

**Single Family Residential (Tract 1/Rancho Encantado Norte)**  
 This area is intended to provide for detached single family homes in a walkable neighborhood with pedestrian connections to the adjacent office and commercial areas, schools, churches and parks.

Zoning: SU-3  
 Site Area: 16.2 acres  
 Density: 4 - 8 du/ac  
 Max. Allowable Dwelling Units: 131  
 Proposed Dwelling Units: 81

**Office (Tract 2)**  
 This area is intended to be a neighborhood-scale office park, with small-scale ancillary commercial uses, formed by clusters of buildings which create pedestrian friendly courtyards. The courtyard(s) will also serve to provide pedestrian connections between the Single Family Area and the Commercial Area.

Zoning: SU-3  
 Site Area: 5.1 acres  
 Max. F.A.R.: .50  
 Max. Allowable Building SF: 111,078

**Commercial (Tract 3)**  
 The Neighborhood Commercial area is intended to accommodate the surrounding neighborhoods retail, service and restaurant needs in a pedestrian friendly environment. Uses could include grocery or drug stores, retail shops, restaurants, and professional offices.

Zoning: SU-3  
 Site Area: 13.5 acres  
 Max. F.A.R.: .25  
 Max. Allowable Building SF: 149,193

**Single Family Residential (Rancho Encantado Sur)**  
 This area is intended to provide for detached single family homes in a walkable neighborhood with pedestrian connections to the adjacent office and commercial areas, schools, churches and parks.

Zoning: SU-3  
 Site Area: 10.8 acres  
 Density: 4 - 8 du/ac  
 Max. Allowable Dwelling Units: 86  
 Proposed Dwelling Units: 50

**Multi-Family Residential (Tract 4-B/Rancho Encantado Condominiums)**  
 The Multi-Family Area is characterized by clustering of apartment buildings which create internal pedestrian courtyards. The design guidelines emphasize a varied building setback along the streets to create a pedestrian friendly streetscape.

Zoning: SU-3  
 Site Area: 5.9 acres  
 Density: 12-24 du/ac  
 Max. Allowable Dwelling Units: 144

**Neighborhood Park (Tract 4-A)\***  
 The neighborhood park will provide facilities to serve both the residential development and the commercial/office component. Typical amenities include play equipment, picnic facilities, benches, and shade-providing landscape.

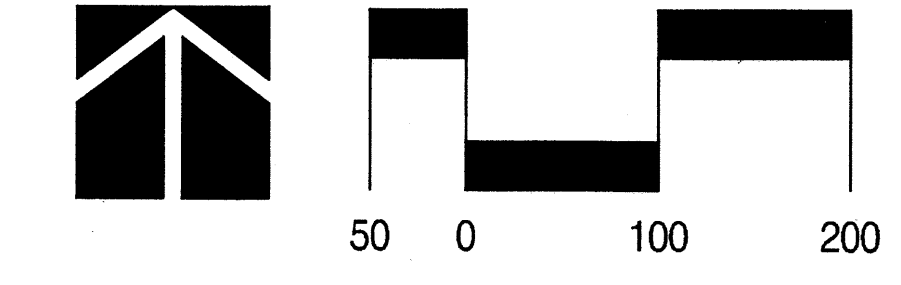
Zoning: SU-3  
 Site Area: 1.8 acres

**Infrastructure Requirement**  
 Infrastructure requirements are provided on sheet 9. Infrastructure lists shall be required as part of the Site Plan for Building Permit for each tract prior to DRB approval.

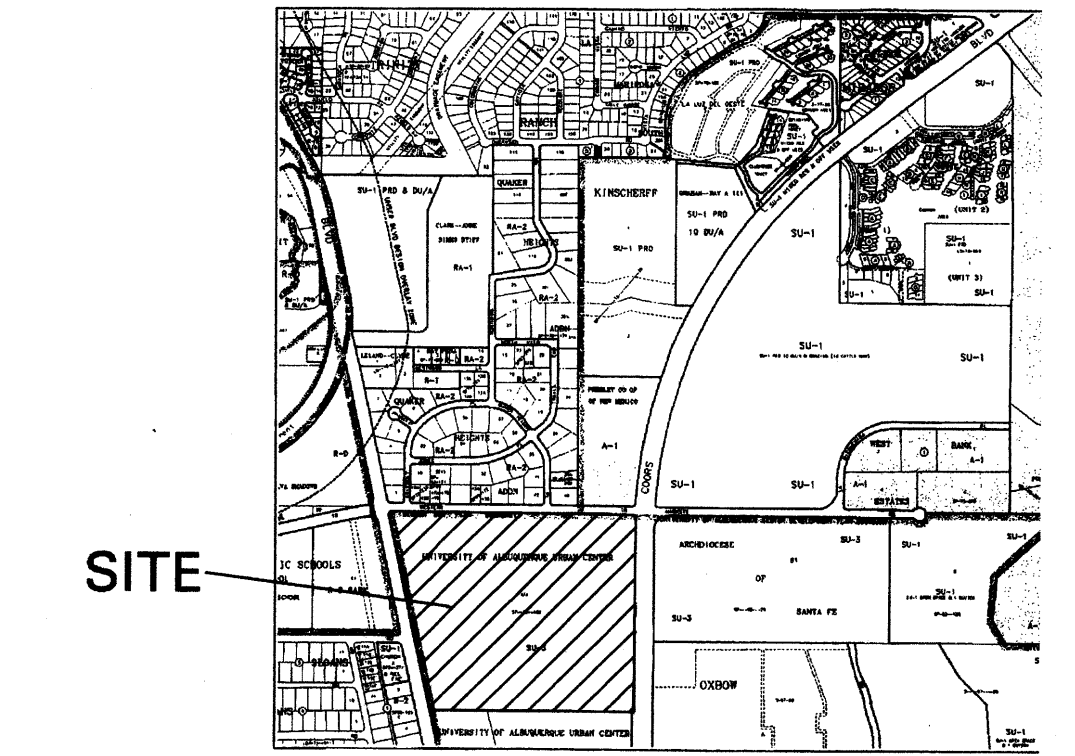
**Neighborhood Park - Reserved for future dedication to the City of Albuquerque or a Neighborhood Park. No development of Tract 1 (Rancho Encantado Norte), Rancho Encantado Sur, or Tract 4-B (Rancho Encantado Condominiums) shall be allowed prior to execution of a Park Dedication Agreement with the City of Albuquerque.**

**SHEET INDEX**

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- 3 Rancho Encantado Norte Enlarged Site Plan
- 4 Rancho Encantado Sur Enlarged Site Plan
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- 6 Design Guidelines
- 7 Design Guidelines
- 8 Conceptual Drainage Plan
- 9 Utility Plan
- 10 Infrastructure Requirements



**SITE VICINITY** Zone Map No. F-11



**APPROVALS**

Project #1002384	
EPC Application #02EPC-01170	
DRB Application #02DRB-01892	
<i>Sheran Watson</i>	1/28/2003
Planning Department	Date
<i>Rachel David</i>	1-15-03
Transportation Development	Date
<i>Bruce B. Bixler</i>	1-15-03
City Engineer	Date
<i>Roger A. Sheen</i>	1-15-03
Utility Development	Date
<i>Christine Sandoval</i>	1/15/03
Parks & Recreation Department	Date

**EXISTING SITE DATA**

Acreage: 57.9

Zoning: SU-3 Existing Land Use: Vacant

Proposed Land Use: Mixed Use (commercial, office, single family and multi-family residential, and neighborhood park)

Adjacent Land Uses (Zoning):  
 North - Single Family Residential (RA-2); Vacant (County A-1)  
 East - St. Pius High School (SU-3/SU-1 St. Pius)  
 South - Vacant (SU-3)  
 West - Church (SU-1 Church); Detention Pond (RD Park)

Notes  
 1) Site Development Plans for Building Permit for single family home developments shall be reviewed and approved by the Development Review Board (DRB). A public hearing shall be required at the DRB for those projects.

Applicable Plans:  
 University of Albuquerque Urban Center Area Plan  
 Coors Corridor Plan  
 Westside Strategic Plan

Neighborhood Associations:  
 Ladera Heights La Luz Del Sol  
 Taylor Ranch Quaker Heights H.O.A.

Utilities:  
 Water - Western Trail (14"); Atrisco (16"); Coors (10")  
 Sanitary Sewer - Western Trail (24" and 36")  
 Storm Drain - Coors (60"); Western Trail at Friendly Place (36")  
 Gas - Western Trail (2"); Atrisco (20", 12" and 4")  
 Fiber Optics - Western Trail, Atrisco and Coors

2) Prior to development of residential projects, the Developer shall coordinate with Traffic Operations to provide safe pedestrian access from this site to the neighboring elementary school across Atrisco Drive.

PRO 1002384

**COORS**  
*Village Center*

① **AMENDED SITE PLAN FOR SUBDIVISION**

Prepared By:  
**Consensus Planning, Inc.**  
**Thompson Engineering Consultants**

Amended - December 13, 2002

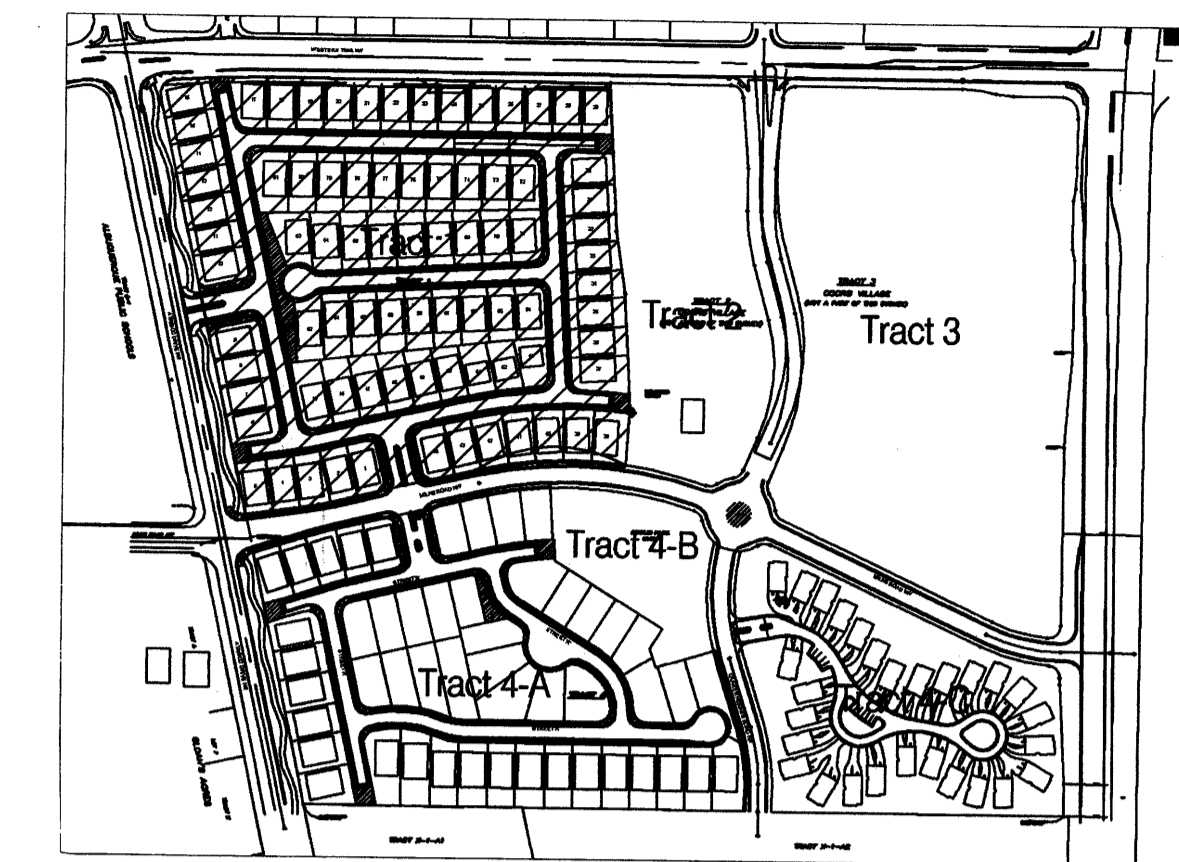




**KEYED NOTES**

- ① 10' Landscape easement
- ② 6' height perimeter wall - Brown split-face or fluted CMU block
- ③ Landscape areas - see Landscape Plans
- ④ Entry Sign
- ⑤ 4' sidewalk
- ⑥ 10' Trail

**KEY MAP**



**SITE DATA**

Zoning: SU-3  
 Site Area: 16.4 acres  
 Dwelling Units: 81 Lots  
 Gross Density: 4.94 DU/AC  
 Minimum Lot Size: 56' x 105'

Enlarged Site Plan

# Rancho Encantado Norte

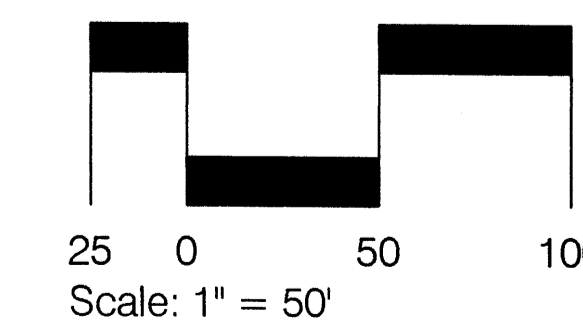
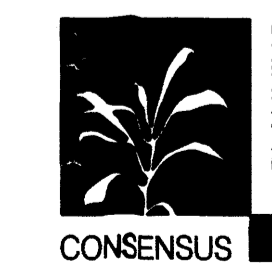
Prepared for:

D.R. Horton Homes  
 4400 Alameda Boulevard NE, Suite B  
 Albuquerque, NM 87113

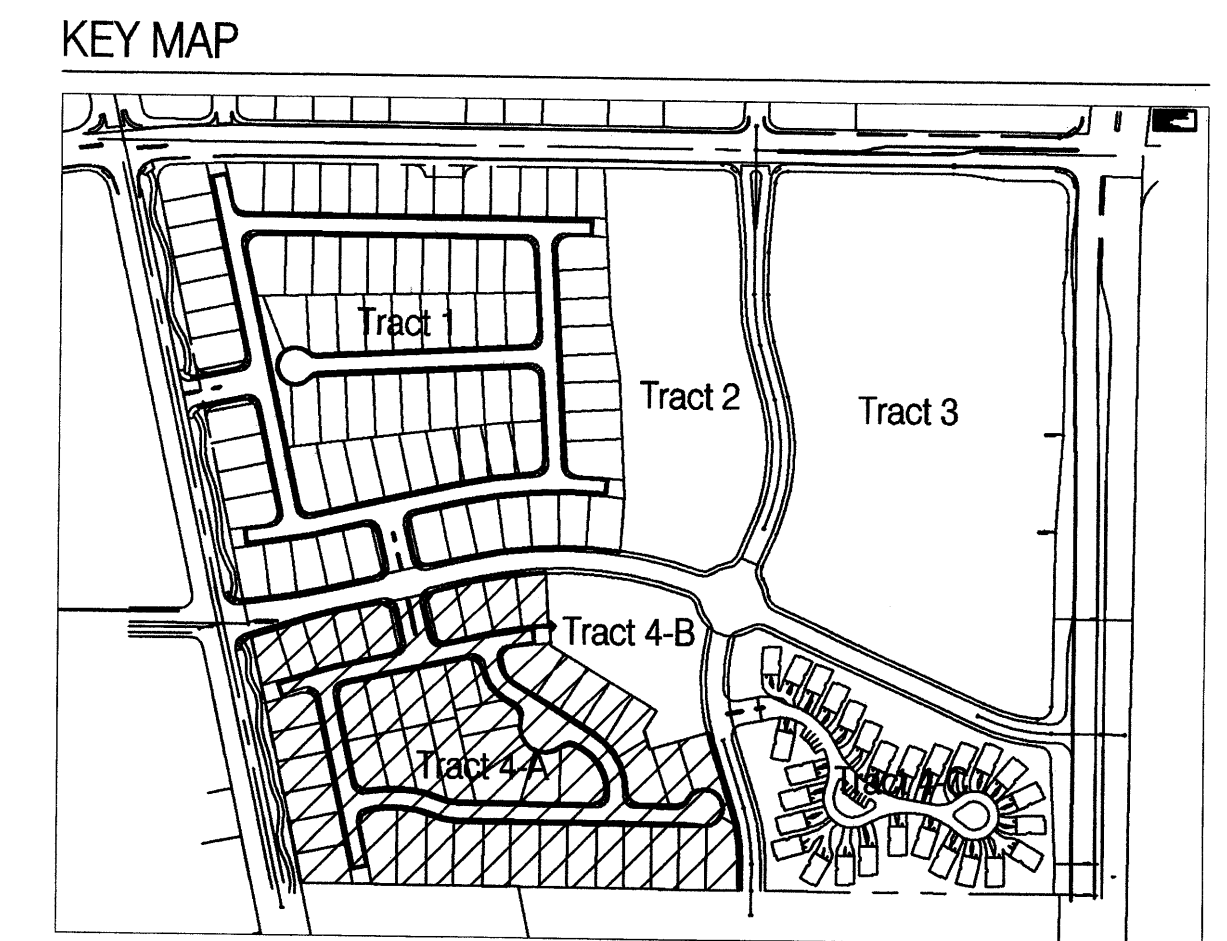
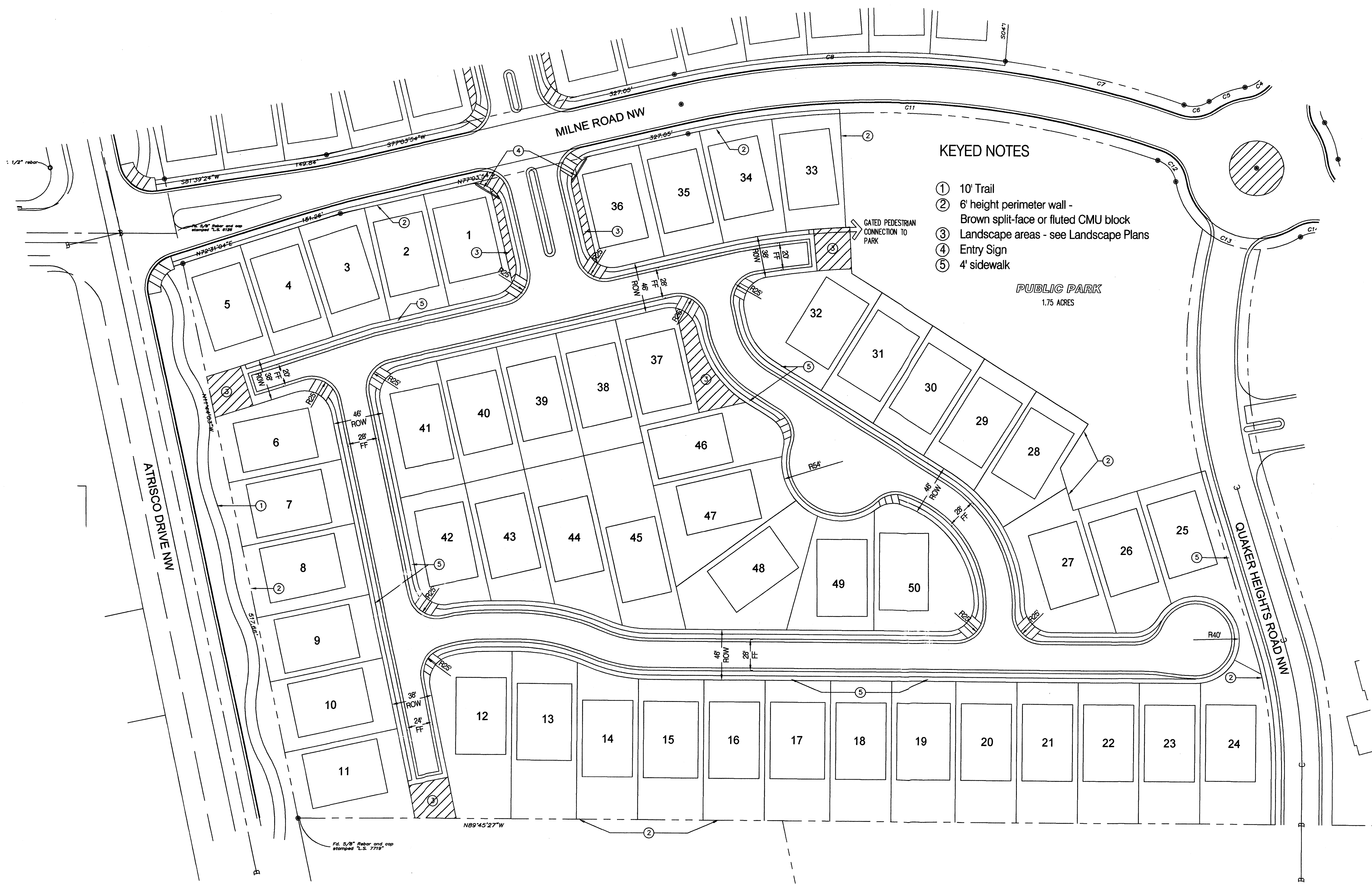
Prepared by:

Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102

Bohannon Huston, Inc.  
 7500 Jefferson NE  
 Courtyard 1  
 Albuquerque, NM 87109



December 13, 2002



**SITE DATA**

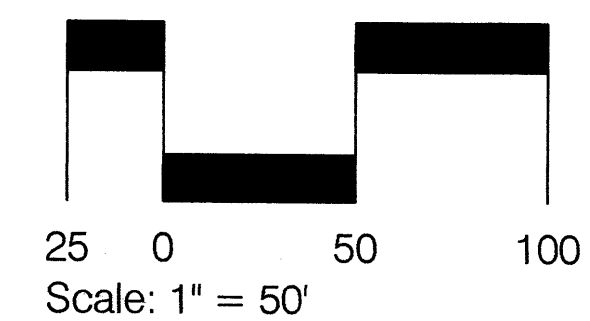
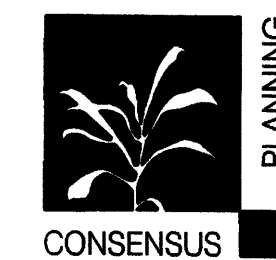
Zoning: SU-3  
 Site Area: 10.8 acres  
 Dwelling Units: 50 Lots  
 Gross Density: 4.63 DU/AC  
 Minimum Lot Size: 56' x 105'

Enlarged Site Plan  
**Rancho Encantado Sur**

Prepared for:  
 D.R. Horton Homes  
 4400 Alameda Boulevard NE, Suite B  
 Albuquerque, NM 87113

Prepared by:  
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 924 Park Avenue SW  
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December 13, 2002



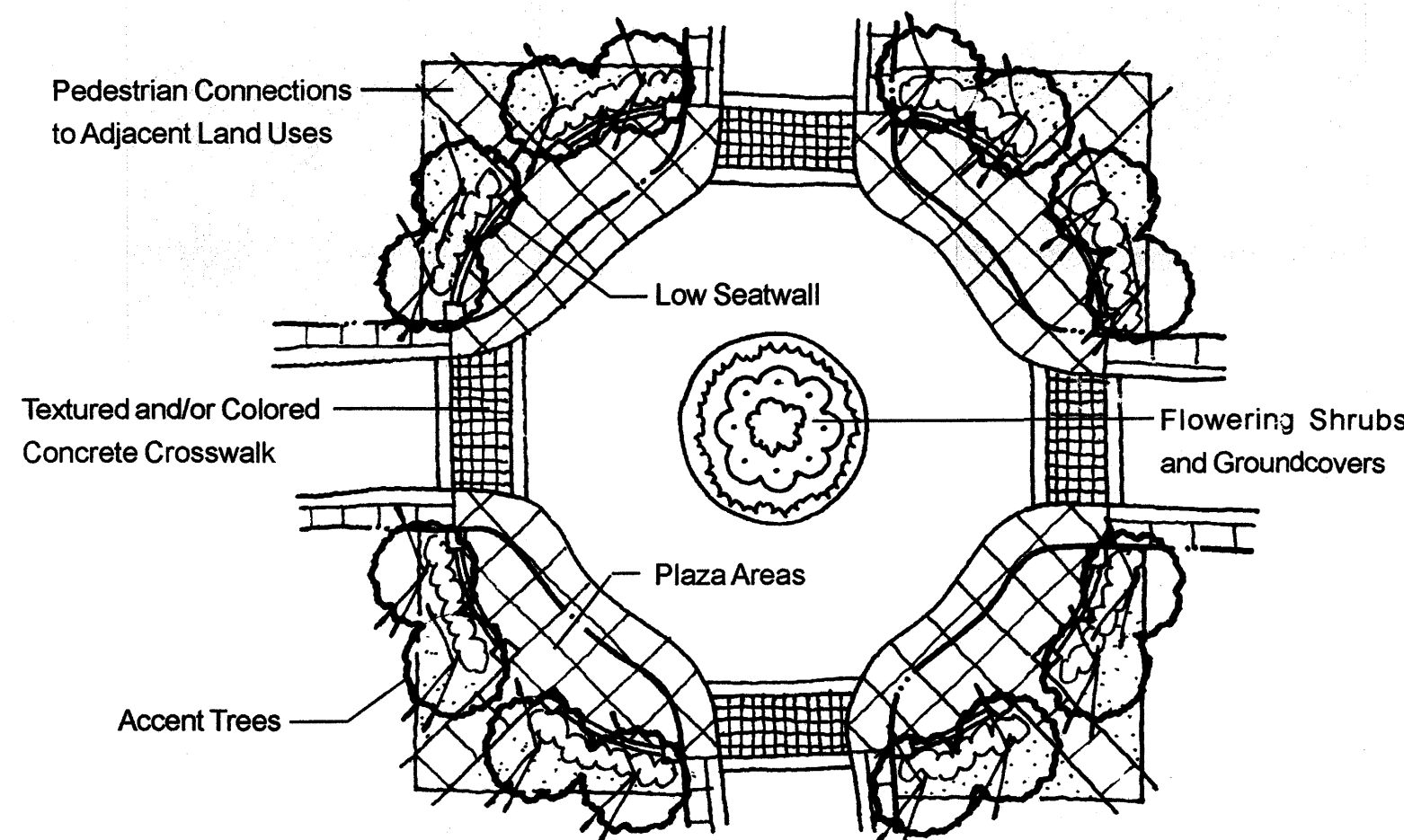
# Design Guidelines

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Coors Village Center. These guidelines address the issues of streetscape, road design, pedestrian circulation, setbacks, parking, lighting, signage, site layout, architecture, landscape, and transit opportunities. Each category is organized in terms of Standards (items that are required), and Guidelines (items that are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Guidelines, the more restrictive requirement shall apply.

Specific Site Plans for Building Purposes shall be prepared for each Tract within the Coors Village Center in accordance with these design guidelines. In addition, the Site Plan submittals for each Tract shall include the design for the entire Tract, identifying building layout, storage/loading areas, access and parking, pedestrian circulation, etc.

## Site/Edge Design Standards

- Public entries to the project shall be designed to be consistent with one another to create a sense of arrival and to provide a strong visual impact and a unified project identification.
- At the internal focus area, landscaping elements shall be provided at a variety of scales. This area will be defined by building edges, a differentiation in intersection paving, landscaping, and the design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks).
- The centrally located roundabout shall be designed to create an urban space where interaction can occur. It should provide a variety of scales and materials, street intersection landscape elements, and amenities to cater to pedestrians, bicyclists, transit users and motorists.



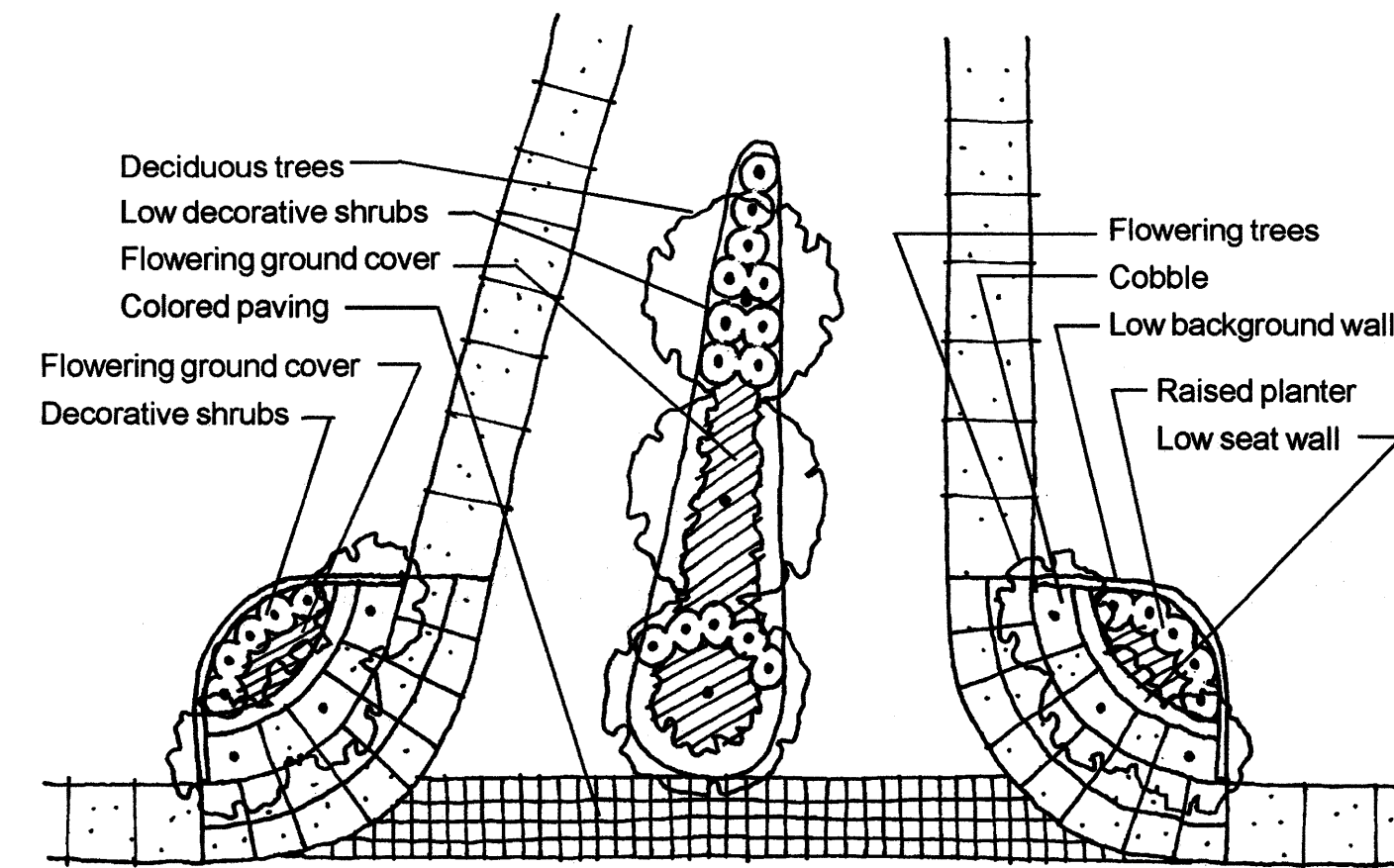
INTERNAL FOCUS AREA

- The project edge along Western Trail shall include a 10 foot landscape setback to provide a buffer to the Quaker Heights subdivision.
- Six foot wide sidewalks shall be provided along Coors Boulevard, Western Trail, Milne, Atrisco, and Quaker Heights.
- Parking provided adjacent to Coors Boulevard, Atrisco Drive, Western Trail, Milne, and Quaker Heights shall be screened by short walls, fences, buildings and/or landscaping.
- Street edges adjacent to Tract 5 (Multi-family Residential) shall utilize a combination of walls, decorative fencing, and open areas with landscaping. These treatments shall be compatible with adjacent edge treatments.

## Road Design Standards

- Milne Road, the new east-west street within the site, links Atrisco Drive to Coors Boulevard, shall be within a 56 foot dedicated right-of-way with transition widening tapers at each end. The pavement section shall be 36 feet face to face. Quaker Heights Drive, the new north-south street, links Western Trail with Milne Road, and allows for an ultimate connection to St. Joseph's to the south. Quaker Heights Drive shall be within a 56 foot dedicated right-of-way with transition widening tapers at each end. The pavement section shall be 36 feet face to face.
- Crosswalk materials at intersections shall be distinguished from the roadway material, with such materials as bomanite, colored and/or acid stained concrete, brick forms or pavers of various sizes.

The project's primary entrances shall be enhanced with gateways and/or entry treatments outside of the public right-of-way that identify the development entrances consistently with one another. These nodes shall be 35 feet by 35 feet, and installed and maintained by the property owner or an owner's association.



PRIMARY ENTRY

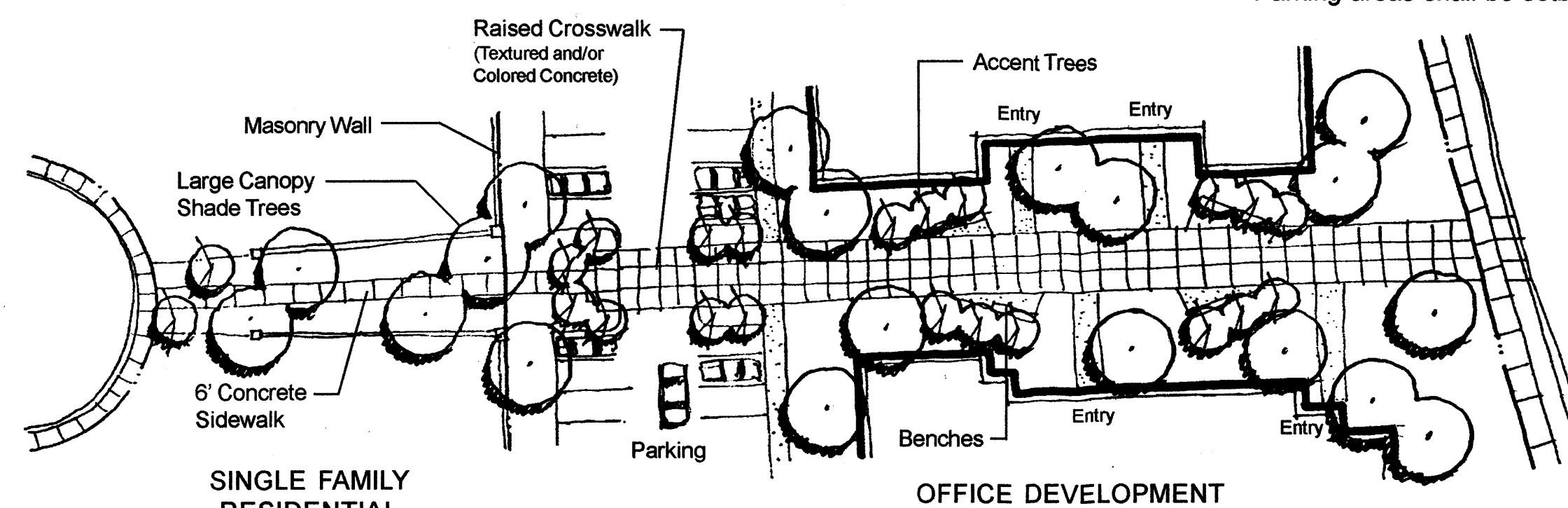
- Two access points into the Commercial and Office sites are allowed off of Quaker Heights Drive. These access points shall be positioned to minimize vehicular conflicts.
- A total of three access points along Milne Road are allowed into the Multi-Family sites.
- Two access points along Milne Road are allowed into the Single Family site.
- One access point along Milne Road is allowed into the Office site.
- One access point along Milne Road is allowed into the Commercial site.
- Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 36 feet for two way traffic, and 20 feet for one way traffic.
- A right in/right out drive may be provided on Western Trail between Coors Boulevard and Quaker Heights Drive.
- Two right in/right out drives may be provided on Coors Boulevard between Western Trail and Milne Road.

## Pedestrian Connections and Trails

Pedestrian connections provide direct access between land uses within the Coors Village Center and to the surrounding neighborhood. The following criteria serves to create a pedestrian friendly environment and promote alternative modes of travel.

### Standards

- A meandering 10 foot asphalt trail shall be provided within the Atrisco Drive right-of-way in order to provide connections to future trails.
- A 6 foot sidewalk along the commercial and office sites shall be provided within the public right-of-way.
- A 6 foot sidewalk shall be provided along both sides of Milne Road at the residential areas. The sidewalk may meander outside of the right-of-way within a pedestrian easement.
- A pedestrian connection shall be provided from the Single Family Area, through the Office Area, to provide direct access to the Commercial Area. This connection through the Office Area shall be accommodated through an open courtyard created by the layout of buildings.



SINGLE FAMILY RESIDENTIAL

OFFICE DEVELOPMENT

- Pedestrian connections shall have a minimum 20 feet wide easement with a sidewalk of at least 6 feet in width.
- Direct pedestrian access shall be provided from the various development areas to the internal focus area.
- All pedestrian connections shall be lined with street/shade trees planted a maximum of 30 feet on center. In cases where a sidewalk is adjacent to or within a right-of-way, said trees would not be in addition to required street trees.
- The maximum slope of trails and walkways shall meet ADA requirements. Private pedestrian linkages shall align with public paths to connect and integrate sites.

### Guidelines

- Materials that are encouraged to be used for pedestrian connections and trails include bomanite, warm toned (e.g. sand, beige, cream, terra cotta) colored/textured or acid stained concrete, and patterned concrete and pavers of various sizes.

## Building Setbacks

The following setback requirements serve to create a variety of pedestrian experiences: urban street edge experience in the Commercial and Office areas; and an informal experience in the Park and Residential areas.

### Standards

#### General

- Setbacks for landscaping and special treatment at the secondary intersections and the primary focus area, shall be 35 feet from the right-of-way line.
- All building setbacks shall be landscaped according to the landscape guidelines.

#### Commercial Area

- Buildings along Milne Road and Quaker Heights Drive shall be setback 10 feet from the right-of-way.
- Landscaped building setbacks at Coors Boulevard and Western Trail shall be 15 feet.

#### Office Area

- Building setbacks on Milne Road, Quaker Heights Drive and Western Trail are a minimum of 10 feet. Perimeter awnings, arcades/portals, garden court walls and overhangs are allowed within the setback.

#### Multi-family Area

- Adjacent to Coors Boulevard, the minimum building setback is 15 feet from the right-of-way and shall be landscaped.
- Setbacks of buildings along Milne Road should vary in range from 15 feet to 30 feet to give a village cluster effect. Perimeter and garden court walls, fences, and overhangs are allowed within that setback.

- Along the south property line there shall be a minimum building setback of 15 feet.

#### Single Family Residential Area

- Adjacent to Western Trail the minimum rear yard setback is 15 feet. This setback is in addition to the 10 foot landscape setback.
- Rear yard setbacks on Atrisco Drive and Milne Road shall be 15 feet from the right-of-way line.

## Off-Street Parking

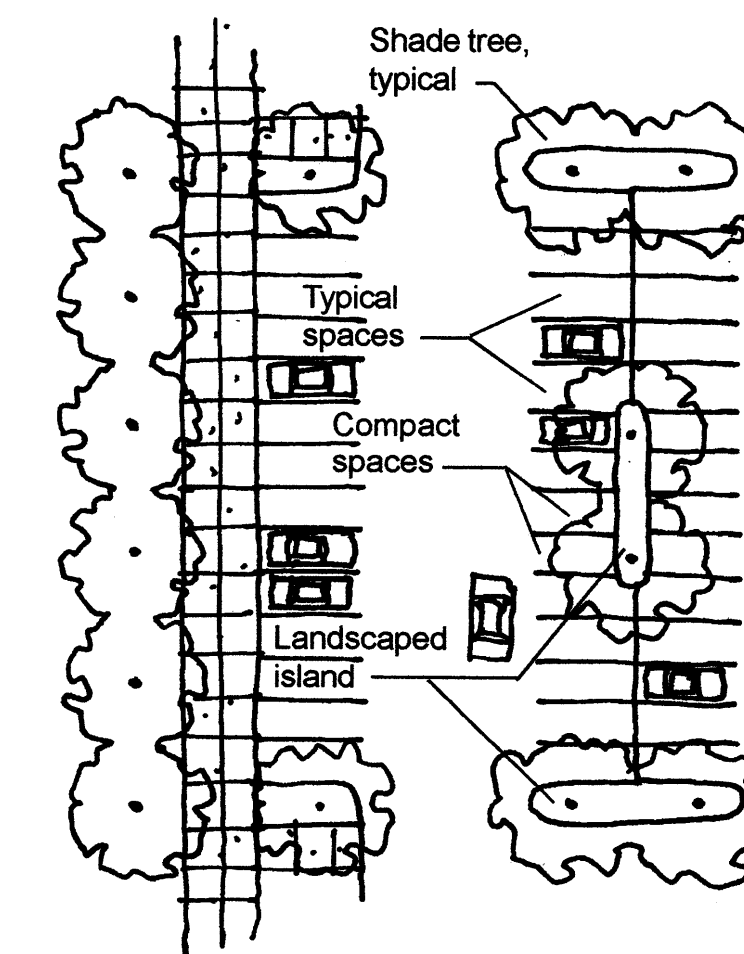
The following design criteria serves to minimize the negative impact of large, expansive parking areas through landscaping, site location and arrangement.

### Standards

- Parking shall be provided pursuant to the City Zoning Code.
- Parking areas shall be setback a minimum of 10 feet from the right-of-way line.

- Landscaped islands shall be distributed throughout parking areas, and 6 foot minimum width sidewalks shall be provided adjacent to parking lots. Islands shall include at least one tree for every 6 parking spaces, and the maximum distance from any parking space to a tree shall be 50 feet.

- There shall be barrier curbs around all parking areas in order to protect landscaping from vehicles.
- Parking shall be distributed among several parking courts on each site and shall be placed be-



LANDSCAPED PARKING

- Sodium lighting is not acceptable.

- Street lighting, other than at private lanes, shall be shielded source, and the color of fixtures must complement the architecture.

- Light standards heights for streets should not exceed 25 feet.

### Guidelines

- Fixture style and design should be compatible and consistent with the lighting design of other projects within the development.

- Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings.

- Exterior elevations of any building fronting a street are encouraged to be feature lighted to enhance the identity of the building and the appealing ambience of the total community.

- The use of spread lighting fixtures are encouraged to accent landscape and walkways and the use of uplighting fixtures to highlight trees, walls and architectural features.

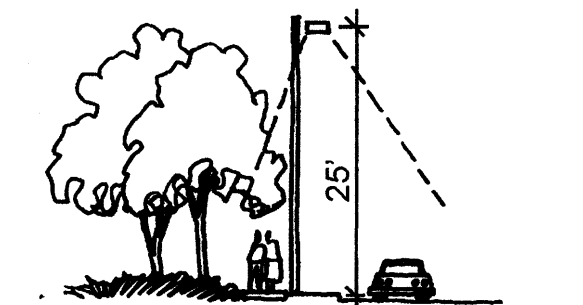
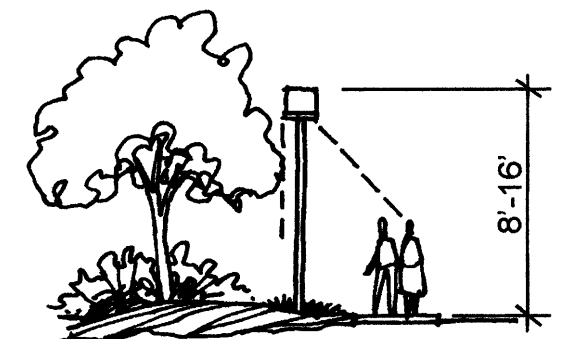
hind buildings or be screened from surrounding neighborhoods. Screening may include earth berms, perimeter or retaining walls, landscaping, or buildings.

Bicycle parking shall be provided pursuant to the City Zoning Code.

## Site/Building Lighting Standards

- Lighting fixtures for walkways and entry plazas shall be located within a height of 8 feet to 16 feet.

- The pattern of light pooling from each fixture shall avoid glare or light throw intrusion into adjacent properties.



LIGHTING

# COORS

## Village Center

## Design Guidelines Sheet 4



Prepared By:

**Consensus Planning, Inc.**

December 13, 2002

Drawings are conceptual in nature and are for illustrative purposes only.



# Design Guidelines

## Signage and Graphics

The following signage criteria creates a sense of arrival to the development and establishes a quality visual impact. Subdivision signage for this development will be consistent with Section 14-16-3-5 (C) of the Comprehensive City Zoning Code. Where there is a conflict between these guidelines and the City regulations, the more restrictive shall apply.

### Standards

Prohibited signs include the following: those consisting of banners, pennants, ribbons, streamers, strings of light bulbs and spinners (except during holiday season or special thematic event); brashly colored signs with moving or flashing lights; signs which are animated in any manner; portable signs; off-premise signs referring to a business or merchant not doing business on the premise where the sign is displayed.

The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

One monument or freestanding sign is allowed on Coors Boulevard as a "landmark" identifying the Commercial Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. This sign shall be of similar style and material as the other entry signs in keeping with the project theme.

Entry signs shall be located at primary entrances at Coors Boulevard and Western Trail, and at the secondary entrance at Atrisco Drive.

All signage at the project entries shall be coordinated in order to have the same appearance (height, size, color, material, text height and style, etc.).

No sign may overhang a right-of-way or property line.

No sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.

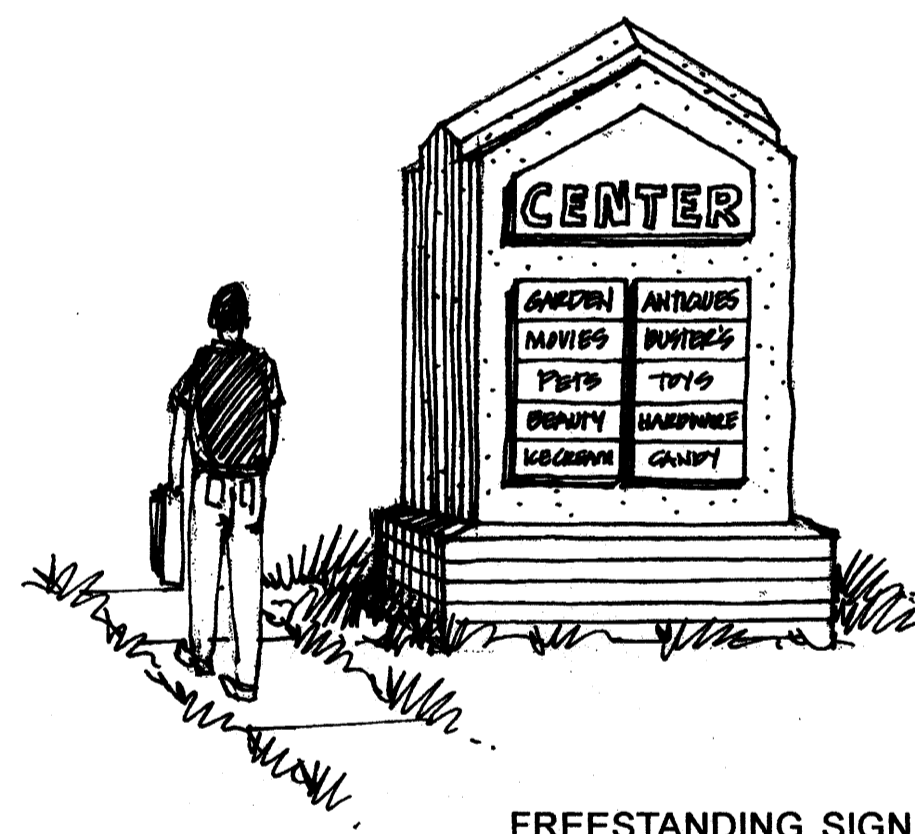
Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs.

Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

### Guidelines

Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists.

Signs should identify only the name and business of the occupant or of those offering the premises for sale or lease.



FREESTANDING SIGN

Entry walls may be on both sides of the entry driveways within the 35 foot x 35 foot landscaping area. Sensitivity should be given to the compatibility with entry treatments throughout the property.

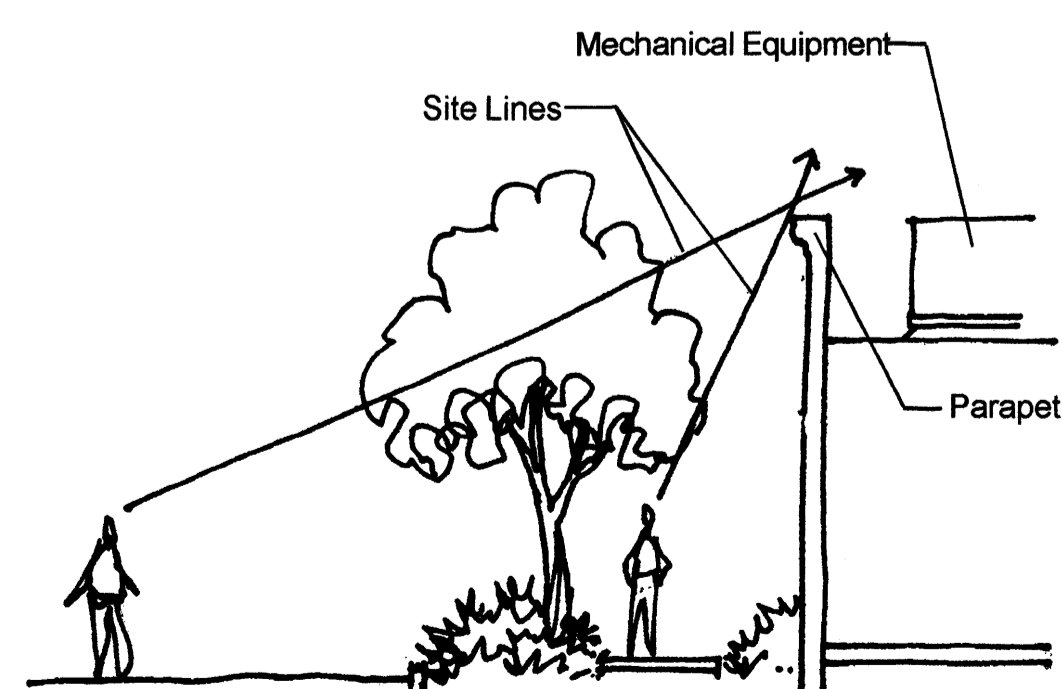
## Perimeter Walls and Screening

### Standards

No refuse enclosures shall face Quaker Heights Drive or Western Trail.

Mechanical equipment and refuse enclosures, whether on roof areas or at street level, shall be fully screened from pedestrians or motorists. Screening shall be compatible with materials and design of the building.

Loading areas shall be screened from public view by walls, trellises, or landscaping. Passenger loading areas do not require screening.



SCREENED MECHANICAL

The use of chain link, barbed wire, or wood fencing is not acceptable.

Refuse enclosures shall be adjacent to the building and screened on the other two sides with walls of the same material as the building itself.

## Architectural Expression

### Plan Arrangement Opportunities

#### Standards

In the Commercial Area, building elements, such as windows, displays and entries shall be oriented both externally to the streetscape and internally towards public areas in order to promote an urban experience.

Buildings in the Commercial, Office and Multi-Family Areas shall be oriented to front on Milne Road and Quaker Heights Drive to reinforce the street edge.

Open courtyard designs shall be employed in order to form transitions between parking areas and building facades in office and commercial parcels. Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

Building footprints within the Office Area shall be limited a maximum of 20,000 square feet.

Open courtyard designs shall be included in apartment site designs and shall provide transitions from large public areas to private semi-enclosed spaces.

Public zones of the apartment residences, such as balconies and patios, shall relate to pedestrian streets and pathways.

### Building Form Opportunities

#### Standards

Maximum building heights shall be in accordance with the provisions of the Comprehensive City Zoning Code and Coors Corridor Sector Development Plan.

Flat roofs and mechanical units shall be entirely concealed from public view at ground level by the use of parapets. Other roof forms including vaulted roofs, compound roofs, or sloping roofs may be considered for particular uses. The massing of roof expanses are to be distributed among a variety of volumes, introducing the use of dormers, extended vertical forms, and the use of a combination of flat roofs and sloped roofs.

Edge treatments shall "step down" to relate to the scale of pedestrians: reduce the scale of the building edge by stepping down to the street. It is encouraged that building masses be arranged in order to cast shadows on each other to emphasize the contrast of light and shaded surfaces at corners and edges.

Commercial and office uses shall be horizontally connected by a variety of ways, such as the use of arcades or portals, controlled plaza elements, outdoor cafes, pavement, and sitting areas.

All sloped roof lines must overhang and provide appropriate detailing with a minimum of 2 feet for the multi-family residential units.

Courts shall be created in the apartment area by offsetting buildings 15 feet to 30 feet to create a variety of spaces and a variation in human scale.

Buildings shall employ variety in structural forms to create visual character and interest. Avoid long, unarticulated facades. Facades should have varied front setbacks, with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot min. offset, fenestration, material change, etc.)

Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, and soffits shall be carefully dimensioned and detailed to provide a human scale and visual interest.

Building design incorporating a combination of forms and shapes are required to reinforce and support the village concept and to provide visual interest to the project.

Extended architectural detailing on the ground floor in an elevational band from 0 to 10 feet, such as a change in color or texture, the architectural expression expansion joints as reveals, door and window articulation and architectural accents, is required in order to enhance the pedestrian level experience.

### Guidelines

Office and commercial sloped roof lines may overhang and provide appropriate detailing with a minimum of 4 feet.

Buildings in the commercial parcel may be mixed use structures accommodating retail stores below and offices above.

The inclusion of an outdoor café or a restaurant with seasonal outdoor seating is

encouraged in the commercial area to face the project's interior roads or the projects focus areas.

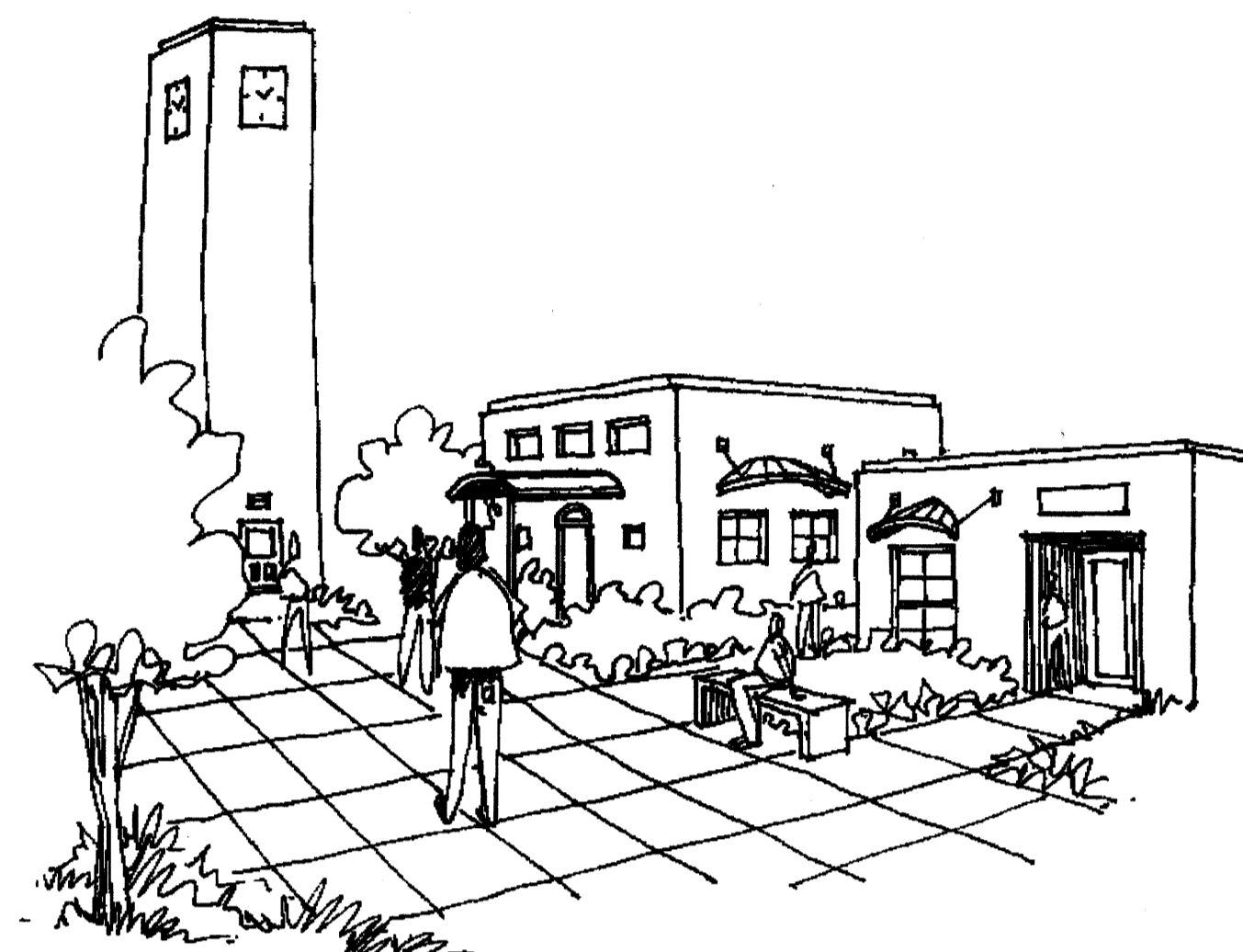
### Entryways

#### Standards

At entryways, an awning, canopy/marquee or inset shall be provided to provide shade and shelter and a sense of arrival.

Entries shall be clearly defined and connect to pedestrian linkages.

Articulate residential entryways with the use of low walls, gateways and garden courts.



ENTRY GARDEN COURT

Entryways shall be distinguished by lighting in order to enhance the perception of surface variety.

### Building Materials

#### Standards

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls
- highly reflective surfaces
- chain link fence or barbed wire
- metal paneling
- materials with high maintenance requirements

Architects shall use those materials traditionally used in the Albuquerque or New Mexico area.

Colors shall be the inherent color of materials (earthtones such as sands, creams, tans, etc.) rather than from application of color (painted), except when used as an accent color.

### Guidelines

The use of contrasting colors between roofs and walls is encouraged to further differentiate the planes of building masses.

Accent colors and materials can bring out detailing to better articulate or give scale to a building. These include the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with streetscape and perimeter walls.

## Transportation Demand Management (TDM)

Future employers that locate within the Coors Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Coors Village Center:

On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Coors Village Center.

Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.

Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

As a part of the TDM Program, City Transit's responsibilities include:

Once the connection is completed from Western Trail to St. Joseph's, bus routes should be provided off of Coors Boulevard and into the interior of the project.

Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to this property that address their specific needs.

## Landscaping

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and the pedestrian environment.

### Standards

Landscape elements shall be used to reinforce the street edge.

Street trees shall be provided at an average interval of 30 feet to provide shade. Street trees are defined as being within 20 feet of the back of curb.

A fully automated irrigation system shall be designed as part of the landscaping for each project. The system shall be designed to avoid overspraying walks, buildings, fences, etc.

Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the plan and shall be compatible with the architectural and landscape treatment of the project.

Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

Landscape plans must comply with the City of Albuquerque's Water Conservation Ordinance and Pollen Ordinance.

A mixture of drought tolerant species and lawn areas shall be used at landscaped areas and in conformance with the City Water Conservation Ordinance. Live plant materials shall cover a minimum of 75 percent of all landscaped areas.

Gravel, colored rock, bark, and similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element.

# COORS

## Village Center

## Design Guidelines Sheet 5



PLANNING

Prepared By:

Consensus Planning, Inc.

CONSENSUS

December 13, 2002

Drawings are conceptual in nature and are for illustrative purposes only.



# Design Guidelines

## DESIGN GUIDELINES FOR TRACTS 1 AND 4-A

The following guidelines are expressly for homes to be built in Tracts 1 and 4-A.

### A. Architectural Style

The typical building elevations and notes included in this submittal are intended to illustrate the general characteristics of the homes and condominiums to be constructed within the project. While all of the buildings will reflect these characteristics, final building plans and elevations may be modified slightly to incorporate final design requirements. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains some of the characteristics and adheres to the Guidelines. The use of various architectural detail and materials shall be consistent when used on various elevations.

### B. Roof Materials and Colors

These roof materials are appropriate for homes in Rancho Encantado Norte:

1. Asphalt Shingles.
2. Clay or Concrete tile, mission barrel or S shapes in solid or modeled colors.

Approved colors for roofs include yellow ochres, browns, earth tones, and dull reds. Very light and very dark colors should be avoided.

### C. Columns

The following are appropriate column forms:

1. Square stucco.
2. Round stucco.
3. Square wood.
4. Square wood, tapered.
5. Round peeled bark wood.
6. Round classical with smooth shafts in Doric or simple contemporary order.

The following shall not be allowed:

1. Corinthian.
2. Ionic.
3. Tuscan.
4. Egyptian.

### D. Garages

1. Each home must have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces are provided.
2. Individual garage doors shall be a maximum, in the aggregate, width of two cars. Additional garage doors shall be offset in massing by a minimum of 1 foot.
3. Total width of all garage doors shall in no event exceed 34 feet.
4. Garage doors shall have a maximum height of 8 feet.

### E. Setbacks

1. Front yard setback
  - a. No house shall be constructed within fifteen feet (15') from the front property line of a lot.
  - b. The garage shall be constructed to ensure that a twenty-foot (20') minimum parking area exists in front of the garage.
2. Side yard setback - no house shall be constructed within five feet (5') from the side property line of a lot. Corner lots shall have a side yard setback of ten feet (10') from the streetside property line.
3. Rear yard setback - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.

### F. Minimum Square Footage

Each home must have at least 1,200 square feet of fully enclosed heated area, exclusive of garages and open porches and patios.

### G. Building Materials

1. Stucco - shall be the primary building material and shall account for a minimum of 80% of the exterior construction.
2. Stone - may be used as an accent feature and shall not comprise more than 20% of the exterior construction.
3. Brick - may be used as an accent feature and shall not comprise more than 20% of the exterior construction.

### H. Pre-Approved Building Colors

1. Primary - exterior stucco colors shall be earth tones, shades of yellow, ochres, browns, dull reds, and grey greens reflecting those colors found on the mesa and escarpment.
2. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are typical southwestern colors of earth tones, white, green, red, blue, and brown ranges.

### I. Building Height

1. Houses on any lot shall not exceed nineteen feet (19') for single-story homes, including chimney. The maximum height for two-story homes, including chimney, shall not exceed twenty-six feet (26'). The height for accessory structures shall be pursuant to the R-1 zoning requirements. The height is measured from the engineered pad elevation to the highest point of the parapet or to the highest point on the roof and/or chimney.

### J. Landscaping

1. Landscaping within ten foot (10') landscape easement along Western Trail shall include trees at an average spacing of twenty-five feet (25') on center. A minimum of fifty percent (50%) of the provided trees shall be evergreen and able to reach a mature height of at least twenty-five feet (25'). Climbing vines shall also be provided along the wall adjacent to this easement at approximately twenty-five feet (25') on center.
2. Plans for front yard landscaping must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as outlined on the Landscape Plan.

3. Timing of Installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home, but in any event no later than the date of occupancy of the home.

### K. Street Lighting

Street lighting shall be in accordance with City of Albuquerque residential street lighting standards.

### L. Fireplaces

Fireplaces and/or stoves within the residence shall be limited to natural gas logs, Environmental Protection Agency (EPA) approved wood-burning fireplaces, and other EPA approved wood burning devices.

### M. Walls

All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.

### 1. Subdivision Walls

- a. The perimeter subdivision wall will be no more than six feet (6') and no less than four feet (4') in height as measured from the outside of the wall. In areas where retaining walls are required, an additional two feet (2') of wall height shall be permitted. Wherever possible, retaining walls shall be stepped in order to minimize the visual impact. All perimeter walls shall be installed and paid for by the Developer and constructed of brown split-face or fluted CMU block. Perimeter subdivision walls shall be constructed as early as possible in the construction process to minimize blowing sand and debris.

### 2. Site walls

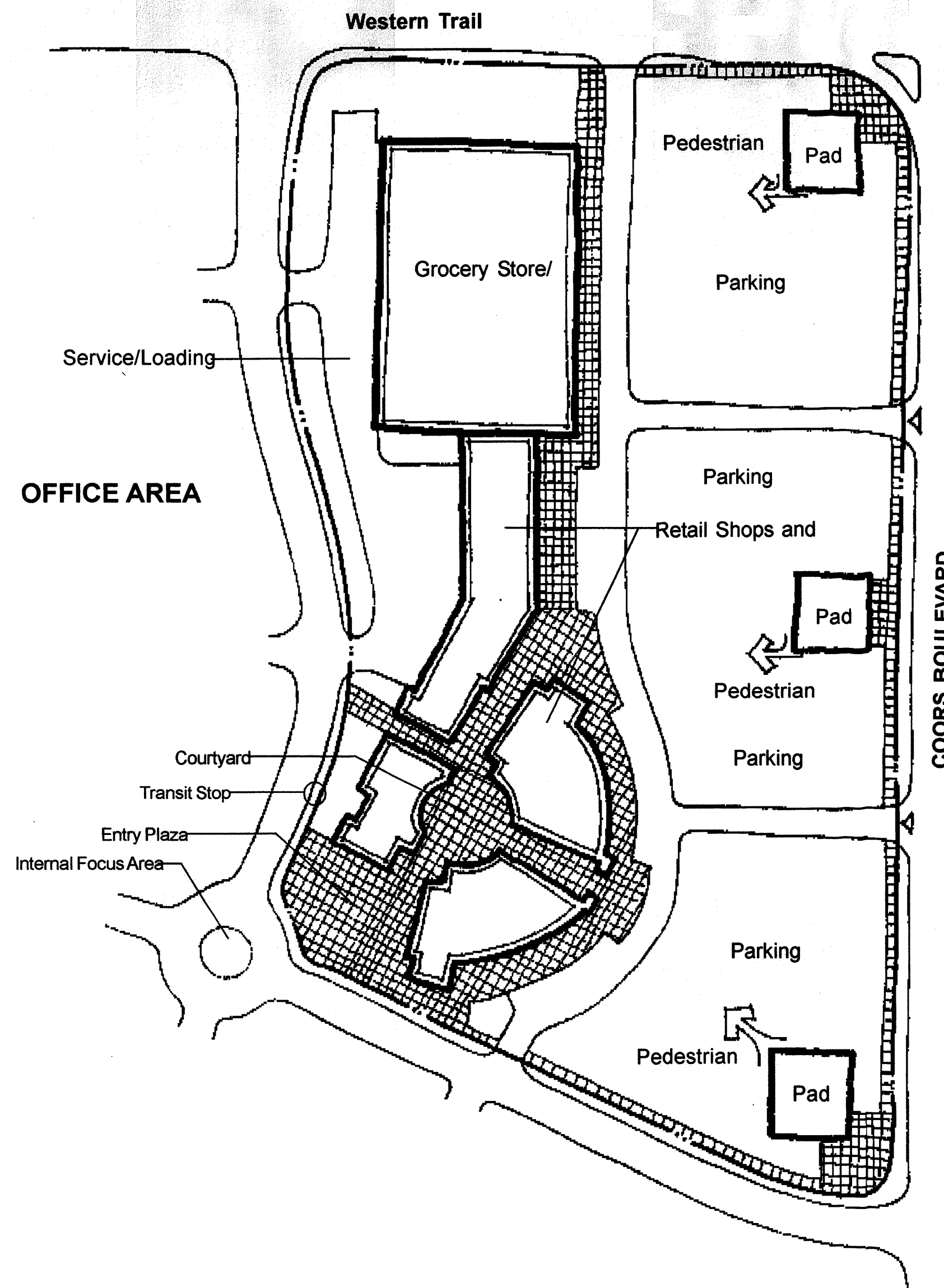
- a. Each house must have a rear wall and two sidewalls. All rear walls shall extend the entire length of the rear property line. All sidewalls shall extend from the rear of the lot to at least the rear of the dwelling for all lots.
- b. Interior residential lot line walls shall be brown CMU and no more than six feet (6') in height without a retaining wall and no more than eight feet (8') in height with a retaining wall.
- c. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Rancho Encantado Norte Subdivision.
- d. No wall or fence may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
- e. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension.

### 3. Courtyard walls

- a. Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the house.

### N. Solid Waste

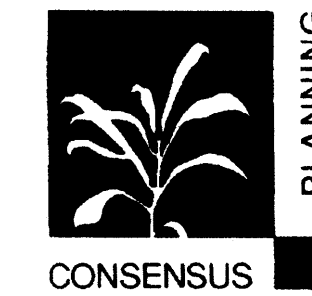
Each lot/home shall have a storage area for residential automated carts; not to be visible from the street.



Illustrative Commercial Area Site

# COORS Village Center

## Design Guidelines Sheet 6



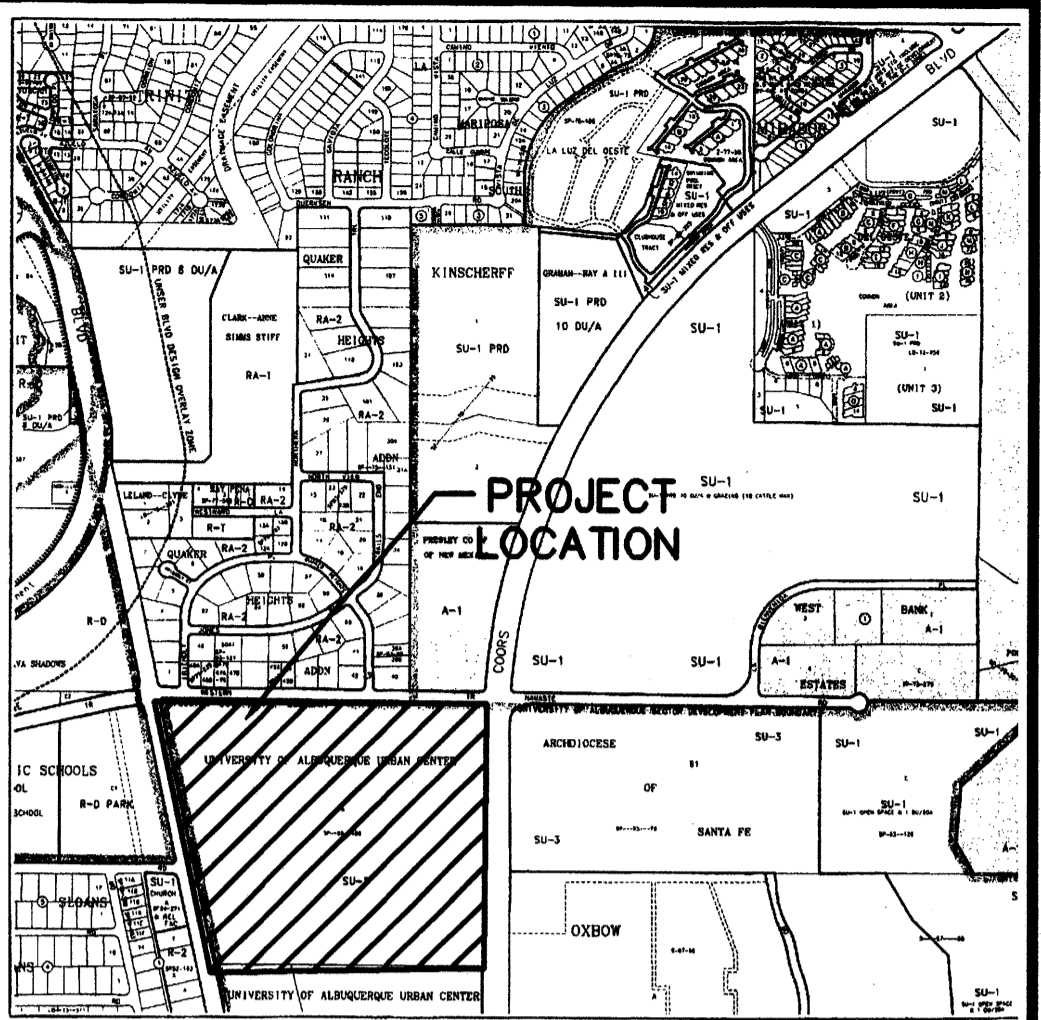
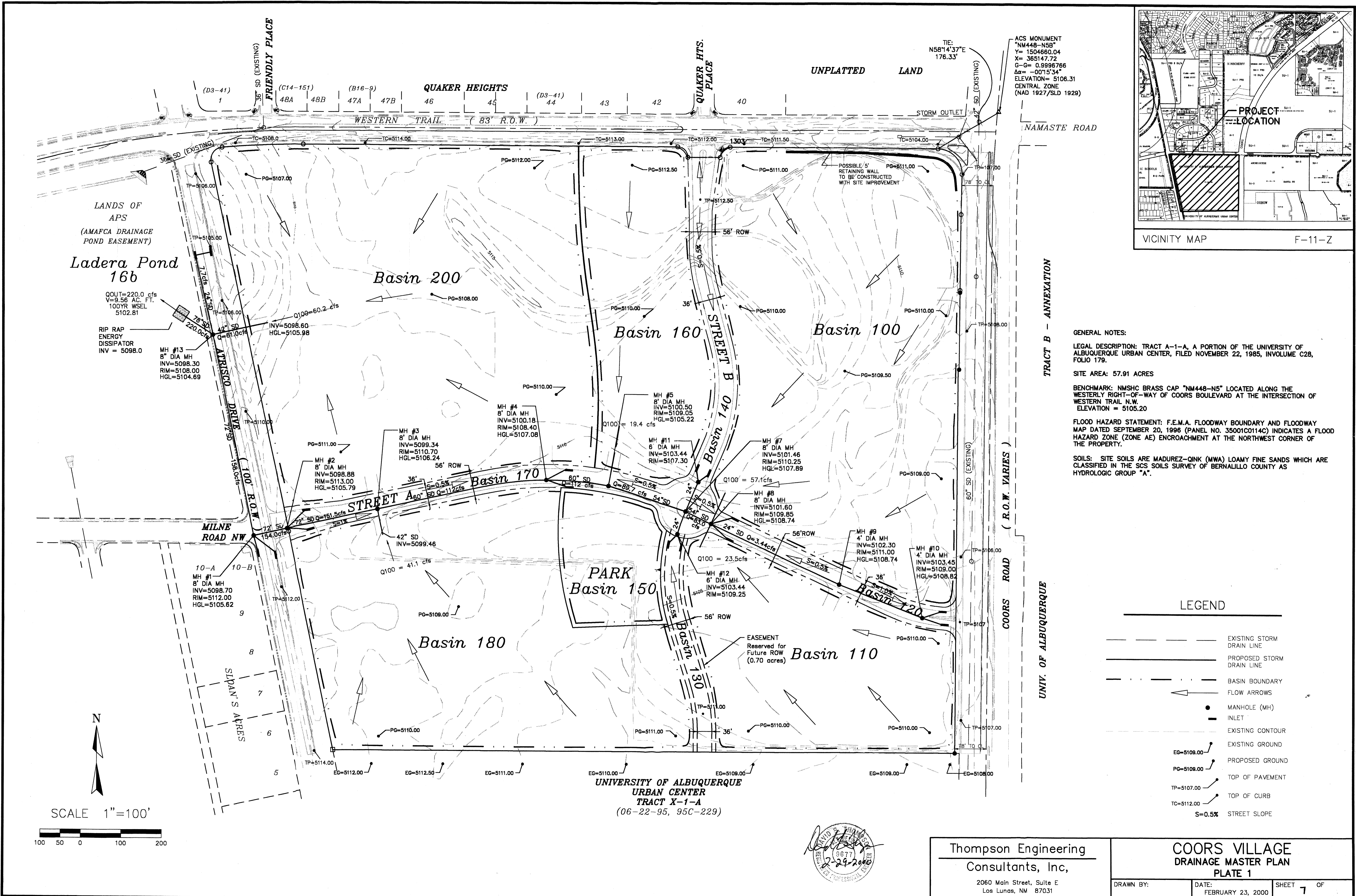
Prepared By:

Consensus Planning, Inc.

December 13, 2002

Drawings are conceptual in nature and are for illustrative purposes only.





VICINITY MAP F-11-Z

ACS MONUMENT  
 "NM448-N58"  
 Y= 1504660.04  
 X= 365147.72  
 G-G= 0.9998766  
 Az= -0071534  
 ELEVATION= 5106.31  
 CENTRAL ZONE  
 (NAD 1927/SLD 1929)

TRACT B - ANNEXATION

UNIV. OF ALBUQUERQUE  
 (R.O.W. VARIES)

**GENERAL NOTES:**  
 LEGAL DESCRIPTION: TRACT A-1-A, A PORTION OF THE UNIVERSITY OF ALBUQUERQUE URBAN CENTER, FILED NOVEMBER 22, 1985, INVOLUME C28, FOLIO 179.  
 SITE AREA: 57.91 ACRES  
 BENCHMARK: NMSHC BRASS CAP "NM448-N5" LOCATED ALONG THE WESTERLY RIGHT-OF-WAY OF COORS BOULEVARD AT THE INTERSECTION OF WESTERN TRAIL N.W. ELEVATION = 5105.20  
 FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED SEPTEMBER 20, 1998 (PANEL NO. 35001C0114C) INDICATES A FLOOD HAZARD ZONE (ZONE AE) ENCROACHMENT AT THE NORTHWEST CORNER OF THE PROPERTY.  
 SOILS: SITE SOILS ARE MADUREZ-QINK (MWA) LOAMY FINE SANDS WHICH ARE CLASSIFIED IN THE SCS SOILS SURVEY OF BERNALILLO COUNTY AS HYDROLOGIC GROUP "A".

**LEGEND**

	EXISTING STORM DRAIN LINE
	PROPOSED STORM DRAIN LINE
	BASIN BOUNDARY
	FLOW ARROWS
	MANHOLE (MH) INLET
	EXISTING CONTOUR
	EXISTING GROUND
	PROPOSED GROUND
	TOP OF PAVEMENT
	TOP OF CURB
	STREET SLOPE

SCALE 1"=100'  
 100 50 0 100 200

UNIVERSITY OF ALBUQUERQUE  
 URBAN CENTER  
 TRACT X-1-A  
 (06-22-95, 95C-229)



Thompson Engineering  
 Consultants, Inc.  
 2060 Main Street, Suite E  
 Los Lunas, NM 87031

**COORS VILLAGE  
 DRAINAGE MASTER PLAN  
 PLATE 1**

DRAWN BY:	DATE: FEBRUARY 23, 2000	SHEET 7 OF
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## Infrastructure Requirements

The following list represents the infrastructure required to support Coors Village Subdivision. This list is not all inclusive and future individual Site Development Plans for Building Purposes and individual infrastructure lists are required to be approved by the DRB. The final determination of what elements shall be required, as part of an infrastructure list, shall be determined at the time of development and Site Plan approval of each tract. The required infrastructure shall be waived as part of the Bulk Land Variance as approved by the DRB and deferred until the future Site Development Plans for Building Purposes for each individual tract.

SIZE	IMPROVEMENT	LOCATION	FROM	TO
<b>Paving</b>				
24' wide	Arterial Paving w/median curb and gutter for double left turn	Coors Boulevard	Ladera Drive	200 feet south
12' wide	Arterial Paving w/median curb and gutter for single left turn	Coors Boulevard	Western Trail	300 feet south
12' wide	Arterial Paving w/standard curb and gutter for deceleration lane	Coors Boulevard	Milne Road	150 feet north
12' wide	Arterial Paving w/median curb and gutter for left turn lane	Coors Boulevard	Milne Road	150 feet south
12' wide	Arterial Paving w/standard curb and gutter and 6' sidewalk west side	Coors Boulevard	South Property Line	Western Trail
6"	Temporary asphalt median curb	Coors Boulevard	South Property Line	Western Trail
	Signalization	Coors/Western Trail Intersection		
12' wide	Bus bay w/ standard curb and gutter and shelter	Coors Boulevard	South of Western Trail	
24' wide	Arterial Paving w/median curb and gutter for dual left turn lanes	Western Trail	Coors Boulevard	150 feet west
12' wide	Arterial Paving w/standard curb and gutter for deceleration lane	Western Trail	Coors Boulevard	100 feet west
12' wide	Arterial Paving w/median curb and gutter for single left turn	Western Trail	Quaker Heights Place	150 feet east
24' wide	Arterial Paving w/standard curb and gutter	Atrisco Drive	South Property Line	Western Trail
10' wide	Residential Paving for bike trail	Atrisco Drive	South Property Line	Western Trail
36' F-F	Arterial Paving w/standard curb and gutter, 4' sidewalk both sides	Milne Road	Atrisco Drive	Coors Boulevard
36' F-F	Arterial Paving w/standard curb and gutter, 4' sidewalk both sides	Quaker Heights Place	Milne Road	Western Trail
	Traffic Circle	Milne Road/ Quaker Heights Place Intersection		
<b>Water</b>				
10"	Waterline	Milne Road	Atrisco Drive	Coors Boulevard
10"	Waterline	Quaker Heights Place	Milne Road	Western Trail


SIZE	IMPROVEMENT	LOCATION	FROM	TO
<b>Sewer</b>				
8"	Sanitary Sewer Line	Milne Road	200 feet west of Atrisco Drive	300 feet west of Coors Boulevard
8"	Sanitary Sewer Line	Quaker Heights Place	Milne Road	300 feet south of Western Trail
<b>Storm Drain</b>				
78"	RCP Storm Drain	Tract 1 Driveway	Ladera Pond 16B	Atrisco Drive
72"	RCP Storm Drain	Atrisco Drive	Tract 1 Driveway	Milne Road
72"	RCP Storm Drain	Milne Road	Atrisco Drive	250 feet east of Atrisco Drive
60"	RCP Storm Drain	Milne Road	250 feet east of Atrisco Drive	800 feet east of Atrisco Drive
54"	RCP Storm Drain	Milne Road	800 feet east of Atrisco Drive	East Side of Traffic Circle at Quaker Heights Place
24"	RCP Storm Drain	Milne Road	Quaker Heights Place	100 feet west of Coors Boulevard
24"	RCP Storm Drain	Atrisco Drive	Tract 1 Driveway	250 south of Western Trails
42"	RCP Storm Drain	Tract 1 Driveway of Atrisco Drive	Atrisco Drive	Tract 1

- NOTES:
- 1) Waterlines include valves, fittings and services.
  - 2) Storm Drain includes catch basins, connector pipes, manholes and outlet structures.
  - 3) Sanitary Sewer Lines include manholes and services.
  - 4) Paving Items include street lighting and sidewalks.

# COORS

## Village Center

### 9 INFRASTRUCTURE REQUIREMENTS


**Prepared By:**  
 Consensus Planning, Inc.  
 Thompson Engineering Consultants