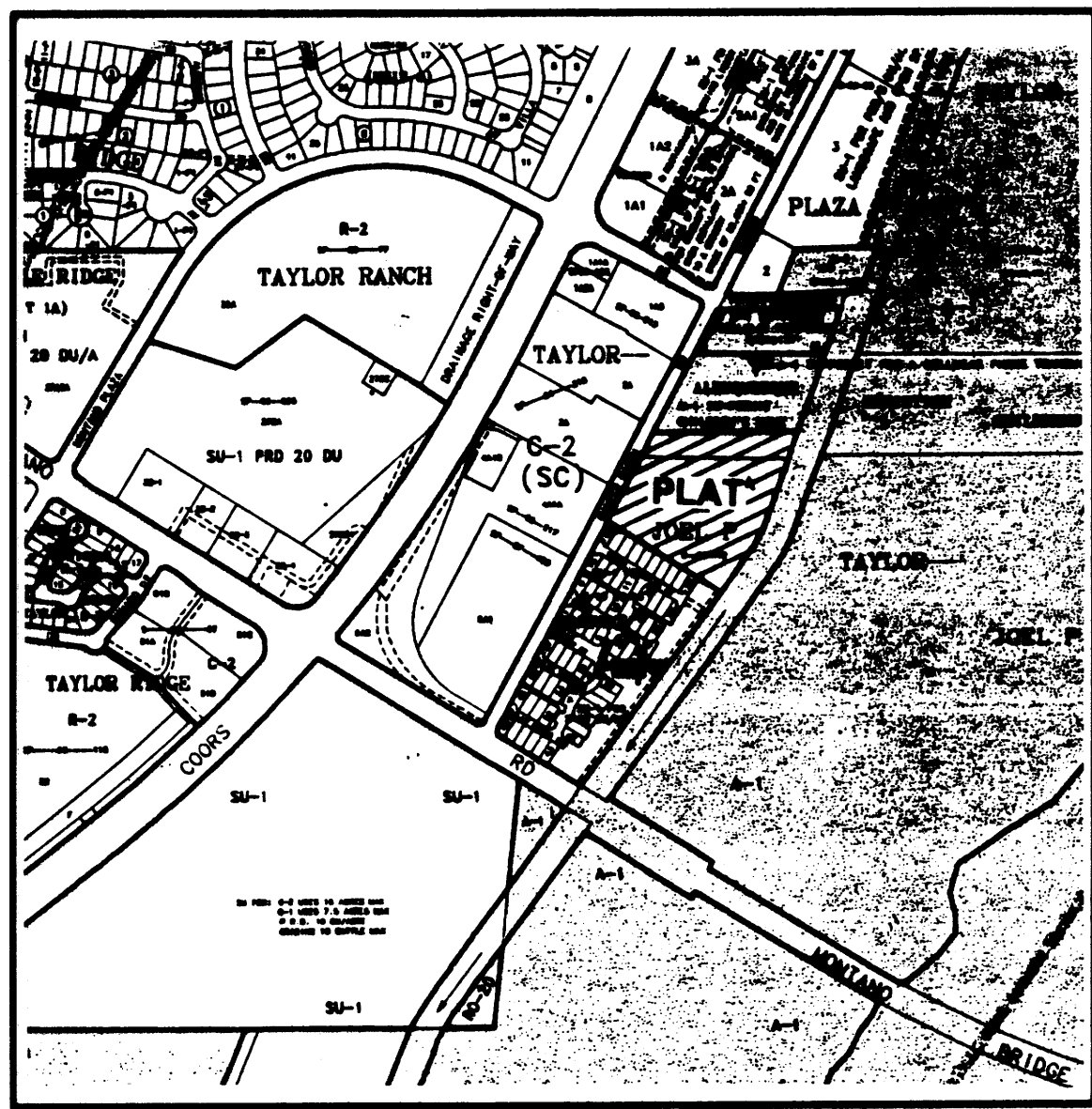
(BEING A REPLAT OF TRACT B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

WITHIN

SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2003



VICINITY MAP  
N.T.S.

### GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey/New Mexico State Highway Commission Monument "NM-448-NB".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of April, 2003.
- City of Albuquerque Zone Atlas Page: E-12-2
- U.C.L.S. Log Number 2003 21 2541
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Documents used in the preparation of this survey are as follows:
  - Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A AND A-1-B OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 11, 1980, in Volume C16, Folio 104, records of Bernalillo County, New Mexico.
  - Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A-1, A-1-A-2 AND A-1-A-3 OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 31, 1983, in Volume C21, Folio 19, records of Bernalillo County, New Mexico.
  - Plat entitled "TRACTS B-1A AND B-1B, LANDS OF JOEL P. TAYLOR", filed March 12, 1997, in Volume 97C, Folio 75, records of Bernalillo County, New Mexico.
  - Plat entitled "LOTS 2 THRU 6 AND TRACTS 1 THRU 8, RIVERSIDE PLAZA", filed May 18, 1999, in Volume 99C, Folio 121, records of Bernalillo County, New Mexico.
  - Plat entitled "CORRECTED PLAT OF BOSQUE MONTANO SUBDIVISION", filed September 10, 2001, in Volume 2001C, Folio 257, records of Bernalillo County, New Mexico.
- City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.
- Total remaining open space requirements are met via the provision of detached open space per the provisions of Section 14-16-3-B (A)(3).

2883188775  
5871898  
18/14/2883 81-15P  
Bx-2883C Pg-388  
Mary Herrera Bern. Co. PLRT R 17.88

### TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:

ALBUQUERQUE CHRISTIAN CHILDREN'S HOME  
10120223452301025V 10120223452301025V  
10-14-03  
Bernalillo County Treasurer's Office Date

### SUBDIVISION DATA

Number of existing Tracts	1
Number of Lots Created	31
Total Plat Area	6.7898 Ac.
Road Area (Dedicated)	1.2486 Acres
Road Miles of full width streets created	0.25303 miles

2883191498  
5874588  
Page: 1 of 3  
18/28/2883 88-42R  
Bx-2883C Pg-311  
Mary Herrera Bern. Co. PLRT R 17.88

### APPROVALS

<u>Lead G. Mark</u>	<u>7-18-03</u>
PNM Gas Services	Date
<u>Lead G. Mark</u>	<u>7-18-03</u>
PNM Electric Services	Date
<u>Diana P. Muller</u>	<u>7-17-03</u>
QWest Corporation	Date
<u>Rita E. Eicko</u>	<u>7/17/03</u>
Comcast Digital Cable	Date
<u>[Signature]</u>	<u>9-9-03</u>
Middle Rio Grande Conservancy District	Date

### PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear: as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

### DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

### Correction Plat Disclosure Statement:

The purpose of this correction plat is to add filing information for the Assignment in Easement Note 4 on Sheet 3 of 3.

### APPROVALS

Project No. 1008377  
Application No. 03DRB-0150 03DRB-01505

<u>[Signature]</u>	<u>9-17-03</u>
Traffic Engineer, City of Albuquerque Public Works Department	Date
<u>[Signature]</u>	<u>7-16-03</u>
City Surveyor, City of Albuquerque Public Works Department	Date
<u>[Signature]</u>	<u>9-17-03</u>
Utility Development Division, City of Albuquerque Public Works Department	Date
<u>[Signature]</u>	<u>9-17-03</u>
Albuquerque Metropolitan Arroyo Flood Control Authority	Date
<u>[Signature]</u>	<u>10/13/03</u>
City Engineer, City of Albuquerque Public Works Department	Date
N/A	Date
Property Management, City of Albuquerque	Date
<u>[Signature]</u>	<u>9/29/03</u>
Parks and Recreation, City of Albuquerque	Date
APPROVAL as specified by the Albuquerque Subdivision Ordinance.	
<u>[Signature]</u>	<u>9/17/03</u>
Chair, Albuquerque Development Review Board	Date

10120223452301025V  
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
PAID ON UPC #: 10120223452301025V  
PROPERTY OWNER OF RECORD:  
ALBUQUERQUE CHRISTIAN CHILDREN'S HOME  
BERNALILLO COUNTY TREASURER'S OFFICE

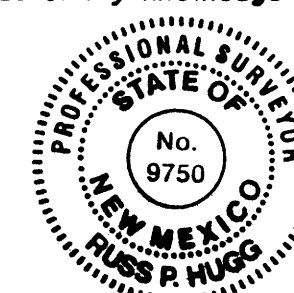
### DISCLOSURE STATEMENT

The purpose of this plat is to:  
Divide the existing Tract into 31 residential lots and 1 Tract (Tract A), dedicate the public street right of way to the City of Albuquerque in fee simple with warranty covenants, and grant the additional public utility easements necessary to serve said subdivision as shown hereon. Said plat to also show the portion of existing public utility easement vacated by 03DRB- 00416.

### SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]  
Russ P. Hugg  
NMPS No. 9750  
July 11, 2003



SHEET 1 OF 3

**SURVOTEK, INC.**

Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-8888 Fax: 505-897-8897

030724. DWG

**CORRECTION PLAT FOR  
 LAS CASITAS DEL RIO SUBDIVISION  
 UNIT 2**

(BEING A REPLAT OF TRACT B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

WITHIN  
 SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

JULY, 2003

**LEGAL DESCRIPTION**

That certain parcel of land situate with Section 25, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising all of Tract "B", Albuquerque Christian Children's Home as the same is shown and designated on the plat entitled "TRACTS A AND B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME (BEING A REPLAT OF TRACT B-1A, LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME) WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on February 14, 2003 in Plat Book 2003C, page 32.

Said parcel contains 6.7898 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising LAS CASITAS DEL RIO SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME) WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional Public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

APPROVED on the condition that all rights in the Middle Rio Grande Conservancy District in easements, rights of way, assessments and liens, are fully reserved to said District, and that if provision for irrigation source and easements are not provided for by the subdivider for the subdivision, addition, or plat, said District is absolved of all obligations to furnish irrigation waters and services to any portions thereof, other than from existing turnouts.  
 APPROVED [Signature] DATE 9-9-03

**LINE TABLE**

LINE	LENGTH	BEARING
L1	31.19'	S28°22'13"W
L2	41.05'	N67°01'37"W
L3	66.55'	N36°20'07"E
L4	68.11'	S28°22'13"W
L5	38.00'	S89°40'59"E
L6	36.00'	N69°45'25"W
L7	36.00'	N53°39'53"W
L8	24.97'	S28°22'13"W
L9	36.00'	N61°37'47"W
L10	12.94'	S11°07'37"E
L11	22.62'	N36°20'07"E
L12	4.06'	N67°01'37"W

**OWNER**

STRO, L.L.C.  
 A New Mexico limited liability company  
 By: [Signature]

Patrick Strosnider, Vice President

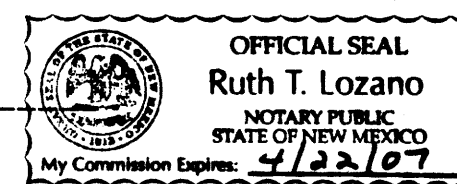
The Strosnider Company, a New Mexico corporation  
 Managing Member of STRO, L.L.C.

**PNM GAS AND ELECTRIC SERVICES EASEMENT RELEASE APPROVAL**

PNM Gas and Electric Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

PNM ELECTRIC SERVICES

By: [Signature]



STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 7th day of August, 2003, by Leonard G. Martinez of PNM Electric Services, a New Mexico Corporation, on behalf of said corporation.

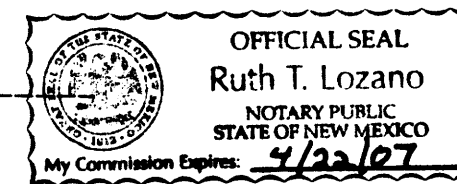
[Signature] My commission expires 4/22/07  
 Notary Public

**COMCAST CABLE**

Comcast does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

COMCAST

By: [Signature]



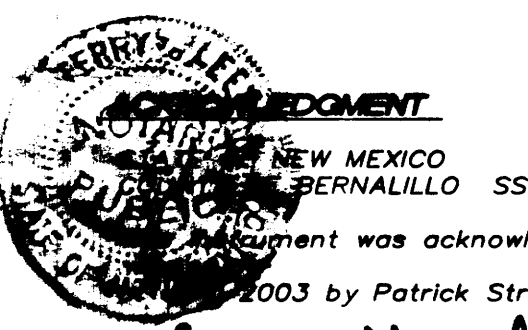
STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 8th day of August, 2003, by Rita Erickson of Comcast Corporation, on behalf of said corporation.

[Signature] My commission expires 4/22/07  
 Notary Public

**CURVE TABLE**

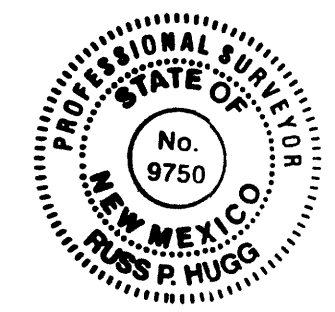
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	523.00'	146.89'	73.93'	146.41'	N28°17'21"E	16°05'32"
C2	502.00'	37.30'	18.66'	37.29'	N69°09'19"W	4°15'25"
C3	302.00'	84.82'	42.69'	84.54'	N28°17'21"E	16°05'32"
C4	25.00'	39.27'	25.00'	35.36'	S16°37'47"E	90°00'00"
C5	25.00'	39.27'	25.00'	35.36'	N73°22'13"E	90°00'00"
C6	25.00'	28.14'	15.77'	26.68'	S39°02'05"E	64°29'52"
C7	523.00'	38.86'	19.44'	38.85'	N69°09'19"W	4°15'25"
C8	20.00'	32.37'	20.98'	28.95'	N66°36'29"E	92°43'49"
C9	25.00'	38.23'	23.98'	34.61'	N23°34'06"W	87°37'21"
C10	481.00'	32.78'	16.39'	32.77'	N69°19'54"W	3°54'15"
C11	30.00'	42.07'	25.33'	38.71'	S68°32'36"W	80°20'45"
C12	323.00'	90.72'	45.66'	90.42'	N28°17'21"E	16°05'32"
C13	281.00'	78.92'	39.72'	78.66'	N28°17'21"E	16°05'32"
C14	20.00'	33.01'	21.67'	29.39'	N10°57'14"W	94°34'41"
C15	25.00'	37.27'	23.08'	33.91'	N79°02'47"E	85°25'19"
C16	20.00'	32.60'	21.22'	29.11'	S75°03'49"W	93°23'13"
C17	25.00'	37.79'	23.56'	34.30'	S14°56'11"E	86°36'47"
C18	25.00'	39.27'	25.00'	35.36'	N16°37'47"W	90°00'00"
C19	25.00'	39.27'	25.00'	35.36'	S73°22'13"W	90°00'00"
C20	523.00'	12.85'	6.43'	12.85'	N70°34'47"W	1°24'29"
C21	523.00'	26.00'	13.00'	26.00'	N68°27'05"W	2°50'56"
C22	281.00'	47.53'	23.82'	47.48'	N31°29'22"E	9°41'31"
C23	281.00'	31.39'	15.71'	31.37'	N23°26'35"E	6°24'01"
C24	323.00'	4.49'	2.25'	4.49'	N20°38'29"E	0°47'50"
C25	323.00'	44.39'	22.23'	44.36'	N24°58'40"E	7°52'30"
C26	323.00'	41.83'	20.94'	41.80'	N32°37'31"E	7°25'12"
C27	423.00'	5.88'	2.94'	5.88'	N20°38'32"E	0°47'50"
C28	423.00'	58.14'	29.12'	58.09'	N24°58'40"E	7°52'30"
C29	423.00'	54.78'	27.43'	54.74'	N32°37'31"E	7°25'12"
C30	423.00'	118.80'	59.80'	118.41'	N28°17'21"E	16°05'32"
C31	503.00'	33.73'	16.87'	33.73'	N29°33'50"E	3°50'33"



The foregoing instrument was acknowledged before me on this 15th day of August, 2003 by Patrick Strosnider.

[Signature]  
 Notary Public

12-4-03  
 My Commission expires



SHEET 2 OF 3  
**SURVOTEK, INC.**  
 Consulting Surveyors

ALBUQUERQUE CITY SURVEY MONUMENT  
 NM-448-N8  
 New Mexico State Plane Coordinates  
 Central Zone (NAD 27)  
 Y = 1,514,838.11  
 X = 372,524.25  
 Elevation = 5,018.922 (SLD 29)  
 Delta Alpha = -00'14.44"  
 G-C = 0.99967854

2063188775  
 Mary Herrera Bern. Co. PLRT R 17.08 Bk-2863C Pg-389

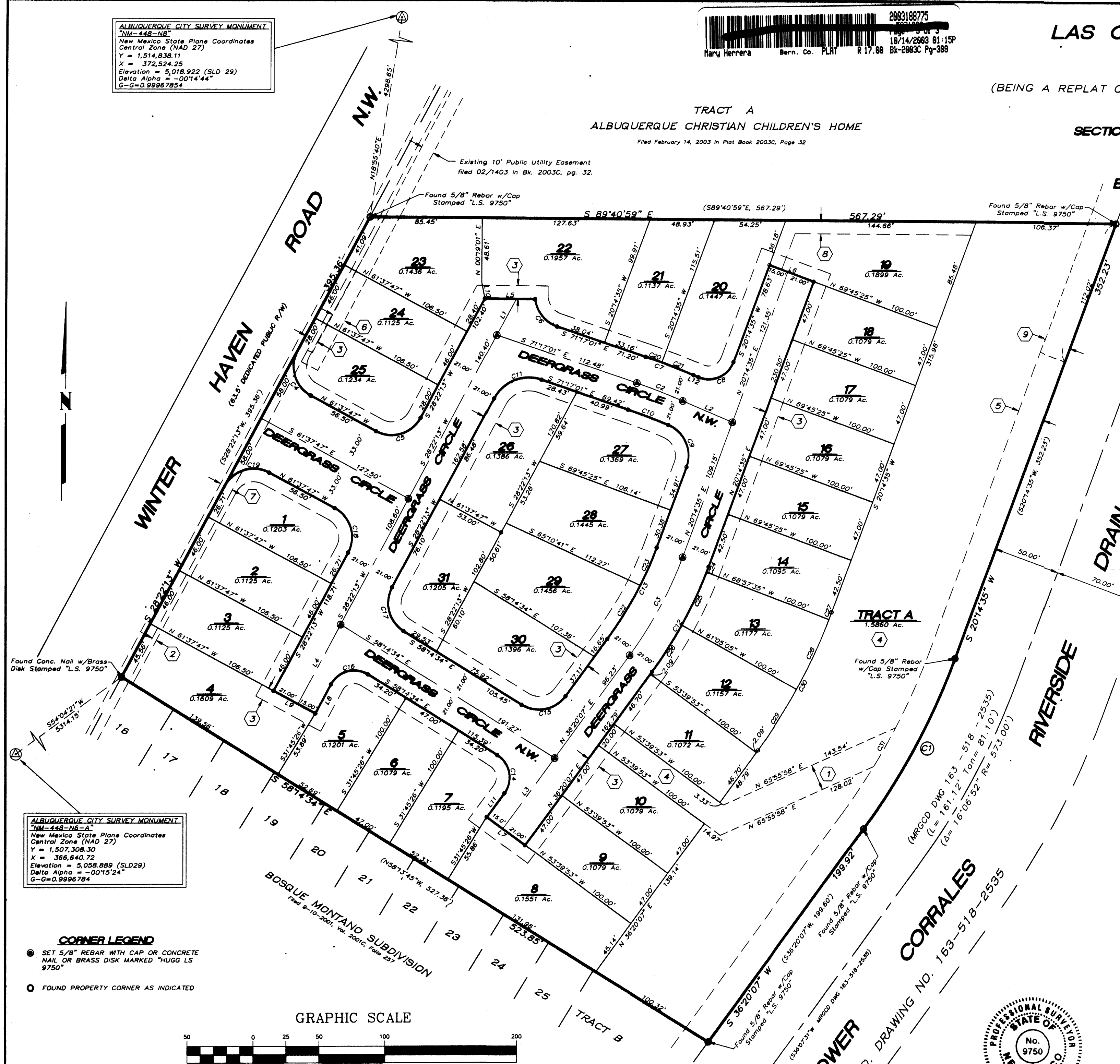
**CORRECTION PLAT FOR  
 LAS CASITAS DEL RIO SUBDIVISION  
 UNIT 2**

(BEING A REPLAT OF TRACT B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

TRACT A  
 ALBUQUERQUE CHRISTIAN CHILDREN'S HOME  
 Filed February 14, 2003 in Plat Book 2003C, Page 32

WITHIN  
 SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

JULY, 2003



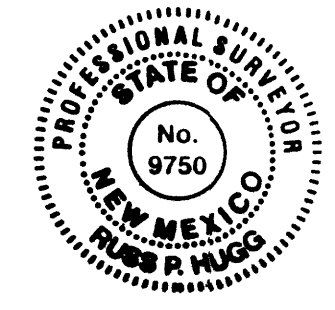
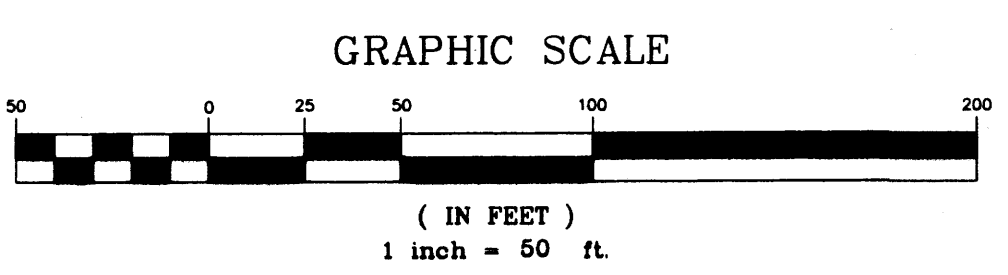
2063191498  
 Page: 3 of 3  
 18/28/2003 09:42A  
 Mary Herrera Bern. Co. PLRT R 17.08 Bk-2863C Pg-311

**EASEMENT NOTES**

- 1) 20' Public Sanitary Sewer Easement Granted by this Plat to the City of Albuquerque.
- 2) 3.5' Public Utility Easement Granted by this Plat.
- 3) 10' Public Utility Easement Granted by this Plat.
- 4) Tract A is an Existing 100' Buffer per the Coors Corridor Plan. It is Granted as a Blanket Public Drainage Easement to the City of Albuquerque over all of Tract A for a Storm Water Retention Pond (the "Pond"). Tract A will be Conveyed to an Incorporated Association of Lot Owners within the Subdivision (the "Association"). Sangre De Cristo, L.L.C. and the City of Albuquerque entered into an agreement and covenant which was filed in the Bernalillo County, New Mexico real estate records on July 23, 2003, in book A60, page 7608. This agreement and covenant was assigned to STRO, L.L.C. (the "Owner") by assignment of agreement and covenant, as filed in the Bernalillo County, New Mexico real estate records on October 8, 2003, in book A66, page 5438. Pursuant to the agreement and covenant, the Owner has agreed to maintain the pond. The agreement and covenant shall be assigned to the Association, and the Association shall assume the Owner's obligations thereunder. The Association will fund its obligations pursuant to the agreement and covenant, the City of Albuquerque has the right to impose a lien against the individual lots within the Subdivision for the cost of such obligations.
- 5) Existing 20' Sanitary Sewer Easement filed 09/29/69 in Bk Misc. 151, pp. 493-494.
- 6) Portion of Existing 10' Public Utility Easement filed 02/14/03 in Bk. 2003C, pg. 32 vacated by this plat. (application #03DRB-00416)
- 7) Existing 6.5' Public Utility Easement filed 03/12/97 in Bk 97C, pg. 75.
- 8) 10' Private Pedestrian Access Easement granted by this plat to the Las Casitas Del Rio Unit 2 Home Owners' Association. The easement shall be maintained by said Home Owners' Association.
- 9) Existing 20' Sanitary Sewer Easement granted to the City of Albuquerque by plat filed February 14, 2003 in Plat Book 2003C, Page 32.

ALBUQUERQUE CITY SURVEY MONUMENT  
 NM-448-NE-A  
 New Mexico State Plane Coordinates  
 Central Zone (NAD 27)  
 Y = 1,507,308.30  
 X = 366,640.72  
 Elevation = 5,058.889 (SLD29)  
 Delta Alpha = -00'15.24"  
 G-C = 0.9996784

**CORNER LEGEND**  
 ● SET 5/8" REBAR WITH CAP OR CONCRETE NAIL OR BRASS DISK MARKED "HUGG LS 9750"  
 ○ FOUND PROPERTY CORNER AS INDICATED



**SURV TEK, INC.**  
 Consulting Surveyors  
 5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-8888 Fax: 505-897-3877

# LAS CASITAS DEL RIO SUBDIVISION UNIT 2

(BEING A REPLAT OF TRACT B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

WITHIN

SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

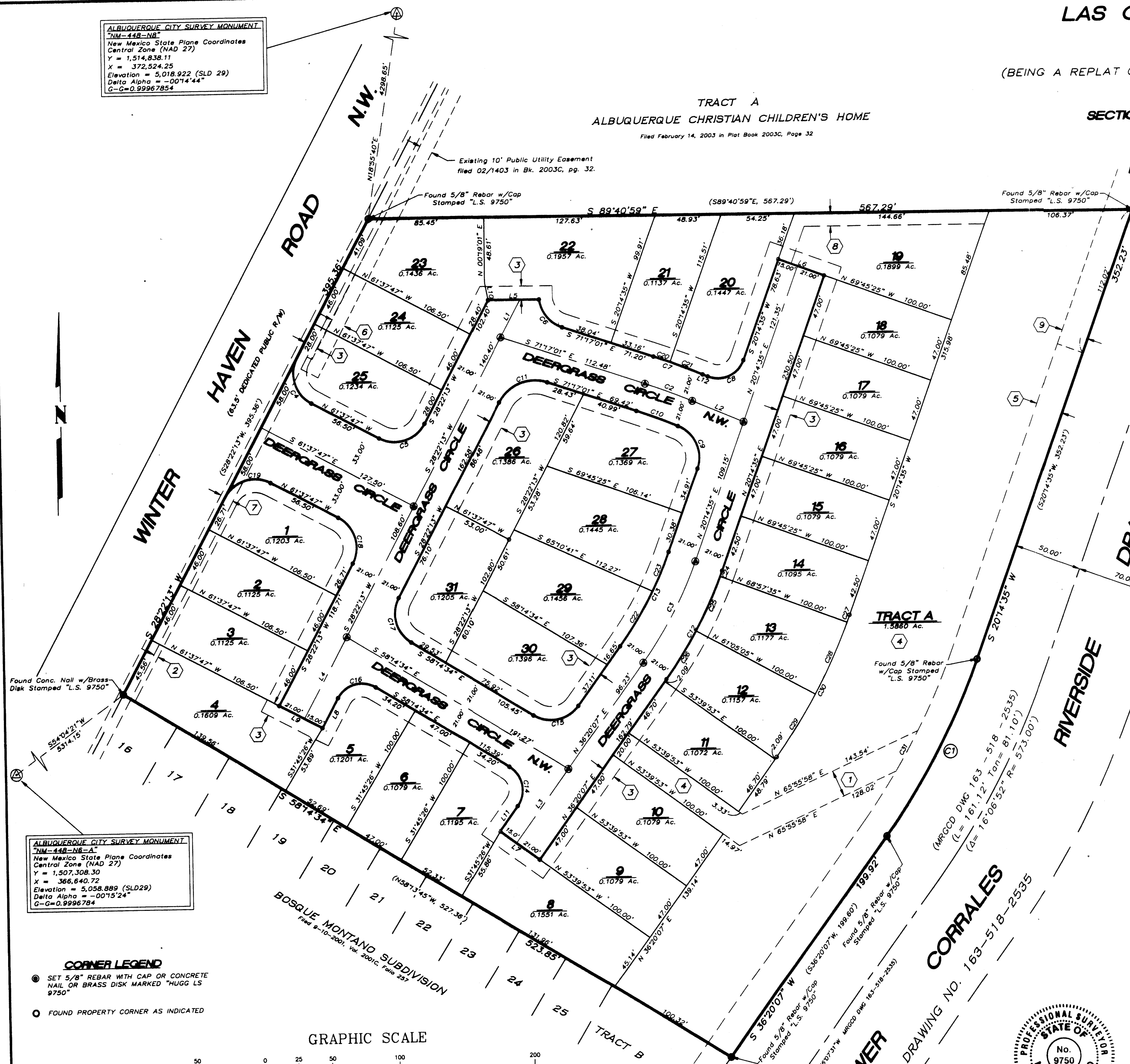
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2003

TRACT A  
ALBUQUERQUE CHRISTIAN CHILDREN'S HOME

Filed February 14, 2003 in Plat Book 2003C, Page 32

ALBUQUERQUE CITY SURVEY MONUMENT  
"NM-448-NB"  
New Mexico State Plane Coordinates  
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Delta Alpha = -00'14.44"  
G-G = 0.99967854



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- ② 3.5' Public Utility Easement Granted by this Plat.
- ③ 10' Public Utility Easement Granted by this Plat.
- ④ Tract A is an Existing 100' Buffer per the Coors Corridor Plan. It is Granted as a Blanket Public Drainage Easement to the City Of Albuquerque over all of Tract A for a Storm Water Retention Pond (the "Pond"). Tract A will be Conveyed to an Incorporated Association of Lot Owners within the Subdivision (the "Association"). Sangre De Cristo, L.L.C. and the City of Albuquerque entered into an agreement and covenant which was filed in the Bernalillo County, New Mexico real estate records on July 23, 2003, in book A60, page 7608. This agreement and covenant was assigned to STRO, L.L.C. (the "Owner") by assignment of agreement and covenant, as filed in the Bernalillo County, New Mexico real estate records on \_\_\_\_\_ in book \_\_\_\_\_ page \_\_\_\_\_. Pursuant to the agreement and covenant, the Owner has agreed to maintain the pond. The agreement and covenant shall be assigned to the Association, and the Association shall assume the Owner's obligations thereunder. The Association will fund its obligations pursuant to the agreement and covenant, the City of Albuquerque has the right to impose a lien against the individual lots within the Subdivision for the cost of such obligations.
- ⑤ Existing 20' Sanitary Sewer Easement filed 09/29/69 in Bk Misc. 151, pp. 493-494.
- ⑥ Portion of Existing 10' Public Utility Easement filed 02/14/03 in Bk. 2003C, pg. 32 vacated by this plat. (application #03DRB-00416)
- ⑦ Existing 6.5' Public Utility Easement filed 03/12/97 in Bk 97C, pg. 75.
- ⑧ 10' Private Pedestrian Access Easement granted by this plat to the Las Casitas Del Rio Unit 2 Home Owners' Association. The easement shall be maintained by said Home Owners' Association.
- ⑨ Existing 20' Sanitary Sewer Easement granted to the City of Albuquerque by plat filed February 14, 2003 in Plat Book 2003C, Page 32.

ALBUQUERQUE CITY SURVEY MONUMENT  
"NM-448-NB-A"  
New Mexico State Plane Coordinates  
Central Zone (NAD 27)  
Y = 1,507,308.30  
X = 366,640.72  
Elevation = 5,058.889 (SLD29)  
Delta Alpha = -00'15.24"  
G-G = 0.9996784

### CORNER LEGEND

- SET 5/8" REBAR WITH CAP OR CONCRETE NAIL OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED

### GRAPHIC SCALE



( IN FEET )  
1 inch = 50 ft.



**SURVOTEK, INC.**

Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-2898  
Fax: 505-897-2897

SHEET 3 OF 3

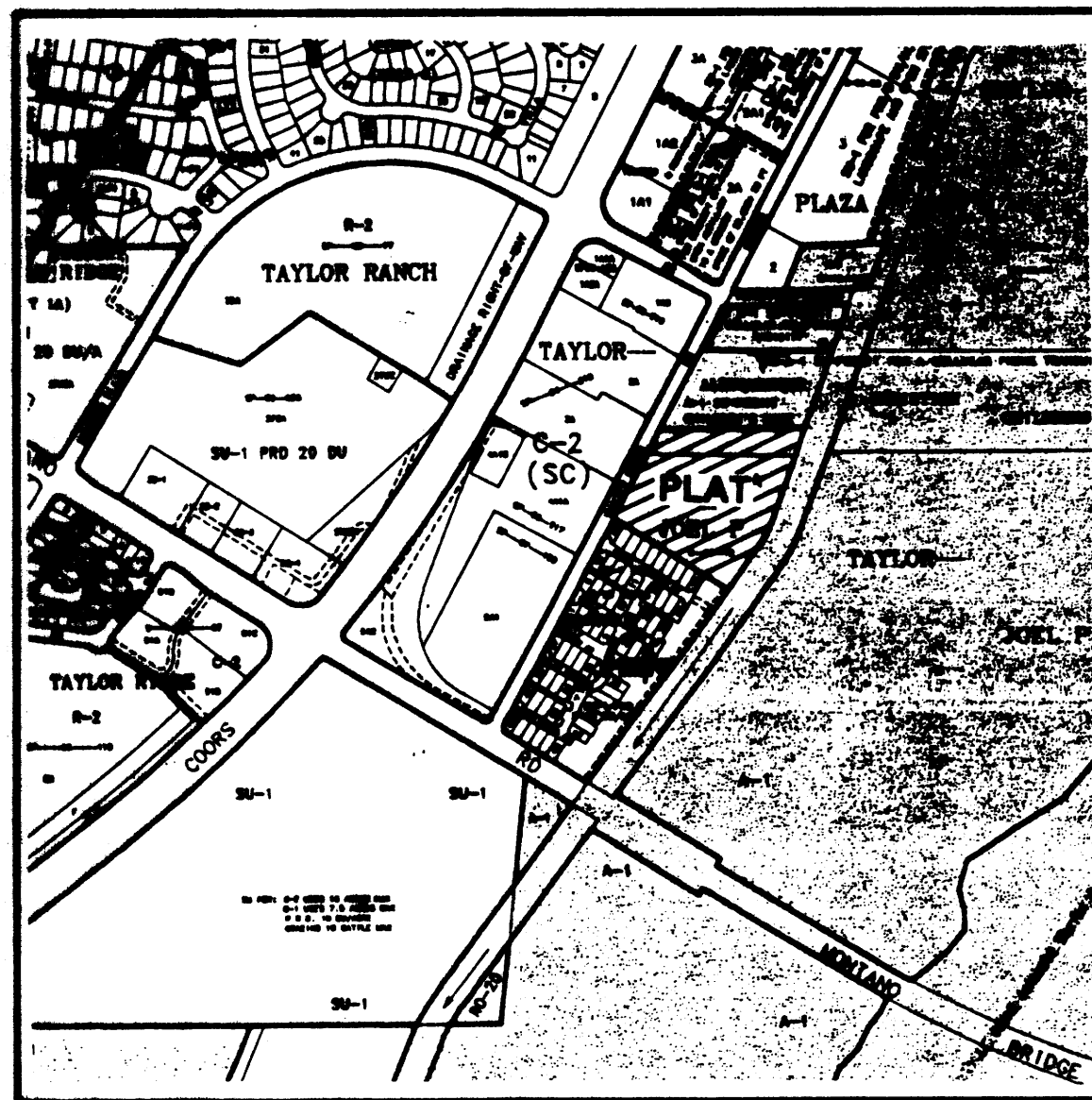
**LAS CASITAS DEL RIO SUBDIVISION  
UNIT 2**

(BEING A REPLAT OF TRACT B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

WITHIN  
SECTION 26, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2003



**VICINITY MAP**  
N.T.S.

**GENERAL NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey, New Mexico State Highway Commission Monument "NM-448-N8".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of April, 2003.
- City of Albuquerque Zone Atlas Page: E-12-Z
- U.C.L.S. Log Number 2003 21 2541
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus (A). All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Documents used in the preparation of this survey are as follows:
  - Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A AND A-1-B OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 11, 1980, in Volume C16, Folio 104, records of Bernalillo County, New Mexico.
  - Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A-1, A-1-A-2 AND A-1-A-3 OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 31, 1983, in Volume C21, Folio 19, records of Bernalillo County, New Mexico.
  - Plat entitled "TRACTS B-1A AND B-1B, LANDS OF JOEL P. TAYLOR", filed March 12, 1997, in Volume 97C, Folio 75, records of Bernalillo County, New Mexico.
  - Plat entitled "LOTS 2 THRU 6 AND TRACTS 1 THRU 8, RIVERSIDE PLAZA", filed May 18, 1999, in Volume 99C, Folio 121, records of Bernalillo County, New Mexico.
  - Plat entitled "CORRECTED PLAT OF BOSQUE MONTANO SUBDIVISION", filed September 10, 2001, in Volume 2001C, Folio 257, records of Bernalillo County, New Mexico.
- City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.
- Total remaining open space requirements are met via the provision of detached open space per the provisions of Section 14-16-3-8 (A)(3).

**TREASURER'S CERTIFICATION**

This is to certify that taxes are current and paid on the following property:

\_\_\_\_\_  
\_\_\_\_\_  
Bernalillo County Treasurer's Office Date

**SUBDIVISION DATA**

Number of existing Tracts	1
Number of Lots Created	31
Total Plat Area	6.7898 Ac.
Road Area (Dedicated)	1.2486 Acres
Road Miles of full width streets created	0.25303 miles

**APPROVALS**

<i>Leon G. Hark</i>	7-18-03
PNM Gas Services	Date
<i>Leon G. Hark</i>	7-18-03
PNM Electric Services	Date
<i>Diana P. Muller</i>	7-17-03
QWest Corporation	Date
<i>Rita E. Eick</i>	7/17/03
Comcast Digital Cable	Date
_____ Middle Rio Grande Conservancy District	Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**APPROVALS**

Project No. 1008377  
Application No. 02DRB-01880 PPA?

_____ Traffic Engineer, City of Albuquerque Public Works Department	Date
<i>[Signature]</i>	7-16-03
_____ City Surveyor, City of Albuquerque Public Works Department	Date
_____ Utility Development Division, City of Albuquerque Public Works Department	Date
_____ Albuquerque Metropolitan Arroyo Flood Control Authority	Date
_____ City Engineer, City of Albuquerque Public Works Department	Date
_____ Property Management, City of Albuquerque	Date
_____ Parks and Recreation, City of Albuquerque	Date
APPROVAL as specified by the Albuquerque Subdivision Ordinance.	
_____ Chair, Albuquerque Development Review Board	Date

**DISCLOSURE STATEMENT**

The purpose of this plat is to:  
Divide the existing Tract into 31 residential lots and 1 Tract (Tract A), dedicate the public street right of way to the City of Albuquerque in fee simple with warranty covenants, and grant the additional public utility easements necessary to serve said subdivision as shown hereon. Said plat to also show the portion of existing public utility easement vacated by 03DRB-00416.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*[Signature]*  
Russ P. Hugg  
NMPS No. 9750  
July 11, 2003



SHEET 1 OF 3  
**SURVOTEK, INC.**

Consulting Surveyors  
5943 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3388 Fax: 505-897-3377

**LAS CASITAS DEL RIO SUBDIVISION  
UNIT 2**

(BEING A REPLAT OF TRACT B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

WITHIN

SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2003

**LEGAL DESCRIPTION**

That certain parcel of land situate with Section 25, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising all of Tract "B", Albuquerque Christian Children's Home as the same is shown and designated on the plat entitled "TRACTS A AND B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME (BEING A REPLAT OF TRACT B-1A, LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME) WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on February 14, 2003 in Plat Book 2003C, page 32.

Said parcel contains 6.7898 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising LAS CASITAS DEL RIO SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME) WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional Public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER**

STRO, L.L.C.  
A New Mexico limited liability company

By: Patrick Strosnider

Patrick Strosnider, Vice President

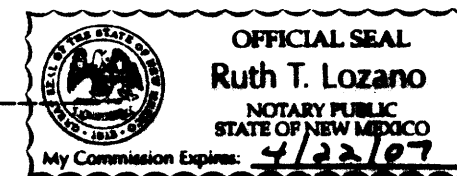
The Strosnider Company, a New Mexico corporation  
Managing Member of STRO, L.L.C.

**PNM GAS AND ELECTRIC SERVICES EASEMENT RELEASE APPROVAL**

PNM Gas and Electric Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

PNM ELECTRIC SERVICES

By: Leonard G. Martinez



STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 7th day of August, 2003, by Leonard G. Martinez of PNM Electric Services, a New Mexico Corporation, on behalf of said corporation.

Ruth T. Lozano My commission expires 4/22/07

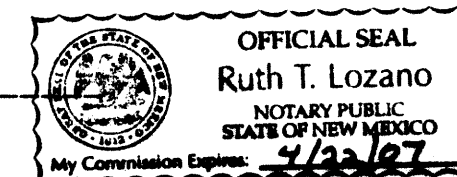
Notary Public

**COMCAST CABLE**

Comcast does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

COMCAST

By: Rita Erickson



STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 8th day of August, 2003, by Rita Erickson of Comcast Corporation, on behalf of said corporation.

Ruth T. Lozano My commission expires 4/22/07

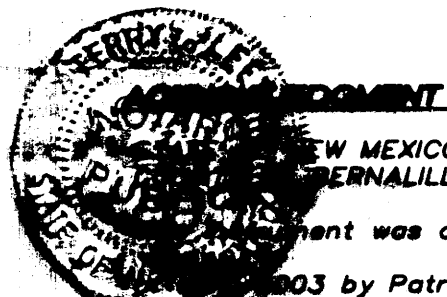
Notary Public

**LINE TABLE**

LINE	LENGTH	BEARING
L1	31.19'	S28°22'13"W
L2	41.05'	N67°01'37"W
L3	66.55'	N36°20'07"E
L4	68.11'	S28°22'13"W
L5	38.00'	S89°40'58"E
L6	36.00'	N69°45'25"W
L7	36.00'	N53°39'53"W
L8	24.97'	S28°22'13"W
L9	36.00'	N61°37'47"W
L10	12.94'	S11°07'37"E
L11	22.62'	N36°20'07"E
L12	4.06'	N67°01'37"W

**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	523.00'	146.89'	73.93'	146.41'	N28°17'21"E	16°06'32"
C2	502.00'	37.30'	18.66'	37.29'	N69°08'19"W	4°15'24"
C3	302.00'	84.82'	42.69'	84.54'	N28°17'21"E	16°06'32"
C4	25.00'	39.27'	25.00'	35.36'	S16°37'47"E	90°00'00"
C5	25.00'	39.27'	25.00'	35.36'	N73°22'13"E	90°00'00"
C6	25.00'	28.14'	15.77'	26.68'	S39°02'05"E	84°28'52"
C7	523.00'	38.86'	19.44'	38.85'	N69°08'19"W	4°15'24"
C8	20.00'	32.37'	20.98'	28.95'	N66°38'29"E	92°43'48"
C9	25.00'	38.23'	23.98'	34.61'	N23°34'06"W	87°37'21"
C10	481.00'	32.78'	16.39'	32.77'	N69°18'54"W	3°54'15"
C11	30.00'	42.07'	25.33'	38.71'	S68°32'36"W	80°20'45"
C12	323.00'	90.72'	45.66'	90.42'	N28°17'21"E	16°06'32"
C13	281.00'	78.92'	39.72'	78.66'	N28°17'21"E	16°06'32"
C14	20.00'	33.01'	21.67'	29.39'	N10°57'14"W	94°34'41"
C15	25.00'	37.27'	23.08'	33.91'	N79°02'47"E	85°25'18"
C16	20.00'	32.60'	21.22'	29.11'	S75°03'49"W	83°23'13"
C17	25.00'	37.79'	23.56'	34.30'	S14°56'11"E	86°38'42"
C18	25.00'	39.27'	25.00'	35.36'	N16°37'47"W	90°00'00"
C19	25.00'	39.27'	25.00'	35.36'	S73°22'13"W	90°00'00"
C20	523.00'	12.85'	6.43'	12.85'	N70°34'47"W	1°24'28"
C21	523.00'	26.00'	13.00'	26.00'	N68°27'05"W	2°50'56"
C22	281.00'	47.53'	23.82'	47.48'	N31°28'22"E	8°41'31"
C23	281.00'	31.39'	15.71'	31.37'	N23°28'35"E	6°24'01"
C24	323.00'	4.49'	2.25'	4.49'	N20°38'29"E	0°47'50"
C25	323.00'	44.39'	22.23'	44.36'	N24°58'40"E	7°52'30"
C26	323.00'	41.83'	20.94'	41.80'	N32°37'31"E	7°28'12"
C27	423.00'	5.88'	2.94'	5.88'	N20°38'32"E	0°47'50"
C28	423.00'	58.14'	29.12'	58.09'	N24°58'40"E	7°52'30"
C29	423.00'	54.78'	27.43'	54.74'	N32°37'31"E	7°28'12"
C30	423.00'	118.80'	59.80'	118.41'	N28°17'21"E	16°06'32"
C31	503.00'	33.73'	16.87'	33.73'	N29°33'50"E	3°50'33"

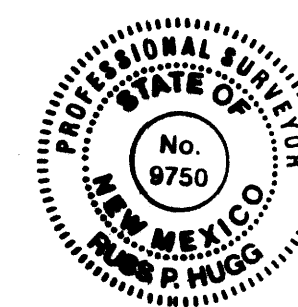


The foregoing instrument was acknowledged before me on this 15th day

of August, 2003 by Patrick Strosnider.

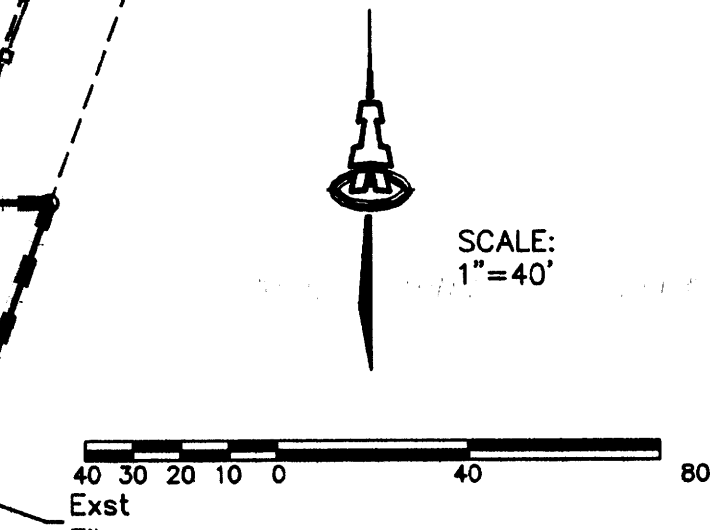
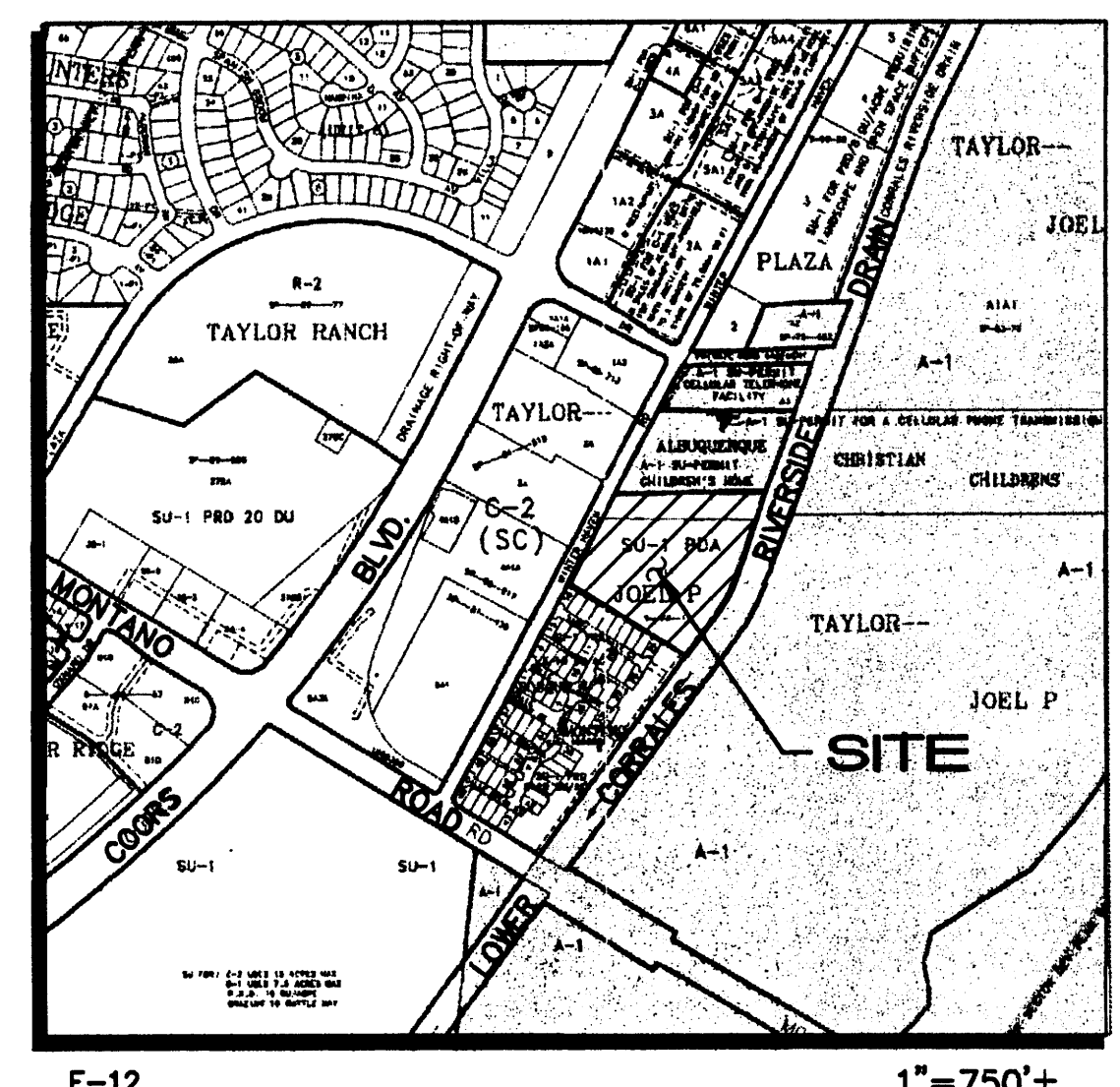
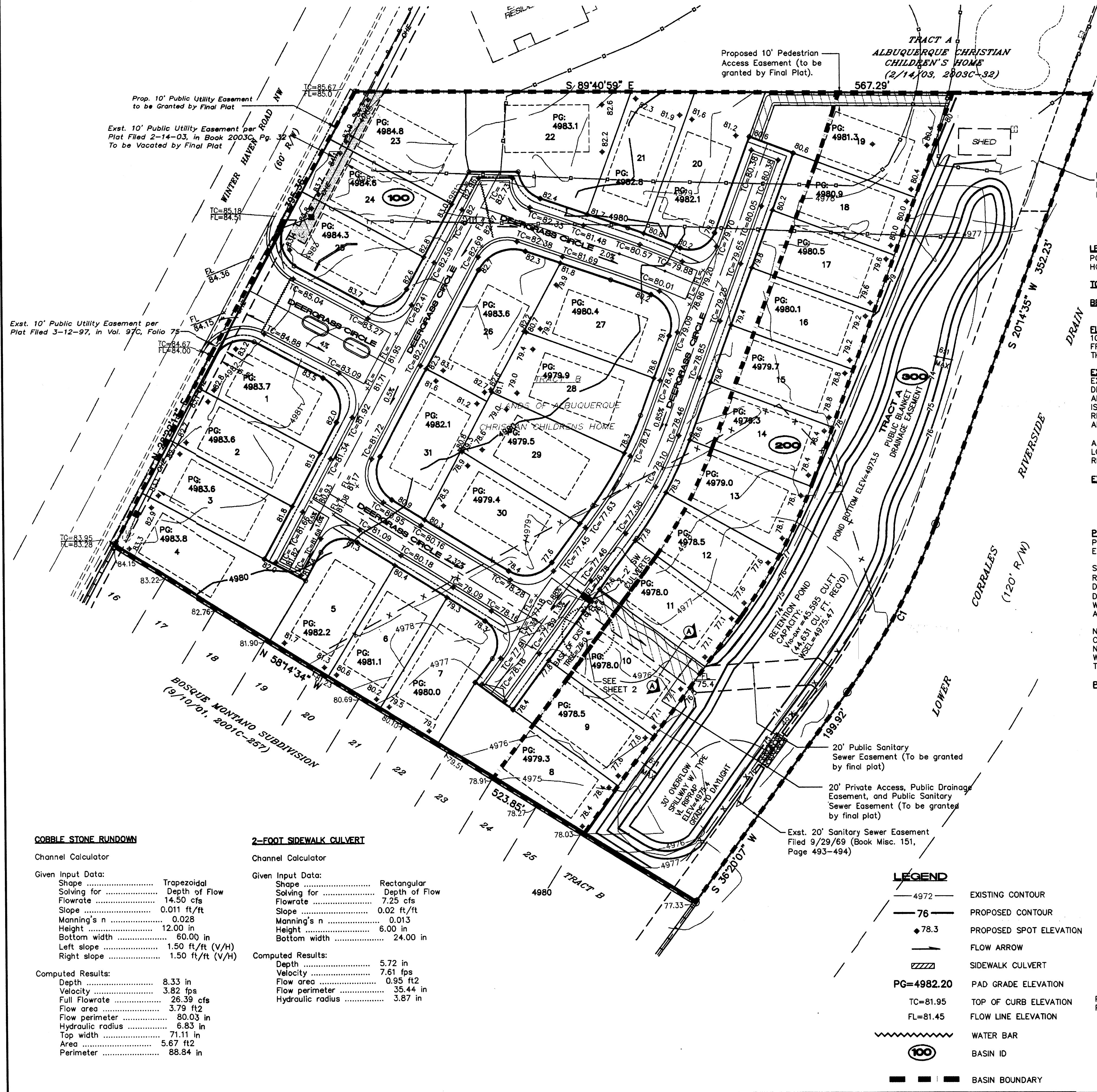
Jerry H. Lee  
Notary Public

12-6-03  
My Commission expires



SHEET 2 OF 3  
**SURVOTEK, INC.**

Consulting Surveyors  
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-887-8888 Fax: 505-887-8887



**LEGAL DESCRIPTION:** TRACT B1-A, LANDS OF JOEL P. TAYLOR, TOGETHER WITH PORTIONS OF THE UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME.

**TOTAL AREA:** 6.8215 ACRES

**BENCHMARK:** ACS MONUMENT "NM 448-N8" ELEVATION = 5018.92 (NGVD 1929)

**FLOOD ZONE DESIGNATION:** ALL PORTIONS OF THIS SITE ARE OUTSIDE OF THE 100-YEAR FLOODPLAIN OR ARE WITHIN FLOODPLAIN ZONE X - AREA PROTECTED FROM 100-YEAR FLOOD BY LEVEE - AS DESIGNATED ON PANEL #118 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAP DATED SEPTEMBER 20, 1996.

**EXISTING CONDITIONS:** THIS SITE IS CURRENTLY UNDEVELOPED, WITH THE EXCEPTION OF A SHED ON THE NORTHEAST CORNER THAT IS SCHEDULED TO BE DEMOLISHED. THE SITE SLOPES APPROXIMATELY 1%-2% FROM WEST TO EAST, AND HAS NATIVE GRASSES, SHRUBS, AND COTTONWOOD TREES. THE PROPERTY IS BOUNDED BY WINTERHAVEN RD TO THE WEST, THE LOWER CORRALES RIVERSIDE DRAIN TO THE EAST AND RESIDENTIAL DEVELOPMENT TO THE NORTH AND SOUTH.

A TOTAL OF 8.8 CFS (0.2502 AC-FT) OF STORM WATER SHEETS EAST TO THE LOWER CORRALES RIVERSIDE DRAIN IN THE 100-YEAR, 6-HOUR STORM, OR IS RETAINED ONSITE BY NATURAL FEATURES.

**EXISTING HYDROLOGY:** (Per the C.O.A. D.P.M., Sect. 22.2)

PRECIPITATION ZONE: 1  
 LAND TREATMENTS: 100% TYPE A  
 $Q_{100} = 6.82 (1.29) = 8.8$  CFS  
 $V_{360} = 6.82 (0.44)/12 = 0.2501$  AC-FT  $\Rightarrow$  10,895 CU. FT.

**PROPOSED CONDITIONS:** A 31-LOT, SINGLE-FAMILY RESIDENTIAL SUBDIVISION IS PROPOSED FOR THIS SITE. A 100' LANDSCAPE BUFFER IS REQUIRED ON THE EAST SIDE OF THE SUBDIVISION WHERE IT IS ADJACENT TO THE RIVERSIDE DRAIN.

STORM WATERS FROM BASIN 100 SHALL BE DISCHARGED TO THE FRONT ROADWAYS, CONVEYED TO A ROCK RUNDOWN IN THE INDICATED 20' ACCESS AND DRAINAGE EASEMENT THROUGH TWO 2-FOOT SIDEWALK CULVERTS AND DISCHARGED INTO THE RETENTION POND IN BASIN 300 (TRACT A). BASIN 200 WILL DISCHARGE THE STORM WATER OUT OF THE REAR YARDS WHERE THEY ABUT THE DRAINAGE RETENTION POND.

NO DEVELOPED STORM WATERS ARE PLANNED FOR DISCHARGE INTO THE LOWER CORRALES RIVERSIDE DRAIN, THEREFORE AN MRGCD LICENSE AGREEMENT WILL NOT BE NECESSARY FOR THE SUBDIVISION DRAINAGE SOLUTION. THE STORM WATER BERMING THE LOW SIDE OF THE POND WILL CREATE A NATURAL BOSQUE TERRAIN.

**PROPOSED HYDROLOGY:** (Per the C.O.A. D.P.M., Sect. 22.2)

PRECIPITATION ZONE: 1

**BASIN 100:**  
 AREA = 4.11 AC  
 LAND TREATMENTS: 22% TYPE B = 0.904 AC  
 22% TYPE C = 0.904 AC  
 56% TYPE D = 2.30 AC  
 $Q_{100} = 0.904(2.03) + 0.904(2.87) + 2.30(4.37) = 14.5$  CFS  
 $V_{360} = [0.904(0.67) + 0.904(0.99) + 2.30(1.97)]/12 = 0.5026$  AC-FT  $\Rightarrow$  21,893 CU. FT.  
 $V_{10-day} = V_{360} + A_0(P_{10-day} - P_{360})/12$   
 $P_{10-day} = 10.0 - [24.9/(P_{1440})^{1.4}] = 10.0 - [24.9/(2.62)^{1.4}] = 3.53$   
 $P_{360} = 2.20$   
 $V_{10-day} = 0.5026 + 2.30(3.53 - 2.20)/12 = 0.7575$  AC-FT  $\Rightarrow$  32,997 CU. FT.

**BASIN 200:**  
 AREA = 1.14 AC  
 LAND TREATMENTS: 22% TYPE B = 0.25 AC  
 22% TYPE C = 0.25 AC  
 56% TYPE D = 0.64 AC  
 $Q_{100} = 0.25(2.03) + 0.25(2.87) + 0.64(4.37) = 4.0$  CFS  
 $V_{360} = [0.25(0.67) + 0.25(0.99) + 0.64(1.97)]/12 = 0.1397$  AC-FT  $\Rightarrow$  6,085 CU. FT.  
 $V_{10-day} = 0.1397 + 0.64(3.53 - 2.20)/12 = 0.2106$  AC-FT  $\Rightarrow$  9,174 CU. FT.

**BASIN 300:**  
 AREA = 1.54 AC  
 LAND TREATMENTS: 100% TYPE A  
 $Q_{100} = 1.54 (1.29) = 2.0$  CFS  
 $V_{360} = 1.54 (0.44)/12 = 0.0565$  AC-FT  $\Rightarrow$  2,460 CU. FT.  
 $A_0 = 0.0$ , THEREFORE  $V_{10-day} = V_{360}$   
 $V_{10-day} = 0.0565$  AC-FT  $\Rightarrow$  2,460 CU. FT.

POND VOLUME REQUIRED = 32,997+9,174+2,460 = 44,631 CU. FT.  
 POND VOLUME PROVIDED = 45,595 CU. FT.

- LEGEND**
- 4972 — EXISTING CONTOUR
  - 76 — PROPOSED CONTOUR
  - ◆ 78.3 — PROPOSED SPOT ELEVATION
  - FLOW ARROW
  - ▨ SIDEWALK CULVERT
  - PG=4982.20 PAD GRADE ELEVATION
  - TC=81.95 TOP OF CURB ELEVATION
  - FL=81.45 FLOW LINE ELEVATION
  - WATER BAR
  - 100 BASIN ID
  - BASIN BOUNDARY

COBBLE STONE RUNDOWN		2-FOOT SIDEWALK CULVERT	
Channel Calculator		Channel Calculator	
Given Input Data:		Given Input Data:	
Shape	Trapezoidal	Shape	Rectangular
Solving for	Depth of Flow	Solving for	Depth of Flow
Flowrate	14.50 cfs	Flowrate	7.25 cfs
Slope	0.011 ft/ft	Slope	0.02 ft/ft
Manning's n	0.028	Manning's n	0.015
Height	12.00 in	Height	6.00 in
Bottom width	60.00 in	Bottom width	24.00 in
Left slope	1.50 ft/ft (V/H)		
Right slope	1.50 ft/ft (V/H)	Computed Results:	
		Depth	5.72 in
		Velocity	7.61 fps
		Full Flowrate	26.39 cfs
		Flow area	3.79 ft <sup>2</sup>
		Flow perimeter	80.03 in
		Hydraulic radius	6.83 in
		Top width	71.11 in
		Area	5.67 ft <sup>2</sup>
		Perimeter	88.84 in

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico  
 1232GRD.DWGanw 3/13/03

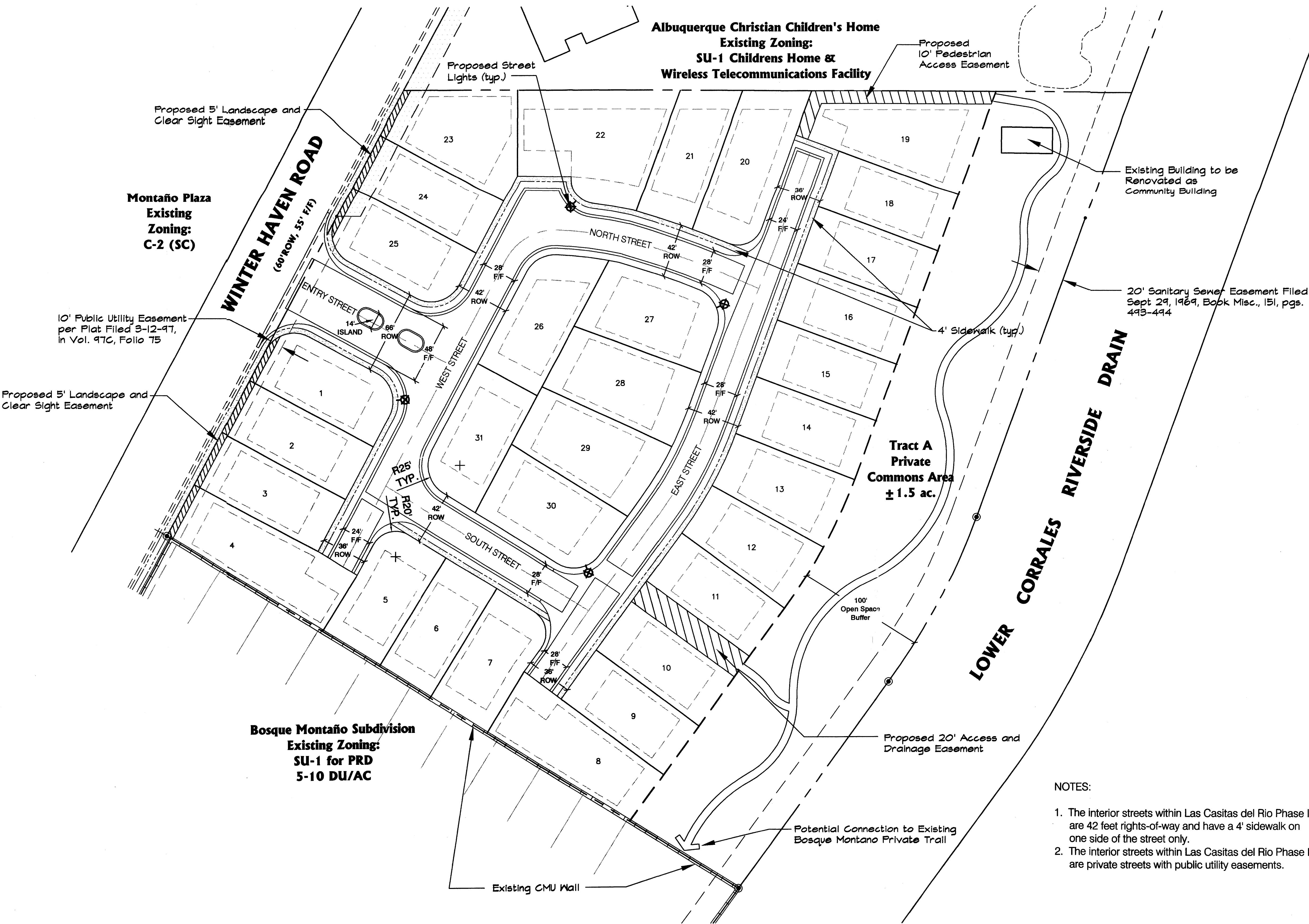
**CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP**

**TITLE: LAS CASITAS DEL RIO SUBDIVISION, PHASE II  
 GRADING & DRAINAGE PLAN**

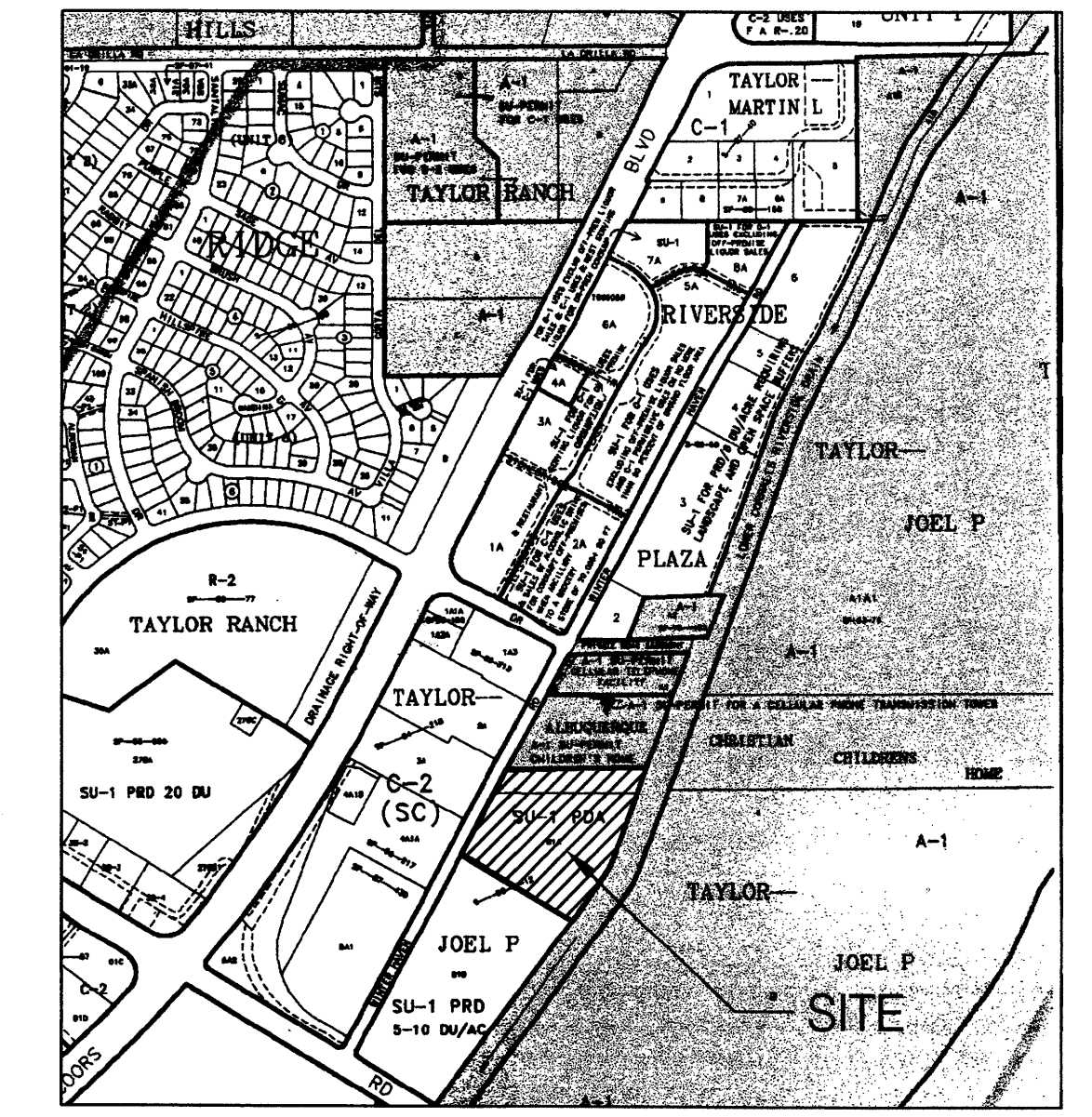
Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. **E-12-Z** Sheet **1** Of **2**

AS-BUILT INFORMATION		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FIELD NOTES	DATE		BY
WORKED BY	DATE	PRECISION SURVEYS	DATE		
INSPECTED BY	DATE	1		REMARKS	DESIGN
APPROVED BY	DATE				
REVISIONS	DATE			NO.	DATE
				DESIGNED BY	DATE
				DRAWN BY	DATE
				CHECKED BY	DATE



VICINITY MAP



COA Zone Atlas E-12

APPROVALS Project #: 1002377  
 DRB #s:  
 EPC #s: 02EPC-01772 & 01773 Proj 1002359

Planning Director	Date
Transportation Development	Date
City Engineer/AMAFCA	Date
Utility Development	Date
Parks and Recreation Department	Date
Solid Waste Department	Date

- NOTES:
1. The interior streets within Las Casitas del Rio Phase II are 42 feet rights-of-way and have a 4' sidewalk on one side of the street only.
  2. The interior streets within Las Casitas del Rio Phase II are private streets with public utility easements.

# Las Casitas del Rio

## Phase II

### SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

Prepared for:  
 The Strosnider Company  
 6121 Indian School Road NE Suite 275  
 Albuquerque, NM 87110

Prepared by:  
 Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
 128 Monroe Street NE  
 Albuquerque, NM 87108

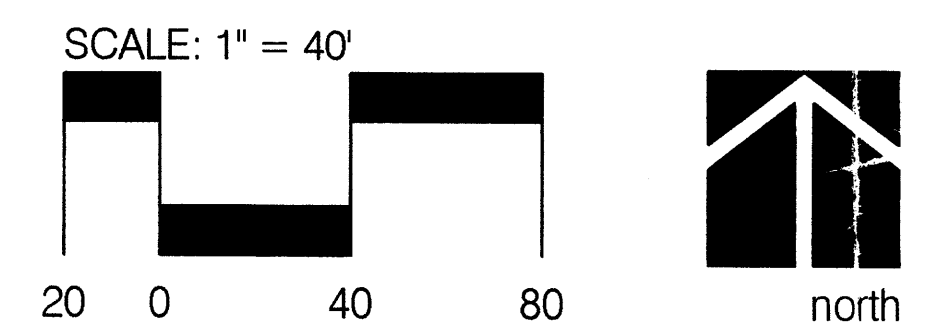


CONSENSUS PLANNING  
 November 21, 2002

Site Data

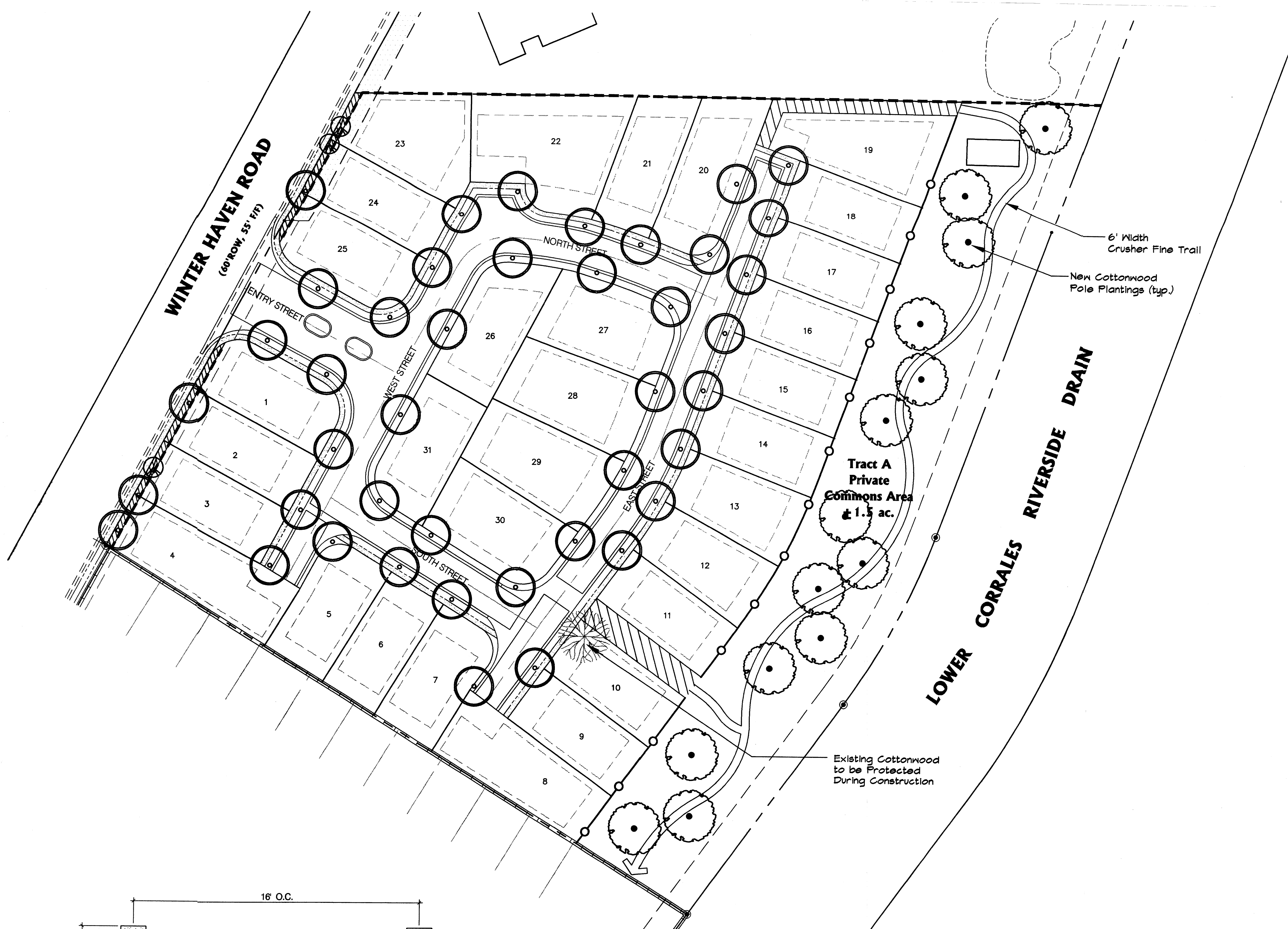
Parcel Size: 6.82 acres  
 Existing Zoning: SU-1 for PDA  
 Proposed Use: 31 Single Family detached Units

Required Open Space	
2,400 S.F. per lot	74,400 S.F.
Provided Open Space	
1,860 S.F. on lot	57,660 S.F.
Private Commons Area	67,090 S.F.
Total	124,750 S.F.



# SITE PLAN





**LANDSCAPE CONCEPT**

The landscape Concept for Las Casitas del Rio Phase II has been developed to enhance and follow the patterns of the Bosque environment. The ground plane will be developed with massings of non-invasive native shrub, groundcover, and perennial materials, with accent materials interspersed. Existing invasive species shall be removed as much as possible.

**GENERAL**

The design and provision of landscape for the Las Casitas del Rio Phase II subdivision will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

**STREET TREE ORDINANCE REQUIREMENTS**

Winter Haven Road is considered a Collector Street and does not fall under the requirements of the City of Albuquerque Street Tree Ordinance. Street trees shall be provided on the streets interior to the subdivision at a rate of approximately 1 tree per lot as illustrated in this plan.

**IRRIGATION SYSTEM**





The irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas.

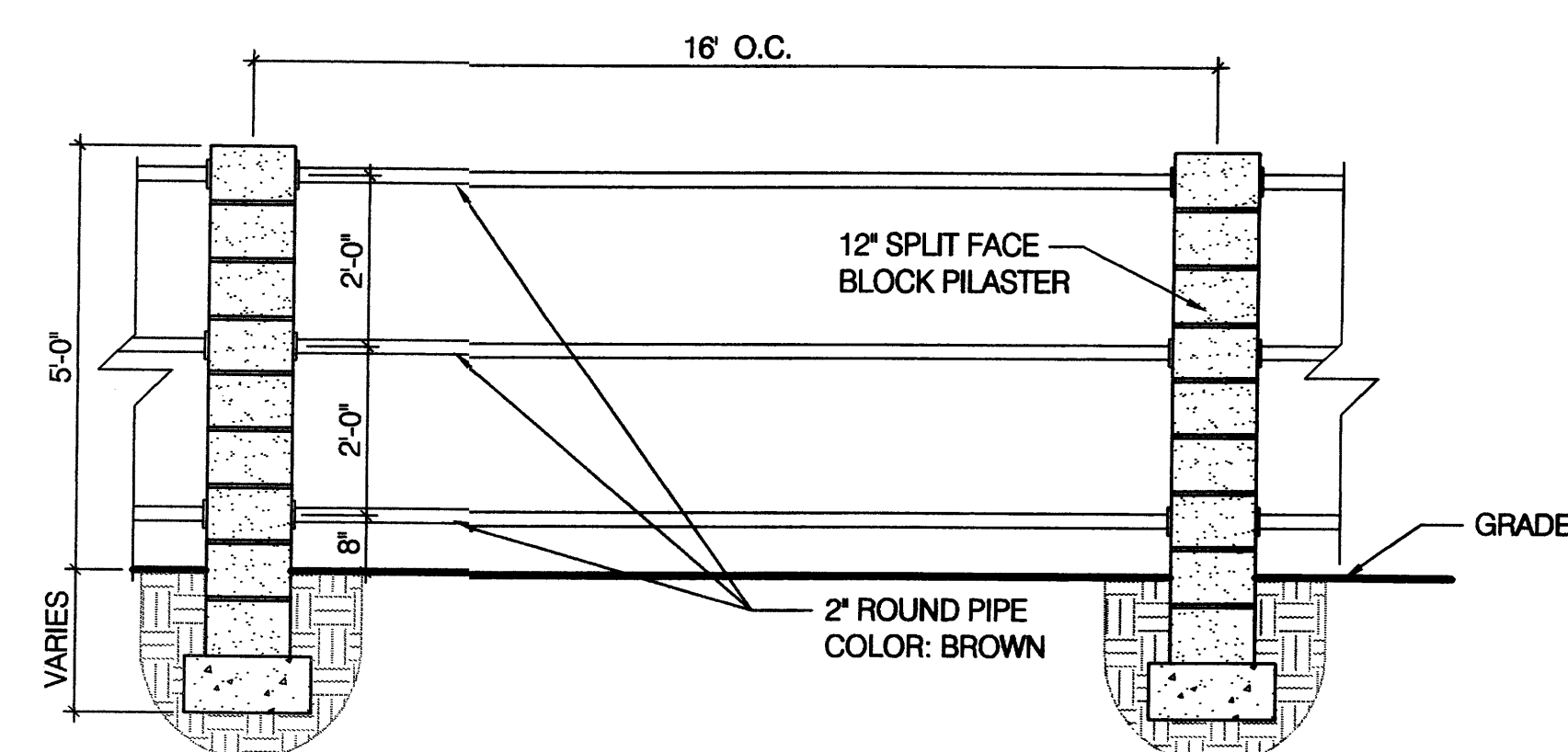
**MAINTENANCE RESPONSIBILITY**

Maintenance of the landscaping and irrigation system shall be the responsibility of the Owner on individual lots. The private common areas shall be maintained by the Homeowners' Association. All planting areas will be maintained in a living, attractive, and weed free condition.

**GENERAL PLANT PALETTE**


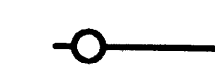
This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation and Water Waste Ordinance.

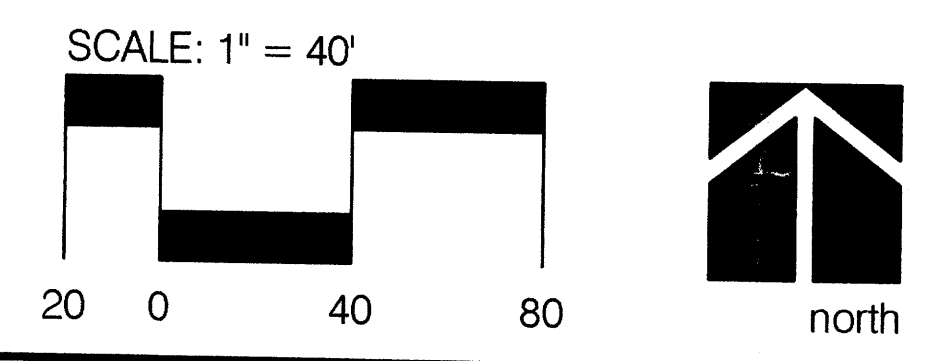
- 
**Large Canopy Trees (2" Caliper Min.)**  
 Cottonwood (female), Autumn Purple Ash, Modesto ash, Honeylocust, Chinese Pistache
- 
**Evergreen Trees (6' Min. Height)**  
 Piñon Pine, Austrian Pine
- 
**Accent Trees (1 1/4" Caliper Min.)**  
 Desert Willow, New Mexico Olive, Flowering Pear
- Shrubs (1 & 5 Gallon)**-Not shown due to scale of drawing.  
 Juniper Species, Potentilla, Chamisa, Artemisia Species, Fourwing Saltbush, Red Yucca, Apache Plume, Dalea Species, Penstemon Species, Desert Spoon, Cotoneaster Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species
- Groundcovers and Vines (1 & 5 Gallon)**-Not shown due to scale of drawing.  
 Trumpet Vine, Carolina Jessamine, Honeysuckle, Wisteria, Juniper species, Artemisia species, Potentilla, Cotoneaster
- Turf Grasses (Seed or Sod)**  
 Kentucky Bluegrass / Fesue (Max. 20% of landscape area)  
 Buffalo/Blue Grama Grass
- Mulches**  
 Crusher Fines, Bark Mulch, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Rock Mulch
- Boulders (5' Max. Dimension)**  
 Moss Rock and/or Granite
- 
**TREES IN PRIVATE COMMONS AREA**  
 Rio Grande Cottonwoods (pole plantings or equal)
- WINTER HAVEN LANDSCAPING**  
 Shall be maintained by the Home Owners Association. There shall be a minimum of 7 trees provided, with native shrubs, and rock mulch.



**DETAIL A-OPEN PIPE FENCING w/SPLITFACE CMU PILASTERS**  
N.T.S.

**Wall Legend**

- 
 Solid Splitface CMU Wall (6' in height)
- 
 Open Pipe Fencing w/Splitface CMU Pilasters (See Detail A) OR Solid Splitface CMU Wall (6' in height)



**LANDSCAPE PLAN**

*Las Casitas del Rio*

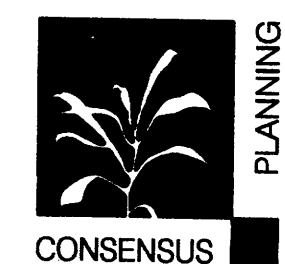
*Phase II*

**LANDSCAPE PLAN**

Prepared for:  
The Strosnider Company  
6121 Indian School Road NE Suite 275  
Albuquerque, NM 87110

Prepared by:  
Consensus Planning, Inc.  
924 Park Avenue SW  
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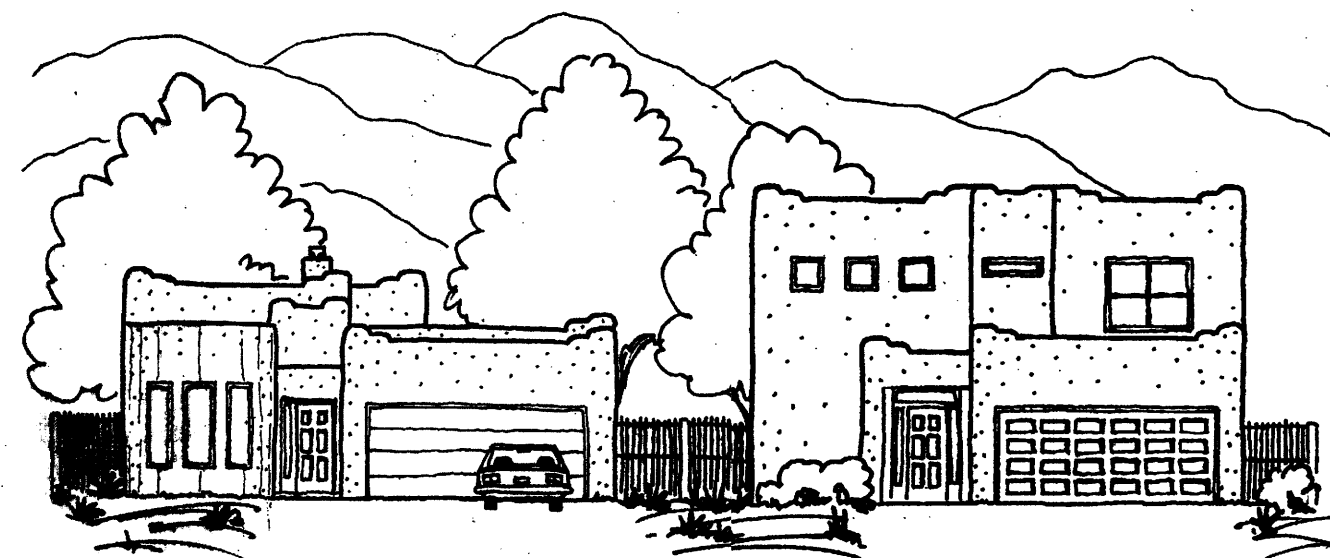
## DESIGN STANDARDS

The following are Design Standards for homes to be built in Las Casitas del Rio Phase II. The subdivision is envisioned to offer potential residents the ability to shop, work, live, and recreate in an area adjacent to the Rio Grande Bosque. Builders will construct all homes within this subdivision in compliance with these Design Standards. A Homeowner's Association will be established by the developer to administer these standards and for maintenance purposes of the common areas.

### A. Architectural Styles

Below are described characteristics of the style desired for homes at Las Casitas del Rio Phase II. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of the style listed below and adheres to the Standards. The use of architectural detail and materials should be consistent on all elevations to some degree; the same window and door trim details shall be used consistently in all openings.

- All of the homes within Las Casitas del Rio Phase II shall be constructed as detached single family homes and shall be Pueblo Contemporary style. They all shall have low sloped roofs with parapets.



Typical Pueblo Contemporary Style

### B. Building Massing

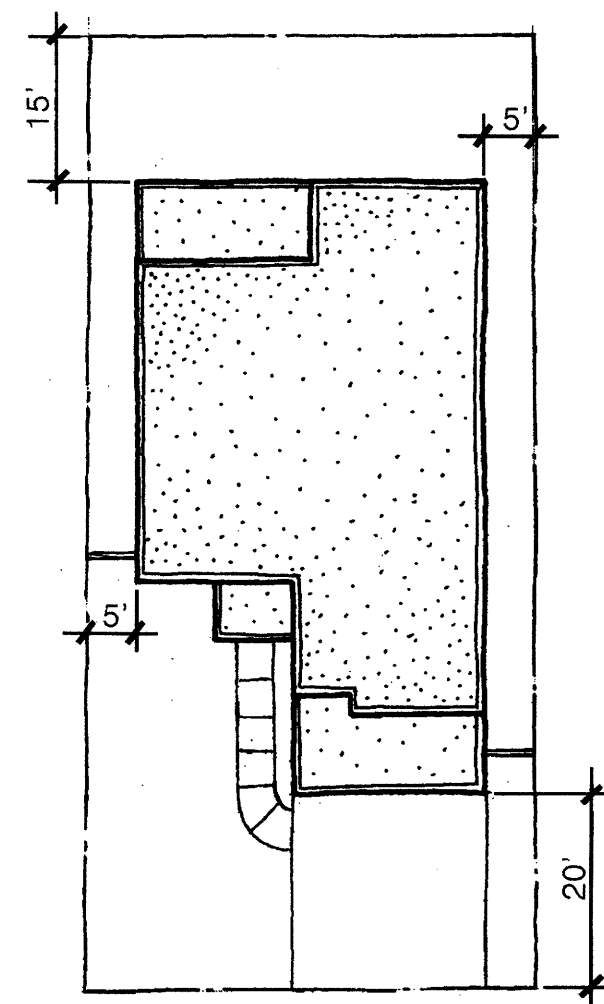
A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three (3) walls. Building massing is critical, especially for the street elevations, and should be offset from the adjacent masses by an appropriate dimension to the size of the building.

### C. Garages

- Each home is required to have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces are provided.
- Garage doors shall be offset from the surface of the front façade by a minimum of eight inches (8").

### D. Setbacks

- Front yard setback - 15 feet except garages shall be set back a minimum of 20 feet.
- Side yard setback - 5 feet minimum
- Rear yard setback - 15 feet minimum



Typical Building Setbacks

### E. Building Materials

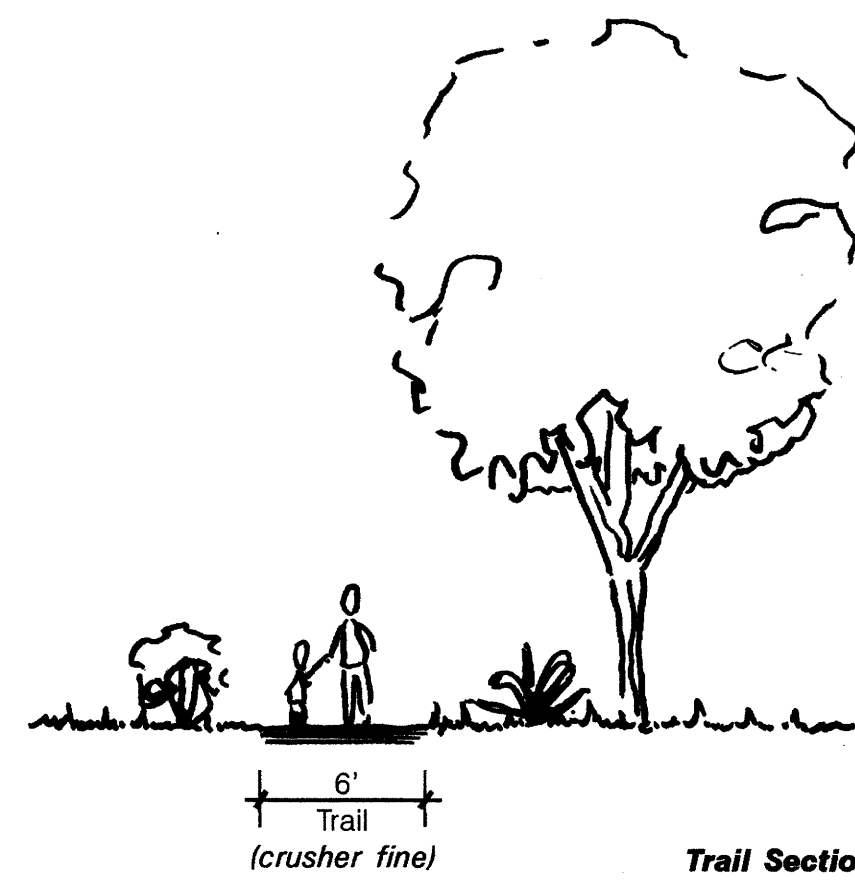
- Synthetic type stucco shall be the primary building material and shall account for a minimum of 80% of the exterior construction. Stone, brick, tiles, wood, and glass block may be used as an accent feature for up to 20% of the exterior.

### F. Pre-Approved Building Colors

- Primary - exterior stucco colors shall be Sonneborn standard colors in shades of tan, brown, reddish brown, and other earth tones; prohibited colors shall be Marble White, Navajo White, and Tijeras.
- Accent - a variety of earth tone colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features.
- All roof penetrations shall be painted to match the predominant roof color or stucco color.

### G. Pedestrian /Bicycle Circulation

- Pedestrian/Bicycle circulation for residents within the subdivision is an important benefit. Accordingly, sidewalks are designed to provide access to the Corrales Riverside Drain and to the commercial development to the west.
- Due to the short block length and additional pedestrian facilities within the private commons area, sidewalks shall only be required on one side of the internal residential streets.
- Crusher fine walking paths shall be provided within the private commons area at a minimum of 6 feet in width.
- Access to the Rio Grande State Park shall be provided through the private commons area.



Trail Section

### H. Building Height and Density

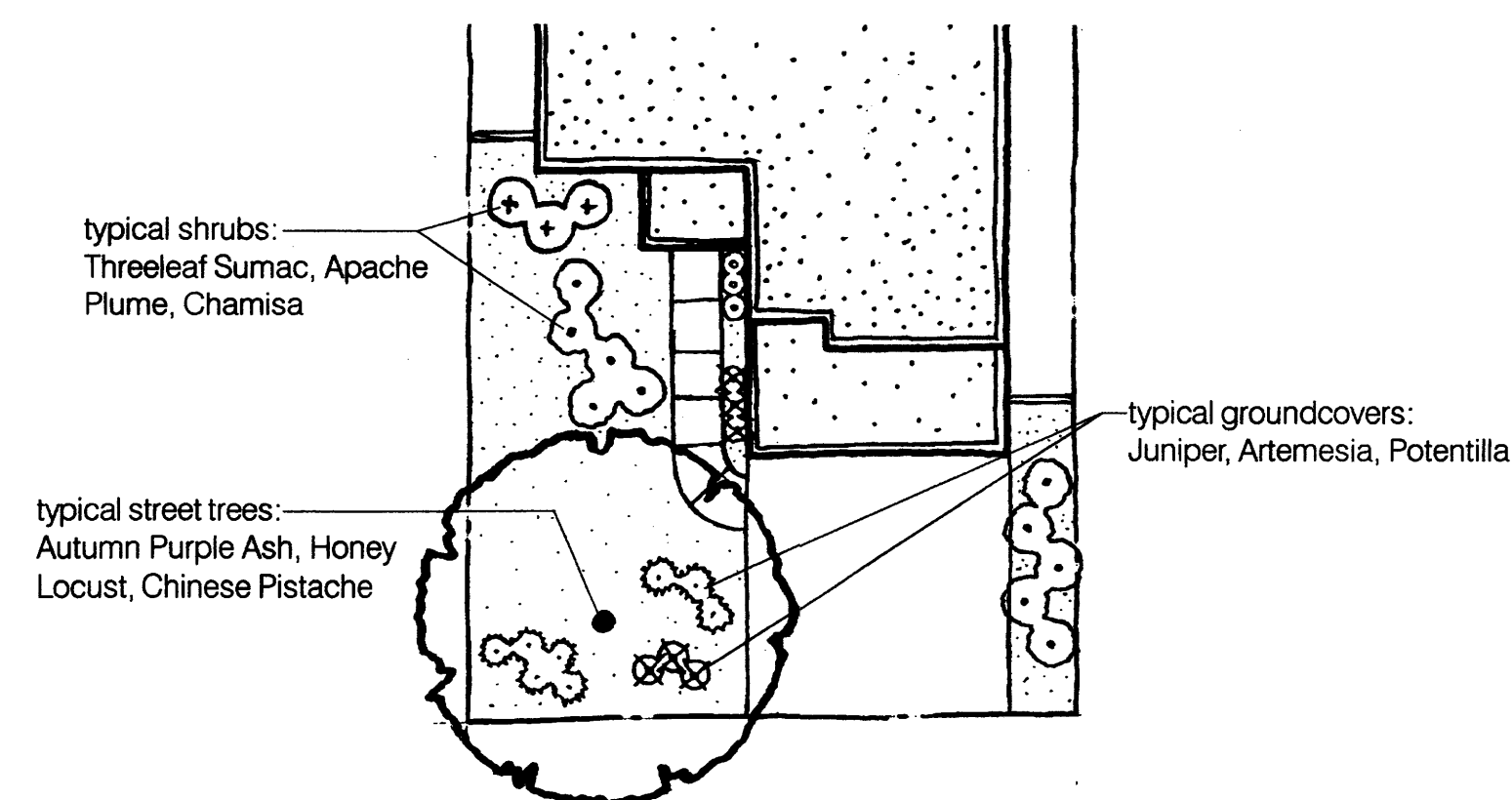
The maximum height allowed for two story homes is 26 feet as required by the City of Albuquerque Zoning Code.

- The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 square feet, the area of the second story is limited to a maximum of 1,500 square feet.
- The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two-story wall.
- Floor Area Ratio (F.A.R.) is the ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a F.A.R. of .75 shall not be exceeded.

### I. Landscaping

These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code. Common areas within the subdivision will be landscaped and maintenance will be the responsibility of the Homeowners' Association.

- Street trees shall be provided along new interior roads at a rate of one tree per 50 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed.
- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.



Typical Front Yard Landscaping

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material that extends completely under the plant material, however, these materials shall not be used as a focal landscape element.
- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.
- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner and/or the Homeowners' Association in a living, attractive condition. The Homeowner's Association shall maintain the private commons area including the 100' buffer strip and other common areas. Plantings within the buffer zone shall be non-invasive species native to the bosque. All areas other than the private commons area shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.
- Planted areas shall be a minimum of 36 square feet and a minimum width of 6 feet.
- Minimum plant sizes at time of installation shall be as follows:
  - Trees - 2 inch caliper, or 10 to 12 feet in height
  - Shrubs & Groundcovers - 1 gallon
  - Turf Grasses - provide complete ground coverage within one growing season after installation

- Timing of Installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home.

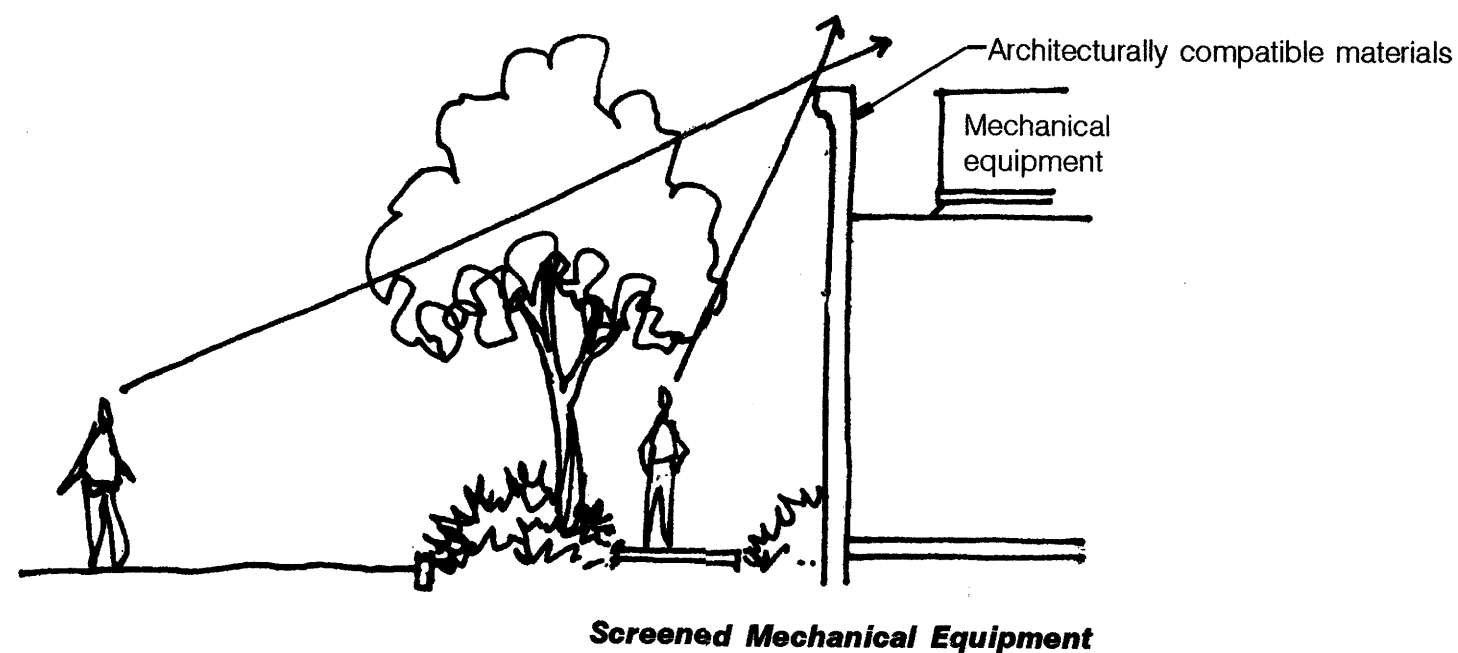
### J. Walls/Fences

In order to mitigate the impact of the commercial/office activity at Montaño Plaza, which is across Winter Haven to the west, a perimeter wall shall be constructed along Winter Haven.

- All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.
- The perimeter subdivision wall shall be splitface concrete masonry unit (CMU) on the streetside and shall be a height of 6 feet. Where the wall borders the private commons, the wall may be either a solid splitface CMU wall or an open pipe fence with splitface CMU pilasters (see Detail A, sheet 2). All subdivision walls shall be installed and paid for by the Developer.
- The Developer and/or Homeowner's Association shall be responsible for removal of any and all graffiti located on the perimeter subdivision wall within 72 hours of any report of graffiti to the Developer and/or Homeowner's Association.
- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.
- Pedestrian openings shall be provided for access at key locations within the development to the private commons area adjacent to the Bosque.

### K. Mechanical Equipment and Utilities

- Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the front property line of residences). Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.



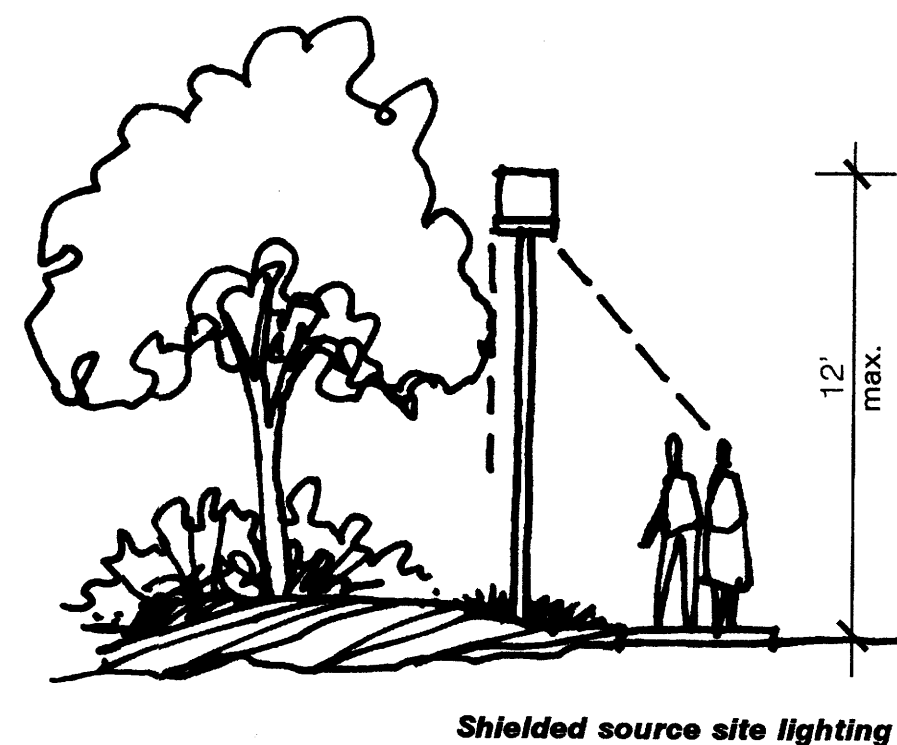
Screened Mechanical Equipment

- Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
- All electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

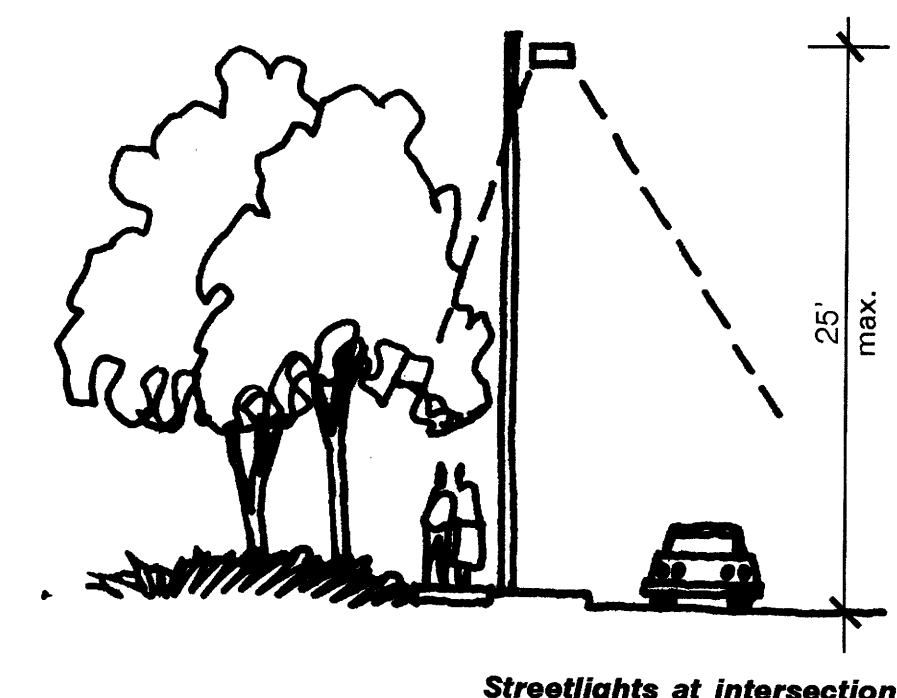
### L. Site Lighting

In order to comply with the Coors Corridor Plan, site lighting will be designed to be as unintrusive as possible while still providing safety to the residents.

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.
- Site lighting shall not have a total on-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
- The mounting height of luminaries for site lighting shall be no higher than 12 feet.
- Site lighting shall be shielded source with no light source (lamp) visible from the site perimeter.
- Street lights shall be restricted to intersections at Winter Haven Road and internal street intersections. Street lights at the intersections with Winter Haven shall be a maximum of 25 feet in height, consistent with the Riverside Plaza Design Guidelines to the northwest; other streetlights shall be a maximum of 18 feet in height. The intent is to provide only those street lights required for safety purposes.
- Street lights shall be fully shielded.



Shielded source site lighting



Streetlights at intersections

### M. Signs

- Entry signage shall be incorporated into the perimeter wall at the entry along Winter Haven, which shall be consistent in design and materials with the buildings.

### N. Solid Waste

- Each lot/home shall have a storage area for residential automated carts; not to be visible from the street.

### O. Review for Compliance

- The compliance of any structure or improvement within the Subdivision will be reviewed by the Homeowner's Association.

### P. Vacant Lots; Destruction

- There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Subdivision.
- The Owner of a lot within the Subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
- The Owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.

### Q. Restricted Activities

- The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than ten (10) days per year.
- The placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently, is prohibited without the prior approval of the Homeowner's Association.
- The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved in writing by the Homeowner's Association and must be of similar architectural design as the house.

# Las Casitas del Rio Phase II

Prepared for:

The Strosnider Company  
6121 Indian School Road NE  
Suite #275  
Albuquerque, NM 87110

Prepared by:

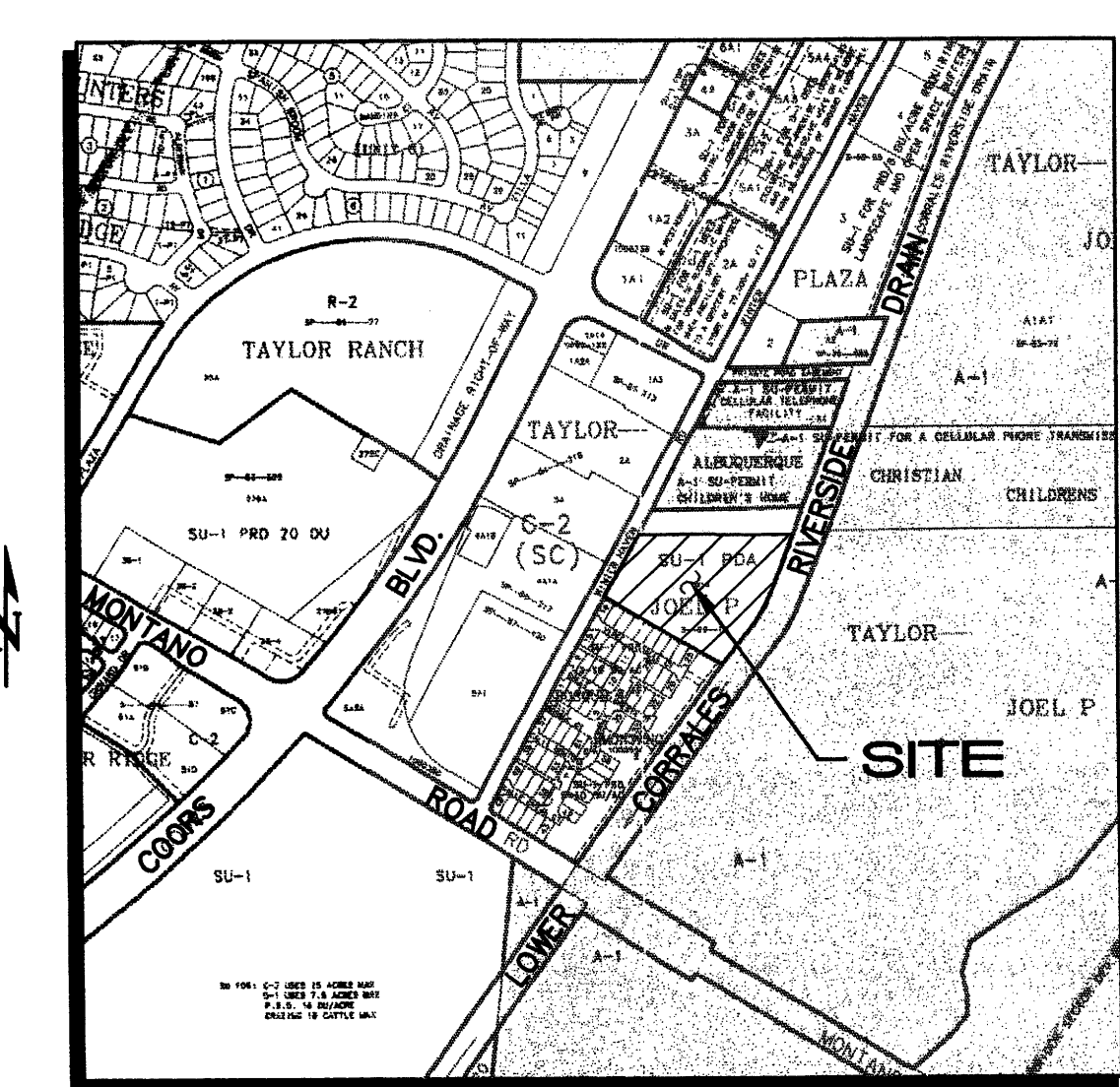
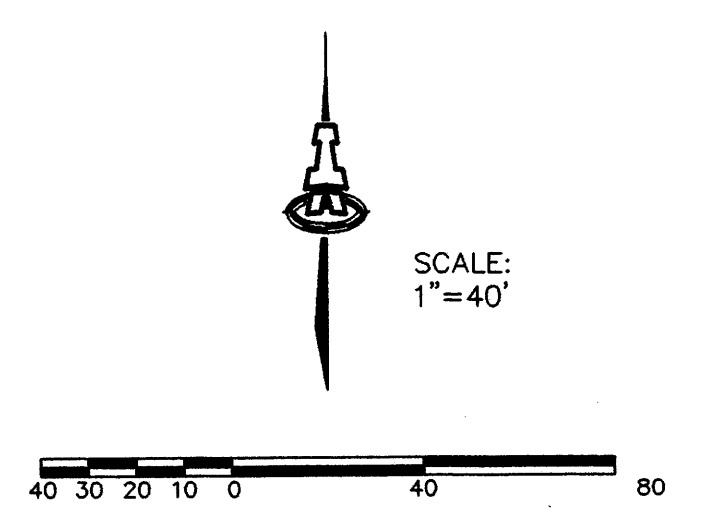
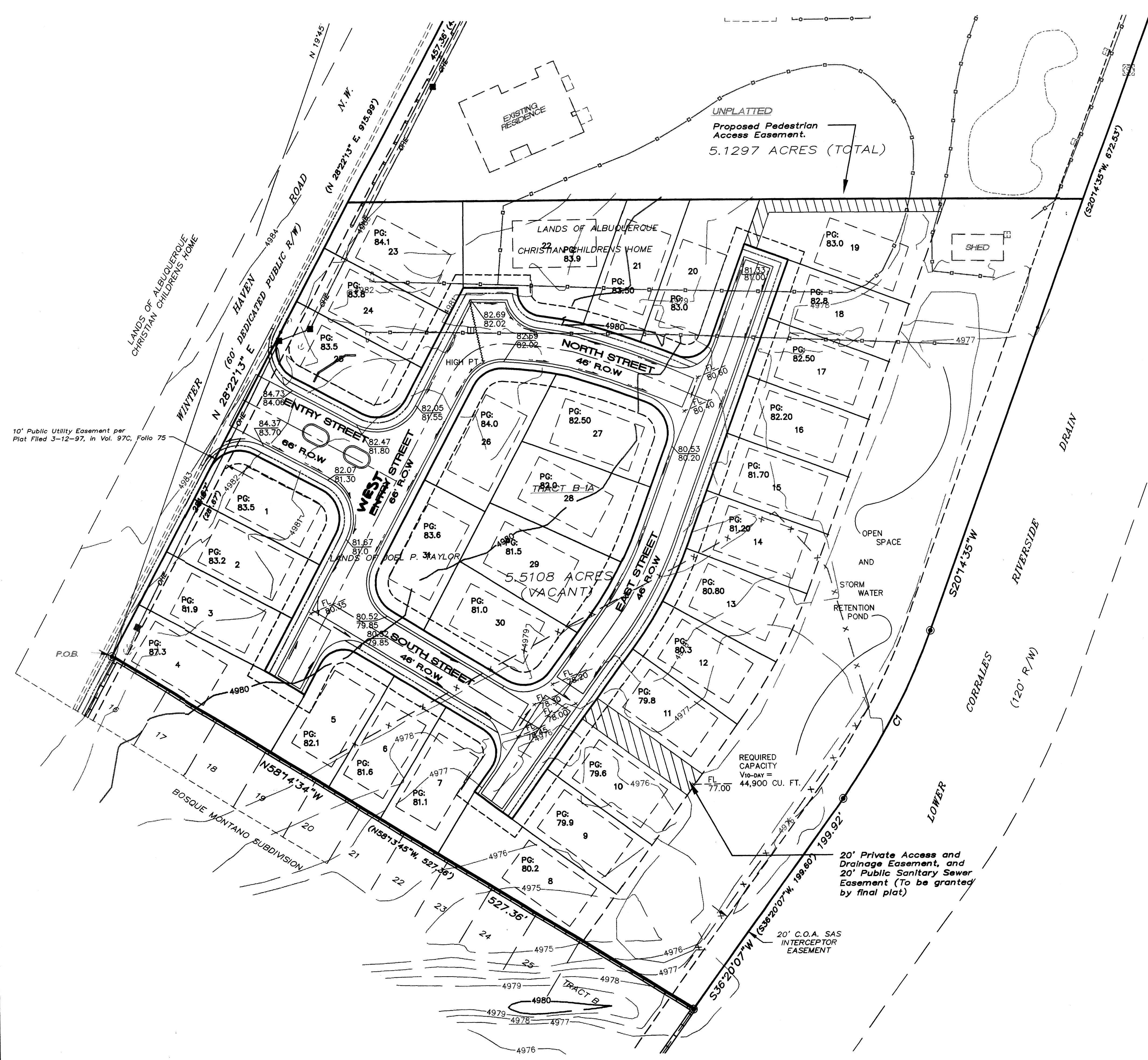
Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

Isaacson & Arfman, PA.  
128 Monroe Street NE  
Albuquerque, NM 87108



November 21, 2002

Sheet 3 of 5



**LEGAL DESCRIPTION:** TRACT B1-A, LANDS OF JOEL P. TAYLOR, TOGETHER WITH PORTIONS OF THE UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME.

**TOTAL AREA:** 6.8215 ACRES

**BENCHMARK:** ACS MONUMENT "NM 448-N7A" ELEVATION = 5006.41 (NGVD 1929)

**FLOOD ZONE DESIGNATION:** ALL PORTIONS OF THIS SITE ARE OUTSIDE OF THE 100-YEAR FLOODPLAIN OR ARE WITHIN FLOODPLAIN ZONE X - AREA PROTECTED FROM 100-YEAR FLOOD BY LEVEE - AS DESIGNATED ON PANEL #118 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAP DATED SEPTEMBER 20, 1996.

**EXISTING CONDITIONS:** THIS SITE IS CURRENTLY UNDEVELOPED, WITH THE EXCEPTION OF A SHED ON THE NORTHEAST CORNER THAT IS SCHEDULED TO BE DEMOLISHED. THE SITE SLOPES APPROXIMATELY 1%-2% FROM WEST TO EAST, AND HAS NATIVE GRASSES, SHRUBS, AND COTTONWOOD TREES. THE PROPERTY IS BOUNDED BY WINTERHAVEN RD TO THE WEST, THE LOWER CORRALES RIVERSIDE DRAIN TO THE EAST AND RESIDENTIAL DEVELOPMENT TO THE NORTH AND SOUTH.

A TOTAL OF 8.8 CFS (0.2502 AC-FT) OF STORM WATER SHEETS EAST TO THE LOWER CORRALES RIVERSIDE DRAIN IN THE 100-YEAR, 6-HOUR STORM, OR IS RETAINED ONSITE BY NATURAL FEATURES.

**EXISTING HYDROLOGY:** (Per the C.O.A. D.P.M., Sect. 22.2)  
 PRECIPITATION ZONE: 1  
 LAND TREATMENTS: 100% TYPE A  
 $Q_{100} = 6.82 (1.29) = 8.8$  CFS  
 $V_{360} = 6.82 (0.44)/12 = 0.2501$  AC-FT  $\Rightarrow$  10,895 CU. FT.

**PROPOSED CONDITIONS:** A 31-LOT, SINGLE-FAMILY RESIDENTIAL SUBDIVISION IS PROPOSED FOR THIS SITE. A 100' LANDSCAPE BUFFER IS REQUIRED ON THE EAST SIDE OF THE SUBDIVISION WHERE IT IS ADJACENT TO THE RIVERSIDE DRAIN. STORM WATERS FROM EACH LOT SHALL BE CONVEYED TO THE FRONT ROADWAYS OR ALLOWED TO DISCHARGE A PORTION OF THE STORM WATER OUT OF THE REAR YARDS WHERE THEY ABUT DRAINAGE RETENTION AREAS WITHIN THE PRIVATE OPEN SPACE AREA. STORM WATERS COLLECTED WITHIN THE ROADWAYS SHALL BE CONVEYED TO THE INDICATED 20' ACCESS AND DRAINAGE EASEMENT, AND THEN ROUTED OVERLAND TO THE NATURAL LOW POINTS FOR RETENTION OF THE 1.0308 AC-FT GENERATED BY THE SITE. NO DEVELOPED STORM WATERS ARE PLANNED FOR DISCHARGE INTO THE LOWER CORRALES RIVERSIDE DRAIN, THEREFORE AN MRQCD LICENSE AGREEMENT WILL NOT BE NECESSARY FOR THE SUBDIVISION DRAINAGE SOLUTION. THE STORM WATER BERMING THE LOW SIDE OF THE POND WILL CREATE A NATURAL BOSQUE TERRAIN.

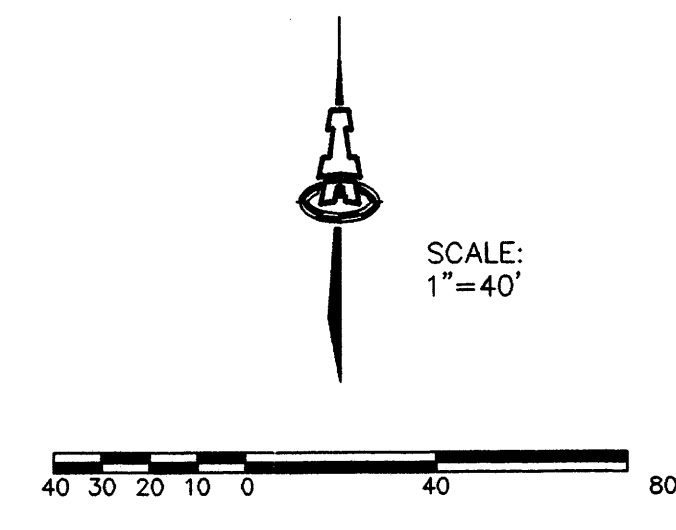
**PROPOSED HYDROLOGY:** (Per the C.O.A. D.P.M., Sect. 22.2)  
 PRECIPITATION ZONE: 1  
 BASIN 100:  
 AREA = 5.28 AC  
 LAND TREATMENTS: 22% TYPE B = 1.16 AC  
 22% TYPE C = 1.16 AC  
 56% TYPE D = 2.96 AC  
 $Q_{100} = 1.16(2.03) + 1.16(2.87) + 2.96(4.37) = 18.6$  CFS  
 $V_{360} = [1.16(0.67) + 1.16(0.99) + 2.96(1.97)]/12 = 0.6463$  AC-FT  $\Rightarrow$  28,151 CU. FT.  
 $V_{10-day} = V_{360} + Ad(P_{10-day} - P_{360})/12$   
 $P_{10-day} = 10.0 - [24.9/(P1440)1.4]$   
 $= 10.0 - [24.9/(2.62)1.4] = 3.53$   
 $P_{360} = 2.20$   
 $V_{10-day} = 0.6463 + 2.96(3.53-2.20)/12 = 0.9744$  AC-FT  $\Rightarrow$  42,443 CU. FT.  
 BASIN 200:  
 AREA = 1.54 AC  
 LAND TREATMENTS: 100% TYPE A  
 $Q_{100} = 1.54 (1.29) = 2.0$  CFS  
 $V_{360} = 1.54 (0.44)/12 = 0.0565$  AC-FT  $\Rightarrow$  2,460 CU. FT.  
 $Ad = 0.0$ , THEREFORE  $V_{10-day} = V_{360}$   
 $V_{10-day} = 0.0565$  AC-FT  $\Rightarrow$  2,460 CU. FT.

- VICINITY MAP**  
 E-12 1"=750'±
- LEGEND**
- 5200 — EXISTING CONTOUR
  - 52 — PROPOSED CONTOUR
  - ◆ 78.3 PROPOSED SPOT ELEVATION
  - FLOW ARROW
  - PG=6881.0 PAD GRADE ELEVATION
  - SIDEWALK CULVERT
  - TC=81.95 TOP OF CURB FLOWLINE ELEVATION
  - FL=81.45 ELEVATION
  - ~~~~~ WATER BAR
  - PROPOSED RETAINING WALL
  - TW=52.0 TOP OF WALL BOTTOM OF WALL ELEVATION
  - INV=72.5 INVERT ELEVATION
  - STORM DRAIN MANHOLE
  - BASIN (A) BASIN ID
  - BASIN BOUNDARY
  - EROSION CONTROL BERM

**LAS CASITAS DEL RIO, UNIT TWO**  
**CONCEPTUAL**  
**GRADING & DRAINAGE PLAN**

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque New Mexico

11/20/02  
**SHEET 4 OF 5**



- LEGEND**
- PROPOSED**
- SINGLE WATER METER & BOX
  - DOUBLE WATER METER & BOX
  - +— GATE VALVE W/ TYPE 'A' VALVE BOX
  - FH FIRE HYDRANT
  - SAS MANHOLE
  - +— WATER LINE W/ FITTING
- EXISTING**
- - - OHE OVERHEAD ELECTRIC
  - TELEPHONE PEDESTAL
  - POWER POLE
  - EXISTING FENCES (TO BE REMOVED)
  - GUY WIRE & ANCHOR

**10' P.U.E.**

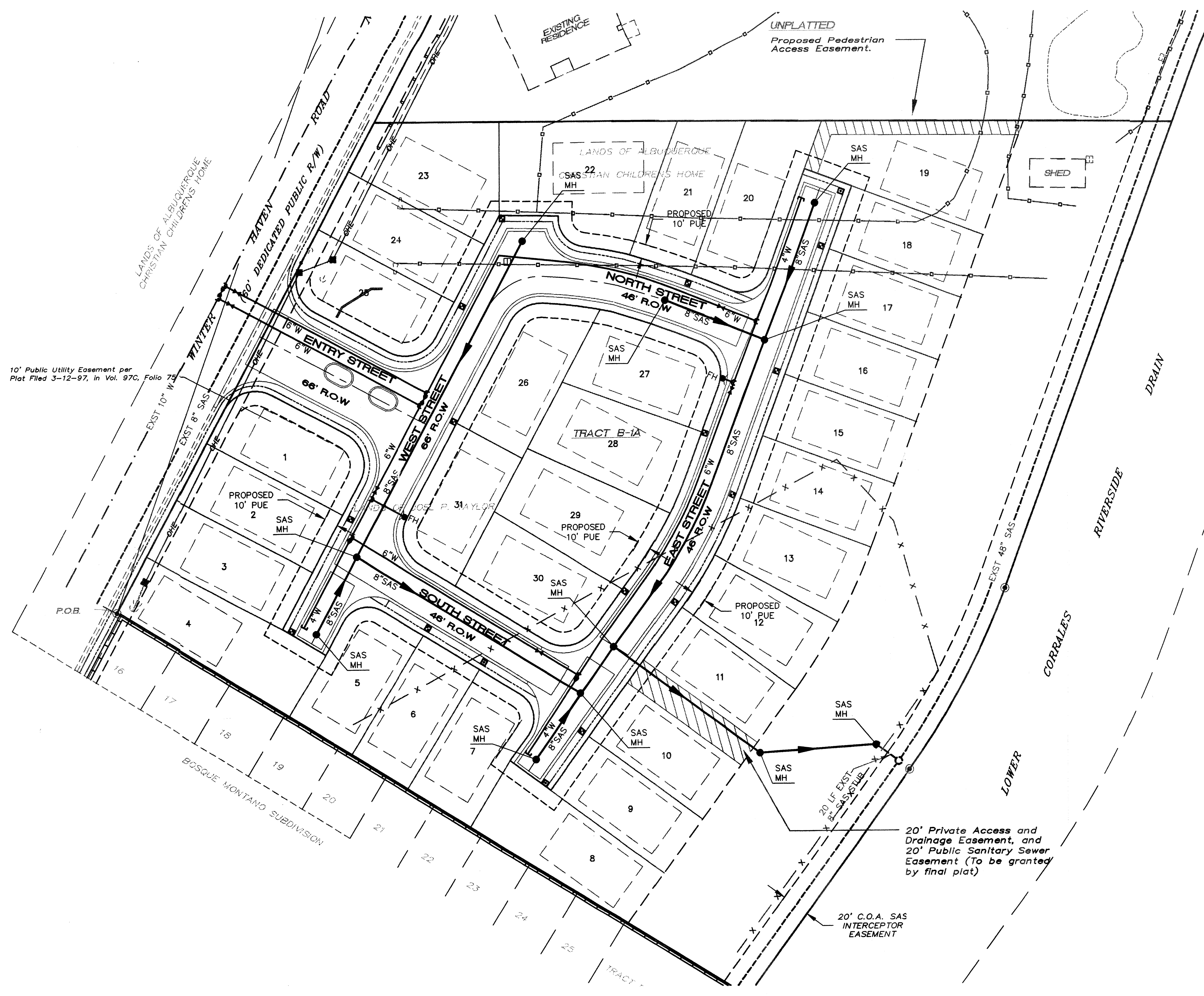
A 10' PUBLIC UTILITY EASEMENT SHALL BE GRANTED TO THE FOLLOWING UTILITIES FOR UNDERGROUND SERVICE:

- PNM: ELECTRIC
- PNM: GAS
- QWEST
- COMCAST

THE EXISTING OVERHEAD ELECTRIC, TELEPHONE AND CABLE SHALL BE REMOVED AND REPLACED UNDERGROUND ALONG WINTER HAVEN ROAD.

**SANITARY SEWER SERVICE**

EACH LOT SHALL BE SERVED BY A 4" SERVICE LINE CONNECTING TO THE PROPOSED INTERIOR PUBLIC SANITARY SEWER

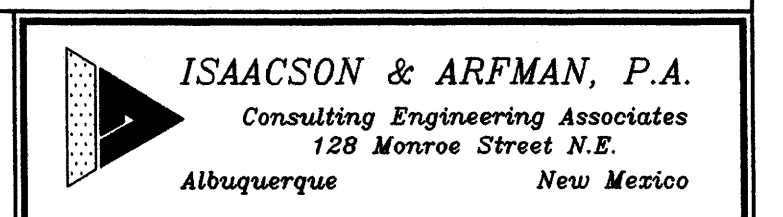


10' Public Utility Easement per Plat Filed 3-12-97, in Vol. 97C, Folio 79

20' Private Access and Drainage Easement, and 20' Public Sanitary Sewer Easement (To be granted by final plat)

20' C.O.A. SAS INTERCEPTOR EASEMENT

**LAS CASITAS DEL RIO, UNIT TWO  
CONCEPTUAL  
UTILITY PLAN**



Albuquerque Christian Children's Home  
 Existing Zoning:  
**SU-1 Childrens Home &  
 Wireless Telecommunications Facility**

Montaño Plaza  
 Existing Zoning:  
**C-2 (SC)**

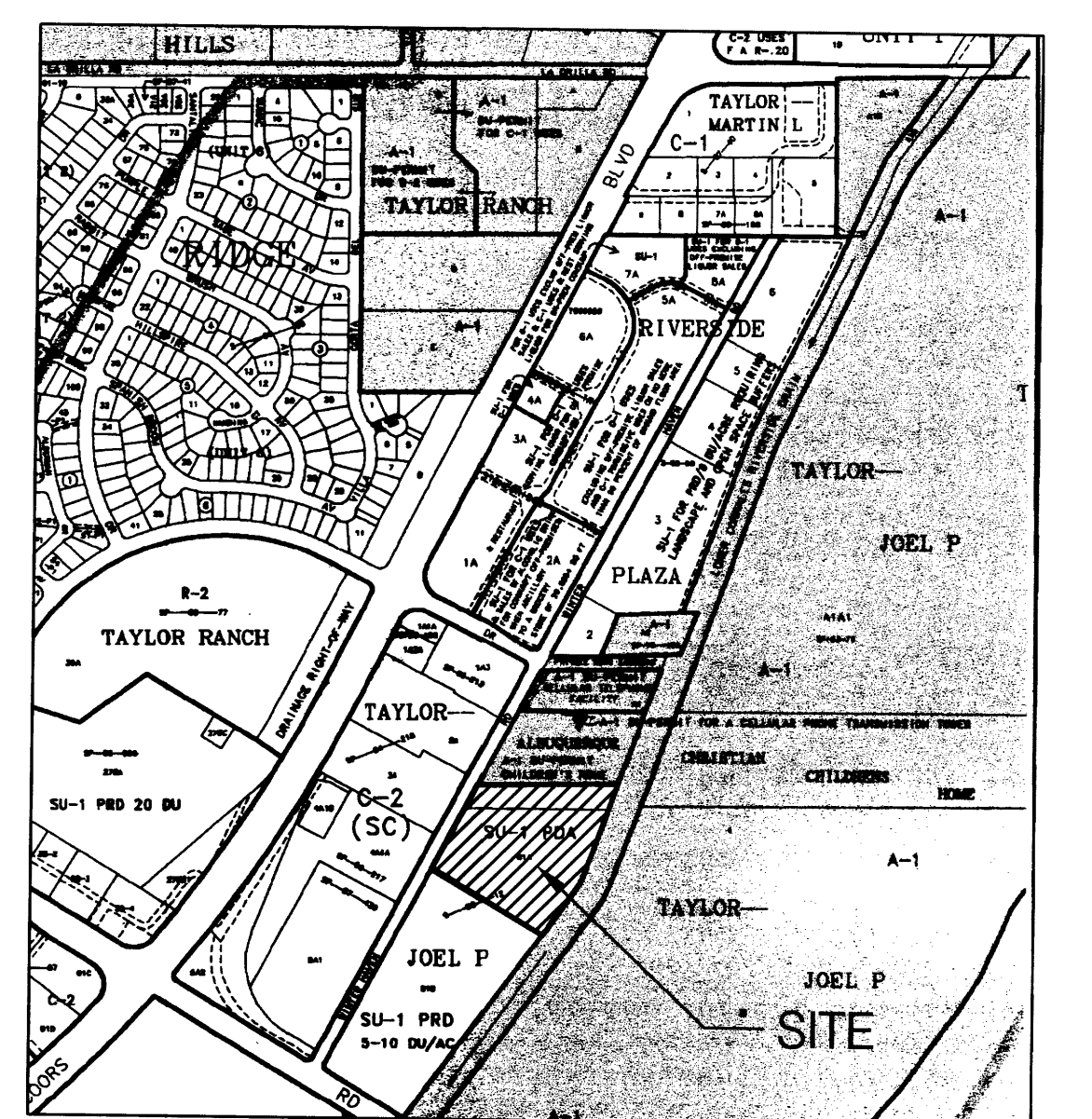
Bosque Montaño Subdivision  
 Existing Zoning:  
**SU-1 for PRD  
 5-10 DU/AC**

Tract A  
 Private  
 Commons Area  
 ± 1.5 ac.

AFD PLANS CHECKING OFFIC:  
 924-3611  
**APPROVED/DISAPPROVE:**  
**HYDRANT(S) ONLY**  
 SIGNATURE & DATE 4/8/03

- NOTES:
1. The interior streets within Las Casitas del Rio Phase II are 42 feet rights-of-way and have a 4' sidewalk on one side of the street only.
  2. The interior streets within Las Casitas del Rio Phase II are private streets with public utility easements.

VICINITY MAP



COA Zone Atlas E-12

APPROVALS Project #: 1002377  
 DRB #s:  
 EPC #s: 02 EPC-01772 & 01773 Proj 1002359

Planning Director	Date
Transportation Development	Date
City Engineer/AMAFCA	Date
Utility Development	Date
Parks and Recreation Department	Date
Solid Waste Department	Date

# Las Casitas del Rio Phase II

## SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

Prepared for:  
 The Strosnider Company  
 6121 Indian School Road NE Suite 275  
 Albuquerque, NM 87110

Prepared by:  
 Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
 128 Monroe Street NE  
 Albuquerque, NM 87108



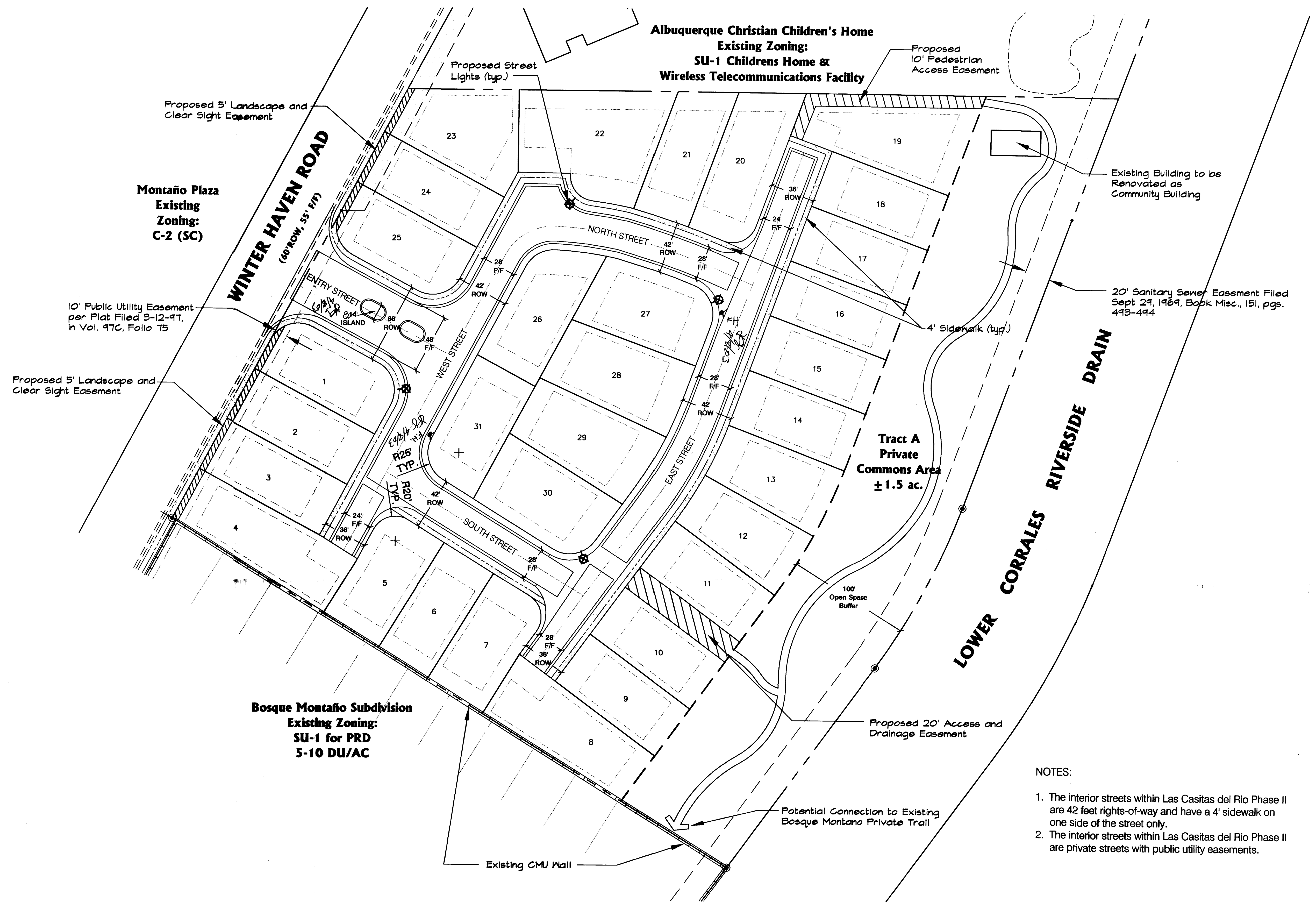
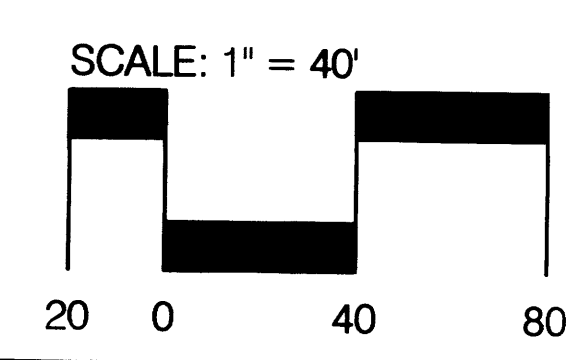
NOVEMBER 21, 2002

# SITE PLAN

Site Data

Parcel Size: **6.82 acres**  
 Existing Zoning: **SU-1 for PDA**  
 Proposed Use: **31 Single Family detached Units**

Required Open Space	
2,400 S.F. per lot	74,400 S.F.
Provided Open Space	
1,860 S.F. on lot	57,660 S.F.
Private Commons Area	67,090 S.F.
<b>Total</b>	<b>124,750 S.F.</b>

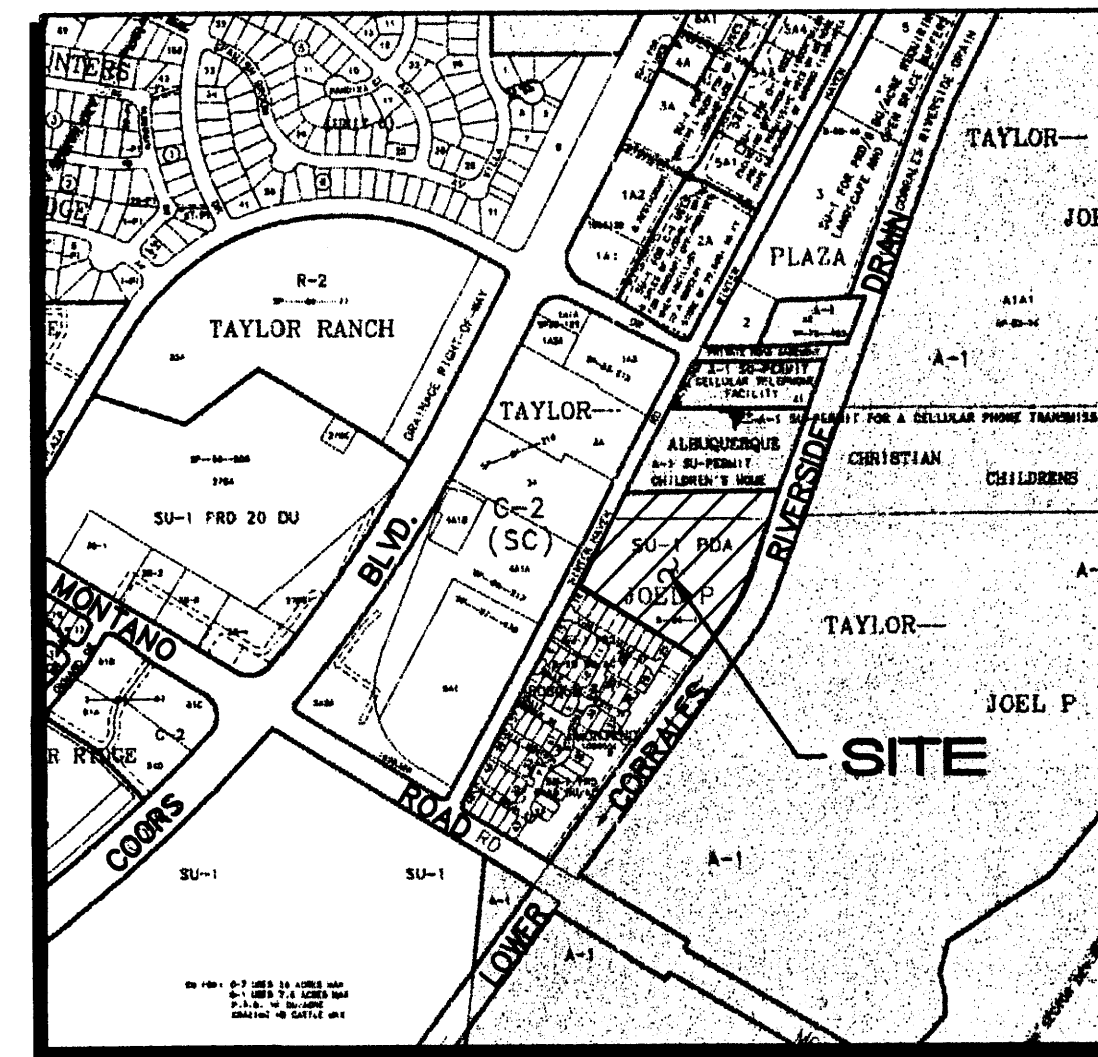


PRELIMINARY PLAT FOR  
**LAS CASITAS DEL RIO  
 SUBDIVISION  
 PHASE II**

BEING ALL OF TRACT B,  
 ALBUQUERQUE CHRISTIAN CHILDREN'S HOME

CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

MARCH 2003

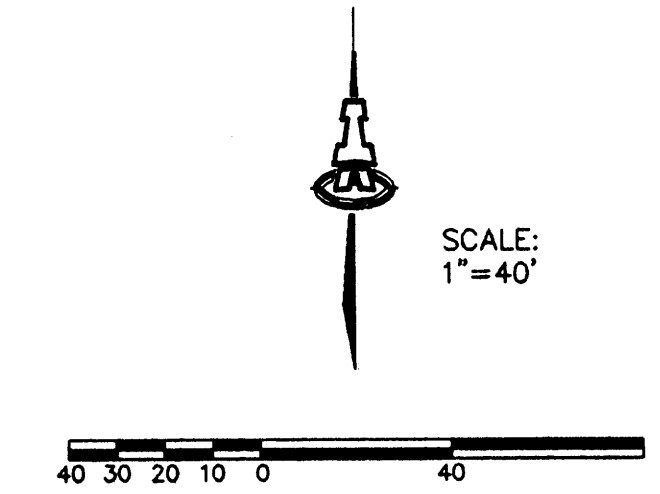


VICINITY MAP

1"=750'±  
 Proposed 10' Pedestrian  
 Access Easement (to be  
 granted by Final Plat).

TRACT A  
 ALBUQUERQUE CHRISTIAN  
 CHILDREN'S HOME  
 (2/14/03, 2003C-32)

567.29'



SCALE:  
 1"=40'

**LEGAL DESCRIPTION**

TRACT B, ALBUQUERQUE CHRISTIAN CHILDREN'S HOME,  
 BK. 2003C, PG. 32.

**ACS BENCHMARK**

ALBUQUERQUE CITY SURVEY MONUMENT "NM-448-N8"  
 New Mexico State Plane Coordinates  
 Central Zone (NAD 27)  
 Y = 1,514,838.11  
 X = 372,524.25  
 Elevation = 5,018.92  
 Delta Alpha = -00'14.44"

**SITE DATA**

1. TOTAL LAND AREA = 6.7898 ACRES.
2. NUMBER OF EXISTING TRACTS IS 1.
3. NUMBER OF PROPOSED RESIDENTIAL LOTS IS 31.
4. CURRENT ZONING: SU-1
5. ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC. NO LOT SHALL HAVE DIRECT ACCESS TO WINTERHAVEN ROAD NW.
6. ALL STREETS HAVE PAVING WIDTHS PER DPM STANDARDS.
7. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

**NOTES**

1. ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750".
2. ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH A CAP STAMPED "HUGG L.S. 9750" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750".
3. ALL STREET CENTERLINE POINTS SHOWN THUS  $\Delta$  WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, L.S. 5823"
4. BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
5. BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
6. DISTANCES WILL BE GROUND DISTANCES.
7. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION  
 AND STREET NAMES

*[Signature]* 3/21/03  
 CITY SURVEYOR DATE

**OWNERSHIP**

*[Signature]* 3/21/03  
 PATRICK STROSNIDER DATE  
 VICE PRESIDENT OF THE STROSNIDER  
 COMPANY, AS MANAGING MEMBER OF  
 SANGRE DE CRISTO LIMITED LIABILITY  
 COMPANY

**LEGEND**

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- $\Delta$  CENTERLINE MONUMENT
- OHE- OVERHEAD ELECTRIC LINE

**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	523.00'	146.89'	73.93'	146.41'	S28°17'21"W	16°05'32"

ACS MONUMENT "NM-448-N8"  
 Y=1,514,838.11  
 X=372,524.25  
 Δα=-00'14.44"  
 CENTRAL ZONE (NAD 1927)  
 ELEV=5,018.92

Prop. 10' Public Utility Easement  
 to be Granted by Final Plat

Exst. 10' Public Utility Easement per  
 Plat Filed 2-14-03, in Book 2003C, Pg. 32  
 To be Vacated by Final Plat

Exst. 10' Public Utility Easement per  
 Plat Filed 3-12-97, in Vol. 97C, Folio 75

Exst. 20' Sanitary Sewer Easement  
 Filed 2/14/03 (Book 2003C,  
 Page 32)

20' Public Sanitary  
 Sewer Easement (To be granted  
 by final plat)

20' Private Access, Public Drainage  
 Easement, and Public Sanitary  
 Sewer Easement (To be granted  
 by final plat)

Exst. 20' Sanitary Sewer Easement  
 Filed 9/29/69 (Book Misc. 151,  
 Page 493-494)

ISAACSON & ARFMAN, P.A.  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque New Mexico

1232PLUM.DWG20w 3/20/03

**SHEET 1 OF 1**

**NOTE**

A Portion of Tract A-1-A-1, Lands of Joel P. Taylor, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 31, 1983, in Volume C21, Folio 19, designated as a "50' Private Roadway and Utility Easement". Said easement appears to be for the joint use and benefit of Tract A-2 and Tract A-1-A-1. Maintenance of said easement is not specified on the plat of record and fee ownership appears to remain in the original owners of Tract A-1-A-1.

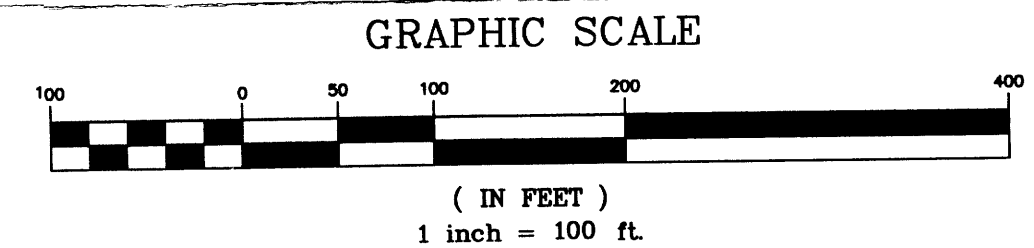
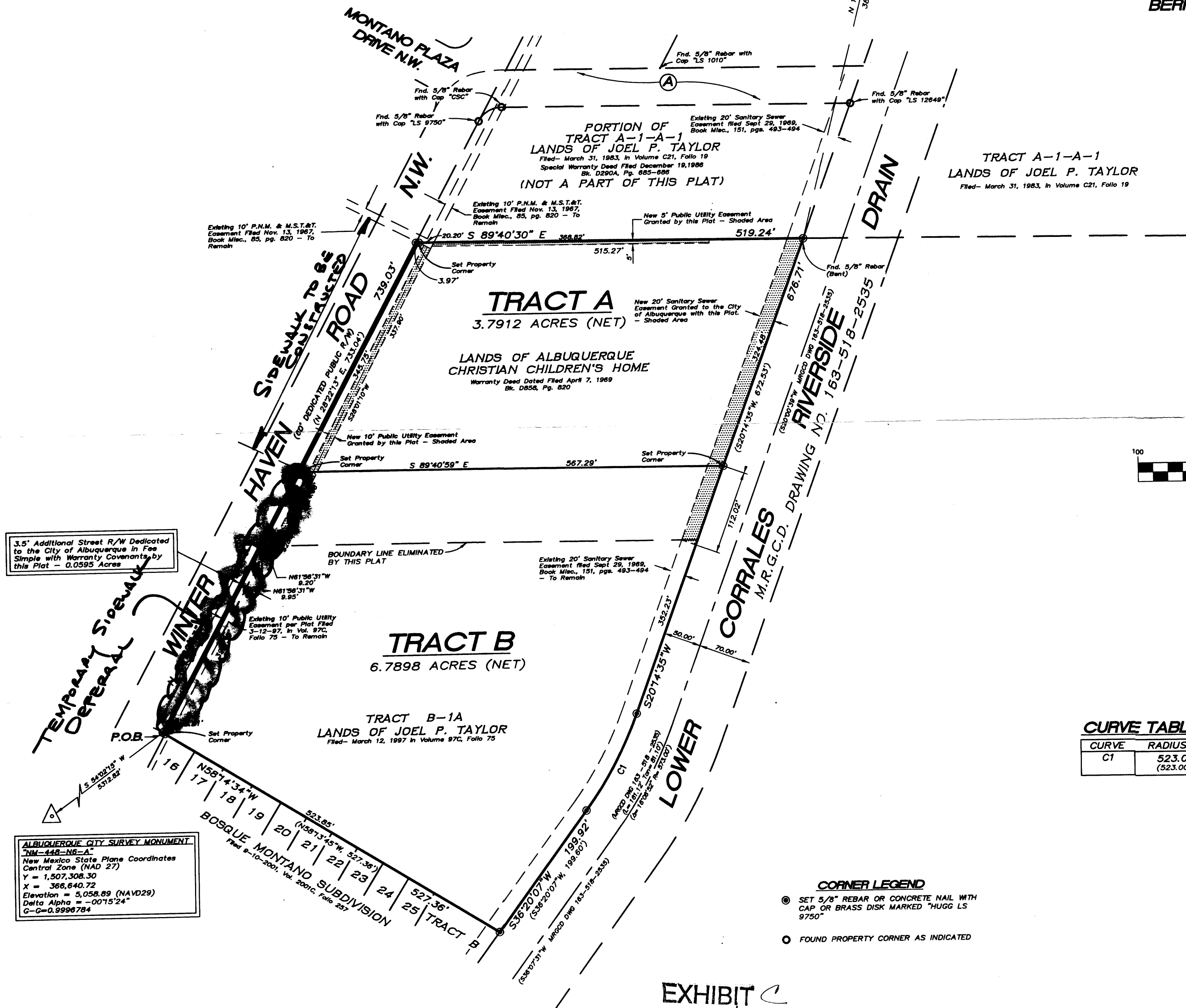
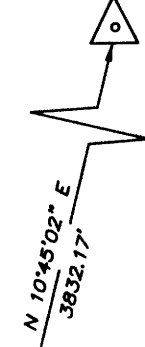
**TRACTS A AND B**  
**ALBUQUERQUE CHRISTIAN CHILDREN'S HOME**

(BEING A REPLAT OF TRACT B-1A, LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

WITHIN  
**SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

NOVEMBER, 2002

ALBUQUERQUE CITY SURVEY MONUMENT  
 "NM-448-N4"  
 New Mexico State Plane Coordinates  
 Central Zone (NAD 27)  
 Y = 1,514,838.11  
 X = 372,524.25  
 Elevation = 5,018.92 (NAVD 29)  
 Delta Alpha = -0074'44"  
 G-C=0.99967854



**CURVE TABLE**

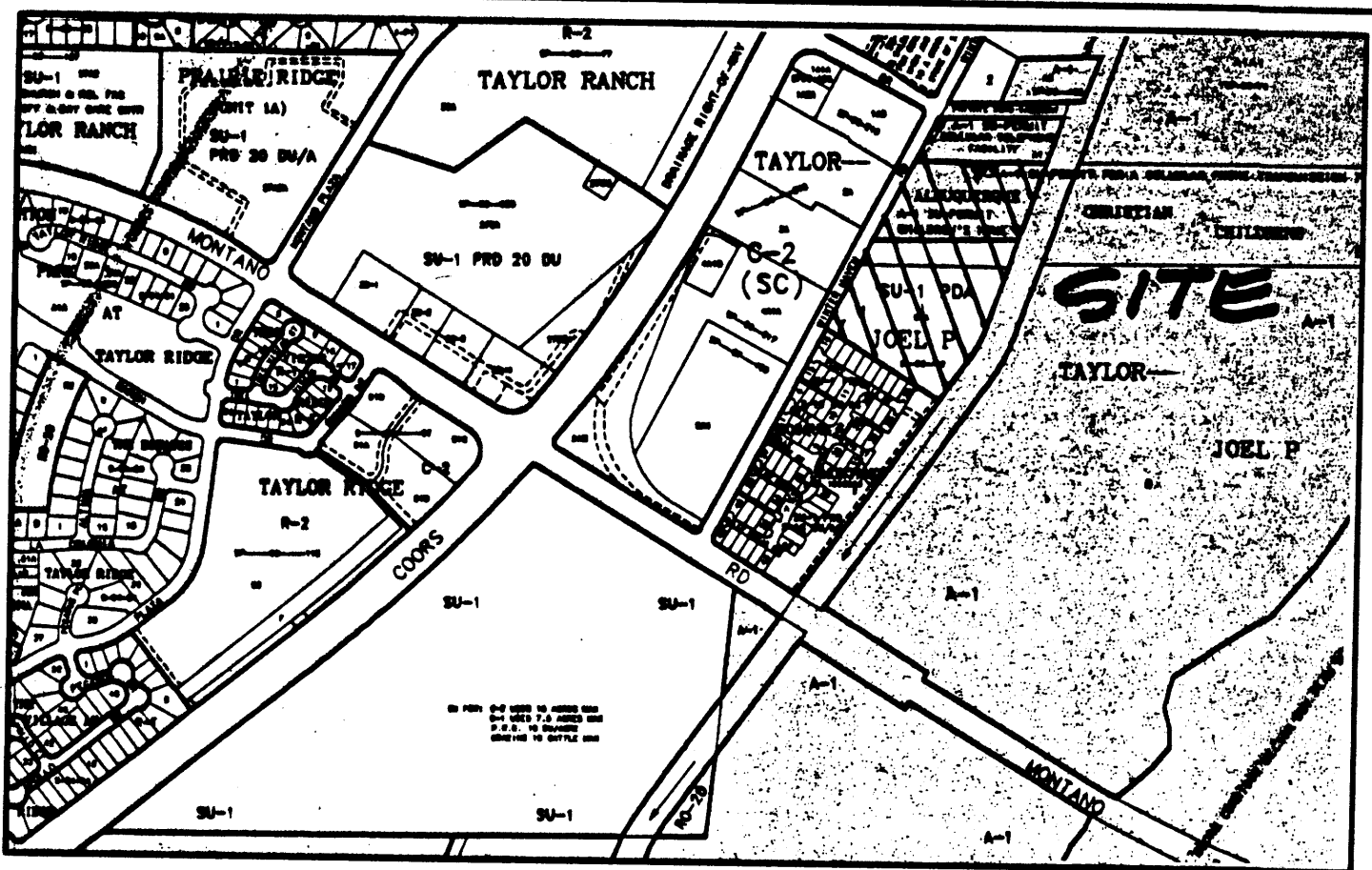
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	523.00' (523.00')	146.89' (147.15')	73.93' (74.07')	146.41' (146.67')	S28°17'21"W (S28°09'00"W)	16°05'32" (16°07'15")

**CORNER LEGEND**

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED

EXHIBIT C  
 Date 2/5/03

AGTS



VICINITY MAP  
N.T.S.

**GENERAL NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey/New Mexico State Highway Commission Monument "NM-445-N5".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of November, 2002.
- Documents used in the preparation of this survey are as follows:
  - Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A AND A-1-B OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 11, 1980, in Volume C16, Folio 104, records of Bernalillo County, New Mexico.
  - Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A-1, A-1-A-2 AND A-1-A-3 OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 31, 1983, in Volume C21, Folio 19, records of Bernalillo County, New Mexico.
  - Plat entitled "TRACTS B-1A AND B-1B, LANDS OF JOEL P. TAYLOR", filed March 12, 1997, in Volume 97C, Folio 75, records of Bernalillo County, New Mexico.
  - Plat entitled "LOTS 2 THRU 6 AND TRACTS 1 THRU 8, RIVERSIDE PLAZA", filed May 18, 1999, in Volume 99C, Folio 121, records of Bernalillo County, New Mexico.
  - Plat entitled "CORRECTED PLAT OF BOSQUE MONTANO SUBDIVISION", filed September 10, 2001, in Volume 2001C, Folio 257, records of Bernalillo County, New Mexico.
  - Unfiled survey entitled "TOPOGRAPHIC SURVEY, TRACT B-1B, LANDS OF JOEL P. TAYLOR", prepared by Precision Surveys, Inc., Albuquerque, New Mexico.
  - Warranty Deed from Joel P. Taylor and Nina Mae Taylor to Albuquerque Christian CHILDREN'S Home, Inc., filed April 7, 1989, in Book D858, Page 820, records of Bernalillo County, New Mexico.
  - Warranty Deed, filed December 26, 1972, in Book D933, Page 382, records of Bernalillo County, New Mexico.
  - Special Warranty Deed, filed December 19, 1986, in Book D290A, Page 685, records of Bernalillo County, New Mexico.
  - City of Albuquerque Zone Atlas Page: E-12-Z
  - U.C.L.S. Log Number 2002462546

**DISCLOSURE STATEMENT**

The purpose of this plat is to eliminate the boundary lines between two existing parcels and to create two new parcels. Grant public utility and sanitary sewer easements as shown hereon. Dedicate street right of way.

002916

**TRACTS A AND B  
ALBUQUERQUE CHRISTIAN CHILDREN'S HOME**

(BEING A REPLAT OF TRACT B-1A, LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

WITHIN  
**SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO**

NOVEMBER, 2002



ALBUQUERQUE COUNTY CLERK OF RECORD  
*Albuquerque Christian Children's Home*  
*Conchita Ruervo 2/14/03*

**TREASURER'S CERTIFICATION**

This is to certify that taxes are current and paid on the following property:

- UPC# 101206234525210225 Albuquerque Christian Children's Home
- UPC# 101206234523010236 Albuquerque Christian Children's Home
- UPC# 101206233019010235 Albuquerque Christian Children's Home

Bernalillo County Treasurer's Office

Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**APPROVALS**

- Rita Eickson* 12-6-02  
PNM Gas Services Date
- Rita Eickson* 12-6-02  
PNM Electric Services Date
- Dave R. Muller* 12-05-02  
QWest Corporation Date
- Rita Eickson* 12-06-02  
Comcast Digital Cable Date
- ASB* 12/12/02  
Middle Rio Grande Conservancy District Date

**NOTE**

City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.

**APPROVALS**

- Richard D. Daulton* 2-13-03  
Traffic Engineer, City of Albuquerque  
Public Works Department Date
- John B. Hest* 12-5-02  
City Surveyor, City of Albuquerque  
Public Works Department Date
- Roger A. Huen* 2/5/03  
Utility Development Division, City of Albuquerque  
Public Works Department Date
- Martin W. Gresham* 2/6/03  
Albuquerque Metropolitan Arroyo Flood Control Authority Date
- Bradley K. Bihun* 2/5/03  
City Engineer, City of Albuquerque  
Public Works Department Date
- John H. Howell* 2-11-03  
Property Management, City of Albuquerque Date
- Christina Sanderson* 2/10/03  
Parks and Recreation, City of Albuquerque Date
- Sharon Nelson* 2/5/03  
Chair, Albuquerque Development Review Board Date

APPROVAL as specified by the Albuquerque Subdivision Ordinance.

Project No. 1002517  
Application No. 02 DRB-1860

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*Russ P. Hugg*  
Russ P. Hugg  
NMPS No. 9750  
November 14, 2002



**SURV TEK, INC.**  
Consulting Surveyors

6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377



**TRACTS A AND B**  
**ALBUQUERQUE CHRISTIAN CHILDREN'S HOME**

(BEING A REPLAT OF TRACT B-1A, LANDS OF JOEL P. TAYLOR AND UNPLATTED  
LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

WITHIN

**SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

NOVEMBER, 2002

**LEGAL DESCRIPTION**

That certain parcel of land situate within Section 25, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B-1A, Lands of Joel P. Taylor, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 12, 1997, in Volume 97C, Folio 75, together with unplatted lands of Albuquerque Christian Children's Home, Inc. as conveyed by Warranty Deed filed April 7, 1969, in Book D858, Page 820, Warranty Deed filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on December 26, 1972, in Book D933, Folio 382, being more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Grid Bearings (Central Zone - NAD27) and ground distances as follows:

Beginning at the Southwest corner (a concrete nail with brass disk stamped "LS 9750" found in place) of the parcel herein described, said point being the Southwest corner of said Tract B-1A, Lands of Joel P. Taylor, said point also being on the Southeasterly right of way line of Winter Haven Road N.W., from whence the Albuquerque Control Survey/New Mexico State Highway Commission Monument "NM448-N6-A" bears S 54°02'15" W, 5312.82 feet distant; Thence,

- N 28°22'13" E, 739.03 feet along said Southeasterly right of way line of Winter Haven Road N.W. to the Northwest corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 9750" found in place), said point being the Southwest corner of a portion of Tract A-1-A-1, Lands of Joel P. Taylor, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 31, 1983, in Volume C21, Folio 19, said portion as described by Special Warranty Deed filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on December 19, 1986, in Book D290A, Page 685; Thence,
- S 89°40'30" E, 519.24 feet to the Northeast corner of the parcel herein described (a 5/8" rebar found in place), said point being on the Westerly right of way line of the Lower Corrales Riverside Drain; Thence along said Westerly right of way line of the Lower Corrales Riverside Drain for the following three (3) courses,
- S 20°10'28" W, 191.71 feet to a point (a 5/8" rebar found in place); Thence,
- S 20°14'35" W, 676.71 feet to a point of curvature (a 5/8" rebar with cap stamped "LS 9750" found in place); Thence,
- Southwesterly, 146.89 feet on the arc of a curve to the right (said curve having a radius of 523.00 feet, a central angle of 16°05'32" and a chord which bears S 28°17'21" W, 146.41 feet) to a point of tangency (a 5/8" rebar with cap stamped "LS 9750" found in place); Thence,
- S 36°20'07" W, 199.92 feet to the Southeast corner (a concrete nail with brass disk stamped "LS 9750" found in place) of the parcel herein described, said point being the Northeast corner of Tract B, Bosque Montano Subdivision, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 2001, in Volume 2001C, Folio 257; Thence,
- N 58°14'34" W, 527.36 feet along the Northerly boundary line of said Bosque Montano Subdivision to the point of beginning of the parcel herein described.

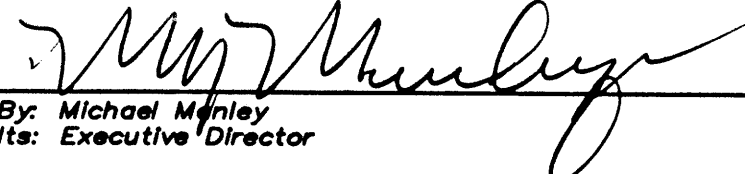
Said parcel contains 10.6405 acres, more or less.

**DEDICATION**

SURVEYED and REPLATTED and now comprising TRACTS A AND B, LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME (BEING A REPLAT OF TRACT B-1A, LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to the elimination of tract and deed lines as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate street right of way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant public utility easements to the use of the public forever, and all other new easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

ALBUQUERQUE CHRISTIAN CHILDREN'S HOME, a New Mexico non-profit corporation


OWNER: Tract B-1A, Lands of Joel P. Taylor and Unplatted Lands of Albuquerque Christian Children's Home

  
By: Michael Manley  
Its: Executive Director

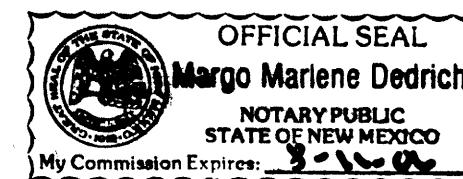
**ACKNOWLEDGEMENT**

STATE OF  
COUNTY OF

This instrument was acknowledged before me on this 27<sup>th</sup> day of November, 2003, by Michael Manley, Executive Director of Albuquerque Christian Children's Home, a New Mexico non-profit corporation, on behalf of said corporation.

  
Notary Public

My Commission expires: 8-11-06



APPROVED on the condition that all rights of the Middle Rio Grande Conservancy District in easements, rights of way, assessments and liens, are fully reserved to said District, and that if provision for irrigation source and easements are not provided for by the subdivider for the subdivision, addition, or plat, said District is absolved of all obligations to furnish irrigation waters and services to any portions thereof, other than from existing turnouts.

APPROVED  DATE 12/13/02



**NOTE**

Ⓐ Portion of Tract A-1-A-1, Lands of Joel P. Taylor, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 31, 1983, in Volume C21, Folio 19, designated as a "50' Private Roadway and Utility Easement". Said easement appears to be for the joint use and benefit of Tract A-2 and Tract A-1-A-1. Maintenance of said easement is not specified on the plat of record and fee ownership appears to remain in the original owners of Tract A-1-A-1.

**TRACTS A AND B  
ALBUQUERQUE CHRISTIAN CHILDREN'S HOME**

(BEING A REPLAT OF TRACT B-1A, LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

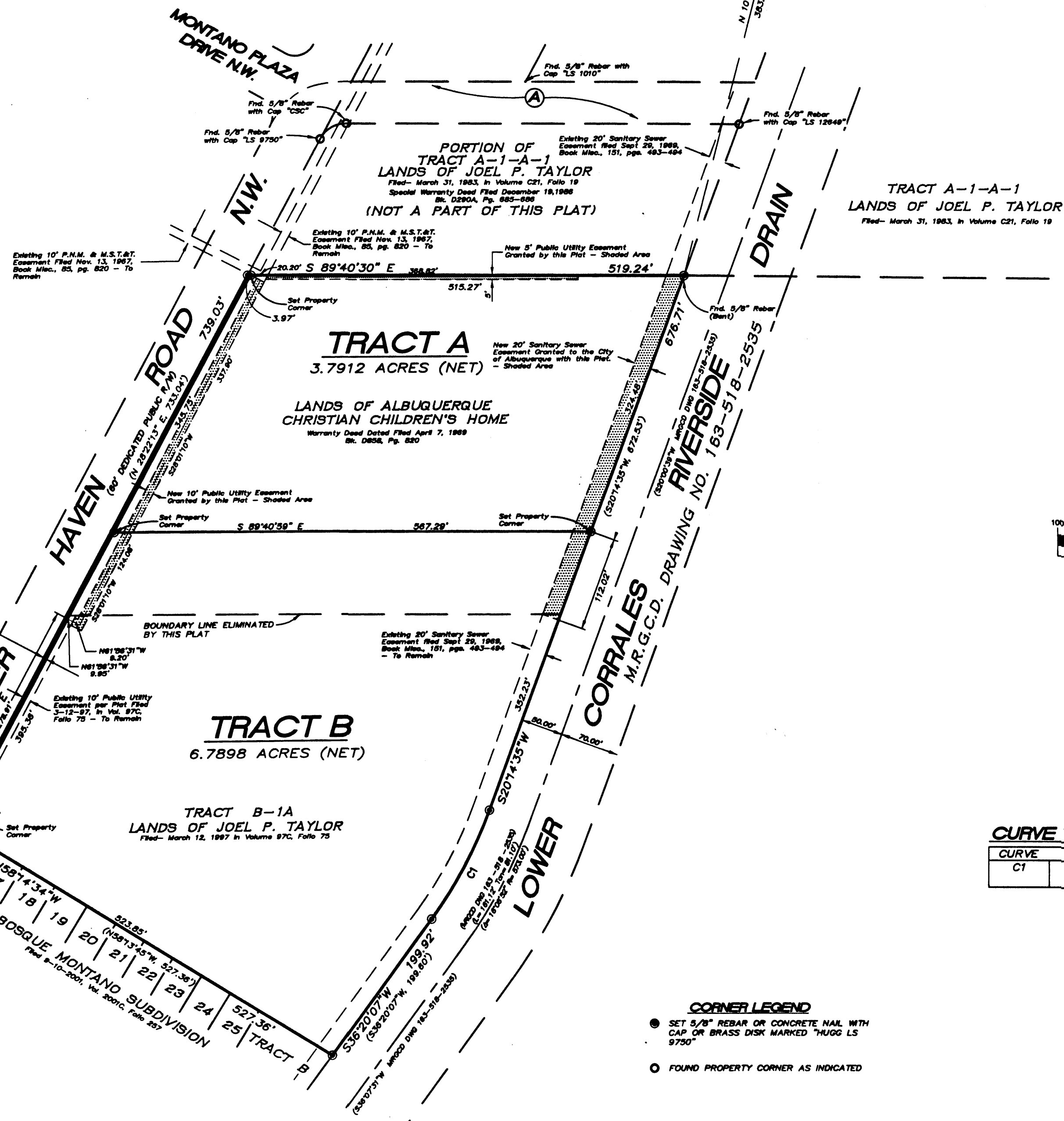
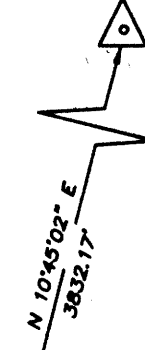
WITHIN

**SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO**

NOVEMBER, 2002

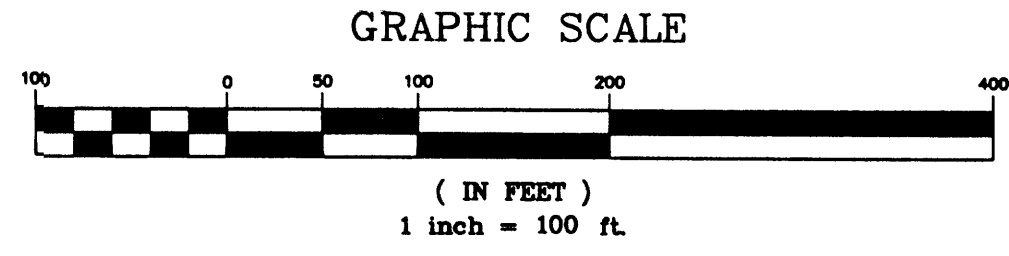
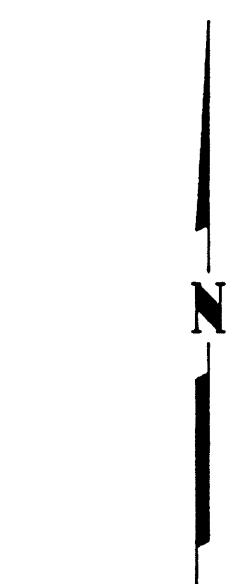


**ALBUQUERQUE CITY SURVEY MONUMENT  
"NM-448-NB"**  
New Mexico State Plane Coordinates  
Central Zone (NAD 27)  
Y = 1,514,838.11  
X = 372,524.25  
Elevation = 5,018.92 (NAVD 29)  
Delta Alpha = -00°14'44"  
G-G=0.99987854



3.5' Additional Street R/W Dedicated to the City of Albuquerque in Fee Simple with Warranty Covenants by this Plat - 0.0595 Acres

**ALBUQUERQUE CITY SURVEY MONUMENT  
"NM-448-NB-A"**  
New Mexico State Plane Coordinates  
Central Zone (NAD 27)  
Y = 1,507,308.30  
X = 386,640.72  
Elevation = 5,058.89 (NAVD29)  
Delta Alpha = -00°15'24"  
G-G=0.9998784



**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	523.00' (523.00')	146.89' (147.15')	73.93' (74.07')	146.41' (146.67')	S28°17'21"W (S28°09'00"W)	16°05'32" (16°07'15")

**CORNER LEGEND**

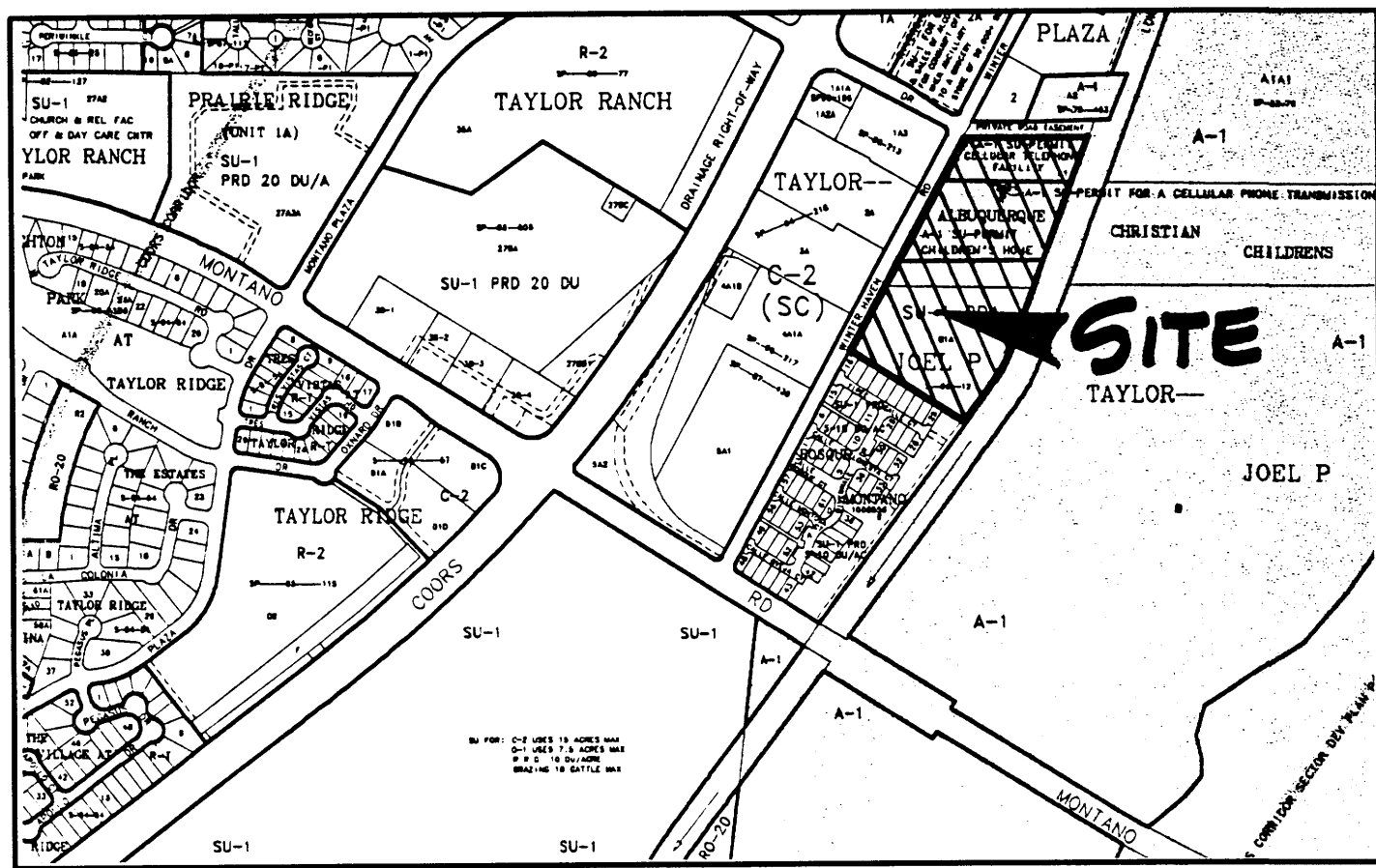
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED

**TRACTS A AND B**  
**ALBUQUERQUE CHRISTIAN CHILDREN'S HOME**

(BEING A REPLAT OF A PORTION OF TRACT A-1-A-1 AND ALL OF TRACT B-1A,  
 LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN  
 CHILDREN'S HOME)

WITHIN  
**SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

NOVEMBER, 2002



**VICINITY MAP**  
 N. T.S.

**GENERAL NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey/New Mexico State Highway Commission Monument "NM-448-N8".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of November, 2002.
- Documents used in the preparation of this survey are as follows:
  - Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A AND A-1-B OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 11, 1980, in Volume C16, Folio 104, records of Bernalillo County, New Mexico.
  - Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A-1, A-1-A-2 AND A-1-A-3 OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 31, 1983, in Volume C21, Folio 19, records of Bernalillo County, New Mexico.
  - Plat entitled "TRACTS B-1A AND B-1B, LANDS OF JOEL P. TAYLOR", filed March 12, 1997, in Volume 97C, Folio 75, records of Bernalillo County, New Mexico.
  - Plat entitled "LOTS 2 THRU 6 AND TRACTS 1 THRU 8, RIVERSIDE PLAZA", filed May 18, 1999, in Volume 99C, Folio 121, records of Bernalillo County, New Mexico.
  - Plat entitled "CORRECTED PLAT OF BOSQUE MONTANO SUBDIVISION", filed September 10, 2001, in Volume 2001C, Folio 257, records of Bernalillo County, New Mexico.
  - Unfiled survey entitled "TOPOGRAPHIC SURVEY, TRACT B-1B, LANDS OF JOEL P. TAYLOR", prepared by Precision Surveys, Inc., Albuquerque, New Mexico.
  - Warranty Deed from Joel P. Taylor and Nina Mae Taylor to Albuquerque Christian CHILDREN'S Home, Inc., filed April 7, 1989, in Book D85B, Page 820, records of Bernalillo County, New Mexico.
  - Warranty Deed, filed December 26, 1972, in Book D933, Page 382, records of Bernalillo County, New Mexico.
  - Special Warranty Deed, filed December 19, 1986, in Book D290A, Page 685, records of Bernalillo County, New Mexico.
  - City of Albuquerque Zone Atlas Page: E-12-Z
  - U.C.L.S. Log Number 2002462546

**DISCLOSURE STATEMENT**

The purpose of this plat is to eliminate the boundary lines between three existing parcels and to create two new parcels. Grant public utility and sanitary sewer easements as shown hereon.

**TREASURER'S CERTIFICATION**

This is to certify that taxes are current and paid on the following property:

- UPC# 101206236527510219 Albuquerque Christian Children's Home  
 UPC# 101206234525210225 Albuquerque Christian Children's Home  
 UPC# 101206234523010236 Albuquerque Christian Children's Home  
 UPC# 101206233019010235 Albuquerque Christian Children's Home

Bernalillo County Treasurer's Office \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
- QWest Corporation for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.
- Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**APPROVALS**

- Rita Eickson 12-6-02  
 PNM Gas Services Date
- Rita Eickson 12-6-02  
 PNM Electric Services Date
- Daniel R. Muller 12-05-02  
 QWest Corporation Date
- Rita Eickson 12-06-02  
 Comcast Digital Cable Date
- \_\_\_\_\_  
 Middle Rio Grande Conservancy District Date

**NOTE**

City of Albuquerque Water and Sanitary Sewer Service to the properties shown hereon must be verified and coordinated with the Public Works Department, City of Albuquerque.

**APPROVALS**

- \_\_\_\_\_  
 Traffic Engineer, City of Albuquerque  
 Public Works Department Date  
 12-5-02
- \_\_\_\_\_  
 City Surveyor, City of Albuquerque  
 Public Works Department Date
- \_\_\_\_\_  
 Utility Development Division, City of  
 Albuquerque Public Works Department Date
- \_\_\_\_\_  
 Albuquerque Metropolitan Arroyo Flood  
 Control Authority Date
- \_\_\_\_\_  
 City Engineer, City of Albuquerque  
 Public Works Department Date
- \_\_\_\_\_  
 Property Management, City of Albuquerque Date
- \_\_\_\_\_  
 Parks and Recreation, City of Albuquerque Date
- APPROVAL as specified by the Albuquerque Subdivision Ordinance.
- \_\_\_\_\_  
 Chair, Albuquerque Development Review Board Date
- Project No. \_\_\_\_\_
- Application No. \_\_\_\_\_

*Preliminary Plat  
 Approved 2, 5/03*

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
 N.M.P.S. No. 9750  
 November 14, 2002



**SURVOTEK, INC.**

Consulting Surveyors  
 6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366  
 Fax: 505-897-3377

**TRACTS A AND B**  
**ALBUQUERQUE CHRISTIAN CHILDREN'S HOME**

(BEING A REPLAT OF A PORTION OF TRACT A-1-A-1 AND ALL OF TRACT B-1A,  
 LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN  
 CHILDREN'S HOME)

WITHIN  
**SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

NOVEMBER, 2002

**LEGAL DESCRIPTION**

That certain parcel of land situate within Section 25, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B-1A, Lands of Joel P. Taylor, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 12, 1997, in Volume 97C, Folio 75, together with unplatted lands of Albuquerque Christian Children's Home, Inc. as conveyed by Warranty Deed filed April 7, 1969, in Book D858, Page 820, Warranty Deed filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on December 26, 1972, in Book D933, Folio 382, and also being portion of Tract A-1-A-1, Lands of Joel P. Taylor, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 31, 1983, in Volume C21, Folio 19, said portion also being described by Special Warranty Deed filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on December 19, 1986, in Book D290A, Page 685, being more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Grid Bearings (Central Zone - NAD27) and ground distances as follows:

Beginning at the Southwest corner (a set concrete nail with brass disk stamped "LS 9750") of the parcel herein described, said point being the Southwest corner of said Tract B-1A, Lands of Joel P. Taylor, said point also being on the Southeasterly right of way line of Winter Haven Road N.W., from whence the Albuquerque Control Survey, New Mexico State Highway Commission Monument "NM448-N6-A" bears S 54°02'15" W, 5312.82 feet distant; Thence,

- N 28°22'13" E, 921.71 feet along said Southeasterly right of way line of Winter Haven Road N.W. to a point of curvature (a set 5/8" rebar with cap stamped "LS 9750"); Thence,
- Northeasterly, 37.81 feet on the arc of a curve to the right (said curve having a radius of 35.00 feet, a central angle of 61°53'16" and a chord which bears N 59°18'51" E, 35.99 feet) to a point of tangency (a 5/8" rebar with aluminum cap stamped "CSC" found in place), said point being on the southerly line of a 50 foot Private Roadway and Utility Easement as granted on plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 11, 1980, in Volume C16, Folio 104; Thence,
- S 89°44'31" E, 467.59 feet along said southerly line to the Northeast corner (a 5/8" rebar with cap stamped "LS 12469" found in place) of the parcel herein described, said point being on the Westerly right of way line of the Lower Corrales Riverside Drain; Thence along said Westerly right of way line of the Lower Corrales Riverside Drain for the following four (4) courses,
- S 20°10'28" W, 191.71 feet to a point (a 5/8" rebar found in place); Thence,
- S 20°14'35" W, 676.71 feet to a point of curvature (a set 5/8" rebar with cap stamped "LS 9750"); Thence,
- Southwesterly, 146.89 feet on the arc of a curve to the right (said curve having a radius of 523.00 feet, a central angle of 16°05'32" and a chord which bears S 28°17'21" W, 146.41 feet) to a point of tangency (a set 5/8" rebar with cap stamped "LS 9750"); Thence,
- S 36°20'07" W, 199.92 feet to the Southeast corner (a set concrete nail with brass disk stamped "LS 9750") of the parcel herein described, said point being the Northeast corner of Tract B, Bosque Montano Subdivision, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 2001, in Volume 2001C, Folio 257; Thence,
- N 58°14'34" W, 527.36 feet along the Northerly boundary line of said Bosque Montano Subdivision to the point of beginning of the parcel herein described.

Said parcel contains 12.7209 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising TRACTS A AND B, LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME (BEING A REPLAT OF A PORTION OF TRACT A-1-A-1 AND ALL OF TRACT B-1A, LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to the elimination of tract and deed lines as shown hereon. Said owner(s) and proprietor(s) do hereby grant public utility easements to the use of the public forever, and all other new easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

ALBUQUERQUE CHRISTIAN CHILDREN'S HOME, a New Mexico non-profit corporation

OWNER: Tract B-1A, Lands of Joel P. Taylor and Unplatted Lands of Albuquerque Christian Children's Home

*Michael Manley*  
 By: Michael Manley  
 Its: Executive Director

**ACKNOWLEDGEMENT**

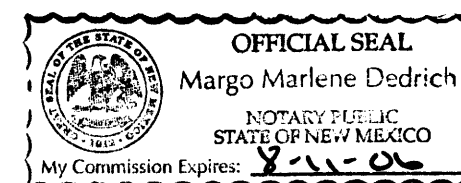
STATE OF

COUNTY OF

This instrument was acknowledged before me on this 5<sup>th</sup> day of September, 2002, by Michael Manley, Executive Director of Albuquerque Christian Children's Home, a New Mexico non-profit corporation, on behalf of said corporation.

*Margo Marlene Dedrich*  
 Notary Public

My Commission expires: 8-11-06



**NOTE**

(A) Portion of Tract A-1-A-1, Lands of Joel P. Taylor, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 31, 1983, in Volume C21, Folio 19, designated as a "50' Private Roadway and Utility Easement". Said easement appears to be for the joint use and benefit of Tract A-2 and Tract A-1-A-1. Maintenance of said easement is not specified on the plat of record and fee ownership appears to remain in the original owners of Tract A-1-A-1.

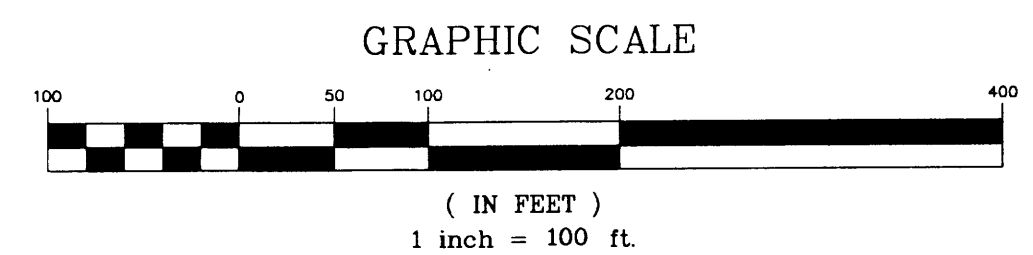
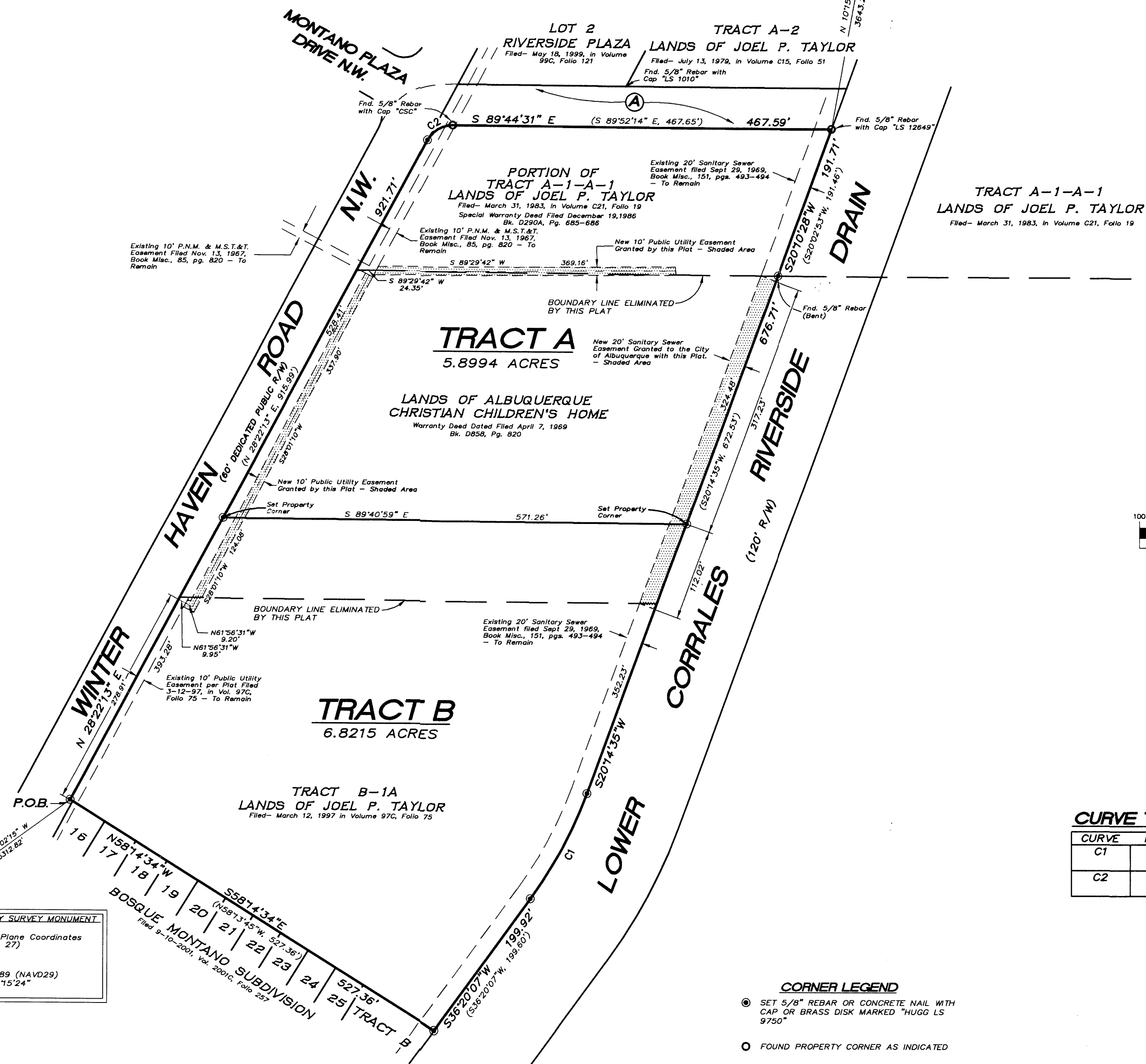
ALBUQUERQUE CITY SURVEY MONUMENT  
 "NM-448-NB"  
 New Mexico State Plane Coordinates  
 Central Zone (NAD 27)  
 Y = 1,514,838.11  
 X = 372,524.25  
 Elevation = 5,018.92 (NAVD 29)  
 Delta Alpha = -00'14"44"  
 G-G=0.99967854

**TRACTS A AND B**  
**ALBUQUERQUE CHRISTIAN CHILDREN'S HOME**

(BEING A REPLAT OF A PORTION OF TRACT A-1-A-1 AND ALL OF TRACT B-1A, LANDS OF JOEL P. TAYLOR AND UNPLATTED LANDS OF ALBUQUERQUE CHRISTIAN CHILDREN'S HOME)

WITHIN  
 SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2002



**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	523.00' (523.00')	146.89' (147.15')	73.93' (74.07')	146.41' (146.67')	S28°17'21"W (S28°09'00"W)	16°05'32" (16°07'15")
C2	35.00' (35.00')	37.81' (37.84')	20.98'	35.99' (36.03')	N59°18'51"E (N59°09'02"E)	61°53'16"

**CORNER LEGEND**

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED

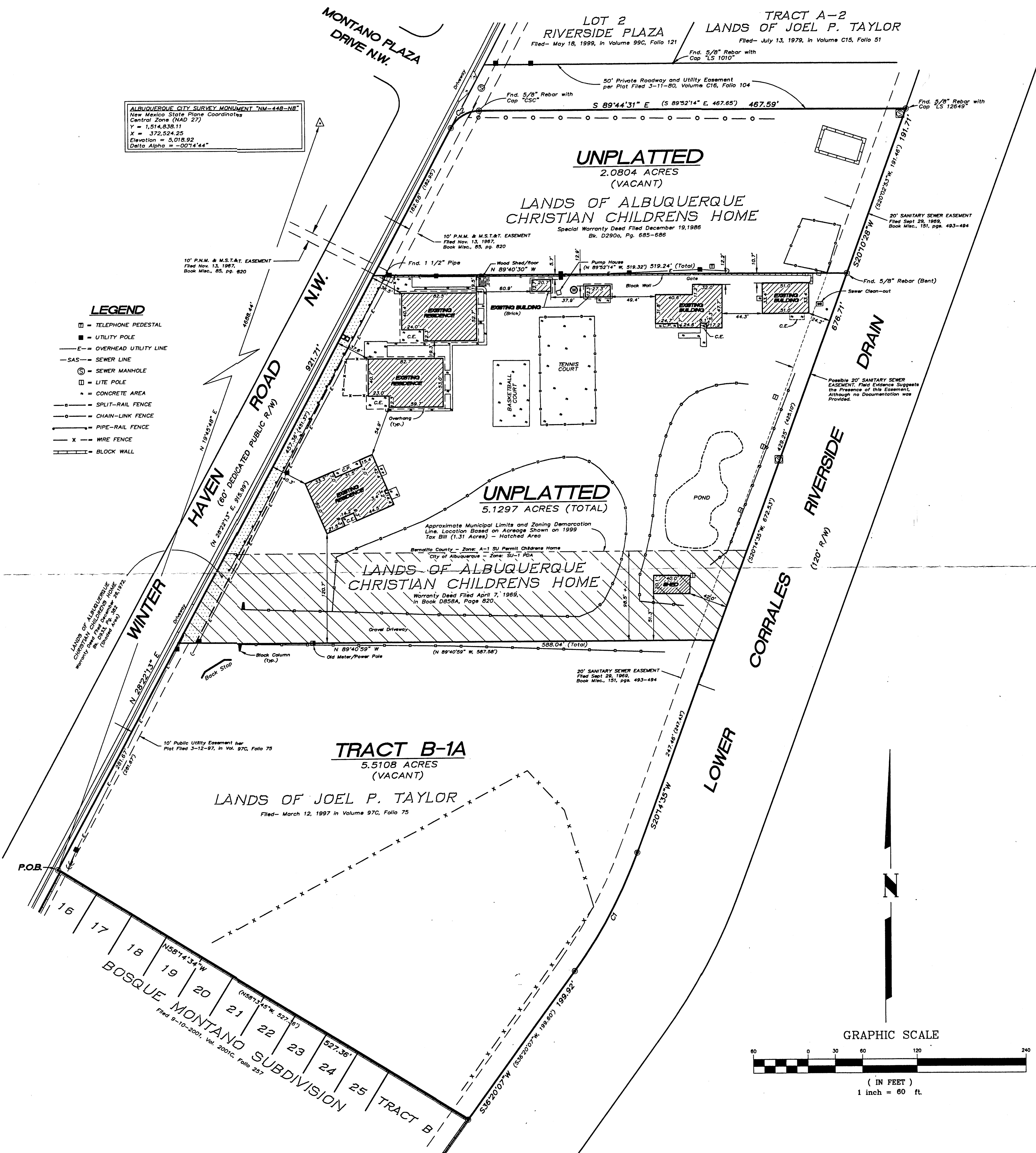


ALBUQUERQUE CITY SURVEY MONUMENT  
 "NM-448-NB-A"  
 New Mexico State Plane Coordinates  
 Central Zone (NAD 27)  
 Y = 1,507,308.30  
 X = 366,640.72  
 Elevation = 5,058.89 (NAVD29)  
 Delta Alpha = -00'13"24"  
 G-G=0.9996784

BOUNDARY SURVEY PLAT  
TRACT B-1A  
LANDS OF JOEL P. TAYLOR  
TOGETHER WITH  
UNPLATTED LANDS OF  
ALBUQUERQUE CHRISTIAN CHILDRENS HOME  
WITHIN  
SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MAY, 2002

ALBUQUERQUE CITY SURVEY MONUMENT "NM-448-NB"  
New Mexico State Plane Coordinates  
Central Zone (NAD 27)  
Y = 1,514,836.11  
X = 372,524.25  
Elevation = 5,015.92  
Delta Alpha = -007444"

- LEGEND**
- ☐ TELEPHONE PEDESTAL
  - UTILITY POLE
  - OVERHEAD UTILITY LINE
  - SAS- SEWER LINE
  - SEWER MANHOLE
  - LITE POLE
  - CONCRETE AREA
  - SPLIT-RAIL FENCE
  - CHAIN-LINK FENCE
  - PIPE-RAIL FENCE
  - WIRE FENCE
  - BLOCK WALL



**GENERAL NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey/New Mexico State Highway Commission Monument "NM-448-NB".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 5823", "HUGG L.S. 9750", "HUGG L.S. 11808" unless otherwise indicated herein.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 5823", "HUGG L.S. 9750", "HUGG L.S. 11808" or a concrete nail with brass disk stamped "HUGG L.S. 5823", "HUGG L.S. 9750", "HUGG L.S. 11808" unless otherwise indicated herein.
7. Field surveys were performed during the month of May, 2002.
8. Documents used in the preparation of this survey are as follows:
  - A. Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A AND A-1-B OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 11, 1980, in Volume C16, Folio 104, records of Bernalillo County, New Mexico.
  - B. Plat entitled "SUMMARY PLAT SHOWING TRACTS A-1-A-1, A-1-A-2 AND A-1-A-3 OF THE PLAT OF LANDS OF JOEL P. TAYLOR", filed March 31, 1983, in Volume C21, Folio 19, records of Bernalillo County, New Mexico.
  - C. Plat entitled "TRACTS B-1A AND B-1B, LANDS OF JOEL P. TAYLOR", filed March 12, 1987, in Volume 97C, Folio 75, records of Bernalillo County, New Mexico.
  - D. Plat entitled "LOTS 2 THRU 6 AND TRACTS 1 THRU 8, RIVERSIDE PLAZA", filed May 18, 1999, in Volume 99C, Folio 121, records of Bernalillo County, New Mexico.
  - E. Plat entitled "CORRECTED PLAT OF BOSQUE MONTANO SUBDIVISION", filed September 10, 2001, in Volume 2001C, Folio 257, records of Bernalillo County, New Mexico.
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  - G. Warranty Deed from Joel P. Taylor and Nina Mae Taylor to Albuquerque Christian Childrens Home, Inc., filed April 7, 1969, in Book D858, Page 820.
  - H. Warranty Deed, filed December 26, 1972, in Book D933, Page 382, records of Bernalillo County, New Mexico.
  - I. Special Warranty Deed, filed December 19, 1986, in Book D290A, Page 685, records of Bernalillo County, New Mexico.
9. City of Albuquerque Zone Atlas Page: E-12-Z
10. No title report was provided for this property. Any possible easements, conditions or restrictions that may be disclosed by such a report are not shown on this survey.

**LEGAL DESCRIPTION**

That certain parcel of land situate within Section 25, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B-1A, Lands of Joel P. Taylor, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 12, 1987, in Volume 97C, Folio 75, together with unplatted lands of Albuquerque Christian Childrens Home, Inc. as conveyed by Warranty Deed dated August 5, 1967, Warranty Deed filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on December 26, 1972, in Book D933, Folio 382, and also by Special Warranty Deed filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on December 19, 1986, in Book D290A, Page 685, being more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

Beginning at the Southwest corner (a set concrete nail with brass disk stamped "LS 9750") of the parcel herein described, said point being the Southwest corner of said Tract B-1A, Lands of Joel P. Taylor, said point also being on the Southeastly right of way line of Winter Haven Road N.W., from whence the Albuquerque Control Survey/New Mexico State Highway Commission Monument "NM448-NB" bears N 19°45'48" E, 4688.44 feet distant; Thence,

N 28° 22'13" E, 921.71 feet along said Southeastly right of way line of Winter Haven Road N.W. to a point of curvature (a set 5/8" rebar with cap stamped "LS 9750"); Thence,

Northeasterly, 37.81 feet on the arc of a curve to the right (said curve having a radius of 35.00 feet, a central angle of 61°53'16" and a chord which bears N 59°18'51" E, 35.99 feet) to a point of tangency (a 5/8" rebar with aluminum cap stamped "CSC" found in place), said point being on the southerly line of a 50 foot Private Roadway and Utility Easement as granted on a plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on March 11, 1980, in Volume C16, Folio 104; Thence,

S 89° 44'31" E, 467.59 feet along said southerly line to the Northeast corner (a 5/8" rebar with cap stamped "LS 12469" found in place) of the parcel herein described, said point being on the Westerly right of way line of the Lower Corrales Riverside Drain; Thence along said Westerly right of way line of the Lower Corrales Riverside Drain for the following four (4) courses,

S 20° 10'28" W, 191.71 feet to a point (a 5/8" rebar found in place); Thence,

S 20° 14'35" W, 676.71 feet to a point of curvature (a set 5/8" rebar with cap stamped "LS 9750"); Thence,

Southwesterly, 146.89 feet on the arc of a curve to the right (said curve having a radius of 523.00 feet, a central angle of 16°05'32" and a chord which bears S 28°17'21" W, 146.41 feet) to a point of tangency (a set 5/8" rebar with cap stamped "LS 9750"); Thence,

S 36°20'07" W, 199.92 feet to the Southeast corner (a set concrete nail with brass disk stamped "LS 9750") of the parcel herein described, said point being the Northeast corner of Tract B, Bosque Montano Subdivision, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 2001, in Volume 2001C, Folio 257; Thence,

N 58°14'34" W, 527.36 feet along the Northerly boundary line of said Bosque Montano Subdivision to the point of beginning of the parcel herein described.

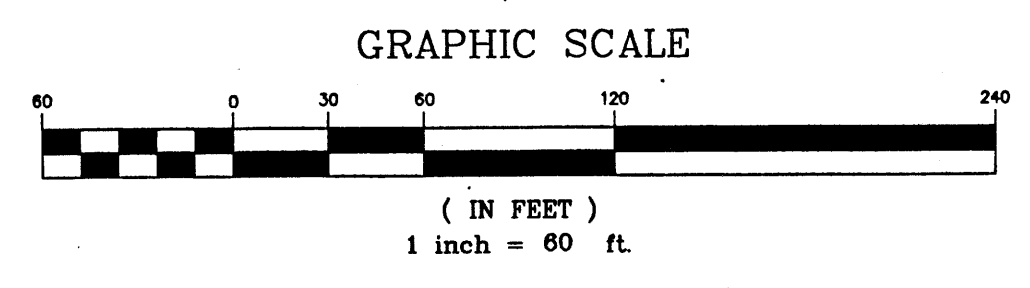
Said parcel contains 12.7209 acres, more or less.

**FLOOD ZONE DETERMINATION**

The subject property (as shown hereon) lies within Zone "X" (areas determined to be outside 500-year flood plain) in accordance with the National Flood Insurance Program Rate Map No. 35001C0118 D, Effective Date 9-20-96.

**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	523.00' (523.00')	146.89' (147.12')	73.93' (74.07')	146.41' (146.67')	S28°17'21"W (S28°19'20"W)	16°05'32" (16°12'57")
C2	35.00' (35.00')	37.81' (37.84')	20.98' (20.98')	35.99' (36.03')	N59°18'51"E (N59°19'02"E)	61°53'16"



**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this Boundary Survey Plat was prepared from an actual ground survey performed by me or under my supervision; that I am responsible for this survey; that this survey is true and correct to the best of my knowledge and belief; and that this Boundary Survey Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico; and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a Boundary Survey Plat of three existing parcels.

IN WITNESS WHEREOF, this certificate is executed at Albuquerque, New Mexico, on this 23th day of May, 2002.

*Russ P. Hugg*  
Russ P. Hugg  
N.M.P.S. No. 9750



**SURV TEK, INC.**  
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