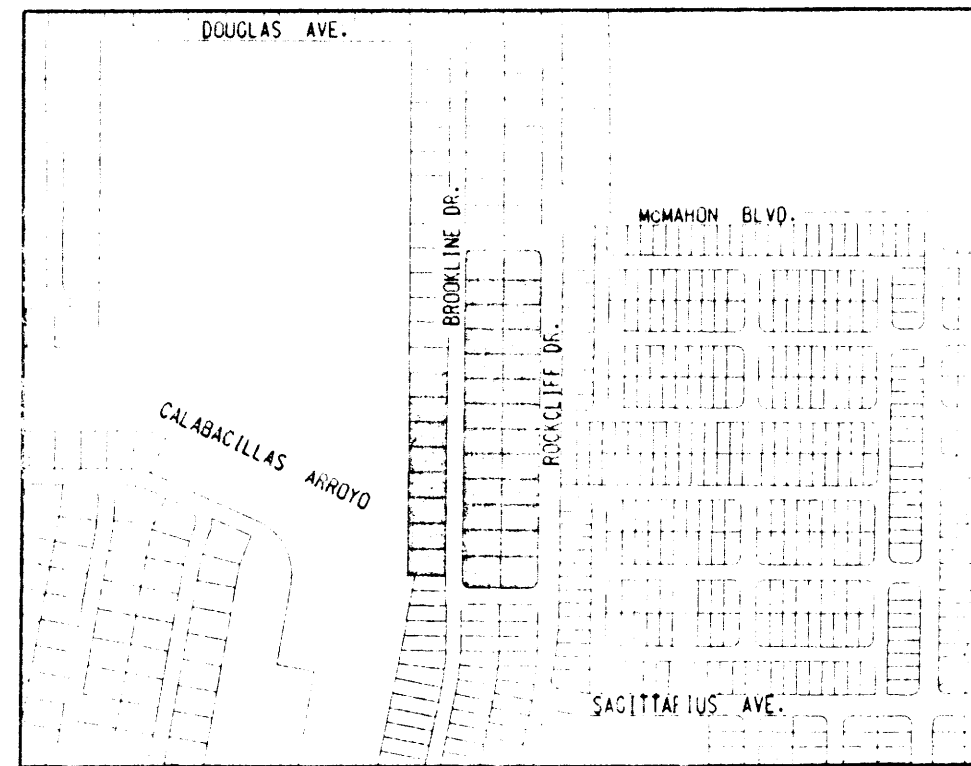


SP-2003151265



LOCATION MAP

ZONE ATLAS INDEX MAP No. A-10-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1002379
2. Gross subdivision acreage: 7.7912 acres
3. Total number of parcels created: 62 lots, 1 tract
4. Date of survey: January 2003
5. This development is located in the Town of Alameda Grant, in projected Section 3, T11N, R2E, NMPM.
6. 0.045 miles of public street right-of-way dedicated with the filing of this plat.

DISCLOSURE STATEMENT

The purpose of this plat is to re-subdivide Lots 35 thru 42 of Block 4, and Block 5, of PARADISE HEIGHTS, UNIT 4, dedicate additional public street and drainage right-of-way, vacate public street right-of-way, grant easements, and vacate easements.

NOTES

- 1. Basis of bearings: New Mexico State Plane Grid Bearings (Central Zone, NAD 27).
2. Distances are ground distances.
3. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
4. Centerline in lieu of R/W monumentation to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #6544".

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico. Said tract of land being Lots 35 thru 42 of Block 4, as the same are shown and designated on the Plat of PARADISE HEIGHTS, UNIT 4, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on May 7, 1968, in Volume 03, folio 201, and now being more particularly described, by New Mexico State Plane Grid Bearings (Central Zone, NAD 27) and ground distances as follows:

BEGINNING at the northwest corner of said Lot 42, whence the National Geodetic Survey monument "SANDBERN", having New Mexico State Plane Grid coordinates for the Central Zone: X=361,854.29, Y=1,534,209.29, bears N14°14'56"W a distance of 1301.95 feet; thence along the north boundary line of said Lot 42, S89°46'03"E a distance of 120.00 feet; thence along the westerly right-of-way line of Brookline Boulevard, S00°14'26"W a distance of 640.21 feet; thence along the southerly boundary line of said Lot 35, N89°47'46"W a distance of 120.00 feet to the southwest corner of said Lot 35; thence along the west boundary line of said Lots 35 thru 42, N00°14'26"E a distance of 640.27 feet to the point and place of beginning.

This tract contains 1.7637 acres, more or less:

TOGETHER WITH

A certain tract of land being Block 5, within said PARADISE HEIGHTS, UNIT 4, together with portions of Dunlop Avenue and Brookline Boulevard, and now being more particularly described, by New Mexico State Plane Grid Bearings (Central Zone, NAD 27) and ground distances as follows:

BEGINNING at the northeast corner of the tract herein described, whence the National Geodetic Survey monument "SANDBERN", having New Mexico State Plane Grid coordinates for the Central Zone: X=361,854.29, Y=1,534,209.29, bears N40°47'21"W a distance of 1121.57 feet; thence along the easterly boundary line of the tract herein described also being the westerly right-of-way line of Rockcliff Drive, S00°18'03"W a distance of 1065.96 feet to a point of curvature; thence along a transition curve, 39.36 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord bearing S45°23'56"W a distance of 35.42 feet to a point of tangency; thence along the northerly right-of-way line of Ardmore Avenue, N89°30'12"W a distance of 189.39 feet to a point of curvature; thence along a transition curve, 39.16 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord bearing N44°37'53"W a distance of 35.28 feet to a point of tangency; thence along the easterly right-of-way line of said Brookline Drive, N00°14'26"E a distance of 967.20 feet; thence along the westerly boundary line of the tract herein described to a point on curve, 23.19 feet along the arc of a curve to the right having a radius of 20.00 feet and a chord bearing N32°58'13"W a distance of 21.91 feet to a point of tangency; thence, N00°14'26"E a distance of 80.04 feet to the northeast corner of the tract herein described; thence, S89°38'54"E a distance of 252.51 feet to the point and place of beginning.

This tract contains 6.0275 acres, more or less; and the total acreage of this plat is 7.7912 acres, more or less.

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston, Inc.
Court yard 1
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109
(505)823-1000



Signature of Tom Klingenhagen
Thomas G. Klingenhagen
New Mexico Professional Surveyor 5978
Date: 6-23-03

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being Lots 35 thru 42 of Block 4, together with Block 5, and portions of Dunlop Avenue and Brookline Boulevard, as the same are shown and designated on the Plat of PARADISE HEIGHTS, UNIT 4, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on May 7, 1968, in Volume 03, folio 201, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate TRACT A to A.M.A.F.C.A. in Fee Simple with Warranty Covenants and do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried/overhead distribution lines, conduits, pipes for underground utilities where shown or indicated; including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right, if necessary, to enter grantors property to access the easement areas for the purposes of performing the Work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

LUNFORD AT PARADISE SKIES, LP
BY: John Murtogh, President, Longford at Paradise Skies, LP
State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on 30 day of June, 2003, John Murtogh, President, Longford at Paradise Skies, LP

My Commission Expires: June 14, 2006



TAX CERTIFICATION

PROPERTY OWNER OF RECORD

Form for listing property owners of record with lines for name and address.

BERNALILLO COUNTY TREASURER'S OFFICE DATE

PLAT OF PARADISE SKIES UNIT 10

(A REPLAT OF LOTS 1-26 AND 35-42 PARADISE HEIGHTS UNIT 4) ALBUQUERQUE, NEW MEXICO JUNE, 2003

APPROVALS

Table with columns for approval type (PLANNING DIRECTOR, CITY ENGINEER, etc.), date, and signature line.

PNM STAMP

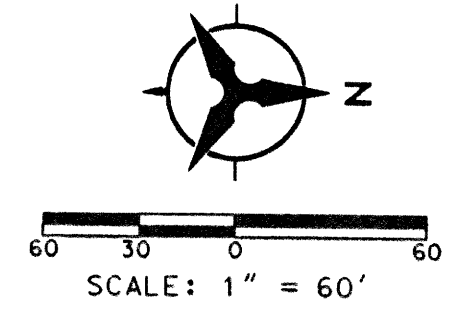
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston logo

Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

TANGENT DATA		
NO.	BEARING	DISTANCE
T1	S48°15'46"E	5.93'
T2	N12°42'25"W	15.18'
T3	S00°14'26"W	21.28'

ACS Brass Tablet Stamped "1-A10 1980"  
 Geographic Position (NAD 1927)  
 NM State Plane Coordinates (Central Zone)  
 X=358,933.85 Y=1,534,660.24  
 Ground to Grid Factor=0.9996638  
 Delta Angle=0°16'20"  
 SLD 1929 Elevation=5415.16

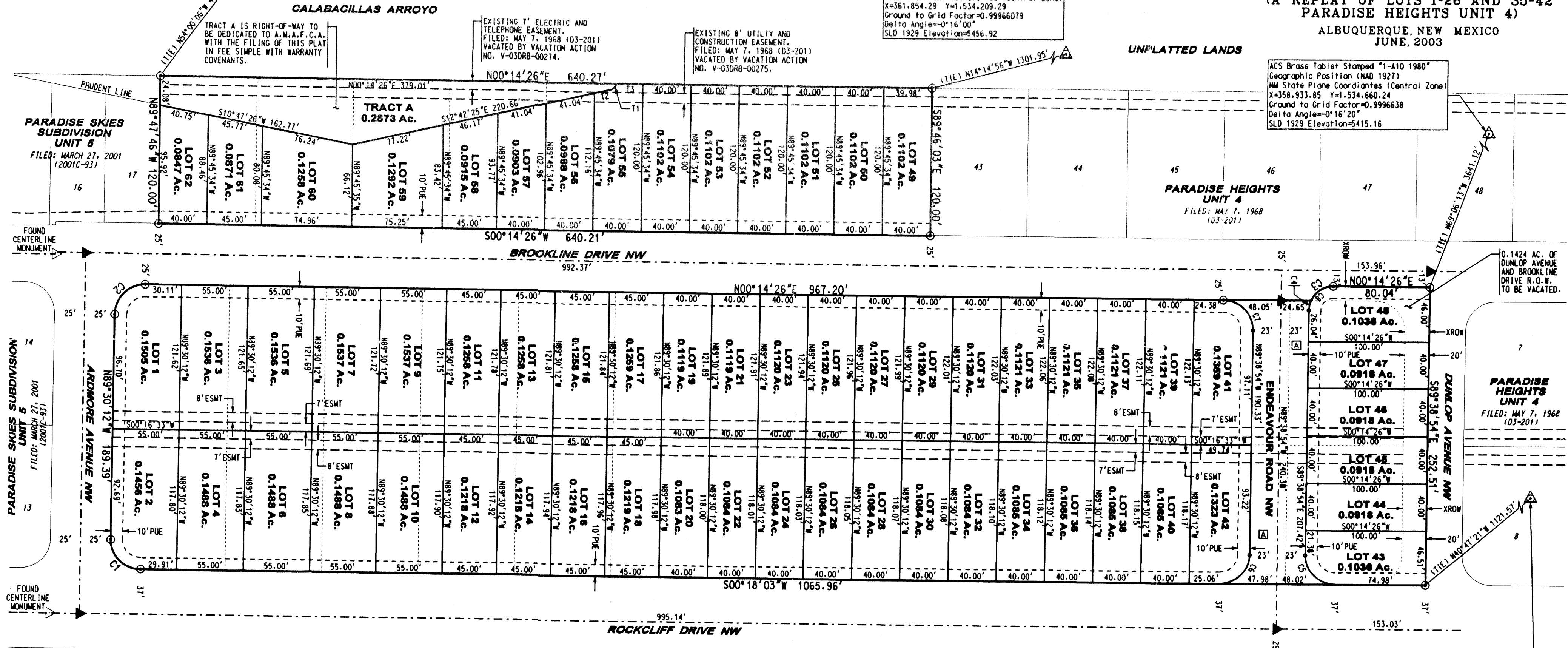


CURVE DATA						
NO.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	90°11'45"	25.09'	39.36'	25.00'	35.42'	S45°23'56"W
C2	89°44'38"	24.89'	39.16'	25.00'	35.28'	N44°37'53"W
C3	66°25'19"	13.09'	23.19'	20.00'	21.91'	N32°58'13"W
C4	23°28'02"	4.15'	8.19'	20.00'	8.13'	S77°54'53"E
C5	90°03'01"	25.02'	39.29'	25.00'	35.37'	N45°19'35"E
C6	89°56'51"	24.98'	39.25'	25.00'	35.34'	N44°40'26"W
C7	90°06'39"	25.05'	39.32'	25.00'	35.39'	S45°17'46"W
C8	89°53'21"	19.96'	31.38'	20.00'	28.26'	N44°42'14"W

NGS Brass Tablet Stamped "SANDBERN, 1969"  
 Geographic Position (NAD 1927)  
 NM State Plane Coordinates (Central Zone)  
 X=361,854.29 Y=1,534,209.29  
 Ground to Grid Factor=0.99966079  
 Delta Angle=0°16'00"  
 SLD 1929 Elevation=5456.92

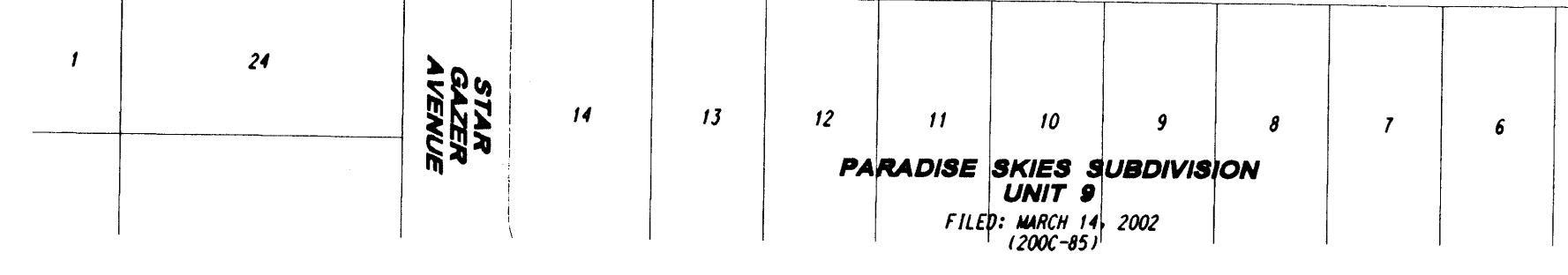
**PLAT OF  
 PARADISE SKIES  
 UNIT 10**  
 (A REPLAT OF LOTS 1-26 AND 35-42  
 PARADISE HEIGHTS UNIT 4)  
 ALBUQUERQUE, NEW MEXICO  
 JUNE, 2003

ACS Brass Tablet Stamped "1-A10 1980"  
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 NM State Plane Coordinates (Central Zone)  
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 Ground to Grid Factor=0.9996638  
 Delta Angle=0°16'20"  
 SLD 1929 Elevation=5415.16



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR W/ 1-1/4" DIA. RED PLASTIC SURVEY CAP STAMPED "LS 5978"

LEGEND	
10' PUE	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT.
7' ESMT	EXISTING 7' ELECTRIC AND TELEPHONE EASEMENT. FILED: MAY 7, 1968 (D3-201) VACATED BY VACATION ACTION NO. V-03DRB-00274.
8' ESMT	EXISTING 8' UTILITY AND CONSTRUCTION EASEMENT. FILED: MAY 7, 1968 (D3-201) VACATED BY VACATION ACTION NO. V-03DRB-00275.
XROW	EXISTING PUBLIC STREET RIGHT-OF-WAY GRANTED TO THE CITY OF ALBUQUERQUE. FILED: MAY 7, 1968 (D3-201) VACATED BY VACATION ACTION NO. 03DRB-00270 and NO. 03DRB-00271.
	PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.



NGS Brass Tablet Stamped "SANDBERN, 1969"  
 Geographic Position (NAD 1927)  
 NM State Plane Coordinates (Central Zone)  
 X=361,854.29 Y=1,534,209.29  
 Ground to Grid Factor=0.99966079  
 Delta Angle=0°16'00"  
 SLD 1929 Elevation=5456.92

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**SITE PLAN FOR  
SUBDIVISION AND BUILDING PERMIT  
PARADISE SKIES UNIT 10  
CURRENTLY LOTS 1-26 AND 35-42  
OF PARADISE HEIGHTS UNIT 4  
ALBUQUERQUE, NEW MEXICO  
MAY 2003**

**RESIDENTIAL BUILDING DESIGN STANDARDS**

THE FOLLOWING GUIDELINES ARE TO BE UTILIZED FOR HOMES DESIGNED AND BUILT AT THE PARADISE SKIES UNIT 10 SUBDIVISION

**A. ARCHITECTURAL STYLE**

THE INTENT OF THE ARCHITECTURAL STYLE GUIDELINES IS TO DESIGN RESIDENTIAL STRUCTURES WHICH ARE COMPATIBLE WITH EXISTING STRUCTURES SOUTH OF THIS SITE.

ALL HOMES SHALL BE DESIGNED WITH PITCHED ROOFS. BUILDING ELEVATIONS SHALL BE ENHANCED WITH ONE OR MORE ARCHITECTURAL ACCENT FEATURES, SUCH AS DECORATIVE STUCCO RELIEF ELEMENTS IN LOCATIONS SUCH AS WINDOWS, DOORS, OR LOCATIONS WHERE THE FACADE CHANGES DIRECTION. OTHER ACCENT FEATURES ARE ALSO ACCEPTABLE, INCLUDING TRIM MATERIALS TO ENHANCE THE EXTERIOR APPEARANCE OF THE FACADE.

**B. SETBACK REQUIREMENTS**

FRONT YARD: 15' MINIMUM, EXCEPT AT DRIVEWAYS, WHICH SHALL HAVE A 20' MINIMUM SETBACK.

REAR YARD: 15' MINIMUM, EXCEPT AS FURTHER DEFINED IN THE R-T RESIDENTIAL ZONE FOR HOUSES WITH OFFSET REAR LOT LINES.

SIDE YARD: NONE REQUIRED EXCEPT, THERE SHALL BE 10' ON THE STREET SIDE OF CORNER LOTS (LOTS 1, 2, 41, 42, 43, AND 48)

**C. BUILDING HEIGHT RESTRICTIONS**  
STRUCTURES SHALL NOT EXCEED 26' IN HEIGHT, AS DEFINED IN THE ZONING CODE, AND WITH EXCEPTION PROVIDED IN PARAGRAPH 14-16-3-3.

**D. BUILDING COLOR SCHEMES**  
THE FOLLOWING COLOR SCHEMES SHALL BE UTILIZED:  
COLOR SCHEME # A

Roof Rustic Redwood (Red Tin) Tomko  
Stucco Hacienda #127 (Tan) El Rey Stucco  
Trim & Facia Dry Dock #1022 Sherwin Williams  
Popouts Dry Dock #1022 Sherwin Williams

COLOR SCHEME # B

Roof Rustic Hickory (Medium Brown) Tomko  
Stucco Buckskin #106 (Light Tan) El Rey Stucco  
Trim & Facia Hacienda #127 Sherwin Williams  
Popouts Hacienda #127 Sherwin Williams

COLOR SCHEME # C

Roof Rustic Cedar (Dark Brown) Tomko  
Stucco Sandalwood #121 (Brown) El Rey Stucco  
Trim & Facia Buckskin #106 Sherwin Williams  
Popouts Buckskin #106 Sherwin Williams

COLOR SCHEME # D

Roof Rustic (Brown) Tomko  
Stucco Driftwood #111 (Dark Brown) El Rey Stucco  
Trim & Facia Sandalwood #121 Sherwin Williams  
Popouts Sandalwood #121 Sherwin Williams

**E. Landscaping install shall be:**  
Southwest/Desert Package (Front Yard)

One 15 Gallon Tree (Palm, Yucca, Cypress, or equivalent)  
Four 5 Gallon Shrubs (Desert Paint Brush, Butterfly, or equivalent)  
One Accent Boulder  
2"-4" Accent cobblestone, as per plan  
3/4" Gray crushed stone on plastic, as per plan

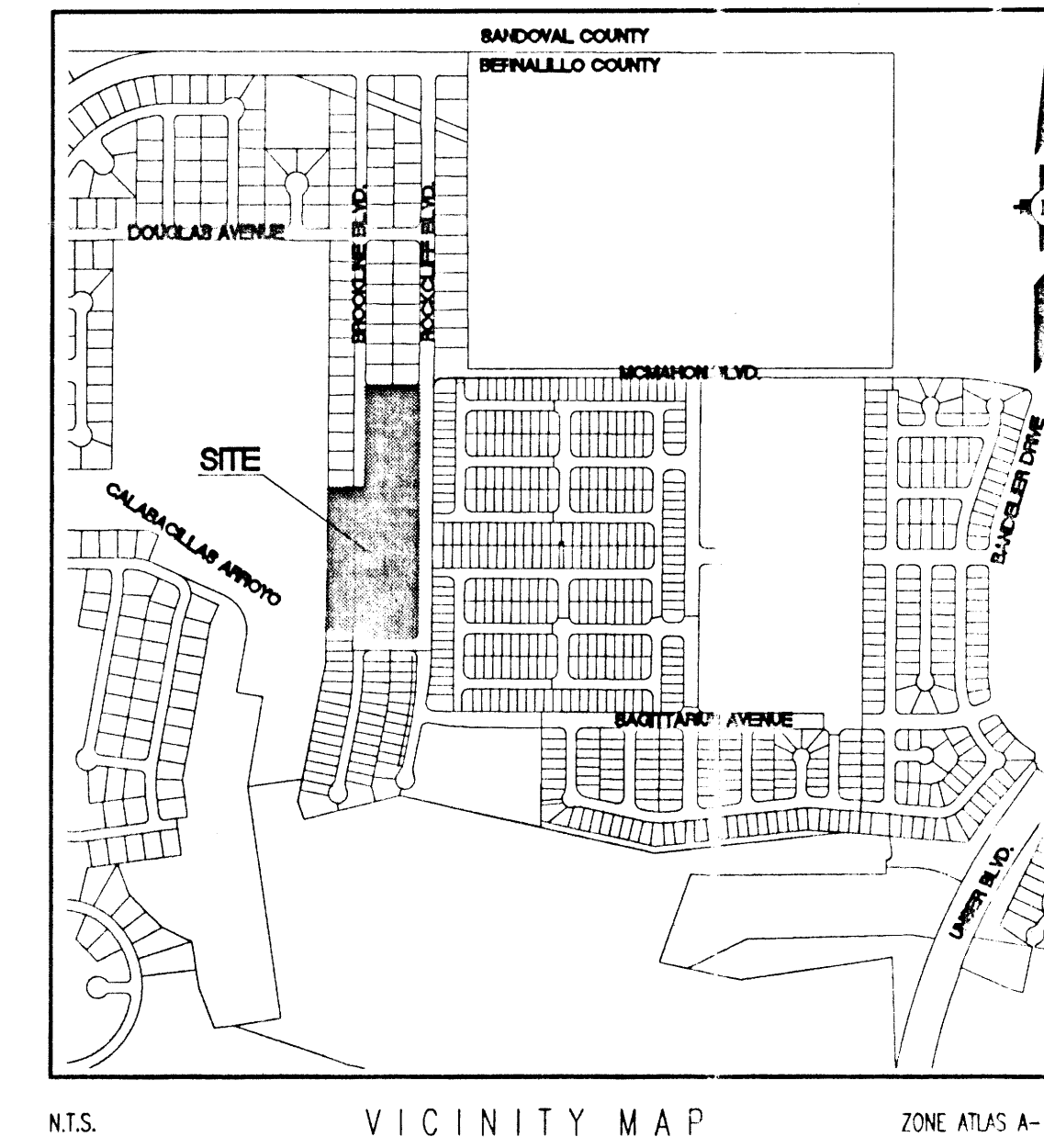
**F. PEDESTRIAN ACCESS SHALL BE PROVIDED BY SIDEWALKS**  
CONSTRUCTED WITHIN THE RIGHT-OF-WAY. SIDEWALK CONSTRUCTION MAY BE DEFERRED TO THE HOME BUILDER BY DRB.

**G. PRIVACY FENCING**  
EACH LOT SHALL BE PROVIDED WITH A WOOD OR CMU PRIVACY FENCE, LOCATED ON THE COMMON PROPERTY LINE BETWEEN ADJOINING LOTS. THE HEIGHT OF THIS FENCE SHALL CONFORM TO THE ZONING CODE.

**H. ACCESSORY BUILDINGS ARE PERMITTED TO BE CONSTRUCTED IN THE REAR YARD OF THE LOTS ONLY AND NOT PERMITTED WITHIN THE SIDE YARD SETBACKS.**

**I. HOMES CONSTRUCTED ON ALL LOTS SHALL INCLUDE A LOCATION FOR STORING TRASH RECEPTACLES THAT IS BEHIND A FENCE.**

**J. A SEPARATE SITE PLAN FOR BUILDING PERMIT WILL NOT BE REQUIRED IF CONFORMANCE TO THE RESIDENTIAL BUILDING DESIGN STANDARDS (ABOVE) ARE ADHERED TO.**



**GENERAL NOTES**

- ZONING: SU-1 FOR P.R.D.  
MAXIMUM 62 DWELLING UNITS  
PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
- APPROXIMATE ACREAGE: 9.0 ACRES  
NUMBER OF LOTS: 62 D.U.  
PROPOSED DENSITY: 6.88 D.U./ACRE
- MINIMUM LOT DIMENSIONS: 40'x100' MIN.  
TYPICAL LOT AREA: 4000 SQ. FT.  
(NOTE: LOTS DESIGNATED WITH \* ARE IRREGULARLY SIZED)
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO McMAHON BLVD.
- OFF-STREET PARKING SHALL BE PROVIDED ON EACH LOT, AS REQUIRED BY THE ZONING CODE.

**SITE DATA**

ZONE ATLAS NO.	A-10-Z
ZONING	SU-1 FOR PRD MAX. 62 D.U.'s
MILES OF FULL WIDTH STREETS CREATED	0.73 MILES
NO. OF EXISTING LOTS	34
NO. OF LOTS CREATED	62
DENSITY	6.88 D.U./ACRE

**LEGEND**

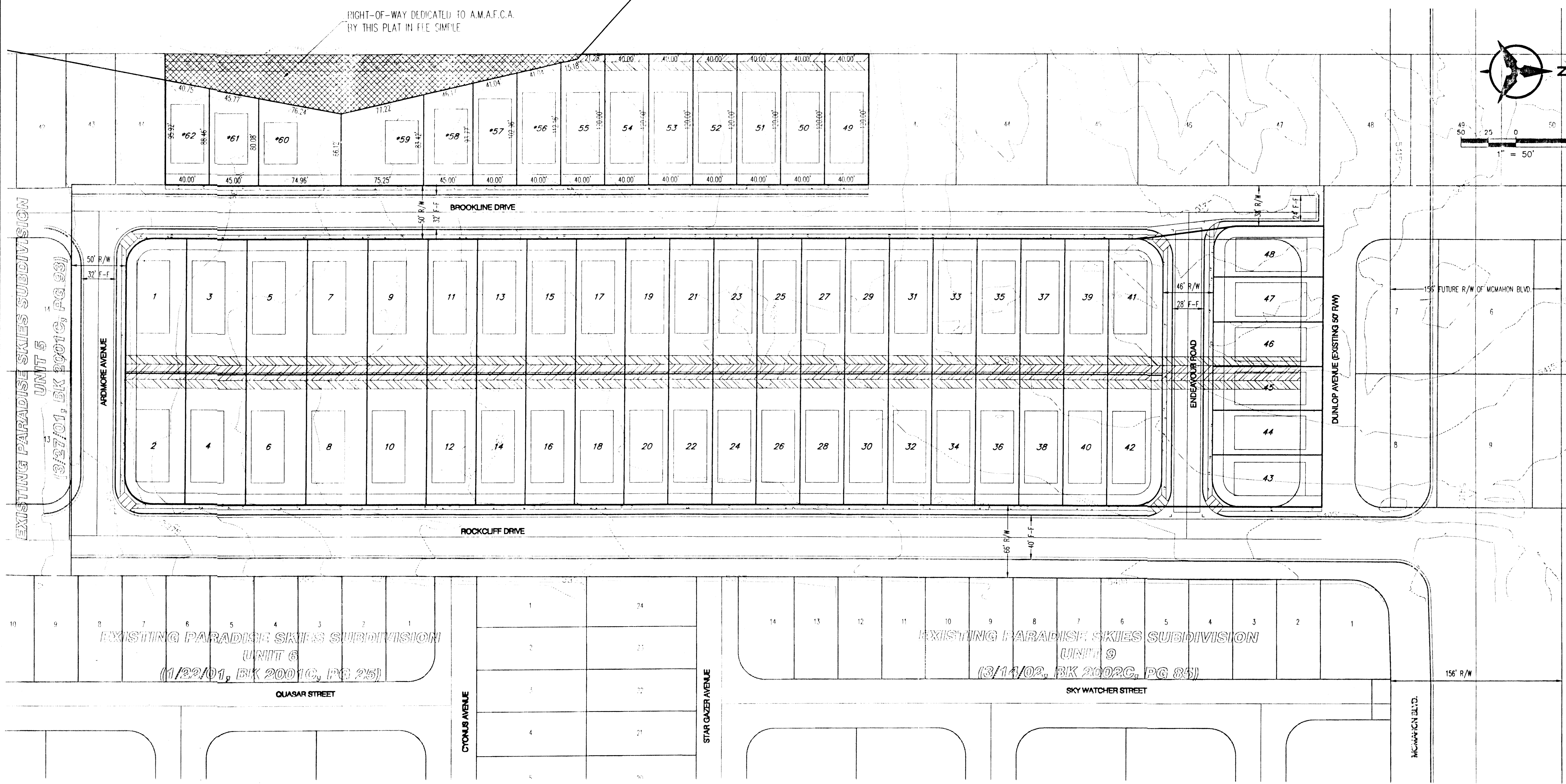
- EXISTING SUBDIVISION BOUNDARY LINE
- NEW SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 7' ELECTRIC AND TELEPHONE EASEMENT TO BE VACATED BY THIS PLAT
- 8' MISC. UTILITY EASEMENT TO BE VACATED BY THIS PLAT
- PUBLIC RIGHT-OF-WAY TO BE VACATED BY THIS PLAT
- RIGHT-OF-WAY TO BE DEDICATED TO A.M.A.F.C.A. BY THIS PLAT

**APPROVALS**

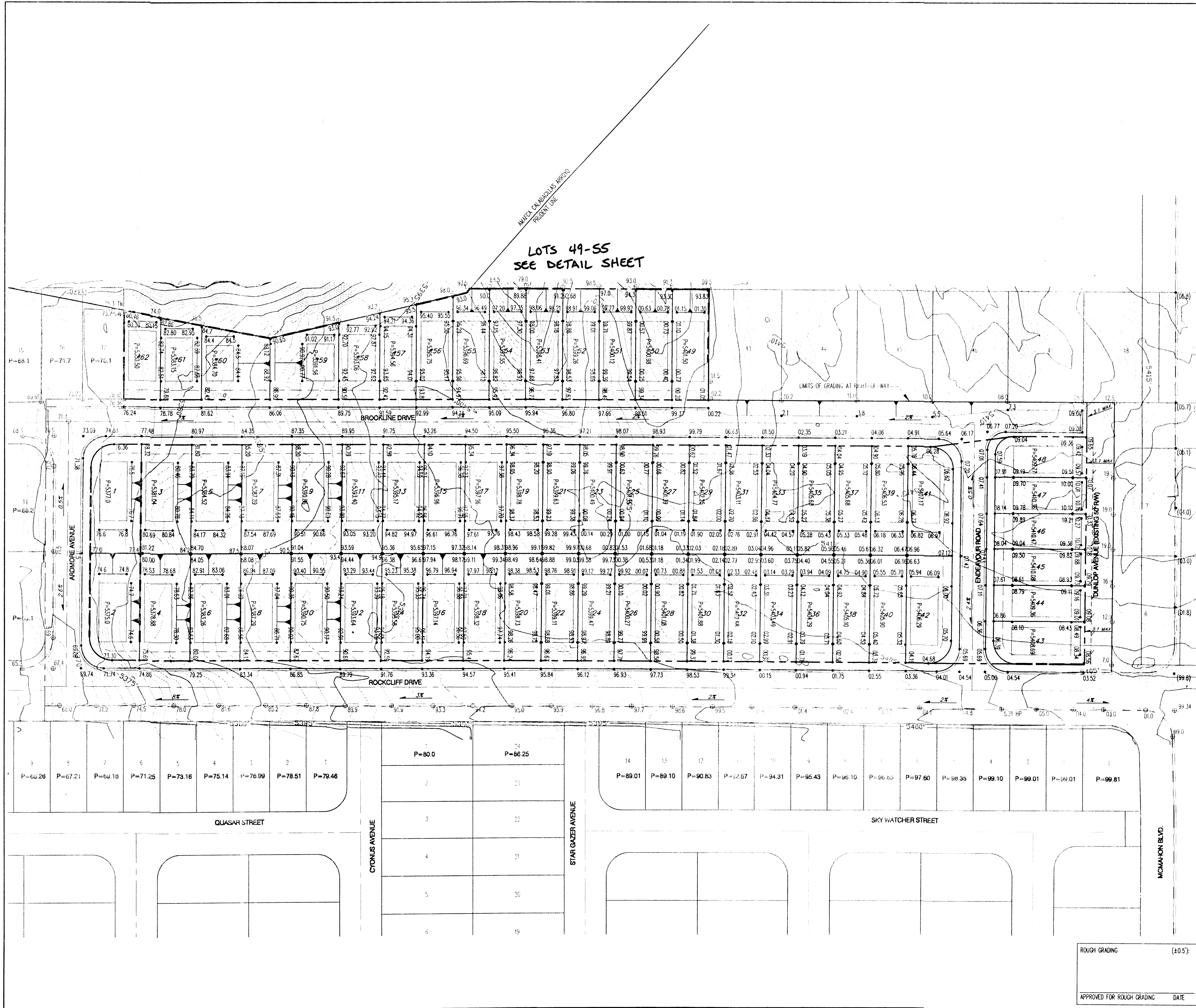
THIS PLAN IS CONSISTENT WITH THE ZONE MAP AMENDMENT APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON MARCH 21, 2003 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

PLANNING DIRECTOR	DATE
CITY ENGINEER	DATE
TRAFFIC ENGINEER	DATE
UTILITY DEVELOPMENT DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
1002379 // 03DRB - 00866 Sub	
REVISED: 03DRB - 00867 BP	
MAY 2003. MODIFICATIONS TO ADDRESS E.P.C. CONDITIONS.	

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

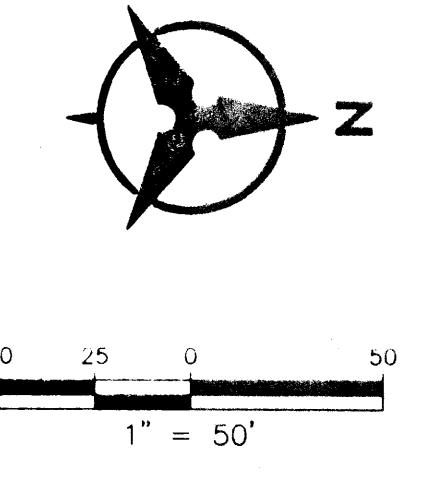


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May 22, 2003 - 5:14pm



LOTS 49-55  
SEE DETAIL SHEET

- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT.
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL AND WEETING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
  8. ALL ELEVATIONS SHOWN WITH " (" ) ARE FUTURE MCMAHON BLVD. ELEVATION.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION (MCMAHON BLVD. FL.)
  - 91.62 PROPOSED SPOT ELEVATION
  - 91.62 EXISTING SPOT ELEVATION (GRID & FL)
  - EXISTING CURB & GUTTER
  - PROPOSED STANDARD CURB & GUTTER
  - EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - LIMITS OF GRADING
  - WALL DRAIN

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE	NO.	DATE
BOHANNAN & HUSTON		ACS MONUMENT "SANDBERN"					
DESIGNED BY: NTL		Geographic Position (NAD 1927)					
DRAWN BY: NTL		N.M. State Plane Coordinates (Central Zone)					
CHECKED BY: RLB		X = 361,854.29	Y = 1,534,209.29				
		Ground-Grid Factor = 0.99966079					
		ΔC = -00'16.00"					
		S.L.D. 1928 Elevation = 5486.92'					

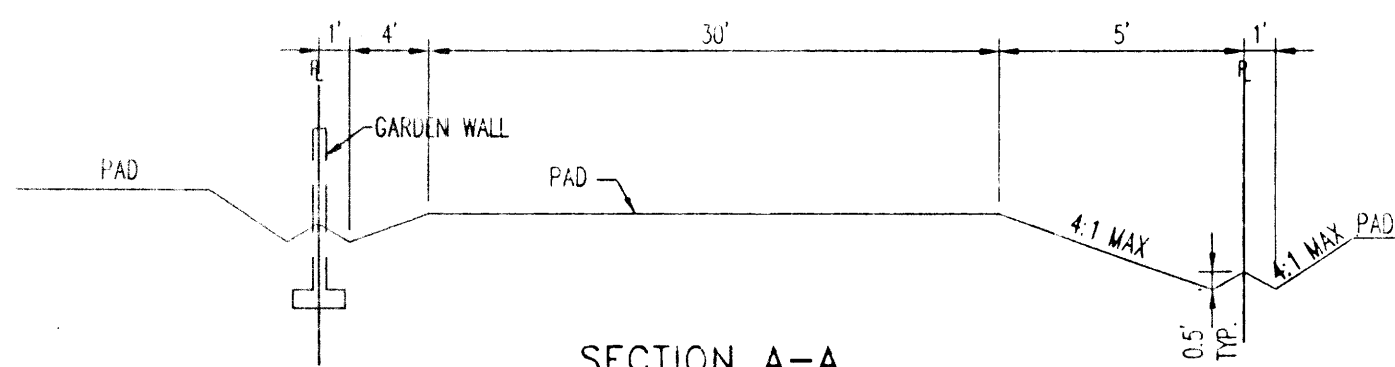
**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**PARADISE SKIES UNIT 10 SUBDIVISION**  
**GRADING PLAN**

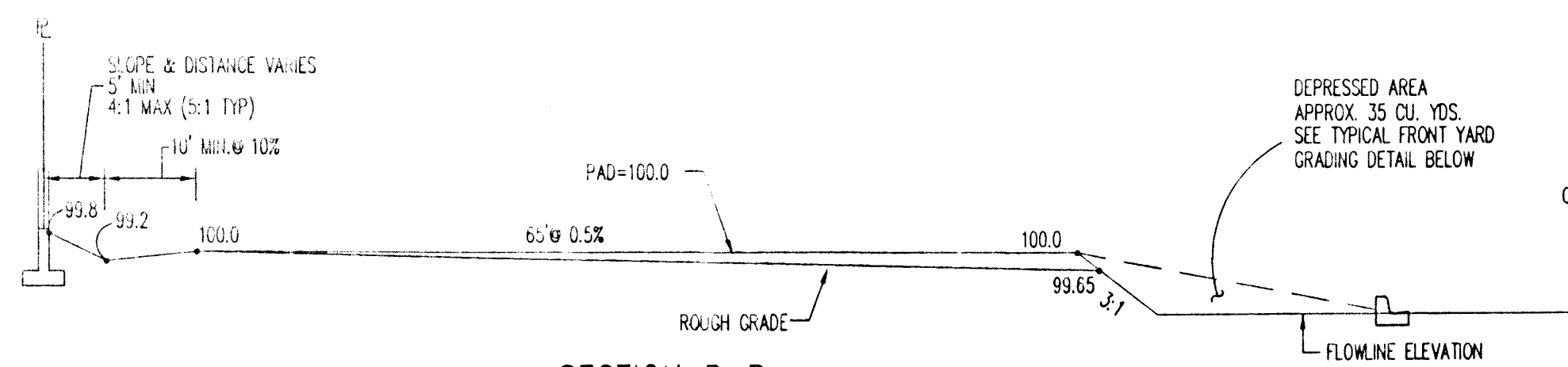
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	A-10-Z	1	2

NOTE:

1. CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
2. FRONT YARD ABL TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
3. HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

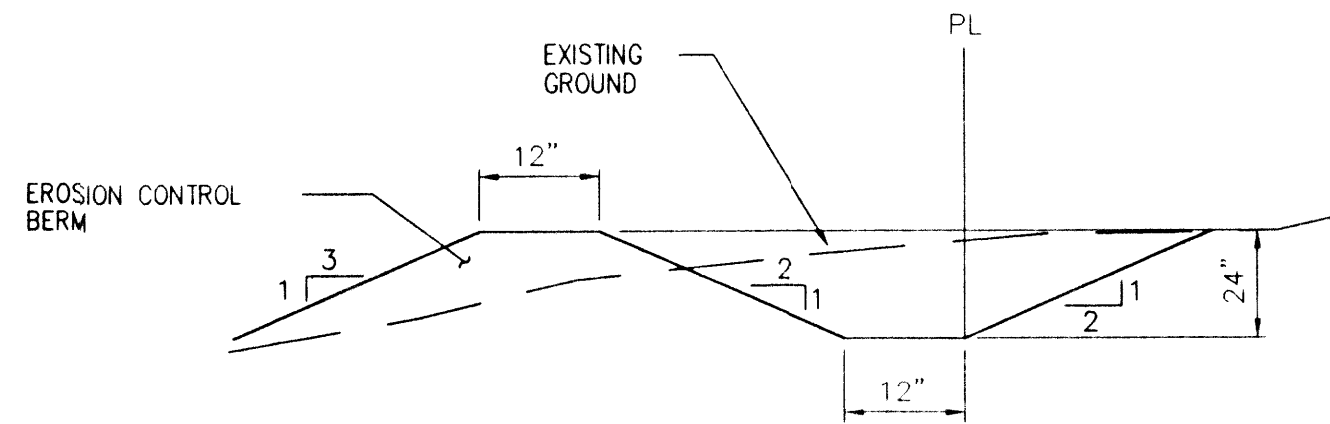


SECTION A-A  
TYPICAL SIDEYARD SWALE  
N.T.S.



SECTION B-B  
TYPICAL LOT GRADING DETAILS  
NO SCALE

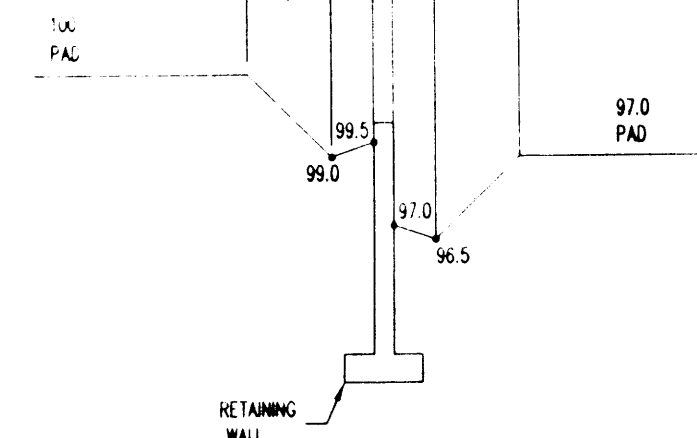
TYPICAL LOT GRADING DETAILS  
NO SCALE



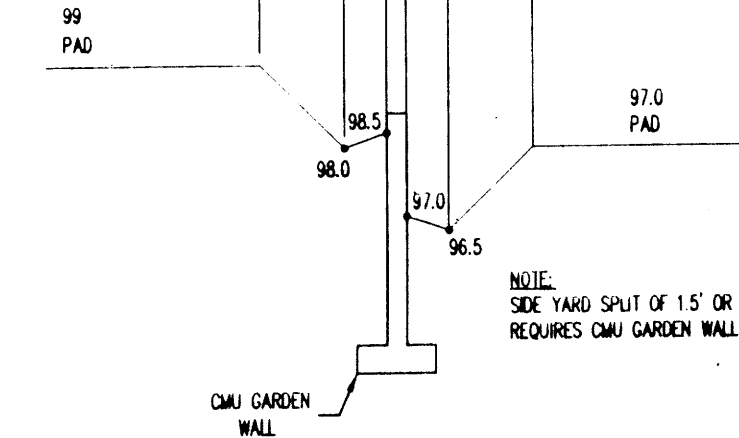
EROSION CONTROL BERM

1. TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
2. WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
3. AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
4. CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

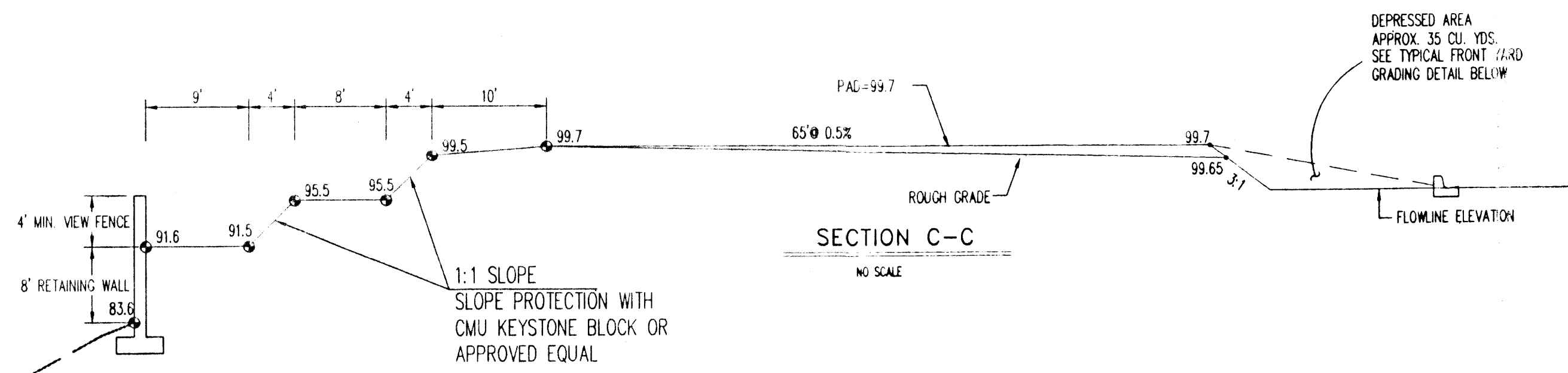
EROSION CONTROL PLAN  
NO SCALE



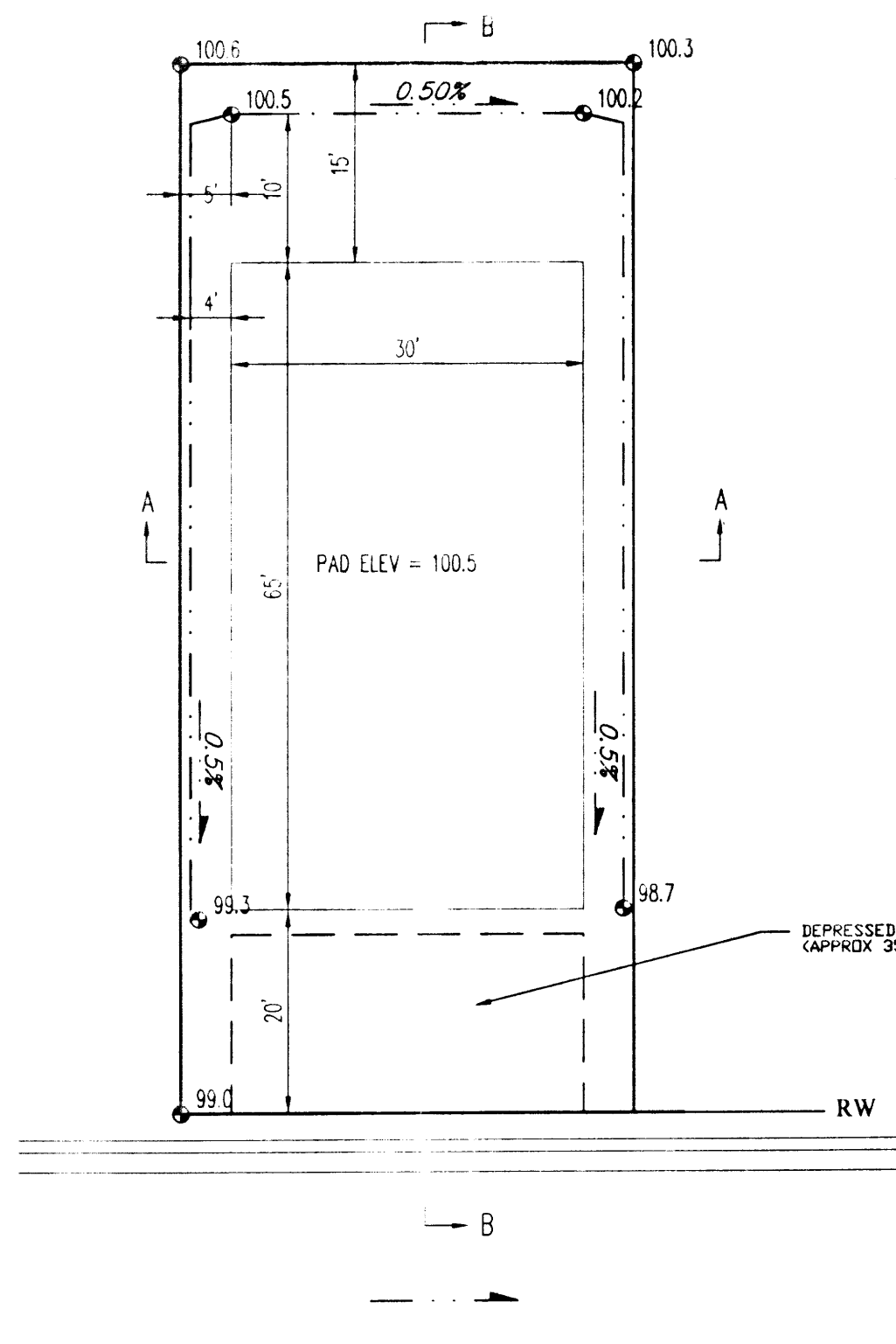
SIDE YARD RETAINING WALL DETAIL  
N.T.S.



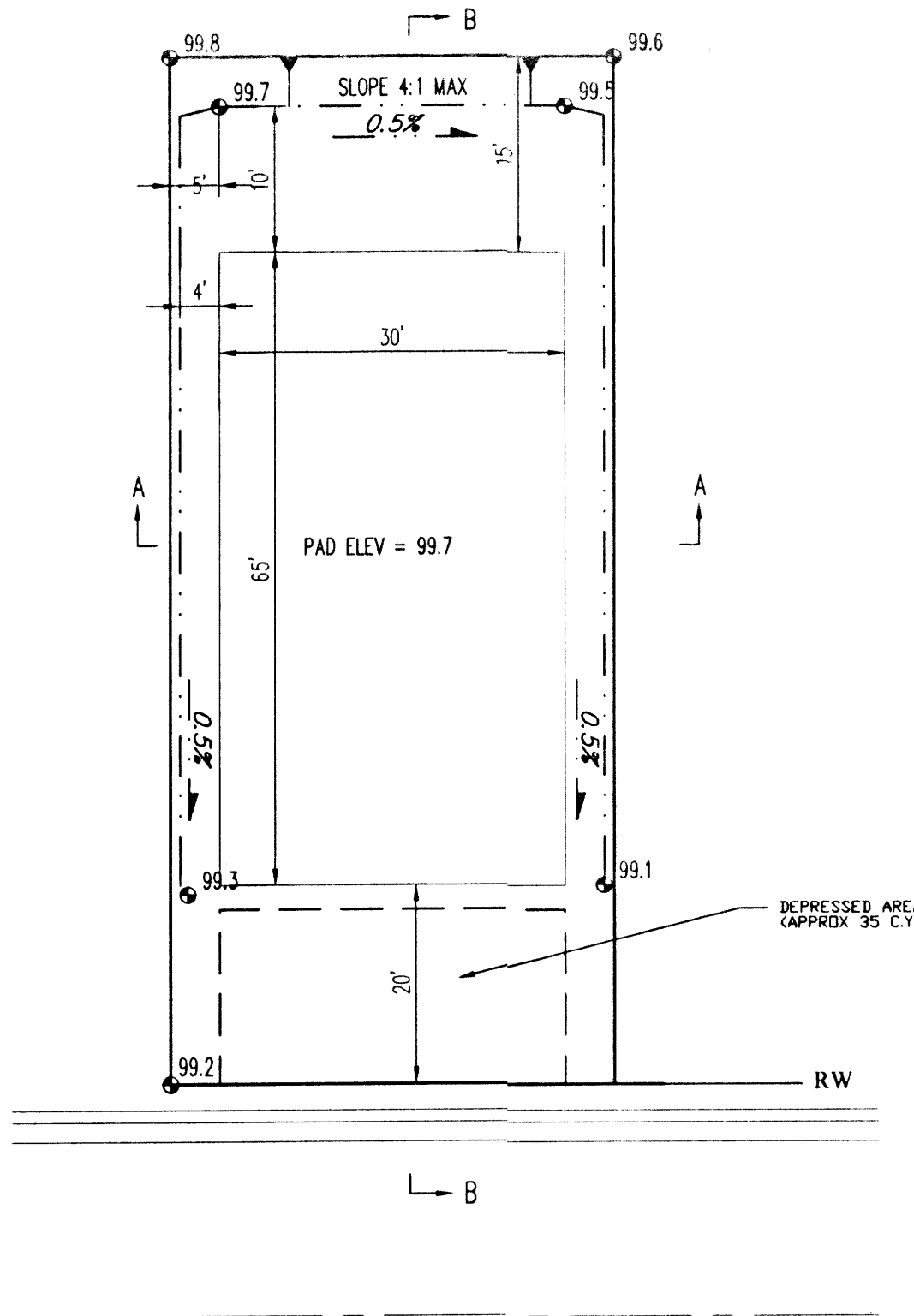
SIDE YARD GARDEN WALL DETAIL  
N.T.S.



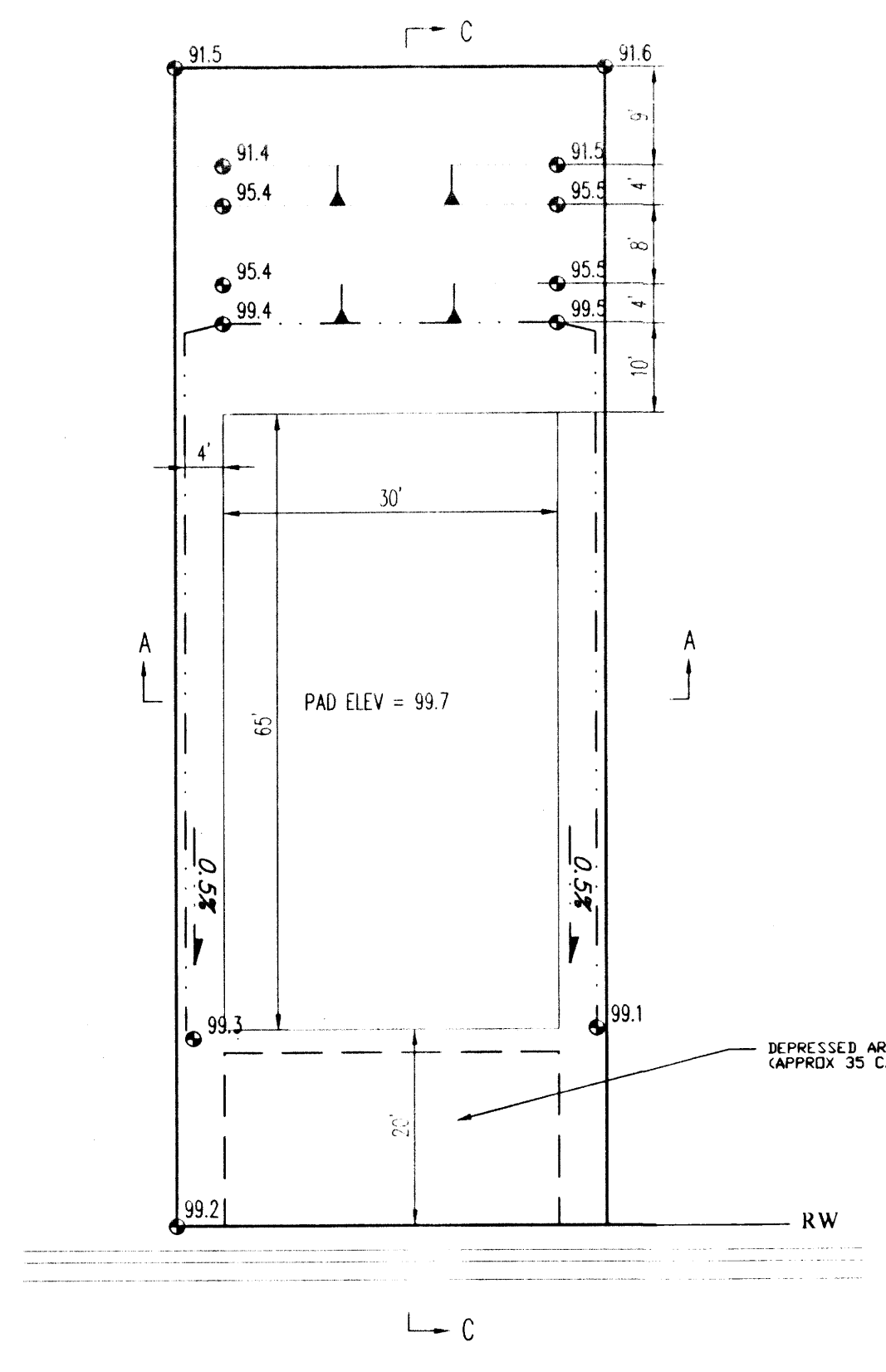
SECTION C-C  
NO SCALE



TYPICAL HIGH SIDE LOT GRADE DETAIL



TYPICAL LOW SIDE LOT GRADE DETAIL



TYPICAL DETAIL FOR LOTS 49-55

ROUGH GRADING (+0.5')  
APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DRAWN BY	DATE
INSPECTED BY	DATE
CHECKED BY	DATE
REVISIONS	DATE
DATE	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	NO.

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY



REVISIONS	By	Date
DESIGN		05/20/03
		05/20/03
		05/20/03

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
 PUBLIC WORKS DEPARTMENT

**PARADISE SKIES UNIT 10 SUBDIVISION**  
 GRADING DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.		Zone Map No.	Sheet
		A-10-Z	2 Of 2

PRELIMINARY PLAT FOR  
**PARADISE SKIES UNIT 10**  
 CURRENTLY LOTS 1-26 AND 35-42  
 OF PARADISE HEIGHTS UNIT 4  
 ALBUQUERQUE, NEW MEXICO  
 MAY 2003

**GENERAL NOTES**

- EXISTING ZONING: R-1  
 PROPOSED ZONING: SU-1 FOR PFD, MAX. 32 DWELLING UNITS  
 PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
- PROPOSED NET ACREAGE: 9.0 ACRES  
 NUMBER OF LOTS: 52 D.U.  
 PROPOSED DENSITY: 6.9 D.U./ACRE
- MINIMUM LOT DIMENSIONS:  
 MINIMUM LOT AREA: 40'x100' MIN.  
 4000 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO SU-1 ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO MEMAHON BLVD.
- ALL LOTS SHOWN WITH THE P1 DESIGNATION SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA ITEM #1.

**SITE DATA**

ZONE ATLAS NO.	A-10-Z
ZONING	SU-1 FOR PFD MAX. 32 D.U.
MILES OF FULL WIDTH STREETS CREATED	0.52 MILES
NO. OF EXISTING LOTS	34
NO. OF LOTS CREATED	52
DENSITY	6.9 D.U./ACRE

**SURVEY NOTES**

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 2244".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASES OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

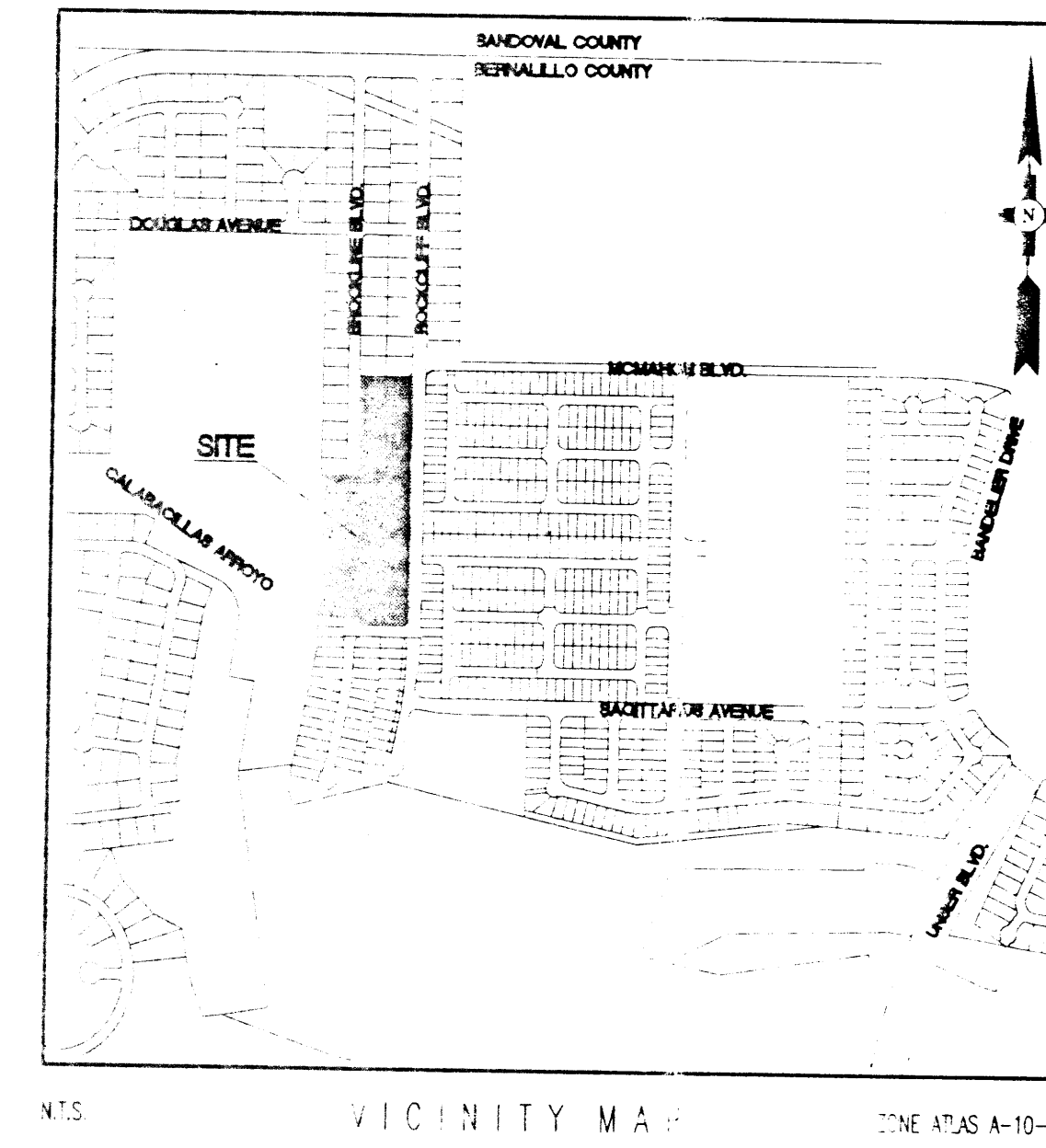
**LEGEND**

	EXISTING SUBDIVISION BOUNDARY LINE
	NEW SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	PUBLIC UTILITY EASEMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	7' ELECTRIC AND TELEPHONE EASEMENT TO BE VACATED BY THIS PLAT
	8' MISC. UTILITY EASEMENT TO BE VACATED BY THIS PLAT
	PUBLIC RIGHT-OF-WAY TO BE VACATED BY THIS PLAT
	RIGHT-OF-WAY TO BE DEDICATED TO A.M.A.F.C.A. BY THIS PLAT

APPROVED FOR MONUMENTATION AND STREET NAMES  
  
 CITY SURVEYOR 5-22-03  
 DATE

MARK RUHLMAN 5-21-03  
 DIVISION PRESIDENT, LONGFORD HOMES OF NEW MEXICO, INC. DATE

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

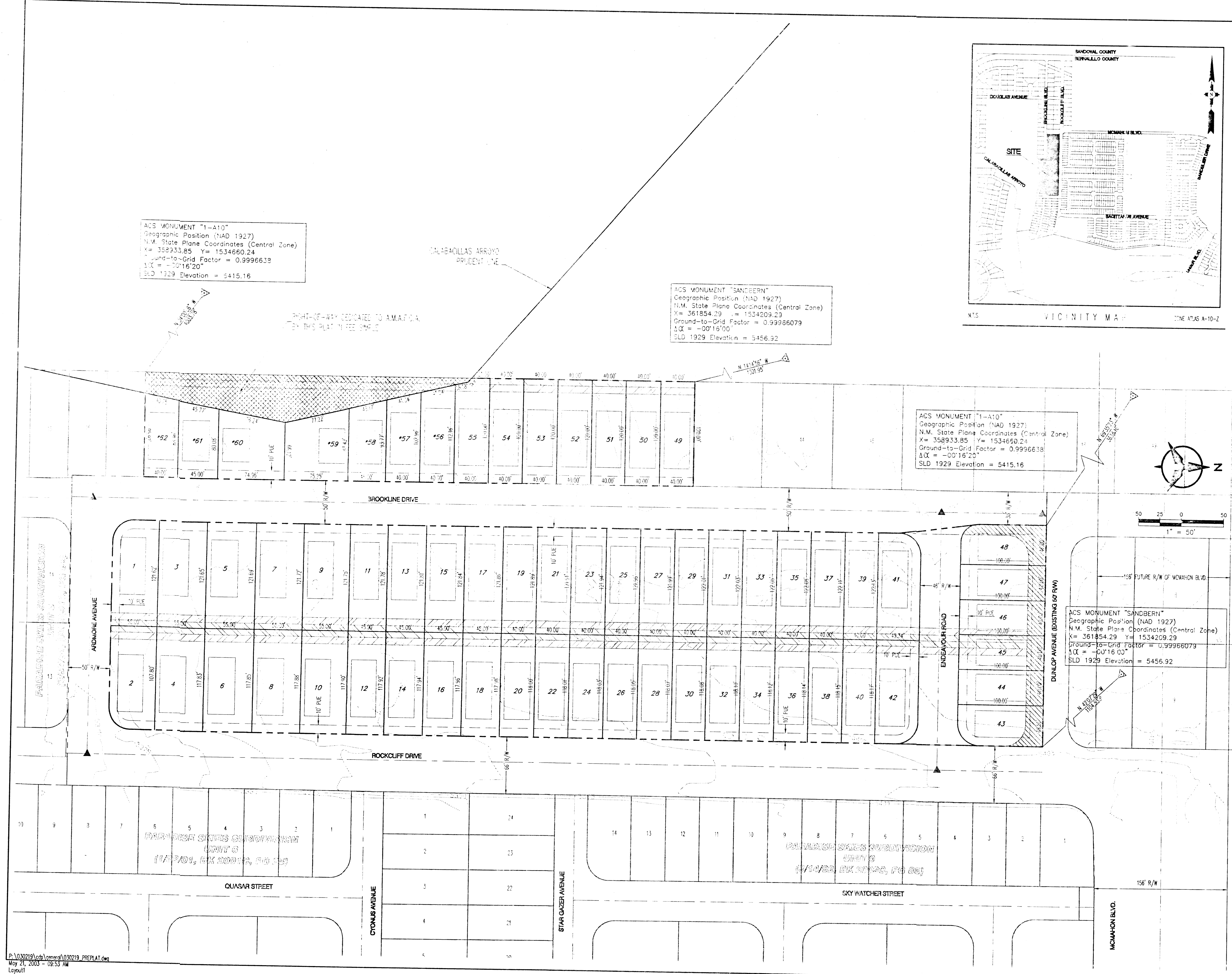


ACS MONUMENT "1-A10"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 358933.85 Y = 1534660.24  
 Ground-to-Grid Factor = 0.9996638  
 SLO = -0°16'20"  
 SLD 1929 Elevation = 5415.16

ACS MONUMENT "SANDBERN"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 361854.29 Y = 1534209.29  
 Ground-to-Grid Factor = 0.99966079  
 SLO = -0°16'00"  
 SLD 1929 Elevation = 5456.92

ACS MONUMENT "1-A10"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 358933.85 Y = 1534660.24  
 Ground-to-Grid Factor = 0.9996638  
 SLO = -0°16'20"  
 SLD 1929 Elevation = 5415.16

ACS MONUMENT "SANDBERN"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 361854.29 Y = 1534209.29  
 Ground-to-Grid Factor = 0.99966079  
 SLO = -0°16'00"  
 SLD 1929 Elevation = 5456.92



P:\030219\cpl\general\030219\_PRELAT.dwg  
 May 21, 2003 - 10:53 AM  
 Layout

PRELIMINARY PLAT FOR  
**PARADISE SKIES UNIT 10**  
 CURRENTLY LOTS 1-26 AND 35-42  
 OF PARADISE HEIGHTS UNIT 4  
 ALBUQUERQUE, NEW MEXICO  
 FEBRUARY 2003

**GENERAL NOTES**

- EXISTING ZONING: R-1  
 PROPOSED ZONING: R-1  
 PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
- PROPOSED NET ACREAGE: 9.2 ACRES  
 NUMBER OF LOTS: 68 D.U.  
 PROPOSED DENSITY: 7.4 D.U./ACRE
- TYPICAL LOT DIMENSIONS:  
 TYPICAL LOT AREA: 40'x100' MIN.  
 4000 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO R-1 ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO MCMAHON BLVD.
- ALL LOTS SHOWN WITH THE P1 DESIGNATION SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA ITEM #1.

**SITE DATA**

ZONE ATLAS NO.	A-10-Z
ZONING	R-1
MILES OF FULL WIDTH STREETS CREATED	0.73 MILES
NO. OF EXISTING LOTS	34
NO. OF LOTS CREATED	68
DENSITY	7.4 D.U./ACRE

**SURVEY NOTES**

- ALL BOUNDARY CORNERS SHOWN (▲) ARE FOUND REBAR W/ CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS (▲) AND WILL BE MARKED BY (▲) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

**LEGEND**

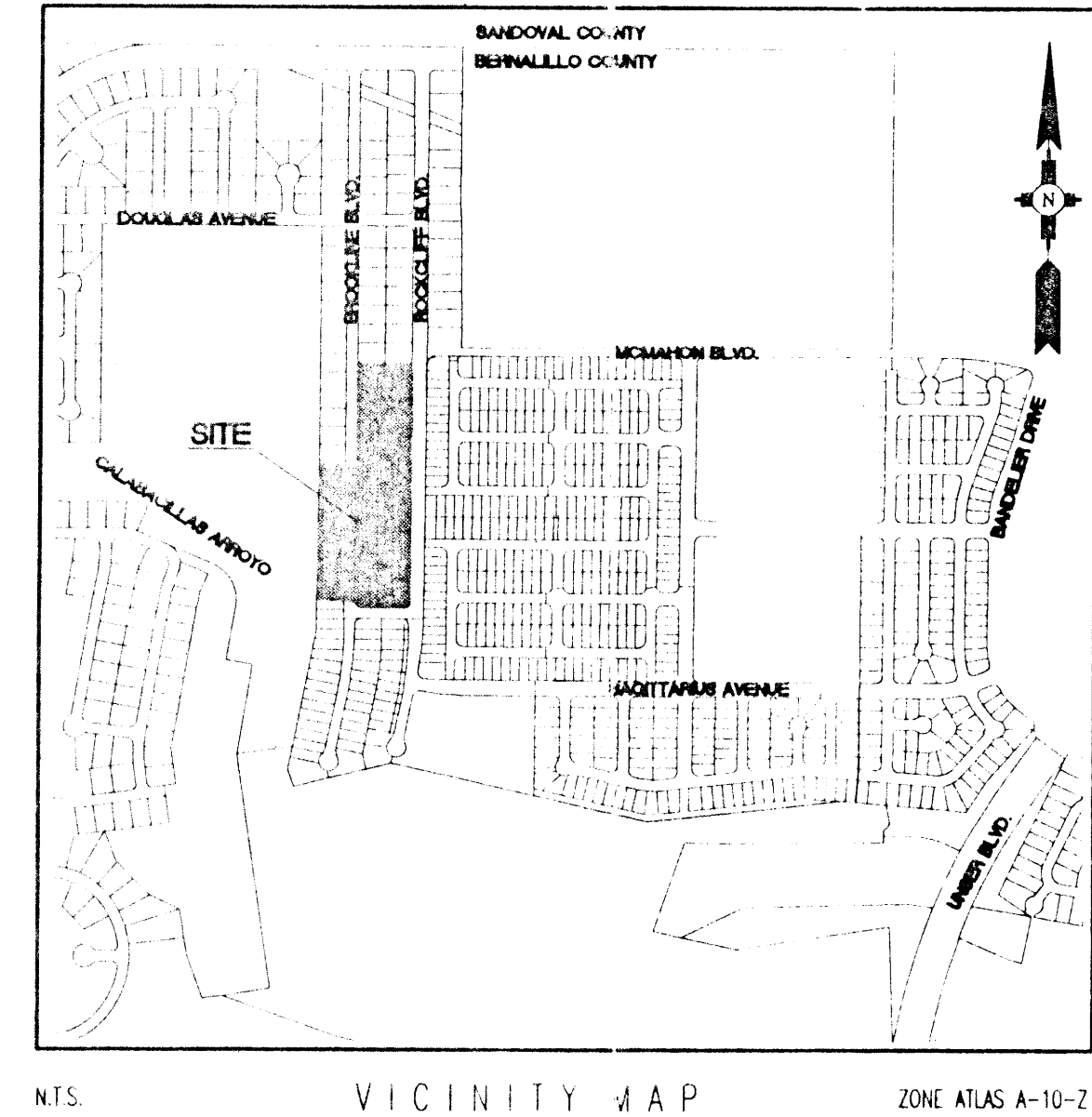
- EXISTING SUBDIVISION BOUNDARY LINE
- NEW SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 10' PUE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- 7' ELECTRIC AND TELEPHONE EASEMENT TO BE VACATED BY THIS PLAT
- 8' MISC. UTILITY EASEMENT TO BE VACATED BY THIS PLAT
- PUBLIC RIGHT-OF-WAY TO BE VACATED BY THIS PLAT
- RIGHT-OF-WAY TO BE DEDICATED TO A.M.A.F.C.A. BY THIS PLAT

APPROVED FOR MONUMENTATION AND STREET NAMES

*[Signature]* 3-17-03  
 CITY SURVEYOR DATE

*[Signature]* 2-18-03  
 MARK RÜHLMAN DATE  
 DIVISION PRESIDENT, LONGFORD HOMES OF NEW MEXICO, INC.

**Bohannon & Huston**  
 Engineering & Spatial Data • Advanced Technologies  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

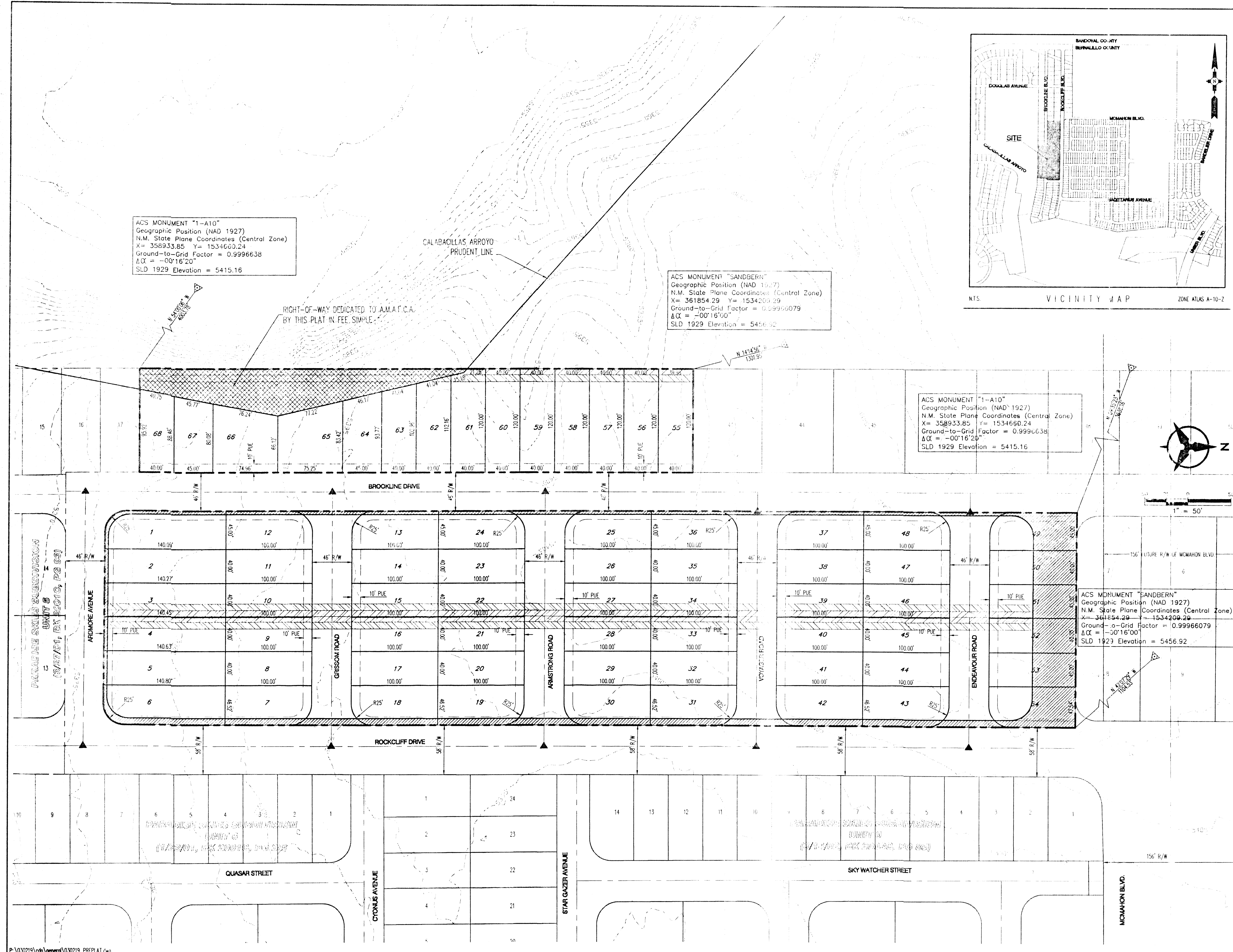


ACS MONUMENT "1-A10"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 358933.85 Y = 1534660.24  
 Ground-to-Grid Factor = 0.9996638  
 ΔC = -00°16'20"  
 SLD 1929 Elevation = 5415.16

ACS MONUMENT "SANDBERN"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 361854.29 Y = 1534200.29  
 Ground-to-Grid Factor = 0.99966079  
 ΔC = -00°16'00"  
 SLD 1929 Elevation = 5456.92

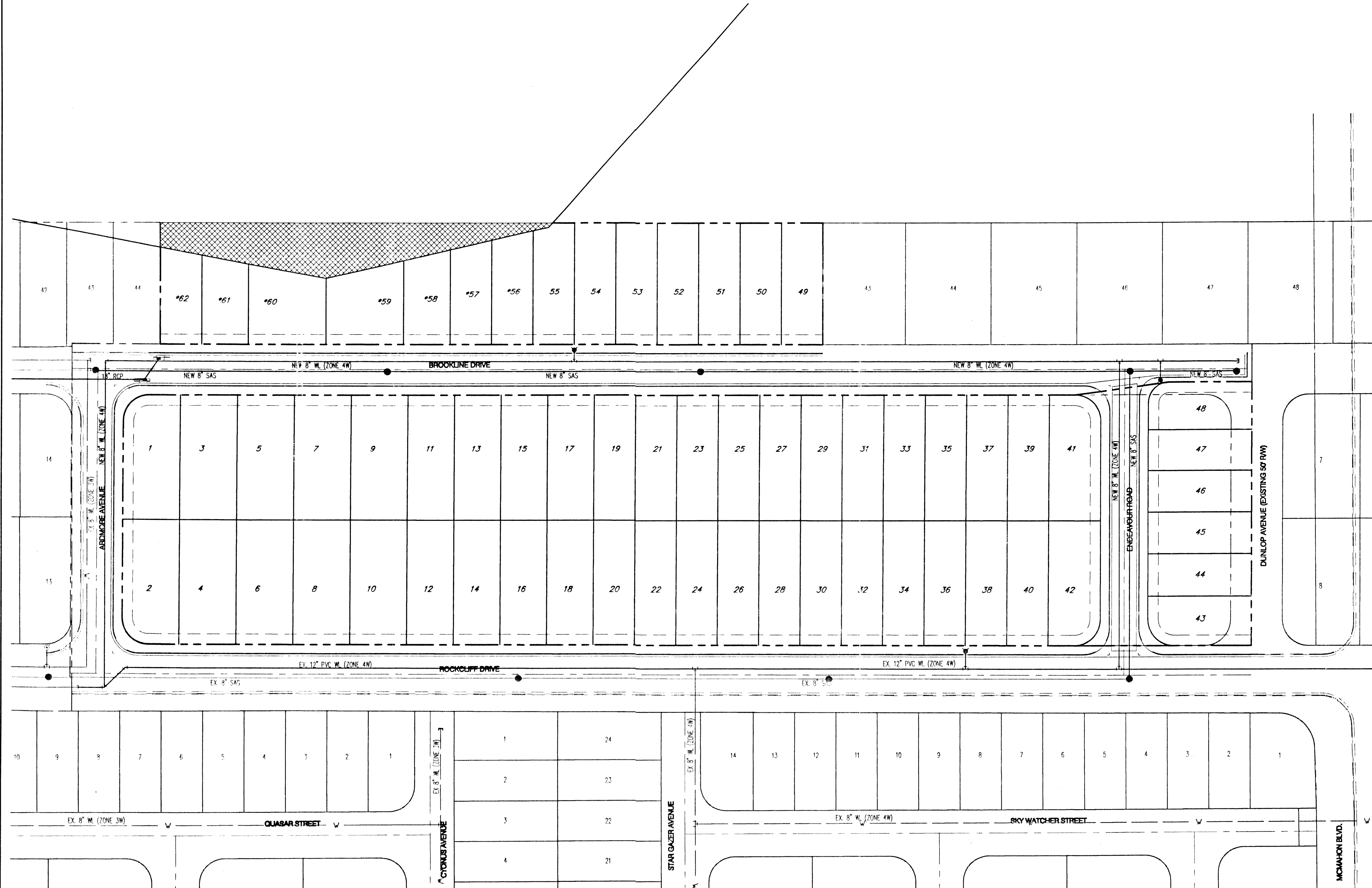
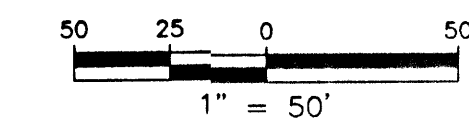
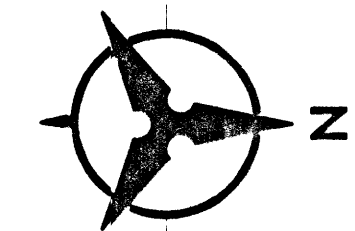
ACS MONUMENT "1-A10"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 358933.85 Y = 1534660.24  
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 ΔC = -00°16'20"  
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ACS MONUMENT "SANDBERN"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 361854.29 Y = 1534200.29  
 Ground-to-Grid Factor = 0.99966079  
 ΔC = -00°16'00"  
 SLD 1929 Elevation = 5456.92



SITE PLAN FOR  
 SUBDIVISION AND BUILDING PERMIT  
 PARADISE SKIES UNIT 10  
 CURRENTLY LOTS 1-26 AND 35-42  
 OF PARADISE HEIGHTS UNIT 4  
 ALBUQUERQUE, NEW MEXICO  
 MAY 2003

CONCEPTUAL UTILITY PLAN



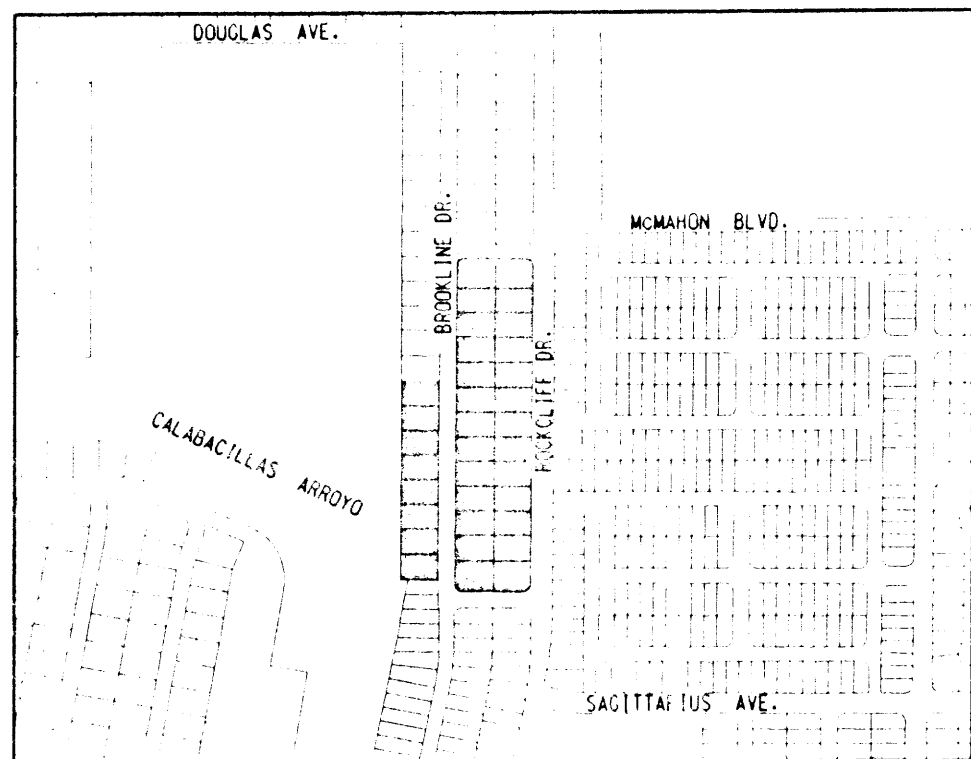
LEGEND	
—	PROPERTY LINE
---	NEW EASEMENT
SAS	NEW SANITARY SEWER
W	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
SD	EXISTING STORM DRAIN
■	EXISTING WATER METER
□	EXISTING CAP
▽	EXISTING VALVE
⊕	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN
SAS	PROPOSED SANITARY SEWER
WL	PROPOSED WATER LINE
▽	PROPOSED VALVE
⊕	PROPOSED HYDRANT
□	PROPOSED CAP
■	PROPOSED WATER METER
●	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN
*	PROPOSED STREET LIGHT

AFD PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/DISAPPROVED  
 SIGNATURE & DATE  
 Michael Holton SMD 5-22-03  
 will comply w/Car Specs

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



SP-2003151265



LOCATION MAP

ZONE ATLAS INDEX MAP No. A-10-Z  
NOT TO SCALE

SUBDIVISION DATA

1. URB No. 1002379
2. Gross subdivision acreage: 7.7912 acres
3. Total number of parcels created: 62 lots, 1 tract
4. Date of survey: January 2003
5. This development is located in the Town of Alameda Grant, in projected Section 3, T11N, R2E, N44M.
6. 0.045 miles of public street right-of-way dedicated with the filing of this plat.

DISCLOSURE STATEMENT

The purpose of this plat is to re-subdivide Lots 35 thru 42 of Block 4, and Block 5, of PARADISE HEIGHTS, UNIT 4, dedicate additional public street and drainage right-of-way, vacate public street right-of-way, grant easements, and vacate easements.

NOTES

1. Basis of bearings: New Mexico State Plane Grid Bearings (Central Zone, NAD 27). Distances are ground distances.
2. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. facilities, not the City of Albuquerque.
3. Centerline in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #6544".

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. UWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico. Said tract of land being Lots 35 thru 42 of Block 4, as the same are shown and designated on the Plat of PARADISE HEIGHTS, UNIT 4, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on May 7, 1968, in Volume 03, folio 201, and now being more particularly described, by New Mexico State Plane Grid Bearings (Central Zone, NAD 27) and ground distances as follows:

BEGINNING at the northwest corner of said Lot 42, whence the National Geodetic Survey monument "SANBERN", having New Mexico State Plane Grid coordinates for the Central Zone: X=361,854.29, Y=1,534,209.29, bears N14°14'56"W a distance of 1301.95 feet; thence along the north boundary line of said Lot 42, S89°46'03"E a distance of 120.00 feet; thence along the westerly right-of-way line of Brookline Boulevard, S02°14'26"W a distance of 640.21 feet; thence along the southerly boundary line of said Lot 35, N89°47'46"W a distance of 120.00 feet to the southwest corner of said Lot 35; thence along the west boundary line of said Lots 35 thru 42, N00°14'26"E a distance of 640.27 feet to the point and place of beginning.

This tract contains 1.7637 acres, more or less:

TOGETHER WITH

A certain tract of land being Block 5, within said PARADISE HEIGHTS, UNIT 4, together with portions of Dunlop Avenue and Brookline Boulevard, and now being more particularly described, by New Mexico State Plane Grid Bearings (Central Zone, NAD 27) and ground distances as follows:

BEGINNING at the northeast corner of the tract herein described, whence the National Geodetic Survey monument "SANBERN", having New Mexico State Plane Grid coordinates for the Central Zone: X=361,854.29, Y=1,534,209.29, bears N40°47'21"W a distance of 1121.57 feet; thence along the easterly boundary line of the tract herein described also being the westerly right-of-way line of Rockcliff Drive, S00°18'03"W a distance of 1065.96 feet to a point of curvature; thence along a transition curve, 39.36 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord bearing S45°23'56"W a distance of 35.42 feet to a point of tangency; thence along the northerly right-of-way line of line of Ardmore Avenue, N89°30'12"W a distance of 189.39 feet to a point of curvature; thence along a transition curve, 39.16 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord bearing N44°37'53"W a distance of 35.28 feet to a point of tangency; thence along the easterly right-of-way line of said Brookline Drive, N00°14'26"E a distance of 961.20 feet; thence along the westerly boundary line of the tract herein described to a point on curve; 23.19 feet along the arc of a curve to the right having a radius of 20.00 feet and a chord bearing N32°58'13"W a distance of 21.91 feet to a point of tangency; thence, N00°14'26"E a distance of 80.04 feet to the northwest corner of the tract herein described; thence, S89°38'54"E a distance of 252.51 feet to the point and place of beginning.

This tract contains 6.0275 acres, more or less; and the total acreage of this plat is 7.7912 acres, more or less.

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston, Inc.  
Court yard  
7500 Jefferson Street, N.E.  
Albuquerque, New Mexico 87109  
(505)823-1000



Tom Klingenhagen  
Thomas G. Klingenhagen  
New Mexico Professional Surveyor 5978  
Date: 6-23-03

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being Lots 35 thru 42 of Block 4, together with Block 5, and portions of Dunlop Avenue and Brookline Boulevard, as the same are shown and designated on the Plat of PARADISE HEIGHTS, UNIT 4, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on May 7, 1968, in Volume 03, folio 201, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee Simple with Warranty Covenants and do hereby grant: All Access, Utility and Drainage Easements shown hereon; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried/overhead distribution lines, conduits, pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event grantor, its successors and assigns, constructs any improvements other than curb and gutter (encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the encroachments (work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the encroachments nor shall the City be financially responsible if the work affects any of the encroachments. The City shall also have the right if necessary, to enter grantor's property to access the easement areas for the purposes of performing the work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

LONGFORD AT PARADISE SKIES, LP

BY: John Murtogh, President, Longford at Paradise Skies, LP

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 30 day of June, 2003, John Murtogh, President, Longford at Paradise Skies, LP

My Commission Expires: June 14, 2006



TAX CERTIFICATION

PROPERTY OWNER OF RECORD	PLAT NUMBER	DATE
1-010-066-474269-102-20	1-010-066-492268-103-01	
1-010-066-474277-102-21	1-010-066-503268-103-02	
1-010-066-474285-102-22	1-010-066-503278-103-03	
1-010-066-474293-102-23	1-010-066-503286-103-04	
1-010-066-474300-102-24	1-010-066-503294-103-05	
1-010-066-474309-102-25	1-010-066-503301-103-06	
1-010-066-474317-102-26	1-010-066-503310-103-07	
1-010-066-474325-102-27	1-010-066-503318-103-08	
1-010-066-491369-103-15	1-010-066-503327-103-09	
1-010-066-492360-103-16	1-010-066-503335-103-10	
1-010-066-492352-103-17	1-010-066-503344-103-11	
1-010-066-492344-103-18	1-010-066-503352-103-12	
1-010-066-492335-103-19	1-010-066-503360-103-13	
1-010-066-492327-103-20	1-010-066-503369-103-14	
1-010-066-492318-103-21		
1-010-066-492310-103-22		
1-010-066-492301-103-23		
1-010-066-492294-103-24		
1-010-066-492286-103-25		
1-010-066-492278-103-26		

See Attached for Owners  
 Danny Vasquez  
 BERNALILLO COUNTY TREASURER'S OFFICE  
 DATE: 23 Jul 03

SHEET 1 OF 2



PLAT OF  
PARADISE SKIES  
UNIT 10

(A REPLAT OF LOTS 1-28 AND 35-42  
PARADISE HEIGHTS UNIT 4)  
ALBUQUERQUE, NEW MEXICO  
JUNE, 2003

APPROVALS

PLAT NUMBER	DATE
1002379 / 03028-01159	
Sheran Matson, PLANNING DIRECTOR	7/23/03
Brad L. Bisha, CITY ENGINEER	7/23/03
Jim M. Mason, A.M.A.P.A.	7-21-03
Richard D. Dink, TRAFFIC ENGINEER	7-23-03
Scott M. Howell, CITY SURVEYOR	7-15-03
Scott M. Howell, PROPERTY MANAGER	7-21-03
Daniel D. Dink, UTILITY DEVELOPMENT DEPARTMENT	7/23/03
Christina S. Sandoval, PARKS & RECREATION	7/23/03
Daniel R. Miller, QUEST	7-16-03
Rita E. Sicks, COMCAST CABLE	7-16-03
Leah S. Sicks, PNM ELECTRIC SERVICES	7-17-03
Leah S. Sicks, PNM GAS SERVICES	7-17-03
NEW MEXICO UTILITIES, INC.	7-22-03

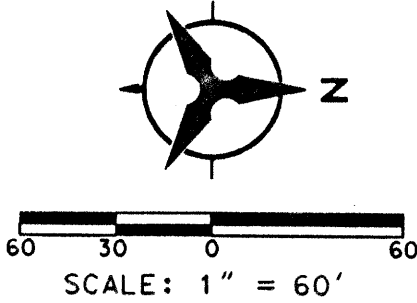
PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

NO.	BEARING	DISTANCE
T1	S48°15'46"E	5.93'
T2	N12°42'25"W	15.18'
T3	S00°14'26"W	21.28'



NO.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	90°11'45"	25.09'	39.36'	25.00'	35.42'	S45°23'56"W
C2	89°44'38"	24.89'	39.16'	25.00'	35.28'	N44°37'53"W
C3	66°25'19"	13.09'	23.19'	20.00'	21.91'	N32°58'13"W
C4	23°28'02"	4.15'	8.19'	20.00'	8.13'	S77°54'53"E
C5	90°03'01"	25.02'	39.29'	25.00'	35.37'	N45°19'35"E
C6	89°56'57"	24.98'	39.25'	25.00'	35.34'	N44°40'26"W
C7	90°06'39"	25.05'	39.32'	25.00'	35.39'	S45°17'46"W
C8	89°53'21"	19.96'	31.38'	20.00'	28.26'	N44°42'14"W

2883127654  
5918627  
Page 2 of 2  
87/23/2883 02:18P  
Bx-2883C Pg-224

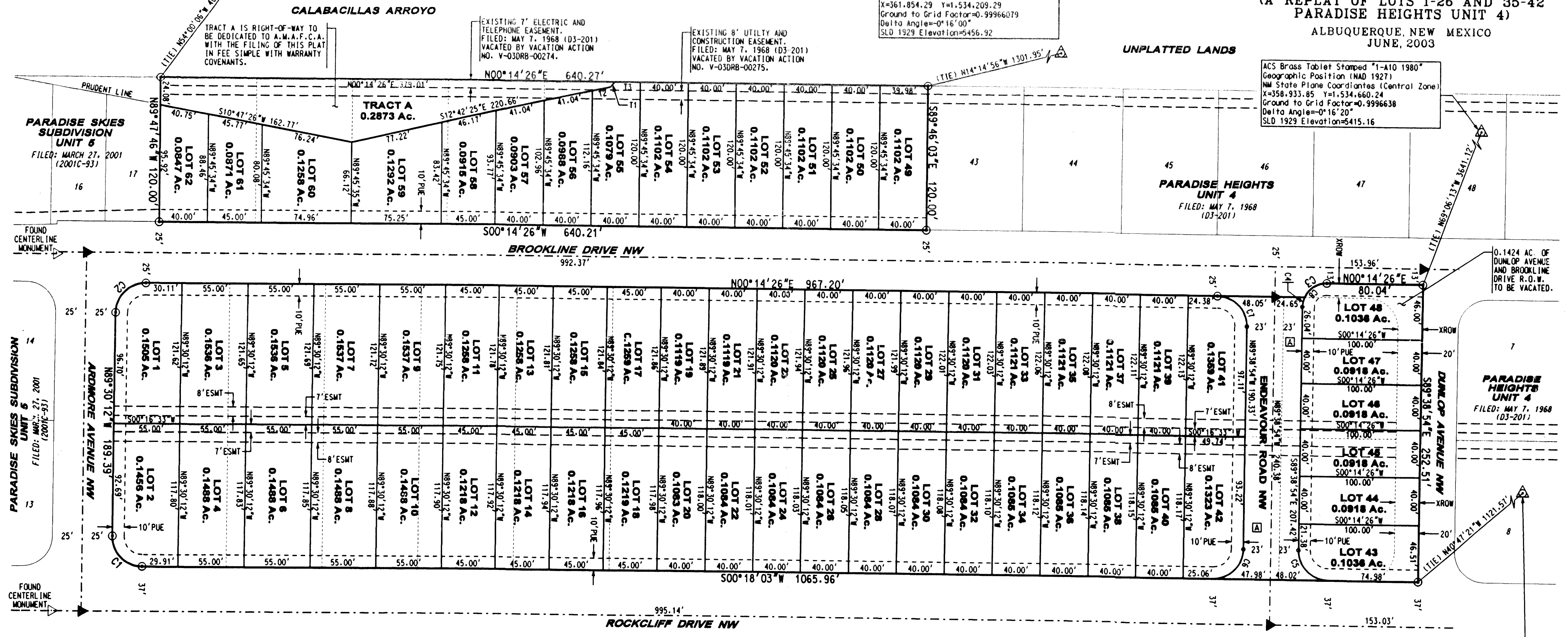
Barry Herrera Bern. Co. PLRT R 12.88

**PLAT OF  
PARADISE SKIES  
UNIT 10**  
(A REPLAT OF LOTS 1-26 AND 35-42  
PARADISE HEIGHTS UNIT 4)  
ALBUQUERQUE, NEW MEXICO  
JUNE, 2003

NCS Brass Tablet Stamped "SANDBERN, 1969"  
Geographic Position (NAD 1927)  
NM State Plane Coordinates (Central Zone)  
X=361,854.29 Y=1,534,209.29  
Ground to Grid Factor=0.99966079  
Delta Angle=0°16'00"  
SLO 1929 Elevation=5456.92

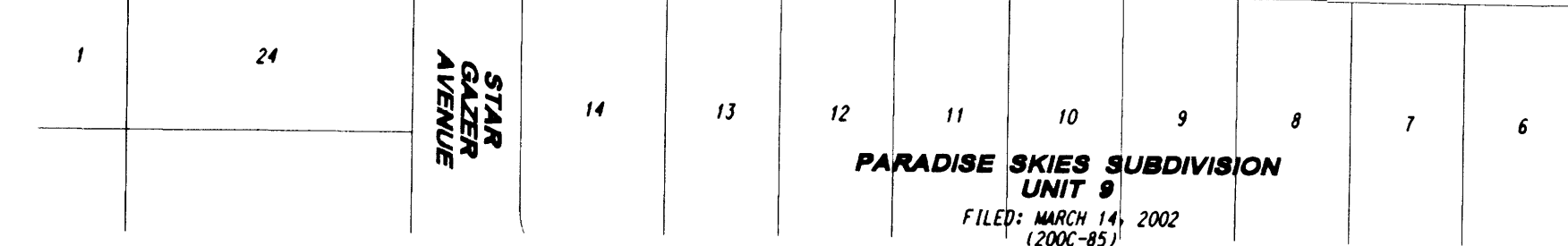
ACS Brass Tablet Stamped "1-A10 1980"  
Geographic Position (NAD 1927)  
NM State Plane Coordinates (Central Zone)  
X=358,933.85 Y=1,534,660.24  
Ground to Grid Factor=0.9996638  
Delta Angle=0°16'20"  
SLO 1929 Elevation=5415.16

ACS Brass Tablet Stamped "1-A10 1980"  
Geographic Position (NAD 1927)  
NM State Plane Coordinates (Central Zone)  
X=358,933.85 Y=1,534,660.24  
Ground to Grid Factor=0.9996638  
Delta Angle=0°16'20"  
SLO 1929 Elevation=5415.16



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET 5/8" REBAR W/ 1-1/4" DIA. RED PLASTIC SURVEY CAP STAMPED "LS 5978"

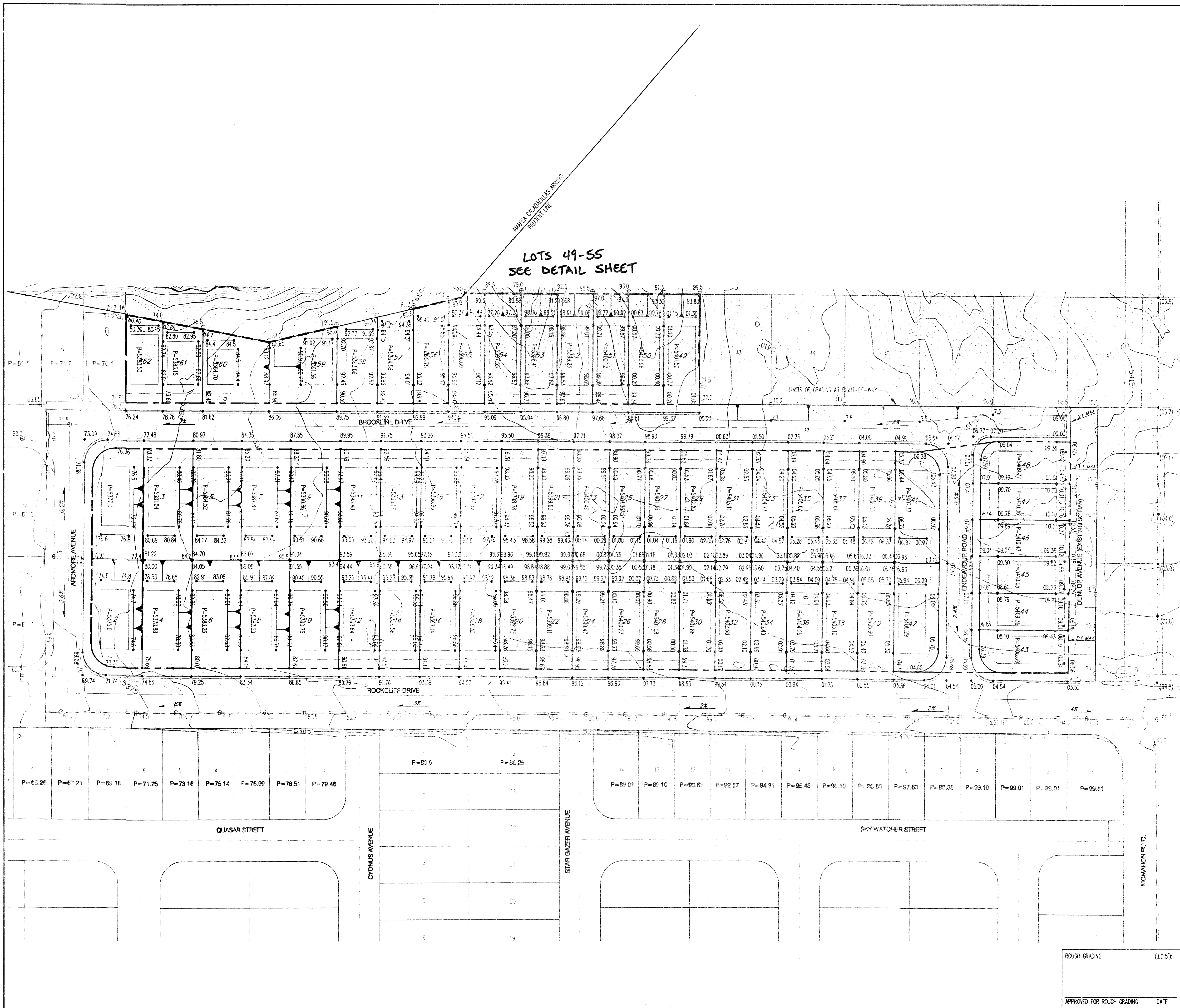
LEGEND	
10' PUE	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT.
7' ESMT	EXISTING 7' ELECTRIC AND TELEPHONE EASEMENT. FILED: MAY 7, 1968 (03-201) VACATED BY VACATION ACTION NO. V-03DRB-00274.
8' ESMT	EXISTING 8' UTILITY AND CONSTRUCTION EASEMENT. FILED: MAY 7, 1968 (03-201) VACATED BY VACATION ACTION NO. V-03DRB-00275.
XROW	EXISTING PUBLIC STREET RIGHT-OF-WAY GRANTED TO THE CITY OF ALBUQUERQUE. FILED: MAY 7, 1968 (03-201) VACATED BY VACATION ACTION NO. 03DRB-00270 and NO. 03DRB-00271.
	PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.



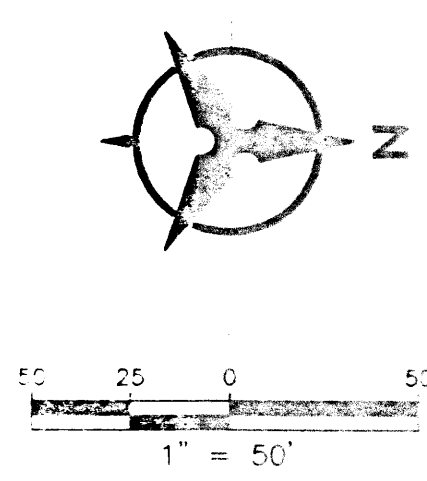
NCS Brass Tablet Stamped "SANDBERN, 1969"  
Geographic Position (NAD 1927)  
NM State Plane Coordinates (Central Zone)  
X=361,854.29 Y=1,534,209.29  
Ground to Grid Factor=0.99966079  
Delta Angle=0°16'00"  
SLO 1929 Elevation=5456.92

**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 2 OF 2



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DETAIL AND WEETING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
  8. ALL ELEVATIONS SHOWN WITH "( )" ARE FUTURE MONARCH ELEVATION.

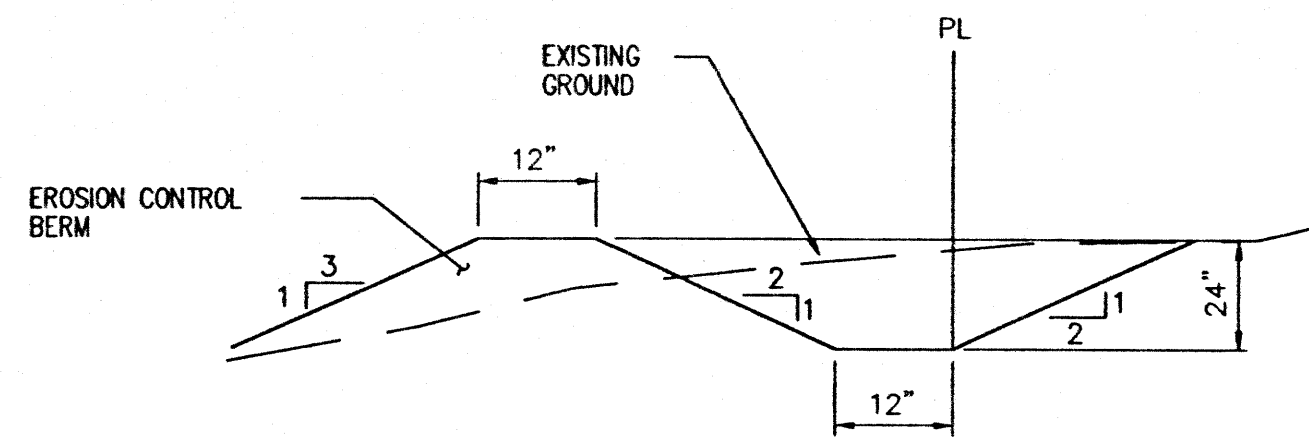
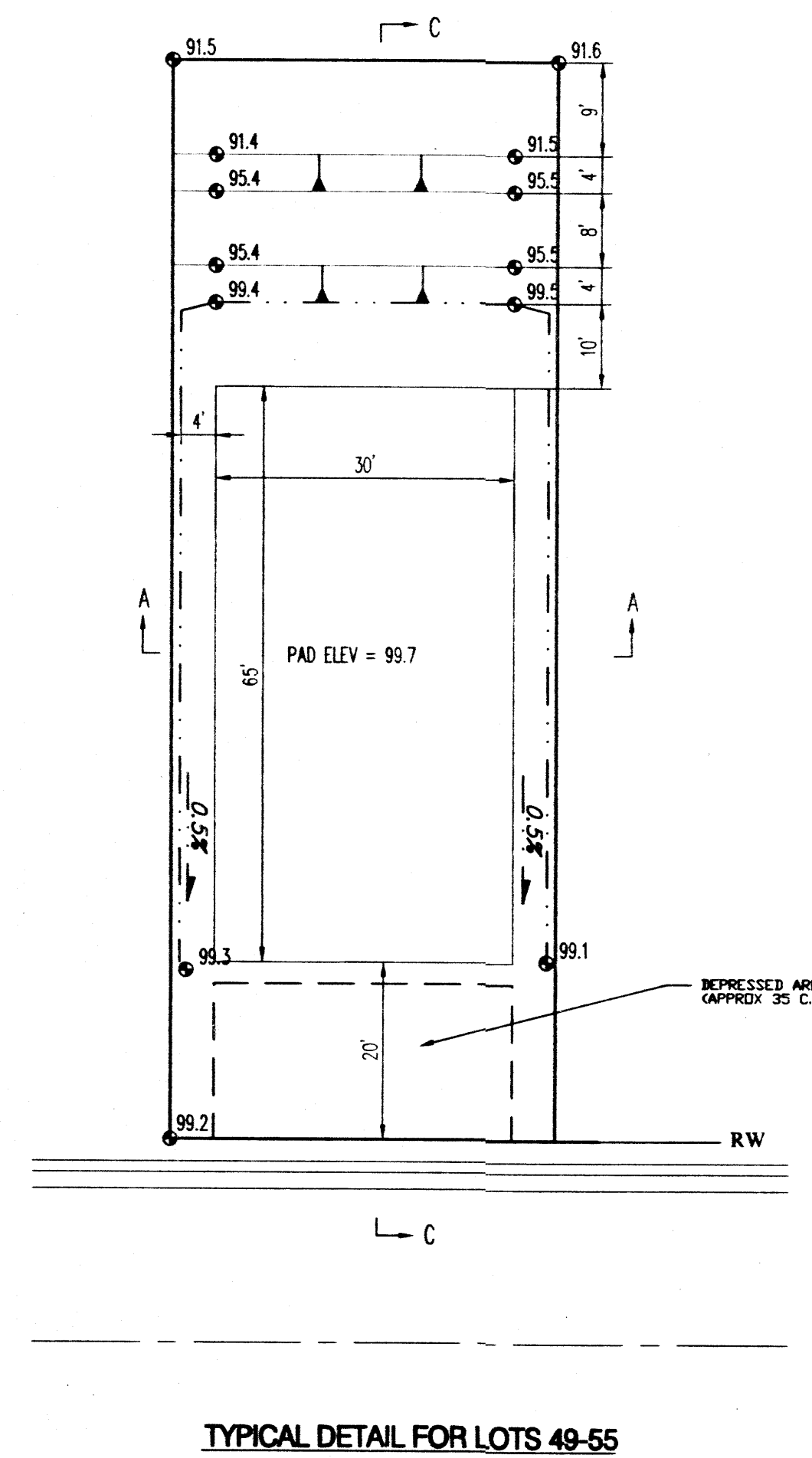
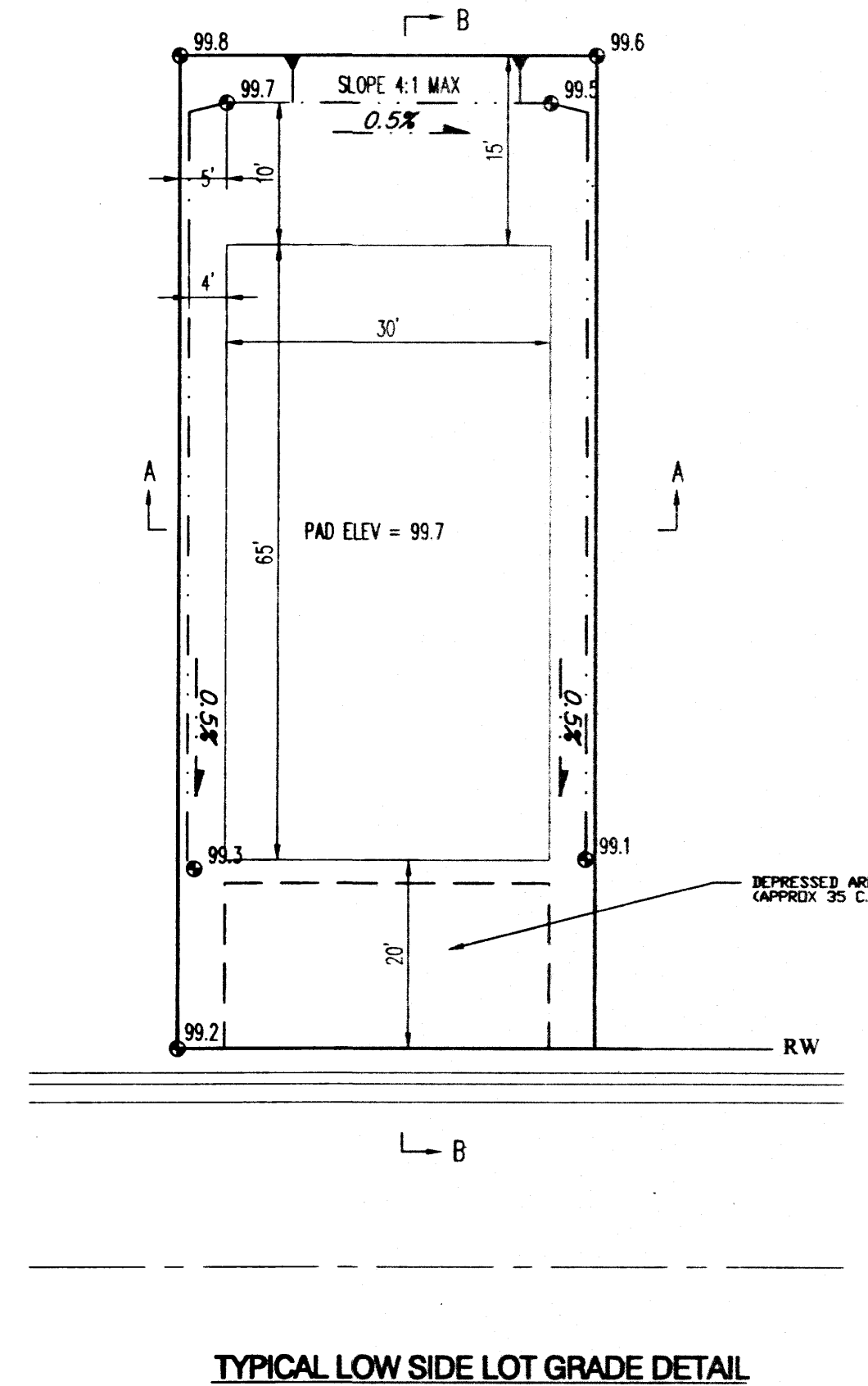
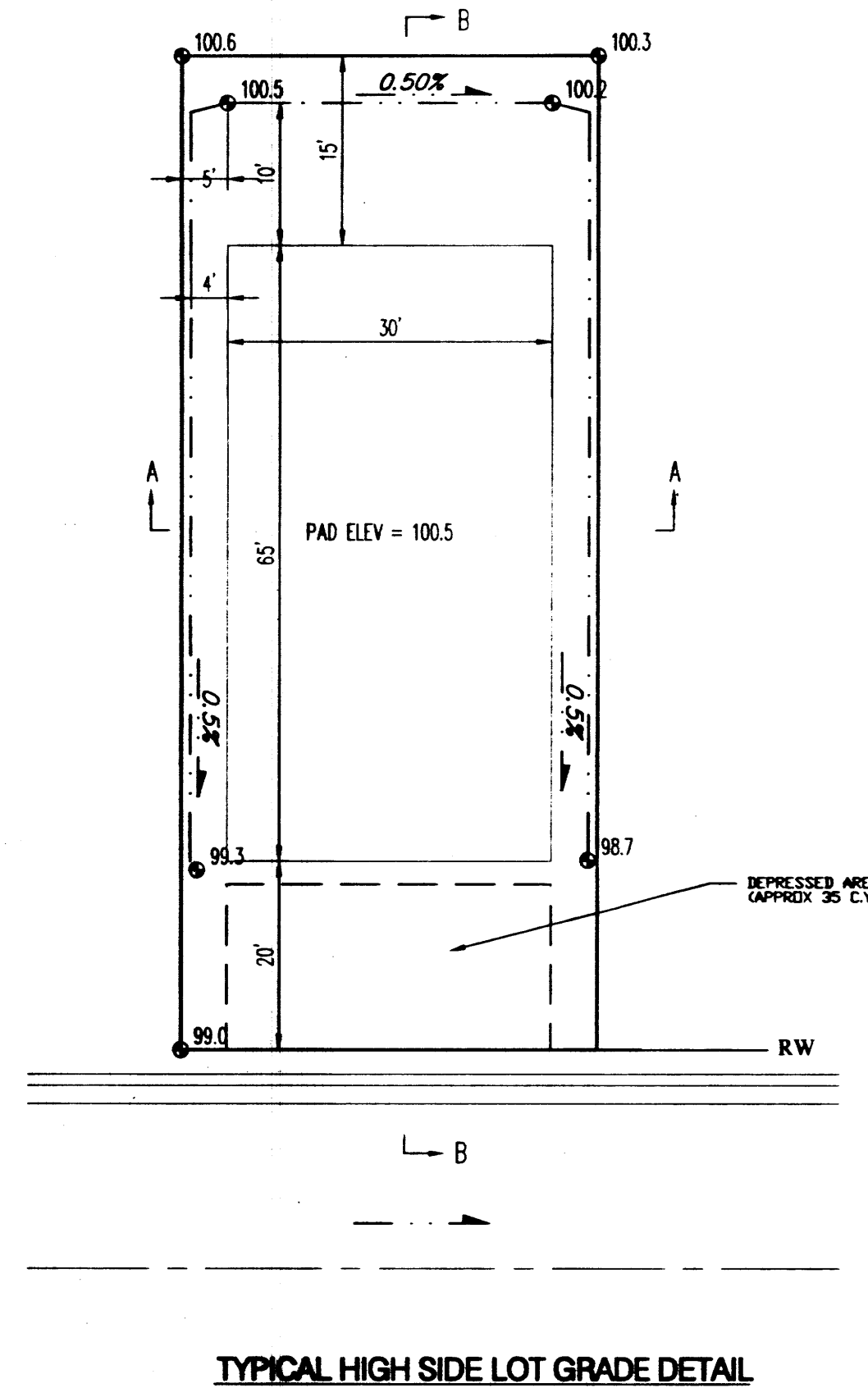
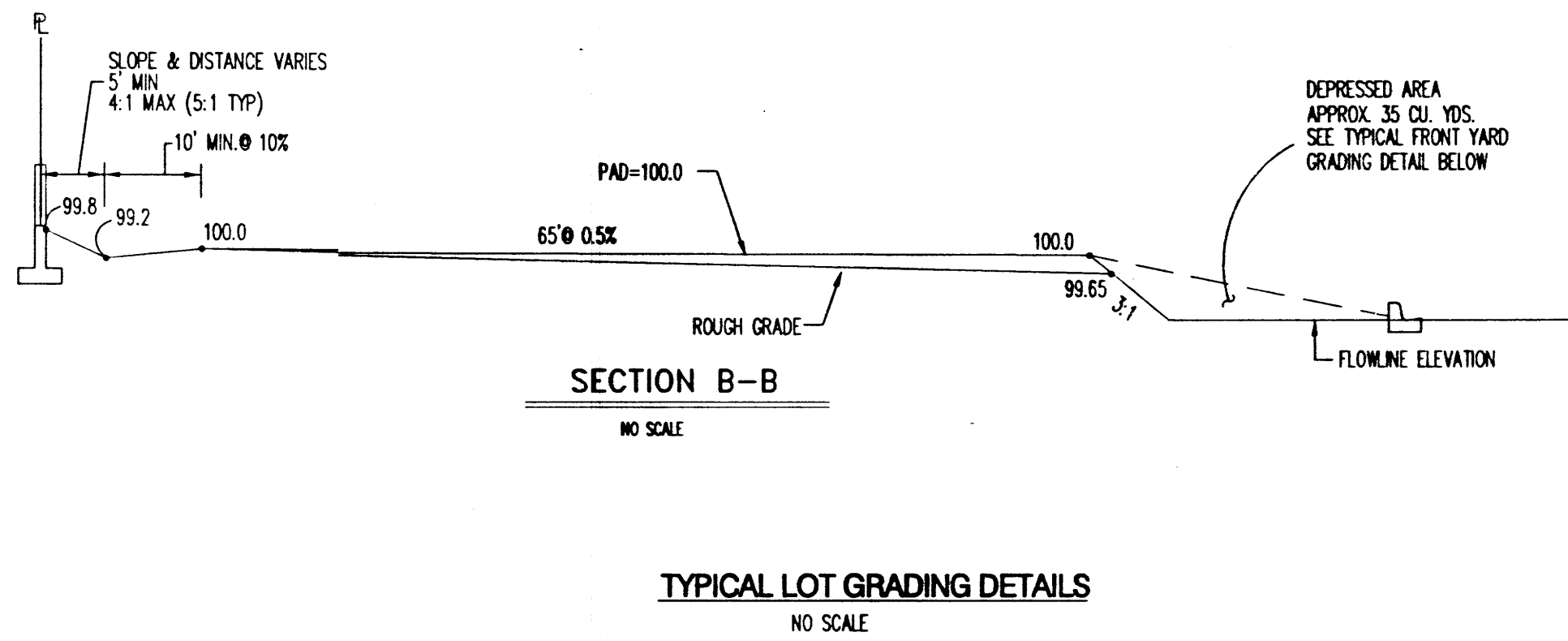
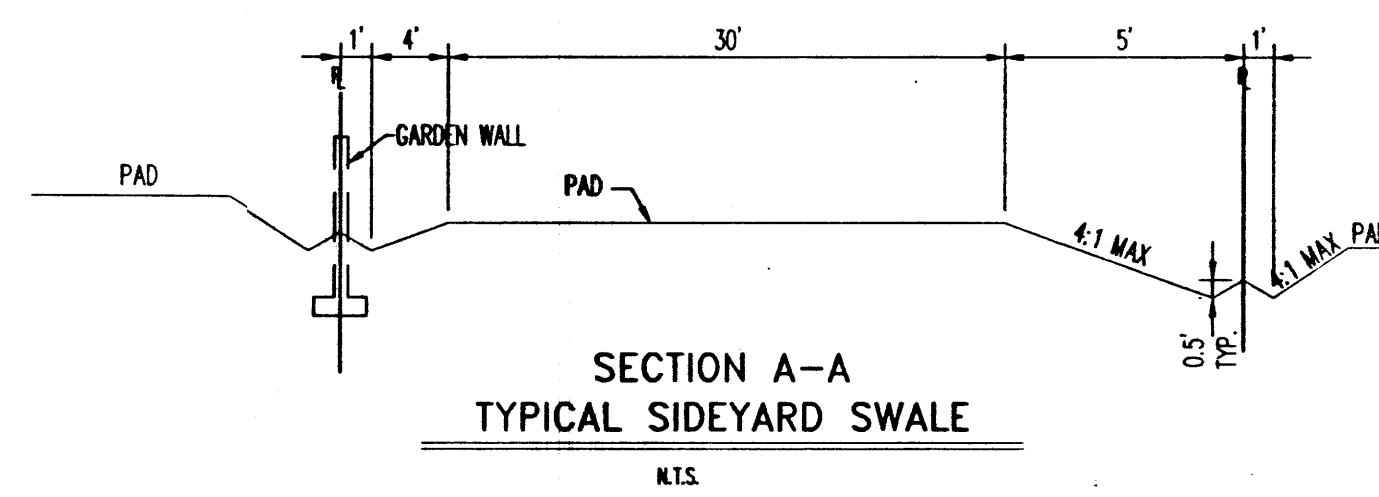


- LEGEND**
- (9'-62) FUTURE SPOT ELEVATION (MONARCH ELEV. PL)
  - 91.62 PROPOSED SPOT ELEVATION
  - 91.62 EXISTING SPOT ELEVATION (GRID & PL)
  - EXISTING CURB & GUTTER
  - PROPOSED STANDARD CURB & GUTTER
  - EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - ▬ PROPOSED RETAINING WALL
  - ▬ PROPOSED SLOPE
  - ▬ PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN MANHOLE
  - ▬ PROPOSED STORM DRAIN INLET
  - ▬ LIMITS OF GRADING
  - ↑ WALL DRAIN

<b>AS-BUILT INFORMATION</b> CONTRACTOR: _____ CHECKED BY: _____ DATE: _____ FIELD NOTES BY: _____ DATE: _____ PLOTTED BY: _____ DATE: _____ CHECKED BY: _____ DATE: _____		<b>BENCH MARKS</b> ACS MONUMENT "SANDBERN" Geographic Position (NAD 1927) N.M. State Plane Coordinates (Central Zone) X= 361,854.29 Y= 1,534,208.29 Ground-to-Grid Factor = 0.99966079 ΔCC = -00'16"00" SLD 1929 Elevation = 5456.92	
<b>SURVEY INFORMATION</b> NO. _____ BY _____ DATE _____		<b>ENGINEER'S SEAL</b> 	
<b>REVISIONS</b> No. _____ Date _____ By _____		DESIGNED: NTL DATE: 05/20/03 DRAWN: NTL DATE: 05/20/03 CHECKED: RLB DATE: 05/20/03	
Design Review Committee: _____ City Engineer Approval: _____		Ms./Day/Yr. _____ Ms./Day/Yr. _____	
City Project No. _____ Zone Map No. _____ Sheet 1 of 2		Last Design Update: _____ Ms./Day/Yr. _____ Ms./Day/Yr. _____	

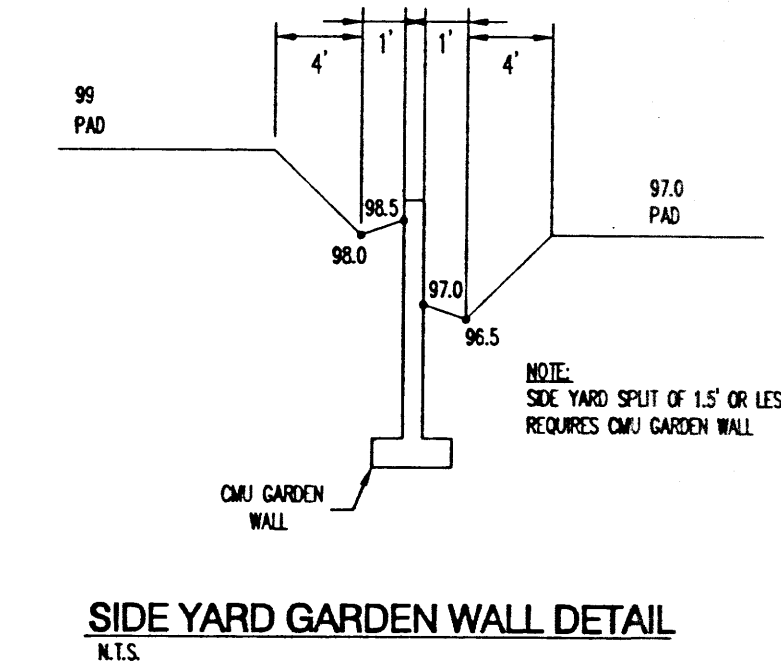
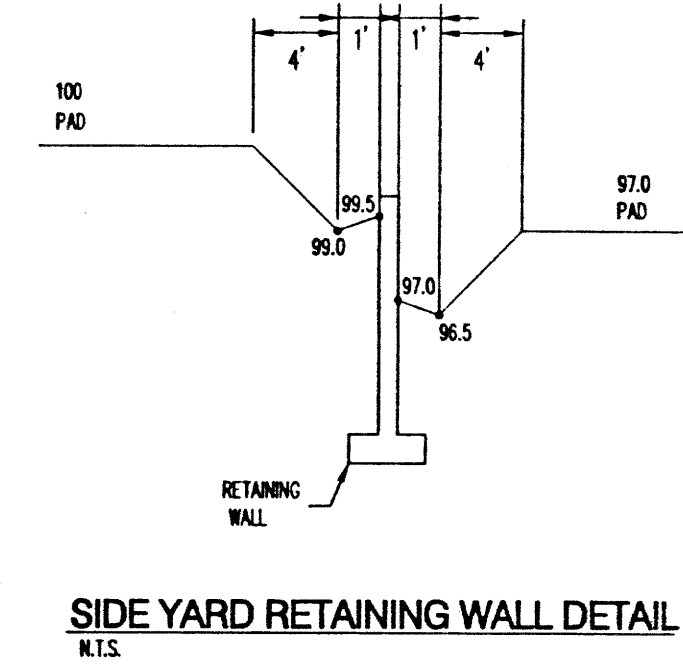
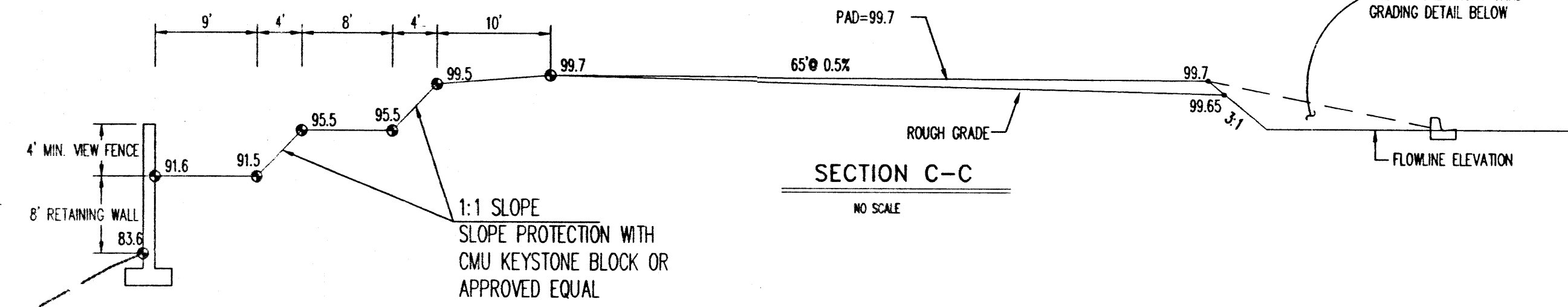
**NOTE:**

- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
- FRONT YARD ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
- HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.



- EROSION CONTROL BERM**
- TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
  - WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
  - AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
  - CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION

**EROSION CONTROL PLAN**  
NO SCALE



ROUGH GRADING (40.5)  
APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
ACS MONUMENT "SANDBERN"							
Geographic Position (NAD 1927)							
N.M. State Plane Coordinates (Central Zone)							
X = 361,854.29							
Y = 1,534,209.29							
Ground-to-Grid Factor = 0.99966079							
ΔC = -00'16"00"							
SLD 1929 Elevation = 5456.92							

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**PARADISE SKIES UNIT 10 SUBDIVISION**  
**GRADING DETAILS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. \_\_\_\_\_ Sheet **2** Of **2**

P:\030219\c\p\general\030219\_GPO2.dwg  
 May 16, 2003 - 01:54 PM  
 Model

PRELIMINARY PLAT FOR  
**PARADISE SKIES UNIT 10**  
 CURRENTLY LOTS 1-26 AND 35-42  
 OF PARADISE HEIGHTS UNIT 4  
 ALBUQUERQUE, NEW MEXICO  
 APRIL 2003

**GENERAL NOTES**

- EXISTING ZONING: R-1  
 PROPOSED ZONING: R-1  
 PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
- PROPOSED NET ACREAGE: 8.0 ACRES  
 NUMBER OF LOTS: 53 D.U.  
 PROPOSED DENSITY: 6.6 D.U./ACRE
- MINIMUM LOT DIMENSIONS:  
 MINIMUM LOT AREA: 50'x100' MIN.  
 5000 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO R-1 ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO MCMAHON BLVD.
- ALL LOTS SHOWN WITH THE P1 DESIGNATION SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA ITEM #1.

**SITE DATA**

ZONE ATLAS NO.	A-10-Z
ZONING	R-1
MILES OF FULL WIDTH STREETS CREATED	0.47 MILES
NO. OF EXISTING LOTS	34
NO. OF LOTS CREATED	53
DENSITY	6.6 D.U./ACRE

**SURVEY NOTES**

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.TS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS (▲) AND WILL BE MARKED BY (▲) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

**LEGEND**

	EXISTING SUBDIVISION BOUNDARY LINE
	NEW SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	PUBLIC UTILITY EASEMENT
	10' PUE
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	7' ELECTRIC AND TELEPHONE EASEMENT TO BE VACATED BY THIS PLAT
	8' MISC. UTILITY EASEMENT TO BE VACATED BY THIS PLAT
	PUBLIC RIGHT-OF-WAY TO BE VACATED BY THIS PLAT
	RIGHT-OF-WAY TO BE DEDICATED TO A.M.A.F.C.A. BY THIS PLAT

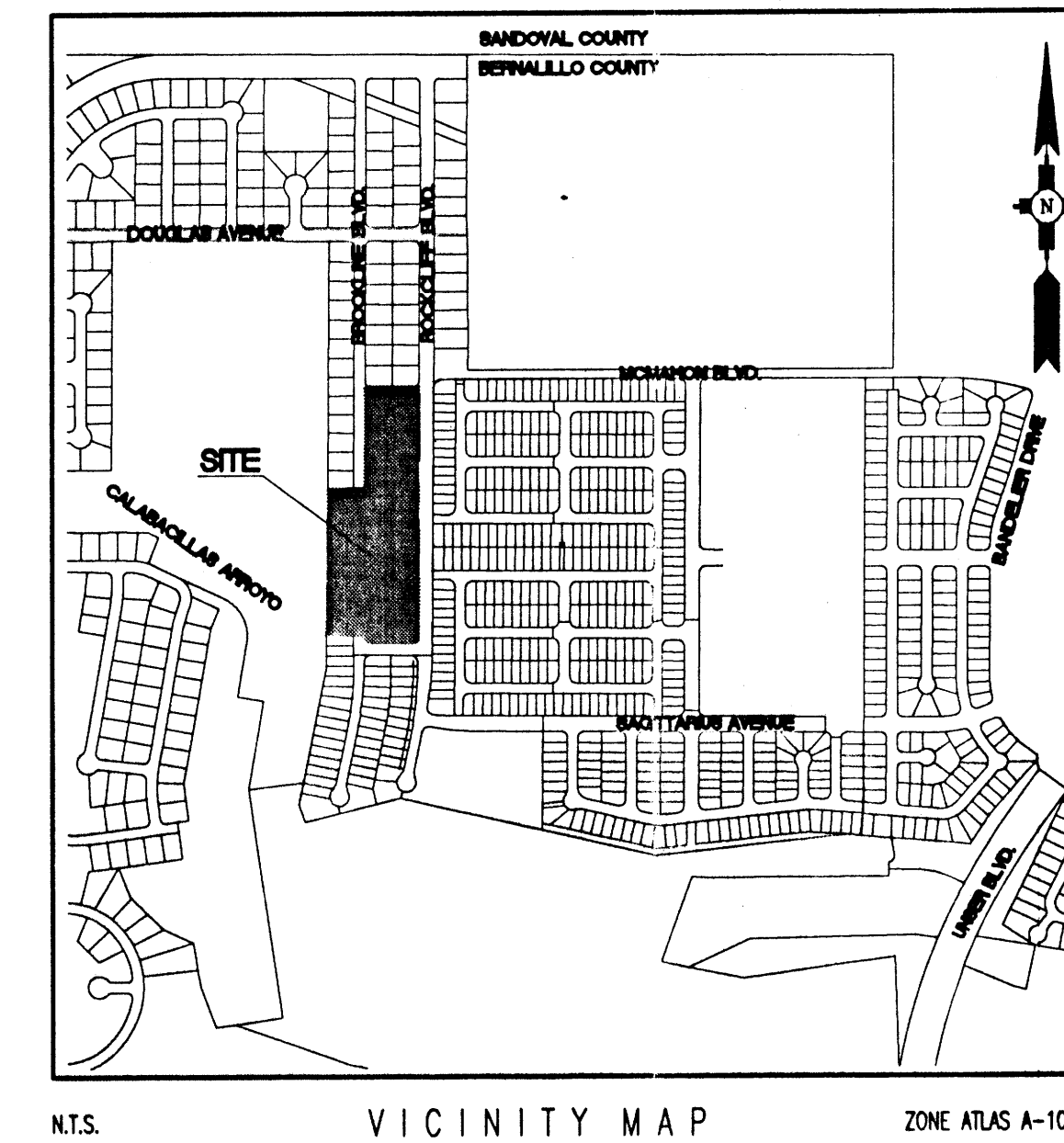
APPROVED FOR MONUMENTATION AND STREET NAMES

*John B. Hunt* 4-4-03  
 CITY SURVEYOR DATE

*Mark Ruhlman* 4-3-03  
 MARK RUHLMAN DATE  
 DIVISION PRESIDENT, LONGFORD HOMES OF NEW MEXICO, INC.

**Bohannon & Huston**

Courtyard 1 7500 Jefferson St NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



ACS MONUMENT "1-A10"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 358933.85 Y= 1534660.24  
 Ground-to-Grid Factor = 0.9996638  
 $\Delta\alpha = -00^{\circ}16'20''$   
 SLD 1929 Elevation = 5415.16

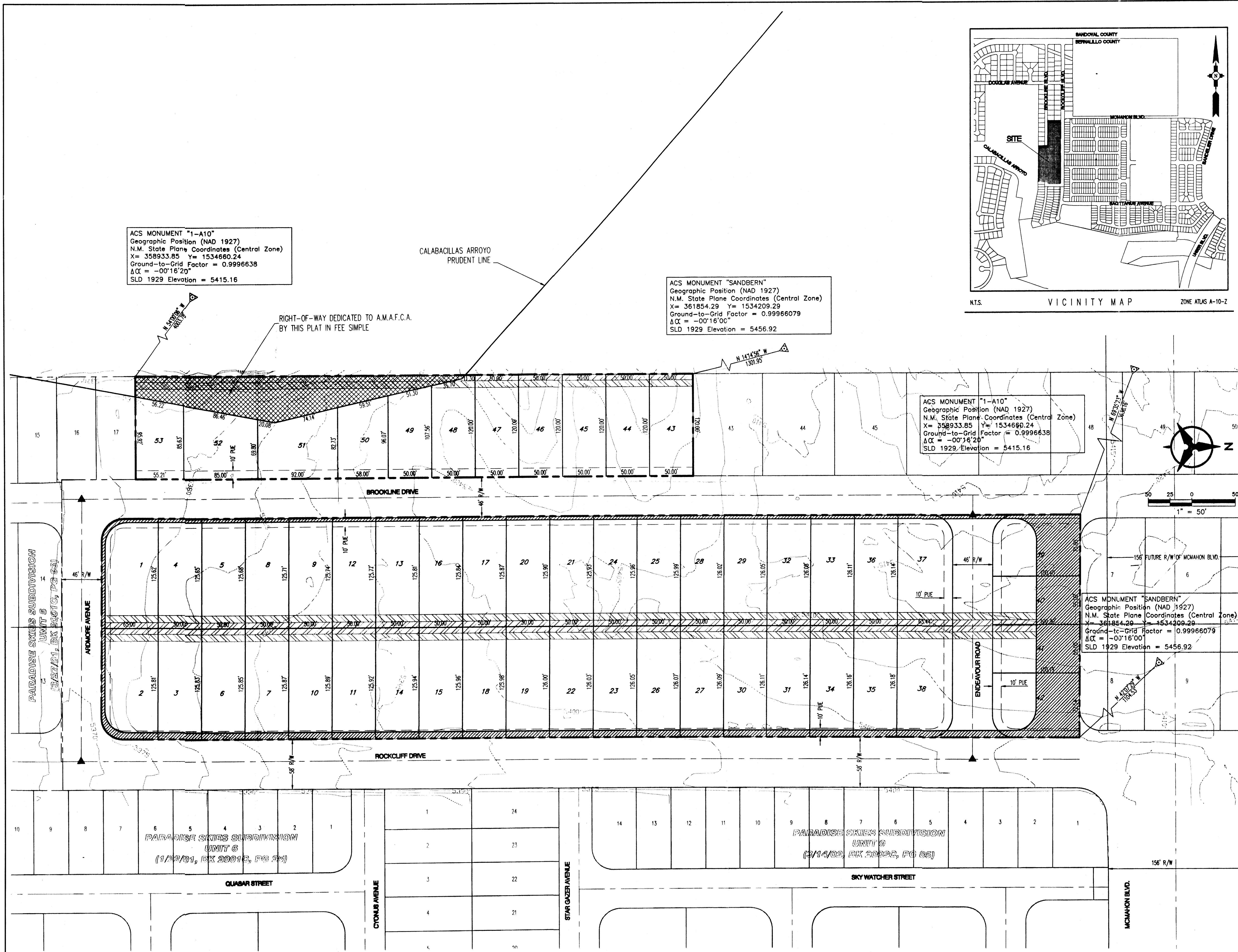
CALABACILLAS ARROYO  
 PRUDENT LINE

RIGHT-OF-WAY DEDICATED TO A.M.A.F.C.A.  
 BY THIS PLAT IN FEE SIMPLE

ACS MONUMENT "SANDBERN"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 361854.29 Y= 1534209.29  
 Ground-to-Grid Factor = 0.9996679  
 $\Delta\alpha = -00^{\circ}16'00''$   
 SLD 1929 Elevation = 5456.92

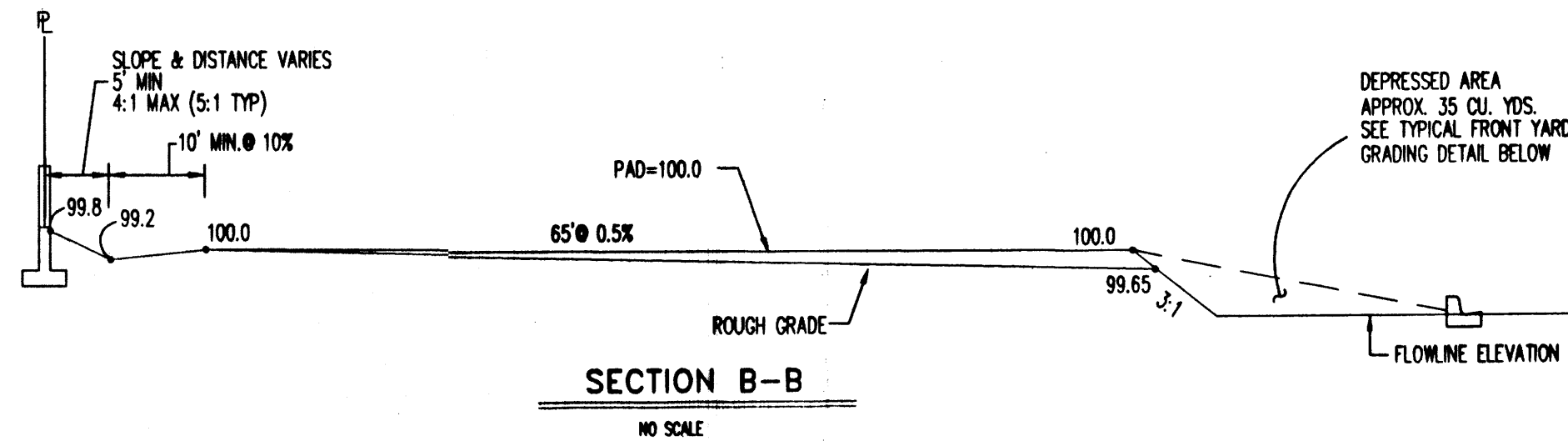
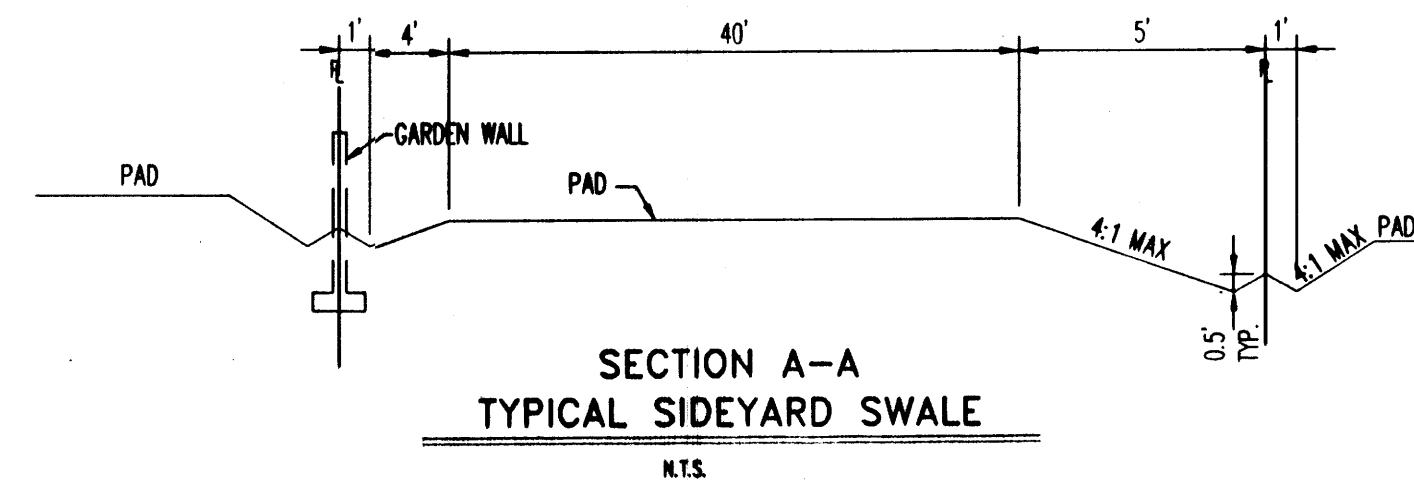
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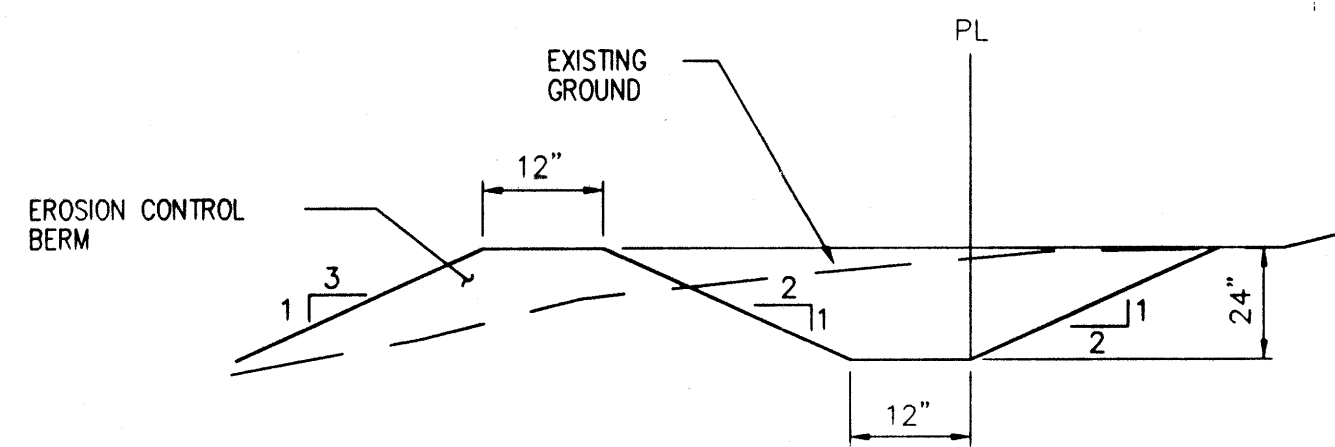


NOTE:

1. CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
2. FRONT YARD ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
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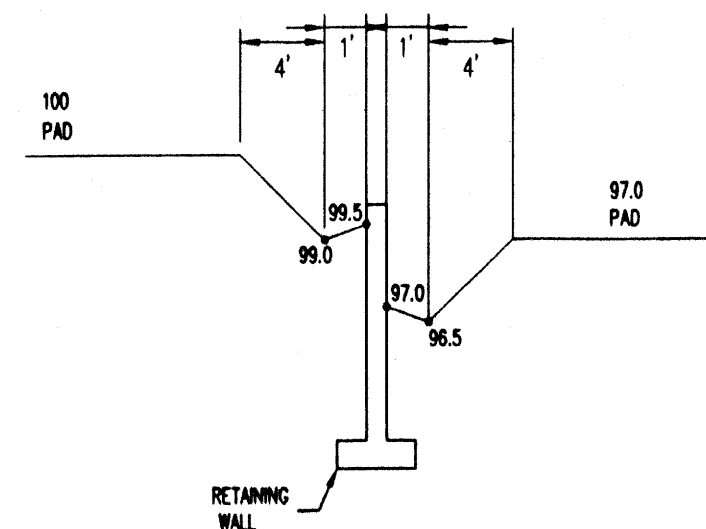
TYPICAL LOT GRADING DETAILS  
NO SCALE



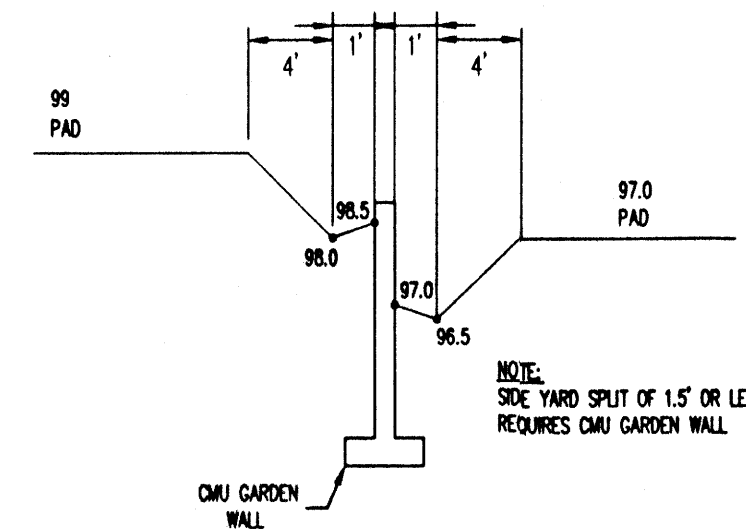
EROSION CONTROL BERM

1. TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
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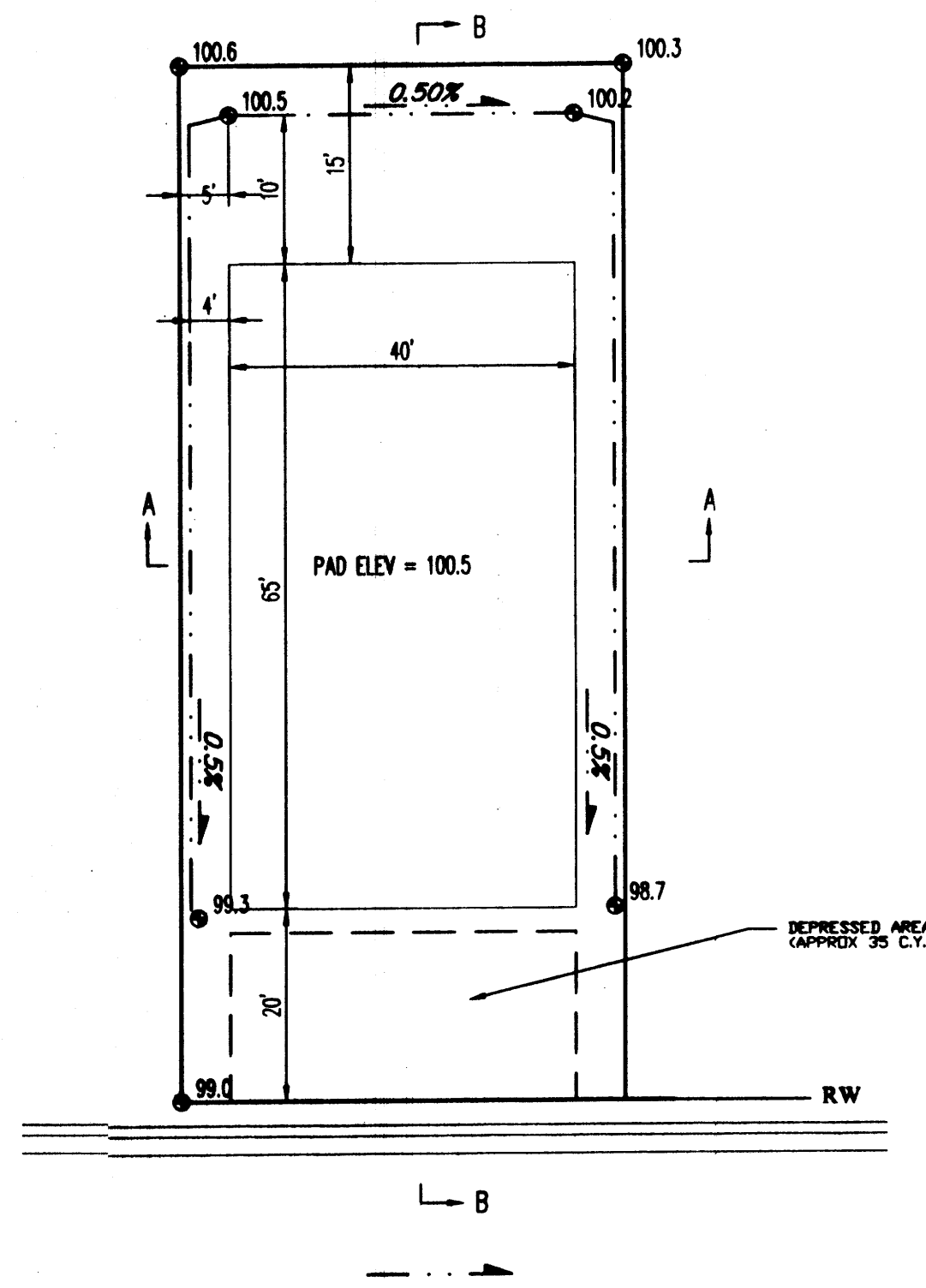
EROSION CONTROL PLAN  
NO SCALE



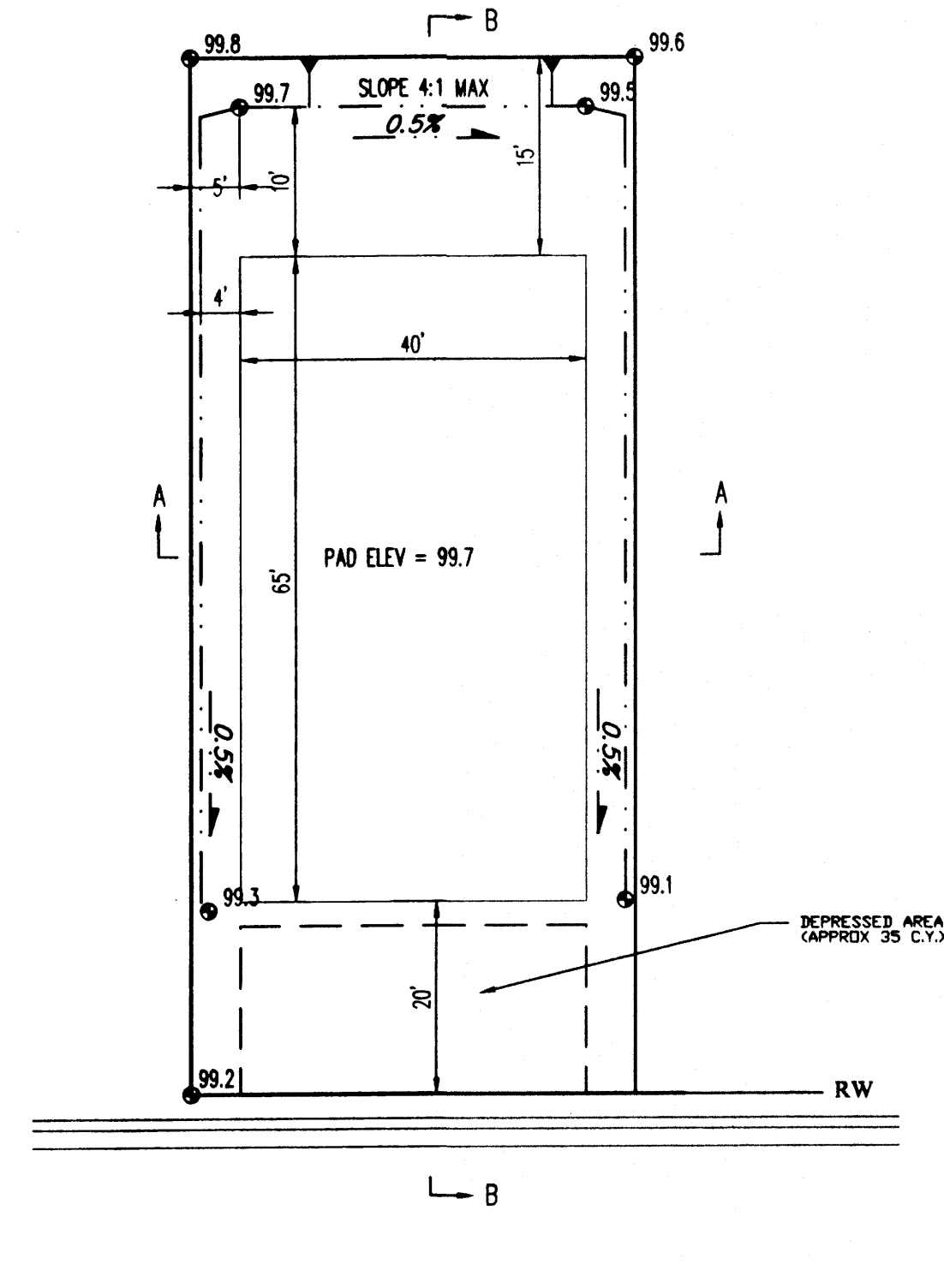
SIDE YARD RETAINING WALL DETAIL  
N.T.S.



SIDE YARD GARDEN WALL DETAIL  
N.T.S.

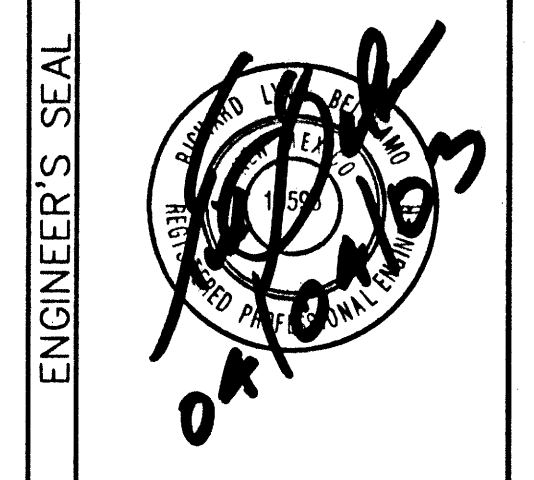


TYPICAL HIGH SIDE LOT GRADE DETAIL



TYPICAL LOW SIDE LOT GRADE DETAIL

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE
ACS MONUMENT "SANDBERN"					
Geographic Position (NAD 1927)					
N.M. State Plane Coordinates (Central Zone)					
X = 361,854.29					
Y = 1,534,209.29					
Ground-to-Grid Factor = 0.99966079					
ΔX = -00'16"00"					
SLD 1929 Elevation = 5456.92					



No.	Date	By	REVISIONS
			DESIGN

Designed By: NL DATE: 04/04/03  
 Drawn By: DH DATE: 04/04/03  
 Checked By: NL DATE: 04/04/03

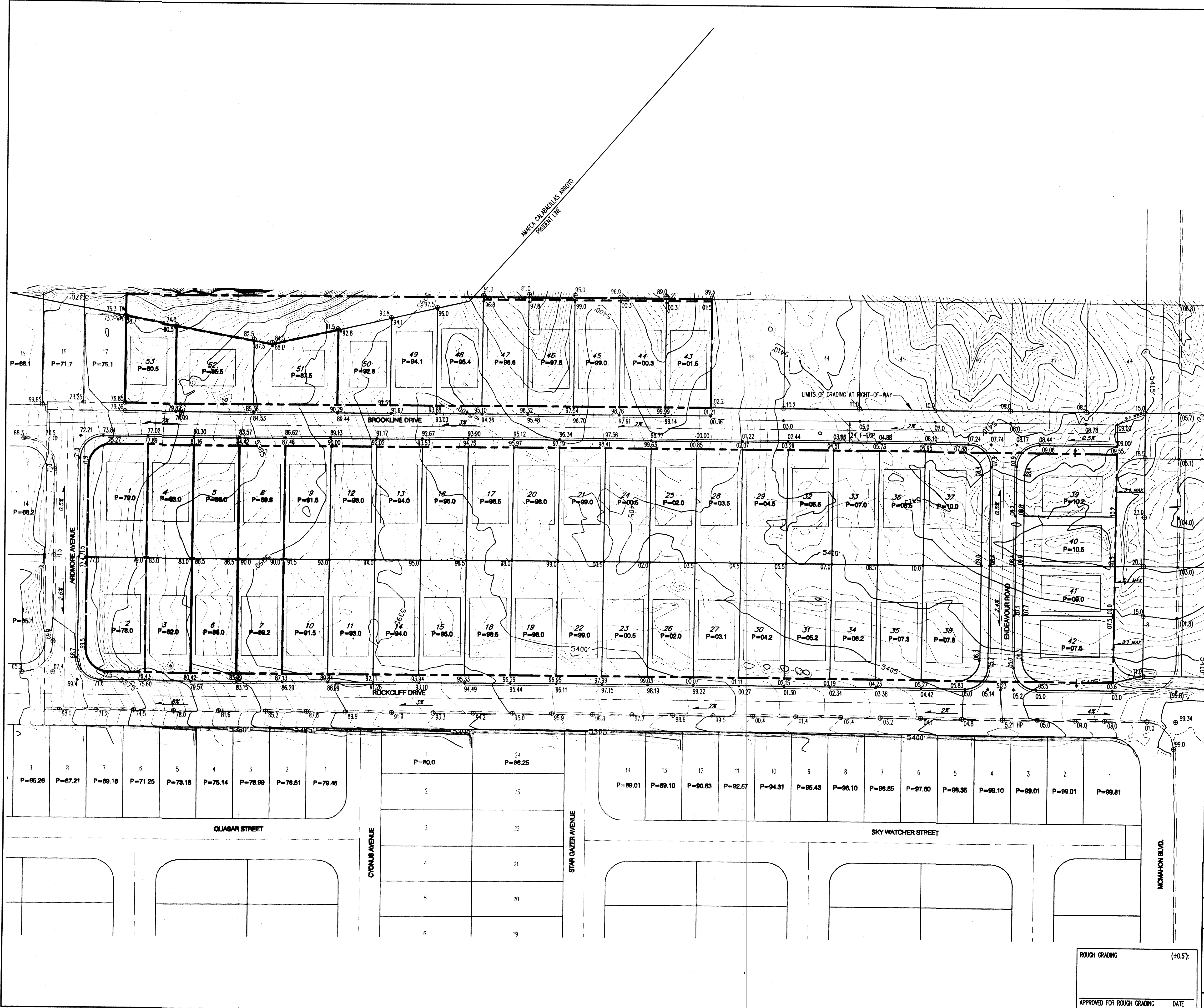
**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**PARADISE SKIES UNIT 10 SUBDIVISION**  
**GRADING DETAILS**

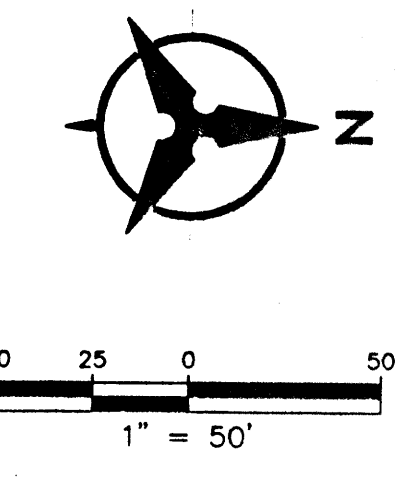
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. Zone Map No. Sheet Of  
 A-10-Z 2 2

ROUGH GRADING (±0.5')  
 APPROVED FOR ROUGH GRADING DATE



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
  3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
  8. ALL ELEVATIONS SHOWN WITH "( )" ARE FUTURE MCMAHON BLVD. ELEVATION.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION (MCMAHON BLVD. FL.)
  - 91.62 PROPOSED SPOT ELEVATION
  - ⊕ 02.0 EXISTING SPOT ELEVATION (GRND & FL.)
  - EXISTING CURB & GUTTER
  - PROPOSED STANDARD CURB & GUTTER
  - EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN
  - ⊙ PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - LIMITS OF GRADING
  - ← WALL DRAIN

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	ACS MONUMENT "SANDBERN"	DATE	NO.	BY	NO.	DATE
		Geographic Position (NAD 1927)					
		N.M. State Plane Coordinates (Central Zone)					
		X = 361,854.29 Y = 1,534,209.29					
		Ground-to-Grid Factor = 0.99966079					
		Δα = -00'16"00"					
		SLD 1929 Elevation = 5456.92					

ENGINEER'S SEAL	REVISIONS	REMARKS	By	Date
	1	DESIGN		DATE: 04/04/03
	2	REVISIONS		DATE: 04/04/03
	3	DESIGN		DATE: 04/04/03

Designed By: NTL	DATE: 04/04/03
Drawn By: NTL	DATE: 04/04/03
Checked By: RLB	DATE: 04/04/03

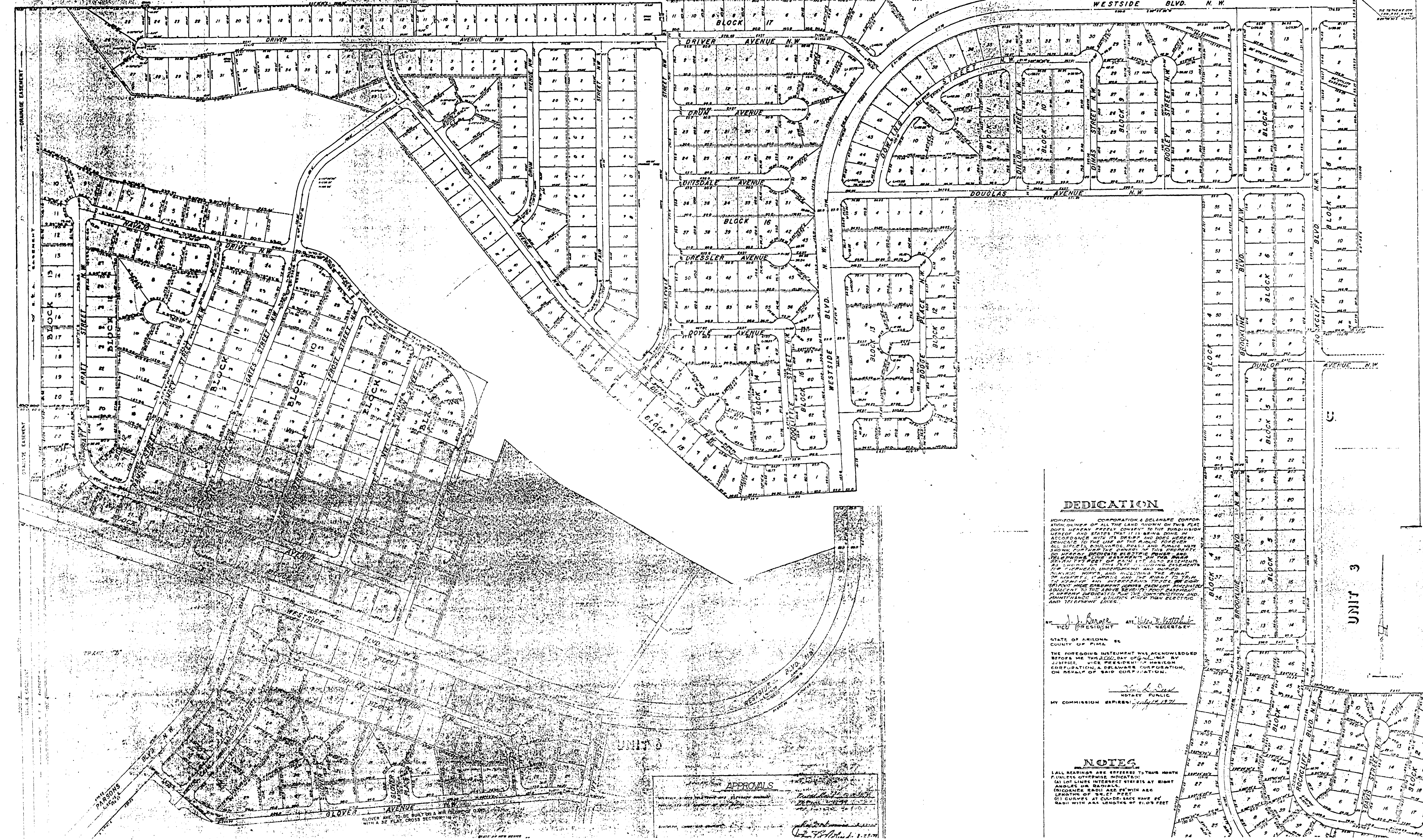
**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT**

**PARADISE SKIES UNIT 10 SUBDIVISION  
 GRADING PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. **A-10-Z** Sheet **1** Of **2**



APPROVALS  
*[Signature]*  
DATE: 12/7/1914

**DEDICATION**

HEREBY CORPORATION & DELAWARE CORPORATION  
DOES HEREBY OFFER TO THE BERNALILLO COUNTY  
ACCORDANCE WITH ITS CHARTER AND DOES HEREBY  
TO THE USE OF THE PUBLIC FOR THE PURPOSES  
ALL STREETS, ALLEYS, WALKS AND PUBLIC USES  
CONFORMING TO THE PLAT HEREIN SHOWN.  
THE BOUNDARIES OF THE PUBLIC ARE  
THE BOUNDARIES OF THE PUBLIC ARE  
THE BOUNDARIES OF THE PUBLIC ARE  
THE BOUNDARIES OF THE PUBLIC ARE

*J. J. Savage* PRESIDENT  
*W. H. Venable* VICE PRESIDENT

STATE OF ARIZONA  
COUNTY OF PIMA

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED  
BEFORE ME THIS 12th DAY OF DECEMBER BY  
LINDA VICE PRESIDENT OF PARADISE  
CORPORATION & DELAWARE CORPORATION,  
ON BEHALF OF SAID CORPORATION.

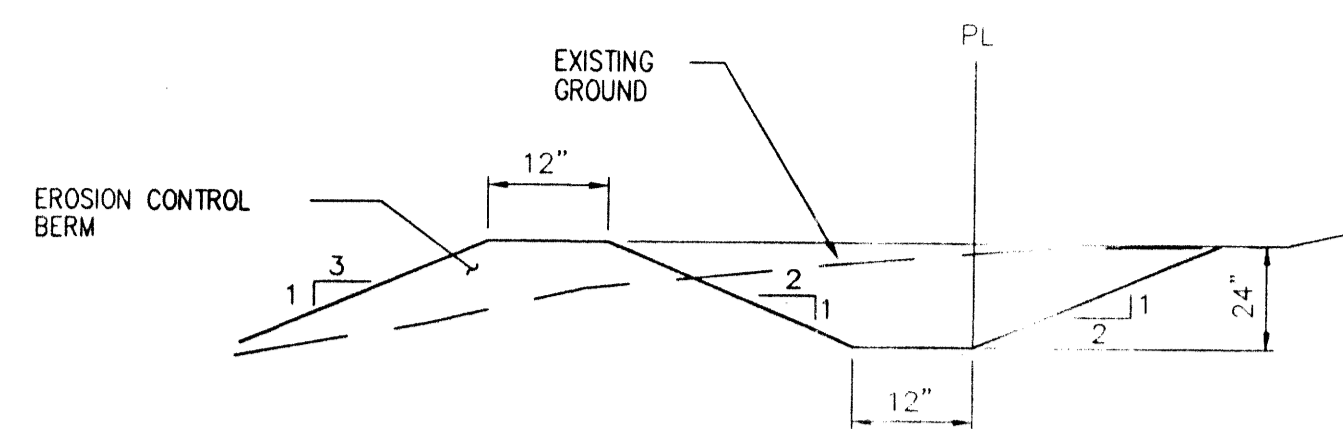
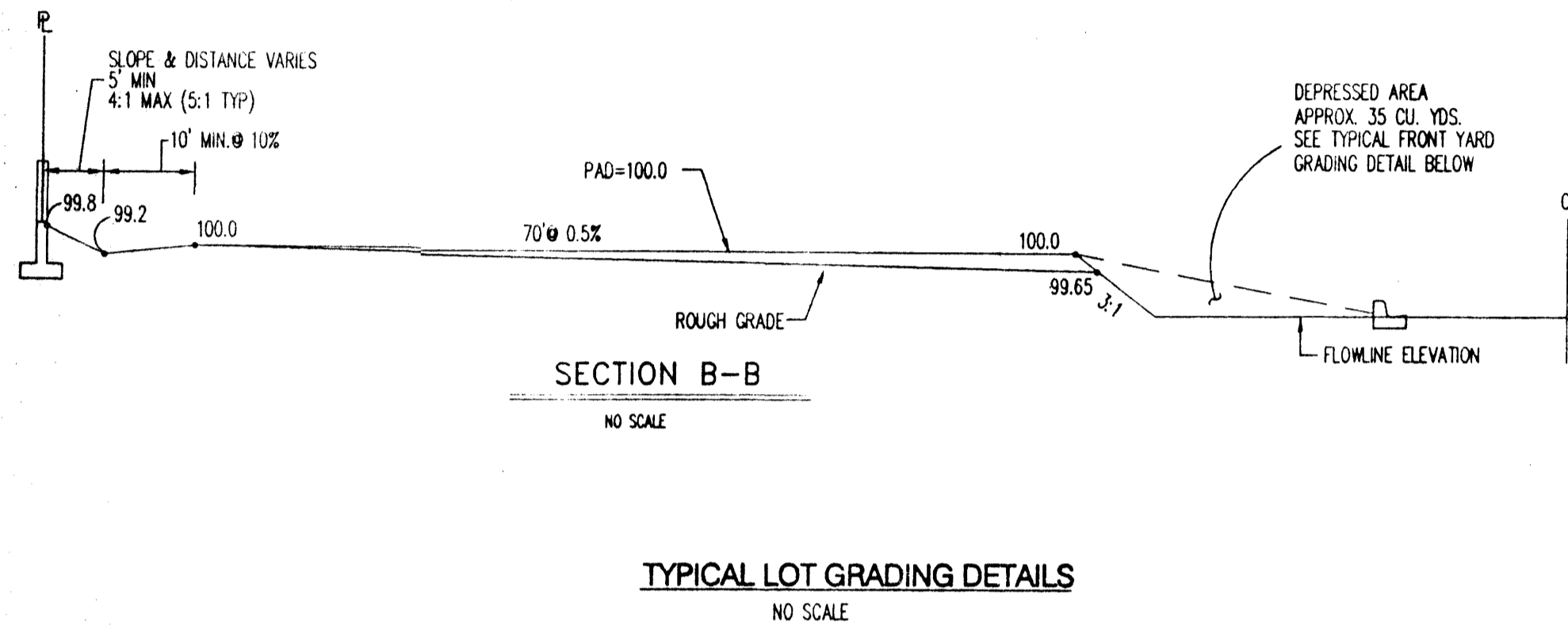
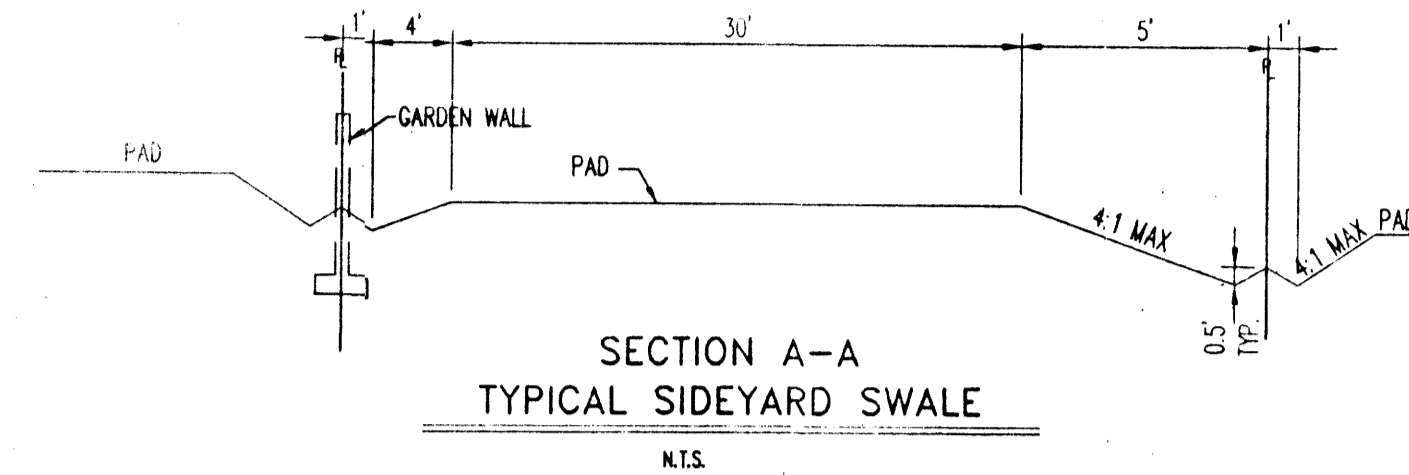
**NOTES**

ALL DIMENSIONS ARE REFERRED TO FOUR CORNERS  
UNLESS OTHERWISE INDICATED.  
ALL LOT LINES INTERSECT STREETS AT RIGHT  
ANGLES UNLESS OTHERWISE INDICATED.  
CURVES ARE TO BE RUN WITH THE  
COURSES AT CURVES HAVE BE  
RADIUS WITH ALL LENGTHS OF CHORDS

UNIT 3

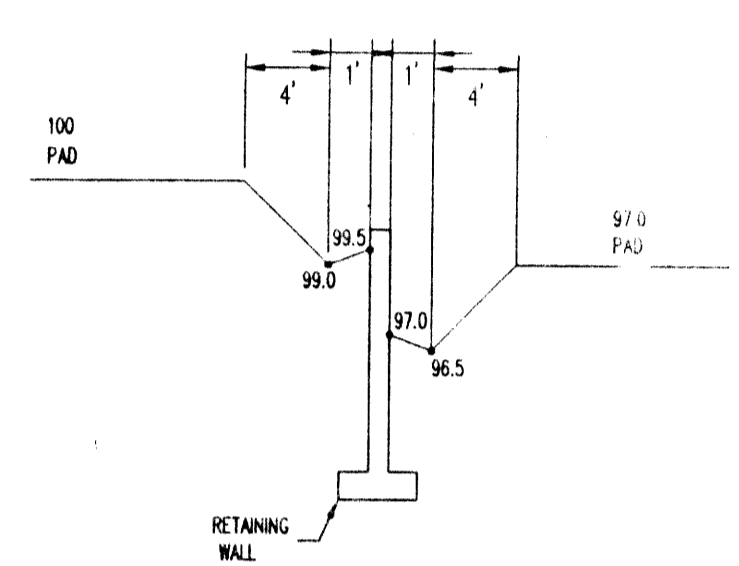


- NOTE:
- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
  - FRONT YARD ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
  - HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

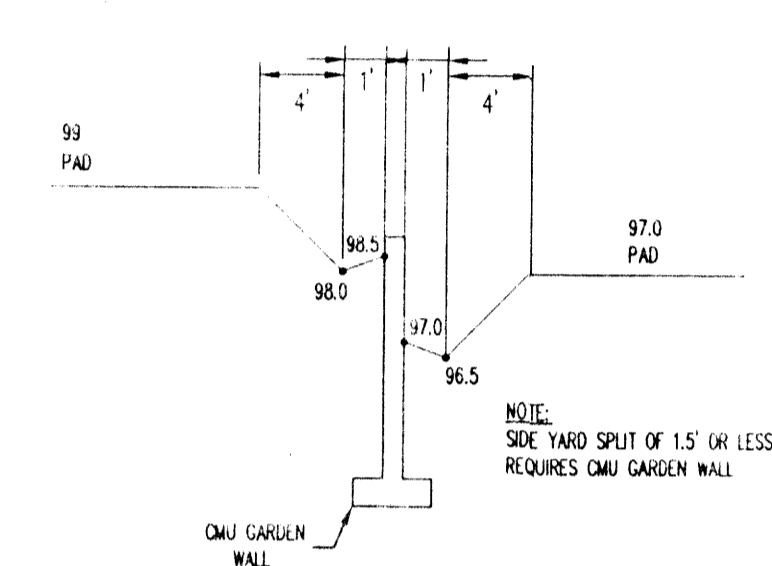


- EROSION CONTROL BERM
- TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
  - WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY VEGETATED SITE.
  - AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
  - CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

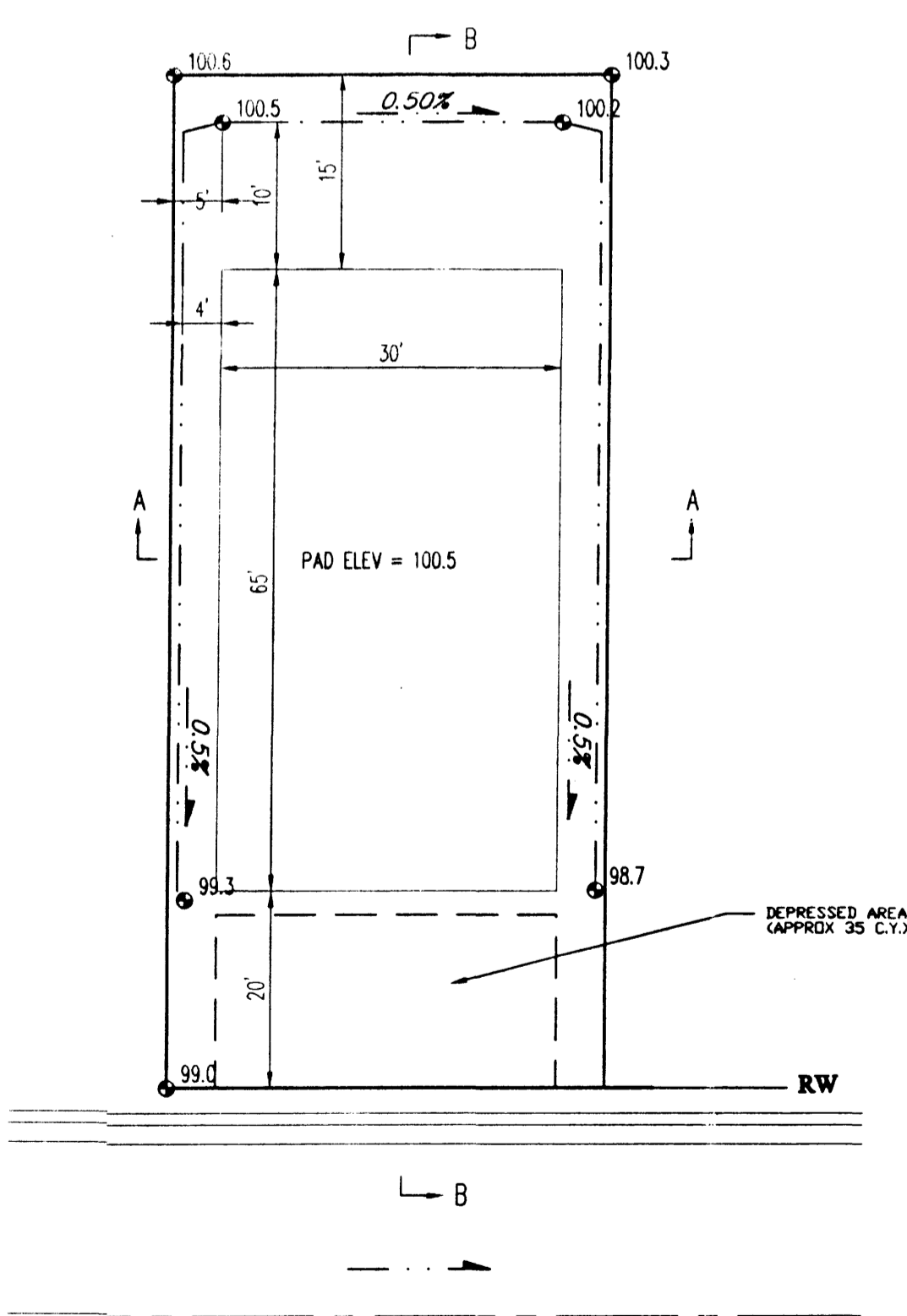
EROSION CONTROL PLAN  
NO SCALE



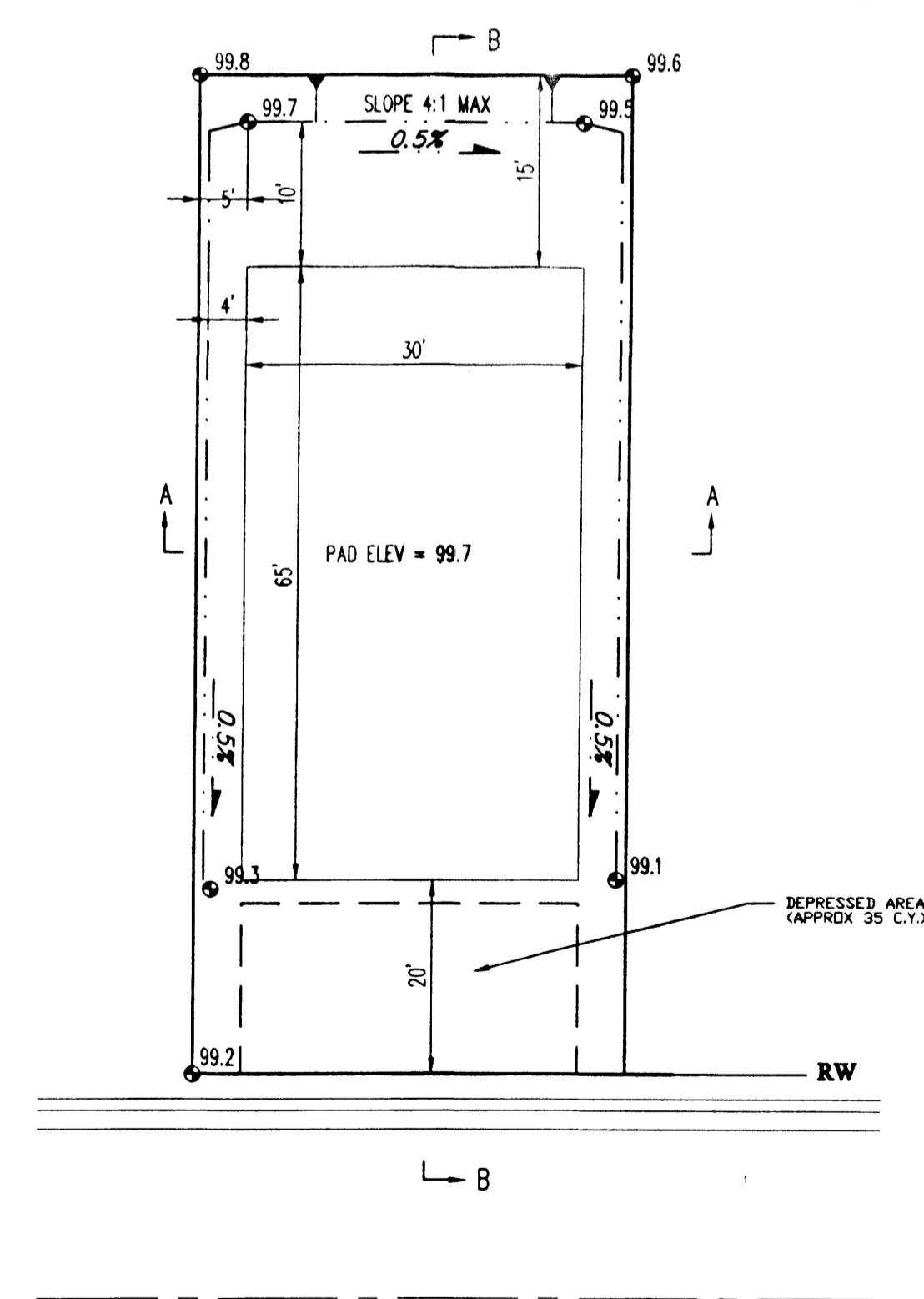
SIDE YARD RETAINING WALL DETAIL  
N.T.S.



SIDE YARD GARDEN WALL DETAIL  
N.T.S.



TYPICAL HIGH SIDE LOT GRADE DETAIL



TYPICAL LOW SIDE LOT GRADE DETAIL

ROUGH GRADING (+0.5')  
APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
ACCEPTANCE BY	DATE
APPROVAL BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	NO.

BENCH MARKS	
ACS MONUMENT "SANDBERN"	
Geographic Position (NAD 1927)	
N.M. State Plane Coordinates (Central Zone)	
X = 361,854.29 Y = 1,534,209.29	
Ground-to-Grid Factor = 0.99966079	
ΔC = -00'16.00"	
SLD 1929 Elevation = 5456.92	

SURVEY INFORMATION	
NO.	DATE
BY	

ENGINEER'S SEAL

No.	Date	By	REVISIONS
			DESIGN

Designed By: NL DATE: 02/21/03  
 Drawn By: DH DATE: 02/21/03  
 Checked By: NL DATE: 02/21/03

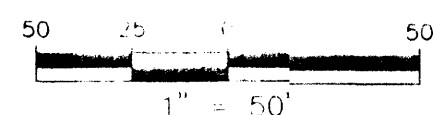
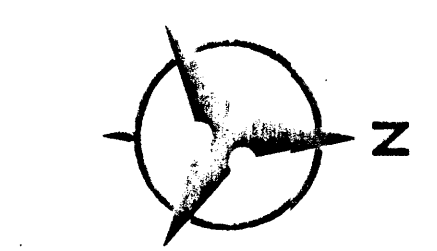
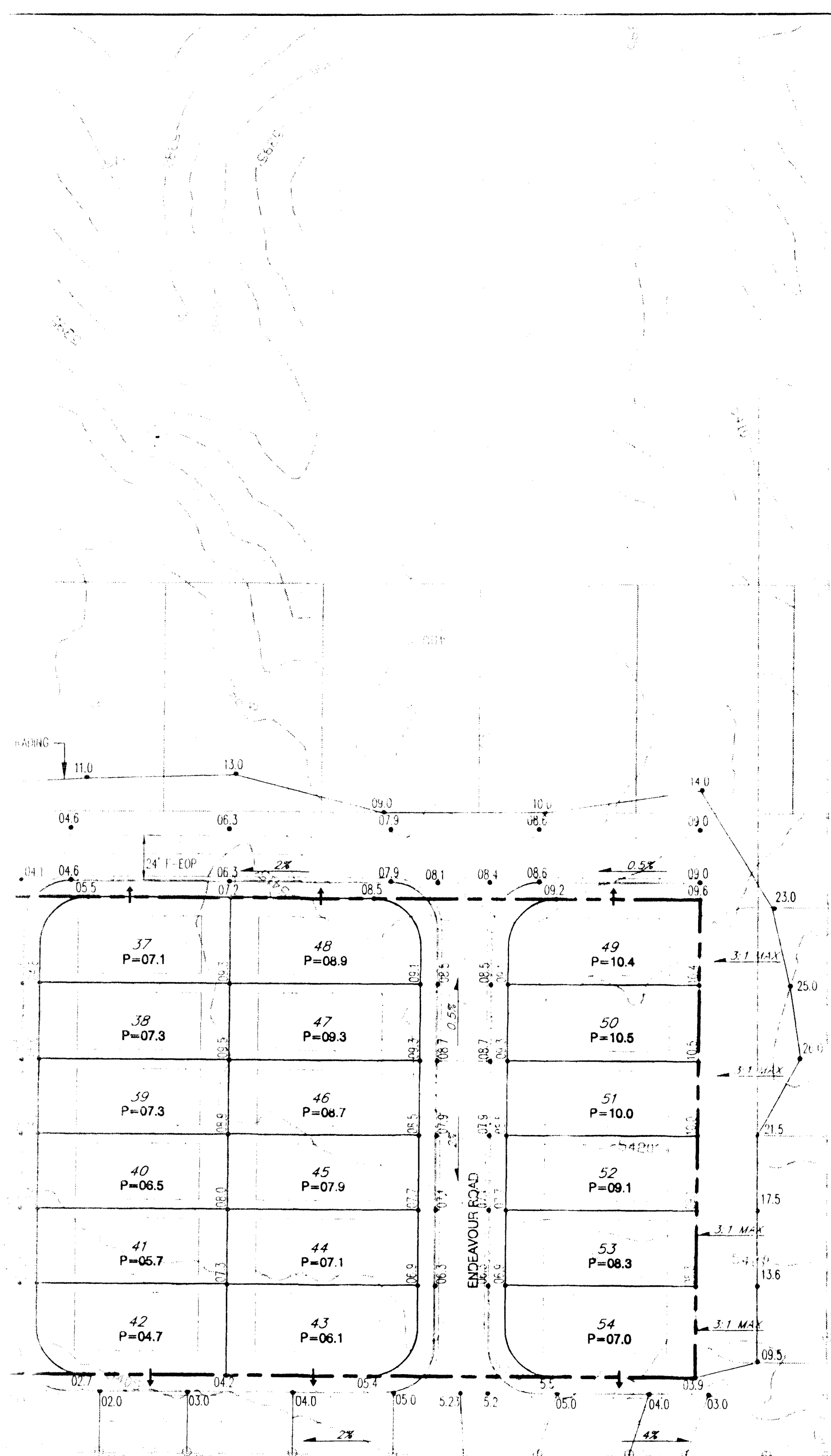
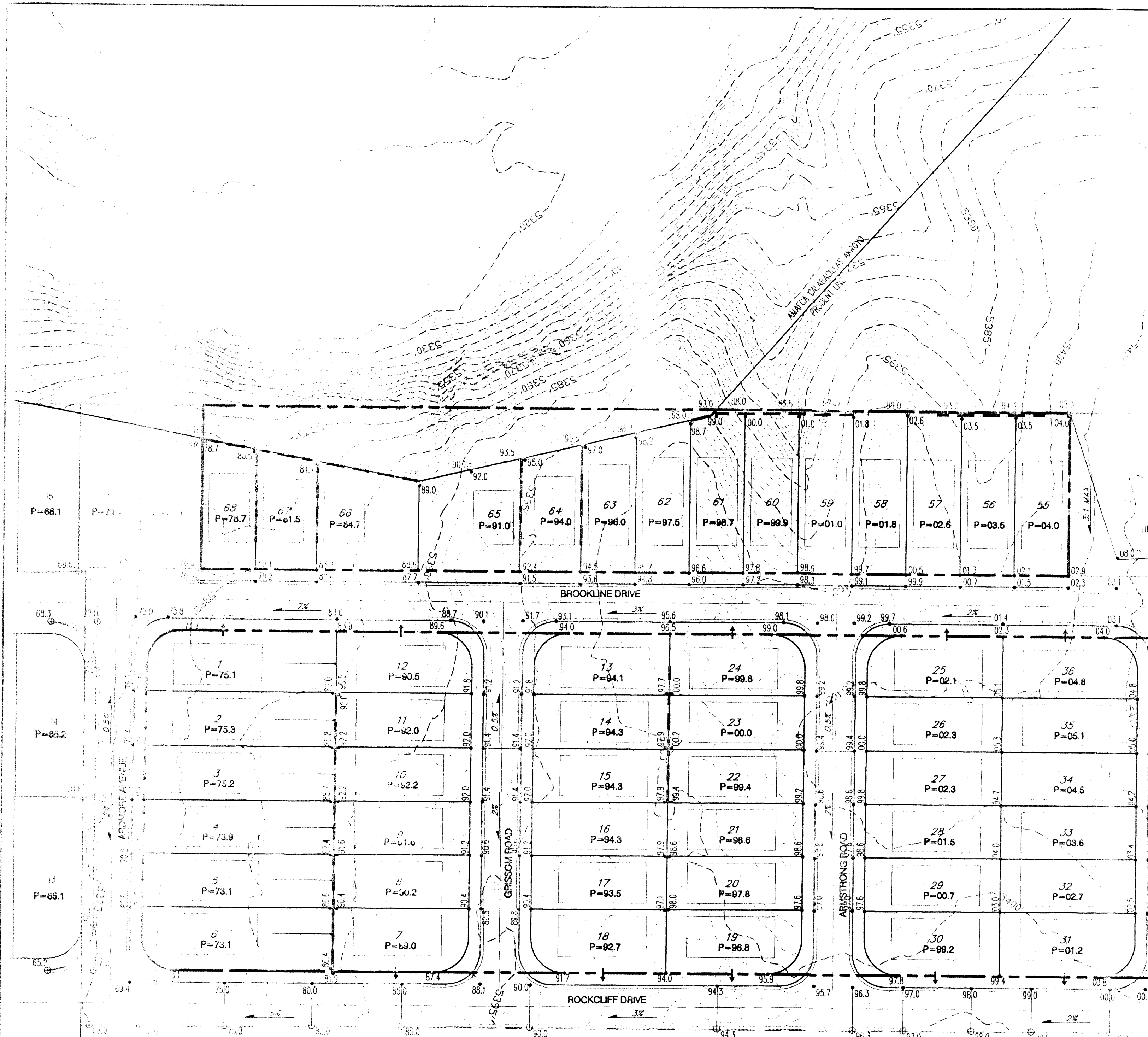
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**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**PARADISE SKIES UNIT 10 SUBDIVISION**  
**GRADING DETAILS**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. A-10-Z Sheet 2 Of 2

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 Model



- LEGEND**
- (91.0) FUTURE SPOT ELEVATION
  - 91.0 PROPOSED SPOT ELEVATION
  - 91.0 EXISTING SPOT ELEVATION (GRID ±)
  - EXISTING CURB & GUTTER
  - PROPOSED STANDARD CURB & GUTTER
  - EXISTING CONTOUR W/ INDEX ELEVATION
  - FLOW ARROW
  - PROPOSED RETAINING WALL
  - ▲ PROPOSED SLOPE
  - PROPOSED SLOPE
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - LIMITS OF GRADING
  - ← WALL DRAIN

- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A SOIL DISTURBANCE PERMIT AND AN ENVIRONMENTAL HEALTH DIVISION P-10 P-11 TO CONSTRUCTION.
  2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AND TO THE SOILS REPORT.
  3. THE CONTRACTOR SHALL conform TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE EXPOSED PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 30, AND METTING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FINISH UNLESS OTHERWISE NOTED.
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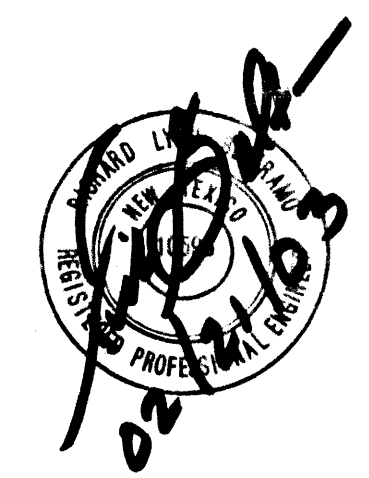
CONTRACTOR INFORMATION		AS-BUILT INFORMATION	
		DATE	DATE
CONTRACTOR	NO.	DATE	DATE
DESIGNED BY: BOHANNAN HUSTON		DATE	DATE
CHECKED BY: BOHANNAN HUSTON		DATE	DATE
DESIGNED BY: BOHANNAN HUSTON		DATE	DATE
CHECKED BY: BOHANNAN HUSTON		DATE	DATE
DESIGNED BY: BOHANNAN HUSTON		DATE	DATE
CHECKED BY: BOHANNAN HUSTON		DATE	DATE
DESIGNED BY: BOHANNAN HUSTON		DATE	DATE
CHECKED BY: BOHANNAN HUSTON		DATE	DATE

FIELD NOTES	
NO.	DATE

REVISIONS	
NO.	DATE



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**PUBLIC WORKS DEPARTMENT**  
**PARADISE SKIES UNIT 10 SUBDIVISION**  
**GRADING PLAN**

Design Review Committee City Engineer Approval

City Project No. \_\_\_\_\_ Zone Map No. \_\_\_\_\_ Sheet 1 of 2

APPROVED FOR ROUGH GRADING DATE \_\_\_\_\_

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