

PROJECT NUMBER: _____
 Application Number: _____

This plan is consistent with the Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department	Date
<i>Michael Holton</i>	12-16-04
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary

- KEYED NOTES**
1. 10' PUBLIC UTILITY EASEMENT.
 2. 10' PUBLIC WATERLINE EASEMENT.
 3. 20' PRIVATE STORM DRAINAGE EASEMENT. SEE CIVIL.
 4. NEW 5" CONCRETE SIDEWALK. SEE LEGEND FOR CONCRETE COLOR.
 5. MONUMENT SIGN. SEE ELEVATION THIS SHEET.
 6. ASPHALT PAVING.
 7. PARKING AISLE CIRCLE. SEE 10A/2 FOR SECTION. SEE ELEVATIONS ON SHEET A-2.
 8. CONCRETE STANDUP CURB.
 9. DRAINAGE INLET AND GRATE.
 10. 6' HIGH DUMPSTER ENCLOSURE WITH SOLID PANEL METAL GATE.
 11. CMU WALLS WITH CEMENT STUCCO FINISH WITH PAINTED STEEL SOLID PANEL DOUBLE LEAF GATE. SEE ELEVATIONS ON SHEET A-2.
 12. PORCHED ENTRY WITH BENCH SEATING FOR 4.
 13. 5' O TREE GRATE.
 14. SITE WALL ENCLOSING VIEW GARDEN. CMU WITH CEMENT STUCCO FINISH TOP OF WALL ELEVATION = 8'-0" AFF. EL. SEE SECTION ON ELEVATION SHEET.
 15. EXISTING CMU RETAINING WALL.
 16. BICYCLE RACK (CAPACITY 5 BIKES).
 17. DROP INLET. SEE CIVIL.
 18. PRECAST CONCRETE PARKING BUMPERS. TYP.
 19. HANDICAP PARKING SIGNS. SEE AS-2.
 20. SEE CIVIL FOR RIGHT OF WAY INFRASTRUCTURE IMPROVEMENTS: NEW RADIUS ENTRY DRIVE AND CONCRETE VALLEY. NEW CONCRETE SIDEWALK. ALL TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
 21. WALL MOUNTED 12" METAL LETTERING. SEE ELEVATIONS SHEET A-3.
 22. 20' LIGHT POLE. SEE ELECTRICAL.
 23. MONUMENT SIGN: INTERNALLY LIGHTED METAL SIGN BOX (COLOR: ROSEWOOD), WITH 7" CUT OUT LETTERS (WHITE, TRANSLUCENT ACRYLIC) SUPPORTED ON 12" Ø TINTED CONCRETE POSTS (WARM TONE TAN INTEGRAL COLOR TINT) SEE DETAIL 11/AS-2.

DESIGN DATA

ZONING: C-2-SC
 OCCUPANCY TYPE: B-2
 CONSTRUCTION TYPE: 2-N
 AREA / PARKING RECAP

PHASE 1 - DENTAL CLINIC

HEATED BUILDING AREA - CLINIC	5560 SF
1ST FLOOR	
TOTAL	5560 SF

PHASE 1 PARKING

REGULAR SPACES	15
HANDICAP SPACES	2

TOTAL PARKING PROVIDED: 17 SPACES
 (REQUIRED 5 PER DOCTOR = 10)

BICYCLE RACK: 3 SPACES PROVIDED

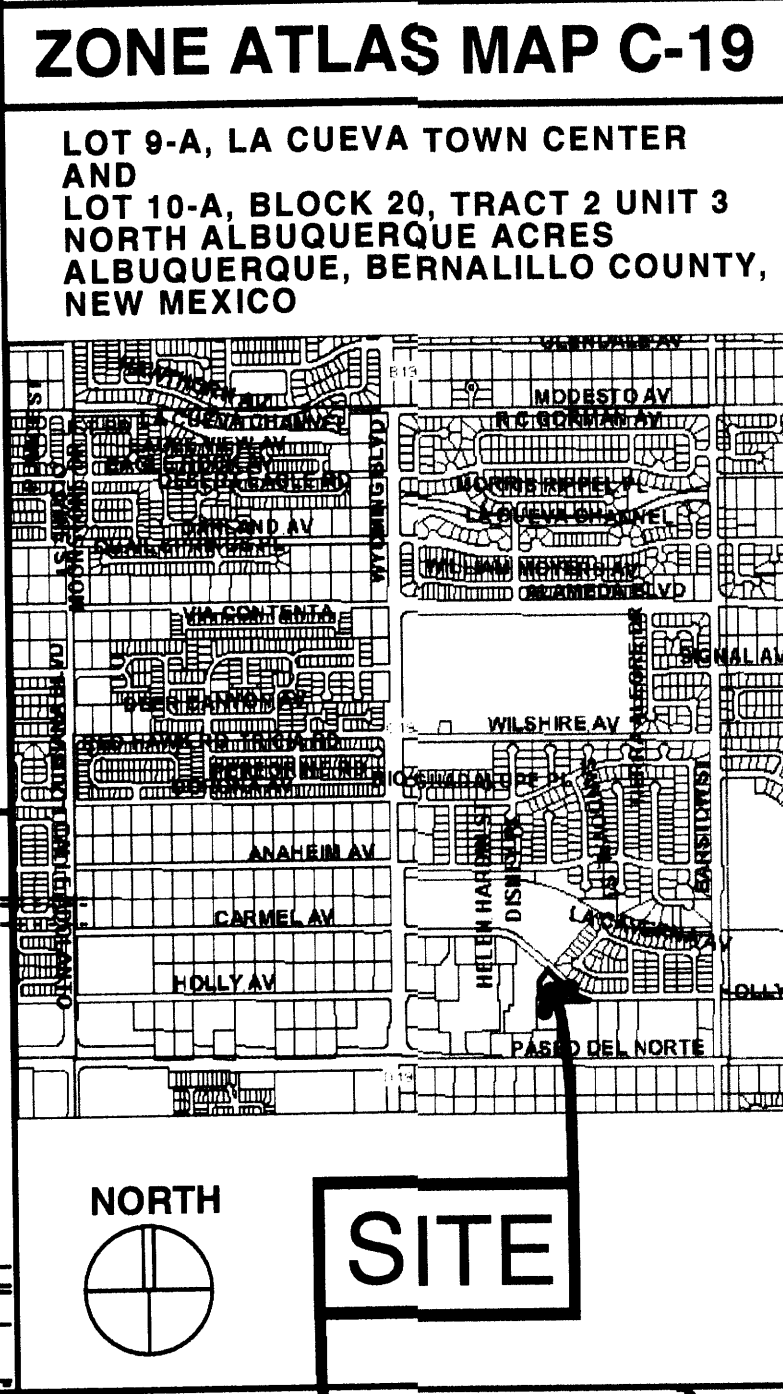
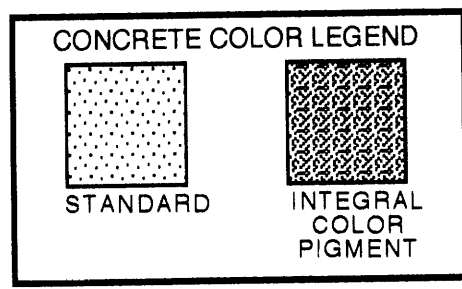
FUTURE PHASE 2 - BUILDING

HEATED BUILDING AREA - OFFICE	3200 SF
1ST FLOOR	
TOTAL	3200 SF

PHASE 2 PARKING (TO BE BUILT AS PART OF PHASE 1 CONSTRUCTION)

REGULAR SPACES	15
HANDICAP SPACES	1

TOTAL PARKING PROVIDED: 16 SPACES
 (REQUIRED 1 PER 200SF = 16)

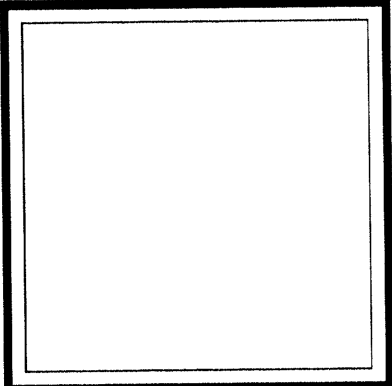
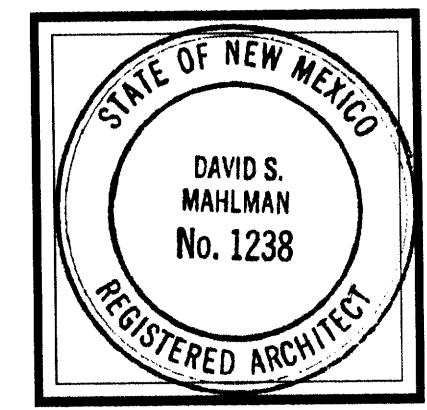
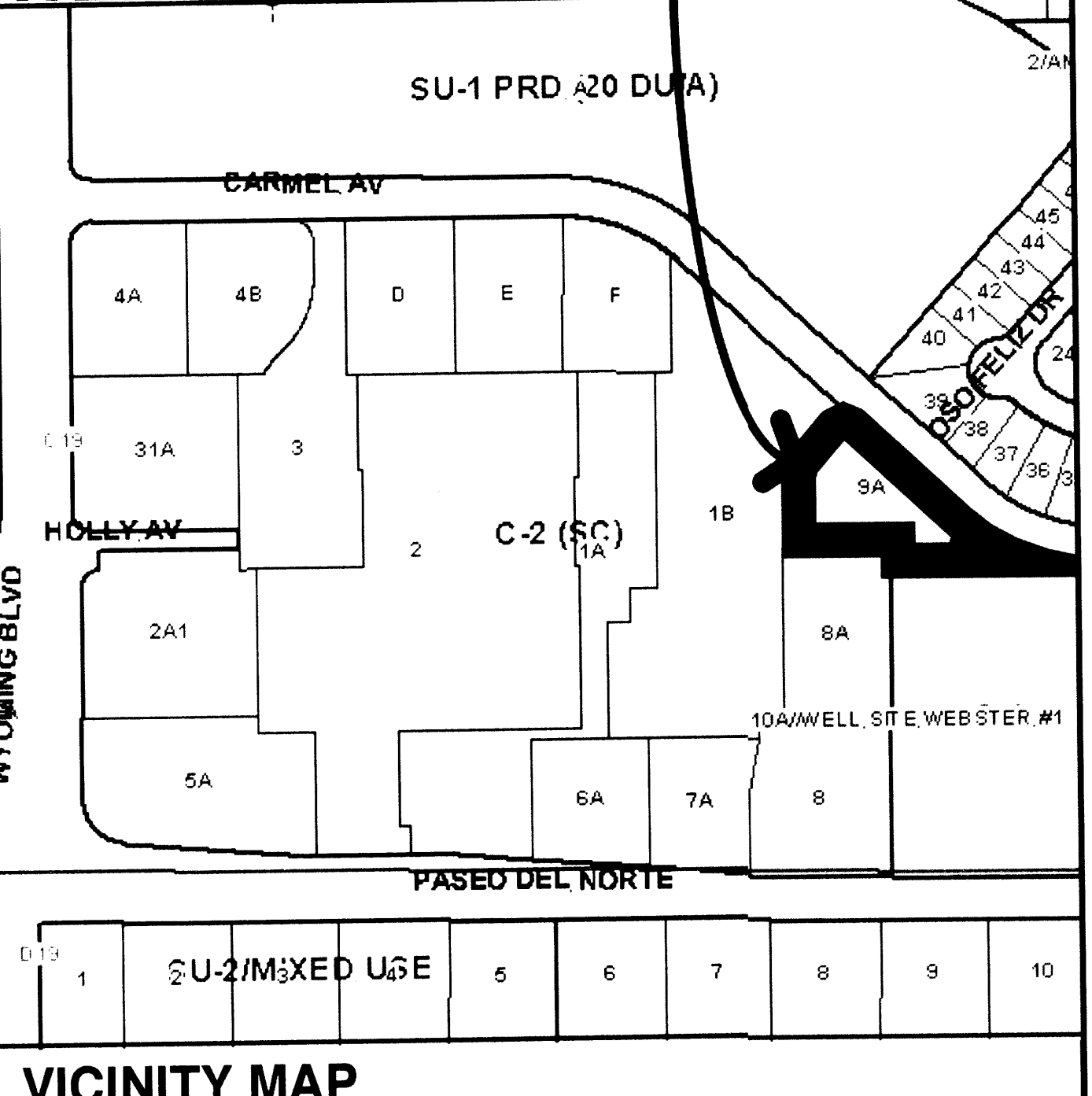
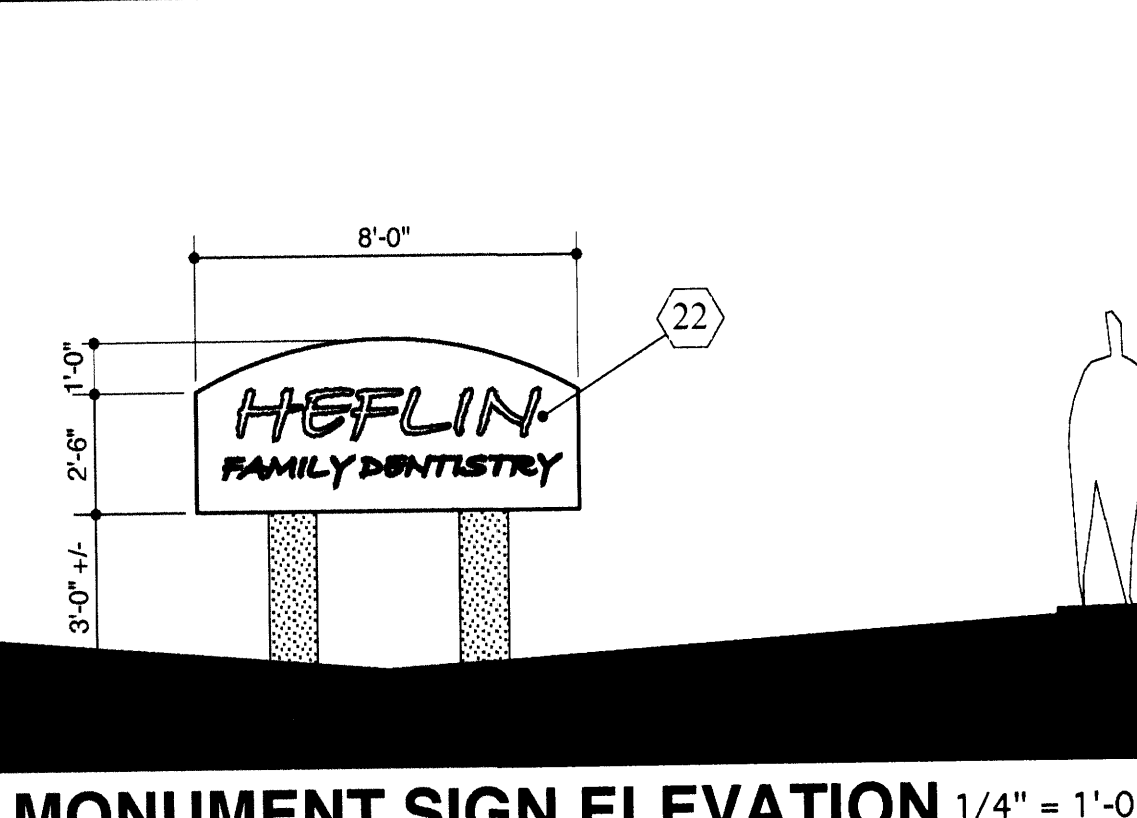


SITE PLAN 1" = 20'

AFD Plans Checking Office
 924-3611
 HYDRANTS ONLY
 Hydrants shall be installed prior to construction

APPROVED/DISAPPROVED

R.C. Sanchez 12-14-04
 Signature & Date



ARCHITECTURAL SITE PLAN

HEFLIN DENTAL CLINIC
 CARMEL NE - ALBUQUERQUE, NM
 DECEMBER 2004

MAHLMAN & MILES ARCHITECTS
 206 BRADWAY SE
 ALBUQUERQUE, NEW MEXICO 87102
 505-243-0101

AS-1

PROJECT NUMBER: 1000238
 Application Number: 04 EPC - 00491

This plan is consistent with the Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date _____
Utilities Development	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
Environmental Health Department	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

*Environmental Health, if necessary

- ### KEYED NOTES
- 1. SEE CIVIL DRAWINGS AND GENERAL MATERIALS NOTES FOR ITEMS NOT FULLY DESCRIBED BELOW.
 - 1. 10' PUBLIC UTILITY EASEMENT.
 - 2. 10' PUBLIC WATERLINE EASEMENT.
 - 3. 20' PRIVATE STORM DRAINAGE EASEMENT. SEE CIVIL.
 - 4. NEW 5" CONCRETE SIDEWALK. SEE LEGEND FOR CONCRETE COLOR.
 - 5. MONUMENT SIGN, SEE ELEVATION THIS SHEET.
 - 6. ASPHALT PAVING.
 - 7. PARKING AISLE CIRCLE. SEE 10/AS-2 FOR SECTION.
 - 8. CONCRETE STANDUP CURB.
 - 9. DRAINAGE INLET AND GRATE.
 - 10. 8' HIGH DUMPSTER ENCLOSURE WITH SOLID PANEL METAL GATE.
 - 11. PORCHED ENTRY WITH BENCH SEATING FOR 4.
 - 12. 5' Ø TREE GRATE.
 - 13. SITE WALL ENCLOSING VIEW GARDEN. CMU WITH CEMENT STUCCO FINISH TOP OF WALL ELEVATION = 8'-0" AFF. EL. SEE SECTION ON ELEVATION SHEET.
 - 14. EXISTING CMU RETAINING WALL.
 - 15. BICYCLE RACK (CAPACITY 5 BIKES).
 - 16. DROP INLET, SEE CIVIL.
 - 17. PRECAST CONCRETE PARKING BUMPERS, TYP.
 - 18. HANDICAP PARKING SIGNS. SEE AS-2.
 - 19. SEE CIVIL FOR RIGHT OF WAY INFRASTRUCTURE IMPROVEMENTS: NEW RADIUS ENTRY DRIVE AND CONCRETE VALLEY; NEW CONCRETE SIDEWALK, ALL TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
 - 20. WALL MOUNTED 12" METAL LETTERING, SEE ELEVATIONS SHEET A-3.
 - 21. 20' LIGHT POLE, SEE ELECTRICAL.
 - 22. MONUMENT SIGN: INTERNALLY LIGHTED METAL SIGN BOX (COLOR: ROSEWOOD), WITH 7" CUT OUT LETTERS (WHITE TRANSLUCENT ACRYLIC) SUPPORTED ON 12" Ø TINTED CONCRETE POSTS (WARM TONE TAN INTEGRAL COLOR TINT) SEE DETAIL 11/AS-2.
 - 23. NEW TRANSFORMER AND PAD, SEE ELECTRICAL.

DESIGN DATA

ZONING: C-2-SC
 OCCUPANCY TYPE: B-2
 CONSTRUCTION TYPE: 2-N
 CODE: UNIFORM BUILDING CODE, 1997 EDITION

AREA / PARKING RECAP

PHASE 1 - DENTAL CLINIC

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TOTAL	5560 SF

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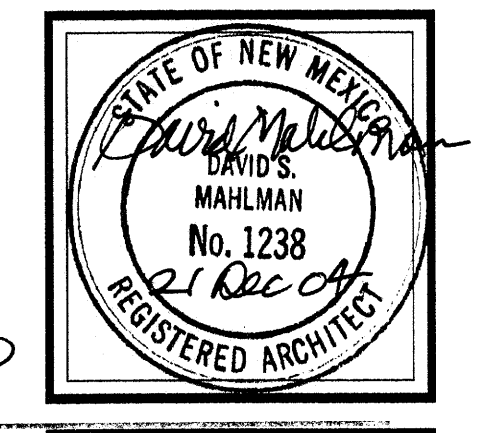
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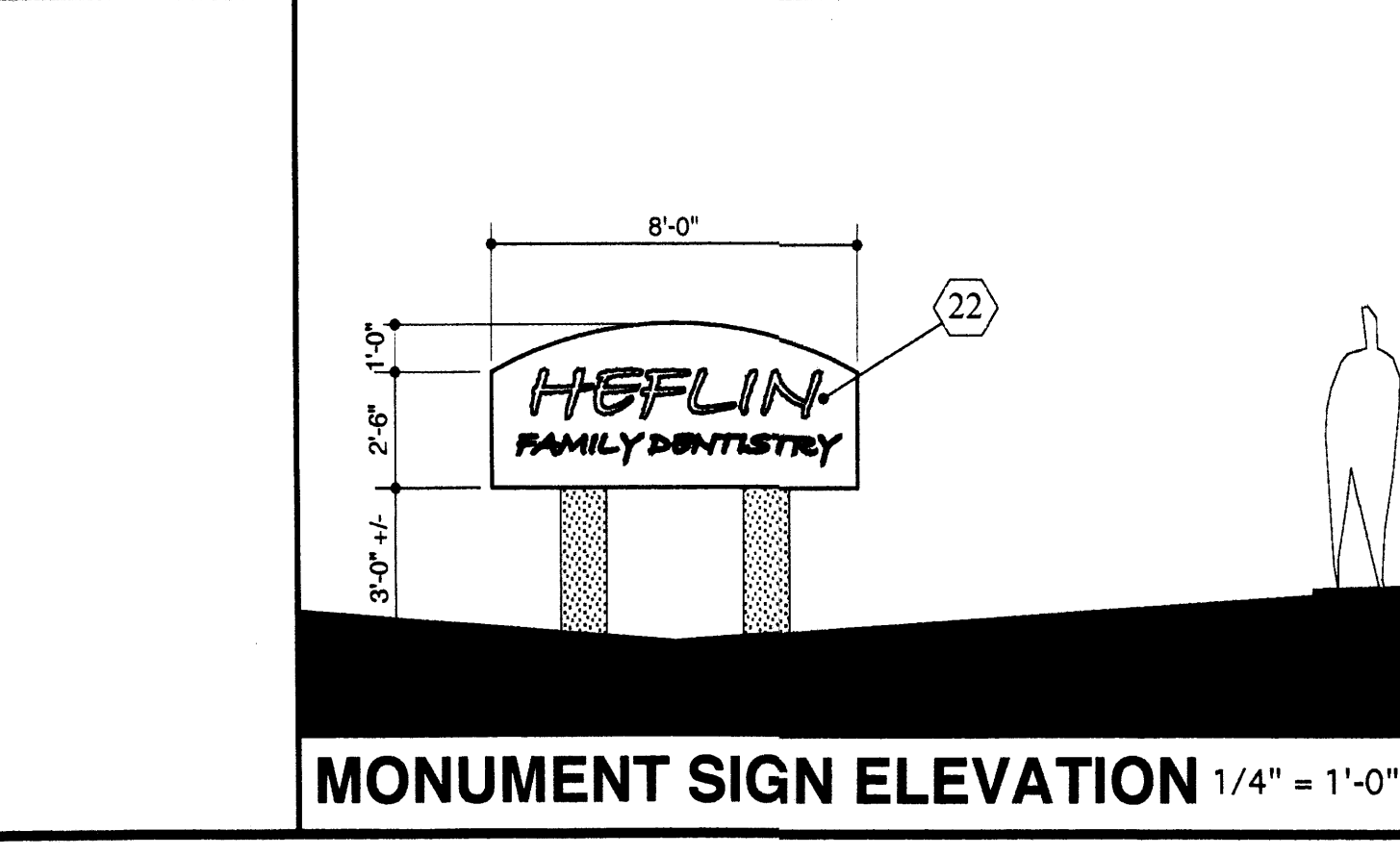
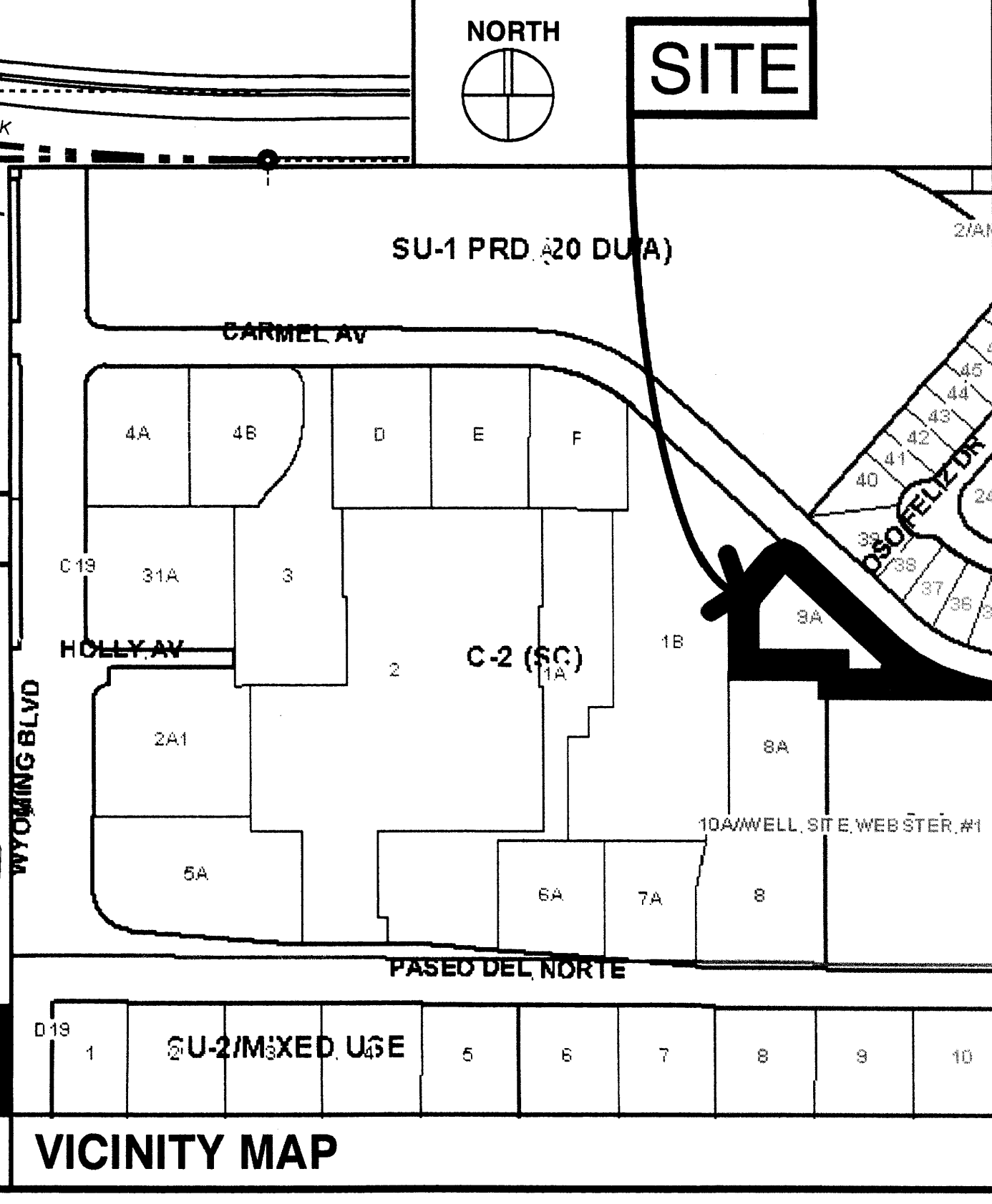
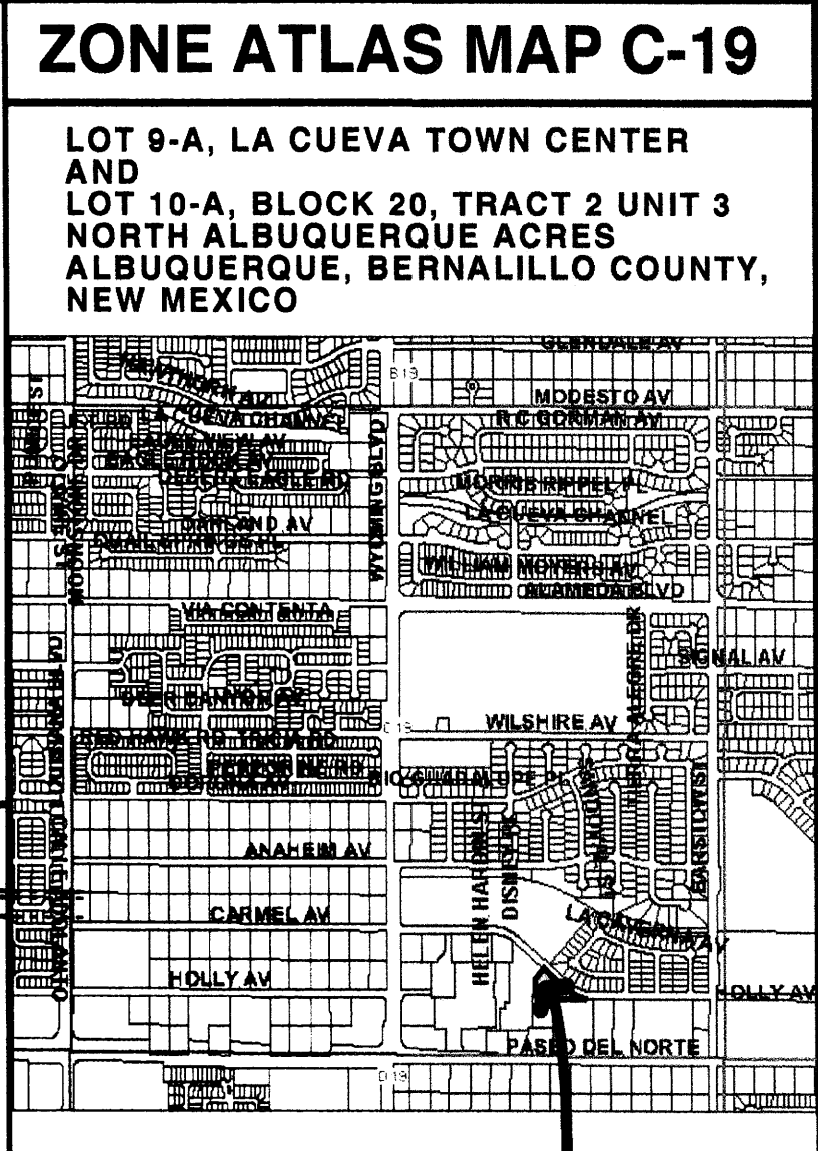
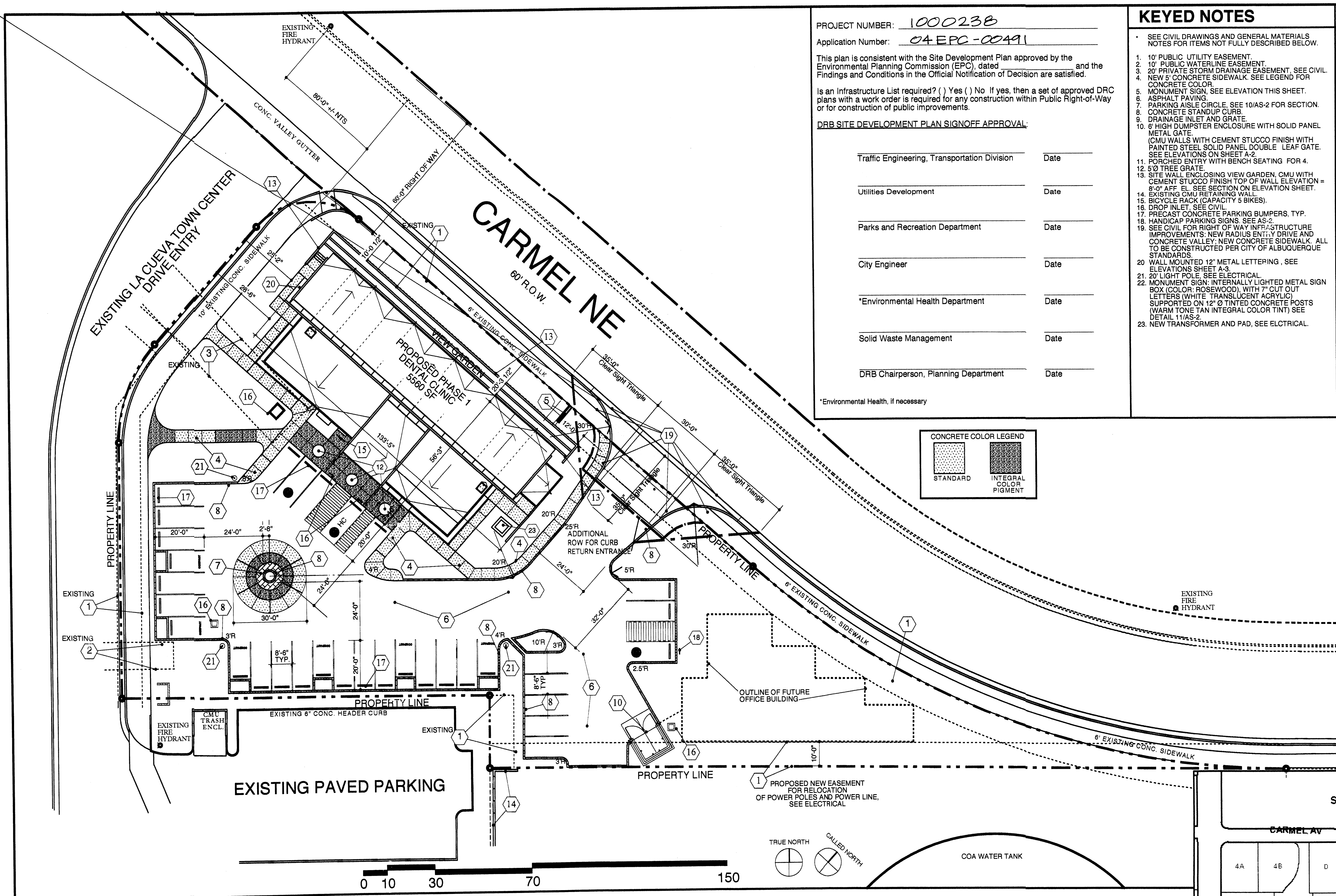
PRELIMINARY PLAN
 APPROVED BY DRB
 1/5/05

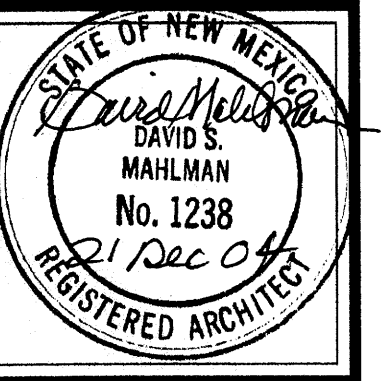
ARCHITECTURAL
 SITE PLAN

HEFLIN DENTAL CLINIC
 CARMEL NE - ALBUQUERQUE, NM
 DECEMBER 2004

MAHLMAN & MILES ARCHITECTS
 206 BROADWAY SE
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AS-1



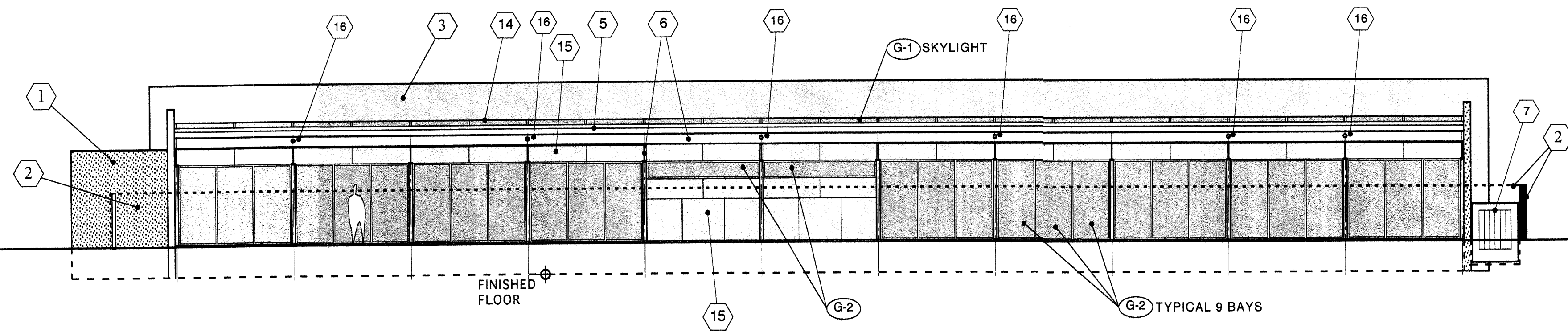


EXTERIOR ELEVATIONS

HEFLIN DENTAL CLINIC
 CARMEL NE - ALBUQUERQUE, NM
 DECEMBER 2004

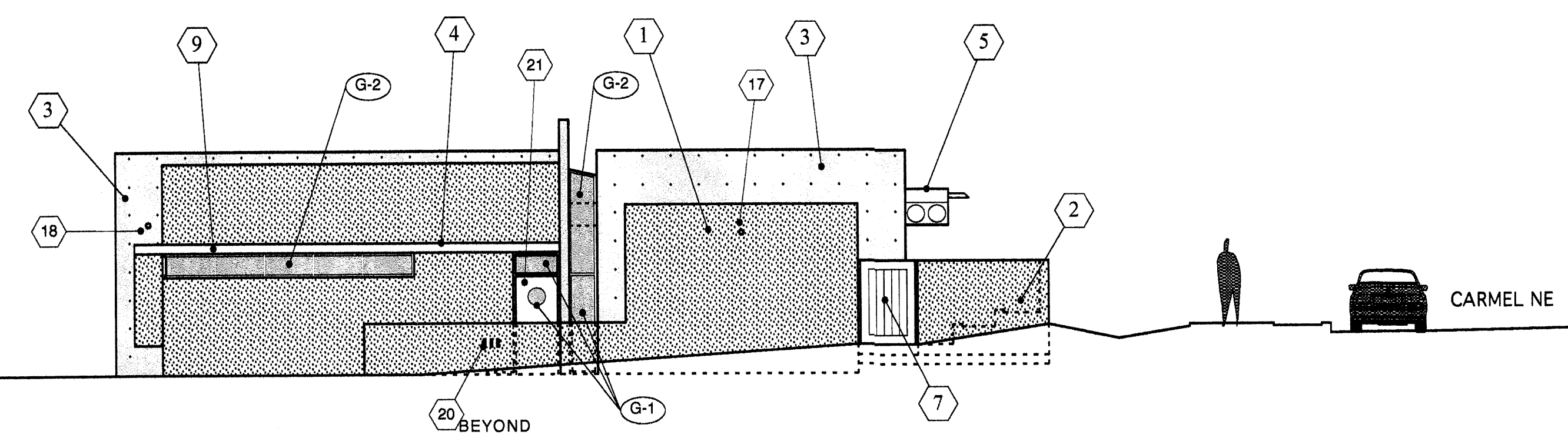
MAHLMAN & MILES ARCHITECTS
 206 BROADWAY SE
 ALBUQUERQUE, NEW MEXICO 87102
 505-243-0101

A-3.1



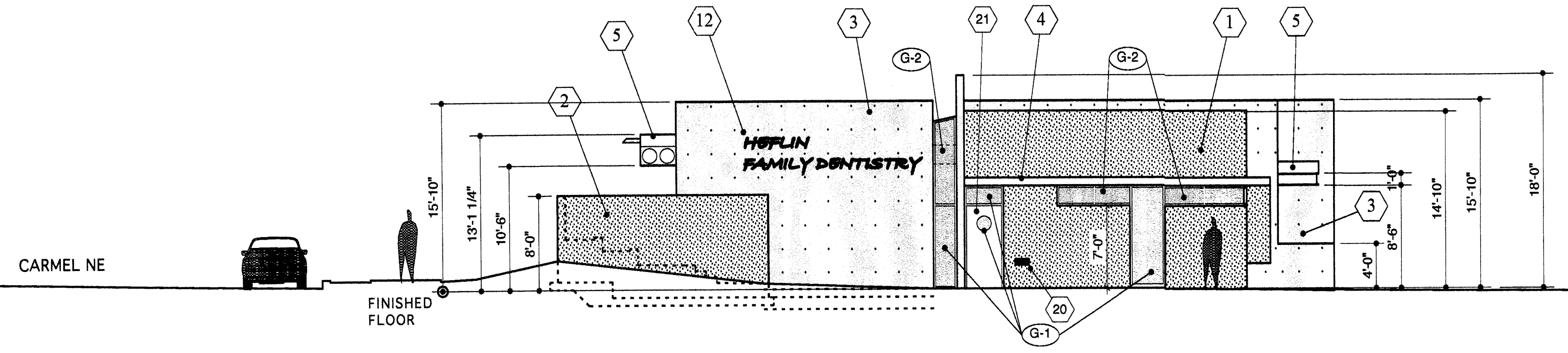
NORTH ELEVATION

1/8" = 1'-0"



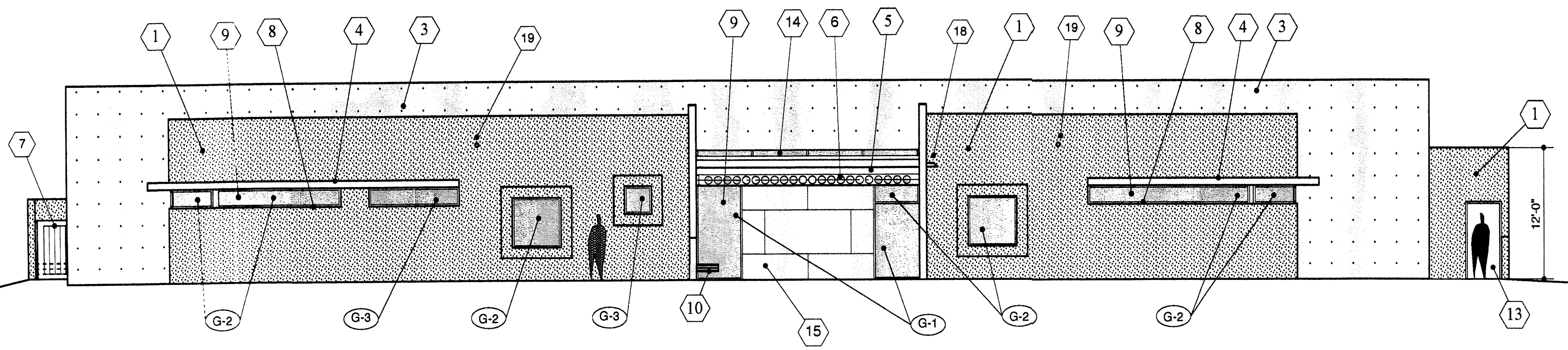
EAST ELEVATION

1/8" = 1'-0"



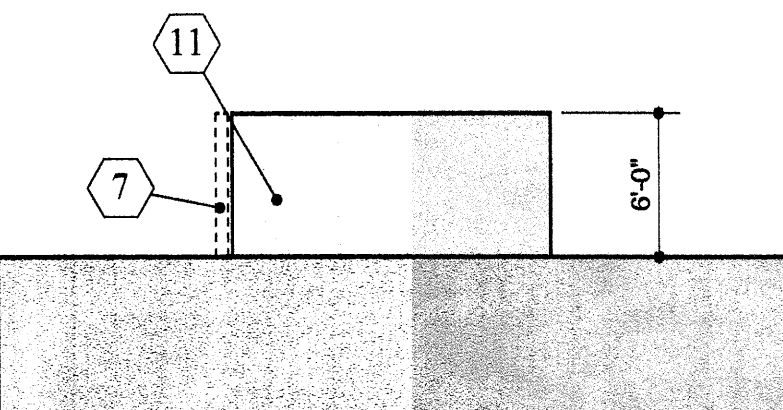
WEST ELEVATION

1/8" = 1'-0"

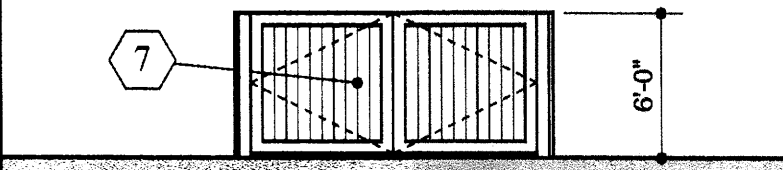


SOUTH ELEVATION

1/8" = 1'-0"



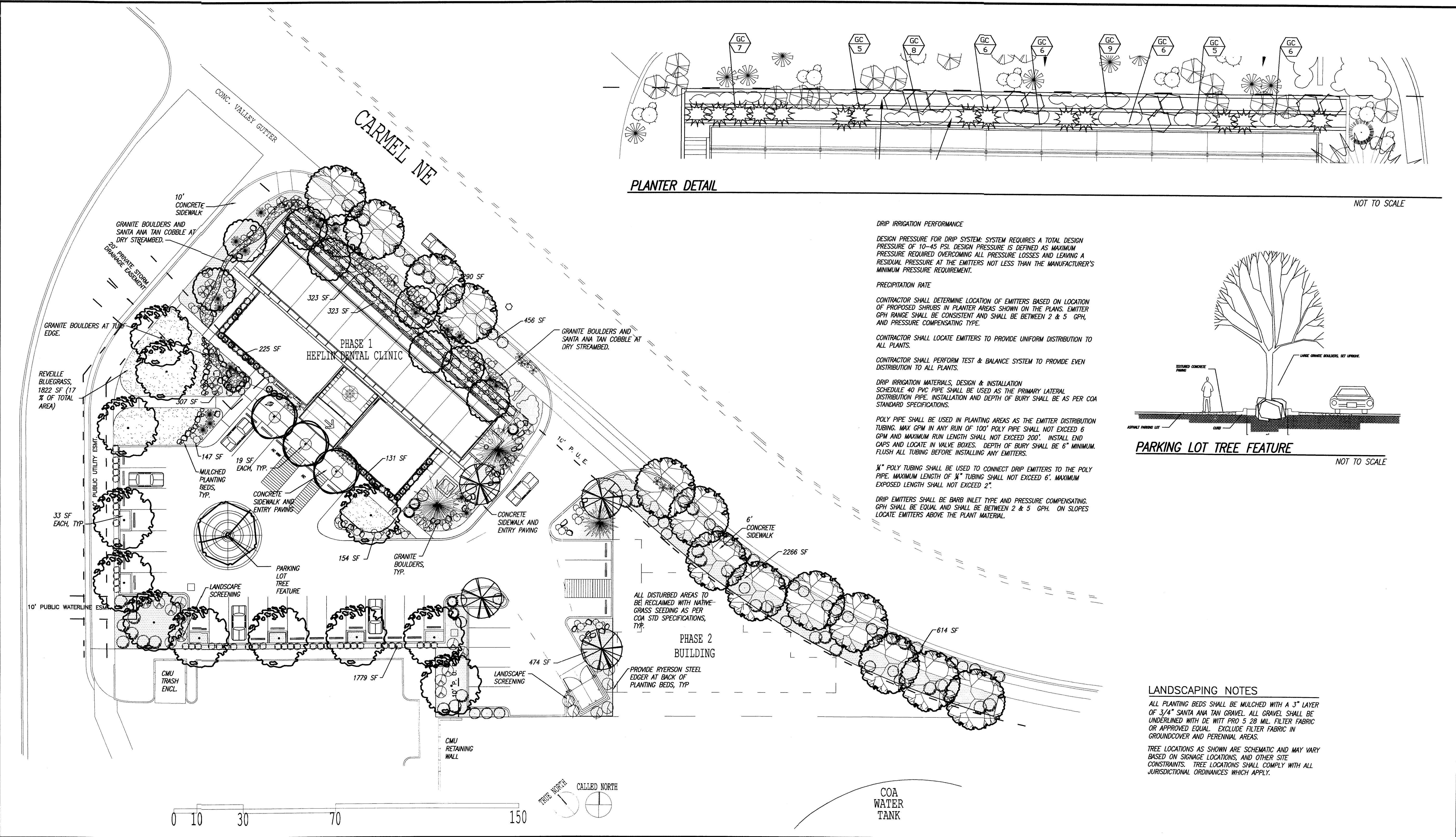
DUMPSTER SIDE/BACK



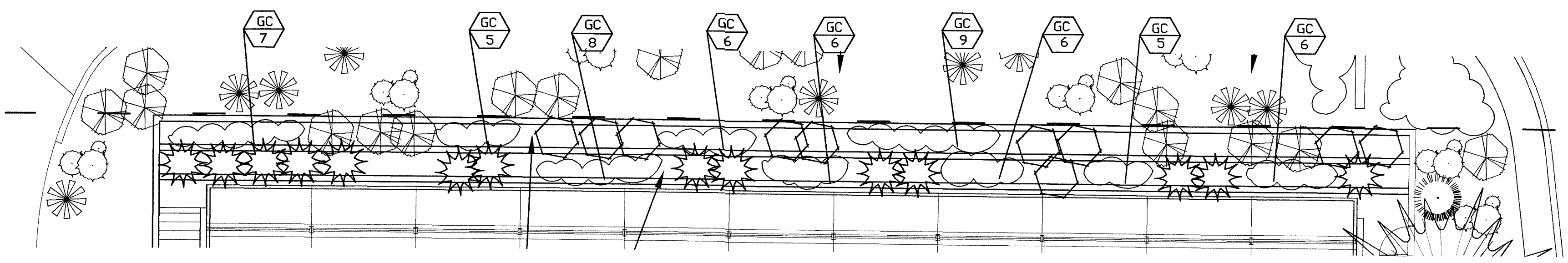
DUMPSTER FRONT

- GLAZING TYPES**
- G-1 1" INSULATING TINTED SAFETY & SECURITY GLASS
 OUTER: 1/4 INCH PPG TINTED GLASS (CARIBIA) LAMINATED SAFETY GLASS.
 INNER: 1/4 INCH CLEAR W/ PPG SOLAR BAN 60 (SIDE 3), LAMINATED SAFETY GLAZING.
 - G-2 1" INSULATING TINTED SECURITY GLASS
 OUTER: 1/4 INCH PPG TINTED GLASS (CARIBIA) LAMINATED SAFETY GLASS.
 INNER: 1/4 INCH CLEAR W/ PPG SOLAR BAN 60 (SIDE 3) GLAZING
 - G-3 1" INSULATING TINTED SECURITY/PRIVACY GLASS
 OUTER: 1/4 INCH TINTED GLASS (PPG CARIBIA) GLASS.
 SANDBLAST (SIDE 2)
 INNER: 1/4 INCH CLEAR W/ PPG SOLAR BAN 60 (SIDE 3)
 - G-4 INTERIOR DOOR SIDELIGHT:
 1/4 INCH CLEAR, LAMINATED SAFETY GLASS.

- KEYED NOTES**
1. 3-COAT FIBER REINFORCED CEMENT STUCCO SYSTEM W/ ACRYLIC FINISH COAT (COLOR: WARM TONE GREY-GREEN).
 2. 8" STEEL REINFORCED CMU SITE WALL WITH 3-COAT FIBER REINFORCED CEMENT STUCCO SYSTEM W/ ACRYLIC FINISH COAT (COLOR: WARM TONE GREY-GREEN).
 3. ARCHITECTURAL QUALITY POURED IN PLACE CONCRETE WITH SMOOTH FORM FINISH & EXPOSED TIE HOLES; INTEGRAL COLOR PIGMENT: WARM TONE TAN.
 4. METAL SUNSCREEN (COLOR: ROSEWOOD).
 5. 22 GA. G.I. FASCIA WITH CONCEALED JOINT COVERS, PAINTED (COLOR ROSEWOOD).
 6. EXPOSED STEEL BEAM, PAINTED.
 7. STEEL GATE (PAINTED COLOR: ROSEWOOD).
 8. ALUMINUM STOREFRONT DOOR AND WINDOW FRAMING CLEAR ANODIZED. TYPICAL.
 9. INSULATED GLASS, TYPICAL. SEE GLAZING TYPES THIS SHEET.
 10. CANTILEVERED BENCH. SEE DETAILS C&D/A-8.2.
 11. DUMPSTER ENCLOSURE: 8" REINFORCED CMU SITE WALL WITH 3-COAT FIBER REINFORCED CEMENT STUCCO SYSTEM W/ ACRYLIC FINISH COAT (COLOR: WARM TONE GREY-GREEN). SEE ENLARGED PLAN AND SECTION ON SHEET AS-2.
 12. WALL MOUNTED SIGN: 12" ALUMINUM SATIN FINISH. LETTERS, POST MOUNTED.
 13. METAL DOOR. COLOR: ROSEWOOD.
 14. CONTINUOUS STRIP SKYLIGHT.
 15. EXTERIOR WOOD SIDING.
 16. STEEL PIPE ROOF SCUPPER, SEE 1/A-8.1. PAINTED.
 17. STEEL PIPE ROOF SCUPPER, SEE 16/A-8.5.
 18. STEEL PIPE OVERFLOW ROOF SCUPPER, SEE H/A-8.4. PAINTED.
 19. STEEL PIPE OVERFLOW ROOF SCUPPER SIMILAR TO 16/A-8.5. PAINTED.
 20. RECESSED STEP LIGHTING. SEE ELECTRICAL.
 21. ALUMINUM DOOR, CLEAR ANODIZED FINISH.



PLANTER DETAIL



NOT TO SCALE

DRIP IRRIGATION PERFORMANCE
 DESIGN PRESSURE FOR DRIP SYSTEM: SYSTEM REQUIRES A TOTAL DESIGN PRESSURE OF 10-45 PSI. DESIGN PRESSURE IS DEFINED AS MAXIMUM PRESSURE REQUIRED OVERCOMING ALL PRESSURE LOSSES AND LEAVING A RESIDUAL PRESSURE AT THE EMITTERS NOT LESS THAN THE MANUFACTURER'S MINIMUM PRESSURE REQUIREMENT.

PRECIPITATION RATE
 CONTRACTOR SHALL DETERMINE LOCATION OF EMITTERS BASED ON LOCATION OF PROPOSED SHRUBS IN PLANTER AREAS SHOWN ON THE PLANS. EMITTER GPH RANGE SHALL BE CONSISTENT AND SHALL BE BETWEEN 2 & 5 GPH, AND PRESSURE COMPENSATING TYPE.

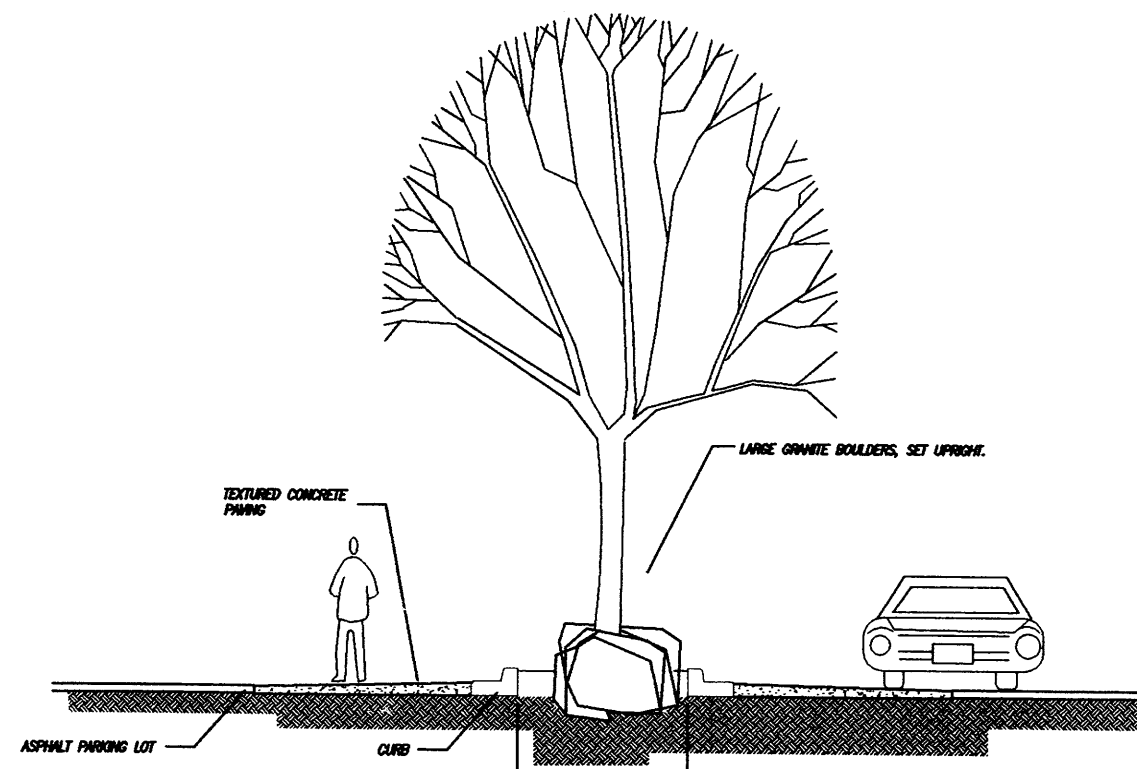
CONTRACTOR SHALL LOCATE EMITTERS TO PROVIDE UNIFORM DISTRIBUTION TO ALL PLANTS.
 CONTRACTOR SHALL PERFORM TEST & BALANCE SYSTEM TO PROVIDE EVEN DISTRIBUTION TO ALL PLANTS.

DRIP IRRIGATION MATERIALS, DESIGN & INSTALLATION
 SCHEDULE 40 PVC PIPE SHALL BE USED AS THE PRIMARY LATERAL DISTRIBUTION PIPE. INSTALLATION AND DEPTH OF BURY SHALL BE AS PER COA STANDARD SPECIFICATIONS.

POLY PIPE SHALL BE USED IN PLANTING AREAS AS THE EMITTER DISTRIBUTION TUBING. MAX GPM IN ANY RUN OF 100' POLY PIPE SHALL NOT EXCEED 6 GPM AND MAXIMUM RUN LENGTH SHALL NOT EXCEED 200'. INSTALL END CAPS AND LOCATE IN VALVE BOXES. DEPTH OF BURY SHALL BE 6" MINIMUM. FLUSH ALL TUBING BEFORE INSTALLING ANY EMITTERS.

1/4" POLY TUBING SHALL BE USED TO CONNECT DRIP EMITTERS TO THE POLY PIPE. MAXIMUM LENGTH OF 1/4" TUBING SHALL NOT EXCEED 6'. MAXIMUM EXPOSED LENGTH SHALL NOT EXCEED 2'.

DRIP EMITTERS SHALL BE BARB INLET TYPE AND PRESSURE COMPENSATING. GPH SHALL BE EQUAL AND SHALL BE BETWEEN 2 & 5 GPH. ON SLOPES LOCATE EMITTERS ABOVE THE PLANT MATERIAL.



PARKING LOT TREE FEATURE

NOT TO SCALE

LANDSCAPING NOTES

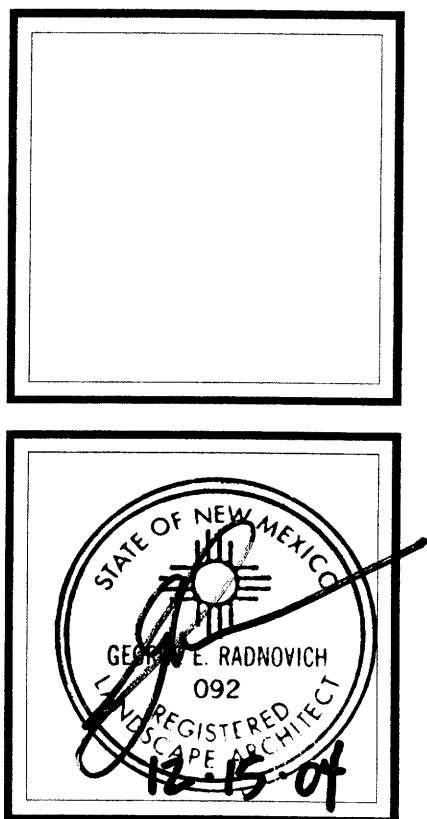
ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF 3/4" SANTA ANA TAN GRAVEL. ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5 28 MIL. FILTER FABRIC OR APPROVED EQUAL. EXCLUDE FILTER FABRIC IN GROUND COVER AND PERENNIAL AREAS.

TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

LANDSCAPE PLAN

1" = 20'

Symbol	Botanical Name	Common Name	Size/Notes	Symbol	Botanical Name	Common Name	Size/Notes	Symbol	Botanical Name	Common Name	Size/Notes	Symbol	Botanical Name	Common Name	Size/Notes
TREES															
	<i>Gleditsia triacanthos</i>	HONEY LOCUST	2 1/2" CAL.		<i>Chilopsis linearis</i>	DESERT WILLOW	15 GAL.		<i>Metasequoia spp.</i>	NEW MEXICO REDWOOD OR CHINESE PISTACHE	36" BOX		<i>Quercus fusiformis</i>	ESCAPMENT LIVE OAK	15 GAL.
	<i>Robinia pseudoacacia</i>	PURPLE ROBE LOCUST	2" CAL.		<i>Pinus edulis</i>	PINON PINE	BB / 5-7' HT.		<i>Crataegus crus galli 'thermis'</i>	THORNLESS HAWTHORN	3" CAL.				
SHRUBS															
	<i>Rhaphiopsis indica</i>	INDIAN HAWTHORN	5 GAL.		<i>Leucophyllum frutescens</i>	TEXAS SAGE	5 GAL.		<i>Cotoneaster buxifolius</i>	GRAYLEAF COTONEASTER	5 GAL.		<i>Vauquelinia californica</i>	ARIZONA ROSEWOOD	5 GAL.
	<i>Dasylirion wheeleri</i>	SOTOL	5 GAL.		<i>Opuntia basilaris</i>	BEAVERTAIL CACTUS	1 GAL.		<i>Miscanthus sinensis 'Gracillimus'</i>	MAIDEN GRASS	5 GAL.		<i>Nolina microcarpa</i>	BEARGRASS	5 GAL.
	<i>Cytisus spp.</i>	SUMMER BROOM	2 GAL.		<i>Lavandula vera</i>	LAVENDER	1 GAL.		<i>Muhlenbergia capillaris</i>	REGAL MIST/DEER GRASS	1 GAL.		<i>Salvia greggii</i>	CHERRY SAGE	2 GAL.
GROUND COVERS/TURF															
	REVELLE BLUEGRASS														
	<i>Centranthus ruber</i>	RED VALERIAN			<i>Helictotrichon sempervirens</i>	BLUE AVENA			<i>Penstemon cardinalis</i>	CARDINAL PENSTEMON			<i>Lavandula angustifolia</i>	LAVENDER	
	<i>Penstemon barbatus</i>	SCARLET BUGLAR													
NOTE:															
1. PLANT IN GROUPS OF 3'S OR 5'S.															
2. SUBMIT SHOP DRAWINGS FOR APPROVAL.															
	GRANITE BOULDERS, 12-27" OF AVG														



LANDSCAPE PLAN

HEFLIN DENTAL CLINIC
 CARMEL NE - ALBUQUERQUE, NM
 DECEMBER 15, 2004

MAHLMAN & MILES ARCHITECTS
 206 BROADWAY SE
 ALBUQUERQUE, NEW MEXICO 87102
 505-249-0101

L-1.1

sites southwest
 121 TIJERAS NE SUITE 3100
 ALBUQUERQUE, NM 87102
 PHONES-822-8200
 FAXES-822-8282
 E-MAIL info@sites-sw.com
 WEB www.sites-sw.com

PLANNING
 LANDSCAPE ARCHITECTURE
 MARKET ANALYSIS

CIVIL CONSTRUCTION NOTES:

A. GENERAL

- The contractor shall be responsible for verifying the existence and location of all underground or concealed utilities in advance of any construction.
- The contractor shall repair any and all infrastructure damaged during the course of construction in accordance with New Mexico Standard Specifications for Public Works Construction.
- The job site, at the completion of construction, shall be cleaned of any debris or spoils resulting from the construction.
- It is the contractor's responsibility to inspect the job site to familiarize herself/himself with all the existing conditions that could affect the installation of any work set forth in these plans.
- All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules and regulations concerning construction safety and health.
- The contractor shall not install items as shown on the plans when it is obvious that field conditions are different than shown in the design. Such conditions should be brought to the attention of the Construction Manager. In the event the Contractor does not notify the Construction Manager, the Contractor assumes full responsibility and expense for any revisions necessary.
- Existing site improvements which are damaged or displaced by the contractor shall be removed and replaced by the contractor at the contractor's expense.
- Existing fencing that is not designated for removal shall not be disturbed. Any fencing that is disturbed or altered by the contractor shall be restored to its original condition at the contractor's expense. If the contractor would like to remove fencing to facilitate construction operations, this may be done with the owner's permission, and the contractor shall restore the fence to its original condition prior to the close of the project. Contractor is responsible for security of the site until the fence is replaced.
- All existing mainline utilities are to remain in place and are to be protected during demolition and construction.
- Neither the owner, Construction Manager, nor the Architect or Engineer of Record will enforce any safety measure or regulation. The contractor shall design, construct and maintain all safety devices, including traffic control, shoring, and shall be solely responsible for conforming to all local, state and federal safety and health standards, laws and regulations. If anyone in an authority or supervisory position sees anything wrong or a serious life threatening situation caused by the contractor, that person shall have the right to stop the job and demand that the contractor immediately corrects the wrong-doing.
- Contractor will be responsible for any monumentation and/or benchmarks which will be disturbed or destroyed by construction. Such points shall be referenced and replaced with appropriate monumentation by a licensed land surveyor.
- Any work done without inspection or testing is subject to removal or correction. The contractor shall provide a signed document showing proof of inspection and/or testing.
- The Engineer of Record shall not be responsible for the contractor's failure to carry out the construction work in accordance with the contract documents, nor shall he/she be required to supervise the conduct of the work or the construction procedures and safety procedures followed by the contractor or the subcontractor or their respective employees or by any other person at the job site other than that of the Engineer's employees.
- Contractor agrees that he/she shall assume sole and complete responsibility for the job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply 24 hours a day and not be limited to normal working hours; and that the contractor shall defend, indemnify and hold the owner, construction manager and engineer harmless of any and all liability, real or alleged, in connection with the performance of work on his/her project, excepting liability arising from the sole negligence of the owner or the Engineer.
- All existing topo, existing boundary, existing easement information, & existing utilities shown on the plans drawings were obtained from the boundary & topographic surveys provided by Way John Surveying Co.
- The contractor shall notify all applicable utility companies at the New Mexico One Call two (2) working days prior to any digging or excavation.

B. DEMOLITION

- Protect the existing waterline mains on the site as shown on the plans.
- Remove and dispose of any adjacent sidewalks, steps, asphalt pavement, driveways, sheds, fences, debris and other non-classified material, etc. If any item appears to be questionable, the Architect/Engineer shall be notified for concurrence.
- For demolition of the site electrical, see the electrical demolition plans.

C. PAVING

- When abutting new pavement to existing, sawcut the existing pavement to a neat, straight line as required to remove any broken or cracked pavement and match new paving to existing.
- All utilities and utility service lines shall be installed and approved prior to paving.
- All existing water valve boxes, electrical, telephone, tv and sewer manholes in the construction area shall be adjusted to finished grade.

C. PAVING (CONT)

- All stationing is to construction baselines unless otherwise noted.
- All slopes and grades are in feet/foot unless otherwise noted.
- All surfaces along accessible routes and for handicap ramps shall be stable, firm, side-resistant, and shall comply with uniform federal accessibility standards, paragraph 4.5.
- Longitudinal slopes along accessible route sidewalks, except at handicap ramps, shall not be steeper than 1:20. Cross slopes along accessible route sidewalks except at handicap ramps, shall not be steeper than 1:48. Slopes in accessible parking spaces, access aisles, and passenger loading zones shall not be steeper than 1:48 in all directions.
- The contractor shall provide all required traffic control plans. All signs, barricades, channelization devices, sign frames and erection of such devices shall conform to the requirements of City of Albuquerque (COA) Traffic Control Departments.

D. UTILITIES

- If any utility lines, pipelines, or underground utility lines are shown on these drawings, they are shown in an approximate manner only, and such lines may exist where none are shown. If any such existing lines are shown, the location is based upon information provided to the engineer by others, and the information may be incomplete, or may be obsolete by the time construction commences. The contractor shall verify the location of any utility line, pipeline or underground utility line in or near the area of the work.
- The existing utilities depicted on these plans were derived from information provided to the engineer by others. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of pertinent utilities. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay. Contractor is to exercise due care to avoid disturbing any existing underground utilities. It shall be the contractor's responsibility to coordinate any potential disruptions in utility service with the utility companies affected at least 48 hours prior to the disruption.
- Contractor shall expose and verify invert elevations of relevant sanitary sewer lines before setting any new inverts. Should inverts differ more than 0.20' from those shown on the plans, the engineer shall be notified to determine any resulting changes in design.
- Reference made to APWA refers to American Public Works Association.
- All new and existing frames, covers, valve boxes, etc. shall be adjusted to new finished grade prior to placing of asphalt concrete surface course by the contractor.
- The contractor shall notify all applicable utility companies at the New Mexico One Call two (2) working days prior to any digging or excavation.

E. EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER, POLLUTION PREVENTION PLAN

- The contractor shall conform to all City, County, State, and Federal dust and erosion control regulations. The contractor shall prepare and obtain any necessary dust or erosion control permits from regulatory agencies.
- The contractor shall promptly remove any material excavated within the Right-Of-Way to keep it from washing off the project site.
- The contractor shall ensure that no soil erodes from the site by constructing temporary erosion control berms or installing silt fences at the project boundary lines and wetting the soil to keep it from blowing.
- Watering, as required for construction and dust control, shall be considered incidental to construction and no measurement or payment shall be made therefore. Construction areas shall be watered for dust control in compliance with government ordinances. The contractor shall be responsible for locating and supplying water as required.
- Any areas disturbed by construction and not covered by landscaping or an impervious surface shall be revegetated with reclamation seeding.
- The contractor shall properly handle and dispose of all asphalt removed on the project by hauling to an approved landfill in accordance with the requirements of the State of New Mexico, and City of Albuquerque (COA).
- All waste products from the construction site, including items designed for removal, construction waste, construction equipment waste products (oil, gas, tires, etc.), garbage, grubbing, excess cut material, vegetative debris, etc. shall be appropriately disposed of off-site at no additional cost to the owner. It shall be the contractor's responsibility to obtain any permits required for haul or disposal of waste products. It shall be the contractor's responsibility to ensure that the waste disposal site complies with government regulations regarding the environment, endangered species, and archaeological resources.
- The contractor shall be responsible for the immediate clean-up and reporting of spills of hazardous materials associated with the construction operations. Hazardous materials include gasoline, diesel fuel, motor oil, solvents, chemicals, paint, etc. which may be a threat to the environment.

E. EROSION CONTROL, ENVIRONMENTAL PROTECTION,

- The contractor shall comply with all applicable regulations concerning surface and underground water. Contact with surface water by construction and personnel shall be minimized. Equipment maintenance and refueling operations shall be performed in an environmentally safe manner in compliance with government regulations.
- The contractor shall apprise himself of all air pollution control regulations of Bernalillo County and City of Albuquerque (COA) prior to bidding and performing the work.
- The contractor shall comply with all applicable regulations concerning construction noise and hours of operations.
- The contractor shall comply with all applicable regulations for storm water pollution prevention and make all such applications, notice of intents and pollution prevention plans as required by the Environmental Protection Agency (EPA).

F. TRAFFIC CONTROL

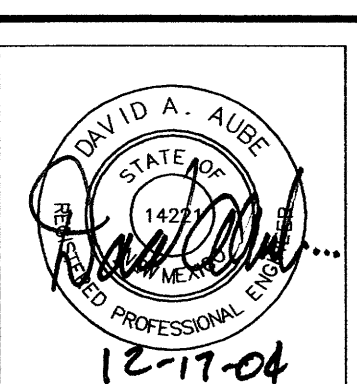
- The contractor shall coordinate with the School District and the City of Albuquerque (COA) Junction for all traffic control, both vehicular and pedestrian. Contractor shall comply with all Traffic Control guidelines and shall maintain all Traffic Control devices during extent of project.

CIVIL MASTER LEGEND:

	EXISTING:	DEMOLITION:	NEW:
Property line	---	---	---
Building	=====	=====	=====
Edge of pavement	=====	=====	=====
Curb & gutter	=====	=====	=====
Pavement striping	=====	=====	=====
Fence	-----x-----	-----x-----	-----x-----
CMU or block wall	=====	=====	=====
Utility easement	=====	=====	=====
Underground electric line	---EUG---	---EUG---	---EUG---
Overhead electric line	---EOH---	---EOH---	---EOH---
Water line	---W---	---W---	---6" WL---
Sanitary sewer line	---SAS---	---SAS---	---4" SAS---
Storm drain line	---SD---	---SD---	---12" SD---
Index contours	---25---	---25---	---25---
Intermediate contours	---24---	---24---	---24---
Power pole	○	◇	●
Light pole	●	J	●
Traffic light	⊠ TL		⊠
Electrical transformer	⊠	⊠	⊠
Water valve	⊠	⊠	⊠
Fire hydrant	⊠	⊠	⊠
Water meter	⊠	⊠	⊠
Post indicator valve	⊠	⊠	⊠
Siamese connection	⊠	⊠	⊠
Post hydrant	⊠	⊠	⊠
Backflow preventor	⊠ B.F.P.	⊠ B.F.P.	⊠ B.F.P.
Sanitary sewer manhole	⊠	⊠	⊠
Sanitary sewer single cleanout	●	●	●
Sanitary sewer double cleanout	●●	●●	●●
Storm drain manhole	⊠ SD	⊠	⊠
Single storm drain inlet	⊠	⊠	⊠
Grading spot elevations	× 6779.2		× 6779.2
Electric/Communications spots	○ ELEC/COMM	⊠	⊠
Communications pedestal	⊠ CP		⊠
Unidentified feature	○		○
Post/sign	●	○	○
Landscaping feature		d	

ABBREVIATIONS:

Bottom of footing	BOF	Top of curb	TC
Bottom of wall	BOW	Top of footing	TOF
Existing ground	EG	Top of concrete	TCO
Finish grade	FG	Top of retaining wall	TOR
Finish floor	FF	Top of sidewalk	TSW
Flowline	FL	Top of wall	TW
Invert	INV	Rim	RIM
Top of asphalt	TA	Not in contract	NIC



CIVIL GENERAL NOTES

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DECEMBER, 2004

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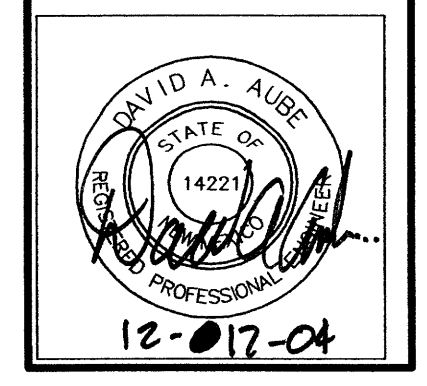
CG.1

KEYED NOTES

1. EXISTING ASPHALT PAVEMENT TO REMAIN.
2. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
3. EXISTING SIDEWALK TO REMAIN.
4. EXISTING HANDICAP ACCESS RAMP TO REMAIN PROTECT DURING CONSTRUCTION.
5. REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER. REPLACE WITH VALLEY GUTTER PER COA STD DWG 2420.
6. CONSTRUCT NEW HANDICAP ACCESS RAMP PER COA STD DETAIL 2441.
7. CONSTRUCT CURB RETURN PER COA STD. DETAIL 2420.
8. CONSTRUCT CURB HEADER CURB PER DETAIL 1/C-5.1.
9. CONSTRUCT CURB HEADER CURB PER DETAIL 1/C-5.1.
10. CONSTRUCT SIDEWALK EDGE CURB PER COA STD. DETAIL 7/C-5.1.
11. CONSTRUCT SIDEWALK CULVERT PER 4/C-5.2
12. CONSTRUCT CONCRETE RUNDOWN PER DETAIL 12/C-5.1
13. INSTALL CONCRETE PARKING BUMPER PER DETAIL 6/C-5.2
14. PARKING LOT STRIPING 4" TYPICAL (WHITE).
15. PARKING LOT STRIPING OF HANDICAP PARKING AREA ALTERNATING 12" HORIZONTAL STRIPES (WHITE).
16. PROVIDE HANDICAP PARKING SYMBOL PER DETAIL 5/C-5.2.
17. NEW HANDICAP PARKING SIGN PER DETAIL 7/AS-5.
18. NEW VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL 7/AS-5.
19. PROVIDE 2' WIDE OPENING IN CURB AS EMERGENCY OVERFLOW.
20. NEW WHITE PAINTED "COMPACT" PARKING STALL INDICATOR.
21. CONSTRUCT RIP RAP EROSION PROTECTION PER DETAIL 8/C-5.2.
22. CONSTRUCT CMU TRASH ENCLOSURE PER DETAIL 6/AS-2.
23. PROVIDE AND INSTALL GATES ON TRASH ENCLOSURE SEE 6/AS-2
24. CONSTRUCT CONCRETE PAVEMENT WITH THICKENED EDGE PER DETAIL 13/C-5.1
25. BOLLARDS PER DETAILS 13/AS-2.
26. CONSTRUCT PARKING LOT ASPHALT PAVEMENT PER DETAIL 2/C-5.1.
27. NEW BUILDING SEE ARCHITECTURAL PLANS.
28. NEW CONCRETE SITE WALLS. SEE ARCHITECTURAL PLANS.
29. CONSTRUCT COLORED, TEXTURED CONCRETE AND BRICK PAVED CIRCLE. SIMILAR TO CONCRETE PAVEMENT DETAIL 13/C-5.1. SEE DETAIL ON C-1.2.
30. 5' DIAMETER TREE WELL. SEE LANDSCAPING PLANS.
31. LANDSCAPING AREA. SEE LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
32. CONSTRUCT SLOPE EROSION PROTECTION PER DETAIL 8/C-5.2.
33. CONSTRUCT 6' WIDE CONCRETE SIDEWALK PER COA STD. DETAIL 2430
34. NEW CMU SITE WALLS. SEE ARCHITECTURAL PLANS.
35. CONSTRUCT ASPHALT PAVEMENT AT UTILITY PATCHES PER COA STD. DWG. 2405B.
36. CONSTRUCT CONCRETE CATCH BASINS PER DETAILS 5 AND 6/C-5.3. SEE GRADING PLANS FOR ELEVATIONS.

BENCH MARK

ACS STA 16-019
 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 16-019", EPOXIED TO TOP OF CONCRETE
 BASE OF TRAFFIC LIGHT/STREET LIGHT STANCHION IN TRAFFIC ISLAND, SW QUADRANT
 OF PASEO DEL NORTE AND WYOMING BLVD. NE, ON THE SW CORNER OF SAID BASE.
 ELEV. 5391.40
 T.B.M.
 5/8" REBAR WITH PLASTIC CAP STAMPED "LS 7719" LOCATED ADJACENT TO SIDEWALK
 ON NW PROPERTY CORNER ON CARMEL AVENUE, NE
 ELEV. 5434.87

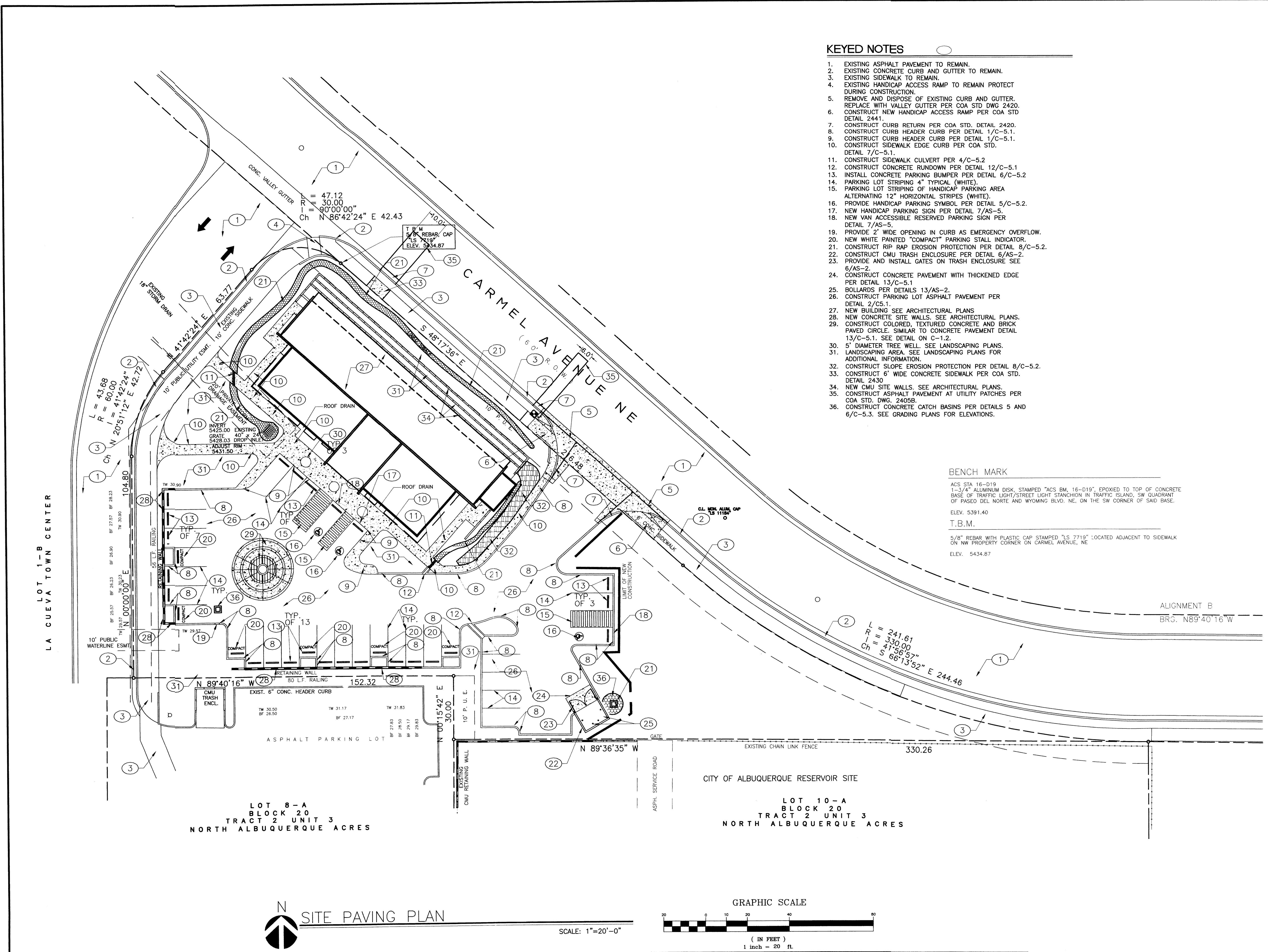


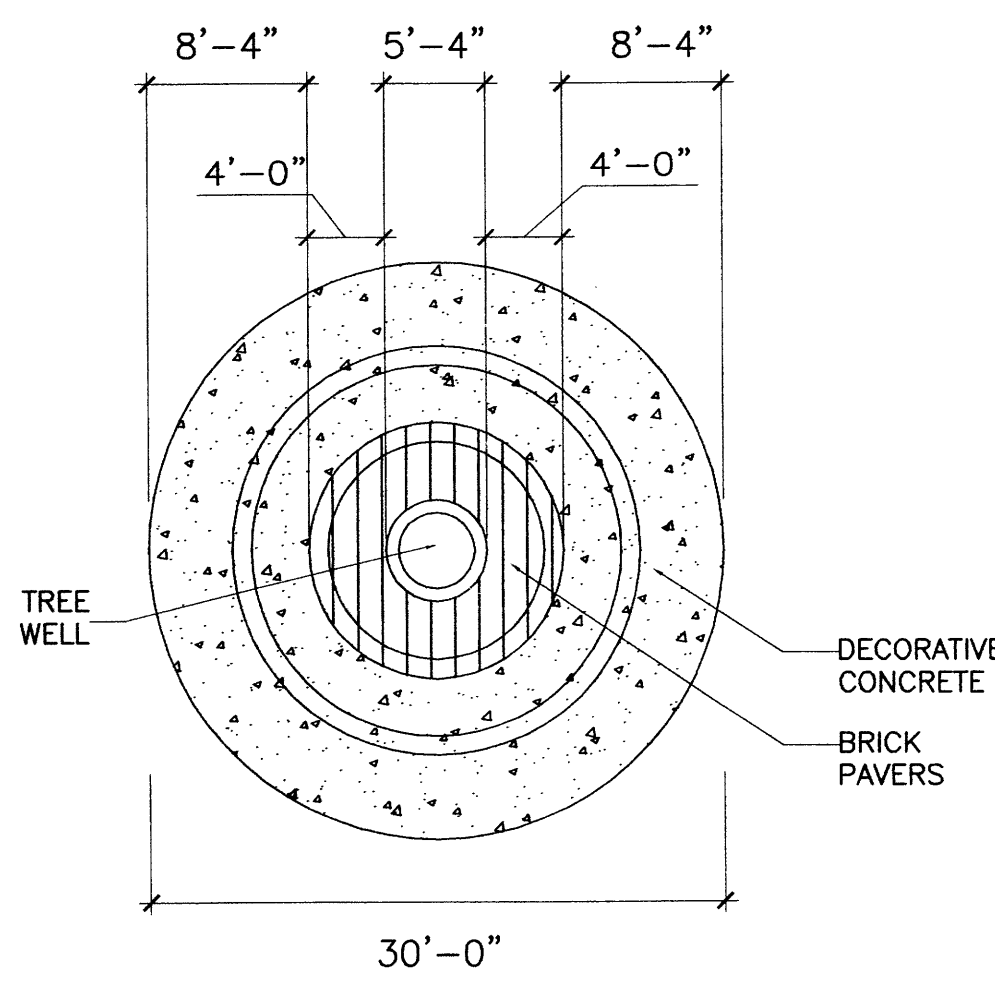
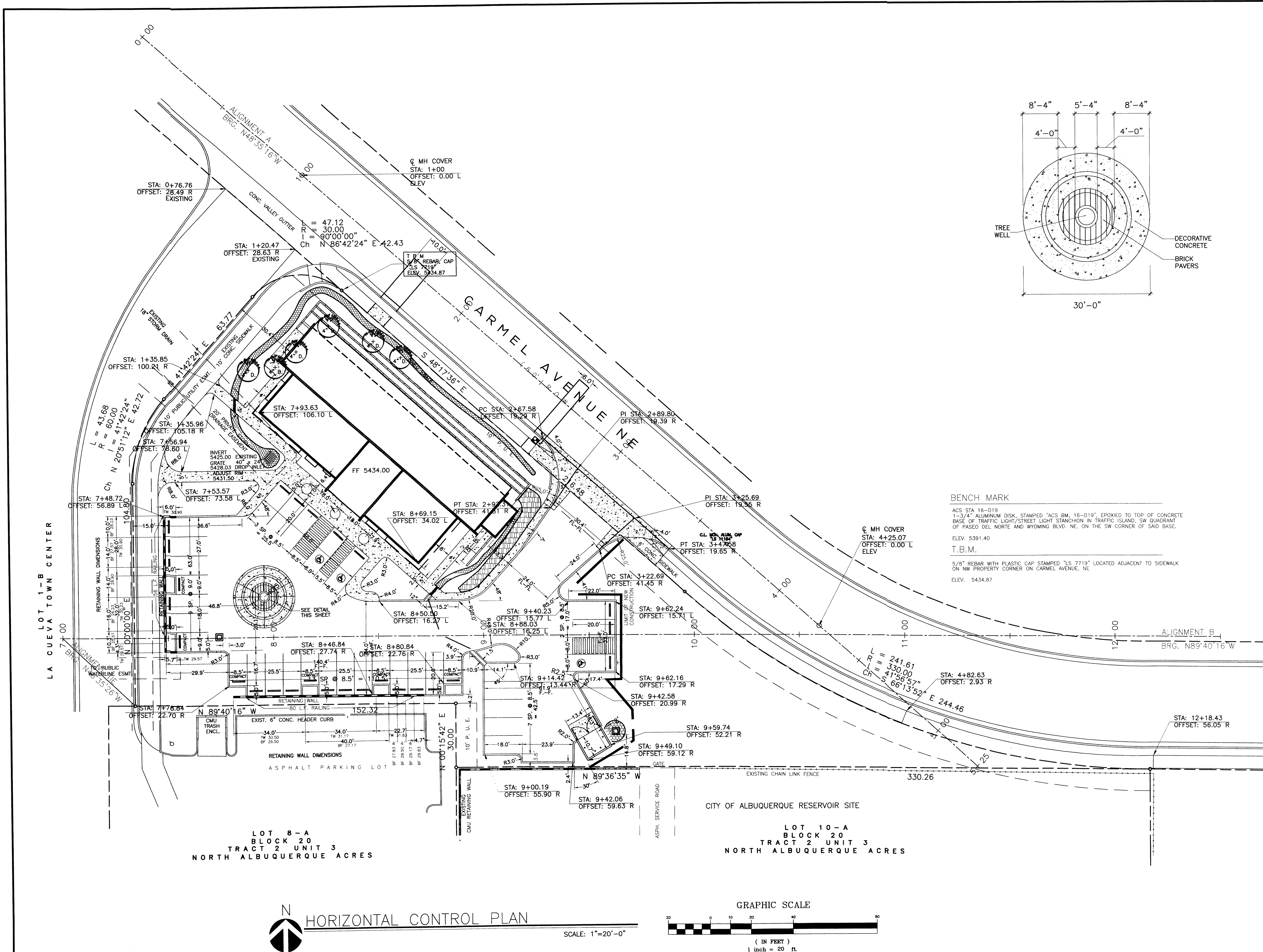
SITE PAVING PLAN

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 DECEMBER, 2004

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 505-243-0101

C-1.1

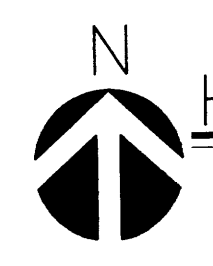




BENCH MARK
 ACS STA 16-D19
 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 16-D19", EPWED TO TOP OF CONCRETE
 BASE OF TRAFFIC LIGHT/STREET LIGHT STANCHION IN TRAFFIC ISLAND, SW QUADRANT
 OF PASEO DEL NORTE AND WYOMING BLVD. NE, ON THE SW CORNER OF SAID BASE.
 ELEV. 5391.40
 T.B.M.
 5/8" REBAR WITH PLASTIC CAP STAMPED "LS 7719" LOCATED ADJACENT TO SIDEWALK
 ON NW PROPERTY CORNER ON CARMEL AVENUE, NE.
 ELEV. 5434.87

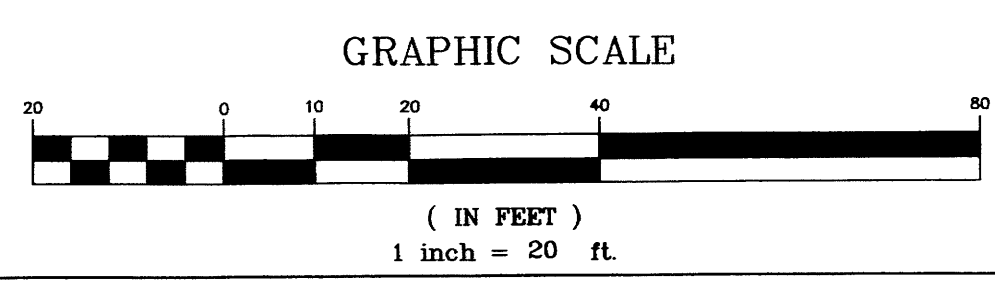
LOT 8-A
 BLOCK 20
 TRACT 2 UNIT 3
 NORTH ALBUQUERQUE ACRES

LOT 10-A
 BLOCK 20
 TRACT 2 UNIT 3
 NORTH ALBUQUERQUE ACRES

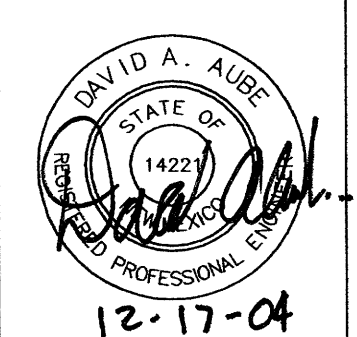


HORIZONTAL CONTROL PLAN

SCALE: 1"=20'-0"



HORIZONTAL CONTROL PLAN 1"=20'-0"

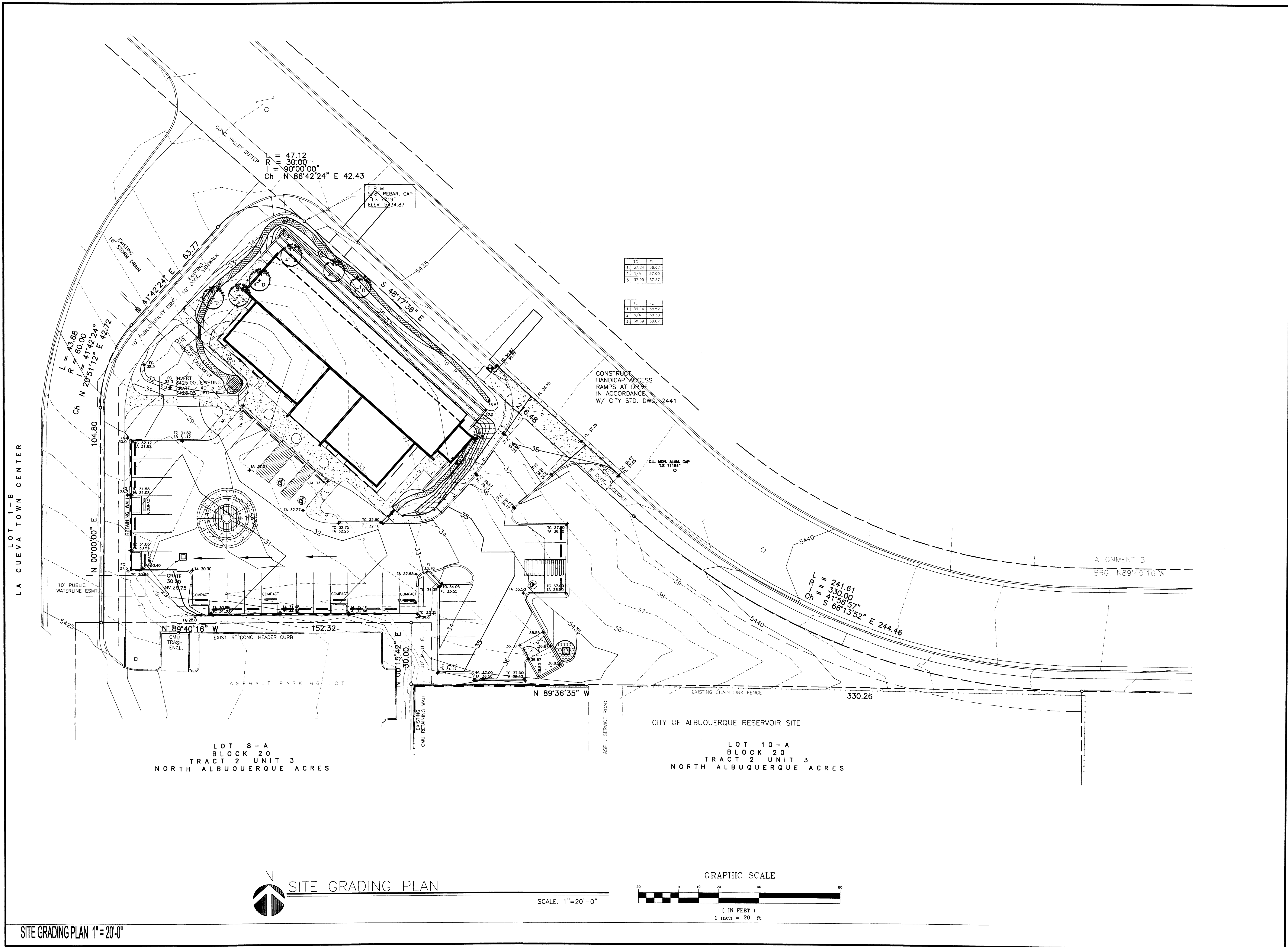


HORIZONTAL
 CONTROL PLAN

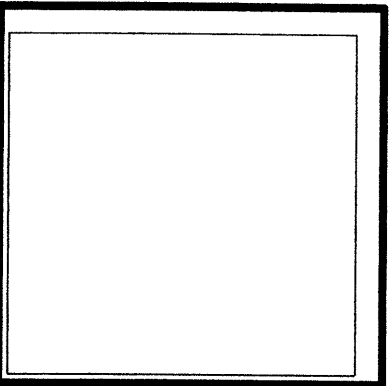
HEFLIN DENTAL CLINIC
 CARMEL NE - ALBUQUERQUE, NM
 DECEMBER, 2004

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 MILES
 ARCHITECTS
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C-1.2



SITE GRADING PLAN 1" = 20'-0"



DAVID A. AUBE
STATE OF
NEW MEXICO
PROFESSIONAL ENGINEER
14223
12-17-04

SITE GRADING PLAN

HEFLIN DENTAL CLINIC
CARMEL NE - ALBUQUERQUE, NM
DECEMBER, 2004

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MILES
ARCHITECTS
200 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102
305-245-9101

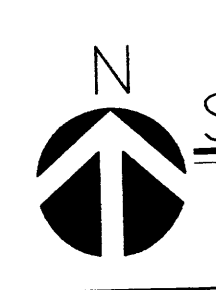
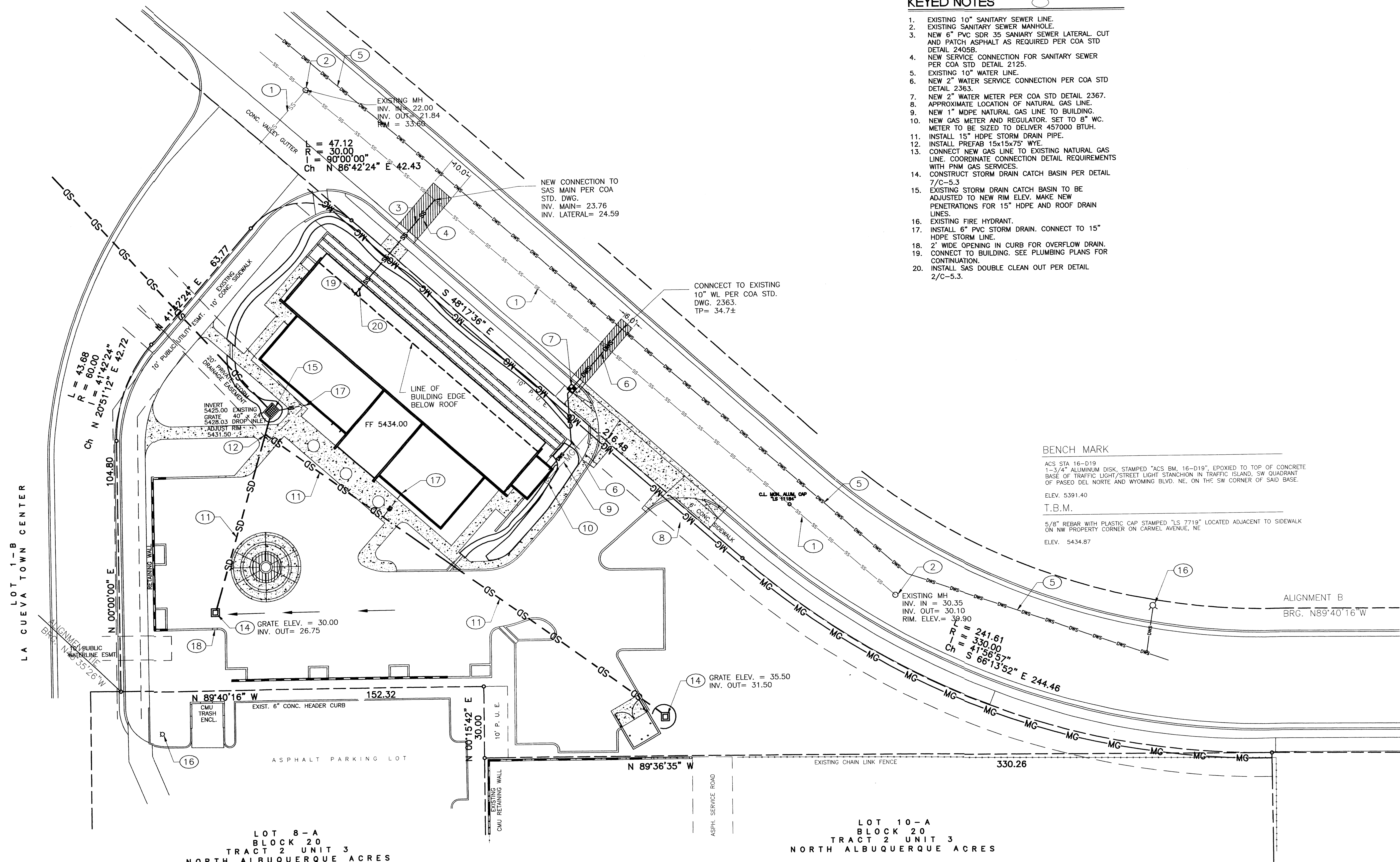
C-2.1

KEYED NOTES

1. EXISTING 10" SANITARY SEWER LINE.
2. EXISTING SANITARY SEWER MANHOLE.
3. NEW 6" PVC SDR 35 SANITARY SEWER LATERAL. CUT AND PATCH ASPHALT AS REQUIRED PER COA STD DETAIL 2405B.
4. NEW SERVICE CONNECTION FOR SANITARY SEWER PER COA STD DETAIL 2125.
5. EXISTING 10" WATER LINE.
6. NEW 2" WATER SERVICE CONNECTION PER COA STD DETAIL 2363.
7. NEW 2" WATER METER PER COA STD DETAIL 2367.
8. APPROXIMATE LOCATION OF NATURAL GAS LINE.
9. NEW 1" HDPE NATURAL GAS LINE TO BUILDING.
10. NEW GAS METER AND REGULATOR. SET TO 8" WC. METER TO BE SIZED TO DELIVER 457000 BTUH.
11. INSTALL 15" HDPE STORM DRAIN PIPE.
12. INSTALL PREFAB 15x15x75" WYE.
13. CONNECT NEW GAS LINE TO EXISTING NATURAL GAS LINE. COORDINATE CONNECTION DETAIL REQUIREMENTS WITH PNM GAS SERVICES.
14. CONSTRUCT STORM DRAIN CATCH BASIN PER DETAIL 7/C-5.3
15. EXISTING STORM DRAIN CATCH BASIN TO BE ADJUSTED TO NEW RIM ELEV. MAKE NEW PENETRATIONS FOR 15" HDPE AND ROOF DRAIN LINES.
16. EXISTING FIRE HYDRANT.
17. INSTALL 6" PVC STORM DRAIN. CONNECT TO 15" HDPE STORM LINE.
18. 2" WIDE OPENING IN CURB FOR OVERFLOW DRAIN.
19. CONNECT TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
20. INSTALL SAS DOUBLE CLEAN OUT PER DETAIL 2/C-5.3.

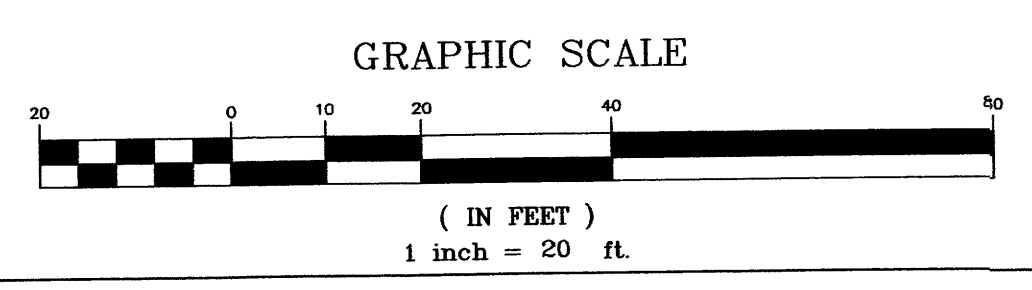
BENCH MARK

ACS STA 16-019
 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 16-019", EPOXY TO TOP OF CONCRETE BASE OF TRAFFIC LIGHT/STREET LIGHT STANCHION IN TRAFFIC ISLAND, SW QUADRANT OF PASEO DEL NORTE AND WYOMING BLVD. NE, ON THE SW CORNER OF SAID BASE.
 ELEV. 5391.40
 T.B.M.
 5/8" REBAR WITH PLASTIC CAP STAMPED "LS 7719" LOCATED ADJACENT TO SIDEWALK ON NW PROPERTY CORNER ON CARMEL AVENUE, NE
 ELEV. 5434.87

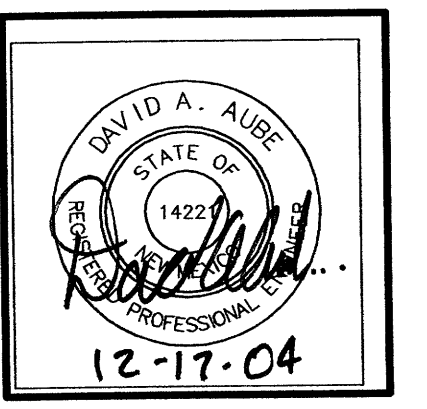


SITE UTILITY PLAN

SCALE: 1" = 20'-0"



SITE UTILITY PLAN 1" = 20'-0"

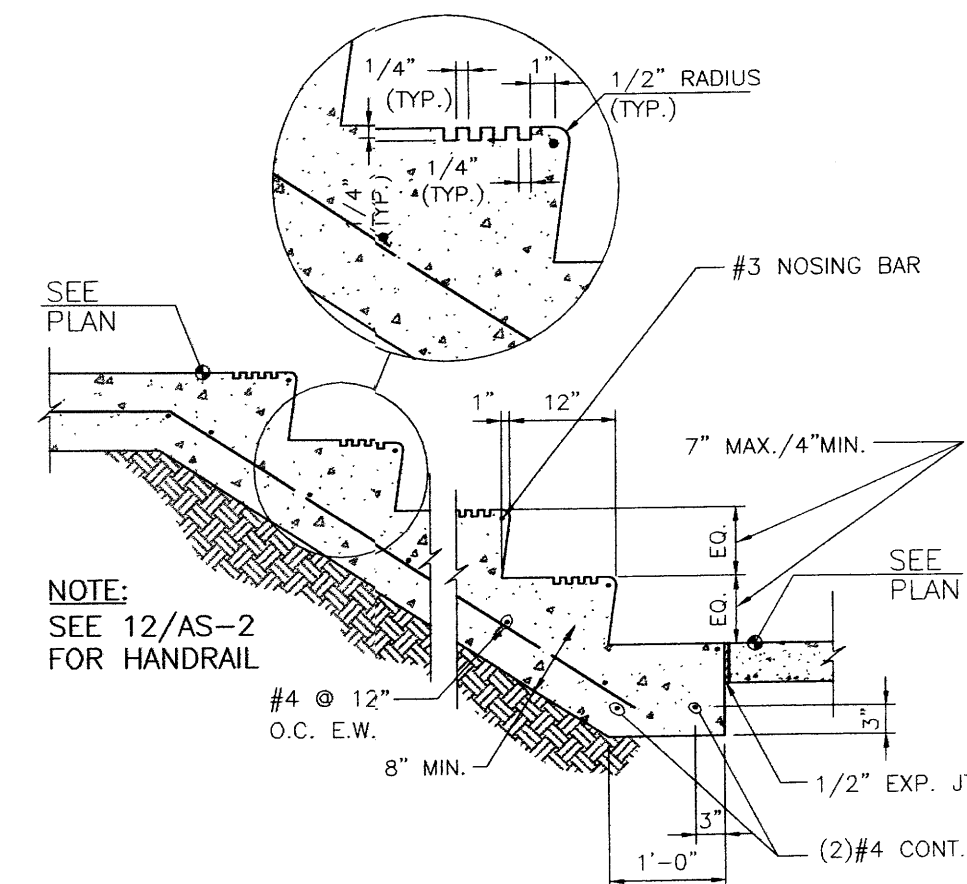


SITE UTILITY PLAN

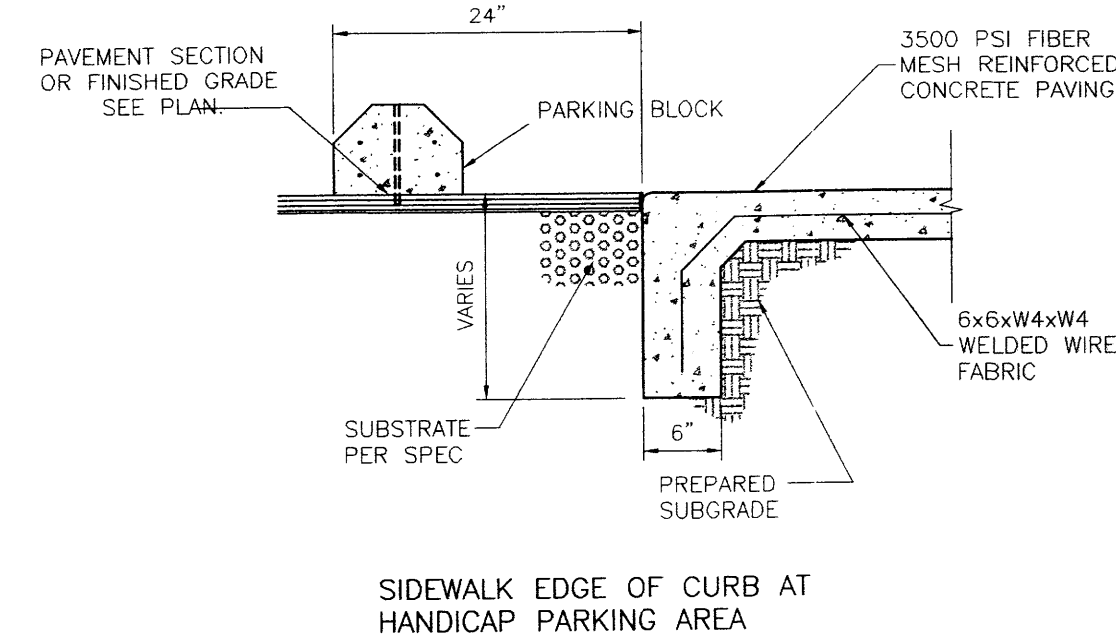
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C-3.1

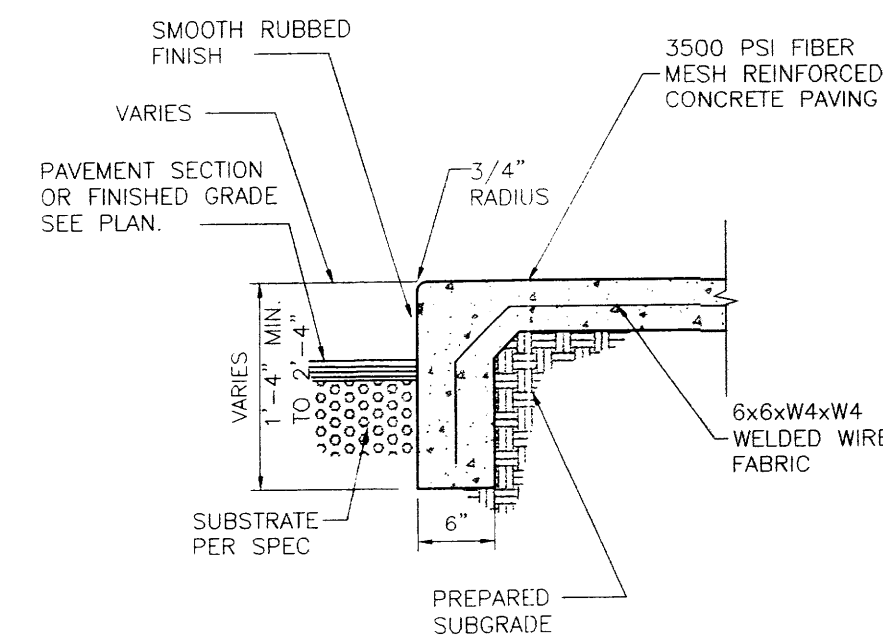


10
EXTERIOR CONCRETE STAIR SECTION
NOT TO SCALE
C-1.1 C-5.1

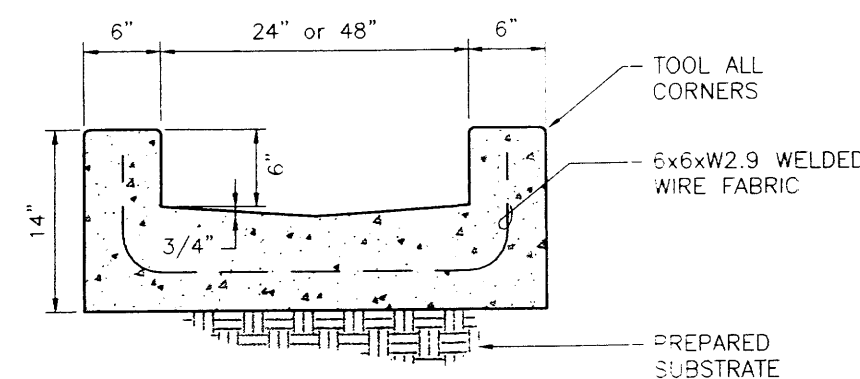


4
SIDEWALK EDGE OF CURB AT HANDICAP PARKING AREA
NOT TO SCALE
C-1.1 C-5.1

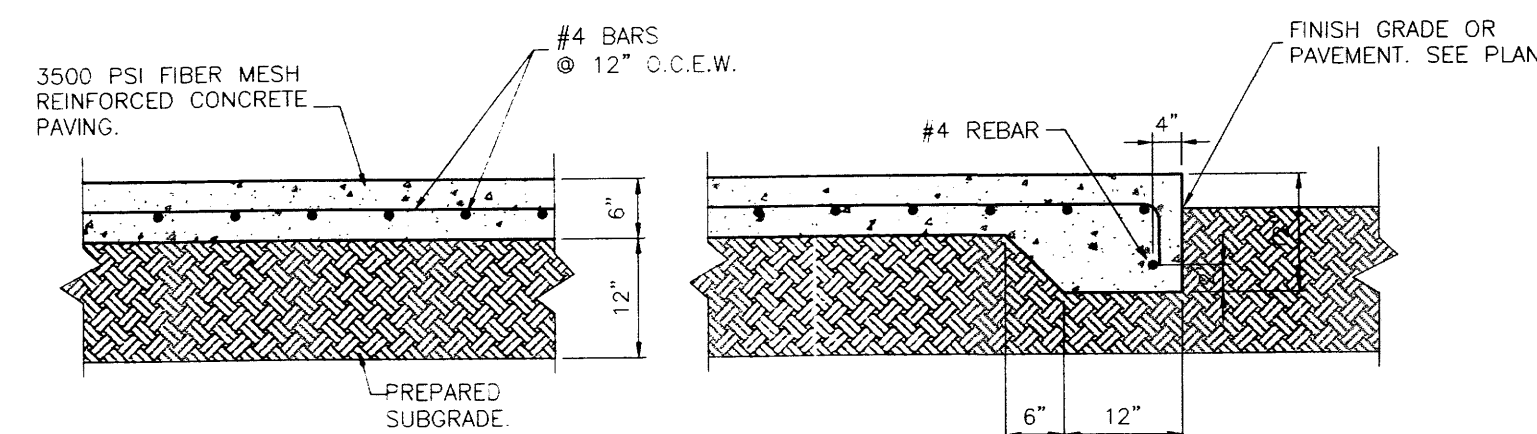
- CURB & GUTTER CONSTRUCTION NOTES:**
- Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C. unless otherwise noted.
 - Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
 - Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing a.c. pavement.
 - Dimensions at rounded corners measured to intersection of straight lines.
 - For all other curbing provide control jts. @ 10' o.c., provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.



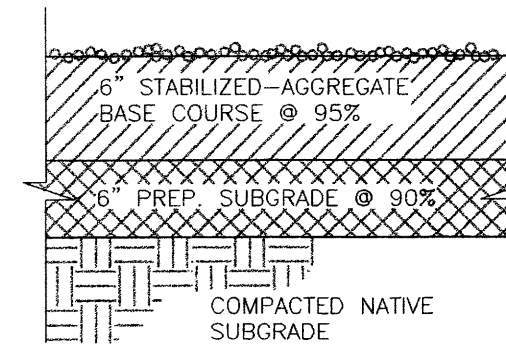
9
SIDEWALK EDGE CURB
SCALE: 1" = 1'-0"
C-1.1 C-5.1



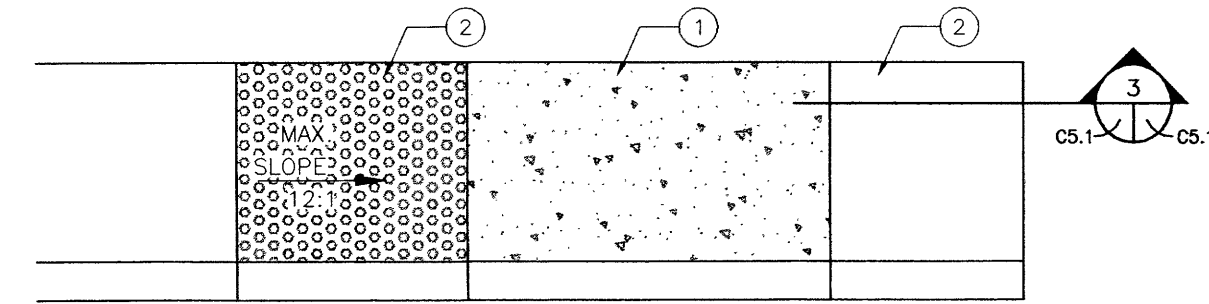
12
24" & 48" CONCRETE WEIR/RUNDOWN
SCALE: 1" = 1'-0"
C-1.1 C-5.1



13
CONCRETE PAVEMENT
NOT TO SCALE
C-1.1 C-5.1

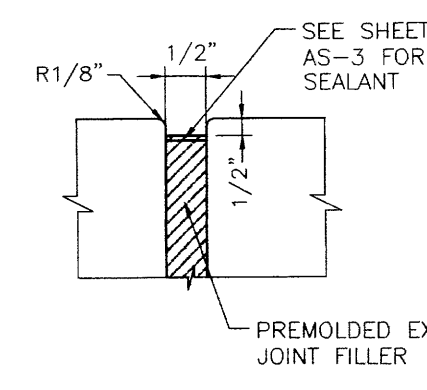


4
GRAVEL PAVEMENT SECTIONS
NOT TO SCALE
C-1.1 C-5.1



5
TYP. CURB RAMP PLAN
NOT TO SCALE
C-1.1 C-5.1

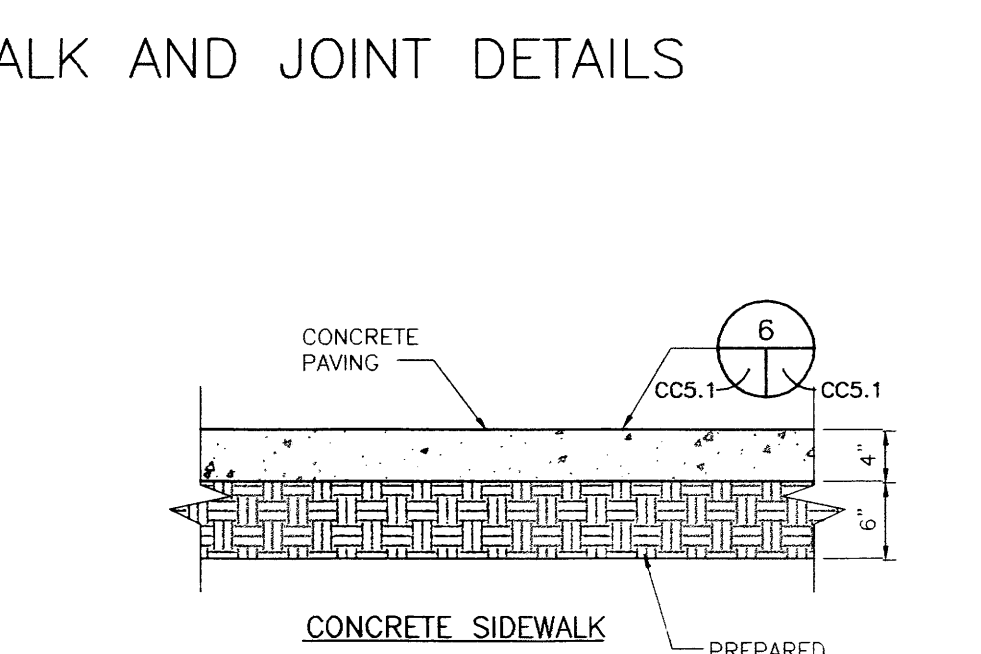
- KEYED NOTES:**
- LEVEL LANDING AREA
 - CONC. CURB, SEE PLANS



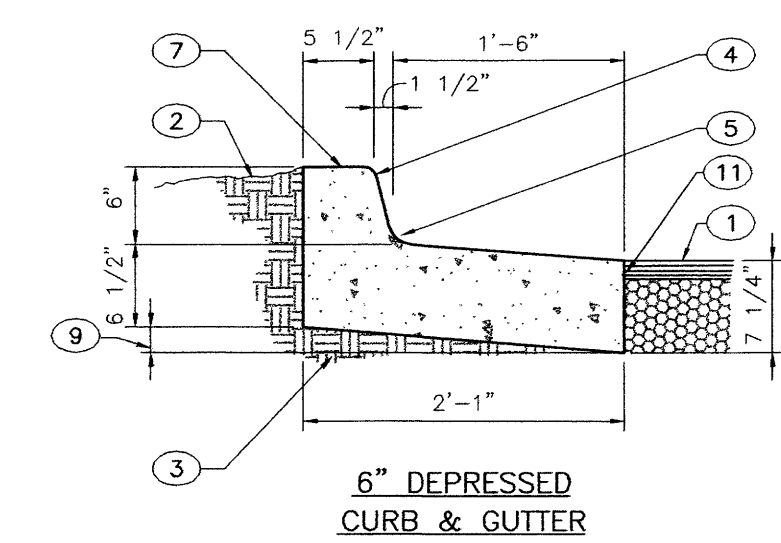
6
TYP. SIDEWALK AND JOINT DETAILS
NOT TO SCALE
C-5.1 C-5.1

CONTRACTION JOINT

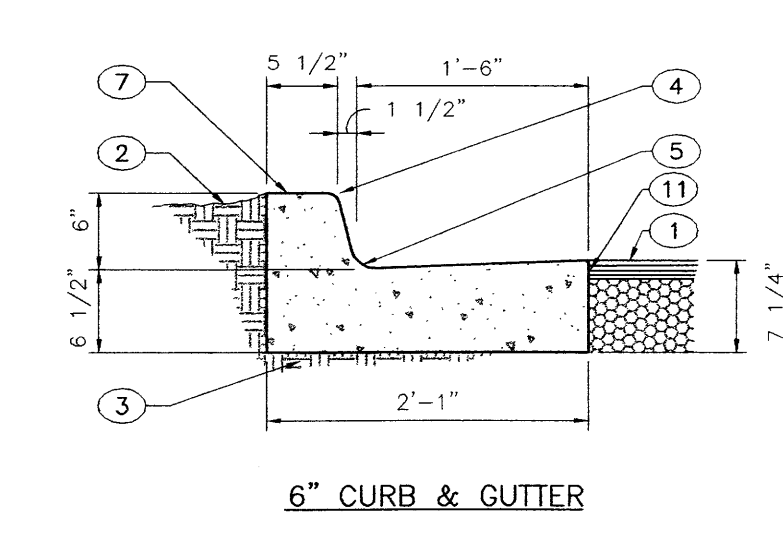
SECTION



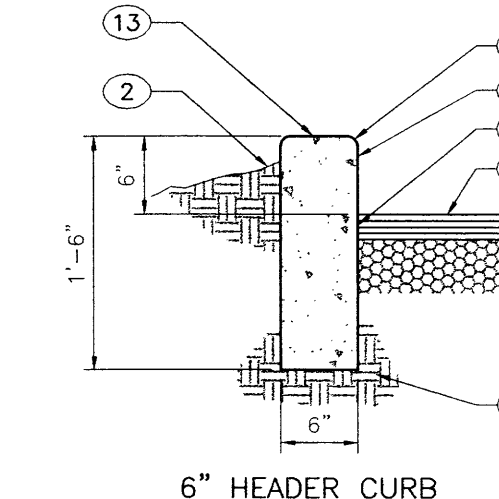
7
TYPICAL SIDEWALK PAVING
SCALE: 1" = 1'-0"
C-1.1 C-5.1



6
6" DEPRESSED CURB & GUTTER



6
6" CURB & GUTTER



6
6" HEADER CURB

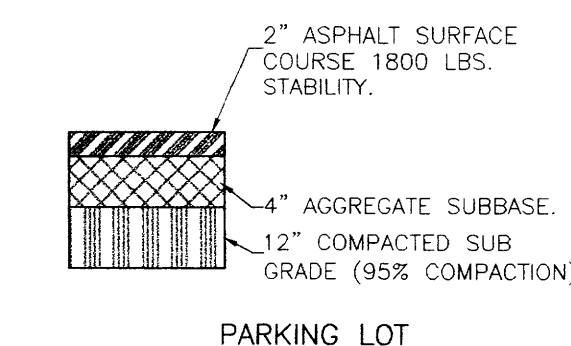
KEYED NOTES:

- Pavement section per drawings and specs.
- Finished grade.
- Prepared subgrade.
- 3/4" radius.
- 1 1/2" radius.
- Not used.
- Concrete curb.
- Not used.
- Varies, depress as needed.
- Not used.
- Tack coat.
- Smooth rubbed finish.

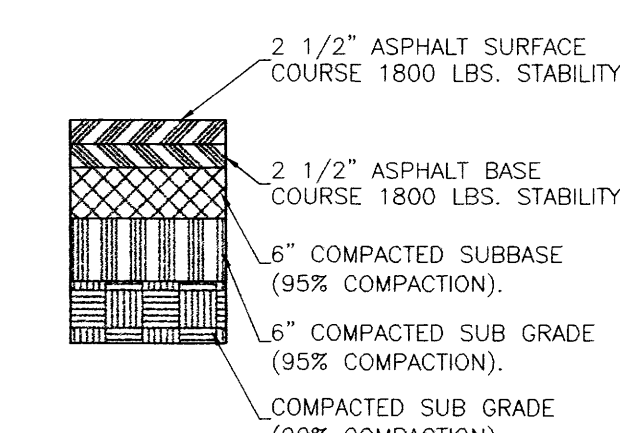
CURB & GUTTER CONSTRUCTION NOTES:

- Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C. unless otherwise noted.
- Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
- Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing a.c. pavement.
- Dimensions at rounded corners measured to intersection of straight lines.
- For 6" curb & gutter provide control jts. @ 6' o.c. max, also provide 1/2" expansion jts. @ 30' o.c. max, at curb returns, & at each side of driveways.
- For all other curbing provide control jts. @ 10' o.c., provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.

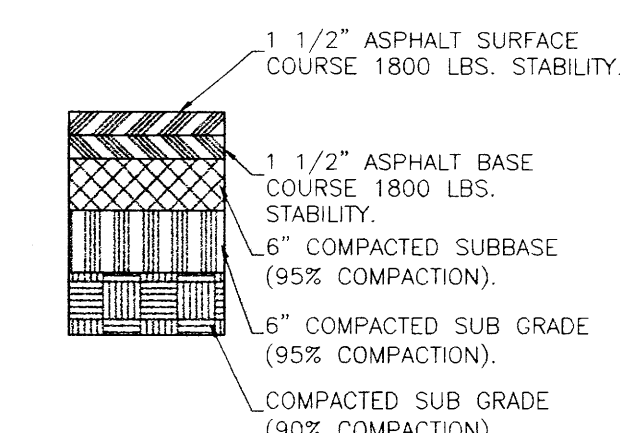
1
CURB AND GUTTER DETAILS
NOT TO SCALE
C-1.1 C-5.1



1
PARKING LOT

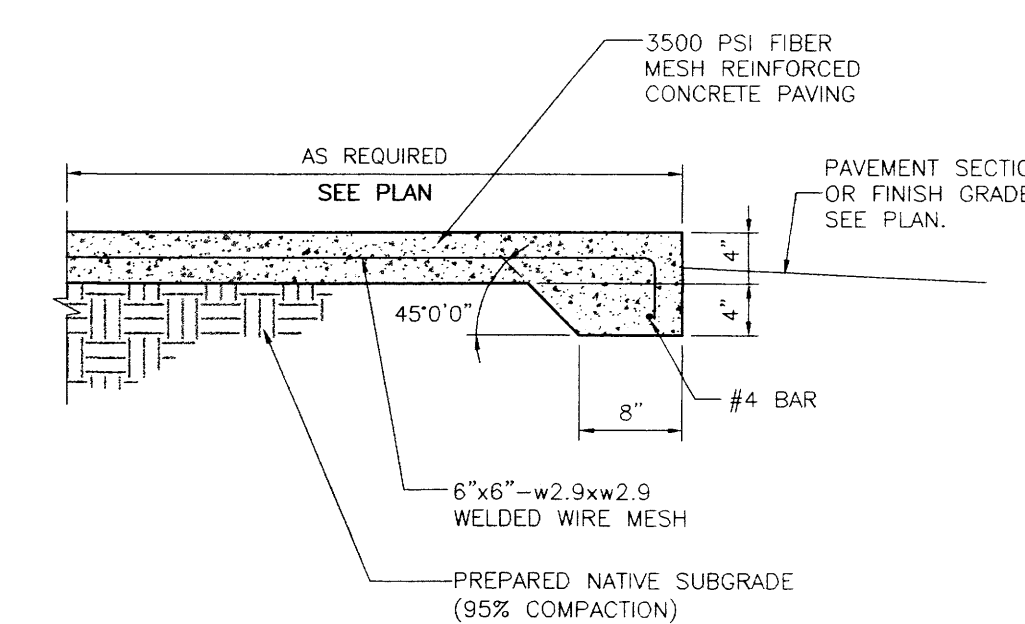


2
UTILITY TRENCHING PATCH

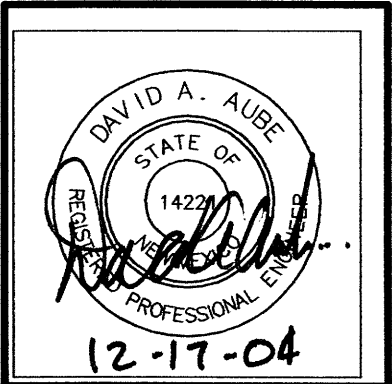


2
MAIN DRIVE

2
ASPHALT CONCRETE PAVEMENT SECTIONS
NOT TO SCALE
C-1.1 C-5.1



3
CONCRETE STOOP
NOT TO SCALE
C-1.1 C-5.1

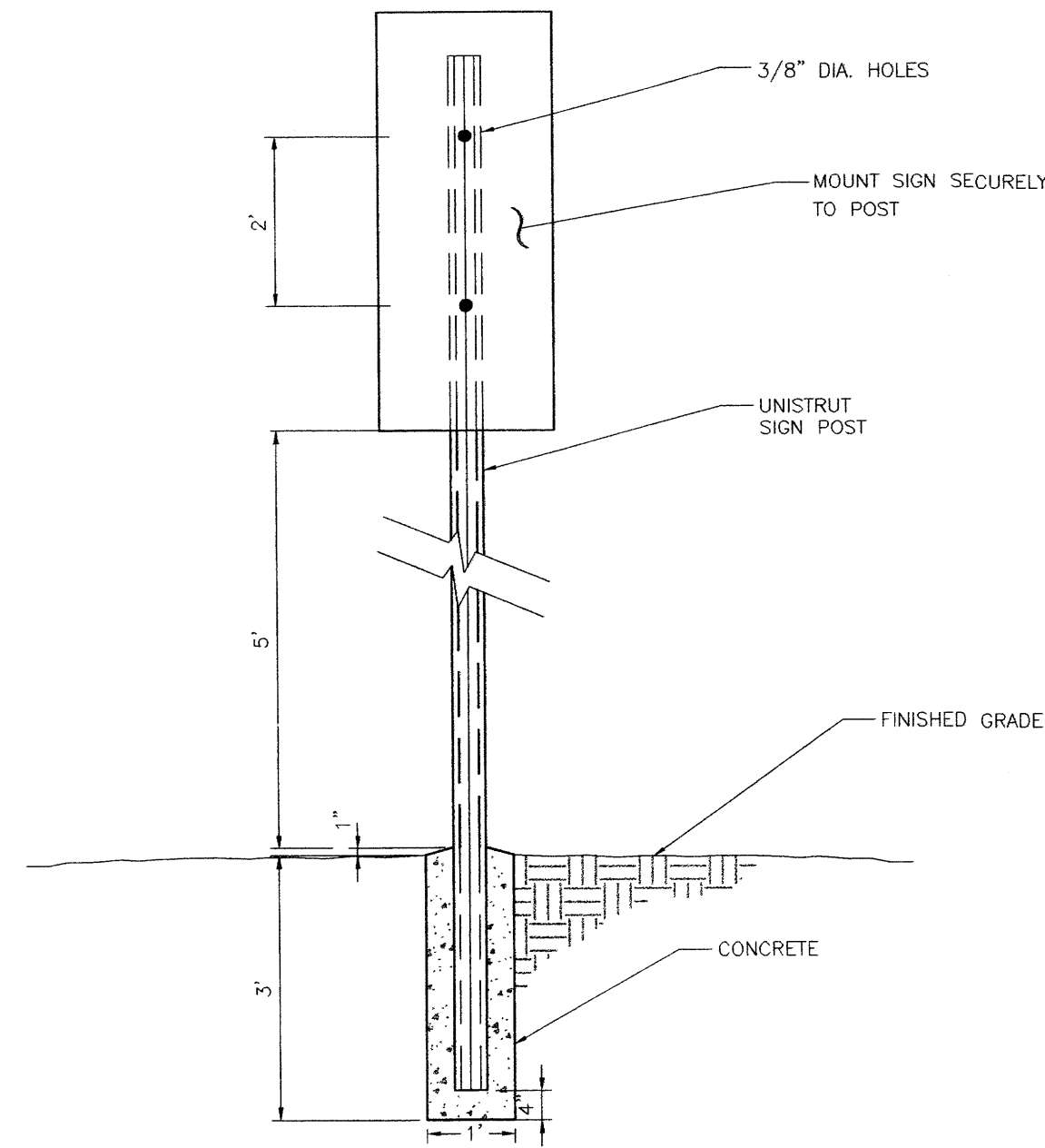
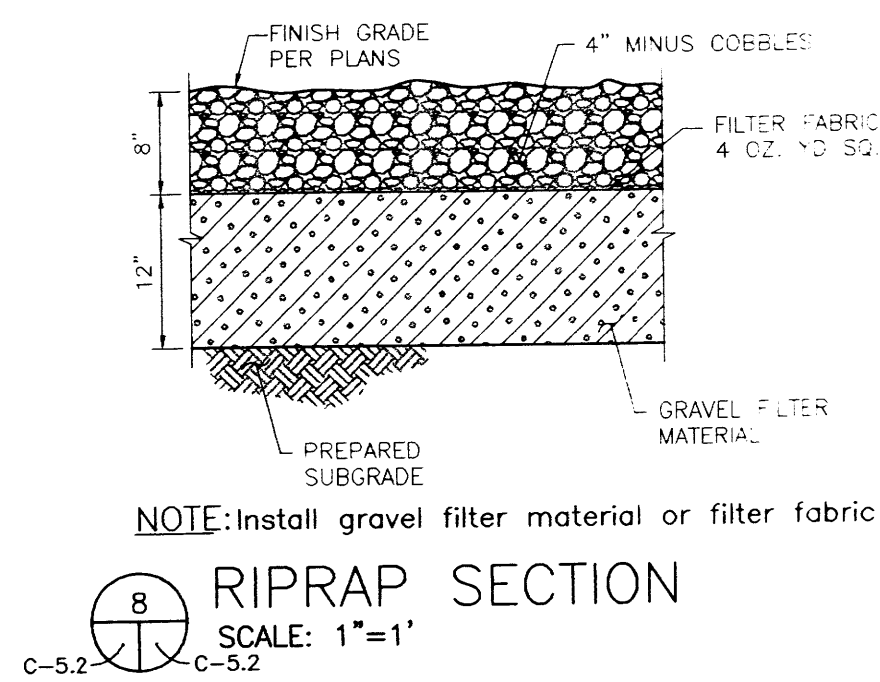
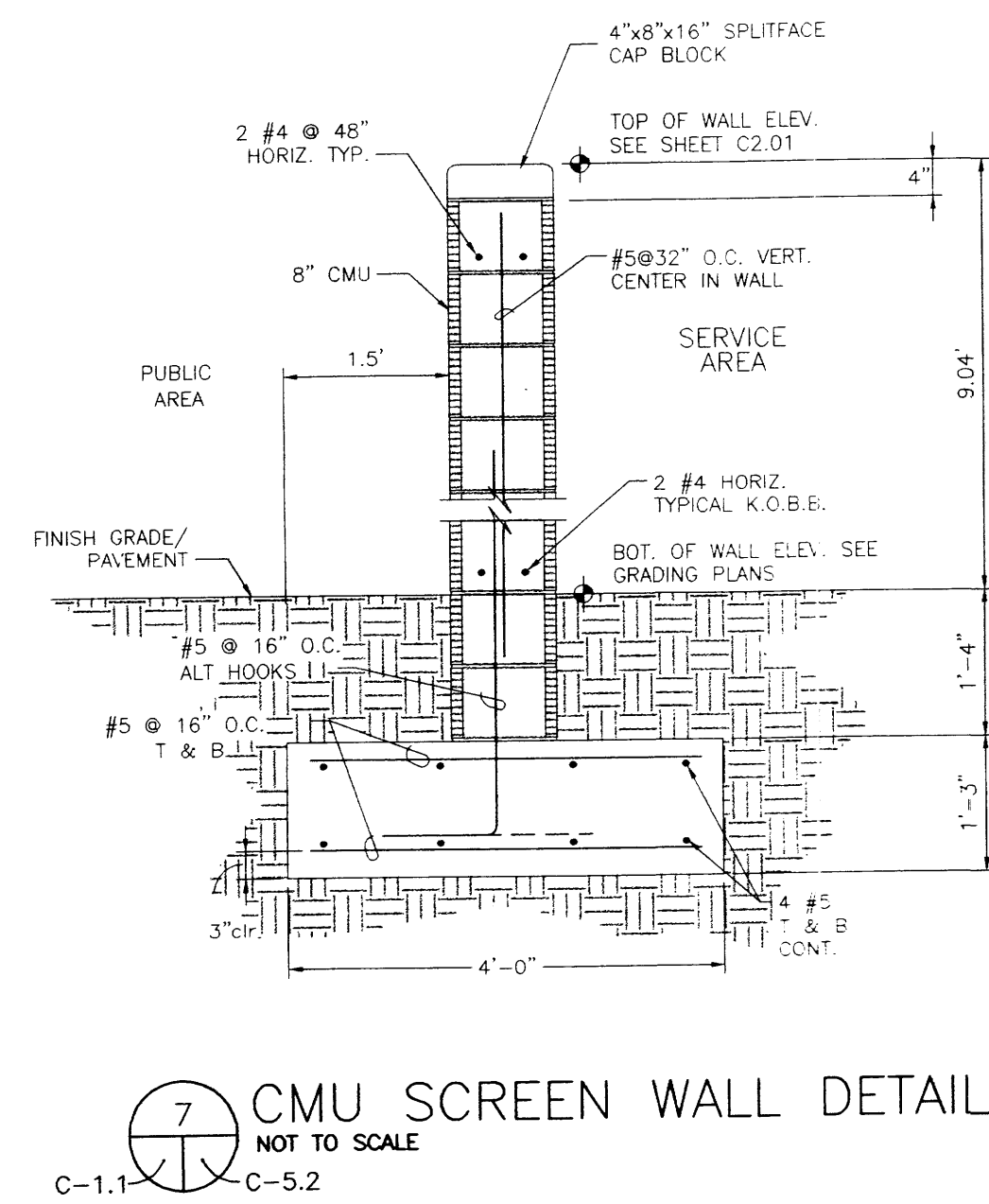
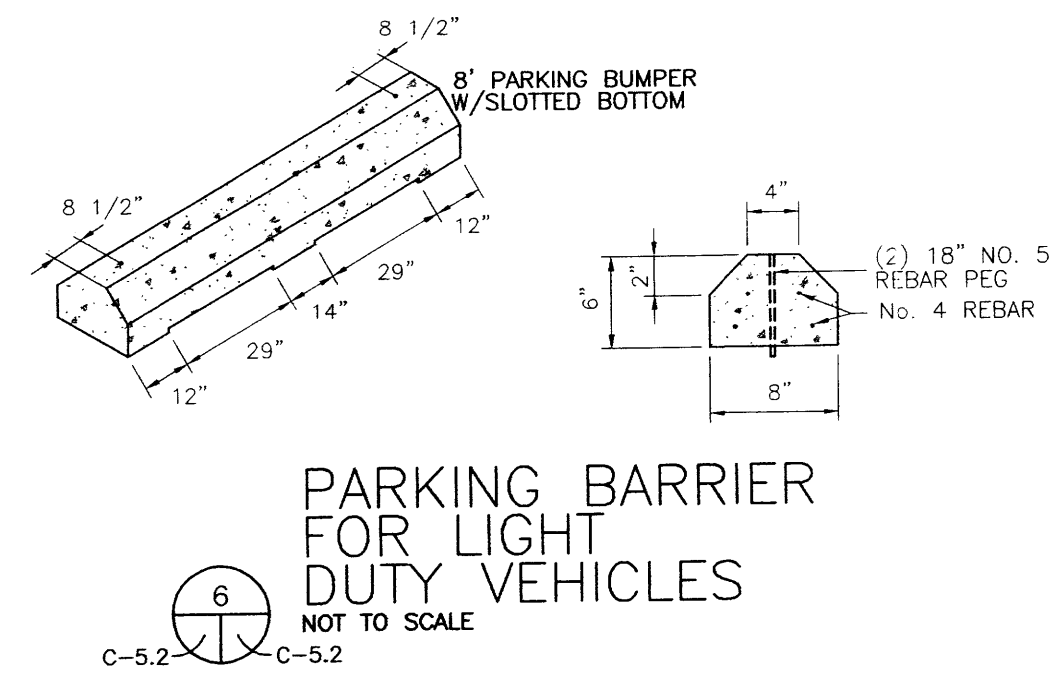


PAVING DETAILS

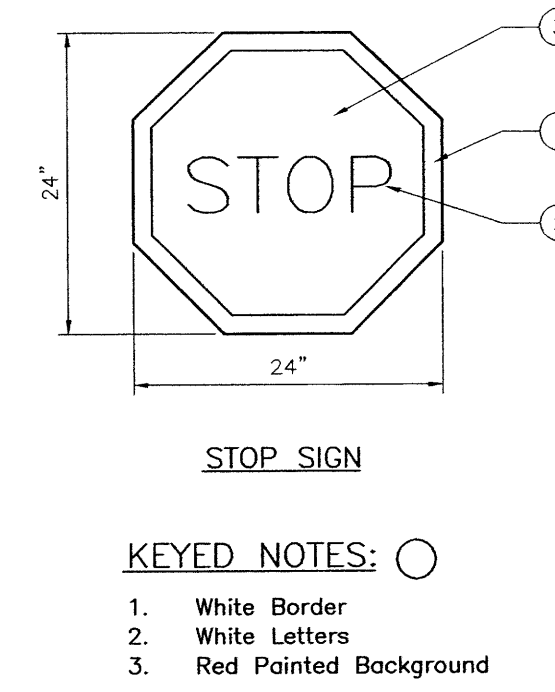
HEFLIN DENTAL CLINIC
CARMEL NE - ALBUQUERQUE, NM
DECEMBER, 2004

MAHLMAN & MILES ARCHITECTS
208 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102
505-243-0101

C-5.1

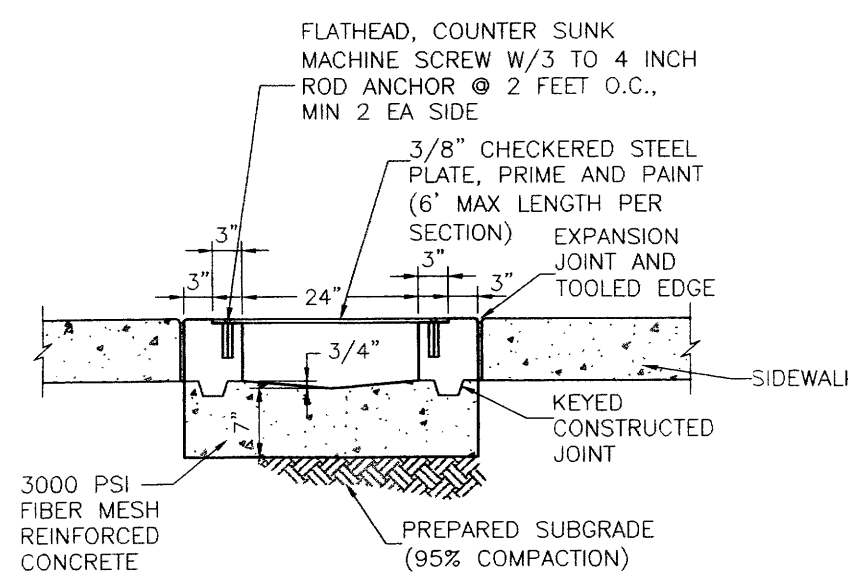
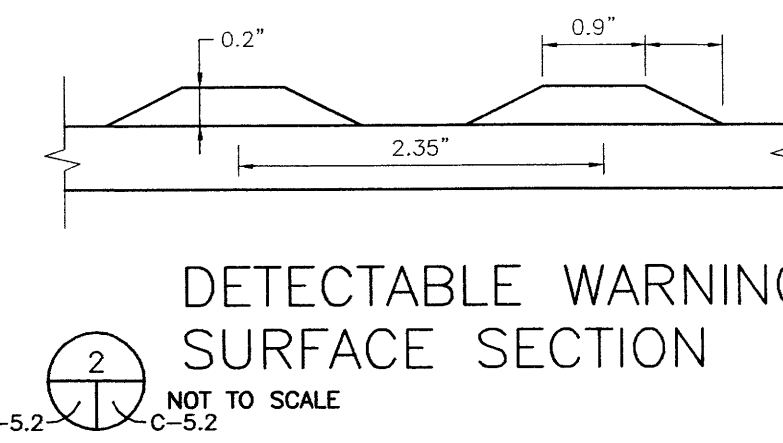


- GENERAL NOTES:
1. SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 3'-0". USE A 2" STEEL FLANGED CHANNEL FOR SIGN POSTS. FABRICATE SIGN PANELS OF .063 ALUMINUM. PAINT POST POSTAL BLUE, (MATTE FINISH).
 2. LOCATE POSTS 2'-0" BACK FROM ADJACENT CURBS, UNLESS NOTED OTHERWISE.
 3. ALL 2" FLANGED CHANNEL SIGN POSTS TO BE INSTALLED WITH WITH BREAK AWAY CONNECTION.
 4. ALL SIGNS TO HAVE AN ANTI GRAFFITI COATING, BOTH SIDES.

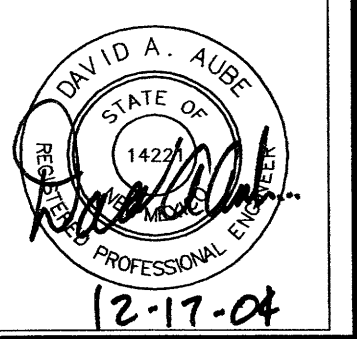
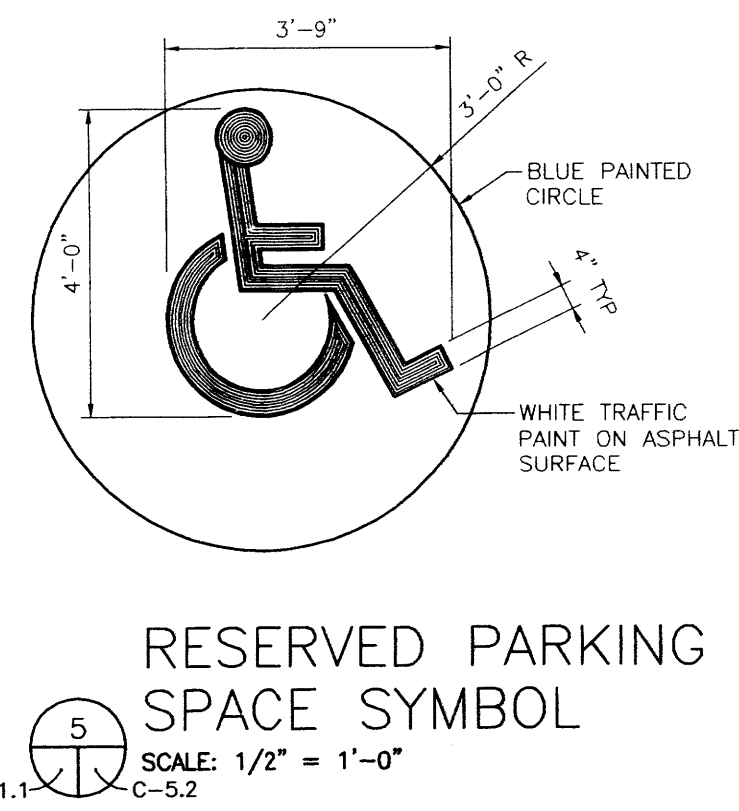


For Sign Installation Refer To Detail 11/C-5.2.

TYPICAL TRAFFIC SIGNS
NOT TO SCALE
C-5.1



SINGLE 24" SIDEWALK CULVERT
NOT TO SCALE
C-5.2

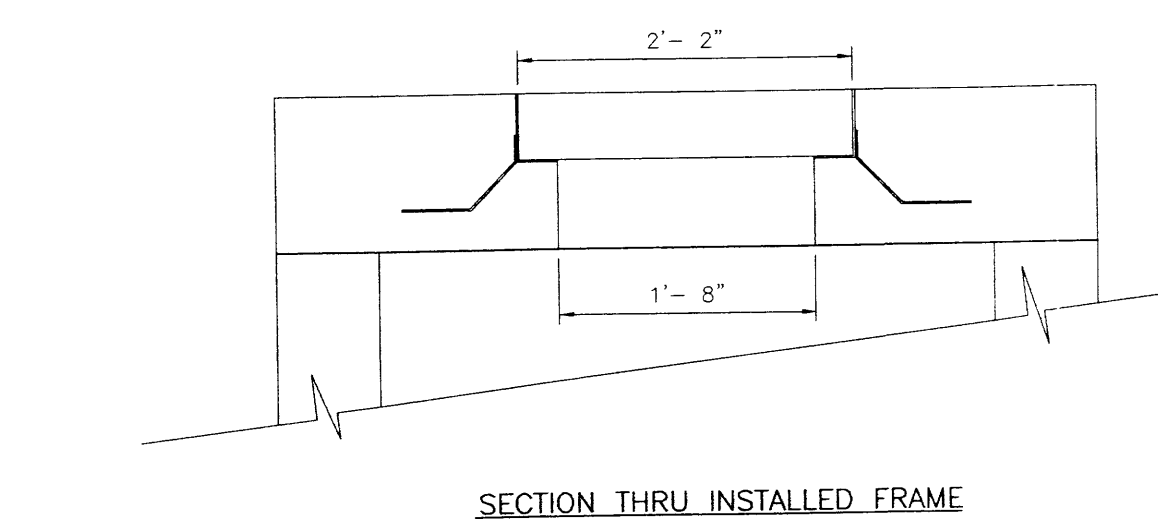
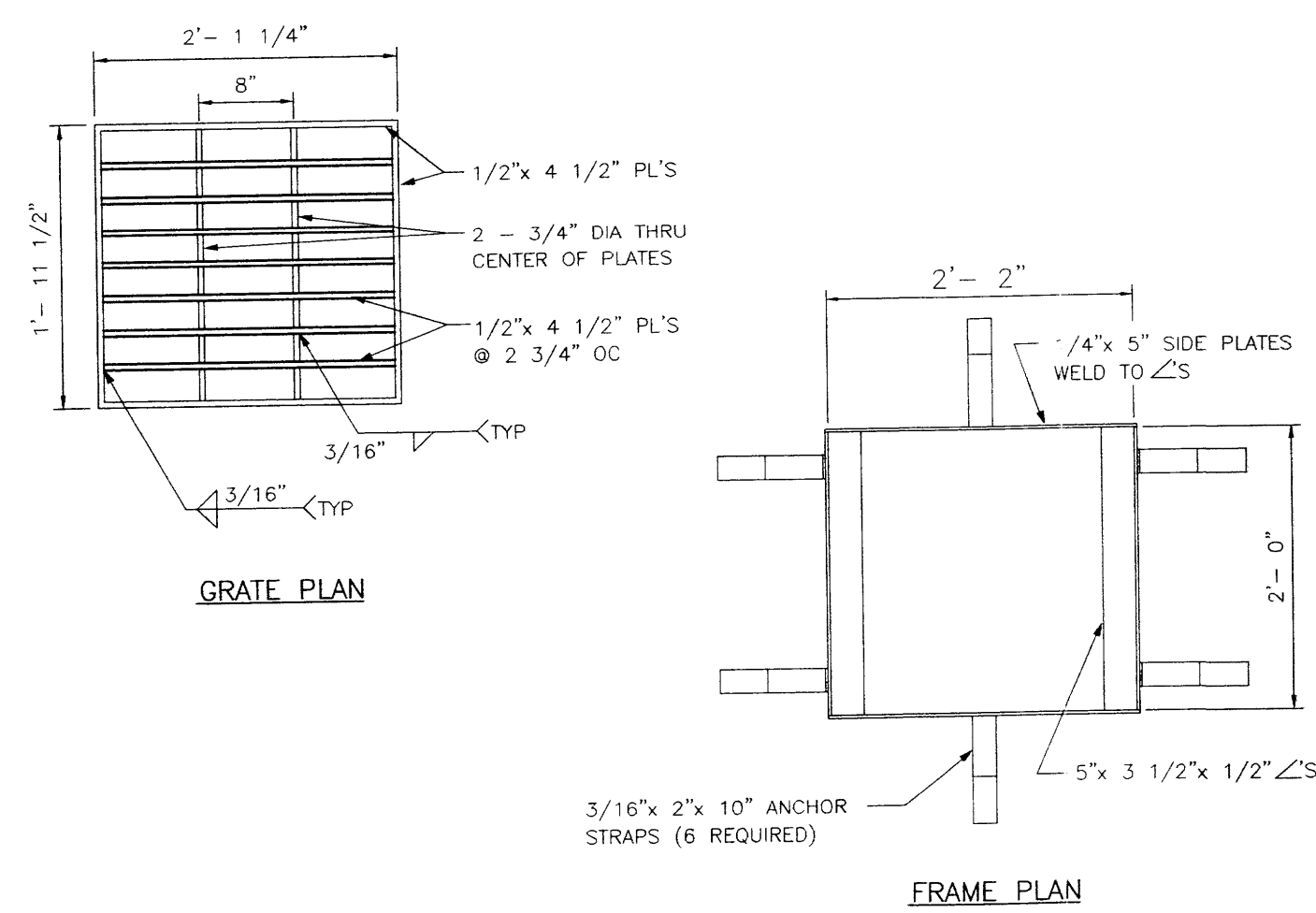


PAVING DETAILS

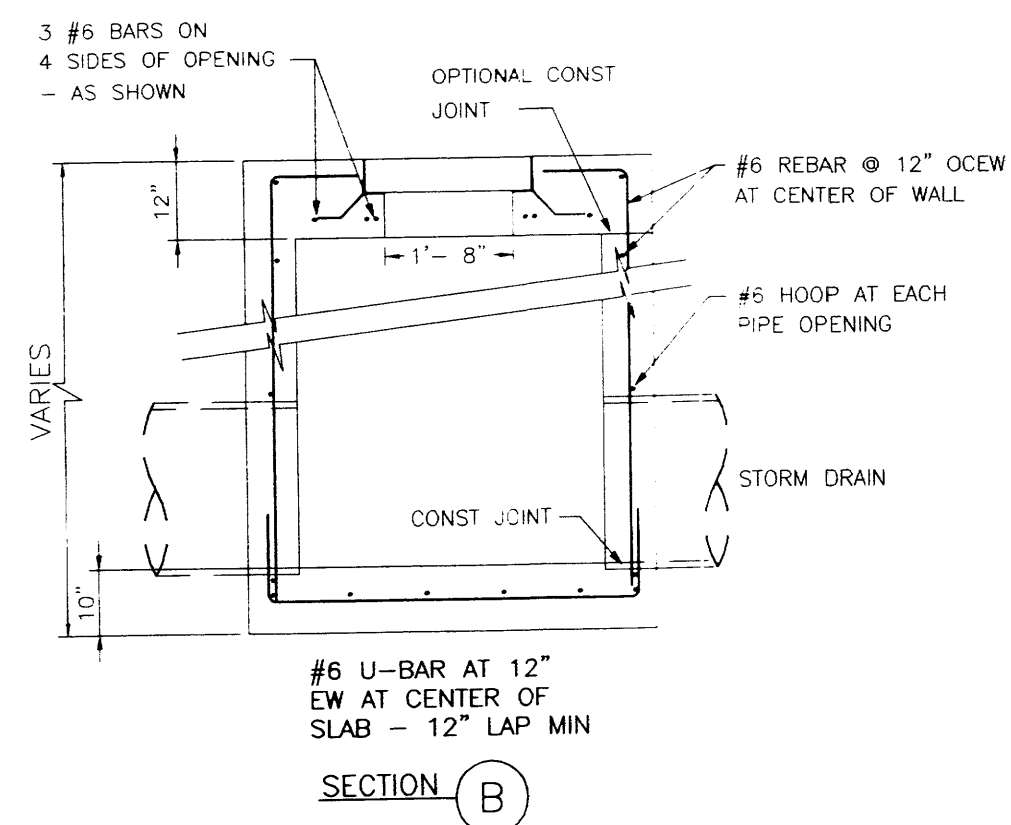
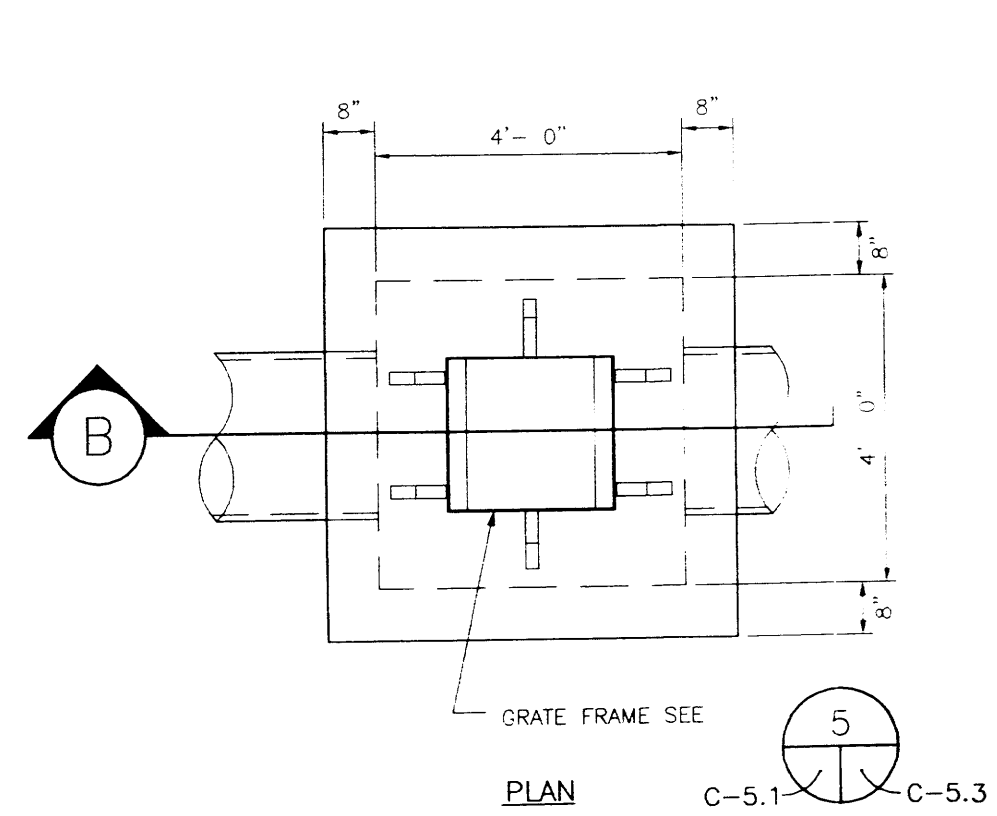
HEFLIN DENTAL CLINIC
CARMEL NE - ALBUQUERQUE, NM
DECEMBER, 2004

MAHLMAN & MILES ARCHITECTS
206 BROADWAY, SE
ALBUQUERQUE, NEW MEXICO 87102
305-243-0101

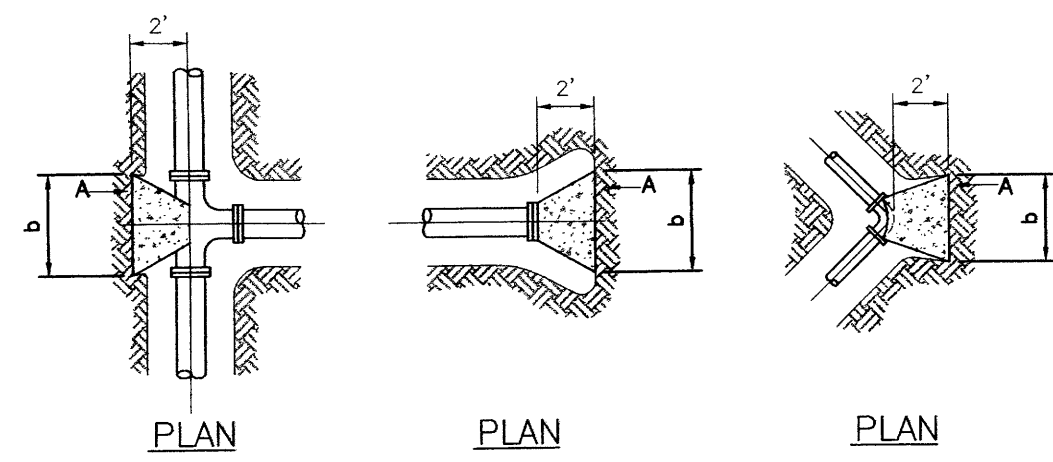
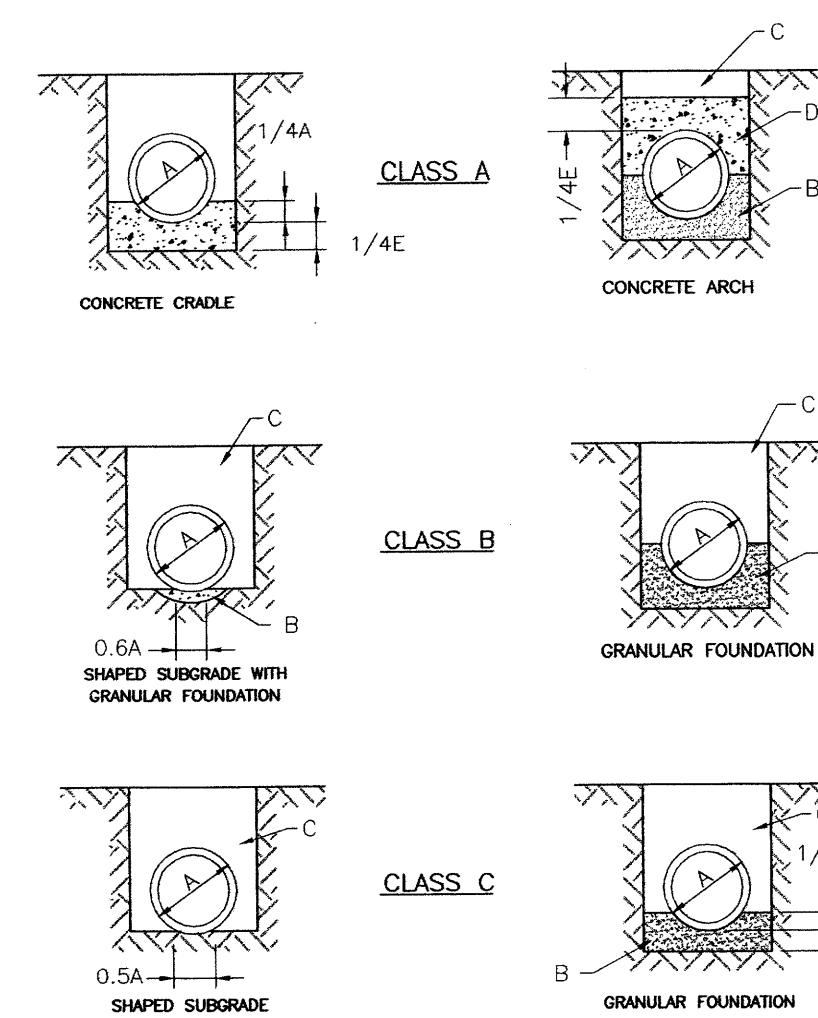
C-5.2



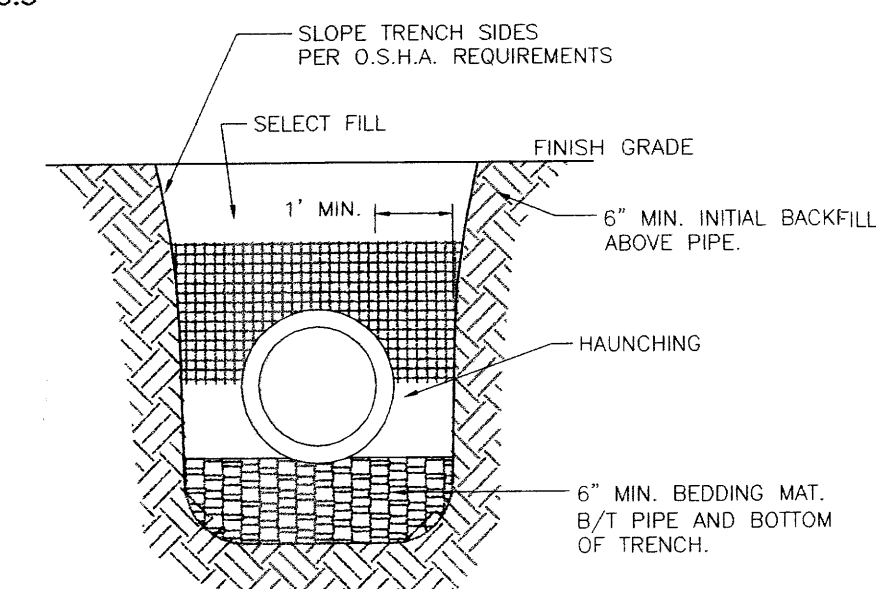
5 STANDARD SURFACE INLET GRATE & FRAME
 SCALE: 1" = 1'-0"



6 STANDARD SURFACE INLET
 SCALE: 1/2" = 1'-0"



5 CONCRETE BLOCKING DETAILS
 NOT TO SCALE
 C-3.1 C-5.3



FLEXIBLE PIPE

- NOTES:**
- Bedding shall be compacted crushed Stone with no sharp edges to puncture Pipe and shall be shaped to the Bottom of the pipe.
 - Haunching and initial backfill material shall be compacted. material shall be Class 1 or 2, (ref. ASTM D2321), Granular and be compacted to 95% std. Proctor.
 - Select fill placement and compaction is the same as for r.c.p.

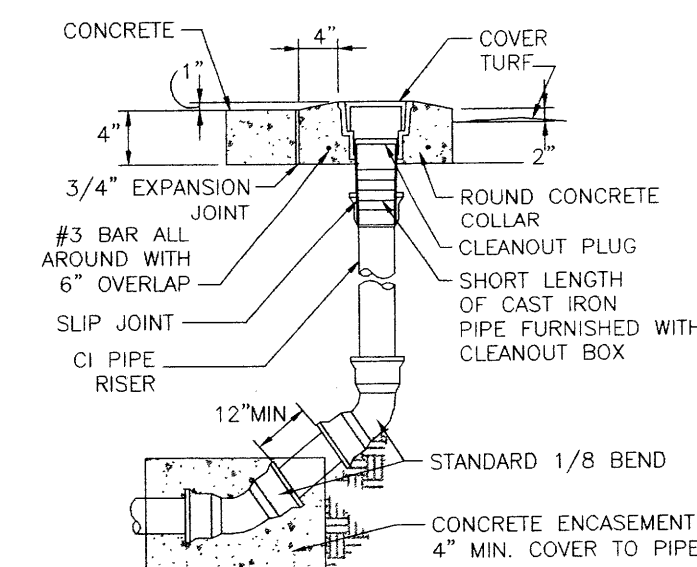
6 TRENCH & BEDDING DETAIL
 NOT TO SCALE
 C-3.1 C-5.3

GENERAL NOTE:

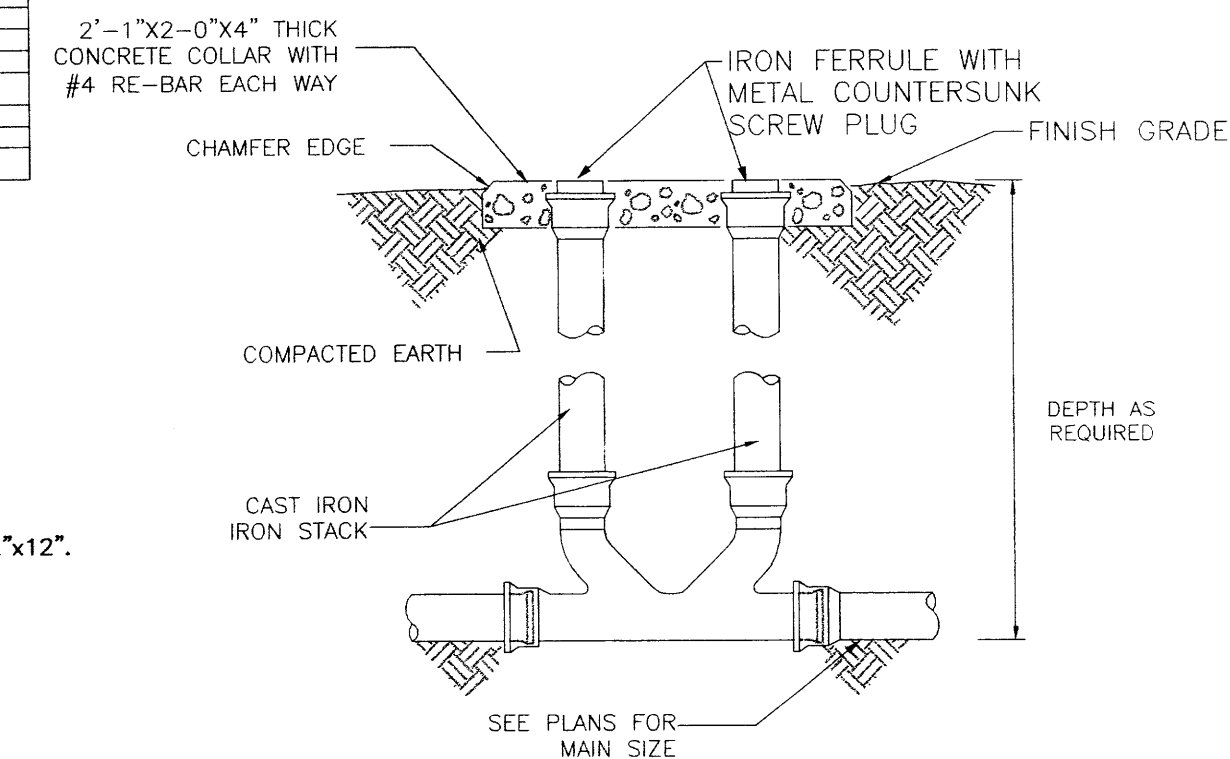
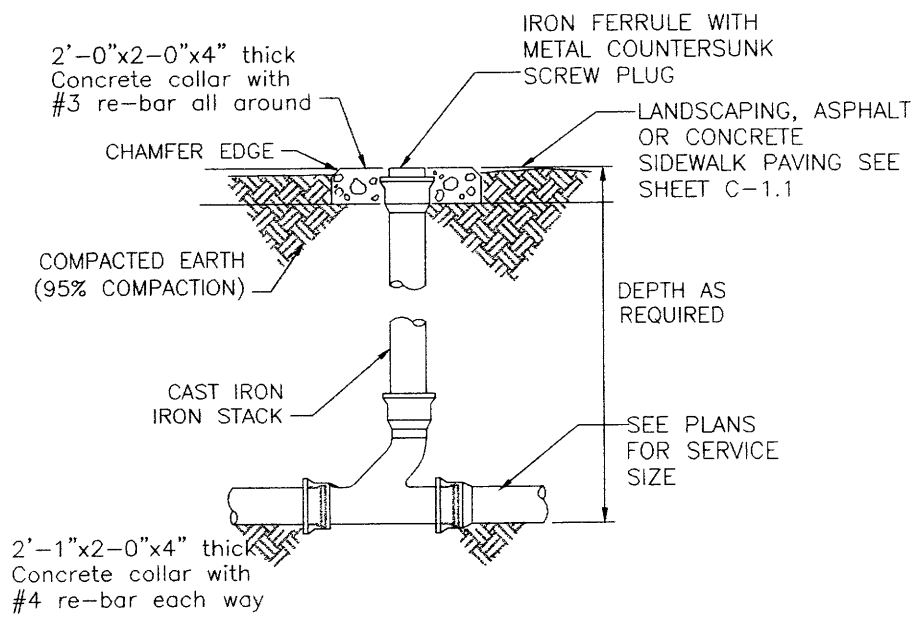
- construction plans shall indicate The class of bedding. Change of Bedding may require change in pipe Classification or wall thickness.

CONSTRUCTION NOTES:

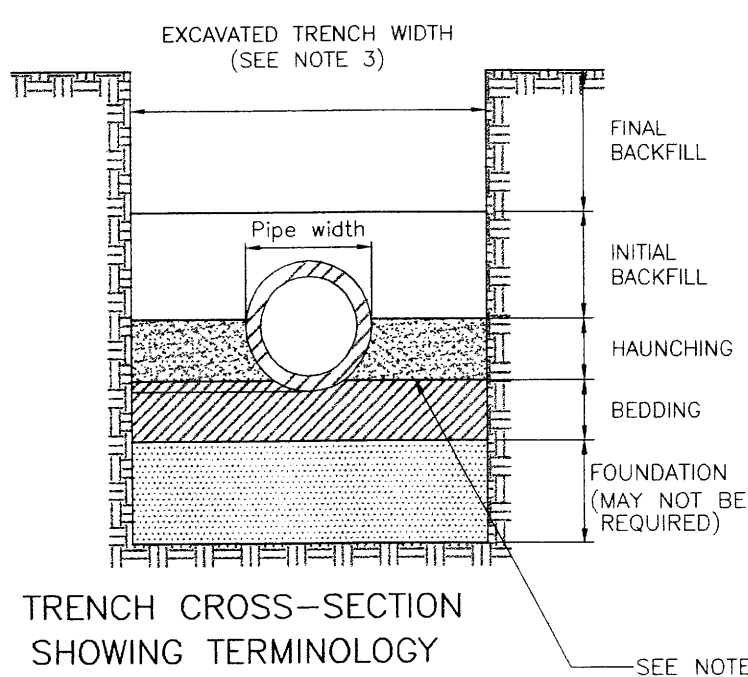
- outside diameter of pipe
- compacted granular material
- compacted fill per section 700 per Pipe material
- minimum 2500 psi concrete



1 TERMINAL CLEANOUT
 NOT TO SCALE
 C-3.1 C-5.3



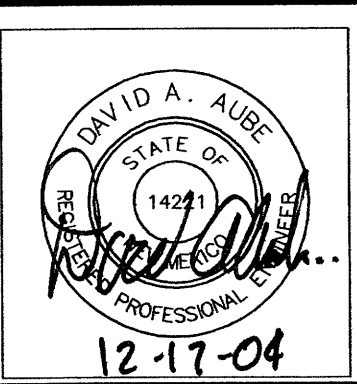
2 DOUBLE CLEAN OUT SANITARY SEWER CLEAN OUT
 NOT TO SCALE
 C-3.1 C-5.3



3 SEWER PIPE TRENCH TERMINOLOGY
 NOT TO SCALE
 C-3.1 C-5.3

GENERAL NOTES:

- Mechanical tampers not to be used in the initial backfill section for flexible pipe.
- Minimum class "C" bedding will be used.
- Trench sideslopes must conform with OSHA requirements.



UTILITY DETAILS

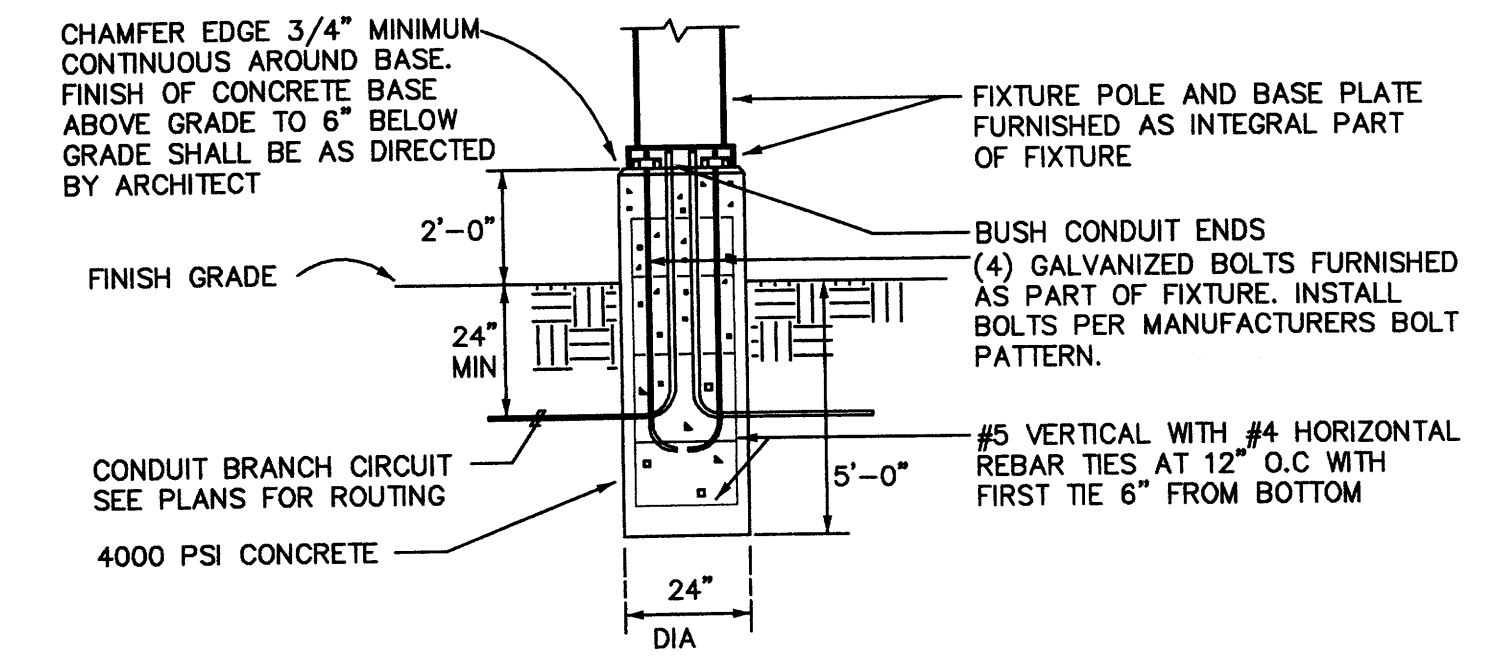
HEFLIN DENTAL CLINIC
 CARMEL NE - ALBUQUERQUE, NM
 DECEMBER, 2004

MAHLMAN & MILES ARCHITECTS
 206 BROADWAY SE
 ALBUQUERQUE, NEW MEXICO 87102
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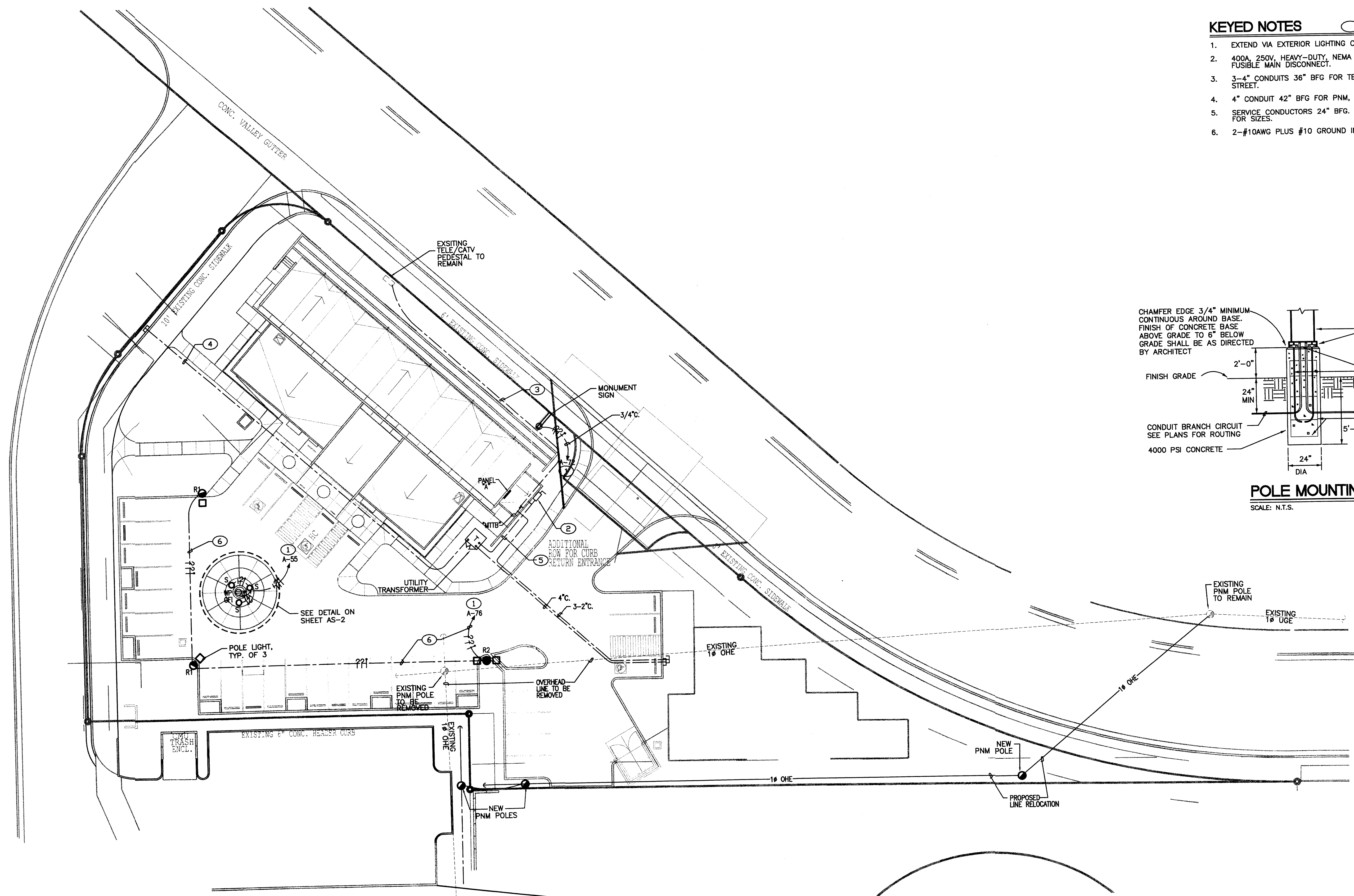
C-5.3

KEYED NOTES

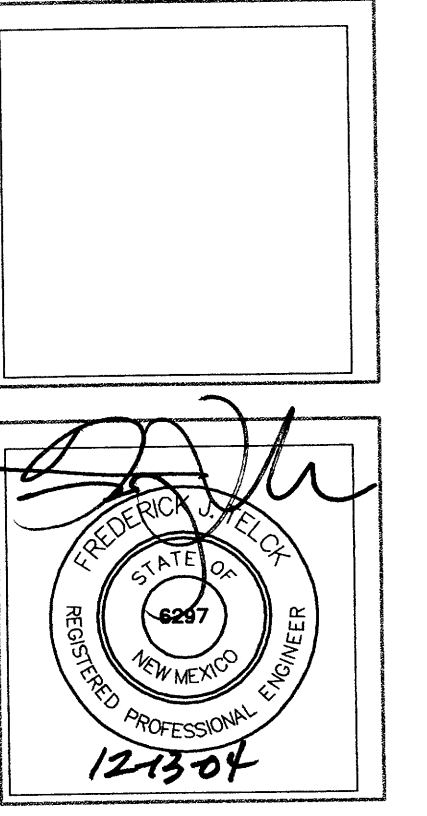
1. EXTEND VIA EXTERIOR LIGHTING CONTROL CABINET TO CIRCUIT INDICATED.
2. 400A, 250V, HEAVY-DUTY, NEMA 3R, 3-POLE, 4 WIRE + GROUND, FUSIBLE MAIN DISCONNECT.
3. 3-4" CONDUITS 36" BFG FOR TELEPHONE(2), AND CATV, TO UTILITY AT STREET.
4. 4" CONDUIT 42" BFG FOR PNM, TO UTILITY AT STREET, TRENCHED BY PNM.
5. SERVICE CONDUCTORS 24" BFG. REFER TO POWER RISER DIAGRAM FOR SIZES.
6. 2-#10AWG PLUS #10 GROUND IN 1" CONDUIT.



POLE MOUNTING DETAIL
SCALE: N.T.S.



ELECTRICAL SITE PLAN
SCALE: 1" = 20'-0"



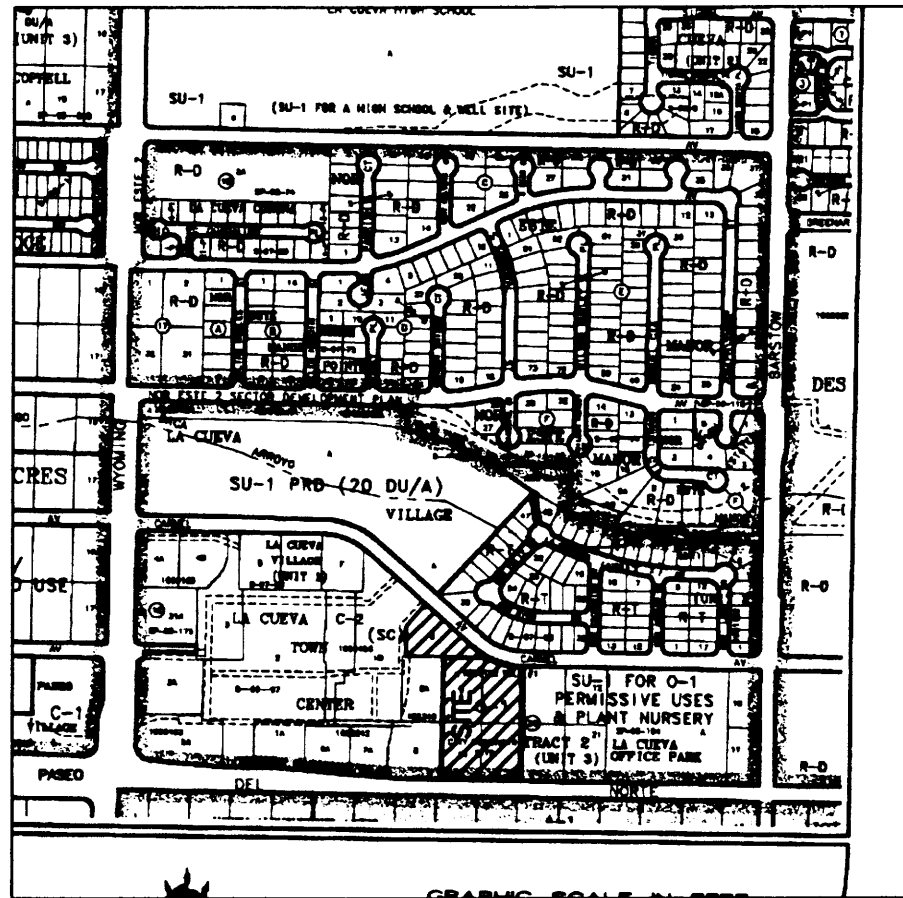
ELECTRICAL SITE PLAN

HEFLIN DENTAL CLINIC
9999 CARMEL NE - ALBUQUERQUE, NM
December 2004

MAHLMAN & MILES ARCHITECTS
208 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102
505-243-0101

THE group **TELCK-HENSLEY ENGINEERING GROUP**
4001 JUAN TABO NE, SUITE A
ALBUQUERQUE, NEW MEXICO 87111
Phone:(505)292-3202 FAX:(505)292-3904

E0.1



VICINITY MAP (C-19) NO SCALE

SUBDIVISION DATA

1. DRB Proj. No. 1002378
2. Vacation No. 02DRB-01749
3. Zone Atlas Index No. C-19
4. Current Zoning O-1
5. Gross acreage 4.6242 ac.
6. Total Number of Tracts created - 0 -
7. This plat has been prepared for the purposes of creating two lots from five existing parcels and a vacated portion of existing public street right-of-way, and the grant of a public utility easement.
8. TALOS LOG NO. 2003020316

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid Bearings, Central Zone, NAD 1927.
2. Perimeter distances are field measurements were made on the ground between recovered and accepted monumentation within the subdivision. Bearings and distances appearing on the plat of record are shown in parentheses ().
3. Monuments recovered and accepted or set are noted on inscribed plat.
4. This plat shows all easements of record.
5. Thirty feet (30') of Public right-of-way of Holly Avenue, NE is Vacated by this plat.
6. Lot 9-A is subject to Reciprocal Ingress and Egress for the benefit of Lots 1-A, 1-B, 2, 3, 4, 5, 6-A, 7-A and 8 of LA CUEVA TOWN CENTER and Lot 8-A, Block 20, Tract 2, Unit 3, North Albuquerque Acres, as defined in Declaration of Easements with Covenants and Restrictions Affecting Land for La Cueva Town Center, recorded March 3, 2000, in Book A3, page 3525, refiled March 14, 2000 in Book A3, page 4963, and in First Amendment to said Declaration, filed October 3, 2000, in Book A10, page 7666.
7. A ten-foot Public Utility Easement following a portion of the South right-of-way line of Carmel Avenue, NE is granted by this plat.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1 019 064 391 060 4020B, 1 019 064 411 027 40124
 PROPERTY OWNER OF RECORD:
 THOMAS HEFLIN, CITY OF ALBUQUERQUE
 BERNALILLO COUNTY TREASURER'S OFFICE

DESCRIPTION

A tract of land within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of the following lots:

Lot numbered Nine (9) of LA CUEVA TOWN CENTER, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 29, 1999, in Map Book 99C, Folio 211;

AND Lots numbered Nine (9), Ten (10), Twenty-three (23) and Twenty-four (24) in Block numbered Twenty (20) of NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Map Book D1, Folio 20; AND the Vacated remaining Southerly Thirty feet (30') of Holly Avenue, NE, and being more particularly described as follows:

BEGINNING at the Southeast corner of the herein described tract of land, said corner being the Southeast corner of Lot numbered 23 in Block numbered 20 of NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, and being a point on the North right-of-way line of Paseo Del Norte, from which point ACS Monument 2-D20A (X=410218.35, Y=1516110.28, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 20°30'41" E, a ground distance of 2894.44 feet, and running thence, along said right-of-way;
 N 89°37'43" W, a distance of 329.77 feet to the Southwest corner;
 thence, N 00°15'42" E, a distance of 497.90 feet;
 thence, N 89°40'16" W, a distance of 152.32 feet;
 thence, N 00°00'00" E, a distance of 104.80 feet to a point of curve;
 thence, along a curve to the right having a radius of 60.00 feet, a central angle of 41°42'24", chord bearing N 20°51'12" E, 42.72 feet, an arc distance of 43.68 feet to a point of tangency;
 thence, N 41°42'24" E, a distance of 63.77 feet to a point of curve;
 thence, along a curve to the right having a radius of 30.00 feet, a central angle of 90°00'00", chord bearing N 86°42'24" E, 42.43 feet, an arc distance of 47.12 feet to a point of tangency, being a point on the Southerly right-of-way line of Carmel Avenue, NE;
 thence, following said right-of-way, S 48°17'36" E, a distance of 216.48 feet to a point of curve;
 thence, continuing along said right-of-way, along a curve to the left having a radius of 330.00 feet, a central angle of 41°56'57", chord bearing S 66°13'52", 244.46 feet, an arc distance of 241.61 feet to the Northeast corner of the herein described tract;
 thence, S 00°09'50" E, a distance of 233.89 feet;
 thence, S 00°48'19" W, a distance of 233.94 feet to the Southeast corner of the herein described tract and the place of beginning, containing 4.6242 acres, more or less.

FREE CONSENT

Elimination of interior lot lines between Lots 9, 10, 23 and 24 in Block 20 of Tract 2, Unit 3, NORTH ALBUQUERQUE ACRES and designation of area covered by said four lots as Lot 10-A, Block 20, Tract 2, Unit 3, NORTH ALBUQUERQUE ACRES and grant of Ten foot (10') Public Utility Easement following the Southerly right-of-way line of Carmel Avenue, NE is with the free consent and in accordance with the desires of the undersigned owner.

Jay J. Czar, Chief Administrative Officer, of the City of Albuquerque, a Municipal Corporation
 Owner of Lots 9, 10, 23 and 24, Tract 2, Unit 3, North Albuquerque Acres

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

This instrument was acknowledged before me on 1/24/03, 2003 by Jay J. Czar, Chief Administrative Officer of the City of Albuquerque, New Mexico, a Municipal Corporation.

Renie Carmona
 Notary Public

My Commission expires 1/15/2006

FREE CONSENT

Replating of Lot 9, LA CUEVA TOWN CENTER to include adjoining Vacated remaining Southerly Thirty feet (30') of Holly Avenue, NE and grant of Ten foot (10') Public Utility Easement following the Southerly right-of-way line of Carmel Avenue, NE and designation of said land as Lot 9-A, LA CUEVA TOWN CENTER is with the free consent and in accordance with the desires of the undersigned owner.

Thomas Hefflin
 Thomas Hefflin, owner of Lot 9, La Cueva Town Center

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 21st day of January, 2003, the foregoing instrument was acknowledged before me by Thomas Hefflin

Missy D. Kelly
 Notary Public

My Commission expires 3/6/03

PLAT OF
 LOT 9-A
 LA CUEVA TOWN CENTER
 AND
 LOT 10-A AND BLOCK 20
 TRACT 2 UNIT 3
 NORTH ALBUQUERQUE ACRES
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SEC. 18, T. 11 N., R. 4 E., NMPM

DECEMBER 2002

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. 1002378	APPLICATION NO.
Planning Director, City of Albuquerque	Date
Property Management, City of Albuquerque	Date
Traffic Engineer, City of Albuquerque	Date
Water Utilities Department, City of Albuquerque	Date
<i>[Signature]</i>	1-24-03
City Surveyor, City of Albuquerque	Date
Parks and Recreation, City of Albuquerque	Date
A.M.A.F.C.A.	Date
City Engineer, City of Albuquerque	Date
Public Service Company of New Mexico	Date
Comcast Cablevision	Date
Qwest	Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

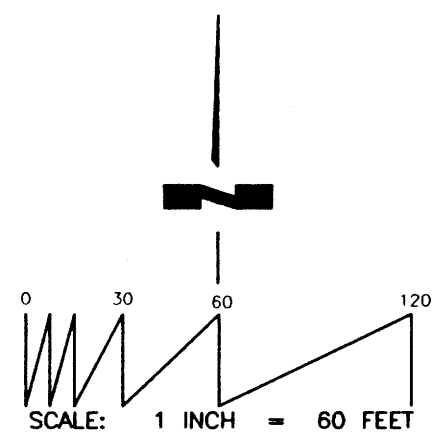
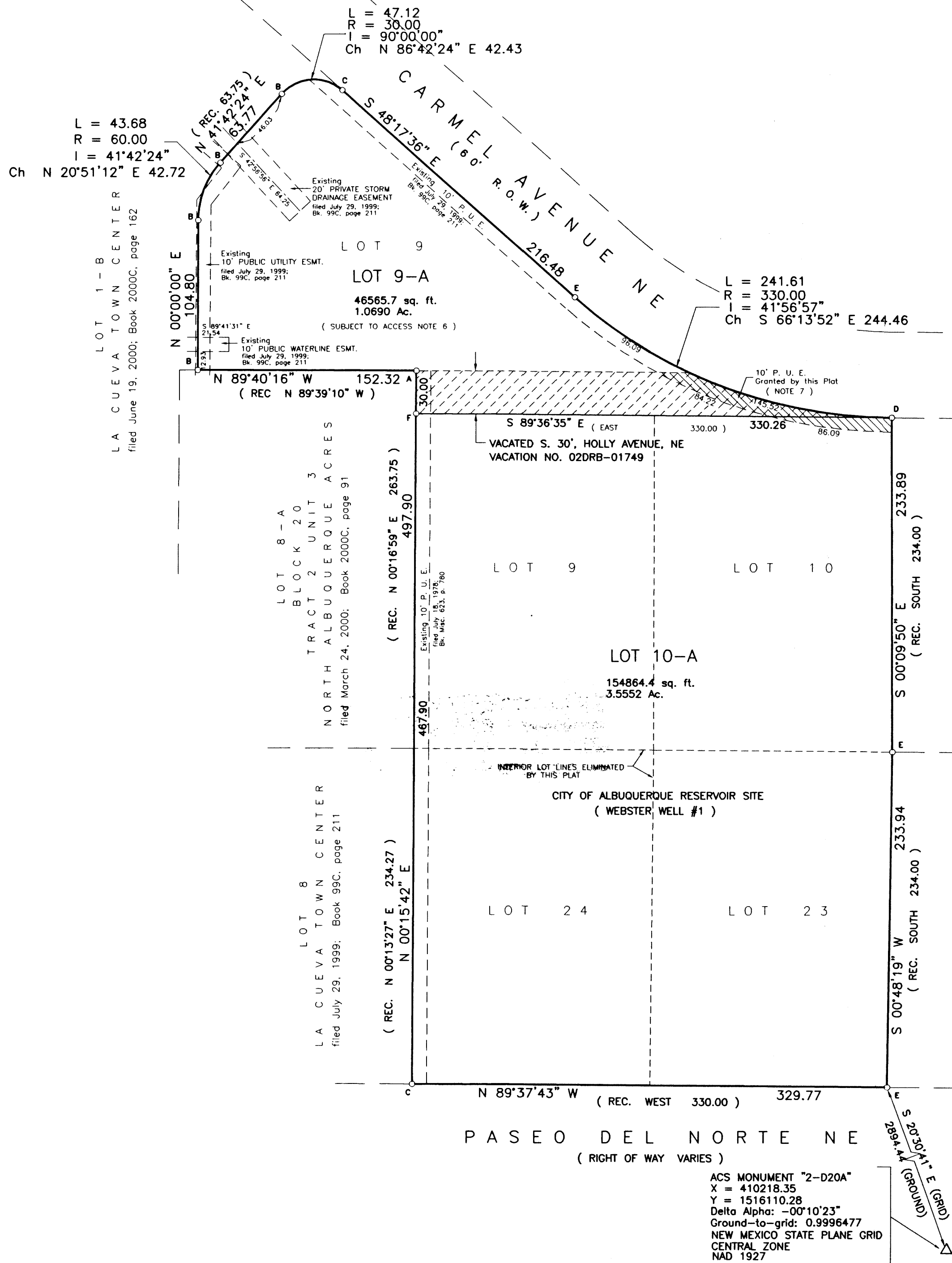
Thomas D. Johnston
 Thomas D. Johnston, N.M.P.S. No. 14269
 Date 1/24/2003

	WAYJOHN SURVEYING, INC. 330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: 255-2052 FAX: 255-2887	
	INDEXING INFORMATION FOR COUNTY CLERK OWNERS: THOMAS HEFLIN, CITY OF ALBUQUERQUE LOCATION: PROJ. SEC. 18, T. 11 N., R. 4 E., N.M.P.M., ALBUQUERQUE, NM	DRAWN: E W K CHECKED: T D J DRAWING NO. SP20102.DWG

PLAT OF
 LOT 9-A
 LA CUEVA TOWN CENTER
 AND
 LOT 10-A BLOCK 20
 TRACT 2 UNIT 3
 NORTH ALBUQUERQUE ACRES
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

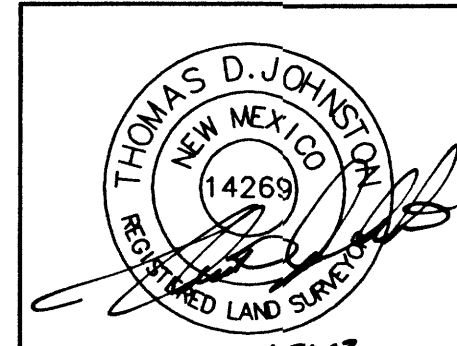
WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SEC. 18, T. 11 N., R. 4 E., NMPM

DECEMBER 2002



MONUMENT LEGEND

- A SET #4 REBAR WITH CAP "WAYJOHN PS 14269"
 - B FOUND NAIL, SHINER "LS 7719"
 - C FOUND #4 REBAR AND CAP "LS 7719"
 - D FOUND #4 REBAR AND CAP "G GRITSKO PLS 8686"
 - E FOUND #5 REBAR -NO ID-
 - F FOUND #5 REBAR, CAP. # OBLITERATED
- ALL FOUND AND ACCEPTED MONUMENTS TAGGED WITH WASHER "PS 14269".



WAYJOHN SURVEYING, INC.
 330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: 255-2052 FAX: 255-2887

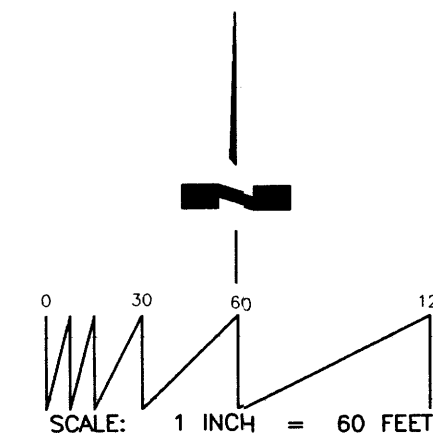
INDEXING INFORMATION FOR COUNTY CLERK OWNERS: THOMAS HEFLIN, CITY OF ALBUQUERQUE LOCATION: PROJ. SEC. 18, T.11 N., R.4 E., N.M.P.M., ALBUQUERQUE, NM	DRAWN: E W K	SCALE: 1" = 60'	FILE NO. SP-2-01-2002
	CHECKED: T D J DRAWING NO. SP20102.DWG	30 DEC 2002	SHEET 1 OF 2

PLAT OF
 LOT 9-A
 LA CUEVA TOWN CENTER
 AND
 LOT 10-A BLOCK 20
 TRACT 2 UNIT 3
 NORTH ALBUQUERQUE ACRES
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SEC. 18, T. 11 N., R. 4 E., NMPM

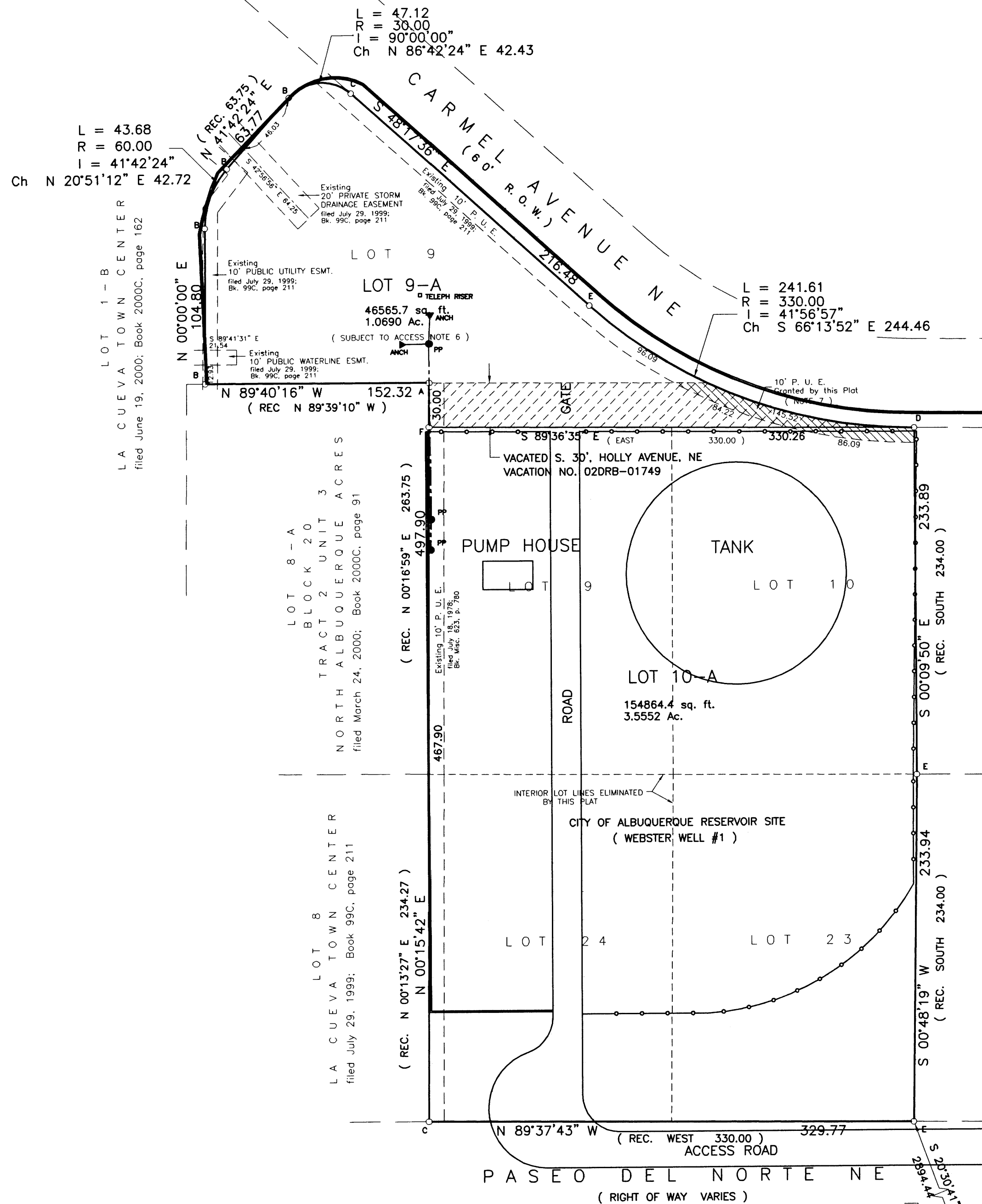
DECEMBER 2002

EXISTING CONDITIONS

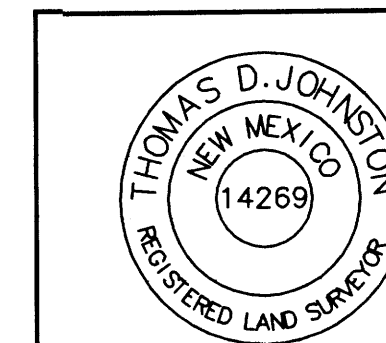


MONUMENT LEGEND

- A SET #4 REBAR WITH CAP "WAYJOHN PS 14269"
 - B FOUND NAIL, SHINER "LS 7719"
 - C FOUND #4 REBAR AND CAP "LS 7719"
 - D FOUND #4 REBAR AND CAP "G GRITSKO PLS 8686"
 - E FOUND #5 REBAR -NO ID-
 - F FOUND #5 REBAR, CAP, # OBLITERATED
- ALL FOUND AND ACCEPTED MONUMENTS TAGGED WITH WASHER "PS 14269".



ACS MONUMENT "2-D20A"
 X = 410218.35
 Y = 1516110.28
 Delta Alpha: -00'10"23"
 Ground-to-grid: 0.9996477
 NEW MEXICO STATE PLANE GRID
 CENTRAL ZONE
 NAD 1927



WAYJOHN SURVEYING, INC.
 330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: 255-2052 FAX: 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNERS: THOMAS HEFLIN, CITY OF ALBUQUERQUE R.A.E. N.M.P.M. ALBUQUERQUE, NM LOCATION: PROJ. SEC. 18, T. 11 N., R. 4 E., N.M.P.M. ALBUQUERQUE, NM	DRAWN: E W K	SCALE: 1" = 60'	FILE NO. SP-2-01-2002
	CHECKED: T D J DRAWN: T D J SP20102.DWG	30 DEC 2002	SHEET 1 OF 2

L = 43.68
 R = 60.00
 I = 41'42"24"
 Ch N 20'51"12" E 42.72

L = 47.12
 R = 30.00
 I = 90'00"00"
 Ch N 86'42"24" E 42.43

L = 241.61
 R = 330.00
 I = 41'56"57"
 Ch S 66'13"52" E 244.46

LOT 9
 LOT 9-A
 46565.7 sq. ft.
 1.0690 Ac.
 (SUBJECT TO ACCESS NOTE 6)

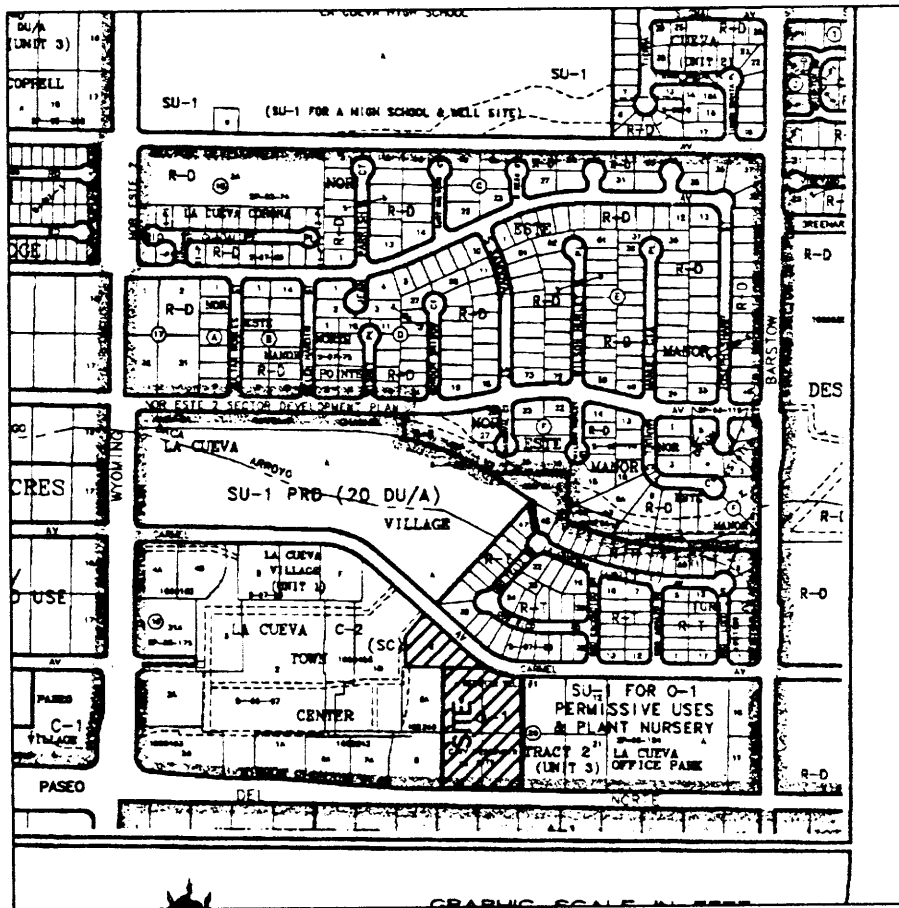
LOT 10-A
 154864.4 sq. ft.
 3.5552 Ac.

LOT 8
 LA CUEVA TOWN CENTER
 filed July 29, 1999; Book 99C, page 211

LOT 8-A
 BLOCK 20
 TRACT 2 UNIT 3
 NORTH ALBUQUERQUE ACRES
 filed March 24, 2000; Book 2000C, page 91

LOT 20
 BLOCK 20
 TRACT 2 UNIT 3
 NORTH ALBUQUERQUE ACRES
 filed September 10, 1931; Vol. D1, folio 20

LOT 1-B
 LA CUEVA TOWN CENTER
 filed June 19, 2000; Book 2000C, page 162



VICINITY MAP (C-19) NO SCALE

SUBDIVISION DATA

1. DRB Proj. No. 1002378
2. Vacation No. 02DRB-01749
3. Zone Atlas Index No. C-19
4. Current Zoning O-1
5. Gross acreage 4.6242 ac.
6. Total Number of Tracts created - 0 -
7. This plat has been prepared for the purposes of creating two lots from five existing parcels and a vacated portion of existing public street right-of-way, and the grant of a public utility easement.
8. TALOS LOG NO. 2003020316

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid Bearings, Central Zone, NAD 1927.
2. Perimeter distances are field measurements were made on the ground between recovered and accepted monumentation within the subdivision. Bearings and distances appearing on the plat of record are shown in parentheses ().
3. Monuments recovered and accepted or set are noted on inscribed plat.
4. This plat shows all easements of record.
5. Thirty feet (30') of Public right-of-way of Holly Avenue, NE is Vacated by this plat.
6. Lot 9-A is subject to Reciprocal Ingress and Egress for the benefit of Lots 1-A, 1-B, 2, 3, 4, 5, 6-A, 7-A and 8 of LA CUEVA TOWN CENTER and Lot 8-A, Block 20, Tract 2, Unit 3, North Albuquerque Acres, as defined in Declaration of Easements with Covenants and Restrictions Affecting Land for La Cueva Town Center, recorded March 3, 2000, in Book A3, page 3525, refiled March 14, 2000 in Book A3, page 4963, and in First Amendment to said Declaration, filed October 3, 2000, in Book A10, page 7666.
7. A ten-foot Public Utility Easement following a portion of the South right-of-way line of Carmel Avenue, NE and along the south boundary line of Lot 9-A is granted by this plat.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1 019 064 391 060 40208, 1 019 064 411 027 40124
 PROPERTY OWNER OF RECORD:
 LA CUEVA TOWN CENTER LTD CO
 THOMAS HEFLIN, CITY OF ALBUQUERQUE
 BERNALILLO COUNTY TREASURER'S OFFICE
 Juanita Calvey 03-20-03

DESCRIPTION

A tract of land, known as the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being

Lot numbered Nine (9) of LA CUEVA TOWN CENTER, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on July 20, 1999, in Map Book 99C, Folio 211; AND Lots numbered Ten (10), Twenty-three (23) and Twenty-four (24) in Block numbered Twenty (20) of NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Map Book D1, Folio 20; AND the Vacated remaining Southerly Thirty feet (30') of Holly Avenue, NE, and being more particularly described as follows:

BEGINNING at the Southeast corner of the herein described tract of land, said corner being the Southeast corner of Lot numbered 23 in Block numbered 20 of NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, and being a point on the North right-of-way line of Paseo Del Norte, from which point ACS Monument 2-D20A (X=410218.55, Y=1516110.28, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 20°30'41" E, a ground distance of 2894.44 feet, and running thence, along said right-of-way;
 N 89°37'43" W, a distance of 329.77 feet to the Southwest corner;
 thence, N 00°15'42" E, a distance of 497.90 feet;
 thence, N 89°40'16" W, a distance of 152.32 feet;
 thence, N 00°00'00" E, a distance of 104.80 feet to a point of curve;
 thence, along a curve to the right having a radius of 60.00 feet, a central angle of 41°42'24", chord bearing N 20°51'12" E, 42.72 feet, an arc distance of 43.68 feet to a point of tangency;
 thence, N 41°42'24" E, a distance of 63.77 feet to a point of curve;
 thence, along a curve to the right having a radius of 30.00 feet, a central angle of 90°00'00", chord bearing N 86°42'24" E, 42.43 feet, an arc distance of 47.12 feet to a point of tangency, being a point on the Southerly right-of-way line of Carmel Avenue, NE;
 thence, following said right-of-way, S 48°17'36" E, a distance of 216.48 feet to a point of curve;
 thence, continuing along said right-of-way, along a curve to the left having a radius of 330.00 feet, a central angle of 41°56'57", chord bearing S 66°13'52", 244.46 feet, an arc distance of 241.61 feet to the Northeast corner of the herein described tract;
 thence, S 00°09'50" E, a distance of 233.89 feet;
 thence, S 00°48'19" W, a distance of 233.94 feet to the Southeast corner of the herein described tract and the place of beginning, containing 4.6242 acres, more or less.

FREE CONSENT

Elimination of interior lot lines between Lots 9, 10, 23 and 24 in Block 20 of Tract 2, Unit 3, NORTH ALBUQUERQUE ACRES and designation of area covered by said four lots as Lot 10-A, Block 20, Tract 2, Unit 3, NORTH ALBUQUERQUE ACRES and grant of Ten foot (10') Public Utility Easement following the Southerly right-of-way line of Carmel Avenue, NE is with the free consent and in accordance with the desires of the undersigned owner.

Joy J. Czar, Chief Administrative Officer, of the City of Albuquerque, a Municipal Corporation
 Owner of Lots 9, 10, 23 and 24, Tract 2, Unit 3, North Albuquerque Acres

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on 1/24/03, 2003 by Joy J. Czar, Chief Administrative Officer of the City of Albuquerque, New Mexico, a Municipal Corporation.

Notary Public

My Commission expires 1/15/2006

FREE CONSENT

Replatting of Lot 9, LA CUEVA TOWN CENTER to include adjoining Vacated remaining Southerly Thirty feet (30') of Holly Avenue, NE and grant of Ten foot (10') Public Utility Easement following the Southerly right-of-way line of Carmel Avenue, NE and designation of said land as Lot 9-A, LA CUEVA TOWN CENTER is with the free consent and in accordance with the desires of the undersigned owner.

Thomas Hefflin, owner of Lot 9, La Cueva Town Center

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO

On this 21st day of January, 2003, the foregoing instrument was acknowledged before me by Thomas Hefflin

Notary Public

My Commission expires 3/10/03



PLAT OF
 LOT 9-A
 LA CUEVA TOWN CENTER
 AND
 LOT 10-A BLOCK 20
 TRACT 2 UNIT 3
 NORTH ALBUQUERQUE ACRES
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SEC. 18, T. 11 N., R. 4 E., NMPM

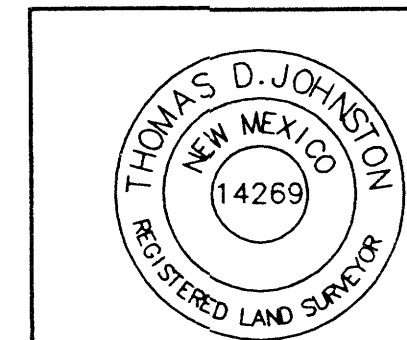
DECEMBER 2002

- APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:
- PROJECT NO. 1002378 APPLICATION NO. 03DRB 00136 City Proj # 1002378
- Shuran Watson* 3/19/2003
 Planning Director, City of Albuquerque Date
- John Blanks* 03/03/03
 Property Management, City of Albuquerque Date
- Richard Davis* 2-05-03
 Traffic Engineer, City of Albuquerque Date
- Roger A. Green* 2-5-03
 Water Utilities Department, City of Albuquerque Date
- Paul Hawk* 1-24-03
 City Surveyor, City of Albuquerque Date
- Christina Sandoval* 2/5/03
 Parks and Recreation, City of Albuquerque Date
- Paul Davis* 2-05-03
 A.M.A.F.C.A. Date
- Bruce H. Biker* 3/6/03
 City Engineer, City of Albuquerque Date
- Leah H. Mat* 2-10-03
 Public Service Company of New Mexico Date
- Rita Eickson* 2-13-03
 Comcast Cablevision Date
- Daniel R. Muller* 2-10-03
 Qwest Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston 1/24/2003
 Thomas D. Johnston, N.M.P.S. No. 14269 Date



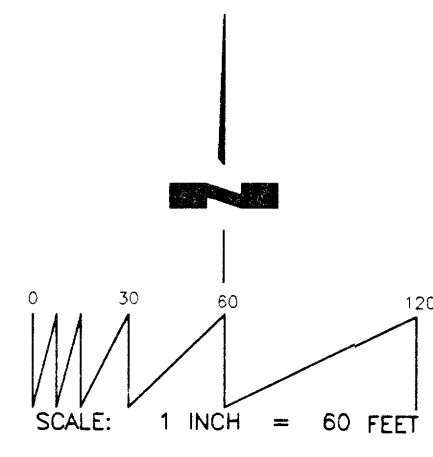
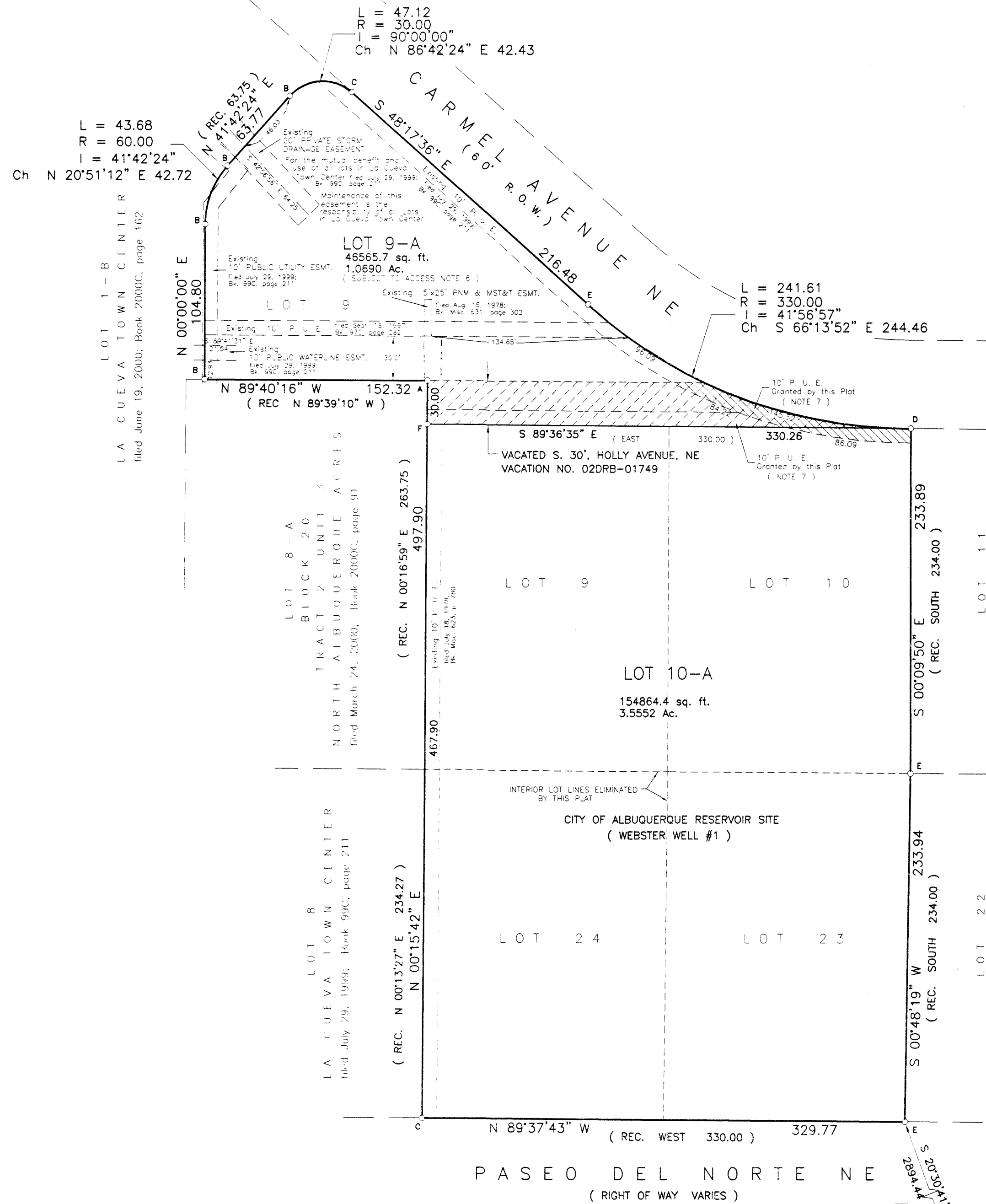
WAYJOHN SURVEYING, INC.
 330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: 255-2052 FAX: 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNERS: THOMAS HEFLIN, CITY OF ALBUQUERQUE LOCATION: PROJ. SEC. 18, T.11 N., R.4 E., N.M.P.M. ALBUQUERQUE, NM	DRAWN: E W K CHECKED: T D J DRAWING NO. SP20102.DWG	SCALE: 1" = 60'	FILE NO. SP-2-01-2002 SHEET 1 OF 2
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PLAT OF
 LOT 9-A
 LA CUEVA TOWN CENTER
 AND
 LOT 10-A BLOCK 20
 TRACT 2 UNIT 3
 NORTH ALBUQUERQUE ACRES
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE ELENA GALLEGOS GRANT
 PROJECTED SEC. 18, T. 11 N., R. 4 E., NMPM

DECEMBER 2002



MONUMENT LEGEND

- A SET #4 REBAR WITH CAP "WAYJOHN PS 14269"
 - B FOUND NAIL, SHINER "LS 7719"
 - C FOUND #4 REBAR AND CAP "LS 7719"
 - D FOUND #4 REBAR AND CAP "G GRITSKO PLS 8686"
 - E FOUND #5 REBAR -NO ID-
 - F FOUND #5 REBAR, CAP. # OBLITERATED
- ALL FOUND AND ACCEPTED MONUMENTS TAGGED WITH WASHER "PS 14269".



	<h1>WAYJOHN SURVEYING, INC.</h1> <p>330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: 255-2052 FAX: 255-2887</p>		
	DRAWN: E W K CHECKED: T D J DRAWING NO. SP20102.DWG	SCALE: 1" = 60' 30 DEC 2002	FILE NO. SP-2-01-2002 SHEET 1 OF 2

INDEXING INFORMATION FOR COUNTY CLERK
 OWNERS: THOMAS HEFLIN, CITY OF ALBUQUERQUE
 LOCATION: PROJ. SEC. 18, T.11 N., R.4 E., N.M.P.M., ALBUQUERQUE, NM

L = 43.68
 R = 60.00
 I = 41°42'24"
 Ch N 20°51'12" E 42.72

L = 241.61
 R = 330.00
 I = 41°56'57"
 Ch S 66°13'52" E 244.46

MONUMENT "2-D20A"
 X = 410218.35
 Y = 1516110.28
 Delta Alpha: -00°10'23"
 Ground-to-grid: 0.9996477
 NEW MEXICO STATE PLANE GRID
 CENTRAL ZONE
 NAD 1927